



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

SUBDIVISIONS	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	PRE-APPLICATIONS
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
SITE PLANS	<input type="checkbox"/> Waiver to IDO (Form V2)	APPEAL
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

BRIEF DESCRIPTION OF REQUEST

Site Plan approval for an approximately 60,000 square foot warehouse and distribution facility and an approximate 20,000 square foot expansion area on a 6.4 acre portion of the subject property.

APPLICATION INFORMATION		
Applicant: 98th and I-40 Land, LLC		Phone: (505) 998-0163
Address: 6300 Riverside Plaza Lane NW, Suite 200		Email:
City: Albuquerque	State: NM	Zip: 87120
Professional/Agent (if any): Consensus Planning, Inc.		Phone: (505) 764-9801
Address: 302 8th Street NW		Email: vos@consensusplanning.com
City: Albuquerque	State: NM	Zip: 87102
Proprietary Interest in Site: Owner	List <u>all</u> owners: 98th and I-40 Land, LLC	
SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.: Tract 9	Block:	Unit: Unit 5
Subdivision/Addition: Avalon Subdivision	MRGCD Map No.:	UPC Code: 100905719339420401
Zone Atlas Page(s): K-09	Existing Zoning: NR-BP	Proposed Zoning No Change
# of Existing Lots: 1	# of Proposed Lots: 2	Total Area of Site (Acres): 16.1 acres
LOCATION OF PROPERTY BY STREETS		
Site Address/Street: 99999 Bluewater Road NW	Between: 94th Street NW	and: 90th Street NW
CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)		
PR-2021-006070		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 11/5/21
Printed Name: Michael J. Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY					
Case Numbers	Action	Fees	Case Numbers	Action	Fees
Meeting Date:				Fee Total:	
Staff Signature:	Date:			Project #	

FORM P2: SITE PLAN – DRB

Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

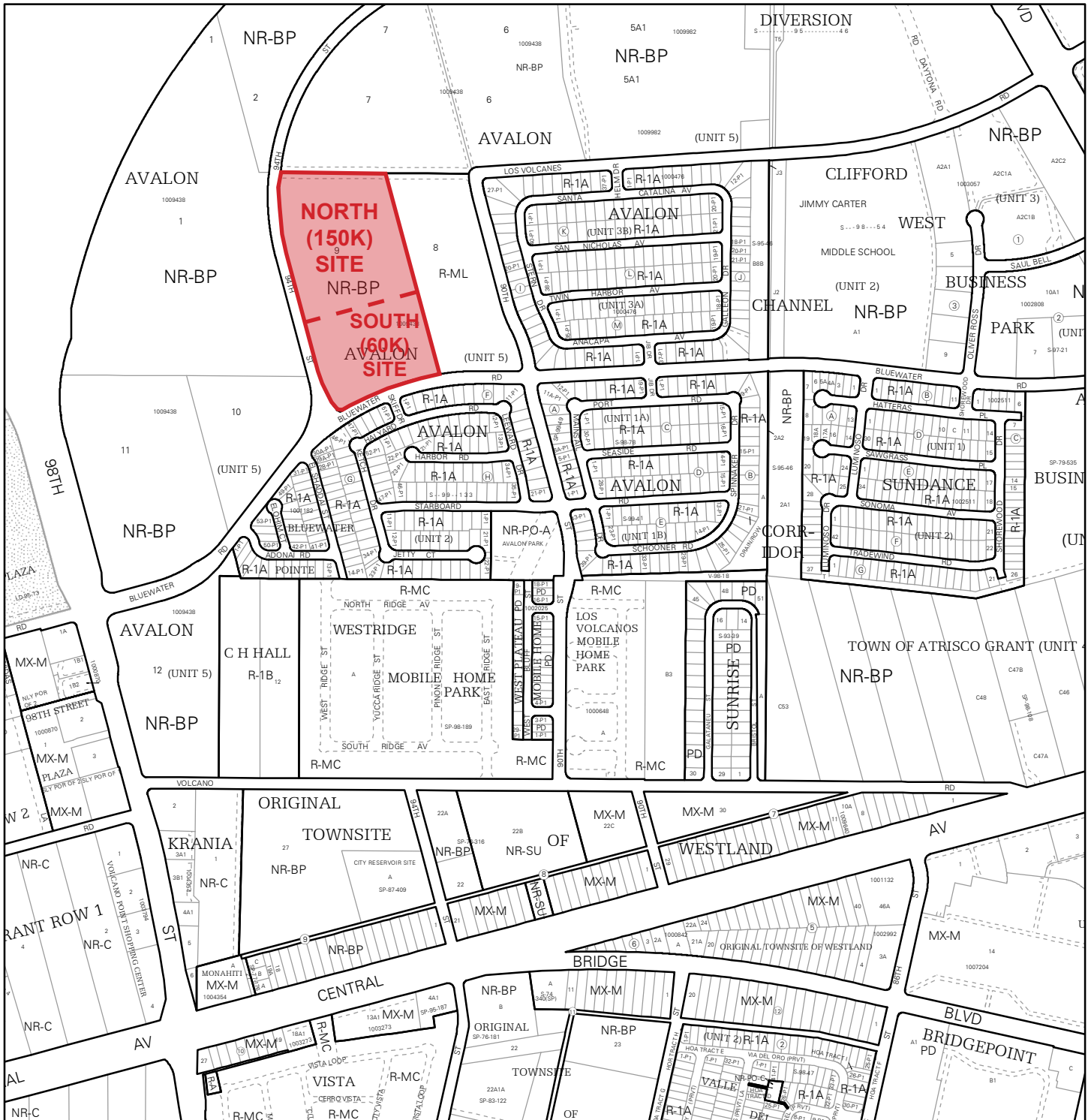
SITE PLAN – DRB

MAJOR AMENDMENT TO SITE PLAN – DRB

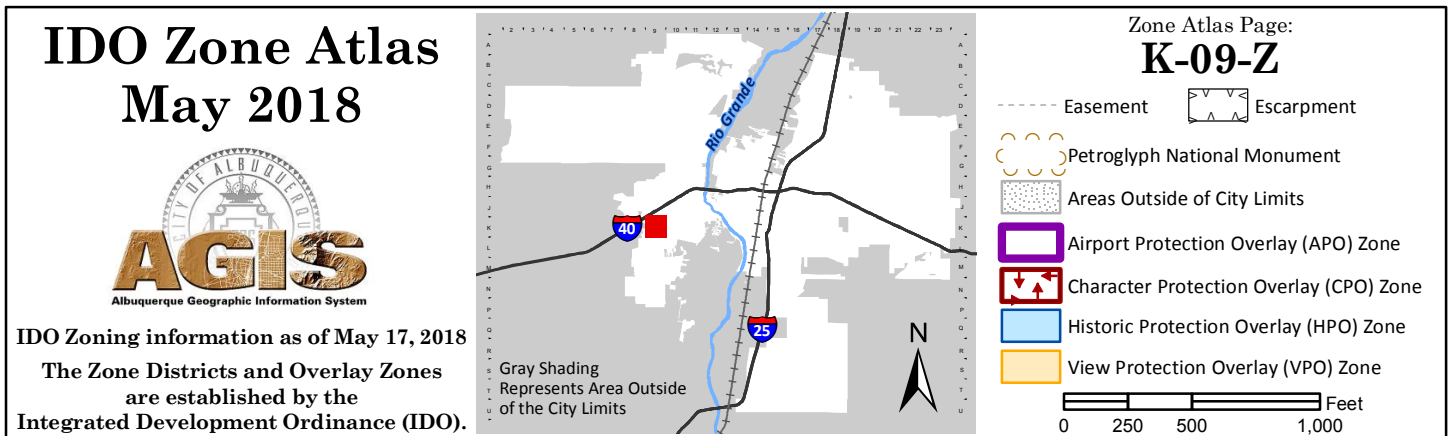
EXTENSION OF SITE PLAN – DRB

- Interpreter Needed for Hearing? No if yes, indicate language: _____
- PDF of application as described above
- Zone Atlas map with the entire site clearly outlined and labeled
- Letter of authorization from the property owner if application is submitted by an agent
- Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)
- Signed Traffic Impact Study (TIS) Form
- Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)
- Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)
Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.
- Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)
- Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)(not required for extension)
 - Office of Neighborhood Coordination neighborhood meeting inquiry response
 - Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
 - Completed neighborhood meeting request form(s)
- N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes
- Sign Posting Agreement
- Required notices with content per IDO Section 14-16-6-4(K)(1) (not required for extension)
 - Office of Neighborhood Coordination notice inquiry response
 - Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
 - Proof of emailed notice to affected Neighborhood Association representatives
 - Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- Completed Site Plan Checklist
- Site Plan and related drawings
- N/A Copy of the original approved Site Plan or Master Development Plan (for amendments and extensions)
- Site Plan and related drawings
- Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- N/A Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.) if site is within a designated landfill buffer zone
- Infrastructure List, if required

<i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</i>	
Signature:	Date: 11/5/21
Printed Name: Michael J. Vos, AICP	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Case Numbers:	Project Number:
Staff Signature:	
Date:	



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>





**REAL ESTATE INVESTING
+ DEVELOPMENT EXPERTISE**

November 4, 2021

Ms. Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
Planning Department
600 Second Street NW
Albuquerque, New Mexico 87102

RE: Westpointe40 Industrial Park Site Plan Applications

Dear Chairperson Wolfley:

The purpose of this letter is to authorize Consensus Planning, Tierra West, and GBA to act as our agents for approval of two Site Plan – DRB applications for light industrial/warehouse buildings and related actions for development of the below referenced property.

Legal Description: Tract 9, Plat of Tracts 1 thru 12 Avalon Subdivision Unit 5, containing 16.103 acres
98th and I-40 Land, LLC is the owner of the property. Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "Ben Spencer", with a long horizontal flourish extending to the right.

Ben Spencer

Managing Member

98th and I-40 Land, LLC

NEW MEXICO
6300 Riverside Plaza, Ste. 200
Albuquerque, NM 87120

TEXAS
4903 Woodrow Ave, Bldg A
Austin, TX 78756

TITAN DEVELOPMENT

www.titan-development.com
www.tdrefii.fund
www.tdref.fund



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: October 4, 2021

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): 2021-006070
Agent: Tierra West, LLC
Applicant: 98th & I-40 Land, LLC
Legal Description: TR 9 Plat of Trs 1 thru 12 Avalon SUBD Unit 5
Zoning: NR-BP
Acreage: 16.103
Zone Atlas Page(s): K-9-Z

CERTIFICATE OF NO EFFECT: Yes No
CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Historic Google Earth images

SITE VISIT: N/A

RECOMMENDATIONS:

The area appears to have been completely bladed along with other development (buildings, parking) by 2002.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

Douglas H. M. Boggess 10-4-2021

Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

SUBMITTED TO:

Planning, Development Services



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 12/2020)

Project Title: Westpointe 40 Building Permit #: _____ Hydrology File #: K09D041
Zone Atlas Page: K-09 DRB#: PR-2021-006070 EPC#: 1000984/1009438 Work Order#: _____
Legal Description: Tract 9, Plat of Avalon Subdivision Unit 5
City Address: 99999 Bluewater Road NW

Applicant: 98th and I-40 Land, LLC (Agent: Consensus Planning) Contact: Michael Vos, AICP
Address: 302 8th Street NW, Albuquerque, NM 87102
Phone#: (505) 764-9801 Fax#: _____ E-mail: vos@consensusplanning.com

Development Information

Build out/Implementation Year: _____ Current/Proposed Zoning: NR-BP

Project Type: New: Change of Use: () Same Use/Unchanged: () Same Use/Increased Activity: ()

Proposed Use (mark all that apply): Residential: () Office: () Retail: () Mixed-Use: ()

Describe development and Uses:

Two site plans for industrial park buildings approximately 150,000 and 60,000 square feet in size and subdivision of the existing lot to facilitate the two separate projects.

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): Combined total of approximately 210,000 square feet

Number of Residential Units: _____

Number of Commercial Units: _____

Traffic Considerations

Expected Number of Daily Visitors/Patrons (if known):* _____

Expected Number of Employees (if known):* _____

Expected Number of Delivery Trucks/Buses per Day (if known):* _____

Trip Generations during PM/AM Peak Hour (if known):* _____

Driveway(s) Located on: Street Name Bluewater Road and 94th Street

Adjacent Roadway(s) Posted Speed: Street Name Bluewater Road Posted Speed 35 mph

Street Name _____ Posted Speed _____

ITE Trip Gen land Use
#130 Industrial Park,
210,000 sq ft
AM peak 95 trips
PM peak 90 trips

* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Major Collector
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: Bluewater: approx. 12,000 Volume-to-Capacity Ratio: _____
98th: approx. 37,000 (if applicable)

Adjacent Transit Service(s): N/A Nearest Transit Stop(s): 98th and Central; Central and Unser

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Proposed bike lanes on Bluewater and 98th
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: Sidewalks to be built with proposed projects and connect to existing

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidid=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No Borderline []

Thresholds Met? Yes [] No

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M. P. ... P.E.

11/4/2021

TRAFFIC ENGINEER

DATE



Submittal

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to the City Traffic Engineer mgrush@cabq.gov . Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify v/c ratio on this form.

FORM DRWS: DRAINAGE REPORT/GRADING AND DRAINAGE PLAN / WATER & SANITARY SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR SUBDIVISIONS AND SITE PLANS.

PROJECT NAME: Blue Sky Distributing

AGIS MAP # K-09-Z

LEGAL DESCRIPTIONS: Portion of tract 9 Avalon Subdivision Unit 5

DRAINAGE REPORT/GRADING AND DRAINAGE PLAN

A drainage report/grading and drainage plan, as per the Drainage Ordinance, was submitted to the City of Albuquerque Planning Department, Hydrology Division (2nd /Ground Floor, Plaza del Sol) on ~~11/04/2021~~
10/20/2021 (date).



Applicant/Agent

11/04/2021
Date

Ernest Armijo

Hydrology Division Representative

11/4/2021
Date

NOTE: A GRADING AND DRAINAGE PLAN MUST BE APPROVED PRIOR TO DRB APPROVAL

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested to the ABCWUA (2nd/Ground floor, Plaza del Sol) on #210915 10/05/21 (date).



Applicant/Agent

11/04/2021
Date

Edwin Bergeron

ABCWUA Representative

11/04/2021
Date

PROJECT # _____



November 4, 2021

Development Review Board
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: Request for Site Plan – DRB Approval

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

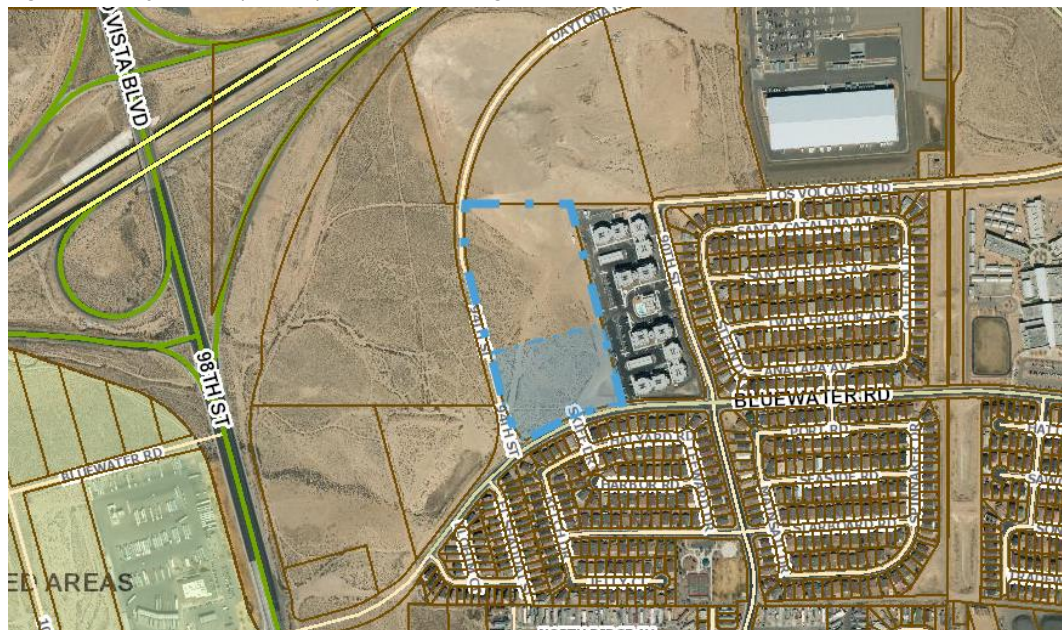
(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Chair Wolfley:

The purpose of this letter is to request approval of a Site Plan – DRB for an approximately 6.4-acre site located at the northeast corner of Bluewater Road and 94th Street NW. The property is the southern portion of the tract legally described as Tract 9 of the Avalon Subdivision Unit 5, which contains a total of 16.1 acres. A replat will be processed concurrently with this site plan request to subdivide the existing tract and create the parcel for this development. A second Site Plan – DRB request is being made for the remaining northern portion of the property as well. This request is for approval of an approximately 60,000 square foot building that is anticipated to be occupied by warehouse and wholesaling and distribution uses. Because the property is over 5 acres and the development contains more than 50,000 square feet of building, it meets the applicability thresholds for review by the Development Review Board (DRB).

The subject building will be used by a successful, local warehousing and distribution user who is in desperate need to expand the company's operations. Their expansion will create jobs for New Mexico and allow for further regional expansion of the Company's operations.

Figure 1. Subject site (in blue) and surrounding context.



PRINCIPALS

James K. Strozier, FAICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP

LAND USE AND ZONING

The site is located on the west side of Albuquerque south of Interstate 40 between Unser Boulevard and 98th Street. The Avalon neighborhood is located to the south and east of the subject site along Bluewater Road. A multi-family residential development is located immediately to the east. Other surrounding properties, and the subject site itself, are zoned NR-BP: Non-residential Business Park, which allows the proposed uses permissively.

Figure 2. Zoning

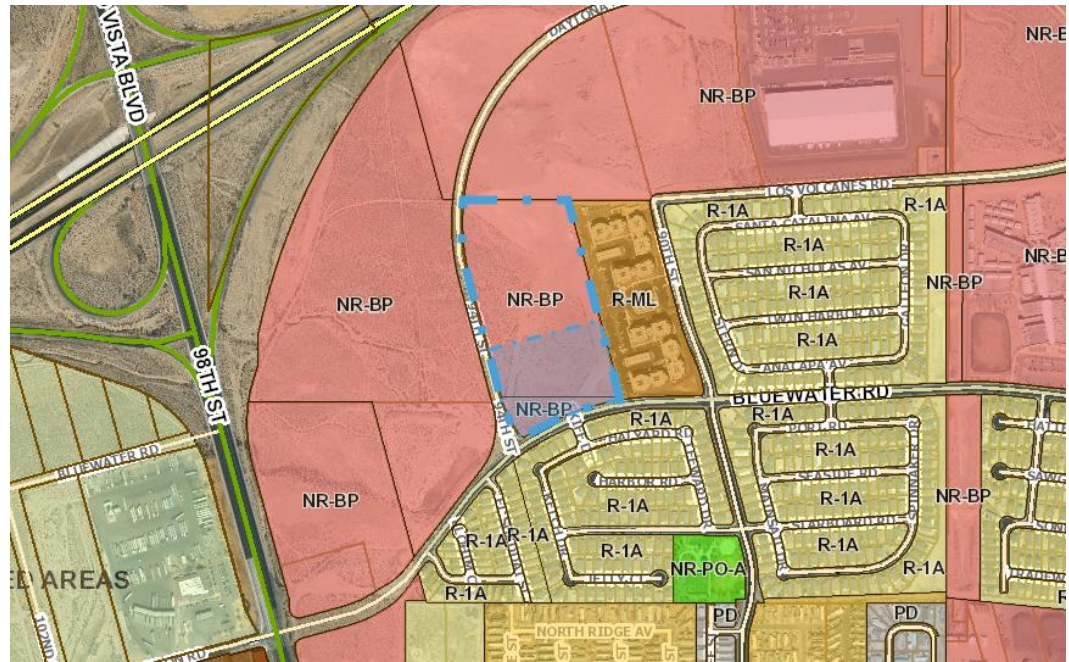
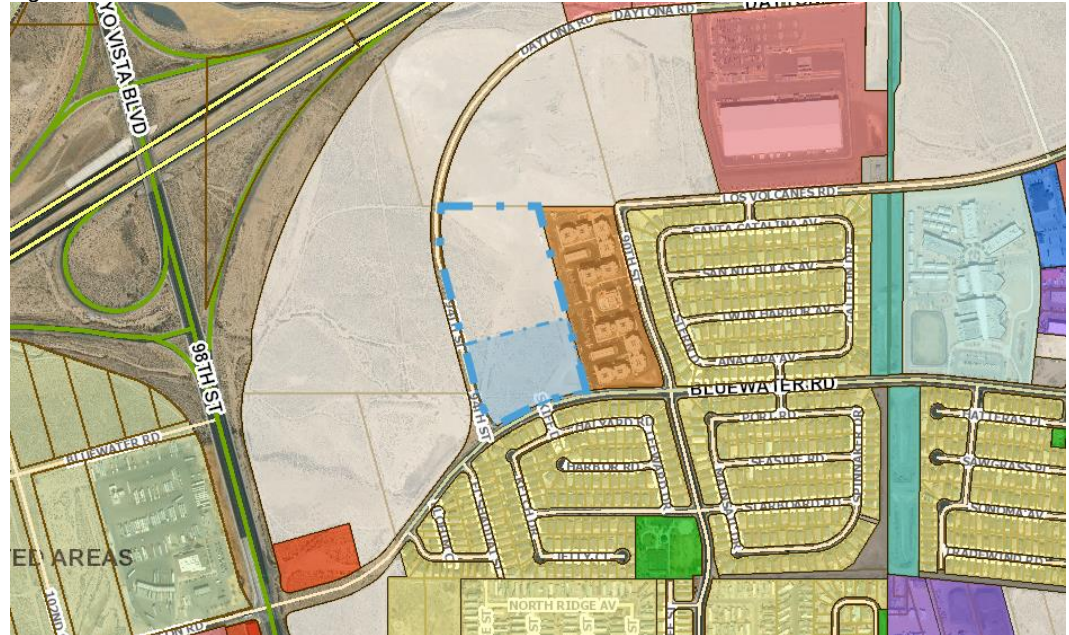


Figure 3. Land Use



REQUEST

As mentioned earlier, the request is for approval of a Site Plan – DRB for development of an approximately 60,000 square foot light industrial building. The site plan also includes a 22,050 square foot building expansion area along with necessary parking, landscaping, drainage, and truck maneuvering areas. Proposed loading areas and truck parking is at the rear (north) side of the building located away from the adjacent neighborhood to the south.

INTEGRATED DEVELOPMENT ORDINANCE (IDO) CRITERIA:

Because the proposed development meets the thresholds for review and approval by the DRB, it must meet the requirements in IDO Section 6-6(l)(3) Review and Decision Criteria. Responses to Section 6-6(l)(3) are outlined below.

6-6(l)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: The proposed uses of the property are permissive in the NR-BP zone district. There are no Overlay zones, Small Area regulations, or proximity to Major Public Open space that add additional restrictions or procedural requirements to the proposed project above the Development Standards of the IDO. The proposed building meets the dimensional standards of the applicable Table 5-1-3.

This application includes a sensitive lands analysis and archaeological certificate confirming that the proposed development meets the requirements of the IDO in these respects. The site is not in a location applicable to the cumulative impacts analysis.

The development meets the minimum parking requirements of the IDO, as well as includes the necessary pedestrian connection to the adjacent public right-of-way.

As a NR-BP site located adjacent to R-1 single-family residential to the south, the site is subject to the neighborhood edge provisions of the IDO. It complies with the building height stepdown requirement by locating the proposed building more than 100 feet away from the nearest low-density residential. Significant landscaping along the Bluewater right-of-way helps mitigate the visual impact of the development and complies with the IDO standards for the streetscape.

In general, the proposed development meets the minimum landscaping requirements of the IDO beyond the streetscape as well. More specifically, due to the abutting multi-family residential use to the east, special edge buffer landscaping is required and provided along that edge of the property. A significant setback has been created by the placement of a drainage ponding area and the east edge includes numerous trees, including many evergreens, that will create a visual screen between the properties.

Lastly, regarding building design, the request meets the minimum standards of IDO Section 5-11(E)(2)(a). Because the site is not located in a special area, no additional requirements apply beyond the general standards.



6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.

Applicant Response: There is existing infrastructure to serve the proposed development, including the recent extension of Bluewater Road to 98th Street. This development includes the installation of additional infrastructure along its frontages, including public sidewalks and construction of Daytona Road (94th Street) heading north where it will connect with the existing portion of Daytona as a bypass around the Avalon neighborhood. This design is intentional and was encouraged by the Avalon neighborhood during initial discussions with them when the land was originally replatted in 2014. As part of a larger development area, the site is included in a traffic study that has been reviewed and approved by the City of Albuquerque, which includes specific requirements and mitigation measures that ensure the surrounding road network has the necessary capacity and functions with the proposed uses and development.

In addition to the transportation infrastructure, this development will obtain approval of a conceptual grading and drainage plan and water and sewer availability that will ensure drainage and utility infrastructure can handle the proposed development. If any expansion, extension, or other change to these infrastructure systems are required because of this development, the developer will be required to complete those expansions as a condition of development, thus mitigating the impacts to the maximum extent practicable.

6-6(I)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.

Applicant Response: The subject property is not located within an approved Master Development Plan area. Per IDO Section 2-5(B)(3)(e), as a property less than 20 acres, the subject site can be subdivided, and development approved through a Site Plan per the applicability and procedures of the relevant section of the IDO. As described earlier, due to the size of the proposed project, Site Plan – DRB is the applicable approval process, and the current request satisfies the requirements of the NR-BP zone district.

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CONCLUSION

Based upon the information provided above and supporting documents, we respectfully request the DRB's review and approval of the proposed Site Plan. This project will allow for a successful local distribution user to expand their operations and create additional jobs for New Mexicans. Please do not hesitate to contact me if you have any questions or need any additional information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Michael J. Vos', written in a cursive style.

Michael J. Vos, AICP
Senior Planner

PRE-APPLICATION REVIEW TEAM (PRT) MEETING REQUEST

Pre-application Review Team (PRT) Meetings are available to help applicants identify and understand the allowable uses, development standards, and processes that pertain to their request. ***PRT Meetings are for informational purposes only; they are non-binding and do not constitute any type of approval.*** Any statements regarding zoning at a PRT Meeting are not certificates of zoning. The interpretation of specific uses allowed in any zone district is the responsibility of the Zoning Enforcement Officer (ZEO).

When you submit PRT notes to meet a Pre-application Meeting requirement in Table 6-1-1, you will be charged a \$50 PRT fee.

<i>Official Use only</i>		
PA#: _____	Received By: _____	Date: _____
APPOINTMENT DATE & TIME: _____		

Applicant Name: 98th & I-40 Land, LLC Phone#: (505) 764-9801 Email: vos@consensusplanning.com
Agent: Consensus Planning, Inc.

PROJECT INFORMATION:

For the most accurate and comprehensive responses, please complete this request as fully as possible and submit any relevant information, including site plans, sketches, and previous approvals.

Size of Site: 16.1 acres Existing Zoning: NR-BP Proposed Zoning: NR-BP

Previous case number(s) for this site: 1009438

Applicable Overlays or Mapped Areas: N/A

Residential – Type and No. of Units: _____

Non-residential – Estimated building square footage: ~210,000 sf (2 buildings) No. of Employees: _____

Mixed-use – Project specifics: _____

LOCATION OF REQUEST:

Physical Address: 99999 Bluewater Road NW Zone Atlas Page (Please identify subject site on the map and attach) K-09
Northeast corner of Bluewater and 94th Street/Daytona Road

BRIEFLY DESCRIBE YOUR REQUEST (What do you plan to develop on this site?)

Subdivide property and develop ~150,000 sf industrial/warehouse/distribution building on north portion and ~60,000 sf building on south portion.

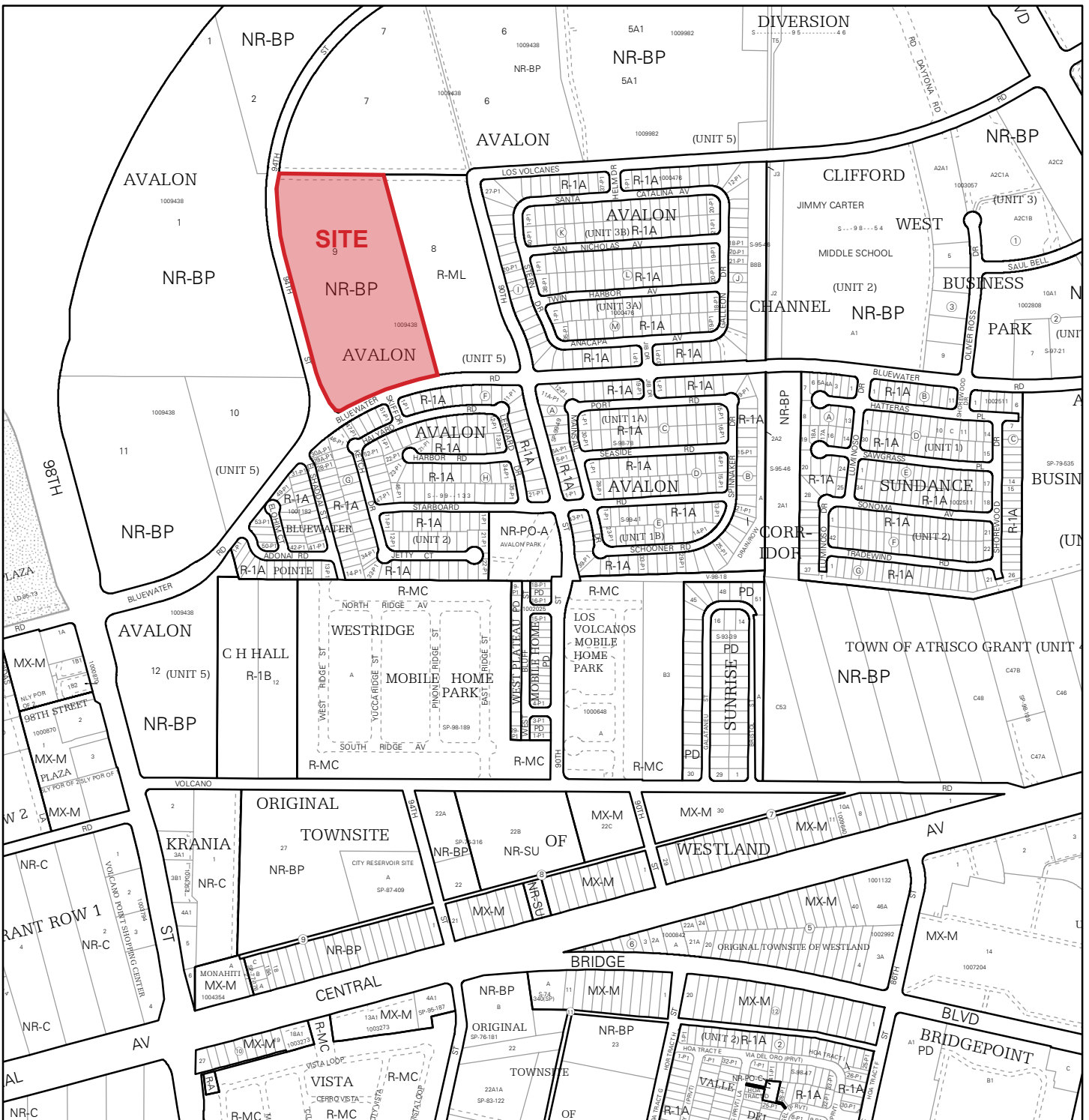
QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

Applicant is proposing two separate site plans, one for each building, as the lots may be sold separately in the future.

Any concerns with this, assuming the existing lot will be platted to match proposed site plan boundaries?

If light manufacturing is not an initial tenant in proposed building(s) and a 20-foot buffer is provided next to the adjacent multi-family residential as required by the IDO, and a manufacturing use wants to come in later, would the buffer need to be expanded at that time to accommodate the 25-foot industrial buffer? If the buffer is not able to be provided/expanded to the 25-foot width, would it preclude/prohibit the future change of use to manufacturing (variance option notwithstanding)?

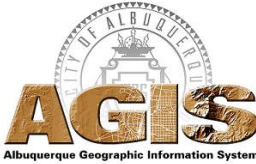
Any other concerns from staff?



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

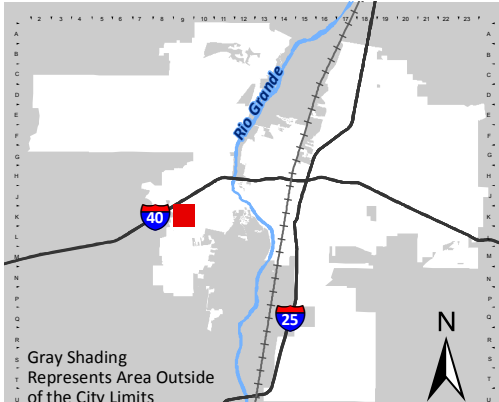


IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

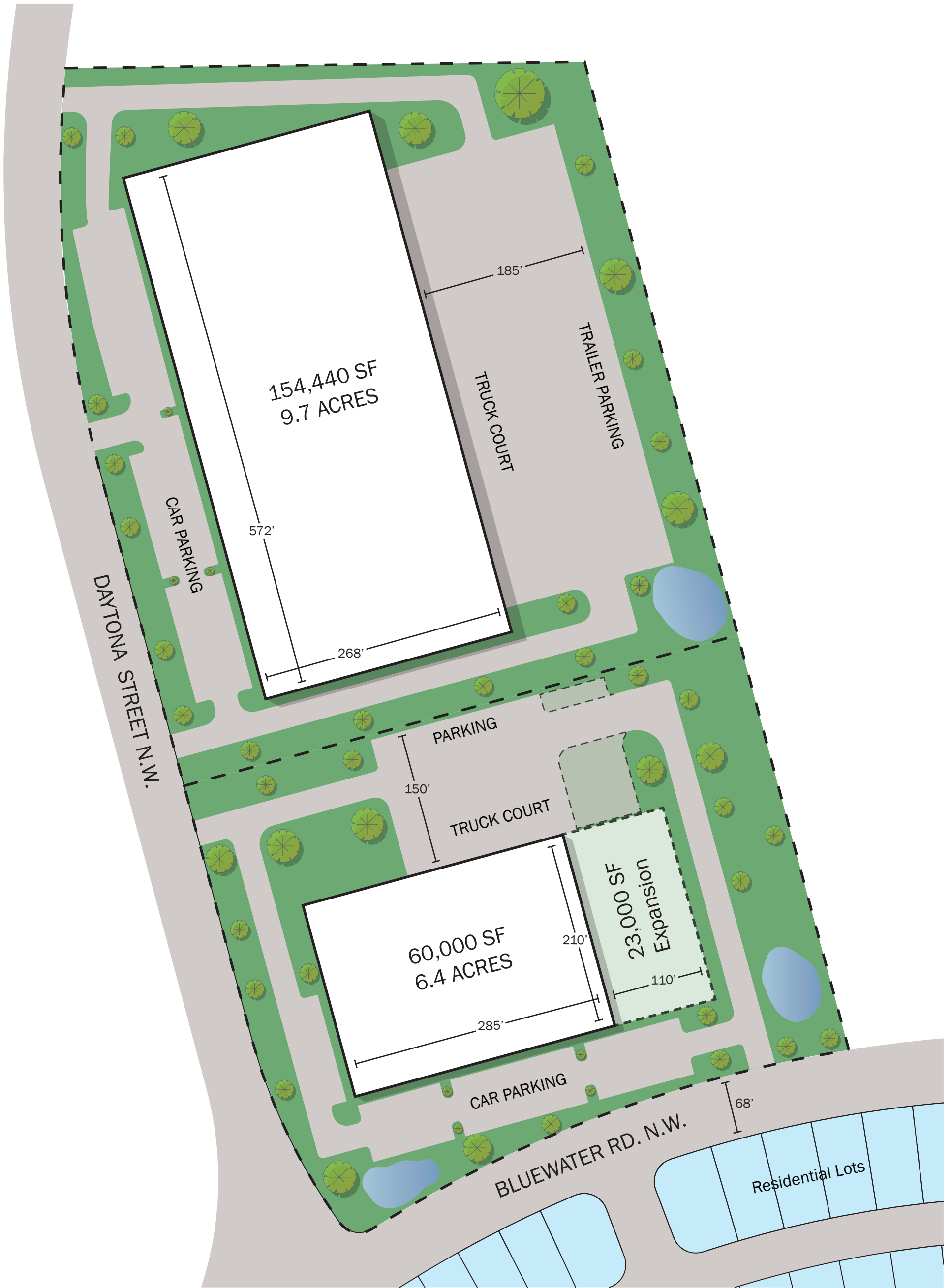
Gray Shading
Represents Area Outside
of the City Limits



N
0 250 500 1,000
Feet

Conceptual Site Plan

Westpointe40 - Albuquerque, NM



From: [Ewell, Diego](#)
To: [Michael Vos](#)
Subject: RE: PRT Application for 99999 Bluewater Road NW
Date: Tuesday, October 26, 2021 1:49:07 PM

Hello,

Your application has been received. We have had an influx of request therefore your application will be submitted on Wednesday, November 3rd, 2021 after 12:00 PM. At this time there are no in person meetings taking place, the team will review your application and provide note/comments in regards to your request. I will then email the completed packet once the team has finalized the application.

Your PRT Request # 21-236

Thank You,



Diego Ewell
senior office assistant
administration
o 505.924.3811
e dewell@cabq.gov
cabq.gov/planning

From: Michael Vos <Vos@consensusplanning.com>
Sent: Tuesday, October 26, 2021 11:22 AM
To: Ewell, Diego <dewell@cabq.gov>
Subject: PRT Application for 99999 Bluewater Road NW

External

Diego,

Please see attached for a PRT application for 2 proposed site plans (and related plat) at the corner of Bluewater and 94th Street NW. Please confirm receipt.

Thanks,

Michael Vos, AICP
CONSENSUS PLANNING, INC.
302 Eighth Street NW
Albuquerque, NM 87102
phone (505) 764-9801

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 99999 BLUEWATER RD NW Neighborhood Meeting Inquiry
Date: Friday, September 17, 2021 10:17:59 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDOZoneAtlasPage_K-09-Z_Site.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Avalon NA	Samantha	Pina	ava99secretary@gmail.com	423 Elohim Court NW	Albuquerque	NM	87121	5053633455	
Avalon NA	Lucy	Anchondo	avalon3a@yahoo.com	601 Stern Drive NW	Albuquerque	NM	87121		5058396601
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor

Albuquerque, NM 87102

505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov

Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

Sent: Thursday, September 16, 2021 4:26 PM

To: Office of Neighborhood Coordination <vos@consensusplanning.com>

Cc: Office of Neighborhood Coordination <onc@cabq.gov>

Subject: Neighborhood Meeting Inquiry Sheet Submission

Neighborhood Meeting Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Neighborhood Meeting Inquiry for below:

Contact Name

Michael Vos

Telephone Number

5057649801

Email Address

vos@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Legal description of the subject site for this project:

TR 9 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5CONT 16.1030 AC

Physical address of subject site:

99999 BLUEWATER RD NW

Subject site cross streets:

Bluewater and 94th Street NW

Other subject site identifiers:

Northeast corner of the referenced intersection

This site is located on the following zone atlas page:

K-09

From: [Michael Vos](#)
To: ava99secretary@gmail.com; avalon3a@yahoo.com; luis@wccd.org; jgallegoswccd@gmail.com; ekhaley@comcast.net; [Rene' Horvath](#)
Cc: [Kurt Browning](#); [Sal Perdomo](#); [Brian Patterson](#)
Subject: Pre-Application Meeting Notification for Bluewater and 94th Street NW
Date: Friday, September 17, 2021 12:56:00 PM
Attachments: [Bluewater Pre-App Meeting Notice Packet.pdf](#)

Dear Neighbors,

This email is notification that Titan Development and Consensus Planning are preparing two applications for Site Plans to be reviewed and approved by the Development Review Board (DRB) for the property located at the northeast corner of Bluewater Road and 94th Street NW located west of the Village at Avalon Apartment Community.

The property is currently one parcel, Tract 9 of the Avalon Subdivision, containing approximately 16.1 acres. A subdivision of land will be prepared to split the property into two lots for development of two light industrial/distribution buildings, each on its own site plan. A conceptual plan showing both buildings is included in the attached information packet.

The site plan for the southern lot will be for an approximately 60,000 square foot building with potential for future expansion, and the northern lot is anticipated to be developed with an approximately 150,000 square foot building. The buildings will each be ±44 feet tall. Each site plan will include the required truck loading areas, car parking, landscaping, and buffering, as required by the City's Integrated Development Ordinance (IDO).

As part of the IDO requirements, we are providing you an opportunity to discuss the project prior to submittal. Should you have any questions or if you would like to request a meeting regarding this pending application, please do not hesitate to email me at vos@consensusplanning.com or contact us by phone at 505-764-9801. Per City requirements, you have 15 days or until October 2, 2021 to request a meeting. Representatives of Titan Development are also copied on this email, so feel free to reply all with any requests for additional information.

Sincerely,

Michael Vos, AICP
CONSENSUS PLANNING, INC.
302 Eighth Street NW
Albuquerque, NM 87102
phone (505) 764-9801
vos@consensusplanning.com

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: September 17, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Avalon NA, SWAN Coalition, and Westside Coalition

Name of NA Representative*: See attached

Email Address* or Mailing Address* of NA Representative¹: See attached

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: vos@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 Bluewater Road NW
Location Description Northeast corner of Bluewater Road and 94th Street NW
2. Property Owner* 98th & I-40 Land, LLC
3. Agent/Applicant* [if applicable] Consensus Planning, Inc. / Titan Development
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

2 Site Plan applications for light manufacturing/warehouse/distribution, one for each building shown on the conceptual plan (attached). Subdivision of Land to divide the

existing property into separate lots for each project. Details in email and on attached plan and rendering.

5. This type of application will be decided by^{*}: City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found^{4*}:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)^{5*} K-09
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

No variances or waivers are anticipated at this time.

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1*](#): Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] approximately 16.1 acres
 - b. IDO Zone District NR-BP (Non-residential Business Park)
 - c. Overlay Zone(s) [if applicable] N/A
 - d. Center or Corridor Area [if applicable] N/A
2. Current Land Use(s) [vacant, if none] Vacant
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: Avalon Neighborhood Association [Other Neighborhood Associations, if any]

South West Alliance of Neighborhoods

Westside Coalition of Neighborhood Associations

⁶ Available here: <https://tinurl.com/idozoningmap>

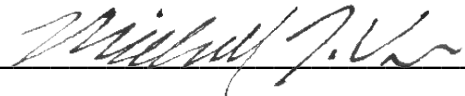


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan - DRB (2 separate applications) and Subdivision of Land	
Decision-making Body: Development Review Board (DRB)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 99999 Bluewater Road NW (northeast corner of Bluewater and 94th Street)	
Name of property owner: 98th & I-40 Land, LLC	
Name of applicant: Titan Development (Agent: Consensus Planning)	
Date, time, and place of public meeting or hearing, if applicable: To be determined	
Address, phone number, or website for additional information:	
Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) 9/17/21 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 99999 BLUEWATER RD NW Neighborhood Meeting Inquiry
Date: Friday, September 17, 2021 10:17:59 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDOZoneAtlasPage_K-09-Z_Site.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Avalon NA	Samantha	Pina	ava99secretary@gmail.com	423 Elohim Court NW	Albuquerque	NM	87121	5053633455	
Avalon NA	Lucy	Anchondo	avalon3a@yahoo.com	601 Stern Drive NW	Albuquerque	NM	87121		5058396601
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each: <https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,

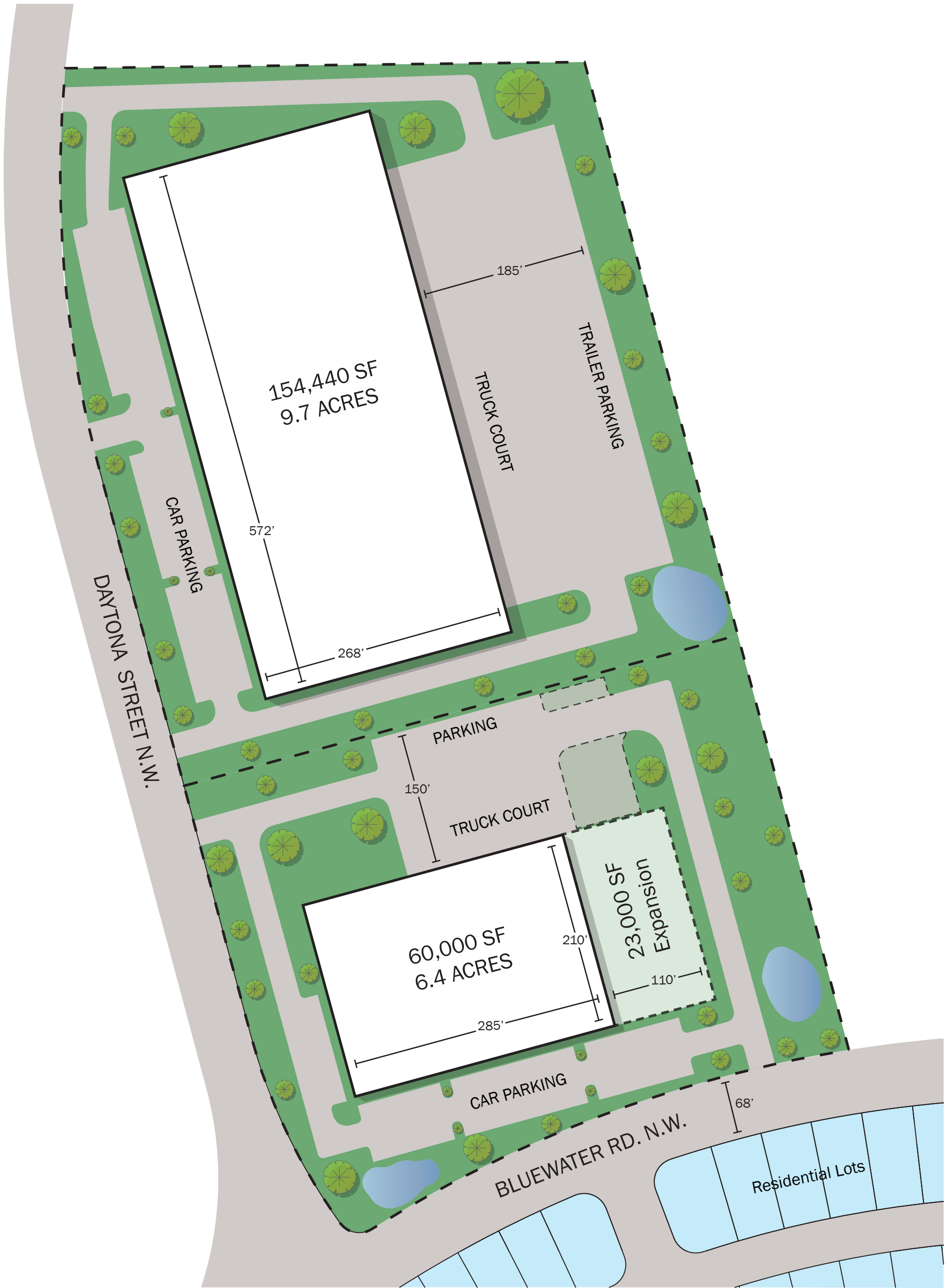


Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor

Conceptual Site Plan

Westpointe40 - Albuquerque, NM





SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

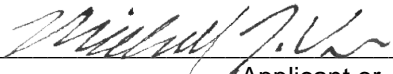
4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

_____ 
(Applicant or Agent)

11/5/21 _____
(Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: PR-2021-006070

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 99999 Bluewater Road NW Public Notice Inquiry
Date: Thursday, November 4, 2021 11:09:23 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDOZoneAtlasPage_K-09-Z_Site.pdf](#)

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Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

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<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334

dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Thursday, November 04, 2021 9:49 AM
To: Office of Neighborhood Coordination <vos@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Michael Vos

From: [Michael Vos](#)
To: [avalon3a@yahoo.com](#); [ava99secretary@gmail.com](#); [luis@wccd.org](#); [jgallegoswccd@gmail.com](#); [ekhaley@comcast.net](#); [Rene Horvath](#)
Cc: [Jim Strozier](#); [Kurt Browning](#); [Sal Perdomo](#); [Brian Patterson](#)
Subject: Emailed Notice for Bluewater and 94th Street Site Plans
Date: Friday, November 5, 2021 10:23:00 AM
Attachments: [Bluewater and 94th Notice Information Packet.pdf](#)

Dear Neighbors,

This email is notice that Consensus Planning has submitted two applications for Site Plan approval by the Development Review Board (DRB) for the property located at the northeast corner of Bluewater Road and 94th Street NW (Future Daytona Extension). The property is legally described as Tract 9, Avalon Subdivision Unit 5 containing approximately 16.1 acres.

The existing property will be subdivided to create two lots – one for each of the proposed site plans. The southern property will be approximately 6.4 acres and will be developed with a 60,000 square foot warehouse and distribution facility with a future 20,000 square foot expansion area. The northern 9.1-acre portion will be developed with an approximately 150,000 square foot building.

The DRB meeting for these projects is scheduled for Wednesday, December 1, 2021, at 9:00 AM via Zoom. You can join the Zoom meeting with the following information:

Join Zoom Meeting: <https://cabq.zoom.us/j/83684755205>
Meeting ID: 836 8475 5205
Dial by your location +1 346 248 7799 or
Find your local number: <https://cabq.zoom.us/u/ksETaj3eE>

Additional required information is attached to this email. Copies of the proposed plan sets, including building elevations, can be downloaded here: <https://www.dropbox.com/t/OKXWVVQOM0td1h54>. If you have any questions or need additional information, please do not hesitate to contact me with the information below.

Sincerely,

Michael Vos, AICP
CONSENSUS PLANNING, INC.
302 Eighth Street NW
Albuquerque, NM 87102
phone (505) 764-9801
vos@consensusplanning.com

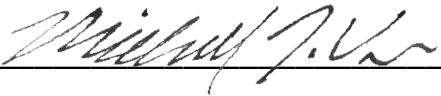


**OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



PART I - PROCESS	
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:	
Application Type: Site Plan - DRB (2 separate applications for the same property)	
Decision-making Body: Development Review Board (DRB)	
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Note: if yes, see second page
PART II – DETAILS OF REQUEST	
Address of property listed in application: 99999 Bluewater Road NW (NE corner of Bluewater and 94th Street)	
Name of property owner: 98th and I-40 Land, LLC	
Name of applicant: Titan Development / Aspen & Autumn, LLC (Agent: Consensus Planning, Inc.)	
Date, time, and place of public meeting or hearing, if applicable:	
December 1, 2021 at 9:00 via Zoom. See next page for Zoom information.	
Address, phone number, or website for additional information:	
Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) November 5, 2021 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



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PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Join Zoom Meeting: <https://cabq.zoom.us/j/83684755205>

Meeting ID: 836 8475 5205

Dial by your location +1 346 248 7799 or

Find your local number: <https://cabq.zoom.us/u/ksETaj3eE>

Download Full Plan Sets Here: <https://www.dropbox.com/t/0KXWVVQOM0td1h54>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed/Emailed to a Neighborhood Association**

Date of Notice*: November 5, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: See attached

Name of NA Representative*: See attached

Email Address* or Mailing Address* of NA Representative¹: See attached

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 Bluewater Road NW
Location Description Northeast corner of Bluewater Road and 94th Street NW
2. Property Owner* 98th and I-40 Land, LLC
3. Agent/Applicant* [if applicable] Consensus Planning, Inc. / Titan Development and Aspen & Autumn, LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]

- Conditional Use Approval
- Permit _____ (Carport or Wall/Fence – Major)
- Site Plan
- Subdivision Minor Lot Split (Minor or Major)
- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Other: _____

Summary of project/request²*: _____

Two Site Plan applications for warehouse and distribution buildings. One approximately 150,000 square feet and the other 60,000 square feet with a future 20,000 square foot expansion area. The existing lot will be subdivided into two new lots, one for each of the proposed buildings/site plans.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

5. This application will be decided at a public meeting or hearing by*:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)

Date/Time*: December 1, 2021 at 9:00 AM

Location*³: Join Zoom Meeting: <https://cabq.zoom.us/j/83684755205> Meeting ID: 836 8475 5205

Dial by your location +1 346 248 7799 or Find your local number: <https://cabq.zoom.us/u/ksETaj3eE>

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*⁴:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁵ K-09
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

- Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:
A pre-submittal neighborhood meeting was not requested.

³ Physical address or Zoom link

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- 5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
 - a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information [Optional]:

From the IDO Zoning Map⁶:

- 1. Area of Property [typically in acres] 16.1 acres (9.7 for north site plan and 6.4 for south site plan)
 - 2. IDO Zone District NR-BP (Non-residential Business Park)
 - 3. Overlay Zone(s) [if applicable] N/A
 - 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]

⁶ Available here: <https://tinurl.com/idozoningmap>

From: [Carmona, Dalaina L.](#)
To: [Michael Vos](#)
Subject: 99999 Bluewater Road NW Public Notice Inquiry
Date: Thursday, November 4, 2021 11:09:23 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image006.png](#)
[IDOZoneAtlasPage_K-09-Z_Site.pdf](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
Avalon NA	Lucy	Anchondo	avalon3a@yahoo.com	601 Stern Drive NW	Albuquerque	NM	87121		5058396601
Avalon NA	Samantha	Pina	ava99secretary@gmail.com	423 Elohim Court NW	Albuquerque	NM	87121	5053633455	
South West Alliance of Neighborhoods (SWAN Coalition)	Luis	Hernandez Jr.	luis@wccdg.org	5921 Central Avenue NW	Albuquerque	NM	87105		
South West Alliance of Neighborhoods (SWAN Coalition)	Jerry	Gallegos	jgallegoswccdg@gmail.com	5921 Central Avenue NW	Albuquerque	NM	87105	5053855809	5058362976
Westside Coalition of Neighborhood Associations	Elizabeth	Haley	ekhaley@comcast.net	6005 Chaparral Circle NW	Albuquerque	NM	87114	5054074381	
Westside Coalition of Neighborhood Associations	Rene	Horvath	aboard111@gmail.com	5515 Palomino Drive NW	Albuquerque	NM	87120		5058982114

PLEASE NOTE: The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



Dalaina L. Carmona

Senior Administrative Assistant
 Office of Neighborhood Coordination
 Council Services Department
 1 Civic Plaza NW, Suite 9087, 9th Floor
 Albuquerque, NM 87102
 505-768-3334

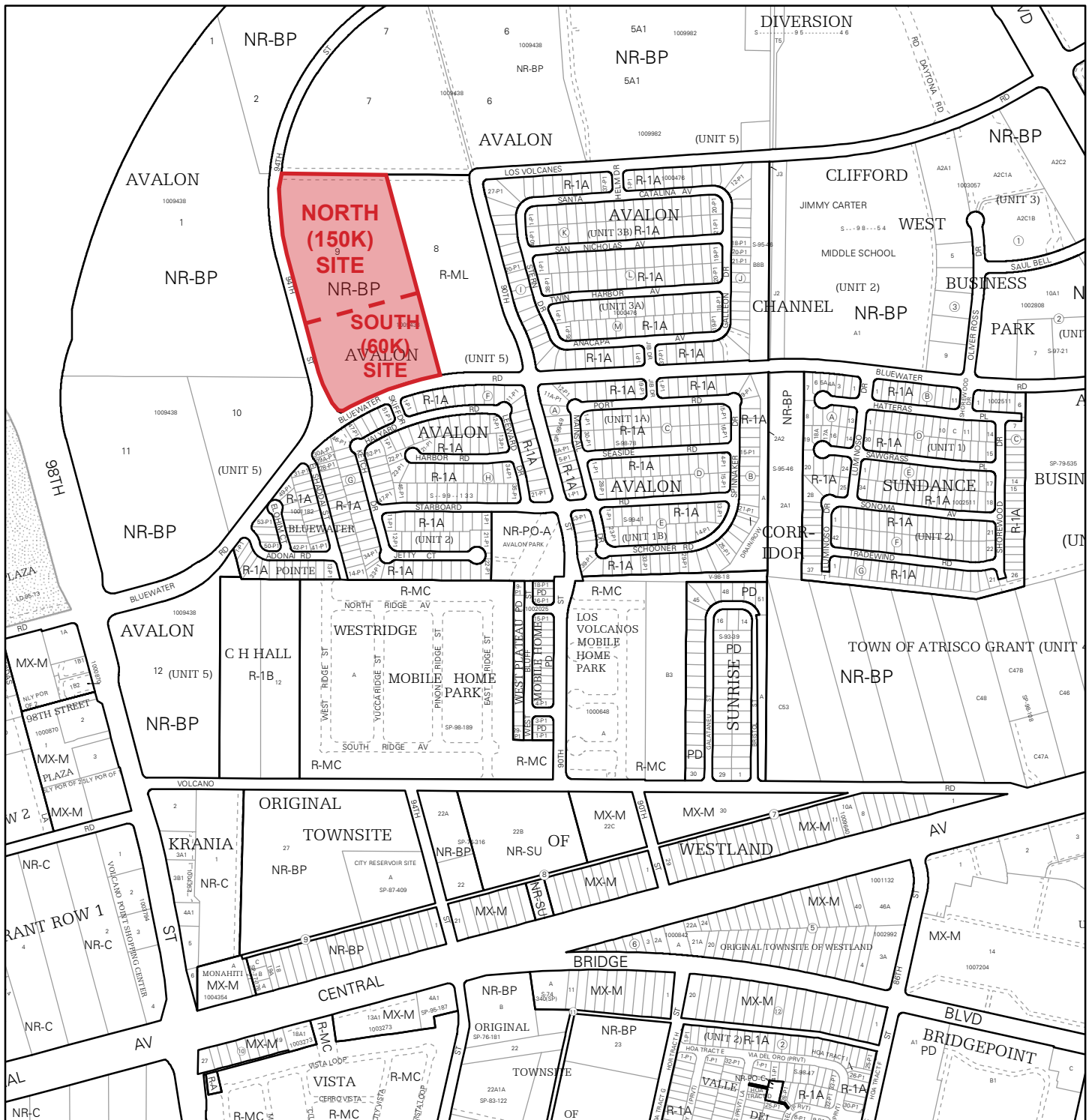
dcarmona@cabq.gov or ONC@cabq.gov
 Website: www.cabq.gov/neighborhoods



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

From: webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov
Sent: Thursday, November 04, 2021 9:49 AM
To: Office of Neighborhood Coordination <vos@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:
 Development Review Board
 If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:
 Contact Name
 Michael Vos



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
 The Zone Districts and Overlay Zones
 are established by the
 Integrated Development Ordinance (IDO).

Gray Shading
Represents Area Outside
of the City Limits

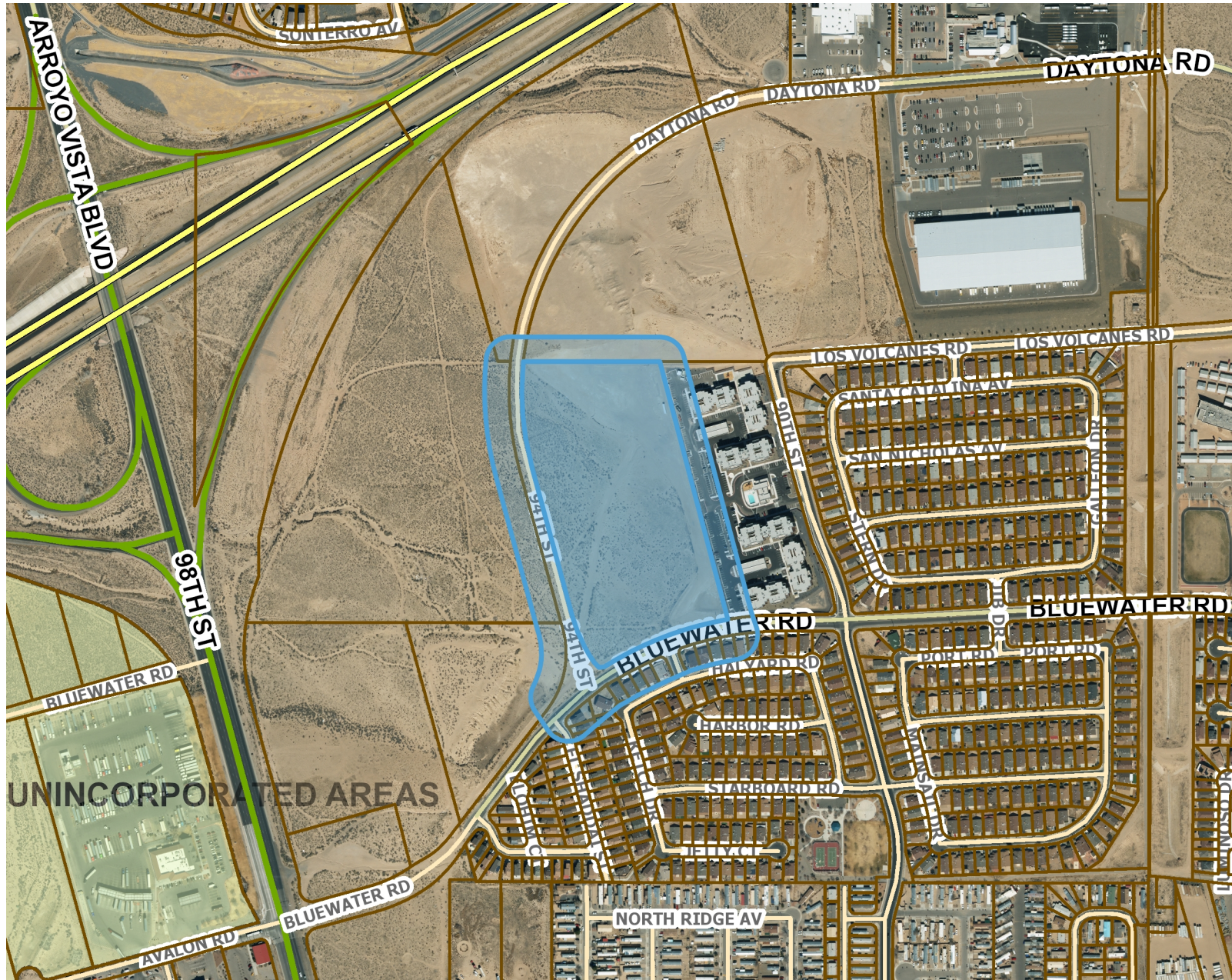
Zone Atlas Page:
K-09-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000
Feet



Property Owner Buffer Map

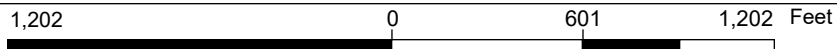


Legend

- Bernalillo County Parcels
- Primary Streets**
 - Freeway
 - Principal Arterial
 - Minor Arterial
 - Local Streets
- BN and SF Railroad
- Other Streets**
 - Other Streets
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes

Prepared by Consensus Planning
11/5/21



WGS_1984_Web_Mercator_Auxiliary_Sphere
11/5/2021 © City of Albuquerque

1: 7,213

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

UPC	Owner	Owner Address	Owner Address 2	SITUS Address	SITUSADD2	Legal Description	Acres
100905711531420105	98TH & I-40 LAND LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE NM 87120-2617	BLUEWATER RD NW	ALBUQUERQUE NM 87121	TR 10 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5CONT 7.2564 AC	7.2564
100905719339420401	98TH & I-40 LAND LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE NM 87120-2617	BLUEWATER RD NW	ALBUQUERQUE NM 87121	TR 9 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5CONT 16.1030 AC	16.103
100905710441420301	98TH & I-40 LAND LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE NM 87120-2617	94TH ST NW	ALBUQUERQUE NM 87121	TR 1 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5CONT 32.6855 AC	32.6855
10090572194920503	98TH & I-40 LAND LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE NM 87120-2617	94TH ST NW	ALBUQUERQUE NM 87121	TR 7 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5 CONT 14.4540AC	14.454
100905806702530101	98TH & I-40 LAND LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE NM 87120-2617	DAYTONA RD NW	ALBUQUERQUE NM 87121	TR 2 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5CONT 13.8123 AC	13.8123
100905719432920902	BEABOUT MICHAEL J & AMY L	9319 HALYARD RD NW	ALBUQUERQUE NM 87121	9319 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 2-P1 BLOCK F PLAT OF AVALON SUBDIVISION UNIT 2CONT .1257 AC	0.1257
100905724439620404	BERNALILLO COUNTY C/O COUNTY MANAGER	1 CIVIC PLAZA NW	ALBUQUERQUE NM 87102	601 90TH ST NW	ALBUQUERQUE NM 87121	TR 8 PLAT OF TRS 1 THRU 12 AVALON SUBD UNIT 5 CONT 9.9828AC	9.9828
100905717232220202	BOWDEN JAMES & DANG DUONG	9405 HALYARD RD NW	ALBUQUERQUE NM 87121-1994	9405 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 50-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .1121 AC	0.1121
100905718832720901	CONTRERAS CRISPIN & MARIA R	9323 HALYARD RD NW	ALBUQUERQUE NM 87121	9323 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 1-P1 BLOCK F PLAT OF AVALON SUBDIVISION UNIT 2CONT .1534 AC	0.1534
100905715331020206	DIAZ ALEJANDRA	9423 HALYARD RD NW	ALBUQUERQUE NM 87121	9423 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 46-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .2173 AC	0.2173
100905714830320257	FLORES JUAN R	528 EL SHADDAI ST NW	ALBUQUERQUE NM 87121	528 EL SHADDAI ST NW	ALBUQUERQUE 87121	LT 29-A P1 PLAT OF LOT 29-A P1 & LOT 30-A P1 BLUEWATERPOINTE SUBDIVISION	0.0958
100905714929820258	GARCIA LUELLA	524 EL SHADDAI ST NW	ALBUQUERQUE NM 87121-2571	524 EL SHADDAI ST NW	ALBUQUERQUE 87121	LT 28-P1 PLAT OF BLUEWATER POINTE SUBDIVISIONCONT .0938 AC	0.0938
100905720933220905	GARCIA ZURI & JUARDO LILIA	9305 HALYARD RD NW	ALBUQUERQUE NM 87121-1992	9305 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 5-P1 BLOCK F PLAT OF AVALON SUBDIVISION UNIT 2CONT .1247 AC	0.1247
100905719933020903	LABASTIDA EDGAR A	9315 HALYARD RD NW	ALBUQUERQUE NM 87121	9315 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 3-P1 BLOCK F PLAT OF AVALON SUBDIVISION UNIT 2CONT .1247 AC	0.1247
100905721433220906	LUCERO CHRISTINE D & QUINTANA GEORGE	9301 HALYARD RD NW	ALBUQUERQUE NM 87121	9301 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 6-P1 BLOCK F PLAT OF AVALON SUBDIVISION UNIT 2CONT .1247 AC	0.1247
100905717732320201	PACHECO RAYMOND	9401 HALYARD RD NW	ALBUQUERQUE NM 87121-1994	9401 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 51-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .1430 AC	0.143
100905716431720204	RODRIGUEZ HILDA L	9415 HALYARD RD NW	ALBUQUERQUE NM 87121	9415 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 48-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .1121 AC	0.1121
100905716832020203	RODRIGUEZ MARTHA CHRISTINA	9409 HALYARD RD NW	ALBUQUERQUE NM 87121-1994	9409 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 49-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .1121 AC	0.1121
100905715831520205	ROZEK ROBERT J	9419 HALYARD RD NW	ALBUQUERQUE NM 87121-1994	9419 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 47-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .1101 AC	0.1101
100905720433120904	SMITH DORETHA A	9309 HALYARD RD NW	ALBUQUERQUE NM 87121-1992	9309 HALYARD RD NW	ALBUQUERQUE NM 87121	LOT 4-P1 BLOCK F PLAT OF AVALON SUBDIVISION UNIT 2CONT .1247 AC	0.1247
100905713529620623	SULLIVAN BRUCE THOMAS & ESTHER	523 EL SHADDAI ST NW	ALBUQUERQUE NM 87121	523 EL SHADDAI ST NW	ALBUQUERQUE NM 87121	LT 31-P1 CORRECTION PLAT OF LOTS 3-P1, 4-P1, 5-P1, 10-P1,13-P1, 31-P1, 47-P1,	0.1016
100905715530320207	TRUJILLO ANDY ALMARAZ	527 KETCH DR NW	ALBUQUERQUE NM 87121-1980	527 KETCH DR NW	ALBUQUERQUE NM 87121	LOT 45-P1 BLOCK G PLAT OF AVALON SUBDIVISION UNIT 2CONT .1080 AC	0.108
100905714730820256	ZAMORA OMAR & DANIELA	532 EL SHADDAI ST NW	ALBUQUERQUE NM 87121-2571	532 EL SHADDAI ST NW	ALBUQUERQUE 87121	LT 30-A P1 PLAT OF LOT 29-A P1 & LOT 30-A P1 BLUEWATERPOINTE SUBDIVISION	0.1555

98TH & I-40 LAND LLC
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ALBUQUERQUE NM 87120-2617

BEABOUT MICHAEL J & AMY L
9319 HALYARD RD NW
ALBUQUERQUE NM 87121

BERNALILLO COUNTY C/O COUNTY
MANAGER
1 CIVIC PLAZA NW
ALBUQUERQUE NM 87102

BOWDEN JAMES & DANG DUONG
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ALBUQUERQUE NM 87121-1994

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ALBUQUERQUE NM 87121

DIAZ ALEJANDRA
9423 HALYARD RD NW
ALBUQUERQUE NM 87121

FLORES JUAN R
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ALBUQUERQUE NM 87121

GARCIA LUELLA
524 EL SHADDAI ST NW
ALBUQUERQUE NM 87121-2571

GARCIA ZURI & JUARDO LILIA
9305 HALYARD RD NW
ALBUQUERQUE NM 87121-1992

LABASTIDA EDGAR A
9315 HALYARD RD NW
ALBUQUERQUE NM 87121

LUCERO CHRISTINE D & QUINTANA
GEORGE
9301 HALYARD RD NW
ALBUQUERQUE NM 87121

PACHECO RAYMOND
9401 HALYARD RD NW
ALBUQUERQUE NM 87121-1994

RODRIGUEZ HILDA L
9415 HALYARD RD NW
ALBUQUERQUE NM 87121

RODRIGUEZ MARTHA CHRISTINA
9409 HALYARD RD NW
ALBUQUERQUE NM 87121-1994

ROZEK ROBERT J
9419 HALYARD RD NW
ALBUQUERQUE NM 87121-1994

SMITH DORETHA A
9309 HALYARD RD NW
ALBUQUERQUE NM 87121-1992

SULLIVAN BRUCE THOMAS & ESTHER
523 EL SHADDAI ST NW
ALBUQUERQUE NM 87121

TRUJILLO ANDY ALMARAZ
527 KETCH DR NW
ALBUQUERQUE NM 87121-1980

ZAMORA OMAR & DANIELA
532 EL SHADDAI ST NW
ALBUQUERQUE NM 87121-2571

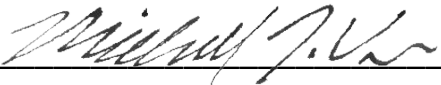


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Name of applicant: Titan Development / Aspen & Autumn, LLC (Agent: Consensus Planning, Inc.)	
Date, time, and place of public meeting or hearing, if applicable:	
December 1, 2021 at 9:00 via Zoom. See next page for Zoom information.	
Address, phone number, or website for additional information:	
Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.	
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE	
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.	
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.	
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. N/A	
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.	
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.	

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

 (Applicant signature) November 5, 2021 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Join Zoom Meeting: <https://cabq.zoom.us/j/83684755205>

Meeting ID: 836 8475 5205

Dial by your location +1 346 248 7799 or

Find your local number: <https://cabq.zoom.us/u/ksETaj3eE>

Download Full Plan Sets Here: <https://www.dropbox.com/t/0KXWVVQOM0td1h54>

[Note: Items with an asterisk (*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque
for Decisions Requiring a Meeting or Hearing
Mailed to a Property Owner**

Date of Notice*: November 5, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet*: _____

Mailing Address*: _____

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 99999 Bluewater Road NW
Location Description Northeast corner of Bluewater Road and 94th Street NW
2. Property Owner* 98th and I-40 Land, LLC
3. Agent/Applicant* [if applicable] Consensus Planning, Inc. / Titan Development and
Aspen & Autumn, LLC
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan
 - Subdivision Minor Lot Split (Minor or Major)
 - Vacation _____ (Easement/Private Way or Public Right-of-way)
 - Variance
 - Waiver
 - Other: _____

Summary of project/request¹*:

Two Site Plan applications for warehouse and distribution buildings. One approximately 150,000 square feet and the other 60,000 square feet with a future 20,000 square foot expansion area. The existing lot will be subdivided into two new lots, one for each of the proposed buildings/site plans.

5. This application will be decided at a public meeting or hearing by*:
 - Zoning Hearing Examiner (ZHE)
 - Development Review Board (DRB)
 - Landmarks Commission (LC)
 - Environmental Planning Commission (EPC)

¹ Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (*) are required.]

Date/Time*: December 1, 2021 at 9:00 AM

Location*²: Join Zoom Meeting: https://cabq.zoom.us/j/83684755205 Meeting ID: 836 8475 5205

Dial by your location +1 346 248 7799 or Find your local number: https://cabq.zoom.us/u/ksETaj3eE

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email devhelp@cabq.gov or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found*³:

Please contact Michael Vos with Consensus Planning for more information at vos@consensusplanning.com or by calling (505) 764-9801.

Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)*⁴ K-09
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project*:

Deviation(s) Variance(s) Waiver(s)

Explanation*:

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#): Yes No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

A pre-submittal neighborhood meeting was not requested.

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.*
- b. Access and circulation for vehicles and pedestrians.*
- c. Maximum height of any proposed structures, with building elevations.*

² Physical address or Zoom link

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

- d. **For residential development***: Maximum number of proposed dwelling units.
- e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁵:

1. Area of Property [typically in acres] 16.1 acres (9.7 for north site plan and 6.4 for south site plan)
 2. IDO Zone District NR-BP (Non-residential Business Park)
 3. Overlay Zone(s) [if applicable] N/A
 4. Center or Corridor Area [if applicable] N/A
- Current Land Use(s) [vacant, if none] Vacant
-

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

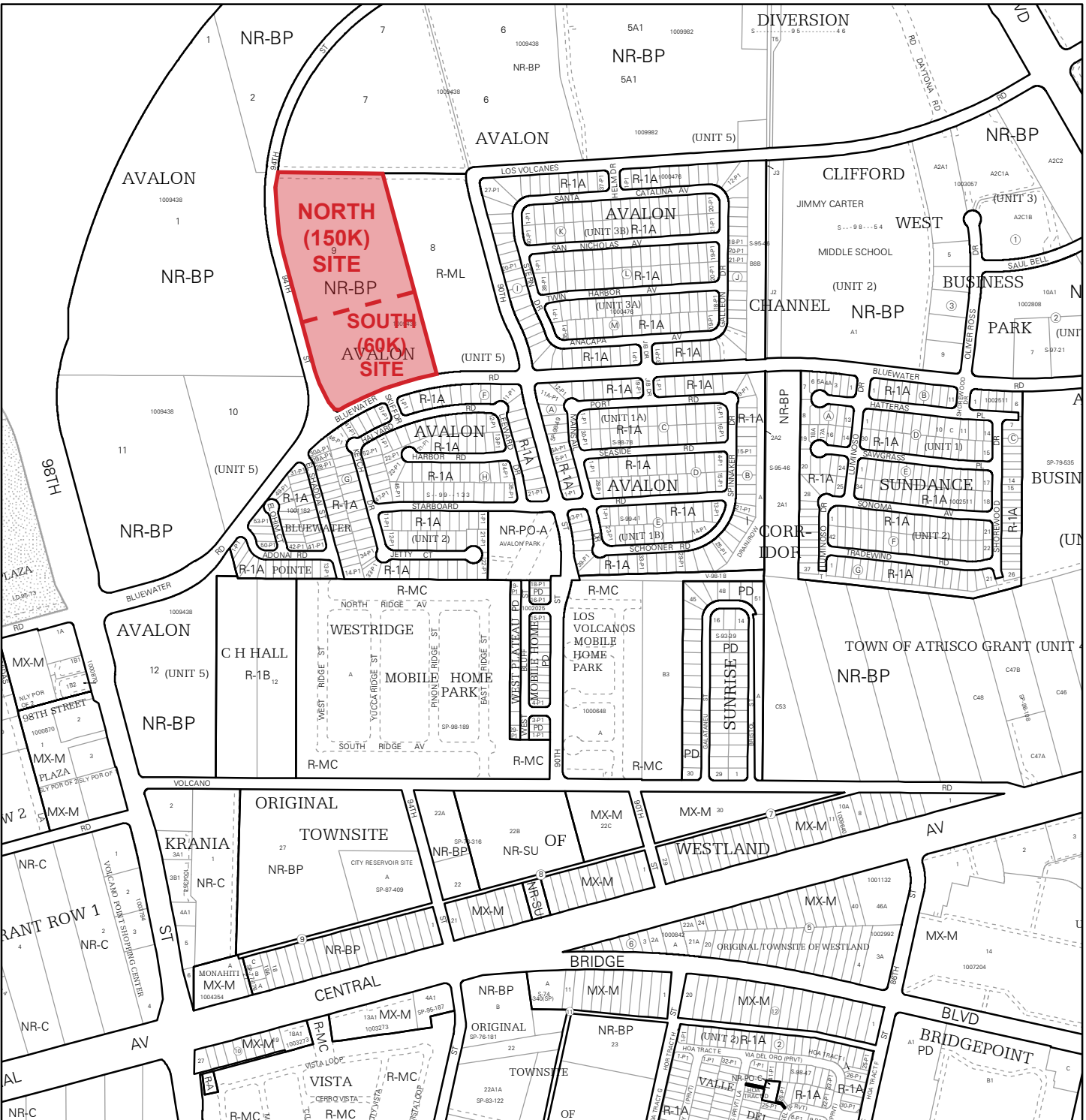
Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

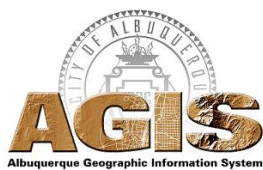
⁵ Available here: <https://tinurl.com/idozoningmap>



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018



IDO Zoning information as of May 17, 2018

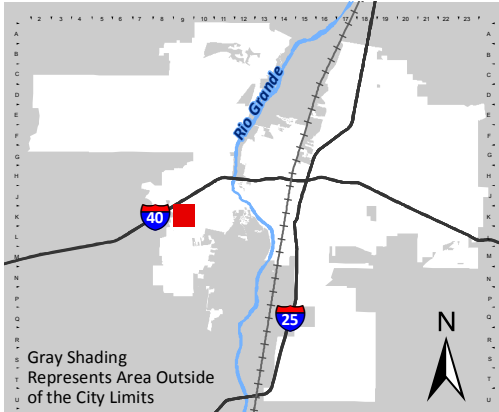
**The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).**

Zone Atlas Page:
K-09-Z

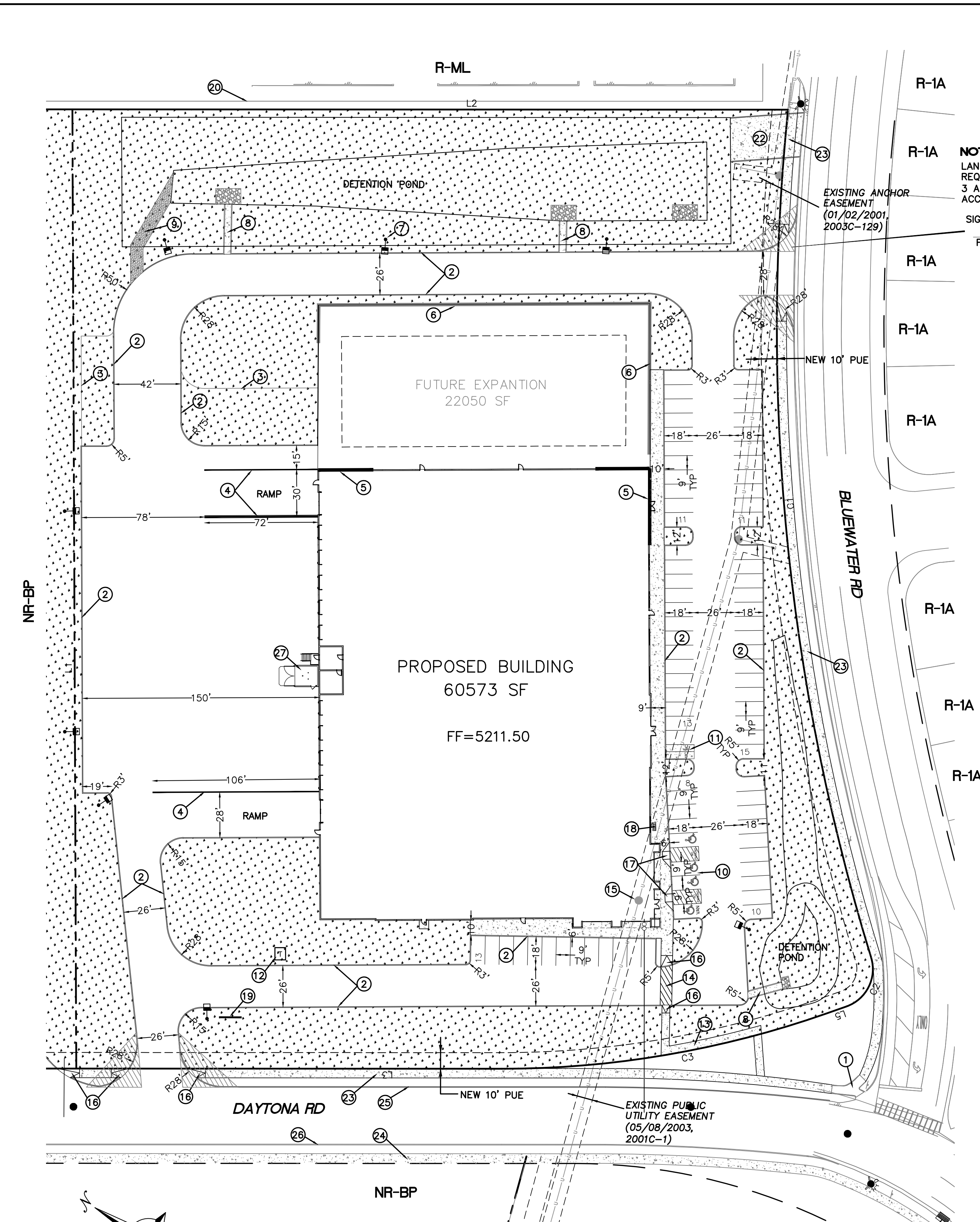
- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

0 250 500 1,000

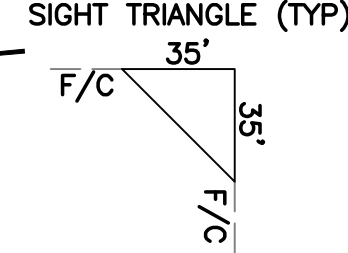
Feet



SOUTH SITE PLAN



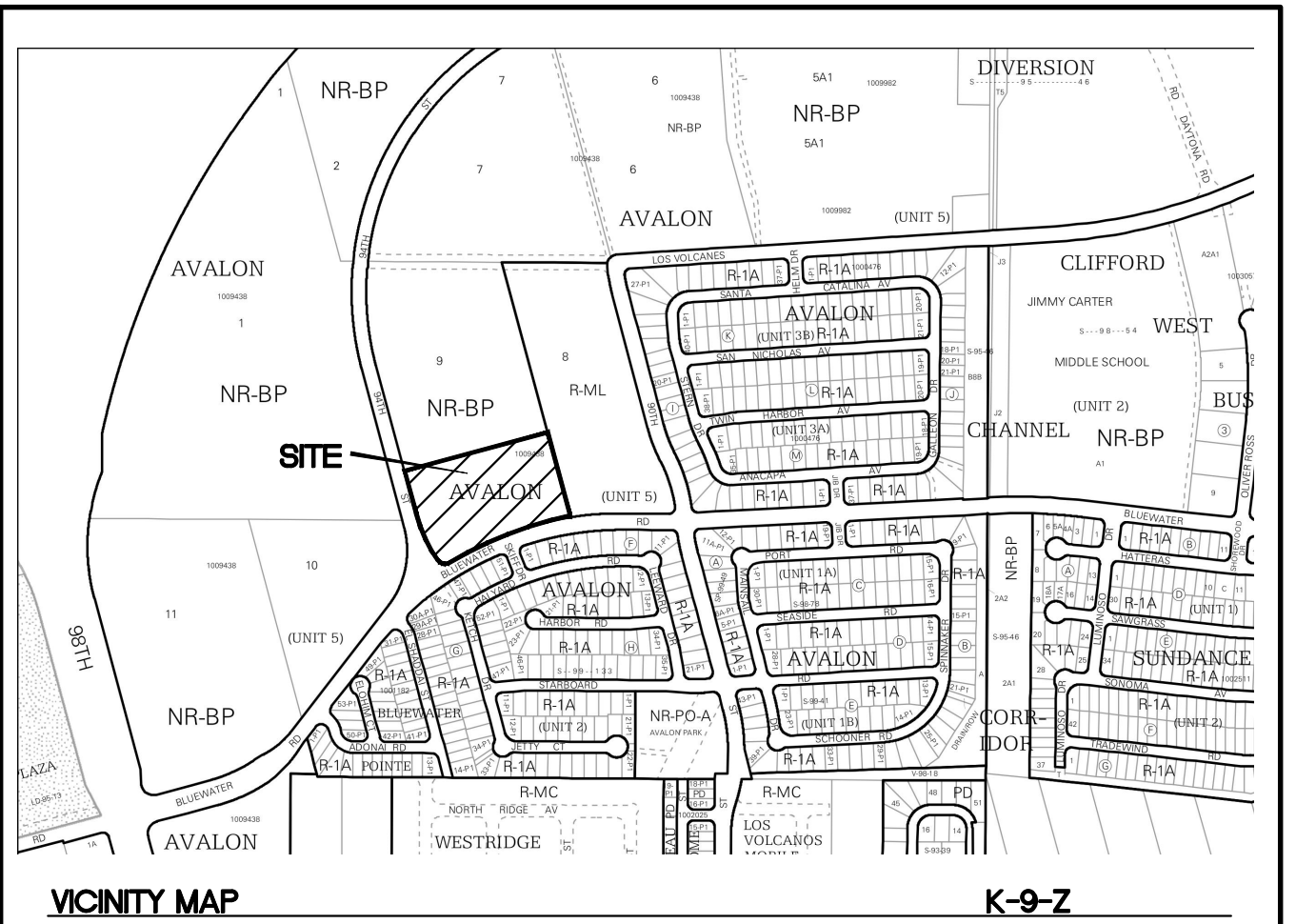
NOTE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



LEGEND

---	CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING
---	SIDEWALK
---	EXISTING CURB & GUTTER
---	EXISTING BOUNDARY LINE
---	RETAINING WALL
---	HEAVY DUTY PAVING
---	LIGHT DUTY PAVING
---	LANDSCAPING

- KEYED NOTES**
- EXISTING ACCESSIBLE RAMP TO REMAIN
 - 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
 - FUTURE CURB AND GUTTER
 - RETAINING WALL, HEIGHT VARIES 1' TO 4'
 - EXTENDED STEM WALL
 - FUTURE EXTENDED STEM WALL
 - SITE LIGHTING, 30' MAX HEIGHT LED (TYP)
 - 4' CONCRETE RUNDOWN
 - 8' GRAVEL ACCESS ROAD
 - ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN SEE DETAIL SHEET DET-1
 - MOTORCYCLE SPACES W/SIGN (4'X8' MIN) SEE DETAIL SHEET DET-1
 - TRANSFORMER W/BOLLARDS
 - 5' CONCRETE SIDEWALK PER COA STD DWG 2430
 - 6' STRIPED PEDESTRIAN CROSSING
 - EXISTING POWER POLE TO BE RELOCATED
 - UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
 - ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
 - BICYCLE RACK SEE DETAIL SHEET DET-1
 - MONUMENT SIGN
 - EXISTING CMU PERIMETER WALL
 - DUMPSTER SEE DETAIL SHEET DET-1
 - CONCRETE POND EMERGENCY OVERFLOW
 - NEW 6' SIDEWALK
 - FUTURE 6' SIDEWALK
 - 8" CURB AND GUTTER PER CO STD DWG 2415A
 - FUTURE CURB AND GUTTER
 - SINGLE DUMPSTER W/RECYCLING



LEGAL DESCRIPTION:
 PORTION OF LOT 9 AVALON SUBDIVISION

SITE DATA

PROPOSED USAGE	COMMERCIAL
LOT AREA	279233 SF (6.41 ACRES)
ZONING	NR-BP
BUILDING AREA	60573 SF (PHASE 1)
(FUTURE BUILDING AREA)	22050 SF
TOTAL	82623 SF
BUILDING SETBACK	
FRONT	5'
REAR	0'
SIDE	0'
PARKING REQUIRED	PHASE 1 31 SPACES (1 SPACE PER 2000SF)
	PHASE 2 11 SPACES (1 SPACE PER 2000SF)
PARKING PROVIDED	69 SPACES, INCLUDES 4 ACCESSIBLE SPACES
MOTORCYCLE SPACES REQUIRED	2 SPACES
MOTORCYCLE SPACES PROVIDED	2 SPACES
BICYCLE SPACES REQUIRED	5
BICYCLE SPACES PROVIDED	5
LANDSCAPE REQUIRED	29424 SF
LANDSCAPE PROVIDED	98197 SF

PROJECT NUMBER: ---
APPLICATION NUMBER: --

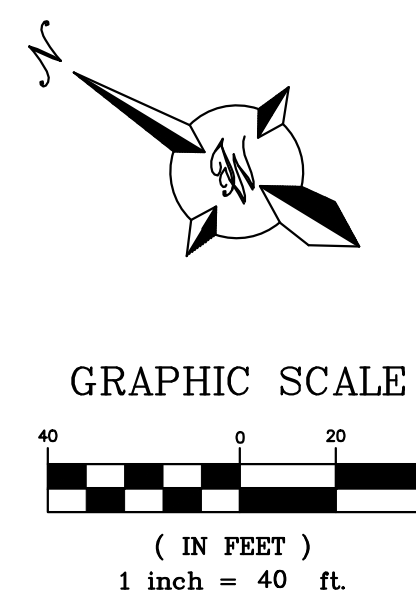
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



LINE TABLE

LINE	BEARING	LENGTH
L1	N74°46'10"E	607.48
L2	S14°58'21"E	453.47
L3	N14°55'50"W	269.64
L5	N34°19'52"W	13.71

CURVE TABLE

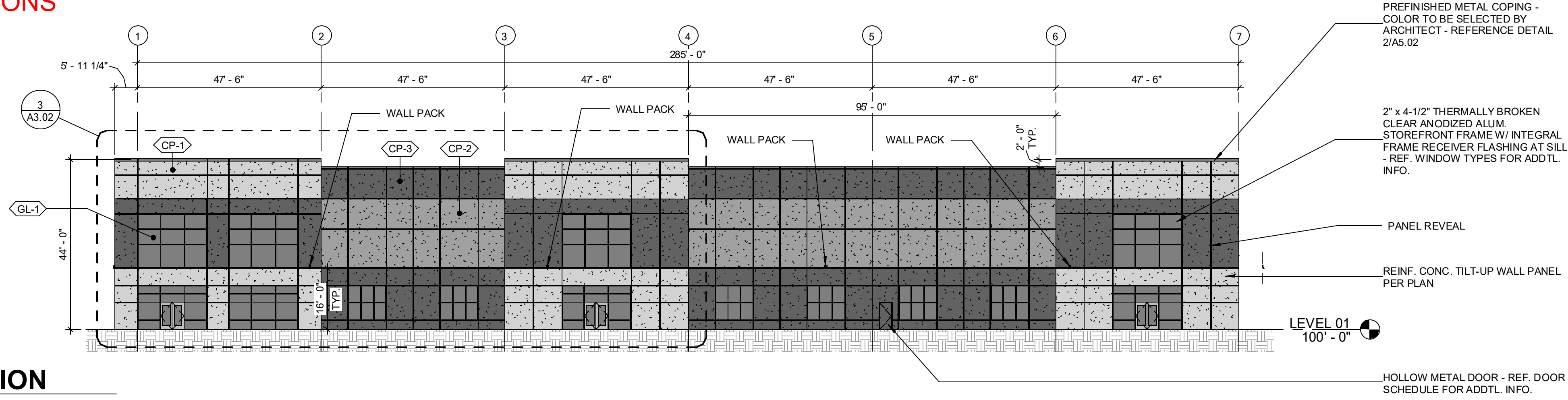
CURVE	DELTA	RADIUS	LENGTH
C1	22°55'21"	1358.17	543.36
C2	87°43'53"	25.00	38.28
C3	19°21'21"	620.00	209.45

	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm DATE 11-4-21
	SITE PLAN FOR BUILDING PERMIT	DRAWING 2020088-60K.DWG
11-4-21 RONALD R. BOHANNAN P.E. #7868	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SP-1 JOB # 2020088

SOUTH SITE BUILDING ELEVATIONS

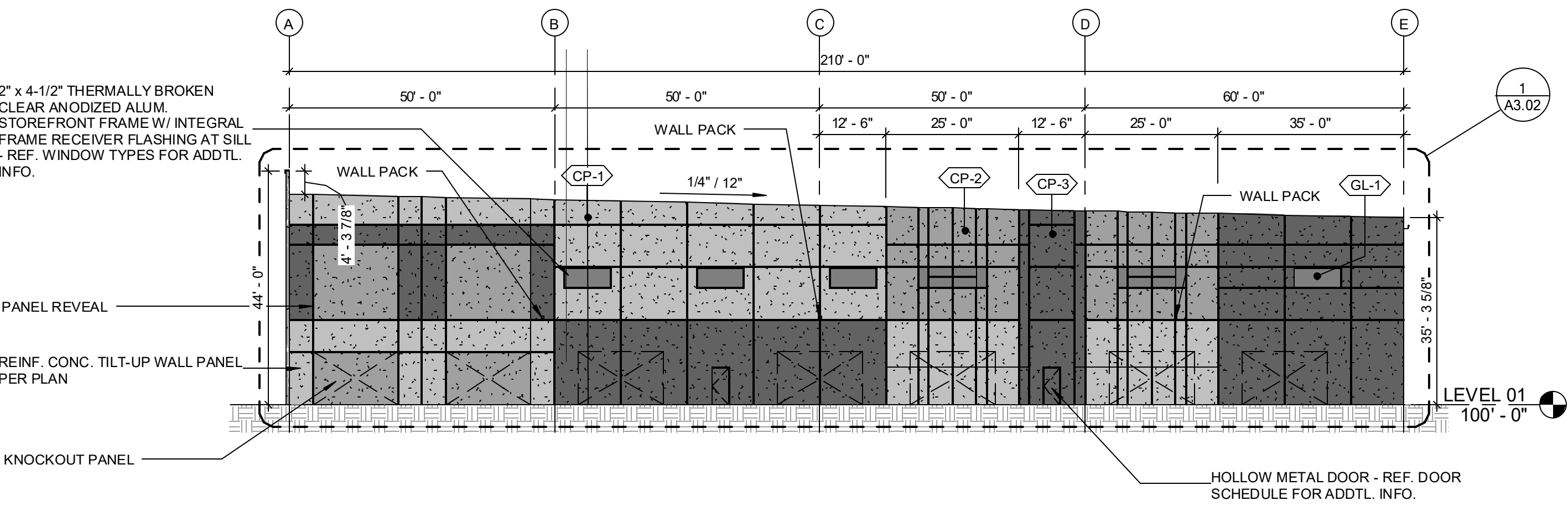
MATERIAL & FINISH LEGEND

- CONCRETE, PAINTED 1 : CP-1 LIGHT GRAY
- CONCRETE, PAINTED 2 : CP-2 MEDIUM GRAY
- CONCRETE, PAINTED 3 : CP-3 DARK GRAY
- GLAZING 1 : GL-1



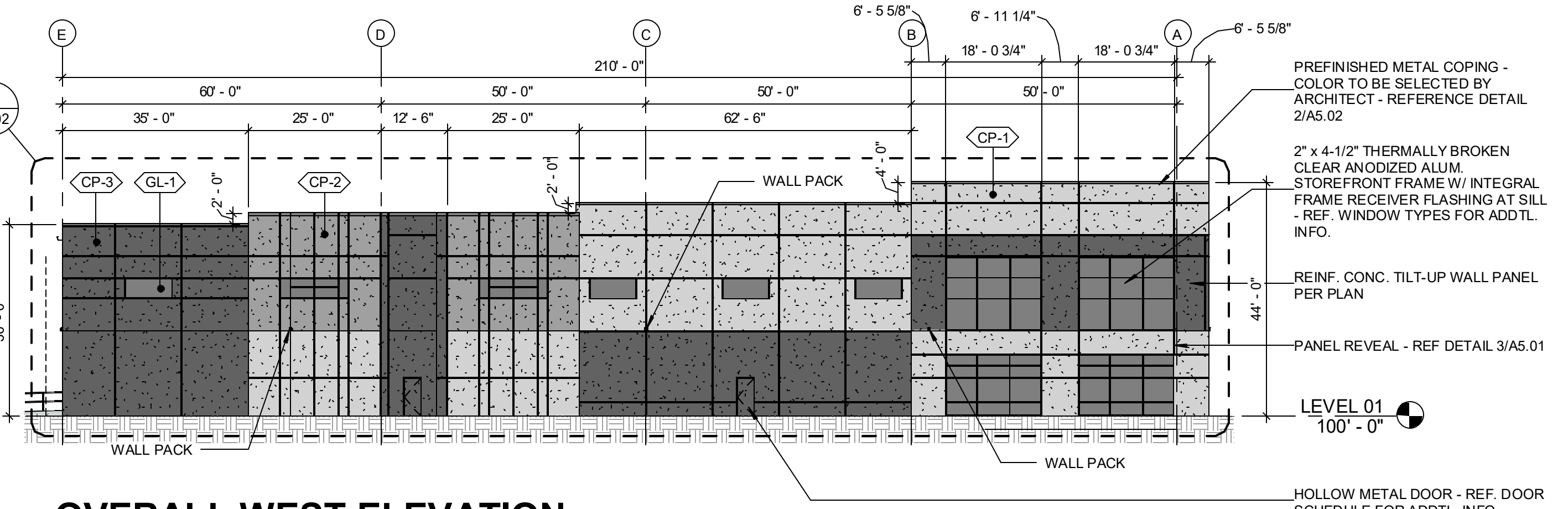
OVERALL SOUTH ELEVATION

A1.10/A3.01 SCALE : 1" = 20'-0"



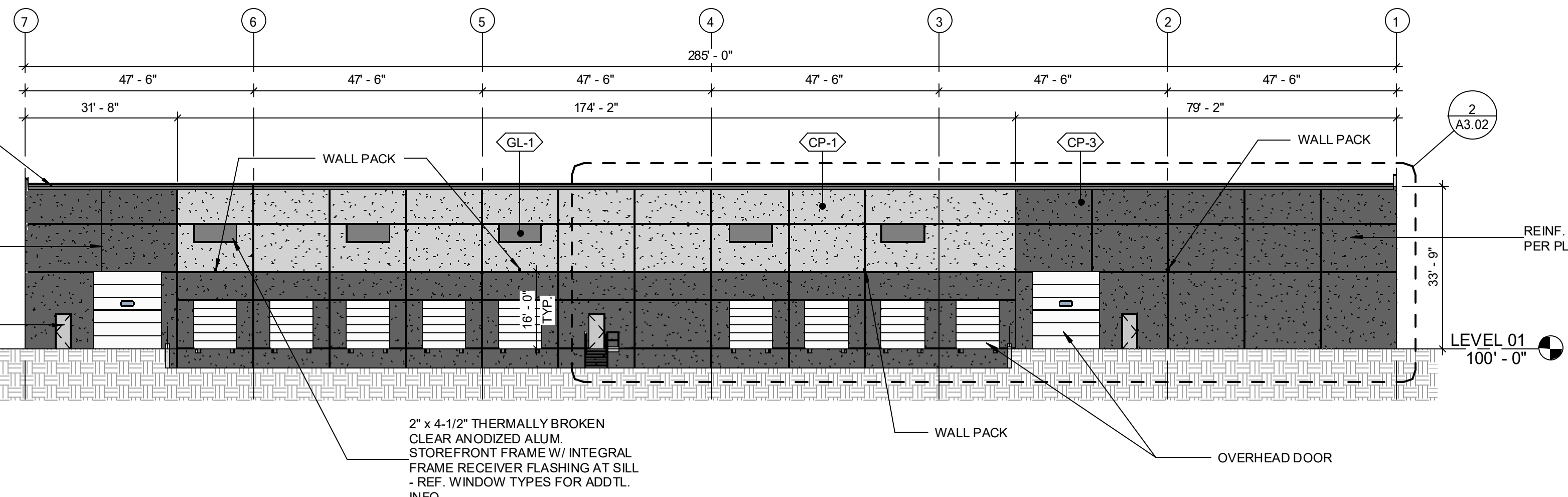
OVERALL EAST ELEVATION

A1.10/A3.01 SCALE : 1" = 20'-0"



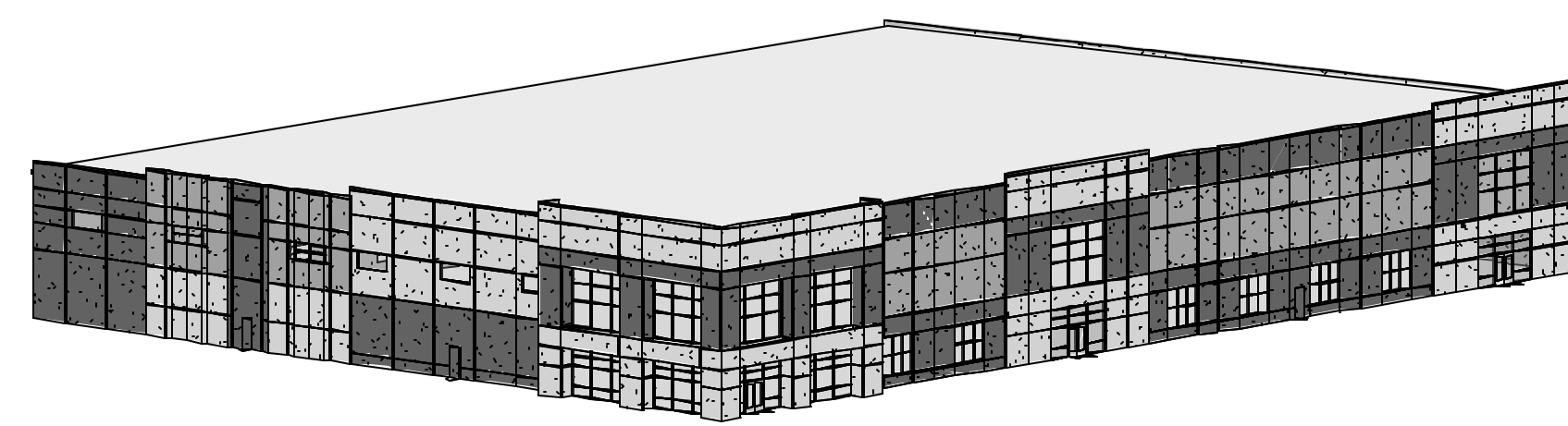
OVERALL WEST ELEVATION

A1.10/A3.01 SCALE : 1" = 20'-0"



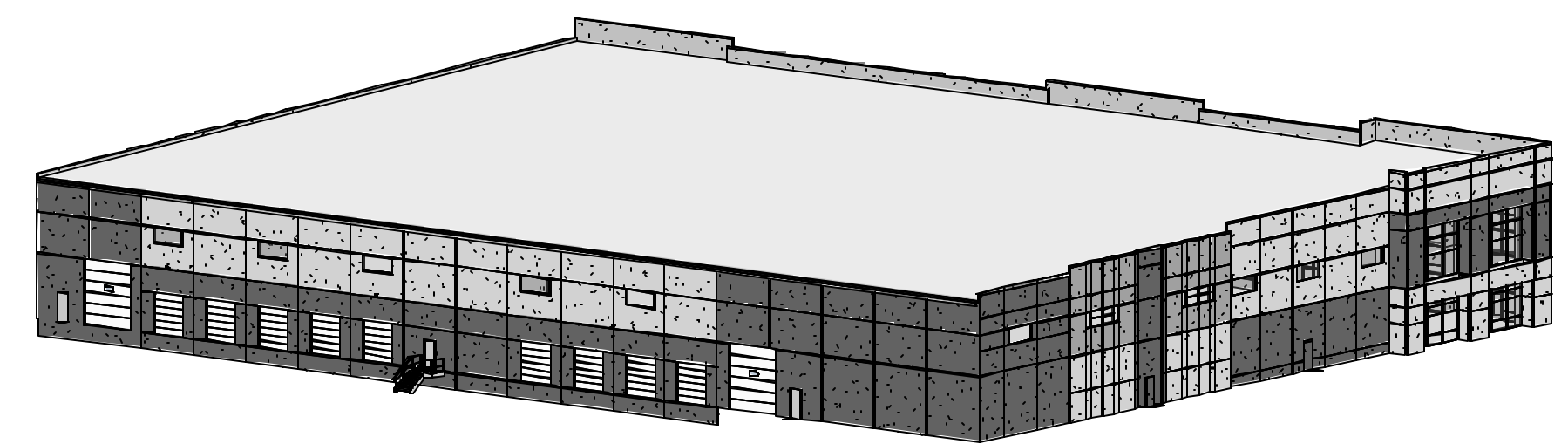
OVERALL NORTH ELEVATION

A1.10/A3.01 SCALE : 1" = 20'-0"



FRONT AXON

A3.01 SCALE :



REAR AXON

A3.01 SCALE :



9801 Renner Blvd. Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

14983 - WESTPOINTE40 - 60K

ALBUQUERQUE NM



REV	DATE	DESCRIPTION

PROJECT NUMBER
14983

DATE
11/05/2021
DESIGN REVIEW SET

DESIGNED: JRV
DRAWN: TRH
REVIEWED: CDR

SHEET TITLE

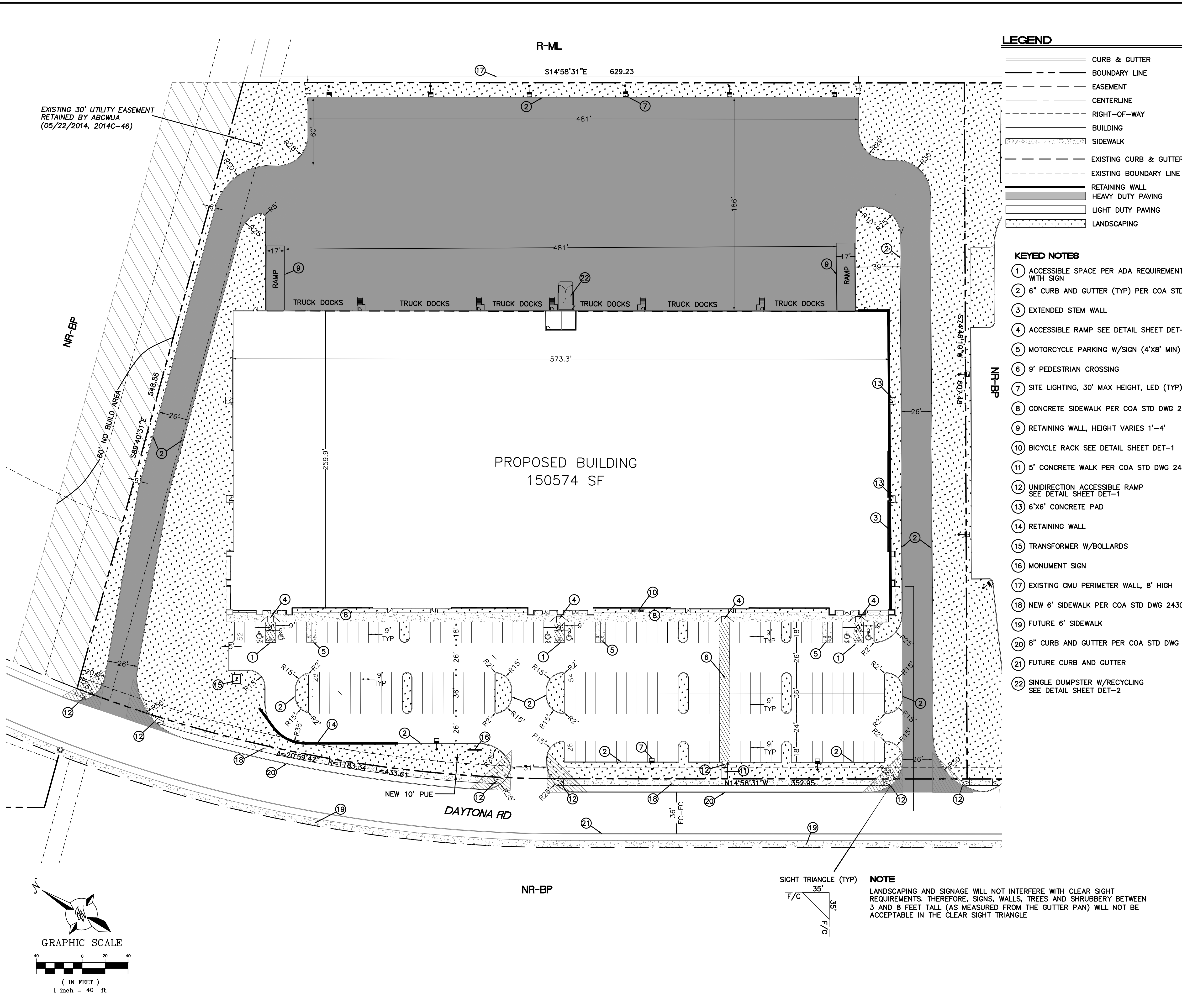
EXTERIOR BUILDING ELEVATIONS

SHEET NUMBER

A3.01

Printed 11/02/2021 9:34:37 PM - Bldg 360/14983/14983 - Westpointe40 - 60K Arch.rvt

NORTH SITE PLAN

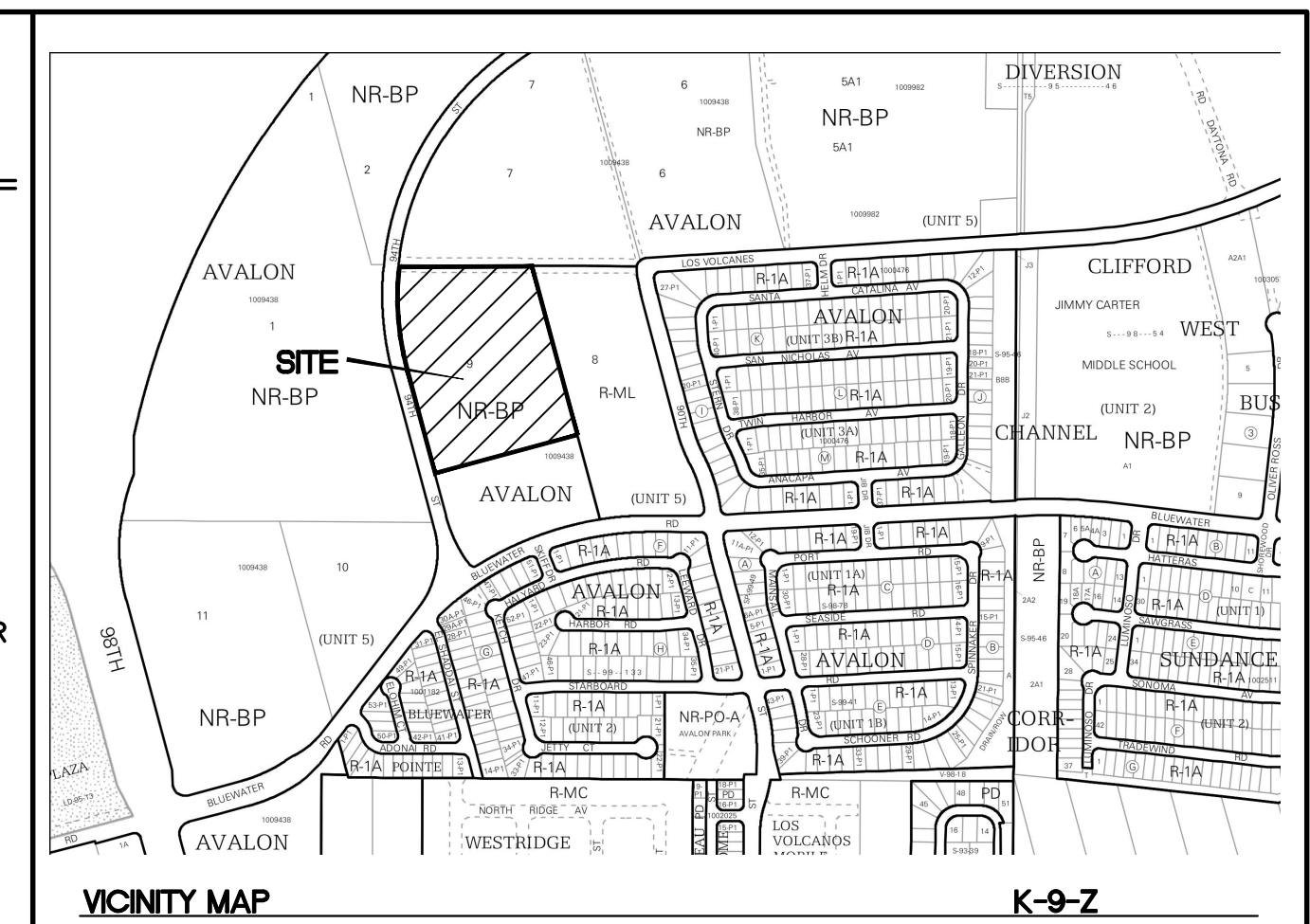


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- ▭ EXISTING CURB & GUTTER
- ▭ EXISTING BOUNDARY LINE
- ▭ RETAINING WALL
- ▭ HEAVY DUTY PAVING
- ▭ LIGHT DUTY PAVING
- ▭ LANDSCAPING

KEYED NOTES

- 1 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN
- 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 3 EXTENDED STEM WALL
- 4 ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 5 MOTORCYCLE PARKING W/SIGN (4'X8' MIN)
- 6 9' PEDESTRIAN CROSSING
- 7 SITE LIGHTING, 30' MAX HEIGHT, LED (TYP)
- 8 CONCRETE SIDEWALK PER COA STD DWG 2430
- 9 RETAINING WALL, HEIGHT VARIES 1'-4'
- 10 BICYCLE RACK SEE DETAIL SHEET DET-1
- 11 5' CONCRETE WALK PER COA STD DWG 2430
- 12 UNIDIRECTION ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
- 13 6'X6' CONCRETE PAD
- 14 RETAINING WALL
- 15 TRANSFORMER W/BOLLARDS
- 16 MONUMENT SIGN
- 17 EXISTING CMU PERIMETER WALL, 8' HIGH
- 18 NEW 6' SIDEWALK PER COA STD DWG 2430
- 19 FUTURE 6' SIDEWALK
- 20 8" CURB AND GUTTER PER COA STD DWG 2415A
- 21 FUTURE CURB AND GUTTER
- 22 SINGLE DUMPSTER W/RECYCLING SEE DETAIL SHEET DET-2



LEGAL DESCRIPTION:
PORTION OF LOT 9 AVALON SUBDIVISION

SITE DATA

PROPOSED USAGE	COMMERCIAL
LOT AREA	421765 SF (9.68 ACRES)
ZONING	NR-BP
BUILDING AREA	150574 SF
BUILDING SETBACK	
FRONT	5'
REAR	0'
SIDE	0'
PARKING REQUIRED 76 SPACES (1 SPACE PER 2000 SF)	
PARKING PROVIDED	156 SPACES
ACCESSIBLE PARKING REQUIRED	5 SPACES
ACCESSIBLE SPACES PROVIDED	6 SPACES
TOTAL 162 SPACES	
BICYCLE SPACES REQUIRED	8
BICYCLE SPACES PROVIDED	8
MOTORCYCLE SPACES REQUIRED	3 SPACES
MOTORCYCLE SPACES PROVIDED	6 SPACES
LANDSCAPE REQUIRED	40678 SF
LANDSCAPE PROVIDED	52710 SF

PROJECT NUMBER: ---
APPLICATION NUMBER: ---

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

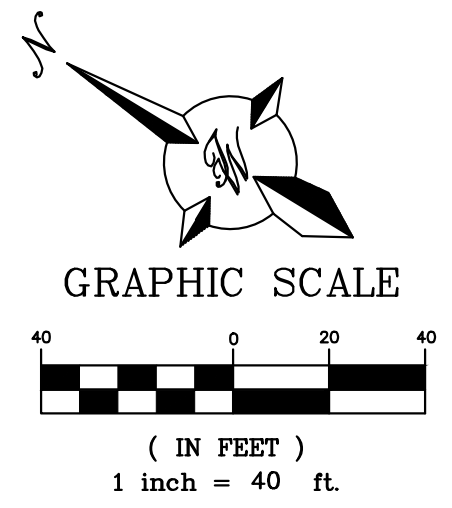
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

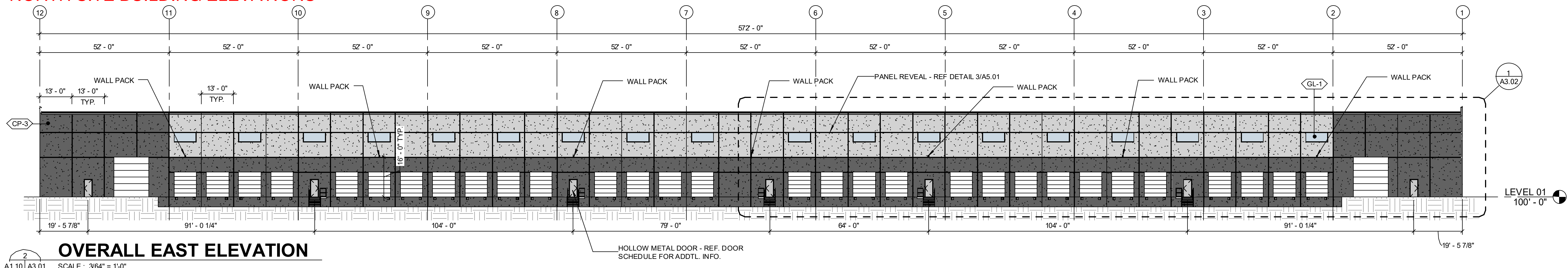
* Environmental Health, if necessary

NOTE
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE



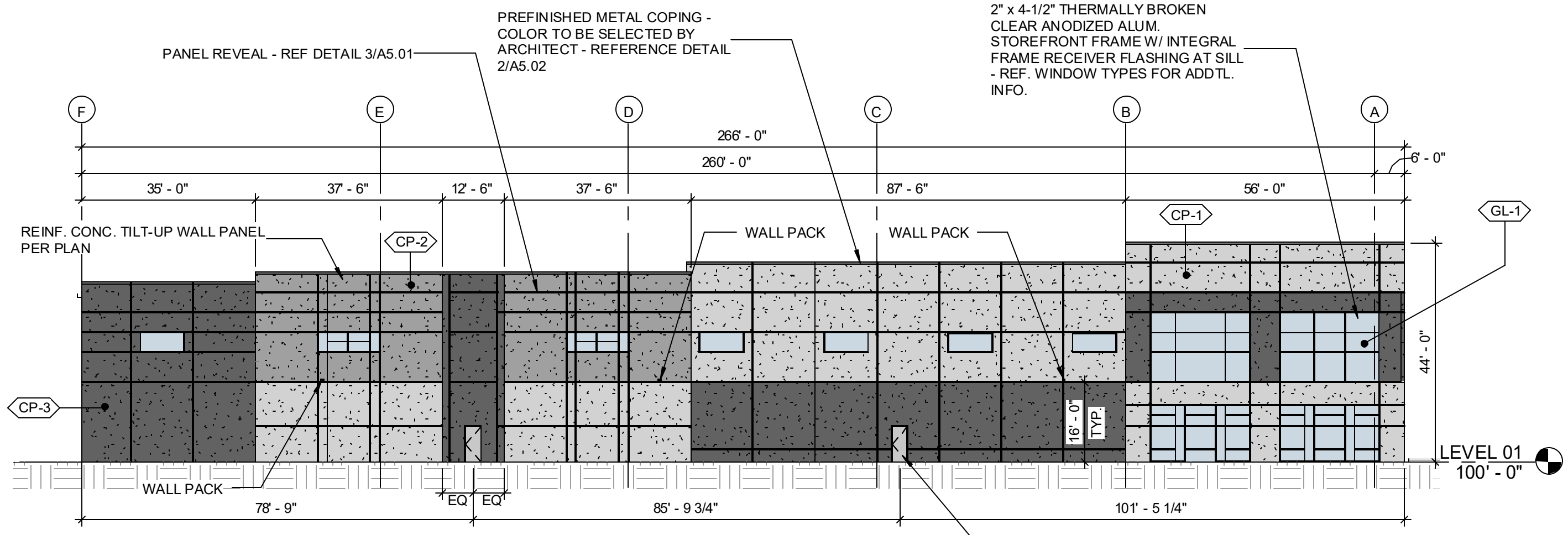
	TITAN 150K SPEC BUILDING ALBUQUERQUE, NM	DRAWN BY pm
	SITE PLAN FOR BUILDING PERMIT	DATE 11-4-21
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-150K.DWG
		SHEET # SP-1
		JOB # 2020088

NORTH SITE BUILDING ELEVATIONS



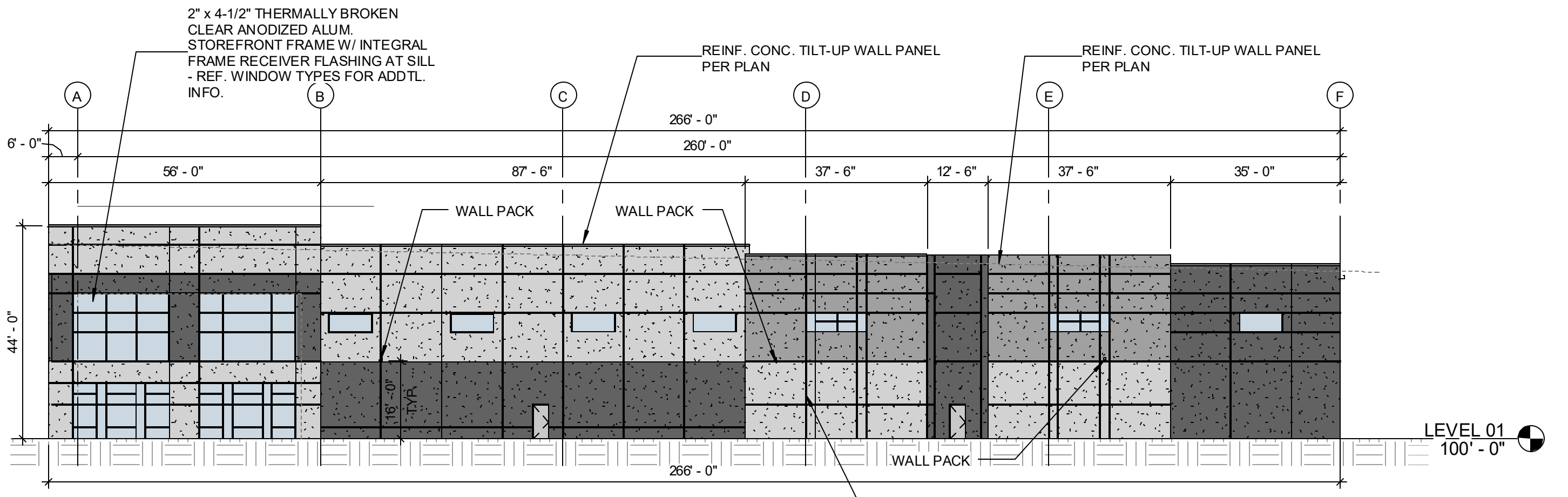
OVERALL EAST ELEVATION

A1.10 | A3.01 SCALE: 3/64" = 1'-0"



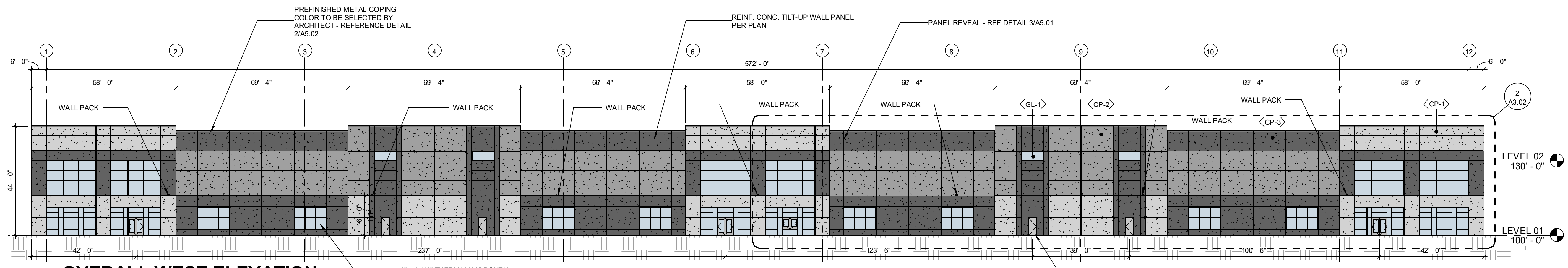
OVERALL NORTH ELEVATION

A1.10 | A3.01 SCALE: 3/64" = 1'-0"



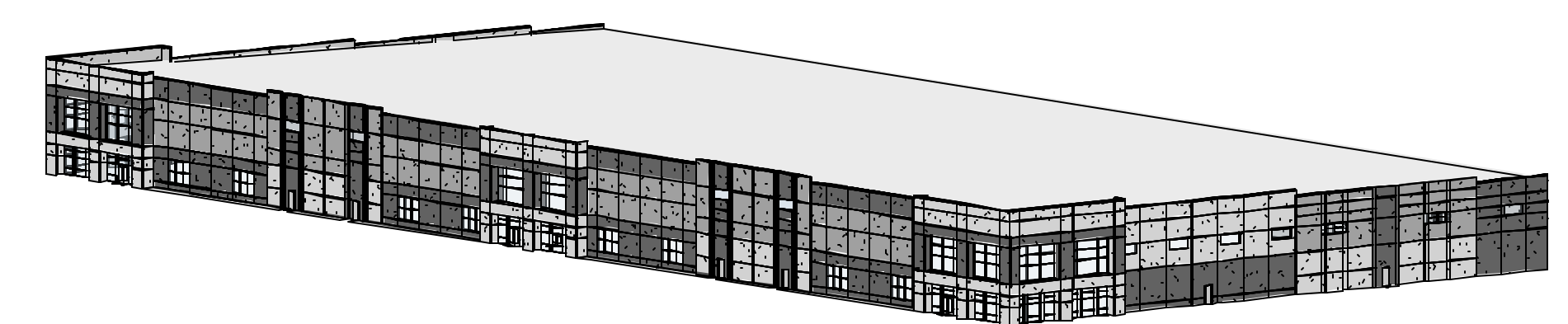
OVERALL SOUTH ELEVATION

A1.10 | A3.01 SCALE: 3/64" = 1'-0"



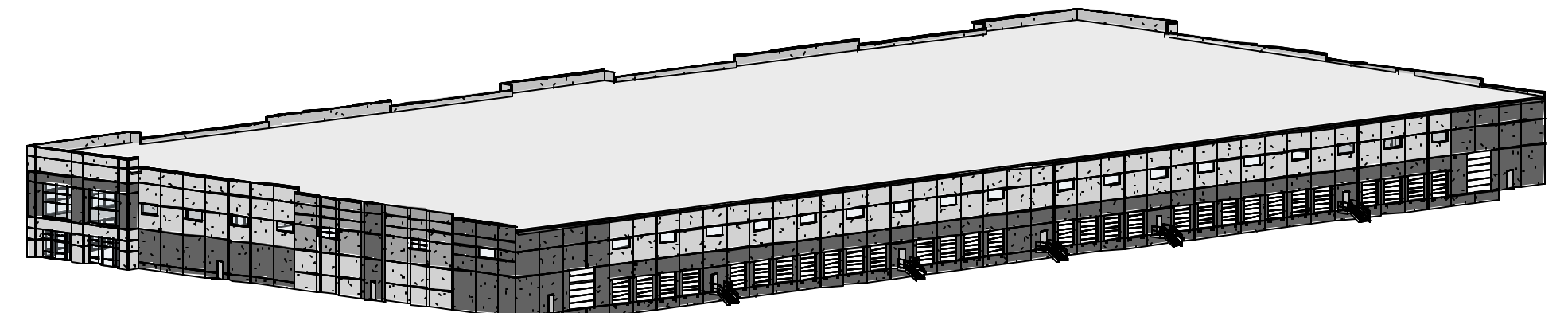
OVERALL WEST ELEVATION

A1.10 | A3.01 SCALE: 3/64" = 1'-0"



FRONT AXON

A1.10 | A3.01 SCALE:



REAR AXON

A1.10 | A3.01 SCALE:

MATERIAL & FINISH LEGEND

- CONCRETE, PAINTED 1 : CP-1 LIGHT GRAY
- CONCRETE, PAINTED 2 : CP-2 MEDIUM GRAY
- CONCRETE, PAINTED 3 : CP-3 DARK GRAY
- GLAZING 1 : GL-1



REV	DATE	DESCRIPTION

PROJECT NUMBER	14904
DATE	11/05/2021
DESIGN REVIEW SET	
DESIGNED:	JRV
DRAWN:	TRH
REVIEWED:	CDR
SHEET TITLE	

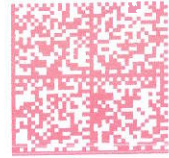
EXTERIOR ELEVATIONS

SHEET NUMBER
A3.01

Printed 11/02/2021 1:56:09 PM - BIM 360://14904/14904 - Westpointe40.rvt

ning
NW
87102

FIRST-CLASS



PITNEY BOWES
US POSTAGE
02 1P \$ 000.73⁰
0002118651 NOV 05 2021
MAILED FROM ZIP CODE 87102

BERNALILLO COUNTY C/O COUNTY
MANAGER
1 CIVIC PLAZA NW
ALBUQUERQUE NM 87102

ning
NW
87102

FIRST-CLASS



PITNEY BOWES
US POSTAGE
02 1P \$ 000.73⁰
0002118651 NOV 05 2021
MAILED FROM ZIP CODE 87102

SMITH DORETHA A
9309 HALYARD RD NW
ALBUQUERQUE NM 87121-1992

inning
NW
87102

FIRST-CLASS



PITNEY BOWES
US POSTAGE
02 1P \$ 000.73⁰
0002118651 NOV 05 2021
MAILED FROM ZIP CODE 87102

SULLIVAN BRUCE THOMAS & ESTHER
523 EL SHADDAI ST NW
ALBUQUERQUE NM 87121

nsus Planning
th Street NW
que. NM 87102

FIRST-CLASS



PITNEY BOWERS
US POSTAGE
02 1P \$ 000.73⁰
000211 8651 NOV 05 2021
MAILED FROM ZIP CODE 87102

TRUJILLO ANDY ALMARAZ
527 KETCH DR NW
ALBUQUERQUE NM 87121-1980

sus Planning
Street NW
ue, NM 87102

FIRST-CLASS



PITNEY BOWERS
US POSTAGE
02 1P \$ 000.73⁰
000211 8651 NOV 05 2021
MAILED FROM ZIP CODE 87102

RODRIGUEZ HILDA L
9415 HALYARD RD NW
ALBUQUERQUE NM 87121

s Planning
treet NW
, NM 87102

FIRST-CLASS

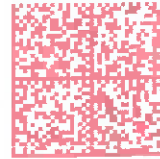


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LABASTIDA EDGAR A
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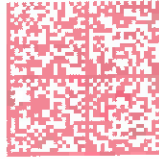


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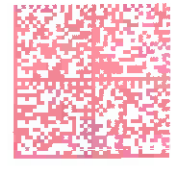


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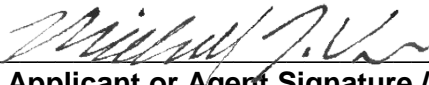
ZAMORA OMAR & DANIELA
532 EL SHADDAI ST NW
ALBUQUERQUE NM 87121-2571

SITE PLAN CHECKLIST

Project #: PR-2021-006070 Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 11/5/21

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

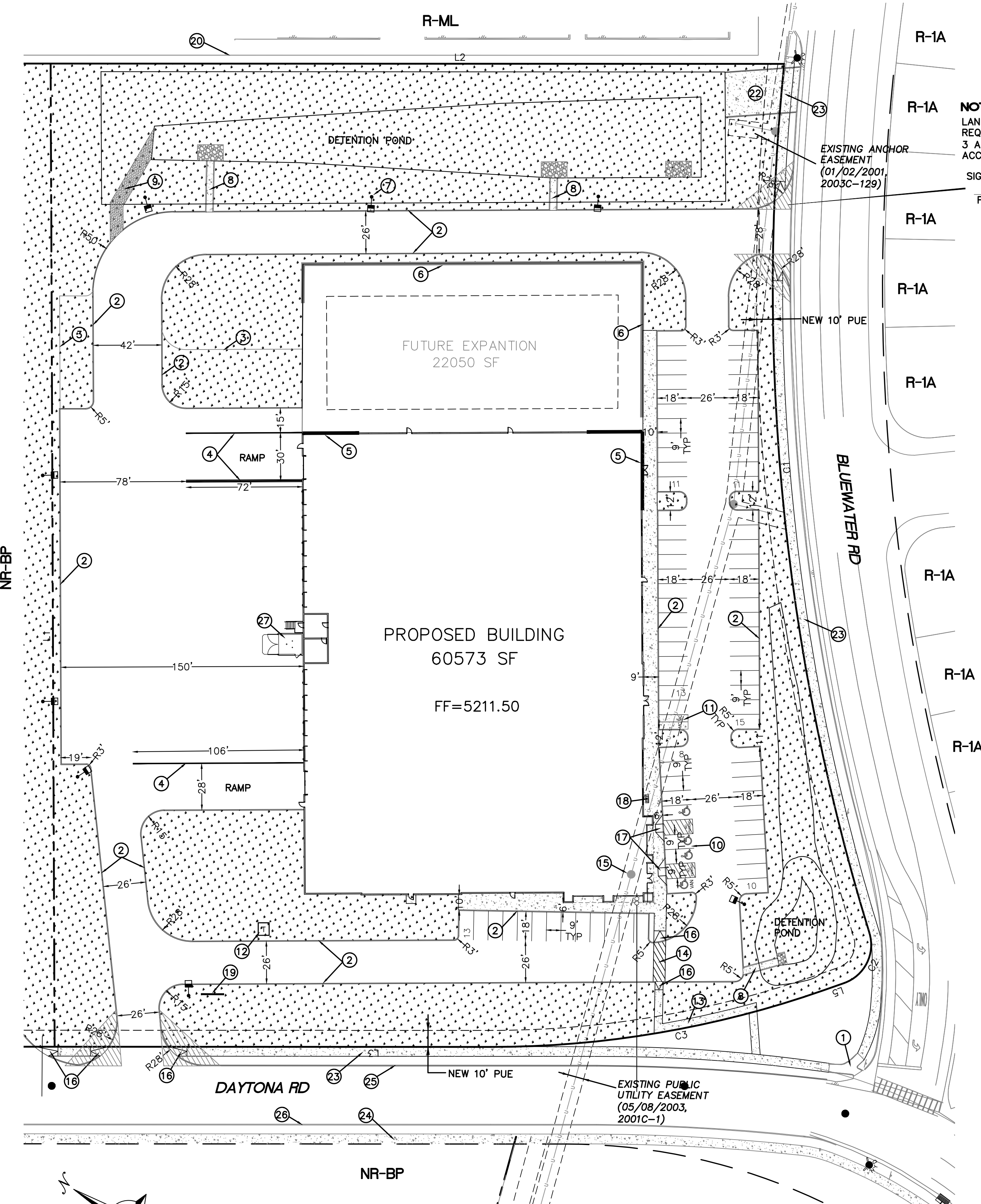
SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

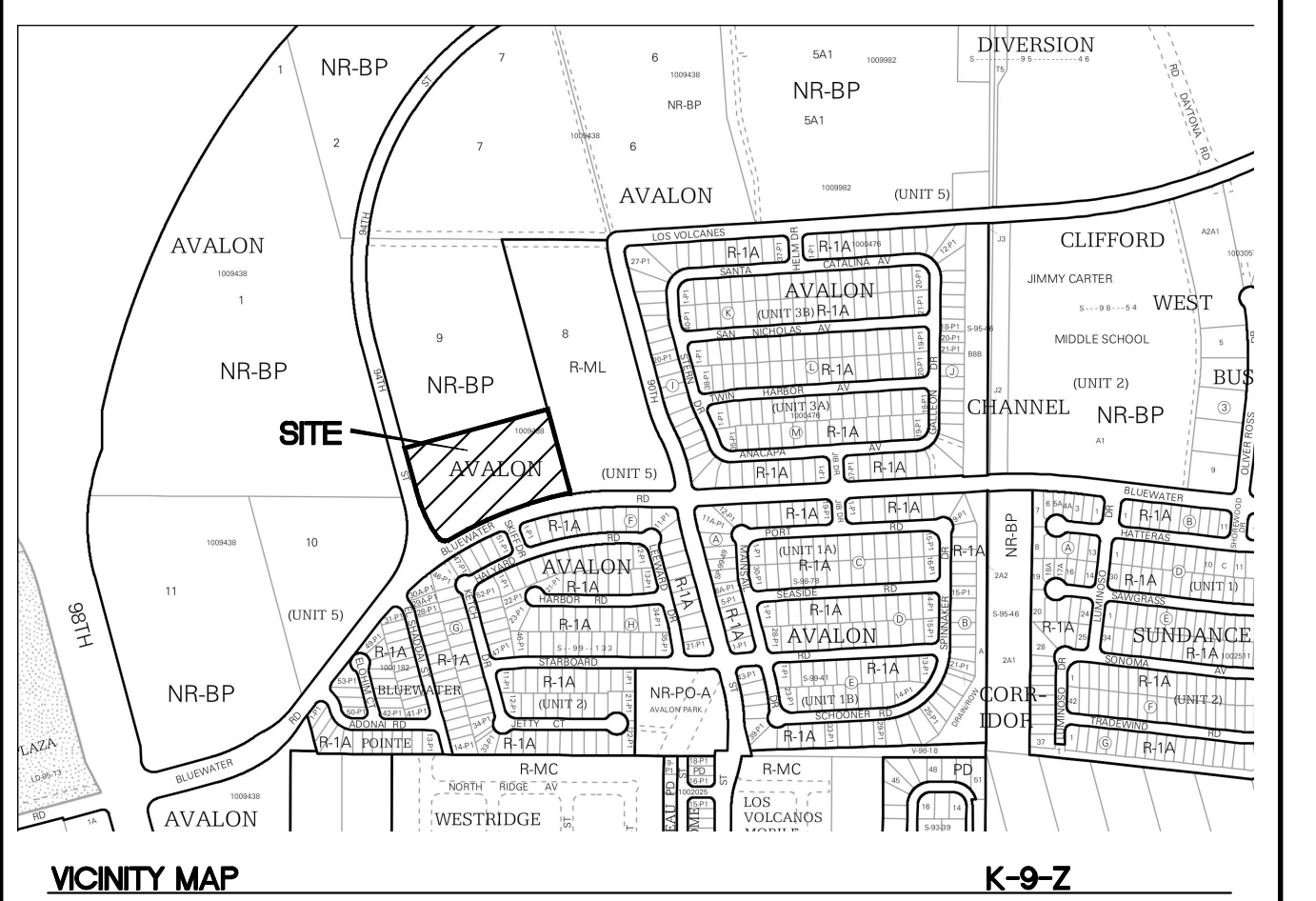


NOTE
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	RETAINING WALL
	HEAVY DUTY PAVING
	LIGHT DUTY PAVING
	LANDSCAPING

- KEYED NOTES**
- EXISTING ACCESSIBLE RAMP TO REMAIN
 - 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
 - FUTURE CURB AND GUTTER
 - RETAINING WALL, HEIGHT VARIES 1' TO 4'
 - EXTENDED STEM WALL
 - FUTURE EXTENDED STEM WALL
 - SITE LIGHTING, 30' MAX HEIGHT LED (TYP)
 - 4' CONCRETE RUNDOWN
 - 8' GRAVEL ACCESS ROAD
 - ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN SEE DETAIL SHEET DET-1
 - MOTORCYCLE SPACES W/SIGN (4'X8' MIN) SEE DETAIL SHEET DET-1
 - TRANSFORMER W/BOLLARDS
 - 5' CONCRETE SIDEWALK PER COA STD DWG 2430
 - 6' STRIPED PEDESTRIAN CROSSING
 - EXISTING POWER POLE TO BE RELOCATED
 - UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
 - ACCESSIBLE RAMP SEE DETAIL SHEET DET-1
 - BICYCLE RACK SEE DETAIL SHEET DET-1
 - MONUMENT SIGN
 - EXISTING CMU PERIMETER WALL
 - DUMPSTER SEE DETAIL SHEET DET-1
 - CONCRETE POND EMERGENCY OVERFLOW
 - NEW 6' SIDEWALK
 - FUTURE 6' SIDEWALK
 - 8" CURB AND GUTTER PER CO STD DWG 2415A
 - FUTURE CURB AND GUTTER
 - SINGLE DUMPSTER W/RECYCLING



LEGAL DESCRIPTION:
 PORTION OF LOT 9 AVALON SUBDIVISION

SITE DATA

PROPOSED USAGE	COMMERCIAL
LOT AREA	279233 SF (6.41 ACRES)
ZONING	NR-BP
BUILDING AREA	60573 SF (PHASE 1)
(FUTURE BUILDING AREA)	22050 SF
TOTAL	82623 SF
BUILDING SETBACK	
FRONT	5'
REAR	0'
SIDE	0'
PARKING REQUIRED	PHASE 1 31 SPACES (1 SPACE PER 2000SF)
	PHASE 2 11 SPACES (1 SPACE PER 2000SF)
PARKING PROVIDED	69 SPACES, INCLUDES 4 ACCESSIBLE SPACES
MOTORCYCLE SPACES REQUIRED	2 SPACES
MOTORCYCLE SPACES PROVIDED	2 SPACES
BICYCLE SPACES REQUIRED	5
BICYCLE SPACES PROVIDED	5
LANDSCAPE REQUIRED	29424 SF
LANDSCAPE PROVIDED	98197 SF

PROJECT NUMBER: ---
APPLICATION NUMBER: ---

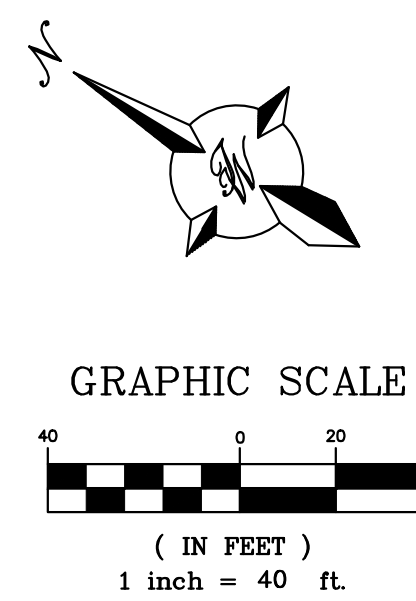
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



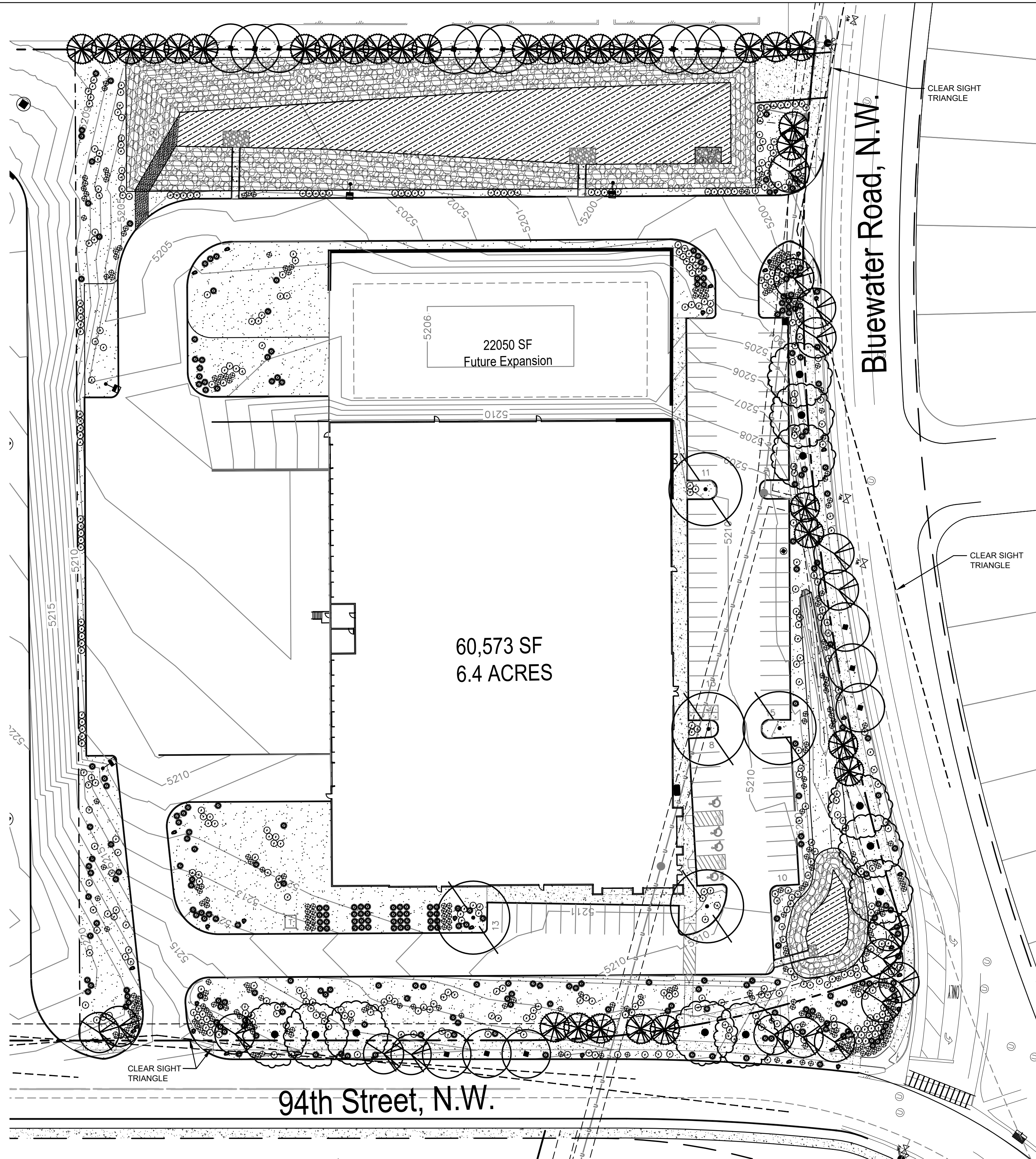
LINE TABLE

LINE	BEARING	LENGTH
L1	N74°46'10"E	607.48
L2	S14°58'21"E	453.47
L3	N14°55'50"W	269.64
L5	N34°19'52"W	13.71

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH
C1	22°55'21"	1358.17	543.36
C2	87°43'53"	25.00	38.28
C3	19°21'21"	620.00	209.45

	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm DATE 11-4-21
	SITE PLAN FOR BUILDING PERMIT	DRAWING 2020088-60K.DWG
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SP-1 JOB # 2020088



GENERAL LANDSCAPE NOTES

IRRIGATION:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE:
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE:
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION:
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
15		TREES - REFERENCE DETAIL 1/L101 PISTACIA CHINENSIS CHINESE PISTACHE (M)	2.5" B&B	40' HT. X 30' SPR
5		GL EDITISIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEY LOCUST (M)	2.5" B&B	50' HT. X 45' SPR.
11		ULMUS 'FRONTIER' FRONTIER ELM (M)	2.5" B&B	40' HT. X 40' SPR.
18		CHILOPSIS LINEARIS DESERT WILLOW 'BUBBA' (RW)	2" O.C. MULTI	20' HT. X 25' SPR.
32		PINUS EL-DARICA AFGHAN PINE (M)	8' HT.	40' HT. X 18' SPR.
445		SHRUBS AND GROUNDCOVERS - REFERENCE DETAIL 2/L101 ERICAMERIA LARICIFOLIA TURPENTINE BUSH (L)	1-GAL	3' HT. X 4' SPR.
		BUDDLEIA DAVIDII NANH 'MONGO' PETITE INDIGO BUTTERFLY BUSH (M)	5-GAL	5' HT. X 5' SPR.
		LAVANDULA 'GROSSO' GROSSO LAVENDER (M)	5-GAL	3' HT. X 3' SPR.
		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5' HT. X 5' SPR.
		PINUS MUGO VAR. PUMILIO DWARF MUGO PINE (M)	5-GAL	4' HT. X 8' SPR.
		ACHILLEA TAYGETEA 'MOONSHINE' MOONSHINE YARROW (M)	5-GAL	2' HT. X 2' SPR.
		BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW BARBERRY (L)	5-GAL	5' HT. X 4' SPR.
		SALVIA GREGGII CHERRY SAGE (L)	5-GAL	2' HT. X 3' SPR.
		AGASTACHE AYA AYA'S HUMMINGBIRD MINT (L)	5-GAL	4' HT. X 2' SPR.
		BACCHARIS X 'STARN THOMPSON' PROSTRATE COYOTE BUSH (L)	5-GAL	2' HT. X 5' SPR.
260		DESERT ACCENTS - REFERENCE DETAIL 2/L101 NOLINA MICROCARPA BEARGRASS (L)	5-GAL	4' HT. X 4' SPR.
		DASYLIRION WHEELERI DESERT SPOON (L)	5-GAL	5' HT. X 5' SPR.
		HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA (L)	5-GAL	3' HT. X 4' SPR.
		OPUNTIA ELLISIANA 'SPINELESS' SPINELESS PRICKLY PEAR (RW)	5-GAL	4' HT. X 5' SPR.
		YUCCA FILAMENTOSA ADAM'S NEEDLE YUCCA (L)	5-GAL	3' HT. X 3' SPR.
260		ORNAMENTAL GRASSES - REFERENCE DETAIL 2/L101 SCHIZACHYRIUM SCOP 'THE BLUES' THE BLUES LITTLE BLUESTEM GRASS (L)	5-GAL	2' HT. X 2' SPR.
		MISCANTHUS SINENSIS GRACILLIMUS MAIDEN HAIR GRASS (M)	5-GAL	5' HT. X 5' SPR.
		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL	4' HT. X 2.5' SPR.

- 75,818 SF LANDSCAPE AREAS WILL BE COVERED WITH ROCK OR WOOD MULCH OVER FILTER FABRIC. A VARIETY OF TYPES WILL BE USED TO ADD INTEREST OR ADDRESS GRADING. TYPES WILL BE: MICHIGAN CRUSHER FINES, 1" UL TRAVIOLLET GRAVEL, 7/8" SANTA FE BROWN GRAVEL, 3/4" BASALT GRAVEL AND 2"-4" SANGRIA COBBLE
- 13,008 SF REVEGETATION AREAS SHALL BE HYDROMULCH APPLICATION PER ODA SPECIFICATION SECTION 1012. LIMITS OF REVEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMIT OF DISTURBANCE. SANDY SOILS MIX (20 LBS. PLS PER ACRE TOTAL) (PONDING AREA - NOT INCLUDED IN LANDSCAPE CALC.)
- 20,203 SF REVEGETATIVE SEEDING WITH 1"-4" ROCK OVER DIRT (PONDING AREA - NOT INCLUDED IN LANDSCAPE CALC.)
- 33 EA PUEBLO ROSE BOULDERS 3'X3'X3'

LANDSCAPE CALCULATIONS

SITE AREA (6.4 AC)	278,784 SF
BUILDING FOOTPRINT	- 60,573 SF
NET LOT	218,211 SF
-REQUIRED/PROVIDED LANDSCAPE	32,732 SF (15%) / 75,818 SF (35%)
(EXCLUDES PONDING AREAS AND FUTURE EXPANSION SITE)	

COVERAGE	
-REQUIRED/PROVIDED VEGETATIVE COVER	56,864 SF (75%) / 57,364 SF (76%)
-REQUIRED/PROVIDED GROUND-LEVEL COVER	14,216 SF (25%) / 14,345 SF (25%)

PARKING LOT TREES	
PARKING LOT SPACES PROVIDED	82
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
-REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	9/10

PARKING LOT AREA	
AT LEAST 15 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.	
PARKING LOT AREA	28,993 SF
-REQUIRED/PROVIDED PARKING LOT LANDSCAPE	4,349 SF (15%) / 6,928 SF (24%)

STREET TREES	
STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. BLUEWATER RD NW FRONTAGE IS 645'	
-REQUIRED/PROVIDED STREET TREES: 26/26	
94TH ST NW FRONTAGE IS 506'	
-REQUIRED/PROVIDED STREET TREES: 21/21	

BUFFER LANDSCAPE	
IF A WALL AT LEAST 3 FEET IN HEIGHT IS PROVIDED OR EXISTS ALONG THE PROPERTY LINE BETWEEN THE TWO PROPERTIES, 1 TREE AT LEAST 8 FEET HIGH AT THE TIME OF PLANTING SHALL BE PROVIDED EVERY 15 FEET ALONG THE WALL 452' OF EXISTING WALL	
-REQUIRED/PROVIDED TREES: 30/30	

CONSENSUS
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CONSULTANTS

NOT FOR CONSTRUCTION

**WESTPOINT 40
60K BUILDING
ALBUQUERQUE, NM**

NOVEMBER 4, 2021

SUBMITTALS: DRB

REVISIONS

NO.	DATE	DESCRIPTION

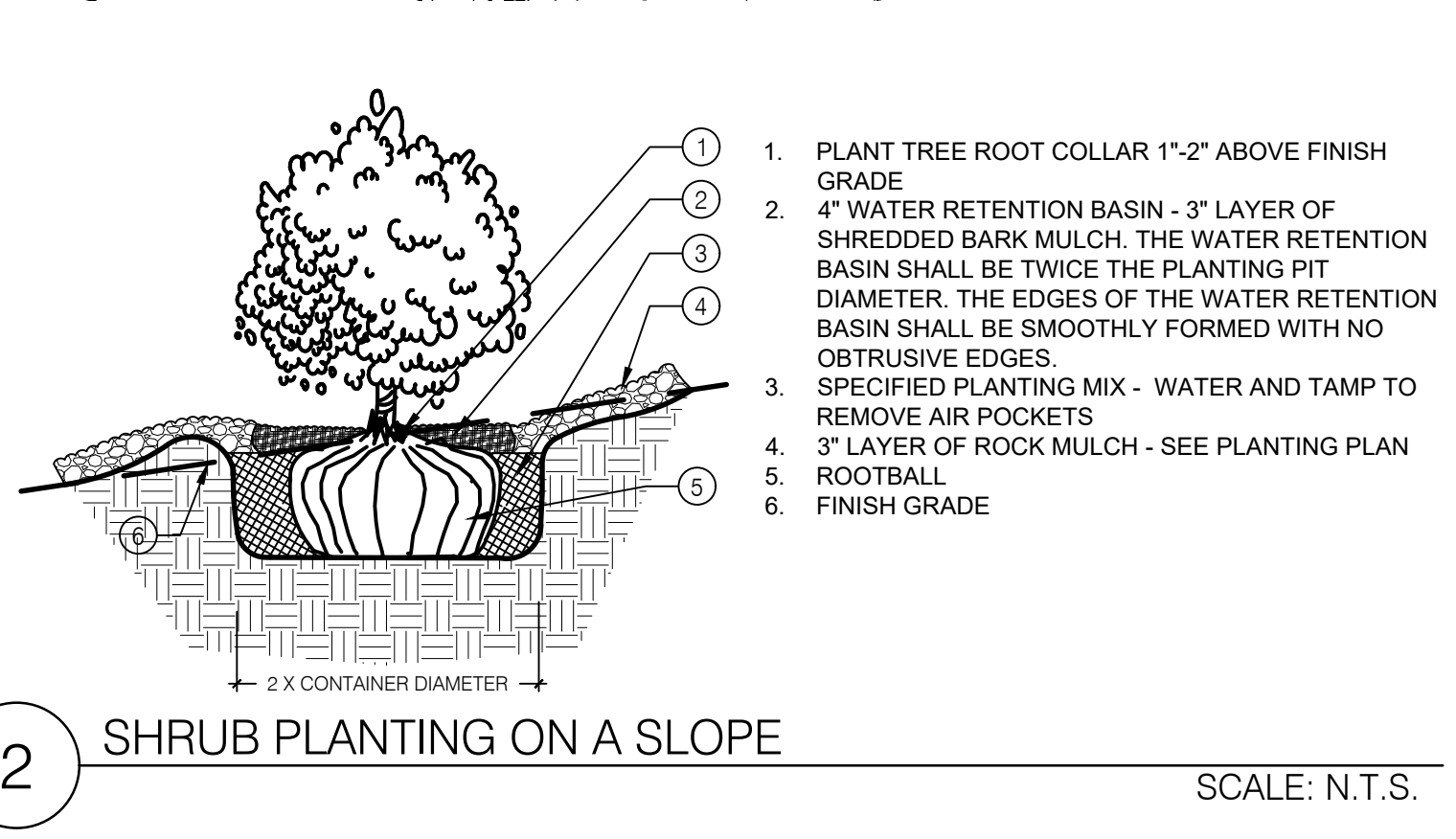
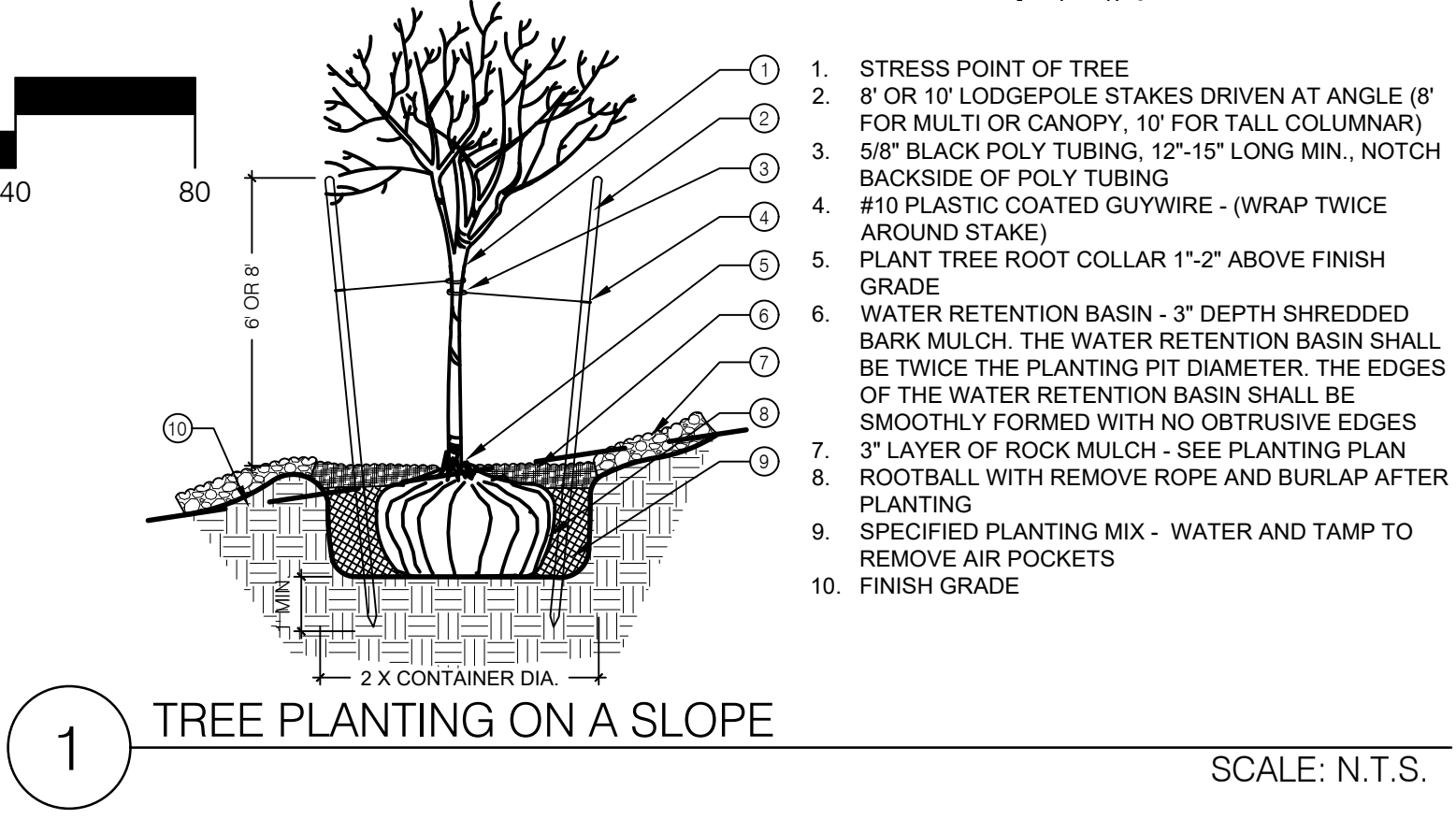
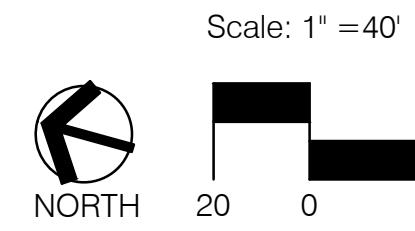
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CAD DWG FILE:
DESIGNED BY: KP
DRAWN BY: KP
CHECKED BY: CG

SHEET TITLE

LANDSCAPE PLAN

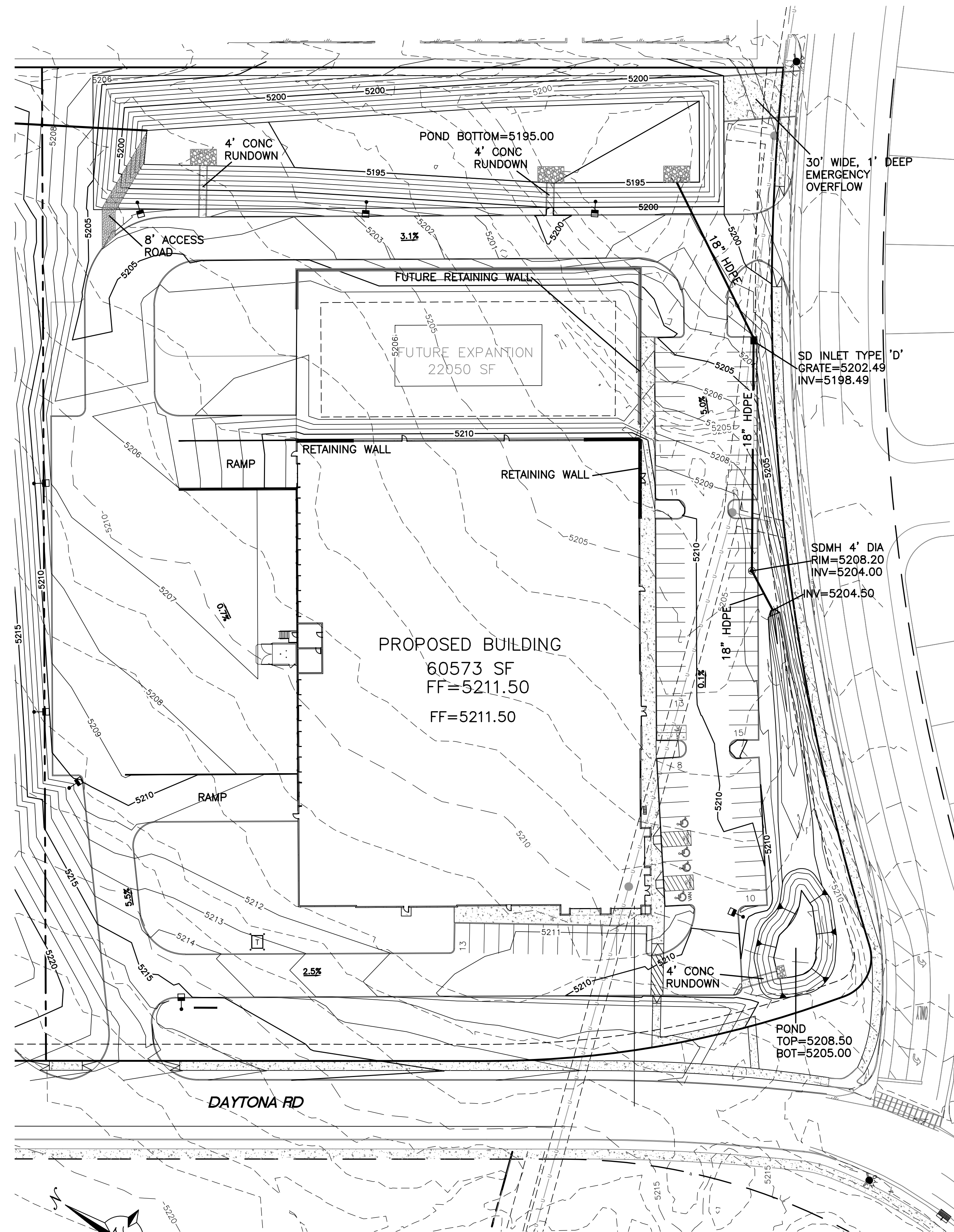
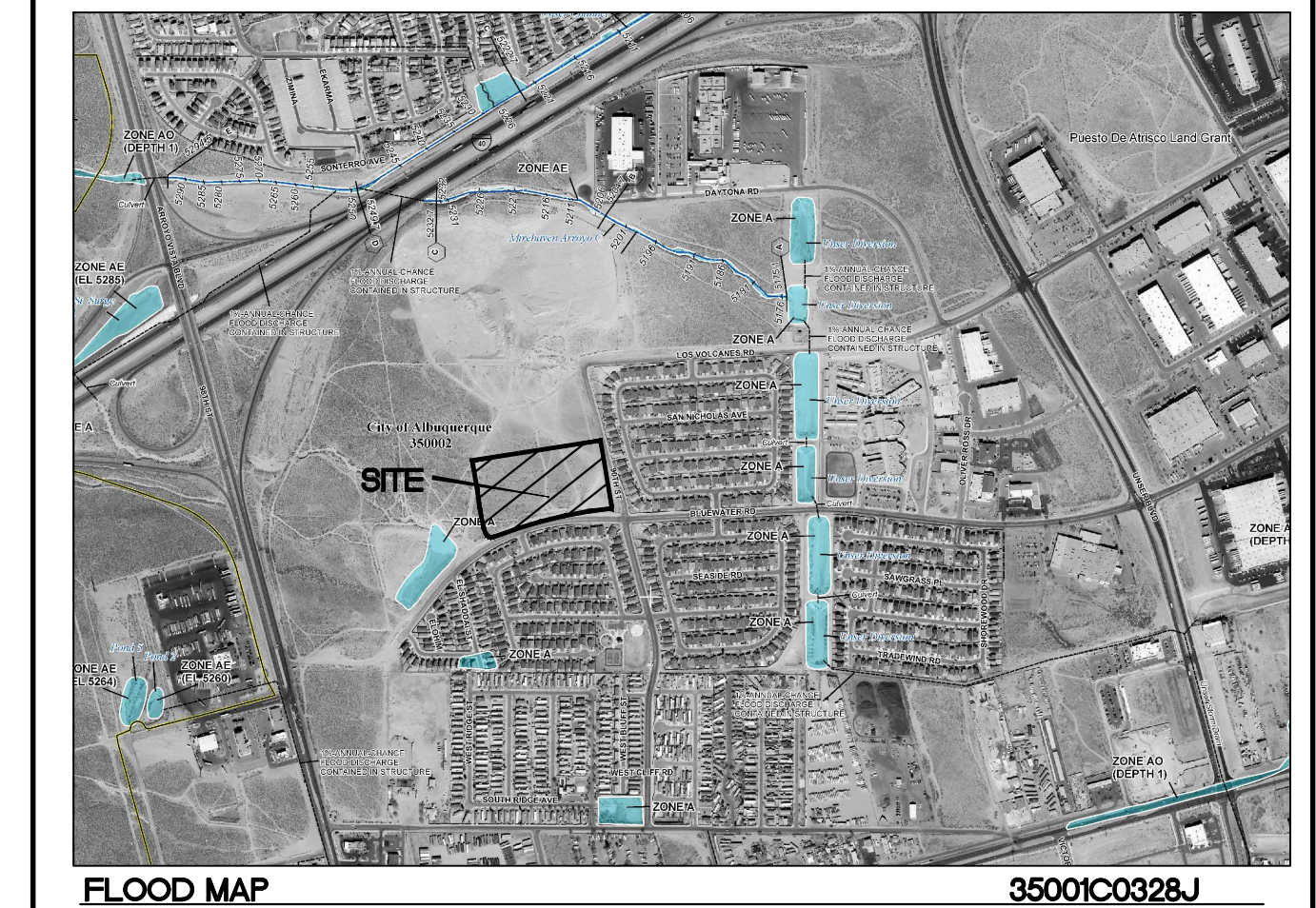
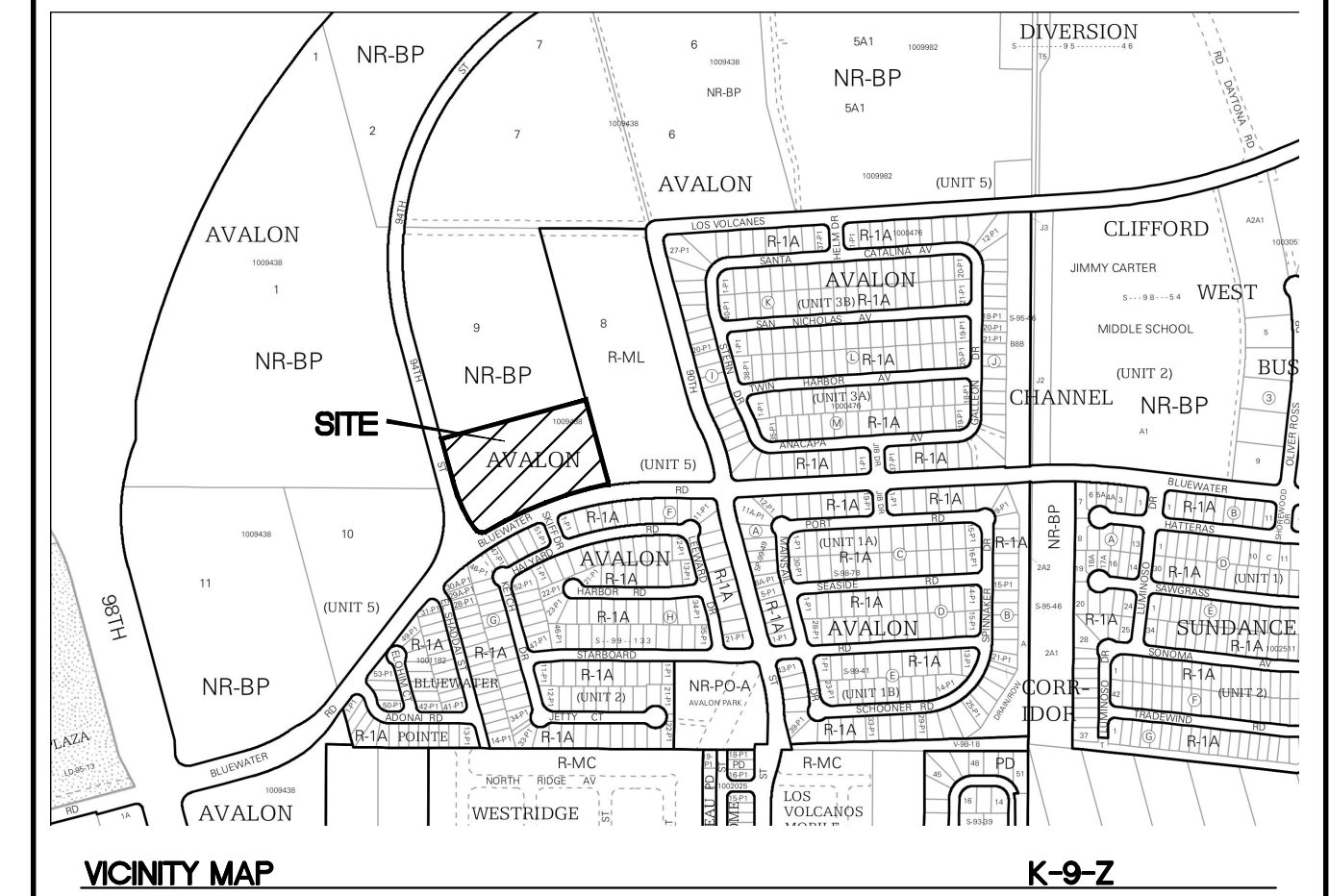
DRAWING SHEET

L101



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT LINE
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▭ RETAINING WALL



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3\"/>

EXISTING DRAINAGE:

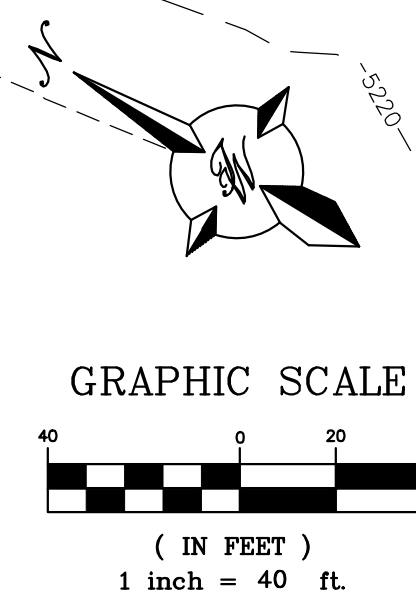
THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE SOUTHEAST CORNER OF BLUEWATER RD AND DAYTONA RD. THE SITE IS BOUNDED BY ROADS ON THE WEST AND SOUTH SIDES AND A MULTIFAMILY DEVELOPMENT ON THE EAST SIDE AND VACANT PROPERTY ON THE NORTH SIDE. IT CONTAINS APPROXIMATELY 6.41 ACRES. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHEAST WITH MOST OF IT DRAINING INTO BLUEWATER ROAD EXISTING STORM DRAIN. ACCORDING TO AN APPROVED MASTER DRAINAGE PLAN (K09D041) COMPLETED BY BOHANNAN HUSTON INC. THE ALLOWABLE DEVELOPED DISCHARGE FROM THE SITE TO THE EXISTING STORM SEWER IN BLUEWATER IS 1.5 CFS PER ACRE. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE OFFSITE FLOWS THAT ENTER THE SITE FROM THE NORTH.

PROPOSED DRAINAGE:

THE SITE WILL DRAIN TO THE SOUTHEAST CORNER OF THE SITE INTO A PROPOSED DETENTION POND. THE POND WILL DISCHARGE AT THE CONTROLLED RATE OF 1.5 CFS PER ACRE TO THE EXISTING STORM DRAIN IN BLUEWATER ROAD. THIS POND WILL ALSO RETAIN THE WATER QUALITY VOLUME FOR THIS PARCEL.

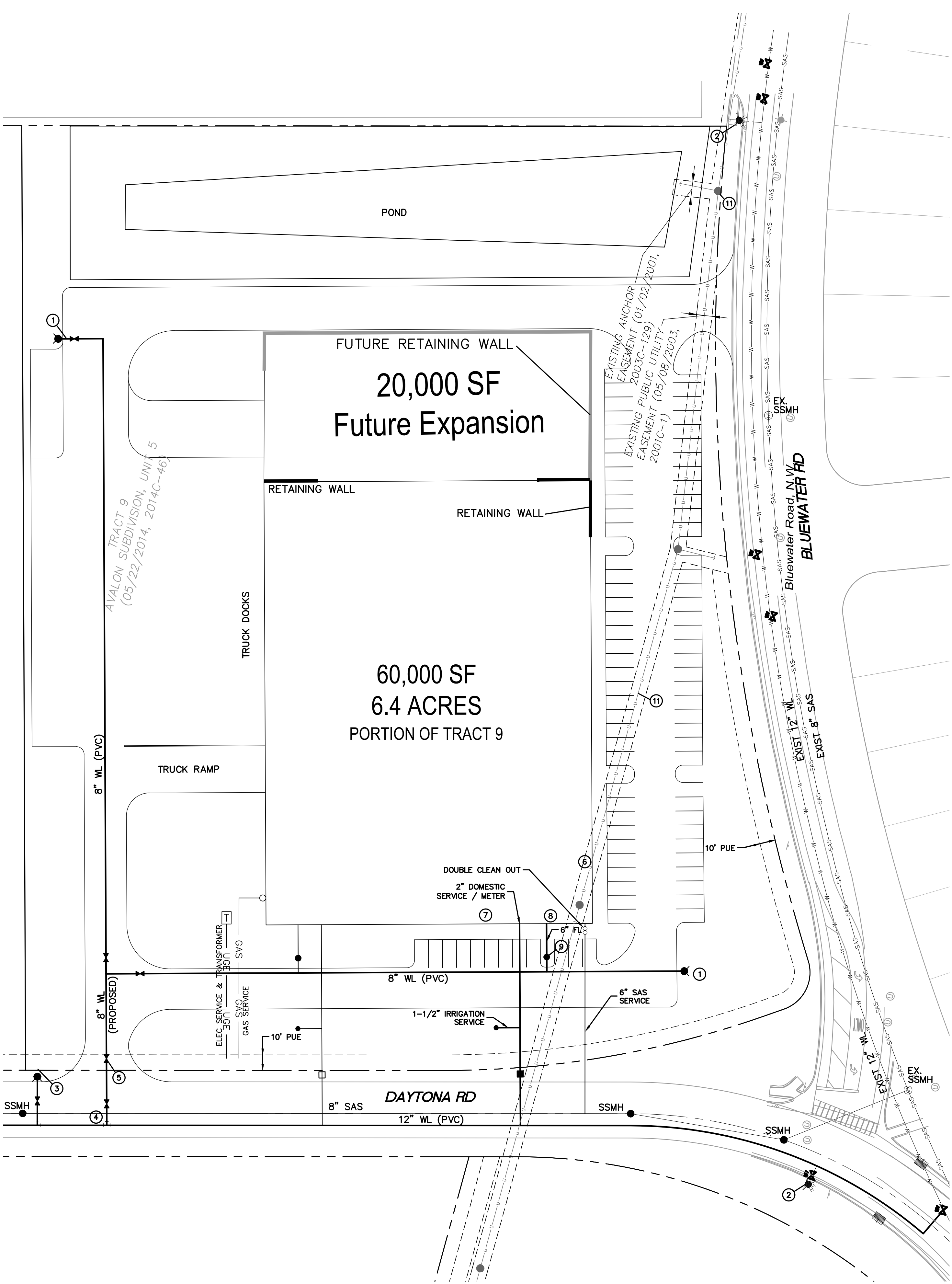
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 11-4-21
11-4-21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K.DWG
		SHEET # GR-1
		JOB # 2020088

Z:\2021\2021062 Blue Sky Distributing\dwg\EPC\2021062-XMUE.dwg Sep. 22, 2021 11:49am

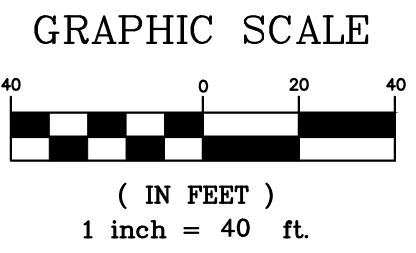
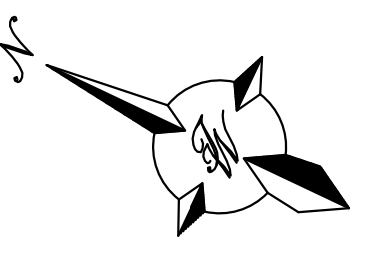


LEGEND

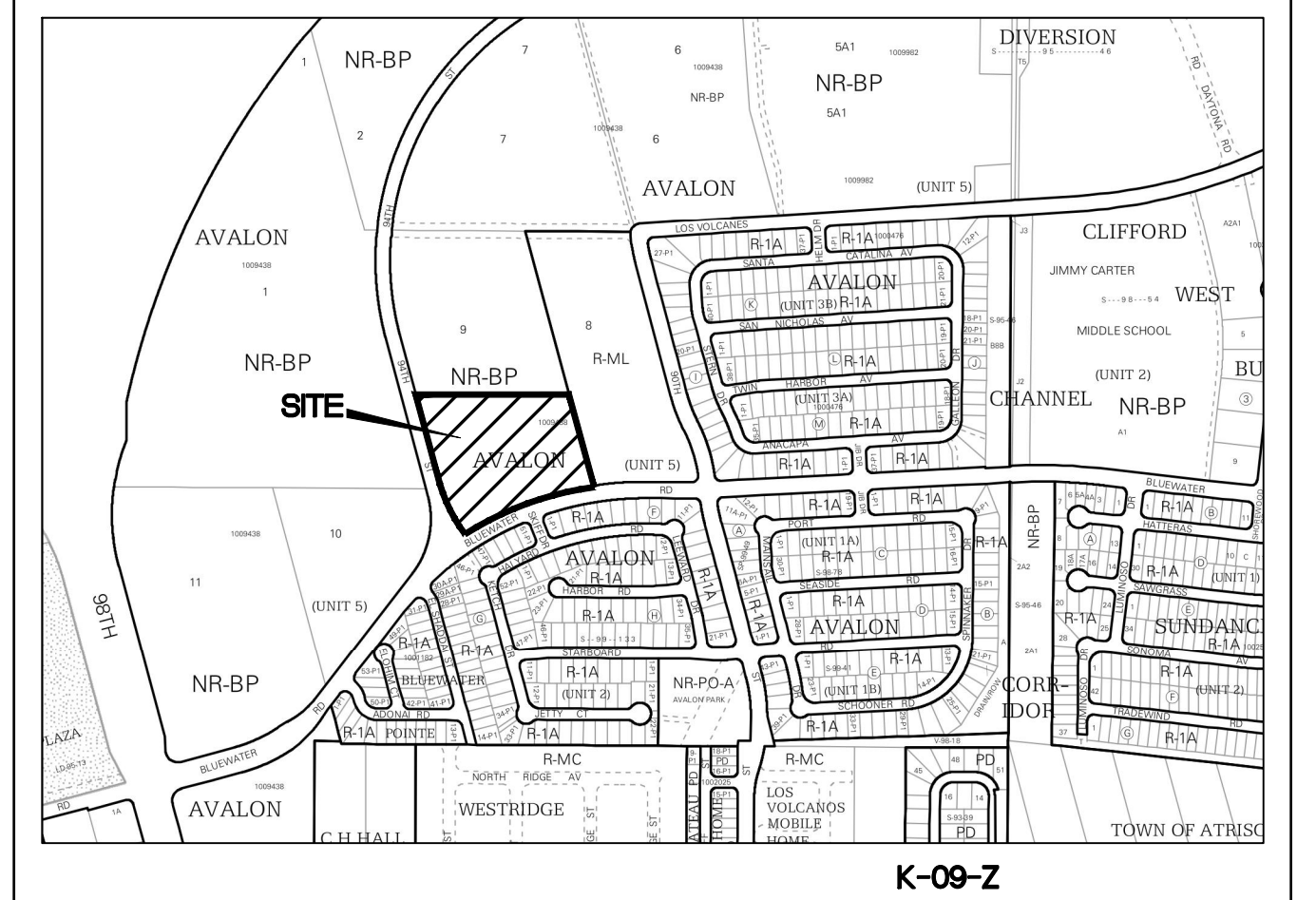
- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- STORM SEWER LINE
- SANITARY SEWER LINE
- WATERLINE
- SINGLE CLEAN OUT
- ⊗ DOUBLE CLEAN OUT
- ⊙ EXISTING SD MANHOLE
- ⊙ EXISTING SAS MANHOLE
- ⊙ EXISTING FIRE HYDRANT
- ⊙ EXISTING WATER VALVE
- ⊙ EXISTING WATER METER
- ⊙ EXISTING POWER POLE
- ⊙ EXISTING GAS VALVE
- EX. U — EXISTING OVERHEAD UTILITIES
- EX. UGE — EXISTING UNDERGROUND UTILITIES
- EX. 2" GAS — EXISTING GAS
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 10" WL — EXISTING WATER LINE
- EX. 18" RCP — EXISTING STORM SEWER LINE

KEYED NOTES

- ① NEW FIRE HYDRANT (PRIVATE) PER COA STD DWG 2340
- ② EXISTING FIRE HYDRANT (PUBLIC)
- ③ NEW FIRE HYDRANT (PUBLIC) PER COA STD DWG 2326, 2328, 2340
- ④ PUBLIC GATE VALVE PER COA STD DWG 2326, 2329, 2461
- ⑤ PRIVATE GATE VALVE PER COA STD DWG 2326, 2329, 2461
- ⑥ KNOX BOX
- ⑦ BUILDING ADDRESS
- ⑧ FDC
- ⑨ PIV
- ⑩ EXISTING PNM OH ELECTRIC LINES / POLES TO BE RELOCATED. COORDINATE WITH PNM
- ⑪ EXISTING POWER POLE TO REMAIN



ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



LEGAL DESCRIPTION

PORTION OF TRACT 9 AVALON SUBDIVISION UNIT 5

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

NOT FOR CONSTRUCTION	ENGINEER'S SEAL	DRAWN BY AS
	DATE 09-22-2021	2021062-XMUE
	SHEET # MU	JOB # 2021062
BLUE SKY DISTRIBUTING ALBUQUERQUE, NM		
CONCEPTUAL UTILITY PLAN		
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		



REV	DATE	DESCRIPTION

PROJECT NUMBER
14983

DATE
11/05/2021
DESIGN REVIEW SET

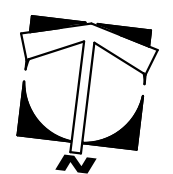
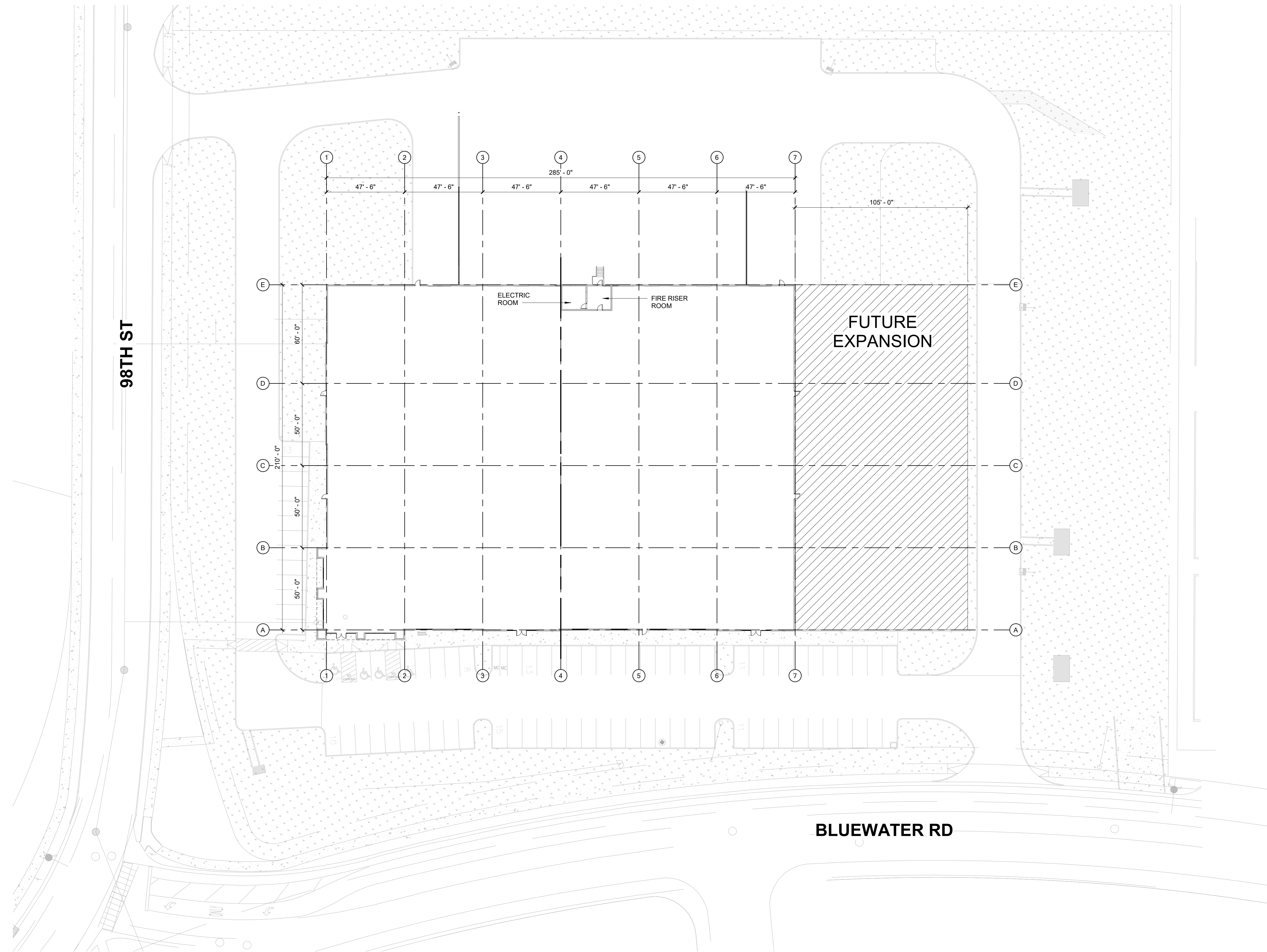
DESIGNED: JRV
 DRAWN: TRH
 REVIEWED: CDR

SHEET TITLE

ARCHITECTURAL SITE PLAN

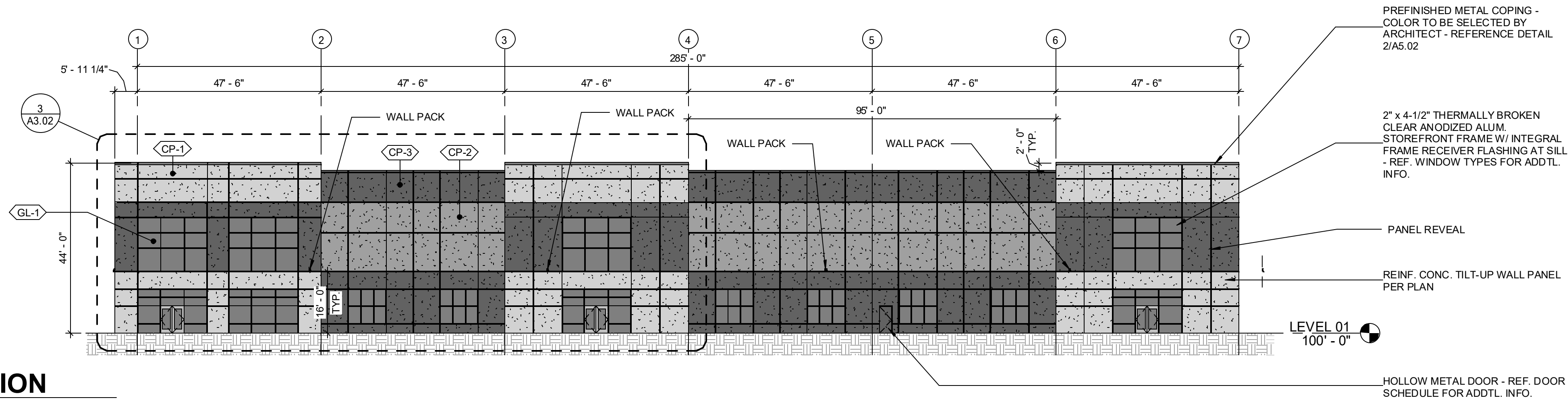
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A1.01



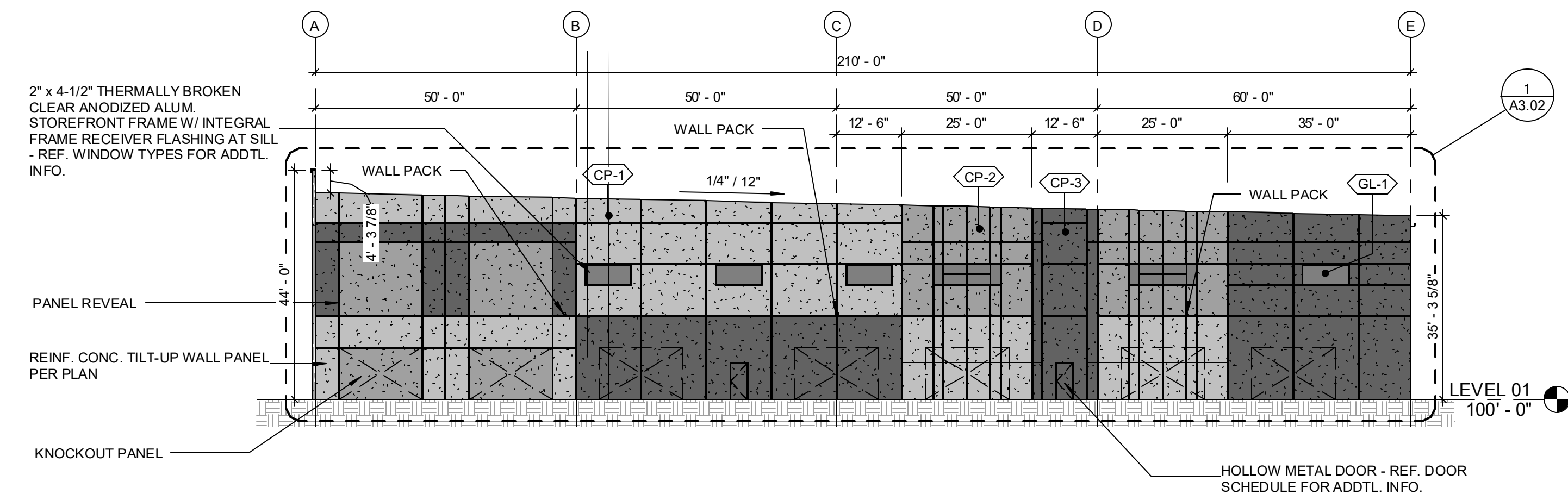
MATERIAL & FINISH LEGEND

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- CONCRETE, PAINTED 2 : CP-2/MEDIUM GRAY
- CONCRETE, PAINTED 3 : CP-3/DARK GRAY
- GLAZING 1 : GL-1



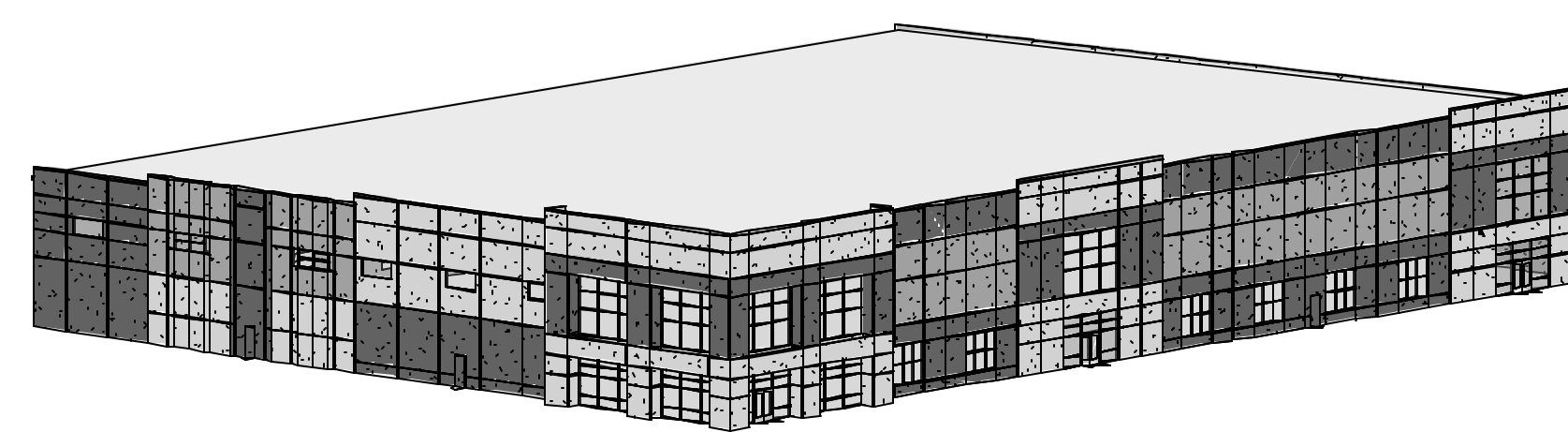
OVERALL SOUTH ELEVATION

A1.10/A3.01 SCALE: 1" = 20'-0"



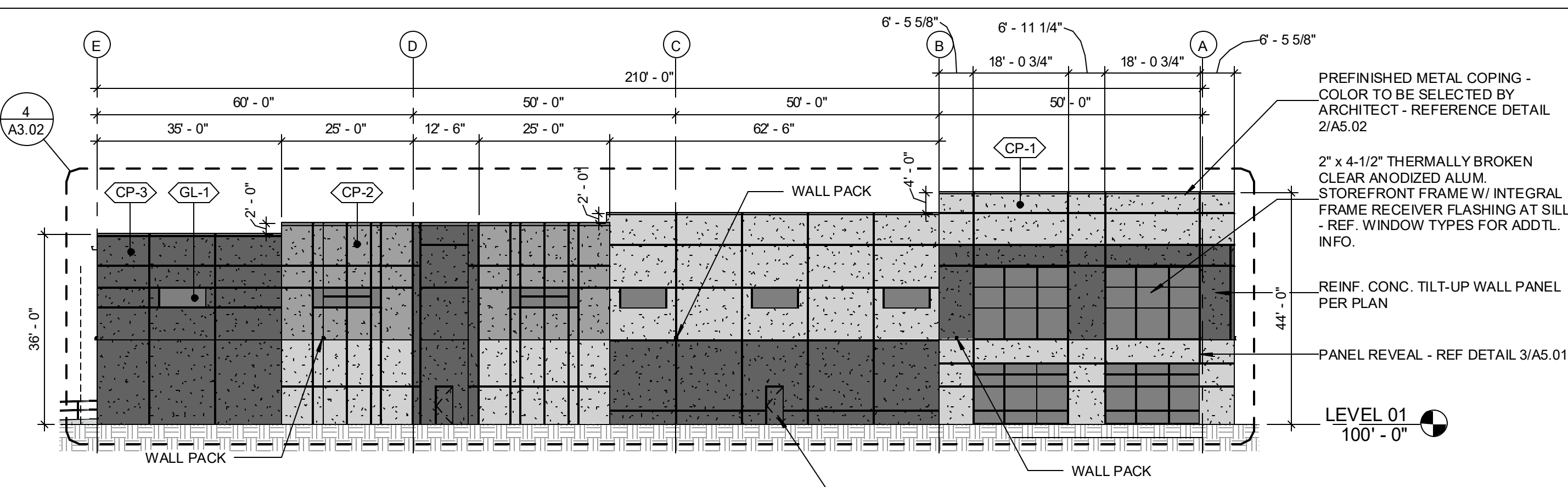
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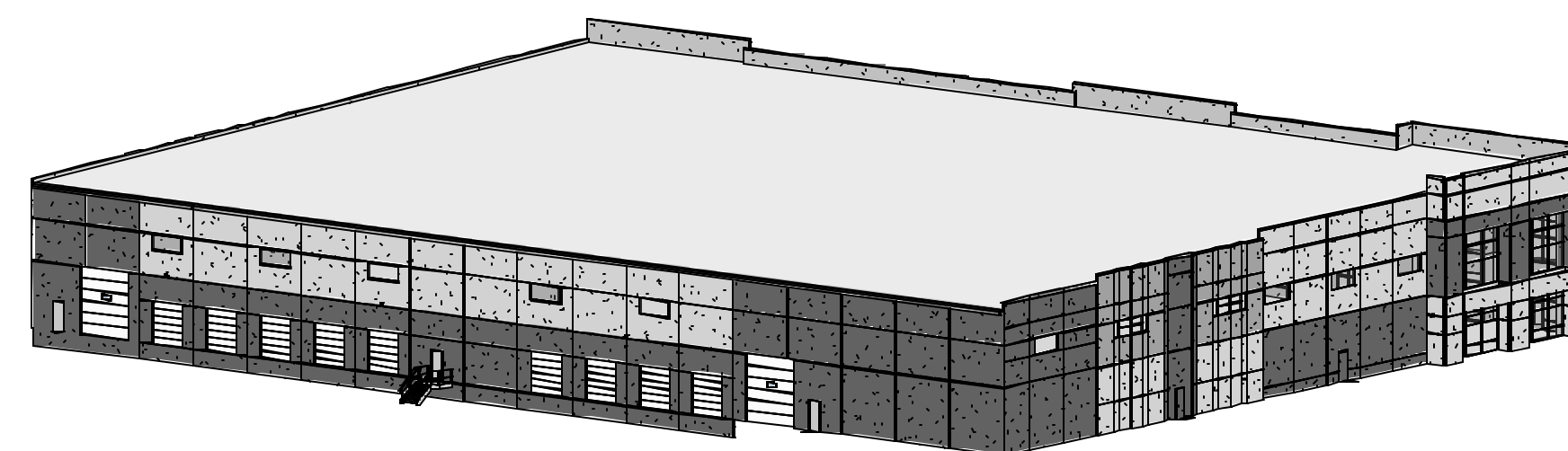
FRONT AXON

A3.01 SCALE:



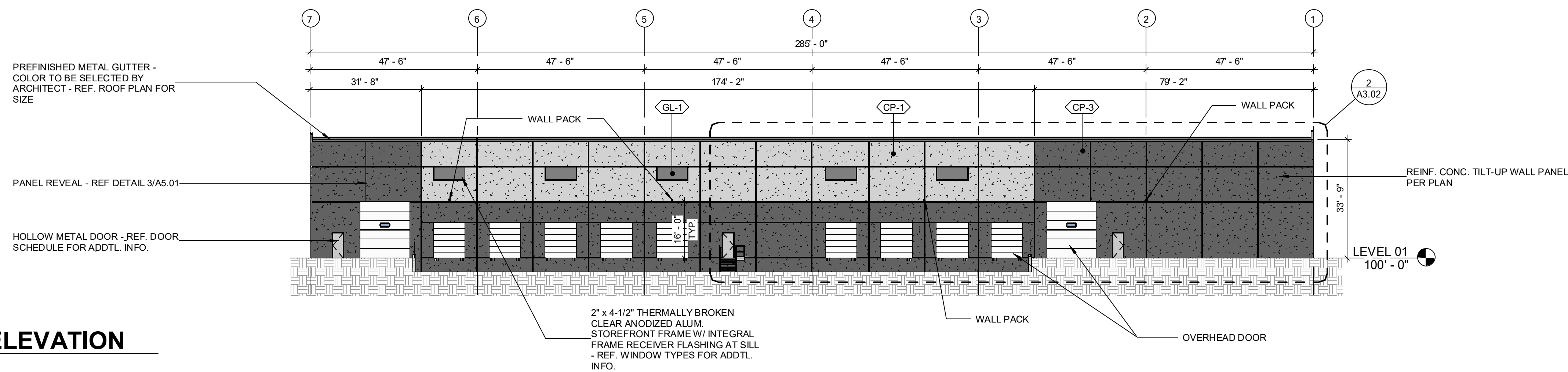
OVERALL WEST ELEVATION

A1.10/A3.01 SCALE: 1" = 20'-0"



REAR AXON

A3.01 SCALE:



OVERALL NORTH ELEVATION

A1.10/A3.01 SCALE: 1" = 20'-0"



9801 Renner Blvd. Ste. 300
Lenexa, KS 66219
913.492.0400
gbateam.com

14983 - WESTPOINTE40 - 60K

ALBUQUERQUE NM



REV	DATE	DESCRIPTION

PROJECT NUMBER
14983

DATE
11/05/2021
DESIGN REVIEW SET

DESIGNED: JRV
DRAWN: TRH
REVIEWED: CDR

SHEET TITLE

EXTERIOR BUILDING
ELEVATIONS

SHEET NUMBER

A3.01

© George Butler Associates, Inc. 2019
Engineering CO# E-92
Architecture CO# A-45
Land Surveying CO# LS-8



TIERRA WEST, LLC

November 4, 2021

Ms. Jolene Wolfley
City of Albuquerque – DRB Chair
600 2nd Street NW
Albuquerque NM 87102

**RE: WESTPOINTE 40
LOT 9 AVALON SUBDIVISION UNIT 5
SENSITIVE LANDS ANALYSIS**

Dear Ms. Wolfley:

Tierra West, LLC has performed a Sensitive Lands Analysis Report as required under the Integrated Development Ordinance (IDO) Section 5-2(C) for new subdivisions of land, documenting the following:

Item:	Presence:	Commentary:
Floodplains and Flood Hazard	None	See attached Firmette showing no flood plain present
Steep Slopes	None	See attached conceptual grading and drainage plan with topographic survey
Unstable Soils	None	Based on geotech reports from adjacent sites in the area of this project, existing on site soils should be suitable for engineered fills.
Wetlands (Constant supply of water)	None	See attached Firmette showing no flood plain present. Attached conceptual grading and drainage plan anticipates a drainage pond in the southeast corner of the site to attenuate runoff prior to it entering an existing storm sewer in Bluewater Rd.
Arroyo	None	See attached topographic survey. No arroyos present
Irrigation Facilities	None	See attached topographic survey. No irrigation facilities identified.
Escarpment	None	See attached grading and drainage plan with topographic survey. No areas of escarpment identified.
Large stands of mature trees	None	No existing mature trees noted on site.
Archeological sites	None	No archaeological issues have been uncovered. See attached Certificate of No Effect from City Archaeologist Dated 10/4/21.



North View



North West View

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



East View



North East View



South View



South East View

In conclusion, none of the above features have been determined to be present on this site. Various attached documents along with the above photos of the site support our findings of no onsite sensitive land issues.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read "Ron R. Bohannon".

Ronald R. Bohannon, P.E

JN: 2012100
RRB/vc/ye