

**VICINITY MAP**

**PROJECT DATA:**  
 PROJECT ADDRESS: 9955 COORS BYPASS BOULEVARD NW ALBUQUERQUE, NM 87114  
 JURISDICTION: ALBUQUERQUE  
 APN: 1-013-065-393233-1-01-10  
 ZONING: NR-C

**PROJECT AREA SUMMARY:**

EXISTING IMPERVIOUS:	8,670 SF	PROPOSED IMPERVIOUS:	10,409 SF
EXISTING PERVIOUS:	1,739 SF	PROPOSED PERVIOUS:	0 SF
TOTAL DISTURBANCE = 10,409 SF			

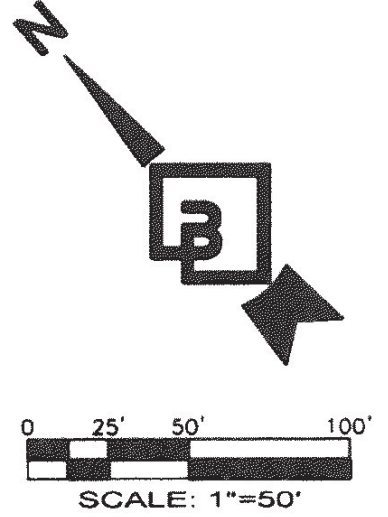
**PROJECT SITE DATA:**

COSTCO PARCEL	617,769 SF (14.18 AC)
TOTAL SITE AREA	617,769 SF (14.18 AC)
BUILDING AREA	
COSTCO	146,724 SF
COSTCO FOOD SERVICE	1,224 SF
COSTCO EXISTING MEZZANINE	1,391 SF
COSTCO TIRE CENTER	5,200 SF
TOTAL BUILDING AREA	154,539 SF
PARKING SUMMARY	
PARKING REQUIRED	618 STALLS
COSTCO: 154,539 SF @ 4/1000 SF	618 STALLS
TOTAL PARKING REQUIRED	618 STALLS
PARKING PROVIDED	619 STALLS
LANDSCAPE REQUIRED:	85,323 SF (15%)
(MIN. 15% OF NET AREA)	
LANDSCAPE PROVIDED	100,321 SF (17.6%)

**NOTE:**  
 THIS PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT.

**NOTE:**  
 COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439

**1011**  
 Know what's below.  
 Call before you dig.  
 Dial 811  
 Or 1-800-321-2537



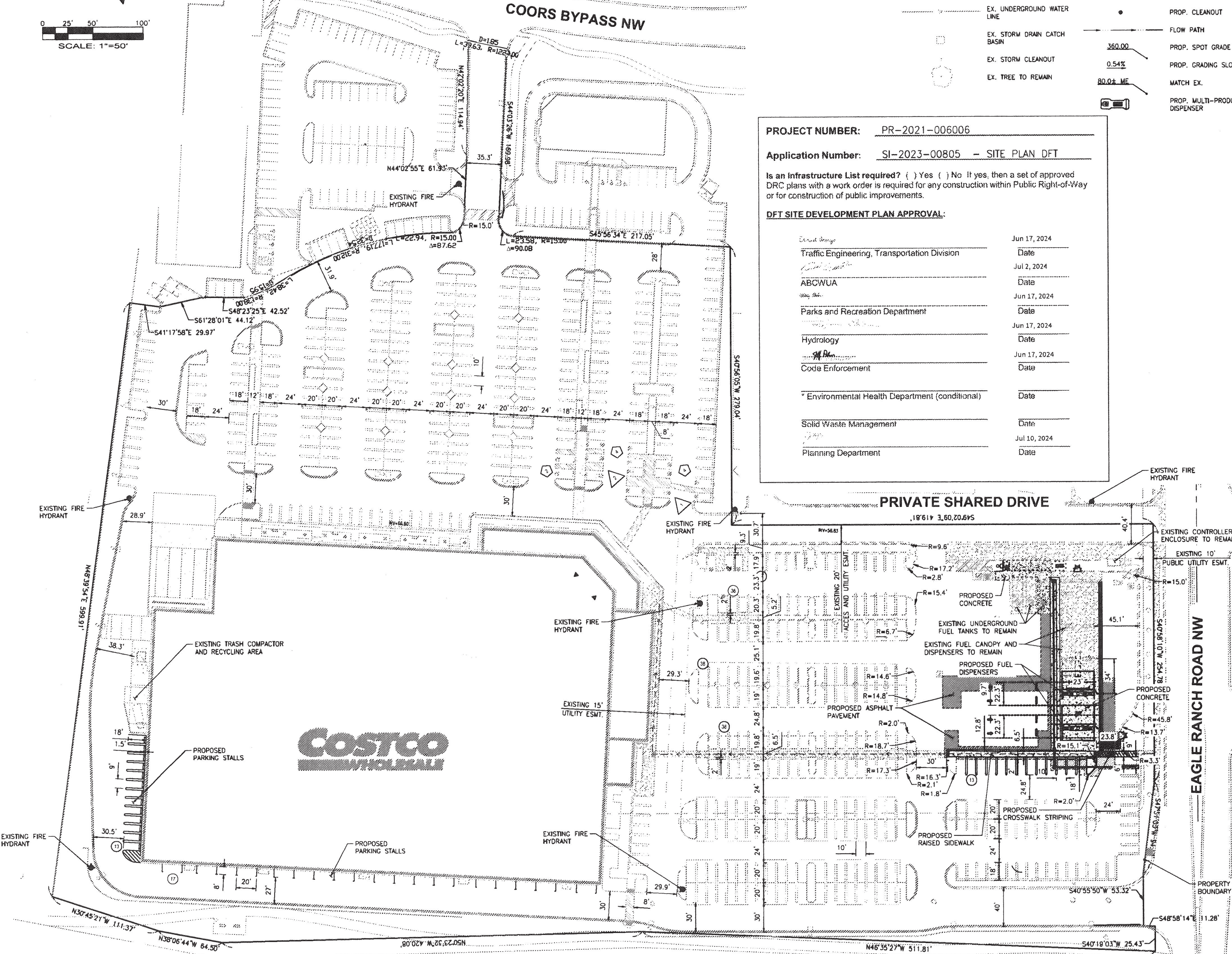
# OVERALL SITE PLAN

## COSTCO WHOLESALE FUEL EXPANSION

### 9955 COORS BYPASS BLVD NW

### ALBUQUERQUE, NM 87114

### COSTCO WAREHOUSE #1016



**LEGEND**

[Symbol]	EX. CONCRETE	[Symbol]	PROP. ASPHALT
[Symbol]	EX. CURB	[Symbol]	PROP. CONCRETE
[Symbol]	EX. CANOPY DRIPLINE	[Symbol]	PROP. CURB AND CUTTER
[Symbol]	EX. EASEMENT	[Symbol]	SANICUT LINE
[Symbol]	EX. EDGE OF PAVEMENT	[Symbol]	PROP. STORM PIPE
[Symbol]	EX. STORM DRAIN	[Symbol]	PROP. CANOPY
[Symbol]	EX. UNDERGROUND WATER LINE	[Symbol]	PROP. CLEANOUT
[Symbol]	EX. STORM DRAIN CATCH BASIN	[Symbol]	FLOW PATH
[Symbol]	EX. STORM CLEANOUT	[Symbol]	PROP. SPOT GRADE
[Symbol]	EX. TREE TO REMAIN	[Symbol]	PROP. GRADING SLOPE
		[Symbol]	MATCH EX.
		[Symbol]	PROP. MULTI-PRODUCT DISPENSER

**PROJECT NUMBER:** PR-2021-006006  
**Application Number:** SI-2023-00805 - SITE PLAN DFT

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

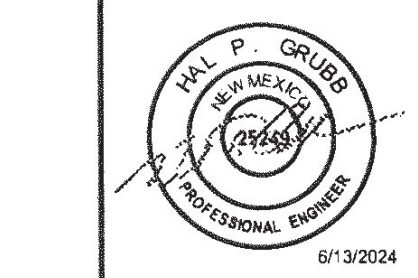
**DFT SITE DEVELOPMENT PLAN APPROVAL:**

City of Albuquerque	Jun 17, 2024
Traffic Engineering, Transportation Division	Date
ABCWUA	Jul 2, 2024
City of Albuquerque	Date
Parks and Recreation Department	Jun 17, 2024
Hydrology	Date
Code Enforcement	Jun 17, 2024
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Jul 10, 2024

1 3/21/24 SN MESP CSL REV PER CONDITIONS OF APPROVAL

**Overall Site Plan**  
 9955 COORS BYPASS BLVD NW  
 ALBUQUERQUE, NM 87114  
 COSTCO WAREHOUSE #1016

**For:**  
 Costco Wholesale  
 999 LAKE DRIVE  
 ISSAQUAH, WA 98027



Scale: Horizontal 1"=50' Vertical N/A

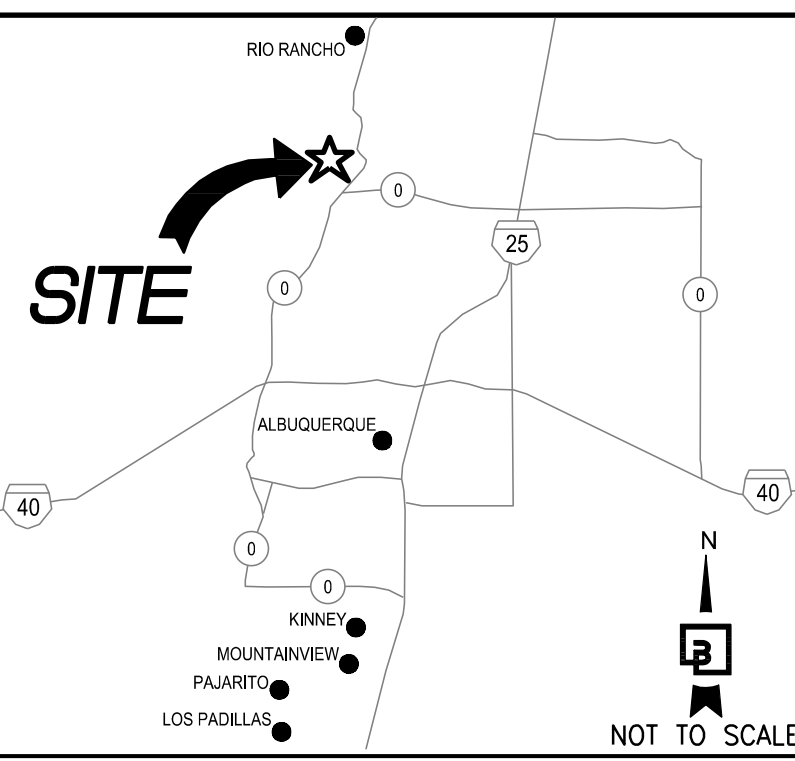
Designed: [Signature] Drawn: [Signature] Checked: [Signature] Approved: [Signature] Date: 5/15/23

**Berghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425-251-6222 berghausen.com

Job Number: 12735  
 Sheet: 1 of 1  
 Date: 6/15/2023 5:08 PM

P:\2006\12735\unrevised\2024\_Expansion LU\12735-Overall Site Plan (exp) LU.dwg 6/15/2023 5:08 PM S:\WA





**VICINITY MAP**

**PROJECT DATA:**

PROJECT ADDRESS: 9955 COORS BYPASS BOULEVARD NW ALBUQUERQUE, NM 87114  
 JURISDICTION: ALBUQUERQUE  
 APN: 1-013-065-393233-1-01-10  
 ZONING: NR-C

**PROJECT AREA SUMMARY:**

EXISTING IMPERVIOUS:	7,782 SF	PROPOSED IMPERVIOUS:	9,400 SF
EXISTING PERVIOUS:	1,618 SF	PROPOSED PERVIOUS:	0 SF

TOTAL DISTURBANCE = 9,400 SF

**PROJECT SITE DATA:**

COSTCO PARCEL	617,769 SF (14.18 AC)
TOTAL SITE AREA	617,769 SF (14.18 AC)
BUILDING AREA	146,724 SF
COSTCO	1,224 SF
COSTCO FOOD SERVICE	1,391 SF
COSTCO EXISTING MEZZANINE	5,200 SF
COSTCO TIRE CENTER	154,539 SF
TOTAL BUILDING AREA	154,539 SF
PARKING SUMMARY	
PARKING REQUIRED	618 STALLS
COSTCO: 154,539 SF @ 4,1000 SF	618 STALLS
TOTAL PARKING REQUIRED	618 STALLS
PARKING PROVIDED	619 STALLS
LANDSCAPE REQUIRED: (MIN. 15% OF NET AREA)	85,323 SF (15%)
LANDSCAPE PROVIDED	100,321 SF (17.6%)

**NOTE:**

THIS PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT.



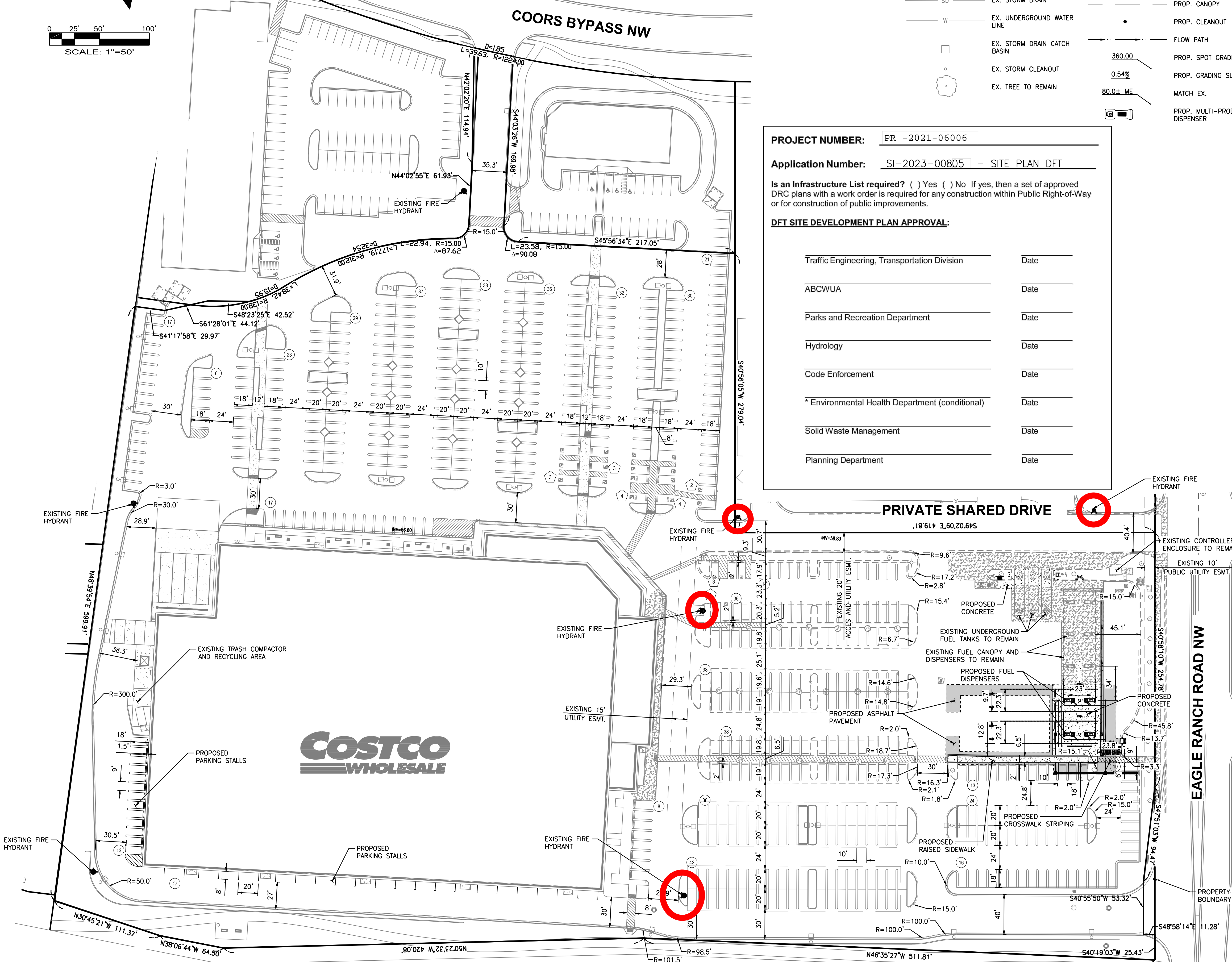
# OVERALL SITE PLAN

## COSTCO WHOLESALE FUEL EXPANSION

### 9955 COORS BYPASS BLVD NW

### ALBUQUERQUE, NM 87114

### COSTCO WAREHOUSE #1016



**LEGEND**

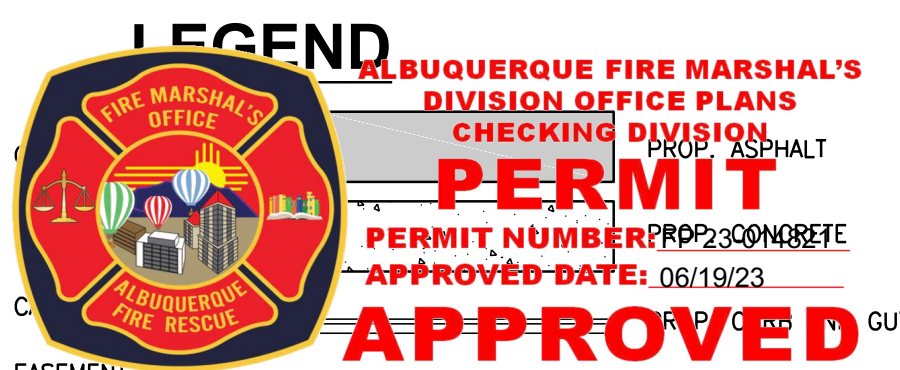
[Symbol]	EX. UNDERGROUND WATER LINE	[Symbol]	PROP. CANOPY
[Symbol]	EX. STORM DRAIN	[Symbol]	PROP. CLEANOUT
[Symbol]	EX. STORM DRAIN CATCH BASIN	[Symbol]	PROP. SPOT GRADE
[Symbol]	EX. STORM CLEANOUT	[Symbol]	PROP. GRADING SLOPE
[Symbol]	EX. TREE TO REMAIN	[Symbol]	MATCH EX.
[Symbol]		[Symbol]	PROP. MULTI-PRODUCT DISPENSER

PROJECT NUMBER: PR -2021-06006  
 Application Number: SI-2023-00805 - SITE PLAN DFT

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



**OVERALL SITE PLAN**  
 9955 COORS BYPASS BLVD NW  
 ALBUQUERQUE, NM 87114  
 COSTCO WAREHOUSE #1016

**For:** Costco Wholesale  
 COSTCO WHOLESALE  
 999 LAKE DRIVE  
 ISSAQUAH, WA 98027

**Scale:** Horizontal 1"=50', Vertical N/A

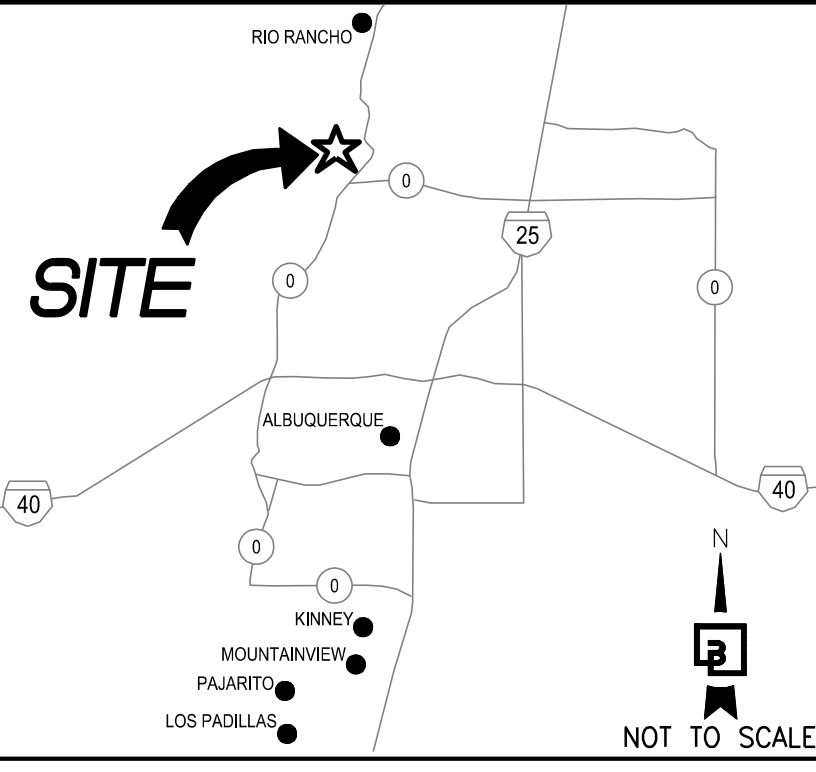
**Designed, Drawn, Checked, Approved, Date:** [Signatures and Dates]

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
 barghausen.com

Job Number: 12735  
 Sheet: 1 of 1

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**VICINITY MAP**

**PROJECT DATA:**  
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TOTAL BUILDING AREA	154,539 SF

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(MIN. 15% OF NET AREA)	
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**NOTE:**  
 THIS PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT.



Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

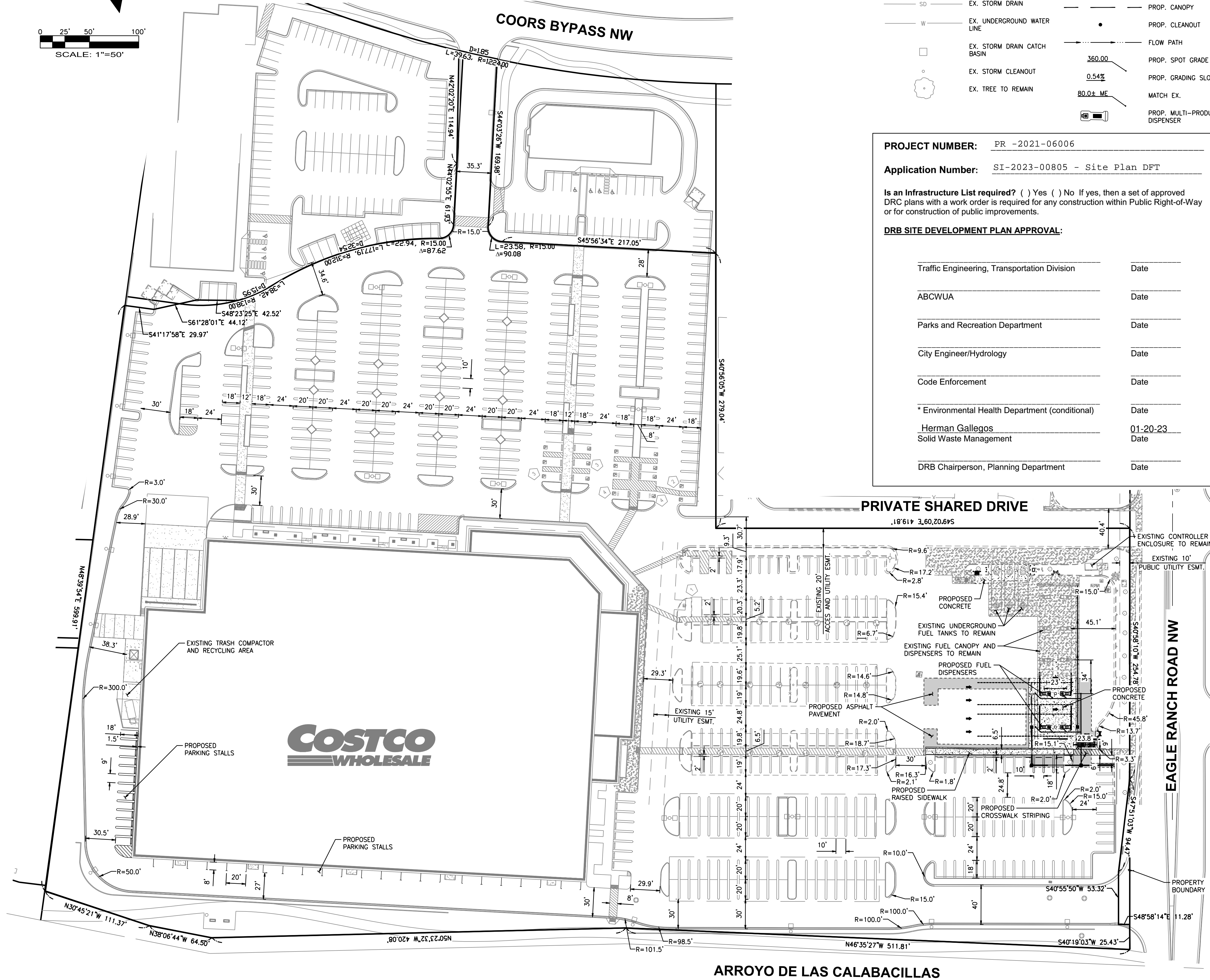
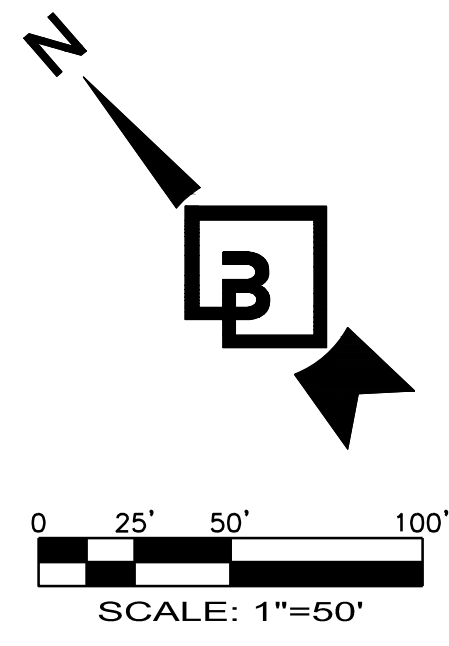
Reviewer: *Herman Gallegos*

Date: 01-20-23

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# PRELIMINARY OVERALL SITE PLAN

**COSTCO WHOLESALE FUEL EXPANSION**  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WAREHOUSE #1016**



**LEGEND**

[Symbol]	EX. CONCRETE	[Symbol]	PROP. ASPHALT
[Symbol]	EX. CURB	[Symbol]	PROP. CONCRETE
[Symbol]	EX. CANOPY DRIPLINE	[Symbol]	PROP. CURB AND GUTTER
[Symbol]	EX. EASEMENT	[Symbol]	SAWCUT LINE
[Symbol]	EX. EDGE OF PAVEMENT	[Symbol]	PROP. STORM PIPE
[Symbol]	SD EX. STORM DRAIN	[Symbol]	PROP. CANOPY
[Symbol]	EX. UNDERGROUND WATER LINE	[Symbol]	PROP. CLEANOUT
[Symbol]	EX. STORM DRAIN CATCH BASIN	[Symbol]	FLOW PATH
[Symbol]	EX. STORM CLEANOUT	[Symbol]	PROP. SPOT GRADE
[Symbol]	EX. TREE TO REMAIN	[Symbol]	PROP. GRADING SLOPE
		[Symbol]	MATCH EX.
		[Symbol]	PROP. MULTI-PRODUCT DISPENSER

**PROJECT NUMBER:** PR -2021-06006  
**Application Number:** SI-2023-00805 - Site Plan DFT

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos Solid Waste Management	01-20-23 Date
DRB Chairperson, Planning Department	Date

**PRELIMINARY OVERALL SITE PLAN**  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WAREHOUSE #1016**

**For:**  
**COSTCO WHOLESALE**  
**999 LAKE DRIVE**  
**ISSAQUAH, WA 98027**

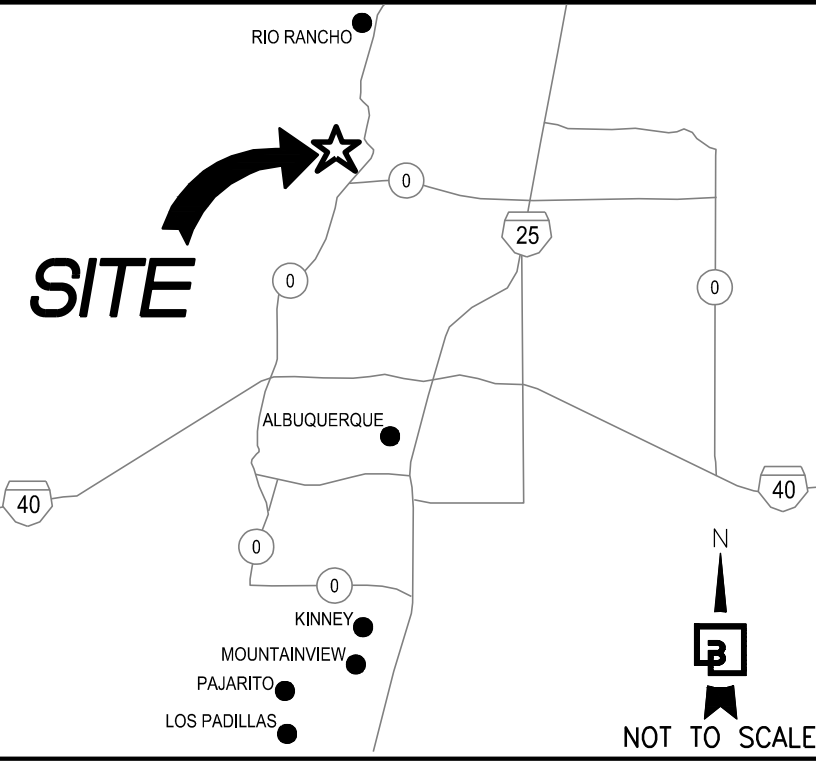
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 Designed: LRFH  
 Drawn: LRFH  
 Checked: JSL  
 Approved: MESF  
 Date: 2/18/23

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222  
**barghausen.com**

Job Number: 12735  
 Sheet: 1 of 1

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**VICINITY MAP**

**PROJECT DATA:**

PROJECT ADDRESS: 9955 COORS BYPASS BOULEVARD NW ALBUQUERQUE, NM 87114  
 JURISDICTION: ALBUQUERQUE  
 APN: 1-013-065-393233-1-01-10  
 ZONING: NR-C

**PROJECT AREA SUMMARY:**

IMPERVIOUS:	EXISTING	PROPOSED
PERVIOUS:	7,782 SF	9,400 SF
	1,618 SF	0 SF

TOTAL DISTURBANCE = 9,400 SF

**PROJECT SITE DATA:**

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 TOTAL SITE AREA 617,769 SF (14.18 AC)

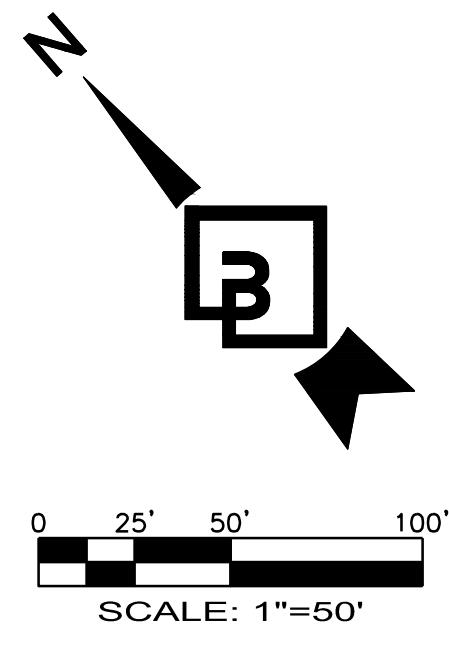
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COSTCO FOOD SERVICE	1,224 SF
COSTCO EXISTING MEZZANINE	1,391 SF
COSTCO TIRE CENTER	5,200 SF
TOTAL BUILDING AREA	154,539 SF

**PARKING SUMMARY**  
 PARKING REQUIRED  
 COSTCO: 154,539 SF @ 4/1000 SF 618 STALLS  
 TOTAL PARKING REQUIRED 618 STALLS

PARKING PROVIDED 619 STALLS  
 LANDSCAPE REQUIRED: 85,323 SF (15%)  
 (MIN. 15% OF NET AREA)  
 LANDSCAPE PROVIDED 100,321 SF (17.6%)

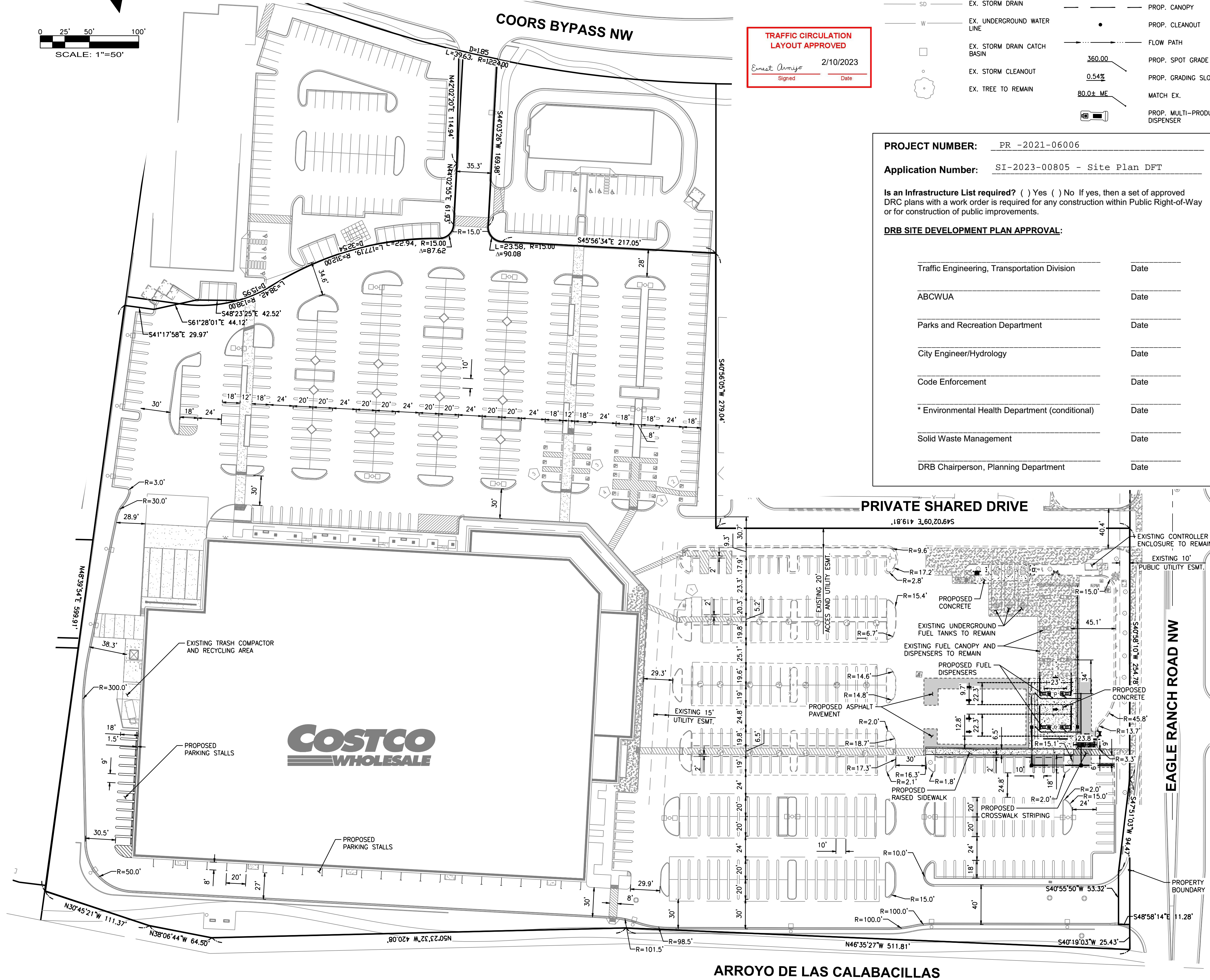
**NOTE:**

THIS PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT.



**PRELIMINARY OVERALL SITE PLAN**

**COSTCO WHOLESALE FUEL EXPANSION**  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WAREHOUSE #1016**



**LEGEND**

[Symbol]	EX. CONCRETE	[Symbol]	PROP. ASPHALT
[Symbol]	EX. CURB	[Symbol]	PROP. CONCRETE
[Symbol]	EX. CANOPY DRIPLINE	[Symbol]	PROP. CURB AND GUTTER
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[Symbol]	EX. EDGE OF PAVEMENT	[Symbol]	PROP. STORM PIPE
[Symbol]	EX. STORM DRAIN	[Symbol]	PROP. CANOPY
[Symbol]	EX. UNDERGROUND WATER LINE	[Symbol]	PROP. CLEANOUT
[Symbol]	EX. STORM DRAIN CATCH BASIN	[Symbol]	FLOW PATH
[Symbol]	EX. STORM CLEANOUT	[Symbol]	360.00 PROP. SPOT GRADE
[Symbol]	EX. TREE TO REMAIN	[Symbol]	0.54% PROP. GRADING SLOPE
		[Symbol]	80.0± ME MATCH EX.
		[Symbol]	PROP. MULTI-PRODUCT DISPENSER

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Ernest Arriaga 2/10/2023  
 Signed Date

**PROJECT NUMBER:** PR -2021-06006

**Application Number:** SI-2023-00805 - Site Plan DFT

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

No.	Date	By	Appr.	Revision

**Title:** PRELIMINARY OVERALL SITE PLAN  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WAREHOUSE #1016**

**For:** **COSTCO WHOLESALE**  
**999 LAKE DRIVE**  
**ISSAQUAH, WA 98027**

Scale: Horizontal 1"=50' Vertical N/A  
 Designed: LPH  
 Drawn: LPH  
 Checked: JSL  
 Approved: MESP  
 Date: 2/18/23

**Barghausen Consulting Engineers, Inc.**  
 18215 72nd Avenue South  
 Kent, WA 98032  
 425.251.6222 [barghausen.com](http://barghausen.com)

Job Number: 12735  
 Sheet: 1 of 1

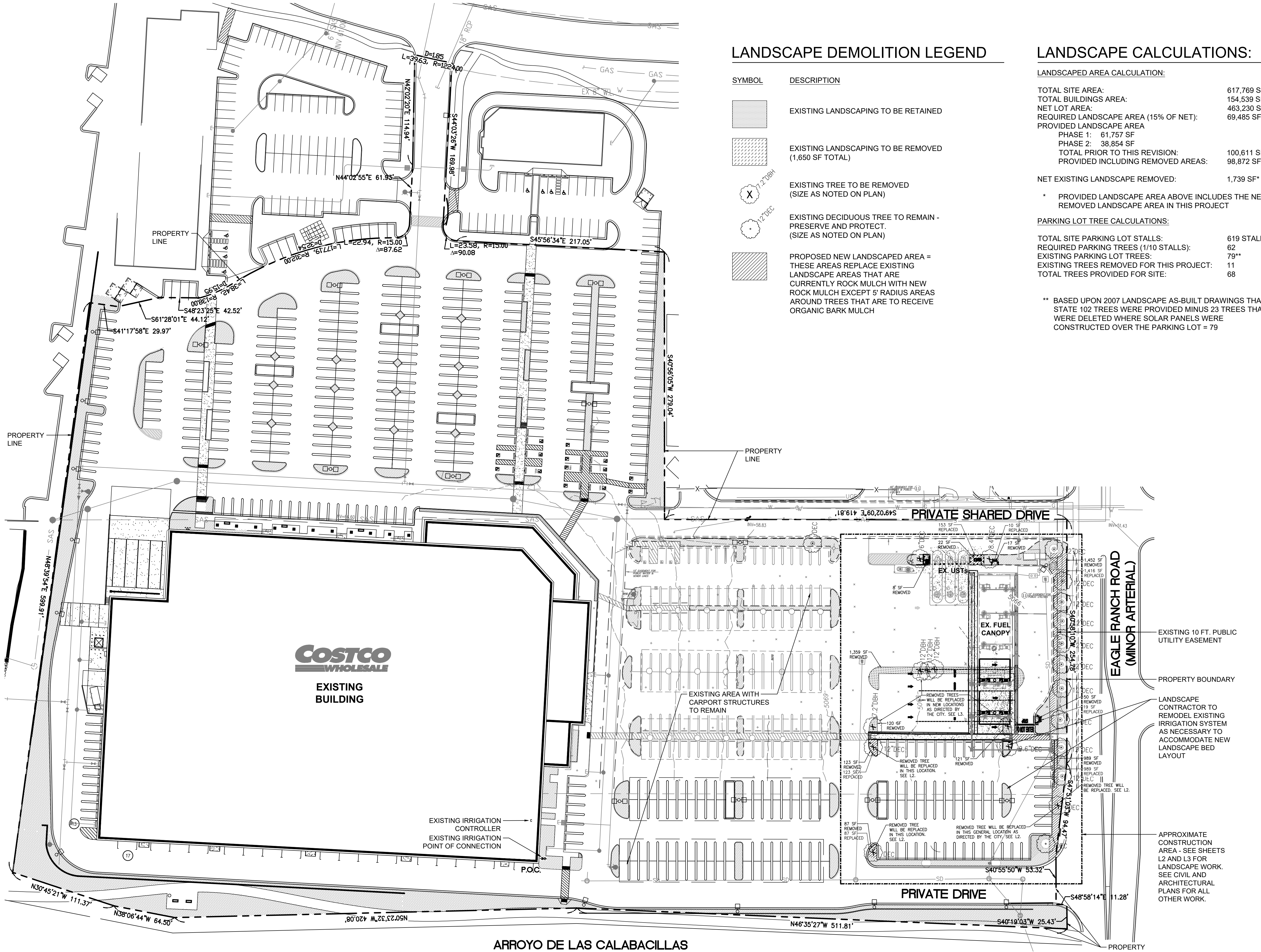




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# LANDSCAPE DEMOLITION PLAN

**COSTCO WHOLESALE FUEL EXPANSION**  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WHOLESALE FACILITY #1016**



## LANDSCAPE DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXISTING LANDSCAPING TO BE RETAINED
	EXISTING LANDSCAPING TO BE REMOVED (1,650 SF TOTAL)
	EXISTING TREE TO BE REMOVED (SIZE AS NOTED ON PLAN)
	EXISTING DECIDUOUS TREE TO REMAIN - PRESERVE AND PROTECT. (SIZE AS NOTED ON PLAN)
	PROPOSED NEW LANDSCAPED AREA = THESE AREAS REPLACE EXISTING LANDSCAPE AREAS THAT ARE CURRENTLY ROCK MULCH WITH NEW ROCK MULCH EXCEPT 5' RADIUS AREAS AROUND TREES THAT ARE TO RECEIVE ORGANIC BARK MULCH

## LANDSCAPE CALCULATIONS:

LANDSCAPED AREA CALCULATION:	
TOTAL SITE AREA:	617,769 SF
TOTAL BUILDINGS AREA:	154,539 SF
NET LOT AREA:	463,230 SF
REQUIRED LANDSCAPE AREA (15% OF NET):	69,485 SF
PROVIDED LANDSCAPE AREA	
PHASE 1:	61,757 SF
PHASE 2:	38,854 SF
TOTAL PRIOR TO THIS REVISION:	100,611 SF
PROVIDED INCLUDING REMOVED AREAS:	98,872 SF*
NET EXISTING LANDSCAPE REMOVED:	1,739 SF*
* PROVIDED LANDSCAPE AREA ABOVE INCLUDES THE NET REMOVED LANDSCAPE AREA IN THIS PROJECT	
PARKING LOT TREE CALCULATIONS:	
TOTAL SITE PARKING LOT STALLS:	619 STALLS
REQUIRED PARKING TREES (1/10 STALLS):	62
EXISTING PARKING LOT TREES:	79**
EXISTING TREES REMOVED FOR THIS PROJECT:	11
TOTAL TREES PROVIDED FOR SITE:	68

\*\* BASED UPON 2007 LANDSCAPE AS-BUILT DRAWINGS THAT STATE 102 TREES WERE PROVIDED MINUS 23 TREES THAT WERE DELETED WHERE SOLAR PANELS WERE CONSTRUCTED OVER THE PARKING LOT = 79

## PROJECT CONTACTS:

**CIVIL ENGINEER**  
BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. S.  
KENT, WA 98032  
PHONE: (425) 251-6222  
FAX: (425) 251-8782  
CONTACT: MEGAN E.S. PALMER, P.E.  
          HAL P. GRUBB, P.E.

**LANDSCAPE ARCHITECT**  
BARGHAUSEN CONSULTING ENGINEERS, INC.  
18215 72ND AVE. S.  
KENT, WA 98032  
PHONE: (425) 251-6222  
FAX: (425) 251-8782  
CONTACT: JEFF VARLEY

## PROJECT INFORMATION:

EXISTING ZONING: NR-C

## LANDSCAPE SHEET INDEX:

- L1 - LANDSCAPE DEMOLITION PLAN
- L2 - LANDSCAPE PLANTING PLAN
- L3 - PLANT SCHEDULE, NOTES & DETAILS
- L4 - IRRIGATION PLAN

## LANDSCAPE LEGEND

SYMBOL	DESCRIPTION	QUANTITY
	EXISTING LANDSCAPING TO BE RETAINED - PRESERVE AND PROTECT.	--
	EXISTING DECIDUOUS TREE TO REMAIN - PRESERVE AND PROTECT.	--
	ORGANIC MULCH IS REQUIRED AS GROUND COVER UNDER TREES WITHIN A MINIMUM 5 FOOT RADIUS AROUND THE TREE TRUNK, BUT NOT DIRECTLY AGAINST THE TRUNK. IN THESE AREAS, WEED BARRIER FABRIC IS PROHIBITED. REMOVE EXISTING ROCK MULCH AROUND EXISTING TREES	--

Title: **LANDSCAPE DEMOLITION PLAN**

**COSTCO WHOLESALE**  
**730 LAKE DRIVE**  
**ISSAQUAH, WA 98027**

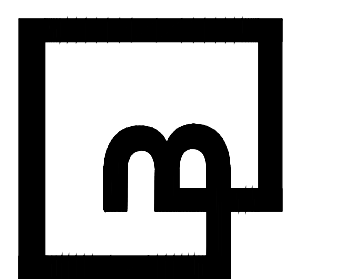
For:



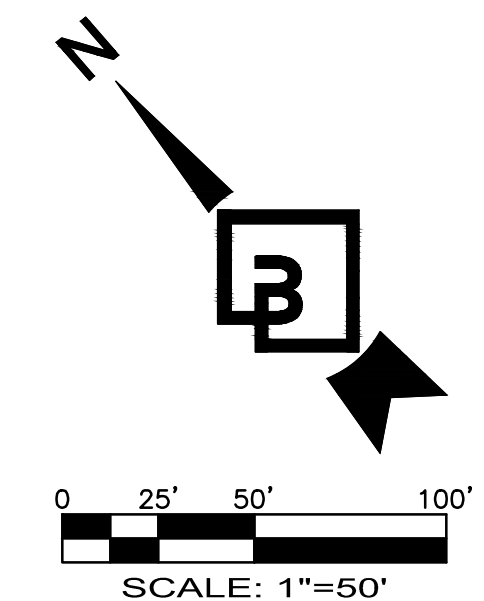
Scale:  
Horizontal 1"=50'  
Vertical

Designed \_\_\_\_\_  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_  
Date \_\_\_\_\_

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
barghausen.com



Job Number **12735**  
Sheet **L1** of **4**





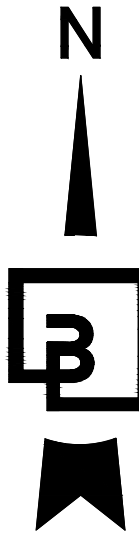
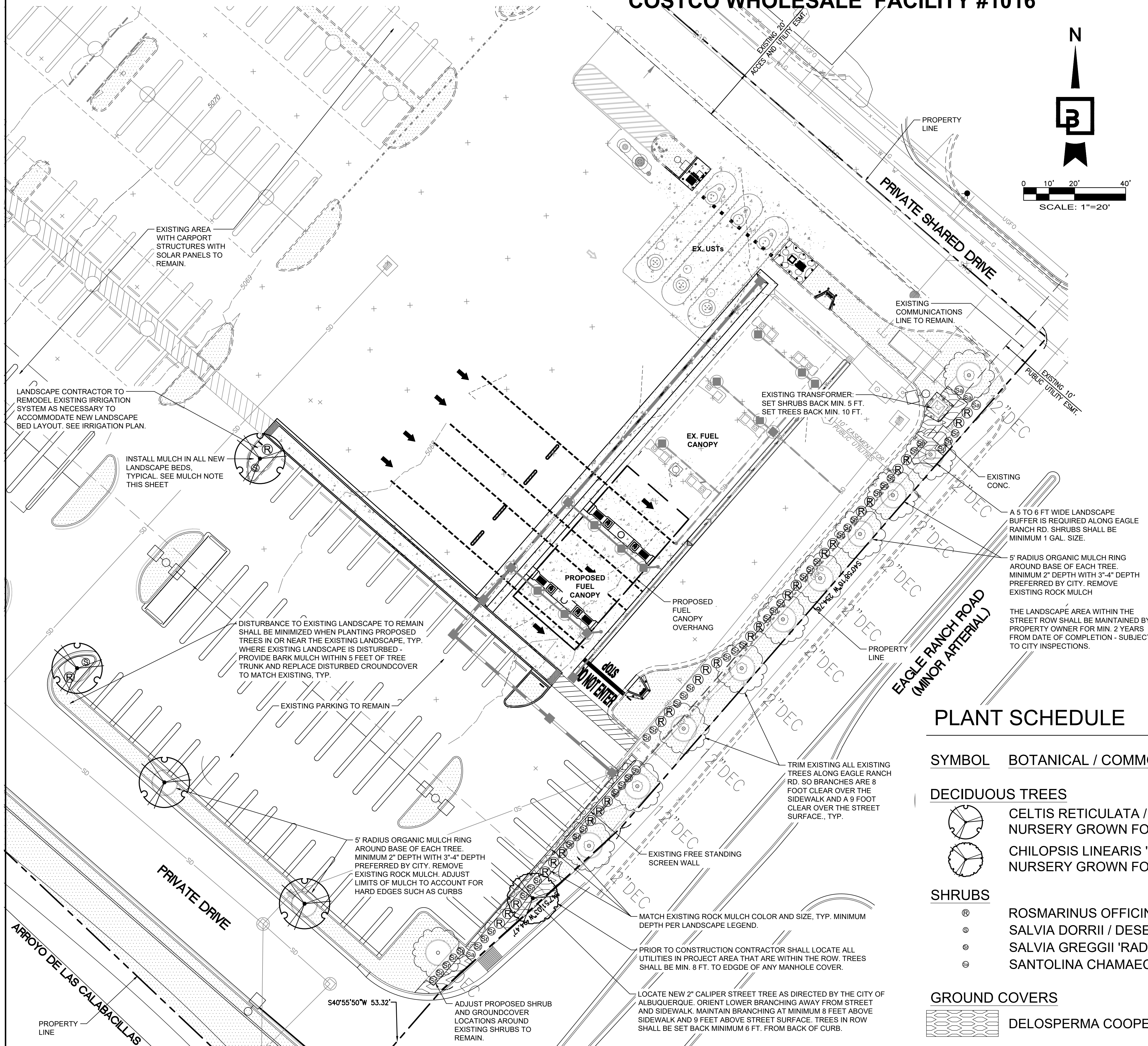


Know what's below.  
Call before you dig.  
Dial 811  
Or 1-800-321-2537

NOTE:  
ALBUQUERQUE REQUIRES THAT ORGANIC BARK MULCH, NOT ROCK MULCH, BE APPLIED WITHIN 5 FEET OF EACH TREE TRUNK. SEE PLANTING PLAN AND LANDSCAPE LEGEND FOR LINES DIVIDING BARK MULCH FROM ROCK MULCH NEAR TREES. ALL MULCH SHALL BE MINIMUM 2" DEPTH, WITH 3" TO 4" DEPTH PREFERRED BY THE CITY.

# LANDSCAPE PLANTING PLAN

**COSTCO WHOLESALE FUEL EXPANSION**  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WHOLESALE FACILITY #1016**



SCALE: 1"=20'

## PLANT SCHEDULE NOTES

- ALL TREES SHALL BE FULL, WELL BRANCHED AND SYMMETRICAL WITH STRONG, STRAIGHT, UN CUT CENTRAL LEADER.
- ALL TREES OF SAME SPECIES THAT ARE GROUPED TOGETHER SHALL BE MATCHED SPECIMENS.
- STREET TREES SHALL BE MINIMUM 2" CALIPER 6 INCHES ABOVE GRADE. DECIDUOUS ACCENT TREES SHALL BE MIN. 1.5" CALIPER 6 INCHES ABOVE GRADE. EVERGREEN (CONIFER) TREES SHALL BE MIN. 6 FT. HT. BROADLEAF EVERGREEN TREES THAT ARE NOT STREET TREES SHALL BE MIN. 1.5" CALIPER 6 INCHES ABOVE GRADE.
- PRESERVE AND PROTECT ALL EXISTING TREES TO REMAIN PER CITY OF ALBUQUERQUE TREE PROTECTION STANDARDS.
- STAKE AND GUY ALL TREES FOR ONE GROWING SEASON.
- REMOVE ALL WEEDS FROM PLANT ROOT BALLS AND CONTAINERS PRIOR TO PLANTING. DISCARD IN CITY APPROVED OFF-SITE LOCATION.
- ALL GROUNDCOVERS SHALL BE WELL ROOTED WITH FULL TOP GROWTH, AND BE PLANTED WITH TRIANGULAR SPACING. SEE DETAIL ON SHEET L3.
- ALL SHRUBS TO BE WELL ROOTED, SYMMETRICAL, FULL AND BUSHY.
- ALL PLANTS SHALL BE NURSERY GROWN, NOT COLLECTED.
- APPLY ROCK MULCH PER LANDSCAPE LEGEND TO THE SURFACES OF ALL PLANTED AREAS EXCEPT WHERE ORGANIC BARK MULCH IS SHOWN WITHIN 5 FEET OF ALL TREES AS SHOWN ON SHEET L2. SEE LANDSCAPE LEGEND ON SHEET L2.
- ALL PLANTS SHALL BE IRRIGATED AND MAINTAINED IN A HEALTHY CONDITION THROUGH THE ONE YEAR GUARANTEE PERIOD.

## PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT.	SIZE	QTY
<b>DECIDUOUS TREES</b>				
	CELTIS RETICULATA / NETLEAF HACKBERRY NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	1.5" CAL.	4
	CHILOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	2" CAL	1
<b>SHRUBS</b>				
	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY	#1	48" o.c.	28
	SALVIA DORRII / DESERT SAGE	#1	36" o.c.	2
	SALVIA GREGGII 'RADIO RED' / RADIO RED AUTUMN SAGE	#1	36" o.c.	42
	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON	#1	42" o.c.	5
<b>GROUND COVERS</b>				
	DELOSPERMA COOPERI / PURPLE ICE PLANT	#1	30" o.c.	78

No.	Date	By	Chd.	Appr.	Revision
06.6.24	JMV	JMV			RESPONSE TO COMMENTS
04.18.24	JMV	JMV			RESPONSE TO COMMENTS
03.27.24	JMV	JMV			RESPONSE TO COMMENTS

Title: **LANDSCAPE PLANTING PLAN**

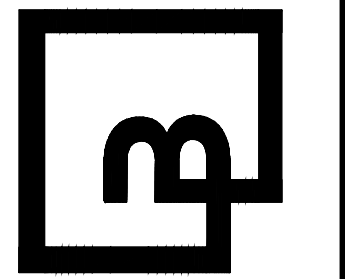
For: **COSTCO WHOLESALE**  
**730 LAKE DRIVE**  
**ISSAQUAH, WA 98027**



Scale: Horizontal 1"=20' Vertical

Designed \_\_\_\_\_  
Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_  
Date \_\_\_\_\_

**Barghausen Consulting Engineers, Inc.**  
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Job Number **12735**  
Sheet **L2** of **4**





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# PLANT SCHEDULE, NOTES AND DETAILS

## COSTCO WHOLESALE FUEL EXPANSION 9955 COORS BYPASS BLVD NW ALBUQUERQUE, NM 87114 COSTCO WHOLESALE FACILITY #1016

NOTE:  
ALBUQUERQUE REQUIRES THAT ORGANIC BARK MULCH, NOT ROCK MULCH, BE APPLIED WITHIN 5 FEET OF EACH TREE TRUNK. SEE PLANTING PLAN AND LANDSCAPE LEGEND FOR LINES DIVIDING BARK MULCH FROM ROCK MULCH NEAR TREES. ALL MULCH SHALL BE MINIMUM 2" DEPTH, WITH 3" TO 4" DEPTH PREFERRED BY THE CITY.

### LANDSCAPE PLANTING NOTES AND MATERIALS

#### SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS:  
LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESIDING JURISDICTION.

JOB CONDITIONS:  
IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:  
SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:  
DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

GUARANTEE:  
GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

30-DAY MAINTENANCE:  
CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING STORE OPENING. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:  
SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:

- DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
- TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
- TREE STAKING AND GUYING MATERIALS - MANUFACTURERS DATA.
- TOPSOIL AND MULCH - COLOR PHOTO WITH SCALE AND MANUFACTURER'S DATA.
- PLANTING SCHEDULE INCLUDING DATES AND TIMES.
- MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

#### MATERIALS:

PLANT MATERIALS:  
PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.

B) QUALITY:  
PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION. PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY; HAVE MULTIPLE LEADERS OR "M" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.

C) SUBSTITUTION:  
NO SUBSTITUTION OF PLANT MATERIAL SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.

D) LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.

E) DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL PREPARATION:  
TOPSOIL, AMENDMENT, AND BACKFILL, ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:  
AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONERS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

A) TOPSOIL:  
CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES.

B) TOPSOIL TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT.

C) TOPSOIL PREPARATION AND INSTALLATION:  
1. VERIFY SUBGRADES TO -9 INCHES IN LANDSCAPE AREAS OR AS INDICATED ON PLANS. THIS ACCOMMODATES TOPSOIL, AMENDMENTS, AND MULCH. 6" IMPORTED TOPSOIL FOR LANDSCAPE BEDS.  
2. ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.  
3. REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.  
4. REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.

D) TOPSOIL PLACEMENT:  
1. PROVIDE A TOTAL FINISH COURSE OF 6 INCHES OF TOPSOIL FOR LANDSCAPE AREAS.  
2. PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.

ORGANIC MULCH (TOPDRESSING):  
MATCH EXISTING MULCH TYPE AND DEPTH.

STAKES:  
2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:  
1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

#### EXECUTION:

CONTAMINANTS:  
VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:  
FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 3 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

TREES AND SHRUBS:  
ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

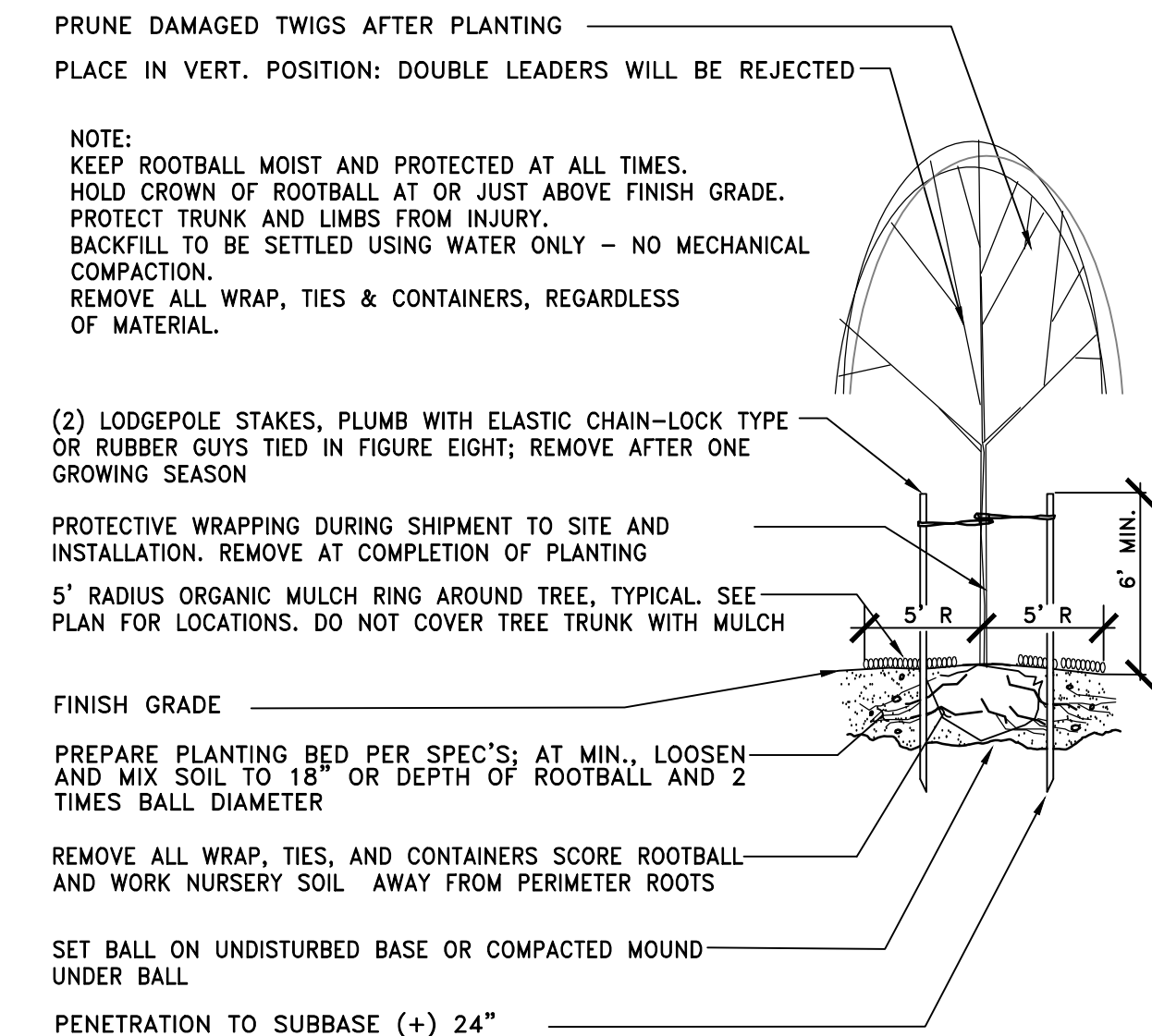
GROUNDCOVERS:  
EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO INSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:  
MULCH ALL PROPOSED LANDSCAPE AREAS AND EXISTING LANDSCAPE AREAS DISTURBED BY NEW CONSTRUCTION. AT A MINIMUM, APPLY SUFFICIENT QUANTITY TO PROVIDE A 3-INCH DEPTH AFTER SETTLEMENT.

UTILITY CLEARANCES:  
FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

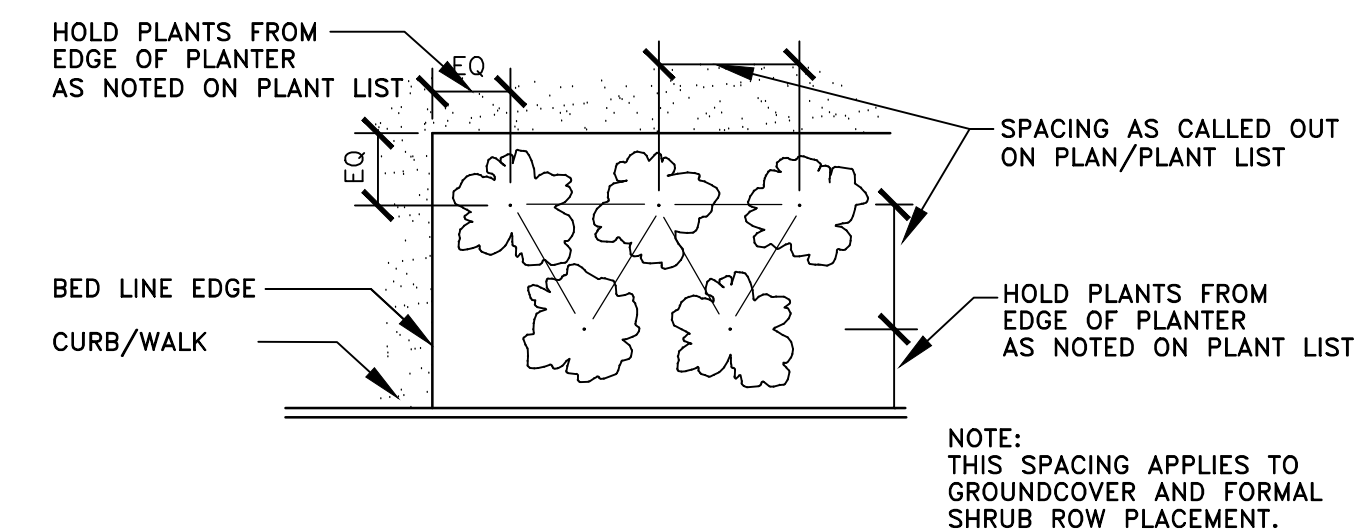
CLEANUP AND PROTECTION:  
DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRASPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

PLANTING MAINTENANCE:  
PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.



### DECIDUOUS TREE PLANTING/STAKING DETAIL

NOT TO SCALE

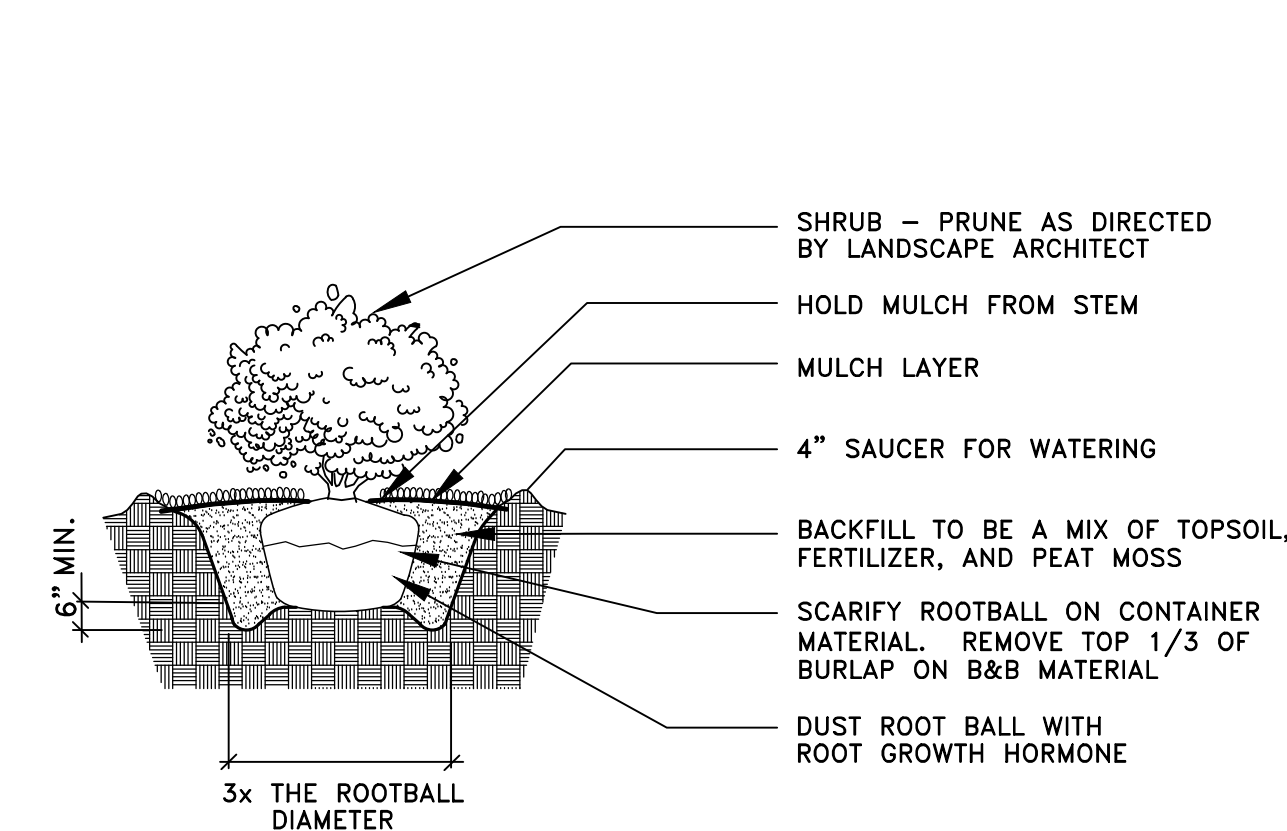


### PLANT MATERIAL SPACING DETAIL

NOT TO SCALE

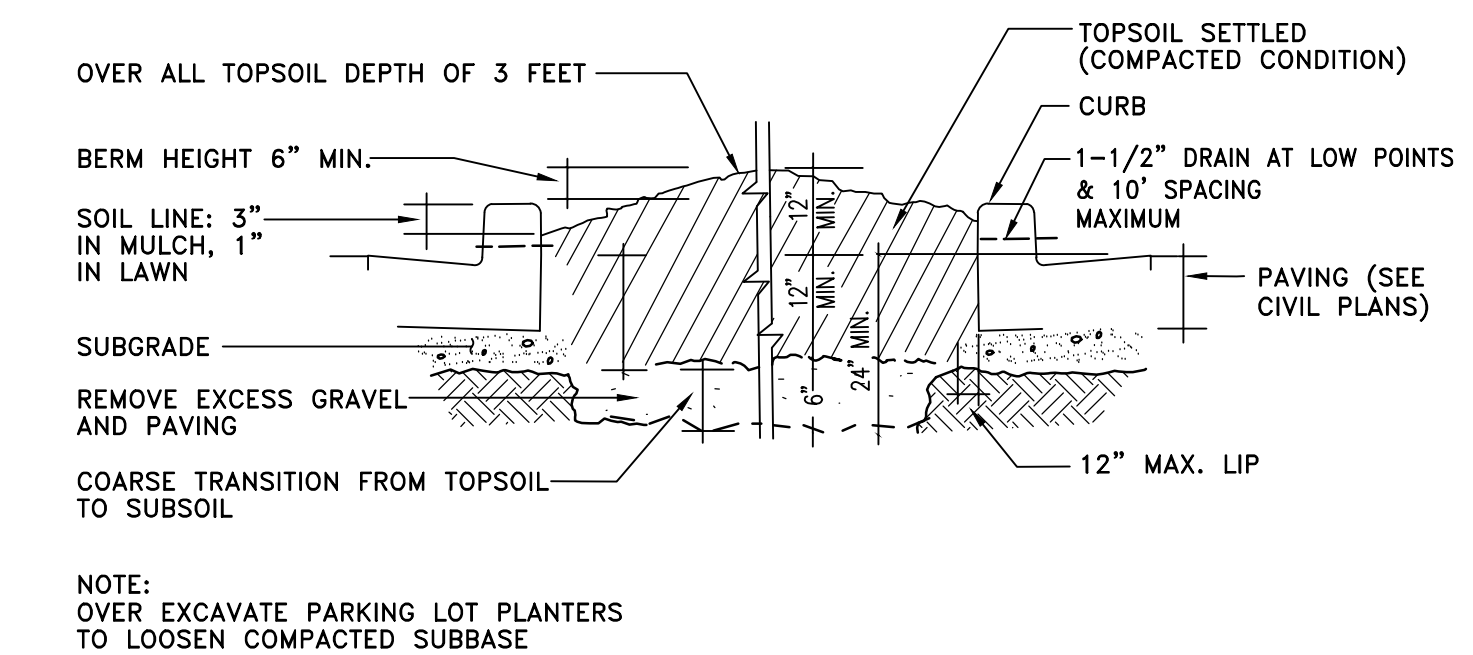
### GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



### SHRUB PLANTING DETAIL

NOT TO SCALE



### GRADING • PARKING LOT PLANTERS DETAIL

NOT TO SCALE

DEDUCT ALT #1: IF LANDSCAPE CONTRACTOR CAN DEMONSTRATE WITH A SOIL ANALYSIS (OR SIMILAR) THAT PARKING LOT ISLAND PLANTERS HAVE EXISTING SOIL THAT HAS SIMILAR QUALITIES AS THE IMPORTED TOPSOIL, 6" OF ORGANIC COMPOST CAN BE INSTALLED IN THE PLANTERS AND CULTIVATED INTO THE TOP 12"-18" OF EXISTING SOIL.

RESPONSE TO COMMENTS		RESPONSE TO COMMENTS		RESPONSE TO COMMENTS	
No.	Date	By	Cd.	Appr.	Revision
06.6.24		JMV			
04.18.24		JMV			
03.27.24		UT/AV			

Title: **PLANT SCHEDULE, NOTES AND DETAILS**

**COSTCO WHOLESALE**  
730 LAKE DRIVE  
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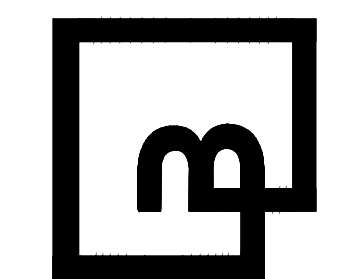
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Vertical

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Drawn \_\_\_\_\_  
Checked \_\_\_\_\_  
Approved \_\_\_\_\_  
Date \_\_\_\_\_

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Job Number **12735**  
Sheet **L3** of **4**

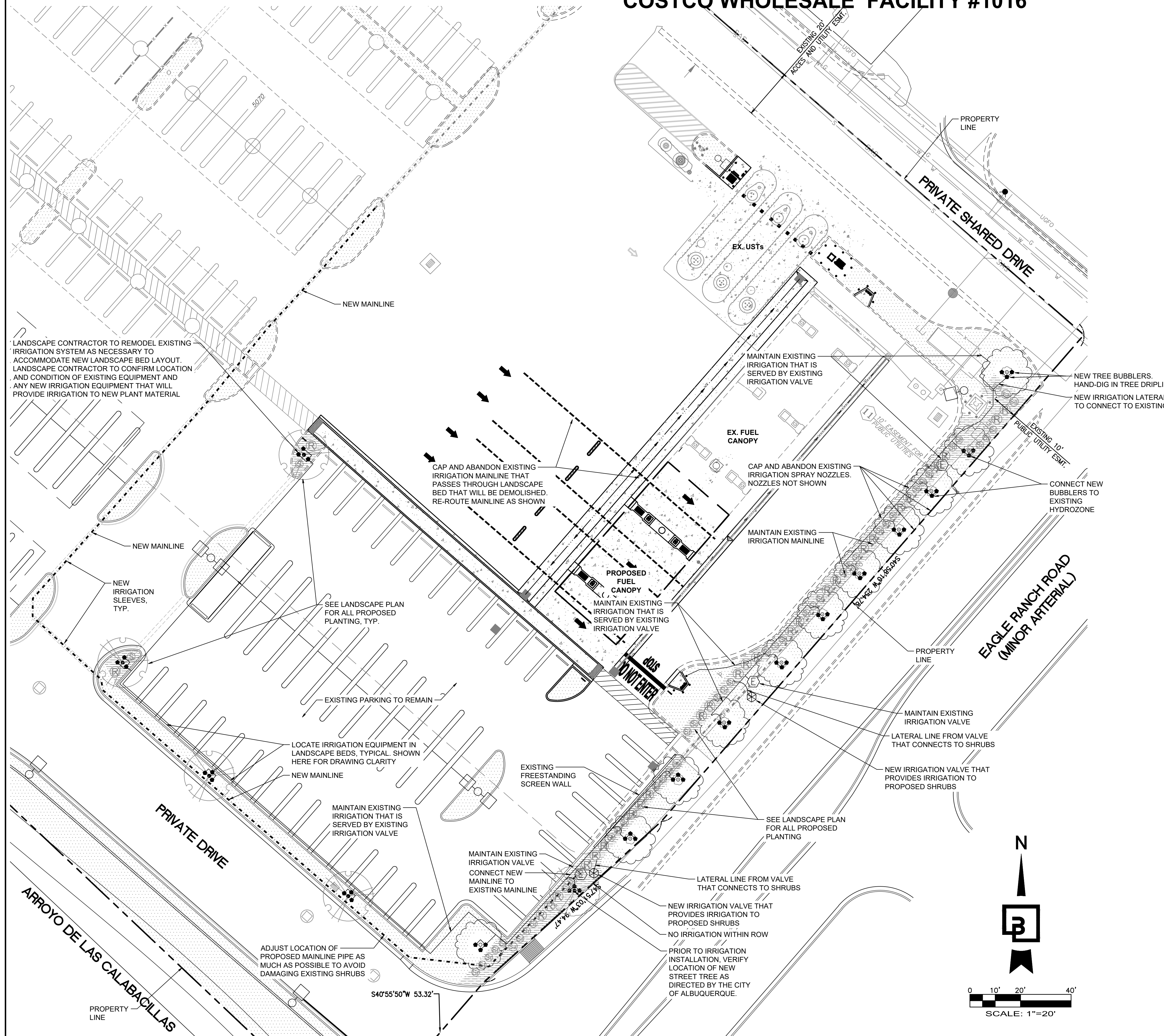




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# LANDSCAPE IRRIGATION PLAN

**COSTCO WHOLESALE FUEL EXPANSION**  
**9955 COORS BYPASS BLVD NW**  
**ALBUQUERQUE, NM 87114**  
**COSTCO WHOLESALE FACILITY #1016**



LANDSCAPE CONTRACTOR TO REMODEL EXISTING IRRIGATION SYSTEM AS NECESSARY TO ACCOMMODATE NEW LANDSCAPE BED LAYOUT. LANDSCAPE CONTRACTOR TO CONFIRM LOCATION AND CONDITION OF EXISTING EQUIPMENT AND ANY NEW IRRIGATION EQUIPMENT THAT WILL PROVIDE IRRIGATION TO NEW PLANT MATERIAL.

NEW IRRIGATION SLEEVES, TYP.

SEE LANDSCAPE PLAN FOR ALL PROPOSED PLANTING, TYP.

LOCATE IRRIGATION EQUIPMENT IN LANDSCAPE BEDS, TYPICAL SHOWN HERE FOR DRAWING CLARITY

MAINTAIN EXISTING IRRIGATION THAT IS SERVED BY EXISTING IRRIGATION VALVE

ADJUST LOCATION OF PROPOSED MAINLINE PIPE AS MUCH AS POSSIBLE TO AVOID DAMAGING EXISTING SHRUBS

CAP AND ABANDON EXISTING IRRIGATION MAINLINE THAT PASSES THROUGH LANDSCAPE BED THAT WILL BE DEMOLISHED. RE-ROUTE MAINLINE AS SHOWN

MAINTAIN EXISTING IRRIGATION THAT IS SERVED BY EXISTING IRRIGATION VALVE

CAP AND ABANDON EXISTING IRRIGATION SPRAY NOZZLES. NOZZLES NOT SHOWN

MAINTAIN EXISTING IRRIGATION MAINLINE

PROPOSED FUEL CANOPY

MAINTAIN EXISTING IRRIGATION THAT IS SERVED BY EXISTING IRRIGATION VALVE

EXISTING FREESTANDING SCREEN WALL

MAINTAIN EXISTING IRRIGATION VALVE. CONNECT NEW MAINLINE TO EXISTING MAINLINE

LATERAL LINE FROM VALVE THAT CONNECTS TO SHRUBS

NEW IRRIGATION VALVE THAT PROVIDES IRRIGATION TO PROPOSED SHRUBS

NO IRRIGATION WITHIN ROW

PRIOR TO IRRIGATION INSTALLATION, VERIFY LOCATION OF NEW STREET TREE AS DIRECTED BY THE CITY OF ALBUQUERQUE.

EX. FUEL CANOPY

MAINTAIN EXISTING IRRIGATION THAT IS SERVED BY EXISTING IRRIGATION VALVE

MAINTAIN EXISTING IRRIGATION MAINLINE

PROPOSED FUEL CANOPY

MAINTAIN EXISTING IRRIGATION THAT IS SERVED BY EXISTING IRRIGATION VALVE

EXISTING FREESTANDING SCREEN WALL

MAINTAIN EXISTING IRRIGATION VALVE. CONNECT NEW MAINLINE TO EXISTING MAINLINE

LATERAL LINE FROM VALVE THAT CONNECTS TO SHRUBS

NEW IRRIGATION VALVE THAT PROVIDES IRRIGATION TO PROPOSED SHRUBS

NO IRRIGATION WITHIN ROW

PRIOR TO IRRIGATION INSTALLATION, VERIFY LOCATION OF NEW STREET TREE AS DIRECTED BY THE CITY OF ALBUQUERQUE.

MAINTAIN EXISTING IRRIGATION THAT IS SERVED BY EXISTING IRRIGATION VALVE

MAINTAIN EXISTING IRRIGATION MAINLINE

NEW TREE BUBBLERS. HAND-DIG IN TREE DRIPLINE

NEW IRRIGATION LATERAL TO CONNECT TO EXISTING

CONNECT NEW BUBBLERS TO EXISTING HYDROZONE

PROPERTY LINE

EXISTING 10' PUBLIC UTILITY ESM.

PROPERTY LINE

MAINTAIN EXISTING IRRIGATION VALVE

LATERAL LINE FROM VALVE THAT CONNECTS TO SHRUBS

NEW IRRIGATION VALVE THAT PROVIDES IRRIGATION TO PROPOSED SHRUBS

SEE LANDSCAPE PLAN FOR ALL PROPOSED PLANTING

LATERAL LINE FROM VALVE THAT CONNECTS TO SHRUBS

NEW IRRIGATION VALVE THAT PROVIDES IRRIGATION TO PROPOSED SHRUBS

NO IRRIGATION WITHIN ROW

PRIOR TO IRRIGATION INSTALLATION, VERIFY LOCATION OF NEW STREET TREE AS DIRECTED BY THE CITY OF ALBUQUERQUE.

## IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION			
<b>DRIP IRRIGATION:</b>				
	HUNTER LANDSCAPE DRIPLINE COMPONENTS HDL-06-12-250-CV SUB-SURFACE DRIPLINE TUBING 0.6 GPH PRESSURE COMPENSATING EMITTERS WITH CHECK VALVE AT 12" ON-CENTER SPACING - ALL TUBING SHALL BE INSTALLED ON GRADE W/ 9" WIRE STAKES FOUR (4) FEET ON-CENTER; VERIFY THE LAYOUT AND 18" ON-CENTER SPACING IN THE FIELD PRIOR TO STARTING WORK. INSTALL ALL COMPONENTS PER MANUF. SPECIFICATIONS. USE HUNTER PLD-LOC FITTINGS FOR CONNECTION BETWEEN PVC LATERAL LINES AND INLINE DRIP TUBING			
<b>BUBBLERS:</b>				
SYMBOL	DESCRIPTION- TREE WATERING EMITTERS	PSI	EMITTER GPM	SPACING
	RAINBIRD 1401 PRESSURE COMPENSATING THREADED BUBBLER, INSTALL ON 12" HEIGHT PVC RISER (20 GALLONS PER HOUR, 0.25 GALLONS PER MINUTE). INSTALL 3 PER TREE	20	0.25	AS SHOWN

ADD'L PROPOSED EQUIPMENT:	
SYMBOL	DESCRIPTION
	DRIP IRRIGATION: HUNTER ICV SERIES ELECTRIC REMOTE CONTROL VALVE. LOCATE VALVE ADJACENT TO EXISTING VALVE. CONNECT TUCOR INC. "HYBRID 3D" DAISY-CHAIN DOUBLER THAT ALLOWS VALVE TO BE CONNECTED TO EXISTING CONTROLLER WITHOUT RUNNING WIRE BACK TO CONTROLLER
	EXISTING CONTROLLER LOCATED INSIDE BUILDING. SEE SHEET L-1 FOR LOCATION

**P.O.C.**

EXISTING IRRIGATION WATER METER AND BACKFLOW PREVENTION DEVICE. SEE SHEET L-1 FOR LOCATION

MAINLINE - SCH 40 PVC (18" COVER); SIZE PER PLAN, 1-1/2" SIZE MINIMUM

LATERAL - SCH 40 PVC (12" COVER); SIZE PER PLAN, 3/4" SIZE MINIMUM

SLEEVE - SCH 40 PVC; 24" MINIMUM COVER AT VEHICLE CROSSINGS AND 18" MINIMUM COVER IN LANDSCAPE AREAS, 4" DIAMETER

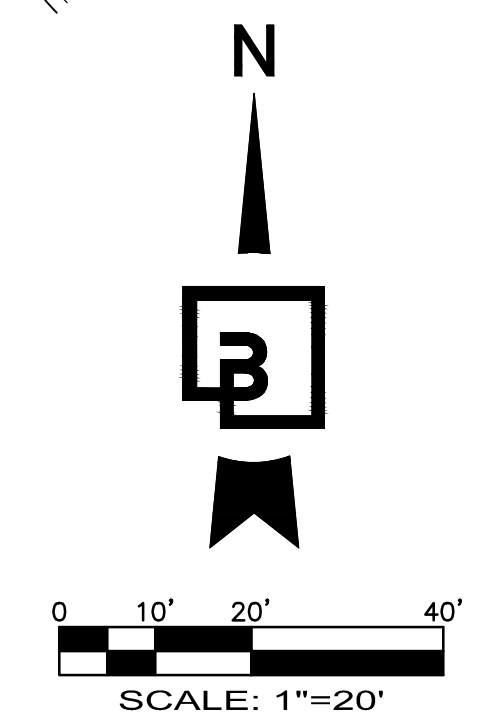
LANDSCAPE CONTRACTOR IS CONNECTING TO AN EXISTING IRRIGATION SYSTEM. NOTIFY LANDSCAPE ARCHITECT IN WRITING IF ANY PORTIONS ARE NOT IN GOOD WORKING ORDER OR ARE INADEQUATE FOR THE PURPOSES OF PROVIDING IRRIGATION FOR NEW PLANT MATERIAL.

## SCH 40 PIPE SIZING CHART

PIPE SIZE	3/4"	1"	1 1/4"	1 1/2"	2"	2 1/2"
FLOW GPM	1-8	8-13	13.1-23	23.1-32	32.1-53	53.1-74 GPM (MAX.)

IRRIGATION SHOWN DIAGRAMMATICALLY FOR PLAN CLARITY. COMMON TRENCH AND PLACE EQUIPMENT IN LANDSCAPE; MANIFOLD GROUPED VALVES IN ADJACENT SHRUB AREAS WHERE FEASIBLE.

EXISTING EQUIPMENT:	
SYMBOL	DESCRIPTION
	EXISTING REMOTE CONTROL VALVE - APPROXIMATE LOCATION.
	EXISTING MAINLINE - APPROXIMATE LOCATION



No.	Date	By	Chd.	Appr.	Revision
06.6.24	JMW	JMW	JMW	JMW	RESPONSE TO COMMENTS
04.18.24	JMW	JMW	JMW	JMW	RESPONSE TO COMMENTS
03.27.24	UT/AV	JMW	JMW	JMW	RESPONSE TO COMMENTS

Title: **LANDSCAPE PLANTING PLAN**

For: **COSTCO WHOLESALE**  
**730 LAKE DRIVE**  
**ISSAQUAH, WA 98027**



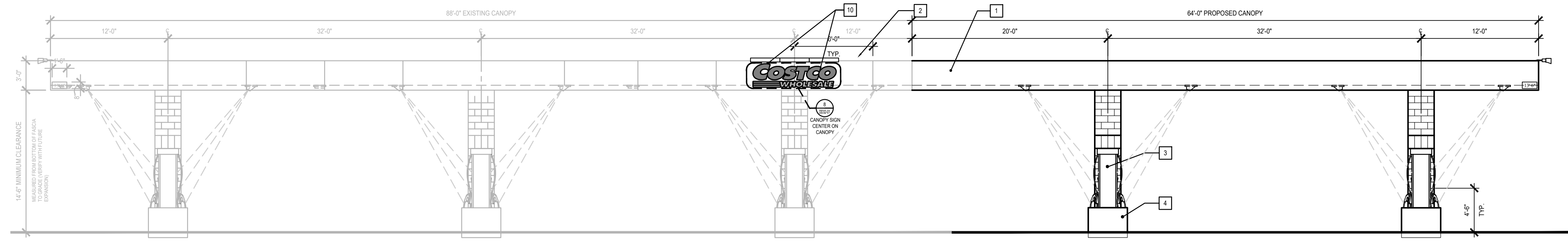
Scale:	Horizontal	Vertical
	1"=20'	

**Barghausen Consulting Engineers, Inc.**  
18215 72nd Avenue South  
Kent, WA 98032  
425.251.6222  
[barghausen.com](http://barghausen.com)

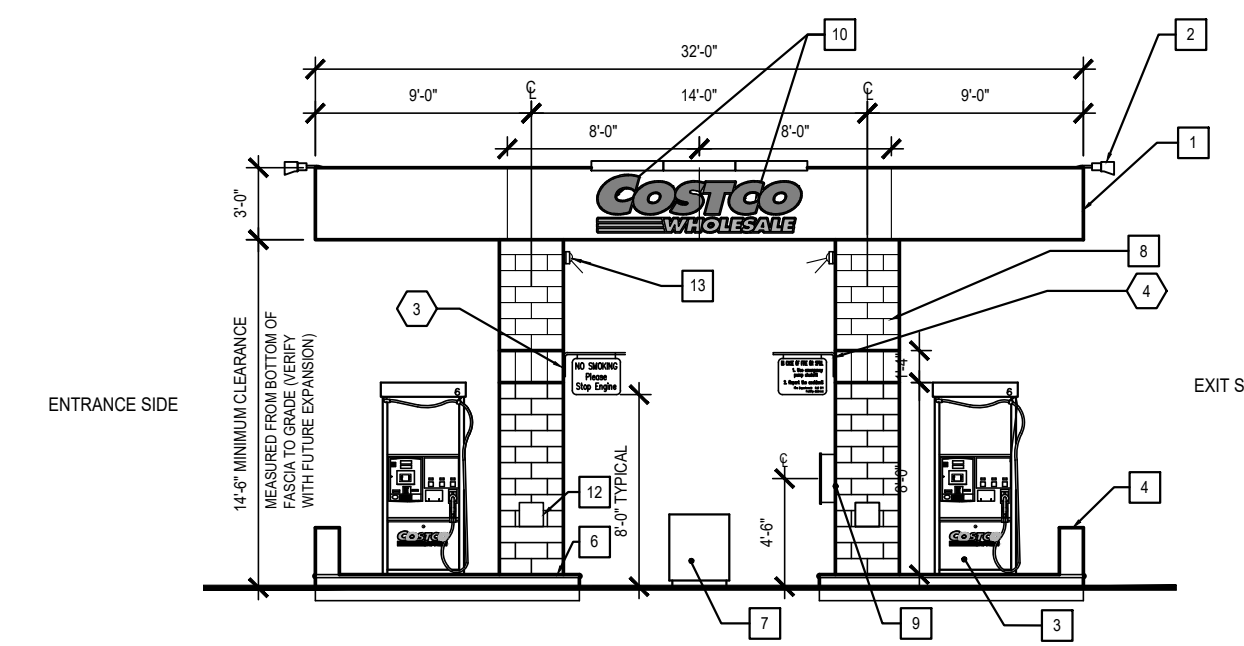
Job Number: **12735**  
Sheet: **L2** of **4**

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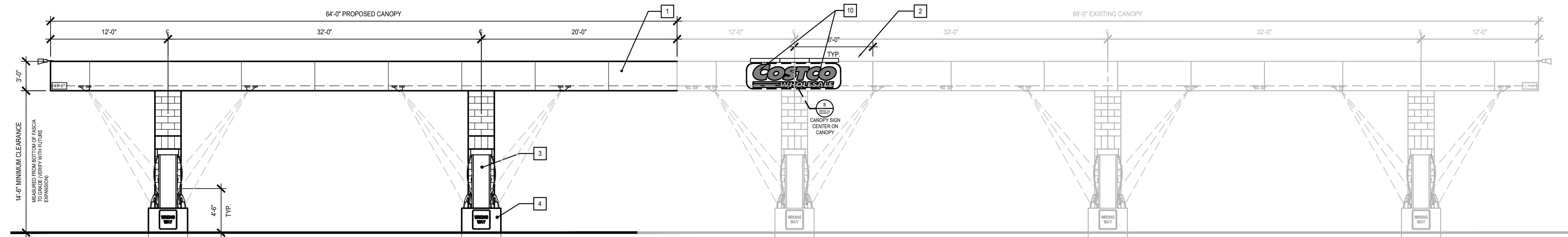




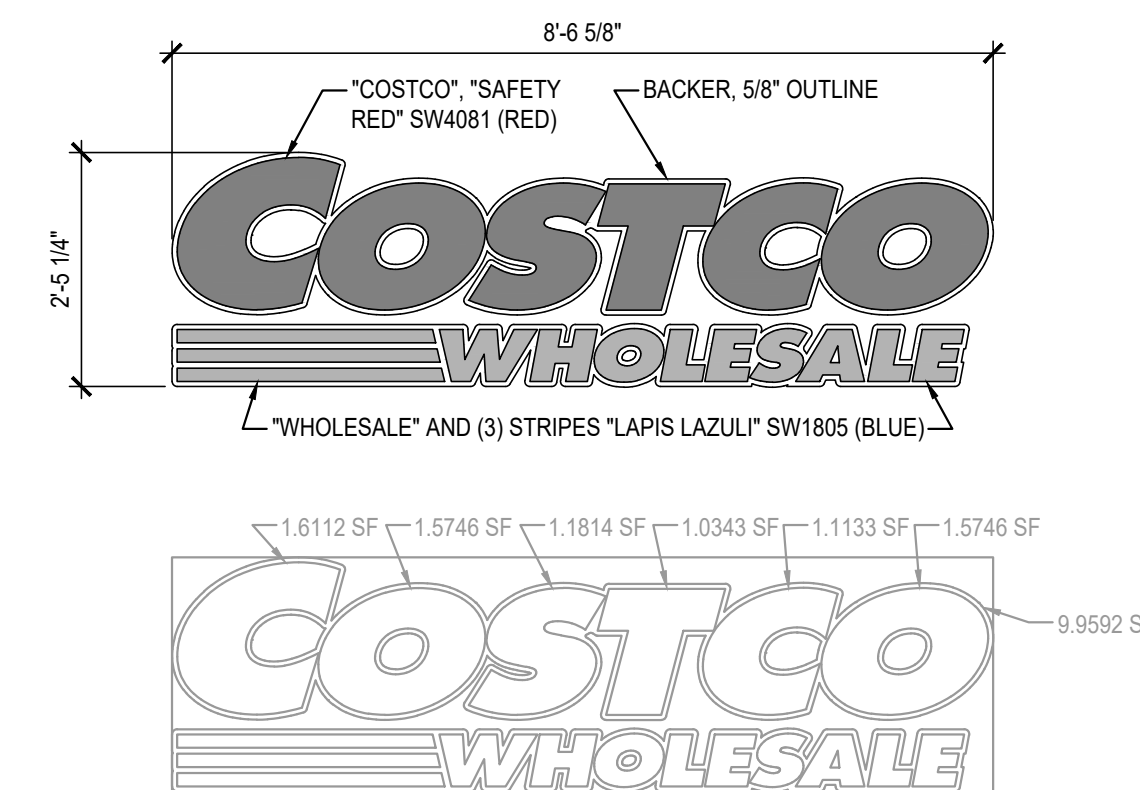
**1 WEST ELEVATION (ENTRANCE)**  
SCALE: 1/8" = 1'-0"



**4 SOUTH ELEVATION (NORTH SIMILAR)**  
SCALE: 1/8" = 1'-0"



**5 EAST ELEVATION (EXIT)**  
SCALE: 1/8" = 1'-0"



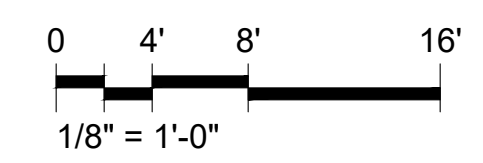
**8 CANOPY SIGN**  
SCALE: 1/2" = 1'-0"

(SUPPLIED AND INSTALLED BY CANOPY SUPPLIER) 1216

GENERAL NOTES	
A. SEE ENLARGED SITE PLAN FOR ADDITIONAL GENERAL NOTES AND ADDITIONAL DETAIL REFERENCES.	

SOIC - FUEL FACILITY SIGNAGE			
	QTY	DESCRIPTION	TYPICAL PLACEMENT
1	1	MEMBERS ONLY / ENTER HERE WITH COSTCO LOGO 18" x 24" ALUMINUM	METAL POST EACH SIDE ON ENTRANCE(S)
2	2	WRONG WAY 24" x 24" ALUMINUM	END OF EACH ISLAND FACING EXIT
3	4	NO SMOKING / STOP ENGINE 18" x 22" ALUMINUM	AT ENTRY AND EXIT COLUMNS - FLUSH MOUNT ON COLUMNS SEE SITE PLAN
4	8	IN CASE OF FIRE OR SPILL 18" x 22" ALUMINUM	AT CENTER COLUMNS - FLUSH MOUNT ALL SIDES OF COLUMN SEE SITE PLAN
5	0	NOT USED	NOT USED
6	0	NOT USED	NOT USED
7	2	EMERGENCY SHUT-OFF	ABOVE EMERGENCY SHUT-OFF ON ENCLOSURE - SEE 41A/G-5; BELOW EMERGENCY SHUT-OFF - SEE 191A/G-6
8	2	STOP/DO NOT ENTER 24" X24" ALUMINUM	METAL POST EACH SIDE OF EXIT

KEY NOTES	
1	PAINTED METAL FASCIA PANEL, COLOR "SANDALWOOD". SUPPLIED AND INSTALLED BY CANOPY SUPPLIER UNDER SEPARATE CONTRACT.
2	CANOPY FASCIA LIGHT FIXTURE. "WIDE FASCIA" FIXTURE. S.O.I.C. REFER TO 13 (0026)
3	ACCESSIBLE MULTIPRODUCT DISPENSER
4	CONCRETE-FILLED METAL FORMED GUARD AT ENDS OF ISLANDS. T.O. GUARD @ 30" ABOVE TRAFFIC SURFACE. PAINT SIDES ONLY WITH GLOSS BLUE. REFER TO SPECIFICATION
5	FUELING POSITION NUMBER, 3" HIGH WHITE DECALS.
6	RAISED CONCRETE ISLAND WITH METAL EDGE FORM. PAINT SIDES ONLY GLOSS BLACK, REFER TO SPECIFICATION
7	WASTE RECEPTOR, BOLT DOWN, CENTER OF EACH ISLAND. S.O.I.C.
8	STEEL TUBE COLUMN WITH SPLIT FACE CMU (KHAKI) AND SMOOTH FACE SOLDIER COURSE (KHAKI) AT 8'-0" (FROM TOP OF ISLAND). SEE STRUCTURAL DRAWINGS. SUPPLIED AND INSTALLED BY CANOPY SUPPLIER UNDER SEPARATE CONTRACT.
9	FIRE EXTINGUISHERS AND CABINETS MOUNTED ON COLUMN SIDE AWAY FROM DISPENSER - FIRE EXTINGUISHER CABINET TO BE: BROOKS MODEL #MARK II, RED CABINET WITH CLEAR COVER (OR EQUAL). FIRE EXTINGUISHER AND CABINET, BY GC.
10	PANELS BEHIND SIGNAGE TO BE PAINTED SMOOTH. COLOR TO MATCH CANOPY FASCIA.
11	CAULK PERIMETER OF DISPENSER BASE WITH PETROLEUM RESISTANT SEALANT, TYPICAL.
12	12" x 12" ELECTRICAL ACCESS PANELS, SUPPLIED BY SPAN
13	VIDEO CAMERA - VERIFY LOCATION WITH OWNER CONSTRUCTION PROJECT MANAGER. GC SHALL RUN CONDUIT AND INSTALL 3" ROUND OR OCTAGONAL J-BOX FOR MOUNTING CAMERAS



**COSTCO WHOLESALE**  
NW ALBUQUERQUE, NM  
1016

9955 OORS BYPASS NW  
ALBUQUERQUE, NM

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05-0374-09  
JUNE 08, 2023

CONCEPT  
ELEVATIONS

DD32-01

**COSTCO WHOLESALE**

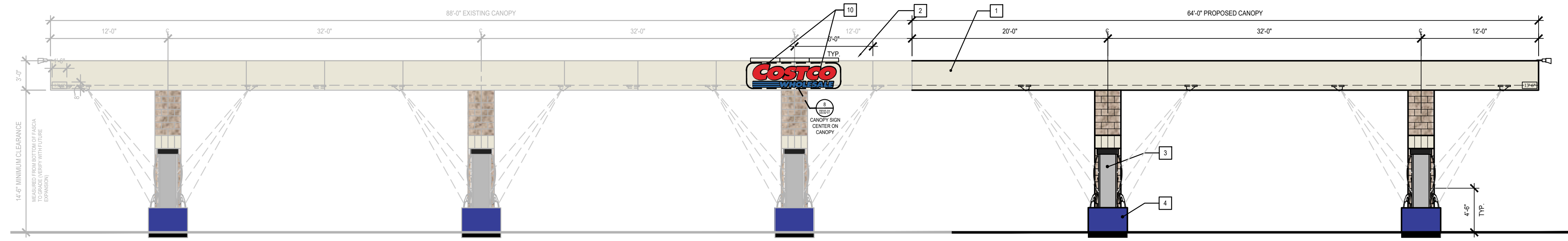
NW ALBUQUERQUE, NM

**CONCEPT ELEVATIONS**

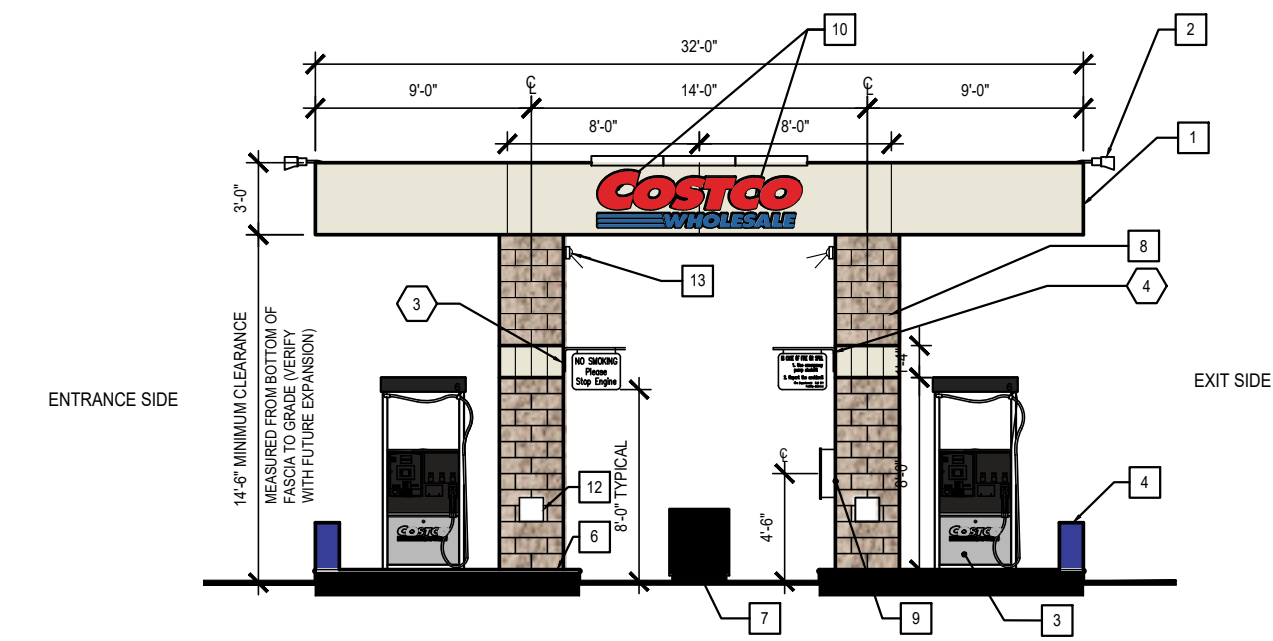
JUNE 08, 2023

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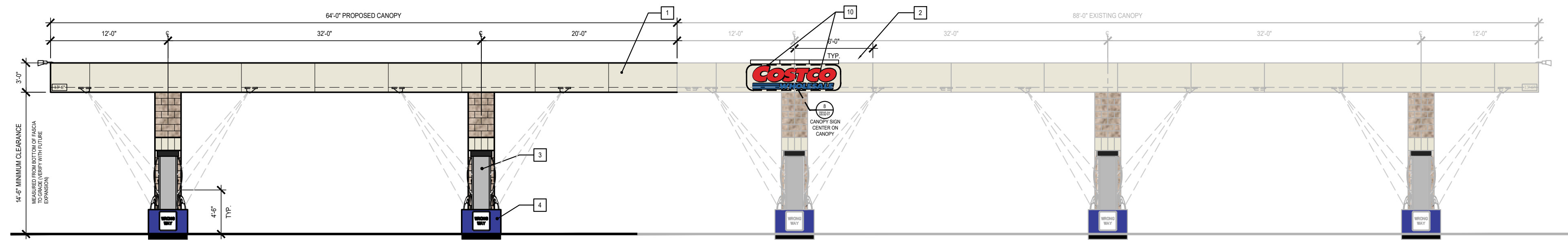




1 WEST ELEVATION (ENTRANCE)  
SCALE: 1/8" = 1'-0"



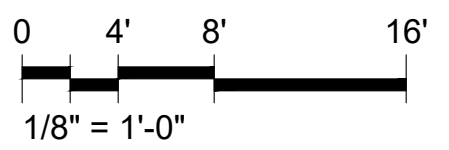
4 SOUTH ELEVATION (NORTH SIMILAR)  
SCALE: 1/8" = 1'-0"





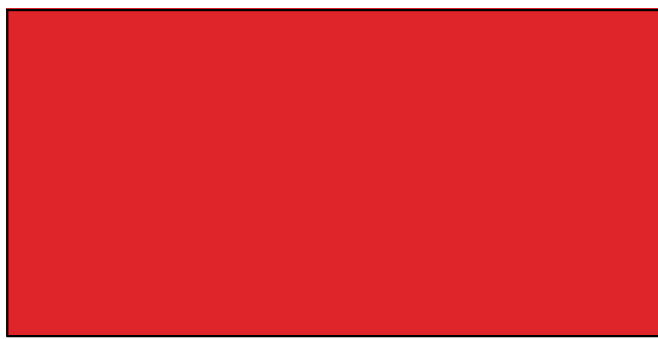
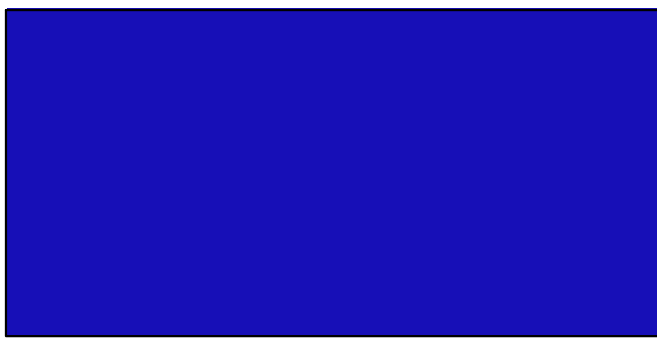
5 EAST ELEVATION (EXIT)  
SCALE: 1/8" = 1'-0"



8 CANOPY SIGN  
SCALE: 1/2" = 1'-0" (SUPPLIED AND INSTALLED BY CANOPY SUPPLIER) 1216



MATERIALS

A	B	C	D
PAINTED SMOOTH METAL FASCIA PANEL 'SANDALWOOD' COLOR	STEEL TUBE COLUMN WITH SPLIT FACE CMU WRAP AND SMOOTH FACE SOLDIER COURSE AT 8'0" FROM TOP OF ISLAND. 'KHAKI'	LAPIZ LAZULI SW1805 SHERWIN WILLIAMS	SAFETY RED SW4081 SHERWIN WILLIAMS
			

**COSTCO**  
**WHOLESALE**  
NW ALBUQUERQUE, NM  
1016

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JUNE 08, 2023

COLORED  
ELEVATIONS

DD33-01

**COSTCO WHOLESALE**

NW ALBUQUERQUE, NM

**COLORED ELEVATIONS**

JUNE 08, 2023

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# PR-2021-006006\_SI-2023-00805\_Site\_Plan\_Aproved\_12-13-23\_Sheet\_1

Final Audit Report

2024-07-10

Created:	2024-06-17
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAABAoXdv9vWCYnH5NDGsAjR8rV0xhTMmhv

## "PR-2021-006006\_SI-2023-00805\_Site\_Plan\_Approved\_12-13-23\_Sheet\_1" History

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