

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

C40-45(2)

C40-45(2)

8399174

PLAT MAP FOR

RIVERWALK MARKETPLACE

BERNALILLO COUNTY, NEW MEXICO

OCTOBER, 1989

5' Utility Esmnt. to be granted to Gas Company of N.M. with the filing of this plat

10' Utility Esmnt. to be granted to PNM & U.S. West with the filing of this plat

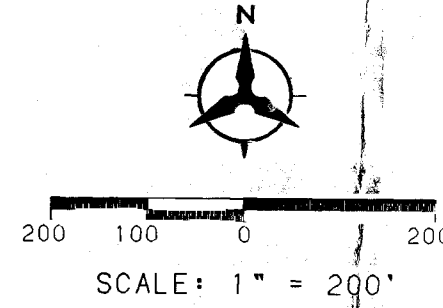
20' Utility Esmnt. to be granted to New Mexico Utility, Inc. with the filing of this plat

0.0226 Ac. Additional Street R/W To Be Dedicated with the Filing of this Plat

20' Utility Esmnt. to be granted to New Mexico Utility, Inc. with the filing of this plat

LOT 1-A

DETAIL "A"
NOT TO SCALE



Recorded Herein
County of Bernalillo
Instrument was filed for record on

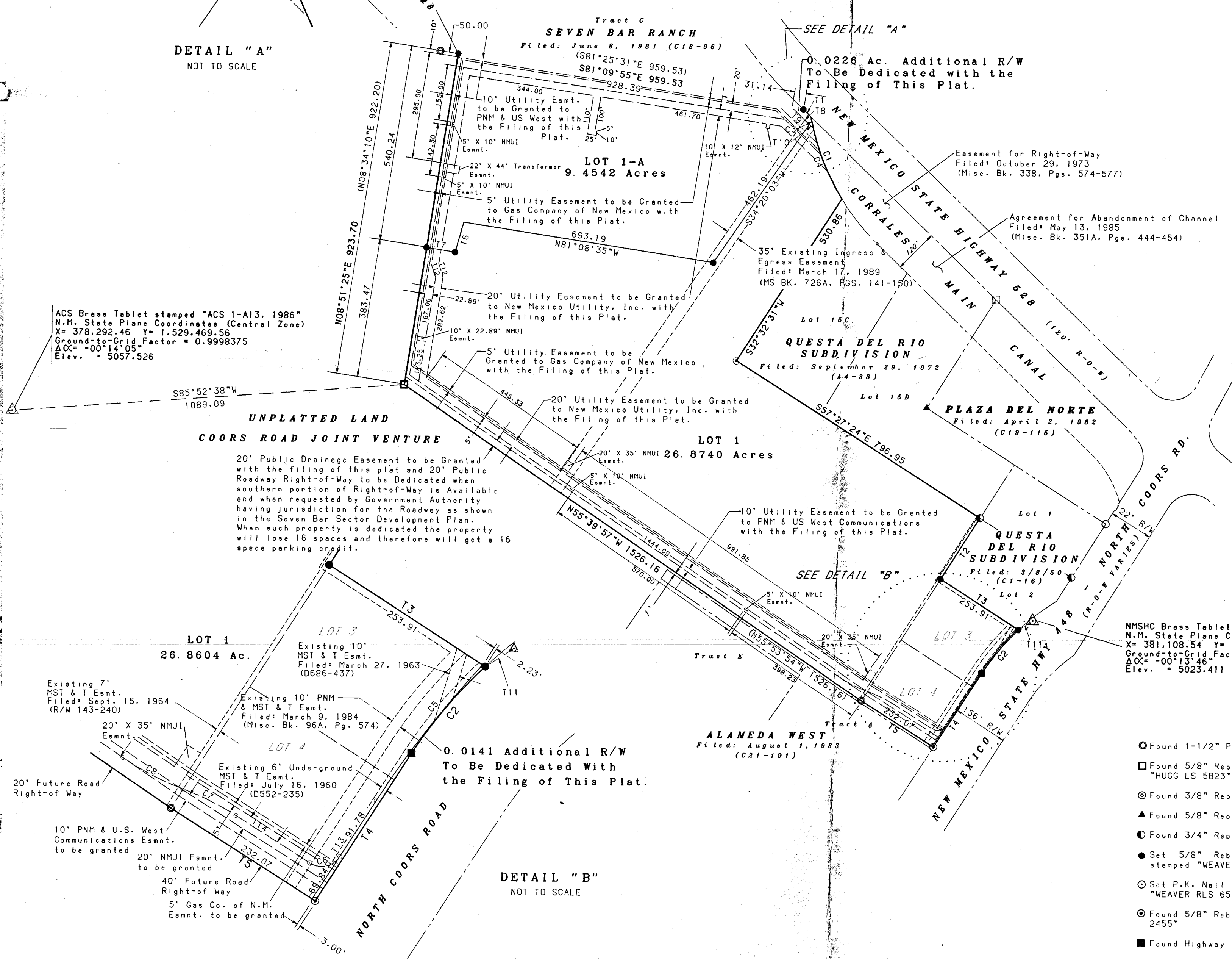
NOV 17 1989
C40
45 2 92

CURVE DATA

NUMBER	ARC	RADIUS	DELTA	CHORD	CHORD BEARING	TANGENT
C1	241.94	643.69	21°32'07"	240.52	S21°04'19"E	122.41
C2	157.82	647.96	13°57'20"	157.43	S39°54'19"W	79.30
C3	32.09	643.69	2°51'22"	32.08	S11°43'56"E	16.05
C4	208.85	643.69	18°40'45"	208.92	S22°30'00"E	105.86
C5	238.48	1437.84	09°32'35"	239.21	S37°41'56"W	120.02
C6	46.96	30.00	89°41'27"	42.31	S77°46'23"W	29.84
C7	81.56	380.00	12°17'49"	81.40	N63°31'48"W	40.94
C8	92.94	380.00	14°00'46"	92.70	N62°40'20"W	46.70

TANGENT DATA

NUMBER	BEARING	DISTANCE
T1	S45°51'29"E	29.05
T2	S32°38'56"W	200.02
T3	S57°21'16"E	256.14
T4	S32°55'39"W	243.72
T5	N57°22'54"W	235.07
T6	S16°03'17"W	85.92
T7	N81°08'35"W	79.47
T8	S45°51'29"E	81.03
T9	S45°51'29"E	65.97
T10	S45°51'29"E	15.06
T11	N57°16'53"E	46.35
T12	N18°53'44"W	38.42
T13	S32°55'39"W	161.62
T14	N57°22'54"W	120.16



ACS Brass Tablet stamped "ACS 1-A13, 1986"
N.M. State Plane Coordinates (Central Zone)
X= 378,292.46 Y= 1,529,469.56
Ground-to-Grid Factor = 0.9998375
ΔOC = -00°14'05"
Elev. = 5057.526

UNPLATTED LAND
COORS ROAD JOINT VENTURE

20' Public Drainage Easement to be Granted with the filing of this plat and 20' Public Roadway Right-of-Way to be Dedicated when southern portion of Right-of-Way is Available and when requested by Government Authority having jurisdiction for the Roadway as shown in the Seven Bar Sector Development Plan. When such property is dedicated the property will lose 16 spaces and therefore will get a 16 space parking credit.

NMSHC Brass Tablet stamped "NM448-N12"
N.M. State Plane Coordinates (Central Zone)
X= 381,108.54 Y= 1,528,910.94
Ground-to-Grid Factor = 0.99967595
ΔOC = -00°13'46"
Elev. = 5023.411

LEGEND

- Found 1-1/2" Pipe
- Found 5/8" Rebar with yellow plastic survey cap stamped "HUGG LS 5823"
- ⊙ Found 3/8" Rebar
- ▲ Found 5/8" Rebar
- Found 3/4" Rebar
- Set 5/8" Rebar with 1-1/4" yellow plastic survey cap stamped "WEAVER LS 6544"
- Set P.K. Nail with 1-1/2" aluminum survey washer stamped "WEAVER RLS 6544"
- ⊙ Found 5/8" Rebar with yellow plastic cap stamped "PE & LS 2455"
- Found Highway R/W T-Rail 488+05.20

JOB NO. 88306.09

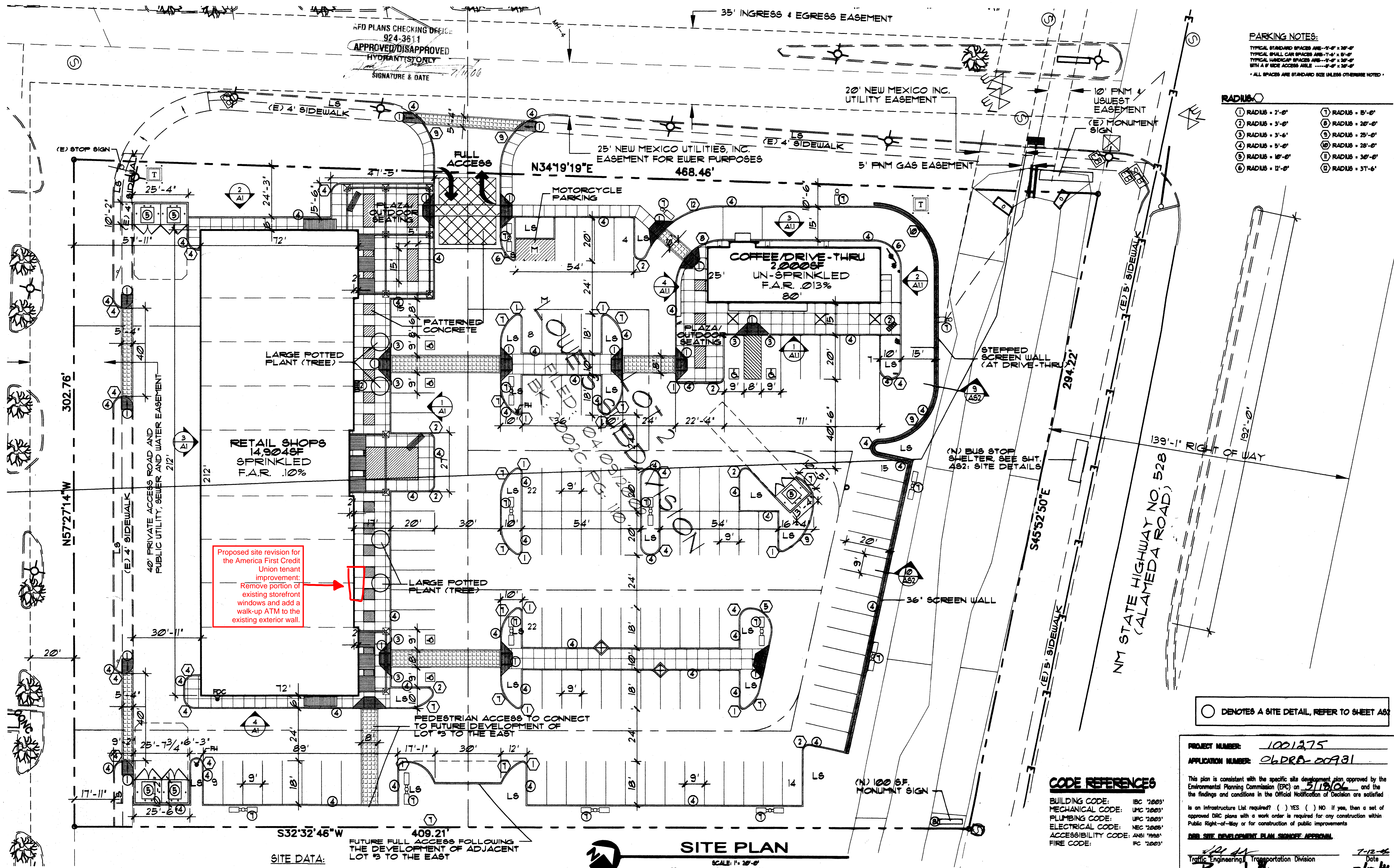


SHEET 2 OF 2 SHEETS

DLB-89-16

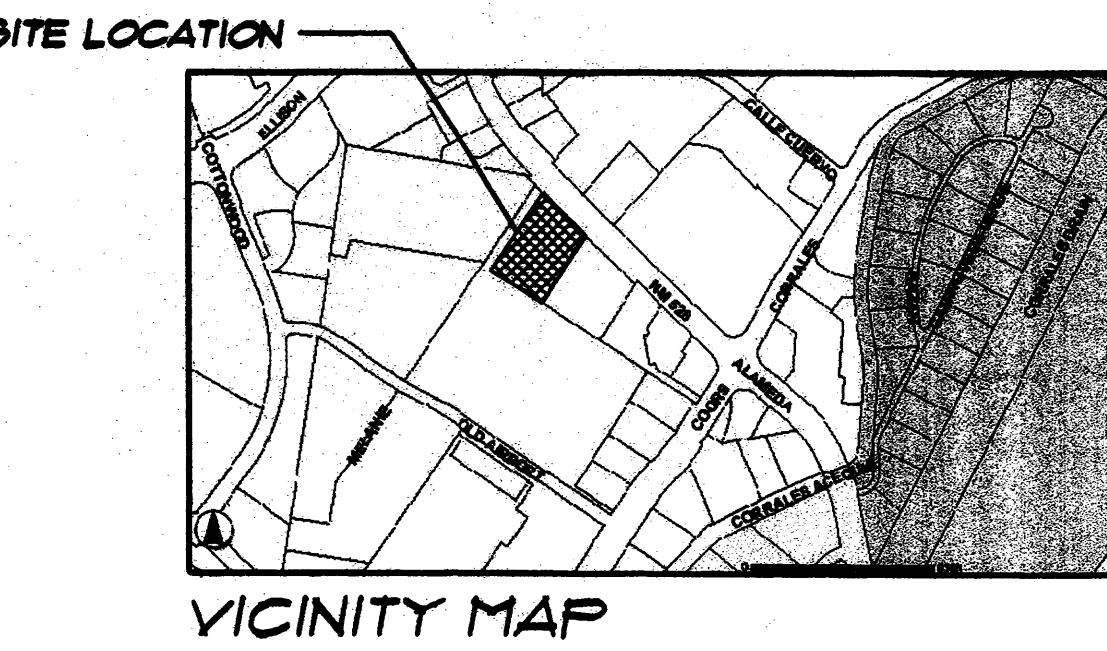
C40-45(2)

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Proposed site revision for the America First Credit Union tenant improvement: Remove portion of existing storefront windows and add a walk-up ATM to the existing exterior wall.

- PARKING NOTES:**
 TYPICAL STANDARD SPACES ARE 1'-0" x 20'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"
 TYPICAL HANDICAP SPACES ARE 10'-0" x 30'-0"
 WITH A 9' WIDE ACCESS AISLE 1'-0" x 30'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED.
- RADIUS:**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 3'-6"
 - ④ RADIUS = 5'-0"
 - ⑤ RADIUS = 10'-0"
 - ⑥ RADIUS = 12'-0"
 - ⑦ RADIUS = 5'-0"
 - ⑧ RADIUS = 20'-0"
 - ⑨ RADIUS = 25'-0"
 - ⑩ RADIUS = 28'-0"
 - ⑪ RADIUS = 30'-0"
 - ⑫ RADIUS = 51'-6"



SITE DATA:

PROPOSED USAGE: C-2 USE

LOT AREA: 159,866 SF (3.61 ACRES)

LANDSCAPE REQUIRED: 65%

OCCUPANT LOAD:

RETAIL SHOPS	14,904 SF @ 30 = 497 PERSONS
COFFEE/DRIVE-THRU	2,000 SF @ 15 = 133 PERSONS
TOTAL OCCUPANT LOAD:	630 PERSONS

TOTAL ALLOWABLE AREA: 73,000 SF

BUILDING AREA:

RETAIL SHOPS BUILDING	14,904 SF (10% FAR)
COFFEE / DRIVE-THRU	2,000 SF (0.13% FAR)
TOTAL SQ. FOOTAGE	16,904 SF

PARKING REQUIRED:

0 - 5,000 - 1 CAR PER 200	15 CARS
5,000 TO 42,000 - 1 CAR PER 250	8 CARS
TOTAL CARS REQUIRED:	23 CARS

TOTAL H.C. PARKING REQUIRED: 4 SPACES
TOTAL H.C. PARKING PROVIDED: 6 SPACES

TOTAL STANDARD PARKING PROVIDED: 101 SPACES

TOTAL MOTORCYCLE PARKING REQUIRED: 3 SPACES
TOTAL MOTORCYCLE PARKING PROVIDED: 2 SPACES (PARKS 4 MOTORCYCLES)

TOTAL PARKING PROVIDED: 116 SPACES
TOTAL PARKING REQUIRED: 83 SPACES

BIKE SPACES REQUIRED: 6 SPACES
BIKE SPACES PROVIDED: 10 SPACES

SITTING SPACES REQUIRED: 8 SPACES
SITTING SPACES PROVIDED: 8 SPACES

SITE PLAN
 SCALE: 1" = 20'-0"

CODE DATA

ADDRESS: NM 528 (ALAMEDA BLVD.)
4 COORS RD.

ZONING: S-U-1 FOR C-2 USES & IP PERMISSIVE USES
 S-U-1 FOR C-2 USES/MP PERMISSIVE USES/
 R-3 PERMISSIVE USES

OCCUPANCY: M
BUILDING TYPE: TYPE 1B
SEISMIC ZONE: 2B
ALLOWABLE AREA: 13,500 SF
OF STOREYS: ONE

FIRE PROTECTION: RETAIL SHOPS: SPRINKLED (14,904 SF)
 COFFEE/DRIVE-THRU: NON-SPRINKLED (2,000 SF)

SITE LEGEND

---	EXISTING PROPERTY LINE		PROPOSED BIKE RACK
---	EXISTING CURB	+	EXISTING SITE LIGHTING
---	PROPOSED CURB	□	PROPOSED PARKING LOT LIGHTING
---	EXISTING ZONE LINE		PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
---	PROPOSED SIDEWALK	LS	PROPOSED LANDSCAPING
---	PROPOSED CROSSWALK-RECESSED BRICK PAVERS	FD	FIRE DEPARTMENT CONNECTION
---	PROPOSED FIRE HYDRANT	T	PROPOSED TRANSFORMER
---		→	VEHICLE INGRESS/EGRESS

CODE REFERENCES

BUILDING CODE: IBC 2003
 MECHANICAL CODE: UPC 2003
 PLUMBING CODE: UPC 2003
 ELECTRICAL CODE: NEC 2005
 ACCESSIBILITY CODE: ANSI 1998
 FIRE CODE: IFC 2003

PROJECT NUMBER: 1001275
APPLICATION NUMBER: 06DRB-00931

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 5/19/06 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

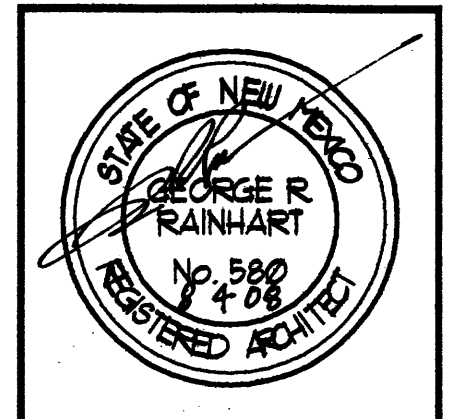
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

<i>[Signature]</i>	Date: 7-12-06
<i>[Signature]</i>	Date: 7/12/06
<i>[Signature]</i>	Date: 7/12/06
<i>[Signature]</i>	Date: 7-12-06
<i>[Signature]</i>	Date: 10/17/06

* Environmental Health, if necessary

REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: SHOPPES OF ALAMEDA
 NM STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.
 ALBUQUERQUE, NEW MEXICO

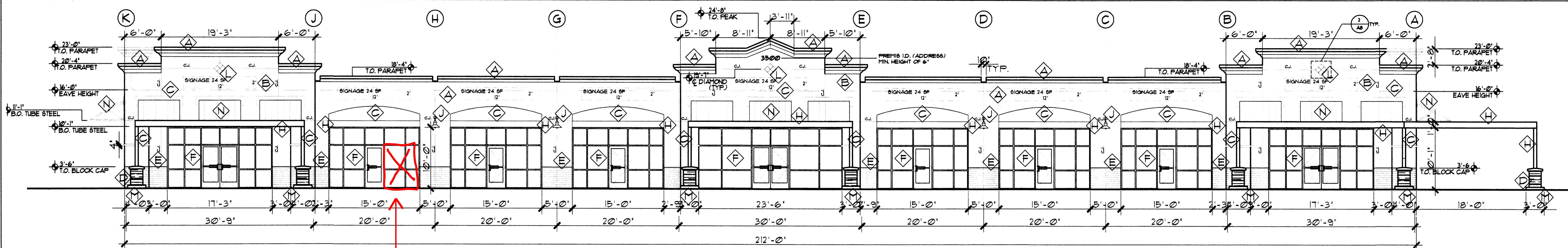
DRAWN BY: URS
JOB NO.: 063A

PROJECT MANAGER: William Sattler

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

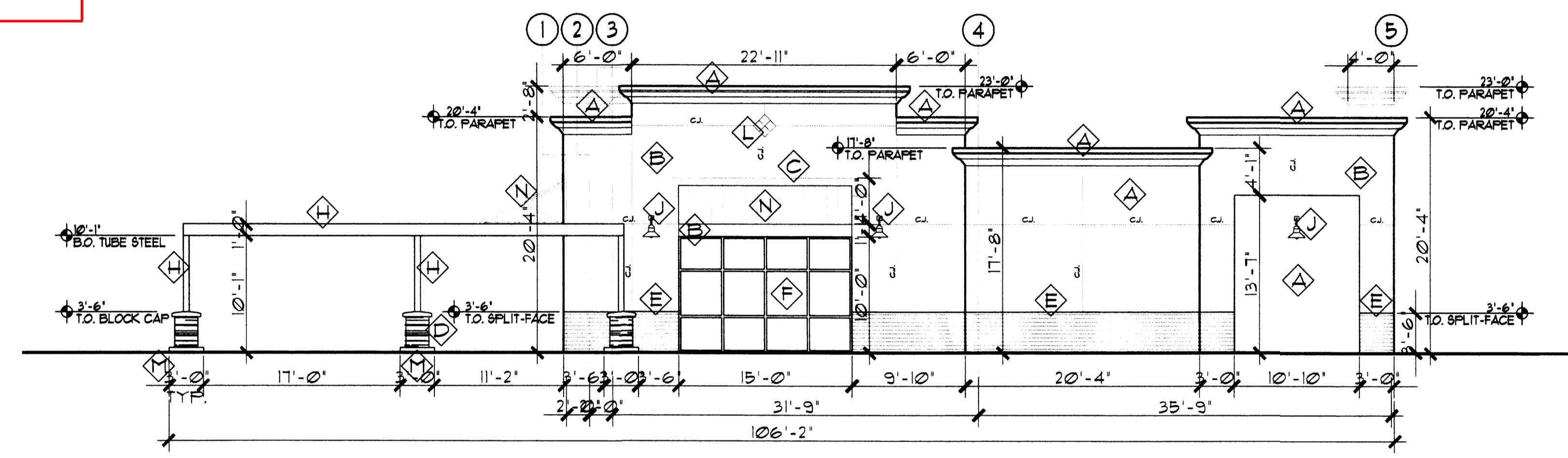
DATE: 8/3/2006
SCALE: 1" = 20'
SHEET: AS1
OF:

PROJECT # 1001275



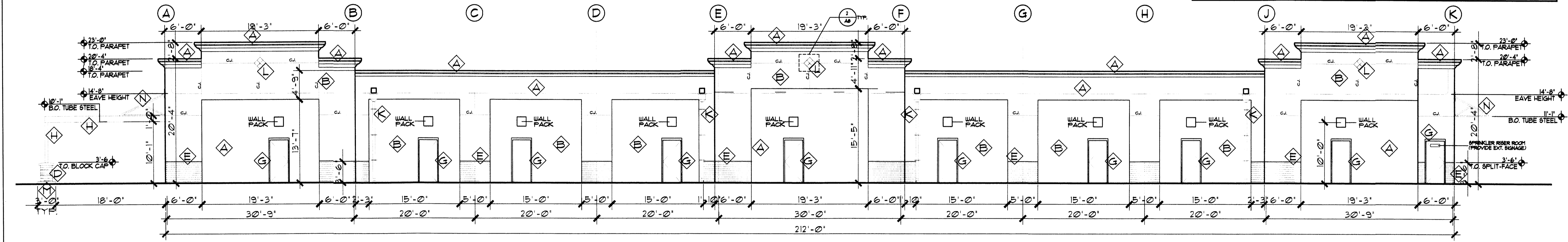
Proposed site revision for the America First Credit Union tenant improvement. Remove portion of existing storefront windows and add a walk-up ATM to the existing exterior wall.

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

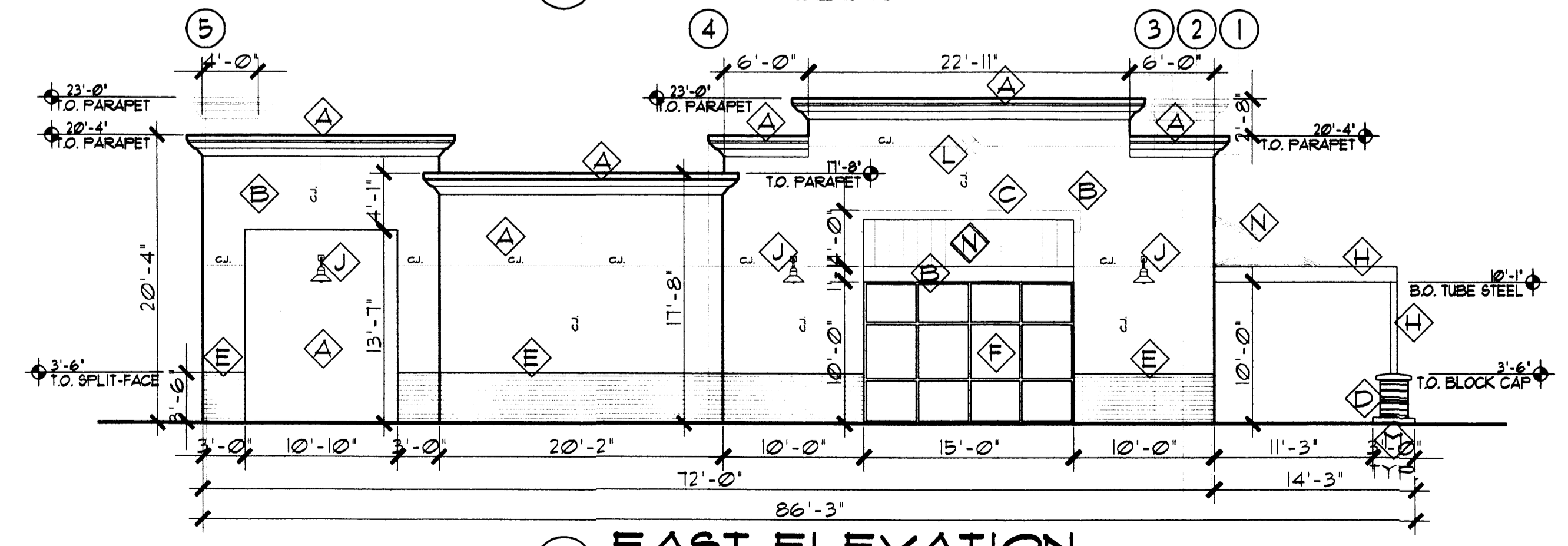


2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

Keyed Color / Material Schedule		Common Name
⬠	STUCCO EL REY 1628 ALMOND	OFF WHITE/ L.T.TAN
⬠	STUCCO EL REY 1638 BEACH	L.T. TAN
⬠	STUCCO EL REY 1637 WHARF	MED. TAN
⬠	DRYSTACK LEDGESTONE HARRISTONE CHABLIS	
⬠	SPLIT-FACE CMU BENJAMIN MOORE *4C-152 (WHIPPLE BLUE)	
⬠	ALUM. STOREFRONT BRONZE	
⬠	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
⬠	TUBE STEEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬠	LIGHT FIXTURE TRUE WHITE	
⬠	DOWNSPOUT TRUE WHITE	
⬠	DIAMOND PATTERN W/4"x4" TILE INLAY MATCH BIG COUNTRY BLUE (NON-REFLECTIVE)	
⬠	3"x3"x6" CONCRETE COLUMN BASE	
⬠	TUBE STEEL CANOPY W/ STANDING-SEAM MTL. BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬠	C-CHANNEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	

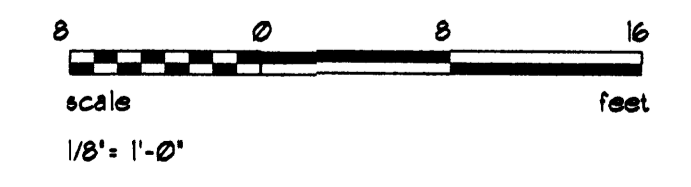


3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED.
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.
ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
SHOPPES OF ALAMEDA
N STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.
ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER
William Suttles

DRAWN BY
URS

JOB NO.
0619A

SHEET TITLE
RETAIL SHOPS ELEV.

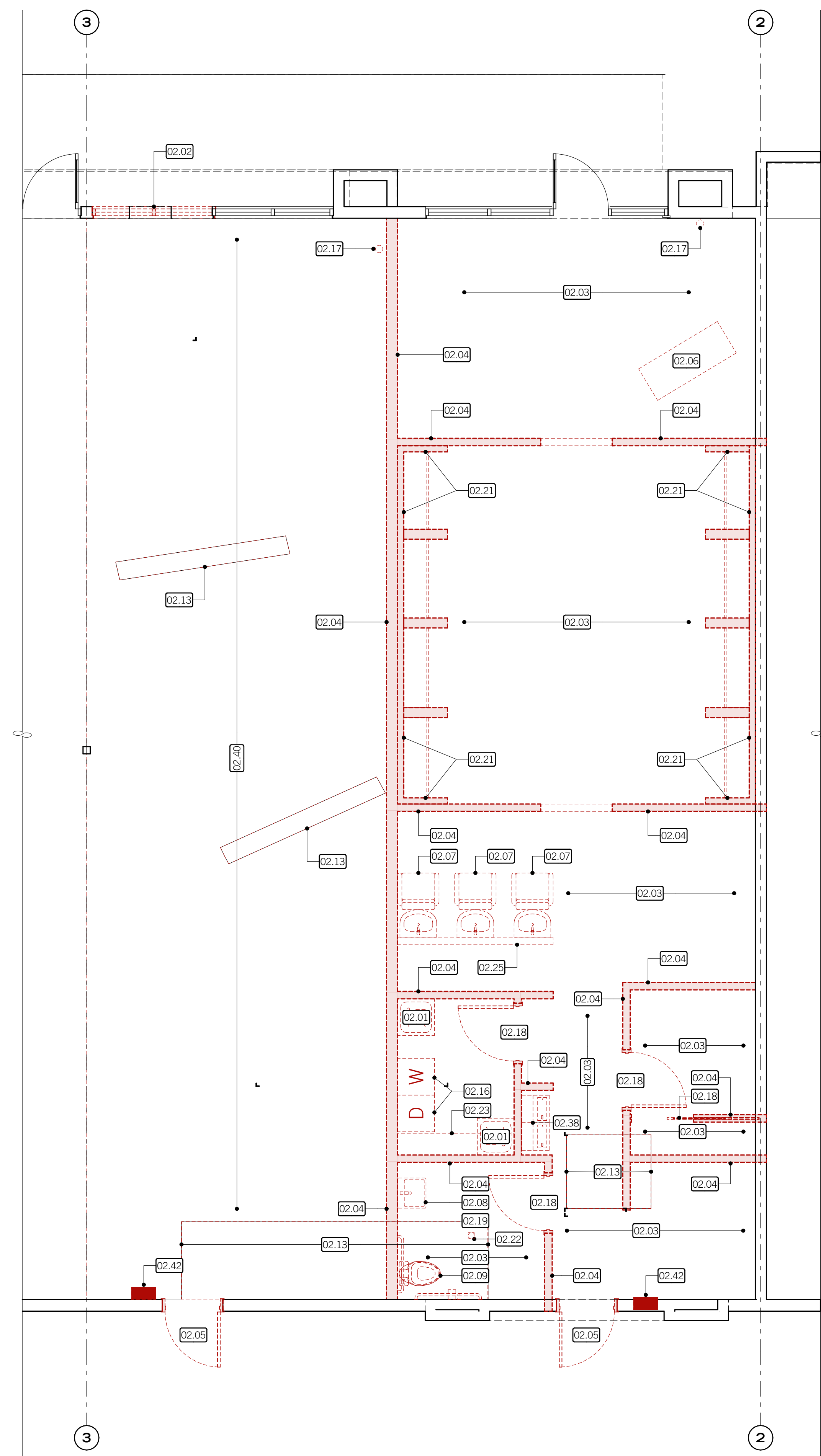
DATE:
8/31/06

SCALE:
AS NOTED

sheet:
A1

of:

DRB SUBMITTAL



GENERAL DEMOLITION NOTES:

- A. Field verify existing conditions.
- B. Provide miscellaneous demolition required for new construction, whether specifically defined, or not.
- C. Reference engineering sheets for additional demolition requirements.
- D. Provide temporary bracing and shoring as required for removal of existing walls.
- E. Reference demolition reflected ceiling plans for ceiling demolition requirements not shown on this sheet.
- F. Where a wall is removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
- G. Protect existing materials and finishes to remain from damage.
- H. All noted materials are new, unless noted otherwise.

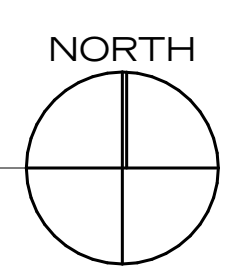
KEYED NOTES:

- 02.01 Remove existing mop sink/laundry sink, complete. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.02 Remove portion of existing aluminum storefront system as shown.
- 02.03 Remove existing LVP/vinyl flooring system in this room, complete, including wall base.
- 02.04 Remove existing wood/metal framed partition, complete, including wall base, etc. Protect adjacent materials and finishes from damage.
- 02.05 Remove existing metal door and hollow metal frame, complete.
- 02.06 Remove existing service counter millwork, complete.
- 02.07 Remove existing salon chairs including sinks and plumbing. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.08 Remove existing wall mount lavatory and faucet, complete - re: plumbing. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.09 Remove existing floor mount water closet, complete - re: plumbing. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.13 Saw cut and remove existing concrete floor slab as required for new plumbing/electrical work - coordinate with plumbing/electrical drawings.
- 02.16 Remove existing clothes washer/dryer and associated mechanical and plumbing systems, complete.
- 02.17 Remove existing wall mount fire extinguisher.
- 02.18 Remove existing wood door and frame, complete.
- 02.19 Remove all existing restrooms accessories in this room (i.e. grab bars, mirrors, toilet paper dispensers, paper towel dispensers, etc.).
- 02.21 Remove existing salon millwork system, complete.
- 02.22 Remove existing floor drain, complete. Waste line must be removed to below concrete floor slab and capped - re: plumbing.
- 02.23 Remove existing wall shelving system.
- 02.25 Remove existing wood/metal framed partial height partition, complete, including wall base, etc. Protect adjacent materials and finishes from damage.
- 02.38 Remove existing electric drinking fountains.
- 02.40 Remove existing broadloom carpeting and rubber wall base to location of new demising wall.
- 02.42 Remove existing electrical panel board - re: electrical.

DEMOLITION LEGEND:

- : Building element to be demolished.
- : Existing building element to remain (protect from damage).

1ST LEVEL DEMOLITION FLOOR PLAN



1' = 1'-0", 1/4" = 1'-0"
 06.02.21 PERMIT SET
 Project Number: 2118

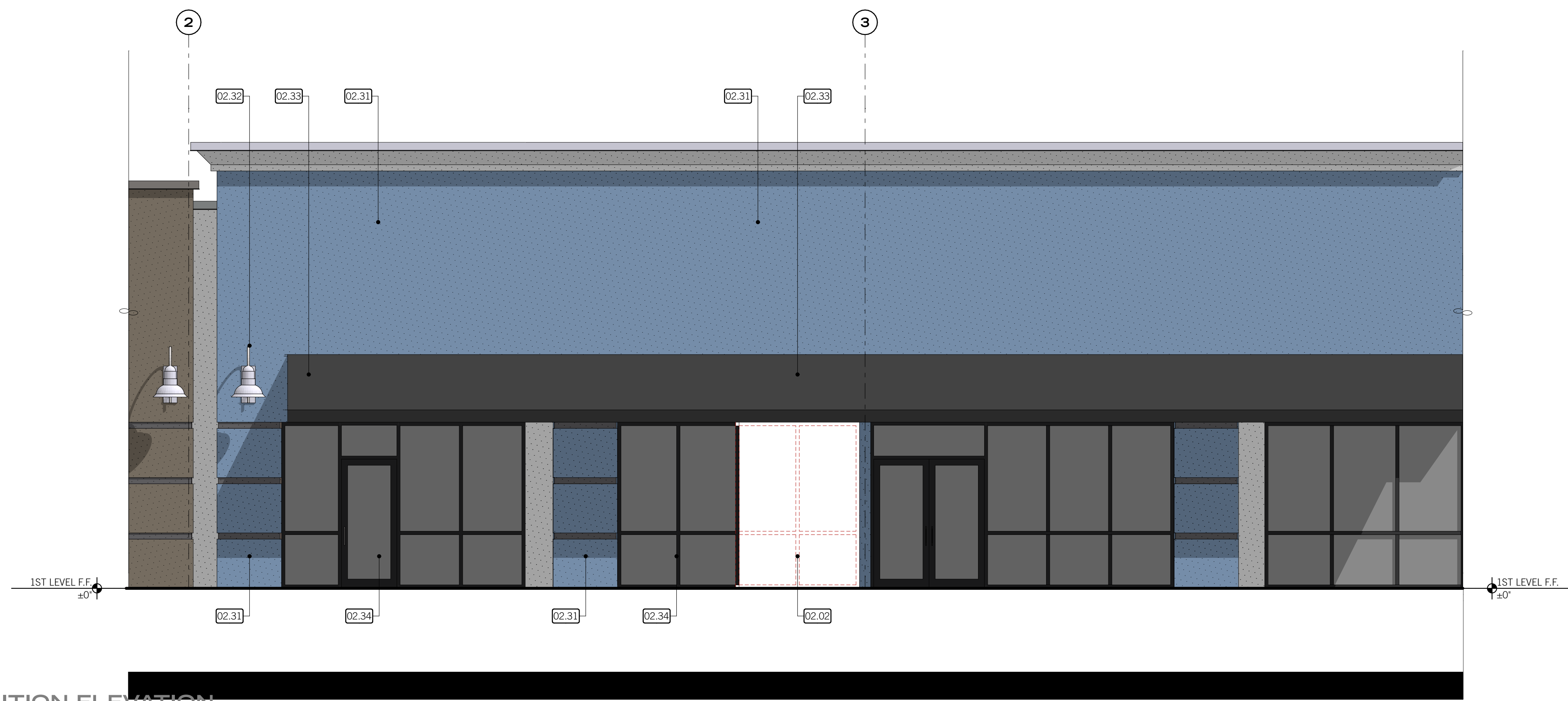


AFCU - ALBUQUERQUE BRANCH
 3400 HIGHWAY 528
 ALBUQUERQUE, NM

D1.1

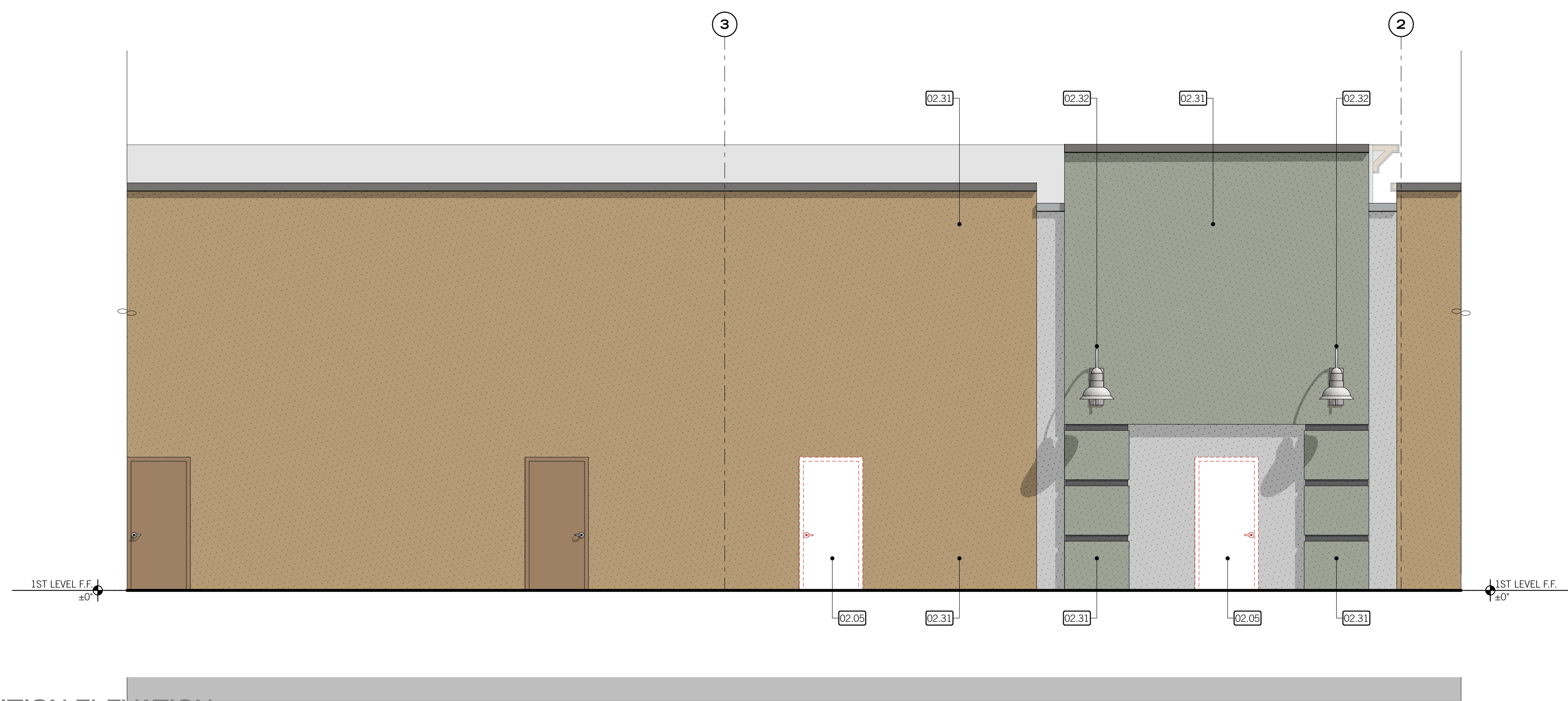
NO.	DATE	DESCRIPTION

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NORTH DEMOLITION ELEVATION

A 1/4" = 1'-0"



SOUTH DEMOLITION ELEVATION

B 1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

- A. Field verify existing conditions.
- B. Provide miscellaneous demolition required for new construction, whether specifically defined, or not.
- C. Reference engineering sheets for additional demolition requirements.
- D. Provide temporary bracing and shoring as required for removal of existing walls.
- E. Reference demolition reflected ceiling plans for ceiling demolition requirements not shown on this sheet.
- F. Where a wall is removed, cut back gypsum board to adjoining wall and ceiling surfaces and patch as required for smooth and even finish.
- G. Protect existing materials and finishes to remain from damage.
- H. All noted materials are new, unless noted otherwise.

KEYED NOTES:

- 02.02 Remove portion of existing aluminum storefront system as shown.
- 02.05 Remove existing metal door and hollow metal frame, complete.
- 02.31 Existing EIFS system - protect from damage
- 02.32 Existing light fixture to remain - protect from damage
- 02.33 Existing awning system to remain - protect from damage
- 02.34 Existing aluminum storefront system to remain - protect from damage

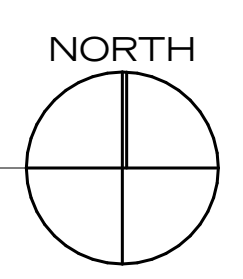
NO.	DATE	DESCRIPTION



DEMOLITION ELEVATIONS

1/4" = 1'-0", 1' = 1'-0"
 06.02.21 PERMIT SET
 Project Number: 2118

AFCU - ALBUQUERQUE BRANCH
 3400 HIGHWAY 528
 ALBUQUERQUE, NM

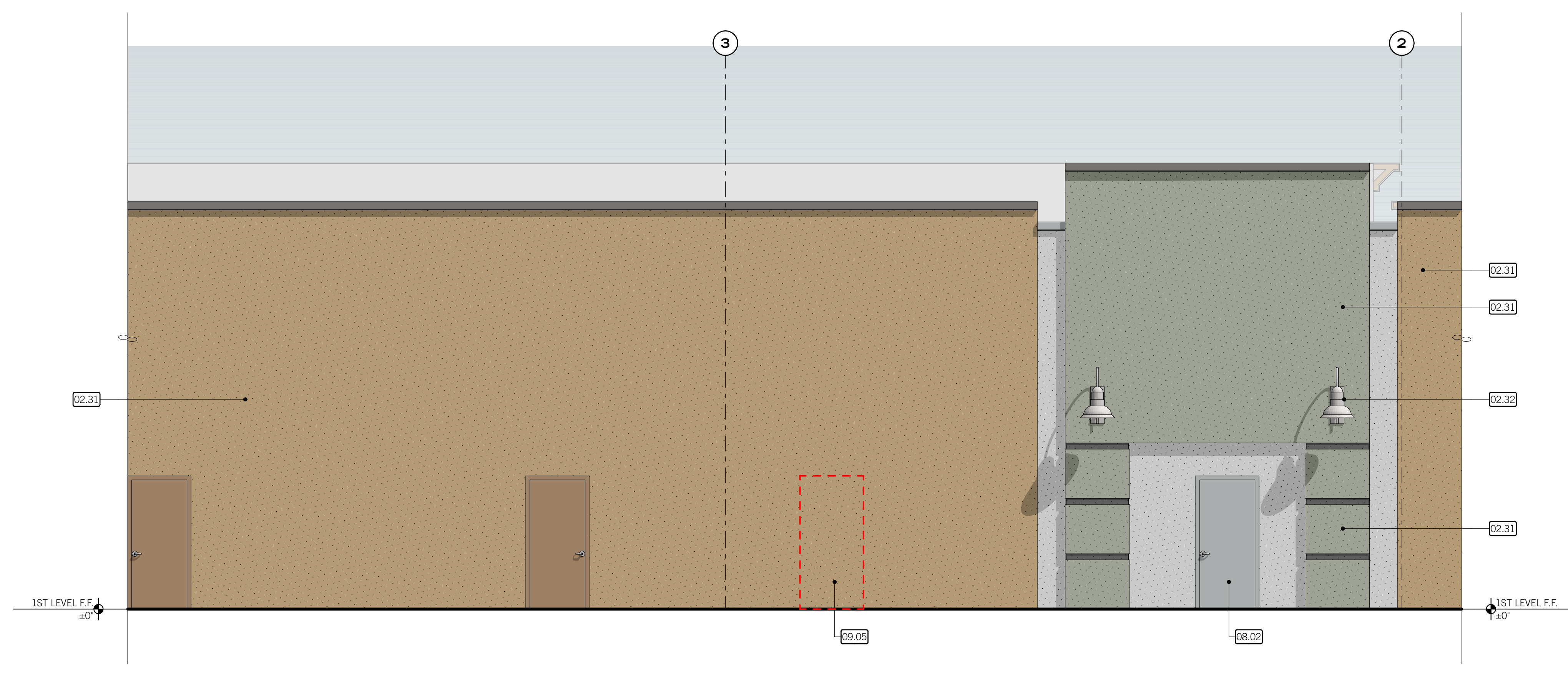


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NORTH ELEVATION

A 1/4" = 1'-0"

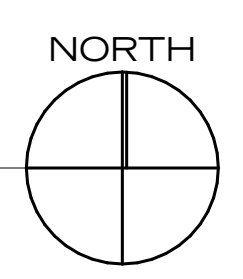
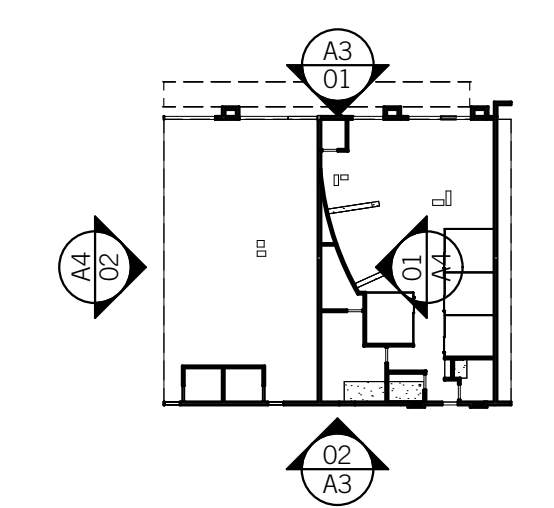


SOUTH ELEVATION

B 1/4" = 1'-0"

KEYED NOTES:

- 02.31 Existing EIFS system - protect from damage
- 02.32 Existing light fixture to remain - protect from damage
- 02.33 Existing awning system to remain - protect from damage
- 02.34 Existing aluminum storefront system to remain - protect from damage
- 07.02 New EIFS system to match existing - paint to match adjacent existing EIFS system.
- 08.02 Install new hollow metal door and frame in existing wall opening - paint. Re: door schedule. Patch and repair existing EIFS system as required.
- 09.05 Infill existing wood framed exterior partition with wood framing and batt insulation to match existing at location of demolished storefront/hollow metal door system. Install 5/8" gypsum board at inside face of wall to match existing. Skim coat wall to provide smooth level finish - paint. Install plywood wall sheathing and exterior EIFS system to match existing @ exterior. Paint existing EIFS adjacent to existing storefront opening to match new EIFS.
- 09.18 Infill existing wood framed exterior partition with wood framing and batt insulation to match existing at location of demolished storefront system. Install 5/8" gypsum board at inside face of wall to match existing. Skim coat wall to provide smooth level finish - paint. Install plywood wall sheathing and exterior EIFS system to match existing @ exterior - re: exterior elevations. Coordinate opening dimensions with ATM supplier. Install stainless steel flashing around ATM wall opening where occurs. Paint existing EIFS adjacent to existing storefront opening to match new EIFS. Re: detail 06A1.2.
- 10.05 Building mounted exterior sign by Owner. Provide electrical power as per electrical drawings.
- 11.08 ATM machine (N.I.C.) - provided by Owner's Equipment Contractor - re: equipment plan. Coordinate rough opening dimensions in exterior wall with Owner's Equipment Contractor. Re: detail 06A1.2 for stainless steel flashing at opening.



EXTERIOR ELEVATIONS

1/4" = 1'-0", 1" = 40'
 06.02.21 PERMIT SET
 Project Number: 2118

NO.	DATE	DESCRIPTION



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 3400 HIGHWAY 528
 ALBUQUERQUE, NM

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