



DEVELOPMENT REVIEW BOARD  
SUPPLEMENTAL SUBMITTAL

**(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)**

PROJECT NO. PR-2021-006070  
Application No. SI-2021-01888

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

\*(Please attach this sheet with each collated set for each board member)

**NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.**

DRB SCHEDULED HEARING DATE: 12/15/21 HEARING DATE OF DEFERRAL: 12/1/21

SUBMITTAL

DESCRIPTION: Comment response memo, revised plan set, and proposed infrastructure list.

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CONTACT NAME: Michael Vos, AICP \_\_\_\_\_

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com



# Memorandum

**To:** City of Albuquerque Development Review Board

**From:** Michael Vos, AICP, Consensus Planning, Inc.

**Date:** December 10, 2021

**Re:** Westpointe40 South Site Plan DRB Comment Responses (PR-2021-006070)

This memo outlines the responses and changes made to the site plan for the proposed 60K warehousing and distribution building at Westpointe40 based on the comments received and reviewed at the December 1, 2021 DRB meeting. The comments are numbered and followed by the response in italics.

## Code Enforcement

1. The Site Plan must comply with all applicable provisions of the IDO, the DPM, and other adopted City regulations.
  - *Understood.*
2. IDO Zone district is NR-BP.
  - *Understood. The project has been designed to comply with the NR-BP zone district regulations.*
3. Dimensional standards per IDO section 5-1. Clarify different setback notes on plat.
  - *The setbacks on the site plan have been updated to correctly reflect the NR-BP zone district standards, and the plan complies with these setbacks.*
4. Provide building calculation, with/without expansion, for building coverage maximum of 50%.
  - *The building coverage for the south site with expansion is approximately 30% (82,623/279,233)*
5. Landscaping Edge Buffer per 5-6-E, table 5-6-4. Please clarify use. Non-Residential or Industrial require different standards.
  - *While this building is primarily a warehousing, wholesale, and distribution use, the applicant has reconfigured the site plan to provide a 15-foot landscape buffer consistent with the industrial standards for the drainage pond on the east side of the site. This will allow flexibility in leasing and future uses that can utilize the proposed building.*
6. Additional detail needed for meeting equipment screening and loading, service refuse areas. IDO section 5-6-G.
  - *The loading, service, and refuse areas are located at the rear of the building where they are not visible from the adjacent street, as required by this section. The property to the east is not considered low-density residential, so it is not strictly required by the IDO to provide screening beyond the landscape edge buffer requirements. There is an existing 8-foot-tall perimeter wall for the multi-family development that will be further enhanced by the 25-foot landscape buffer, so there will still be significant screening of the service and loading area from the east. If considered an outdoor storage area for the purposes of Section 5-6(G)(4) due to trailer parking, the existing 8-foot-tall wall satisfies the*

*screening requirement.*

7. Additional detail needed for meeting outdoor lighting. IDO section 5-8.
  - *Keynote 7 identifies the site lighting with a maximum height of 30 feet tall. This is the maximum height allowed per Table 5-8-1 when located far enough away from adjacent residential zones.*
8. Additional detail needed for meeting Façade Design general standards, IDO section 5-11-E.
  - *Despite the large size and function of the building, a human scale is provided along the primary building façade through a differentiation in colors and use of windows and doors around entries.*
  - *The building is setback more than 30 feet from Bluewater Road, so it does not meet the definition of a street-facing façade and therefore is not required to meet the standards outline in Section 5-11(E)(2)(a)2. However, the applicant has taken care to provide visible primary pedestrian entrances and the use of ground floor windows to improve the overall look and feel of the building from the parking lot.*
  - *While it is not considered a street-facing façade, the south elevation breaks up its length using a change in parapet heights and building articulation every 50 feet, as well as using multiple colors along the entire length of the façade.*
  - *Per Section 5-11(E)(3), a 500 square foot patio space is provided on the west side of the building (reference Keynote 29)*
9. Does project submittal include a signage plan or is owner applicant referencing the NR-C zone district for standards?
  - *No specific signage plan is proposed except for showing a potential location for a monument sign (Keynote 19). Further details will be required through the separate sign permit process and will comply with the NR-C standards as allowed by the IDO.*

#### Hydrology

1. Hydrology did receive the submittals for both the North Tract and the South Tract on 11/04/2021 (K09D050 – South Tract & K09D051 – North Tract). Currently these are #9 & 10 in the que and will be looked at some time the week of December 27th.
2. Hydrology recommends a four-week deferral.
  - *Understood. We will discuss the appropriate deferral time based on any updates received from Hydrology at the December 15th DRB meeting.*

#### Transportation Development

1. What type of truck will this facility serve, and will the turning radii provided be sufficient? Provide a turning template.
  - *Turning templates are provided as part of this supplemental submittal showing truck access to and through the site from both directions on Daytona Road.*
2. Provide a 6-foot ADA pathway from the building to the right-of-way. (Change the 5-foot pathway to a 6-foot pathway.)
  - *The pedestrian connection has been updated with the required width (Keynote 13).*
3. Show cross-section of adjacent roads to include the new sidewalk, curb, landscape buffer, and required bicycle lanes on Bluewater.
  - *Roadway cross sections are included in the supplemental submittal information.*
4. Provide ADA space requirements under the Parking Calculations section.

- *The ADA parking requirements have been added to the parking calculations.*
5. Use intersection clear sight distance for Bluewater Road. Provide these clear sight triangles on the landscaping plan.
    - *Sight distance triangle for the intersection of Bluewater at Daytona has been added to the plans.*
  6. Obtain Fire-1 plan for the submittal set.
    - *Fire 1 plan will be submitted for the final plan set.*
  7. Include the Det-1 sheet with all required details such as sidewalk, bike rack, curb ramps, curb, handicapped parking and signage, motorcycle signage, etc.
    - *These details have been added to the plan set.*
  8. Is there sufficient room to fit in the exact curb ramp configuration at the van accessible aisles including the ramp and sidewalk? With at least one location, it does not appear as though there will be sufficient space behind the ramp for turning space for a wheelchair.
    - *The accessible space and ramp locations have been modified to allow for the appropriate turnaround.*

#### ABCWUA

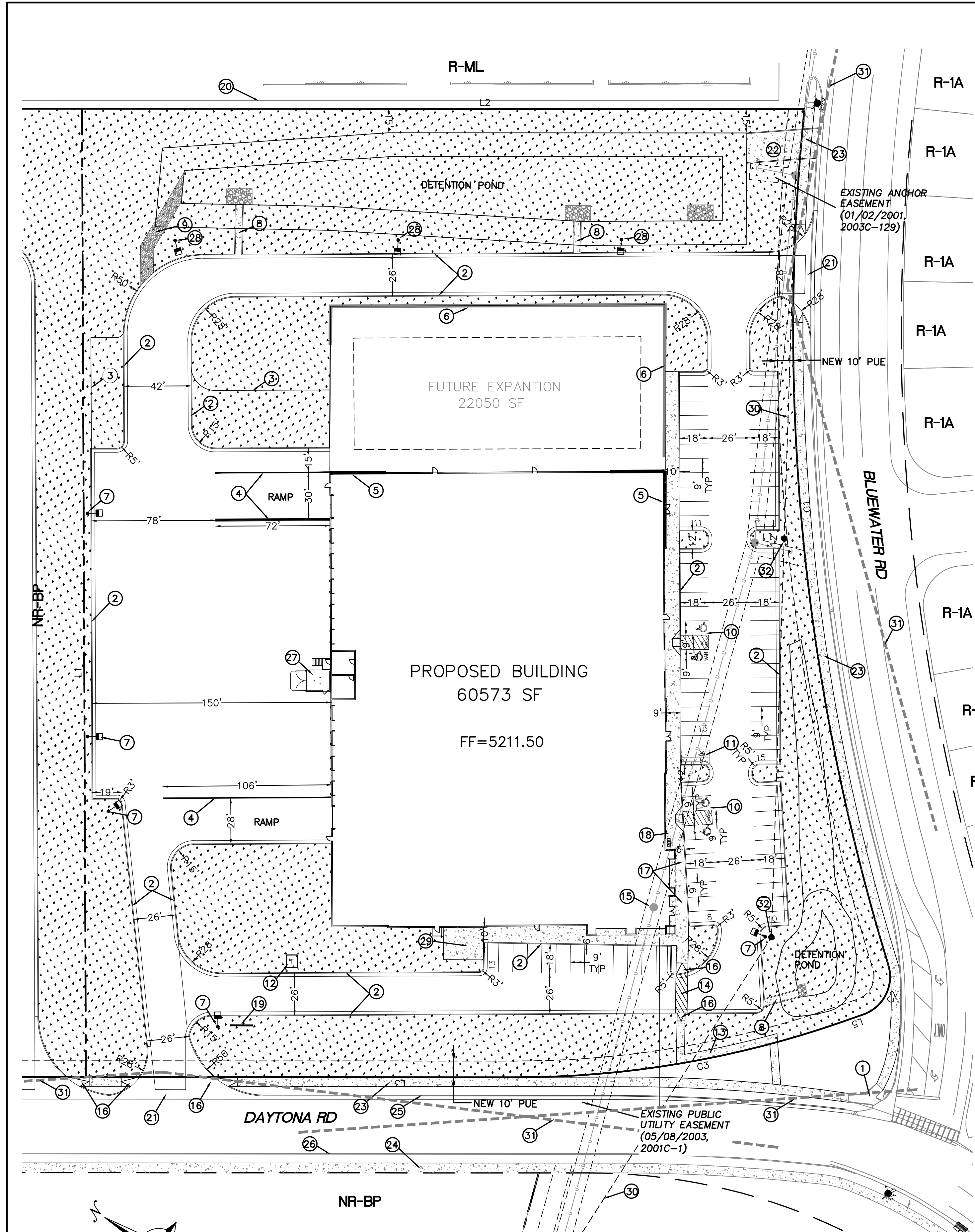
1. Availability Statement #210915R has been issued and provides the criteria for service. Extensions are required.
  - *Understood. An infrastructure list is included with the site plan.*
2. This project is within the adopted service area.
3. Pro rata is not owed for this property.
4. Utility Plan:
  - a. The meters need to be at the right-of-way line. The WUA will not maintain a line onsite to shorten the private water line lengths. Separate service connections are required for each meter.
  - b. The required water main has been revised to a ten-inch. Please revise the call-out to be consistent with this requirement.
    - *An updated utility plan has been provided with the supplemental submittal.*
5. Infrastructure List:
  - a. The improvements required in the Availability Statement shall be incorporated into the infrastructure list.
6. Easements:
  - a. Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated rights-of-way. A minimum width easement of 20' is required for a single utility and 25' for water and sewer both within the same easement. Easements for standard sized water meters need to be 5'x5' and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35'x35' easement is required. Actual easement widths may vary depending on the depth of the lines to be installed.
    - *A plat is accompanying this site plan application.*

#### Planning

1. The warehouse is an industrial use and will require a landscaped edge buffer area at least 25-feet in width along all boundaries with non-industrial development. The North Site Plan has multi-family on the eastern boundary. The South Site Plan has multi-family on the eastern

boundary and single family on the southern boundary (please see the attached comments on Industrial Buffers). On the South Site Plan, a landscaped edge buffer area at least 15-feet in width must be provided along the eastern boundary between the detention pond and the eastern property boundary.

- a. A 15-foot buffer has been accommodated on the east side of the drainage pond for the property and is dimensioned on the site plan.
2. The project and application numbers need to be added to the Site Plan prior to distribution of the Site Plans to the DRB members for their e-signatures.
  - a. These have been added to the site plan.
3. The Solid Waste signature must be obtained on the Site Plans prior to final sign-off from Planning.
  - *We will obtain Solid Waste's signature for final sign-off.*
4. The applicant must confirm that the Façade Design requirements of 5-11(E) of the IDO are being met in a comment response letter and how they are being met.
  - *Please see the response to Code Enforcement comment #8.*
5. The building setbacks are depicted on the Site Plan as 5-feet for the front, and 0-feet for the sides and rear. The setback requirements in the NR-BP zone district are 20-feet for the front, and 10-feet for the sides and rear. The setbacks for the buildings based on the NR-BP standards appear to be met. Confirm that the setbacks are being met and note the correct required setback standards and the setbacks for the proposed buildings on the Site Plans.
  - *The setbacks have been updated on the site plan.*
6. The Site Plan for the southern portion of the site featuring the proposed 60,573 square foot building is phased, with 22,050 square feet of future expansion depicted. Confirm if the improvements and infrastructure depicted on the Site Plan for the southern portion of the site will be phased as well or if the improvements and infrastructure will be constructed in their entirety as depicted on the Site Plan during the first phase.
  - *As described at the last DRB meeting, all infrastructure shown will be built with the first phase of development. As indicated by Keynote 3, there will be a future expansion of the truck parking and maneuvering area to correspond to the expanded building footprint, but everything else will be constructed and is shown as such.*



**NOTE**

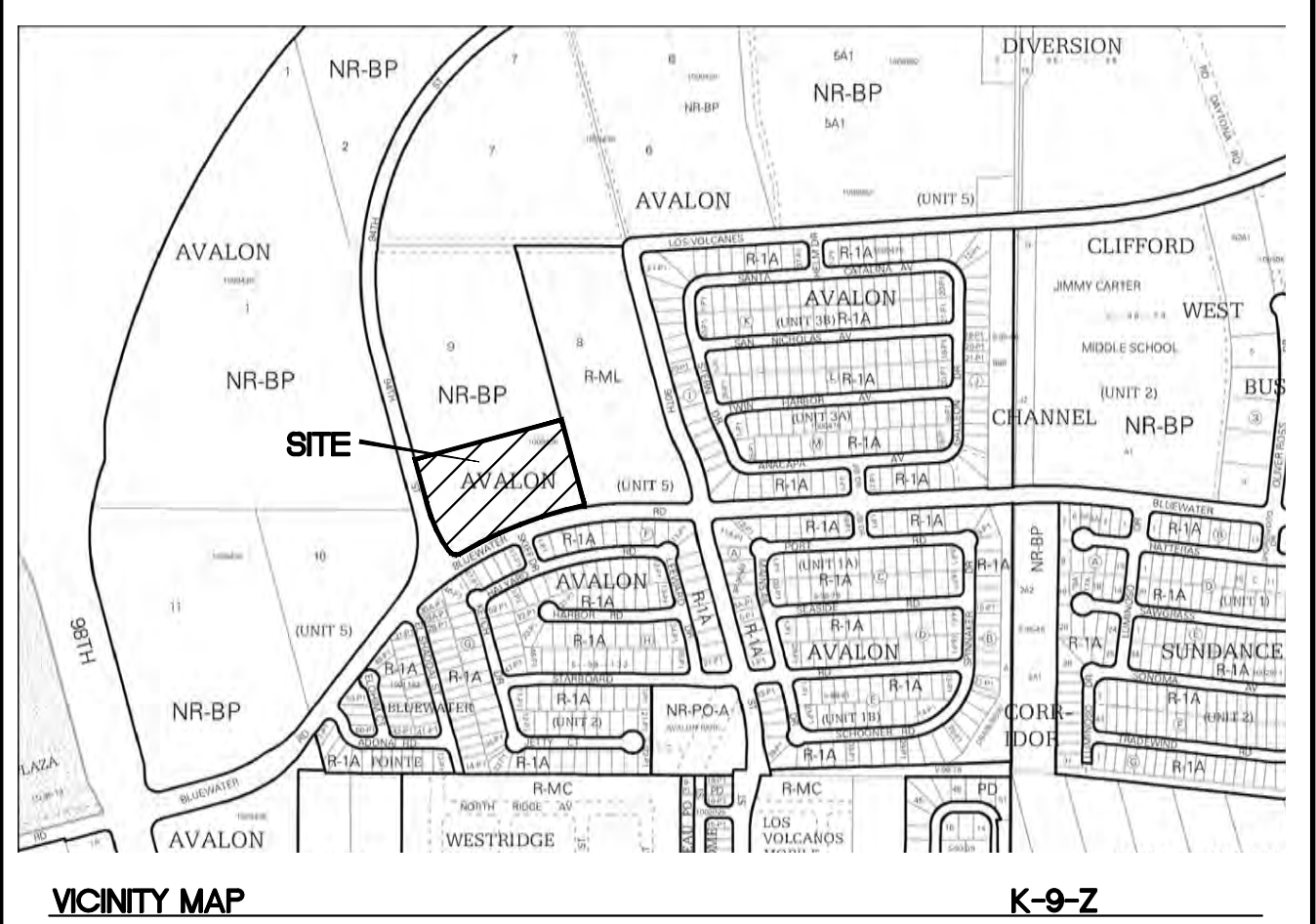
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

**KEYED NOTES**

- ① EXISTING ACCESSIBLE RAMP TO REMAIN
- ② 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- ③ FUTURE CURB AND GUTTER (PHASE 2)
- ④ RETAINING WALL, HEIGHT VARIES 1' TO 4'
- ⑤ EXTENDED STEM WALL
- ⑥ FUTURE EXTENDED STEM WALL
- ⑦ SITE LIGHTING, 30' MAX HEIGHT LED
- ⑧ 4' CONCRETE RUNDOWN SEE DETAIL SHEET SP-2
- ⑨ 8' GRAVEL ACCESS ROAD
- ⑩ ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN SEE DETAIL SHEET SP-2
- ⑪ MOTORCYCLE SPACES W/SIGN (4'X8' MIN) SEE DETAIL SHEET SP-2
- ⑫ TRANSFORMER W/BOLLARDS
- ⑬ 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- ⑭ 6' STRIPED PEDESTRIAN CROSSING
- ⑮ EXISTING POWER POLE TO BE RELOCATED
- ⑯ UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- ⑰ ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- ⑱ BICYCLE RACK SEE DETAIL SHEET SP-2
- ⑲ MONUMENT SIGN (TBD)
- ⑳ EXISTING CMU PERIMETER WALL
- ㉑ 6' VALLEY GUTTER PER COA STD DWG 2415A
- ㉒ CONCRETE POND EMERGENCY OVERFLOW
- ㉓ NEW 6' SIDEWALK
- ㉔ FUTURE 6' SIDEWALK
- ㉕ 8" CURB AND GUTTER PER COA STD DWG 2415A
- ㉖ FUTURE CURB AND GUTTER
- ㉗ SINGLE DUMPSTER W/RECYCLING SEE DETAIL SHEET SP-3
- ㉘ SITE LIGHTING, 16' MAX HEIGHT LED
- ㉙ 500 SF OUTDOOR PATIO AREA
- ㉚ PROPOSED RELOCATION OF OVERHEAD POWER LINE
- ㉛ SIGHT LINE
- ㉜ PROPOSED POWER POLE LOCATION

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▬ RETAINING WALL
- ▨ HEAVY DUTY PAVING
- ▨ LIGHT DUTY PAVING
- ▨ LANDSCAPING
- - - PROPOSED RELOCATION OF OVERHEAD POWER LINE



**LEGAL DESCRIPTION**

PORTION OF LOT 9 AVALON SUBDIVISION

**SITE DATA**

PROPOSED USAGE	COMMERCIAL
LOT AREA	279233 SF (6.41 ACRES)
ZONING	NR-BP
BUILDING AREA	60573 SF (PHASE 1)
(FUTURE BUILDING AREA)	22050 SF
TOTAL	82623 SF
BUILDING SETBACK	
FRONT	20'
REAR	10'
SIDE	10'
PARKING REQUIRED	PHASE 1 31 SPACES (1 SPACE PER 2000SF)
	PHASE 2 11 SPACES (1 SPACE PER 2000SF)
ACCESSIBLE PARKING REQUIRED	4 SPACES
ACCESSIBLE PARKING PROVIDED	4 SPACES
PARKING PROVIDED	69 SPACES, INCLUDES 4 ACCESSIBLE SPACES
MOTORCYCLE SPACES REQUIRED	2 SPACES
MOTORCYCLE SPACES PROVIDED	2 SPACES
BICYCLE SPACES REQUIRED	5
BICYCLE SPACES PROVIDED	5
LANDSCAPE REQUIRED	29424 SF
LANDSCAPE PROVIDED	98197 SF

**PROJECT NUMBER:** PR-2020-006070  
**APPLICATION NUMBER:** SI-2021-01888

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

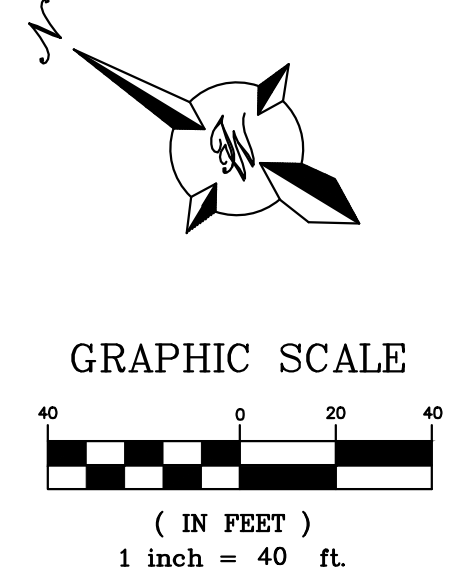
\* Environmental Health, if necessary

**LINE TABLE**

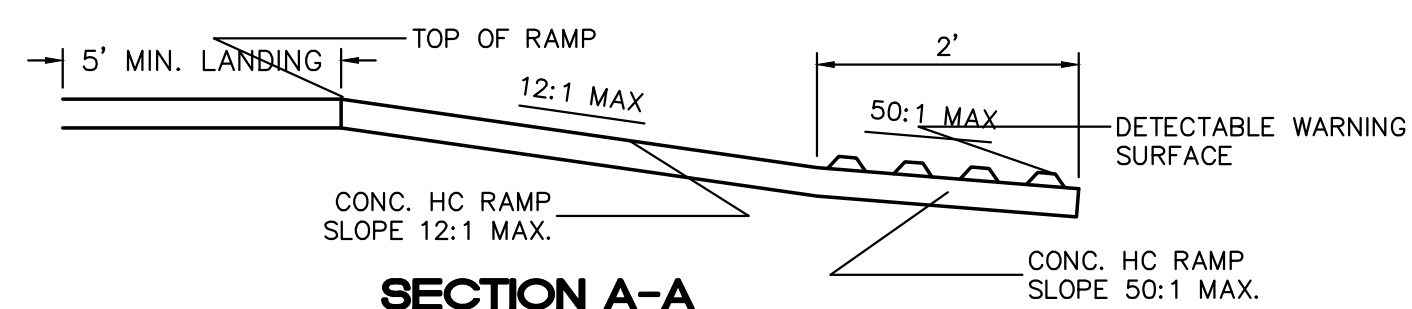
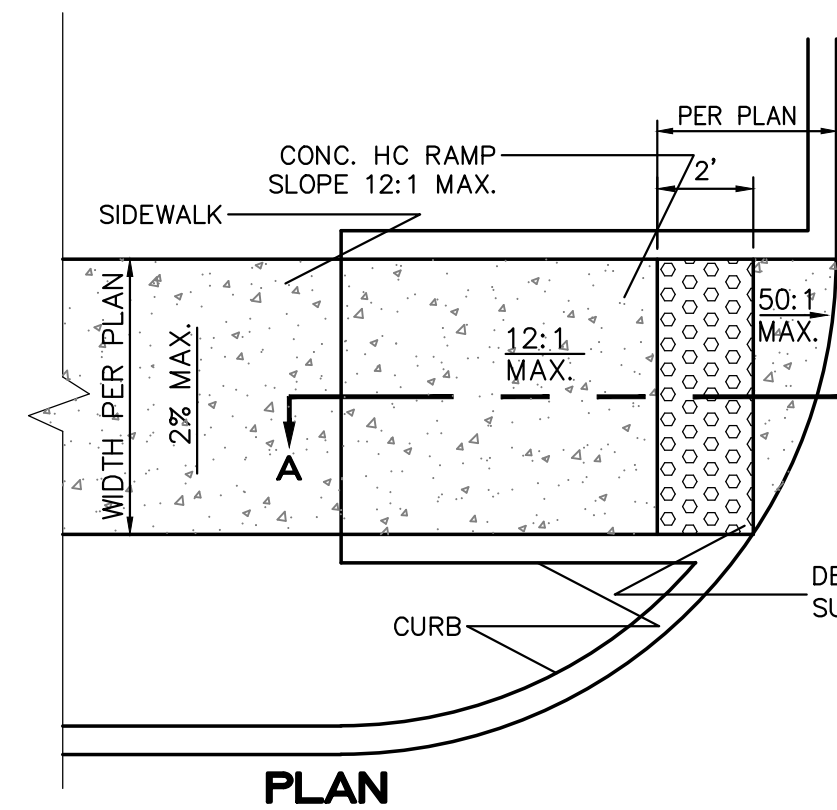
LINE	BEARING	LENGTH
L1	N74°46'10"E	607.48
L2	S14°58'21"E	453.47
L3	N14°55'50"W	269.64
L5	N34°19'52"W	13.71

**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH
C1	22°55'21"	1358.17	543.36
C2	87°43'53"	25.00	38.28
C3	19°21'21"	620.00	209.45

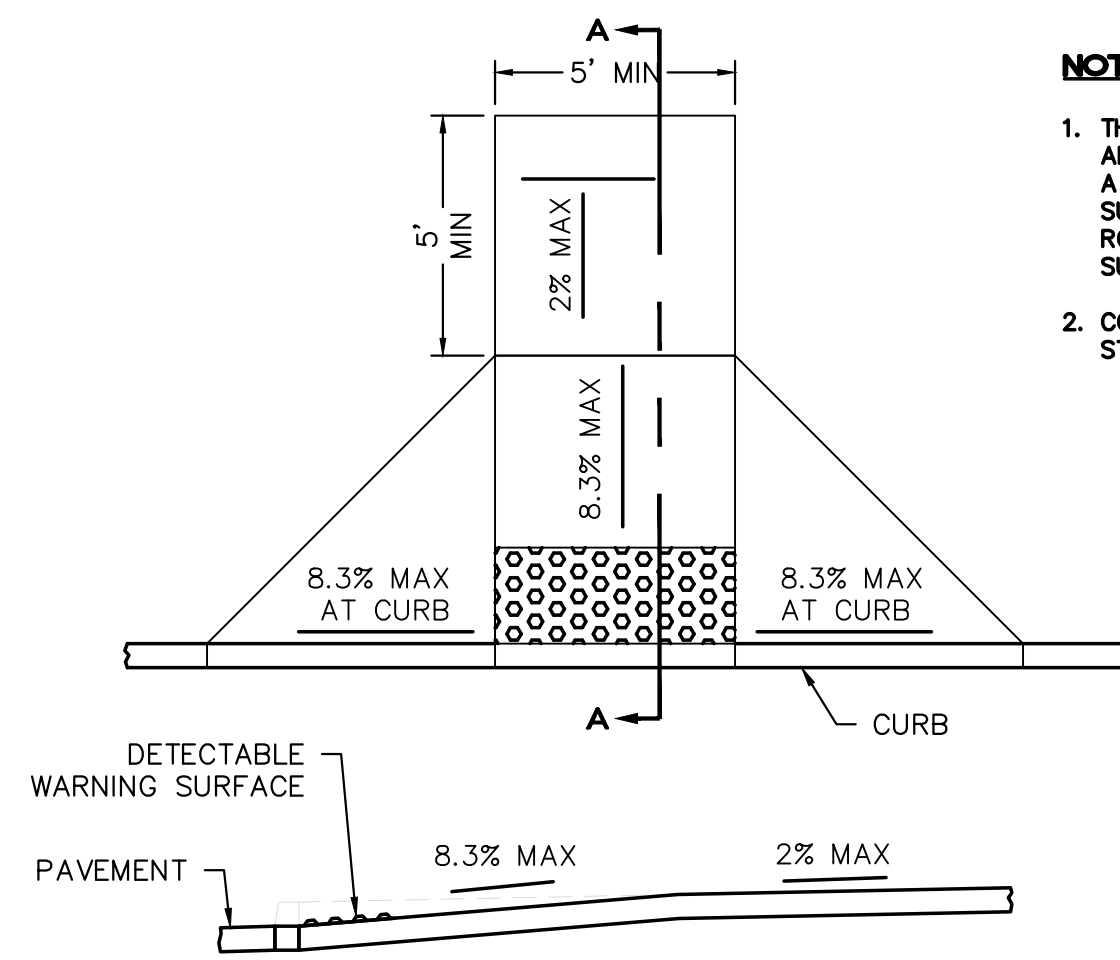


	<b>BLUE SKY DISTRIBUTING</b> ALBUQUERQUE, NM	DRAWN BY pm DATE 12-6-21
	<b>SITE PLAN FOR</b> <b>BUILDING PERMIT</b>	DRAWING 2020088-60K.DWG
RONALD R. BOHANNAN P.E. #7868	 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>SP-1</b> JOB # 2020088



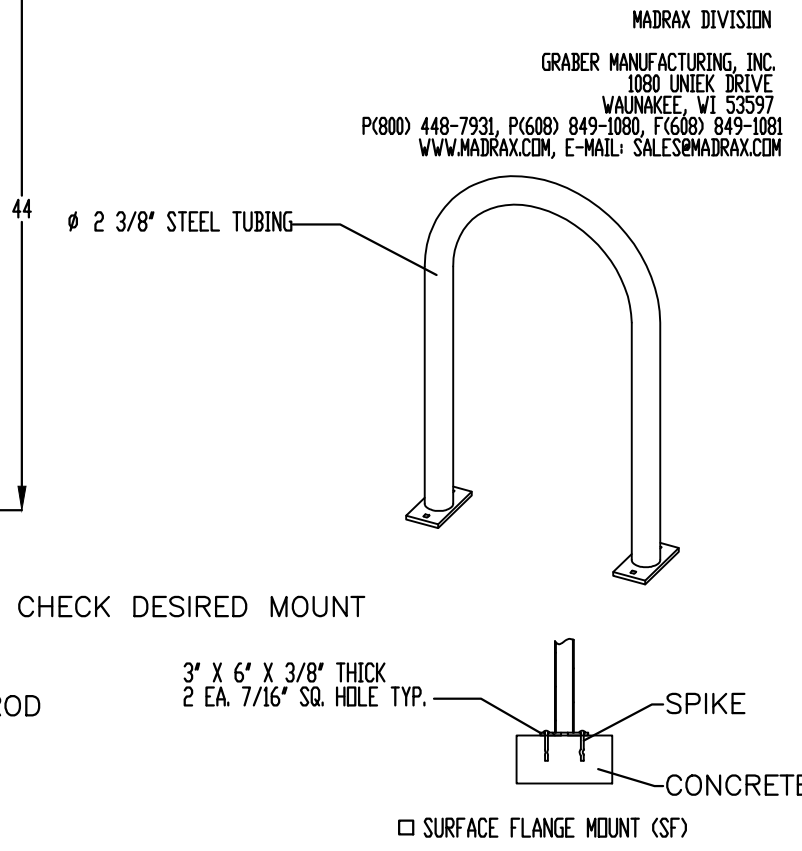
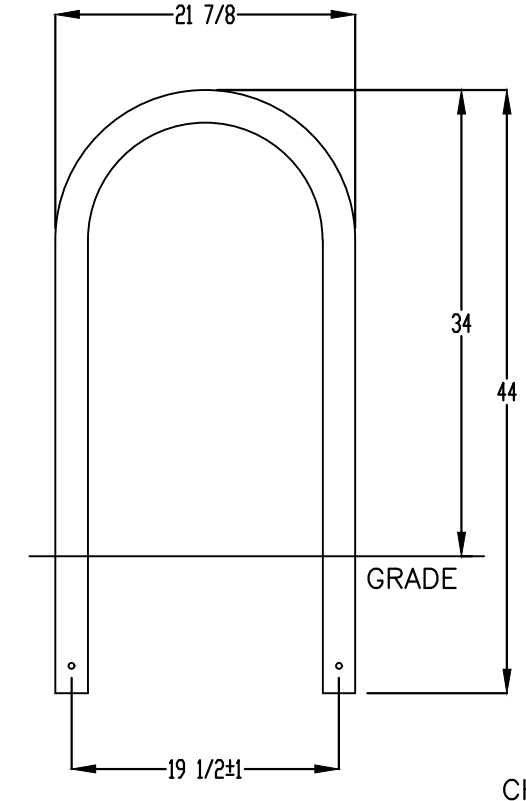
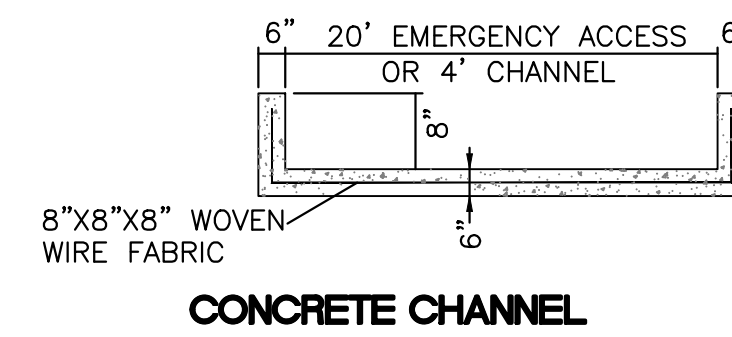
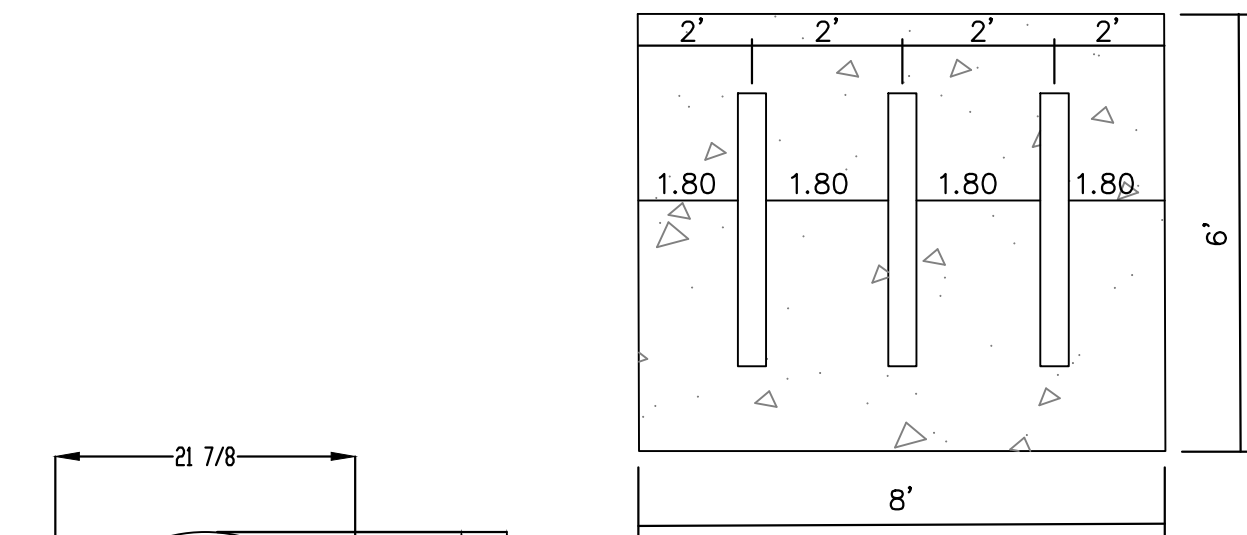
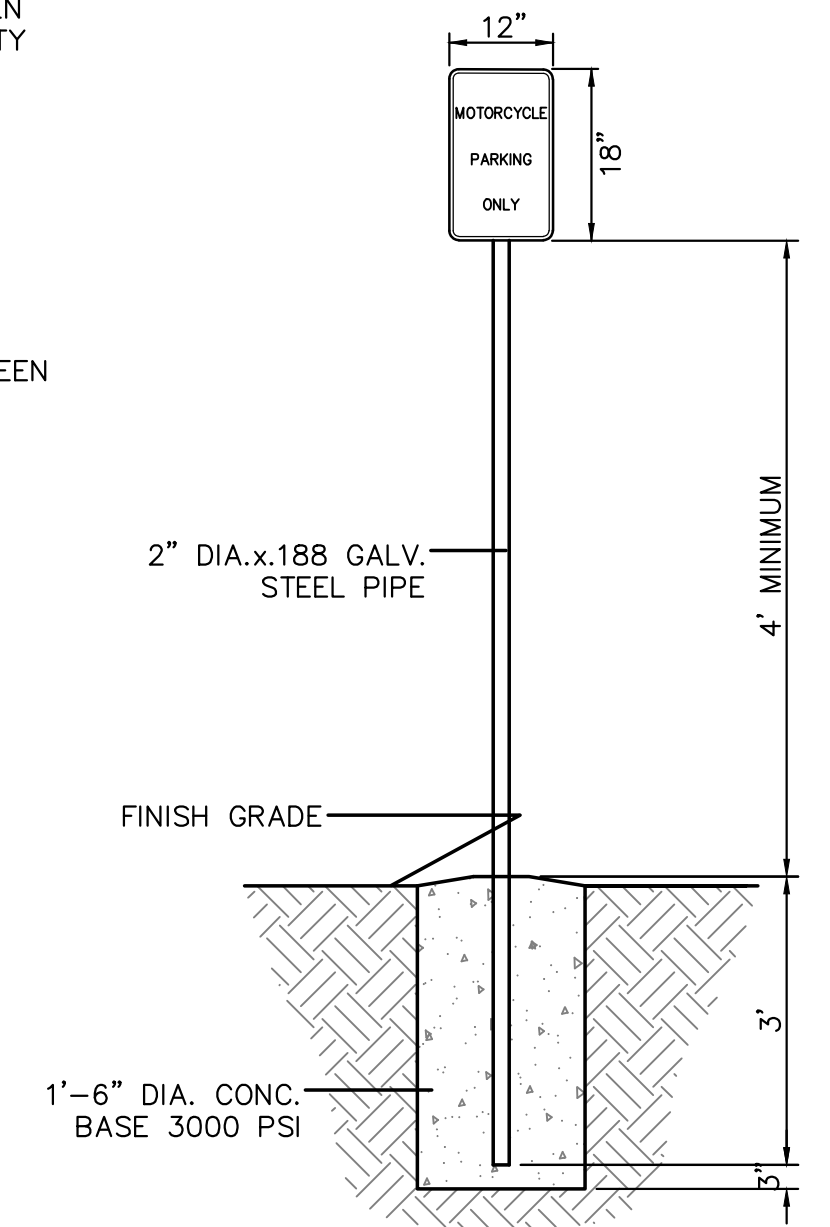
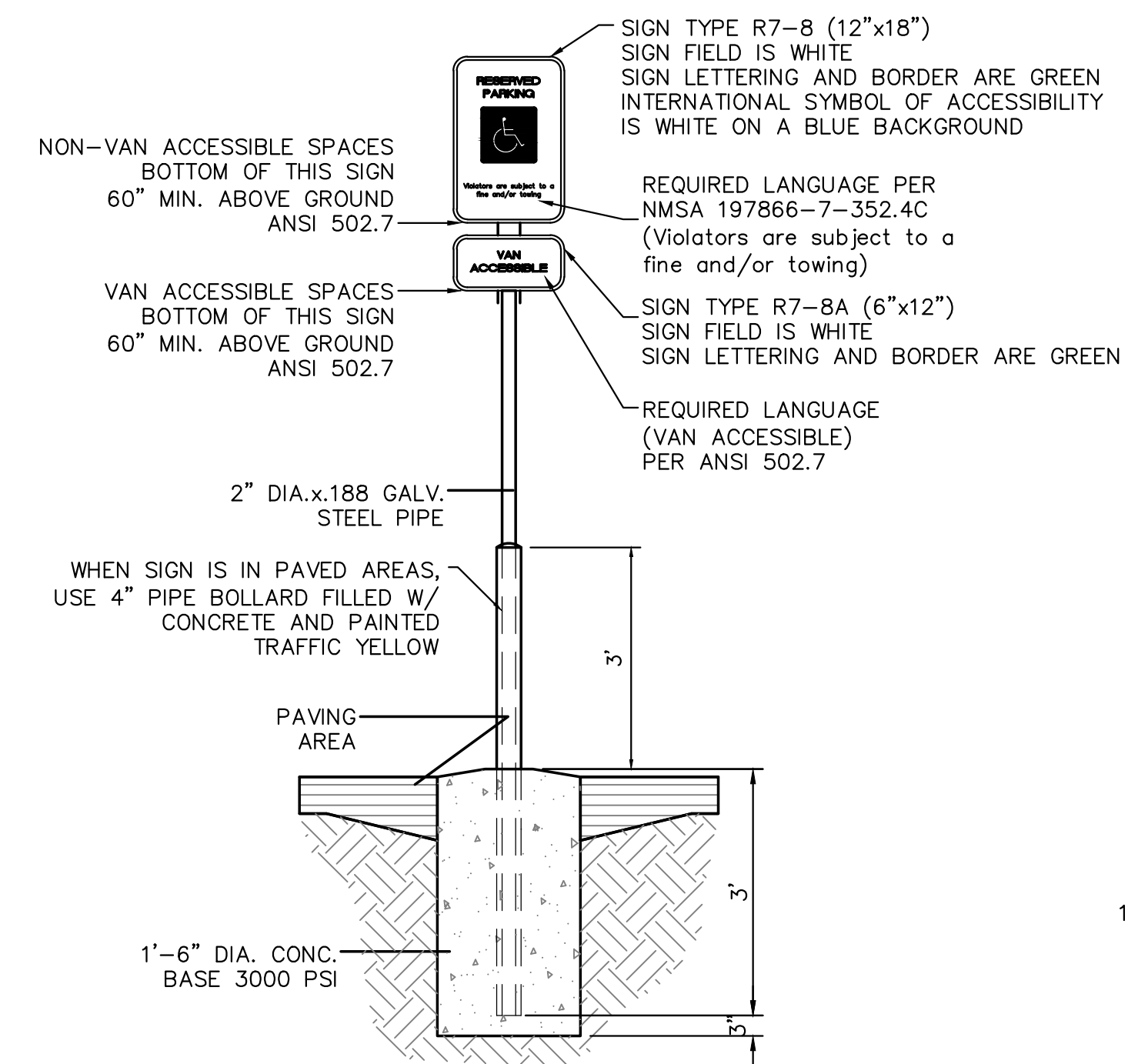
**UNIDIRECTIONAL HC RAMP**  
NOT TO SCALE

- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
  2. CONSTRUCT PER A.D.A. STANDARDS.

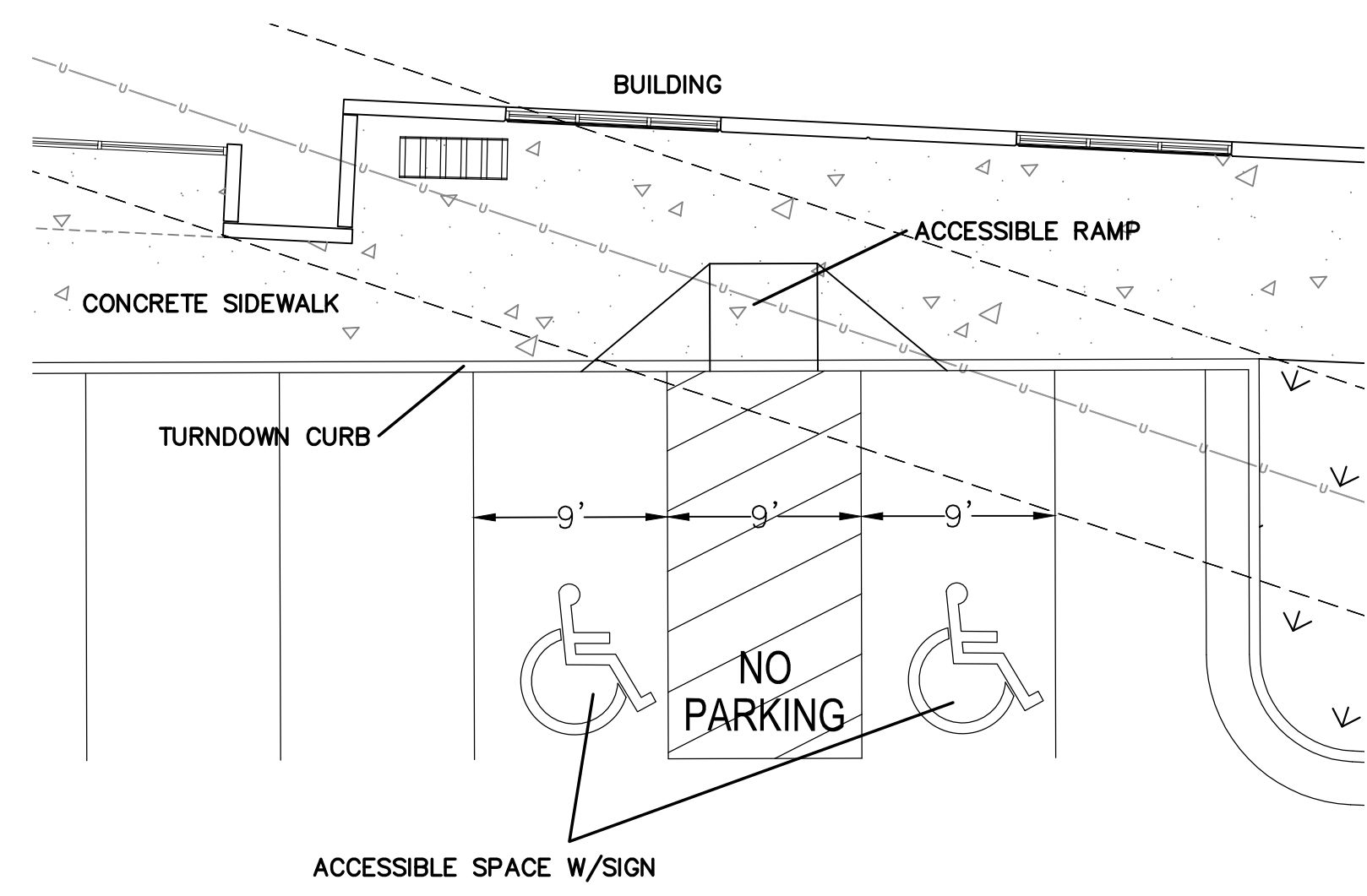


**FLAIRED CURB HC RAMP**  
NOT TO SCALE

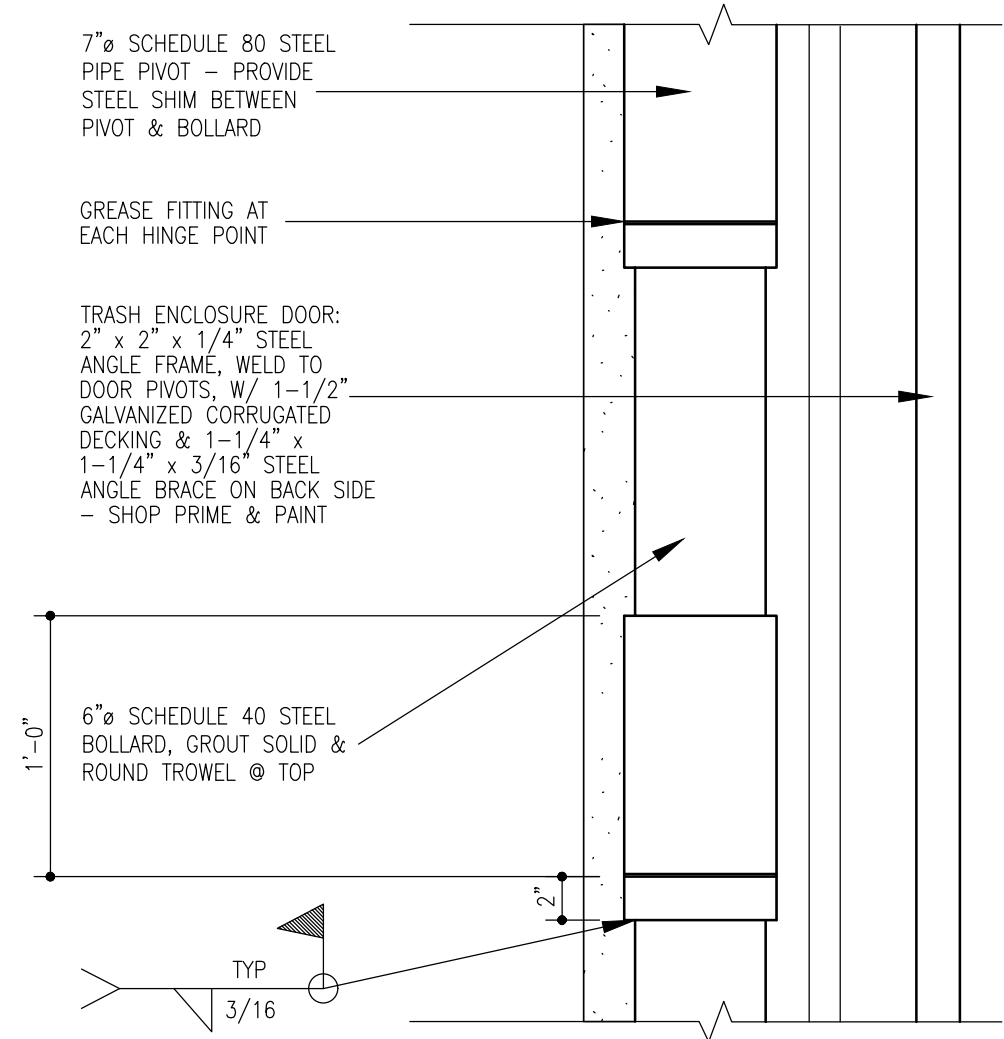
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
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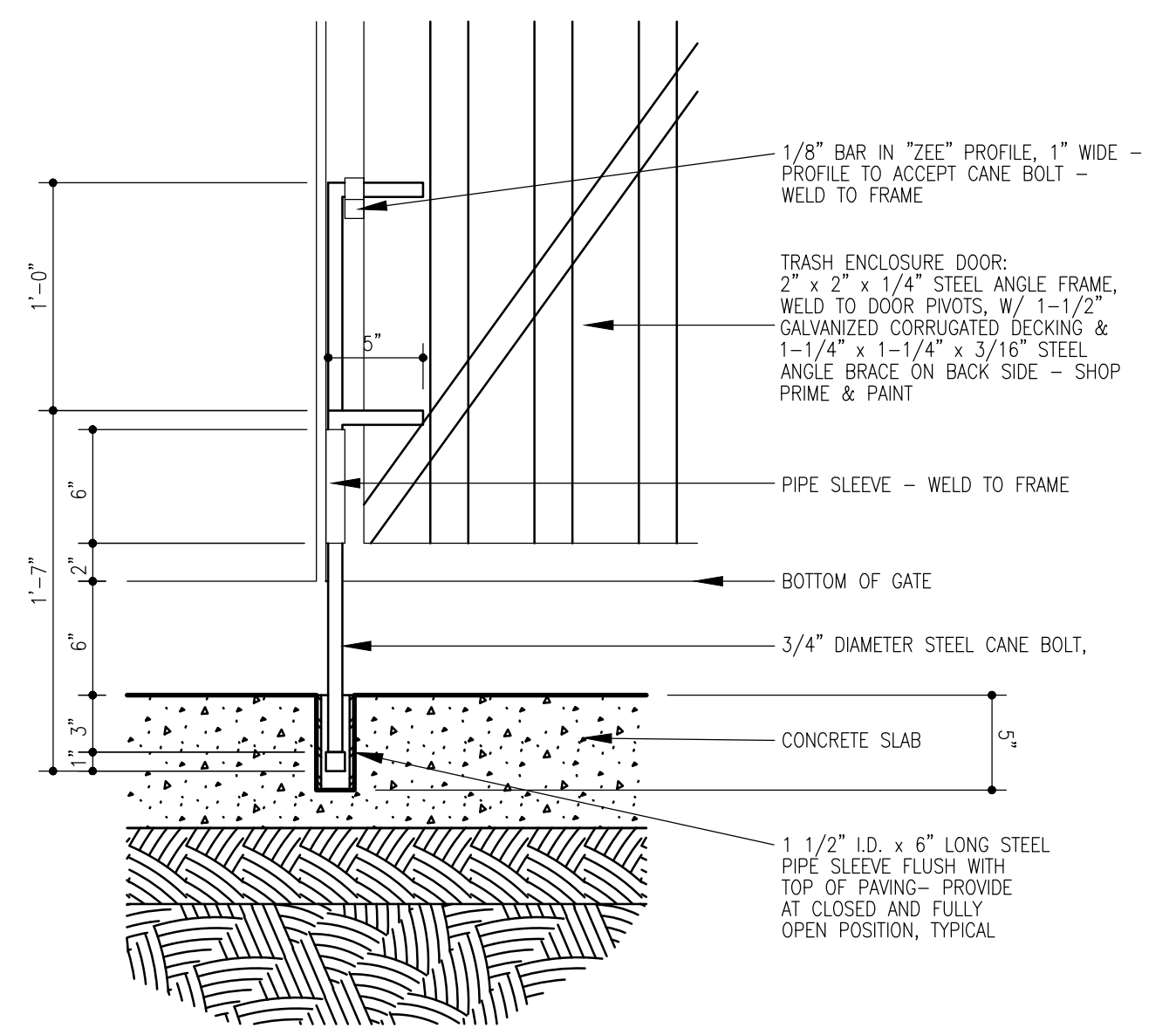
**BIKE RACK DETAIL**  
SCALE: NONE



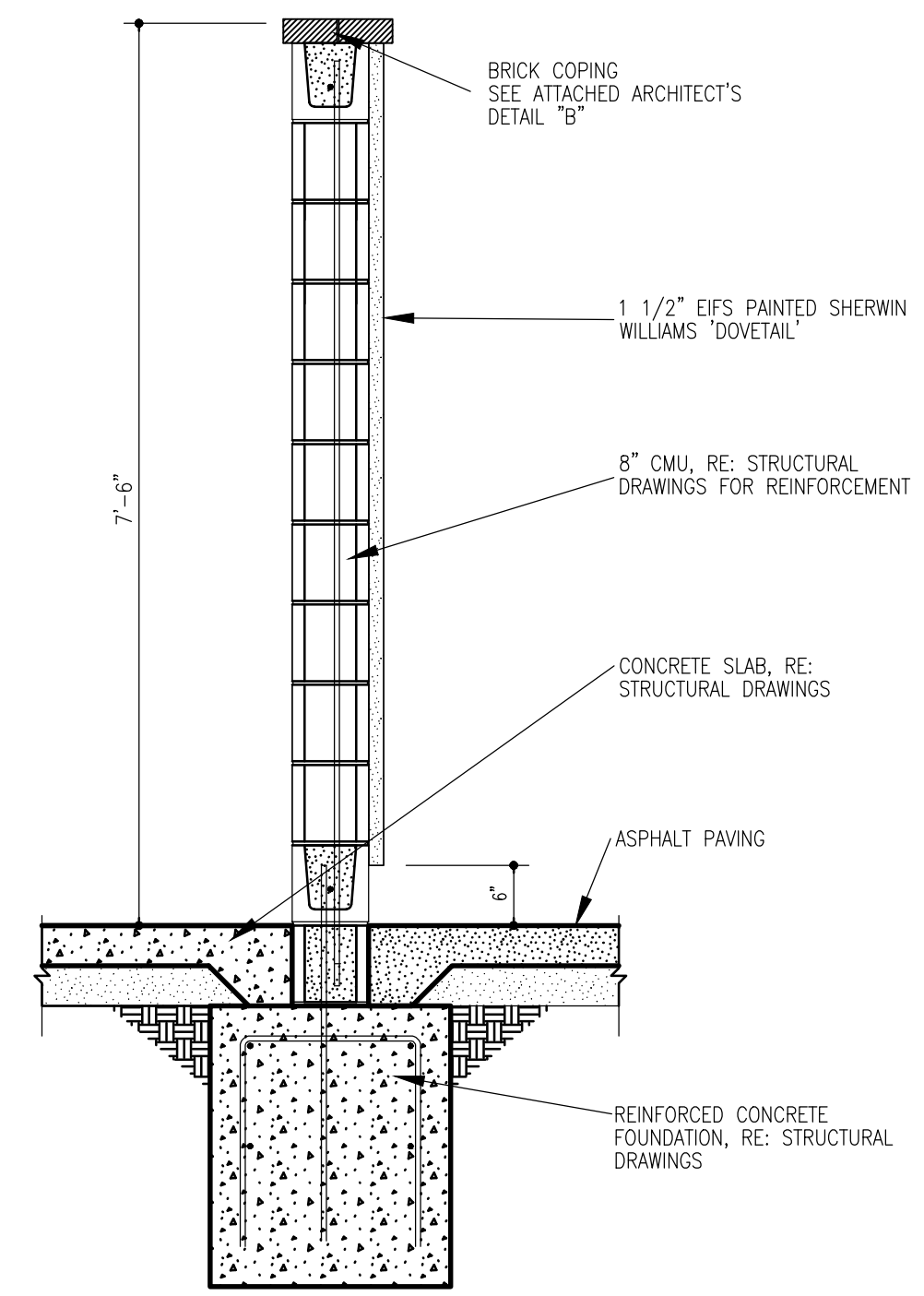
	<b>BLUE SKY DISTRIBUTING</b> ALBUQUERQUE, NM	DRAWN BY pm
	<b>CONSTRUCTION DETAILS</b>	DATE 12-6-21
12-6-21 RONALD R. BOHANNAN P.E. #7868	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K.DWG
		SHEET # <b>SP-2</b>
		JOB # 2020088



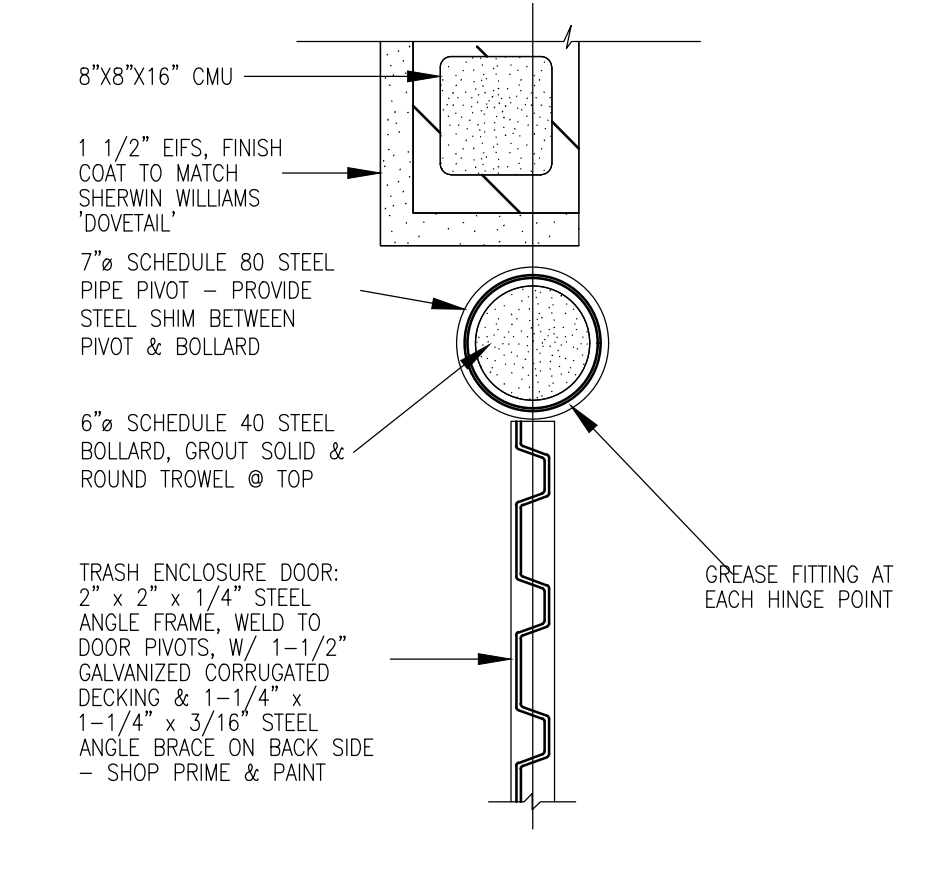
9 Dumpster Door Pivot  
1/12" = 1'-0"



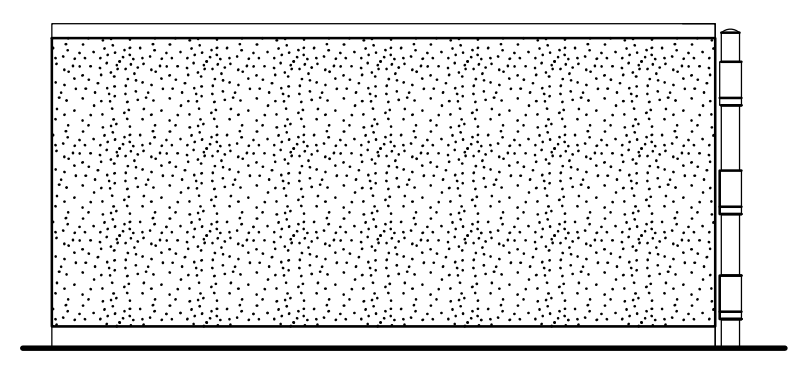
8 Cane Bolt Detail  
1/12" = 1'-0"



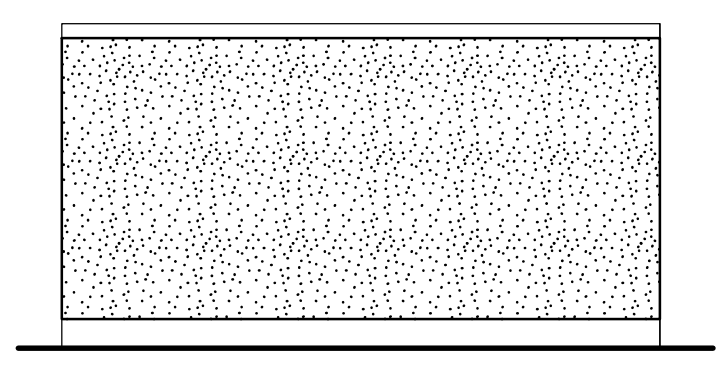
7 Wall Section  
3/8" = 1'-0"



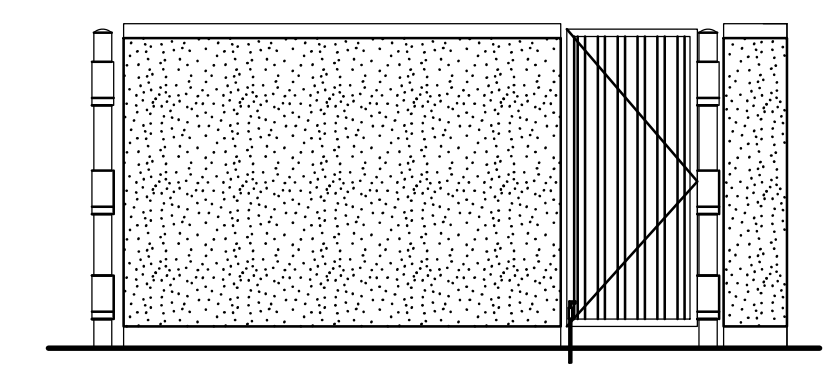
6 Plan Detail  
1/12" = 1'-0"



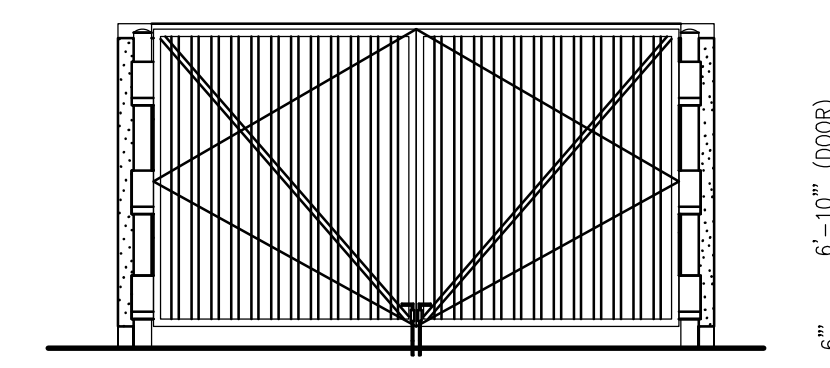
5 Side Elevation  
1/4" = 1'-0"



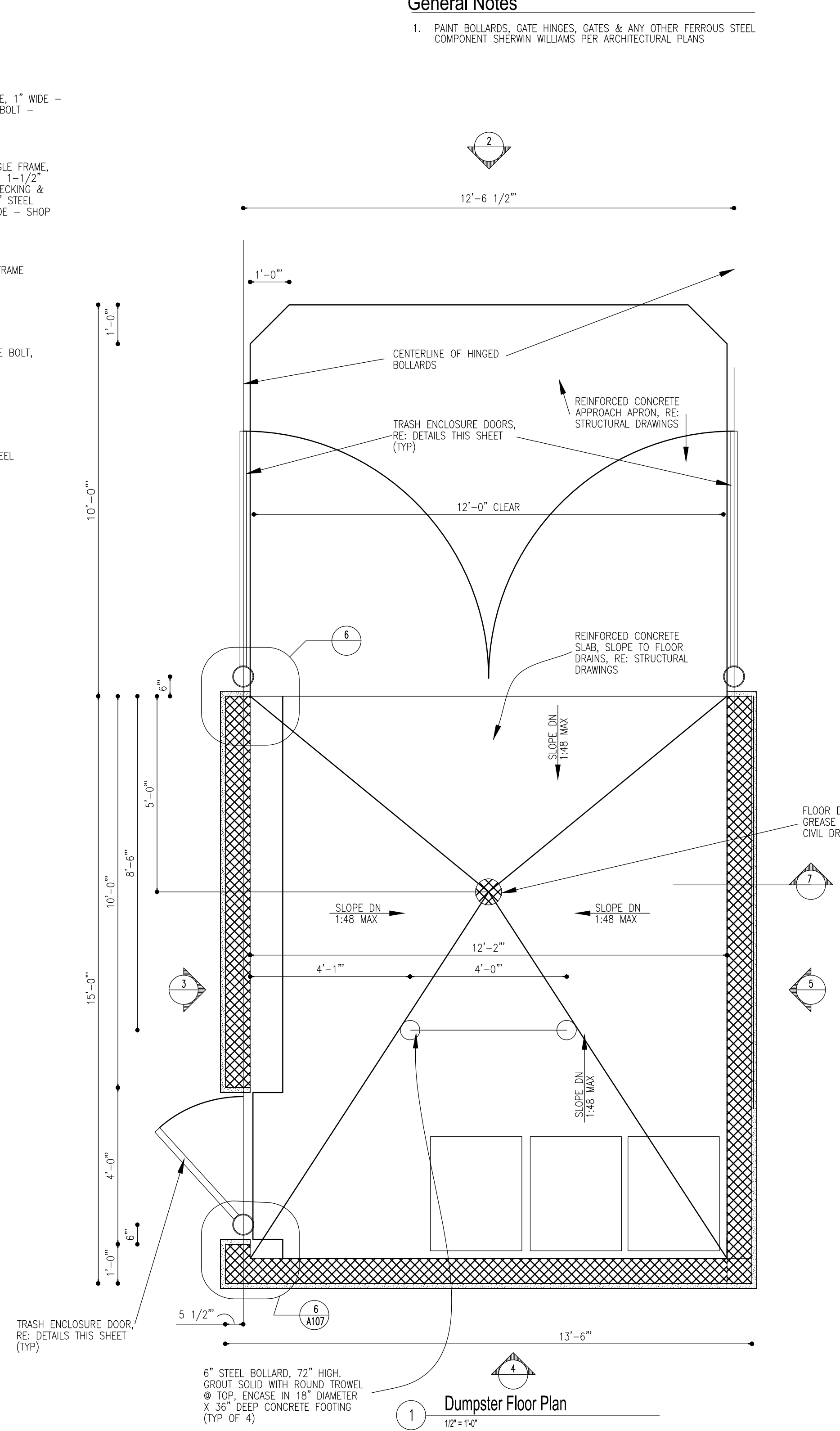
4 Back Elevation  
1/4" = 1'-0"



3 Side Elevation  
1/4" = 1'-0"



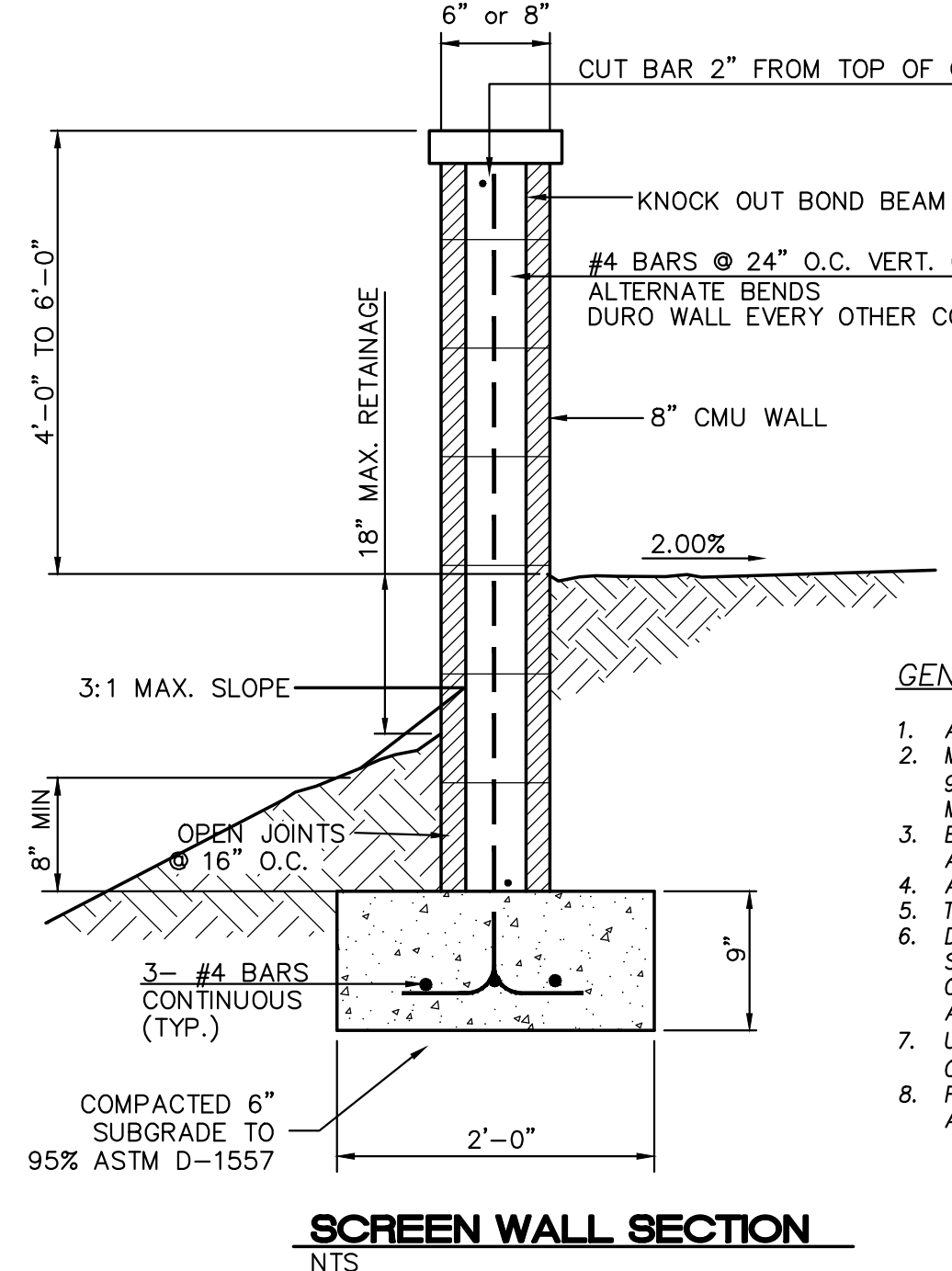
2 Front Elevation  
1/4" = 1'-0"



1 Dumpster Floor Plan  
1/2" = 1'-0"

**General Notes**

1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



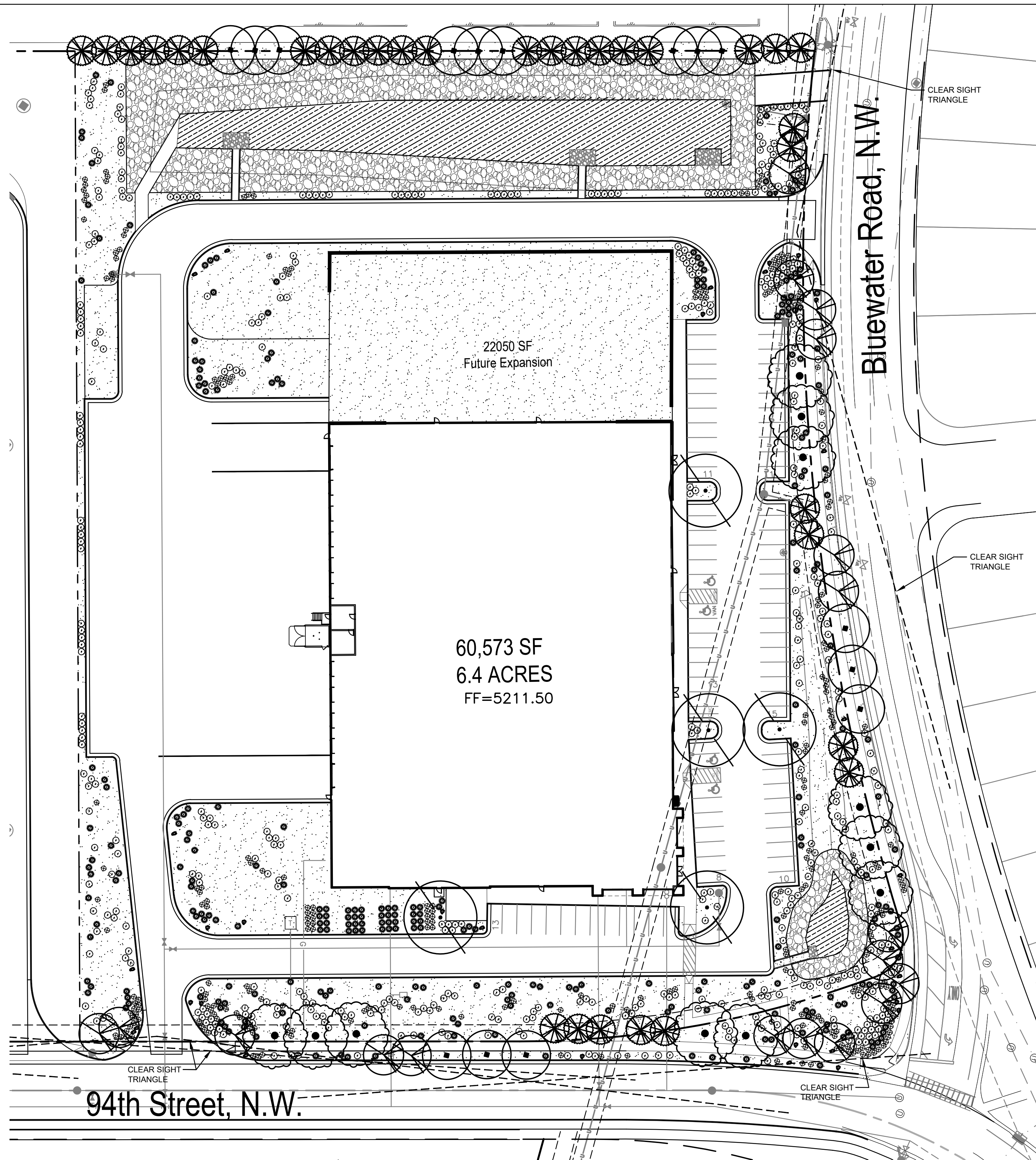
SCREEN WALL SECTION  
NTS

**GENERAL NOTES:**

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROTECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.

	<b>BLUE SKY DISTRIBUTING</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>CONSTRUCTION DETAILS</b>	DATE 12-6-21
12-6-21 RONALD R. BOHANNAN P.E. #7868	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING 2020088-60K.DWG
		SHEET # <b>SP-3</b>
		JOB # 2020088





**GENERAL LANDSCAPE NOTES**

**IRRIGATION:**  
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

**RESPONSIBILITY OF MAINTENANCE:**  
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE:**  
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION:**  
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

**SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES.** IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**CLEAR SIGHT DISTANCE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
15		TREES - REFERENCE DETAIL 1/L101 PISTACIA CHINENSIS CHINESE PISTACHE (M)	2.5" B&B	40' HT. X 30' SPR
5		GLIEDITSIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEY LOCUST (M)	2.5" B&B	50' HT. X 45' SPR
11		ULMUS 'FRONTIER' FRONTIER ELM (M)	2.5" B&B	40' HT. X 40' SPR
18		CHILOPSIS LINEARIS DESERT WILLOW 'BUBBA' (RW)	2" O.C. MULTI	20' HT. X 25' SPR
32		PINUS EL-DARICA AFGHAN PINE (M)	8' HT.	40' HT. X 18' SPR
445		SHRUBS AND GROUNDCOVERS - REFERENCE DETAIL 2/L101 ERICAMERIA LARICIFOLIA TURPENTINE BUSH (L)	1-GAL	3' HT. X 4' SPR
		BUDDLEIA DAVIDII NANH 'MONGO' PETITTE INDIGO BUTTERFLY BUSH (M)	5-GAL	5' HT. X 5' SPR
		LAVANDULA 'GROSSO' GROSSO LAVENDER (M)	5-GAL	3' HT. X 3' SPR
		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5' HT. X 5' SPR
		PINUS MUGO VAR. PUMILIO DWARF MUGO PINE (M)	5-GAL	4" HT. X 8' SPR
		ACHILLEA TAYGETEA 'MOONSHINE' MOONSHINE YARROW (M)	5-GAL	2' HT. X 2' SPR
		BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW BARBERRY (L)	5-GAL	5' HT. X 4' SPR
		SALVIA GREGGII CHERRY SAGE (L)	5-GAL	2' HT. X 3' SPR
		AGASTACHE AYA AYA'S HUMMINGBIRD MINT (L)	5-GAL	4' HT. X 2' SPR
		BACCHARIS X 'STARN THOMPSON' PROSTRATE COYOTE BUSH (L)	5-GAL	2' HT. X 5' SPR
260		DESERT ACCENTS - REFERENCE DETAIL 2/L101 NOLINA MICROCARPA BEARGRASS (L)	5-GAL	4' HT. X 4' SPR
		DASYLIRION WHEELERI DESERT SPOON (L)	5-GAL	5' HT. X 5' SPR
		HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA (L)	5-GAL	3' HT. X 4' SPR
		OPUNTIA ELLISIANA 'SPINELESS' SPINELESS PRICKLY PEAR (RW)	5-GAL	4' HT. X 5' SPR
		YUCCA FILAMENTOSA ADAM'S NEEDLE YUCCA (L)	5-GAL	3' HT. X 3' SPR
260		ORNAMENTAL GRASSES - REFERENCE DETAIL 2/L101 SCHIZACHYRIUM SCOP 'THE BLUES' THE BLUES LITTLE BLUESTEM GRASS (L)	5-GAL	2' HT. X 2' SPR
		MISCANTHUS SINENSIS GRACILLIMUS MAIDEN HAIR GRASS (M)	5-GAL	5' HT. X 5' SPR
		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL	4' HT. X 2.5' SPR
95,766 SF		MULCHES AND BOULDERS LANDSCAPE AREAS WILL BE COVERED WITH ROCK OR WOOD MULCH OVER FILTER FABRIC. A VARIETY OF TYPES WILL BE USED TO ADD INTEREST OR ADDRESS GRADING. TYPES WILL BE: 1" UL TRAVIOLLET GRAVEL, 1" UL TRAVIOLLET GRAVEL, 7/8" SANTA FE BROWN GRAVEL, 3/4" BASALT GRAVEL AND 2"-4" SANGRIA COBBLE		
13,008 SF		REVEGETATION AREAS SHALL BE HYDROMULCH APPLICATION PER ODA SPECIFICATION SECTION 1012. LIMITS OF REVEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMIT OF DISTURBANCE. SANDY SOILS MIX (20 LBS. PLS PER ACRE TOTAL) (PONDING AREA - NOT INCLUDED IN LANDSCAPE CALC.)		
20,203 SF		REVEGETATIVE SEEDING WITH 1"-4" ROCK OVER DIRT (PONDING AREA - NOT INCLUDED IN LANDSCAPE CALC.)		
33 EA		PUEBLO ROSE BOULDERS 3'X3'X3'		

**LANDSCAPE CALCULATIONS**

SITE AREA (6.4 AC)	278,784 SF
BUILDING FOOTPRINT	- 60,573 SF
NET LOT	218,211 SF
-REQUIRED/PROVIDED LANDSCAPE	32,732 SF (15%) / 73,727 SF (34%)
(EXCLUDES PONDING AREAS AND FUTURE EXPANSION SITE)	

<b>COVERAGE</b>	
-REQUIRED/PROVIDED VEGETATIVE COVER	55,295 SF (75%) / 57,364 SF (78%)
-REQUIRED/PROVIDED GROUND-LEVEL COVER	13,824 SF (25%) / 14,345 SF (25%)

<b>PARKING LOT TREES</b>	
PARKING LOT SPACES PROVIDED	82
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
-REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	9/10

<b>PARKING LOT AREA</b>	
AT LEAST 15 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.	
PARKING LOT AREA	28,993 SF
-REQUIRED/PROVIDED PARKING LOT LANDSCAPE	4,349 SF (15%) / 6,928 SF (24%)

<b>STREET TREES</b>	
STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. BLUEWATER RD NW FRONTAGE IS 645'	
-REQUIRED/PROVIDED STREET TREES: 26/26	
94TH ST NW FRONTAGE IS 506'	
-REQUIRED/PROVIDED STREET TREES: 21/21	

<b>BUFFER LANDSCAPE</b>	
IF A WALL AT LEAST 3 FEET IN HEIGHT IS PROVIDED OR EXISTS ALONG THE PROPERTY LINE BETWEEN THE TWO PROPERTIES, 1 TREE AT LEAST 8 FEET HIGH AT THE TIME OF PLANTING SHALL BE PROVIDED EVERY 15 FEET ALONG THE WALL 452' OF EXISTING WALL	
-REQUIRED/PROVIDED TREES: 30/30	

**CONSULTANTS**

**WESTPOINT 40  
60K BUILDING  
ALBUQUERQUE, NM**

DECEMBER 9, 2021

**SUBMITTALS: DRB**

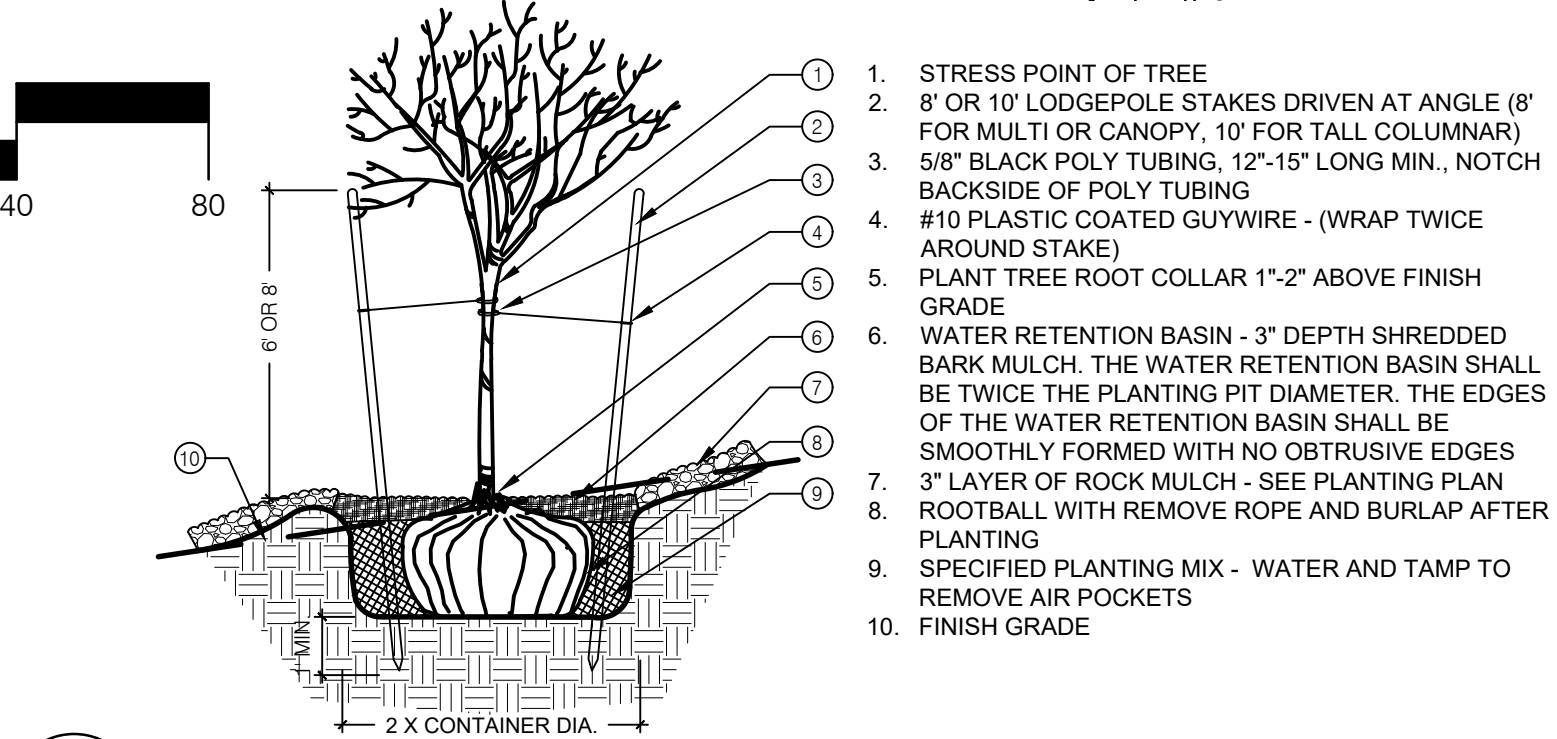
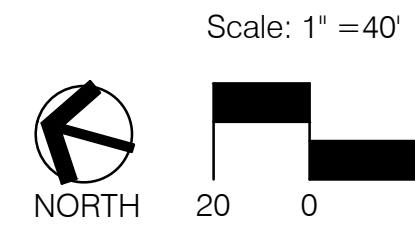
**REVISIONS**

NO.	DATE	DESCRIPTION

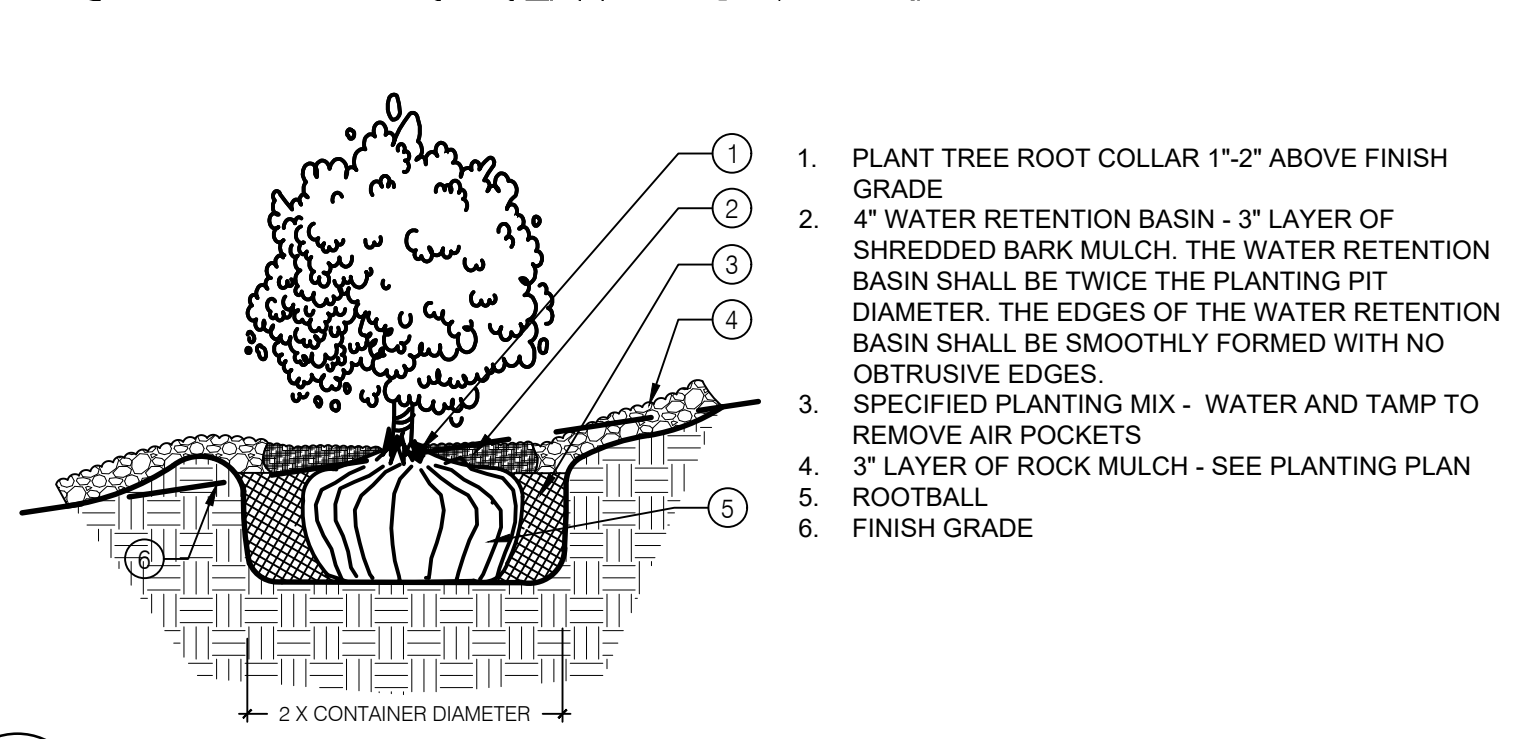
PROJECT NO: 1981-00  
CAD DWG FILE:  
DESIGNED BY: KP  
DRAWN BY: KP  
CHECKED BY: CG  
SHEET TITLE

**LANDSCAPE PLAN**

**DRAWING SHEET**



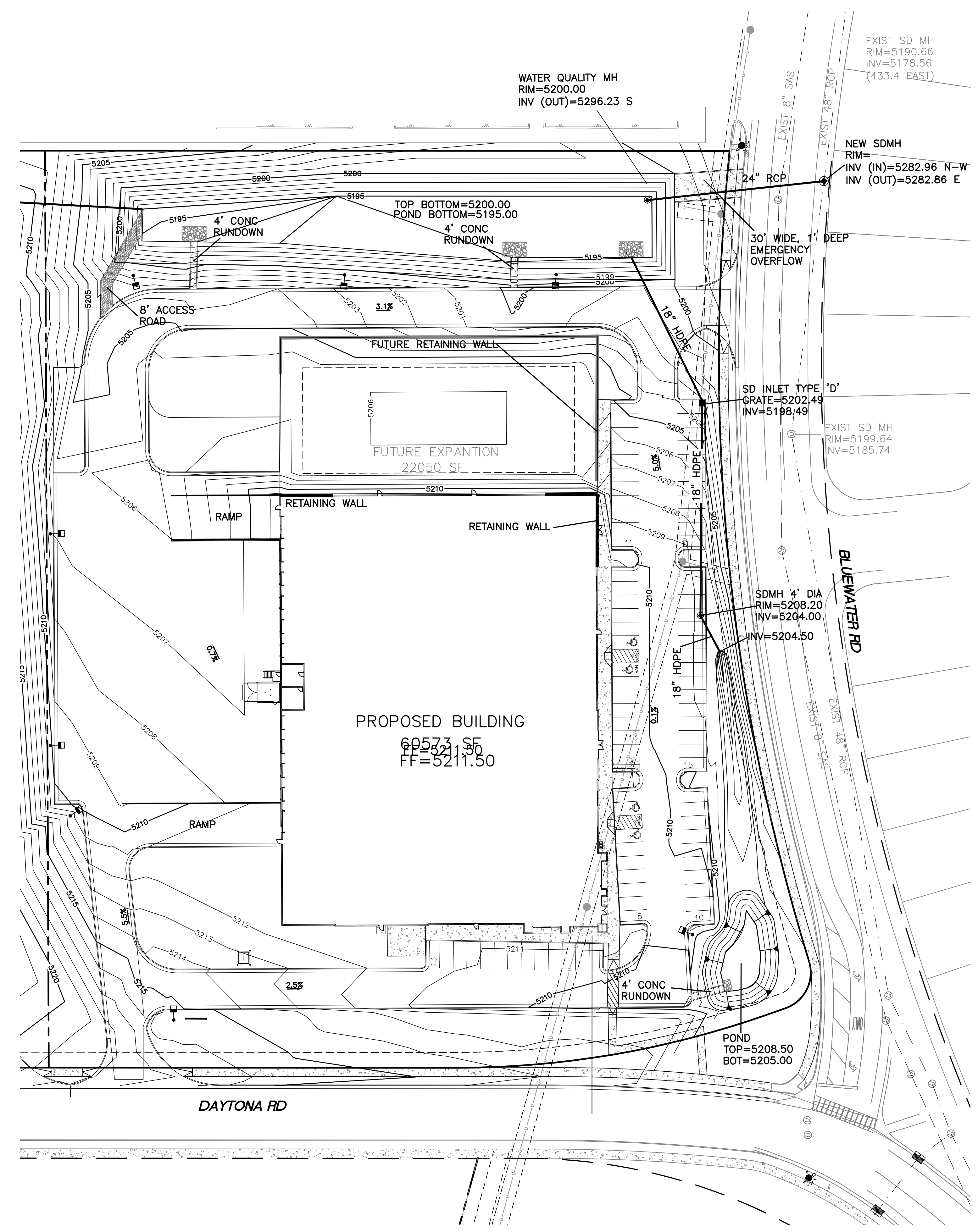
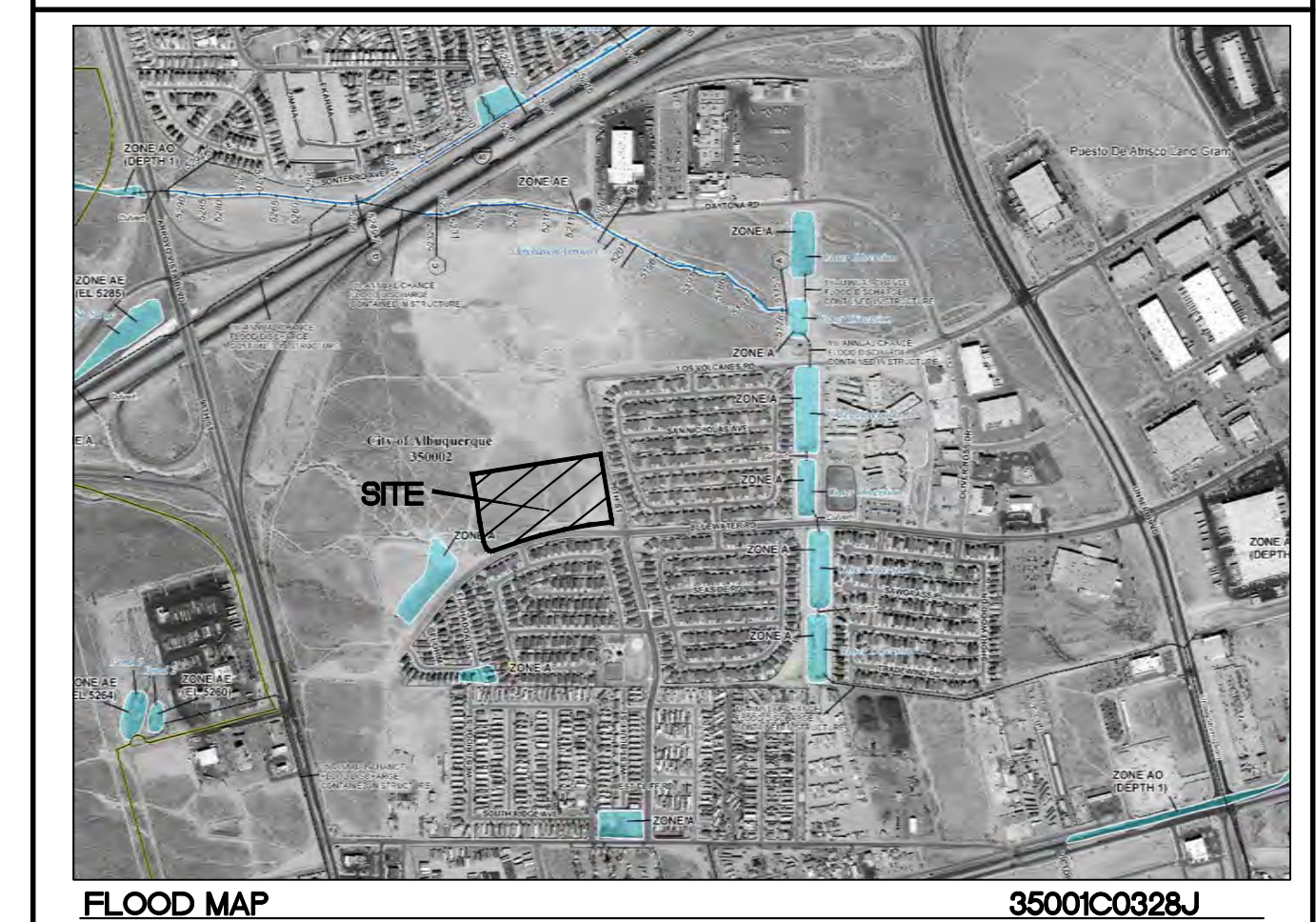
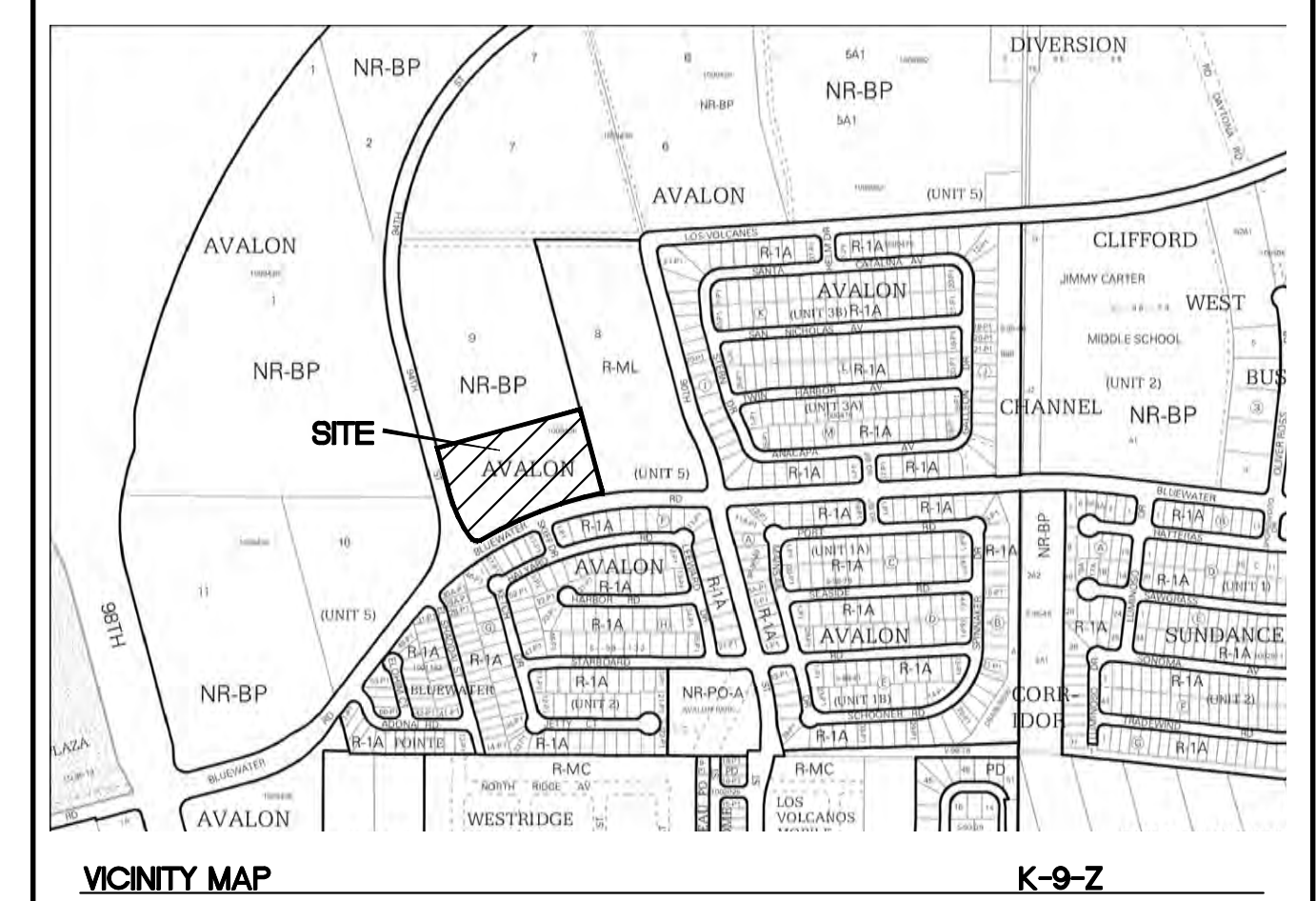
**1 TREE PLANTING ON A SLOPE** SCALE: N.T.S.



**2 SHRUB PLANTING ON A SLOPE** SCALE: N.T.S.

**LEGEND**

—	CURB & GUTTER
- - -	BOUNDARY LINE
- · - · -	EASEMENT LINE
- · - -	CENTERLINE
- - - - -	RIGHT-OF-WAY
▭	BUILDING
▨	SIDEWALK
- · - · -	EXISTING CURB & GUTTER
- - -	EXISTING BOUNDARY LINE
▬	RETAINING WALL



**NOTICE TO CONTRACTORS**

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3\"/>

**EXISTING DRAINAGE:**

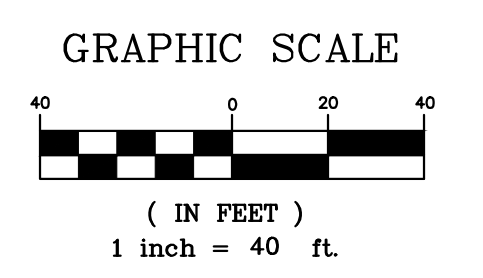
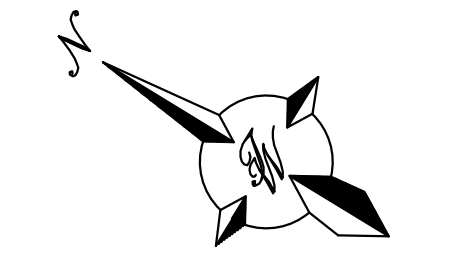
THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE SOUTHEAST CORNER OF BLUEWATER RD AND DAYTONA RD. THE SITE IS BOUNDED BY ROADS ON THE WEST AND SOUTH SIDES AND A MULTIFAMILY DEVELOPMENT ON THE EAST SIDE AND VACANT PROPERTY ON THE NORTH SIDE. IT CONTAINS APPROXIMATELY 6.41 ACRES. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHEAST WITH MOST OF IT DRAINING INTO BLUEWATER ROAD EXISTING STORM DRAIN. ACCORDING TO AN APPROVED MASTER DRAINAGE PLAN (K09D041) COMPLETED BY BOHANNAN HUSTON INC. THE ALLOWABLE DEVELOPED DISCHARGE FROM THE SITE TO THE EXISTING SEWER IN BLUEWATER IS 1.5 CFS PER ACRE. THE SITE IS NOT LOCATED WITH IN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE OFFSITE FLOWS THAT ENTER THE SITE FROM THE NORTH.

**PROPOSED DRAINAGE:**

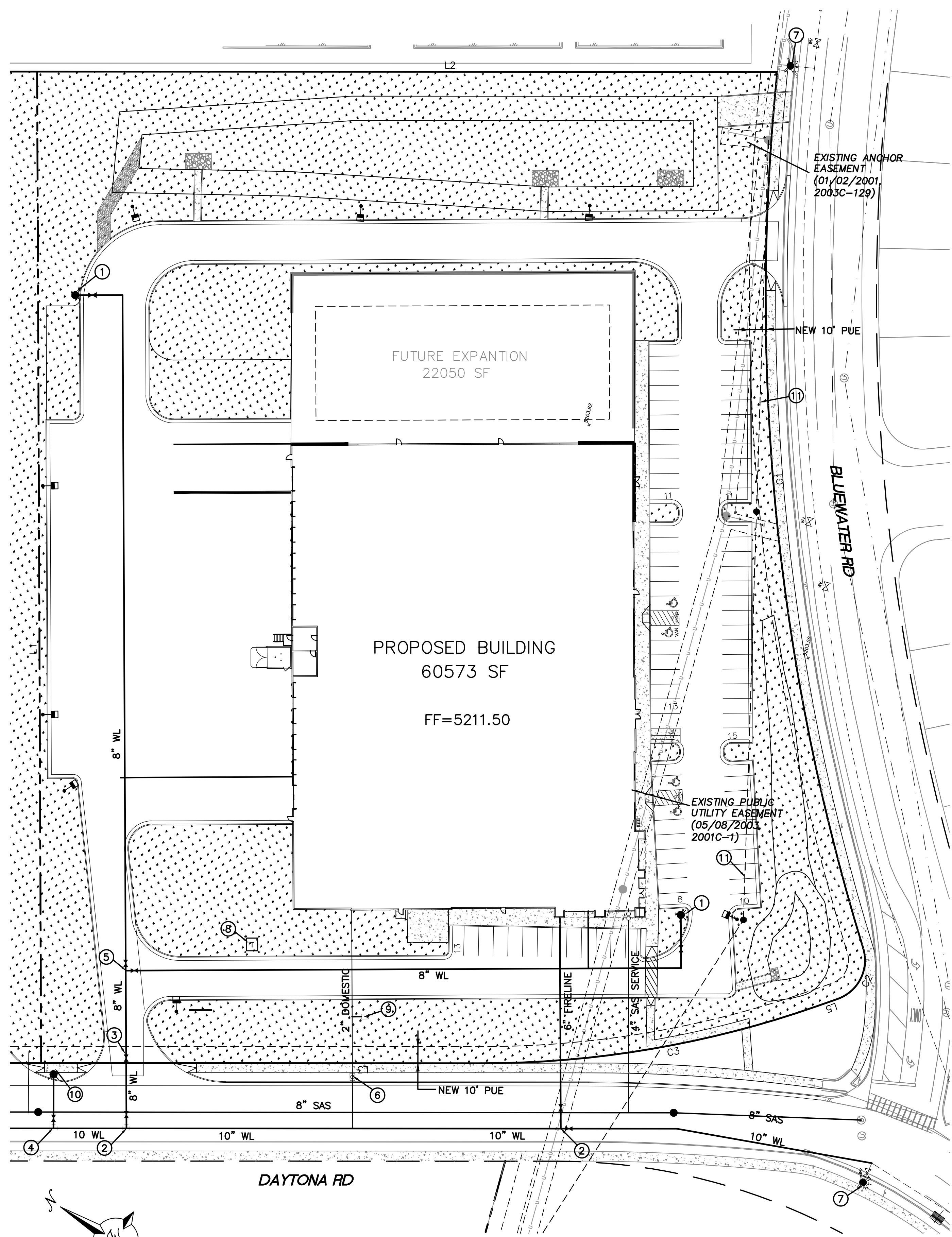
THE SITE WILL DRAIN TO THE SOUTHEAST CORNER OF THE SITE INTO A PROPOSED DETENTION POND. THE POND WILL DISCHARGE AT THE CONTROLLED RATE OF 1.5 CFS PER ACRE TO THE EXISTING STORM DRAIN IN BLUEWATER ROAD. THIS POND WILL ALSO RETAIN THE WATER QUALITY VOLUME FOR THIS PARCEL.

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	<b>BLUE SKY DISTRIBUTING</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>CONCEPTUAL GRADING</b> <b>AND DRAINAGE PLAN</b>	DATE 12-6-21
12-6-21 RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K.DWG
		SHEET # <b>GR-1</b>
		JOB # 2020088



**LEGEND**

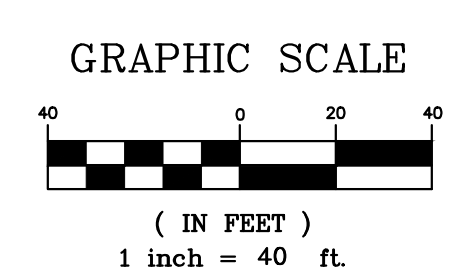
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	RETAINING WALL
	8" SAS
	8" WL
	PROPOSED HYDRANT
	NEW SAS MH
	NEW WATER METER

- KEYED NOTES**
- ① NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 (PRIVATE)
  - ② 10"x10"x8" TEE  
10" GATE VALVE N=\_\_\_\_\_, E=\_\_\_\_\_ (PUBLIC)  
8" GATE VALVE N=\_\_\_\_\_, E=\_\_\_\_\_ (PUBLIC)
  - ③ 8" GATE VALVE (PRIVATE)
  - ④ 10"x10"x6" TEE  
6" GATE VALVE N=\_\_\_\_\_, E=\_\_\_\_\_ (PUBLIC)
  - ⑤ 8"x8"x8" TEE  
2-8" GATE VALVE
  - ⑥ 2" WATER METER PER COA STD DWG 2367
  - ⑦ EXISTING FIRE HYDRANT (PUBLIC)
  - ⑧ TRANSFORMER
  - ⑨ IRRIGATION METER SERVICE/BFP
  - ⑩ NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 (PUBLIC)
  - ⑪ PROPOSED RELOCATION OF OVERHEAD POWER LINE

- GENERAL UTILITY NOTES:**
1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
  2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
  3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
  4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
  5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
  6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
  7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
  8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
  9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
  10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
  11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
  12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**INSPECTION NOTE**  
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

**CAUTION**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	<b>BLUE SKY DISTRIBUTING</b> <b>ALBUQUERQUE, NM</b>	DRAWN BY pm
	<b>CONCEPTUAL MASTER</b> <b>UTILITY PLAN</b>	DATE 12-6-21
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K-MU.DWG
RONALD R. BOHANNAN P.E. #7868	SHEET # <b>MU-1</b>	JOB # 2020088



REV	DATE	DESCRIPTION

PROJECT NUMBER  
14983

DATE  
11/05/2021  
DESIGN REVIEW SET

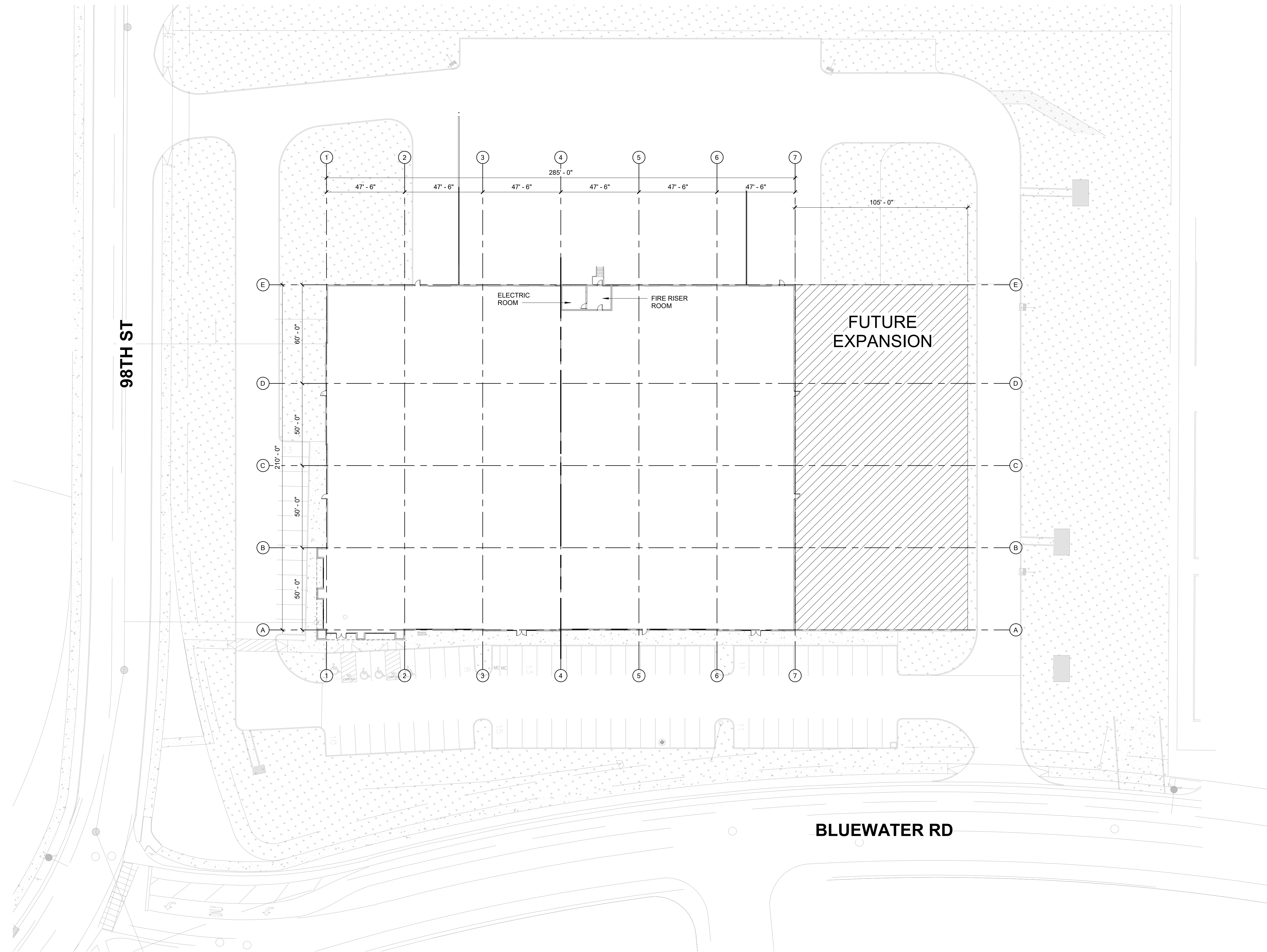
DESIGNED: JRV  
 DRAWN: TRH  
 REVIEWED: CDR

SHEET TITLE

ARCHITECTURAL SITE PLAN

SHEET NUMBER

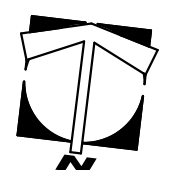
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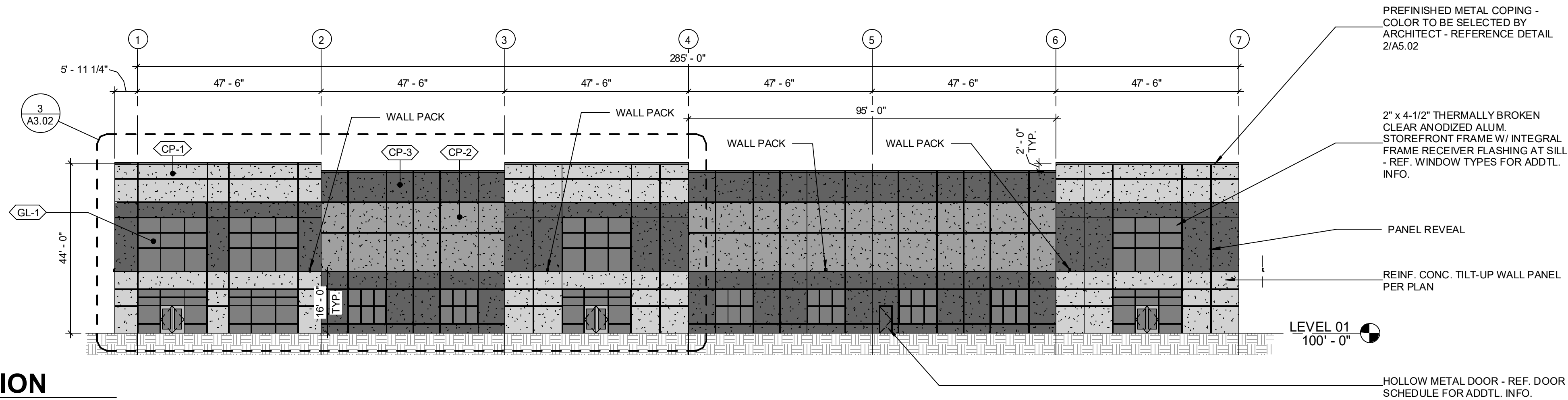
A3.01 | A1.01 SCALE: 1" = 30'-0"

**ARCHITECTURAL SITE PLAN**



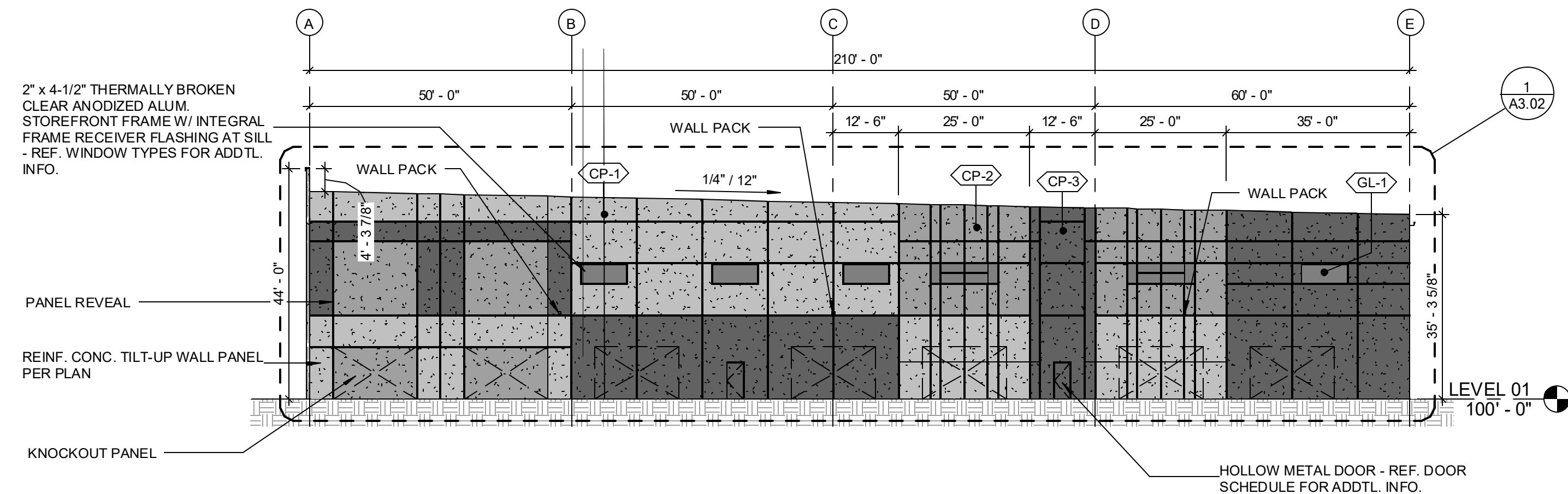
**MATERIAL & FINISH LEGEND**

- CONCRETE, PAINTED 1 : CP-1/LIGHT GRAY
- CONCRETE, PAINTED 2 : CP-2/MEDIUM GRAY
- CONCRETE, PAINTED 3 : CP-3/DARK GRAY
- GLAZING 1 : GL-1



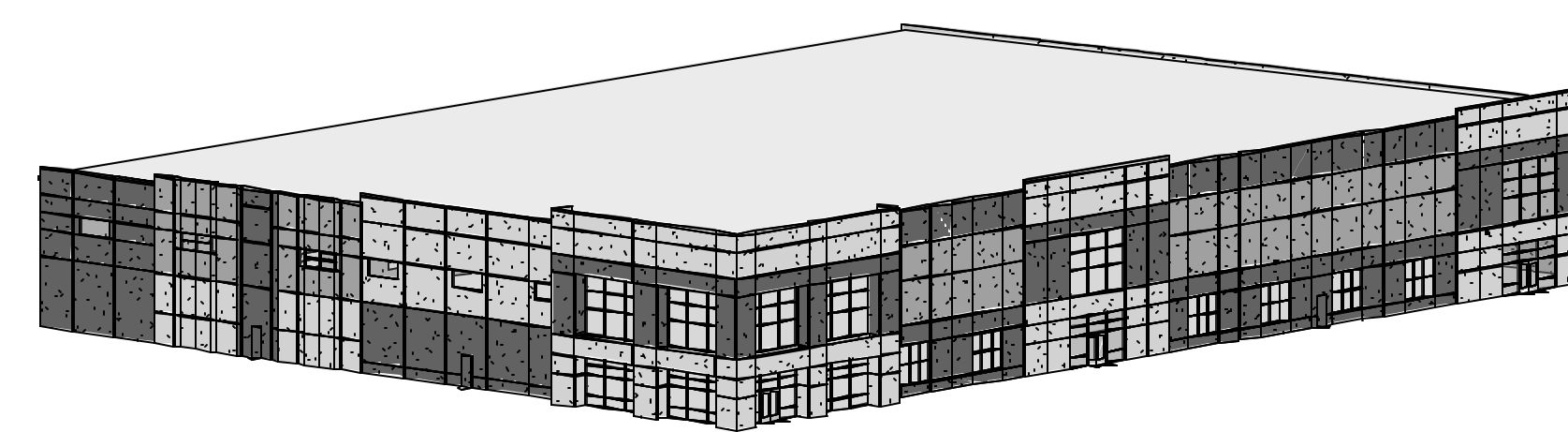
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SCALE: 1" = 20'-0"

A1.10/A3.01



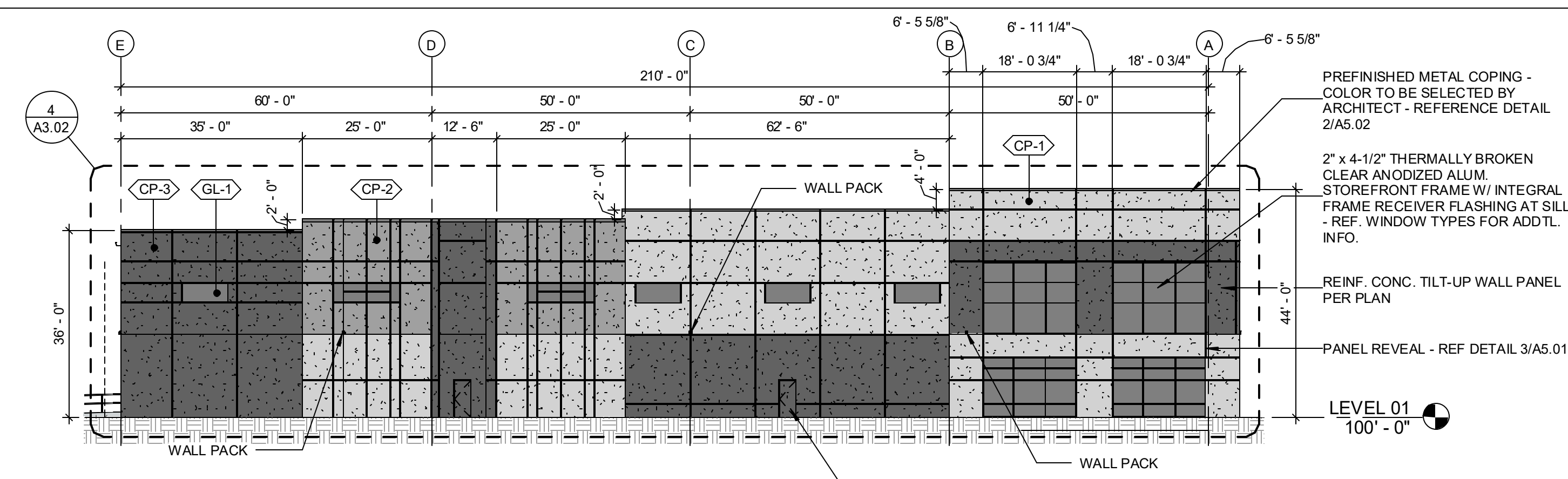
**OVERALL EAST ELEVATION**  
SCALE: 1" = 20'-0"

A1.10/A3.01



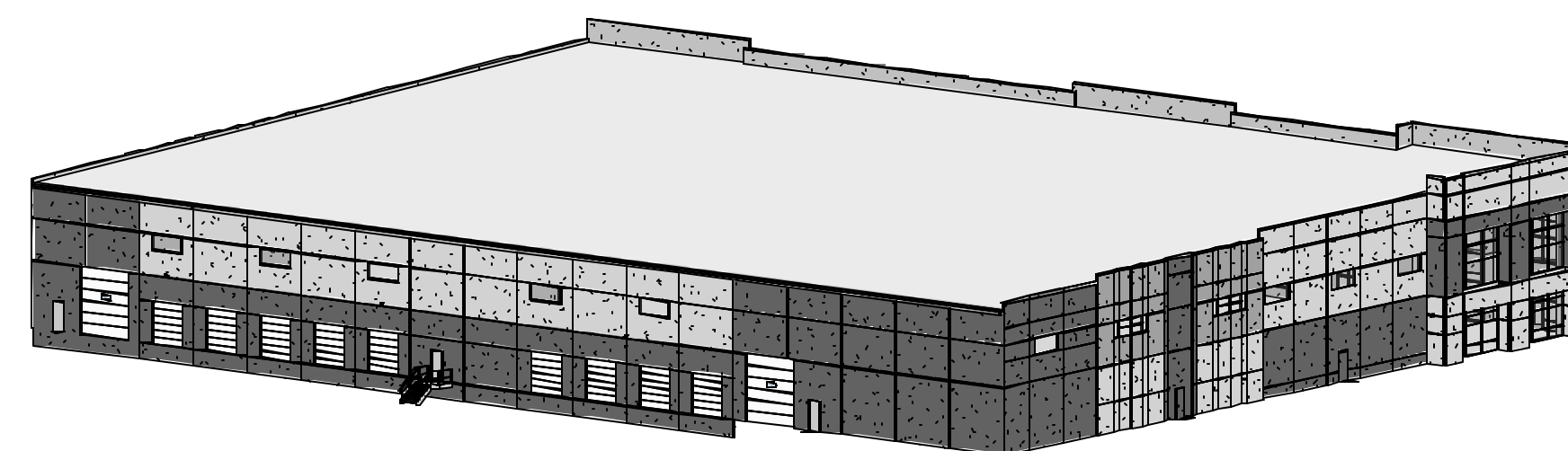
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A3.01



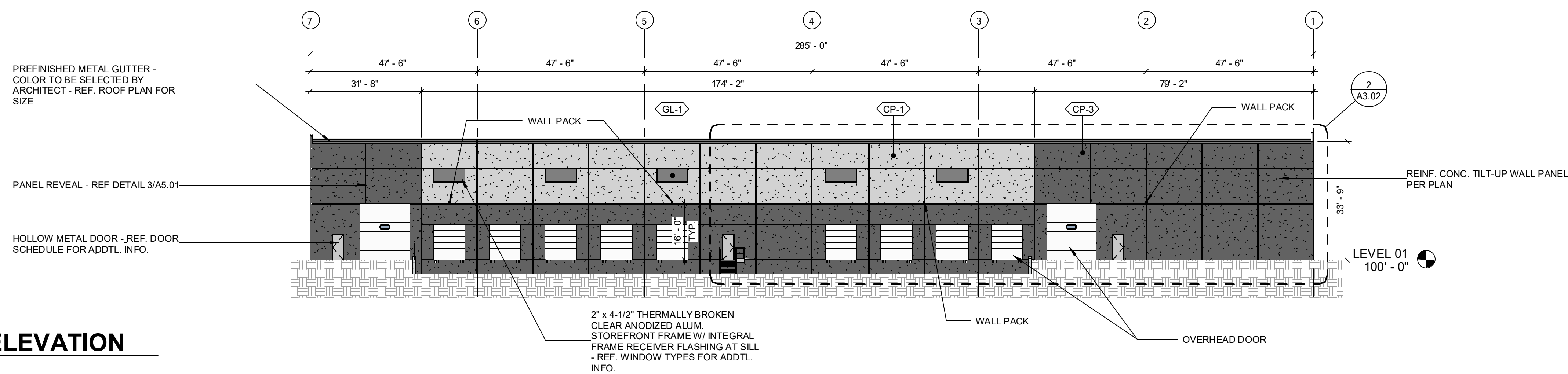
**OVERALL WEST ELEVATION**  
SCALE: 1" = 20'-0"

A1.10/A3.01



**REAR AXON**  
SCALE:

A3.01



**OVERALL NORTH ELEVATION**  
SCALE: 1" = 20'-0"

A1.10/A3.01



9801 Renner Blvd. Ste. 300  
Lenexa, KS 66219  
913.492.0400  
gbateam.com

**14983 - WESTPOINTE40 - 60K**

ALBUQUERQUE NM



REV	DATE	DESCRIPTION

PROJECT NUMBER  
14983

DATE  
11/05/2021  
DESIGN REVIEW SET

DESIGNED: JRV  
DRAWN: TRH  
REVIEWED: CDR

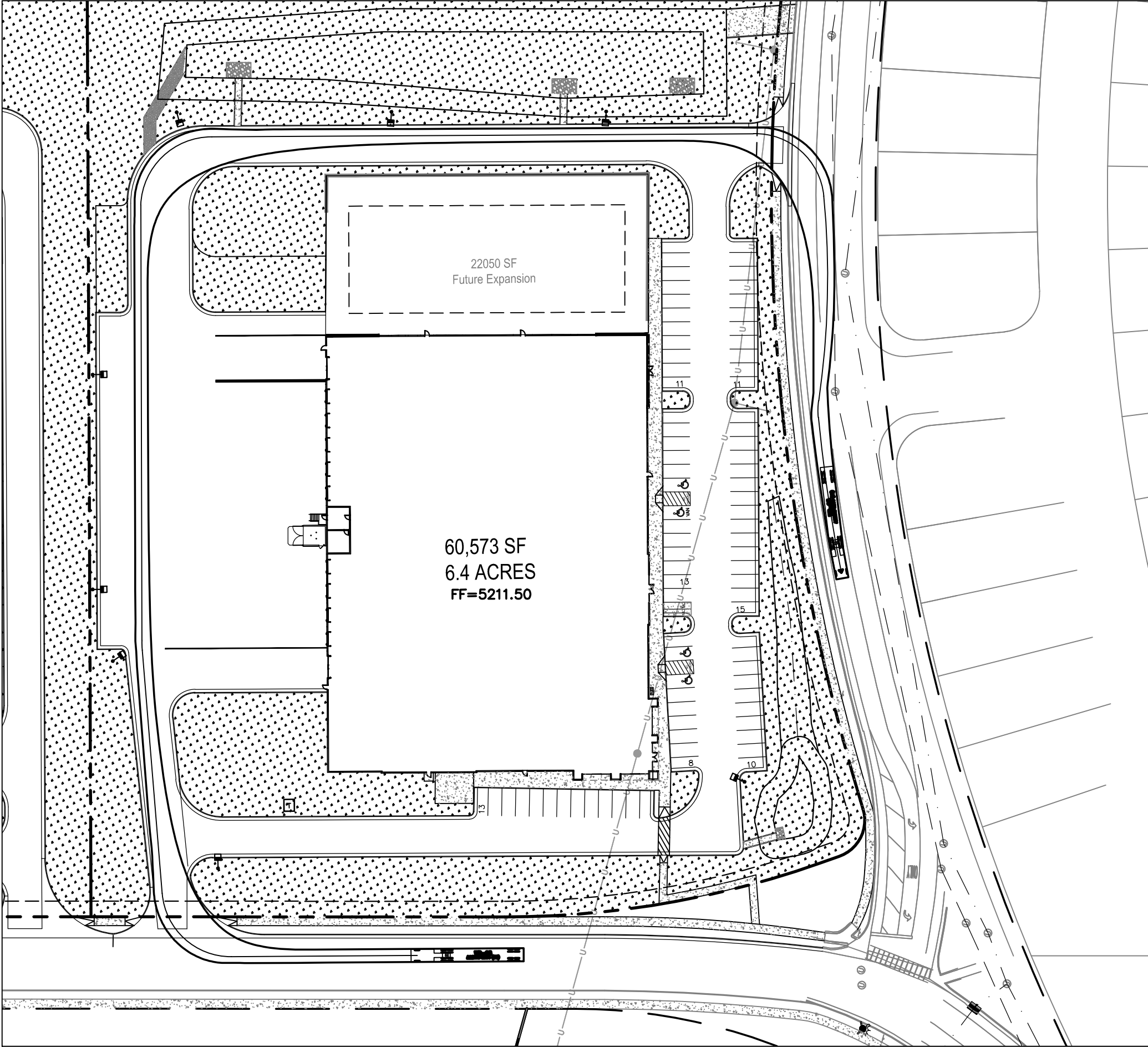
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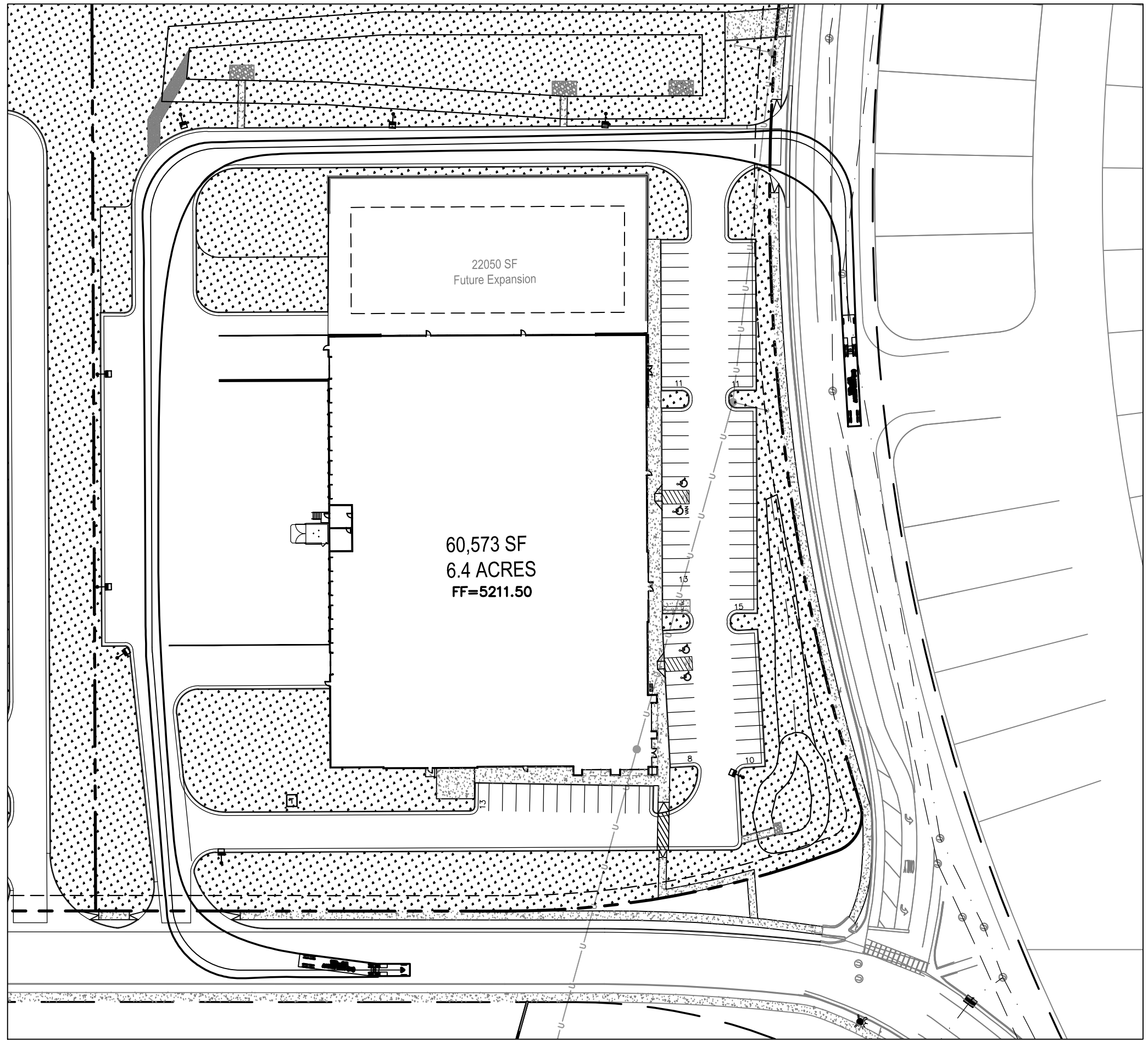
EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER

**A3.01**

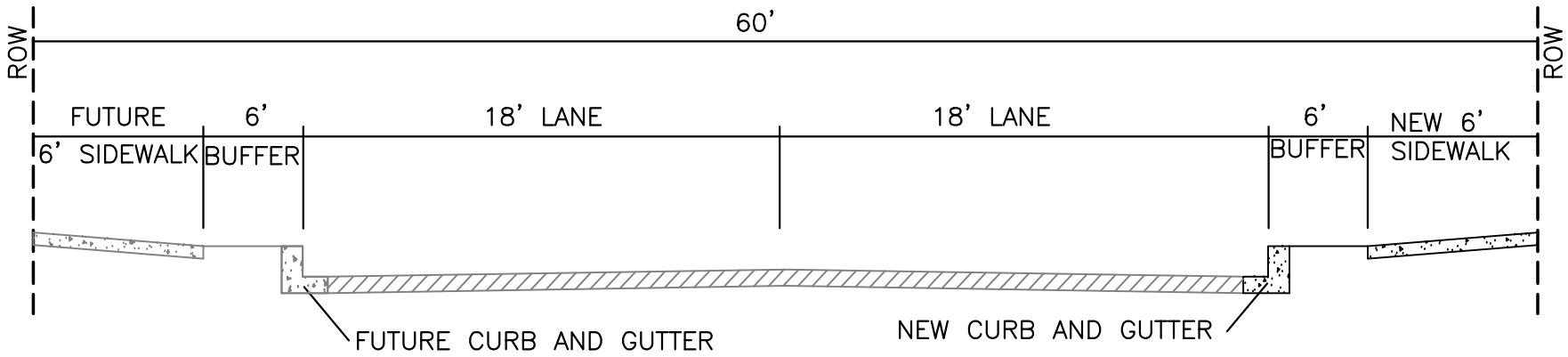
© George Butler Associates, Inc. 2019  
Engineering COA# E-92  
Architecture COA# A-45  
Land Surveying COA# LS-8



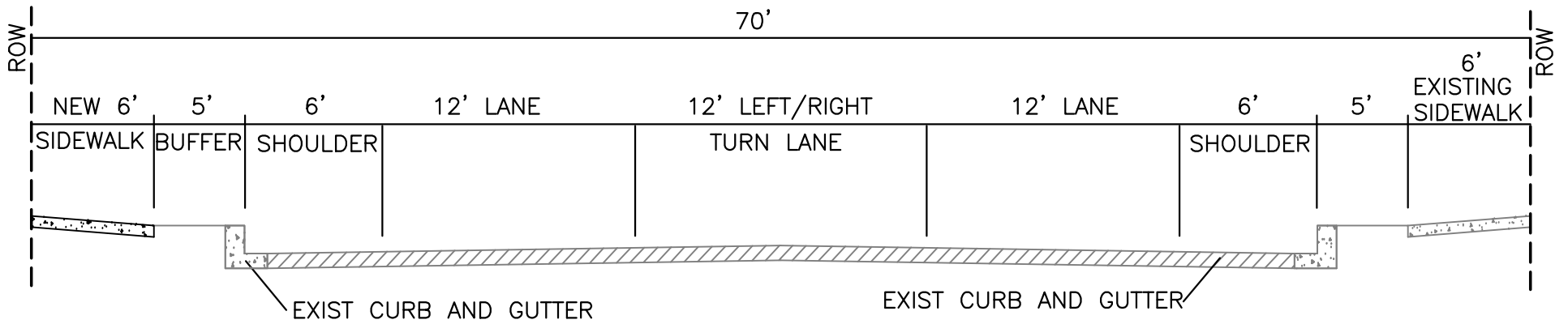


60,573 SF  
6.4 ACRES  
FF=5211.50

22050 SF  
Future Expansion



### DAYTONA RD SECTION



### BLUEWATER RD SECTION



Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: \_\_\_\_\_

**INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_

(Rev. 2-16-18)

Date Preliminary Plat Approved: \_\_\_\_\_

**EXHIBIT "A"**

Date Preliminary Plat Expires: \_\_\_\_\_

**TO SUBDIVISION IMPROVEMENTS AGREEMENT**

DRB Project No.: \_\_\_\_\_

**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

DRB Application No.: \_\_\_\_\_

**BLUE SKY DISTRIBUTING**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**TRACT 9B AVALON SUBDIVISION UNIT 5**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24' F-Edge	Major Local Paving, Curb & Gutter 6' Sidewalk (east side)	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>		6' Sidewalk (North side)	Bluewater Road	West Property Line	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	8"	SAS Gravity Line	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	10"	Water PVC Line	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	30" - 42"	Storm Drain RCP	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>		Pond & Storm Drain with an Agreement & Covenant & Public Drainage Easement	Tract 9B	East Side Of Tract 9B		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature      Date							City User Dept. Signature      Date		

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 Storm drain to include manholes and inlets

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<b>AGENT / OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
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NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	CITY ENGINEER - date	_____ - date

<b>DESIGN REVIEW COMMITTEE REVISIONS</b>
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER