



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input type="checkbox"/> Alternative Landscape Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: TY DUONG		Phone: 505-918-2808
Address: 8701 COMANCHE RD. NE		Email: NGUYENKHONG2503@Yahoo.com
City: ALBUQUERQUE	State: NM	Zip: 87105
Professional/Agent (if any): XAVIER NUÑO-WHELAN		Phone: 505-507-3408
Address: 2440 MARS RD. SW		Email: DIZIENX@GMAIL.COM
City: ALBUQUERQUE	State: NM	Zip: 87105
Proprietary Interest in Site:	List all owners:	

BRIEF DESCRIPTION OF REQUEST

A NEW FRAMED ENTRY STRUCTURE & STATUE ARE TO BE ADDED TO THE SITE.
ENTRY COVERED AREA = 335 S.F.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 16 + 17	Block:	Unit:
Subdivision/Addition: LOMA DEL REY	MRGCD Map No.:	UPC Code: 102006016527520402
Zone Atlas Page(s): G-20	Existing Zoning: R-T	Proposed Zoning: SAME
# of Existing Lots: 2	# of Proposed Lots: 2 SAME	Total Area of Site (acres): .72 ACRE

LOCATION OF PROPERTY BY STREETS

Site Address/Street: **8701 COMANCHE RD NE** Between: **WYOMING** and: **MOON ST.**

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Z-72-206 DRB 98-255

Signature: *[Signature]* Date: **9/23/2021**

Printed Name: **XAVIER NUÑO-WHELAN** Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-01599	AA				
Meeting/Hearing Date:			Fee Total:		
Staff Signature:			Date:		Project # PR-2021-006050

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
<p>Signature: </p>	<p>Date: 9/23/21</p>
<p>Printed Name: XAVIER NURO-WISEMAN</p>	<p><input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent</p>
<p>FOR OFFICIAL USE ONLY</p>	
<p>Project Number: PR-2021-006050</p>	<p>Case Numbers SI-2021-01599</p>
<p>Staff Signature:</p>	
<p>Date:</p>	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-20-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

September 23, 2021

CABQ Planning Department

600 2nd Street NW
Albuquerque, NM 87102

RE: JUSTIFICATION LETTER

8701 Comanche RD NE:

Proposed new statue and 325 S.F. Covered entry structure addition requiring an administrative amendment to an approved site development plan.

CABQ IDO: 6-4(X)(2)(a) A minor amendment must meet all of the following criteria:

1. The amendment is necessary because of site conditions or user requirements that were not known, and could not reasonably have been known, at the time the City approved the approval that is proposed to be amended, and that were not created by the actions of the owner of the property.
-This amendment is necessary because user requirements were not known at the time.
2. The amendment does not increase or decrease the dimension of any standard beyond the thresholds allowed as minor amendments pursuant to Table 6-4-5 (cumulative of any earlier deviations or amendments).
-True, this amendment does not alter the existing traffic flow or dimensions of the site.
3. The amendment does not decrease the total amount of open space in the development and does not reduce the size of any open space abutting a lot containing a residential use.
-True, the proposed amendment does neither.
4. The amendment does not reduce any building setback adjacent to development containing residential uses by any amount.
- True, the proposed amendment does neither.
5. The amendment does not increase the maximum number of residential dwelling units in the development from that shown in the existing permit, approval, or plan.
-True, the proposed amendment does neither.
6. The amendment does not adjust a building design standard unless doing so improves the perception of building quality, variety, durability, and articulation when viewed from adjacent streets and abutting properties.
-True, proposed covered entry structure is similar in style to existing building and surrounding neighborhood
7. The amendment does not reduce the amount of total landscaping installed on the property or the amount of screening or buffering required on portions of the site abutting any property containing residential dwelling units and does not waive or weaken any other landscaping or buffering requirement unless the ZEO determines that alternative building design elements included in the amendment improve the visual quality and screening and buffering effect of landscaping as viewed from adjacent streets and public areas.

-True, this amendment will add 200 S.F. of landscaping around statue. No existing landscaping or buffering will be altered.

8. The amendment does not increase the traffic accessing the property from local streets and does not increase or decrease the number of through streets, sidewalks, trails, or trail connections passing through the property or connecting to or designed to connect to abutting properties.

-True, the proposed amendment does not alter any of these.

9. Other than those allowed within the threshold of a minor amendment pursuant to Table 6-4-4, the amendment does not affect a standard in Section 14-16-5-3 (Access and Connectivity), Section 14-16-5-4 (Subdivision of Land), Section 14-16-5-5 (Parking and Loading), or the DPM, in which case DRB review is required through a Site Plan – DRB pursuant to Subsection 14-16-6-6(G).

-True, the proposed amendment does not affect any existing standards.

10. The amendment does not change a specific condition attached by a decision-making body listed in Table 6-1-1 to a prior development permit, approval, or plan for or including the property. For example, a specific condition attached to a prior approval requiring additional buffering to mitigate development impacts shall not be removed through a minor amendment process.

-True, the proposed amendment does not change any existing condition.

11. The amendment does not affect a property in an Overlay zone as regulated per Part 14-16-3, in which case amendments may be granted per the original approval process for the Site Plan governing the site.

-True, the proposed amendment does not affect any existing overlay zones.

12. The amendment does not approve any land use that was not authorized by the permit or approval or that is not allowed by right on the property.

-True, the proposed amendment does not approve any alteration to land use.

13. The amendment does not expand a nonconformity as regulated per Section 14-16-6-8 (Nonconformities).

-True, the proposed amendment does not expand any nonconformities.

We feel that our request for this administrative amendment meets the conditions of the City and will only provide a positive addition to the neighborhood and surrounding properties.

Thank you,

Sincerely,



Xavier Nuño-Whelan (authorized agent)
dizignx@gmail.com

September 23, 2021

CABQ Planning Department
600 2nd Street NW
Albuquerque, NM 87102

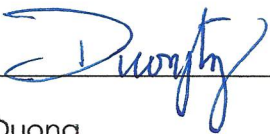
Letter of Authorization:

8701 Comanche RD NE – Statue and entry structure addition requiring an administrative amendment to site development plan.

To whom it may concern,

I, **NGUYEN KHONG MONASTERY & MEDITATION CENTER INC (Ty Duong, Owner rep)** give **Xavier Nuno-Whelan** with the firm **DIZIGNX** authorization to act on my behalf as an agent regarding the above-mentioned project.

Thank you,
Sincerely,

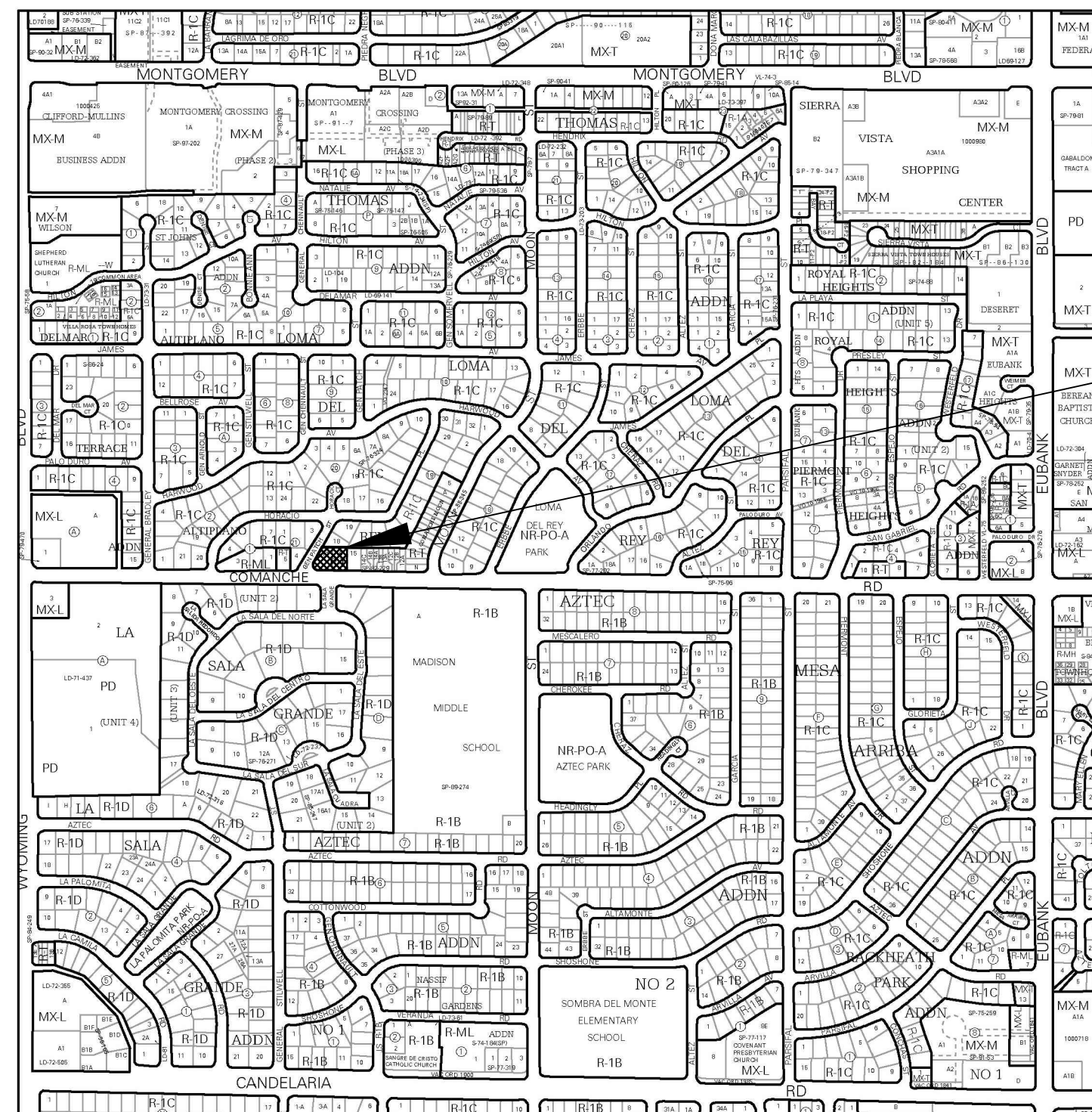


Ty Duong
Owner

date: 09/23/2021

MONASTERY & MEDITATION CENTER INC.

NEW CONCRETE MONOLITH AND COVERED ENTRY STRUCTURE



SITE



PROJECT DATA:

SCOPE OF WORK:

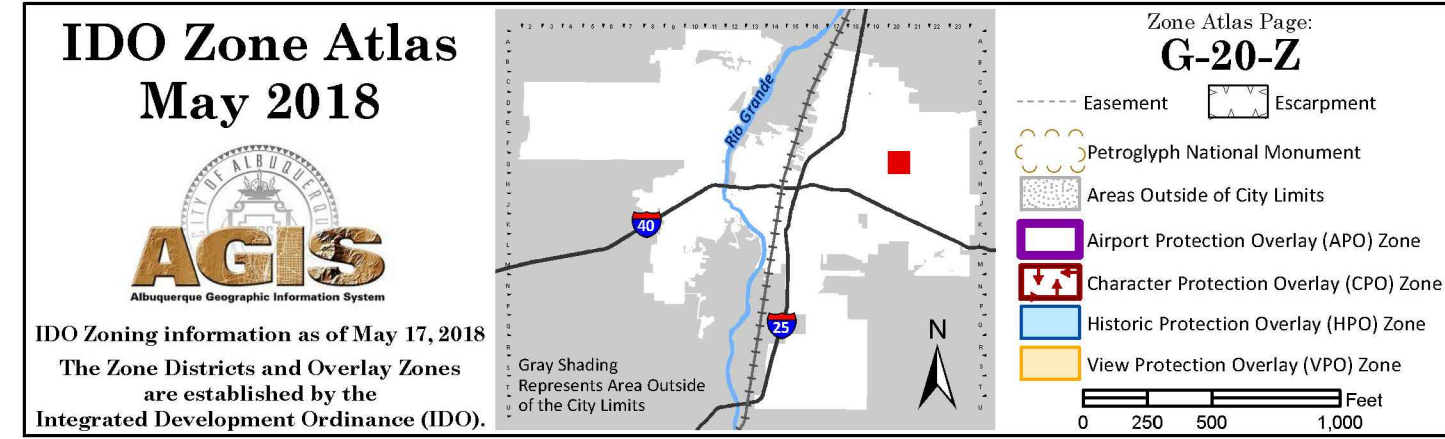
PROJECT CONSISTS OF A NEW EXTERIOR CONCRETE MONOLITH FOR A BUDDHIST STATUE AND A NEW WOOD FRAMED COVERED ENTRY STRUCTURE. NO INTERIOR WORK, BLDG. FOOTPRINT REMAINS THE SAME.

COVERED PORCH AREA = 300 S.F. (NO INCREASE TO EXISTING OCCUPANCY LOAD)

SITE ADDRESS: 8701 COMANCHE RD NE
ALBUQUERQUE, NM 87111

LEGAL DESCRIPTION: 19 LOMA DEL REY SUBDIVISION LOTS 16 & 17

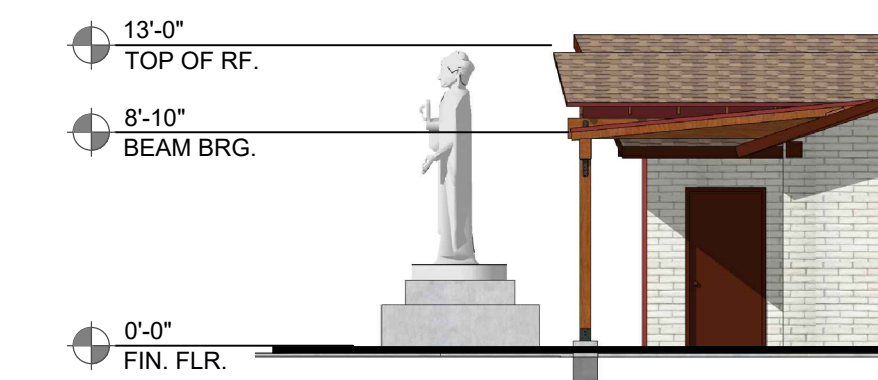
UPC: 102006016527520402



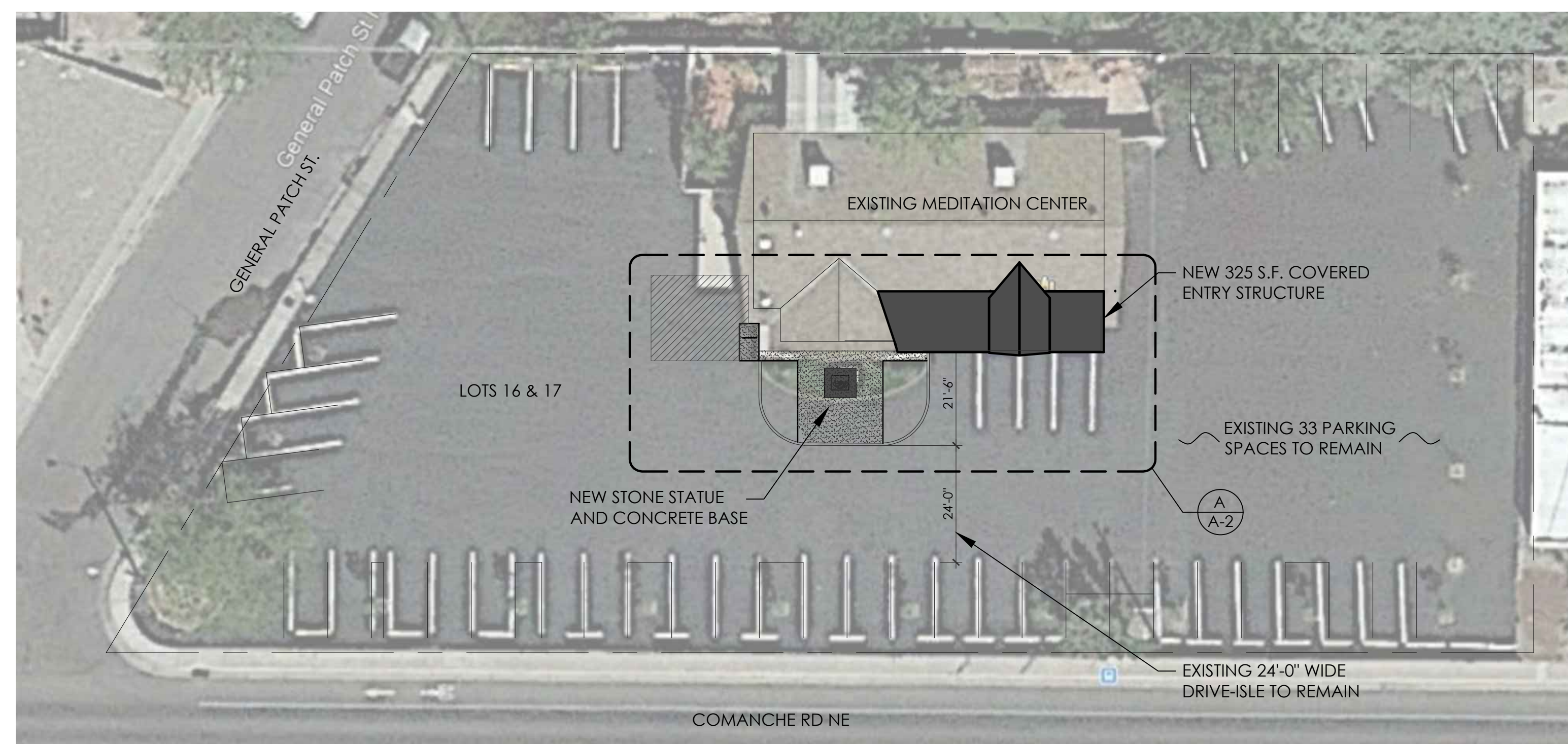
A WEST ELEVATION
SCALE: 1/8" = 20'-0"



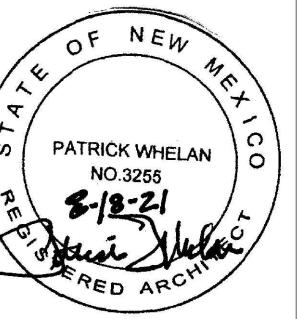
A SOUTH ELEVATION
SCALE: 1/8" = 20'-0"

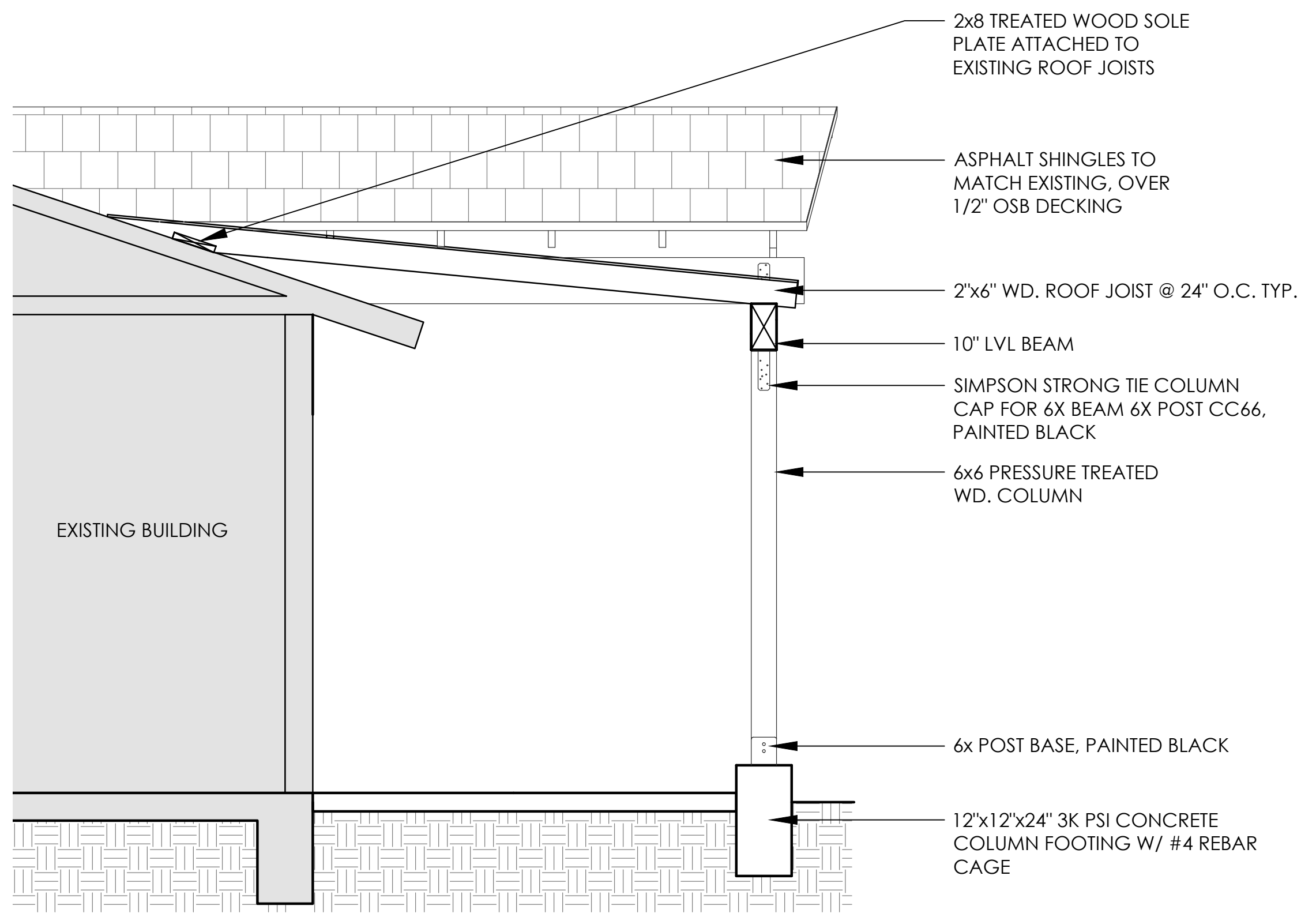


A EAST ELEVATION
SCALE: 1/8" = 20'-0"

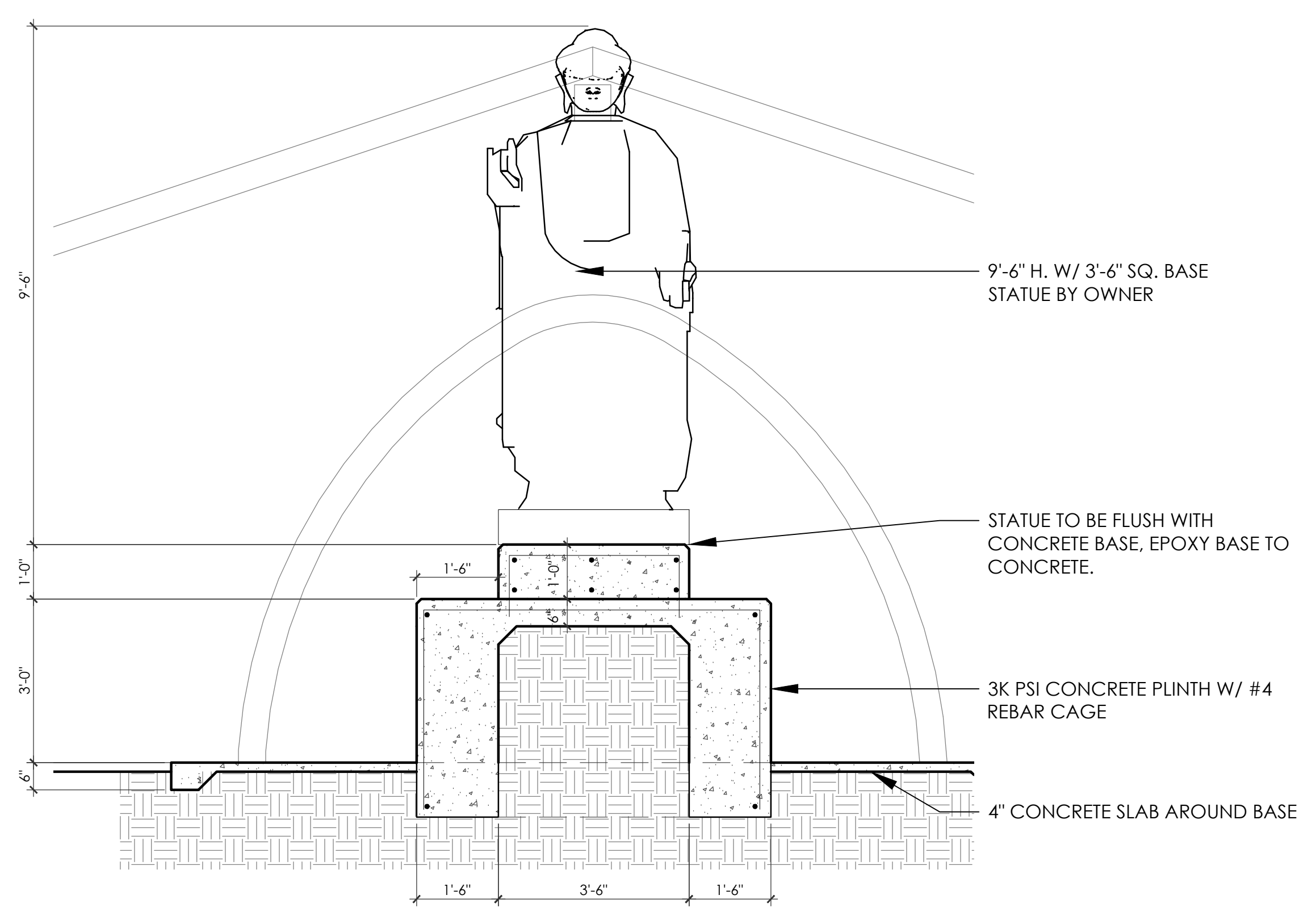


A EXISTING SITE PLAN
SCALE: 1" = 20'-0"

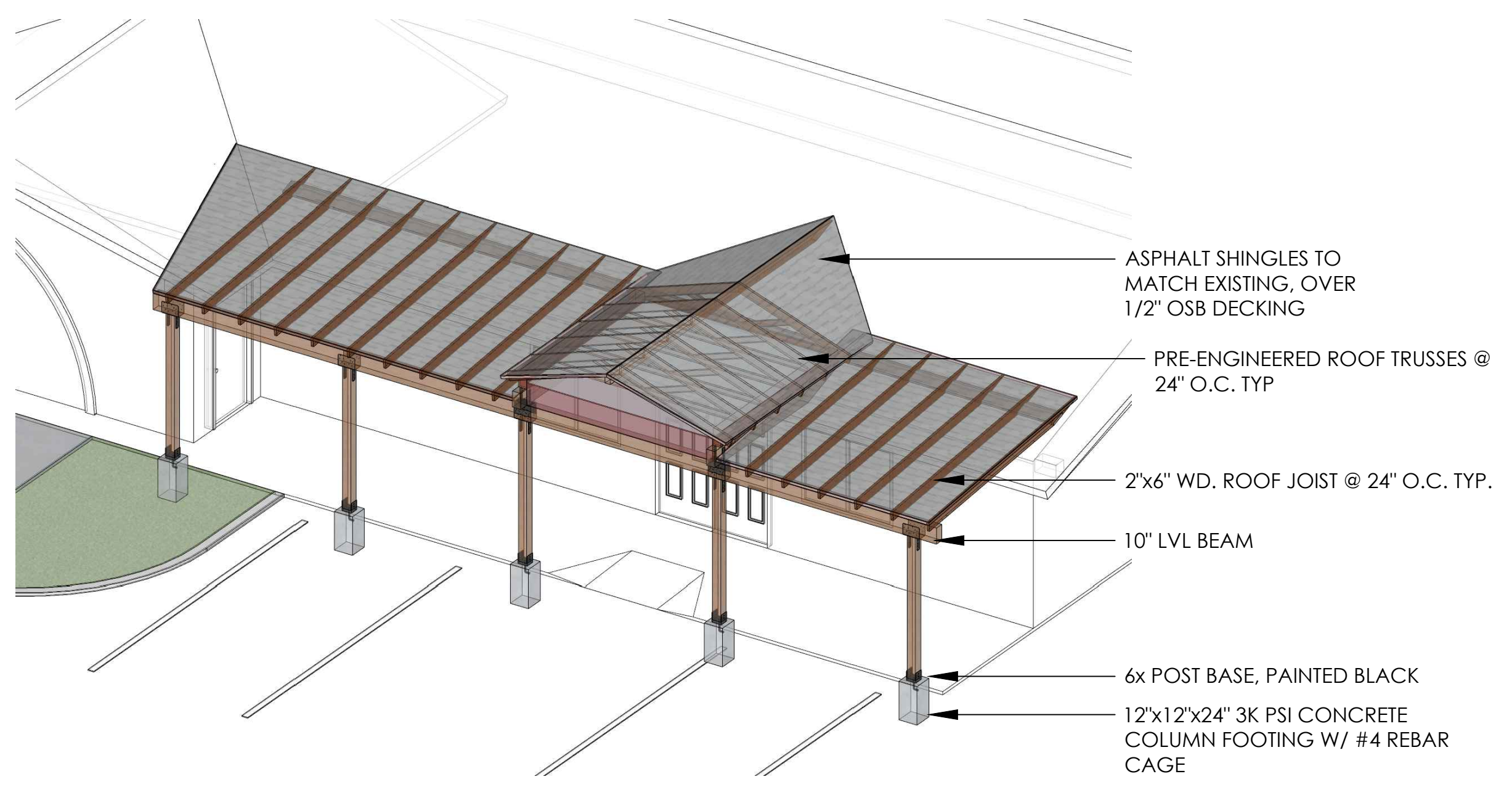




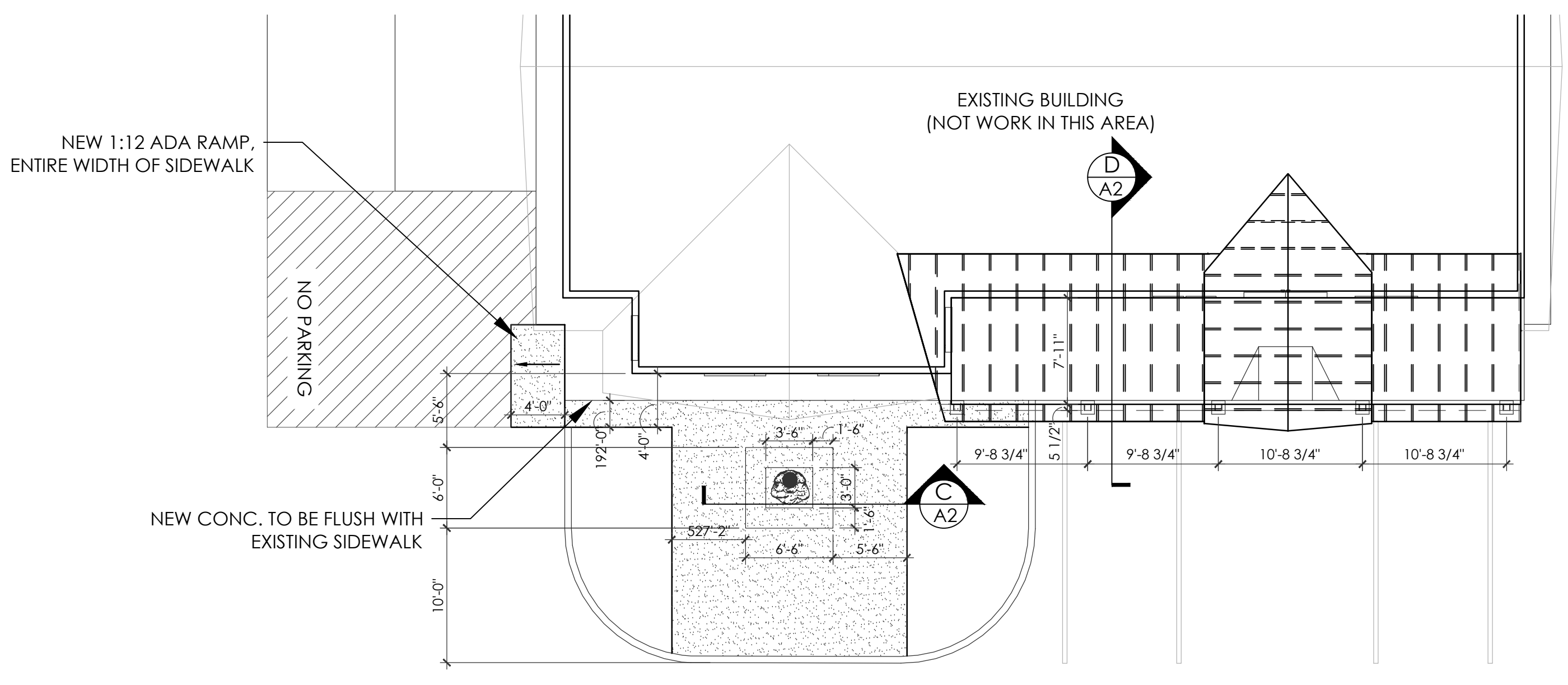
D NEW COVERED PORCH SECTION
 1/2" = 1'-0"



C CONCRETE PLINTH DETAIL
 SCALE: 1/2" = 1'-0"



B ISOMETRIC DETAIL
 N.T.S.



A PLINTH FLOOR PLAN & ROOF FRAMING PLAN
 SCALE: 1/8" = 1'-0"