

**PARKING NOTES:**  
 TYPICAL STANDARD SPACES ARE 5'-0" x 10'-0"  
 TYPICAL SMALL CAR SPACES ARE 4'-6" x 8'-0"  
 TYPICAL HANDICAP SPACES ARE 8'-0" x 12'-0"  
 WITH A 9' WIDE ACCESS AISLE 5'-0" x 10'-0"  
 \* ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED \*

- RADIUS**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 3'-6"
  - ④ RADIUS = 5'-0"
  - ⑤ RADIUS = 10'-0"
  - ⑥ RADIUS = 12'-0"
  - ⑦ RADIUS = 5'-0"
  - ⑧ RADIUS = 20'-0"
  - ⑨ RADIUS = 25'-0"
  - ⑩ RADIUS = 28'-0"
  - ⑪ RADIUS = 30'-0"
  - ⑫ RADIUS = 51'-6"

○ DENOTES A SITE DETAIL, REFER TO SHEET AS2

**CODE REFERENCES**

BUILDING CODE: IBC 2003  
 MECHANICAL CODE: UPC 2003  
 PLUMBING CODE: UPC 2003  
 ELECTRICAL CODE: NEC 2005  
 ACCESSIBILITY CODE: ANSI 1998  
 FIRE CODE: IFC 2003

**SITE LEGEND**

---	EXISTING PROPERTY LINE		PROPOSED BIKE RACK
---	EXISTING CURB	⊕	EXISTING SITE LIGHTING
---	PROPOSED CURB	□	PROPOSED PARKING LOT LIGHTING
---	EXISTING ZONE LINE		PROPOSED OUTDOOR SEATING EA. BENCH SEATS FOUR (4)
---	PROPOSED SIDEWALK	LS	PROPOSED LANDSCAPING
---	PROPOSED CROSSWALK-RECESSED BRICK PAVERS	FD	FIRE DEPARTMENT CONNECTION
---	PROPOSED FIRE HYDRANT	T	PROPOSED TRANSFORMER
---		↔	VEHICLE INGRESS/EGRESS

**CODE DATA**

ADDRESS: N1 528 (ALAMEDA BLVD.)  
 4 COORS RD.  
 ZONING: S1-1 FOR C-2 USES & IP PERMISSIVE USES  
 S1-1 FOR C-2 USES & IP PERMISSIVE USES/  
 R-3 PERMISSIVE USES

OCCUPANCY: M  
 BUILDING TYPE: TYPE 1B  
 SEISMIC ZONE: 2B  
 ALLOWABLE AREA: 12,500 SF  
 # OF STOREYS: ONE

FIRE PROTECTION: RETAIL SHOPS: SPRINKLED (14,924 SF)  
 COFFEE/DRIVE-THRU: NON-SPRINKLED (2,000 SF)

**PARKING REQUIRED:**

0 - 5,000 - 1 CAR PER 200 = 25 CARS  
 5,000 TO 42,000 - 1 CAR PER 250 = 8 CARS  
 TOTAL CARS REQUIRED = 33 CARS

TOTAL H.C. PARKING REQUIRED = 4 SPACES  
 TOTAL H.C. PARKING PROVIDED = 6 SPACES  
 TOTAL STANDARD PARKING PROVIDED = 101 SPACES  
 TOTAL MOTORCYCLE PARKING REQUIRED = 3 SPACES  
 TOTAL MOTORCYCLE PARKING PROVIDED = 2 SPACES (PARKS 4 MOTORCYCLES)

TOTAL PARKING PROVIDED = 16 SPACES  
 TOTAL PARKING REQUIRED = 33 SPACES

BIKE SPACES REQUIRED: 6 SPACES  
 BIKE SPACES PROVIDED: 10 SPACES

SITTING SPACES REQUIRED: 8 SPACES  
 SITTING SPACES PROVIDED: 8 SPACES

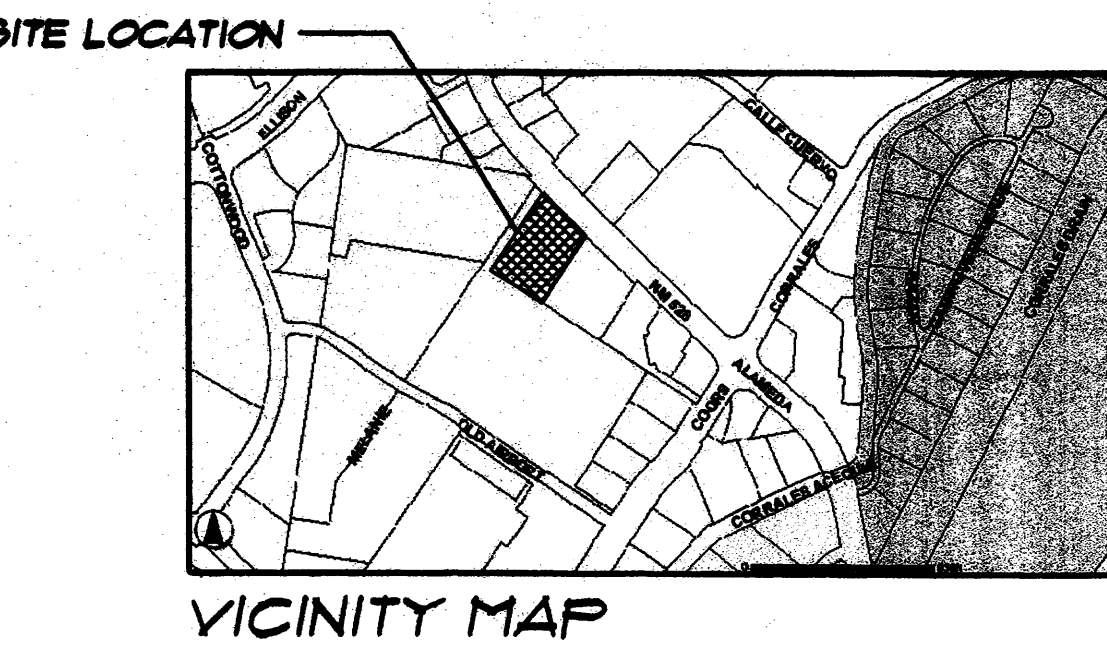
**SITE DATA:**

PROPOSED USAGE: C-2 USE  
 LOT AREA: 159,866 SF (3.61 ACRES)  
 LANDSCAPE REQUIRED: 65%

OCCUPANT LOAD:  
 RETAIL SHOPS: 14,924 SF @ 20 = 481 PERSONS  
 COFFEE/DRIVE-THRU: 2,000 SF @ 10 = 133 PERSONS  
 630 PERSONS

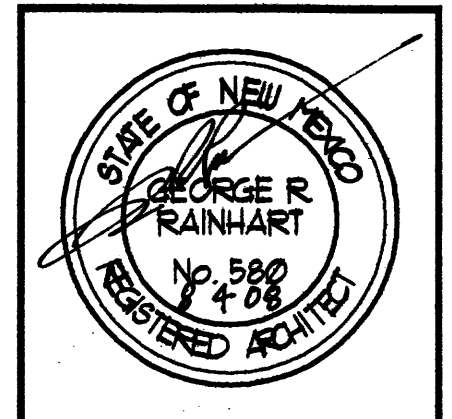
TOTAL ALLOWABLE AREA: 12,500 SF

**BUILDING AREA:**  
 RETAIL SHOPS BUILDING - 14,924 SF (10% FAR)  
 COFFEE / DRIVE-THRU - 2,000 SF (13% FAR)  
 TOTAL SQ. FOOTAGE 16,924 SF



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC  
 2325 SAN PEDRO N.E. SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: SHOPS OF ALAMEDA  
 PROJECT ADDRESS: N1 STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD. ALBUQUERQUE, NEW MEXICO

DRAWN BY: WRS  
 JOB NO: 063A

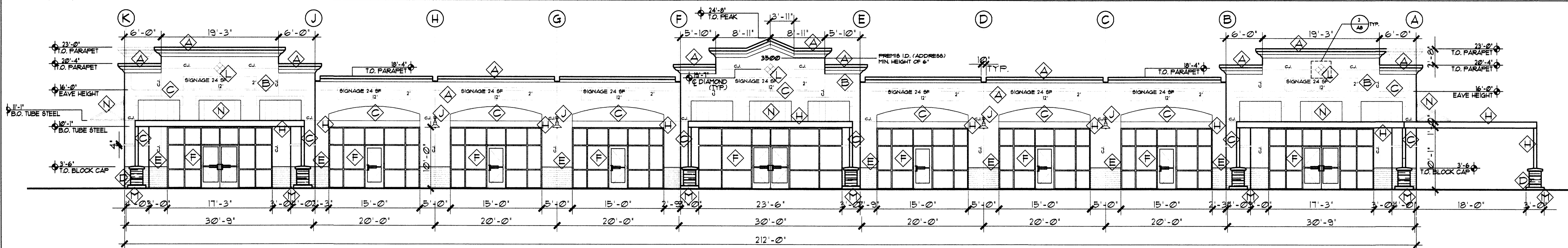
PROJECT MANAGER: William Sattler

SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

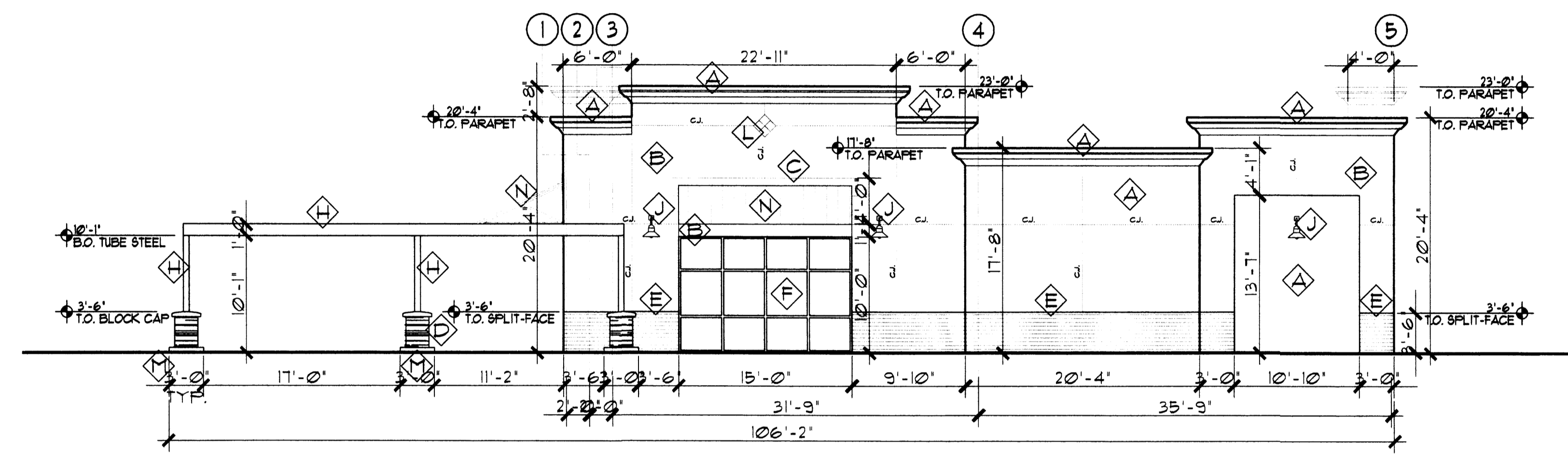
DATE: 8/3/2006  
 SCALE: 1"=20'  
 SHEET: AS1  
 OF: 1

PROJECT # 1001215

DRB SUBMITTAL

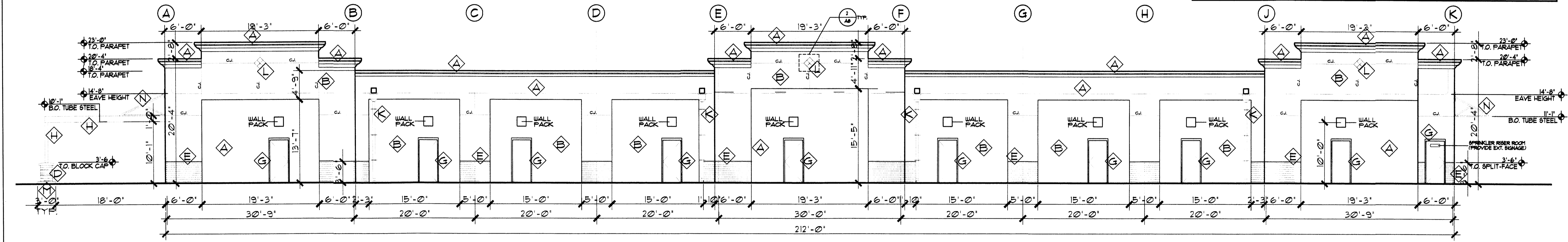


**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

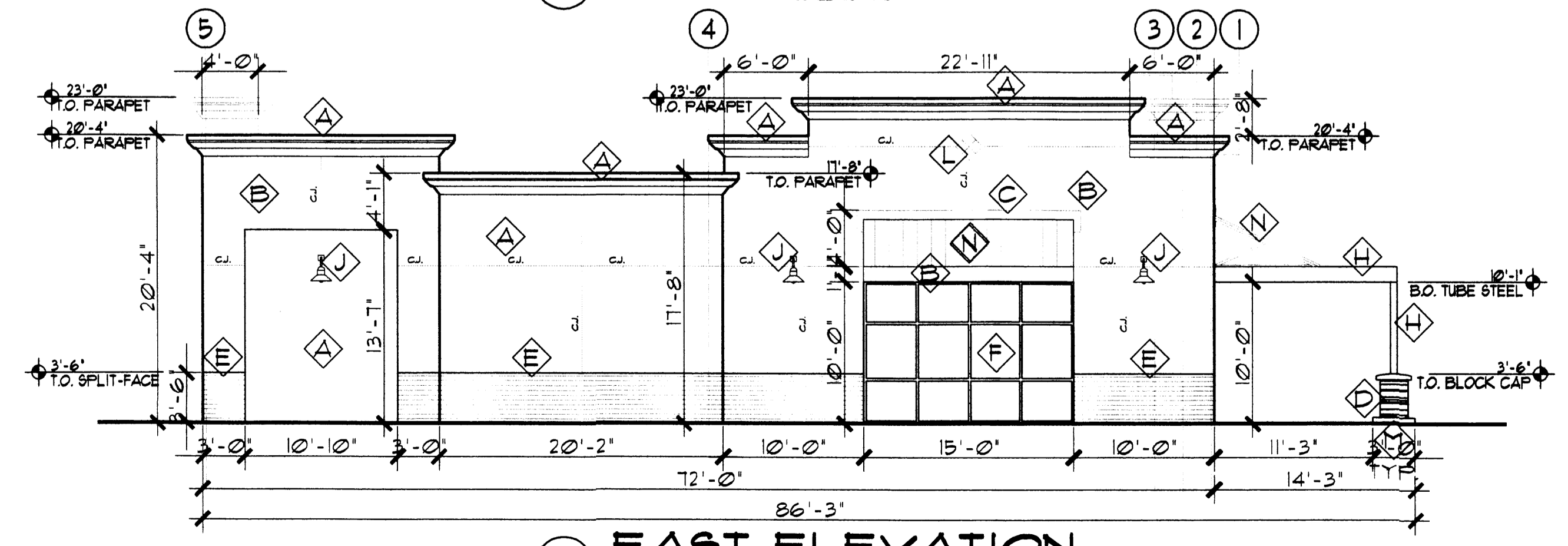


**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

Keyed Color / Material Schedule		Common Name
⬠	STUCCO EL REY 1628 ALMOND	OFF WHITE/ L.T.TAN
⬠	STUCCO EL REY 1638 BEACH	L.T. TAN
⬠	STUCCO EL REY 1637 WHARF	MED. TAN
⬠	DRYSTACK LEDGESTONE HARRISTONE CHABLIS	
⬠	SPLIT-FACE CMU BENJAMIN MOORE *4C-152 (WHIPPLE BLUE)	
⬠	ALUM. STOREFRONT BRONZE	
⬠	HOLLOW METAL DOOR PAINT TO MATCH ADJACENT FINISH	
⬠	TUBE STEEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬠	LIGHT FIXTURE TRUE WHITE	
⬠	DOWNSPOUT TRUE WHITE	
⬠	DIAMOND PATTERN W/4"x4" TILE INLAY MATCH BIG COUNTRY BLUE (NON-REFLECTIVE)	
⬠	3"x3"x6" CONCRETE COLUMN BASE	
⬠	TUBE STEEL CANOPY W/ STANDING-SEAM MTL. BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	
⬠	C-CHANNEL CANOPY BENJAMIN MOORE *2066-30 (BIG COUNTRY BLUE)	

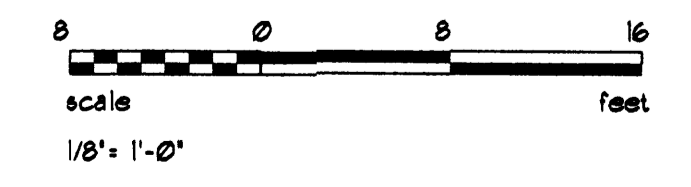


**3 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

NOTES:  
ALL MECH. EQUIP. SHALL BE SHIELDED  
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.  
BUILDING SIGNAGE DETERMINED BY LOCAL CODE. TENANT SIGNAGE TO BE APPROVED BY ZONING AND DONE UNDER SEPARATE ZONING PERMIT.  
ALL BUILDING MATERIALS SHALL BE NON-REFLECTIVE.



REV	DATE	BY	REVISION
1			
2			
3			
4			

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2325 SAN PEDRO N.E. SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PROJECT TITLE  
**SHOPPES OF ALAMEDA**  
N STATE HIGHWAY 528 (ALAMEDA) & COORS BLVD.  
ALBUQUERQUE, NEW MEXICO  
PROJECT MANAGER  
William Suttles  
JOB NO.  
06/3A  
DRAWN BY:  
URS  
SHEET TITLE  
**RETAIL SHOPS ELEV.**

DATE:  
8/31/06  
SCALE:  
AS NOTED  
sheet:  
A1  
of:

**DRB SUBMITTAL**