



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-006070
Application No. SI-2021-01888

TO:

Planning Department/Chair

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 1/5/22 HEARING DATE OF DEFERRAL: 12/15/21

SUBMITTAL

DESCRIPTION: Comment response memo, revised plan set, and infrastructure list.


CONTACT NAME: Michael Vos, AICP _____

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com _____



Memorandum

To: City of Albuquerque Development Review Board

From: Michael Vos, AICP, Consensus Planning, Inc. 

Date: December 30, 2021

Re: Westpointe40 South Site Plan DRB Comment Responses (PR-2021-006070)

This memo outlines the responses and changes made to the site plan for the proposed 60K warehousing and distribution building at Westpointe40 based on the comments received and reviewed at the December 15, 2021 DRB meeting.

Code Enforcement

Code Enforcement comments were addressed in the last submittal. The updated landscape buffer and other elements of the plan comply with the NR-BP zone district requirements, and the building coverage calculation has been added to the Site Plan.

Hydrology

1. Hydrology did receive the submittals for both the North Tract and the South Tract on 11/04/2021 (K09D050 – South Tract & K09D051 – North Tract). Currently these are #6 & 7 in the queue and will be looked at some time the week of December 27th.
 - a. *The Applicant received approval of the referenced grading and drainage plans. The approval letter is attached, and the stamped sheets are included within the updated plan set.*

Transportation Development

1. Based on the turning template provided, there is minor overlap between truck turning movements and the curb. Radii appear to need adjustment at the 90-degree bends, and it appears that the entrance off of Bluewater shall need to be modified to accommodate the turning movements.
 - *The radii have been adjusted slightly on the Site Plan and updated turning template exhibits are provided.*
2. On the cross-section shown, the minimum width for a bike lane is 5 feet without the curb, and the minimum required vehicular lane width is 11 feet. Make any adjustments as needed.
 - *An updated roadway cross section is provided showing vehicle lanes at 11 feet minimum and the bike lane at least 5 feet in width, not including the gutter pan.*
3. Obtain Fire-1 plan for the submittal set.
 - *The approved Fire 1 plan has been added to the attached plan set.*
4. Include the sidewalk detail in the Det-1 sheet, showing a 2% maximum cross-slope.
 - *The details sheet has been updated to specify the cross slope.*
5. On the curb ramp detail for van accessible aisle provided, include dimensioning or specify

minimum required dimensions for both the ramp and area between the ramp and building. At minimum, a 4-foot by 4-foot space is required for turning behind the wheelchair ramp.

- *A note has been added to the accessible parking/curb ramp detail specifying the minimum dimensions required between the ramp and building.*

ABCWUA

1. Availability Statement #210915R has been issued and provides the criteria for service. Extensions are required.
 - *Understood. An infrastructure list is included with the site plan.*
2. This project is within the adopted service area.
3. Pro rata is not owed for this property.
4. Utility Plan:
 - a. The backflow device should precede any other branches in the service. This should be before the separate to the irrigation yard lines.
 - *An updated utility plan has been provided with the supplemental submittal showing the backflow device before the split to the irrigation line.*

Planning

1. The Solid Waste signature must be obtained on the Site Plans prior to final sign-off from Planning.
 - *The updated Site Plan is currently being reviewed for approval by Solid Waste, and the signed copy will be provided prior to Board member signatures.*

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

December 22, 2021

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Blue Sky Distributing
Conceptual Grading and Drainage Plans
Engineer's Stamp Date: 12/06/21
Hydrology File: K09D050**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 11/04/2021, the Conceptual Grading & Drainage Plans are approved for action by the DRB for Site Plan for Building Permit.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

MASTER DRAINAGE REPORT

For

**TRACT 9A & 9B AVALON SUBDIVISION UNIT 5
ALBUQUERQUE, NEW MEXICO**

Prepared by

Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, New Mexico 87109

Prepared for

Westpointe 40 Develop
Albuquerque, NM

November 19, 2021

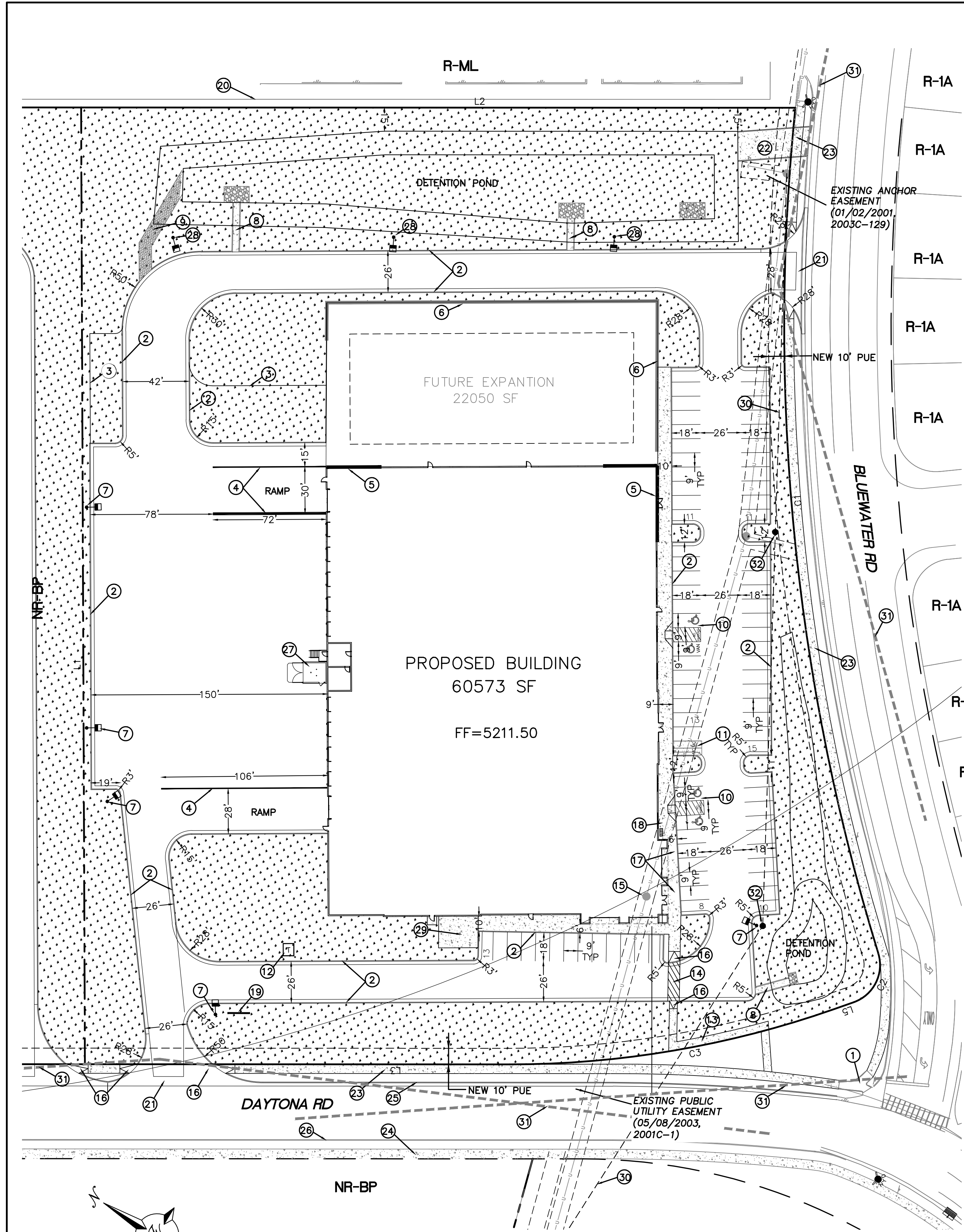


11/23/2021

RONALD R BOHANNAN, PE #7868

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 12/22/21
BY: *Renee C. Brissette*
HydroTrans # K09D050 & K09D051

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



NOTE

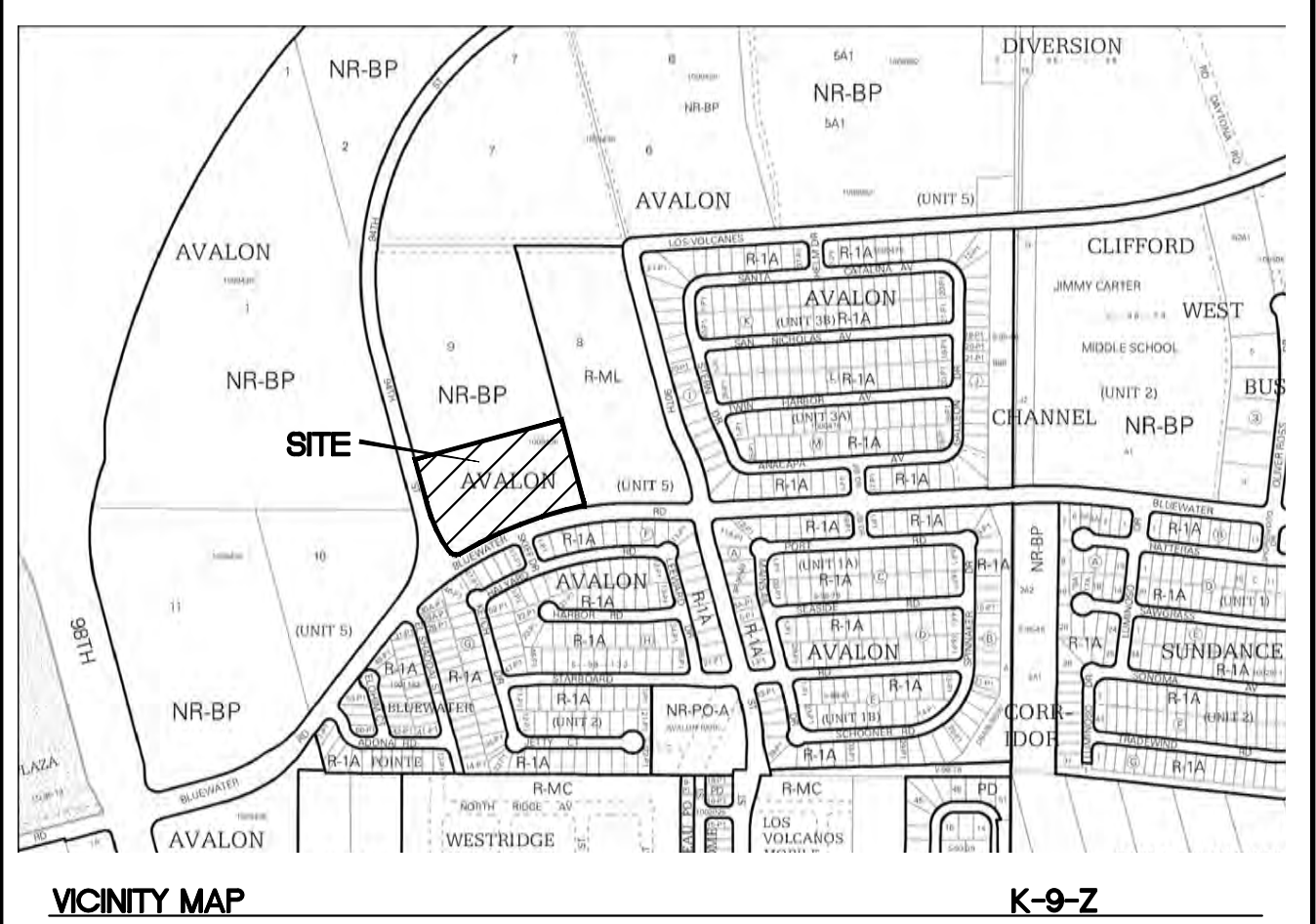
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

KEYED NOTES

- 1 EXISTING ACCESSIBLE RAMP TO REMAIN
- 2 6" CURB AND GUTTER (TYP) PER COA STD DWG 2415A
- 3 FUTURE CURB AND GUTTER (PHASE 2)
- 4 RETAINING WALL, HEIGHT VARIES 1' TO 4'
- 5 EXTENDED STEM WALL
- 6 FUTURE EXTENDED STEM WALL
- 7 SITE LIGHTING, 30' MAX HEIGHT LED
- 8 4' CONCRETE RUNDOWN SEE DETAIL SHEET SP-2
- 9 8' GRAVEL ACCESS ROAD
- 10 ACCESSIBLE SPACE PER ADA REQUIREMENTS WITH SIGN SEE DETAIL SHEET SP-2
- 11 MOTORCYCLE SPACES W/SIGN (4'X8' MIN) SEE DETAIL SHEET SP-2
- 12 TRANSFORMER W/BOLLARDS
- 13 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- 14 6' STRIPED PEDESTRIAN CROSSING
- 15 EXISTING POWER POLE TO BE RELOCATED
- 16 UNIDIRECTIONAL ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- 17 ACCESSIBLE RAMP SEE DETAIL SHEET SP-2
- 18 BICYCLE RACK SEE DETAIL SHEET SP-2
- 19 MONUMENT SIGN (TBD)
- 20 EXISTING CMU PERIMETER WALL
- 21 6' VALLEY GUTTER PER COA STD DWG 2415A
- 22 CONCRETE POND EMERGENCY OVERFLOW
- 23 NEW 6' SIDEWALK
- 24 FUTURE 6' SIDEWALK
- 25 8" CURB AND GUTTER PER COA STD DWG 2415A
- 26 FUTURE CURB AND GUTTER
- 27 SINGLE DUMPSTER W/RECYCLING SEE DETAIL SHEET SP-3
- 28 SITE LIGHTING, 16' MAX HEIGHT LED
- 29 500 SF OUTDOOR PATIO AREA
- 30 PROPOSED RELOCATION OF OVERHEAD POWER LINE
- 31 SIGHT LINE
- 32 PROPOSED POWER POLE LOCATION

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▬ RETAINING WALL
- ▨ HEAVY DUTY PAVING
- ▨ LIGHT DUTY PAVING
- ▨ LANDSCAPING
- - - PROPOSED RELOCATION OF OVERHEAD POWER LINE



LEGAL DESCRIPTION

PORTION OF LOT 9 AVALON SUBDIVISION

SITE DATA

PROPOSED USAGE	COMMERCIAL
LOT AREA	279233 SF (6.41 ACRES)
ZONING	NR-BP
BUILDING AREA	60573 SF (PHASE 1)
(FUTURE BUILDING AREA)	22050 SF
TOTAL	82623 SF
BUILDING COVERAGE	30%
BUILDING SETBACK	
FRONT	20'
REAR	10'
SIDE	10'
PARKING REQUIRED	
PHASE 1	31 SPACES (1 SPACE PER 2000SF)
PHASE 2	11 SPACES (1 SPACE PER 2000SF)
ACCESSIBLE PARKING REQUIRED	4 SPACES
ACCESSIBLE PARKING PROVIDED	4 SPACES
PARKING PROVIDED	69 SPACES, INCLUDES 4 ACCESSIBLE SPACES
MOTORCYCLE SPACES REQUIRED	2 SPACES
MOTORCYCLE SPACES PROVIDED	2 SPACES
BICYCLE SPACES REQUIRED	5
BICYCLE SPACES PROVIDED	5
LANDSCAPE REQUIRED	
LANDSCAPE PROVIDED	98197 SF

PROJECT NUMBER: PR-2020-006070
APPLICATION NUMBER: SI-2021-01888

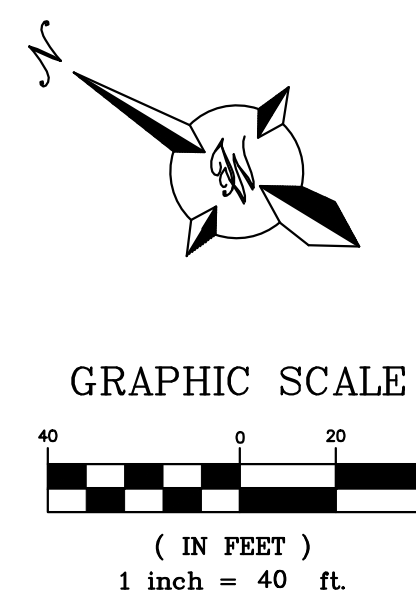
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary



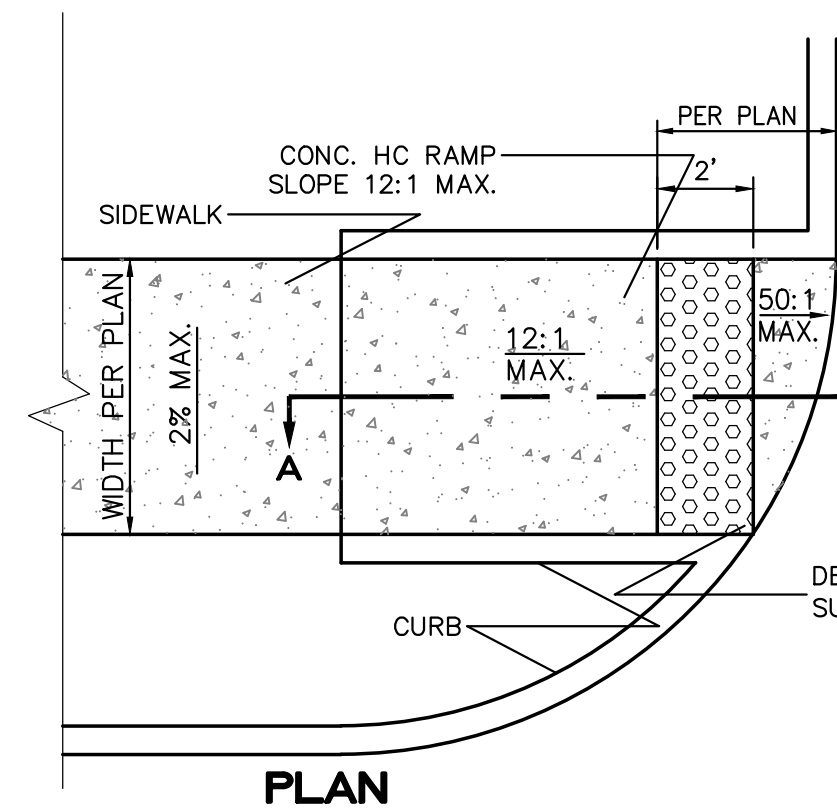
LINE TABLE

LINE	BEARING	LENGTH
L1	N74°46'10"E	607.48
L2	S14°58'21"E	453.47
L3	N14°55'50"W	269.64
L5	N34°19'52"W	13.71

CURVE TABLE

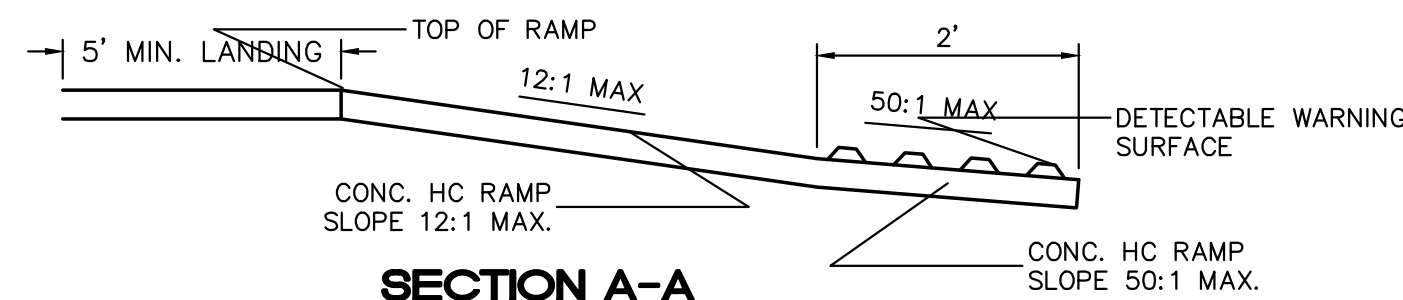
CURVE	DELTA	RADIUS	LENGTH
C1	22°55'21"	1358.17	543.36
C2	87°43'53"	25.00	38.28
C3	19°21'21"	620.00	209.45

	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm DATE 12-22-21
	SITE PLAN FOR BUILDING PERMIT	DRAWING 2020088-60K.DWG
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SP-1 JOB # 2020088



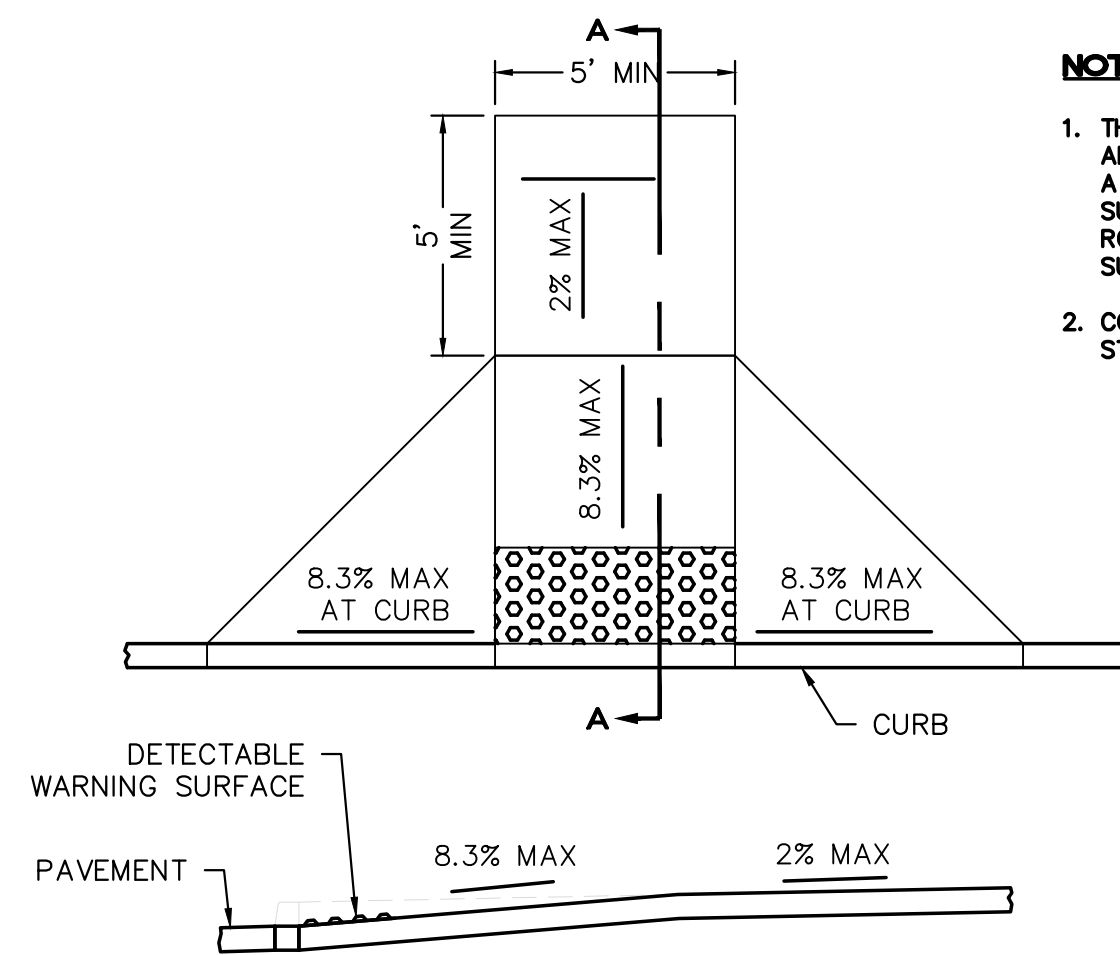
NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



UNIDIRECTIONAL HC RAMP

NOT TO SCALE

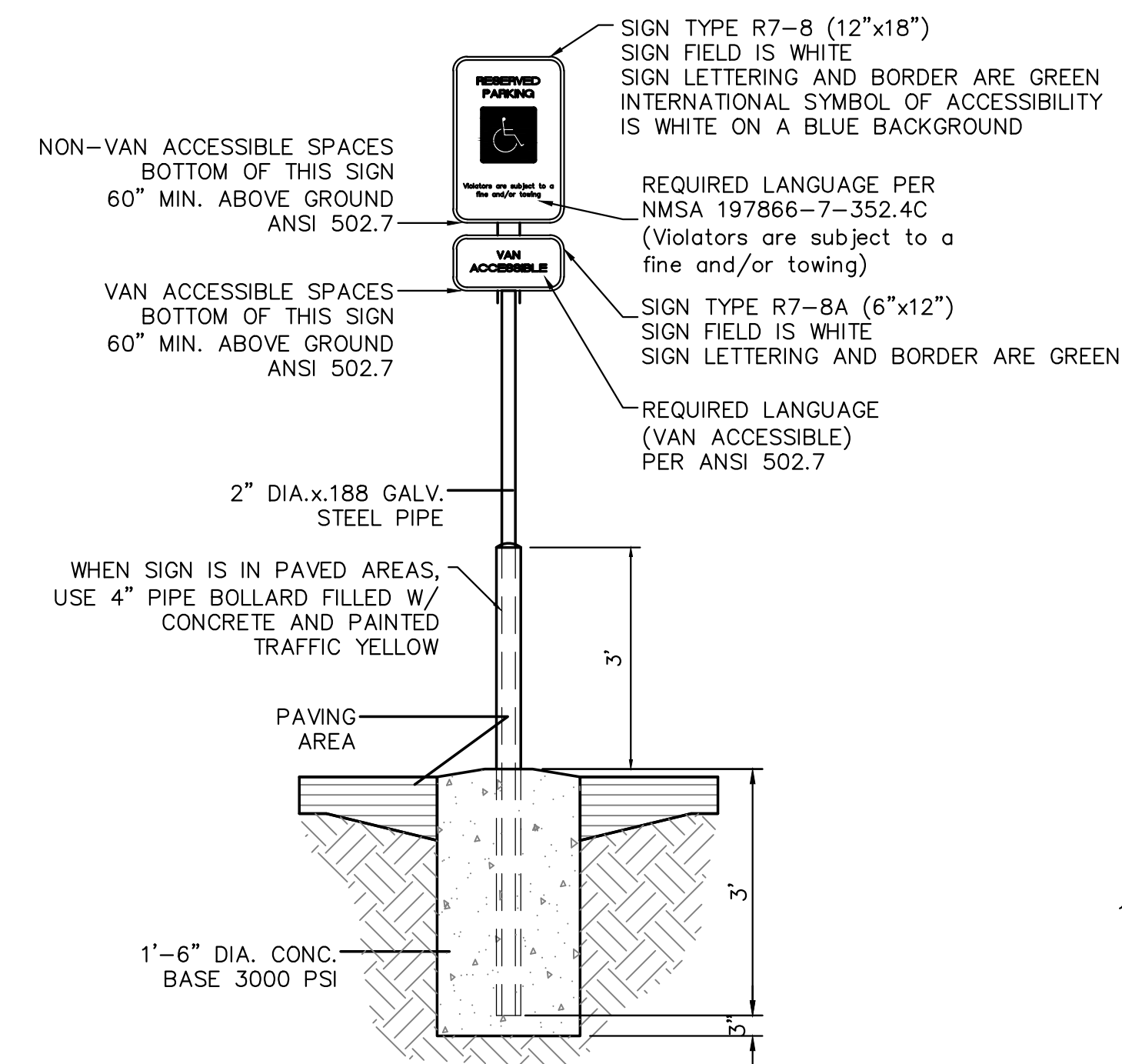


FLAIRED CURB HC RAMP

NOT TO SCALE

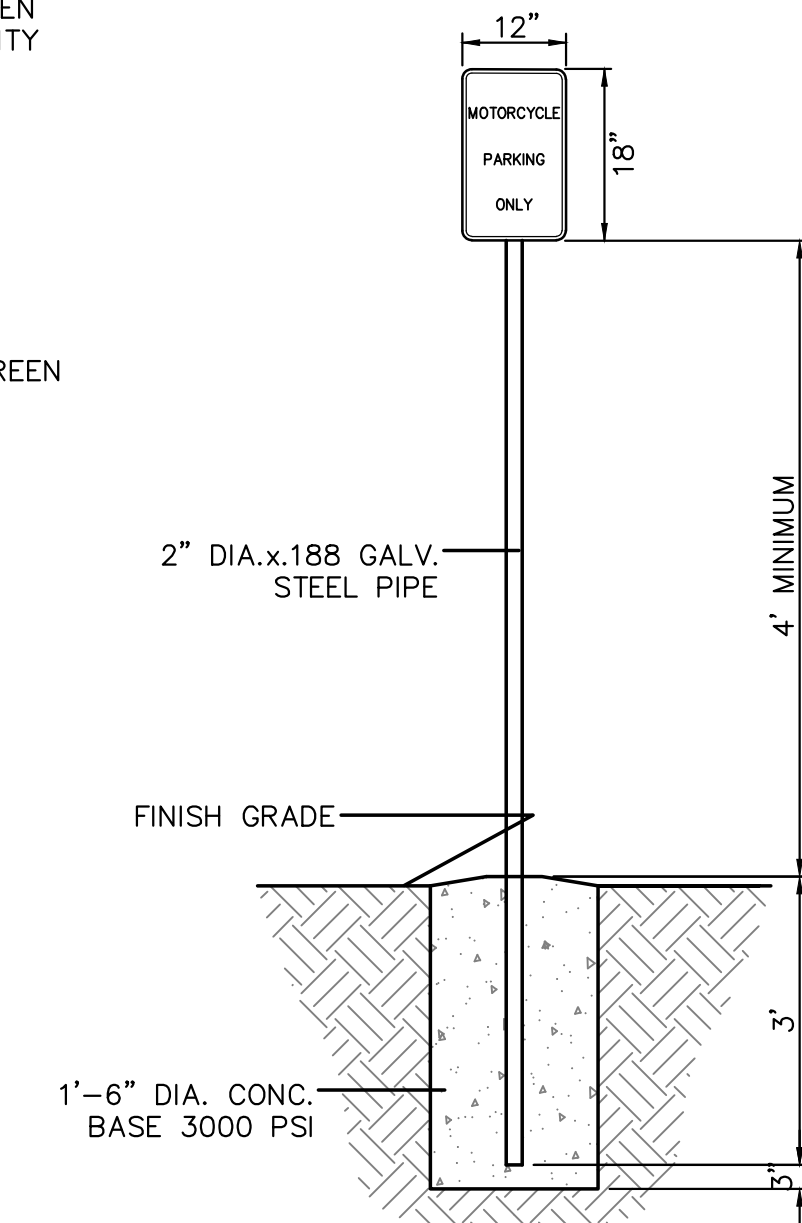
NOTES:

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2. CONSTRUCT PER A.D.A. STANDARDS.



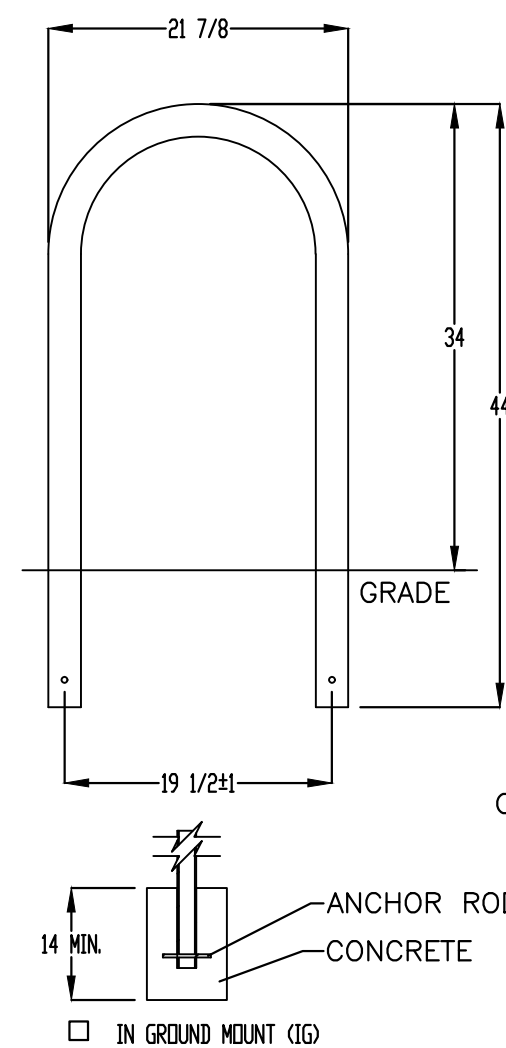
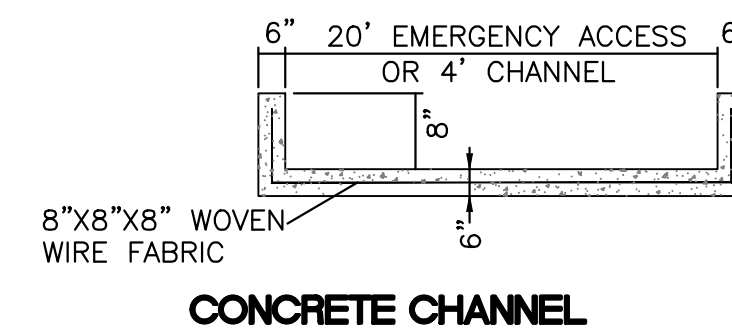
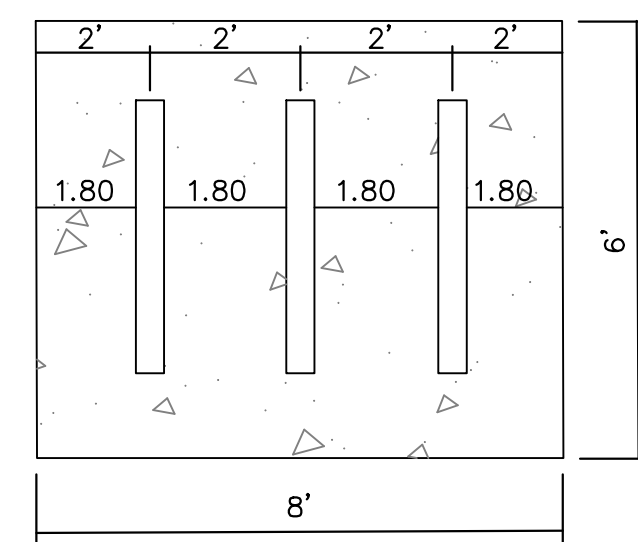
ACCESSIBLE PARKING SIGN

NTS

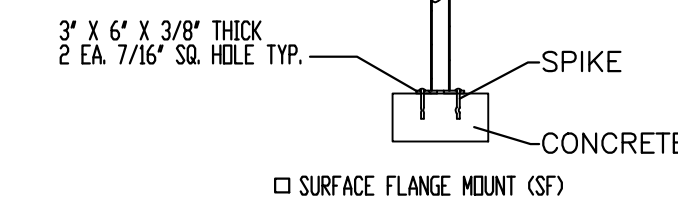


MOTORCYCLE PARKING SIGN

NTS



CHECK DESIRED MOUNT



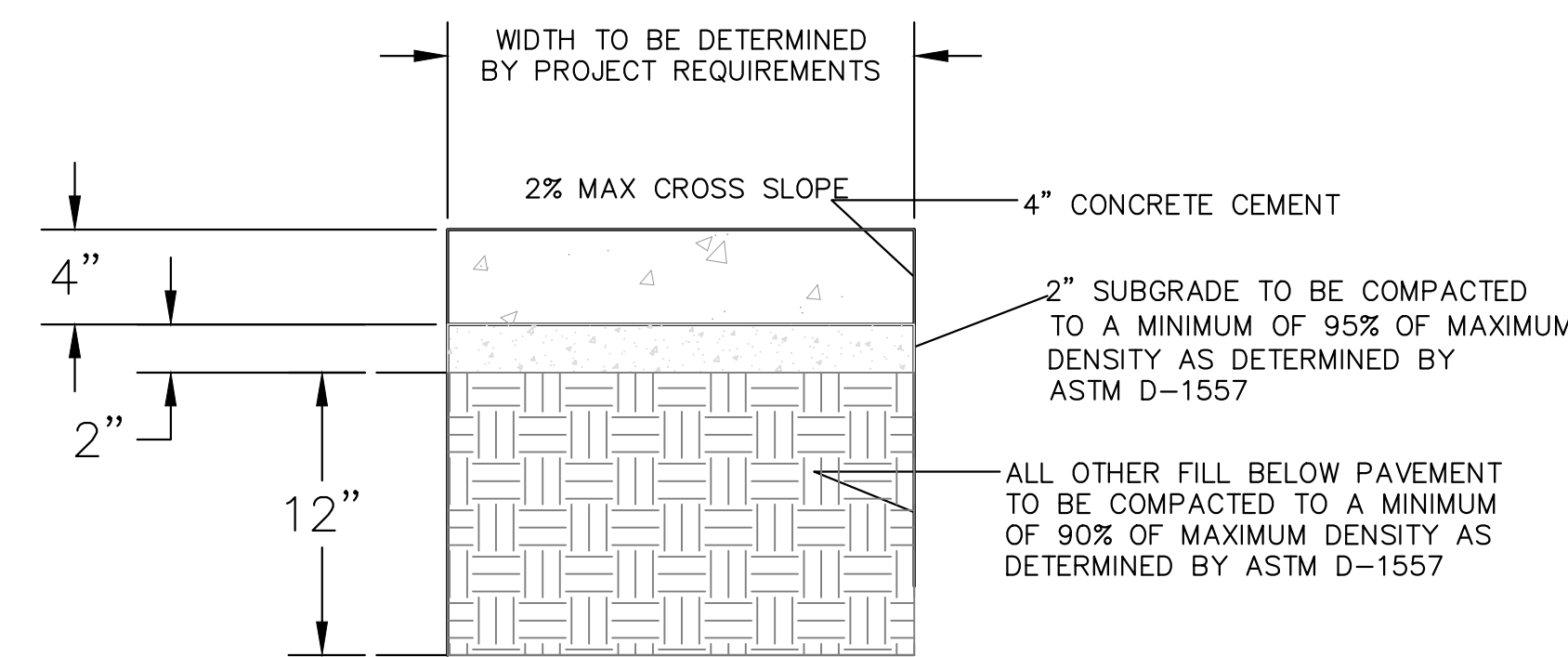
PRODUCT: 11230-11537
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-10
ENG: SMC

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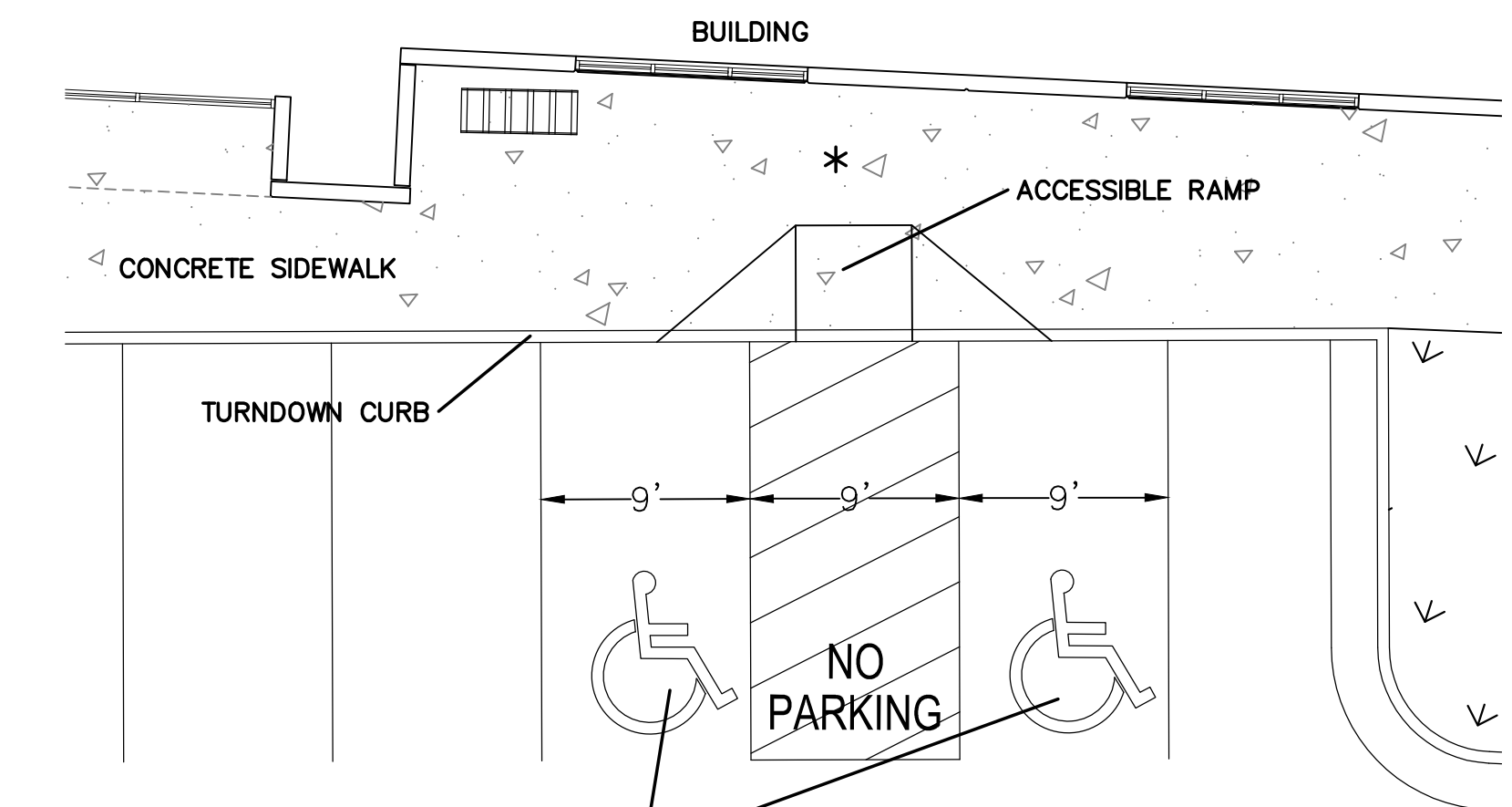
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BIKE RACK DETAIL
SCALE: NONE

- NOTES:**
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR OF FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OF CONSULTANT.
 4. BIKE RACK SHALL HAVE A 1 FOOT CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.



CONCRETE SIDEWALK SECTION

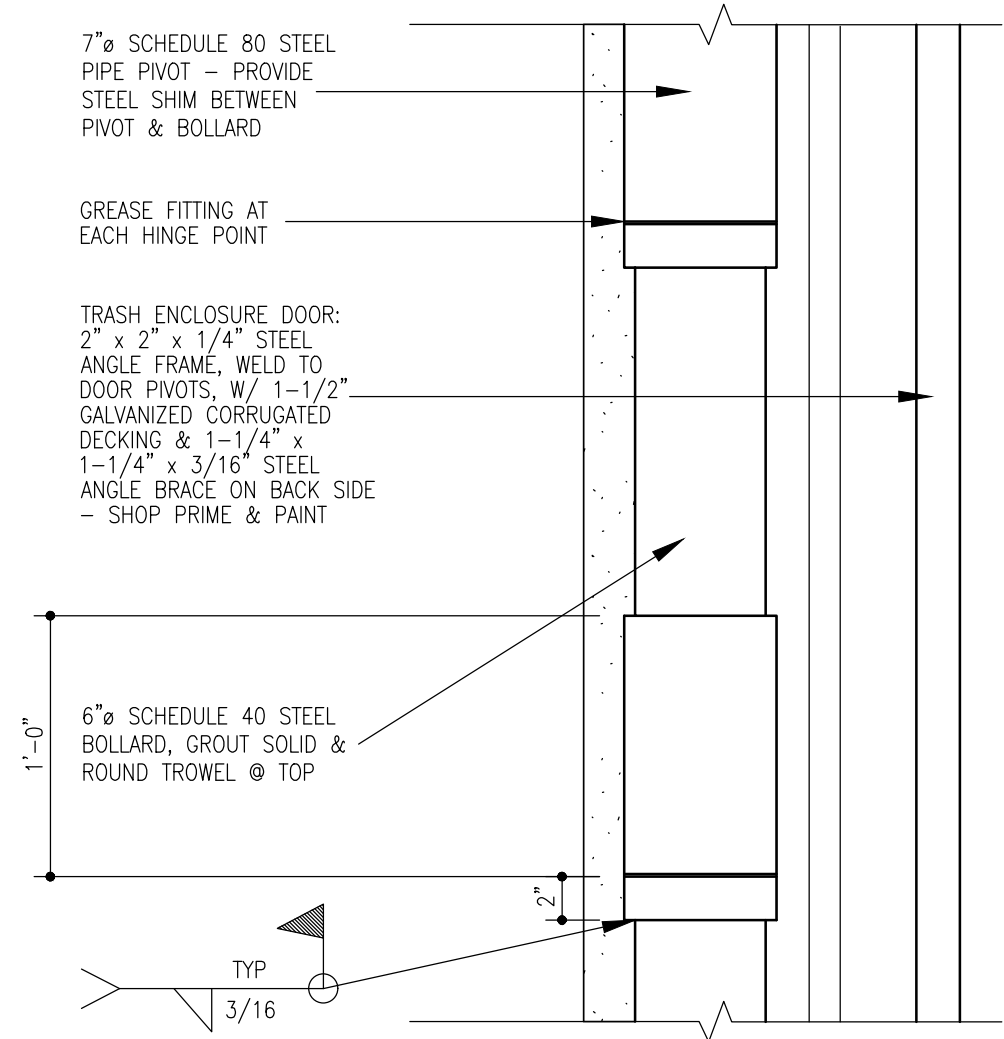


ACCESSIBLE SPACE W/SIGN

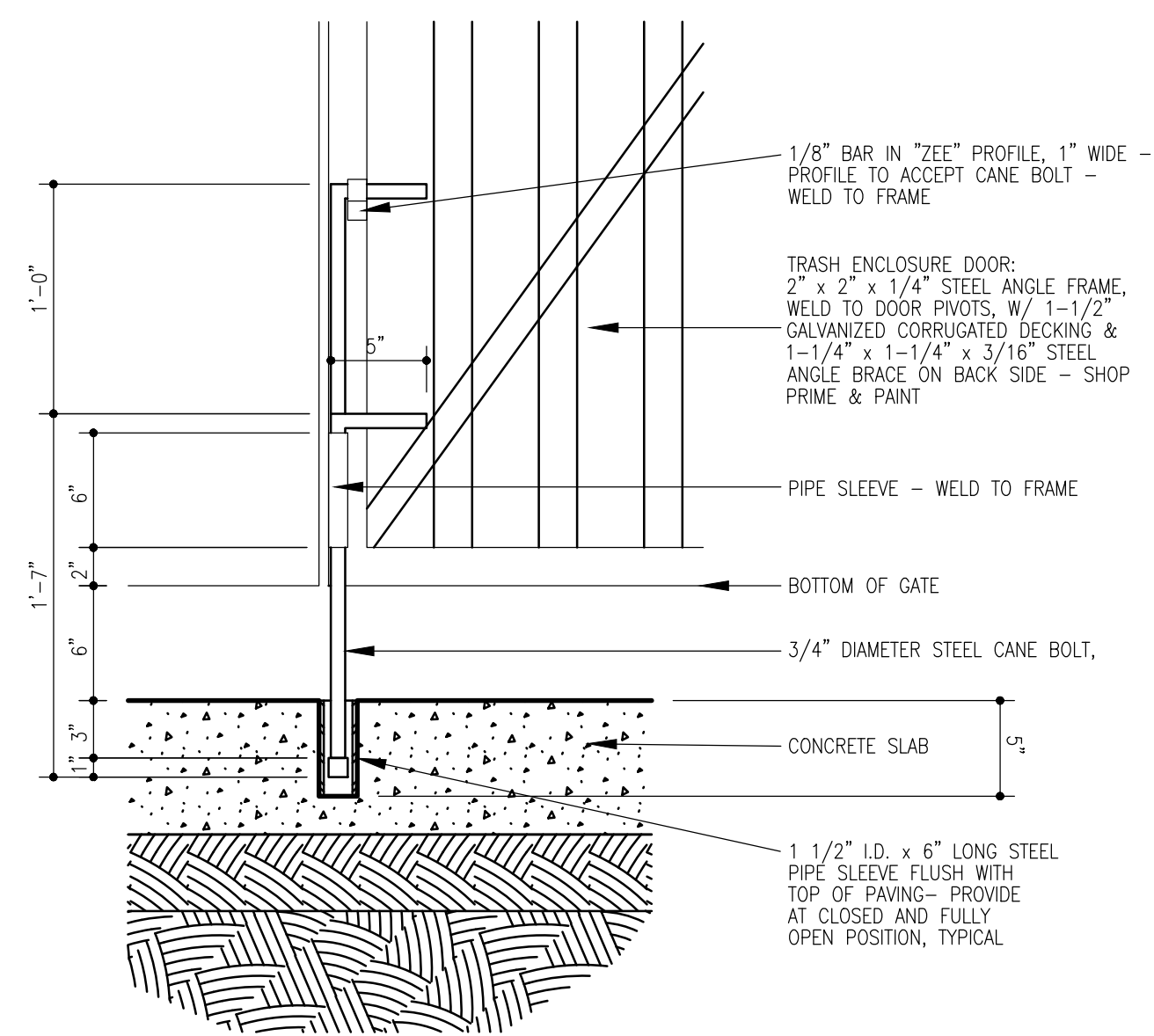
MINIMUM REQUIRED AREA OF 4'x4' REQUIRED AT THE TOP OF RAMP FOR TURNING MOVEMENTS BETWEEN RAMP AND BUILDING OR ANY OTHER OBSTRUCTION

ACCESSIBLE PARKING DETAIL

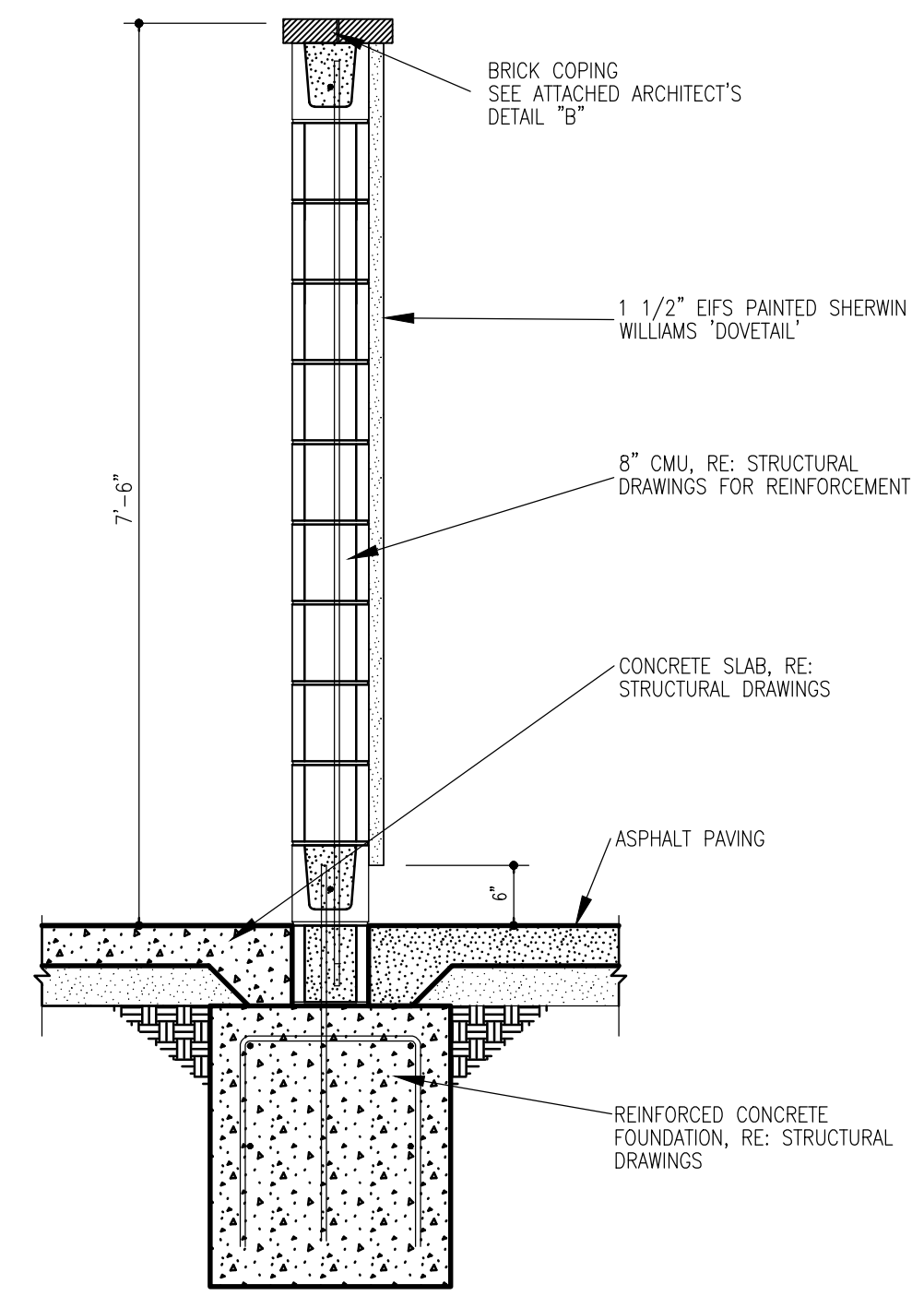
	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM CONSTRUCTION DETAILS	DRAWN BY pm DATE 12-22-21 DRAWING 2020088-60K.DWG
	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # SP-2 JOB # 2020088



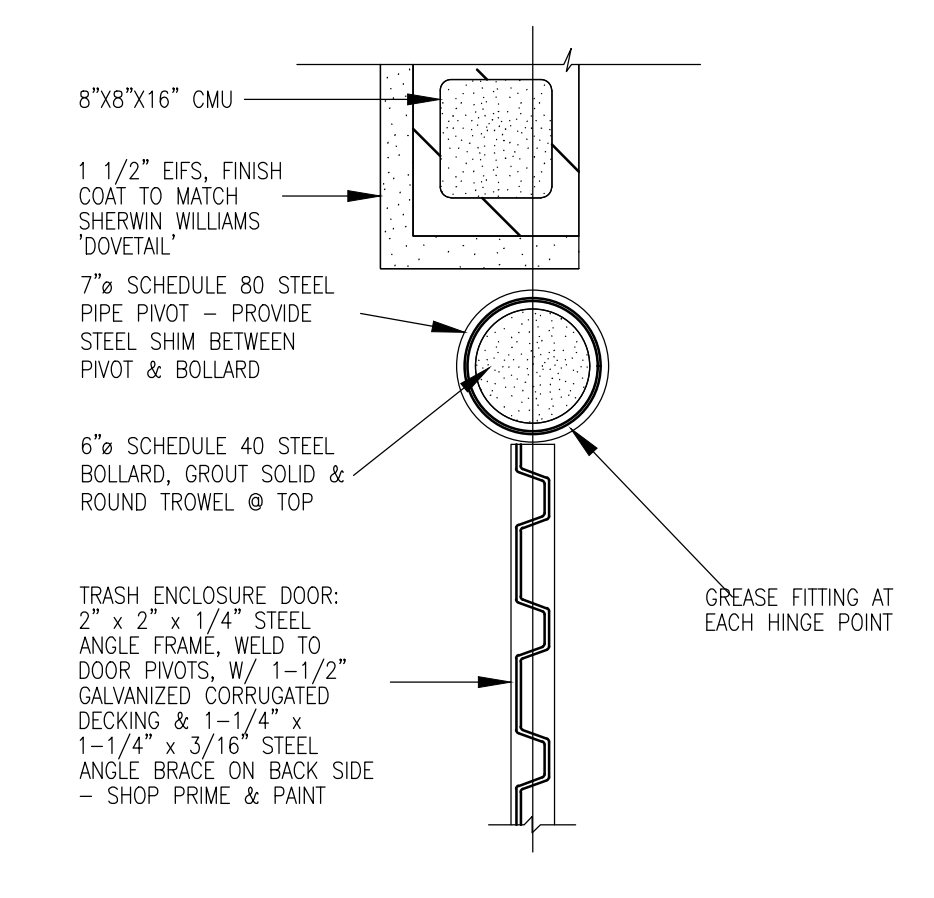
9 Dumpster Door Pivot
1/12" = 1'-0"



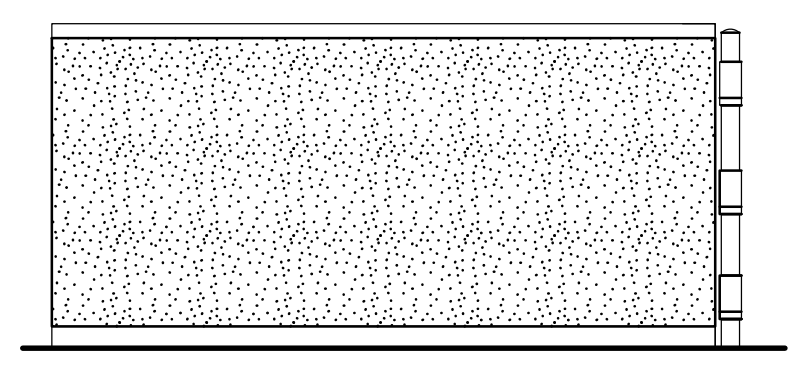
8 Cane Bolt Detail
1/12" = 1'-0"



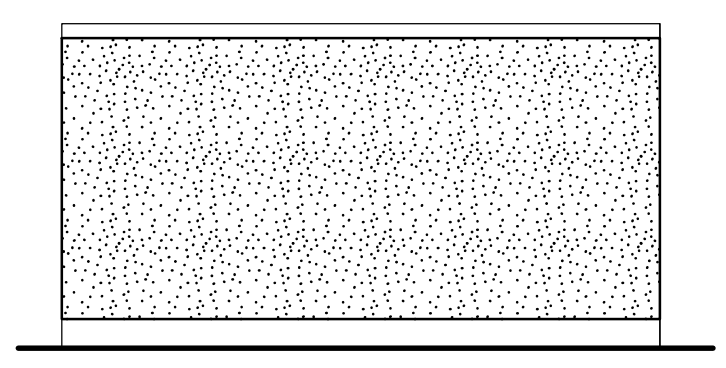
7 Wall Section
3/8" = 1'-0"



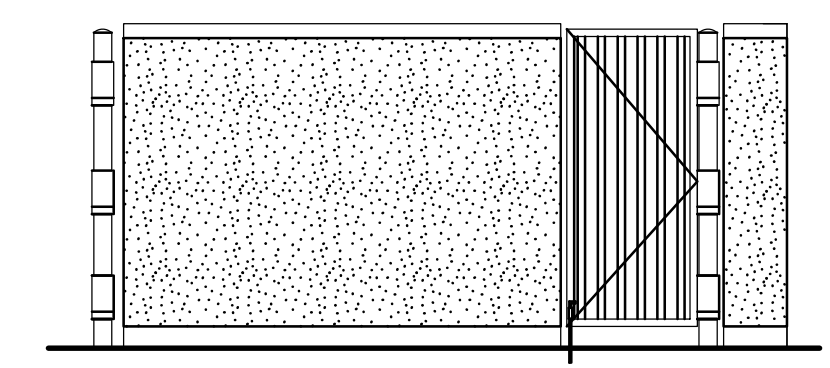
6 Plan Detail
1/12" = 1'-0"



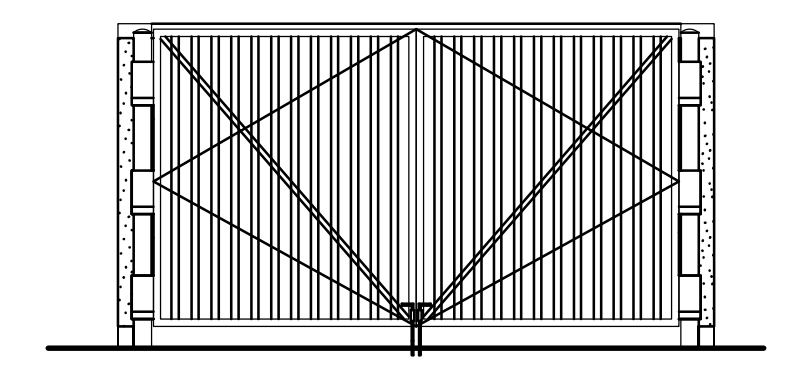
5 Side Elevation
1/4" = 1'-0"



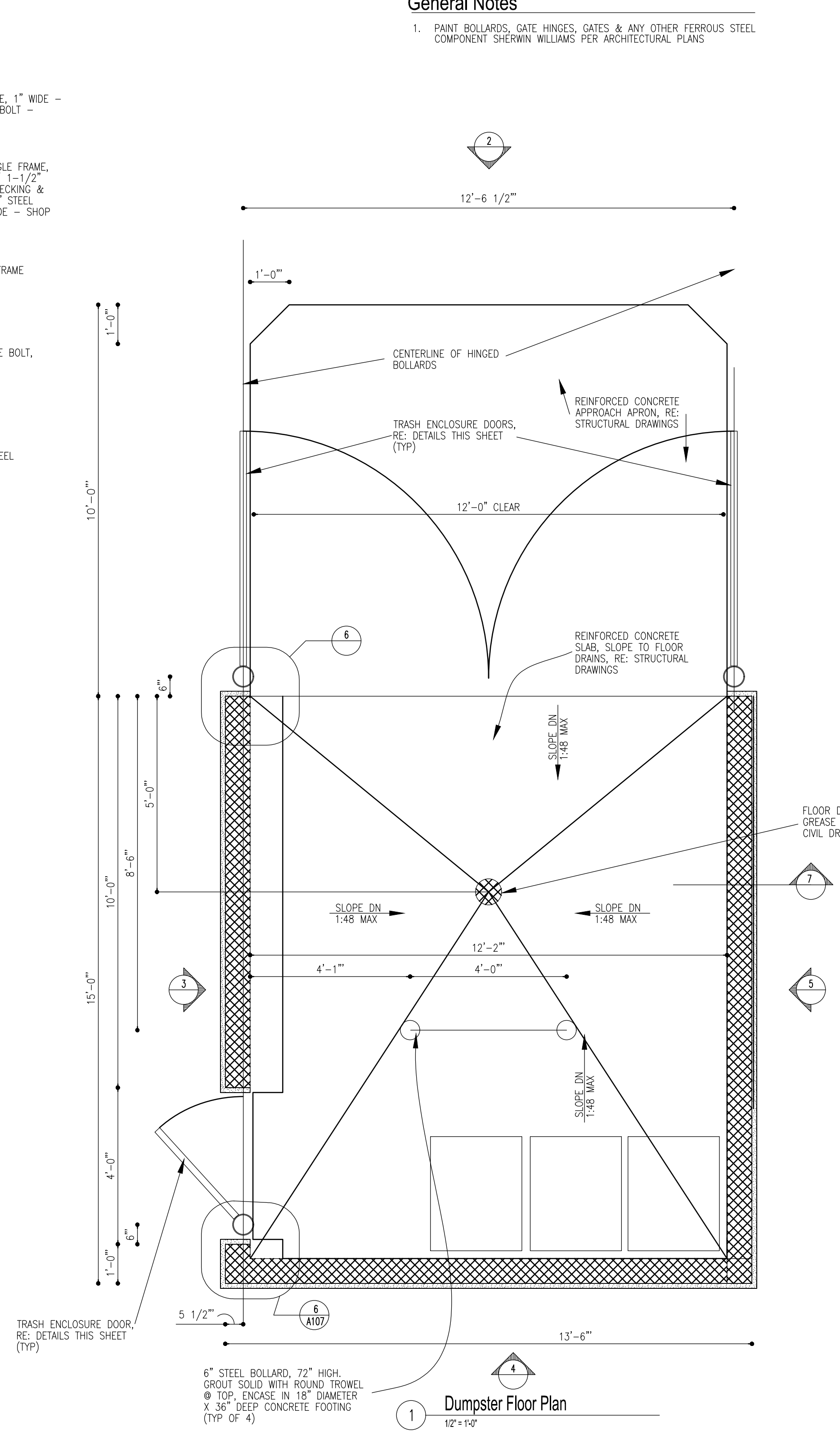
4 Back Elevation
1/4" = 1'-0"



3 Side Elevation
1/4" = 1'-0"



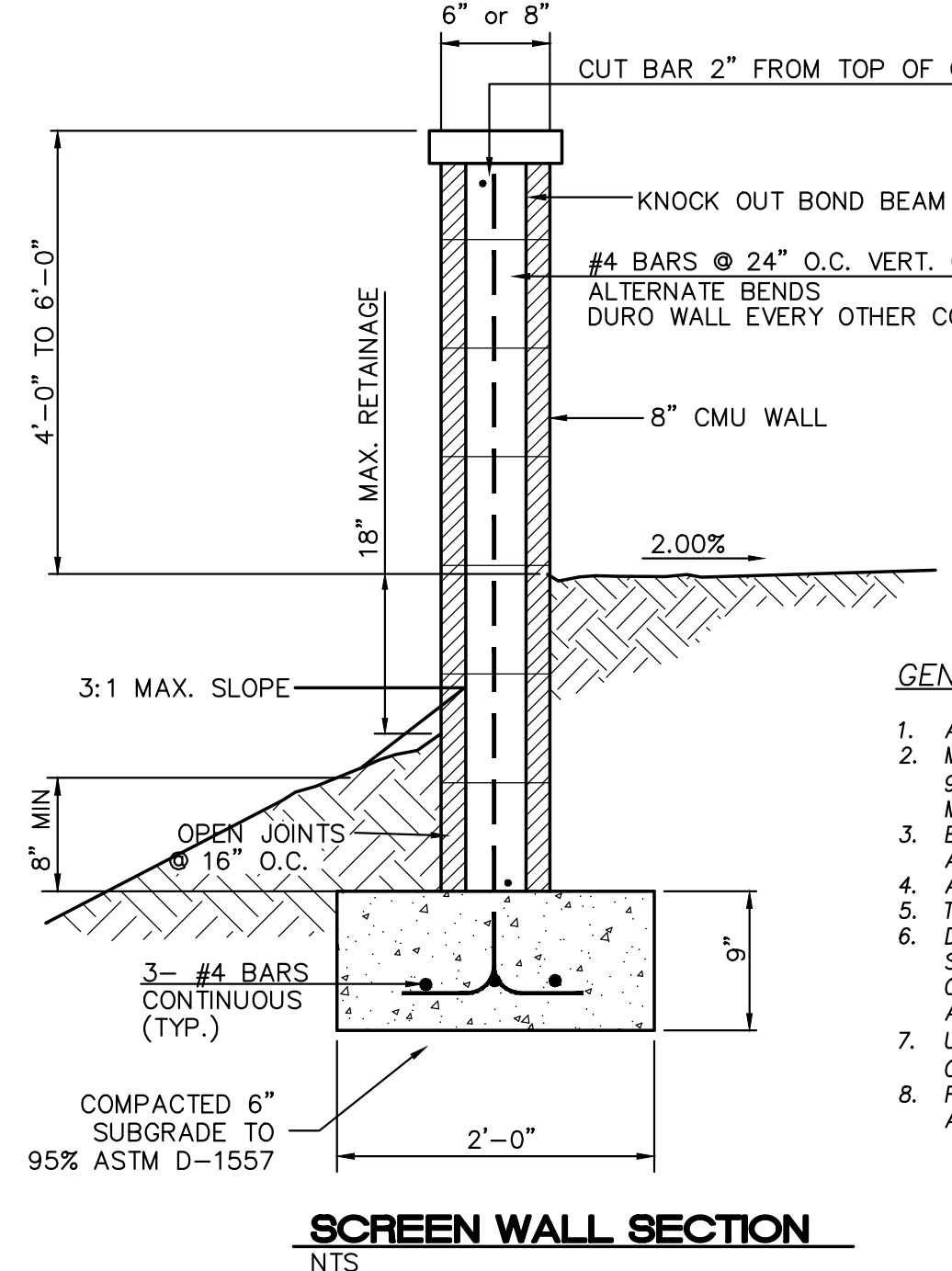
2 Front Elevation
1/4" = 1'-0"



1 Dumpster Floor Plan
1/2" = 1'-0"

General Notes

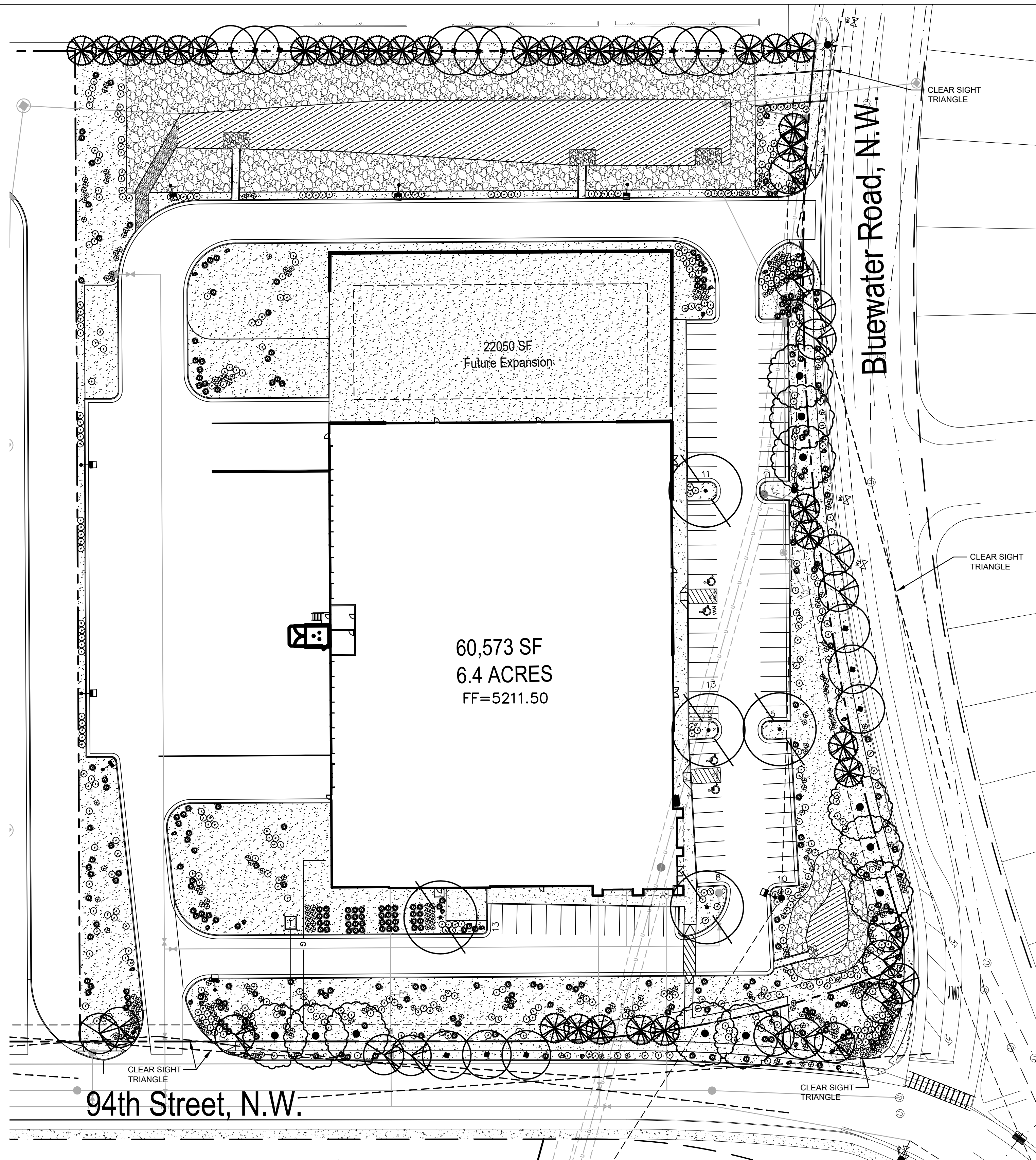
1. PAINT BOLLARDS, GATE HINGES, GATES & ANY OTHER FERROUS STEEL COMPONENT SHERWIN WILLIAMS PER ARCHITECTURAL PLANS



SCREEN WALL SECTION
NTS

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
 2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROTECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 8. FINISH GRADES AT BOTTOM OF WALL PER GRADING AND DRAINAGE PLAN.

	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 12-6-21
12-6-21 RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K.DWG
		SHEET # SP-3
		JOB # 2020088



GENERAL LANDSCAPE NOTES

IRRIGATION:
IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. A FULLY AUTOMATED IRRIGATION SYSTEM WILL BE USED TO IRRIGATE TREE, SHRUB AND GROUND COVER PLANTING AREAS. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO ISOLATE PLANT MATERIAL ACCORDING TO SOLAR EXPOSURE AND WILL BE SET UP BY PLANT ZONES ACCORDING TO WATER REQUIREMENTS. THE TREES WILL BE PROVIDED WITH (6) 2 GPH EMITTERS, WITH THE ABILITY TO BE EXPANDED TO ACCOMMODATE THE GROWTH OF THE TREE. SHRUBS AND GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. TREES, SHRUBS AND GROUNDCOVERS WILL BE GROUPED ON THE SAME VALVE.

RESPONSIBILITY OF MAINTENANCE:
MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE:
THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

PNM COORDINATION:
COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

CLEAR SIGHT DISTANCE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

PLANT LEGEND

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
15		TREES - REFERENCE DETAIL 1/L101 PISTACIA CHINENSIS CHINESE PISTACHE (M)	2.5" B&B	40' HT. X 30' SPR
5		GLEDITSIA TRIACANTHOS 'IMPERIAL' IMPERIAL HONEY LOCUST (M)	2.5" B&B	50' HT. X 45' SPR.
11		ULMUS 'FRONTIER' FRONTIER ELM (M)	2.5" B&B	40' HT. X 40' SPR.
18		CHILOPSIS LINEARIS DESERT WILLOW 'BUBBA' (RW)	2" GAL MULTI	20' HT. X 25' SPR.
32		PINUS EL-DARICA AFGHAN PINE (M)	8' HT.	40' HT. X 18' SPR.
445		SHRUBS AND GROUNDCOVERS - REFERENCE DETAIL 2/L101 ERICAMERA LARICIFOLIA TURPENTINE BUSH (L)	1-GAL	3' HT. X 4' SPR.
		BUDDLEIA DAVIDII NANH 'MONGO' PETITTE INDIGO BUTTERFLY BUSH (M)	5-GAL	5' HT. X 5' SPR.
		LAVANDULA 'GROSSO' GROSSO LAVENDER (M)	5-GAL	3' HT. X 3' SPR.
		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL	5' HT. X 5' SPR.
		PINUS MUGO VAR. PUMILIO DWARF MUGO PINE (M)	5-GAL	4" HT. X 8' SPR.
		ACHILLEA TAYGETEA 'MOONSHINE' MOONSHINE YARROW (M)	5-GAL	2' HT. X 2' SPR.
		BERBERIS THUNBERGII 'ROSE GLOW' ROSE GLOW BARBERRY (L)	5-GAL	5' HT. X 4' SPR.
		SALVIA GREGGII CHERRY SAGE (L)	5-GAL	2' HT. X 3' SPR.
		AGASTACHE AVA'S AVA'S HUMMINGBIRD MINT (L)	5-GAL	4' HT. X 2' SPR.
		BACCHARIS X 'STARN THOMPSON' PROSTRATE COYOTE BUSH (L)	5-GAL	2' HT. X 5' SPR.
260		DESERT ACCENTS - REFERENCE DETAIL 2/L101 NOLINA MICROCARPA BEARGRASS (L)	5-GAL	4' HT. X 4' SPR.
		DASYLIRION WHEELERI DESERT SPOON (L)	5-GAL	5' HT. X 5' SPR.
		HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA (L)	5-GAL	3' HT. X 4' SPR.
		OPUNTIA ELLISIANA 'SPINELESS' SPINELESS PRICKLY PEAR (RW)	5-GAL	4' HT. X 5' SPR.
		YUCCA FILAMENTOSA ADAM'S NEEDLE YUCCA (L)	5-GAL	3' HT. X 3' SPR.
260		ORNAMENTAL GRASSES - REFERENCE DETAIL 2/L101 SCHIZACHYRIUM SCOP. 'THE BLUES' THE BLUES LITTLE BLUESTEM GRASS (L)	5-GAL	2' HT. X 2' SPR.
		MISCANTHUS SINENSIS GRACILLIMUS MAIDEN HAIR GRASS (M)	5-GAL	5' HT. X 5' SPR.
		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL	4' HT. X 2.5' SPR.
95,766 SF		MULCHES AND BOULDERS LANDSCAPE AREAS WILL BE COVERED WITH ROCK OR WOOD MULCH OVER FILTER FABRIC. A VARIETY OF TYPES WILL BE USED TO ADD INTEREST OR ADDRESS GRADING. TYPES WILL BE: 1" ULTRAVIOLET GRAVEL, 7/8" SANTA FE BROWN GRAVEL, 3/4" BASALT GRAVEL AND 2"-4" SANGRIA COBBLE		
13,008 SF		REVEGETATION AREAS SHALL BE HYDROMULCH APPLICATION PER ODA SPECIFICATION SECTION 1012. LIMITS OF REVEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY REVEGETATED SEED TO LIMIT OF DISTURBANCE. SANDY SOILS MIX (20 LBS. PLS PER ACRE TOTAL) (PONDING AREA - NOT INCLUDED IN LANDSCAPE CALC.)		
20,203 SF		REVEGETATIVE SEEDING WITH 1"-4" ROCK OVER DIRT (PONDING AREA - NOT INCLUDED IN LANDSCAPE CALC.)		
33 EA		PUEBLO ROSE BOULDERS 3'X3'X3'		

LANDSCAPE CALCULATIONS

SITE AREA (6.4 AC)	278,784 SF
BUILDING FOOTPRINT	- 60,573 SF
NET LOT	218,211 SF
-REQUIRED/PROVIDED LANDSCAPE	32,732 SF (15%) / 73,727 SF (34%)
(EXCLUDES PONDING AREAS AND FUTURE EXPANSION SITE)	

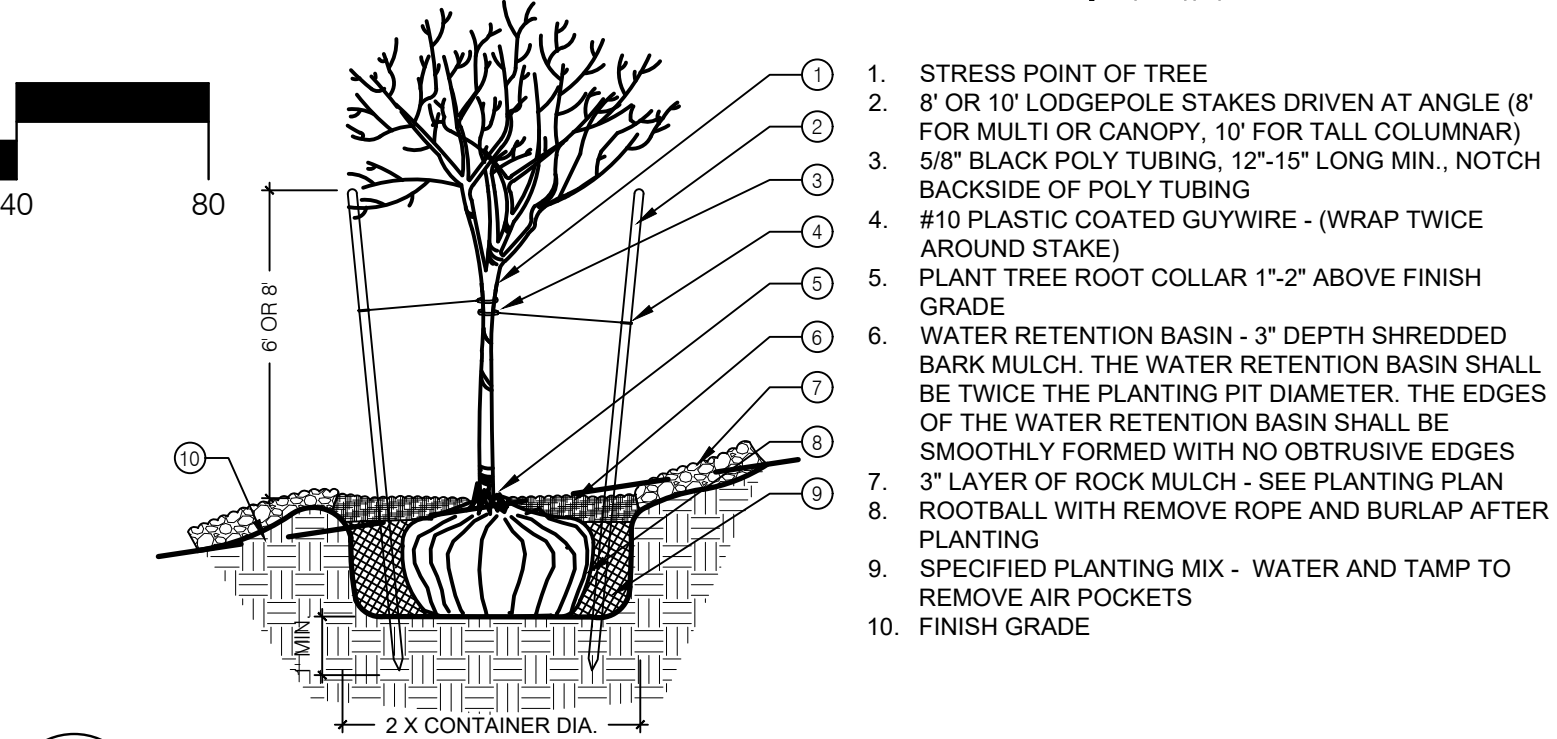
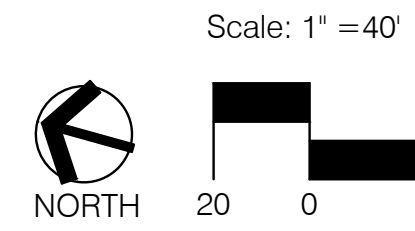
COVERAGE	
-REQUIRED/PROVIDED VEGETATIVE COVER	55,295 SF (75%) / 57,364 SF (78%)
-REQUIRED/PROVIDED GROUND-LEVEL COVER	13,824 SF (25%) / 14,345 SF (25%)

PARKING LOT TREES	
PARKING LOT SPACES PROVIDED	82
ONE (1) TREE IS REQUIRED PER 10 PARKING SPACES	
-REQUIRED/PROVIDED PARKING LOT TREES (1/10 SPACES)	9/10

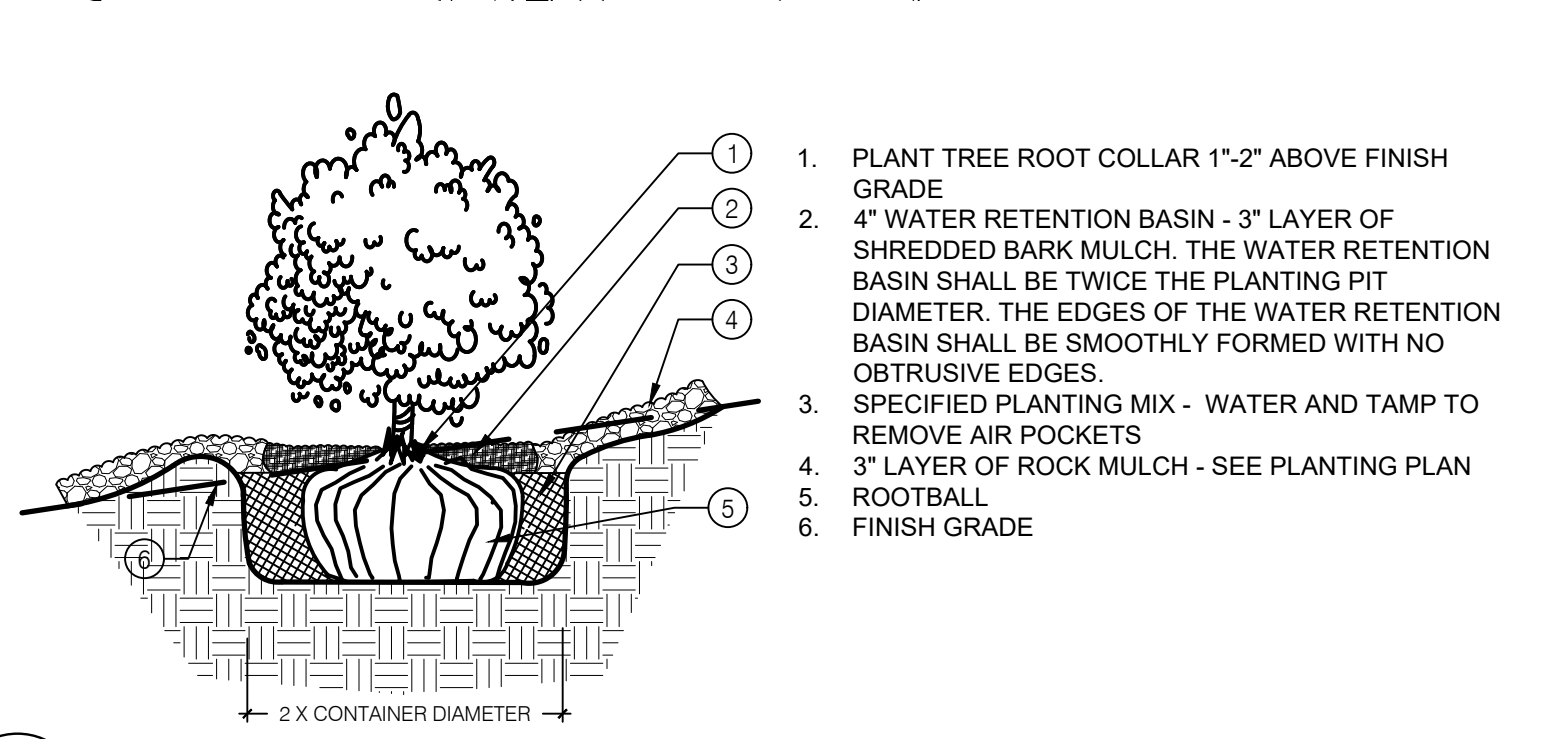
PARKING LOT AREA	
AT LEAST 15 PERCENT OF THE PARKING LOT AREA OF LOTS CONTAINING 50 OR MORE SPACES, SHALL BE LANDSCAPED.	
PARKING LOT AREA	28,993 SF
-REQUIRED/PROVIDED PARKING LOT LANDSCAPE	4,349 SF (15%) / 6,928 SF (24%)

STREET TREES	
STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. BLUEWATER RD NW FRONTAGE IS 645'	
-REQUIRED/PROVIDED STREET TREES: 26/26	
94TH ST NW FRONTAGE IS 506'	
-REQUIRED/PROVIDED STREET TREES: 21/21	

BUFFER LANDSCAPE	
IF A WALL AT LEAST 3 FEET IN HEIGHT IS PROVIDED OR EXISTS ALONG THE PROPERTY LINE BETWEEN THE TWO PROPERTIES, 1 TREE AT LEAST 8 FEET HIGH AT THE TIME OF PLANTING SHALL BE PROVIDED EVERY 15 FEET ALONG THE WALL 452' OF EXISTING WALL	
-REQUIRED/PROVIDED TREES: 30/30	



1 TREE PLANTING ON A SLOPE SCALE: N.T.S.



2 SHRUB PLANTING ON A SLOPE SCALE: N.T.S.

CONSENSUS
Planning / Landscape Architecture
302 Eighth Street NW
Albuquerque, NM 87102
(505) 764-9801 Fax 842-5495
e-mail: cp@consensusplanning.com

CONSULTANTS

NOT FOR CONSTRUCTION

**WESTPOINT 40
60K BUILDING
ALBUQUERQUE, NM**

DECEMBER 9, 2021

SUBMITTAL: DRB

REVISIONS

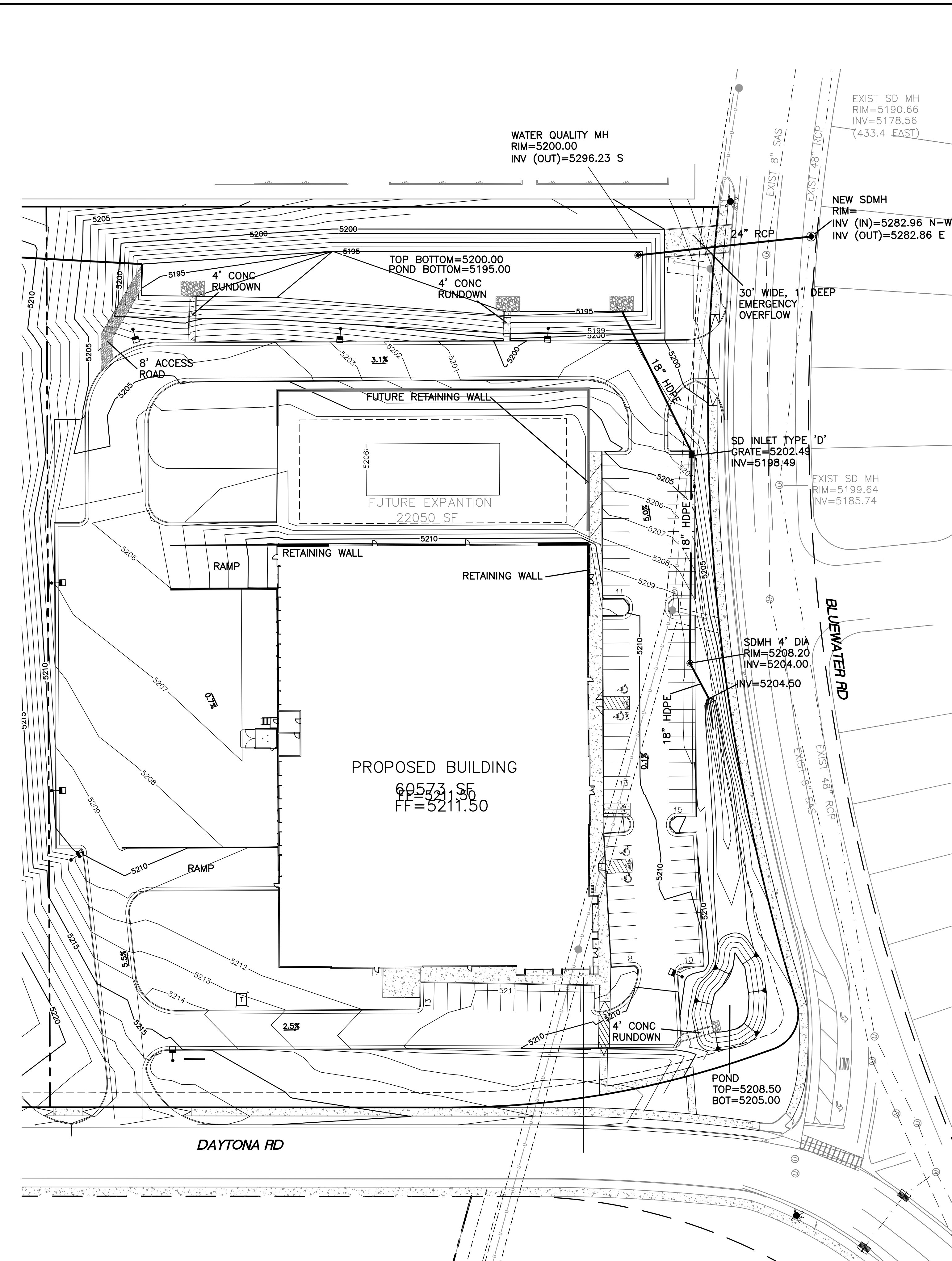
NO.	DATE	DESCRIPTION

PROJECT NO: 1981-00
CAD DWG FILE:
DESIGNED BY: KP
DRAWN BY: KP
CHECKED BY: CG

SHEET TITLE

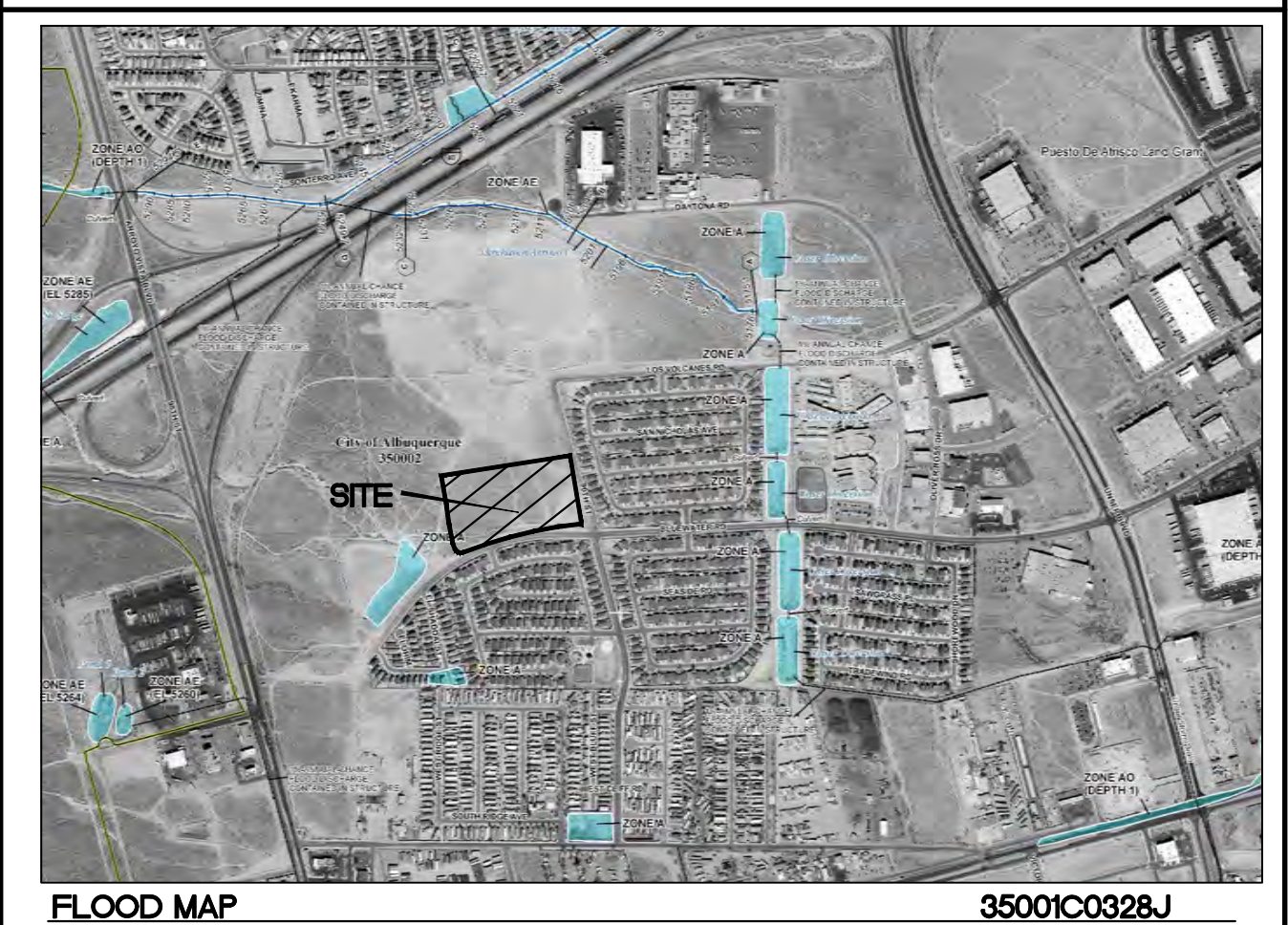
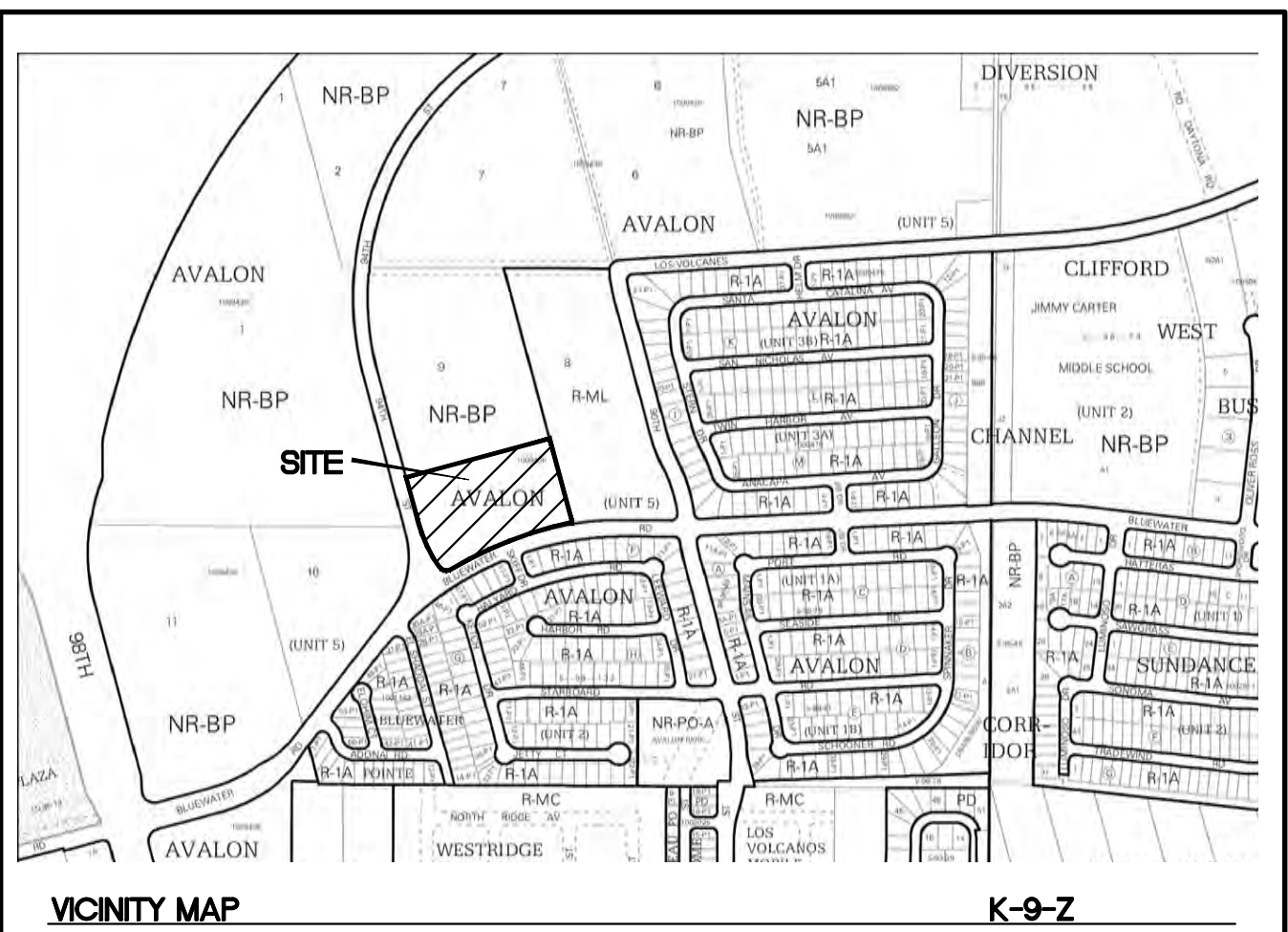
**LANDSCAPE
PLAN**

DRAWING SHEET



LEGEND

—	CURB & GUTTER
- - -	BOUNDARY LINE
- · - · -	EASEMENT LINE
- · - · -	CENTERLINE
- · - · -	RIGHT-OF-WAY
▭	BUILDING
▨	SIDEWALK
- · - · -	EXISTING CURB & GUTTER
- - -	EXISTING BOUNDARY LINE
▬	RETAINING WALL



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

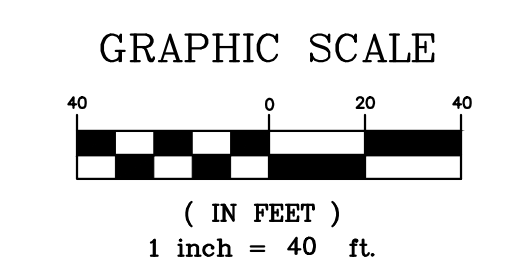
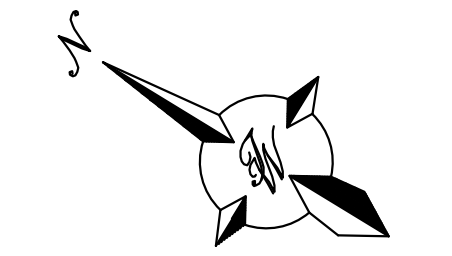
- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

EXISTING DRAINAGE:

THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE SOUTHEAST CORNER OF BLUEWATER RD AND DAYTONA RD. THE SITE IS BOUNDED BY ROADS ON THE WEST AND SOUTH SIDES AND A MULTIFAMILY DEVELOPMENT ON THE EAST SIDE AND VACANT PROPERTY ON THE NORTH SIDE. IT CONTAINS APPROXIMATELY 6.41 ACRES. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHEAST WITH MOST OF IT DRAINING INTO BLUEWATER ROAD EXISTING STORM DRAIN. ACCORDING TO AN APPROVED MASTER DRAINAGE PLAN (K09D041) COMPLETED BY BOHANNAN HUSTON INC. THE ALLOWABLE DEVELOPED DISCHARGE FROM THE SITE TO THE EXISTING SEWER IN BLUEWATER IS 1.5 CFS PER ACRE. THE SITE IS NOT LOCATED WITH IN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE OFFSITE FLOWS THAT ENTER THE SITE FROM THE NORTH.

PROPOSED DRAINAGE:

THE SITE WILL DRAIN TO THE SOUTHEAST CORNER OF THE SITE INTO A PROPOSED DETENTION POND. THE POND WILL DISCHARGE AT THE CONTROLLED RATE OF 1.5 CFS PER ACRE TO THE EXISTING STORM DRAIN IN BLUEWATER ROAD. THIS POND WILL ALSO RETAIN THE WATER QUALITY VOLUME FOR THIS PARCEL.



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 12/22/21
BY: Ronald R. Bohannan
HydroTeam # K09D050

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 12-6-21
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K.DWG
RONALD R. BOHANNAN P.E. #7868	12-6-21	SHEET # GR-1
		JOB # 2020088

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▭ SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▬ RETAINING WALL
- 8" SAS SANITARY SEWER LINE
- 8" WL WATERLINE
- PROPOSED HYDRANT
- NEW SAS MH
- NEW WATER METER

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE PLUMBING PLANS FOR WATER LINE RISER LOCATIONS. BACKFLOW PREVENTOR LOCATED INSIDE BUILDING
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS AT LOCATIONS INDICATED AND AT MID RUN IF LONGER THAN 100'
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. TO BE PROVIDED IN THE BUILDING
7. ALL EX. SD INLETS AND MH'S SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

KEYED NOTES

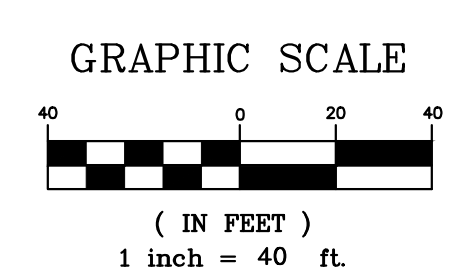
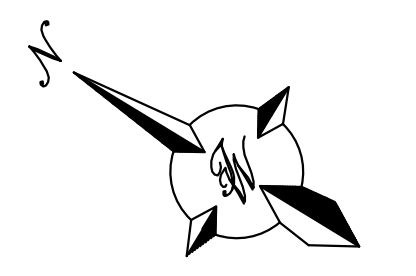
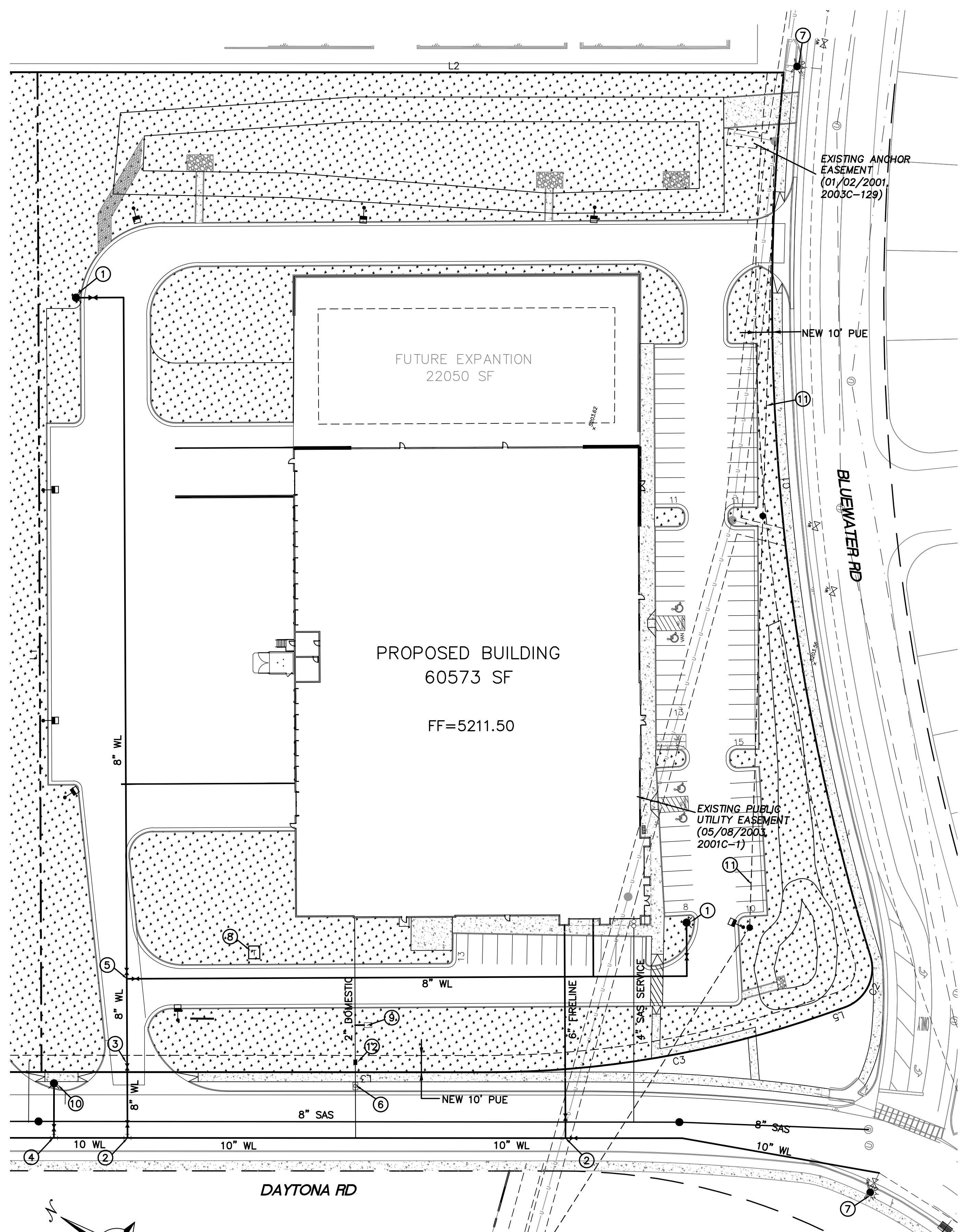
- ① NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 (PRIVATE)
- ② 10"x10"x8" TEE
10" GATE VALVE N=_____, E=_____ (PUBLIC)
8" GATE VALVE N=_____, E=_____ (PUBLIC)
- ③ 8" GATE VALVE (PRIVATE)
- ④ 10"x10"x6" TEE
6" GATE VALVE N=_____, E=_____ (PUBLIC)
- ⑤ 8"x8"x8" TEE
2-8" GATE VALVE
- ⑥ 2" WATER METER PER COA STD DWG 2367
- ⑦ EXISTING FIRE HYDRANT (PUBLIC)
- ⑧ TRANSFORMER
- ⑨ IRRIGATION METER SERVICE/BFP
- ⑩ NEW FIRE HYDRANT PER COA STD DWG 2326, 2328, 2340 (PUBLIC)
- ⑪ PROPOSED RELOCATION OF OVERHEAD POWER LINE
- ⑫ BACKFLOW PREVENTER (2'x3')

INSPECTION NOTE

CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION

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	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY pm
	CONCEPTUAL MASTER UTILITY PLAN	DATE 12-22-21
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-60K-MU.DWG
RONALD R. BOHANNAN P.E. #7868	SHEET # MU-1	JOB # 2020088



REV	DATE	DESCRIPTION

PROJECT NUMBER
14983

DATE
11/05/2021
DESIGN REVIEW SET

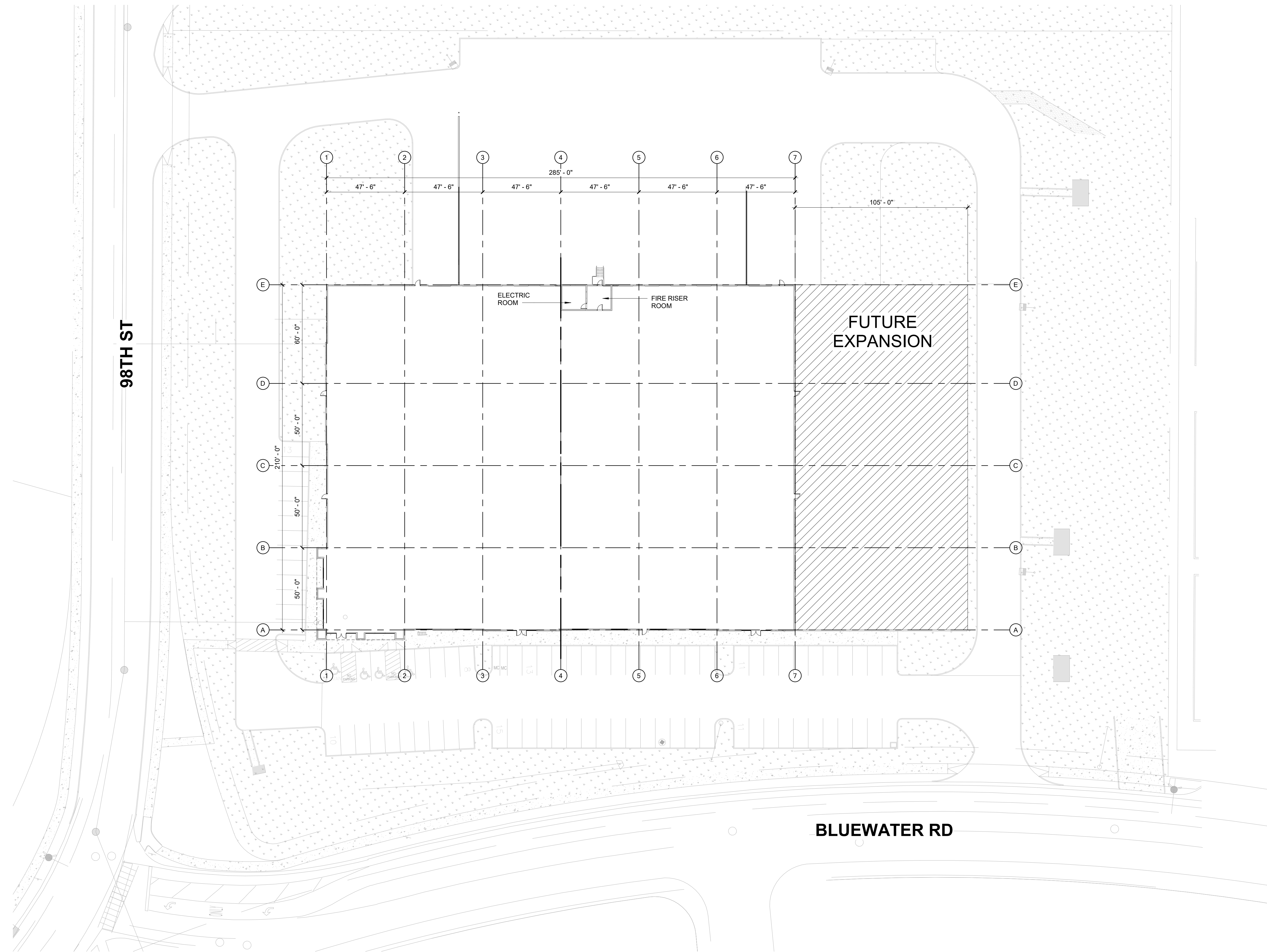
DESIGNED: JRV
 DRAWN: TRH
 REVIEWED: CDR

SHEET TITLE

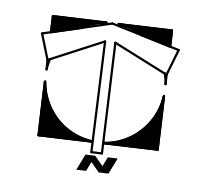
ARCHITECTURAL SITE PLAN

SHEET NUMBER

A1.01



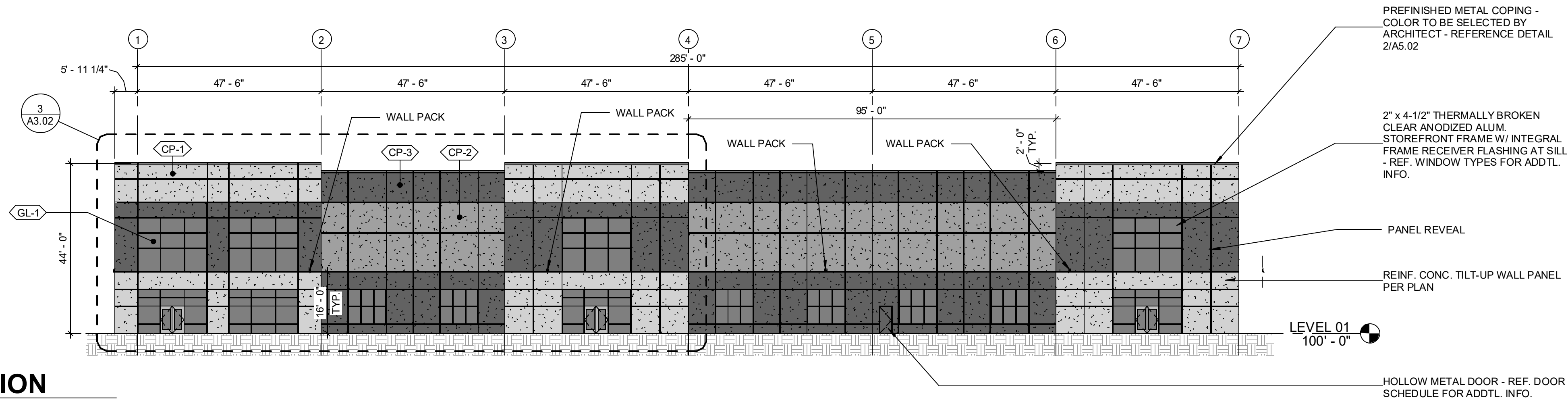
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ARCHITECTURAL SITE PLAN

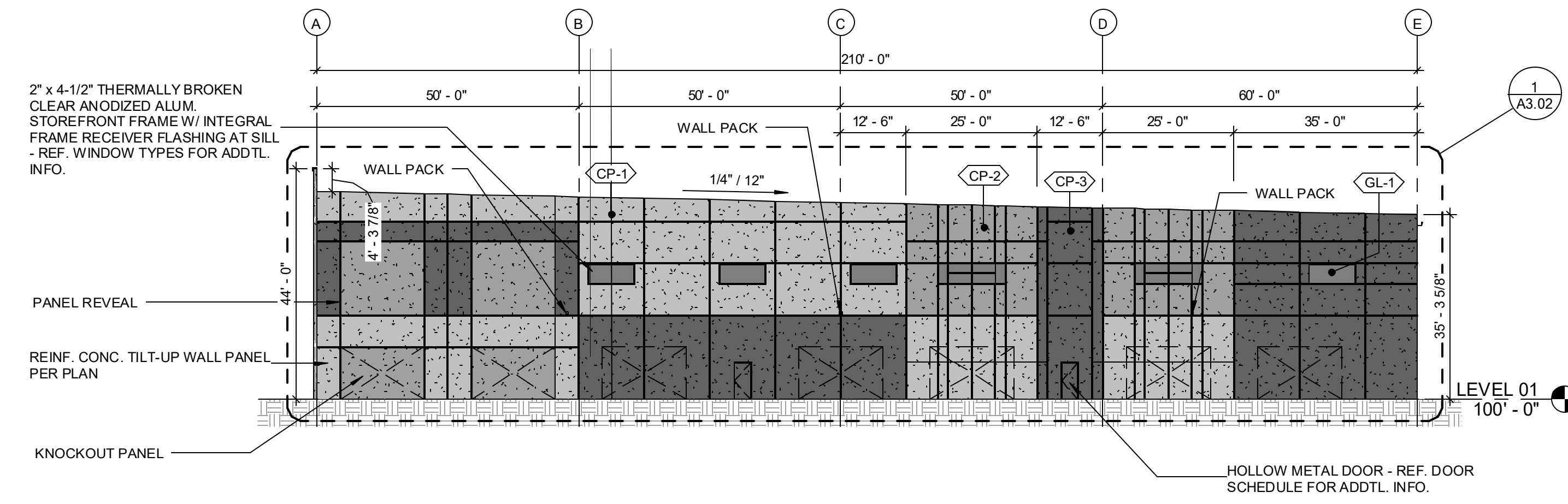
MATERIAL & FINISH LEGEND

- CONCRETE, PAINTED 1 : CP-1/LIGHT GRAY
- CONCRETE, PAINTED 2 : CP-2/MEDIUM GRAY
- CONCRETE, PAINTED 3 : CP-3/DARK GRAY
- GLAZING 1 : GL-1



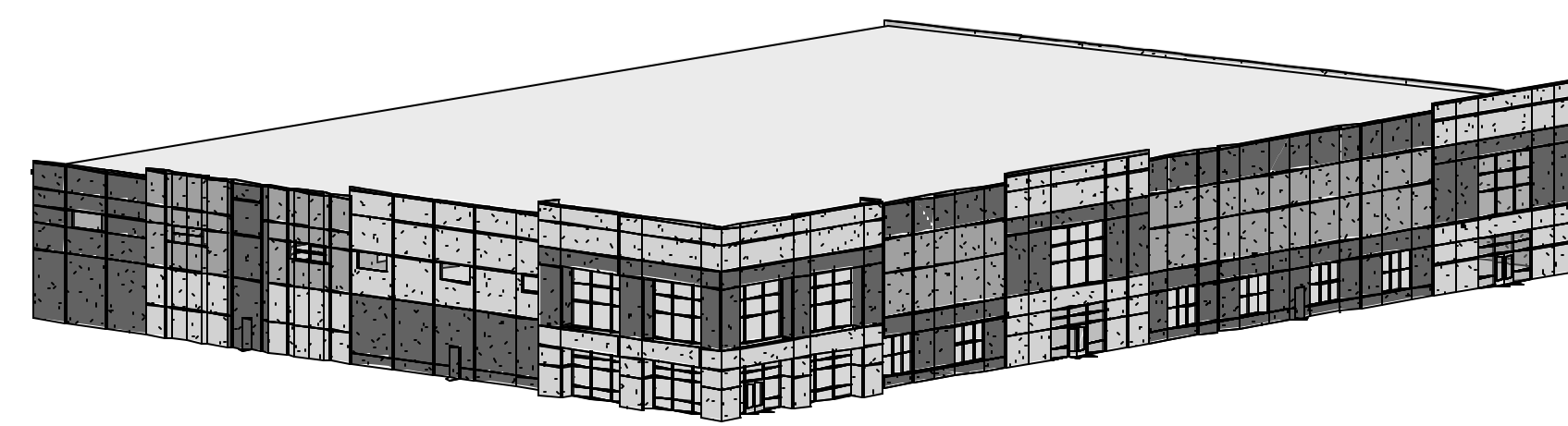
OVERALL SOUTH ELEVATION

A1.10/A3.01 SCALE: 1" = 20'-0"



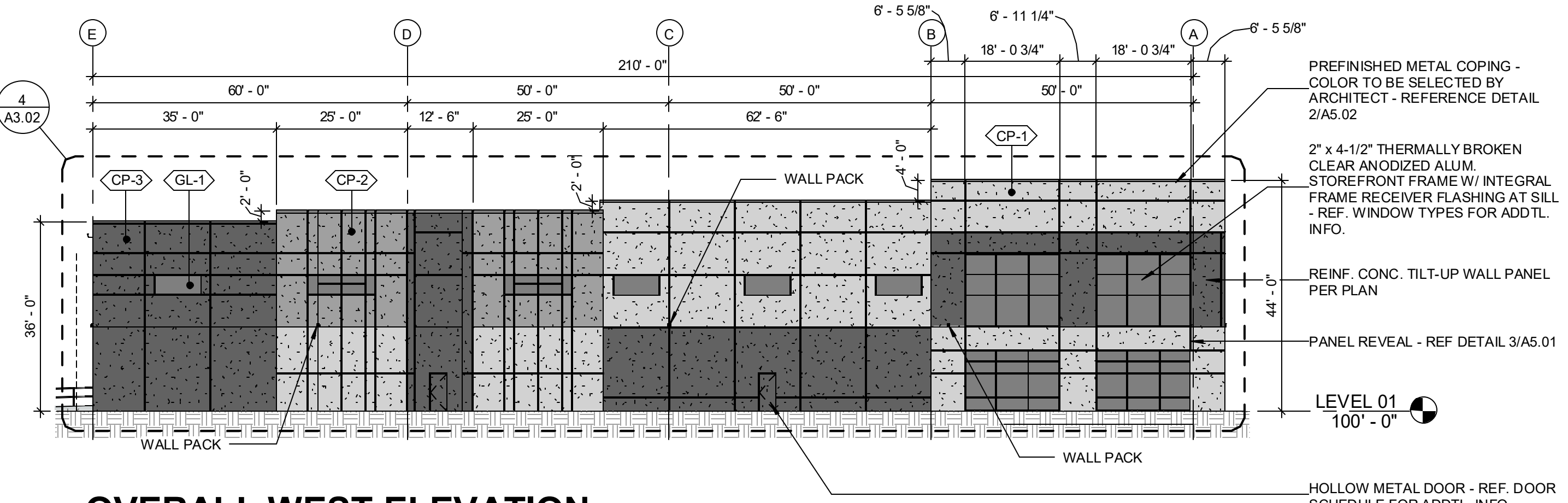
OVERALL EAST ELEVATION

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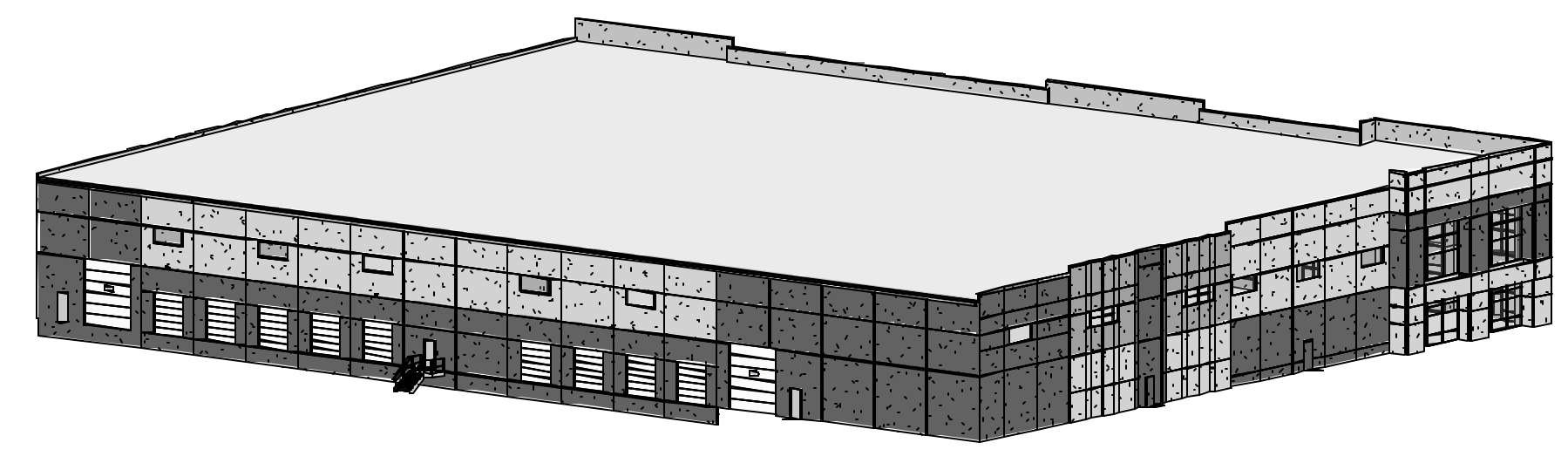
FRONT AXON

A3.01 SCALE:



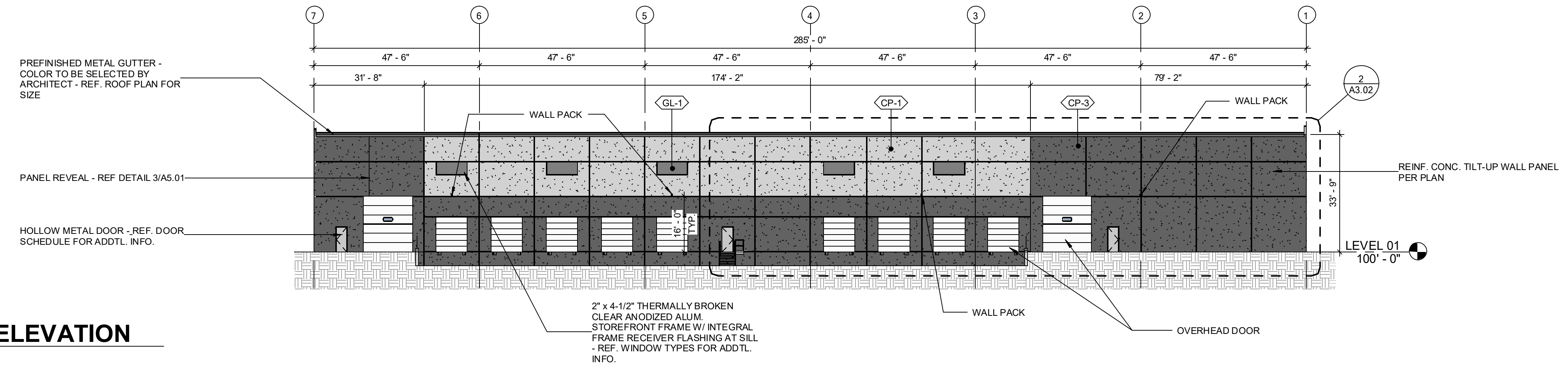
OVERALL WEST ELEVATION

A1.10/A3.01 SCALE: 1" = 20'-0"



REAR AXON

A3.01 SCALE:



OVERALL NORTH ELEVATION

A1.10/A3.01 SCALE: 1" = 20'-0"

GBA
 9801 Renner Blvd. Ste. 300
 Lenexa, KS 66219
 913.492.0400
 gbateam.com

14983 - WESTPOINTE40 - 60K
 ALBUQUERQUE NM



REV	DATE	DESCRIPTION

PROJECT NUMBER	14983
DATE	11/05/2021
DESIGN REVIEW SET	
DESIGNED:	JRV
DRAWN:	TRH
REVIEWED:	CDR
SHEET TITLE	EXTERIOR BUILDING ELEVATIONS
SHEET NUMBER	A3.01

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 Engineering COA# E-92
 Architecture COA# A-45
 Land Surveying COA# LS-8

Printed 11/02/2021 3:34:37 PM - BIM 360://1498314983 - Westpointe40 - 60K Arch.rvt



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

PERMIT NUMBER: FP 21-007554

APPROVED DATE: 09/21/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 3000 GPM 8000 SF II-B / HYDRANT NR-BP



LEGAL DESCRIPTION:

PORTION OF TRACT 9 AVALON SUBDIVISION UNIT 5

NOTES:

UPC NO: 100905719339420401

BLUE SKY DISTRIBUTING
PORTION OF AVALON SUBDIVISION TRACT 9
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY

COMMERCIAL
OCCUPANCY TYPE: S-1 (MODERATE HAZARD STORAGE)
LOT AREA: 280299 SF (6.43 ACRES)
BUILDING AREA: 80000 SF
CONSTRUCTION TYPE: TYPE II-B
FULLY SPRINKLED
MAX BUILDING HEIGHT 45'

NOTES

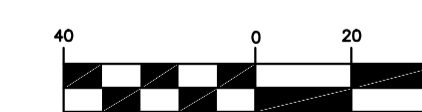
- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHAL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.

KEYED NOTES

- NEW FIRE HYDRANT (PRIVATE)
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT (PUBLIC)
- PUBLIC GATE VALVE
- PRIVATE GATE VALVE
- KNOX BOX
- BUILDING ADDRESS
- FDC
- PV



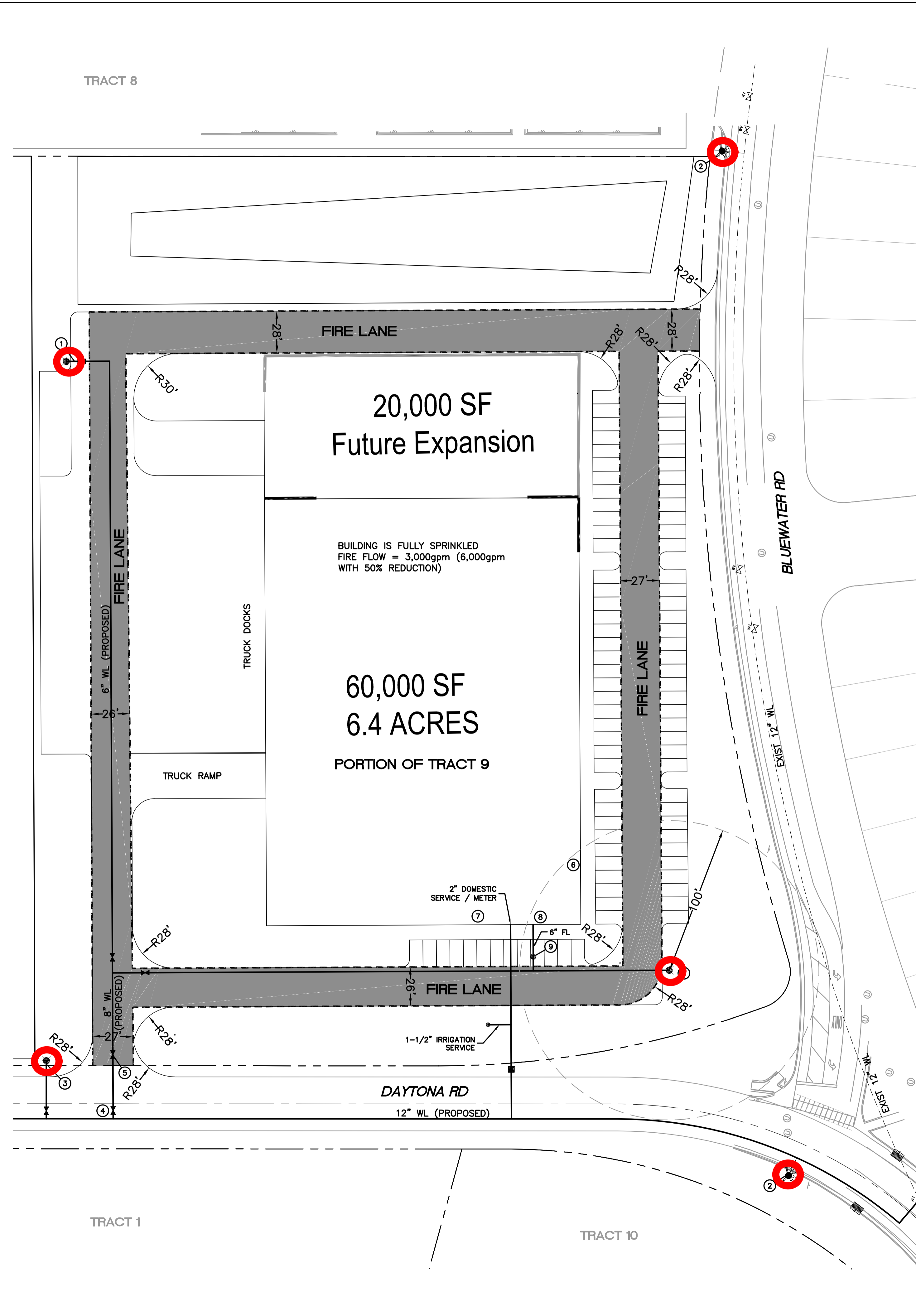
GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

CAUTION

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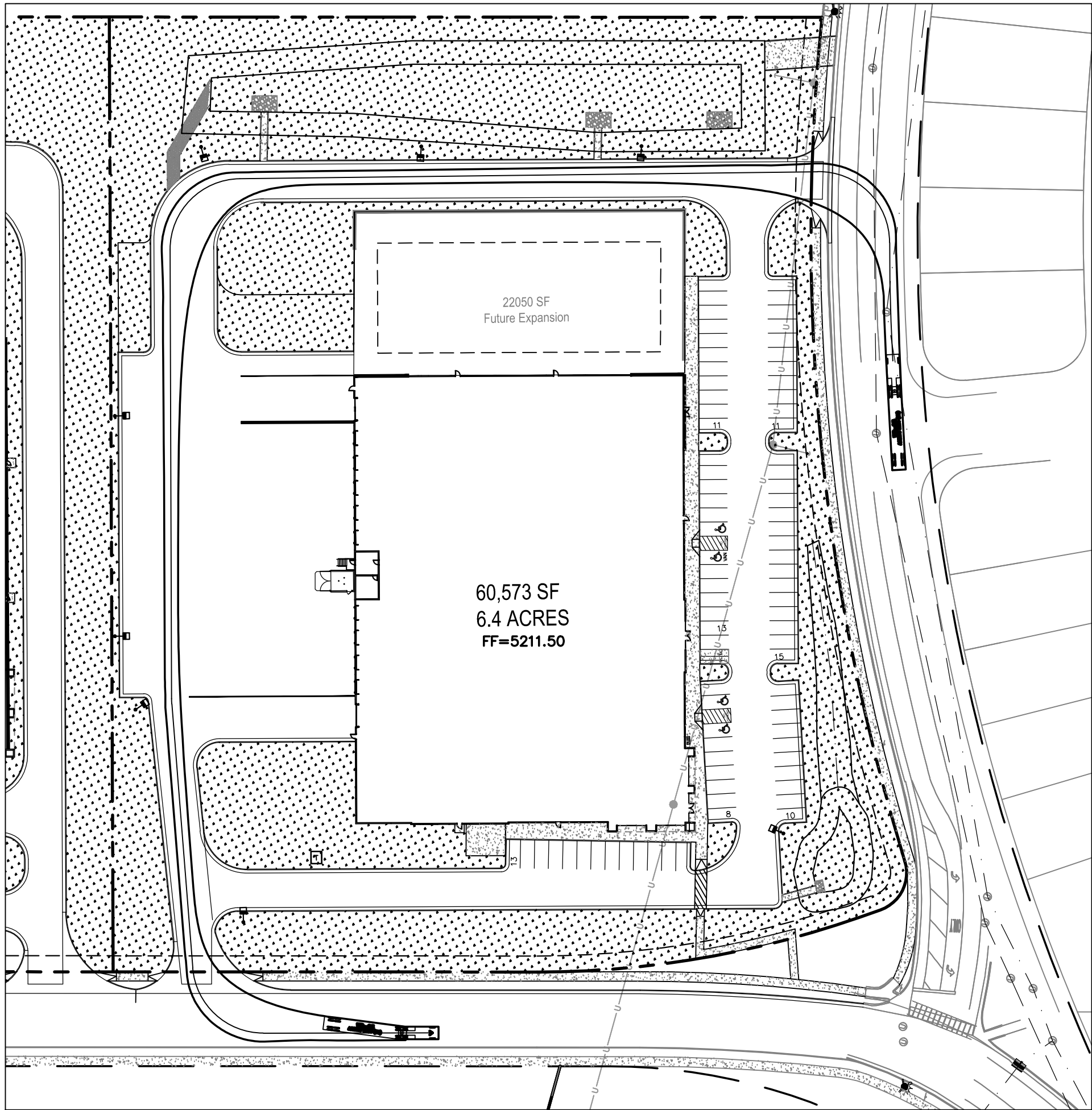


TRACT 8

TRACT 1

TRACT 10

	BLUE SKY DISTRIBUTING ALBUQUERQUE, NM	DRAWN BY AS
	FIRE ONE PLAN AVALON SUBDIVISION UNIT 5	DATE 9-8-21
	5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2021062-FO
RONALD R. BOHANNAN P.E. #7868	9-16-21	SHEET # FO-1
		JOB # 2021062



22050 SF
Future Expansion

60,573 SF
6.4 ACRES
FF=5211.50

13

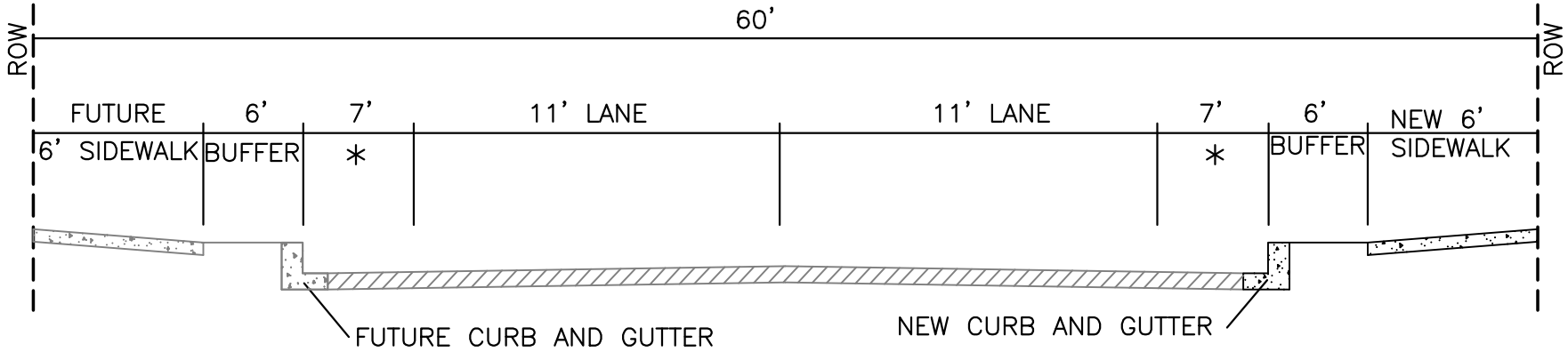
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15

15

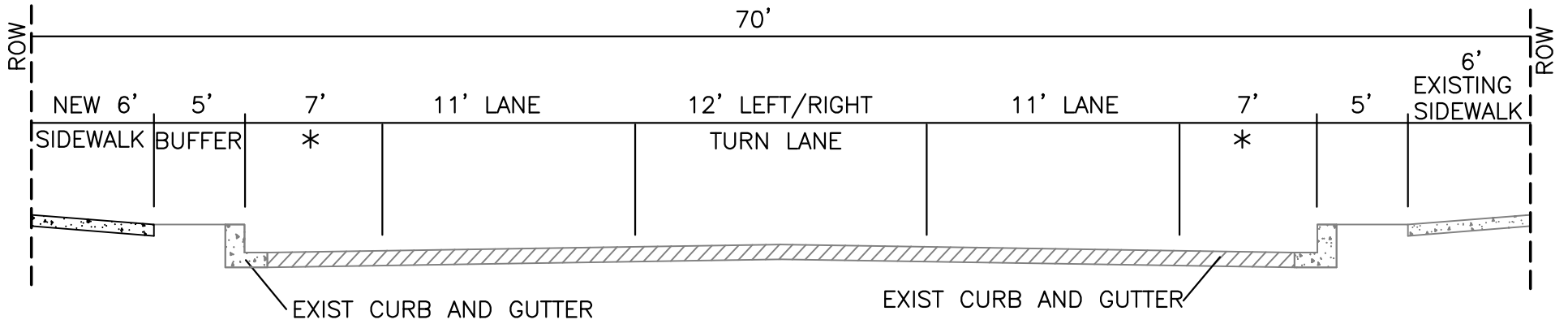
8

10



* INCLUDES 5' BIKE LANE

DAYTONA RD SECTION



* INCLUDES 5' BIKE LANE

BLUEWATER RD SECTION

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____

INFRASTRUCTURE LIST

Date Site Plan Approved: _____

(Rev. 2-16-18)

Date Preliminary Plat Approved: _____

EXHIBIT "A"

Date Preliminary Plat Expires: _____

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

DRB Project No.: _____

DRB Application No.: _____

BLUE SKY DISTRIBUTING

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 9B AVALON SUBDIVISION UNIT 5

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	24' F-Edge	Major Local Paving, Curb & Gutter 6' Sidewalk (east side)	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>		6' Sidewalk (North side)	Bluewater Road	West Property Line	East Property Line	/	/	/
<input type="text"/>	<input type="text"/>	8"	SAS Gravity Line	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	10"	Water PVC Line	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>	30" - 42"	Storm Drain RCP	Daytona Road	Bluewater Road	North Property Line	/	/	/
<input type="text"/>	<input type="text"/>		Pond & Storm Drain with an Agreement & Covenant & Public Drainage Easement	Tract 9B	East Side Of Tract 9B		/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 Storm drain to include manholes and inlets
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
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NAME (print)	DRB CHAIR - date	PARKS & RECREATION - date
FIRM	TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
SIGNATURE - date	UTILITY DEVELOPMENT - date	CODE ENFORCEMENT - date
	CITY ENGINEER - date	_____ - date

DESIGN REVIEW COMMITTEE REVISIONS
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REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER