

- KEYED NOTE:**
- 1 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 7/A1.1
 - 2 LIGHT POLE LOCATION RE: DETAIL 3/A1.1
 - 3 CONC. SIDEWALK ADJACENT BLDG RE: DET 14/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
 - 4 CONC. SIDEWALK ADJACENT BLDG RE: DET 11/A1.1 RE: SITE PLAN FOR JOINT LAYOUT
 - 5 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 11/A1.2
 - 6 BENCH LOCATION RE: DETAIL 3/A1.2
 - 7 HANDICAP RAMP RE: 15/A1.1
 - 8 HANDICAP RAMP RE: 16/A1.1
 - 9 HANDICAP RAMP RE: 12/A1.1
 - 10 HANDICAP RAMP RE: 17/A1.1
 - 11 INDICATES LANDSCAPE PLANTING AREA G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
 - 12 DRIVE AISLE PAINT DETAIL RE: DET 10/A1.2
 - 13 6" HIGH CONC. ISLAND RE: SITE GRADING PLAN FOR INFO
 - 14 REFUSE ENCLOSURE RE: DET.4/A1.3
 - 15 REFUSE ENCLOSURE RE: DET. 11/A1.3
 - 16 H.C PARKING STALL RE: DET 11/A1.2
 - 17 WHEELSTOP RE: DET 8/A1.2
 - 18 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS. RE: DET. 7/A1.2
 - 19 PROPOSED 150SF MONUMENT SIGN LOCATION RE: DET 1/A1.2
 - 20 PAINTED STRIPPING/SIGNING AS INDICATED ON SITE PLAN ALL STANDARD PARKING STALL STRIPPING SHALL BE WHITE
 - 21 PROPOSED TRANSFORMER LOCATION
 - 22 EXISTING SIDEWALK TO REMAIN
 - 23 EXISTING TREE TO REMAIN
 - 24 EXISTING TREE. RELOCATE TO EASTERN MOST LANDSCAPE BED ADJACENT TO EXISTING DRIVE AISLE
 - 25 SIDEWALK UNDERDRAIN RE: SITE GRADING PLAN FOR INFO
 - 26 HEAVY DUTY ASPHALT RE: DET 1/A1.1
 - 27 LIGHT DUTY ASPHALT RE: DET 2/A1.1
 - 28 ACCESSIBLE RAMP RE: DET 9/A1.3
 - 29 ACCESS BY EXISTING EASEMENT AGREEMENT RECORDED AUGUST 29, 2008 AS DOC. NO. 2008097313 IN RECORDS OF BERNALILLO COUNTY, NEW MEXICO (EASEMENT IS BLANKET IN NATURE)

NOTE:
ALL LANDSCAPED AREAS TO BE DEPRESSED BELOW ADJACENT PAVING TO ALLOW FOR PASSIVE SHEET FLOW WATER HARVESTING

EXISTING CONDITION LEGEND

- DRAIN INLET
- ELECTRIC VAULT/PULLBOX
- ELECTRIC TRANSFORMER
- ▲ GAS VALVE
- GUY WIRE
- HIGH VOLTAGE POLE
- HYDRANT
- LIGHT POLE
- POWER POLE
- SANITARY SEWER
- SANITARY SEWER MANHOLE AS SHOWN ON PROVIDED PLANS - NOT FOUND
- SEWER CLEANOUT
- STORM SEWER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- TRAFFIC BOX
- WATER METER
- WATER VALVE
- WATER MAIN INDICATOR POST
- TREE

- Property Corner Legend**
- ⊙ = 5/8" Rebar and cap stamped "L.S. 14733"
 - ⊙ = 5/8" PK Nail and disc stamped "L.S. 14733"
 - ⊙ = 5/8" PK Nail and disc stamped "L.S. 8752"

Temporary Bench Mark
PK Nail with aluminum disk stamped "L.S. 14733"
Elevation= 5029.57'

REMOVE EXISTING CURB AND OUTER AS
PAVING FOR NEW DRIVE SIDE

REMOVE EXISTING CURB AND OUTER AS
PAVING FOR NEW DRIVE SIDE

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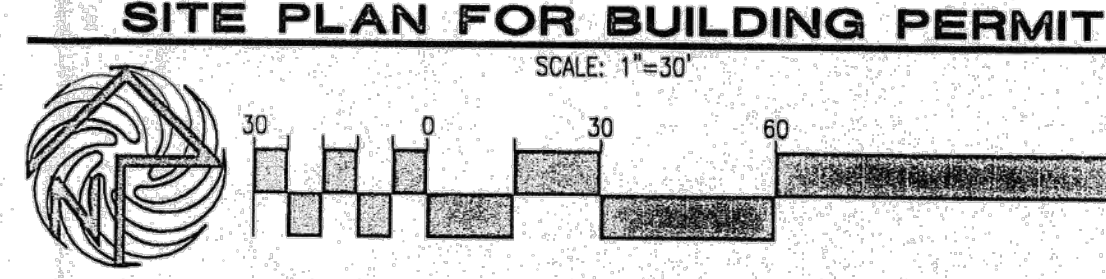
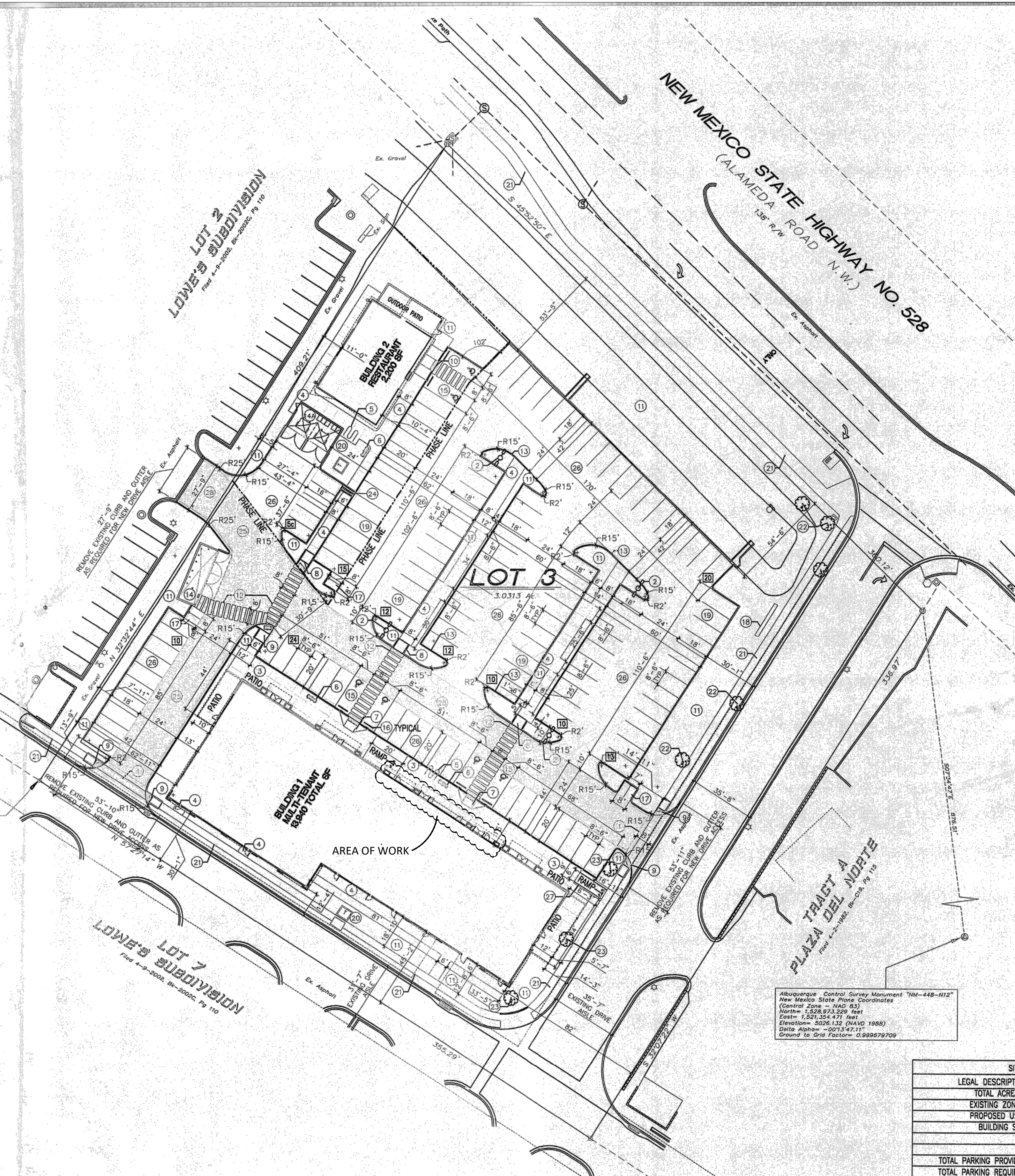
REMOVE EXISTING CURB AND OUTER AS
PAVING FOR NEW DRIVE SIDE

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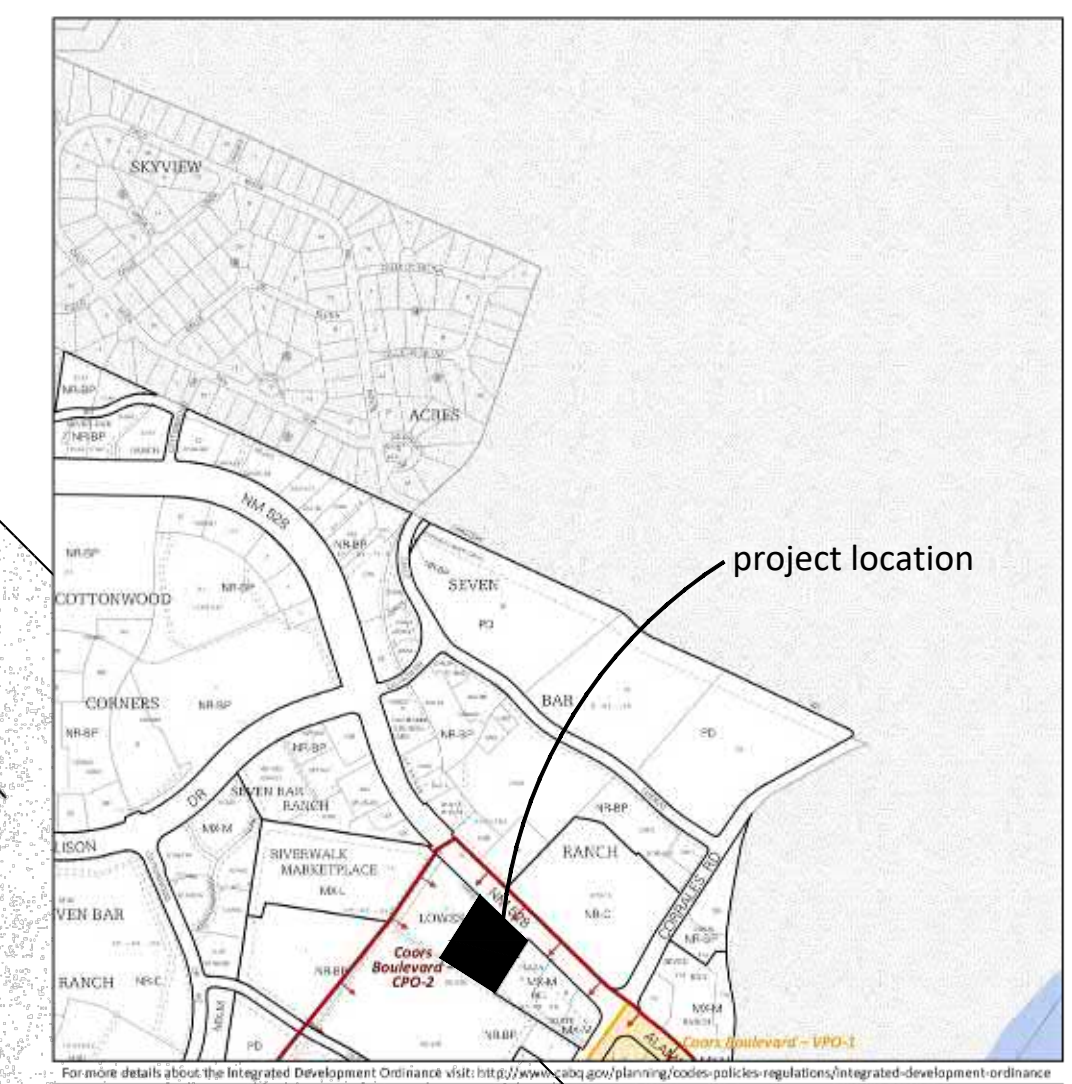
REMOVE EXISTING CURB AND OUTER AS
PAVING FOR NEW DRIVE SIDE



SITE DATA TABLE	
LEGAL DESCRIPTION:	LOT-3 LOWES SUBDIVISION
TOTAL ACREAGE:	3.0313 AC
EXISTING ZONING:	SU-1 FOR C-2 USES & IP PERMISSIVE USES
PROPOSED USES:	RETAIL, OFFICE AND RESTAURANT USES
BUILDING SIZE:	16,140 SF TOTAL BUILDING AREA (7,940 SF RET./OFF. & 8,200 SF REST.)
	BUILDING 1-13,940 SF TOTAL (7,940 SF RET./OFF. & 6,000 SF REST.)
	BUILDING 2-2,200 SF TOTAL (2,200 SF REST.)
TOTAL PARKING PROVIDED:	131 SPACES
TOTAL PARKING REQUIRED:	131 SPACES (40 FOR RET./OFF. [1/200 SF FOR 7,940 SF] + 105 FOR REST. [1/4 SEATS FOR 420 SEATS]-14 FOR 10% BUS CREDIT)
H.C PROVIDED:	6 H.C (INCLUDING 6 VAN ACCESSIBLE)
H.C REQUIRED:	6 H.C SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	7 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	6 SPACES
MOTORCYCLE SPACES REQUIRED:	6 SPACES

GENERAL NOTES

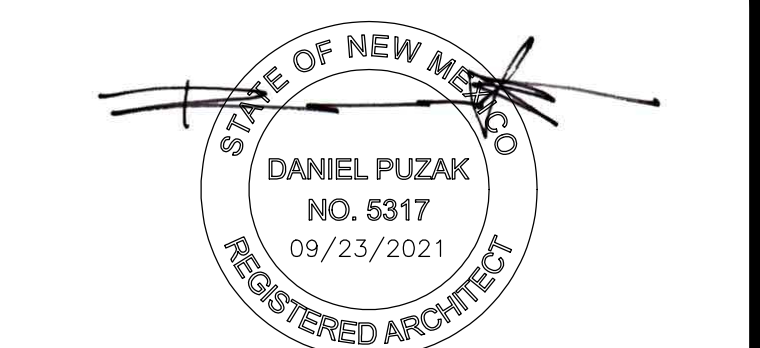
IDO Protection Zone Coors Boulevard CPO-2
Project includes Facade addition (footings, framing, finishes) to match existing and falls within requirements for Minor Administrative Amendment shown in IDO Table 6-4-4. Addition of 18 sf of gross square footage. Setbacks, height and parking to remain unchanged. No sitework. Signage to be under separate permit.



ADMINISTRATIVE AMENDMENT
FILE # 12-10028 PROJECT # 1001275
modern bldg footprint + elevations
Manone 4/27/12
APPROVED BY DATE

ARIA
STUDIO CONSULTANTS, INC
PO BOX 1515
CEDAR CREST NM, 87008
DANIEL@ARIASCINC.COM
(505) 506-2314

**Project 528
Shops Facade**
3400 NM 528
Albuquerque NM



Architect/Engineer

MARK	DATE	DESCRIPTION
REVISIONS		
ISSUE		Construction Documents
PROJECT NO		2122-528 Shops Facade
CAD DWG FILE		2122_528Shops_AS1010
DRAWN BY		DGW
CHECKED BY		DGP
DATE		September 23, 2021

Site Plan for
Administrative Amendment
Building Permit

AS101

KEYED NOTE:

- 1 8" INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK RE: DETAIL 7/A1.1
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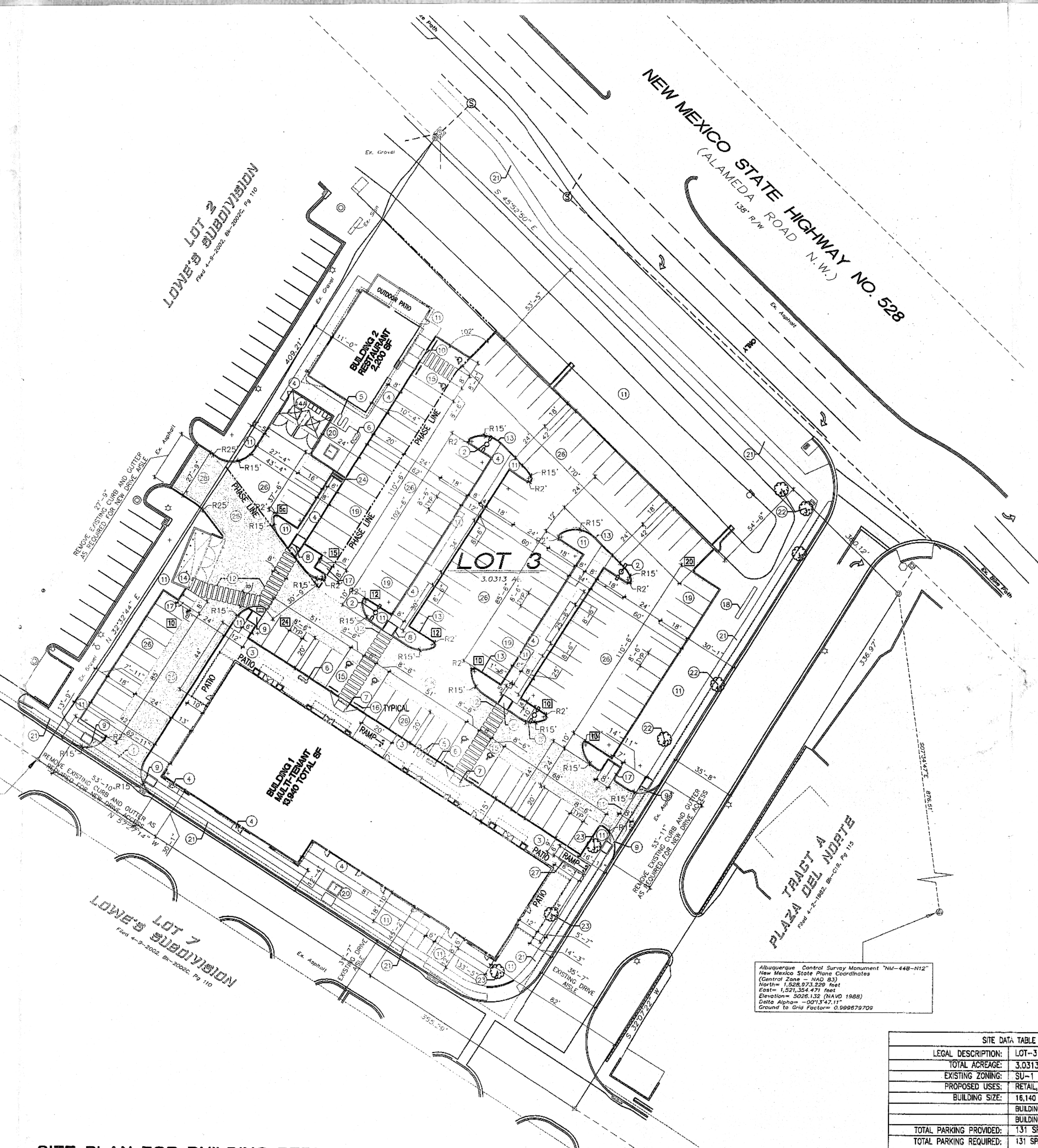
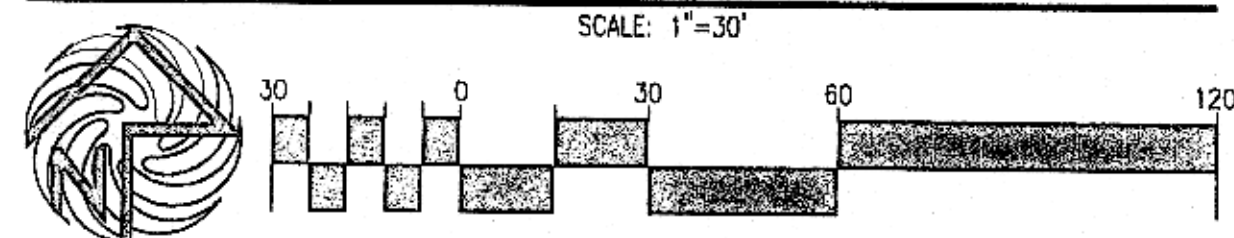
EXISTING CONDITION LEGEND

- ▣ DRAIN INLET
- ⊠ ELECTRIC VAULT/PULLBOX
- ⊠ ELECTRIC TRANSFORMER
- ▲ GAS VALVE
- GUY WIRE
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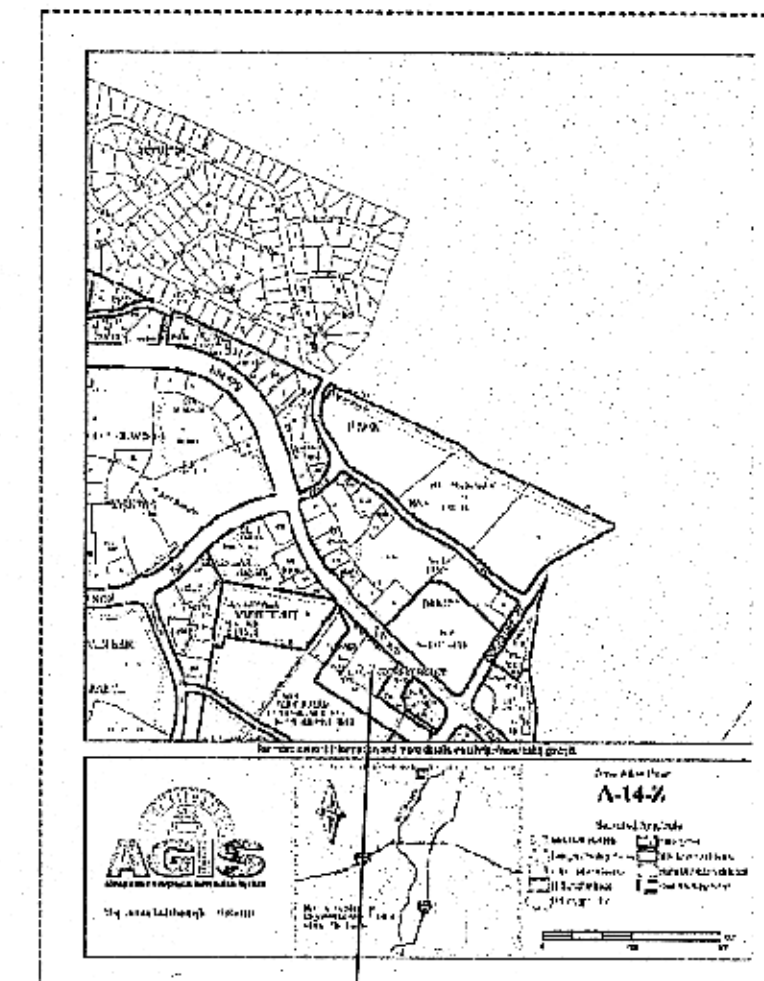
Property Corner Legend
 ⊙ = 1/2" dia. 3/8" Rebar and cap stamped "L.S. 14733"
 ⊙ = 1/2" dia. PK Nail and disc stamped "L.S. 14733"
 ⊙ = Set PK Nail and disc stamped "L.S. 0750"

Temporary Bench Mark
PK Nail with aluminum disk stamped "L.S. 14733"
Elevation= 5029.57'

SITE PLAN FOR BUILDING PERMIT



Albuquerque Control Survey Monument "NM-448-112"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North= 1,026,823.226 feet
East= 1,521,354.471 feet
Elevation= 5026.132 (NAVD 1988)
Datum Alpha= -001.547.11"
Ground to Grid Factor= 0.999879709



PROJECT VICINITY MAP

ADMINISTRATIVE AMENDMENT
 FILE # 12-10028 PROJECT # 1001325
modify bldg footprint & elevations
 APPROVED BY *Emmone* DATE *4/27/12*

SITE DATA TABLE	
LEGAL DESCRIPTION:	LOT-3 LOWES SUBDIVISION
TOTAL ACREAGE:	3.0313 AC
EXISTING ZONING:	SU-1 FOR C-2 USES & IP PERMISSIVE USES
PROPOSED USES:	RETAIL, OFFICE AND RESTAURANT USES
BUILDING SIZE:	16,140 SF TOTAL BUILDING AREA (7,940 SF RET./OFF. & 8,200 SF REST.) BUILDING 1-13,940 SF TOTAL (7,940 SF RET./OFF. & 6,000 SF REST.) BUILDING 2-2,200 SF TOTAL (2,200 SF REST.)
TOTAL PARKING PROVIDED:	131 SPACES
TOTAL PARKING REQUIRED:	131 SPACES (40 FOR RET./OFF. [1/200 SF FOR 7,940 SF] + 105 FOR REST. [1/4 SEATS FOR 420 SEATS]-14 FOR 10% BUS CREDIT)
H.C. PROVIDED:	8 H.C. (INCLUDING 6 VAN ACCESSIBLE)
H.C. REQUIRED:	8 H.C. SPACES
BIKE SPACES PROVIDED:	10 BIKE SPACES
BIKE SPACES REQUIRED:	7 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	6 SPACES
MOTORCYCLE SPACES REQUIRED:	6 SPACES

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1488
 TOLL FREE 1-866-224-2161

3400 NM 528 NW

PROJECT TITLE	PROJECT 528
PROJECT NUMBER	3400 NM 528
PROJECT ADDRESS	ALBUQUERQUE N.M. 87114
PROJECT MANAGER	STEPHEN DUNBAR, AIA
DRAWN BY	MSW
JOB NO.	
SHEET TITLE	SITE PLAN FOR BUILDING PERMIT

DATE:	4/27/12
SCALE:	AS NOTED

91-4070

NOTE TO CLIENT:
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

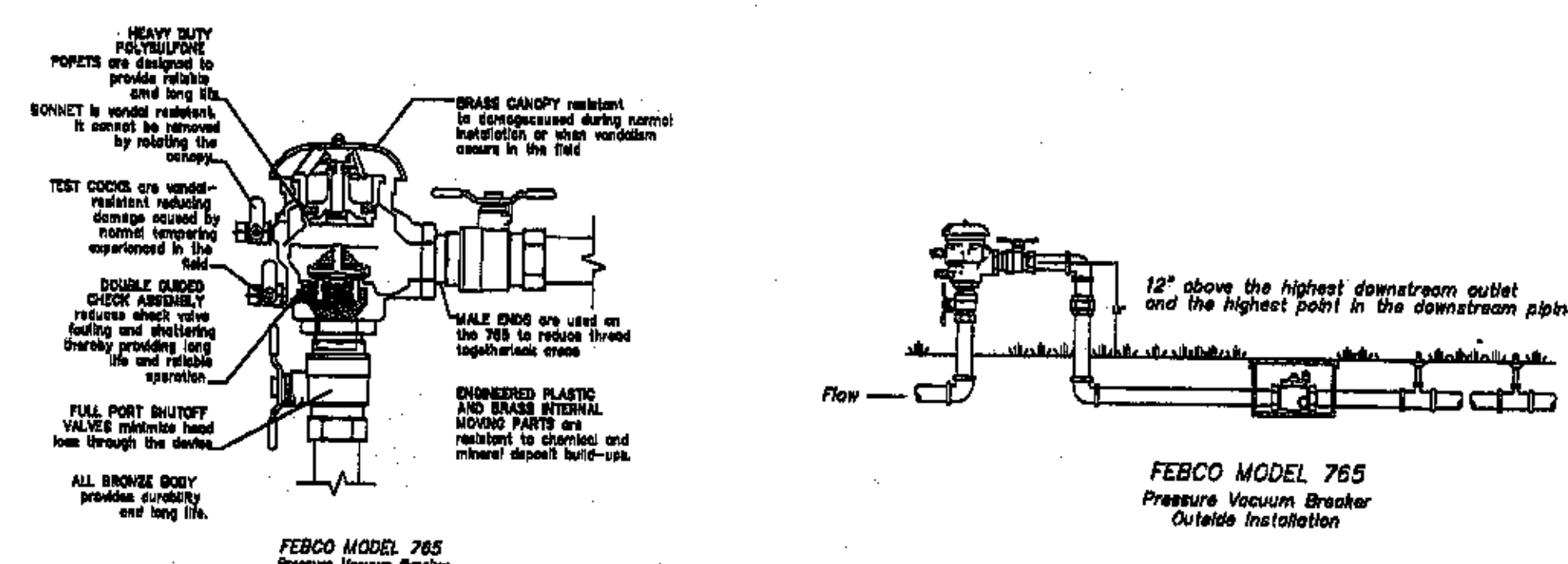
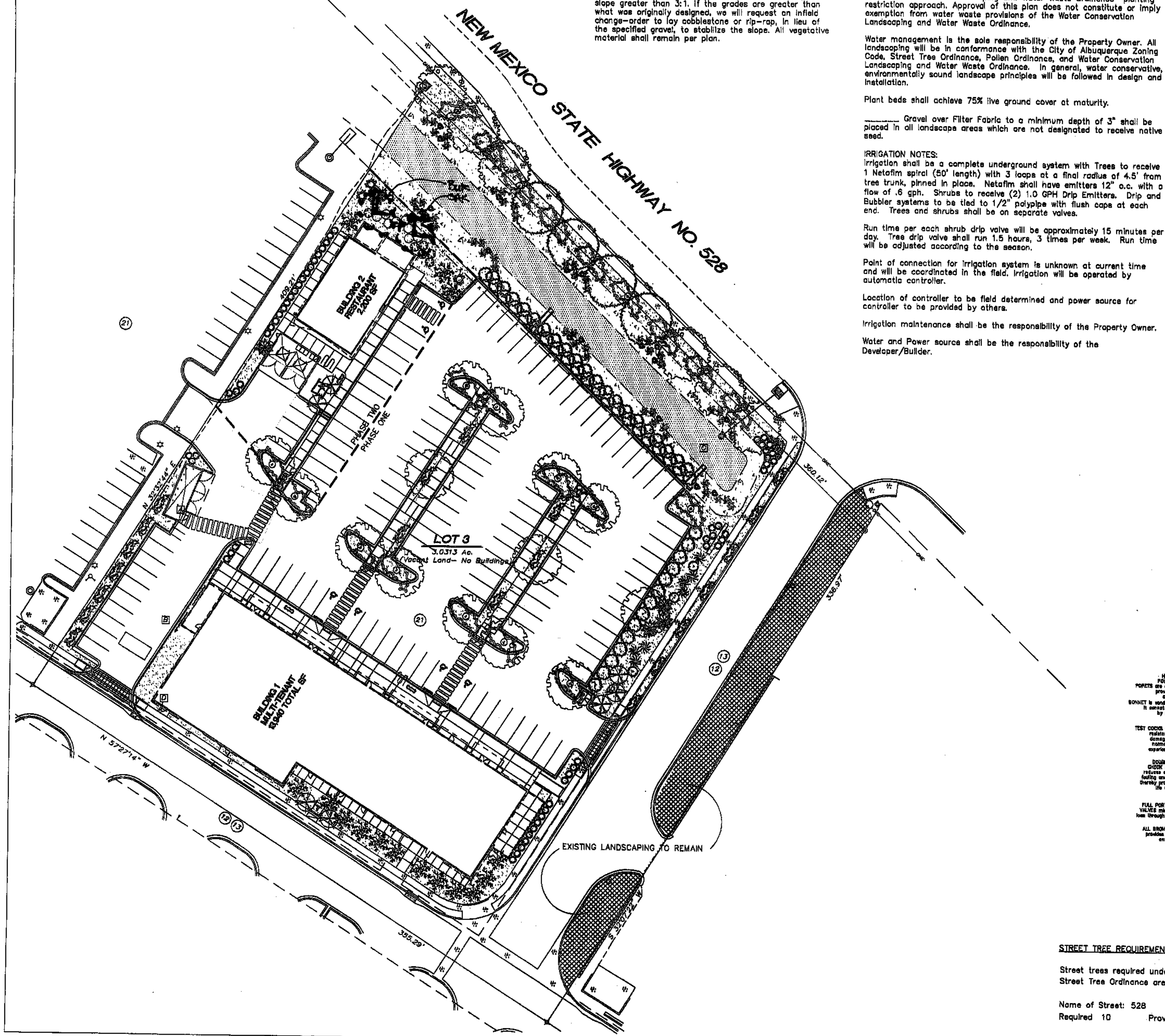
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

PLANT LEGEND

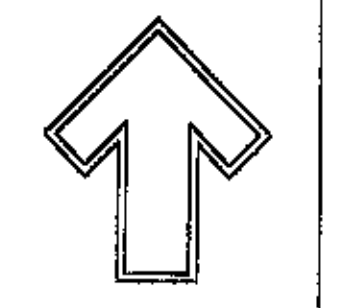
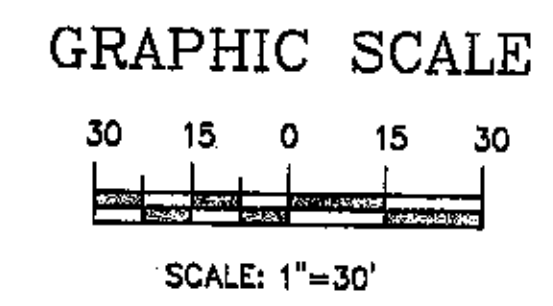
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- AUTUMN PURPLE ASH**
Fraxinus americana
2" Cal., 12'-14" Inst./60' x 80' maturity
Water (M) Allergy (H) Osf
 - BUR OAK**
Quercus macrocarpa
2" Cal., 12'-14" Inst./80' x 80' maturity
Water (M) Allergy (M) Osf
 - CHITALPA**
Chilopsis x Crotalaria
2" Cal., 12'-14" Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
 - BANANA YUCCA**
Yucca baccata
5 Gal., 18"-3' Inst./4' x 5' maturity
Water (L) Allergy (L) 25sf
 - APACHE PLUME**
Fallugia parviflora
1 Gal., 18"-3' Inst./6' x 7' maturity
Water (L) Allergy (L) 49sf
 - CHAMISA**
Chrysothamnus nauseosus
1 Gal., 18"-15" Inst./6' x 8' maturity
Water (L) Allergy (L) 25sf
 - TURPENTINE BUSH**
Eriogonum fasciculatum
1 Gal., 18"-15" Inst./3' x 4' maturity
Water (L+) Allergy (L) 16sf
 - GREYLEAF COTONEASTER**
Cotoneaster glaucophyllus
5 Gal., 24"-4' Inst./2' x 8' maturity
Water (M) Allergy (L) 81sf
Symbol indicates 3 plants
 - WINTER JASMINE**
Jasminum nudiflorum
1 Gal., 6"-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
- SHRUBS/ORNAMENTAL GRASSES**
- FIVE GAL.**
 - PARNEY COTONEASTER**
Cotoneaster lacteus
5 Gal., 2'-4" Inst./8' x 12' maturity
Water (M) Allergy (L) 144sf
 - SILVERBERRY**
Elaeagnus pungens
5 Gal., 2'-4" Inst./6' x 10' maturity
Water (M) Allergy (L) 100sf
 - MOCK ORANGE**
Philadelphus cultivars
5 Gal., 2'-4" Inst./10' x 10' maturity
Water (M) Allergy (L) 100sf
 - PHOTINIA**
Photinia fraseri
5 Gal., 2'-4" Inst./8' x 8' maturity
Water (M+) Allergy (L) 84sf
 - TRUE MOUNTAIN MAHOGANY**
Carocarpus montanus
5 Gal., 18"-3' Inst./10' x 6' maturity
Water (L+) Allergy (L) 36sf
 - RUSSIAN SAGE**
Perovskia atriplicifolia
5 Gal., 18"-3' Inst./8' x 6' maturity
Water (M) Allergy (L) 36sf
 - MAIDENGRASS**
Miscanthus sinensis
5 Gal., 18"-3' Inst./5' x 5' maturity
Water (M+) Allergy (L) 25sf
 - VINES**
 - HONEYSUCKLE**
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./climbing to 12'
Water (M) Allergy (L)
 - HARDSCAPES**
 - SANTA ANA TAN GRAVEL**
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
 - 3/4" GRAY GRAVEL**
WITH FILTER FABRIC
TO A MINIMUM 3" DEPTH
 - OVERSIZED GRAVEL & BOULDERS**
 - REIRAP WITH RECLAMATION WILDFLOWER SEEDING**
- * DENOTES EVERGREEN PLANT MATERIAL



STREET TREE REQUIREMENTS - Minimum 2" Caliber
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
Name of Street: 528
Required 10 Provided 10

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliber
Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:
1 Shade tree per 10 spaces
Required 13 Provided 13



Cont. Lic. #26495
7404 E 4th NE
Albuquerque, NM 87184
PIL (505) 898-4690
Fax (505) 898-7737
[email]@hilltoplandscaping.com

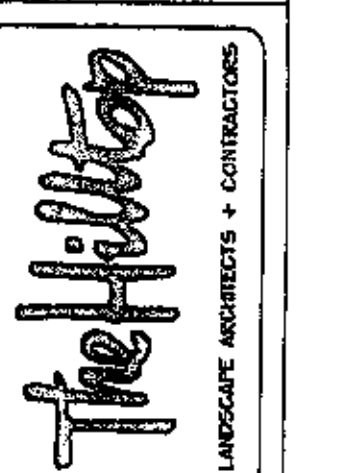
LANDSCAPE ARCHITECT'S SEAL



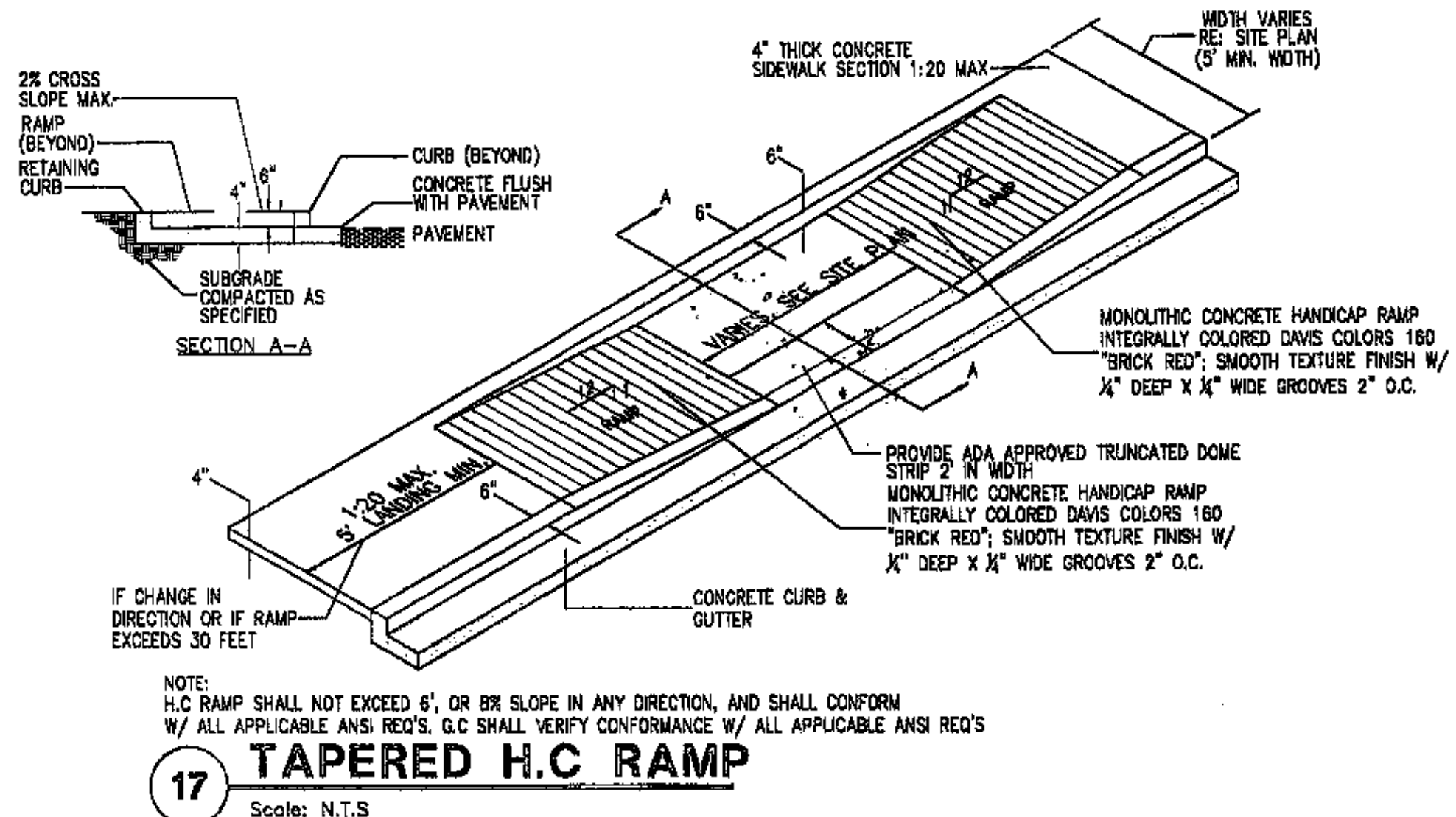
JAMES DE FLON #0007

LOWES SUBDIVISION RESTAURANTS AND RETAIL LANDSCAPE PLAN

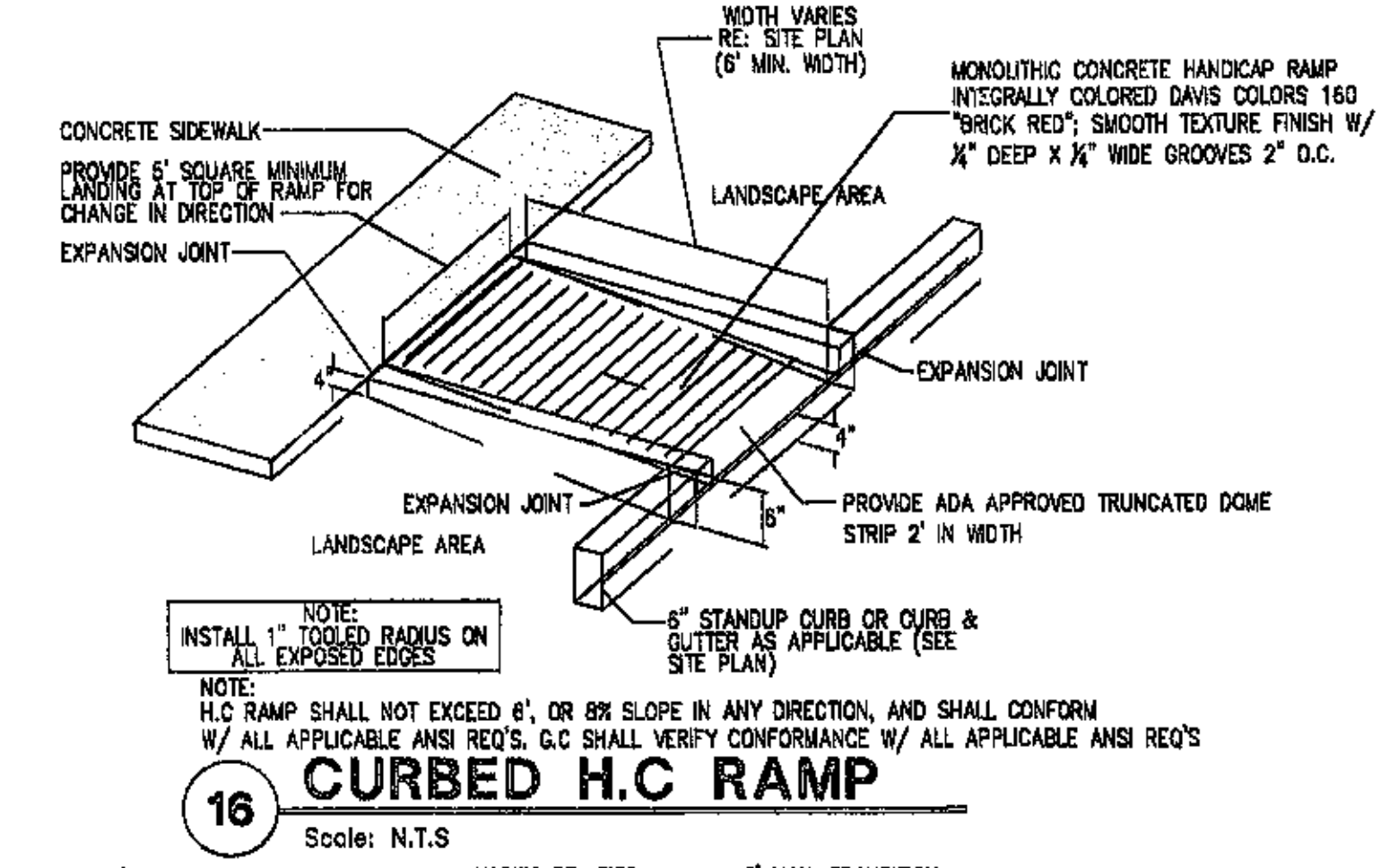
All drawings, specifications and notes herein remain the property of The Hilltop. All drawings, specifications and notes herein are protected by copyright laws. This is an original design and must not be released or copied without the express written consent of The Hilltop.



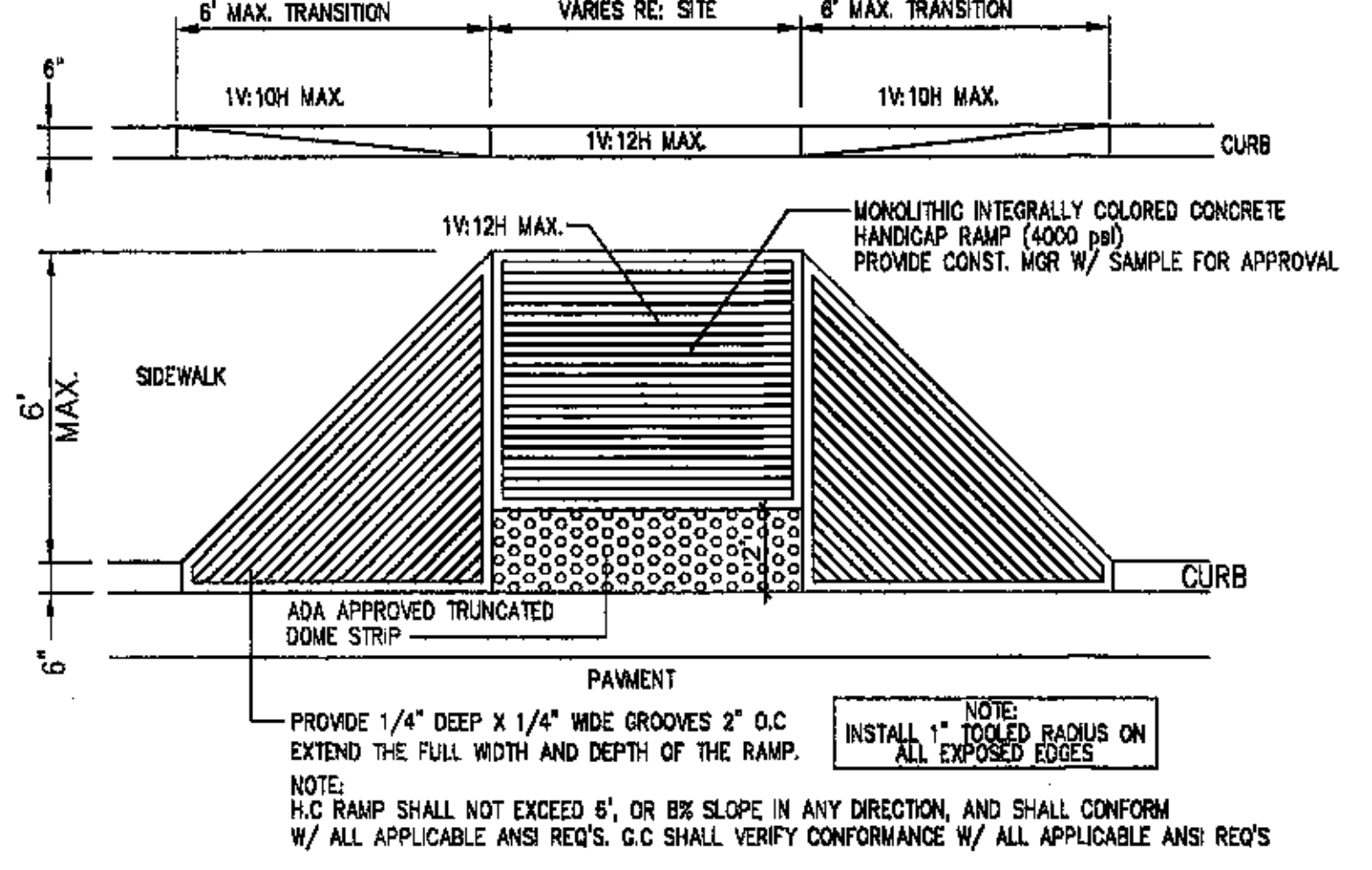
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REVISION # 1/1-25-11
DATE 1-11-12
SHEET # L1 OF L1



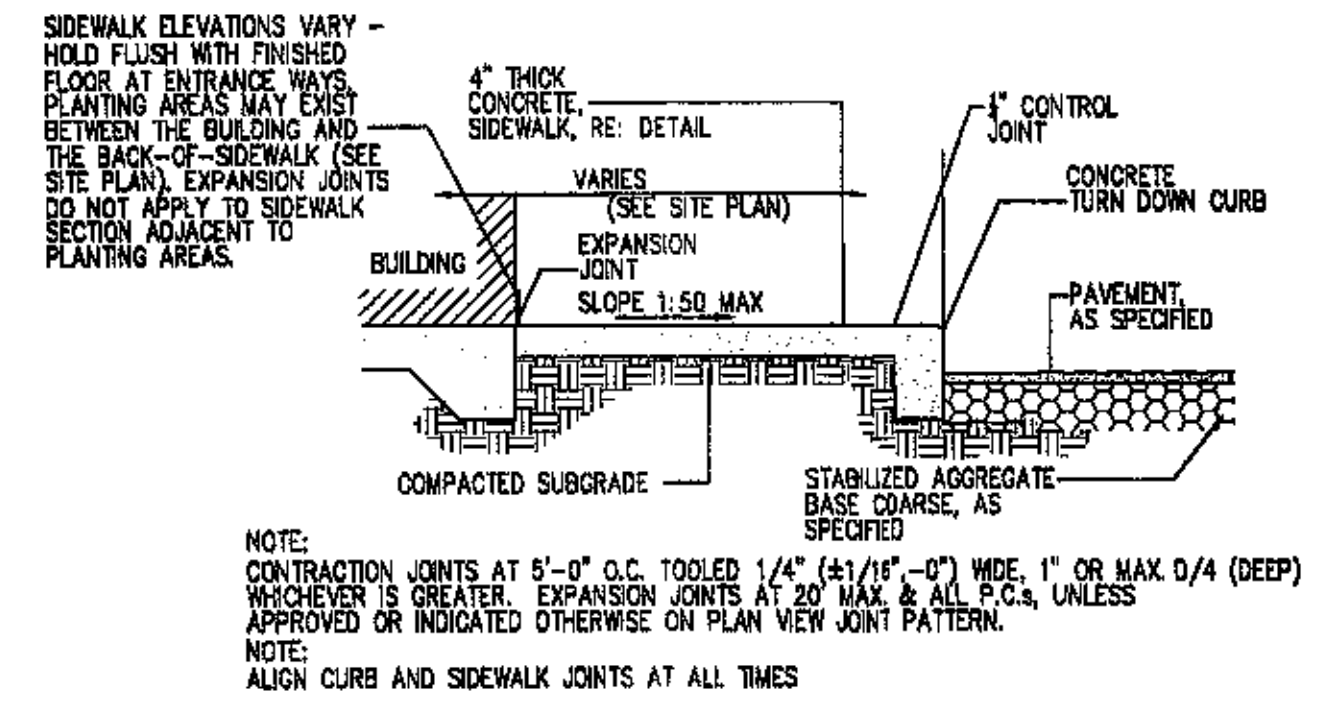
17 TAPERED H.C RAMP
Scale: N.T.S.



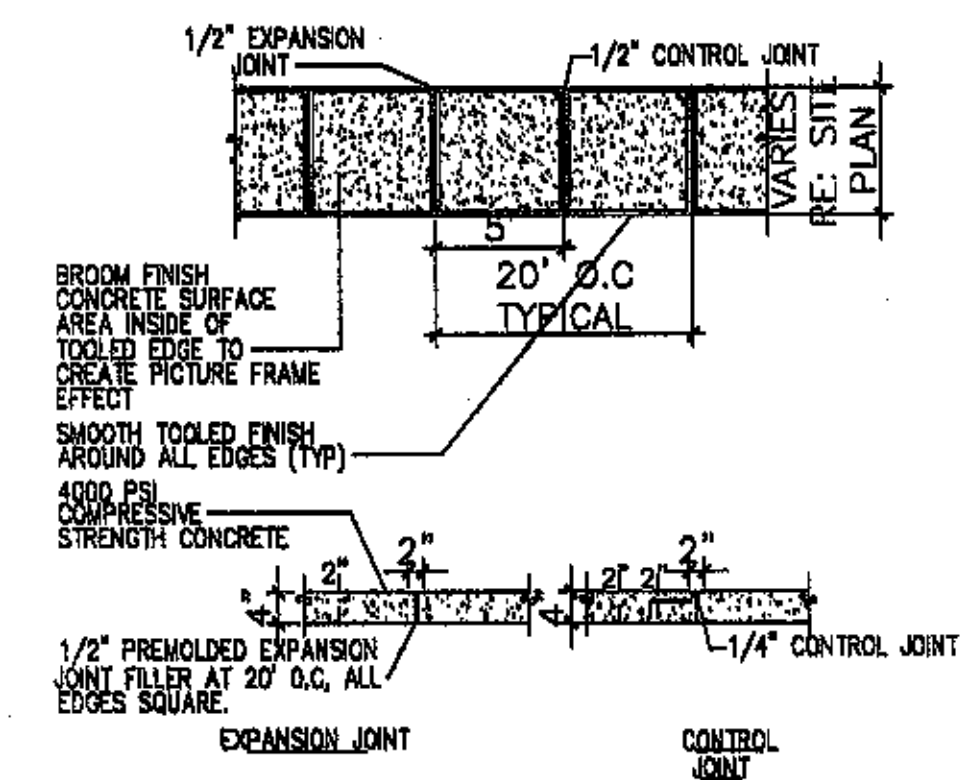
16 CURBED H.C RAMP
Scale: N.T.S.



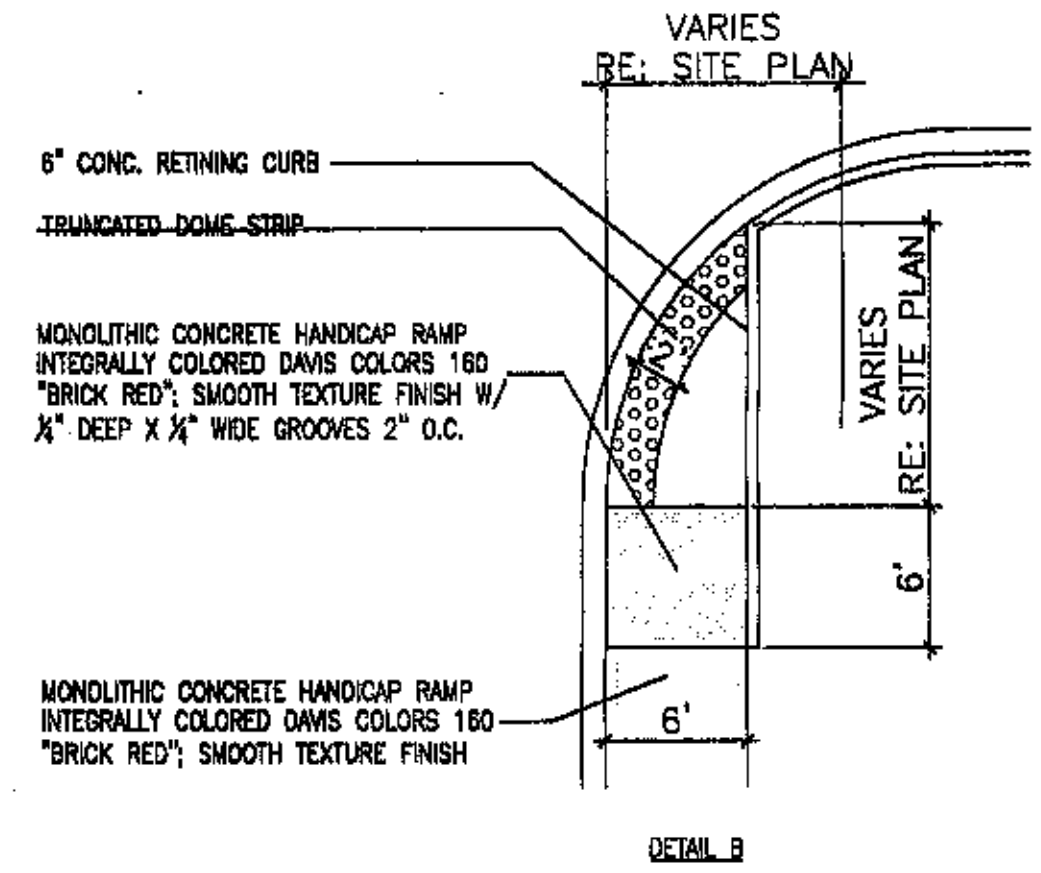
15 FLARED H.C RAMP
Scale: N.T.S.



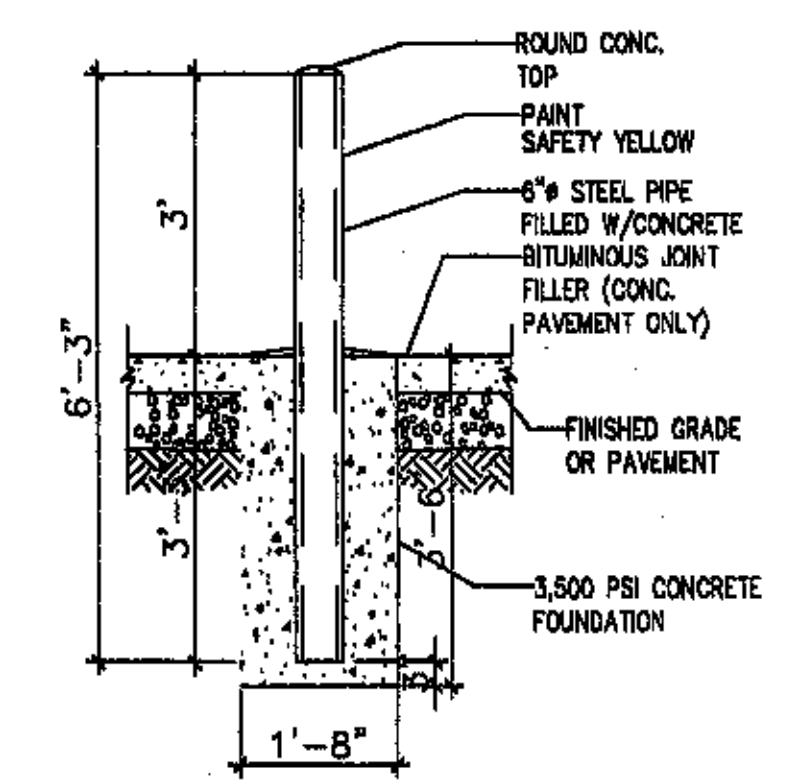
14 SIDEWALK W/ TURNDOWN CURB SECTION
Scale: N.T.S.



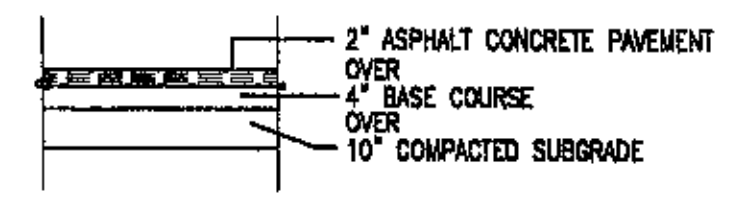
11 TYPICAL SIDEWALK
Scale: N.T.S.



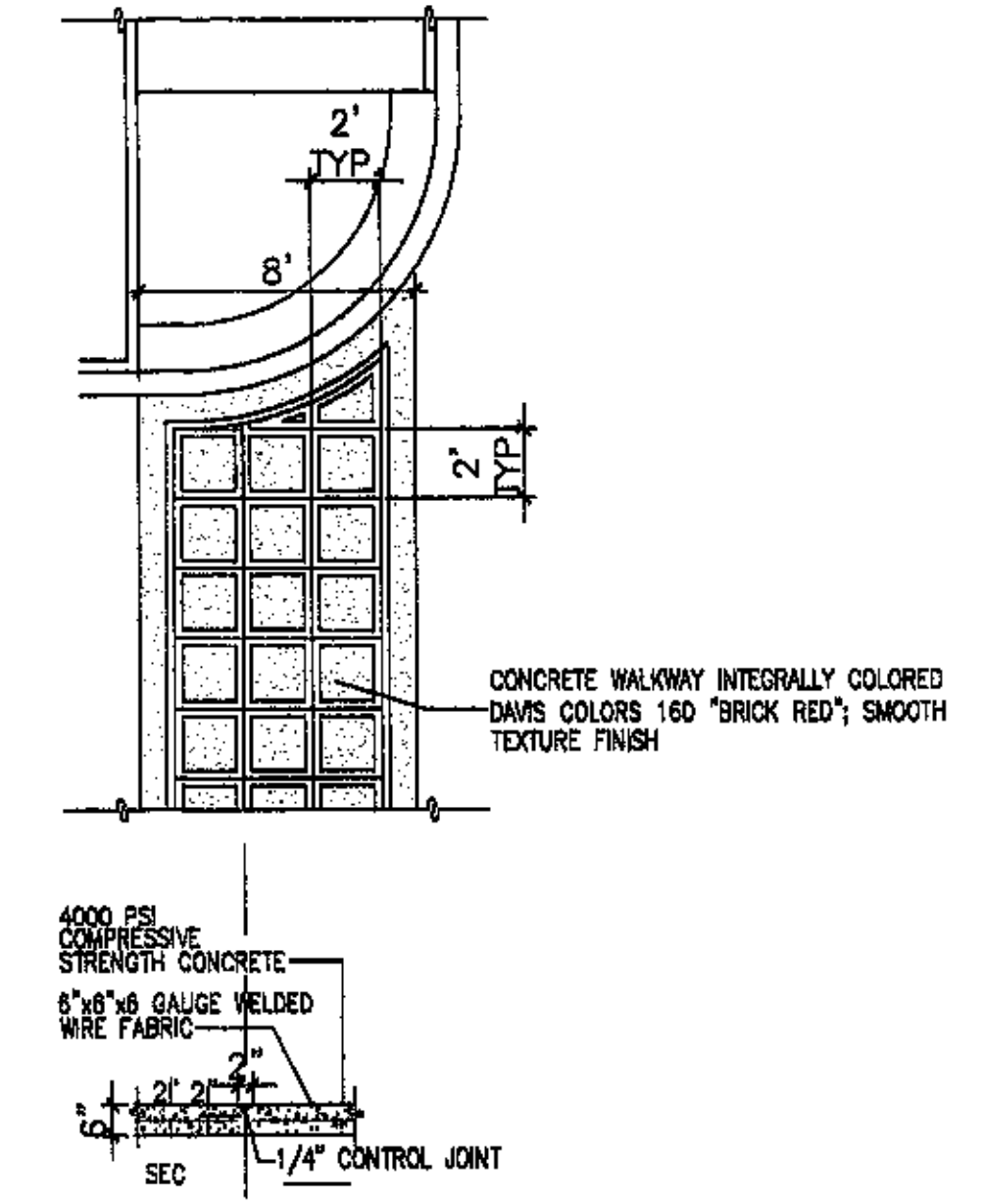
12 TYP. END ISLAND W/ WALK
Scale: N.T.S.



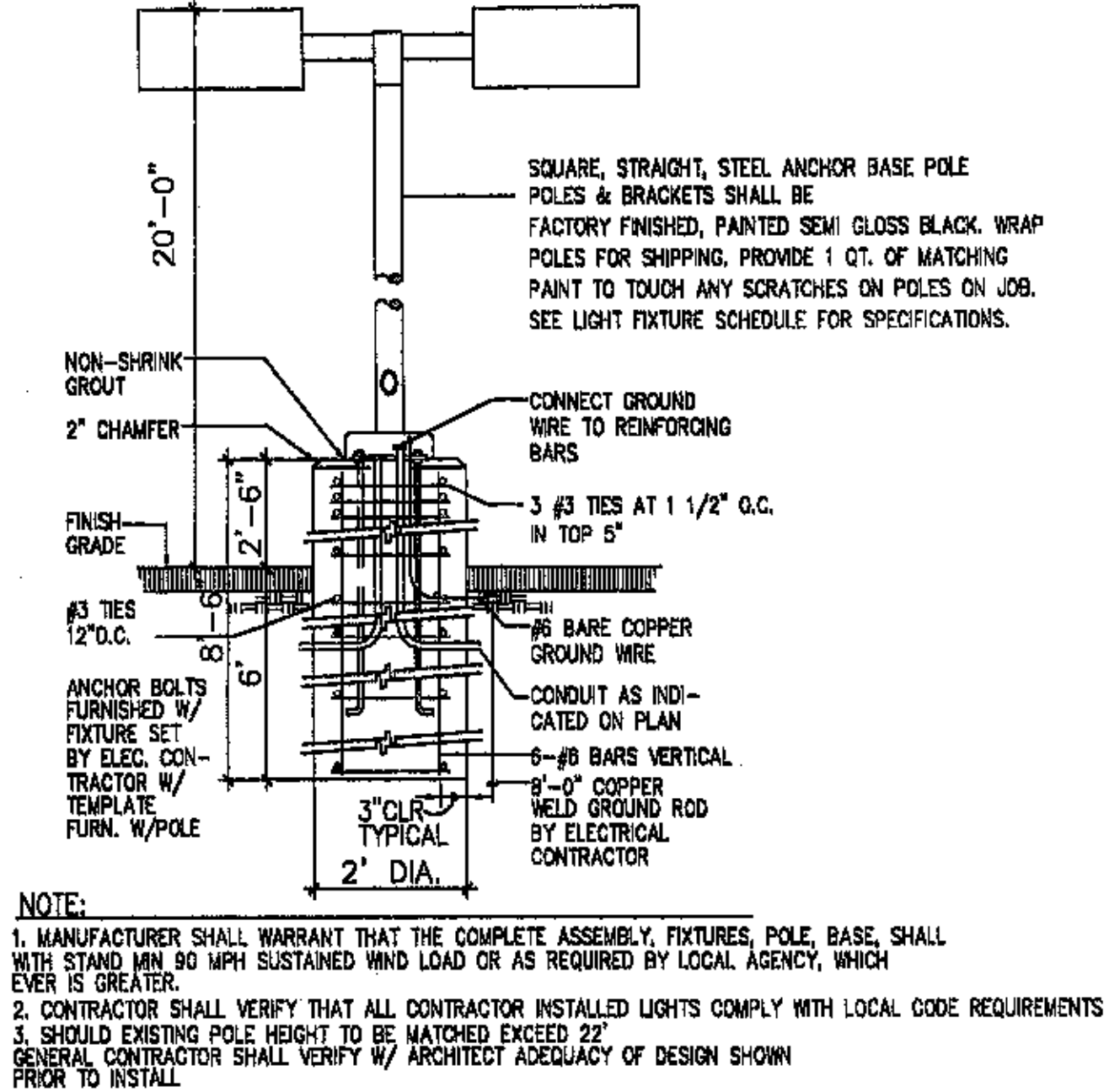
10 BOLLARD DETAIL
Scale: 1/2\"/>



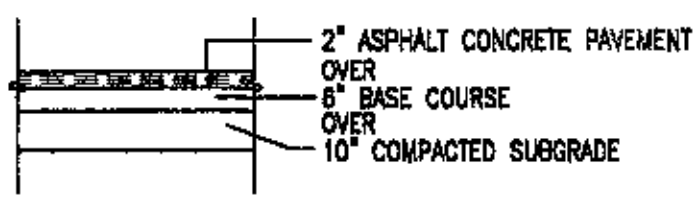
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Scale: N.T.S.



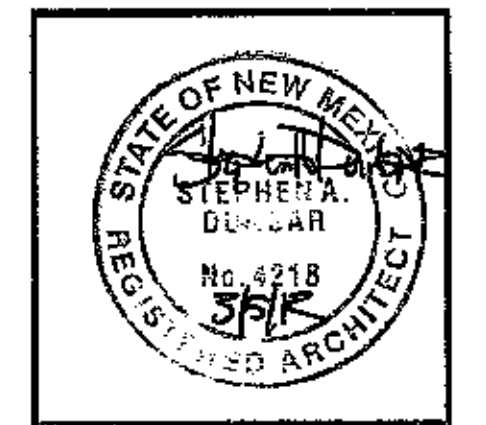
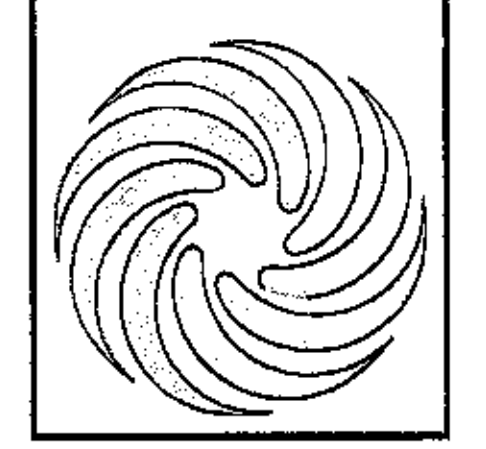
3 LIGHT POLE DETAIL
Scale: N.T.S.



1 HEAVY DUTY ASPHALT SECTION
Scale: 1/2\"/>

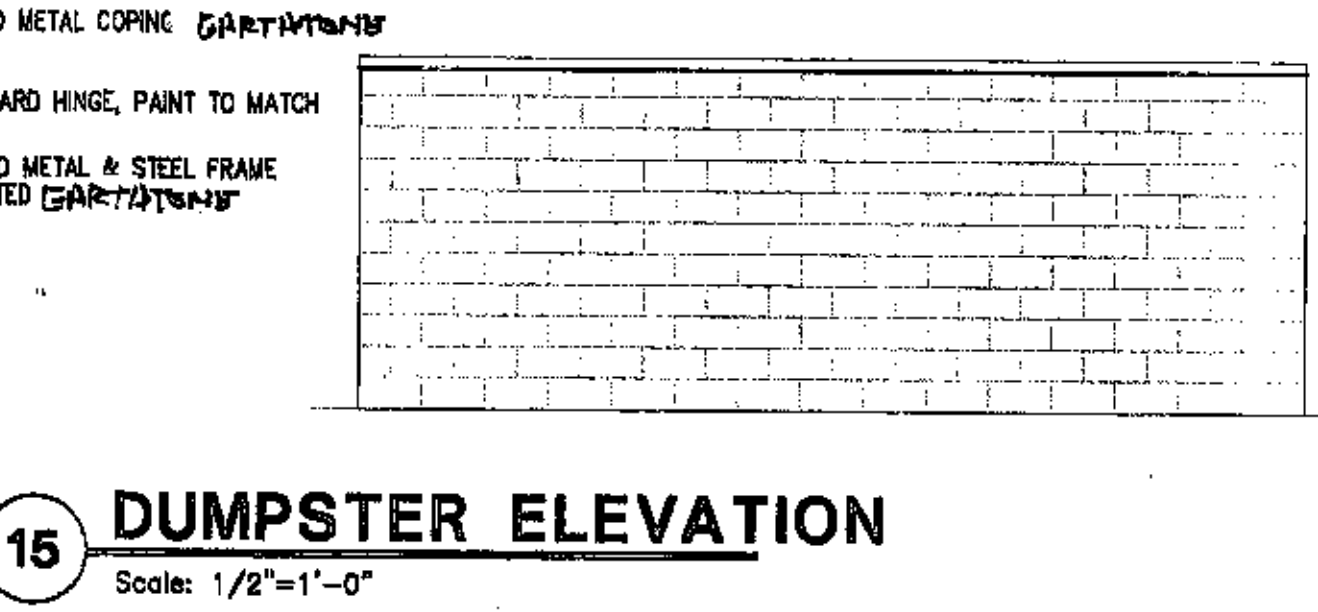
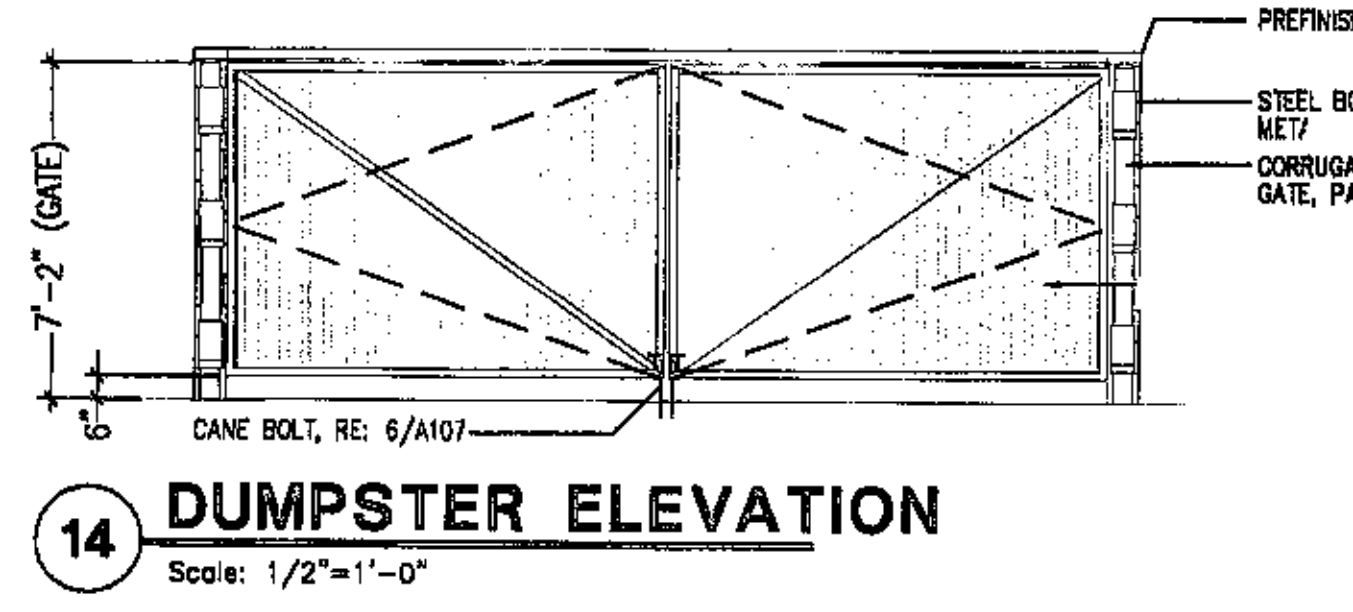
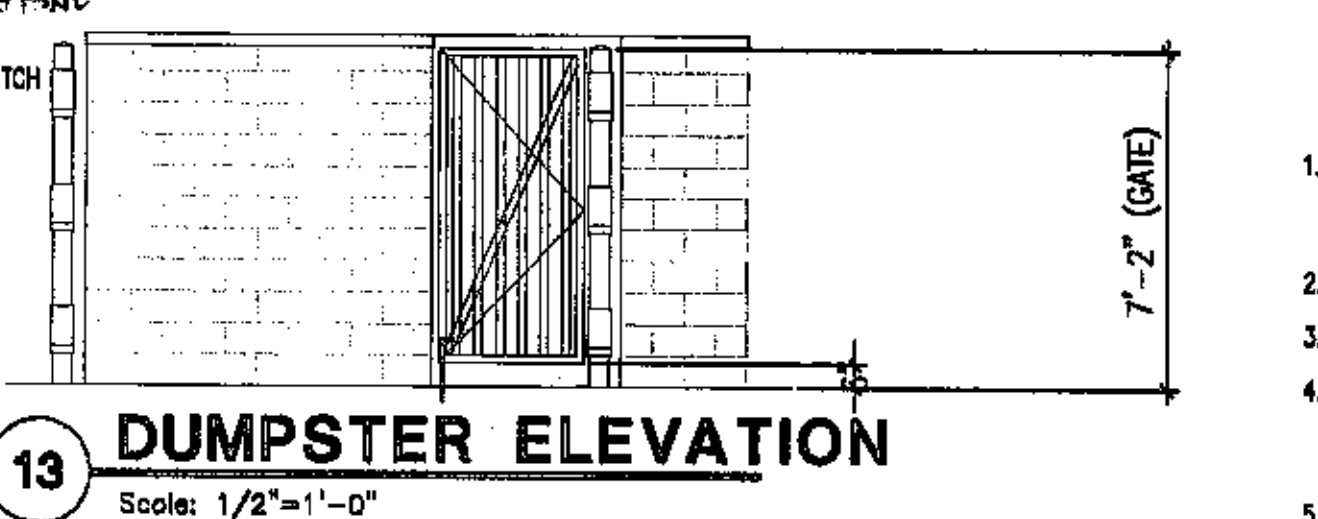
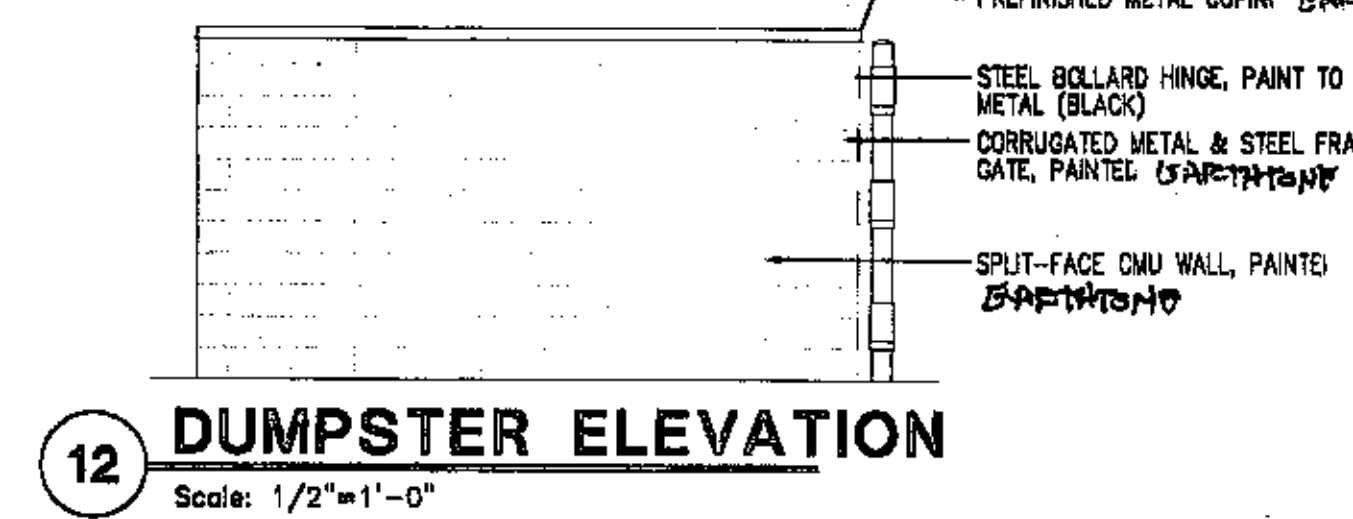
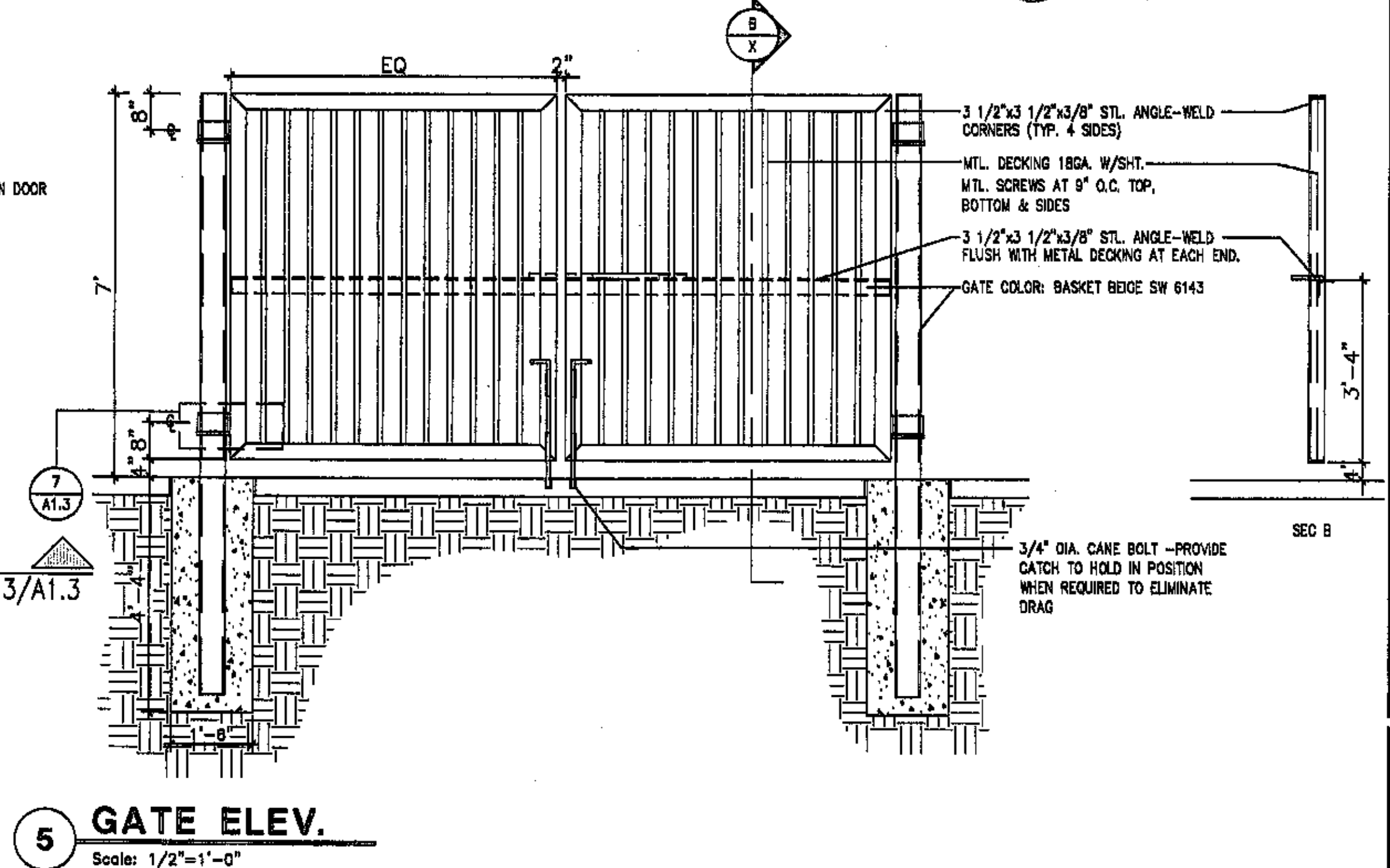
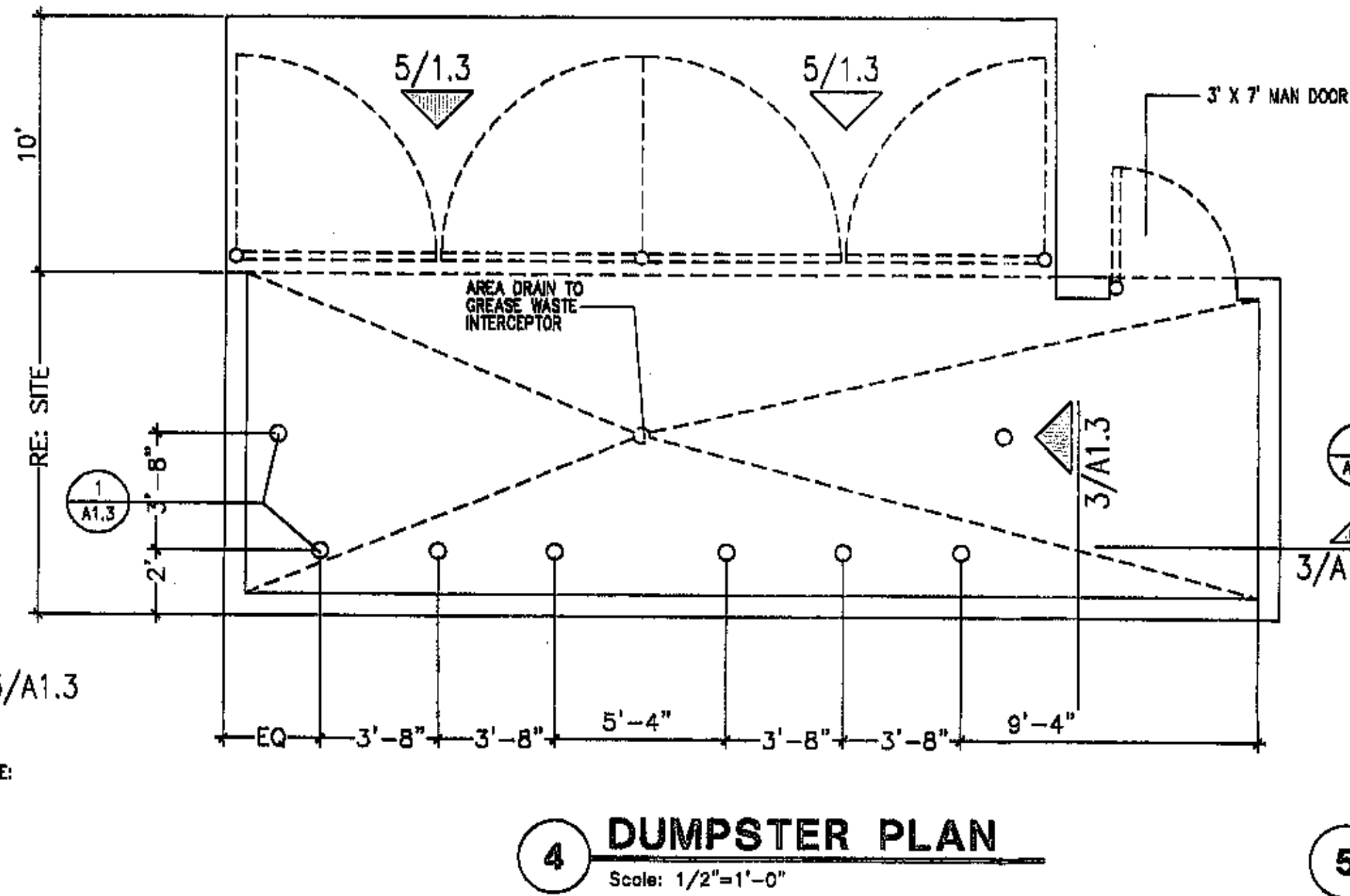
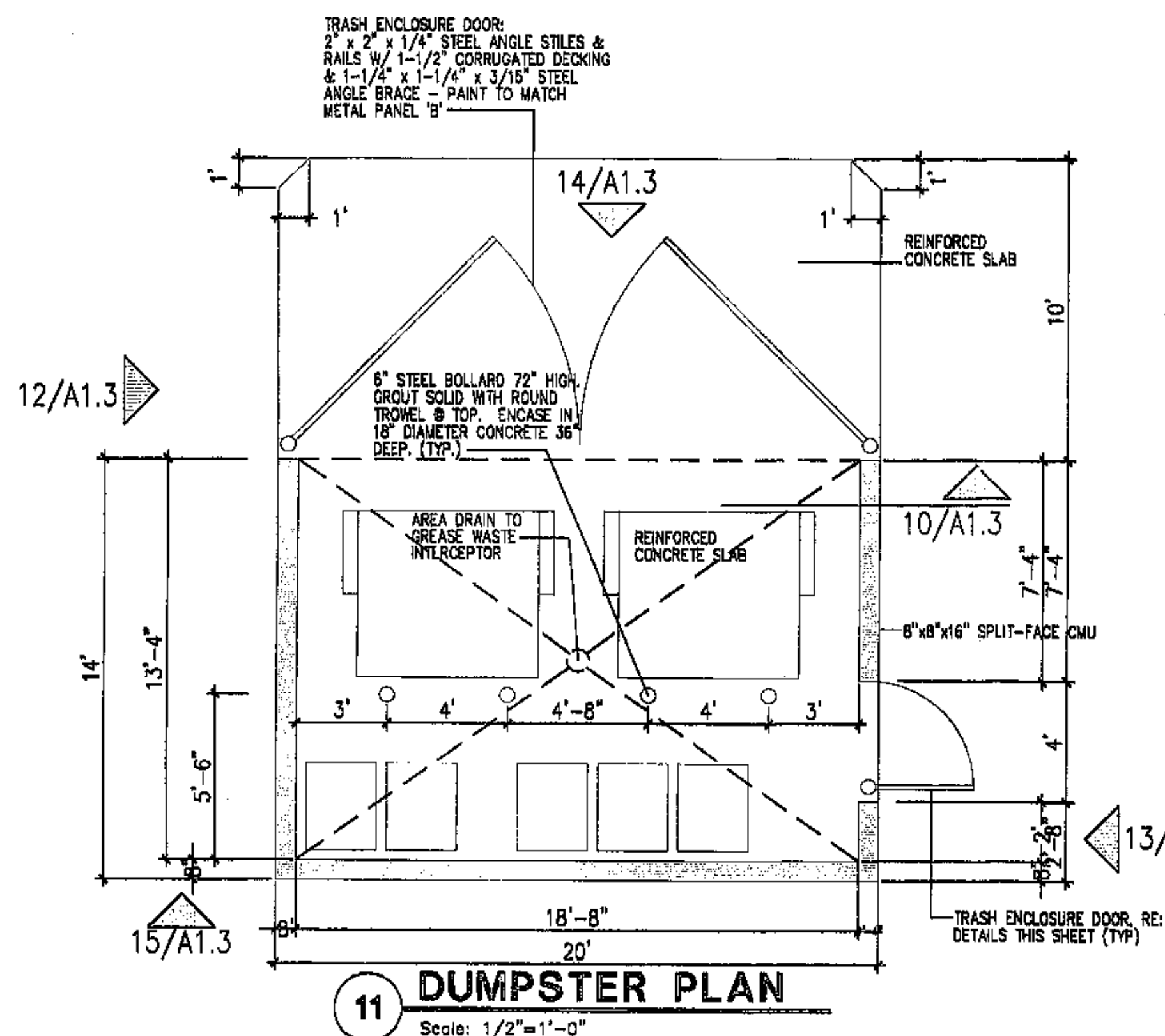
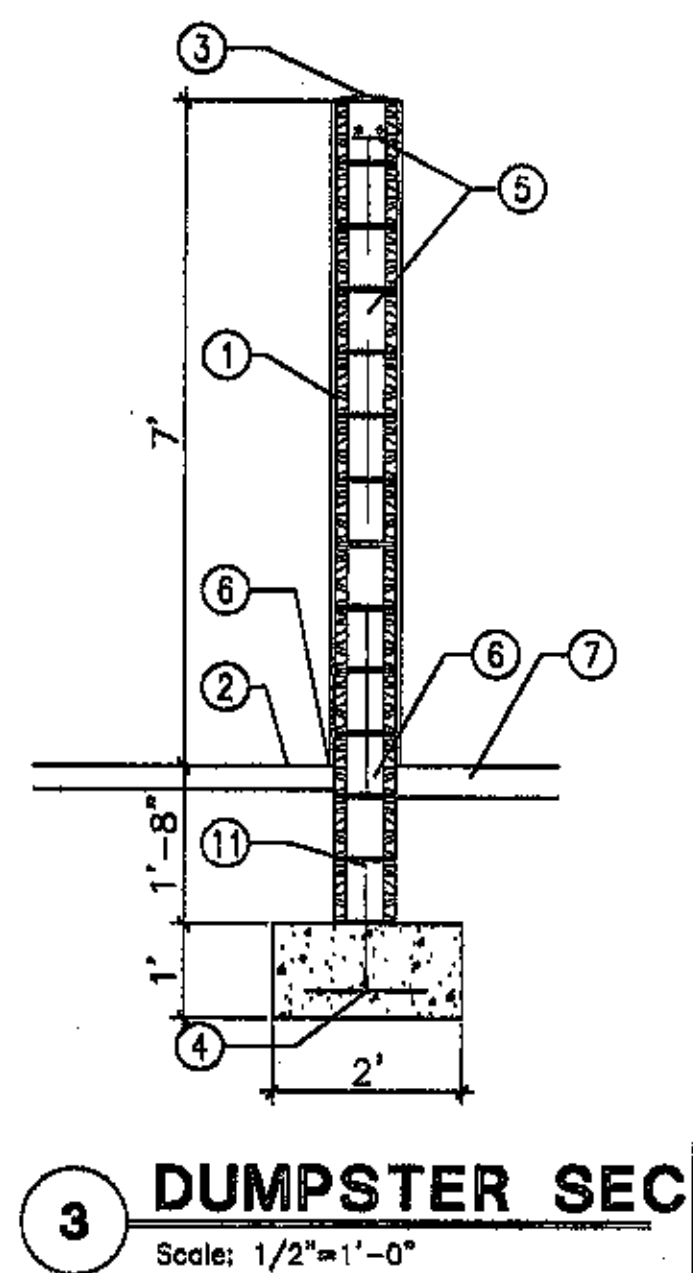
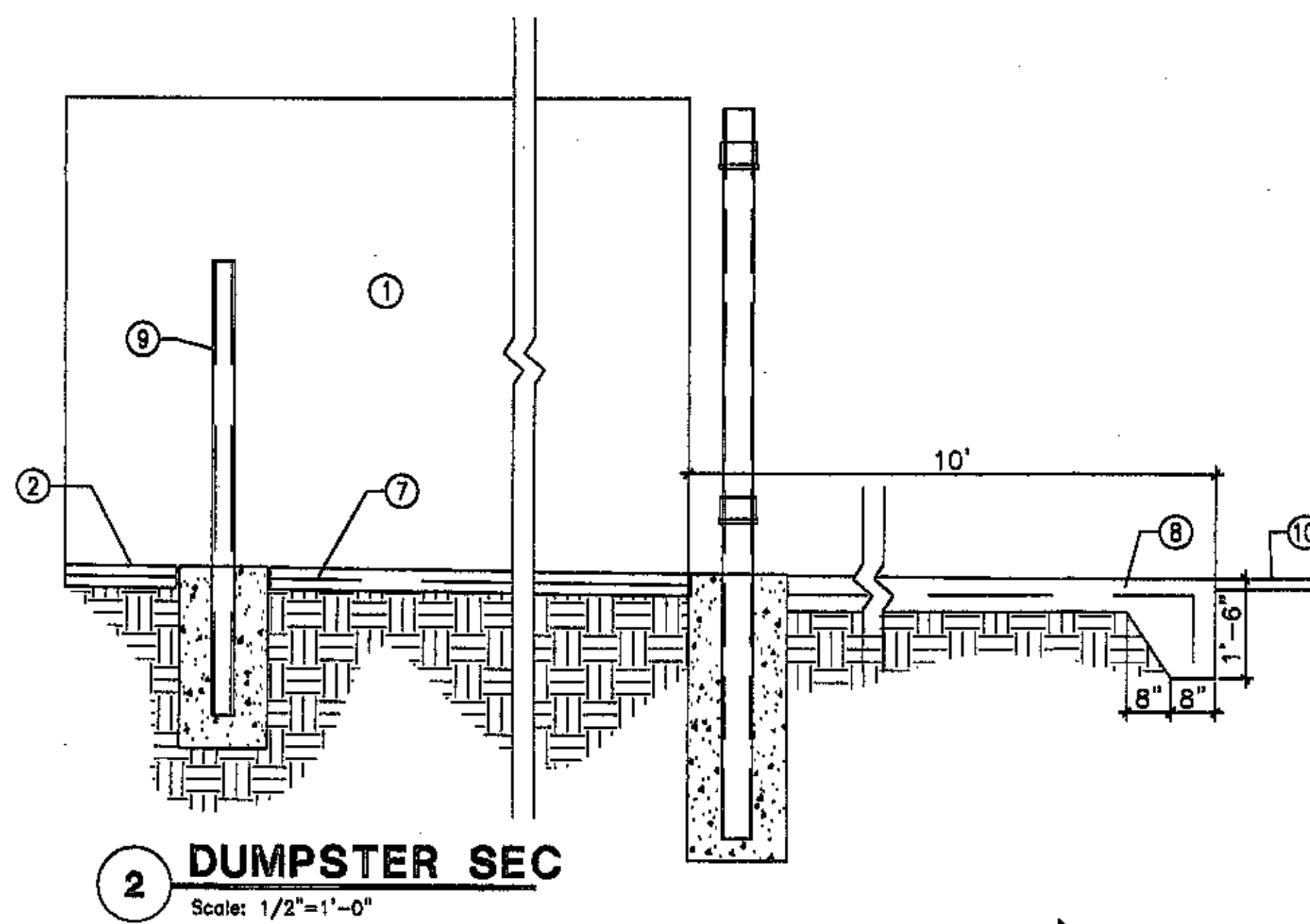
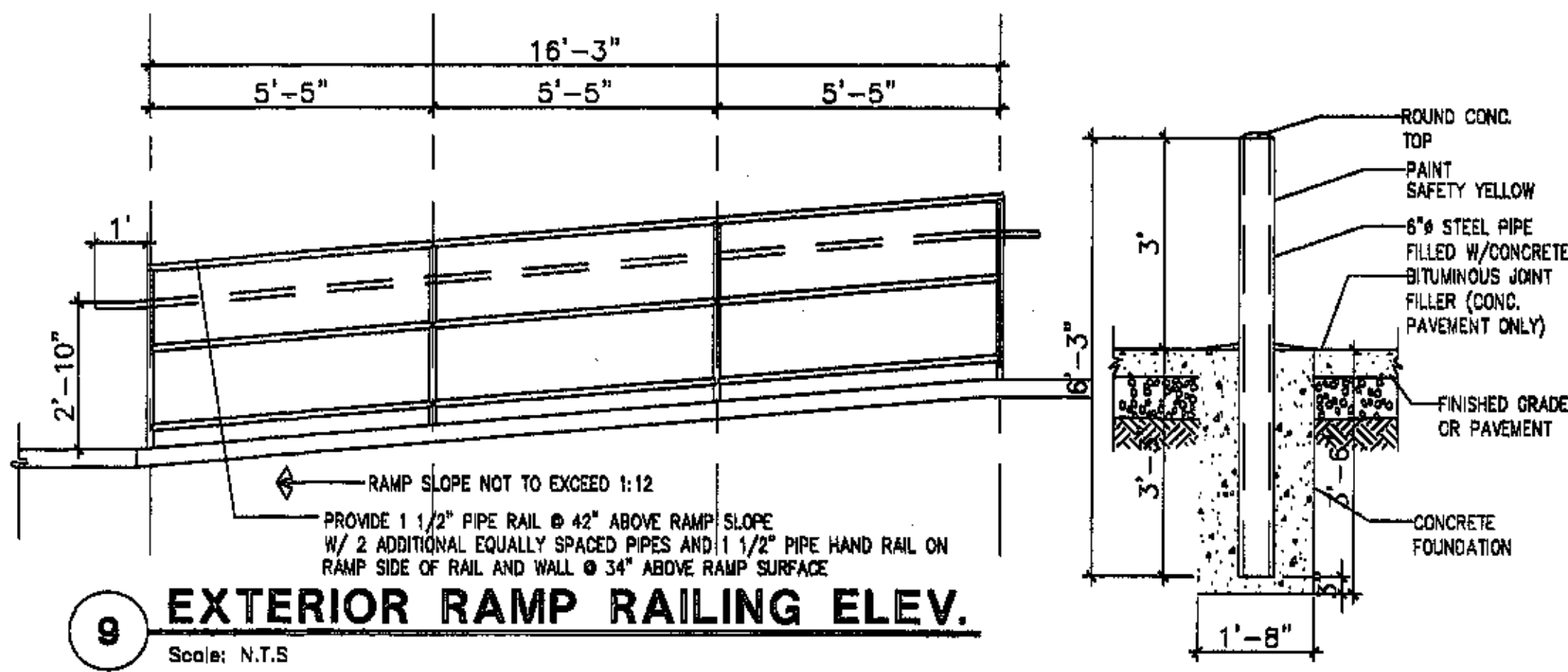
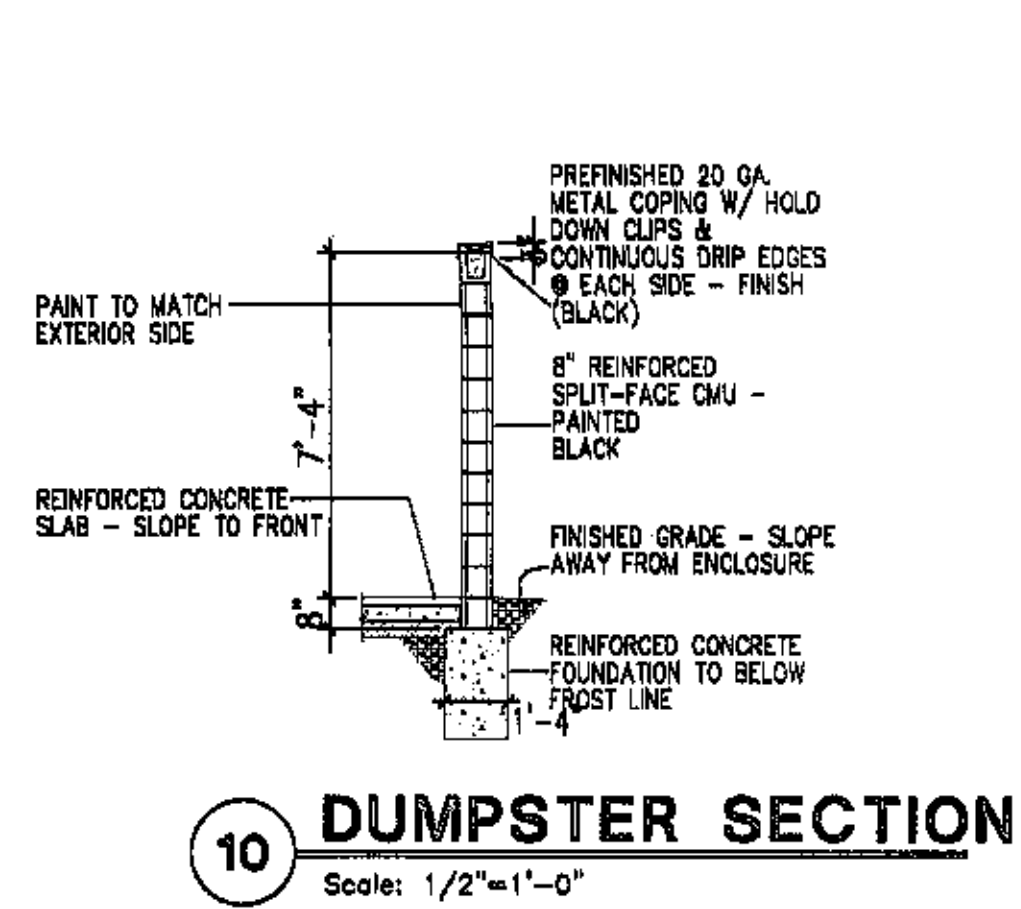
REV	DATE	BY	REVISION
6			
5			
4			
3			
2			
1			

MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161



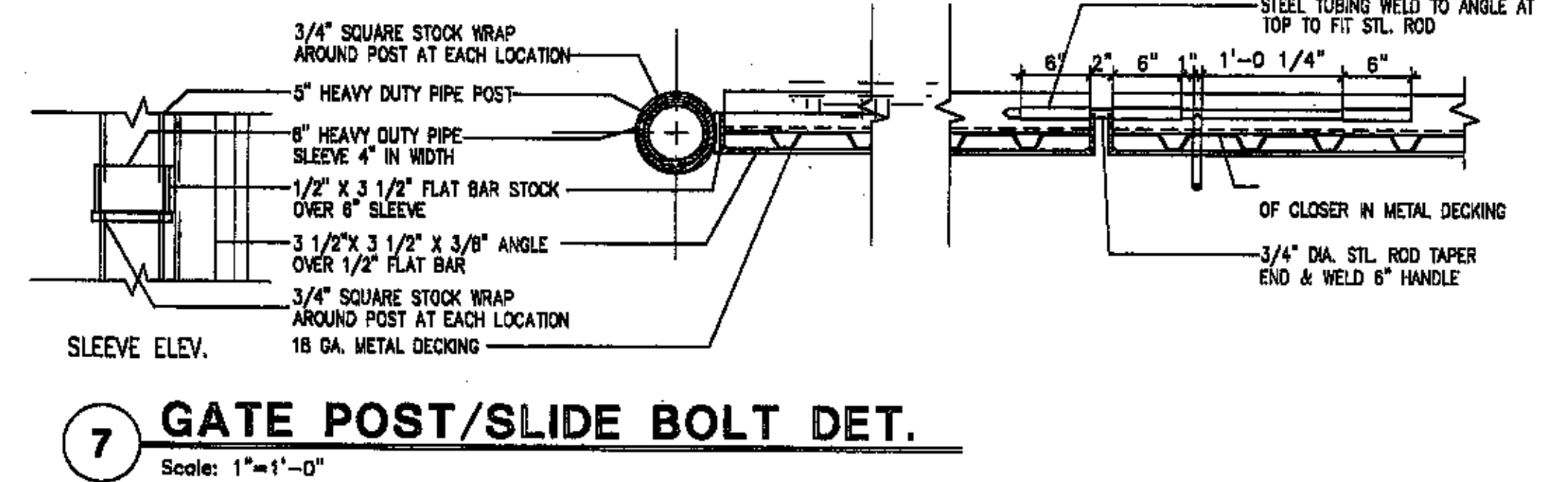
PROJECT TITLE	PROJECT NUMBER	DRAWN BY	JOB NO.
PROJECT 528	STEPHEN DUNBAR, AIA	MSW	
3400 NW 528	STEPHEN DUNBAR, AIA		
ALBUQUERQUE N.M. 87114			
SITE DETAILS			

DATE:	SCALE:
	AS NOTED
NO.:	
A11	



- KEYED NOTES**
- 8" CMU WALL WITH 2 COAT SYN. STUCCO SYSTEM. COLOR: MATCH BLDG-BASE COLOR
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 16" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM. CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DURAWALL @ 16" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6 - 10X10 W/M W/ TURNDOWN EDGE.
 - 6" CONCRETE FILLED PIPE IN 16" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.

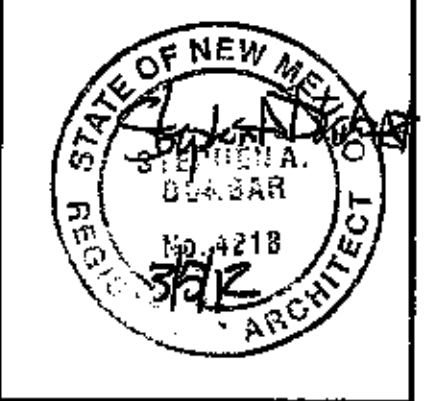
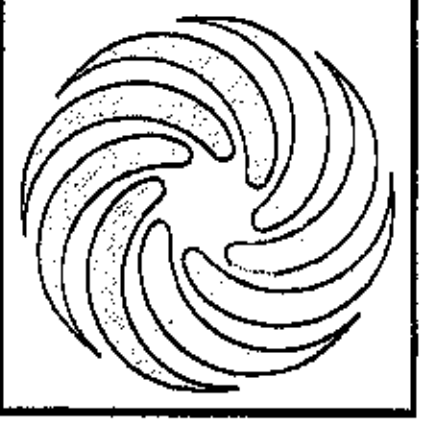
6 ENCLOSURE NOTES
Scale: N.T.S.



7 GATE POST/SLIDE BOLT DET.
Scale: 1"=1'-0"

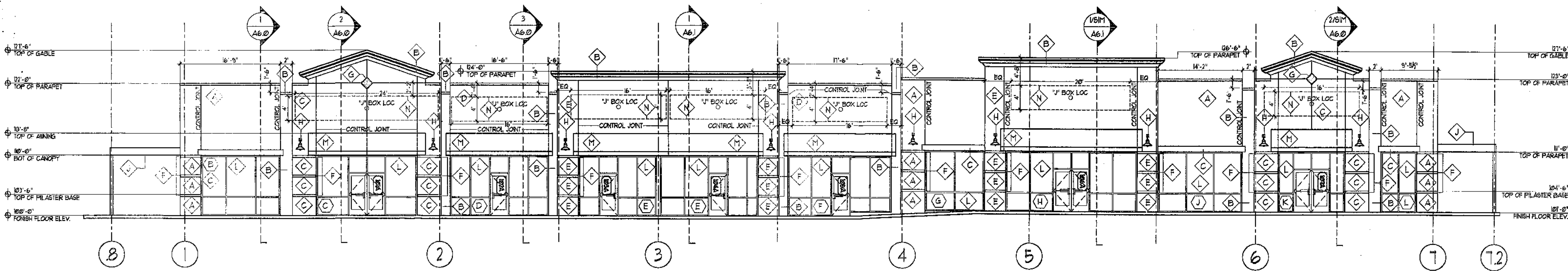
REV	DATE	BY	REVISION

MODULUS ARCHITECTS
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2161

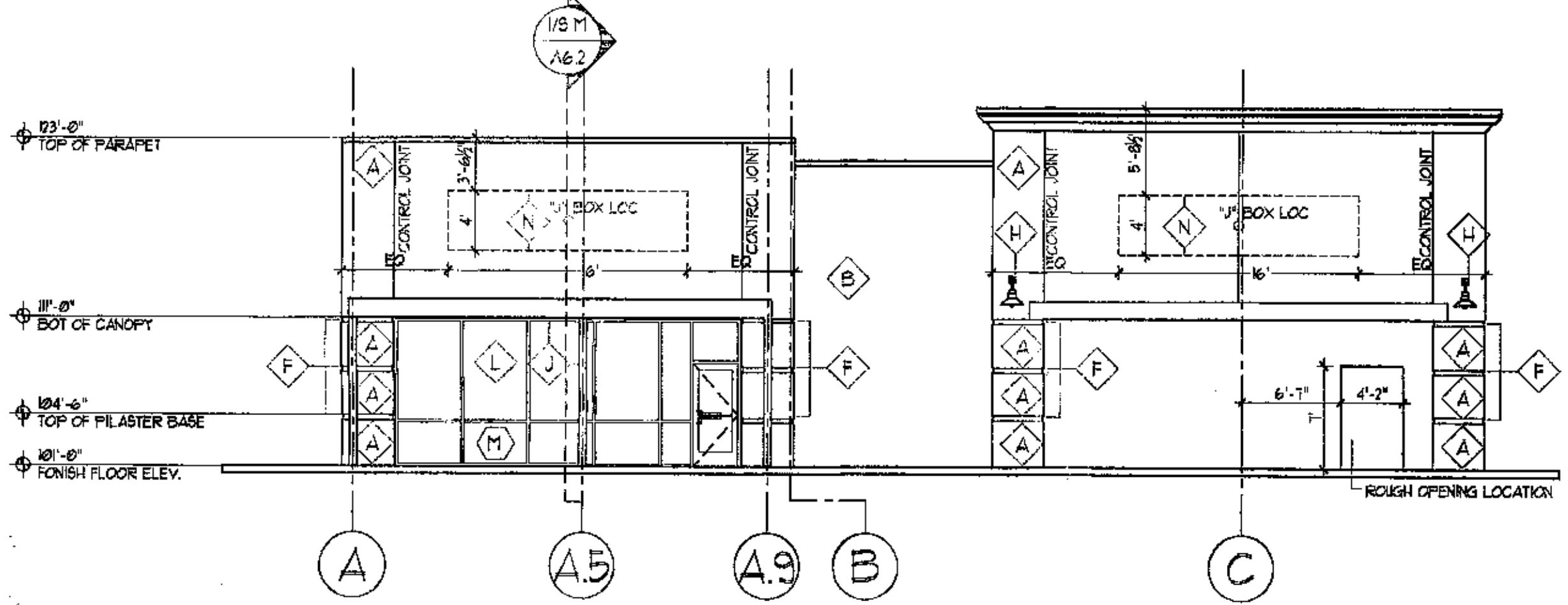


PROJECT NO. PROJECT 528
3400 N.W. 528
ALBUQUERQUE, N.M. 87114
PROJECT OWNER: STEPHEN DUNBAR, AIA
DRAWN BY: MSW
JOB NO.:
SHEET TITLE: SITE DETAILS

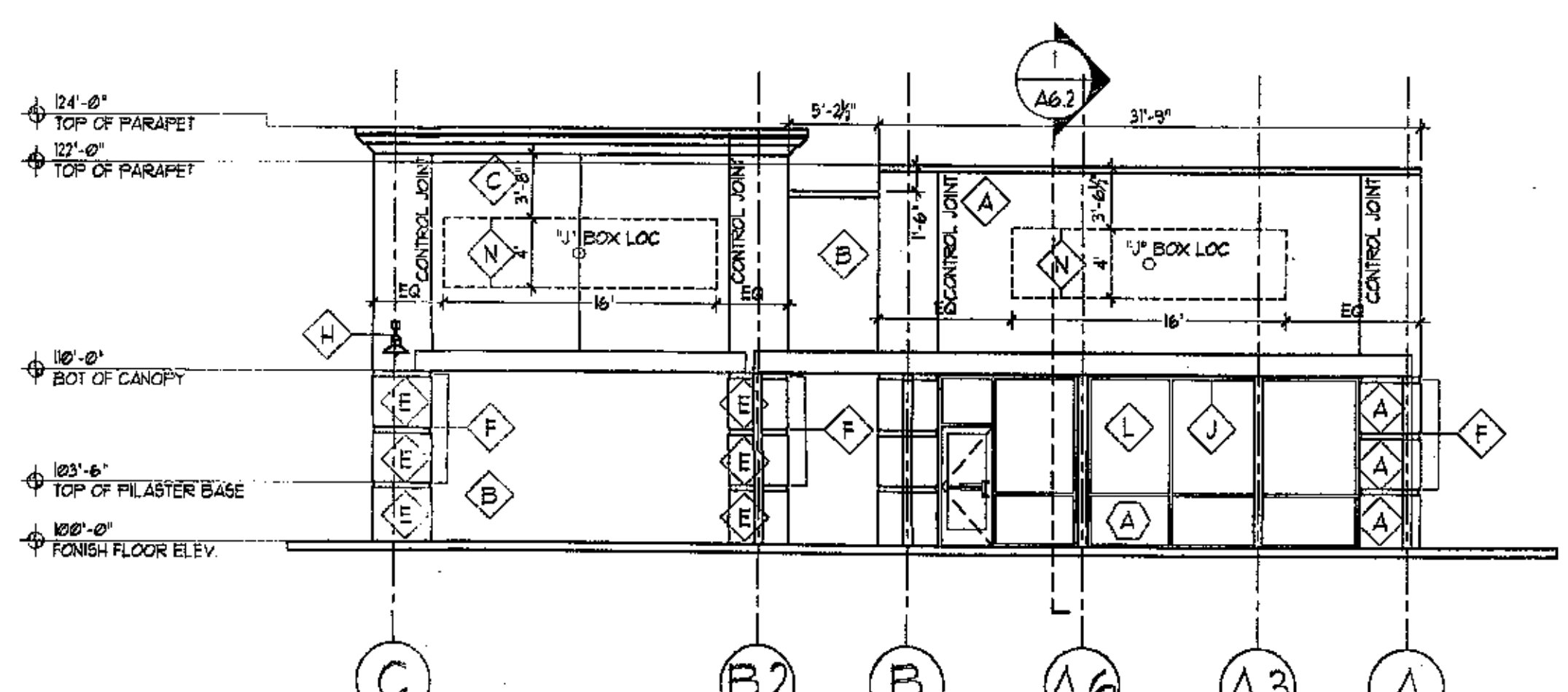
DATE: #/ /
SCALE: AS NOTED
A13



NOTE: BLDG MOUNTED SIGNAGE SHALL NOT EXCEED 10% OF BLDG FACADE AREA
1 NORTHERN ELEVATION
 1/8" = 1'
 18" = 1'



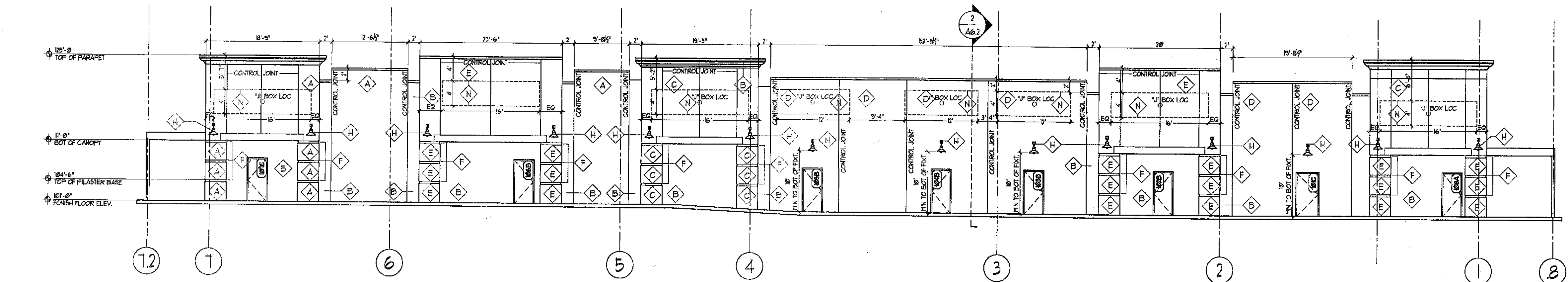
NOTE: BLDG MOUNTED SIGNAGE SHALL NOT EXCEED 10% OF BLDG FACADE AREA
2 WESTERN ELEVATION
 1/8" = 1'
 18" = 1'



NOTE: BLDG MOUNTED SIGNAGE SHALL NOT EXCEED 10% OF BLDG FACADE AREA
4 EASTERN ELEVATION
 1/8" = 1'
 18" = 1'

Keyed Color / Material Schedule

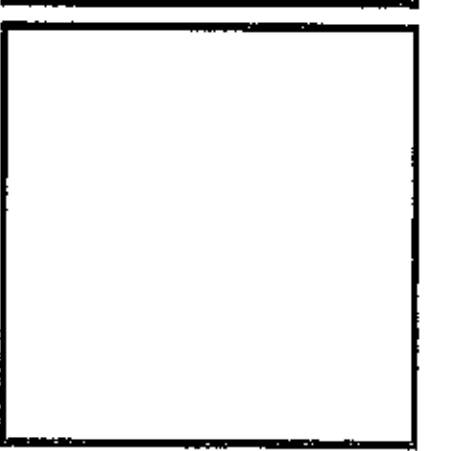
A	2 COAT SYNTHETIC STUCCO SYSTEM	SHERWIN WILLIAMS SU-136-25-100
B	2 COAT SYNTHETIC STUCCO SYSTEM	SHERWIN WILLIAMS SU-228-223-20
C	2 COAT SYNTHETIC STUCCO SYSTEM	SHERWIN WILLIAMS SW-101-61-62
D	2 COAT SYNTHETIC STUCCO SYSTEM	SHERWIN WILLIAMS SW-101-61-62
E	2 COAT SYNTHETIC STUCCO SYSTEM	SHERWIN WILLIAMS SW-101-61-62
F	3" WIDE ALUMINUM REVEAL WITH MIN 1/2" REVEAL DEPTH DARK BRONZE ANODIZED FINISH	FRY REGLET DCS-50-300
G	18" SQUARE ALUMINUM ACCENT PLATE	
H	DECORATIVE GOOSNECK LIGHT FIXTURE	
I	PAINTED STEEL CANOPY	
L	STOREFRONT MATERIAL	DARK BRONZE ANODIZED ALUMINUM STOREFRONT KAUNER TR-FAB 401-T (THERMALLY BROKEN)
M	BLACK AWNING FABRIC OVER PREMANUFACTURED ALUMINUM AWNING SYSTEM	
N	5/8" FIRE RETARDANT PLYWOOD SIGN BACKING UNDER 2 COAT STUCCO SYSTEM	



NOTE: BLDG MOUNTED SIGNAGE SHALL NOT EXCEED 10% OF BLDG FACADE AREA
3 SOUTHERN ELEVATION
 1/8" = 1'
 18" = 1'

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 2025 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161



PROJECT TITLE	PROJECT 528
DATE	2/10/12
SCALE	AS NOTED
DRAWN BY	MSH
JOB NO.	
PROJECT MANAGER	STEPHEN DUNBAR, AIA
SHEET TITLE	ELEVATIONS

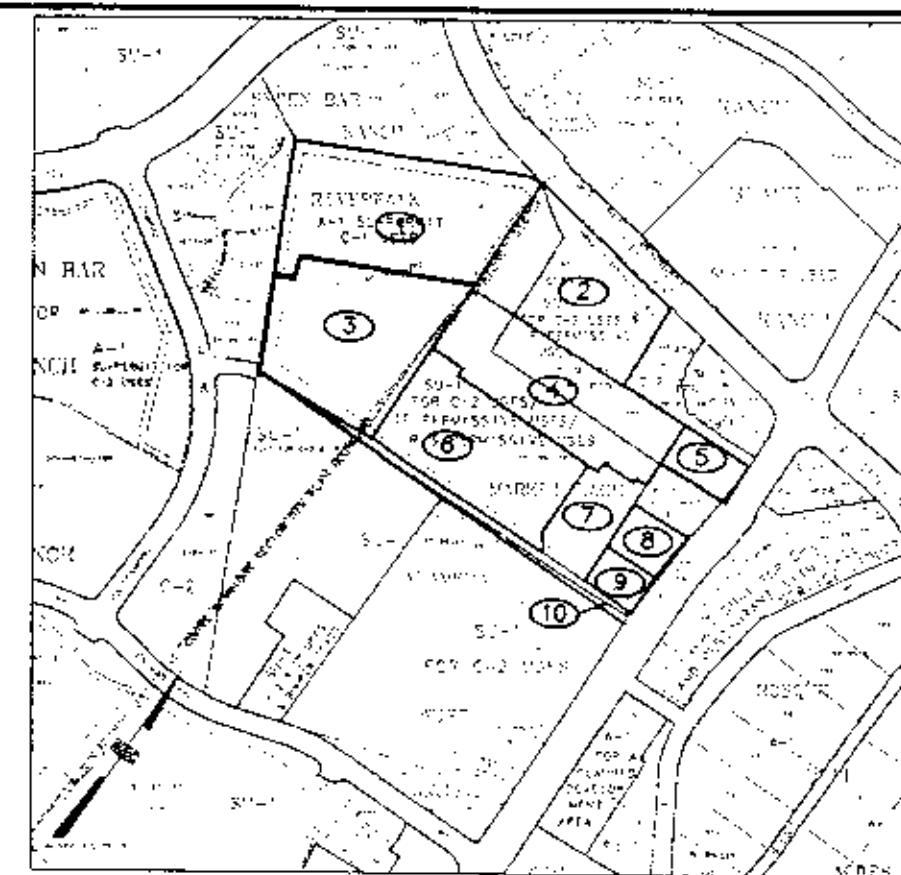
DATE	2/10/12
SCALE	A4.0
AS NOTED	

EXISTING CONDITIONS

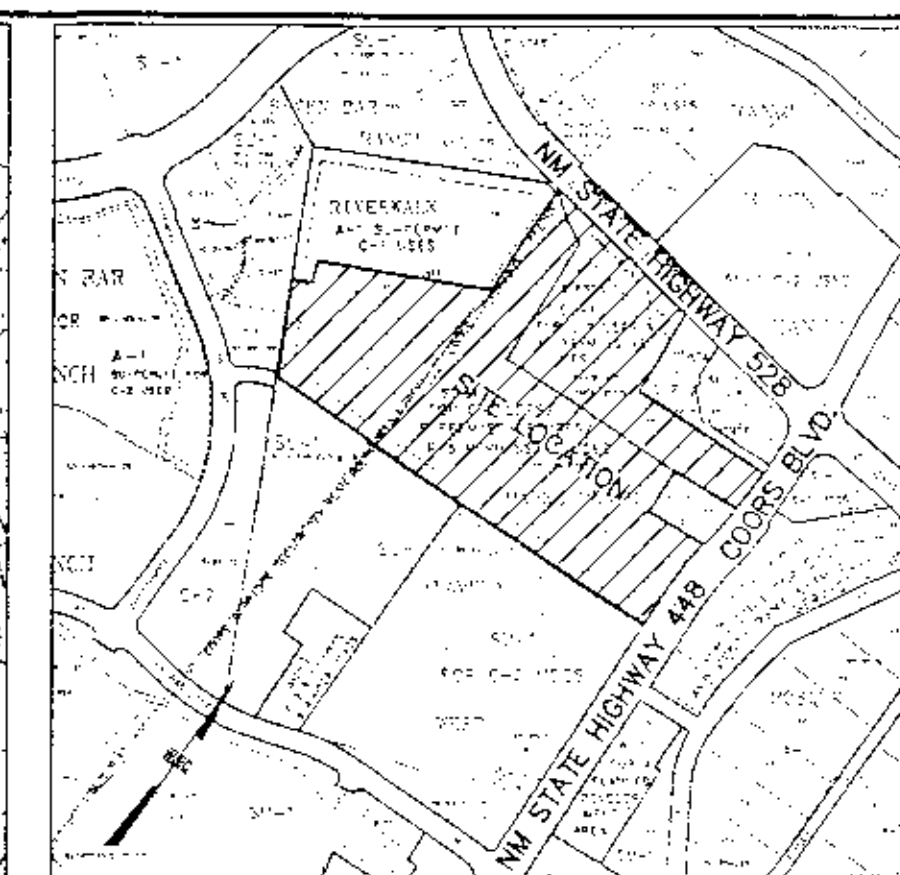
THE PROJECT SITE CONSISTS OF 36.34 ACRES, ALL OF WHICH IS UNDEVELOPED. THE SITE IS BOUNDED BY COMMERCIAL PROPERTIES ON ALL SIDES. A VACANT WALMART LOCATED ADJACENT TO THE NORTHERN BOUNDARY OF THE PROJECT SITE CURRENTLY DRAINS TO A TEMPORARY RETENTION POND. THE RETENTION POND IS LOCATED ON PROPERTY BEING ACQUIRED FOR THE PROJECT. THE TWO LOTS ADJACENT TO NMSR 528 DRAIN TO THE STREET. ALL LOTS FACING COORS BLVD. TO THE SOUTH AND EAST DRAIN TO THE STREET AS WELL. THE PROPERTY DIRECTLY SOUTH OF THE VACANT WALMART DRAINS TO THE EAST INTO THE EXISTING RETENTION POND. THE CENTRAL SECTION OF THE PROJECT SITE, THE AREA SELECTED FOR THE PROPOSED LOWE'S WAREHOUSE, PRIMARILY DRAINS TO THE EAST ACROSS THE VACANT LOTS SOUTH OF THE US WEST BUILDING. ALL FLOWS LEAVING THE SITE, EVENTUALLY DRAIN TO THE CORRALES MAIN CANAL. ALL PROPERTIES BEING ACQUIRED FOR THE PROJECT HAVE AN ALLOWABLE DISCHARGE TO THE CORRALES MAIN CANAL EQUAL TO 1.43 CFS/ACRE (HARKINS THEATER DRAINAGE REPORT, JUNE 2000). THE PROPERTY LABELED "UNPLATTED NORTH COORS PARTNERSHIP" DRAINS TO THE NORTHEAST. FLOWS FROM THIS PROPERTY WILL PASS THROUGH THE EXISTING 48" OUTFALL. THE ALAMEDA WEST SHOPPING CENTER DRAINS TO A SEPARATE DETENTION POND LOCATED OFFSITE AND ON TO THE CORRALES MAIN CANAL.

PROPOSED CONDITIONS

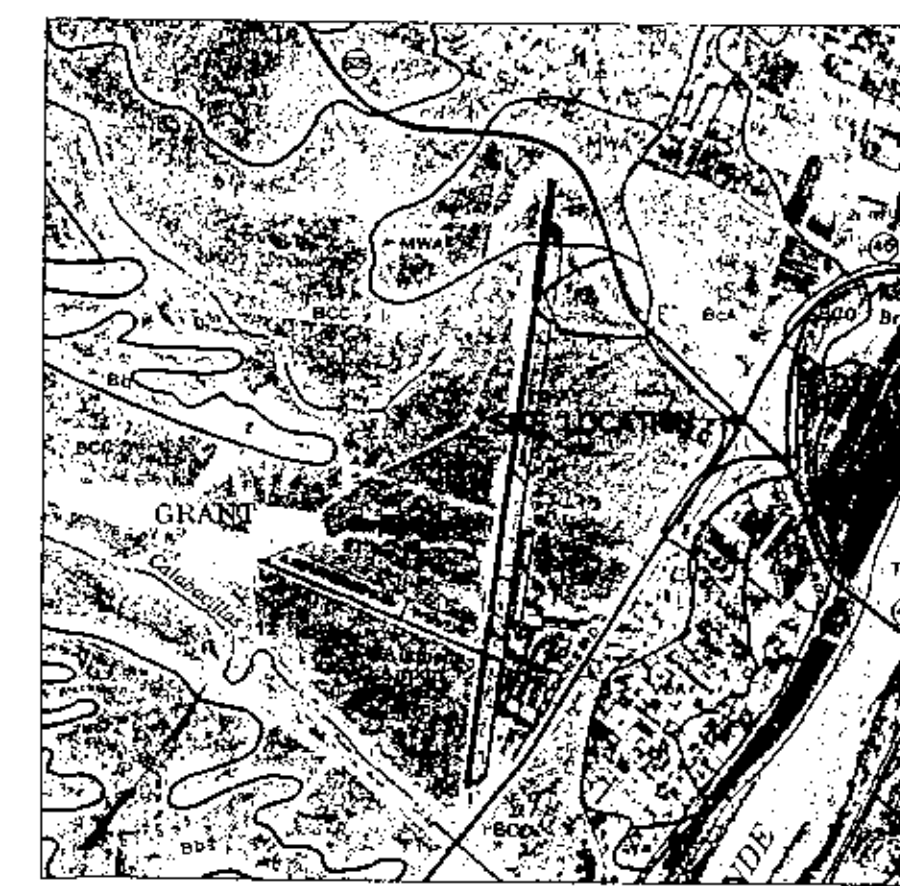
THE PROPOSED CONDITIONS INCLUDE THE CONSTRUCTION OF A HOME IMPROVEMENT WAREHOUSE WITHIN THE CENTRAL PORTION OF THE SITE. THE WAREHOUSE WILL CONSIST OF A 135,198 SQUARE FOOT MAIN BUILDING, 42,224 SQUARE FOOT GARDEN CENTER, AND ASSOCIATED DRIVEWAYS AND PARKING. RUNOFF FROM THESE DEVELOPMENTS WILL FLOW AWAY FROM THE WAREHOUSE, THROUGH STORM WATER SEWERS, AND INTO ONE OF THREE DETENTION PONDS LOCATED TO THE NORTH AND EAST OF THE PROPOSED BUILDING SITE. RUNOFF FROM PROPERTIES NOT DIRECTLY ASSOCIATED WITH THE HOME IMPROVEMENT WAREHOUSE WILL ALSO BE PASSED THROUGH THE STORM SEWER SYSTEM AND ON TO THE BEFORE MENTIONED DETENTION PONDS. THE ONLY PROPERTY NOT DISCHARGING TO THE BEFORE MENTIONED PONDS ARE ENCOMPASSED BY BASINS 2 AND 10. BASIN 2 WILL DISCHARGE DIRECTLY TO NM 528 AND BASIN 10 WILL DISCHARGE DIRECTLY TO THE CORRALES MAIN CANAL BY WAY OF THE PROPOSED STORM SEWER SYSTEM. THE DETENTION POND CLOSEST TO NM 528, POND 1, WILL ATTENUATE FLOWS ORIGINATING FROM THE VACANT WALMART LOCATED ADJACENT TO THE PROPERTY. THE OUTLET OF POND 1 WILL DISCHARGE INTO THE EXISTING STORM SEWER BENEATH NM 528. THE REMAINING DETENTION PONDS, PONDS 2 AND 3, WILL BE CONNECTED IN SERIES AND ACT AS A SINGLE POND. PONDS 2 AND 3 WILL COLLECT THE REMAINING FLOWS AND DISCHARGE THEM INTO THE CORRALES MAIN CANAL VIA A 48" RCP THAT WILL PASS BENEATH COORS BLVD. NEAR THE INTERSECTION OF LOWE'S AVENUE AND COORS BLVD. THE FLOWS WILL THEN ENTER THE CANAL VIA AN EXISTING 48" OUTFALL (NORTH COORS DRAINAGE, CALABACILLAS OUTLET, SCANLON & ASSOCIATES, 1994). GIVEN THE EXISTING AND PROPOSED CONDITIONS, THE RESULTING PONDS REQUIRE VOLUMES OF 0.53 ACFT, 0.49 ACFT, AND 1.46 ACFT.



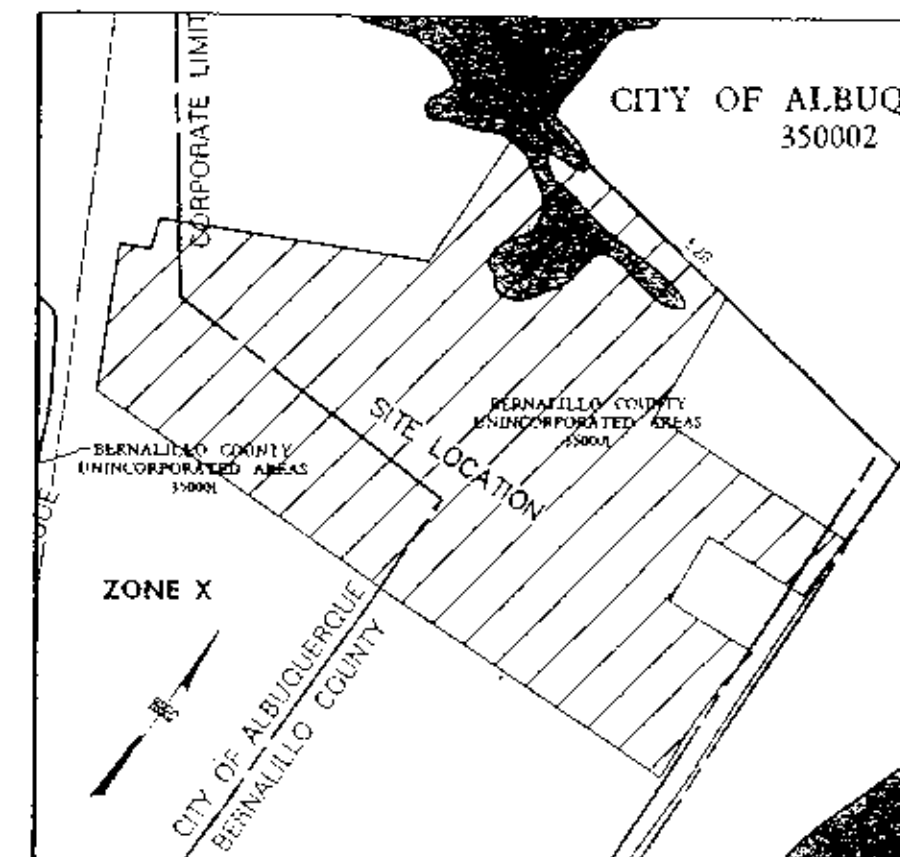
PROPOSED BASINS



VICINITY MAP
ZONE ATLAS MAP NO. A-14-2 & B-14-2



SOILS MAP
SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 10



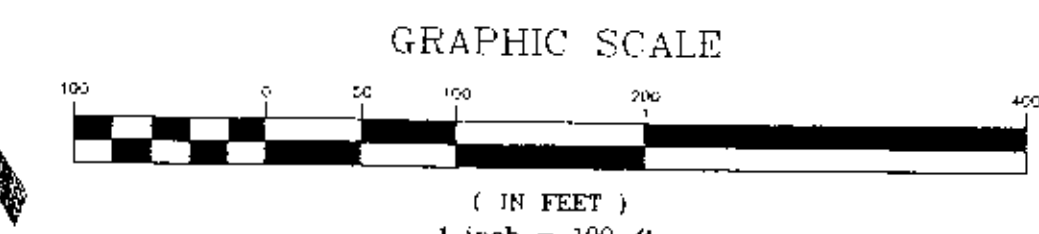
FLOOD INSURANCE RATE MAP
FLOOD INSURANCE STUDY PANEL 108 & 109

BENCH MARK

BASIS OF ELEVATION/PRIMARY BENCHMARK/NM SHC CONTROL STATION "NM448-N12" DATA: NMSHC BRASS TABLET FOUND IN PLACE SET IN TOP OF A CONCRETE TABLET, NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL-ZONE) X = 381,108.54 Y = 1,528,910.94 ELEV = 5023.41' (SLD 1929) GROUND TO GRID FACTOR = 0.99967595 DELTA ALPHA = -001'3'46" NAD 1927

LEGAL DESCRIPTION

LOT 1, RIVERWALK MARKETPLACE TOGETHER WITH SOUTHERLY 175' OF LOT 1, AND ALL OF LOT 15C AND LOT 15D QUESTA DEL RIO SUBDIVISION TOGETHER WITH AN ABANDONED PORTION OF CORRALES MAIN CANAL (AKA REMBE PROPERTY) WITHIN PROJECTED SECTIONS 5 AND 8, T11N, R3E, N.M.P.M. TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO



DRAWN	JRW	DATE	AUG 2001
DESIGN	JRW	FILE NO.	XQ218022
CHECKED BY	BMS	SHEET NO.	C4

LOWE'S HOME CENTERS, INC.
P.O. BOX 1111 N. WILKESBORO, NC 28699

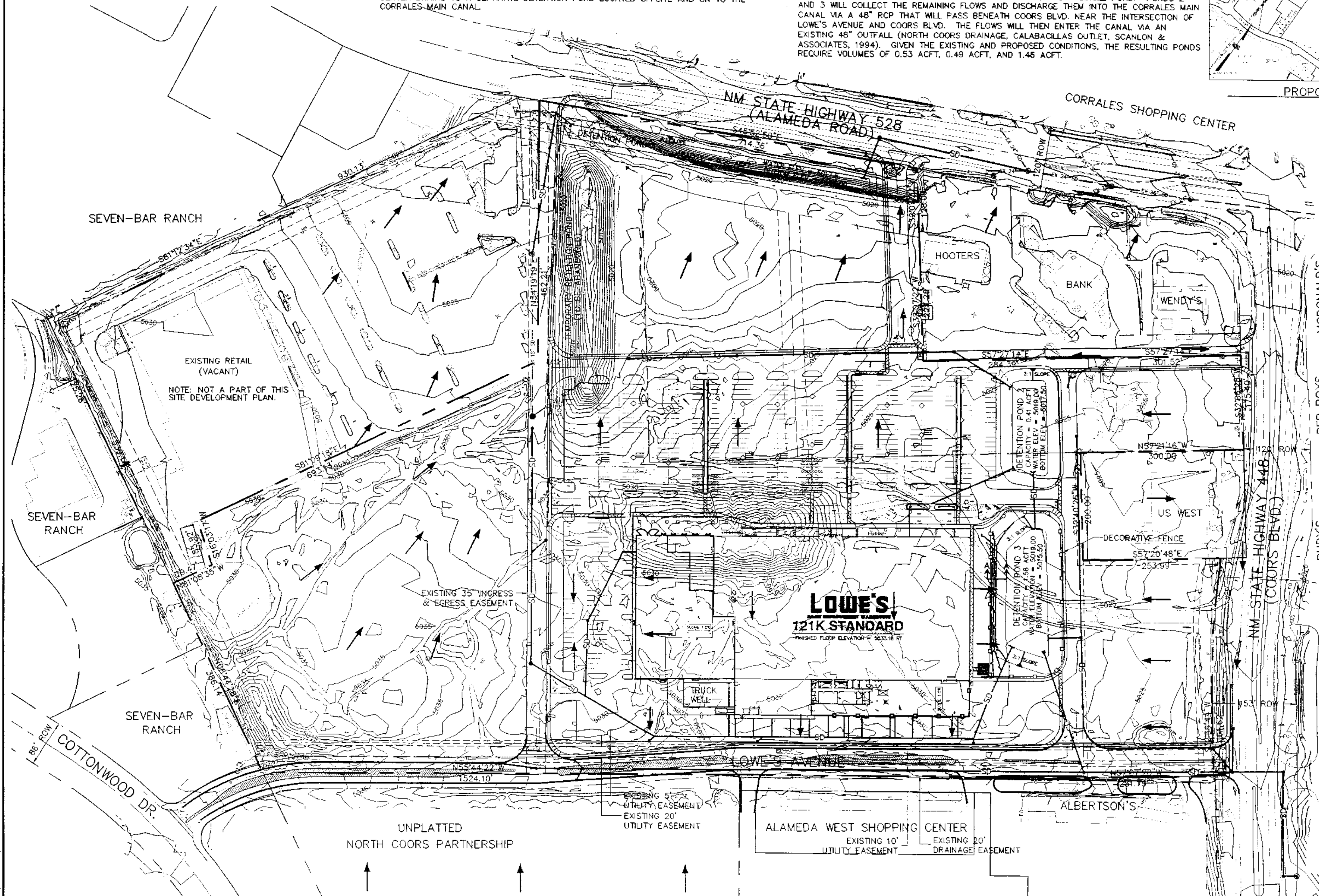
REVISIONS	
DATE	DESCRIPTION



LOWE'S ENGINEERING AND CONSTRUCTION
HWY 288 EAST, EAST DOCK N. WILKESBORO, NC 28689
336.658.3257 (F)
336.658.4000 (V)

GRADING AND DRAINAGE PLAN
LOWE'S OF NW ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
PROJECT NO. XQ218022 | DRAWN BY: JRW | CHECKED BY: BMS

ORIGINAL ISSUE DATE:	XXXXXX
PERMIT SET ISSUE DATE:	XXXXXX
CONSTRUCTION SET ISSUE DATE:	XXXXXX
DRAWING NUMBER:	C4



INPUT DATA

PRECIP. ZONE	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM		
	1 HOUR	24 HOUR	24 HOUR @ 10 DAY
1	1.87	2.20	2.66
2	1.52	1.87	2.31

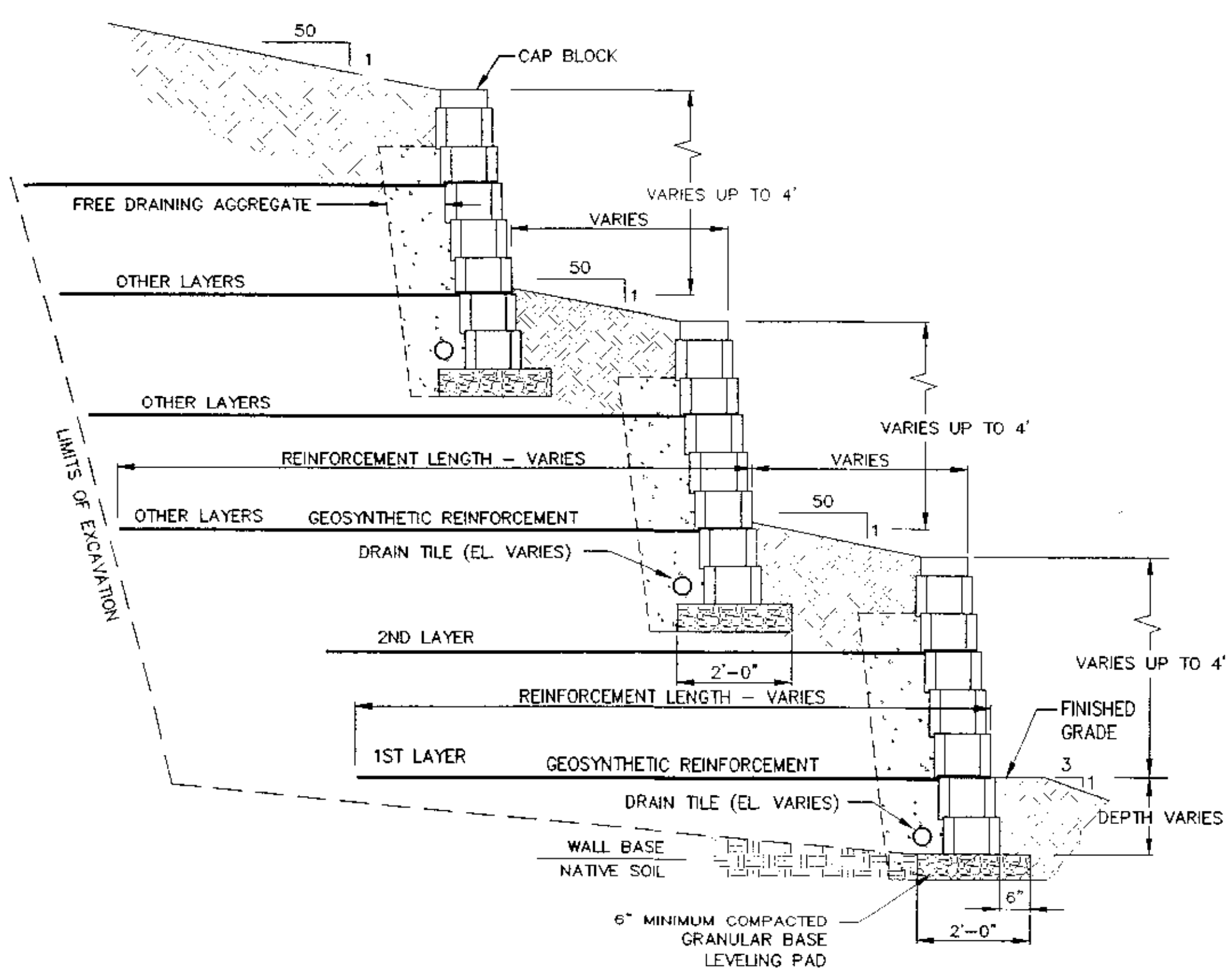
LEGEND

- 5071 - EXISTING INTERMEDIATE CONTOUR
- 5070 - EXISTING INDEX CONTOUR
- > - DIRECTION OF RUNOFF
- SD - EXISTING STORM DRAIN
- SD - PROPOSED STORM DRAIN
- > - PROPOSED MANHOLE
- > - PROPOSED DROP INLET
- > - RETAINING WALL
- - - - EXISTING PROPERTY LINE
- - - - LOWE'S PROPERTY LINE
- - - - EXISTING EASEMENT LINE
- - EXISTING MANHOLE

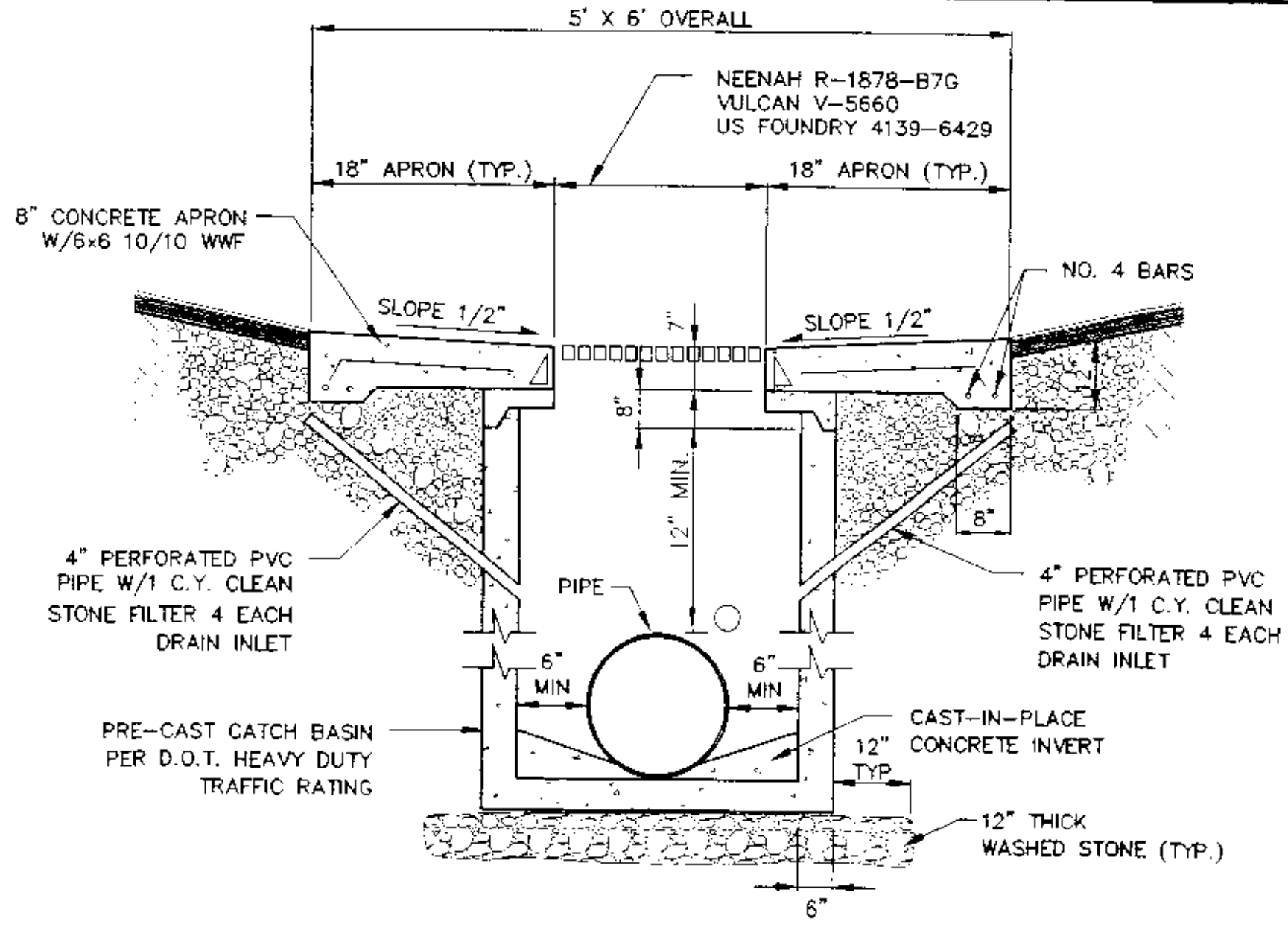
HYDROLOGY SUMMARY

BASIN NUMBER	COND.	DESCRIPTION	AREA (acres)	LAND TREATMENTS				2 YEAR		10 YEAR		100 YEAR				
				A	B	C	D	Q (cfs)	Q (ac.ft)	Q (cfs)	Q (ac.ft)	Q (cfs)	Q (ac.ft)			
1	EXISTING	LOWE'S NW ASB SITE	8.46	0.0%	15.0%	0.0%	85.0%	13,632	0.454	0.732	24,317	0.857	1,165	36,600	1,359	1,708
2	PROPOSED	LOWE'S NW ASB SITE	7.07	0.0%	15.0%	0.0%	85.0%	10,189	0.361	0.592	18,173	0.640	8,671	26,414	1,041	1,276
3	PROPOSED	LOWE'S NW ASB SITE	8.49	0.0%	15.0%	0.0%	85.0%	12,534	0.434	0.714	21,824	0.769	1,045	32,121	1,256	1,572
4	PROPOSED	LOWE'S NW ASB SITE	7.14	0.0%	20.0%	0.0%	80.0%	9,646	0.344	0.563	17,593	0.616	8,835	27,860	1,017	1,236
5	PROPOSED	LOWE'S NW ASB SITE	1.20	0.0%	15.0%	0.0%	85.0%	1,729	0.061	0.100	3,065	0.106	0.148	4,823	0.178	0.217
6	PROPOSED	LOWE'S NW ASB SITE	6.86	0.0%	10.0%	0.0%	90.0%	10,455	0.371	0.608	18,364	0.651	0.887	28,373	1,052	1,289
7	PROPOSED	LOWE'S NW ASB SITE	2.59	0.0%	75.0%	0.0%	25.0%	1,064	0.037	0.060	3,069	0.095	0.118	6,250	0.188	0.221
8	PROPOSED	LOWE'S NW ASB SITE	1.13	0.0%	15.0%	0.0%	85.0%	1,628	0.058	0.095	2,905	0.102	0.139	4,541	0.167	0.204
9	PROPOSED	LOWE'S NW ASB SITE	0.732	0.0%	15.0%	0.0%	85.0%	1,055	0.037	0.061	1,882	0.066	0.090	2,942	0.108	0.132
10	PROPOSED	LOWE'S NW ASB SITE	1.73	0.0%	10.0%	0.0%	90.0%	2,637	0.094	0.153	4,631	0.164	0.224	7,155	0.265	0.328

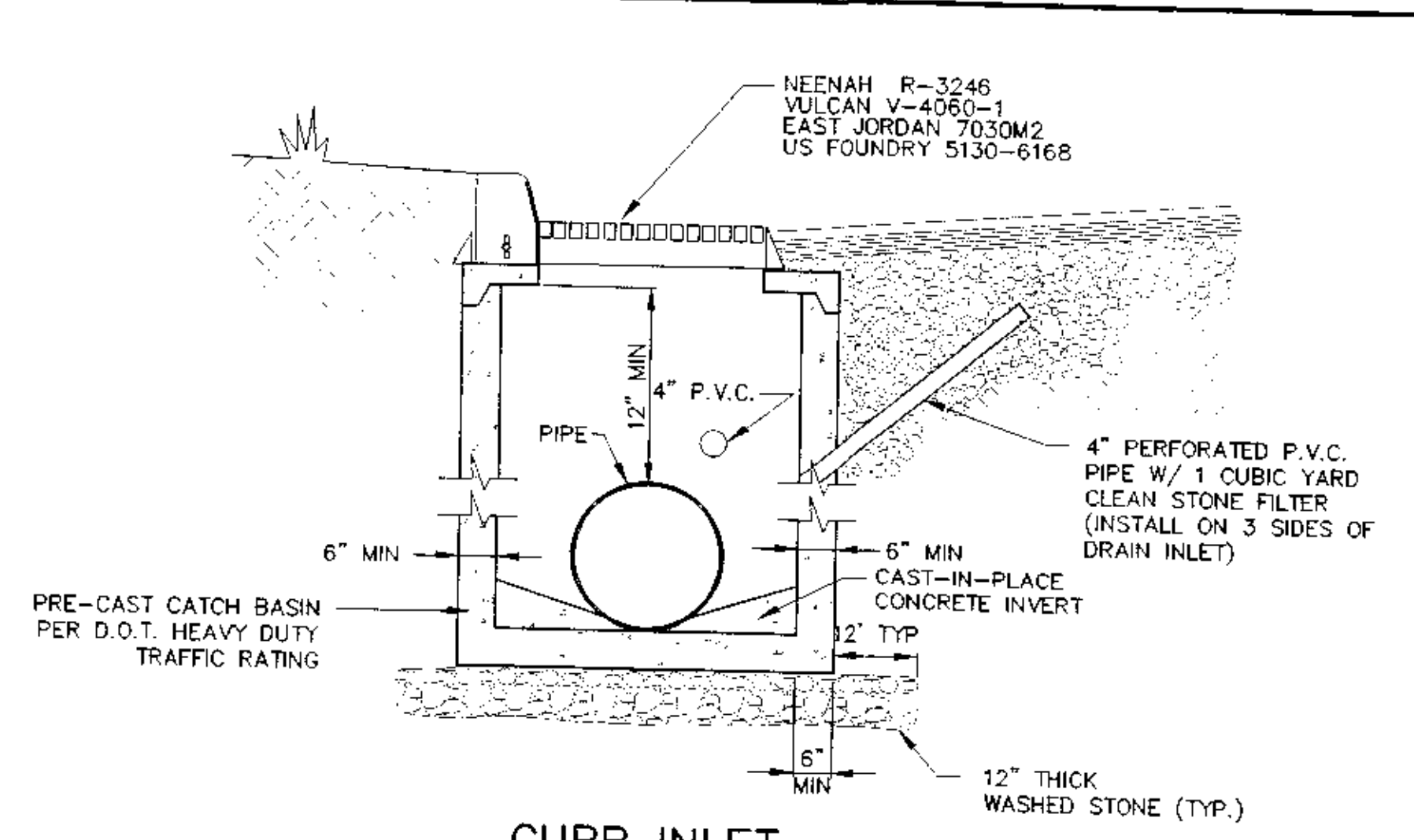
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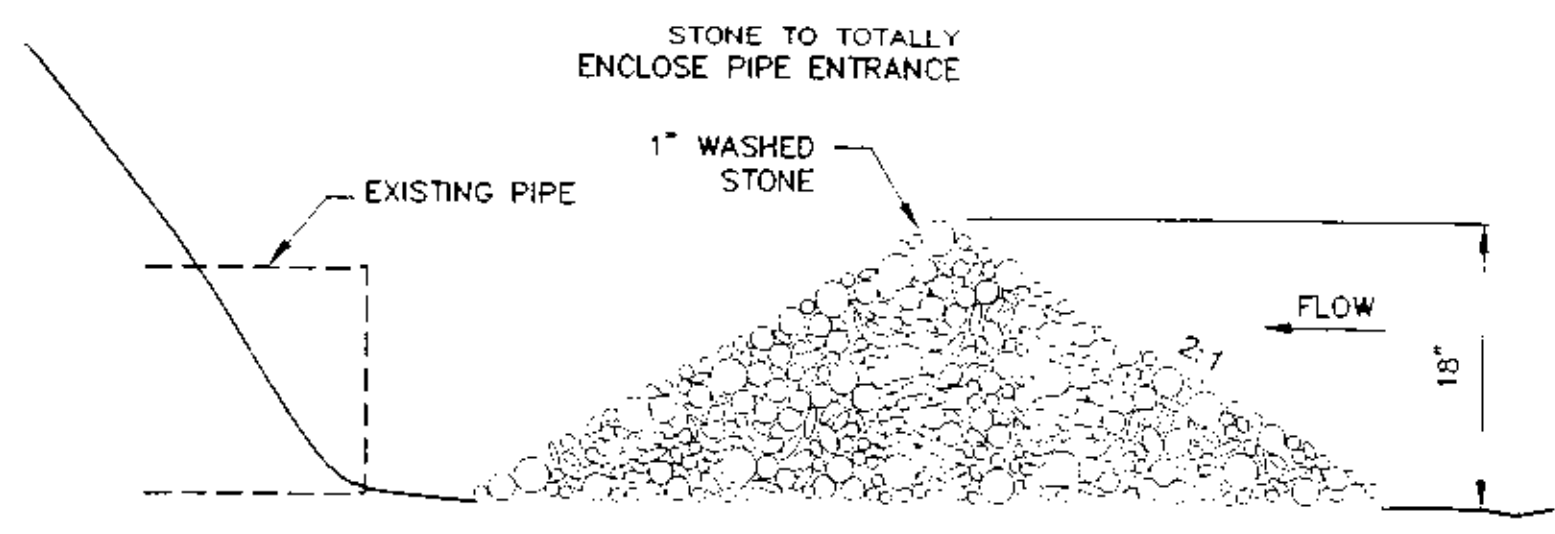
SECTION A-A
SOIL REINFORCED SRW
TYPICAL DETAIL-TERRACED WALL
SCALE: 1"=2"



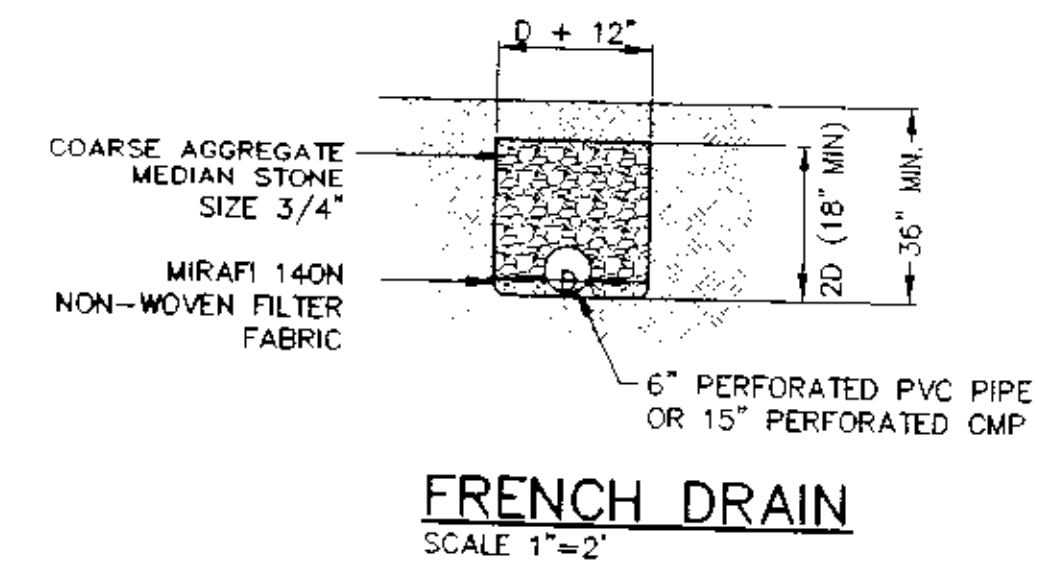
DROP INLET
SCALE: 1"=2"



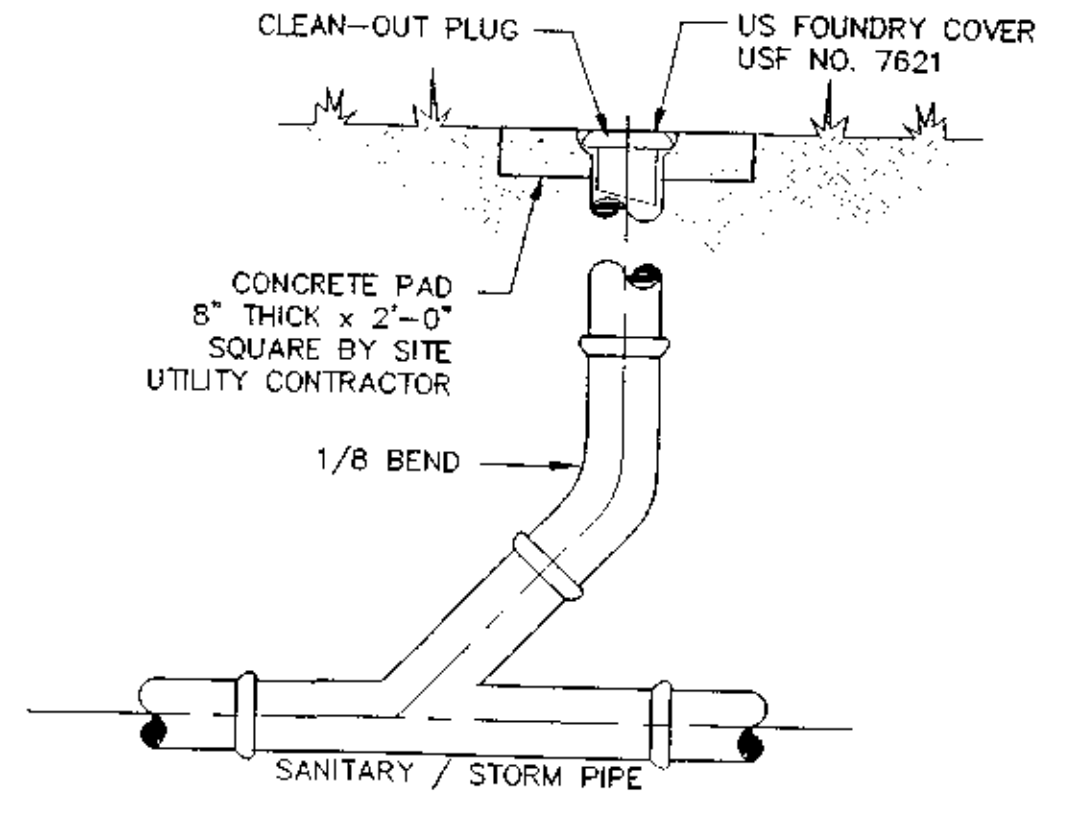
CURB INLET
SCALE 1"=2"



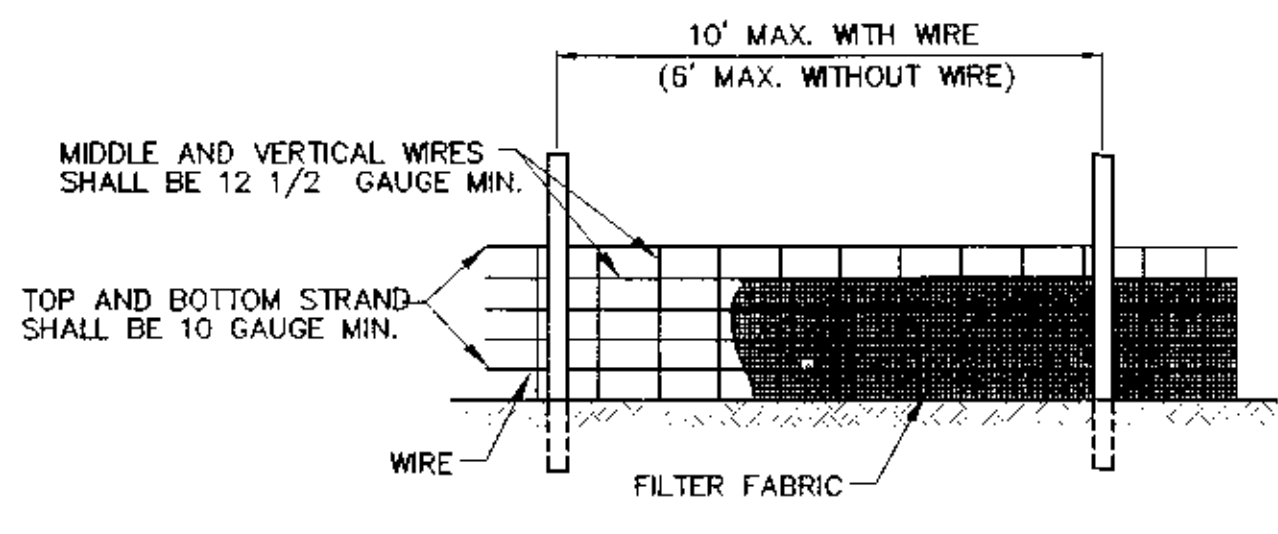
PIPE PROTECTION
SCALE 1"=1"



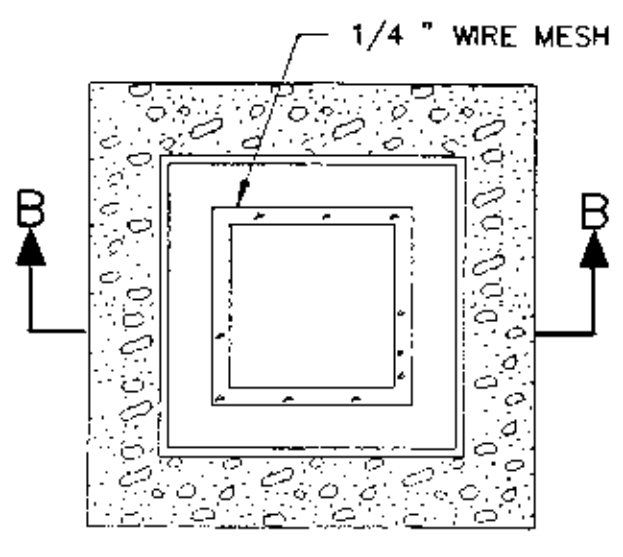
FRENCH DRAIN
SCALE 1"=2"



CLEANOUT DETAIL

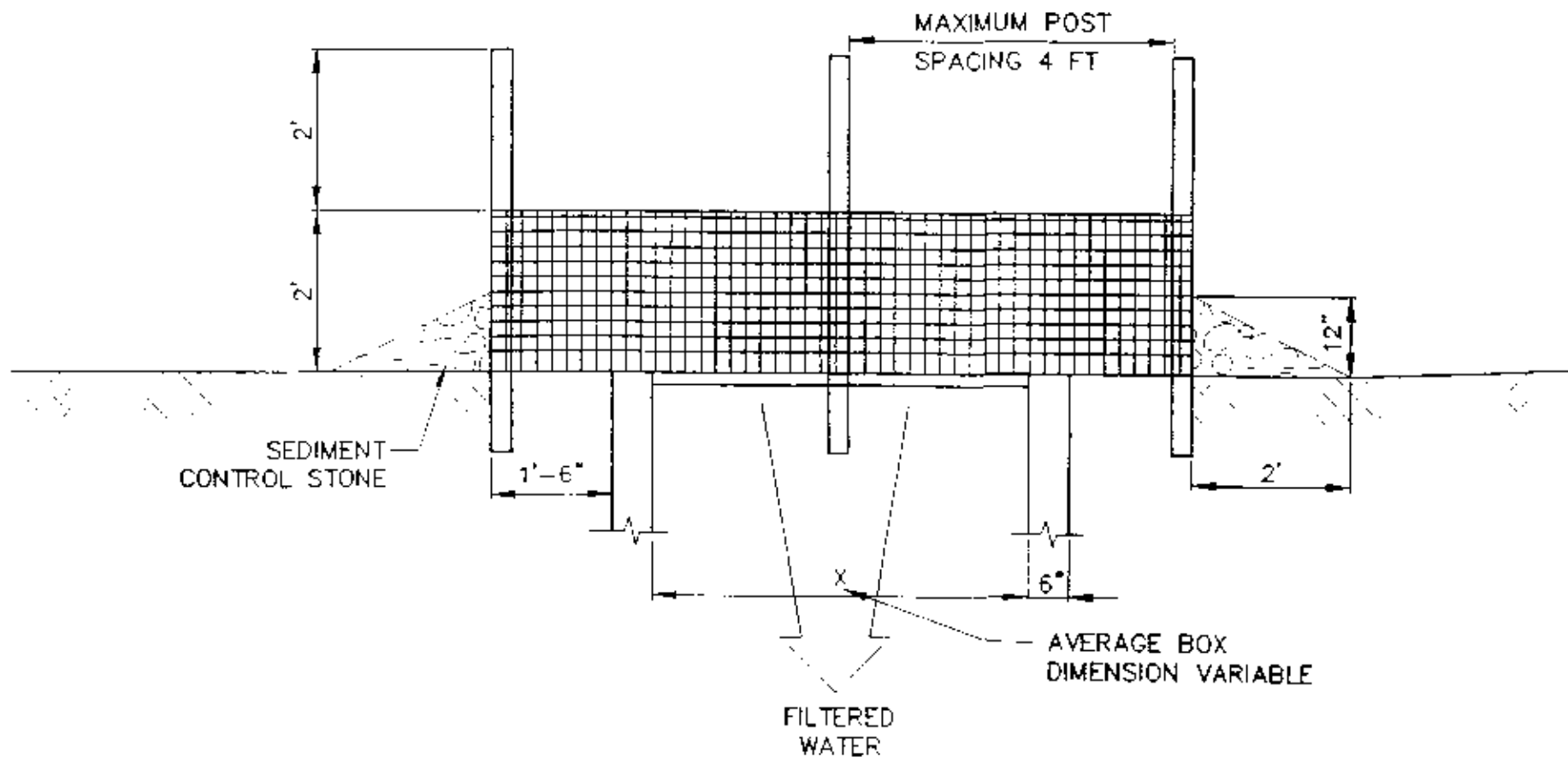


SILT FENCE DETAIL
SCALE 1"=1"

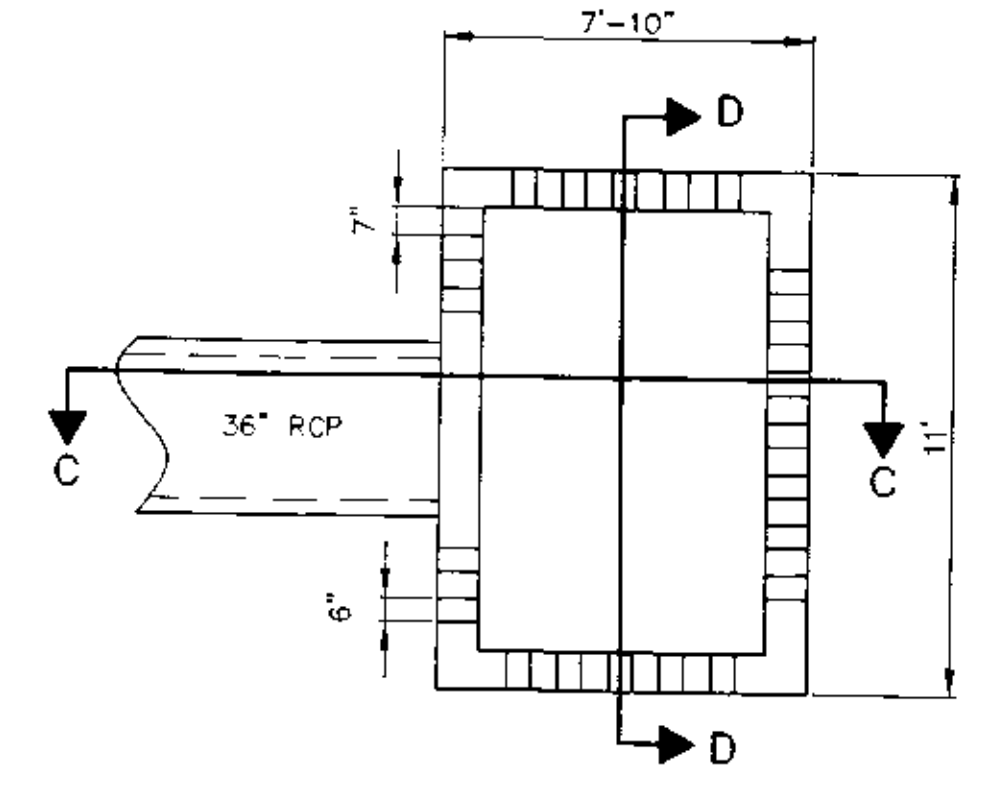


INLET PROTECTION

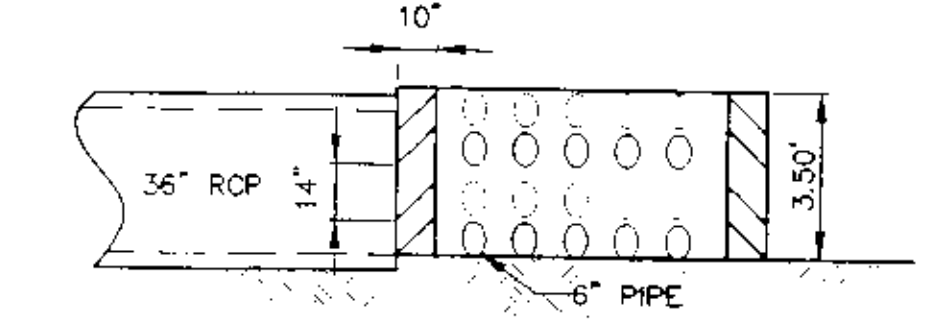
- NOTES:**
1. SEDIMENT CONTROL STONE SHALL BE NO. 5 OR NO. 57.
 2. WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4\"/>



SECTION B-B
MULTI-DIRECTIONAL FLOW
SCALE 1"=2"



SECTION C-C



SECTION D-D
OIL/WATER SEPARATOR
SCALE 1"=4"

GRADING AND DRAINAGE NOTES

1. ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES & LOWE'S SPECIFICATIONS.
2. ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
4. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
5. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
7. AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL GRADE BUILDING PAD, GARDEN CENTER & APRONS TO +/- 0.1 FT. OF SUBGRADE AS PER SECTION 02300, DIVISION 2 OF LOWE'S STANDARD SITE SPECIFICATIONS.
8. IMMEDIATELY APPLY & COMPACT STONE BASE FOR BUILDING PAD TO +/- 1/2\"/>

- NOTES:**
1. WIRE SHALL BE A MINIMUM OF 32\"/>

DRAWN DLC	 2600 THE AMERICAN ROAD SE, SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	DATE AUG 2001	ORIGINAL ISSUE DATE: XX/XX/XX
DESIGN BMS		FILE NO. X0218022	PERMIT SET ISSUE DATE: XX/XX/XX
CHECKED BY BMS		SHEET NO. C6	CONSTRUCTION SET ISSUE DATE: XX/XX/XX

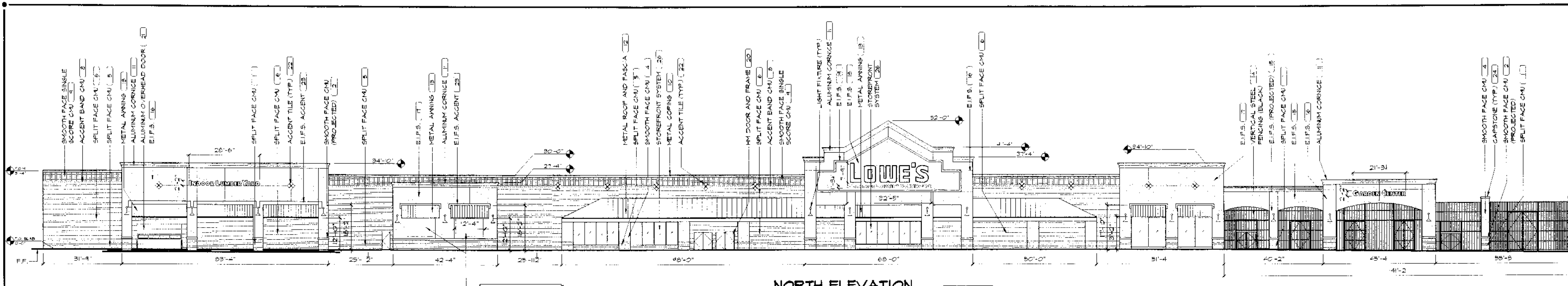
PROJECT No. X0218022 | DRAWN BY: DLC | CHECKED BY: BMS

LOWE'S
ENGINEERING AND CONSTRUCTION
HWY 268 EAST, EAST DOCK N. WILKESBORO, NC 28689
336.658.4000 (V) 336.658.3257 (F)

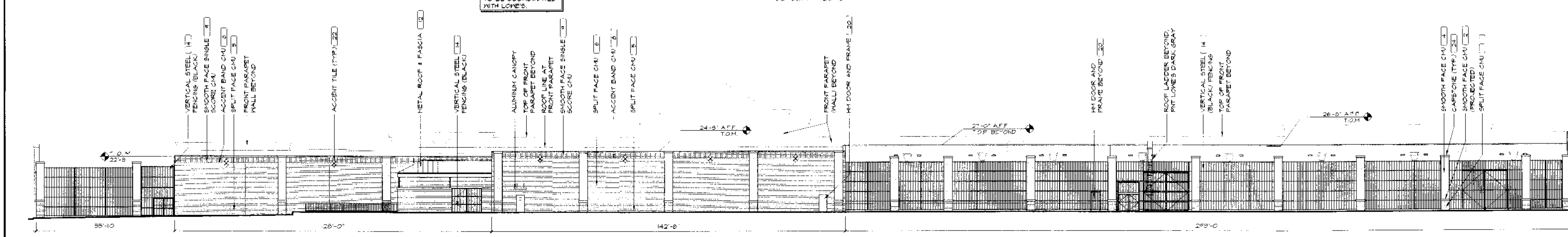
LOWE'S
GRADING AND DRAINAGE DETAILS
NEW ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO
DRAWING NUMBER:
C6
OF SHEET

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REVISIONS	
DATE	DESCRIPTION
8.16.01	REV. FOR PERMITS

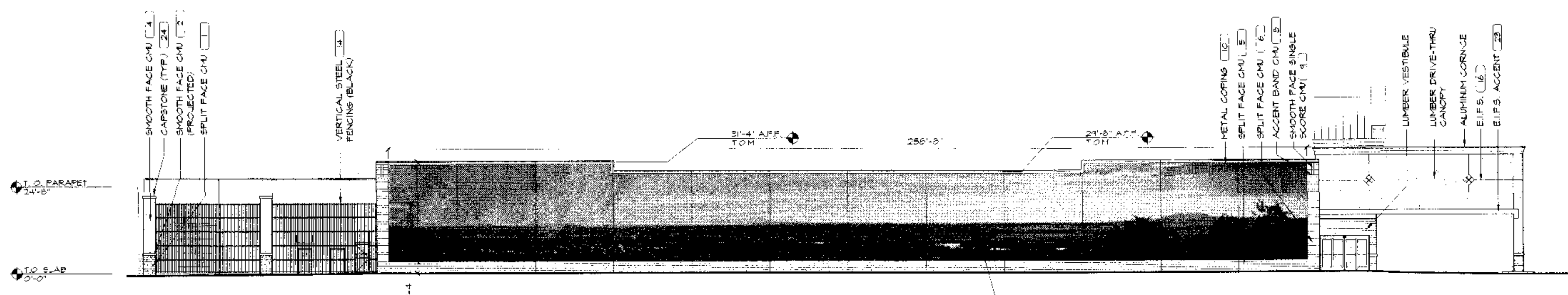


NORTH ELEVATION
SCALE: 1" = 20'-0"

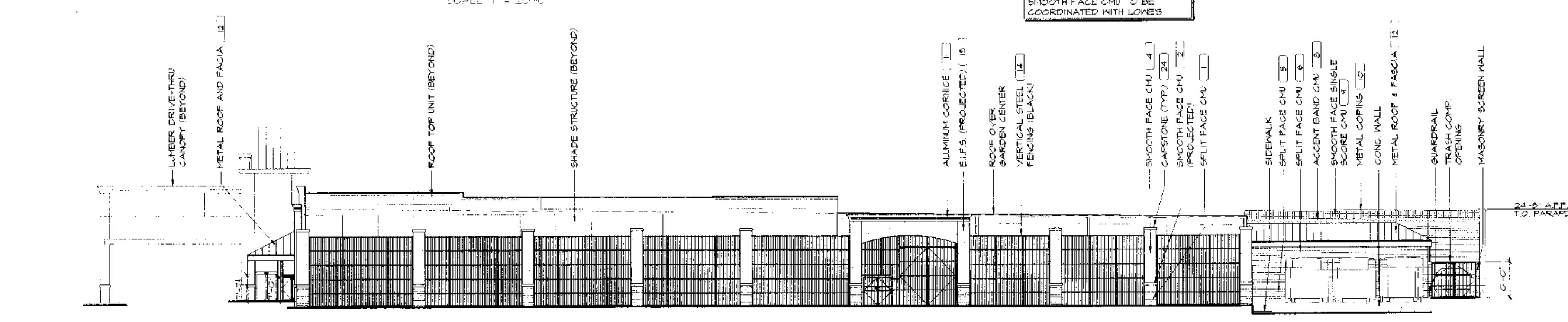


SOUTH ELEVATION
SCALE: 1" = 20'-0"

COLOR SELECTIONS			
#	DESCRIPTION	LOCATION	COLOR SELECTION
1	SPLIT FACE CMU AT THE BASE OF THE MASONRY COLUMNS.	Finish Floor to +4'-0" AFF	BROWN
2	SMOOTH FACE CMU PROJECTIONS 18" HIGH AT CMU COLUMNS.	+4'-0" AFF	BROWN
3	NOT USED	NOT USED	NOT USED
4	SMOOTH FACE CMU AT CMU COLUMNS.	+4'-8" AFF TO CANOPY, FASCIA OR COLUMN CAP	LIGHT TAN
5	SPLIT FACE CMU PARAPET AT THE MAIN BUILDING.	FINISH FLOOR TO +3'-4" AFF	BROWN
6	SPLIT FACE CMU IN THE FIELD ABOVE THE PARAPET AND BELOW THE ACCENT BAND.	+3'-4" AFF TO +26'-0" AFF	TAN
7	NOT USED	NOT USED	NOT USED
8	ACCENT BAND, 1 COURSE OF SMOOTH FACE CMU.	+26'-0" AFF TO +26'-0" AFF	LOWE'S RED
9	SMOOTH FACE CMU IN SINGLE SCORE IN THE FIELD ABOVE THE ACCENT BAND AND BELOW THE METAL COPING.	+26'-0" AFF TO +30'-0" AFF	LOWE'S GRAY
10	METAL COPING.	TOP OF CMU PARAPET AT VARIOUS HEIGHTS AFF	LOWE'S BLUE
11	ALUMINUM CORNICE	TOP OF EIFS PARAPETS AT VARIOUS HEIGHTS AFF	WHITE
12	METAL ROOF AND FASCIA	AS SHOWN	ROOF - LOWE'S BLUE FASCIA - TAN
13	METAL ANNING	AS SHOWN	LOWE'S BLUE
14	VERTICAL STEEL FENCING AND SCREEN CLOTH BACK-UP	GARDEN CENTER, STAGING AREA, AND DOCK	BLACK
15	EIFS IN THE FIELD.	AS SHOWN	LIGHT TAN
16	EIFS IN THE FIELD.	AS SHOWN	WHITE
17	EIFS IN THE FIELD.	AS SHOWN	SALMON
18	EIFS BACKGROUND TO THE LOWE'S SIGN.	AS SHOWN	LOWE'S BLUE
19	EIFS ACCENT BAND AROUND THE LOWE'S SIGN BACKGROUND.	AS SHOWN	LOWE'S RED
20	OVERHEAD/IN. DOORS & FRAMES	AS SHOWN	TAN
21	ALUMINUM OVERHEAD DOORS	AS SHOWN	TAN
22	TILE ACCENT	AS SHOWN	TAN
23	EIFS ACCENT	AS SHOWN	TAN
24	CONCRETE CARPSTONE	AS SHOWN	WHITE
25	NOT USED	NOT USED	NOT USED
26	ALUMINUM & GLASS STOREFRONT SYSTEM	AS SHOWN	DARK BRONZE & LIGHT GRAY-TINTED INSULATED GLASS



EAST ELEVATION
SCALE: 1" = 20'-0"



WEST ELEVATION
SCALE: 1" = 20'-0"

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SCALE OF SIZE: 1/8" = 1'-0"
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EXTERIOR ELEVATIONS
LOWE'S OF
NW ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO

PROJECT No. 0119012
DRAWN BY: []
CHECKED BY: []
ORIGINAL
ISSUE DATE: 07/17/01
PERMIT SET
ISSUE DATE:
CONSTRUCTION SET
ISSUE DATE:
DRAWING NUMBER:

DESIGN GUIDELINES

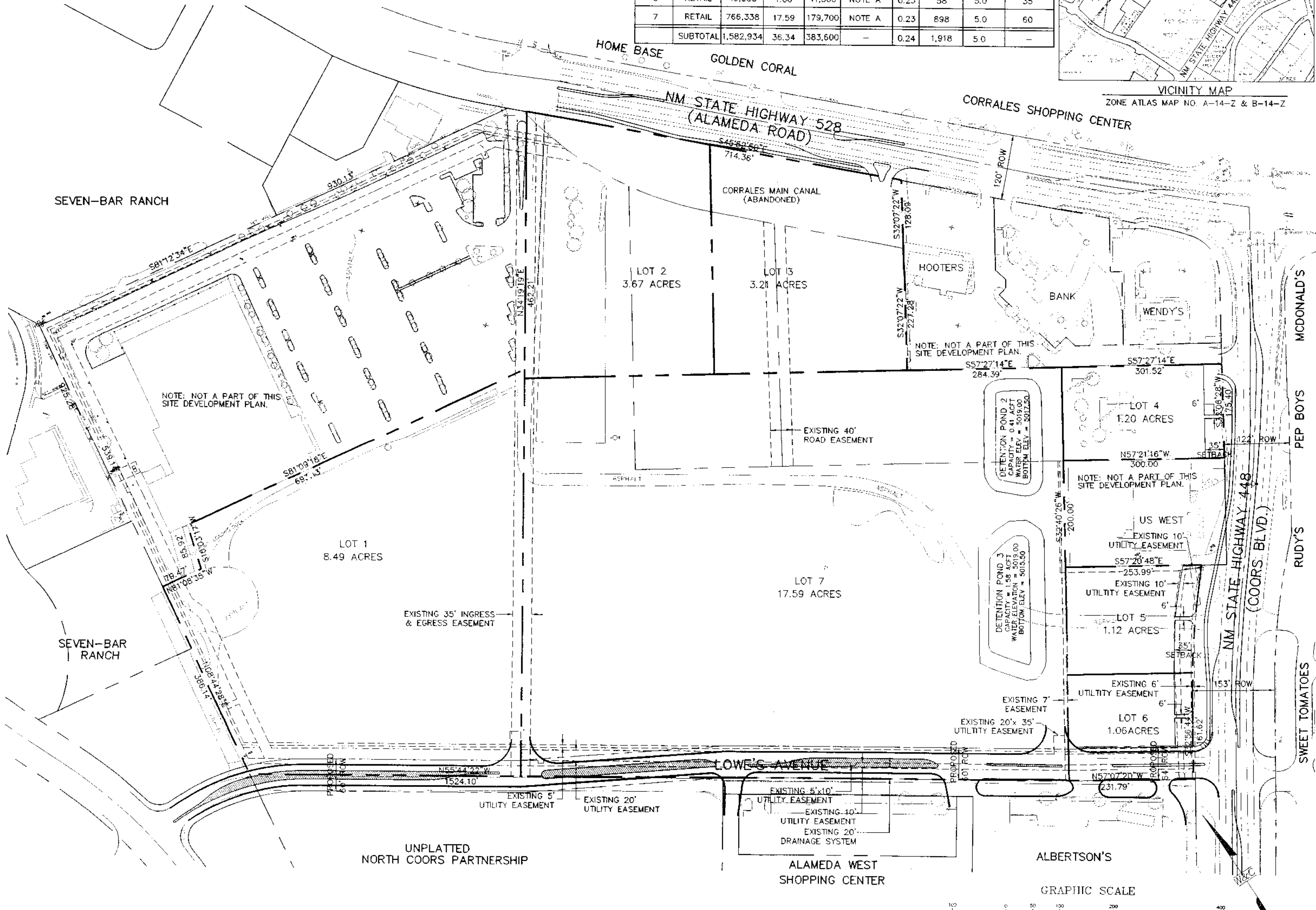
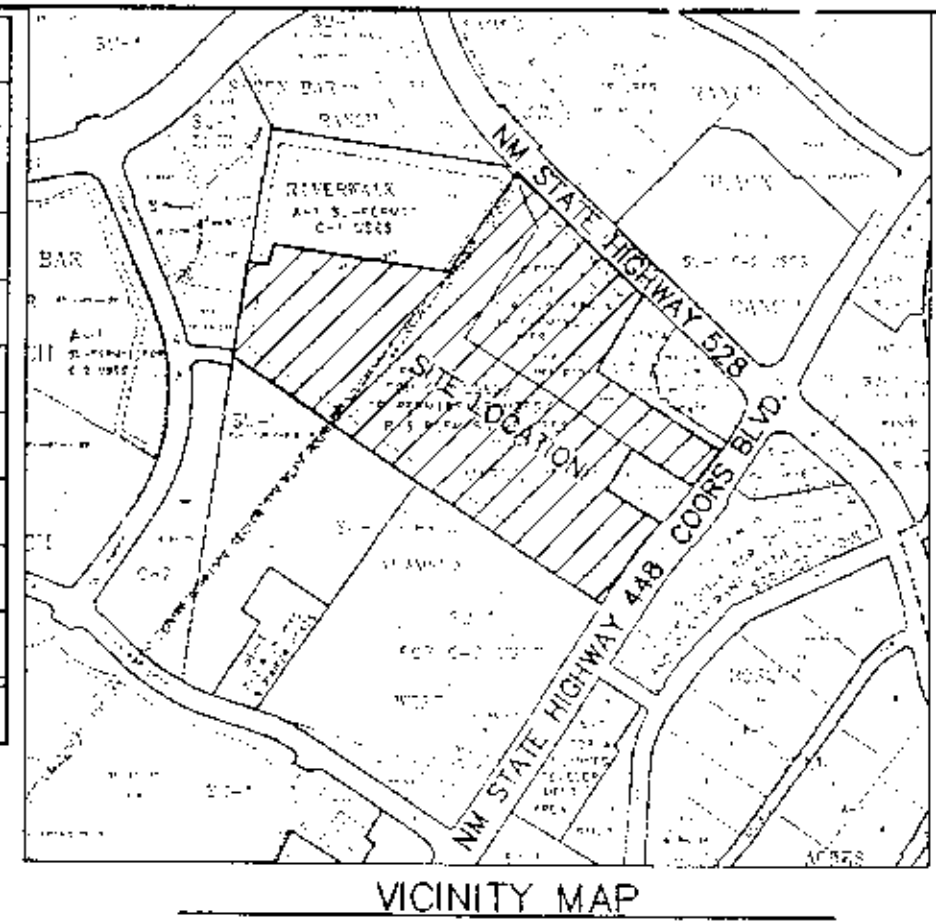
- A. GENERAL**
- BUILDING DESIGN SHALL BE ARCHITECTURALLY INTEGRATED WITH THE SITE AND CONTEXTUAL TO BUILDINGS WITHIN THE VICINITY. NO STANDARD, GENERIC FRANCHISE BUILDING ELEVATIONS OR CANOPIES ARE PERMITTED; DESIGN SHALL BE INNOVATIVE AND WITH SOUTHWESTERN ARCHITECTURE PER THE WEST SIDE PLAN.
 - ALL CANOPIES AND ANCILLARY STRUCTURES SHALL BE ARCHITECTURALLY INTEGRATED WITH MAIN BUILDINGS. SPECIAL CONSIDERATION SHALL BE GIVEN TO ROOF STRUCTURES, INCLUDING MATERIALS.
 - IN ORDER TO ENSURE INTEGRATED DESIGN WITHIN THIS SITE, THE FIRST SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE EPC APPROVAL.
 - ADEQUATE PEDESTRIAN CONNECTIONS WITHIN THE SITE SHALL BE PROVIDED TO MINIMIZE VEHICULAR/PEDESTRIAN CONFLICTS AND ENSURE CLEAR AND EFFICIENT PEDESTRIAN PATHWAYS. SPECIAL PAVING TREATMENT (6'-FEET WIDE AT MINIMUM) SHALL BE PROVIDED WHERE PERIMETER SIDEWALKS CROSS VEHICULAR ENTRANCES AND AT LOCATIONS WITHIN THE SITE WHERE PEDESTRIAN PATHWAYS CROSS MAJOR DRIVE AISLES. THESE PROVISIONS CAN BE ASSURED THROUGH NOTATIONS THAT DESCRIBE THE INTERNAL PEDESTRIAN/BICYCLE CIRCULATION SYSTEM.
 - CONVENIENT PEDESTRIAN CONNECTIONS BETWEEN ADJACENT BUILDINGS AND FROM EACH BUILDING TO THE INTERNAL ROAD SYSTEM AND TO THE ADJACENT STREET ARE REQUIRED.
 - PARKING AREAS SHALL BE LOCATED TO THE REAR OF THE SITE TO THE EXTENT POSSIBLE. ADA PARKING SHALL BE LOCATED ADJACENT TO THE BUILDINGS.
 - TO THE EXTENT POSSIBLE, BUILDINGS SHALL BE ARRANGED IN PLAZA-LIKE CONFIGURATIONS, OR OTHERWISE CLUSTERED TO AVOID STRIP-TYPE DEVELOPMENT AND SOLITARY TYPE DEVELOPMENT. LARGE PARKING AREAS SHALL NOT DOMINATE STREET FRONTS. RATHER, PARKING SHALL BE LOCATED TO THE REAR AND SIDES OF BUILDINGS. ALL RESTAURANTS SHALL HAVE OUTDOOR PATIO SEATING. RESTAURANTS OVER 2000 SQUARE FEET SHALL BE STRONGLY ENCOURAGED TO HAVE OUTDOOR DINING.
 - BUILDING MOUNTED SIGNAGE SHALL BE LIMITED TO CHANNELIZED LETTERS AND/OR SIGNS WITH INTERNAL ILLUMINATION.
 - BUILDING MOUNTED SIGNAGE SHALL NOT BE PERMITTED ON ANY ELEVATIONS PARALLEL TO THE PUBLIC RIGHT-OF-WAY AND FACING R-1 ZONING.
 - OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
 - COMMERCIAL AND OFFICES USES SHALL BE LOCATED ADJACENT TO THE INTERNAL MAIN STREET AND INTERNAL STREETS WITH MINIMAL PARKING BETWEEN THE ENTRY FACADE AND THE STREET.
- B. PARKING**
- THE ALLOWED PARKING SHALL BE EQUAL TO THE REQUIRED PARKING PLUS 10%.
 - PARKING WHICH SATISFIES ADA REQUIREMENTS SHALL BE LOCATED ADJACENT TO THE BUILDING ENTRIES.
 - CROSS-ACCESS PROVISIONS BETWEEN ADJOINING PARCELS ARE REQUIRED.
- C. PEDESTRIAN AMENITIES**
- REQUIRED OUTDOOR PATIO AREAS SHALL HAVE SHADE TREES SPACED AT INTERVALS OF 20 FEET ON CENTER TO PROVIDE SHADE FOR OUTDOOR DINING. TREES SHALL BE PLANTED IN PLANTERS THAT ARE A MINIMUM OF 5 FEET BY 5 FEET.
 - PARKING FIELDS OF 150 CARS OR MORE SHALL HAVE A TREE-LINED PEDESTRIAN WAY CONNECTION TO THE MAIN INTERNAL PEDESTRIAN PATHWAY TO THE CENTER AND SHALL CONNECT TO ADJACENT STREETS AND SIDEWALKS.
 - PEDESTRIAN PATH AND SIDEWALKS SHALL BE A MINIMUM OF 6 FOOT WIDE AND SHALL BE OF ALTERNATIVE TEXTURED MATERIAL, SLIGHTLY RAISED, WHERE THEY CROSS VEHICLE CIRCULATION AREAS. THE PEDESTRIAN WALK AT THE ENTRY ELEVATION SHALL BE A MINIMUM OF 20 FEET IN THE MAJOR AND JUNKY ANCHORS AND 15 FEET IN THE SMALLER BUILDINGS WITH TREES AT 25 FEET ON CENTER OR PORTALS OR CANOPIES ETC., FOR THE ENTIRE LENGTH OF THE FACADE.
 - ALL BUILDINGS SHALL BE DIRECTLY CONNECTED TO THE STREET AND OTHER BUILDINGS WITHIN THE PROJECT SITE WITH PEDESTRIAN WALKWAYS.
 - COMMERCIAL BUILDINGS SHALL TYPICALLY BE LINKED WITH PLAZAS AND PEDESTRIAN WAYS.
- D. ARCHITECTURE**
- THE TOP OF ALL ROOFTOP EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET AND SCREENING WALLS OR ANTENNA SHALL BE PERMITTED. ALTERNATIVELY ROOFTOP EQUIPMENT SHALL BE SCREENED BY ROOFTOP WALLS THAT ARE PAINTED TO MATCH THE PREDOMINANT BUILDING COLOR. ROOFTOP EQUIPMENT AND OTHER PENETRATIONS SHALL BE PAINTED TO MATCH THE ROOF COLOR OR THE PREDOMINANT BUILDING COLOR. ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH THE TOP OF EQUIPMENT BELOW THE TOP OF SCREEN WALL.
 - NO STANDARD, GENERIC FRANCHISE BUILDING ELEVATIONS ARE PERMITTED. BUILDING DESIGN SHALL BE ARCHITECTURALLY INTEGRATED WITH THE SITE AND CONTEXTUAL TO BUILDINGS WITHIN THE VICINITY.
 - NO PLASTIC OR VINYL BUILDING PANELS, AWNINGS OR CANOPIES ARE PERMITTED. AWNINGS AND CANOPIES SHALL BE INTEGRATED WITH BUILDING ARCHITECTURE.
 - NO CHAIN LINK, RAZOR WIRE OR PLASTIC/VINYL FENCING IS PERMITTED.
 - NO FREESTANDING CELL TOWERS OR ANTENNAS SHALL BE PERMITTED. ANTENNA SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - TVs SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN. LOADING DOCKS SHALL HAVE SCREEN WALLS AND COVERS THAT ARE ARCHITECTURALLY INTEGRATED WITH THE BUILDING.
 - THE DUMPSTER SHALL BE ADEQUATELY SCREENED WITH MATERIALS COMPATIBLE WITH THE BUILDING; CHAIN LINK GATES ARE NOT ALLOWED.
 - THE REQUIRED OUT DOOR PATIO AREA SHALL HAVE SHADE TREES SPACED AT INTERVALS OF 20 FEET ON CENTER TO PROVIDE SHADE FOR OUTDOOR DINING. TREES SHALL BE PLANTED IN PLANTERS THAT ARE A MINIMUM OF 5 FEET BY 5 FEET.
 - ALL FREESTANDING SIGNAGE SHALL BE MONUMENT TYPE SIGNS THAT ARE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN.
 - BUILDING SIGNAGE SHALL BE A MAXIMUM OF 6% OF THE FACADE AREA.
 - LOADING DOCKS SHALL HAVE ARCHITECTURALLY INTEGRATED COVERS.
 - GAS FUELING CANOPIES SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN. ALL UNDER-CANOPIE LIGHTING SHALL BE RECESSED SO THAT NO LIGHT LENS PROJECTS BELOW THE CANOPIE CEILING. CANOPIE FASCIA SHALL BE ARCHITECTURALLY INTEGRATED WITH BUILDING DESIGN; NO ILLUMINATED FASCIA BANDS AREA ALLOWED.
- E. SIGNAGE**
- THE SIGNAGE SHALL BE LIMITED TO FIVE, FREESTANDING MONUMENT SIGNS, NOT HIGHER THAN 26 FEET, WITH A MAXIMUM SQUARE FOOTAGE OF 100 SQUARE FEET EACH. THE SIGNS SHALL BE COMPATIBLE WITH THE BUILDING IN TERMS OF MATERIALS AND COLORS. THE SIZE OF THE BUILDING MOUNTED SIGNAGE SHALL NOT BE INCREASED FROM WHAT IS DEPICTED ON THE PLAN.
 - BUILDING MOUNTED SIGNAGE SHALL BE INDIVIDUAL BACKLIT CHANNEL OR NEON LETTERS WITH A MAXIMUM LETTER HEIGHT OF 7 FEET FOR MAIN CORPORATE LOGO SIGN, AND 3 FEET FOR ALL OTHERS.
- F. LANDSCAPE**
- THE DEVELOPMENT OF AN OVERALL LANDSCAPE CONCEPT WILL ESTABLISH A FRAMEWORK THAT UNIFIES THE ENTIRE PROPERTY, TO ACHIEVE COHESIVE DEVELOPMENT. ALL AREAS OF DESIGN NEED TO BE COORDINATED AND RESPONSIVE TO THE EXISTING ENVIRONMENTAL CONDITIONS AND LOCAL BUILDING POLICIES. THESE STANDARDS ARE TO BE USED AS A SUPPLEMENT TO THE CITY REQUIREMENTS IN THE WATER CONSERVATION, LANDSCAPING AND WATER WASTE ORDINANCE, THE POLLEN ORDINANCE, AND OTHER LANDSCAPE REGULATIONS INCLUDED IN THE CITY OF ALBUQUERQUE COMPREHENSIVE CITY ZONING CODE, AND THE COORS CORRIDOR PLAN.
- STANDARDS:**
- STREET TREES SHALL BE PROVIDED ALONG COORS BOULEVARD, NEW MEXICO STATE HIGHWAY 528, AND NEW INTERIOR ROADS, AT THE RATE OF ONE TREE PER 25 LINEAR FEET. STREET TREES ARE DEFINED AS BEING WITHIN 20 FEET OF THE BACK OF CURB. THEY MAY BE EITHER RANDOMLY OR CONSISTENTLY PLACED.
 - A MINIMUM OF 15 PERCENT OF THE SITE AREA (MINUS BUILDING SQUARE FOOTAGE) SHALL BE DEVOTED TO LANDSCAPE MATERIALS WITH AN EMPHASIS PLACED ON AREAS WITH STREET SIDE EXPOSURE.

NOTE A: BUILDING HEIGHTS TO VARY BETWEEN PARCELS, BUT SHALL BE REGULATED BY ALBUQUERQUE ZONING CODE REQUIREMENT FOR SPECIFIC APPLICABLE U.N.E. ZONING CODES SECTIONS 14-16-2-19(C)(1) AND SECTION 14-16-2-15(C)(1).

NOTE B: PARKING RATIO STATED REFERENCES NUMBER OF SPACES/1000 OF NET LEASABLE AREA. DEVELOPMENT TO ESTABLISH RECIPROCAL CROSS-ACCESS AND CROSS-PARKING AGREEMENTS THROUGHOUT ALL PARCELS. PARKING SHALL COMPLY WITH ALBUQUERQUE ZONING CODE REGULATIONS 14-16-3-1.

NOTE C: NO SIDE YARD SETBACKS BETWEEN PARCELS APPLY PER ALBUQUERQUE ZONING CODE REQUIREMENT SECTION 14-16-2-15(E), ALBUQUERQUE ZONING CODE REQUIREMENT SECTION 14-16-2-15(E).

SITE STATISTICS									
LOT NUMBER	PROPOSED TENANT	LOT SQ FT	ACREAGE	BLDG. SQ FT	MAX. BLDG. HEIGHT	F.A.R.	PARKING SPACES	PARKING RATIO	MIN. BLDG. SETBACK (FT)
1	RETAIL	369,621	8.49	92,400	NOTE A	0.25	462	5.0	60
2	GAS/RETAIL	159,875	3.67	40,000	NOTE A	0.25	200	5.0	-
3	RETAIL	139,626	3.21	35,000	NOTE A	0.25	175	5.0	-
4	RETAIL	52,388	1.20	13,000	NOTE A	0.25	65	5.0	35
5	RETAIL	48,751	1.12	12,000	NOTE A	0.25	60	5.0	35
6	RETAIL	46,335	1.06	11,500	NOTE A	0.25	58	5.0	35
7	RETAIL	766,338	17.59	179,700	NOTE A	0.23	898	5.0	60
SUBTOTAL		1,582,934	36.34	383,600	-	0.24	1,918	5.0	-



LEGEND

- EXISTING PROPERTY LINE
- LOWE'S PROPERTY LINE AND SUBDIVISION LINE
- EXISTING EASEMENT LINE
- PROPOSED RIGHT OF WAY

GRAPHIC SCALE
1 inch = 100 ft

STANDARDS:

- LIVING VEGETATIVE MATERIALS SHALL COVER A MINIMUM OF 75 PERCENT OF THE REQUIRED LANDSCAPE AREA. THE AREA AND PERCENTAGE IS CALCULATED BASED ON THE MATURE CANOPY SIZE OF ALL PLANT MATERIALS.
- ALL PLANTING AREAS NOT COVERED WITH NATIVE GRASS OR TURF SHALL RECEIVE A GROUND TOPPING OF SANTA FE BROWN ROCK MULCH OR 2"-4" SANTA ANA TAN COBBLES OR SIMILAR.
- TO SHADE AND MITIGATE THE NEGATIVE VISUAL IMPACT OF LARGE EXPANSES OF PAVEMENT, OFF-STREET PARKING AREAS SHALL HAVE ONE TREE PER 10 PARKING SPACES WITH NO SPACE BEING MORE THAN 100 FEET FROM A TREE.
- A MINIMUM OF SEVENTY-FIVE PERCENT OF THE REQUIRED PARKING LOT TREES SHALL BE DECIDUOUS AND SHALL HAVE A MATURE HEIGHT AND CANOPY OF AT LEAST 25 FEET.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS REQUIRED TO SUPPORT ALL LANDSCAPING. THE SYSTEM SHALL BE DESIGNED TO AVOID OVER-SPRAY ON TO WALKS, BUILDINGS, FENCES, ETC. IRRIGATION COMPONENTS SHALL BE CHECKED PERIODICALLY TO ENSURE MAXIMUM EFFICIENCY.
- ALL PLANT MATERIAL, INCLUDING TREES, SHRUBS, GROUNDCOVERS, TURF, WILD FLOWERS, ETC. SHALL BE MAINTAINED BY THE OWNER IN A LIVING, ATTRACTIVE CONDITION. ALL AREAS SHALL BE MAINTAINED FREE OF WEEDS THROUGH THE USE OF PERVIOUS FILTER MATERIAL. EACH LOT OWNER WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF LANDSCAPE ON THEIR PROPERTY AND WITHIN THE ADJACENT RIGHT-OF-WAY.
- MINIMUM PLANT SIZES AT THE TIME OF INSTALLATION SHALL BE AS FOLLOWS: STREET AND PARKING LOT TREES - 2 INCH CALIPER, 10 TO 12 FOOT MINIMUM HEIGHT SHRUBS, ORNAMENTAL GRASS, AND GROUNDCOVERS - 1 GALLON MINIMUM TURF GRASSES - PROVIDE COMPLETE COVERAGE WITHIN ONE GROWING SEASON AFTER INSTALLATION.

WILSON & COMPANY
2600 THE AMERICAN ROAD SE, SUITE 100
RIO RANCHO, NEW MEXICO 87124
(505) 898-8021

DATE: AUGUST 2001
FILE NO.: X0218022
SHEET NO.: C2

ORIGINAL ISSUE DATE: XXXXXXXX
PERMIT SET ISSUE DATE: XXXXXXXX
CONSTRUCTION SET ISSUE DATE: XXXXXXXX
DRAWING NUMBER: C2

LOWE'S HOME CENTERS, INC.
P.O. BOX 1111 N. WILKESBORO, NC 28659

REVISIONS

NO.	DATE	DESCRIPTION

LOWE'S ENGINEERING AND CONSTRUCTION
HWY 288 EAST, EAST DOCK N. WILKESBORO, NC 28659
ALBUQUERQUE, NEW MEXICO
PROJECT NO. X0218022 | DRAWN BY: MDSJ | CHECKED BY: BMS

SITE PLAN FOR SUBDIVISION

LOWE'S OF NW ALBUQUERQUE ALBUQUERQUE, NEW MEXICO