



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Tony Pantone		Phone: 801.394.3033
Address: 620 24th Street		Email: tony@bp-architects.net
City: Ogden	State: Utah	Zip: 84401
Professional/Agent (if any): Tony Pantone		Phone: 801.394.3033
Address: 620 24th Street		Email: tony@bp-architects.net
City: Ogden	State: Utah	Zip: 84401
Proprietary Interest in Site:	List all owners: On Sight Holdings LLC	

BRIEF DESCRIPTION OF REQUEST

Remodel of existing retail space into a new branch for America First Credit Union

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 3	Block:	Unit:
Subdivision/Addition: Lowe's Subdivision	MRGCD Map No.:	UPC Code: 101406621002030113
Zone Atlas Page(s): A-14-Z	Existing Zoning: NR-BP	Proposed Zoning: NR-BP
# of Existing Lots: 7	# of Proposed Lots: N/A	Total Area of Site (acres): 3.0313

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 3400 NM-528 Between: Coors Bypass NW and: Coors Blvd. NW

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 09.03.21
Printed Name: Tony K. Pantone	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01565	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2021-006032

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

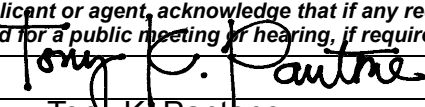

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature: 	Date: 08.26.21
Printed Name: Tony K. Pantone	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: PR-2021-006032	Case Numbers: SI-2021-01565
Staff Signature:	
Date:	



City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

To Whom it May Concern,

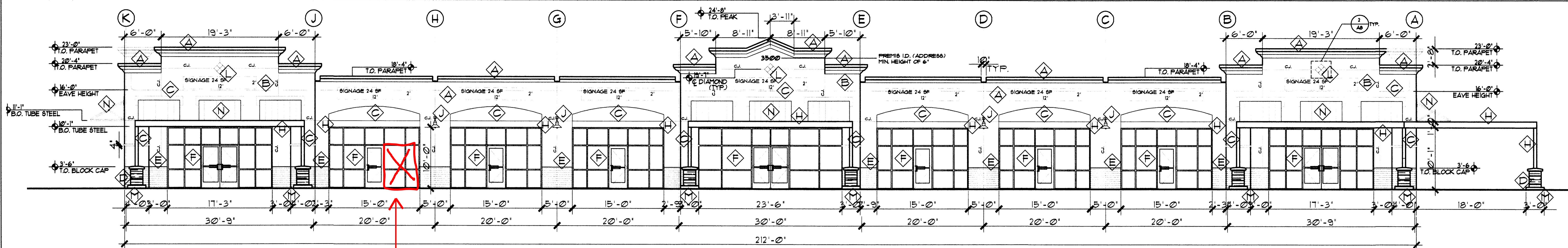
America First Credit Union has given permission to Tony Pantone with Bott Pantone Architects to proceed with a new branch location in Albuquerque, NM. This branch is located at approximately 3400 NM-528 E in Albuquerque, New Mexico.

We authorize Tony Pantone to act in behalf of the Credit Union to be our Authorized Agent and proceed with this project. Tony Pantone has authorization to draft plans and construction documents and work with the city building and planning departments on our behalf for this project.

Sincerely,

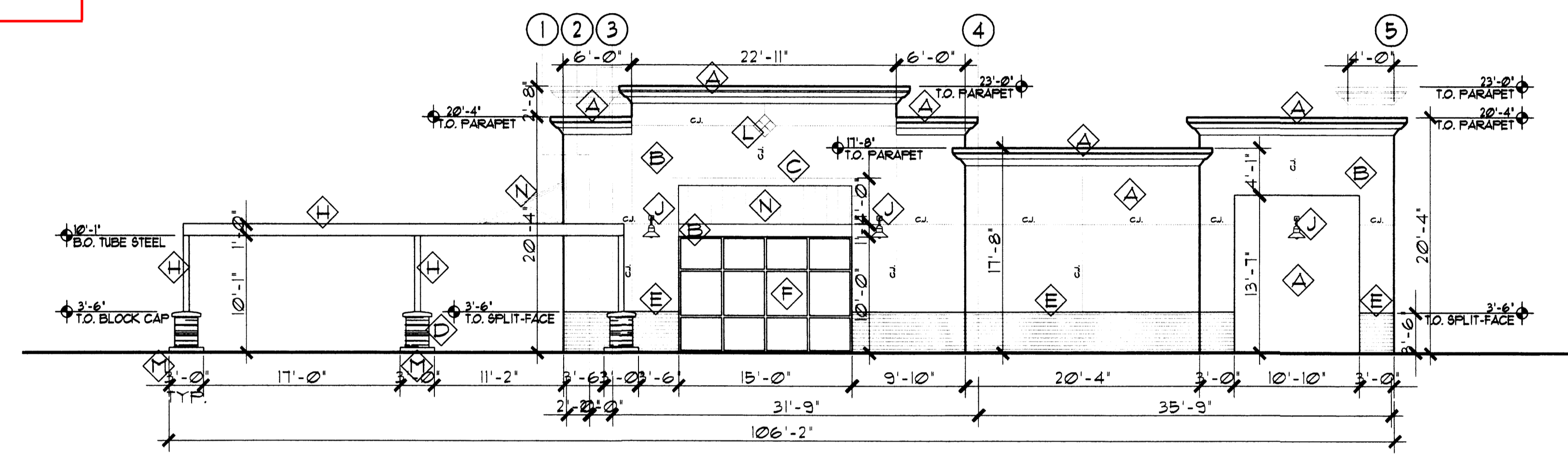
Timothy Snideman

Tim Snideman
Construction Manager
America First Credit Union



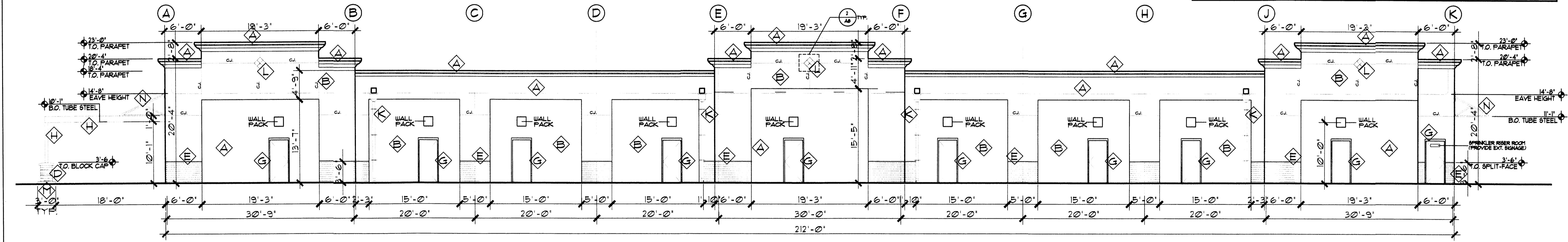
Proposed site revision for the America First Credit Union tenant improvement. Remove portion of existing storefront windows and add a walk-up ATM to the existing exterior wall.

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

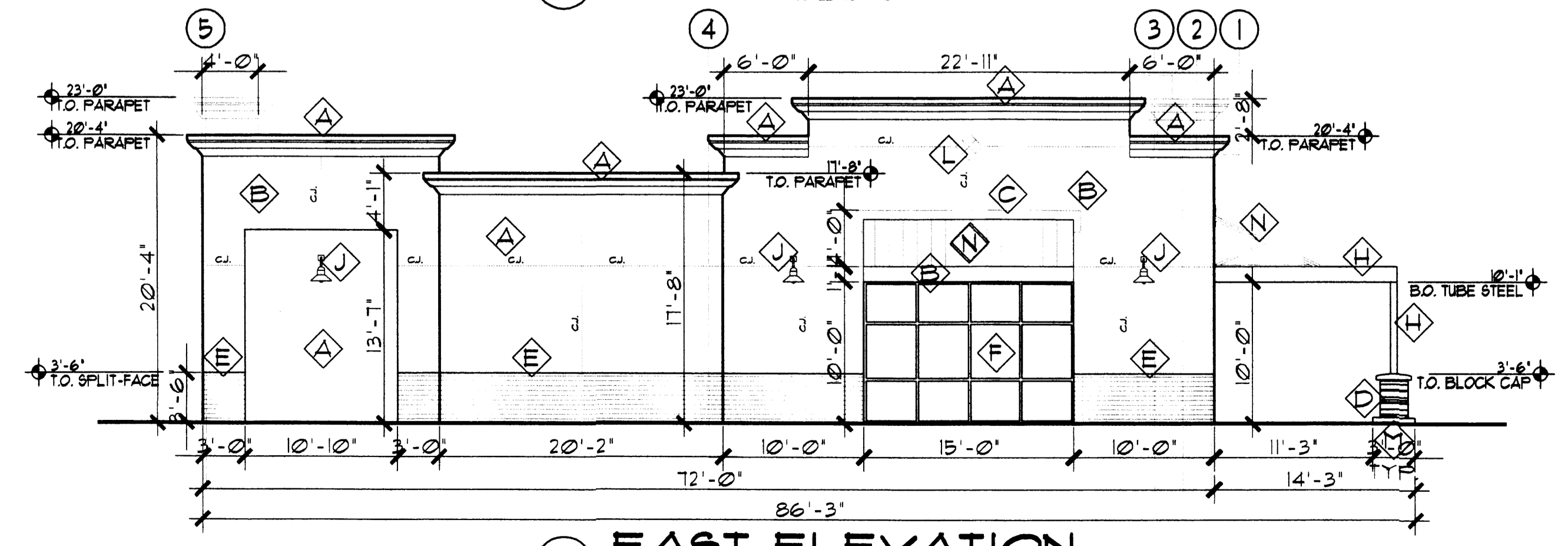


2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Keyed Color / Material Schedule		Common Name
⬡	STUCCO EL REY 1628 ALMOND	OFF WHITE/ L.T.TAN
⬡	STUCCO EL REY 1638 BEACH	L.T. TAN
⬡	STUCCO EL REY 1637 WHARF	MED. TAN
⬡	DRYSTACK LEDGESTONE HARRISTONE CHABLIS	
⬡	SPLIT-FACE CMU BENJAMIN MOORE *4C-152 (WHIPPLE BLUE)	
⬡	ALUM. STOREFRONT BRONZE	
⬡	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
⬡	TUBE STEEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬡	LIGHT FIXTURE TRUE WHITE	
⬡	DOWNSPOUT TRUE WHITE	
⬡	DIAMOND PATTERN W/4"x4" TILE INLAY MATCH BIG COUNTRY BLUE (NON-REFLECTIVE)	
⬡	3"x3"x6" CONCRETE COLUMN BASE	
⬡	TUBE STEEL CANOPY W/ STANDING-SEAM MTL. BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬡	C-CHANNEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	

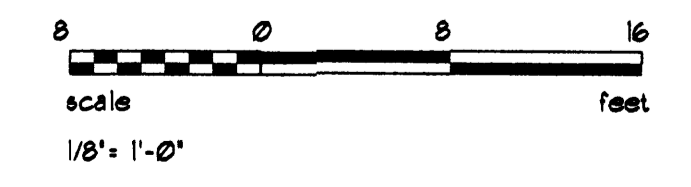


3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED.
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.
ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION
1			
2			
3			
4			

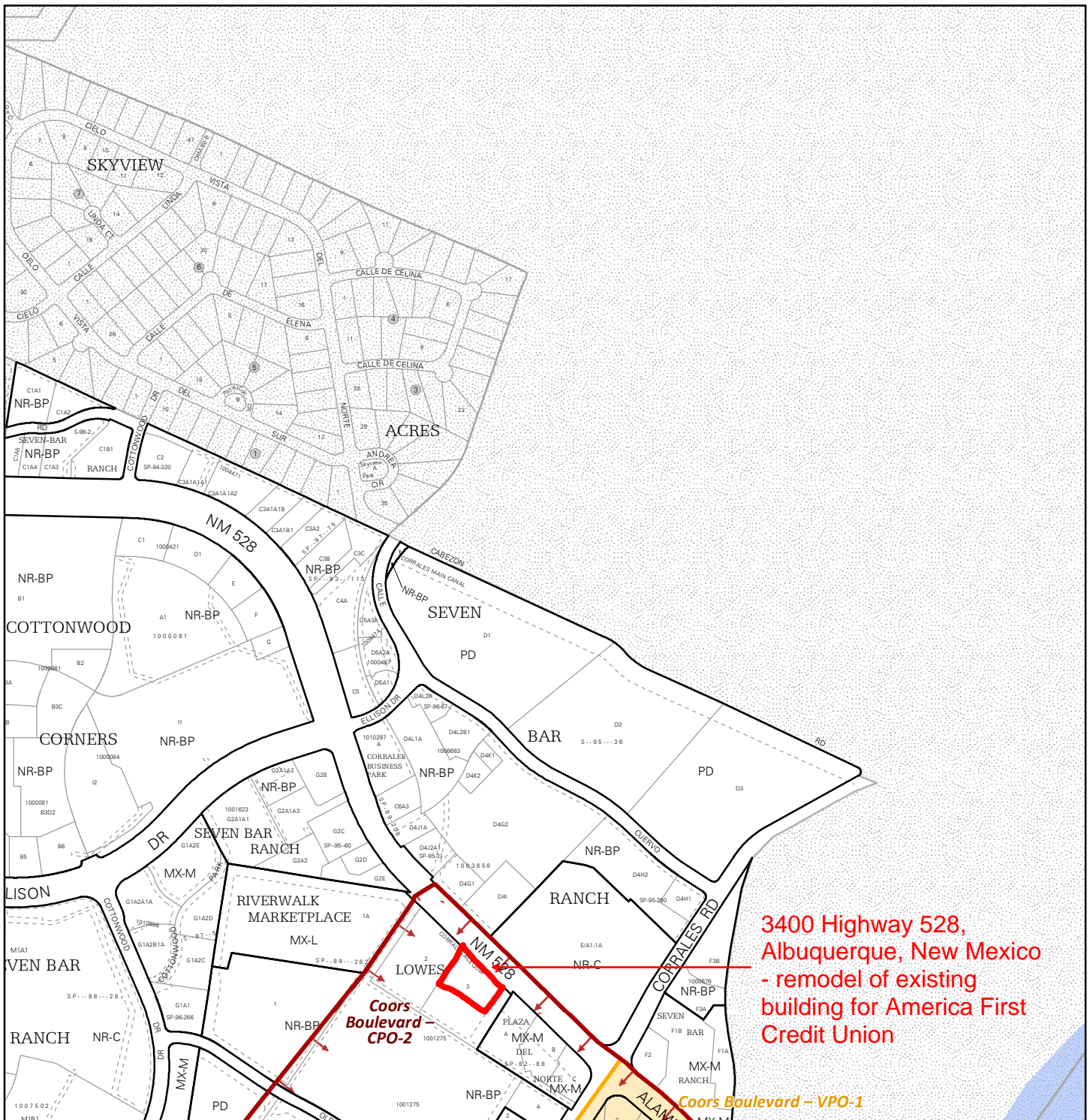
GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
SHOPPES OF ALAMEDA
N STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.
ALBUQUERQUE, NEW MEXICO
PROJECT MANAGER
William Suttles
JOB NO.
06/3A
DRAWN BY:
URS
SHEET TITLE
RETAIL SHOPS ELEV.

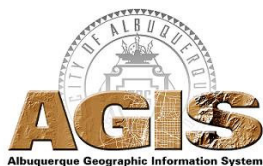
DATE:
8/31/06
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AS NOTED
sheet:
A1
of:

DRB SUBMITTAL

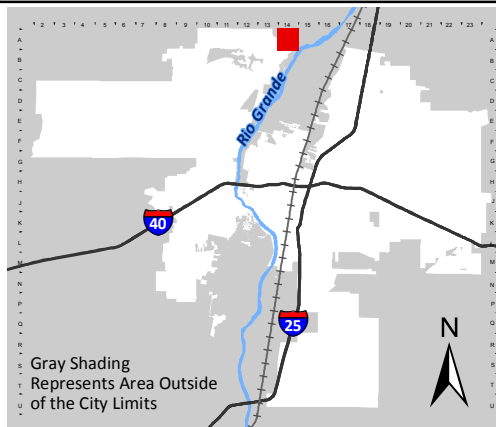


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

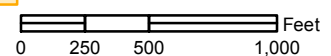


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Zone Atlas Page:
A-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



08.26.21

Jay Rodenbeck
Senior Planner
600 2ND NW
Albuquerque, New Mexico

Dear Jay,

On behalf of America First Credit Union, I am writing this letter to describe, explain and justify the request for a Minor Amendment to a Site Plan. Currently, the building at 3400 Highway 528 is occupied by Locker Room Haircuts. America First Credit Union is leasing the retail space and will be remodeling the existing space into a branch office for the credit union.

The exterior of the building will remain mostly as-is. A portion of the existing aluminum storefront system on the north side of the building will have to be removed so that a walk-up ATM can be installed. The wall will be infilled to match the existing conditions around the ATM (please re: D1.1 and A1.1). Two hollow metal frame doors on the south side of the building will also be removed. One door will be infilled to match the existing wall type and the other will be replaced with a new door and frame.

No site work or exterior demolition will be required. The new occupant load will not require additional parking stalls, handicap access, etc.

This amendment is necessary because the original building was not built to accommodate banking needs. Currently, there is not space for a walk-up ATM. Therefore, we require this amendment to the original site plan to comply with America First Credit Union's wishes of offering a walk-up ATM. This site plan amendment would not increase or decrease the dimensions of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-4 of the IDO Section 14-16-6-4(Y)(2) as the original building's only exterior modification will be to remove a portion of the existing storefront system to make access for a walk-up ATM (IDO Part 14-16-6-4(Y)(2)(a)(1., 2.)).

Approval of this amendment will not decrease the total amount of open space within the development and will not reduce the size of any open space abutting a lot containing a residential use because the addition of the walk-up ATM will be contained within the existing exterior wall of the building. The abutting zones to the building's site are zoned as commercial use (IDO Part 14-16-6-4(Y)(2)(a)(3.)).

The addition of the walk-up ATM will not affect the building's square footage or encroach on current setbacks on its property or the adjacent properties. Nor will this amendment increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan (IDO Part 14-16-6-4(Y)(2)(a)(4., 5.)).

Upon addition of the walk-up ATM for America First Credit Union, the original building's facade will have been modified. This will not adjust the building's design standards (IDO Part 14-16-6-4(Y)(2)(a)(6.)).

The addition of the walk-up ATM will not affect the amount of total landscaping. No landscaping will be removed to insert the ATM into the existing exterior wall (IDO Part 14-16-6-4(Y)(2)(a)(7.)).

The ATM will not provide an effect on traffic patterns. No major or minor public Infrastructure will be affected or need to be significantly changed (IDO Part 14-16-6-4(Y)(2)(a)(8., 9.)).

The existing land use, zoned as commercial, will not be affected. This America First Credit Union branch falls within the commercial zoning (IDO Part 14-16-6-4(Y)(2)(a)(10., 11., 12.)).

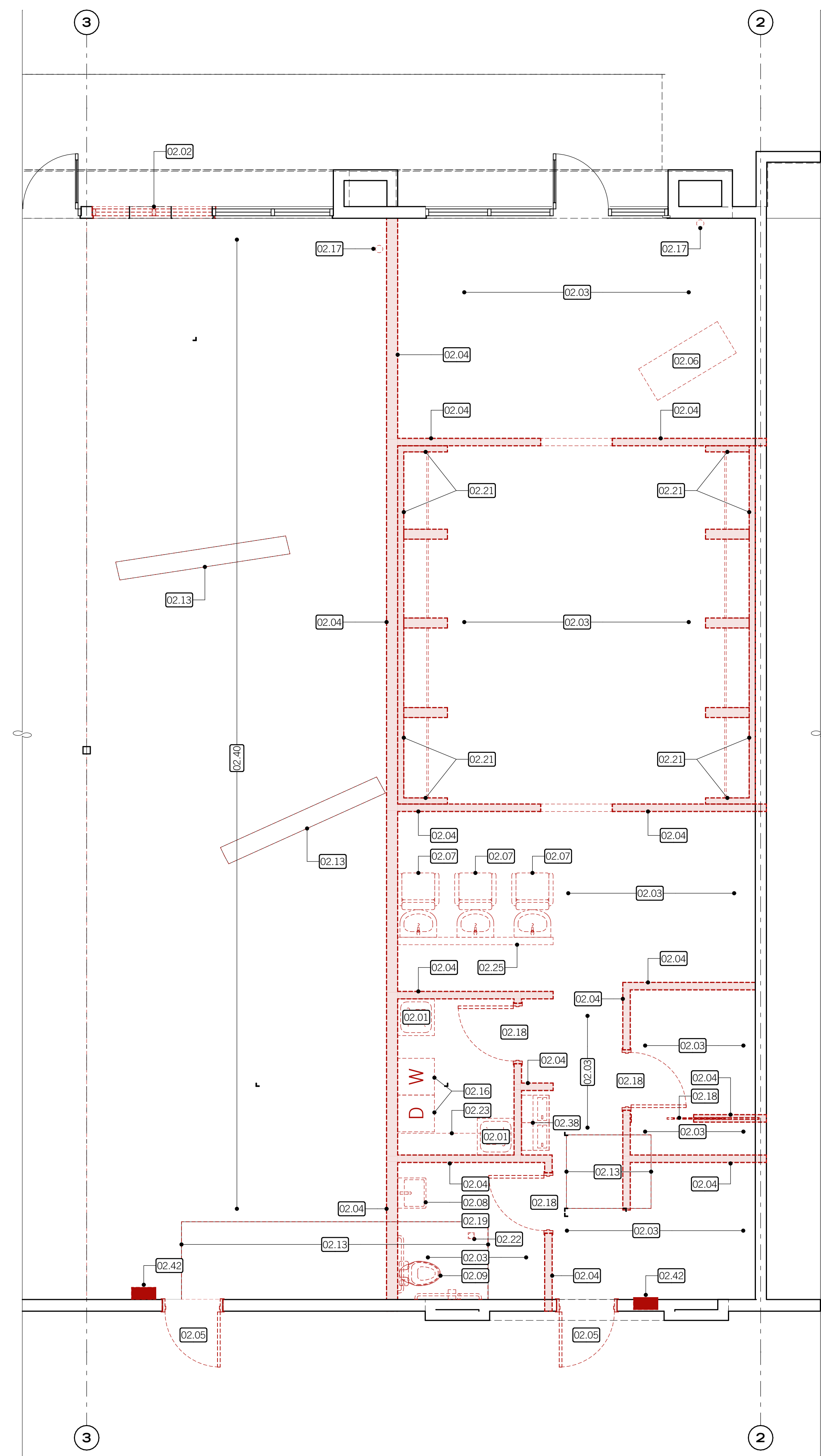
Staff was unable to find a previous copy of the Official Notice of Decision associated with a prior approval.

Your consideration for this site plan amendment is greatly appreciated.

Sincerely,

A handwritten signature in black ink that reads "Tony K. Pantone". The signature is written in a cursive, flowing style.

Tony K. Pantone, AIA, LEED AP
Vice President



GENERAL DEMOLITION NOTES:

- A. Field verify existing conditions.
- B. Provide miscellaneous demolition required for new construction, whether specifically defined, or not.
- C. Reference engineering sheets for additional demolition requirements.
- D. Provide temporary bracing and shoring as required for removal of existing walls.
- E. Reference demolition reflected ceiling plans for ceiling demolition requirements not shown on this sheet.
- F. Where a wall is removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
- G. Protect existing materials and finishes to remain from damage.
- H. All noted materials are new, unless noted otherwise.

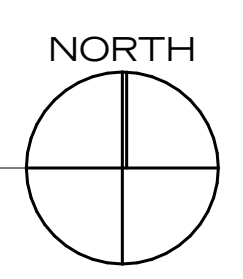
KEYED NOTES:

- 02.01 Remove existing mop sink/laundry sink, complete. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.02 Remove portion of existing aluminum storefront system as shown.
- 02.03 Remove existing LVP/vinyl flooring system in this room, complete, including wall base.
- 02.04 Remove existing wood/metal framed partition, complete, including wall base, etc. Protect adjacent materials and finishes from damage.
- 02.05 Remove existing metal door and hollow metal frame, complete.
- 02.06 Remove existing service counter millwork, complete.
- 02.07 Remove existing salon chairs including sinks and plumbing. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.08 Remove existing wall mount lavatory and faucet, complete - re: plumbing. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.09 Remove existing floor mount water closet, complete - re: plumbing. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.13 Saw cut and remove existing concrete floor slab as required for new plumbing/electrical work - coordinate with plumbing/electrical drawings.
- 02.16 Remove existing clothes washer/dryer and associated mechanical and plumbing systems, complete.
- 02.17 Remove existing wall mount fire extinguisher.
- 02.18 Remove existing wood door and frame, complete.
- 02.19 Remove all existing restrooms accessories in this room (i.e. grab bars, mirrors, toilet paper dispensers, paper towel dispensers, etc.).
- 02.21 Remove existing salon millwork system, complete.
- 02.22 Remove existing floor drain, complete. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.23 Remove existing wall shelving system.
- 02.25 Remove existing wood/metal framed partial height partition, complete, including wall base, etc. Protect adjacent materials and finishes from damage.
- 02.38 Remove existing electric drinking fountains.
- 02.40 Remove existing broadloom carpeting and rubber wall base to location of new demising wall.
- 02.42 Remove existing electrical panel board - re: electrical.

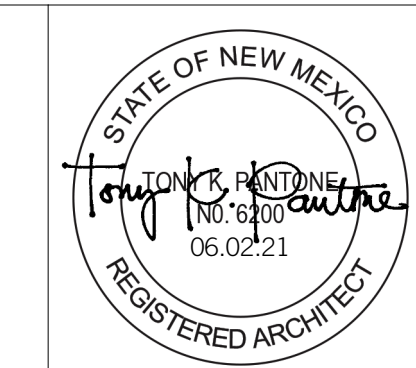
DEMOLITION LEGEND:

- : Building element to be demolished.
- : Existing building element to remain (protect from damage).

1ST LEVEL DEMOLITION FLOOR PLAN



1' = 1'-0", 1/4" = 1'-0"
 06.02.21 PERMIT SET
 Project Number: 2118

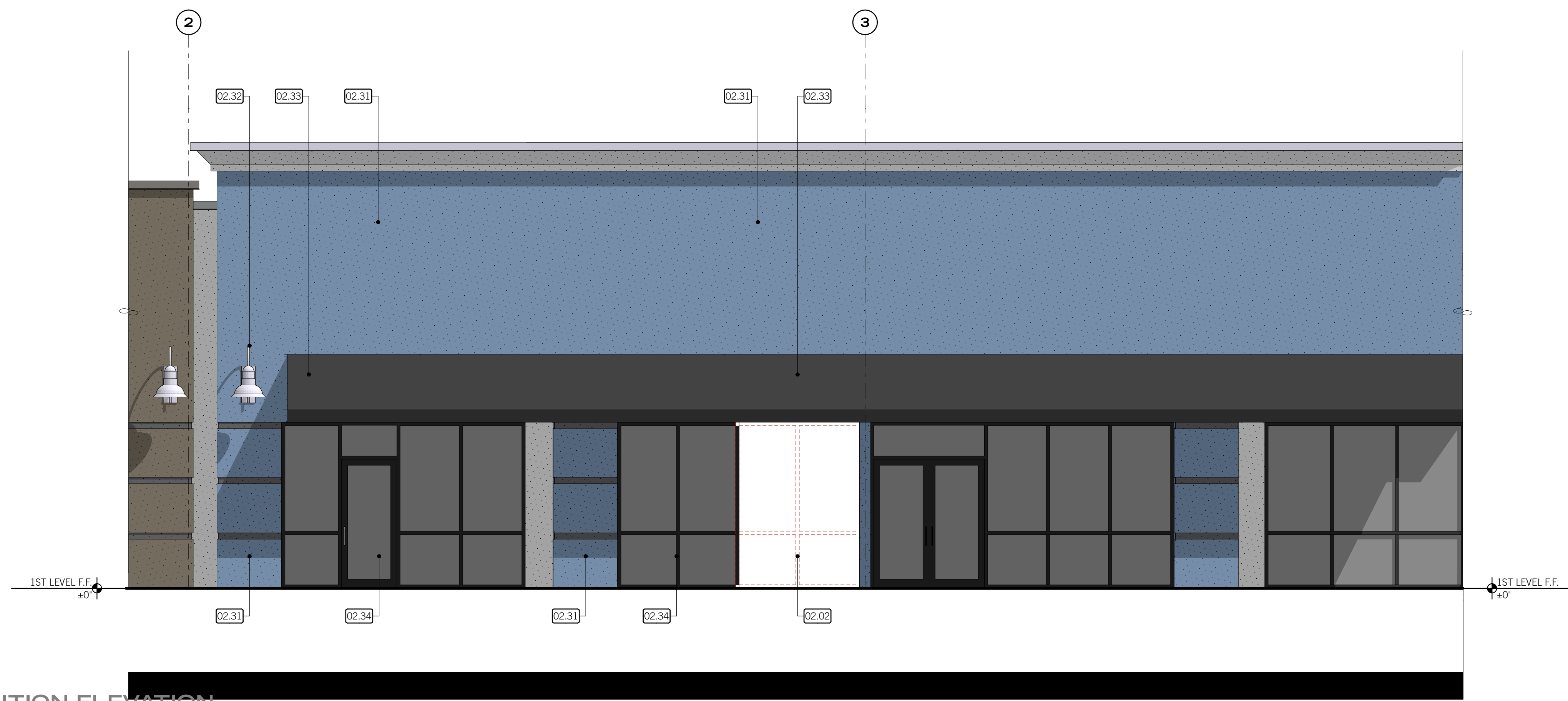


AFCU - ALBUQUERQUE BRANCH
 3400 HIGHWAY 528
 ALBUQUERQUE, NM

D1.1

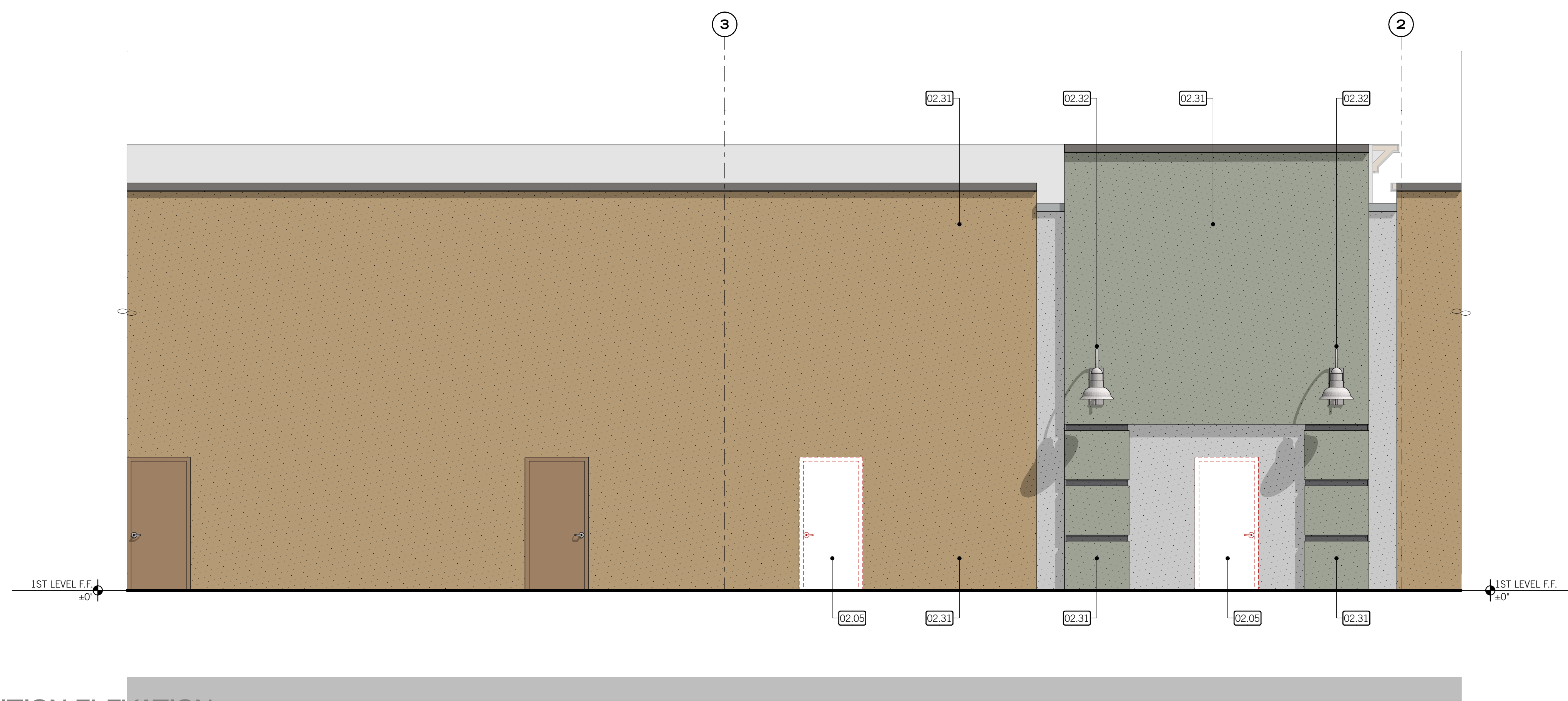
NO.	DATE	DESCRIPTION

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NORTH DEMOLITION ELEVATION

A 1/4" = 1'-0"



SOUTH DEMOLITION ELEVATION

B 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

- A. Field verify existing conditions.
- B. Provide miscellaneous demolition required for new construction, whether specifically defined, or not.
- C. Reference engineering sheets for additional demolition requirements.
- D. Provide temporary bracing and shoring as required for removal of existing walls.
- E. Reference demolition reflected ceiling plans for ceiling demolition requirements not shown on this sheet.
- F. Where a wall is removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
- G. Protect existing materials and finishes to remain from damage.
- H. All noted materials are new, unless noted otherwise.

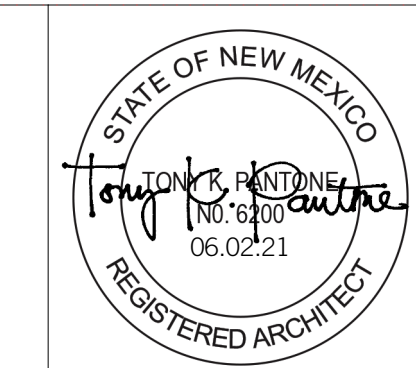
KEYED NOTES:

- 02.02 Remove portion of existing aluminum storefront system as shown.
- 02.05 Remove existing metal door and hollow metal frame, complete.
- 02.31 Existing EIFS system - protect from damage
- 02.32 Existing light fixture to remain - protect from damage
- 02.33 Existing awning system to remain - protect from damage
- 02.34 Existing aluminum storefront system to remain - protect from damage

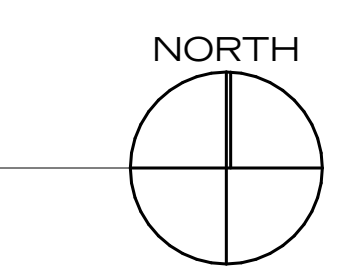
DEMOLITION ELEVATIONS

1/4" = 1'-0", 1' = 1'-0"
 06.02.21 PERMIT SET
 Project Number: 2118

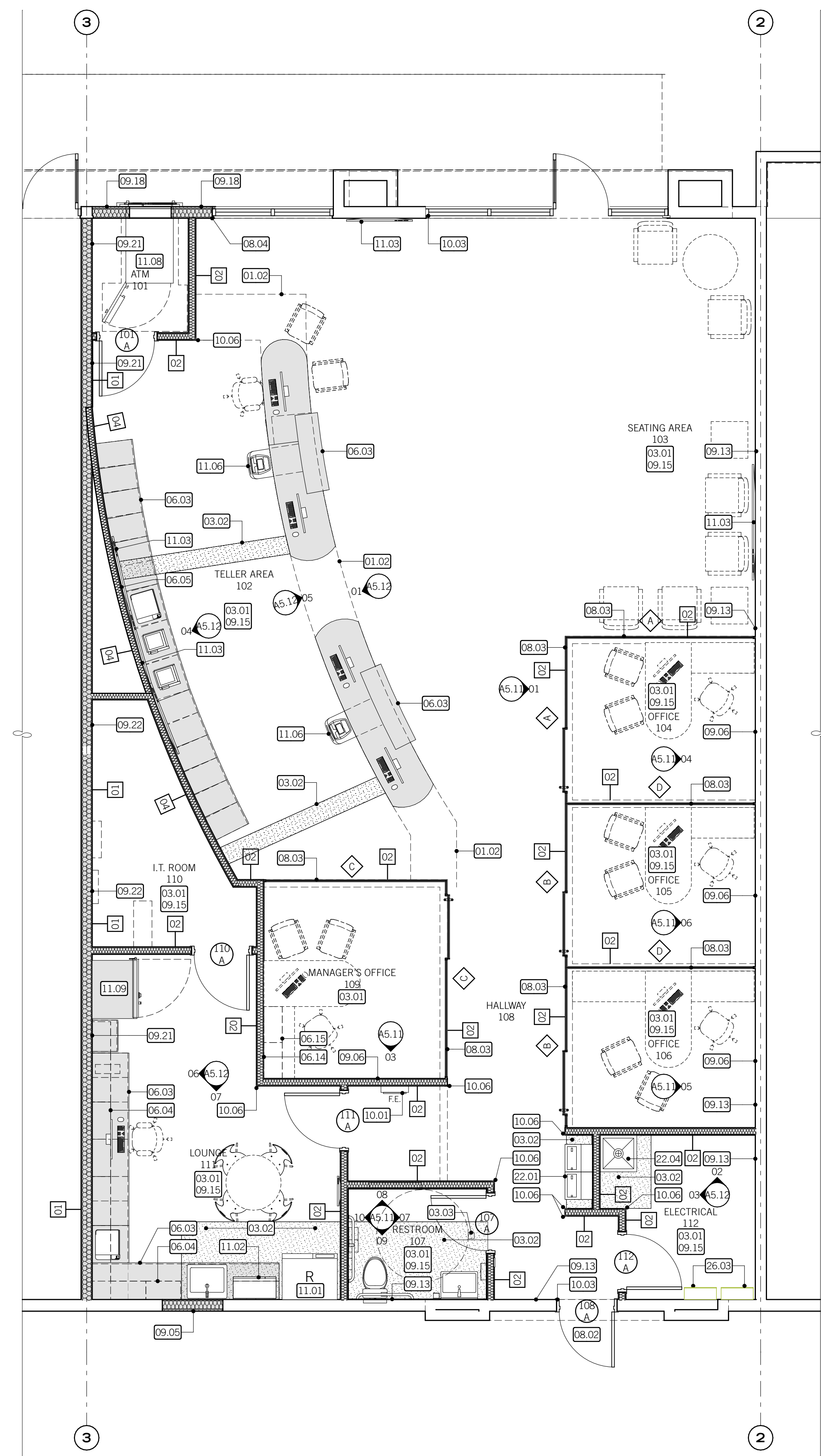
NO.	DATE	DESCRIPTION



AFCU - ALBUQUERQUE BRANCH
 3400 HIGHWAY 528
 ALBUQUERQUE, NM



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GENERAL PARTITION NOTES:

- FRAMED WALL PARTITIONS**
- Partition type indications are independent of applied finishes. See the finish sheets and interior elevations for wall finishes including tile coursing and layout and/or the designations on the plans for additional information regarding applied finishes.
 - Where partition type designation on floor plans is interrupted by door opening, glazed partitions, etc., construction above interruption (and where applicable below) is to be the same as that designated for the partition in which the interruption occurred.
 - The minimum requirements for construction of each partition type as expressed by the indicated reference are incorporated by reference and are applicable to the work of this project. However, additional and/or more restrictive requirements may be indicated by the specifications and drawings. Such requirements also apply and shall govern such requirements including but are not limited to:
 - Use 5/8" thick gypsum board throughout, unless noted otherwise.
 - Use 16" o.c. max. stud spacing, unless noted otherwise in these documents. The spacing stated by the referenced approval or test report is the max. spacing if allowed in these documents.
 - Use studs of gauge indicated on the drawings or in the specifications. The gauge stated by the referenced approval or test report is the minimum gauge tested. 20 ga (30 mils) is the minimum allowed in these documents.
 - Use studs of depth indicated by this set of documents. The depth stated by the referenced approval or test report is the minimum depth allowed in these documents.
 - All dimensions are center of stud or rough opening unless noted otherwise. Face of finished wall will be noted as FOW.
 - At all interior walls, the studs, insulation, and gypsum board are to extend to the deck above, unless noted otherwise.
 - Wall types not noted are assumed to match adjacent rooms. See sheets for finishes. Notify architect of any discrepancies.
 - All metal stud partitions are considered acoustic partitions and are to receive a type 1 sound attenuation blanket. Thickness shall match stud depth unless noted otherwise.
 - Provide control joints in metal framed walls at approximately 30 feet on center. Locate at corner above doors or inside corner of pilasters or other inconspicuous locations where possible. Consult with architect prior to commencing framing.
 - At wall openings for penetration of pipes, ducts, devices, etc. gypsum board is to be cut to match the shape and dimension of the penetrating object and the gap between the object and the wall is to be sealed with acoustical or fire sealant on all sides with a 3/4" joint at all sides maximum. The opening for ducts or large penetrations shall be framed with a header. Add an angled corner brace if the gap exceeds 3" from framing to the opening.
 - Contractor to provide blocking/backing for all wall mounted equipment. See floor plans and interior elevations for cabinets, grab bars, etc. Install blocking as detailed or as required to mount such devices. All wood blocking is to be fire retardant treated. Install as per detail 01/A1.2.
 - Where there is limited water exposure: install one layer of 5/8" type X water resistant gypsum board per ASTM C1396 (where gypsum board occurs) of basic partition at the following locations:
 - Within 2 feet horizontally and 4 feet vertically of janitors sinks.
 - At other locations, i.e. toilet rooms, and as indicated on the architectural finish plans and elevations.
 - Install one layer of 5/8" glass mat tile backer board in lieu of gypsum board (where gypsum board occurs) of basic partition where there is no fire rating and over gypsum board face layer at fire rated partitions at the following locations:
 - Where ceramic tile finishes are indicated per the finish plans and/or interior elevations.
 - At other locations as indicated by the architectural finish plans and elevations.
 - Provide fire blocking in concealed spaces of stud walls and partitions as follows: 1) vertically at the ceiling and floor levels and 2) horizontally at intervals not exceeding 10 feet.
 - See detail 02/A1.2 for typical top of wall condition at all stud partitions.
 - See detail 02/A1.2 for typical bottom of wall condition at all stud partitions.
 - See detail 04/A1.2 for typical fire extinguisher cabinet installation details.

GENERAL ANNOTATED PLAN NOTES:

- Field verify existing conditions.
- Where a wall has been removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
- Patch and repair all existing gypsum board surfaces at locations of demolition work. Skim coat all existing walls to remain to provide smooth level finish - paint. See demolition plans and engineering sheets for demolition requirements.
- Patch and repair existing concrete floor slab as required at location of removed ceramic tile flooring system. Install leveling compound as required to level floor for new floor finishes.
- Patch and repair existing concrete floor slab as required at locations of floor slab saw cuts, demolished floor drains, plumbing lines, etc. See demolition plans and engineering sheets for demolition requirements.
- Provide 1/2" plywood or metal backing behind TV wall locations - re: partition types.
- Provide tactile exit signs meeting the requirements of ICC A117.1 at all exterior egress doors.

KEYED NOTES:

- Line of soffit above shown dashed - re: reflected ceiling plan
- Patch and repair existing concrete floor slab as required at location of removed flooring system in this room. Install leveling compound as required to level floor for new floor finishes.
- Patch and repair existing concrete floor slab as required at location of floor slab sawcut.
- Patch and repair existing concrete floor slab as required at location of demolished floor drain.
- Millwork - re: millwork details and interior elevations.
- Millwork above shown dashed - re: millwork details and interior elevations.
- Provide 1/2" plywood or metal backing behind TV wall locations - re: partition types.
- Provide solid blocking in the wall to support Owner provided upper cabinets
- Owner provided upper cabinet
- Install new hollow metal door and frame in existing wall opening - paint. Re: door schedule. Patch and repair existing EIFS system as required.
- Interior glazing partition system furnished and installed by Owner's Vendor.
- Install new aluminum storefront jamb to match existing at location of removed storefront framing. Install new glass seals, etc. as required for a complete storefront installation.
- Infill existing wood framed exterior partition with wood framing and batt insulation to match existing at location of demolished storefront/hollow metal door system. Install 5/8" gypsum board at inside face of wall to match existing. Skim coat wall to provide smooth level finish - paint. Install plywood wall sheathing and exterior EIFS system to match existing @ exterior. Paint existing EIFS adjacent to existing storefront opening to match new EIFS.
- Contractor to provide Soelberg wall covering on this wall - re: finish schedule for product data and interior elevations for color and joint layout. Maintain 1/2" reveal at walls and ceilings - re: detail 09/A1.3.1. Field verify and cut any openings required for electrical devices in Soelberg panels. Openings shall be cut to the size of the electrical device faceplate.
- Patch and repair existing gypsum board as required at location of demolished wall - paint.
- Patch and repair existing gypsum board as required at location of demolished wall finishes in this room. Skim coat wall to provide smooth level finish - paint.
- Infill existing wood framed exterior partition with wood framing and batt insulation to match existing at location of demolished storefront system. Install 5/8" gypsum board at inside face of wall to match existing. Skim coat wall to provide smooth level finish - paint. Install plywood wall sheathing and exterior EIFS system to match existing @ exterior - re: exterior elevations. Coordinate opening dimensions with ATM supplier. Install stainless steel flashing around ATM wall opening where occurs. Paint existing EIFS adjacent to existing storefront opening to match new EIFS. Re: detail 06/A1.2.
- Install sound batt insulation and 5/8" gypsum board over existing metal stud wall framing - re: finish schedule. Install 5/8" gypsum board to bottom of metal roof decking - paint.
- Install stainless steel flashing and 1/2" plywood wall sheathing over 5/8" gypsum board over existing metal stud wall framing - re: finish schedule. Install 5/8" gypsum board to bottom of metal roof decking - paint. Install plywood wall sheathing to 10'-0" above finish floor elevation.
- Semi-recessed fire extinguisher cabinet with fire extinguisher - re: detail 02/A1.2. Basis of design: JL Industries FE10 extinguisher with JL Industries 1015G17 with safety lock cabinet.
- Provide tactile exit signs meeting the requirements of ICC A117.1 at exterior egress door.
- 48" tall stainless steel corner guard
- Refrigerator (N.I.C.) - provided by Owner's Equipment Contractor
- Microwave (N.I.C.) - provided by Owner's Equipment Contractor
- Wall mounted LCD screen (N.I.C.) - by Owner. Contractor to coordinate exact location with Owner and Architect - re: electrical and equipment plan.
- Cash recycler machine (N.I.C.) - provided by Owner's Equipment Contractor - re: equipment plan. Contractor to coordinate installation with millwork.
- ATM machine (N.I.C.) - provided by Owner's Equipment Contractor - re: equipment plan. Coordinate rough opening dimensions in exterior wall with Owner's Equipment Contractor. Re: detail 06/A1.2 for stainless steel flashing at opening.
- Cash safe (N.I.C.) - provided by Owner's Equipment Contractor - re: equipment plan.
- Electric water cooler - re: plumbing. Provide stainless steel wall panel behind water coolers.
- Mop sink - re: plumbing.
- Electrical panel - re: electrical

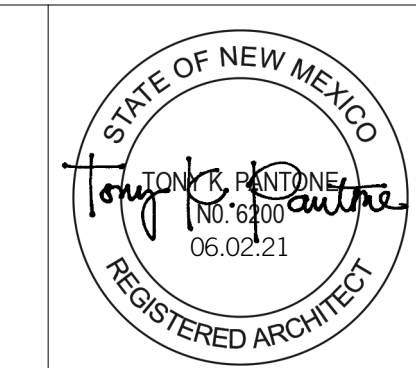
1ST LEVEL ANNOTATED PLAN

1' = 1'-0", 1/4" = 1'-0"
06.02.21 PERMIT SET
 Project Number: 2118

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 3400 HIGHWAY 528
 ALBUQUERQUE, NM

A1.1

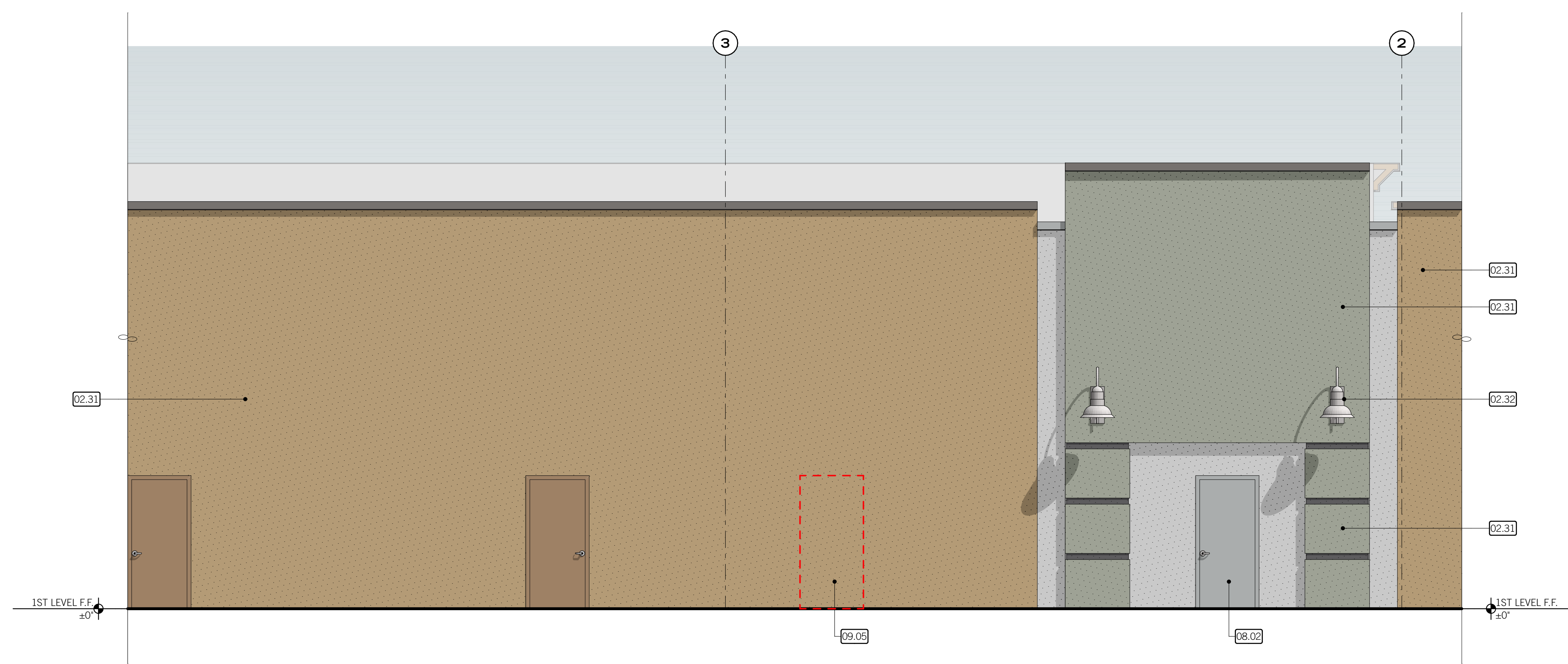
NO.	DATE	DESCRIPTION





NORTH ELEVATION

A 1/4" = 1'-0"

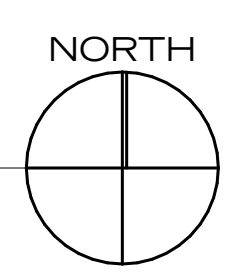
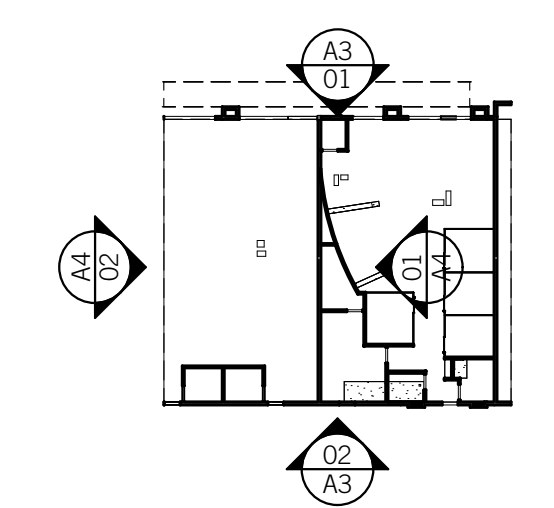


SOUTH ELEVATION

B 1/4" = 1'-0"

KEYED NOTES:

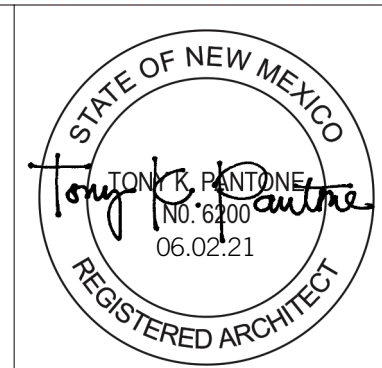
- 02.31 Existing EIFS system - protect from damage
- 02.32 Existing light fixture to remain - protect from damage
- 02.33 Existing awning system to remain - protect from damage
- 02.34 Existing aluminum storefront system to remain - protect from damage
- 07.02 New EIFS system to match existing - paint to match adjacent existing EIFS system.
- 08.02 Install new hollow metal door and frame in existing wall opening - paint. Re: door schedule. Patch and repair existing EIFS system as required.
- 09.05 Infill existing wood framed exterior partition with wood framing and batt insulation to match existing at location of demolished storefront/hollow metal door system. Install 5/8" gypsum board at inside face of wall to match existing. Skim coat wall to provide smooth level finish - paint. Install plywood wall sheathing and exterior EIFS system to match existing @ exterior. Paint existing EIFS adjacent to existing storefront opening to match new EIFS.
- 09.18 Infill existing wood framed exterior partition with wood framing and batt insulation to match existing at location of demolished storefront system. Install 5/8" gypsum board at inside face of wall to match existing. Skim coat wall to provide smooth level finish - paint. Install plywood wall sheathing and exterior EIFS system to match existing @ exterior - re: exterior elevations. Coordinate opening dimensions with ATM supplier. Install stainless steel flashing around ATM wall opening where occurs. Paint existing EIFS adjacent to existing storefront opening to match new EIFS. Re: detail 06A1.2.
- 10.05 Building mounted exterior sign by Owner. Provide electrical power as per electrical drawings.
- 11.08 ATM machine (N.I.C.) - provided by Owner's Equipment Contractor - re: equipment plan. Coordinate rough opening dimensions in exterior wall with Owner's Equipment Contractor. Re: detail 06A1.2 for stainless steel flashing at opening.



EXTERIOR ELEVATIONS

1/4" = 1'-0", 1" = 40'
 06.02.21 PERMIT SET
 Project Number: 2118

NO.	DATE	DESCRIPTION



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 ALBUQUERQUE, NM

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CITY OF ALBUQUERQUE INVOICE

TONY PANTONE

620 24TH STREET

Reference NO: SI-2021-01565

Customer NO: CU-131698896

Date	Description	Amount
9/21/21	2% Technology Fee	\$1.00
9/21/21	Application Fee	\$50.00

Due Date: **9/21/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 9/21/21
Amount Due: **\$51.00**
Reference NO: SI-2021-01565
Payment Code: 130
Customer NO: CU-131698896

TONY PANTONE
620 24TH STREET
OGDEN, UT 84401



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