



PRELIMINARY LANDSCAPE PLAN

COSTCO WHOLESALE FUEL FACILITY RELOCATION

1420 RENAISSANCE BLVD. N.E. ALBUQUERQUE, NM 87107

COSTCO FACILITY #116

SYMBOL / COLOR	DESCRIPTION
	EXISTING TREE TO BE RETAINED
	PROPOSED NEW TREE
	EXISTING LANDSCAPE TO BE RETAINED
	PROPOSED NEW LANDSCAPE
	EXISTING TREE TO BE REMOVED
	EXISTING LANDSCAPE TO BE REMOVED

LANDSCAPE SHEET INDEX:

- L1 - COVER SHEET
- L2 - PRELIMINARY LANDSCAPE PLAN NE
- L3 - PRELIMINARY LANDSCAPE PLAN NW
- L4 - PRELIMINARY LANDSCAPE PLAN SW
- L5 - PLANT SCHEDULE & NOTES
- L6 - LANDSCAPE DETAILS

PROJECT DATA:

PROJECT ADDRESS: 1420 RENAISSANCE BLVD. N.E.
ALBUQUERQUE, NM 87107

JURISDICTION: ALBUQUERQUE

ZONING: MX-M

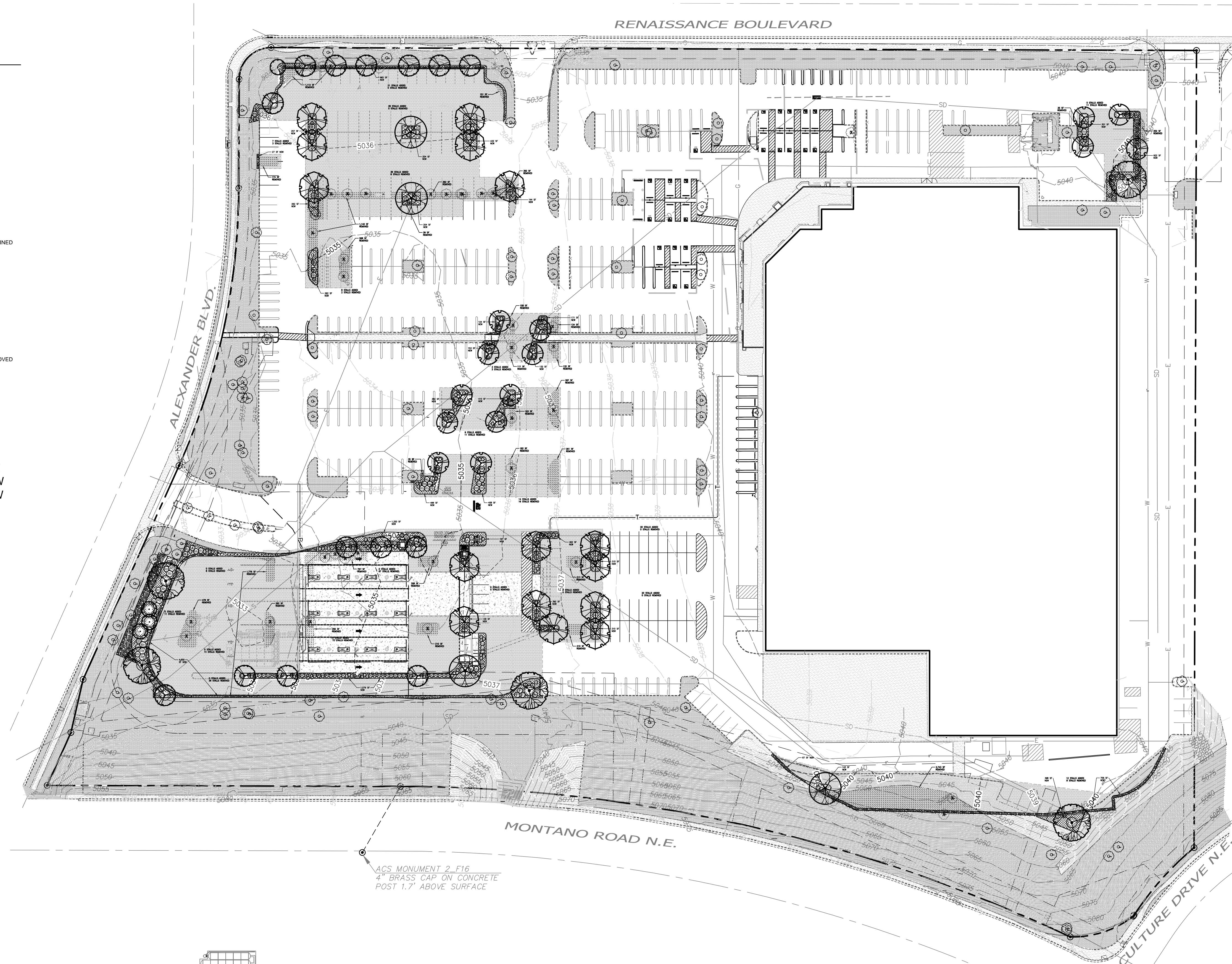
PROJECT TEAM:

OWNER
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

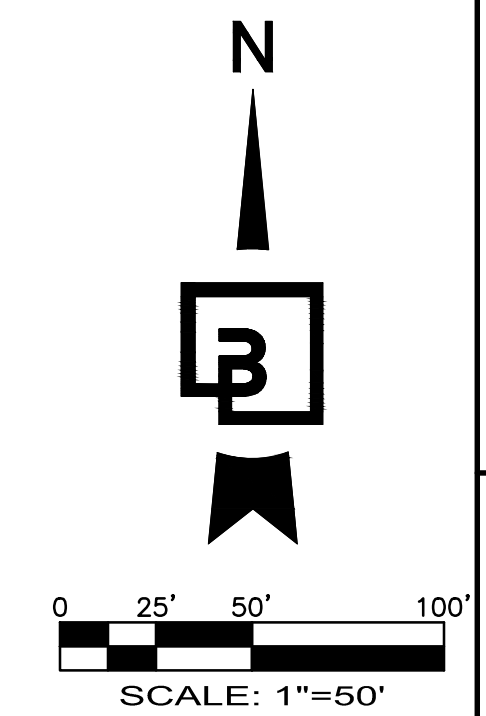
CIVIL ENGINEER
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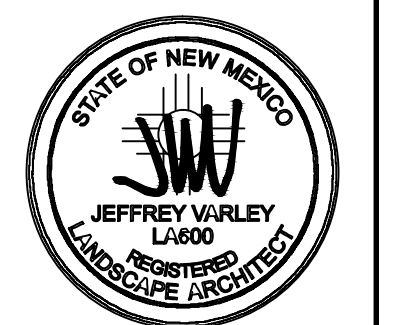


ACS MONUMENT 2_F16
4" BRASS CAP ON CONCRETE
POST 1.7' ABOVE SURFACE



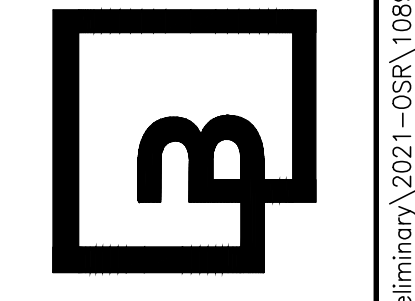
No.	Date	By	Chd.	Appr.	Revision
					COVER SHEET

Costco WHOLESALE
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



Designed	LRP	Drawn	LRP	Checked	JMV	Approved	JMV	Date	10/4/22
Scale:	Horizontal	1"=50'	Vertical	N/A					

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Job Number: 10896
Sheet: L1

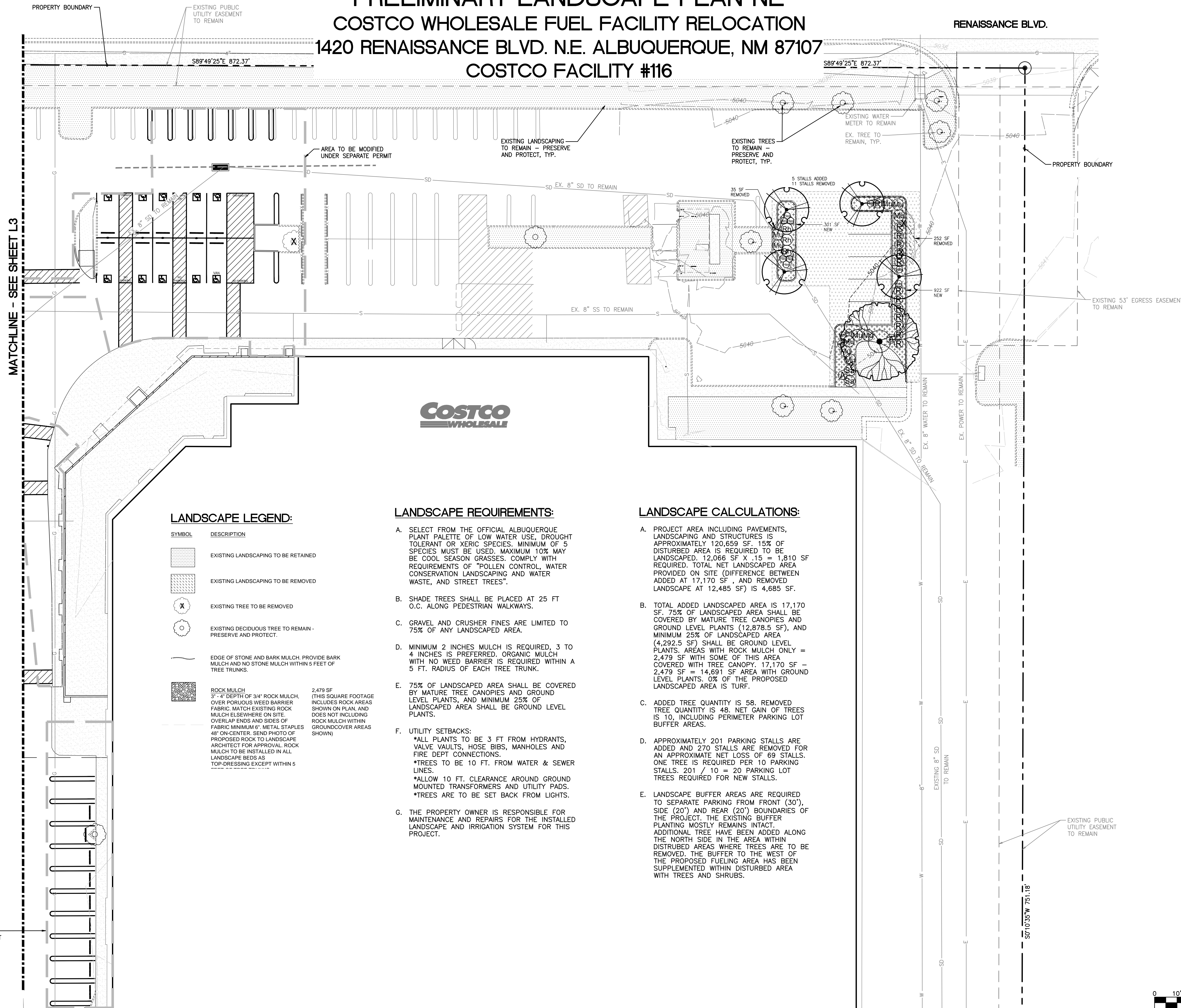
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PRELIMINARY LANDSCAPE PLAN NE

COSTCO WHOLESALE FUEL FACILITY RELOCATION

1420 RENAISSANCE BLVD. N.E. ALBUQUERQUE, NM 87107

COSTCO FACILITY #116



MATCHLINE - SEE SHEET L3

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
	EXISTING LANDSCAPING TO BE RETAINED
	EXISTING LANDSCAPING TO BE REMOVED
	EXISTING TREE TO BE REMOVED
	EXISTING DECIDUOUS TREE TO REMAIN - PRESERVE AND PROTECT.
	EDGE OF STONE AND BARK MULCH. PROVIDE BARK MULCH AND NO STONE MULCH WITHIN 5 FEET OF TREE TRUNKS.
	ROCK MULCH 3"-4" DEPTH OF 3/4" ROCK MULCH, OVER POROUS WEED BARRIER FABRIC. MATCH EXISTING ROCK MULCH ELSEWHERE ON SITE. OVERLAP ENDS AND SIDES OF FABRIC MINIMUM 6". METAL STAPLES 48" ON-CENTER. SEND PHOTO OF PROPOSED ROCK TO LANDSCAPE ARCHITECT FOR APPROVAL. ROCK MULCH TO BE INSTALLED IN ALL LANDSCAPE BEDS AS TOP-DRESSING EXCEPT WITHIN 5' OF TREE TRUNKS.
	2,479 SF (THIS SQUARE FOOTAGE INCLUDES ROCK AREAS SHOWN ON PLAN, AND DOES NOT INCLUDING ROCK MULCH WITHIN GROUNDCOVER AREAS SHOWN)

LANDSCAPE REQUIREMENTS:

- SELECT FROM THE OFFICIAL ALBUQUERQUE PLANT PALETTE OF LOW WATER USE, DROUGHT TOLERANT OR XERIC SPECIES. MINIMUM OF 5 SPECIES MUST BE USED. MAXIMUM 10% MAY BE COOL SEASON GRASSES. COMPLY WITH REQUIREMENTS OF "POLLEN CONTROL, WATER CONSERVATION LANDSCAPING AND WATER WASTE, AND STREET TREES".
- SHADE TREES SHALL BE PLACED AT 25 FT O.C. ALONG PEDESTRIAN WALKWAYS.
- GRAVEL AND CRUSHER FINES ARE LIMITED TO 75% OF ANY LANDSCAPED AREA.
- MINIMUM 2 INCHES MULCH IS REQUIRED, 3 TO 4 INCHES IS PREFERRED. ORGANIC MULCH WITH NO WEED BARRIER IS REQUIRED WITHIN A 5 FT. RADIUS OF EACH TREE TRUNK.
- 75% OF LANDSCAPED AREA SHALL BE COVERED BY MATURE TREE CANOPIES AND GROUND LEVEL PLANTS, AND MINIMUM 25% OF LANDSCAPED AREA SHALL BE GROUND LEVEL PLANTS.
- UTILITY SETBACKS:
 *ALL PLANTS TO BE 3 FT FROM HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES AND FIRE DEPT CONNECTIONS.
 *TREES TO BE 10 FT. FROM WATER & SEWER LINES.
 *ALLOW 10 FT. CLEARANCE AROUND GROUND MOUNTED TRANSFORMERS AND UTILITY PADS.
 *TREES ARE TO BE SET BACK FROM LIGHTS.
- THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE AND REPAIRS FOR THE INSTALLED LANDSCAPE AND IRRIGATION SYSTEM FOR THIS PROJECT.

LANDSCAPE CALCULATIONS:

- PROJECT AREA INCLUDING PAVEMENTS, LANDSCAPING AND STRUCTURES IS APPROXIMATELY 120,659 SF. 15% OF DISTURBED AREA IS REQUIRED TO BE LANDSCAPED. 12,066 SF X .15 = 1,810 SF REQUIRED. TOTAL NET LANDSCAPED AREA PROVIDED ON SITE (DIFFERENCE BETWEEN ADDED AT 17,170 SF, AND REMOVED LANDSCAPE AT 12,485 SF) IS 4,685 SF.
- TOTAL ADDED LANDSCAPED AREA IS 17,170 SF. 75% OF LANDSCAPED AREA SHALL BE COVERED BY MATURE TREE CANOPIES AND GROUND LEVEL PLANTS (12,878.5 SF), AND MINIMUM 25% OF LANDSCAPED AREA (4,292.5 SF) SHALL BE GROUND LEVEL PLANTS. AREAS WITH ROCK MULCH ONLY = 2,479 SF WITH SOME OF THIS AREA COVERED WITH TREE CANOPY. 17,170 SF - 2,479 SF = 14,691 SF AREA WITH GROUND LEVEL PLANTS. 0% OF THE PROPOSED LANDSCAPED AREA IS TURF.
- ADDED TREE QUANTITY IS 58. REMOVED TREE QUANTITY IS 48. NET GAIN OF TREES IS 10, INCLUDING PERIMETER PARKING LOT BUFFER AREAS.
- APPROXIMATELY 201 PARKING STALLS ARE ADDED AND 270 STALLS ARE REMOVED FOR AN APPROXIMATE NET LOSS OF 69 STALLS. ONE TREE IS REQUIRED PER 10 PARKING STALLS. 201 / 10 = 20 PARKING LOT TREES REQUIRED FOR NEW STALLS.
- LANDSCAPE BUFFER AREAS ARE REQUIRED TO SEPARATE PARKING FROM FRONT (30'), SIDE (20') AND REAR (20') BOUNDARIES OF THE PROJECT. THE EXISTING BUFFER PLANTING MOSTLY REMAINS INTACT. ADDITIONAL TREE HAVE BEEN ADDED ALONG THE NORTH SIDE IN THE AREA WITHIN DISTURBED AREAS WHERE TREES ARE TO BE REMOVED. THE BUFFER TO THE WEST OF THE PROPOSED FUELING AREA HAS BEEN SUPPLEMENTED WITHIN DISTURBED AREA WITH TREES AND SHRUBS.

No.	Date	By	Chd.	Appr.
Revision				
Title:				
PRELIMINARY LANDSCAPE PLAN NE				
RENAISSANCE BLVD. N.E.				
ALBUQUERQUE, NM 87107				
COSTCO WAREHOUSE LOCATION #116				

Costco
WHOLESALE

COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

For:

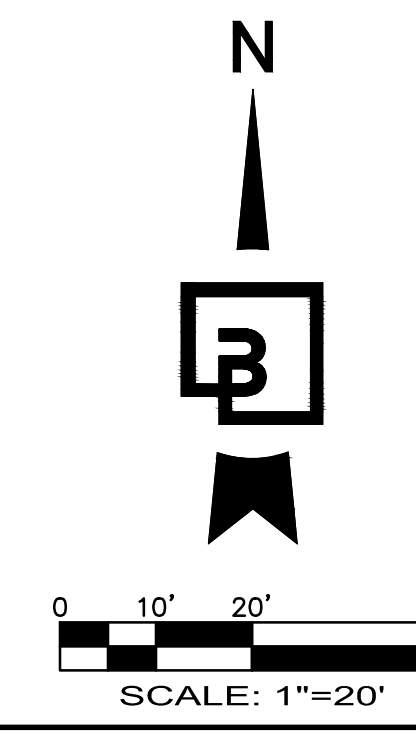
JEFFREY VARLEY
LICENSED PROFESSIONAL ARCHITECT

Scale:	Horizontal	Vertical
	1" = 20'	N/A
Designed	LRP	
Drawn	LRP	
Checked	JMV	
Approved	JMV	
Date	10/11/22	

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PRELIMINARY LANDSCAPE PLAN NW

COSTCO WHOLESALE FUEL FACILITY RELOCATION

1420 RENAISSANCE BLVD. N.E. ALBUQUERQUE, NM 87107

COSTCO FACILITY #116

Revision

No. Date By Ckd. Appr.

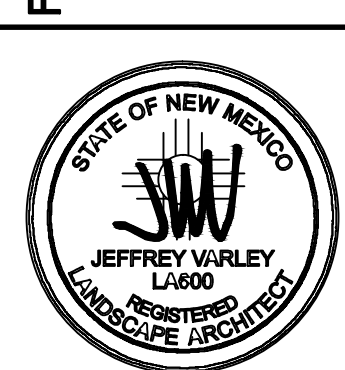
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PRELIMINARY LANDSCAPE PLAN NW
 RENAISSANCE BLVD. N.E.
 ALBUQUERQUE, NM 87107
 COSTCO WAREHOUSE LOCATION #116

For:

Costco Wholesale
 COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027

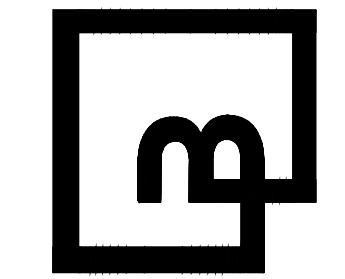
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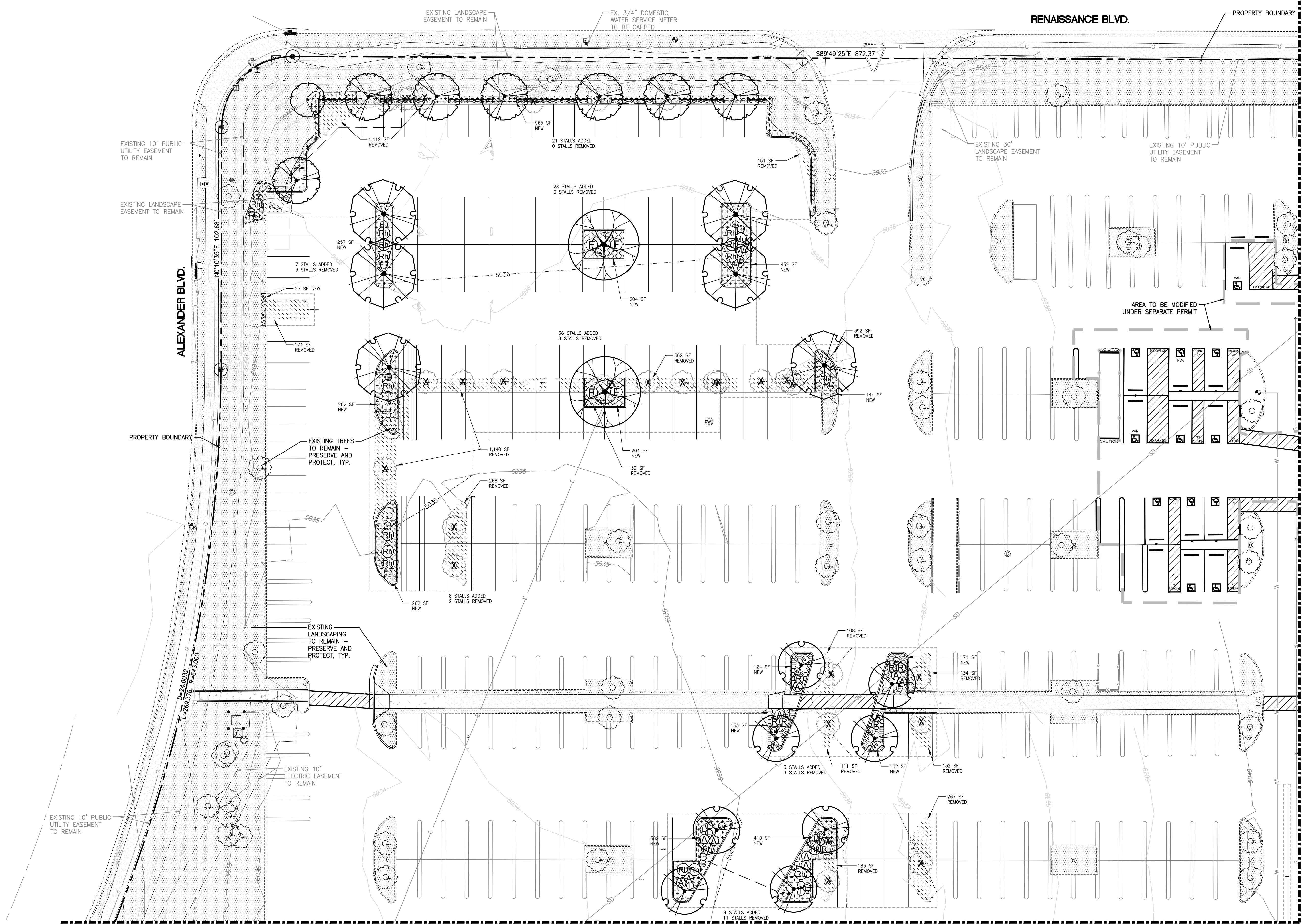
Designed LRP
 Drawn LRP
 Checked JMV
 Approved JMV
 Date 10/4/22

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Job Number
10896
 Sheet
L3 of 6

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EXISTING 10' PUBLIC UTILITY EASEMENT TO REMAIN

EXISTING LANDSCAPE EASEMENT TO REMAIN

ALEXANDER BLVD.

PROPERTY BOUNDARY

EXISTING LANDSCAPING TO REMAIN - PRESERVE AND PROTECT, TYP.

EXISTING 10' ELECTRIC EASEMENT TO REMAIN

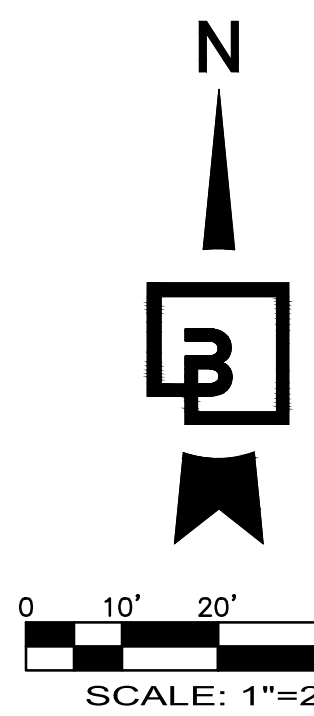
RENAISSANCE BLVD.

PROPERTY BOUNDARY

AREA TO BE MODIFIED UNDER SEPARATE PERMIT

MATCHLINE - SEE SHEET L2

MATCHLINE - SEE SHEET L4



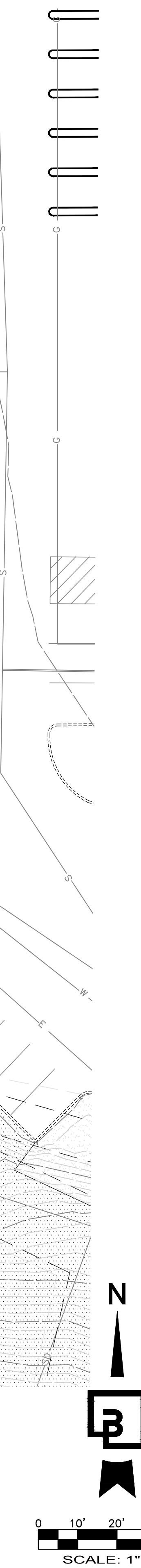
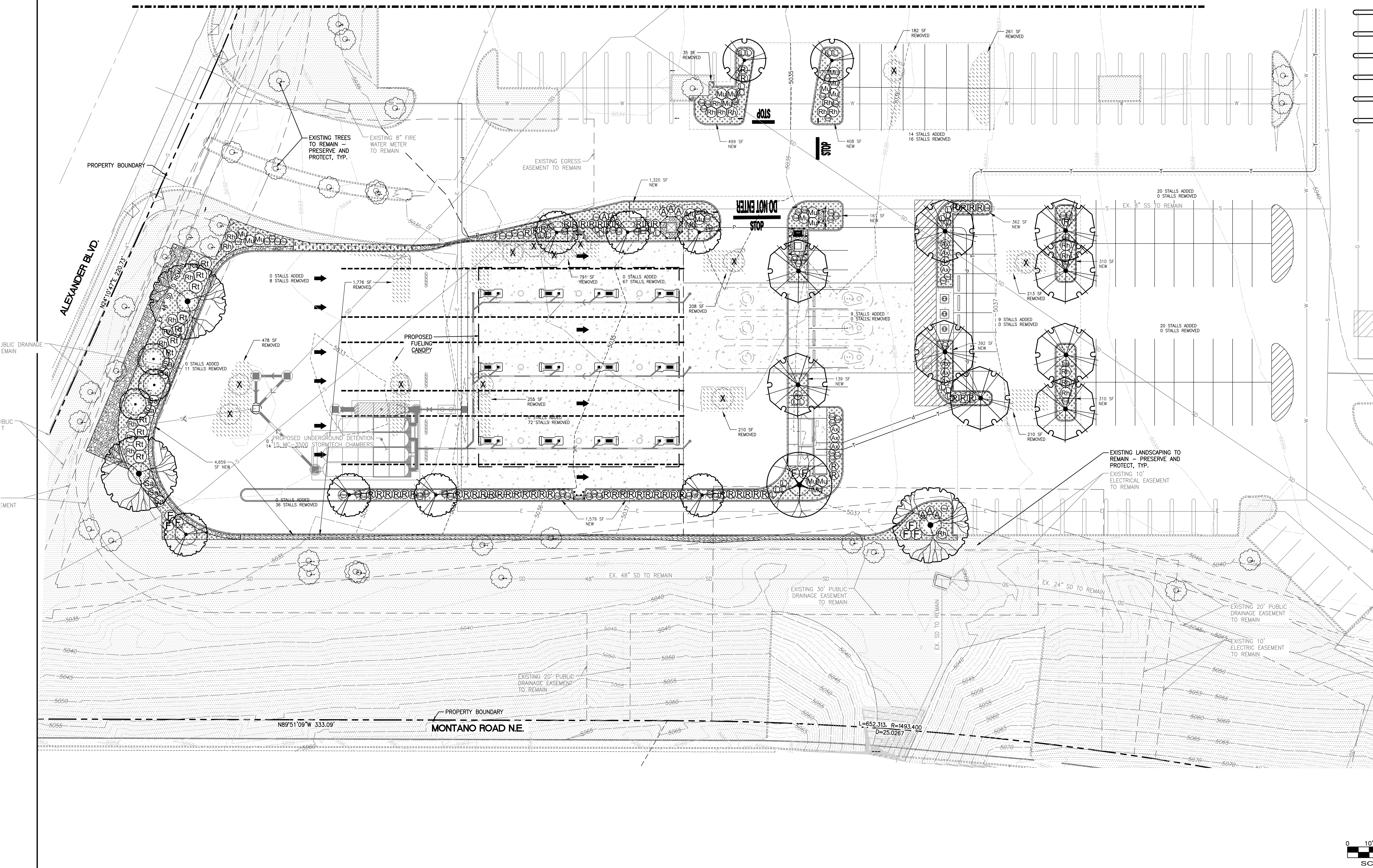
PRELIMINARY LANDSCAPE PLAN - SW

COSTCO WHOLESALE FUEL FACILITY RELOCATION

1420 RENAISSANCE BLVD. N.E. ALBUQUERQUE, NM 87107

COSTCO FACILITY #116

MATCHLINE - SEE SHEET L3



No.	Date	By	Chd.	Appr.	Revision

Title:
 PRELIMINARY LANDSCAPE PLAN SW
 RENAISSANCE BLVD. N.E.
 ALBUQUERQUE, NM 87107
 COSTCO WAREHOUSE LOCATION #116

For:

 COSTCO WHOLESALE
 999 LAKE DRIVE
 ISSAQUAH, WA 98027



Scale:
 Horizontal 1" = 20'
 Vertical N/A

Designed LRP
Drawn LRP
Checked JMV
Approved JMV
Date 10/11/22

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Job Number
 10896

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 L4 of 6

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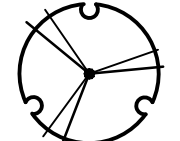
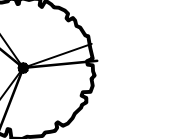
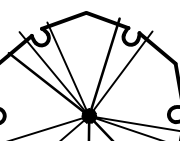
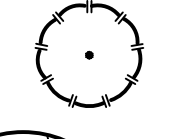
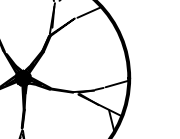









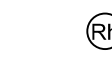







PLANT SCHEDULE + NOTES

COSTCO WHOLESALE FUEL FACILITY RELOCATION

1420 RENAISSANCE BLVD. N.E. ALBUQUERQUE, NM 87107

COSTCO FACILITY #116

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE	
	14	CELTIS RETICULATA / NETLEAF HACKBERRY SYMMETRICAL, MATCHING, NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	1.5' CAL.	LOW	
	7	CHILOPSIS LINEARIS 'BUBBA' / BUBBA DESERT WILLOW SYMMETRICAL, MATCHING, NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	1.5' CAL.	LOW	
	15	PISTACIA CHINENSIS KEITH DAVEY / KEITH DAVEY CHINESE PISTACHE SYMMETRICAL, MATCHING, NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	1.5' CAL.	MEDIUM	
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	WATER USE	
	3	PINUS ELДАРICA / AFGHAN PINE NURSERY GROWN, SYMMETRICAL, FULL TO BASE, SINGLE UN-CUT LEADER	B & B	6' MIN. HT.	MEDIUM	
	4	QUERCUS GRISEA / ARIZONA GREY OAK SYMMETRICAL, MATCHING, NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	1.5' CAL.	LOW	
	5	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK SYMMETRICAL, MATCHING, NURSERY GROWN FOR STREET TREE USE, BRANCHED AT 6 FEET	B & B	1.5' CAL.	MEDIUM	
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE	SPACING
	21	ANISACANTHUS THURBERI / THURBER'S DESERT HONEYSUCKLE FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	DECIDUOUS	48" o.c.
	14	ARTEMISIA FILIFOLIA / SAND SAGEBRUSH FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	48" o.c.
	2	ERICAMERIA LARICIFOLIA 'DESERT MOUNTAIN' / DESERT MOUNTAIN TURPENTINE BUSH FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	30" o.c.
	12	FALLUGIA PARADOXA / APACHE PLUME FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	60" o.c.
	49	HESPERALOE PARVIFLORA / RED YUCCA FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	36" o.c.
	37	LAVANDULA ANGUSTIFOLIA 'HIDCOTE SUPERIOR' / HIDCOTE SUPERIOR ENGLISH LAVENDER FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	36" o.c.
	31	MUHLENBERGIA LINDHEIMERI / LINDHEIMER'S MUHLY FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	60" o.c.
	44	RHAMNUS CALIFORNICA 'ED HOLM' / ED HOLM COFFEEBERRY	#1	LOW	EVERGREEN	60" o.c.
	11	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	DECIDUOUS	72" o.c.
	78	ROSMARINUS OFFICINALIS 'TUSCAN BLUE' / TUSCAN BLUE ROSEMARY FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	48" o.c.
	62	SALVIA DORRII / DESERT SAGE FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	36" o.c.
	9	SANTOLINA CHAMAECYPARISSUS / LAVENDER COTTON FULL AND BUSHY; SELECT POTS WITHOUT WEEDS OR REMOVE AND DISCARD WEEDS BEFORE PLANTING.	#1	LOW	EVERGREEN	60" o.c.
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT.	WATER USE	FOLIAGE	SPACING
	2,054	ARCTOSTAPHYLOS UVA-URSIS / KINKINICK WELL ROOTED, FULL TOP GROWTH, TRIANGULAR SPACING	1 GAL.	LOW	EVERGREEN	24" o.c.
	431	DELOSPERMA NUBIGENUM 'YELLOW' / YELLOW ICE PLANT WELL ROOTED, FULL TOP GROWTH, TRIANGULAR SPACING	1 GAL.	LOW	EVERGREEN	18" o.c.
	92	EUPHORBIA RIGIDA / YELLOW SPURGE WELL ROOTED, FULL TOP GROWTH, TRIANGULAR SPACING	1 GAL.	LOW	EVERGREEN	24" o.c.
	47	STIPA TENUISSIMA / MEXICAN FEATHER GRASS WELL ROOTED, FULL TOP GROWTH, TRIANGULAR SPACING	1 GAL.	LOW	DECIDUOUS	24" o.c.

LANDSCAPE PLANTING NOTES AND MATERIALS

SCOPE OF WORK

FURNISH ALL MATERIALS, LABOR, EQUIPMENT AND RELATED ITEMS NECESSARY TO ACCOMPLISH TOPSOIL, TREATMENT AND PREPARATION OF SOIL, FINISH GRADING, PLACEMENT OF SPECIFIED PLANT MATERIALS, FERTILIZER, STAKING, MULCH, CLEAN-UP, DEBRIS REMOVAL, AND 30-DAY MAINTENANCE.

QUALIFICATIONS:

LANDSCAPE CONTRACTOR TO BE SKILLED AND KNOWLEDGEABLE IN THE FIELD OF WORK AND HAVE A MINIMUM OF FIVE (5) YEAR'S EXPERIENCE INSTALLING SIMILAR WORK. CONTRACTOR TO BE LICENSED TO PERFORM THE WORK SPECIFIED WITHIN THE PRESDING JURISDICTION.

JOB CONDITIONS:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE SITE AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVES. ALL PLANT MATERIAL AND FINISH GRADES ARE SUBJECT TO APPROVAL BY THE OWNER.

PROTECTION:

SAVE AND PROTECT ALL EXISTING PLANTINGS SHOWN TO REMAIN. DO NOT PLANT UNTIL OTHER CONSTRUCTION OPERATIONS WHICH CONFLICT HAVE BEEN COMPLETED. IF AN IRRIGATION SYSTEM IS TO BE INSTALLED DO NOT PLANT UNTIL THE SYSTEM HAS BEEN INSTALLED, TESTED, AND APPROVED BY THE OWNER. HANDLE PLANTS WITH CARE - DO NOT DAMAGE OR BREAK ROOT SYSTEM, BARK, OR BRANCHES. REPAIR AND/OR REPLACE ITEMS DAMAGED AS A RESULT OF WORK, OR WORK NOT IN COMPLIANCE WITH PLANS AND SPECIFICATIONS, AS DIRECTED BY OWNER AT NO ADDITIONAL COST TO THE OWNER.

REPAIR OF EXISTING PLANTINGS:

DURING THE COURSE OF WORK, REPAIR ALL EXISTING PLANTING AREAS BY PRUNING DEAD GROWTH, RE-ESTABLISHING FINISH GRADE AND RE-MULCHING TO SPECIFIED DEPTH.

GUARANTEE:

GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE OF THE JOB BY OWNER.

30-DAY MAINTENANCE:

CONTRACTOR TO PROVIDE OWNER WITH A SCOPE OF WORK AT TIME OF INITIAL PROJECT BID TO PROVIDE LANDSCAPE AND IRRIGATION MAINTENANCE FOR 30 DAYS FOLLOWING STORE OPENING. WORK TO INCLUDE MAINTENANCE AS DESCRIBED BELOW, IN PLANTING AND IRRIGATION MAINTENANCE.

SUBMITTALS:

SUBMIT THE FOLLOWING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE START OF ANY WORK:

- DOCUMENTATION THAT ALL PLANT MATERIAL HAS BEEN ORDERED.
- TOPSOIL ANALYSIS AND RECOMMENDED AMENDMENTS.
- TREE STAKING AND GUYING MATERIALS.
- ONE (1) QUART SIZE OF TOPSOIL AND MULCH.
- PLANTING SCHEDULE INCLUDING DATES AND TIMES.
- MAINTENANCE INSTRUCTIONS FOR ONE (1) FULL YEAR.

MATERIALS:

PLANT MATERIALS:

PLANT MATERIALS TO BE GRADE NO. 1, SIZED IN ACCORDANCE WITH (AAN) AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1-2004). PRUNE PLANTS RECEIVED FROM THE NURSERY ONLY UPON AUTHORIZATION BY THE LANDSCAPE ARCHITECT. "B & B" INDICATES BALLED AND BURLAPPED; "CONT." INDICATES CONTAINER; "BR" INDICATES BARE ROOT; "CAL" INDICATES CALIPER AT 6" ABOVE SOIL LINE; "GAL" INDICATES GALLON.

A) SPECIFIED PLANT CANOPY SIZE OR CALIPER IS THE MINIMUM ACCEPTABLE CONTAINER OR BALL SIZE AND ESTABLISHES MINIMUM PLANT CONDITION TO BE PROVIDED.

B) QUALITY:

PLANT MATERIAL TO COMPLY WITH STATE AND FEDERAL LAWS FOR DISEASE INSPECTION, PLANTS TO BE FULLY LIVE, VIGOROUS, WELL FORMED, WITH WELL DEVELOPED FIBROUS ROOT SYSTEMS. ROOT BALLS OF PLANTS TO BE SOLID AND FIRMLY HELD TOGETHER, SECURELY CONTAINED AND PROTECTED FROM INJURY AND DESICCATION. PLANTS DETERMINED BY LANDSCAPE ARCHITECT TO HAVE BEEN DAMAGED; HAVE DEFORMITIES OF STEM, BRANCHES, OR ROOTS; LACK SYMMETRY, HAVE MULTIPLE LEADERS OR "Y" CROTCHES LESS THAN 30 DEGREES IN TREES, OR DO NOT MEET SIZE OR ANSI STANDARDS WILL BE REJECTED. PLANT MATERIAL TO BE FROM A SINGLE NURSERY SOURCE FOR EACH SPECIFIED SPECIES/HYBRID. NURSERY SOURCES TO BE THOSE LOCATED IN THE SAME REGION AS THE JOB SITE.

C) SUBSTITUTION:

NO SUBSTITUTION OF PLANT MATERIAL, SPECIES OR VARIETY, WILL BE PERMITTED UNLESS WRITTEN EVIDENCE IS SUBMITTED TO THE OWNER FROM TWO QUALIFIED PLANT BROKERAGE OFFICES. SUBSTITUTIONS WHICH ARE PERMITTED TO BE IN WRITING FROM THE OWNER AND LANDSCAPE ARCHITECT. THE SPECIFIED SIZE, SPECIES AND NEAREST VARIETY, AS APPROVED, TO BE FURNISHED. SUBSTITUTIONS MAY REQUIRE SUBMITTAL TO REVISED LANDSCAPE PLAN TO CITY FOR APPROVAL.

D) LABEL AT LEAST ONE (1) TREE, SHRUB, AND GROUNDCOVER OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAMES.

E) DELIVER PLANT MATERIAL AFTER PREPARATION OF PLANTING AREAS HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX (6) HOURS AFTER DELIVERY, SET MATERIAL IN SHADE, PROTECT FOR WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOT BALLS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.

SOIL PREPARATION:

TOPSOIL, AMENDMENT, AND BACKFILL, ARE GENERAL REQUIREMENTS FOR ALL LANDSCAPE AREAS, UNLESS NOTED OTHERWISE ON THE PLANS. SOIL AMENDMENTS AND FERTILIZER NOTED BELOW ARE TO BE USED FOR BID PRICE BASIS ONLY. SPECIFIC AMENDMENTS AND FERTILIZERS WILL BE MADE AFTER SOIL SAMPLES ARE LABORATORY TESTED BY THE CONTRACTOR. PROVIDE CHANGE ORDER FOR ADDITIONAL OR REDUCTION OF MATERIALS REQUIRED OR NOT REQUIRED BY THE SOILS REPORT.

SOIL FERTILITY AND AGRICULTURAL SUITABILITY ANALYSIS:

AFTER ROUGH GRADING AND PRIOR TO SOIL PREPARATION, CONTRACTOR TO OBTAIN TWO REPRESENTATIVE SOIL SAMPLES, FROM LOCATIONS AS DIRECTED BY THE LANDSCAPE ARCHITECT, TO A SOIL TESTING LABORATORY. SUBMIT RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. TESTS TO INCLUDE FERTILITY AND SUITABILITY ANALYSIS WITH WRITTEN RECOMMENDATIONS FOR SOIL AMENDMENT, FERTILIZER, CONDITIONERS, APPLICATION RATES, AND POST-CONSTRUCTION MAINTENANCE PROGRAM. TESTS TO BE CONTRACTED WITH AND PAID FOR BY THE CONTRACTOR.

- TOPSOIL: CONTRACTOR IS RESPONSIBLE FOR SUPPLYING ALL TOPSOIL AND FOR DETERMINING THE VOLUME OF TOPSOIL REQUIRED PER THE INFORMATION ON PLANS AND NOTED HERE-IN. CONTRACTOR IS RESPONSIBLE FOR ANY NECESSARY WEED CONTROL RESULTING FROM CONTAMINATED OFF SITE SOURCES.
- TOPSOIL TO CONSIST OF 1/3 BY VOLUME SANDY LOAM, 1/3 BY VOLUME COMPOSTED GARDEN MULCH, AND 1/3 BY VOLUME COARSE WASHED SAND OR EQUIVALENT.

C) TOPSOIL PREPARATION AND INSTALLATION:

- VERIFY SUBGRADES TO -9 INCHES IN LANDSCAPE AREAS OR AS INDICATED ON PLANS. THIS ACCOMMODATES TOPSOIL, AMENDMENTS, AND MULCH. 6" IMPORTED TOPSOIL FOR LANDSCAPE BEDS.
- ERADICATE ANY SURFACE VEGETATION ROOTED IN THE SUB-GRADE PRIOR TO SUB-GRADE PREPARATION.
- REMOVE SOIL LUMPS, ROCK, VEGETATION AND/OR DEBRIS LARGER THAN 2 INCHES FROM ALL SUB-GRADE PRIOR TO PLACEMENT OF SPECIFIED TOPSOIL.
- REMOVE ANY ASPHALT EXTENDING BEYOND 6 INCHES FROM CURBS INTO ADJACENT LANDSCAPE AREAS.

D) TOPSOIL PLACEMENT:

- PROVIDE A TOTAL FINISH COURSE OF 6 INCHES OF TOPSOIL FOR LANDSCAPE AREAS.
- PLACE ADDITIONAL TOPSOIL AND SOIL MIX AS REQUIRED TO MEET FINISH ELEVATIONS.

MULCH (TOPDRESSING):

MATCH EXISTING MULCH

STAKES:

2-INCH DIAMETER BY 8-FOOT MINIMUM LODGEPOLE PINE STAKES.

GUY MATERIAL:

1-INCH WIDE POLYETHYLENE CHAIN LOCK TYPE TIES; OR, 3/8" DIAMETER RUBBER. NO WIRE.

EXECUTION:

CONTAMINANTS:

VERIFY THAT ALL SOIL CONTAMINANTS (E.G., PAINT, SEALANTS, SOLVENTS, OILS, GREASES, CONCRETE/ASPHALT SPOILS, ETC.) HAVE BEEN SATISFACTORY REMOVED FROM ALL PLANTING AREAS. DO NOT BEGIN WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

FINISH GRADES:

FINE GRADE AND REMOVE ROCKS, DEBRIS, AND FOREIGN OBJECTS OVER 2 INCHES DIAMETER FROM TOP SURFACE OF PREPARED LANDSCAPE AREAS. FINISH ELEVATIONS TO BE DEFINED AS 3 INCHES BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL PLANTING BED AREAS AND 1-INCH BELOW CURBS, WALKS AND/OR OTHER ADJACENT HARDSCAPE FOR ALL LAWN AREAS. FINISH GRADE REFER TO GRADES PRIOR TO INSTALLATION OF MULCH OR LAWN. ALL FINISH GRADES TO BE SMOOTH EVEN GRADES, LIGHTLY COMPACTED, AS SHOWN ON THE PLAN AND DETAILED. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. SITE CIVIL DRAWINGS IDENTIFY FINAL ELEVATIONS. MOISTEN PREPARED AREAS BEFORE PLANTING IF SOIL IS DRY. WATER THOROUGHLY AND ALLOW SURFACE TO DRY BEFORE PLANTING. DO NOT CREATE MUDDY SOIL.

TREES AND SHRUBS:

ARRANGE TREES AND SHRUBS ON SITE IN PROPOSED LOCATIONS PER DRAWINGS. EXCAVATE PIT, PLANT AND STAKE OR GUY, AS CALLED OUT AND DETAILED. ALL TREES, SHRUBS, AND SUPPORTS TO STAND VERTICAL. BACKFILL SHALL BE PIT SPOILS. SETTLE BACKFILL USING WATER ONLY. NO MECHANICAL COMPACTION.

GROUNDCOVERS:

EXCAVATE PITS TO A MINIMUM OF 3 INCHES BELOW, AND TWICE THE ROOT BALL DIAMETER. WATER THOROUGHLY AND TAKE CARE TO ENSURE THAT ROOT CROWN IS AT PROPER GRADE, AS DETAILED.

MULCH:

MULCH ALL LANDSCAPE AREAS. MATCH DEPTH OF EXISTING MULCH. AT A MINIMUM, APPLY SUFFICIENT QUANTITY TO PROVIDE A 2-INCH DEPTH.

UTILITY CLEARANCES:

FIELD ADJUST PLANT LOCATIONS FOR 8-FOOT SEPARATION OF TREES/SHRUBS AND 2-FOOT SEPARATION FOR GROUNDCOVER FROM FIRE HYDRANTS AND UTILITY VAULTS.

CLEANUP AND PROTECTION:

DURING LANDSCAPE WORK, KEEP ALL PAVEMENT CLEAN AND WORK AREAS IN AN ORDERLY CONDITION. PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIOD. TREAT, REPAIR, OR REPLACE DAMAGE LANDSCAPE WORK AS DIRECTED BY THE OWNER.

PLANTING MAINTENANCE:

PROVIDE FULL MAINTENANCE BY SKILLED EMPLOYEES OF LANDSCAPE INSTALLERS. CONTRACTOR TO MAINTAIN PLANTINGS THROUGH COMPLETED INSTALLATION, AND UNTIL ACCEPTANCE OF LANDSCAPE INSTALLATION. PLANTING MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATING, TIGHTENING AND REPAIRING OF TREE GUYS, RESETTling PLANTS TO PROPER GRADES OR POSITION, RE-ESTABLISHING SETTLED GRADES; AND MOWING LAWNS WEEKLY AFTER LAWN ESTABLISHMENT. HERBICIDE IS NOT RECOMMENDED FOR ONE YEAR FOLLOWING LANDSCAPE INSTALLATION. INCLUDED IS REPLACEMENT OF DEAD PLANTS AND PLANTS SHOWING LOSS OF 40 PERCENT OR MORE OF CANOPY.

Revision

No.

Date

By

Ctd.

Appr.

Title

No.

Date

By

Ctd.

Appr.

PLANT SCHEDULE AND NOTES
RENAISSANCE BLVD. N.E.
ALBUQUERQUE, NM 87107
COSTCO WAREHOUSE LOCATION #116


COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

For:



Scale:

Horizontal

N/A

Vertical

N/A

Designed

LRP

Drawn

LRP

Checked

JMV

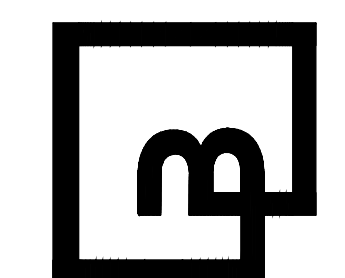
Approved

JMV

Date

10/11/22

Barghausen Consulting Engineers, Inc.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com



Job Number

10896

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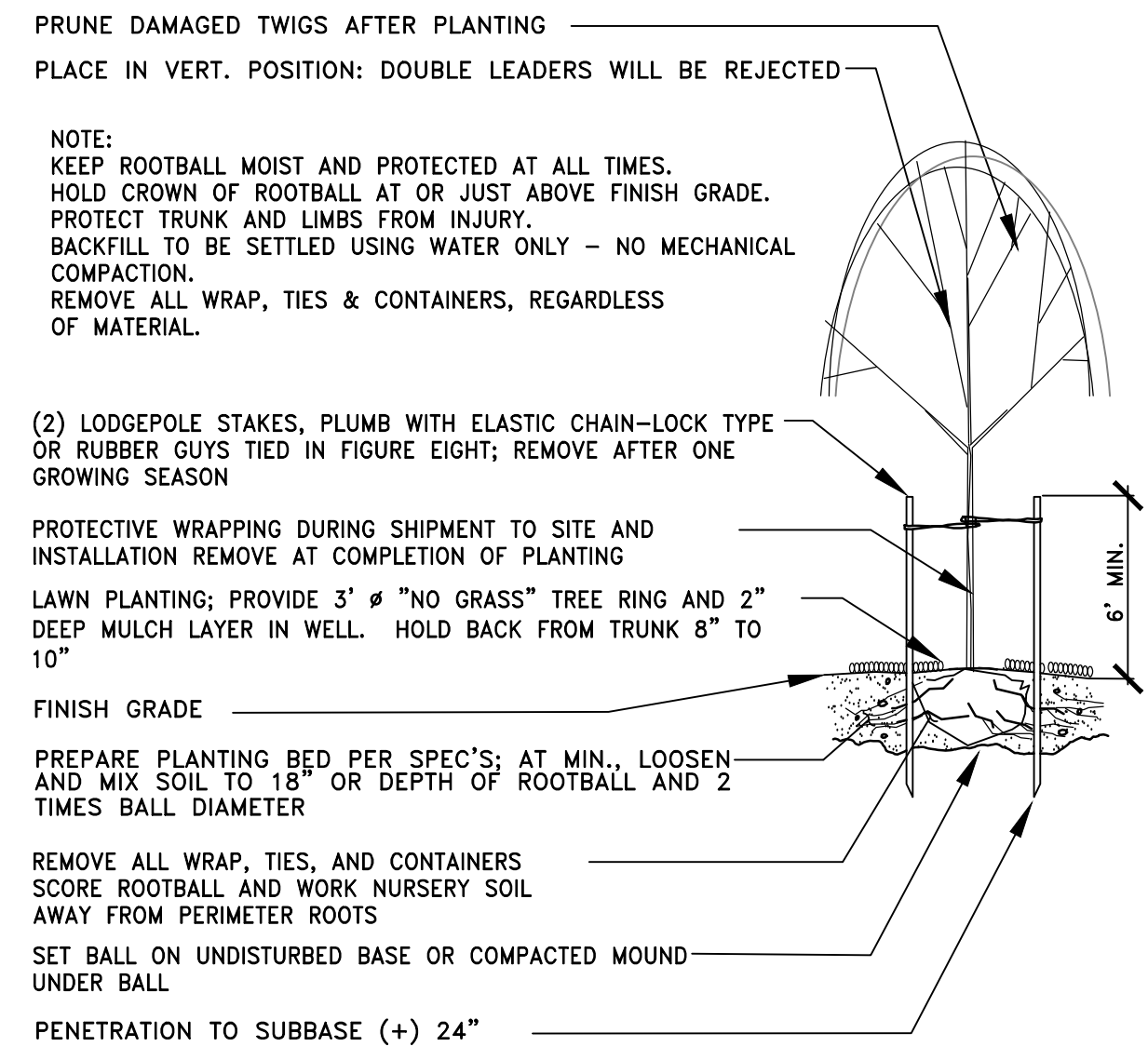
6

PRELIMINARY LANDSCAPE PLAN

COSTCO WHOLESALE FUEL FACILITY RELOCATION

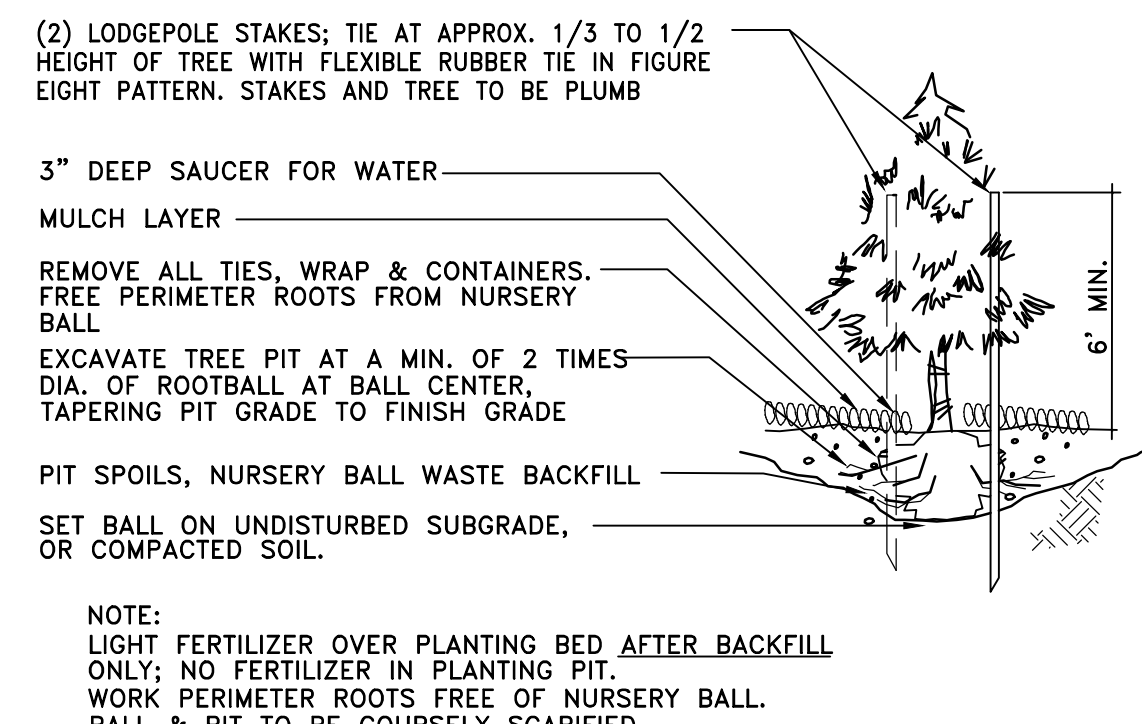
1420 RENAISSANCE BLVD. N.E. ALBUQUERQUE, NM 87107

COSTCO FACILITY #116



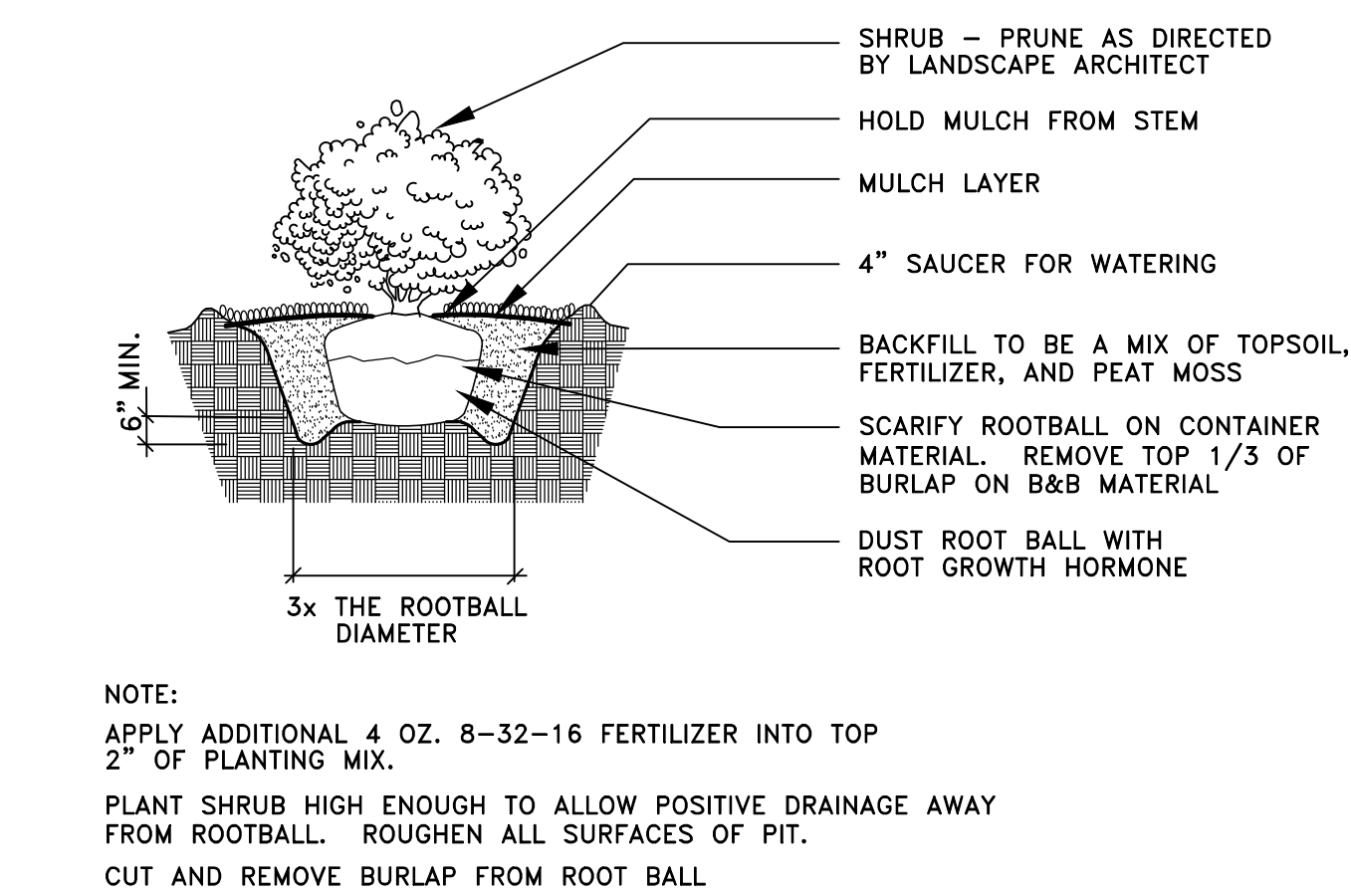
DECIDUOUS TREE PLANTING/STAKING DETAIL

NOT TO SCALE



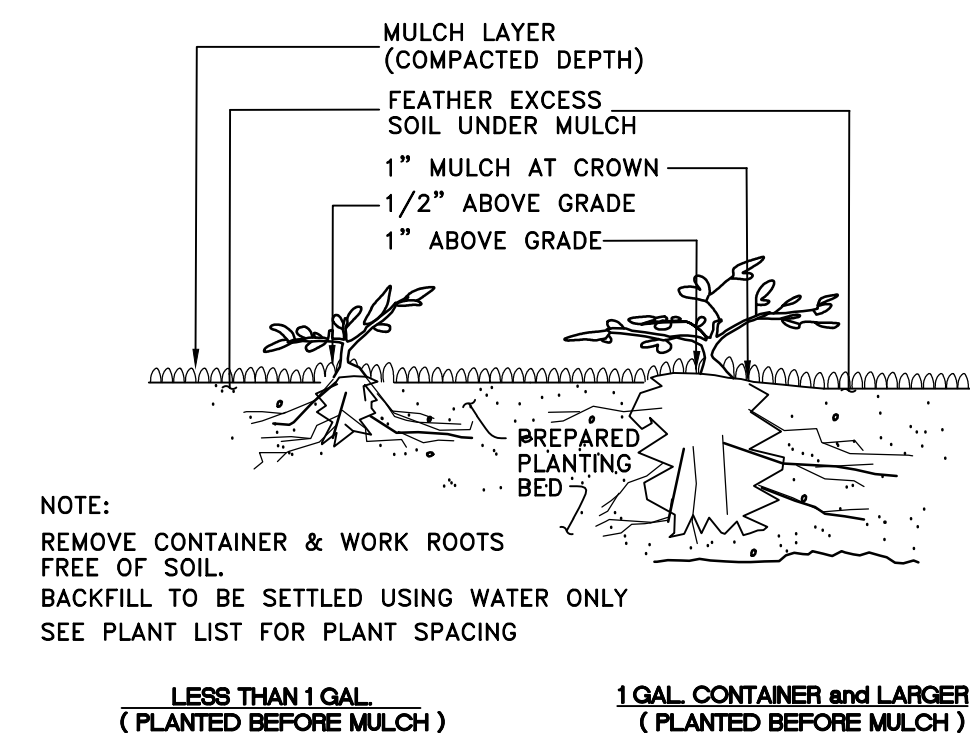
EVERGREEN TREE PLANTING/STAKING DETAIL

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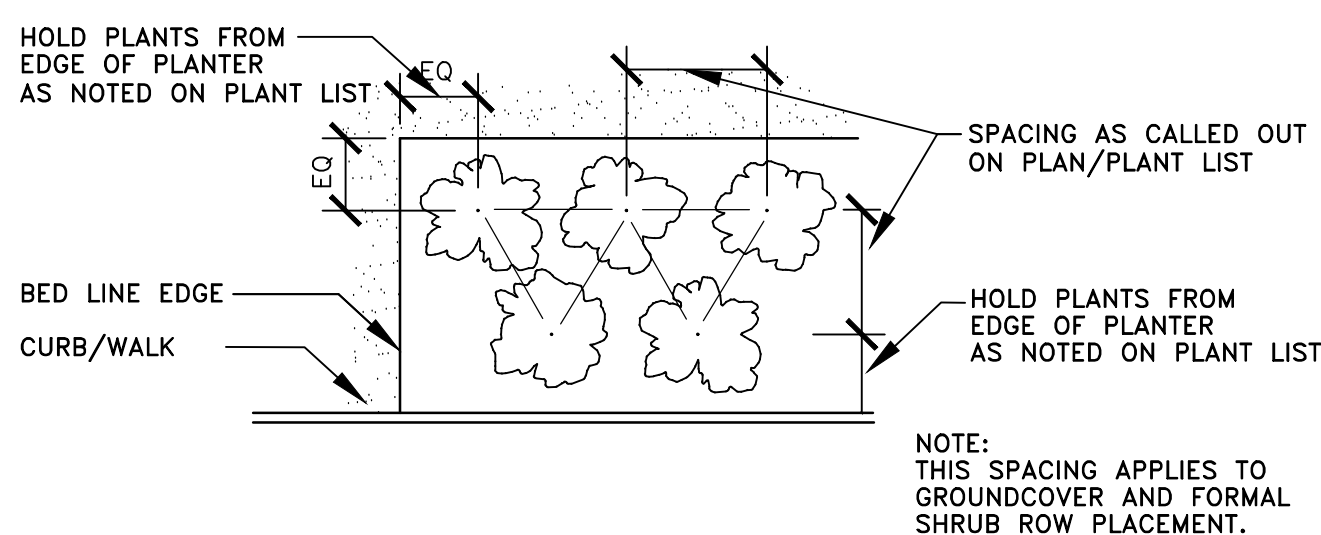
SHRUB PLANTING DETAIL

NOT TO SCALE



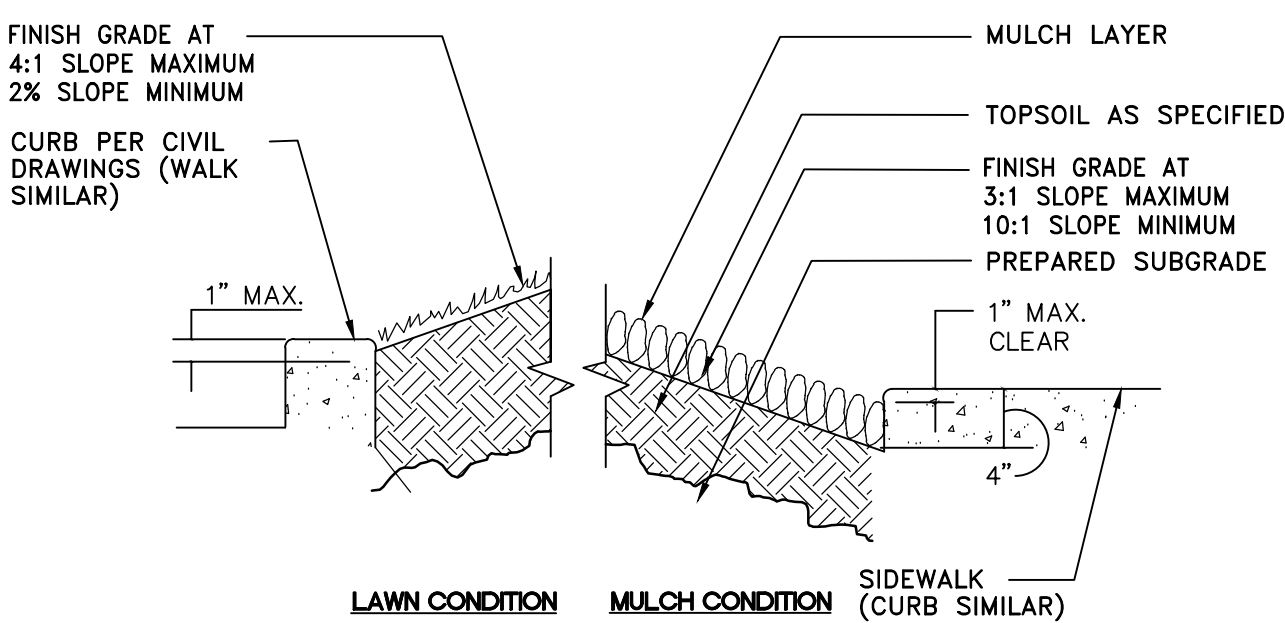
GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



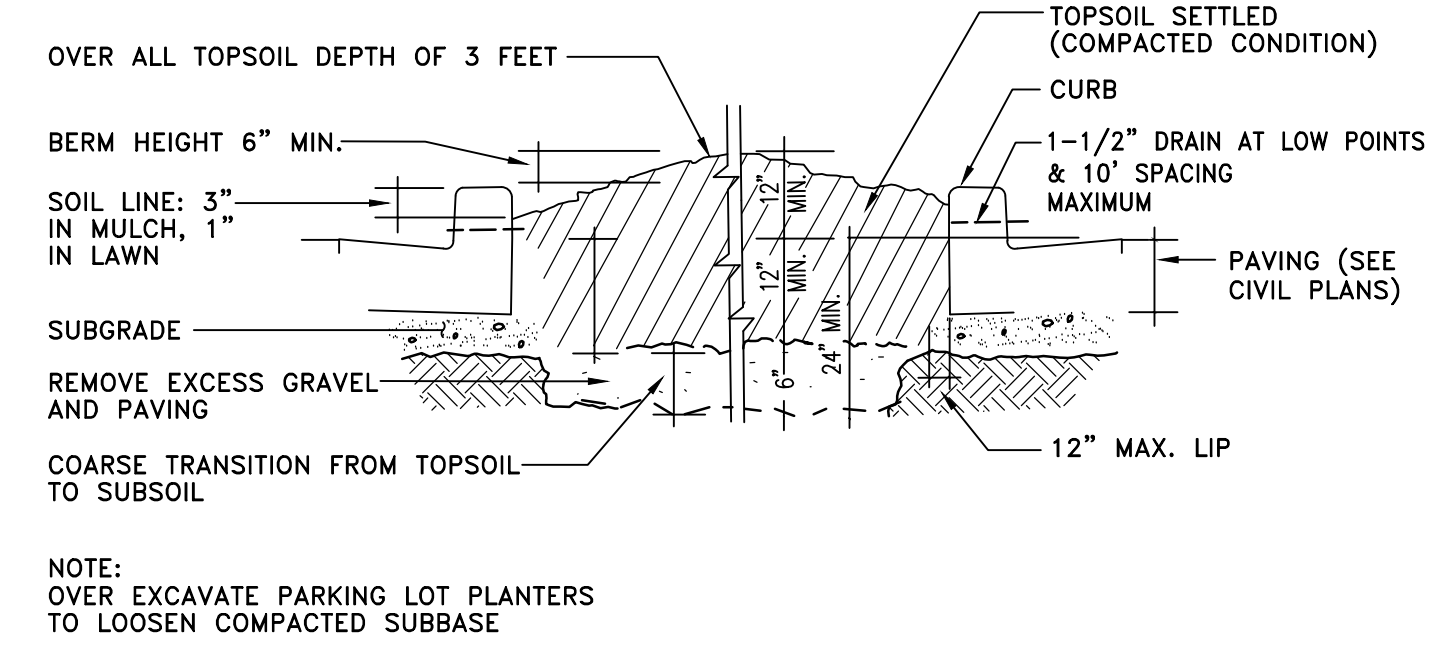
PLANT MATERIAL SPACING DETAIL

NOT TO SCALE



PLANTER SECTION DETAIL

NOT TO SCALE



GRADING & PARKING LOT PLANTERS DETAIL

NOT TO SCALE

DEDUCT ALT #1: IF LANDSCAPE CONTRACTOR CAN DEMONSTRATE WITH A SOIL ANALYSIS (OR SIMILAR) THAT PARKING LOT ISLAND PLANTERS HAVE EXISTING SOIL THAT HAS SIMILAR QUALITIES AS THE IMPORTED TOPSOIL, 6" OF ORGANIC COMPOST CAN BE INSTALLED IN THE PLANTERS AND CULTIVATED INTO THE TOP 12"-18" OF EXISTING SOIL

NOTE:
ALBUQUERQUE REQUIRES THAT ORGANIC BARK MULCH, NOT ROCK MULCH, BE APPLIED WITHIN 5 FEET OF EACH TREE TRUNK. SEE PLANTING PLAN AND LANDSCAPE LEGEND FOR LINES DIVIDING BARK MULCH FROM ROCK MULCH NEAR TREES. ALL MULCH SHALL BE MINIMUM 2" DEPTH, WITH 3" TO 4" DEPTH PREFERRED BY THE CITY.

No.	Date	By	Chd.	Appr.	Revision

Title:
LANDSCAPE DETAILS
RENAISSANCE BLVD. N.E.
ALBUQUERQUE, NM 87107
COSTCO WAREHOUSE LOCATION #116

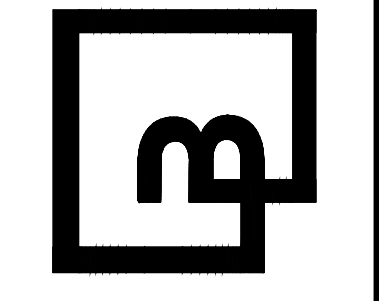
For:
Costco Wholesale
COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027



Scale:
Horizontal N/A
Vertical N/A

Designed LRP
Drawn LRP
Checked JMV
Approved JMV
Date 10/4/22

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