

SITE PLAN
COSTCO #116 - FRESHLINE REMODEL
LOCATED IN SECTION 34, TOWNSHIP 11 NORTH, RANGE 23EAST OF THE SIXTH PRINCIPAL MERIDIAN,
CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, STATE OF NEW MEXICO

CLIENT

COSTCO WHOLESALE
SARAH BREWER
999 LAKE DR.,
ISSAQUAH, WA 98027
(425) 416-6533

CONSULTANT TEAM

ARCHITECT
CUSHING TERRELL
ERIK CHUDY
800 W. MAIN ST., SUITE #800
BOISE, ID 83702
(208) 577-5695

JURISDICTIONAL CONTACTS

CITY OF OREM
PLANNING DEPT.
56 N STATE ST., SUITE 109
OREM, UT 84057
(801) 229-7058

EXISTING LEGAL DESCRIPTION

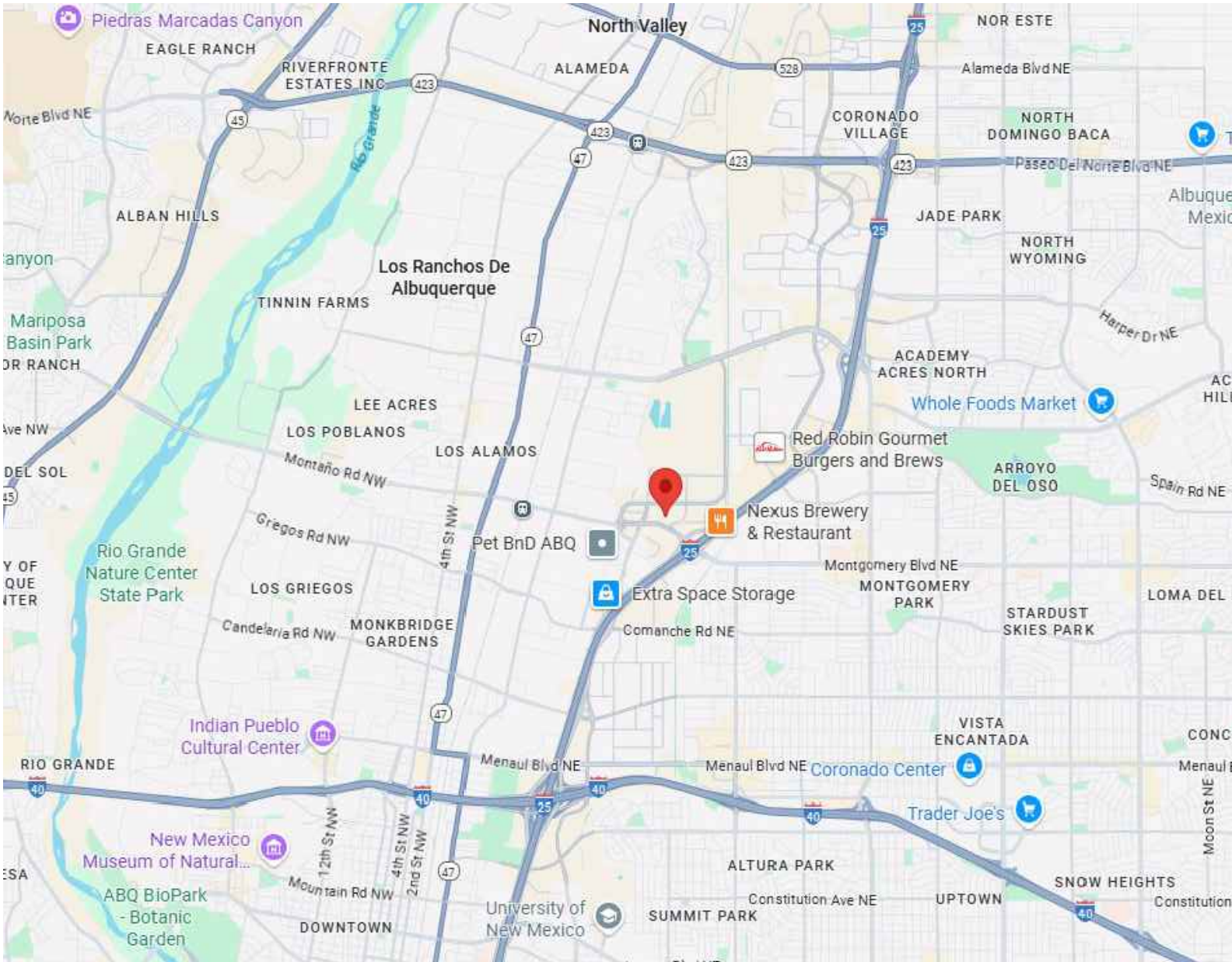
TR 4B & 4C PLAT FOR RENAISSANCE CENTER TR 4A, 4B, 4C, 4D, 4E
& 4F CONT 16.3041 AC

GENERAL NOTES

- THESE DOCUMENTS ARE NOT TO BE USED FOR ANY CONSTRUCTION.
- THE INFORMATION SHOWN MAY OR MAY NOT REFLECT THE EXISTING CONDITION OF THE SITE.
- GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS ON SITE.

NARRATIVE SUMMARY

OVERALL IMPROVEMENTS FOR THE SITE WILL INCLUDE DEMOLITION OF THE EXISTING FRESH LINE, LINE-UP CASES AND POS COOLER. IN ADDITION, SOME PORTIONS OF EXTERIOR WALL WILL BE PARTIALLY DEMOLISHED TO ALLOW ACCESS TO THE PROPOSED EXTERIOR PRODUCE COOLER, BAKERY FREEZER AND DAIRY COOLER. THE INTERIOR IMPROVEMENTS ALSO INCLUDE INSTALLATION OF PROPOSED LINE-UP CASES, FRESH LINE, EXTERIOR MOTOR ROOM, BUILDING SPEC FRESHLINE FRONT WALL PARAPET, LIGHTING AND WINDOWS. A PORTION OF EXISTING RACKS AND PALLETS WILL ALSO BE DEMOLISHED TO MAKE WAY FOR THE INSTALLATION OF NEW AND RELOCATED RACKS AND PALLETS. TO ACCOMMODATE THE PROPOSED BUILDING ADDITIONS, A PORTION OF EXISTING PARKING, ACCESS AISLE, STRIPING AND CURBS WILL NEED TO BE DEMOLISHED AND MODIFIED. THE EXISTING MEP AND FIRE PROTECTION WILL BE MODIFIED AS WELL TO FIT THE REMODEL.



VICINITY MAP

SCALE: 1" = 1000'



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C000	COVER SHEET
C100	SITE PLAN

SITE DATA TABLE		
PARCEL NUMBER		101606121920630710
EXISTING ZONING		COMMERCIAL & GENERAL RETAIL (03)
SITE AREA		14.80 ACRES (646,621SF)
SECTION TOWNSHIP RANGE		SE34-T11N-R3E
CONSTRUCTION TYPE		V-B
PROPOSED BUILDING HEIGHT		25 Ft
PARKING REQUIRED		745
EXISTING PARKING		768
PARKING PROVIDED	STANDARD	732
	ADA	22
	TOTAL	754
PROPOSED USE		GROSS FLOOR AREA
USE 1	DAIRY COOLER	2,992.00 SQ. FT.

NOT FOR CONSTRUCTION-PRELIMINARY DESIGN

1420 RENAISSANCE BLVD.
ABQ, NM 87107

COSTCO #116 - FRESHLINE REMODEL

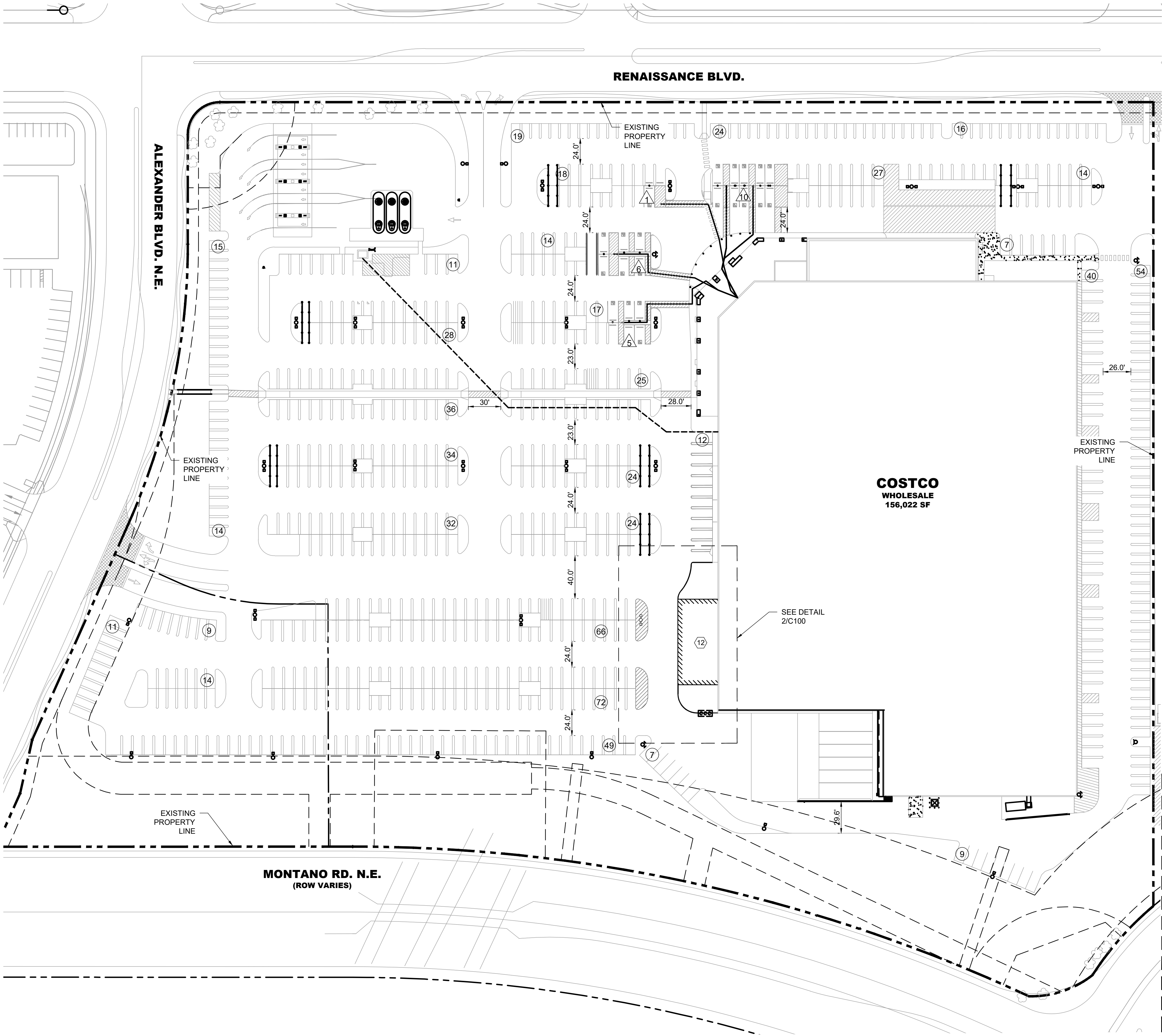
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PROJ# COSTCO_0116
DESIGNED BY |GRIVARA
DRAWN BY |GRIVARA
REVIEWED BY |GRAHAM

REVISIONS

COVER SHEET

C000



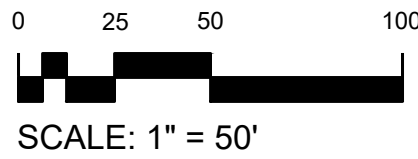
LEGEND

	EXISTING CONCRETE
	EXISTING LANDSCAPE
	CONCRETE
	LANDSCAPE

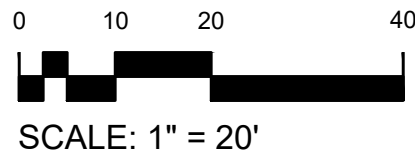
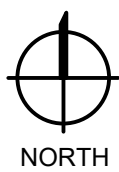
SITE KEY NOTES

- EXISTING COSTCO WAREHOUSE TO REMAIN.
- EXISTING TIRE CENTER TO REMAIN.
- EXISTING LOADING DOCK TO REMAIN.
- EXISTING GREASE INTERCEPTOR TO REMAIN.
- EXISTING LANDSCAPE TO REMAIN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING PARKING STRIPPING TO REMAIN.
- EXISTING CONCRETE SIDEWALK TO REMAIN.
- EXISTING DOOR TO REMAIN.
- EXISTING LIGHT POLE TO BE RELOCATED.
- EXISTING GAS CANOPY.
- PROPOSED MODIFIED BUILDING ADDITION. SEE ARCHITECTURE DRAWINGS.
- PROPOSED LANDSCAPE.
- PROPOSED CURB AND GUTTER.
- PROPOSED PARKING STRIPE.
- PROPOSED CONCRETE SIDEWALK.

1 SITE PLAN
C100



2 DETAIL
C100



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REVISIONS

SITE PLAN

C100