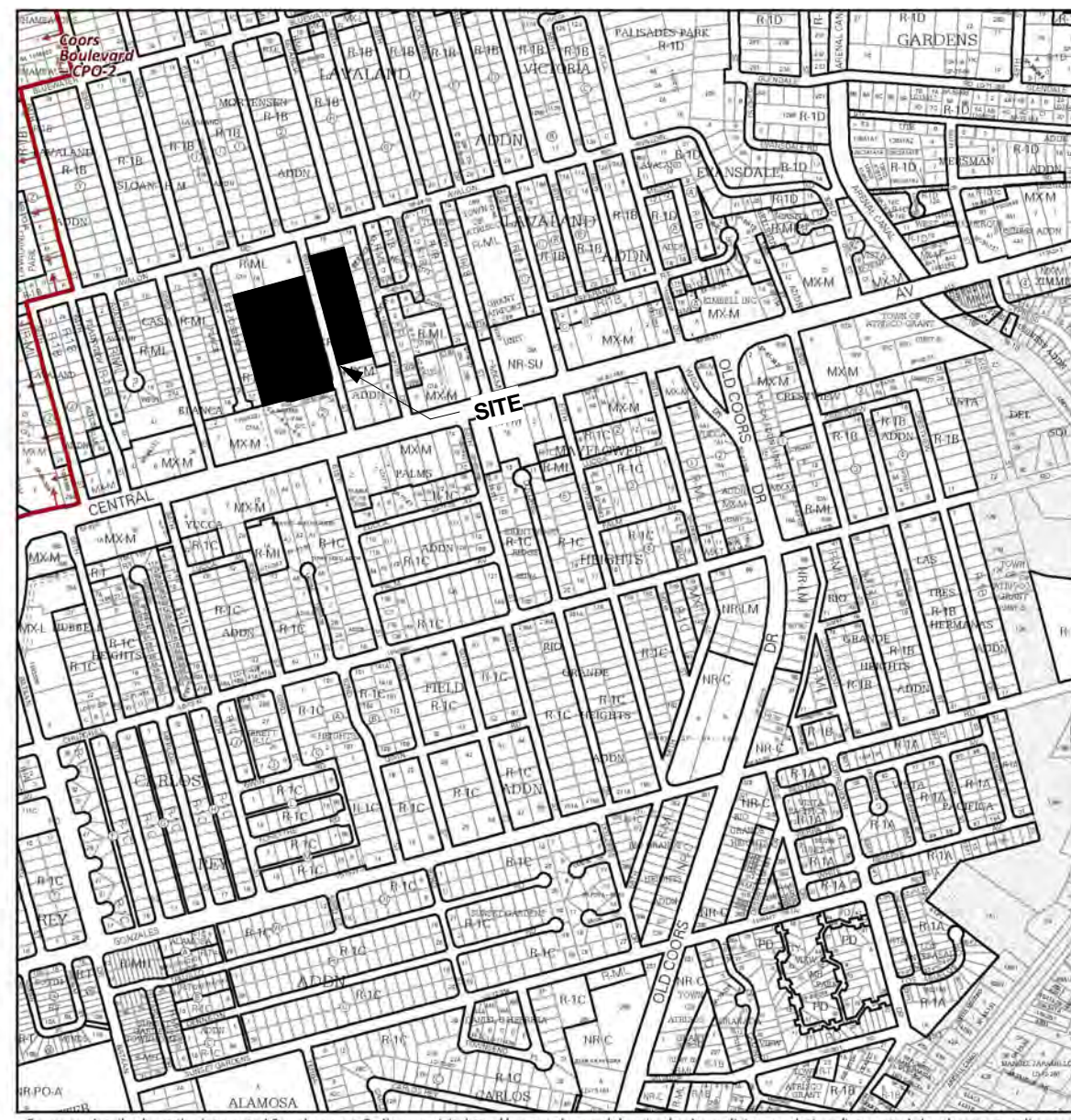


**ZONE ATLAS:**



**PROJECT INFORMATION:**

**LEGAL DESCRIPTION**

LOTS NUMBERED ONE (1) THROUGH FIFTEEN (15), INCLUSIVE, AND LOTS SEVENTEEN (17) THROUGH THIRTY TWO (32), INCLUSIVE, OF THE PATILLY SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 1, 1981 IN MAP BOOK C18, FOLIO 64.  
R2 - 46 UNITS  
TYPE 6B  
NMPA 13.R  
24' - 0" FEET  
2 FLOORS  
142,935 SF | 3.2 ACRES

**OCCUPANCY TYPE:**  
CONSTRUCTION TYPE:  
AUTOMATIC SPRINKLER SYSTEM:  
BUILDING HEIGHT:  
NUMBER OF FLOORS:  
LOT AREA:  
**UNIT MIX**  
REHAB:

THREE BEDROOM 32  
FOUR BEDROOM 10  
NEW CONSTRUCTION:  
TWO BEDROOM 30  
THREE BEDROOM 16  
**TOTAL UNITS 88**

**PARKING SPACES:**  
PARKING REQUIREMENTS PER TABLE 5-5-1 OF IDO  
PARKING REQUIREMENTS PER IDO:  
2 BR UNITS: 1.6 SPACES / UNIT (30)  
3+ BR UNITS: 1.8 SPACES / UNIT (68)  
REQUIRED:  
PROVIDED:

48 SPACES  
105 SPACES  
152 SPACES  
131 STANADARD SPACES  
45 COMPACT SPACES  
9 HANDICAP SPACES  
8 ELECTRIC CHARGING STATIONS  
193 SPACES PROVIDED  
5 SPACES  
5 SPACES

**MOTORCYCLE PARKING REQUIRED**  
MOTORCYCLE PARKING PROVIDED

|  | (gross)           | (net)            | Subtotal (gross) | Subtotal (net) |
|--|-------------------|------------------|------------------|----------------|
| <b>NEW CONSTRUCTION UNITS:</b>   |                   |                  |                  |                |
| <b>BLDG TYP 1:</b><br>2 Bd Unit (2 per building)<br>No. Buildings = 3  | 984 sf            | 904 sf           | 1,968 sf         | 1,826 sf       |
| <b>BLDG TYP 2:</b><br>2 Bd Unit (8 per building)<br>No. Buildings = 3  | 993 sf            | 907 sf           | 7,944 sf         | 7,256 sf       |
| <b>BLDG TYP 3:</b><br>3 Bd Unit (8 per building)<br>No. Buildings = 2  | 1,250 sf          | 1,093 sf         | 10,000 SF        | 8,744 SF       |
| <b>REHABILITATION UNITS:</b>   |                   |                  |                  |                |
| <b>BLDG TYP 4:</b><br>3 Bd Unit (2 per building)<br>No. Buildings = 16 | 1,097 sf          | 982 sf           | 2,194 sf         | 1,964 sf       |
| <b>BLDG TYP 5:</b><br>4 Bd Unit (1 per building)<br>No. Buildings = 10 | 1,371 sf          | 1,227 sf         | 13,710 sf        | 12,270 sf      |
| Total New Construction   | 49,064 sf         | 44,734 sf        |                  |                |
| Total Rehab  | 48,814 sf         | 43,694 sf        |                  |                |
| <b>Total Building</b>  | <b>98,550 sf</b>  | <b>88,428 sf</b> |                  |                |
| Community Building   | 2,052 sf          | 1,576 sf         |                  |                |
| <b>Total Project Area</b>  | <b>100,602 sf</b> | <b>90,004 sf</b> |                  |                |

**KEYED NOTES:**

- A. 30'X30' WATER METER EASEMENT GRANTED TO ABCVUA
- B. 5' UTILITY EASEMENT
- C. 30' WIDE VEHICULAR ACCESS EASEMENT

**USABLE OPEN SPACE:**  
2 BR: 285 SF X 30 = 8,550 SF  
3 BR+: 350 SF X 58 = 20,300 SF  
**28,850 SF REQUIRED**  
**176,069 SF PROVIDED**

\*Environmental Health, if necessary  
12/16/22

**PROJECT NUMBER:** PR2021-006156

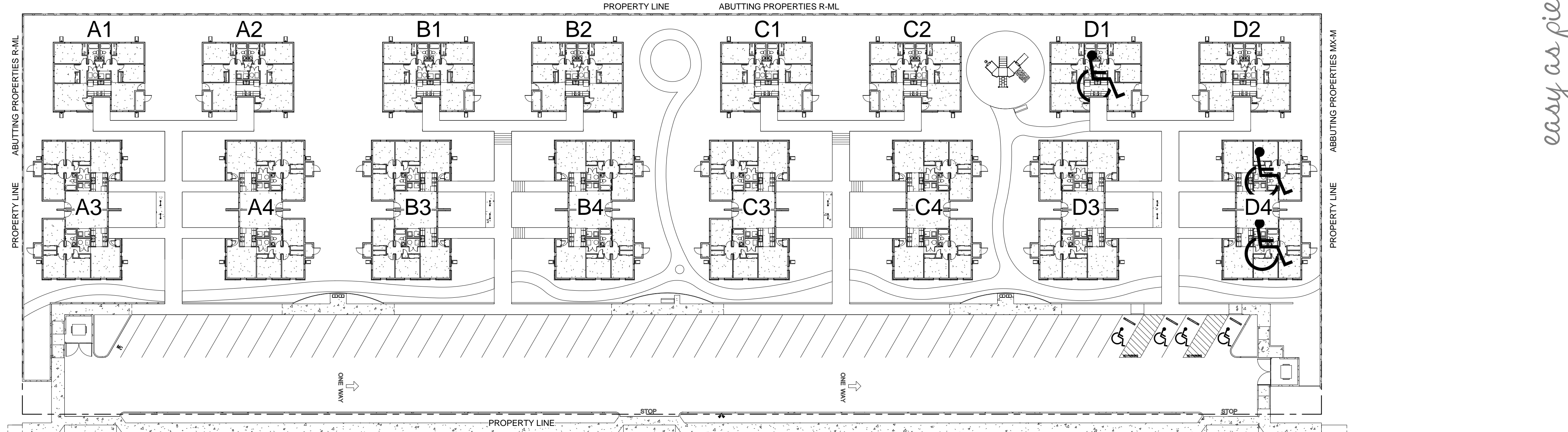
**Application Number:** SI-2024-01536

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

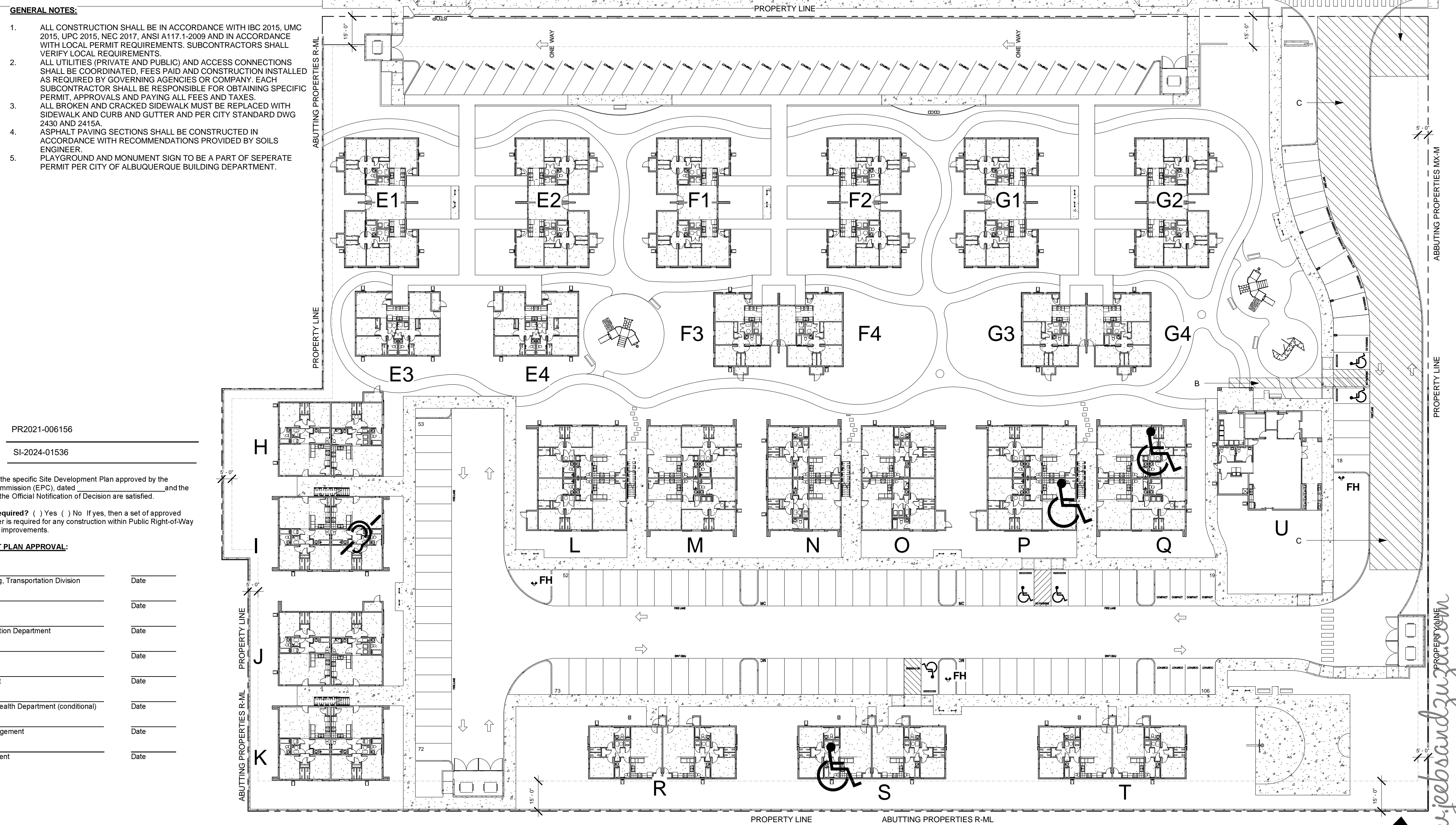
**DFT SITE DEVELOPMENT PLAN APPROVAL:**

|   |      |
|---|------|
| Traffic Engineering, Transportation Division    | Date |
| ABCVUA  | Date |
| Parks and Recreation Department                 | Date |
| Hydrology                                       | Date |
| Code Enforcement                                | Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management                          | Date |
| Planning Department                             | Date |



**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
- ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
- ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY SOILS ENGINEER.
- PLAYGROUND AND MONUMENT SIGN TO BE A PART OF SEPARATE PERMIT PER CITY OF ALBUQUERQUE BUILDING DEPARTMENT.

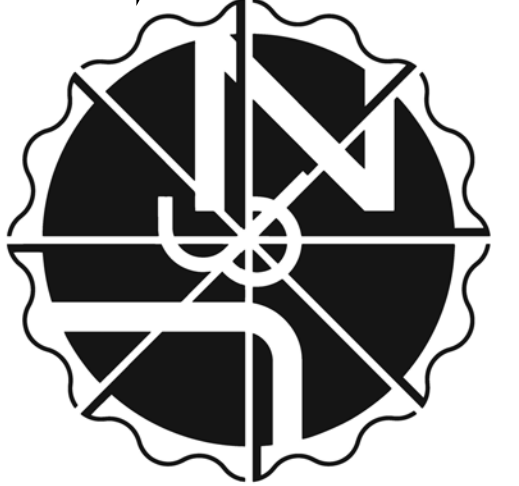


1 TCL - Overall Site Plan  
1" = 30'-0"

easy as pie



**JEEBS & ZUZU, LLC.**  
5924 ANAHEIM AVENUE SUITE A  
ALBUQUERQUE, NM 87113  
P: 505-797-1318



**job no:** -  
**drawn:** EAM  
**checked:** J&Z  
**date:** Feb. 6, 2025

**CASTAS DEL CAMINO**  
60th Street NW  
Albuquerque, NM 87105

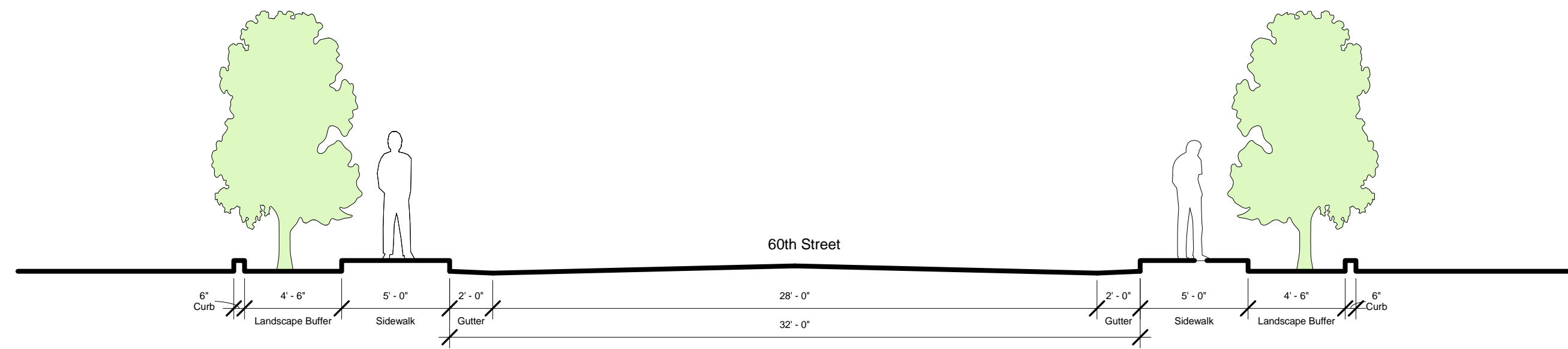
sheet no: **AS1.0**

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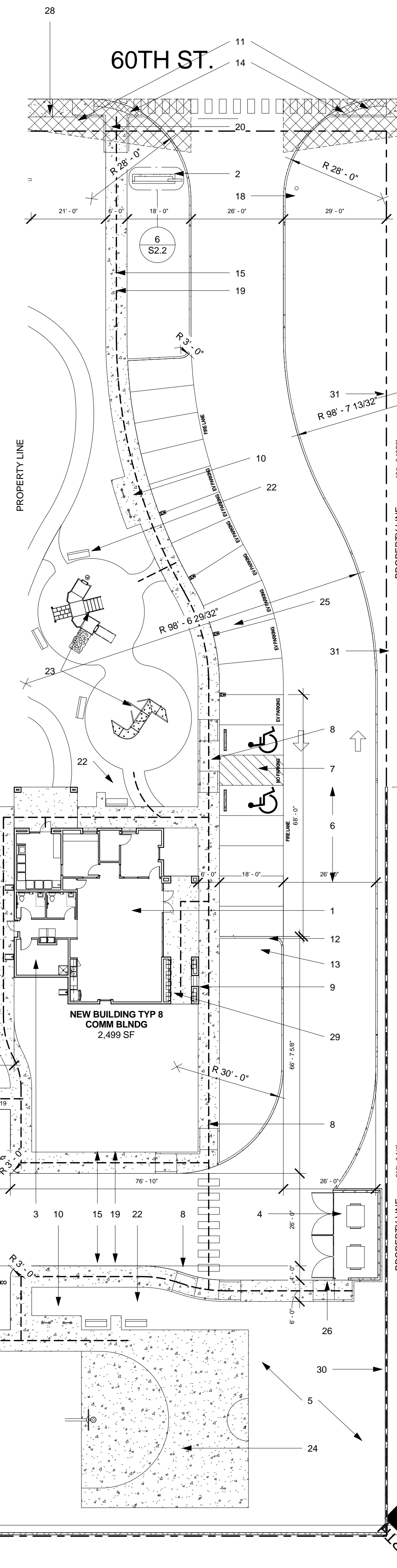


**SITE PLAN LEGEND:**

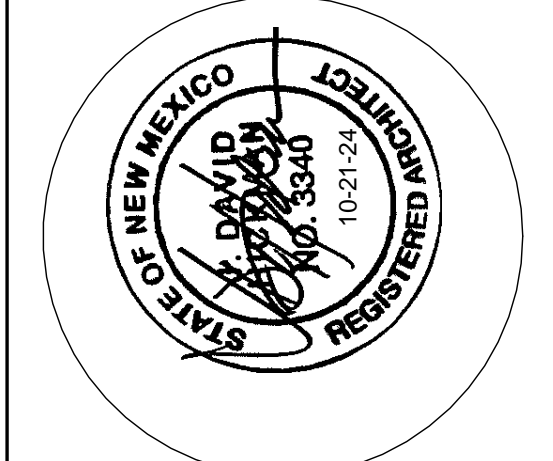
1. COMMUNITY BUILDING
2. MONUMENT SIGN - SEE DETAIL
3. MAINTENANCE RM
4. GARBAGE ENCLOSURE W/ GATES - SEE DETAILS 1-4/TCL2.0 FOR GARBAGE ENCLOSURE NOTES AND DIMENSIONS
5. DRAINAGE POND
6. ASPHALT DRIVEWAY - DRIVE AISLE: 2.5" ASPHALT PAVEMENT OVER 4" COMPACTED ROADWAY BASECOURSE. DRIVE SHALL BE DESIGNED AND CONSTRUCTED CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPRATUS WEIGHING AT LEAST 75,000 POUNDS. - DRIVE SHALL NOT EXCEED 10% GRADE. - SEE DETAIL 12/TCL2.0
7. ADA PARKING W/ PRECAST CONCRETE WHEEL STOPS - PLEASE SEE DETAIL 11 & 14/TCL2.0 FOR ADA PARKING SPACE DIMENSIONS
8. ADA CURB RAMP - SEE DETAIL 14/TCL2.0 FOR CURB RAMP SLOPES AND DIMENSIONS
9. BUILDING IDENTIFIER SIGN TO BE ILLUMINATED FROM DUSK TO DAWN (12) BICYCLE RACK ARCHES (24 SPACES) PER 7.4.115 OF CITY OF ALBUQUERQUE DPM. SEE DETAILS 6 & 15/TCL2.0
11. SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
12. POST INDICATOR VALVE
13. FIRE HYDRANT
14. DETECTABLE WARNING STRIP & PUBLIC CURB RAMP. SEE DETAILS ON SHEET TCL.1
15. ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING CORRIDOR
16. N/A
17. 16' POLE MOUNTED SITE LED DOWNLIGHT W/ CUTOFF - LIGHTING TO BE DESIGNED BY ELECTRICAL ENGINEER AND SHALL BE COMPLIANT W/ ABQ NIGHT SKY ORDINANCE.
18. NEW STOP SIGNAGE - SEE DETAIL 16/TCL2.0
19. NEW 6" CAST IN PLACE CONCRETE SIDEWALK - CROSS SLOPE NOT TO EXCEED 2%. SEE DETAILS 12 & 13.
20. NEW PUBLIC SIDEWALK TO TIE INTO EXISTING PUBLIC SIDEWALK. COORDINATE SIDEWALK PLACEMENT PER CITY OF ALBUQUERQUE WORK ORDER.
21. COMPACT PARKING - SEE DETAIL 5/TCL2.0 FOR ALL PARKING DIMENSIONS.
22. ALL WEATHER PERMANENT MOUNTED BENCH W/ 30"x48" LEVEL CONCRETE PAD AT ONE SIDE FOR ADA ACCESS. SEE DETAIL 7 / TCL2.0
23. ADA PLAYGROUND AND TOT LOT PER MFA STANDARDS
24. NEW BASKETBALL COURT
25. A MINIMUM OF 10 OF THESE PARKING SPACES TO BE LABELED AS "ELECTRIC VEHICLE PARKING" CHARGING STATIONS ARE TO HAVE A MIN. OF 240 V RATING. SEE DETAIL 5/AS2.1 FOR PARKING STALL DIMENSIONS
26. ADA CURB RAMP AT REFUSE ENCLOSURES
27. MOTORCYCLE PARKING - SEE 5/TCL2.0 FOR TYP. DIMENSIONS
28. REMOVE EXISTING DRIVE PAD AND RECONSTRUCT A NEW SIDEWALK AND CURB AND GUTTER PER CABQ DWG 2415C, 2430, & 2432.
29. MAIL CENTER
30. NEW 6'-0" HIGH GRAY CMU WALL AT NORTH AND WEST PROPERTY LINES.
31. NEW 6'-0" HIGH BLACK IRON FENCE AT SOUTH PROPERTY LINE.



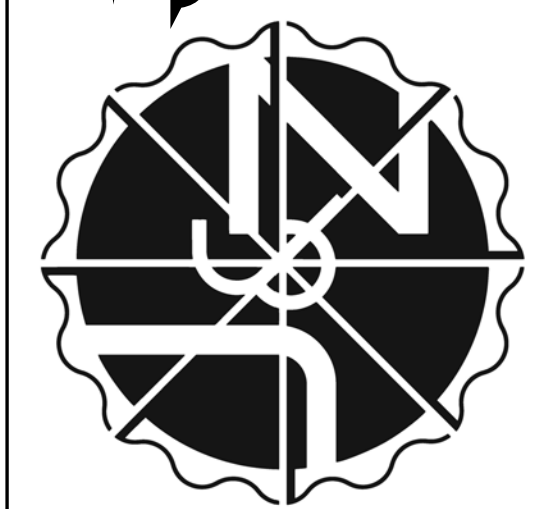
② ROW Section  
3/16" = 1'-0"



*easy as pie*

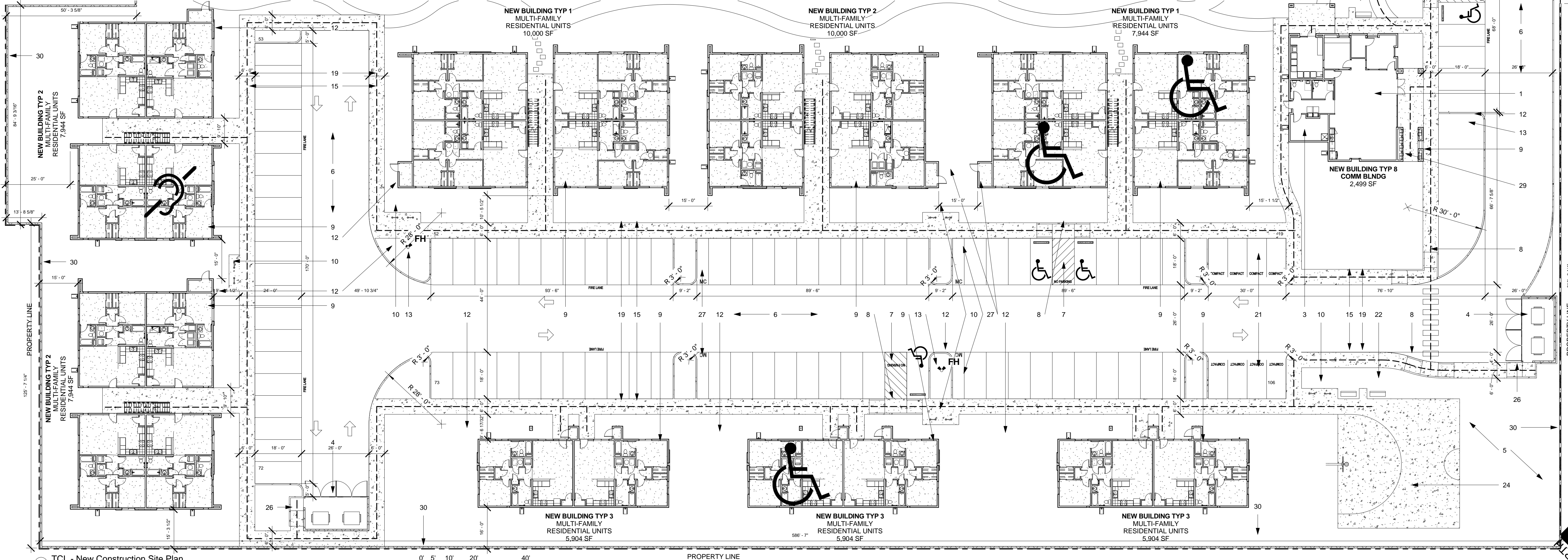


**JEEBS & ZUZU, LLC.**  
 Architecture  
 Construction  
 Design-Build



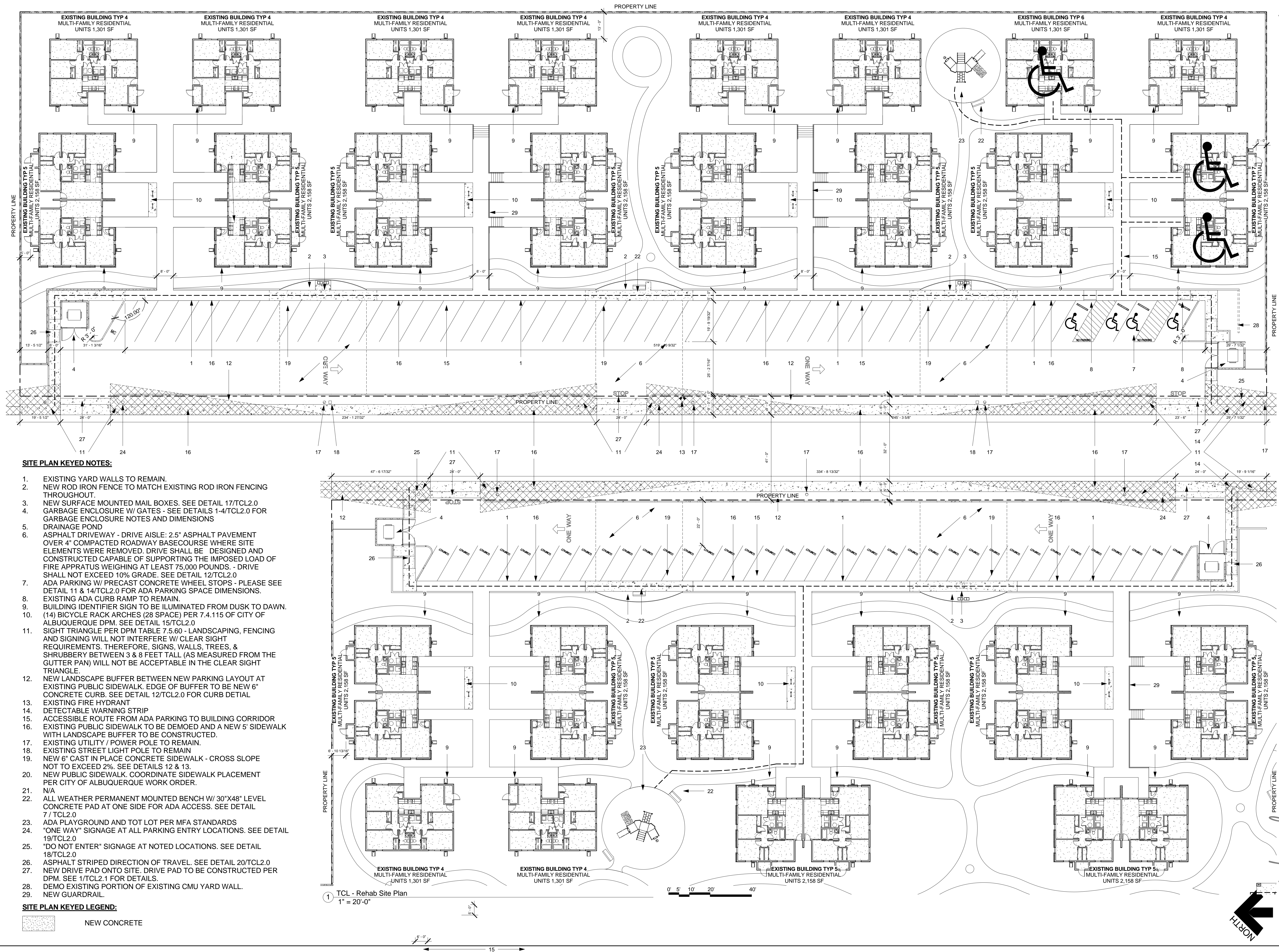
job no: -  
 drawn: EAM  
 checked: J&Z  
 date: Oct. 21, 2024

NEW CONSTRUCTION SITE PLAN  
**CASITAS DEL CAMINO**  
 60th Street NW  
 Albuquerque, NM 87105  
 sheet no: **S1.1**



① TCL - New Construction Site Plan  
1" = 20'-0"

[www.jeebsandzuzu.com](http://www.jeebsandzuzu.com)



**SITE PLAN KEYED NOTES:**

1. EXISTING YARD WALLS TO REMAIN.
2. NEW ROD IRON FENCE TO MATCH EXISTING ROD IRON FENCING THROUGHOUT.
3. NEW SURFACE MOUNTED MAIL BOXES. SEE DETAIL 17/TCL2.0
4. GARBAGE ENCLOSURE W/ GATES - SEE DETAILS 1-4/TCL2.0 FOR GARBAGE ENCLOSURE NOTES AND DIMENSIONS
5. DRAINAGE POND
6. ASPHALT DRIVEWAY - DRIVE AISLE: 2.5" ASPHALT PAVEMENT OVER 4" COMPACTED ROADWAY BASECOURSE WHERE SITE ELEMENTS WERE REMOVED. DRIVE SHALL BE DESIGNED AND CONSTRUCTED CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPRATUS WEIGHING AT LEAST 75,000 POUNDS. - DRIVE SHALL NOT EXCEED 10% GRADE. SEE DETAIL 12/TCL2.0
7. ADA PARKING W/ PRECAST CONCRETE WHEEL STOPS - PLEASE SEE DETAIL 11 & 14/TCL2.0 FOR ADA PARKING SPACE DIMENSIONS.
8. EXISTING ADA CURB RAMP TO REMAIN.
9. BUILDING IDENTIFIER SIGN TO BE ILLUMINATED FROM DUSK TO DAWN.
10. (14) BICYCLE RACK ARCHES (28 SPACE) PER 7.4.115 OF CITY OF ALBUQUERQUE DPM. SEE DETAIL 15/TCL2.0
11. SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
12. NEW LANDSCAPE BUFFER BETWEEN NEW PARKING LAYOUT AT EXISTING PUBLIC SIDEWALK. EDGE OF BUFFER TO BE NEW 6" CONCRETE CURB. SEE DETAIL 12/TCL2.0 FOR CURB DETAIL
13. EXISTING FIRE HYDRANT
14. DETECTABLE WARNING STRIP
15. ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING CORRIDOR
16. EXISTING PUBLIC SIDEWALK TO BE DEMOED AND A NEW 5' SIDEWALK WITH LANDSCAPE BUFFER TO BE CONSTRUCTED.
17. EXISTING UTILITY / POWER POLE TO REMAIN.
18. EXISTING STREET LIGHT POLE TO REMAIN
19. NEW 6" CAST IN PLACE CONCRETE SIDEWALK - CROSS SLOPE NOT TO EXCEED 2%. SEE DETAILS 12 & 13.
20. NEW PUBLIC SIDEWALK. COORDINATE SIDEWALK PLACEMENT PER CITY OF ALBUQUERQUE WORK ORDER.
21. N/A
22. ALL WEATHER PERMANENT MOUNTED BENCH W/ 30"X48" LEVEL CONCRETE PAD AT ONE SIDE FOR ADA ACCESS. SEE DETAIL 7 / TCL2.0
23. ADA PLAYGROUND AND TOT LOT PER MFA STANDARDS
24. "ONE WAY" SIGNAGE AT ALL PARKING ENTRY LOCATIONS. SEE DETAIL 19/TCL2.0
25. "DO NOT ENTER" SIGNAGE AT NOTED LOCATIONS. SEE DETAIL 18/TCL2.0
26. ASPHALT STRIPED DIRECTION OF TRAVEL. SEE DETAIL 20/TCL2.0
27. NEW DRIVE PAD ONTO SITE. DRIVE PAD TO BE CONSTRUCTED PER DPM. SEE 1/TCL2.1 FOR DETAILS.
28. DEMO EXISTING PORTION OF EXISTING CMU YARD WALL.
29. NEW GUARDRAIL.

**SITE PLAN KEYED LEGEND:**

NEW CONCRETE

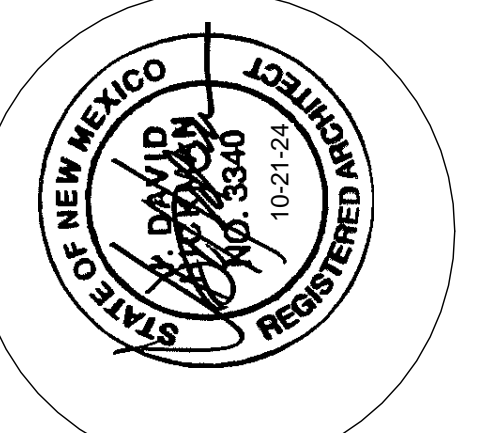
1. TCL - Rehab Site Plan  
1" = 20'-0"

0' 5' 10' 20' 40'

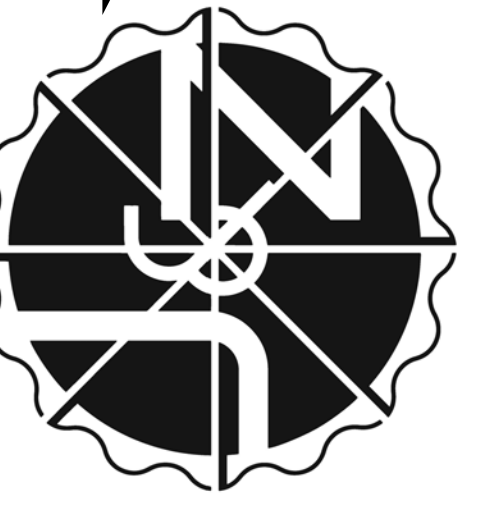


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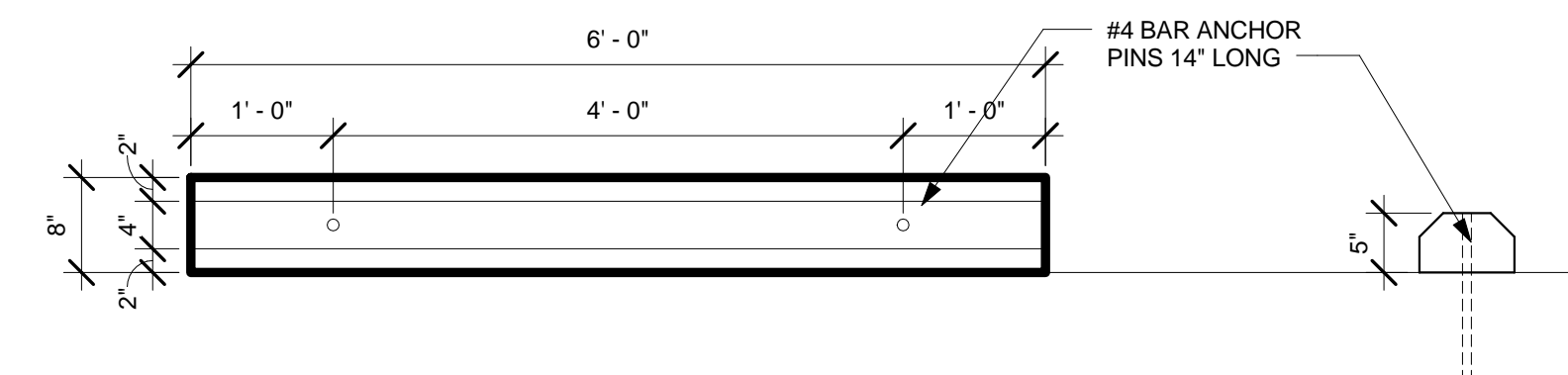
**JEEBS & ZUZU, LLC.**  
**Architecture**  
**Construction**  
**Design-Build**



**job no:** -  
**drawn:** EAM  
**checked:** J&Z  
**date:** Oct. 21, 2024

**CASTAS DEL CAMINO**  
 60th Street NW  
 Albuquerque, NM 87105

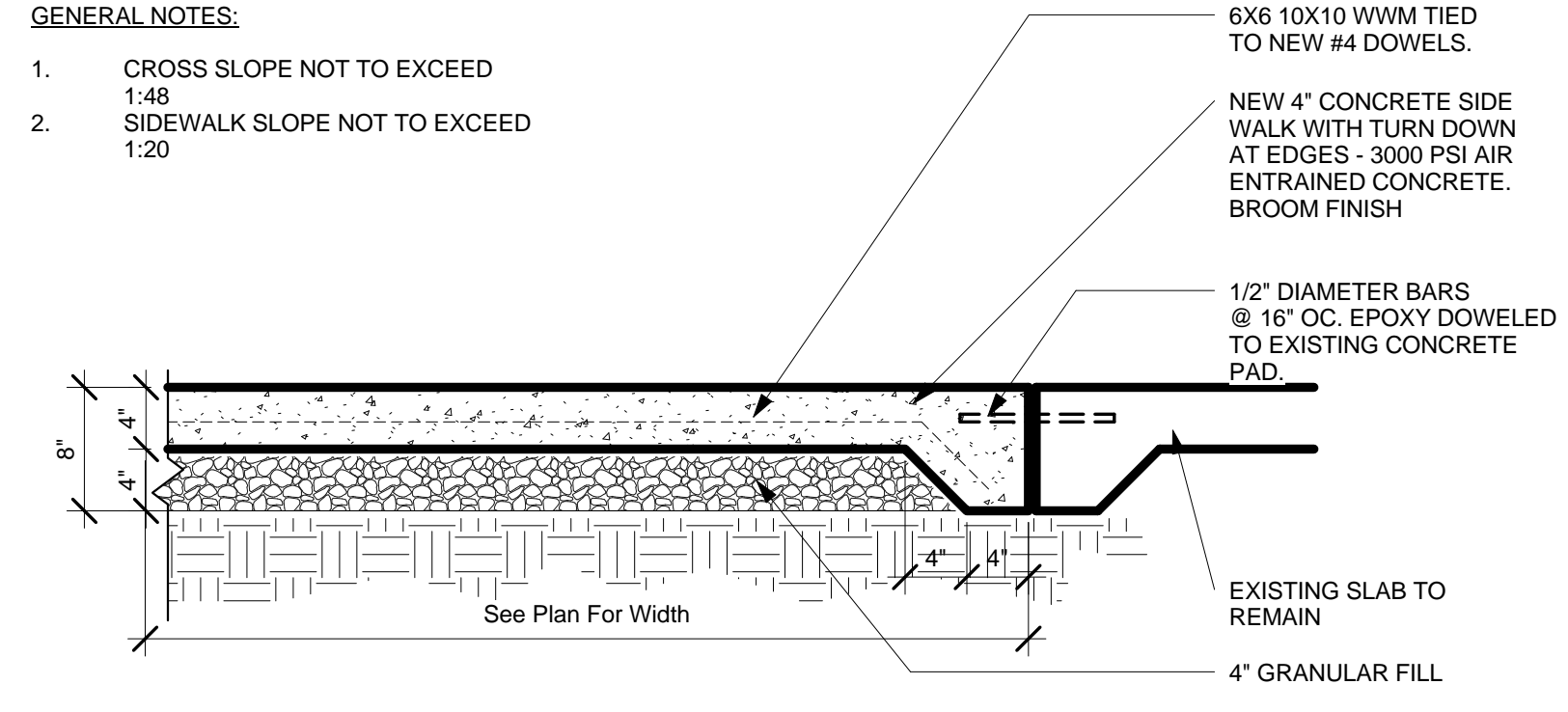
REHAB SITE PLAN  
 sheet no: **112**



14 Concrete Bumper Detail  
3/4" = 1'-0"

GENERAL NOTES:

- CROSS SLOPE NOT TO EXCEED 1:48
- SIDEWALK SLOPE NOT TO EXCEED 1:20



13 Sidewalk Detail  
1" = 1'-0"

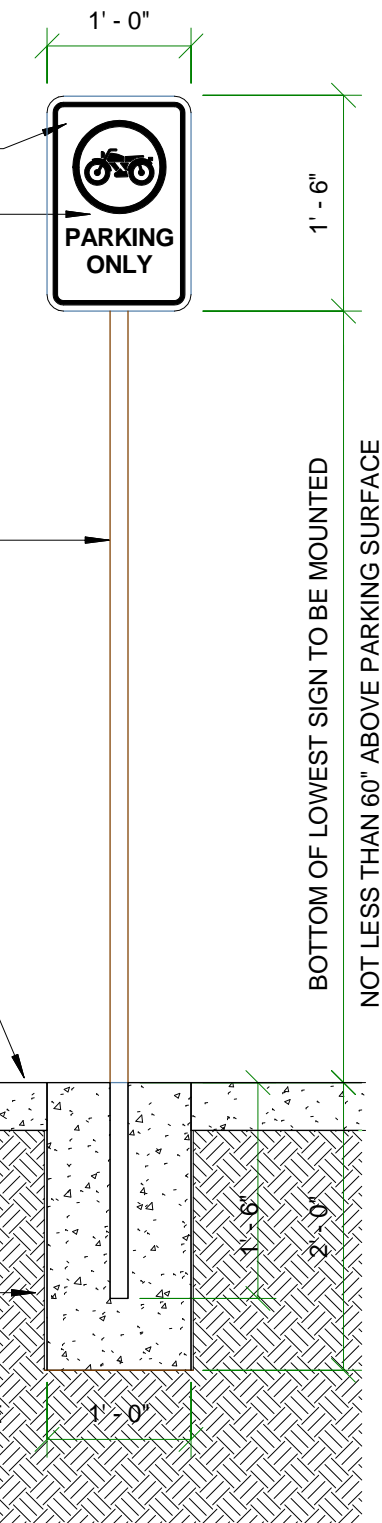
SIGN: TYPE R-7-8  
SIGN FIELD IS WHITE  
SIGN LETTERING AND  
BORDER ARE GREEN

INTERNATIONAL SIGN  
OF ACCESSIBILITY WHITE  
ON A WHITE  
BACKGROUND

2 3/8" DIAMETER  
GALVANIZED  
POLE.

FINISH GRADE  
SIDEWALK

NOTE: SIGN AND MOUNTING  
HEIGHT TO BE IN ACCORDANCE  
WITH THE AMERICANS WITH  
DISABILITIES ACT



8 Motorcycle Parking Sign  
3/4" = 1'-0"

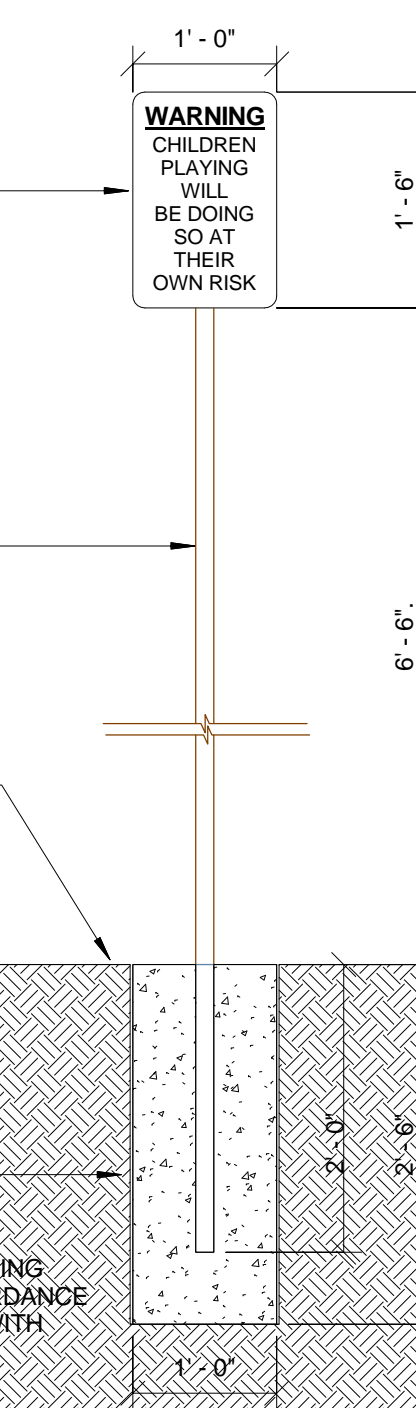
WARNING  
CHILDREN  
PLAYING  
WILL  
BE DOING  
SO AT  
THEIR  
OWN RISK

TYPICAL 16 ga. OR  
FIBERGLASS SIGN

2 3/8" DIAMETER  
GALVANIZED POLE.  
PAINT PROVIDE  
AND  
INSTALL SOLID CAP  
ON TOP OF POST

FINISH GRADE  
PLAYGROUND  
SURFACE

NOTE: SIGN AND MOUNTING  
HEIGHT TO BE IN ACCORDANCE  
WITH THE AMERICANS WITH  
DISABILITIES ACT



9 Playground Warning Sign  
3/4" = 1'-0"

15 Bike Rack Detail  
1/4" = 1'-0"

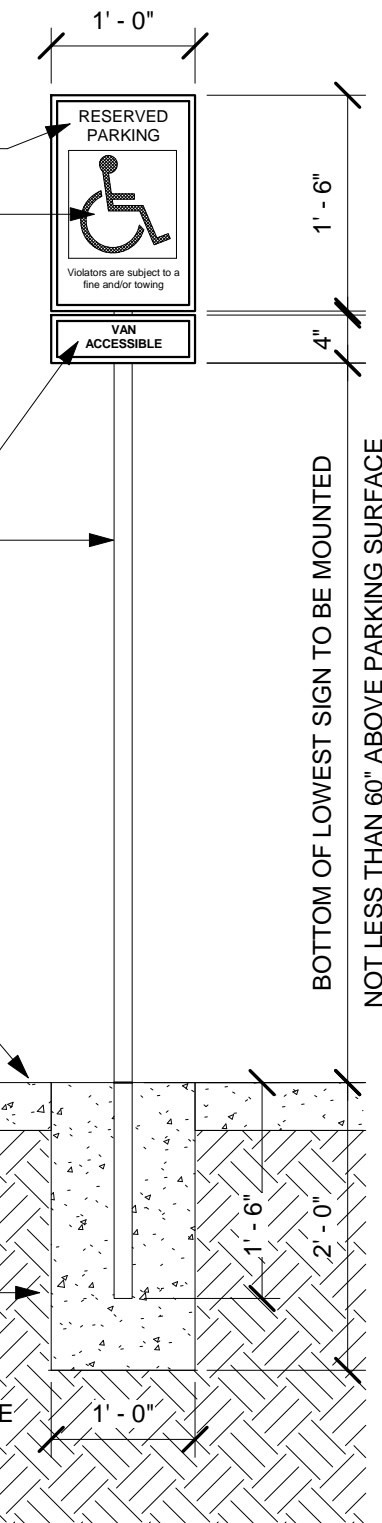
SIGN: TYPE R-7-8  
SIGN FIELD IS WHITE  
SIGN LETTERING AND  
BORDER ARE GREEN

INTERNATIONAL SIGN  
OF ACCESSIBILITY WHITE  
ON A BLUE BACKGROUND

2 3/8" DIAMETER  
GALVANIZED POLE.

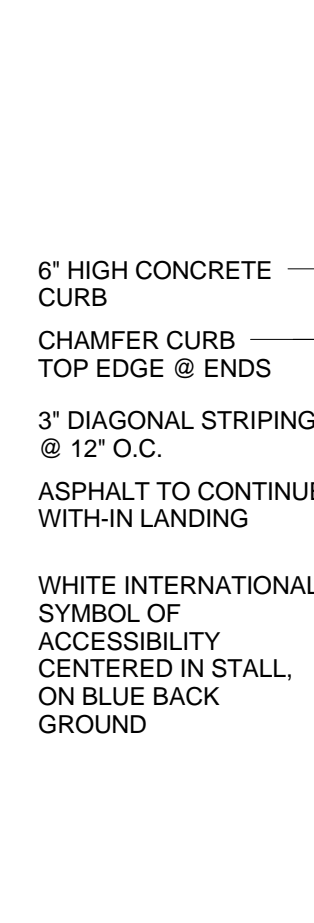
FINISH GRADE  
SIDEWALK

NOTE: SIGN AND MOUNTING  
HEIGHT TO BE IN ACCORDANCE  
WITH THE AMERICANS WITH  
DISABILITIES ACT



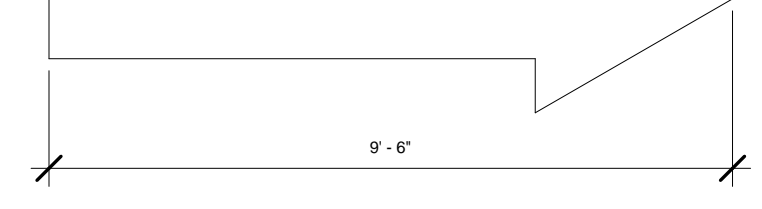
10 Handicap Parking Sign  
3/4" = 1'-0"

ACCESSIBLE PARKING SIGN  
PER DETAIL - CENTER IN  
STALL

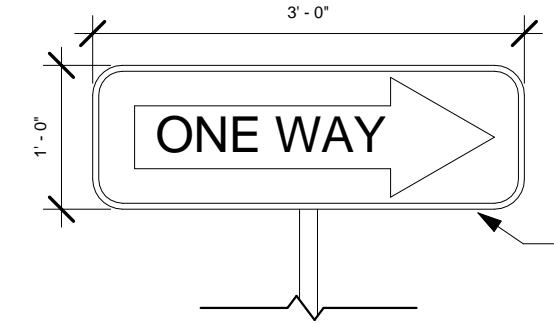


11 ADA Parking Detail  
1/8" = 1'-0"

NOTES:  
STRIPED DIRECTIONAL ARROW TO  
MEET CITY OF ALBUQUERQUE  
SIGNAGE REQUIREMENTS PER  
"PAVEMENT MARKING DETAILS"  
DWG 2600-105



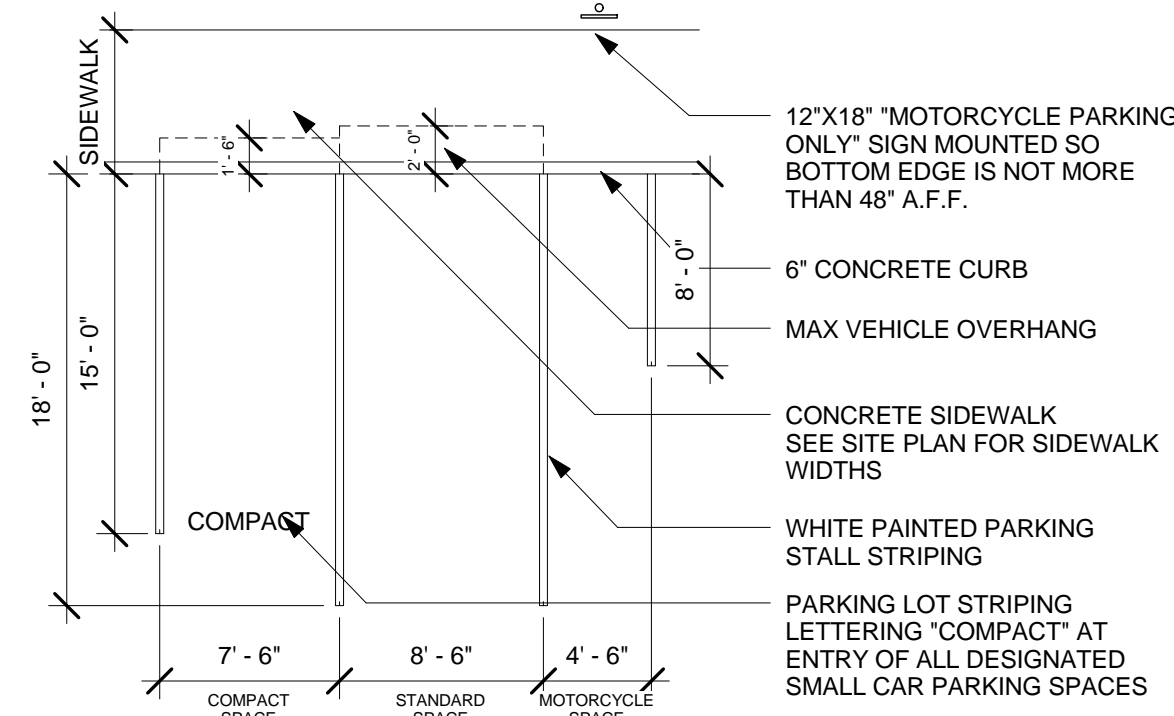
20 Arrow Asphalt Striping  
3/8" = 1'-0"



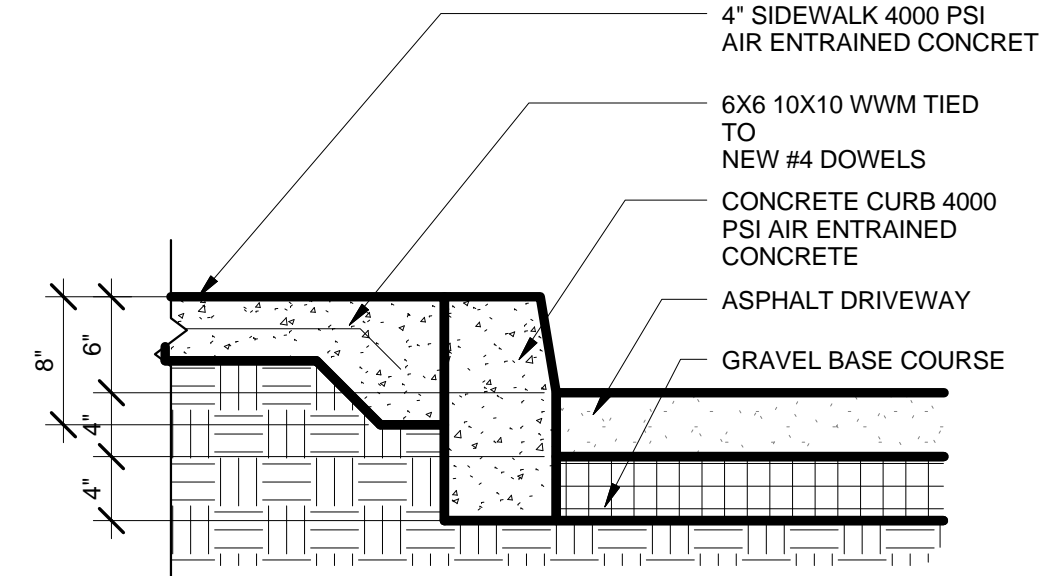
NOTES:  
SIGNAGE TO MEET CITY OF  
ALBUQUERQUE SIGNAGE  
REQUIREMENTS PER  
"REGULATORY SIGN DETAILS"  
DWG 2600-603

SIGNS TO BE MOUNTED  
@ 7'-0" MINIMUM FROM  
FINISH FLOOR TO BOTTOM  
OF STOP SIGN

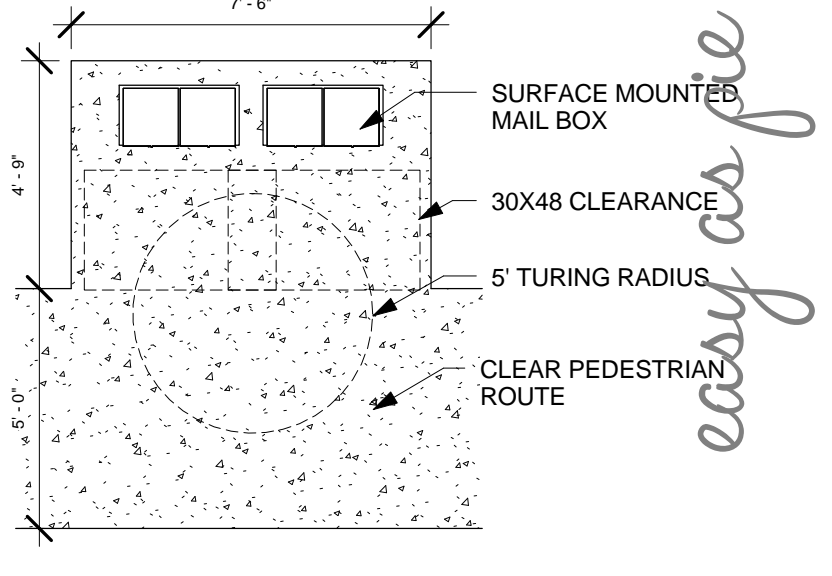
19 ONE WAY Sign Detail  
3/4" = 1'-0"



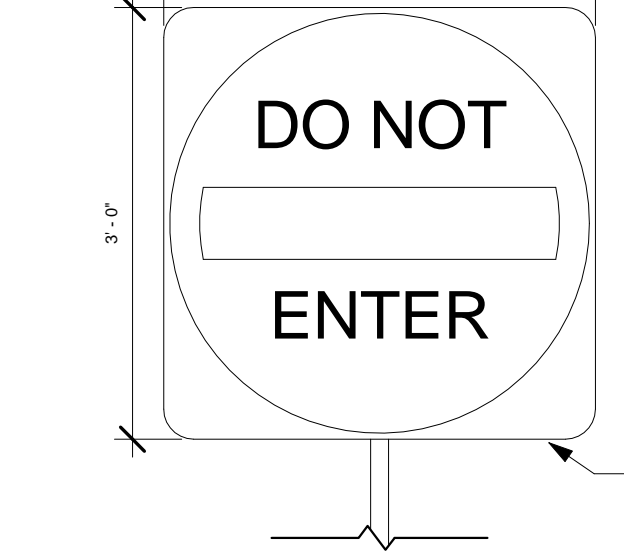
5 Parking Detail  
1/8" = 1'-0"



12 Curb Section Detail  
1" = 1'-0"



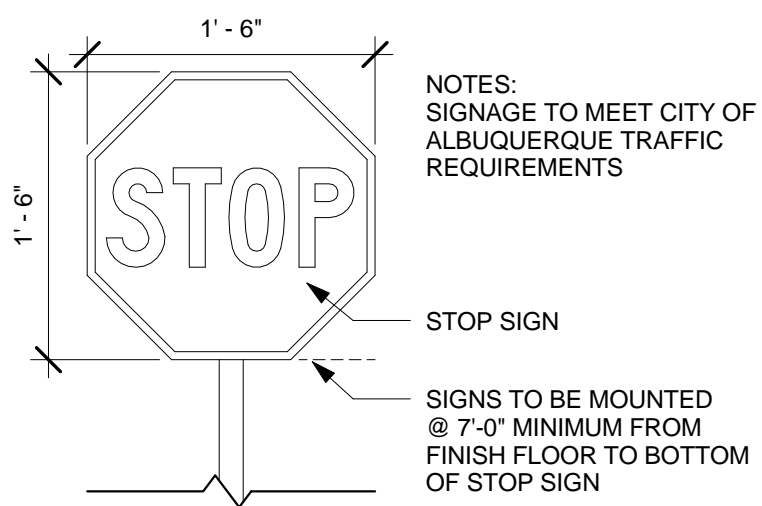
17 Mail Box Plan  
1/4" = 1'-0"



NOTES:  
SIGNAGE TO MEET CITY OF  
ALBUQUERQUE SIGNAGE  
REQUIREMENTS PER  
"REGULATORY SIGN DETAILS"  
DWG 2600-603

SIGNS TO BE MOUNTED  
@ 7'-0" MINIMUM FROM  
FINISH FLOOR TO BOTTOM  
OF STOP SIGN

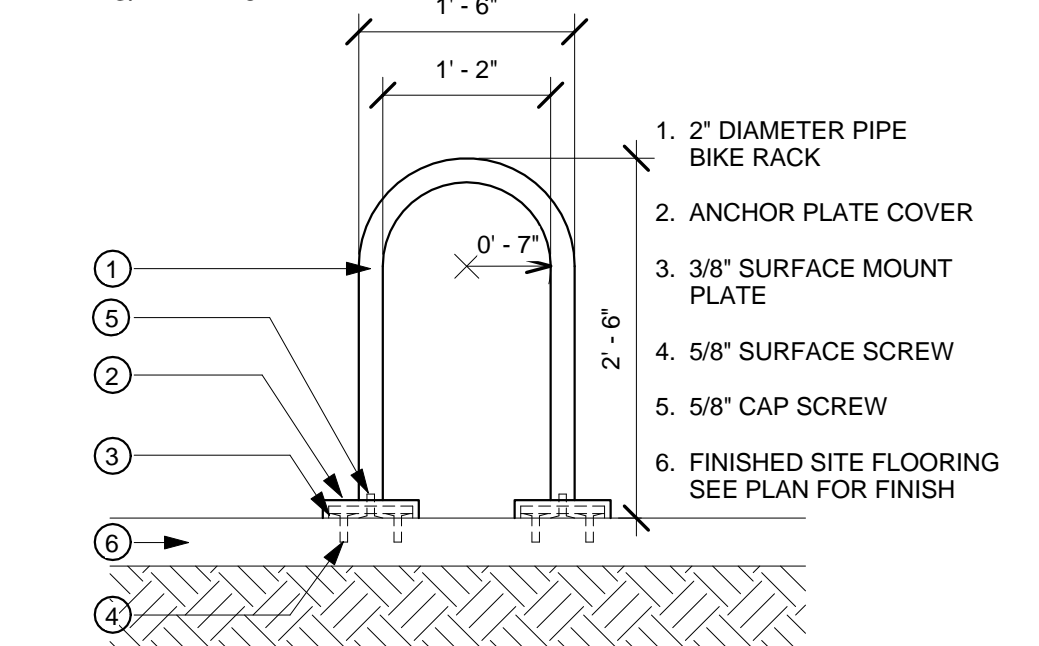
18 DO NOT ENTER Sign Detail  
3/4" = 1'-0"



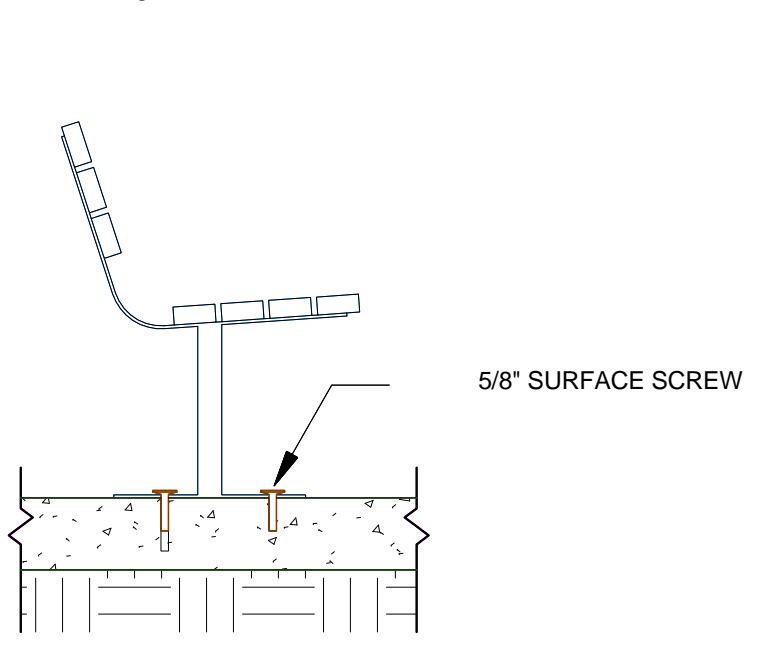
NOTES:  
SIGNAGE TO MEET CITY OF  
ALBUQUERQUE TRAFFIC  
REQUIREMENTS

SIGNS TO BE MOUNTED  
@ 7'-0" MINIMUM FROM  
FINISH FLOOR TO BOTTOM  
OF STOP SIGN

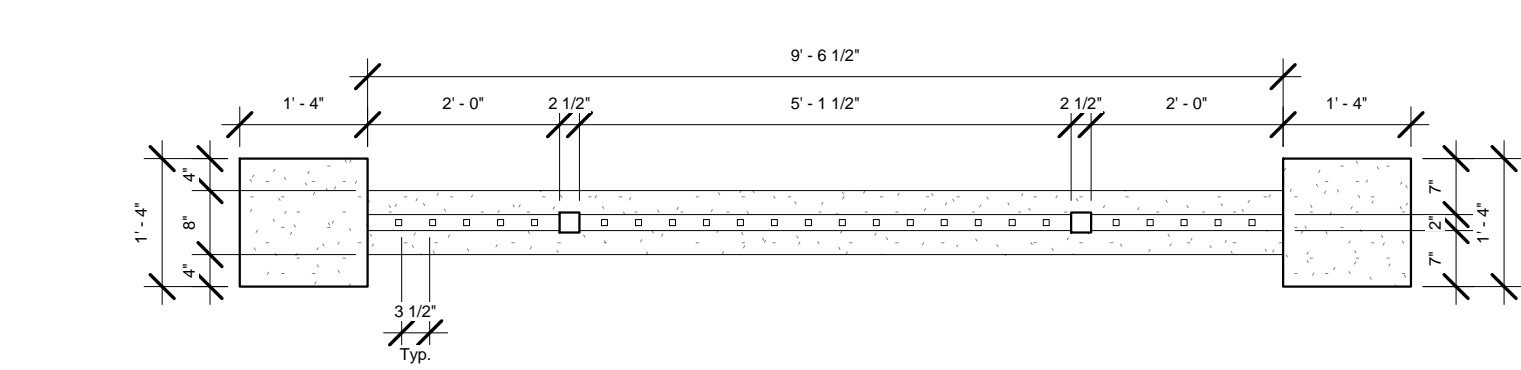
16 Stop Sign Detail  
1" = 1'-0"



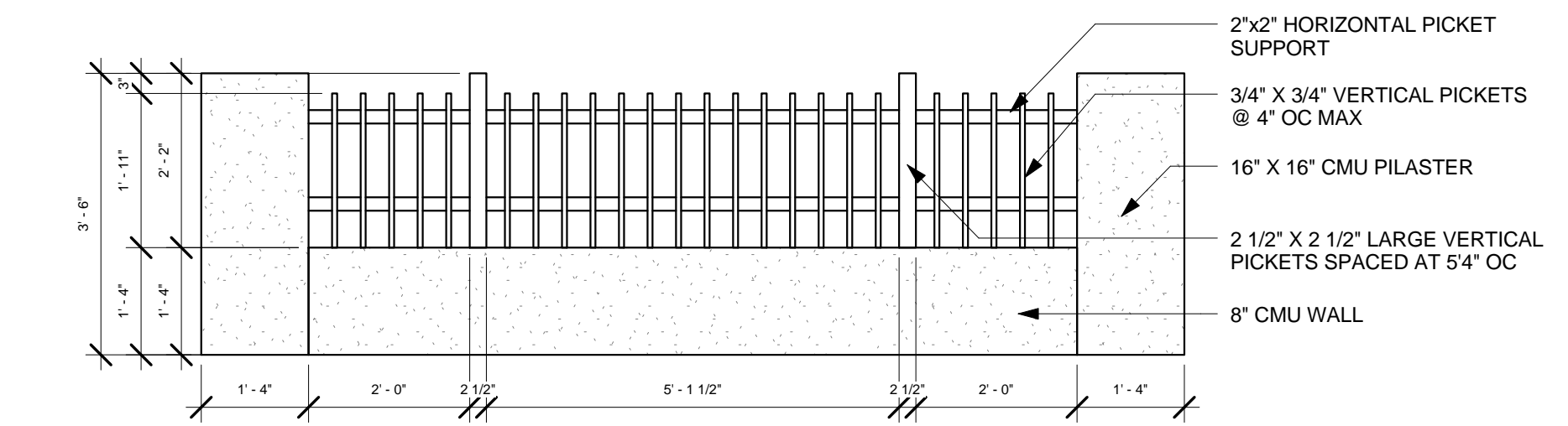
6 Bike Rack Detail  
3/4" = 1'-0"



7 Surface Mounted Bench  
3/4" = 1'-0"

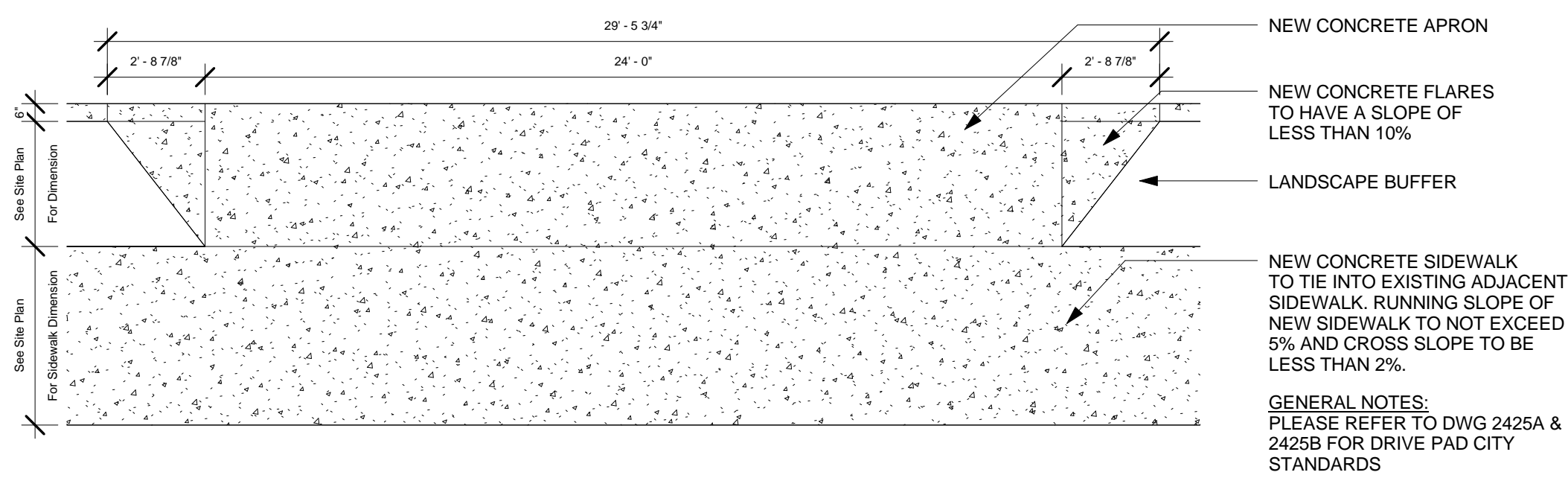


2 CMU / Wrought Iron Fence Detail  
1/2" = 1'-0"

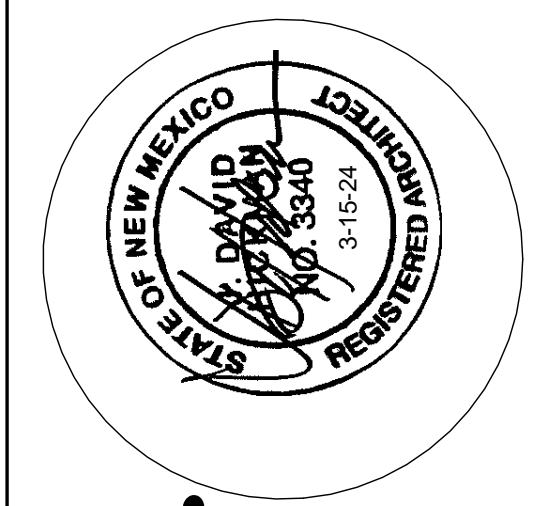


3 Wrought Iron Fence Detail  
1/2" = 1'-0"

1 Concrete Driving Pad  
1/4" = 1'-0"



GENERAL NOTES:  
PLEASE REFER TO DWG 2425A &  
2425B FOR DRIVE PAD CITY  
STANDARDS



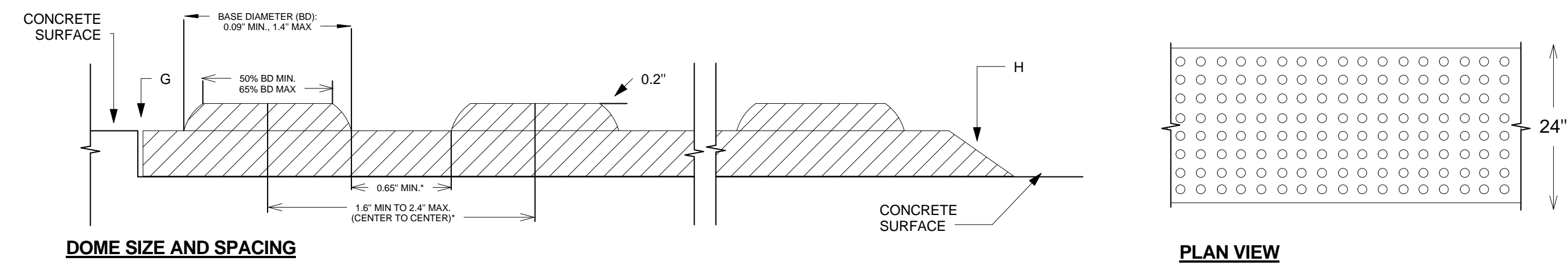
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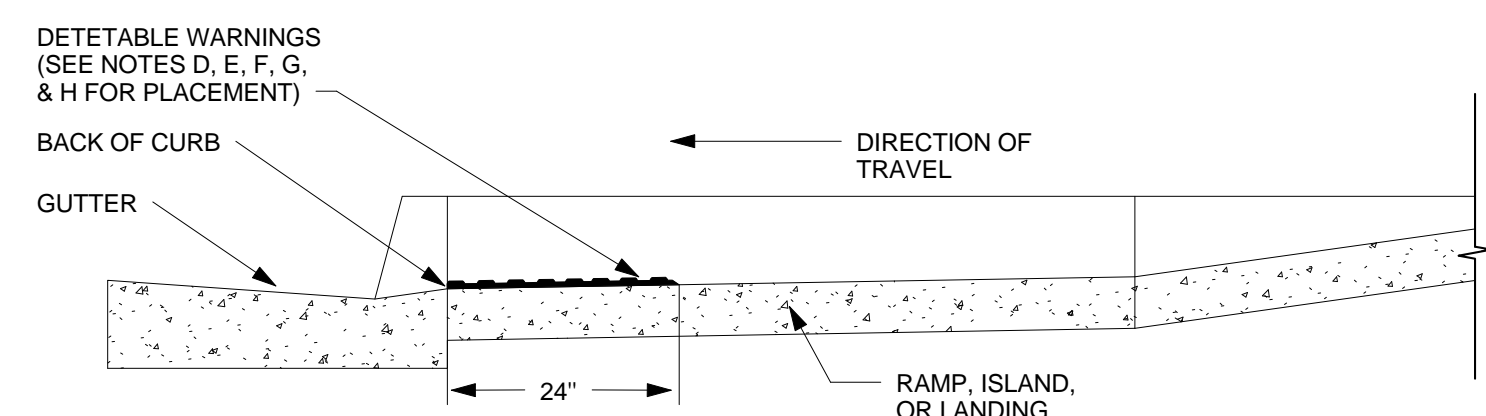
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drawn: EAM  
checked: J&Z  
date: Sep. 9, 2024

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60th Street NW  
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sheet no: **S2.0**

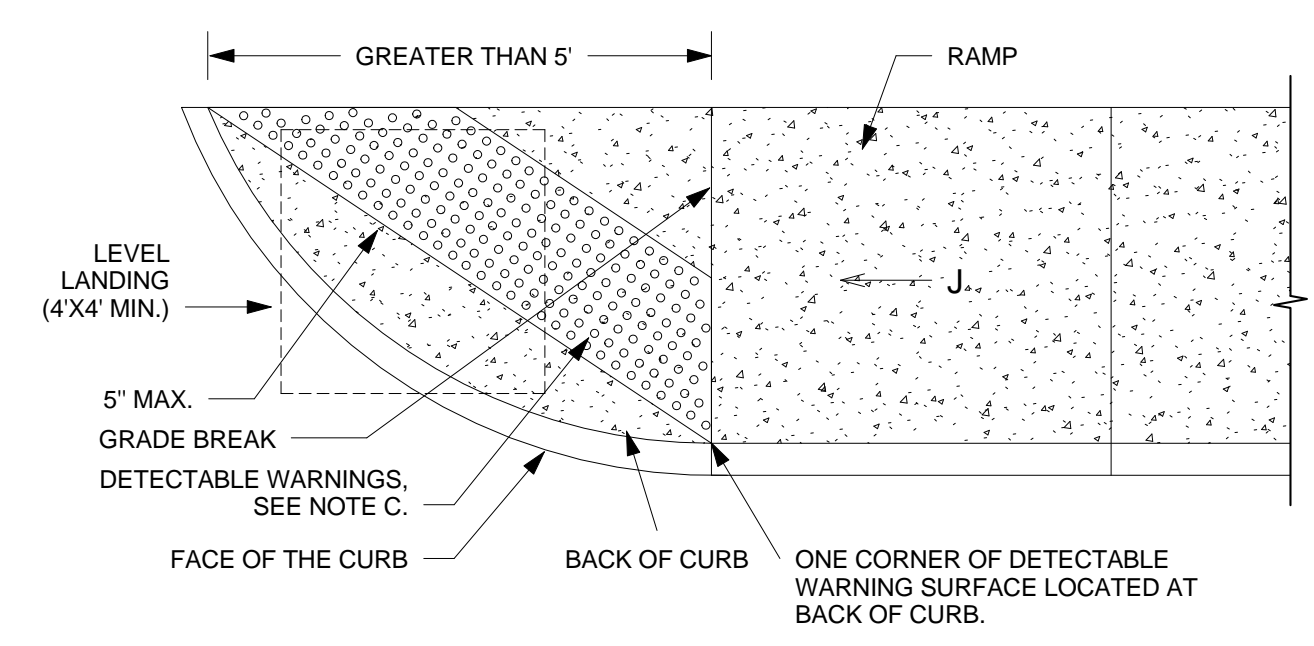
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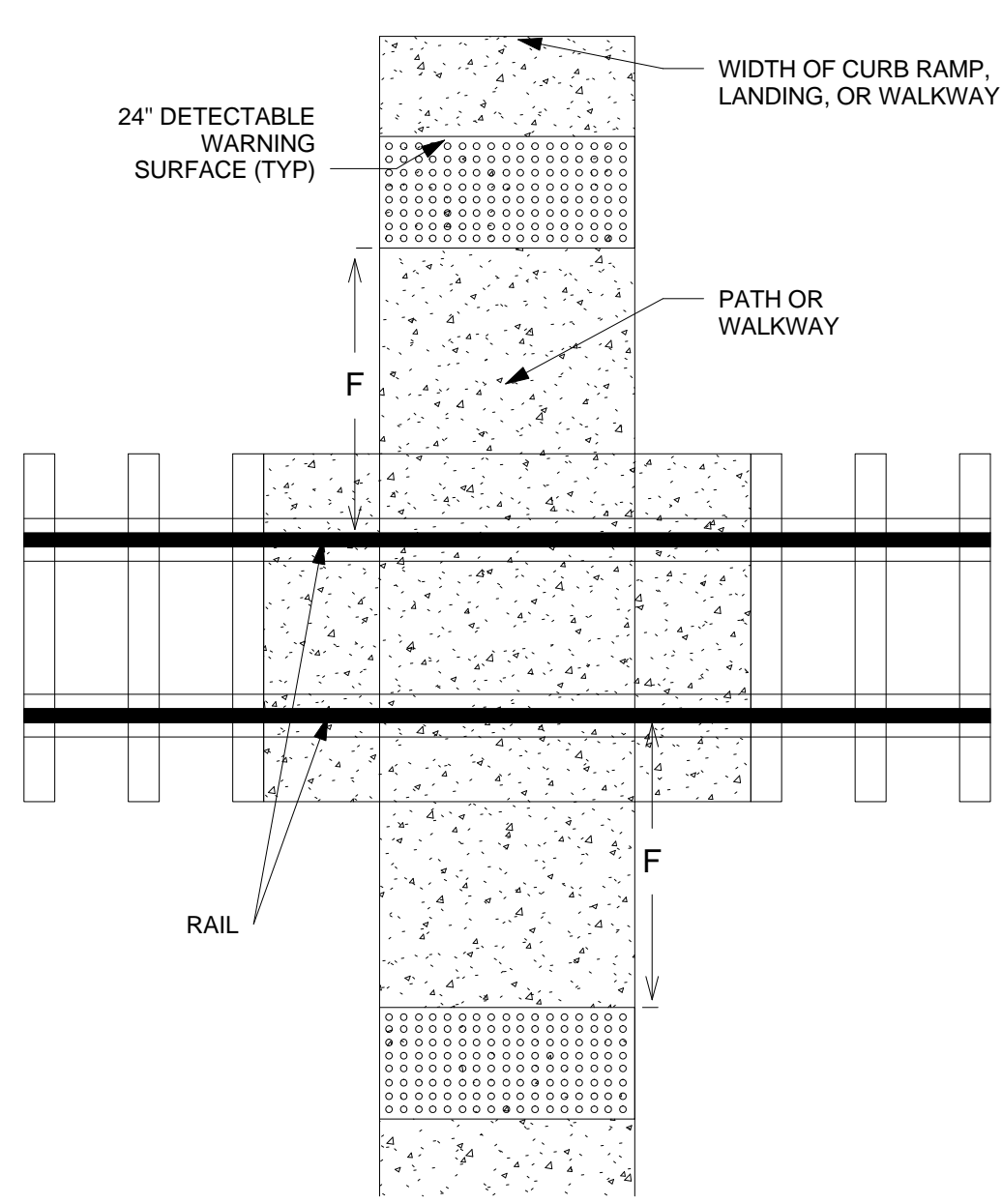
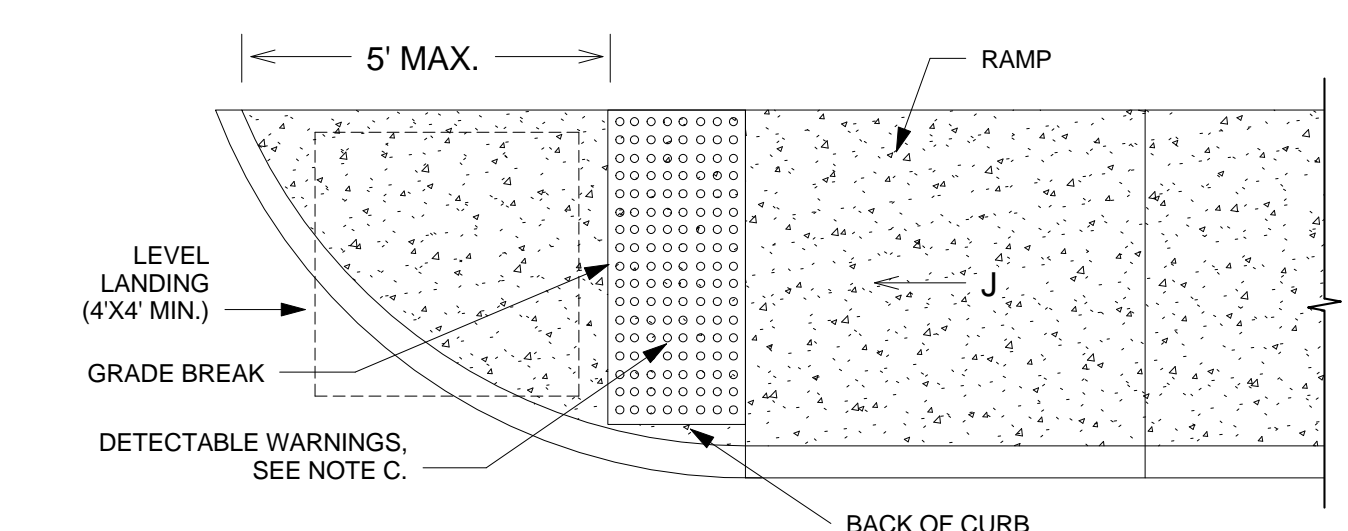
**DOME SIZE AND SPACING**



**PLACEMENT - PROFILE**

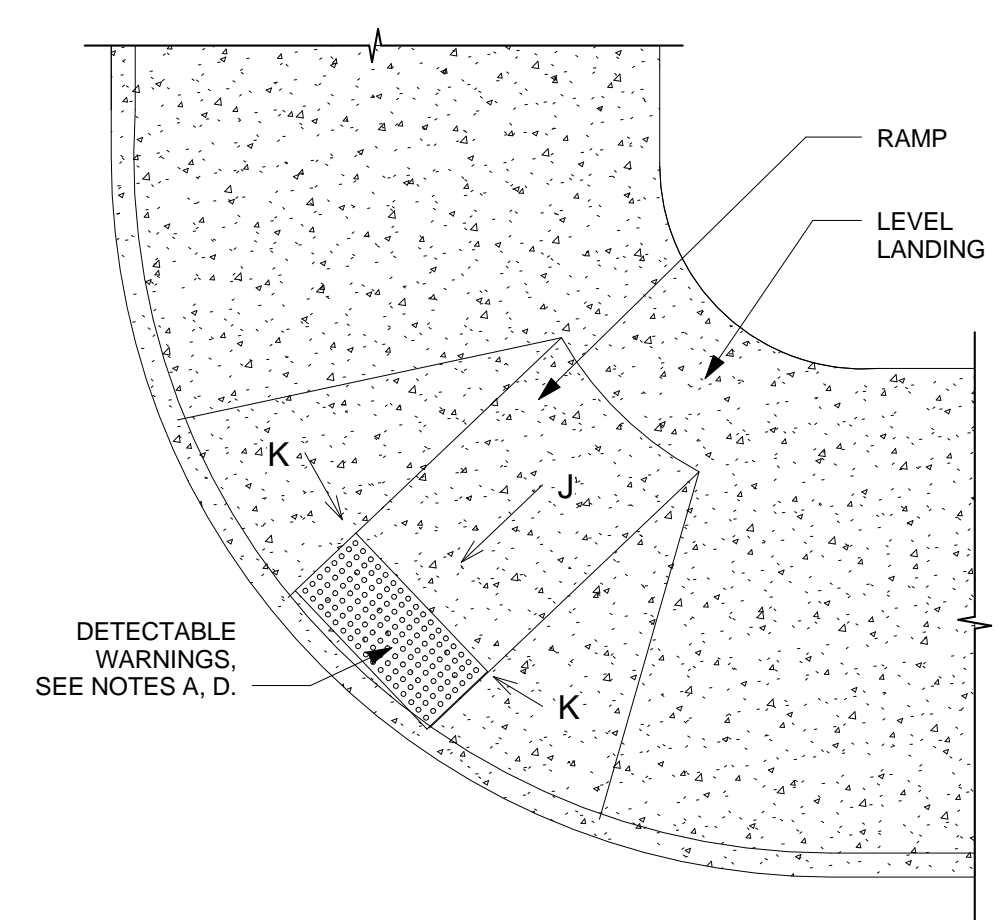


**PLACEMENT ON PARALLE CURB RAMPS**

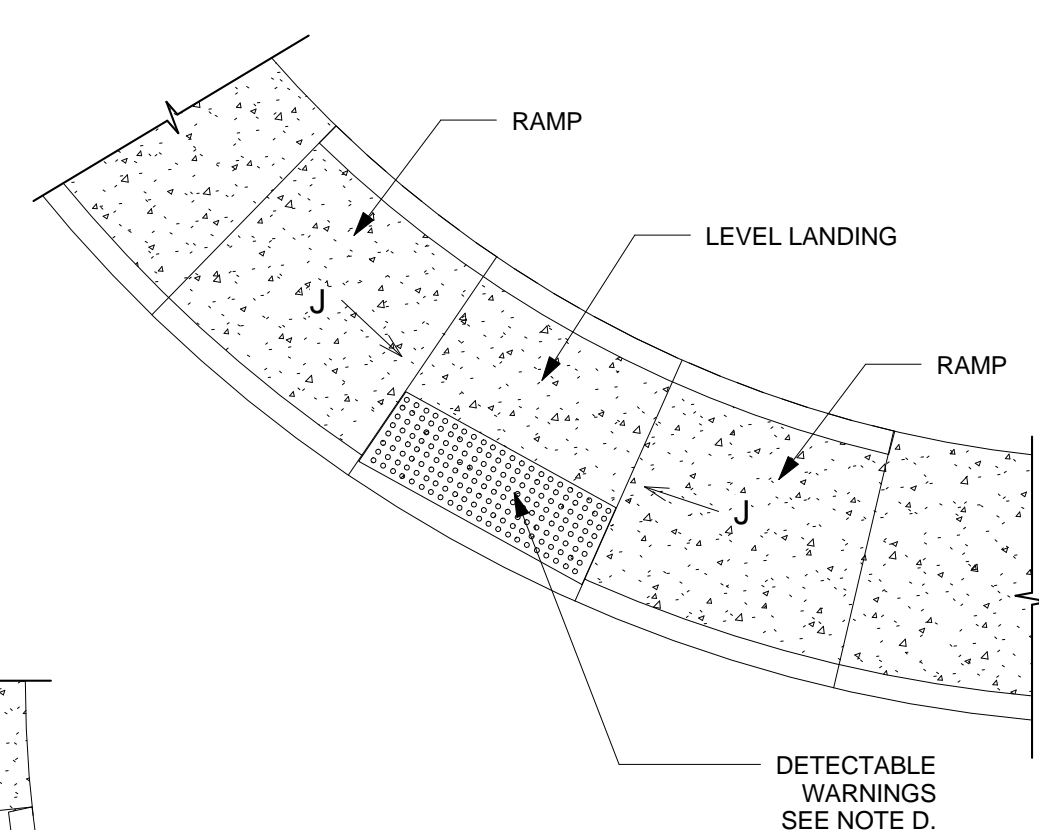


**PEDESTRIAN AT-GRADE RAIL CROSSINGS**

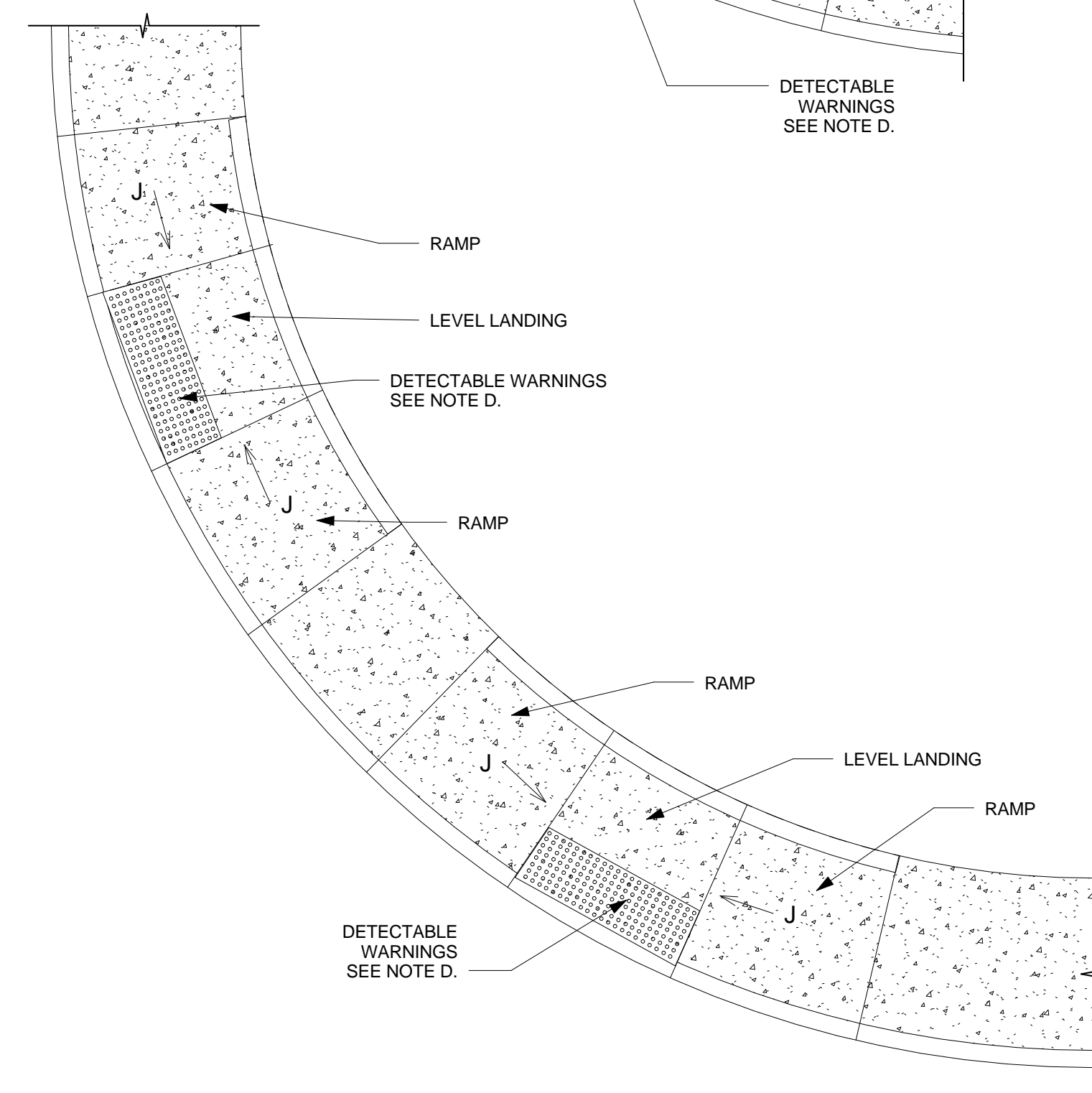
**PLAN VIEW**



**PLACEMENT ON PERPENDICULAR CURB RAMPS WITH FLARED SIDED SLOPES**



**PLACEMENT ON PERPENDICULAR CURB RAMP**



**GENERAL NOTES FOR DWG 2446:**

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DRIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
2. SELECT A DETECTABLE WARNING SURFACE THAN CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS SHALL BE MECHANICALLY ANCHORED.

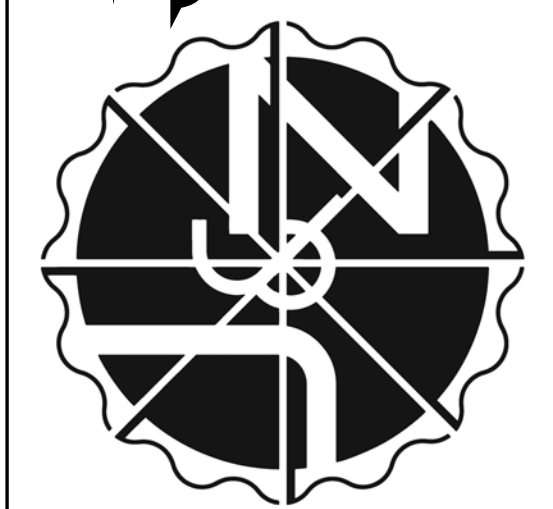
**CONSTRUCTION NOTES:**

- A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH ( NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
- B. PLACE DETECTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY
- C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHIN 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETECTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
- D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB,
- E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WARNINGS SURFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPERATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD DWG. 2448.
- F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL ALIGH ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
- G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH ADJACENT CONCRETE.
- H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H: 1V.
- J. 8.3% MAX SLOPE, 7% PREFERRED SLOPE.

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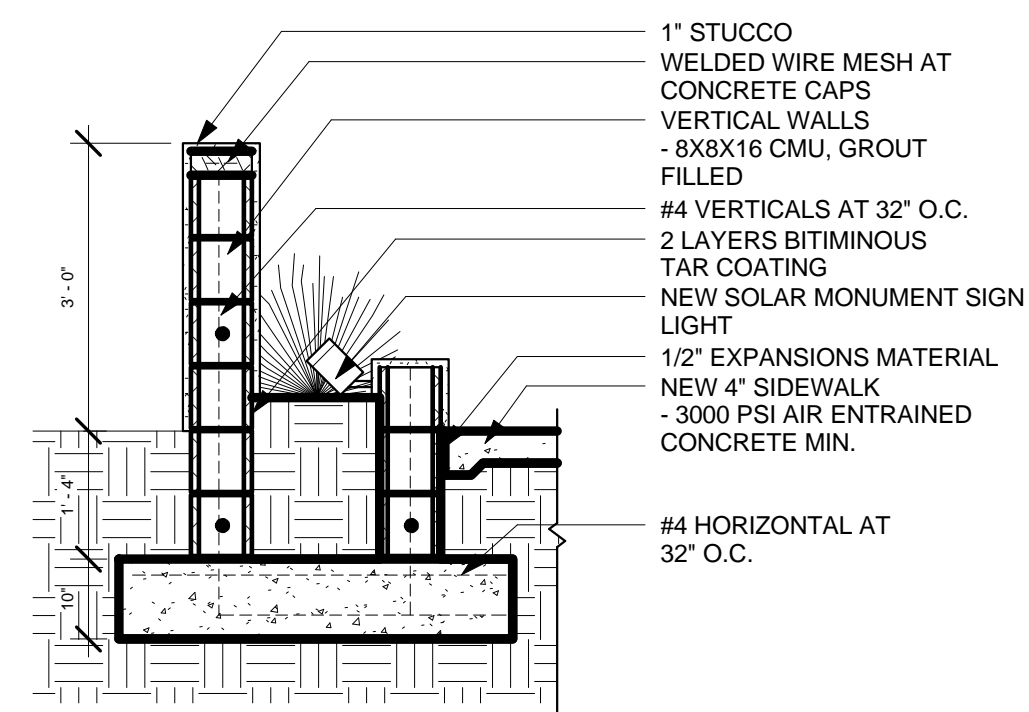


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| <b>job no:</b>  | -            |
| <b>drawn:</b>   | EAM          |
| <b>checked:</b> | J&Z          |
| <b>date:</b>    | Sep. 9, 2024 |

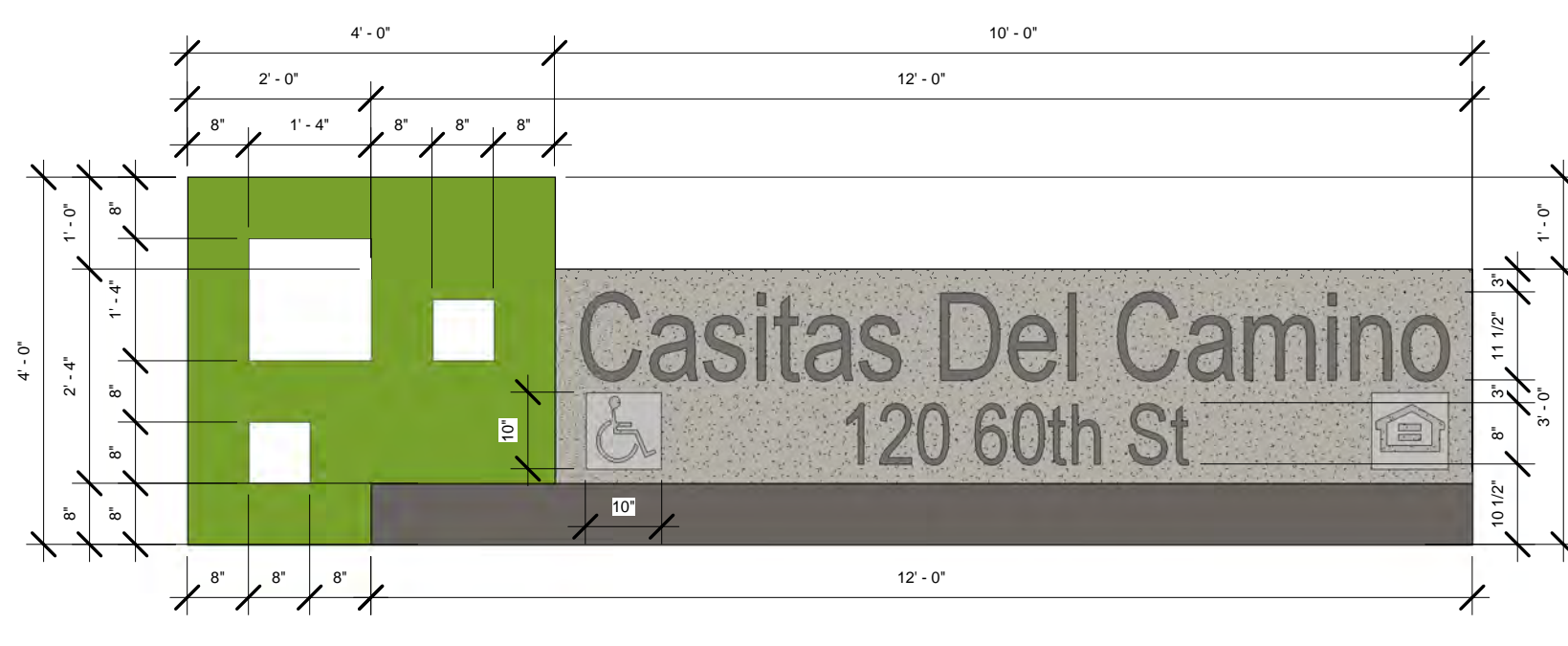
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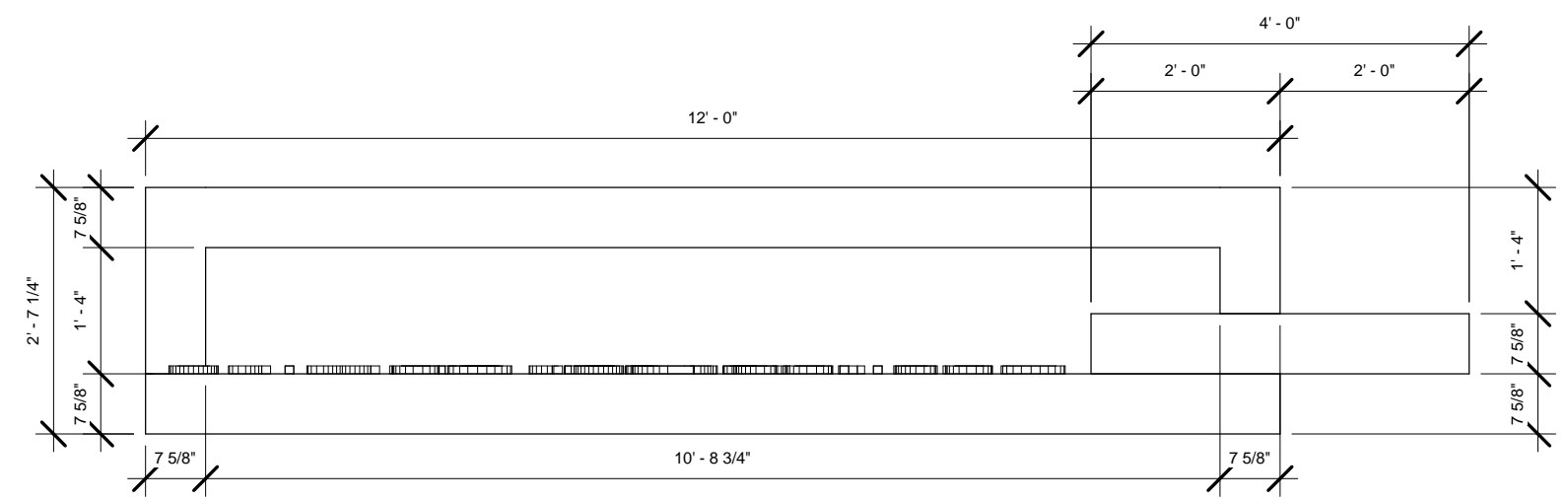
SITE DETAIL  
 sheet no:  
**S2.1**



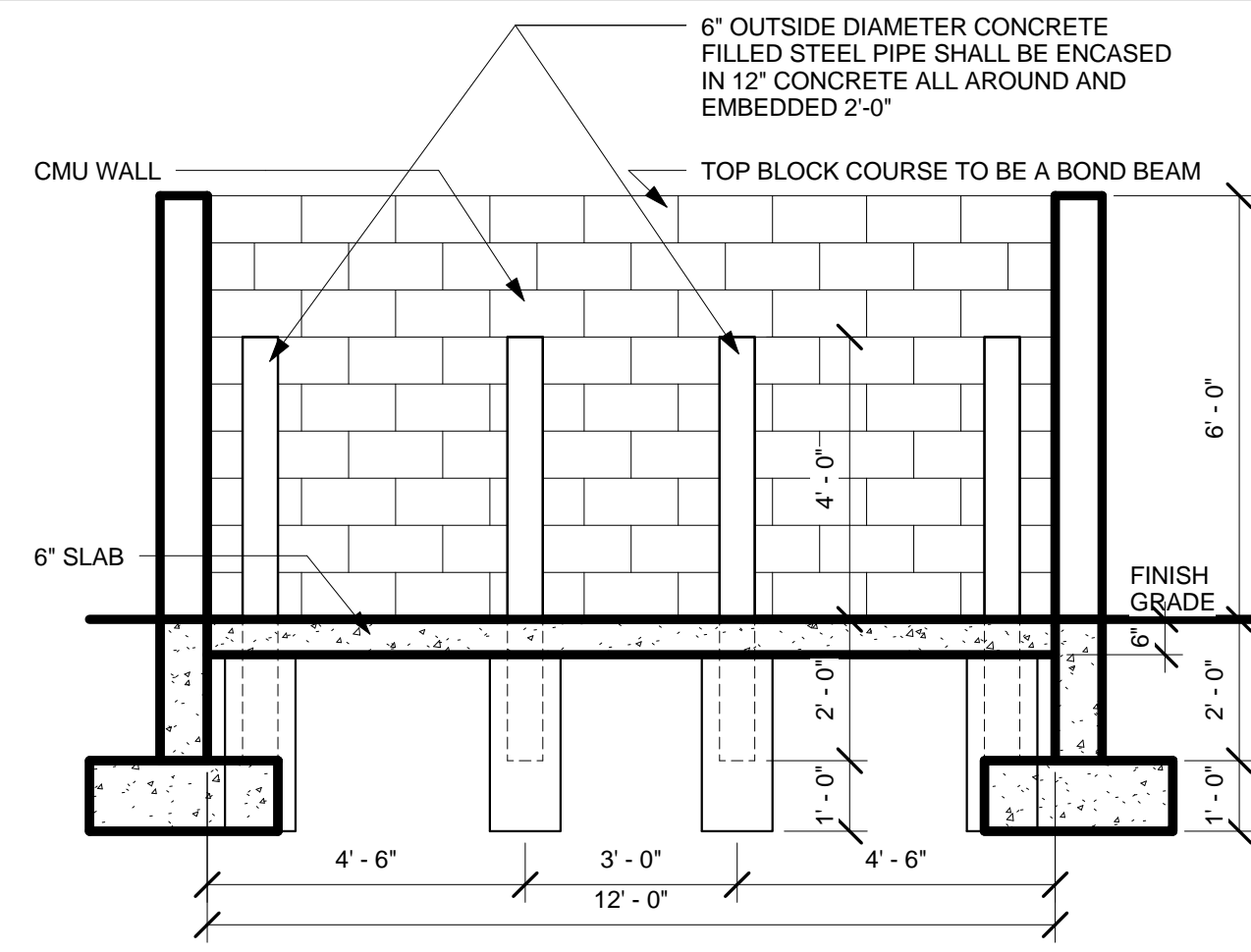
7 Monument Sign  
1/2" = 1'-0"



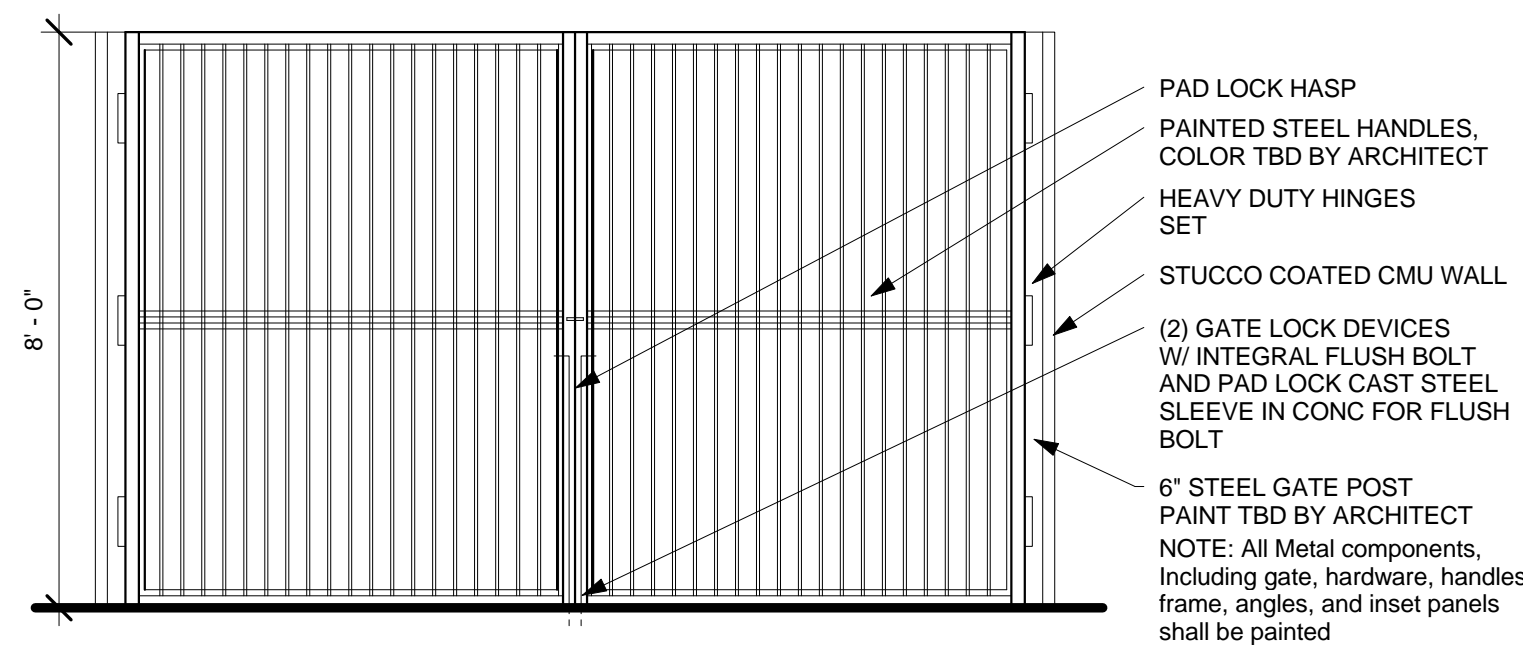
5 Section 3  
1/2" = 1'-0"



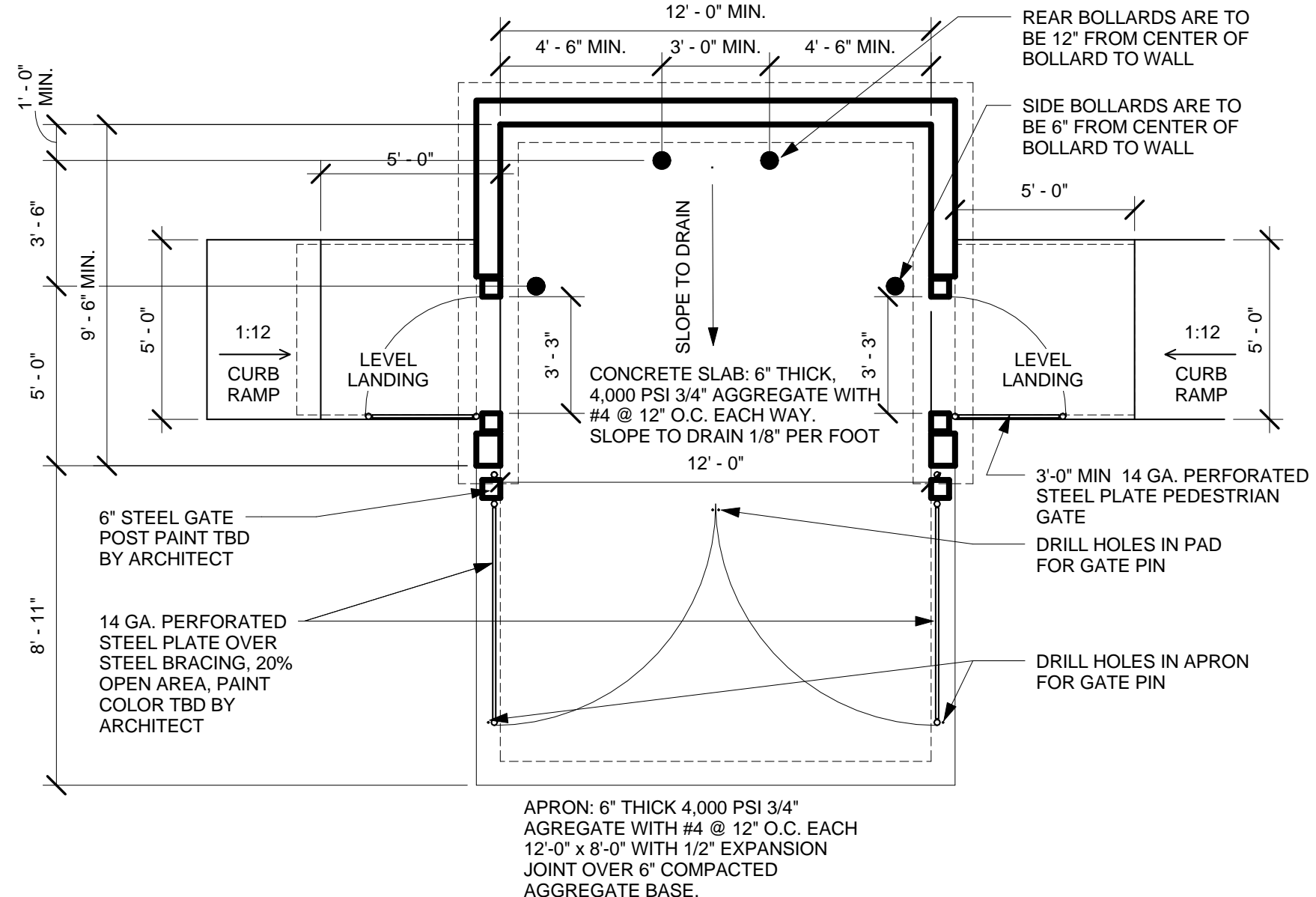
6 Monument Sign Plan  
1/2" = 1'-0"



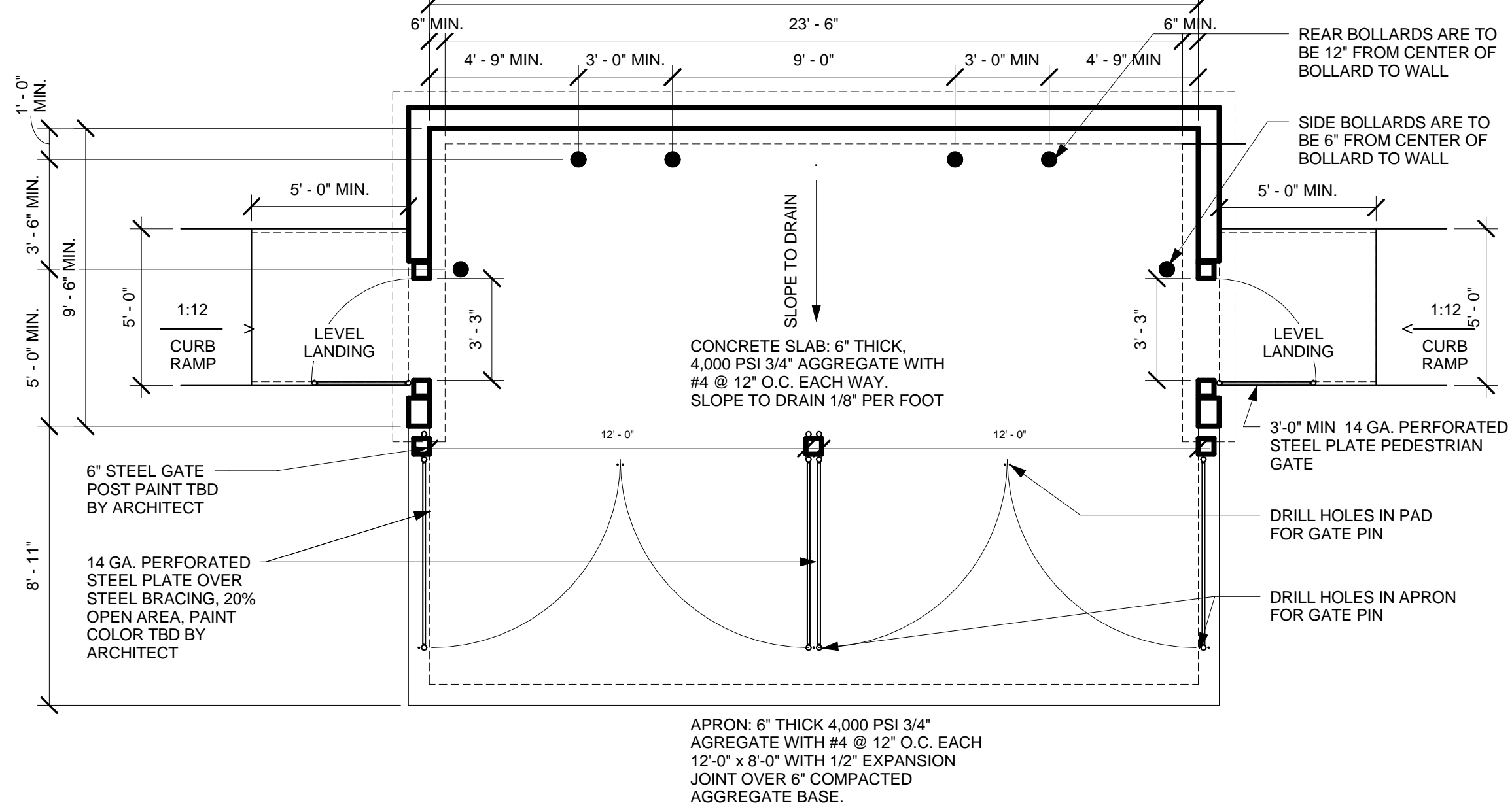
4 Trash Enclosure Section Detail  
3/8" = 1'-0"



3 Trash Enclosure Gate Elevation  
3/8" = 1'-0"

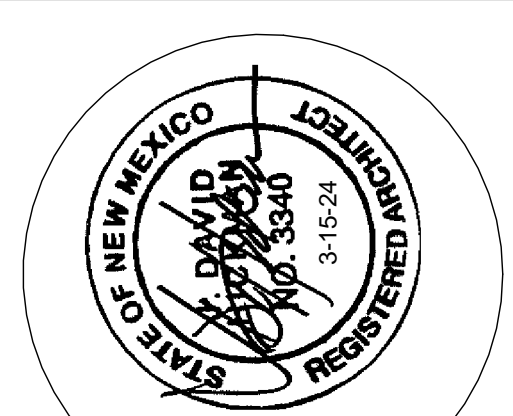


2 Single Refuse Enclosure Detail  
1/4" = 1'-0"



1 Double Refuse Enclosure Detail  
1/4" = 1'-0"

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SITE DETAIL  
 sheet no: **S2.2**

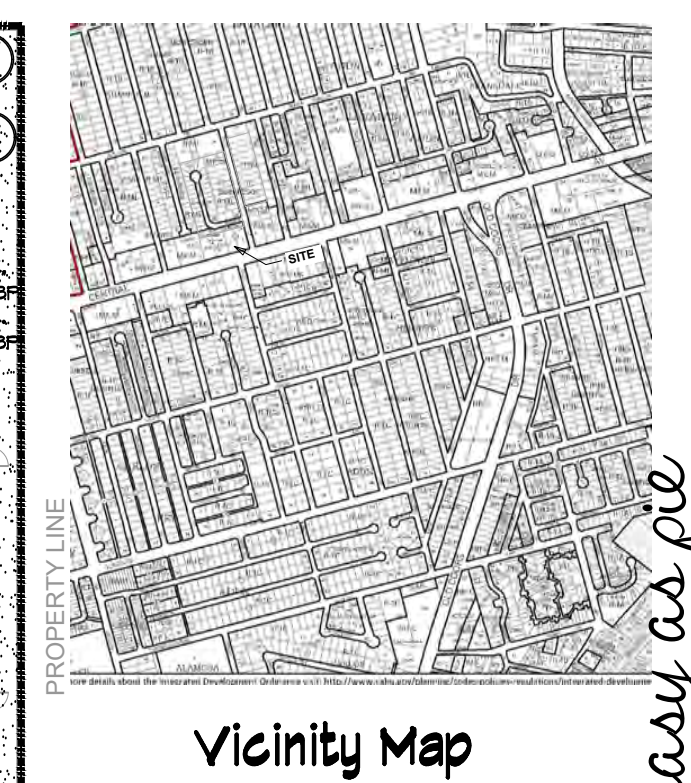
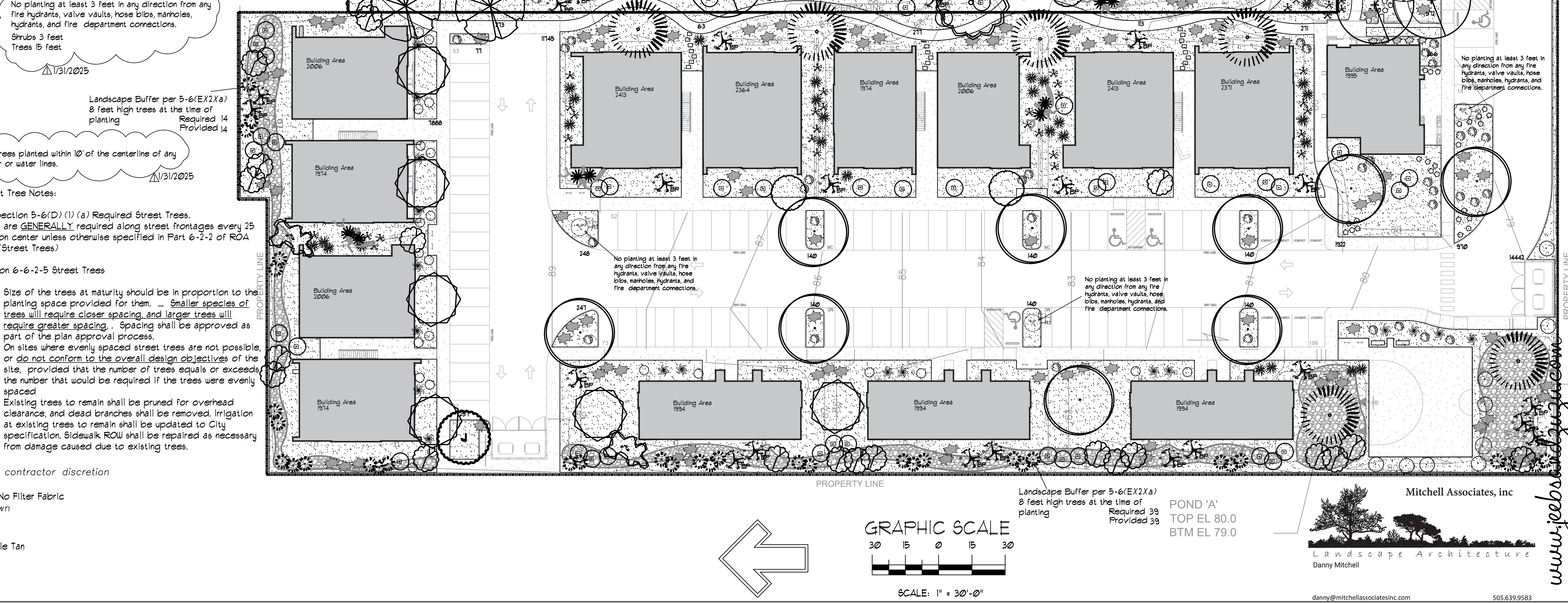
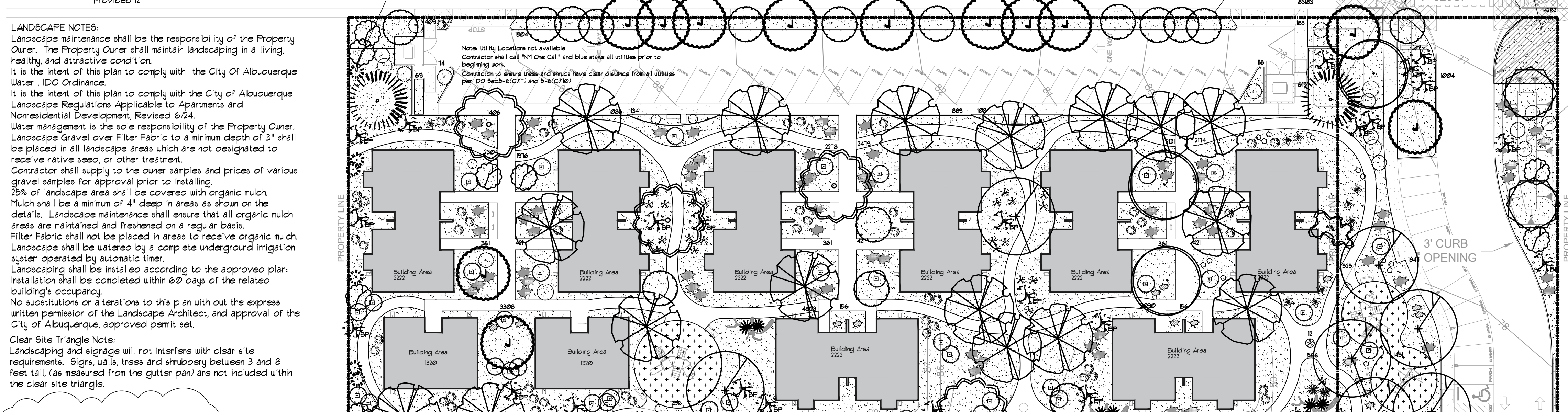
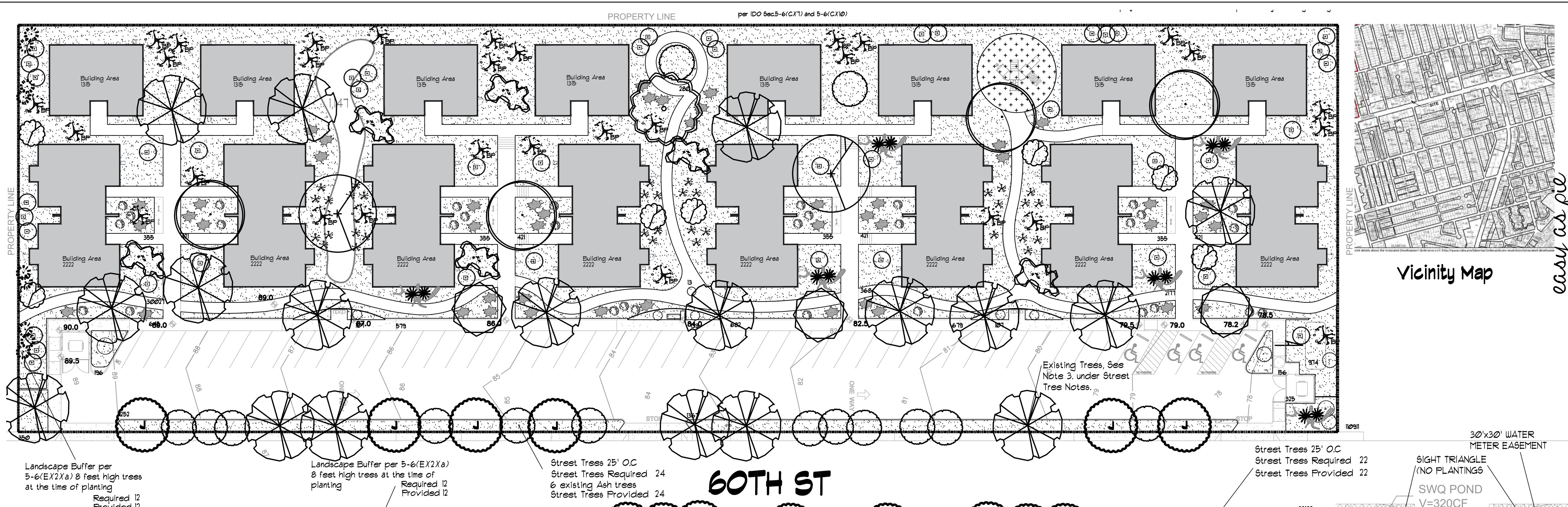
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| LANDSCAPE LEGEND    |            | TREES   |       |            |           |                        |                        |                |
|---------------------|------------|---|-------|------------|-----------|------------------------|------------------------|----------------|
| QTY.                | SIZE       | COMMON/BOTANICAL NAME   | DIMS  | 25' CANOPY | WATER USE | COVERAGE               | COVERAGE ALLOWED 600SF | TOTAL COVERAGE |
| 3                   | Varies     | Existing Trees To be preserved  | 40x30 | 35         | M         | 101                    | 600                    | 21,000         |
| 9                   | 2"         | CAL Chinese Pistache <i>Pistacia chinensis</i>  | 40x35 | 9          | M         | 962                    | 600                    | 5,400          |
| 8                   | 6'         | Austrian Pine <i>Pinus nigra</i>  | 35x25 | 8          | M         | 491                    | 491                    | 3,528          |
| 5                   | 2"         | CAL Oak <i>Quercus emoryi</i>   | 35x35 | 5          | M         | 962                    | 600                    | 3,000          |
| 3                   | 30"        | Box Grape Myrtle Cherokee Red Tree Form - multi Trunk Lagerstroemia 'cherokee'            | 15x15 |            | M         | 111                    | 111                    | 1,530          |
| 12                  | 2"         | CAL Palm Yucca <i>Yucca faxoniana</i><br>Note: Install 3 Boulders and 150sf cobble accent | 15x6  |            | L         | 28                     | 28                     | 333            |
| 34                  | 2"         | CAL Redbud <i>Cercis canadensis</i> 'Pink pom poms'                                       | 15x12 |            | M         | 113                    | 113                    | 3,842          |
| 11                  | 2"         | CAL Desert Willow <i>Chilopsis linearis</i>   | 20x25 | 11         | L         | 491                    | 491                    | 5,391          |
| 19                  | 2"         | CAL Golden Rain Tree <i>Koeleruteria paniculata</i>                                       | 25x25 | 19         | M         | 491                    | 491                    | 9,322          |
| 16                  | 2"         | CAL Western Soapberry <i>Sapindus drummondii</i>  | 30x30 | 16         | M         | 101                    | 600                    | 3,600          |
| 32                  | 2"         | CAL Paul's scarlet hawthorn <i>Crataegus laevigata</i>                                    | 25x15 |            | M         | 111                    | 111                    | 5,652          |
| 50                  | 4'-6"      | Upright Juniper <i>Upright Juniper</i>  | 12x6  |            | M         | 28                     | 28                     | 1,400          |
| <b>TOTAL TREES:</b> | <b>240</b> |   |       | <b>103</b> |           | <b>TOTAL COVERAGE:</b> |                        | <b>10,463</b>  |

Note: Trees shall be pruned for overhead line clearances and dead branches shall be removed. Irrigation shall be updated to city spec. Sidewalk ROW shall be repaired as necessary from damage caused due to existing trees.

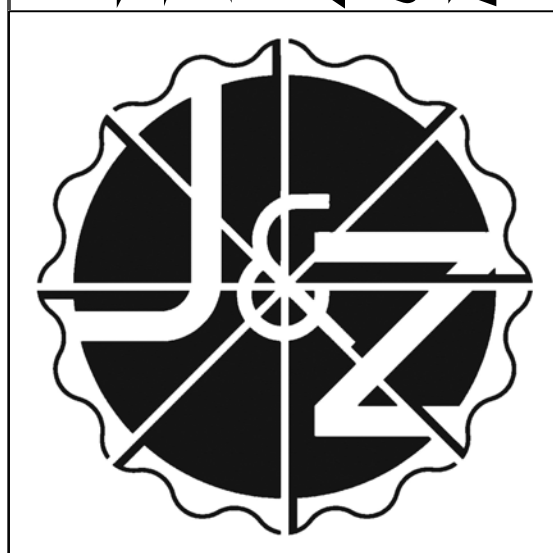
| Shrubs & Groundcovers |       |   |      |           |          |                |
|-----------------------|-------|---|------|-----------|----------|----------------|
| QTY.                  | SIZE  | COMMON/BOTANICAL NAME                                     | DIMS | WATER USE | COVERAGE | TOTAL COVERAGE |
| 119                   | 5 Gal | India Hawthorne <i>Raphiolepis indica</i>                 | 3x4  | M         | 12.56    | 1,495          |
| 21                    | 5 Gal | Beargrass <i>Nolina texana</i>                            | 4x4  | L         | 12.56    | 339            |
| 43                    | 5 Gal | Deep Blue Lavender <i>Lavender angustifolia 'Hidcote'</i> | 2x3  | L         | 1.01     | 304            |
| 32                    | 5 Gal | Turpentine Bush <i>Eucameria laricifolia</i>              | 3x4  | L         | 12.56    | 402            |
| 118                   | 5 Gal | Gro-Low Sumac <i>Rhus aromatica 'Gro-Low'</i>             | 3x8  | L         | 50.24    | 5,928          |
| 13                    | 5 Gal | Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>      | 8x10 | L         | 18.5     | 5,731          |
| 7                     | 5 Gal | Chamisa <i>Chrysothamnus nauseosus</i>                    | 5x5  | L         | 19.63    | 131            |
| 21                    | 5 Gal | Apache Plume <i>Fallugia paradoxa</i>                     | 6x5  | L         | 19.63    | 530            |
| 31                    | 5 Gal | Sotal Yucca <i>Dasyliiron wheeleri</i>                    | 6x1  | L         | 38.41    | 1,193          |
| 93                    | 5 Gal | Red Yucca <i>Dasyliiron wheeleri</i>                      | 3x3  | L         | 1.0100   | 658            |
| 196                   | 5 Gal | Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>         | 1x8  | M         | 50.2400  | 9,841          |
| 19                    | 5 Gal | Knock Out Roses <i>Rosa 'Knock Out'</i>                   | 3x4  | L         | 12.5600  | 239            |

| LANDSCAPE CALCULATIONS FOR R-ML   |                              |
|---|------------------------------|
| TOTAL LOT AREA (sf)   | 336,915                      |
| TOTAL BUILDING AREA (sf)  | -18,193                      |
| TOTAL NET-LOT AREA (sf)   | 258,122                      |
| LANDSCAPE REQUIREMENT   | x0.25                        |
| TOTAL LANDSCAPE REQUIRED (25%)  | 64,681                       |
| TOTAL ON-SITE LANDSCAPE PROVIDED  | 129,599                      |
| TREE CANOPY up to 600ft dia + GROUND COVER REQUIRED (75% of total landscape provided)       | 91,199                       |
| TREE CANOPY + GROUND COVER PROVIDED   | 91,271                       |
| GROUNDCOVERS REQUIRED (25% of total vegetative coverage required)                           | 24,300                       |
| GROUNDCOVERS PROVIDED   | 26,802                       |
| Parking Lot Landscape Area Calculation  |                              |
| Total Parking   | 132 spaces                   |
| 180 sf of each x 132 space = landscape required   | 23,760                       |
| Landscape Required (sf)   | 23,760 x 0.15 = 3,564        |
| Landscape Provided (sf)   | 3,564                        |
| One (1) tree is required per 10 parking spaces.   |                              |
| Tree Required   | 13                           |
| Tree Provided   | 33                           |
| At least 75 percent deciduous canopy-type shade trees.                                      |                              |
| Deciduous Tree Required   | 10                           |
| Deciduous Tree Provided   | 33                           |
| Organic Mulch (refer to IDO sheet)  |                              |
| Note, Each Tree, min. 5' rad. 185   | 240 Trees x 185 sf = 44,400  |
| See Tree Detail, a 5' radius of wood mulch is required around each tree w/out Filter Fabric |                              |
| Note, Each Shrub, min. 3' rad. 283  | 185 Shrubs x 283 sf = 52,335 |
| Total Mulch Provided (area sf)  | 41,056                       |
| Volume Required (area x 3" min = cf)  | 24,300                       |
| Gravel or Crusher Fines (refer to IDO sheet)  |                              |
| Total Landscaped Area   | 129,599                      |
| 75% maximum gravel or crusher fines   | 97,199                       |
| Gravel or Crusher Fines Provided (41%)  | 62,112                       |



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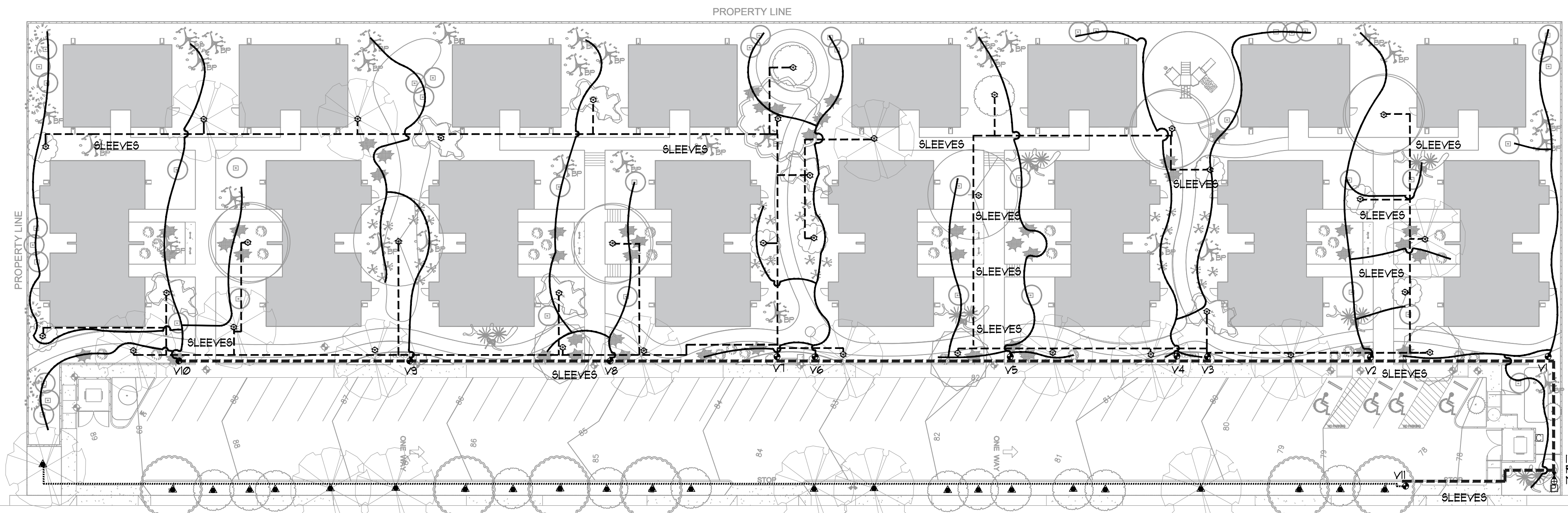


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date: 1/31/2025

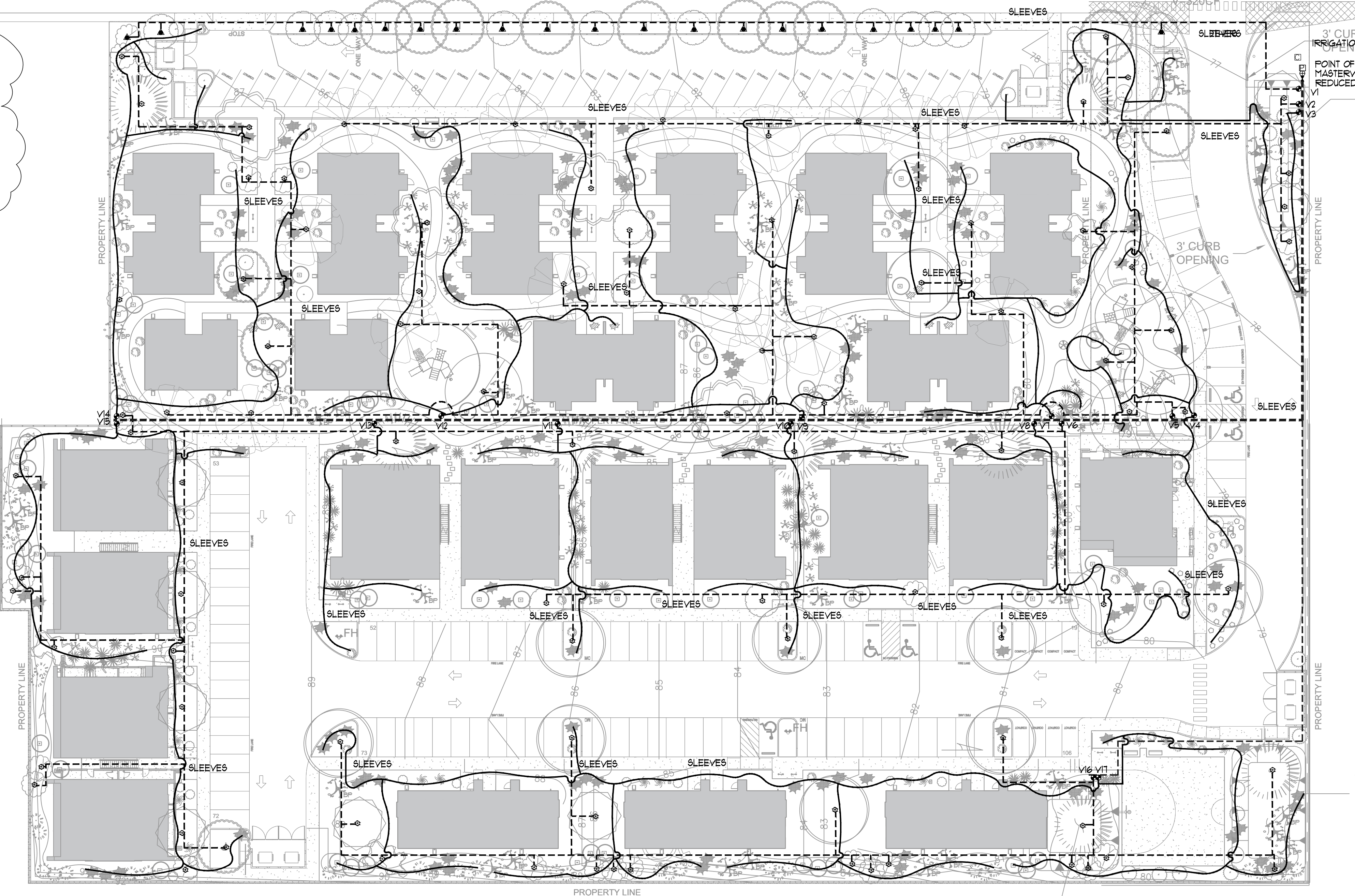
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sheet no: **LS-101**  
of 104

Project No: 2023-056



60TH ST



POND 'A'  
TOP EL 80.0  
RTM FI 79.0

**IRRIGATION LEGEND**

| COMPONENT                                | MANUFACTURER     | SIZE / NOTES                            |
|--|------------------|---|
| □ POINT OF CONNECTION PROVIDED BY OTHERS | SEE CIVIL PLANS  | 1/2"                                    |
| □ IRRIGATION CONTROLLER                  | RAINBIRD         | Smart Controller                        |
| □ REDUCED PRESSURE ASSEMBLY              | FEBCO (OR EQUAL) | 1 1/2" RPA / Freeze Protection Required |
| □ MASTERVALVE ASSEMBLY                   | RAINBIRD         | 1 1/2"                                  |
| --- MAINLINE                             | Sch 40 PVC       | 1 1/2"                                  |
| --- ELECTRIC ZONE VALVE                  | RAINBIRD         | 1" TAP                                  |
| --- SLEEVES                              | Class 200 PVC    | 2 SIZES LARGER THAN PIPE TO BE SLEEVED. |
| --- Drip Line, Tree Netafim Rings        | Class 200 PVC    | SIZE AS REQUIRED                        |
| --- Drip Line, Shrub Drip Emitter Line   | Polypipe         | SIZE AS REQUIRED                        |
| ○ Netafim Spiral Tree Irrigation         | NETAFIM          | SEE DETAIL                              |
| ▲ Bubbler / GPM                          | RAINBIRD         | SEE DETAIL                              |

Size Equipment as Required for Flow Rate

NOTE: Point of Connection shall be provided for Irrigation Contractor. Provide 1/2" tap with shut off valve from supply line to buildings.

Provide electric service to point of connection for backflow prevention frost protection.

Irrigation Controller location shall be either mounted in lockable backflow cover or other location to be determined by owner.

Provide As-built irrigation plan laminated and mounted inside controller cabinet.

**IRRIGATION NOTES**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER. BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip systems to be tied to polypipe with flush caps at each end.

Trees and shrubs shall be on separate valves.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

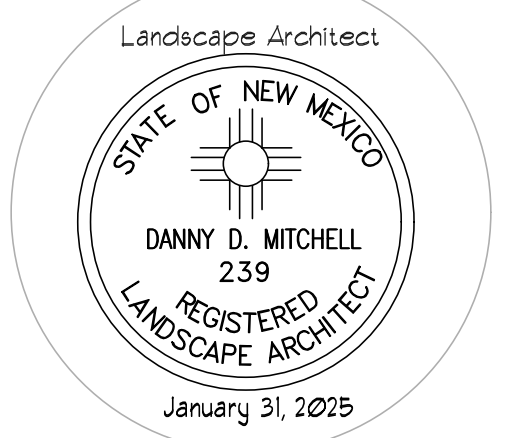
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

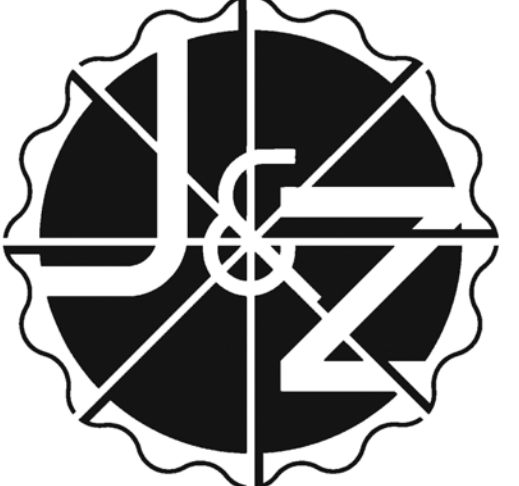
Per 5-6(C)(3)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of RDA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way. Show a separate valve for the trees within the ROW. Lateral lines and bubbler must be shown for any plants within the ROW.

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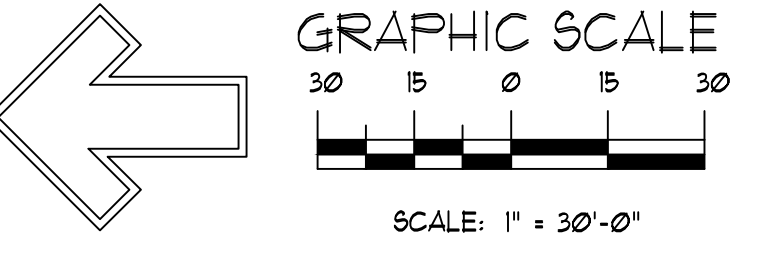
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date: 1/31/2025



danny@mitchellassociatesinc.com 505.639.9583

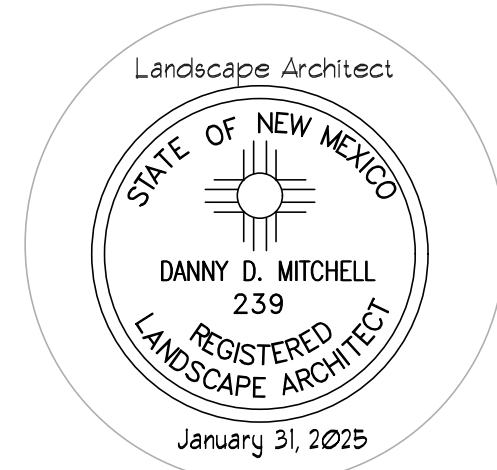


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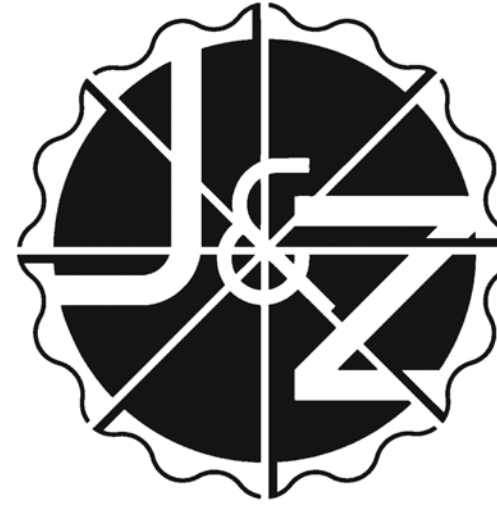
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Irrigation Plan



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**checked:** DM  
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of 104

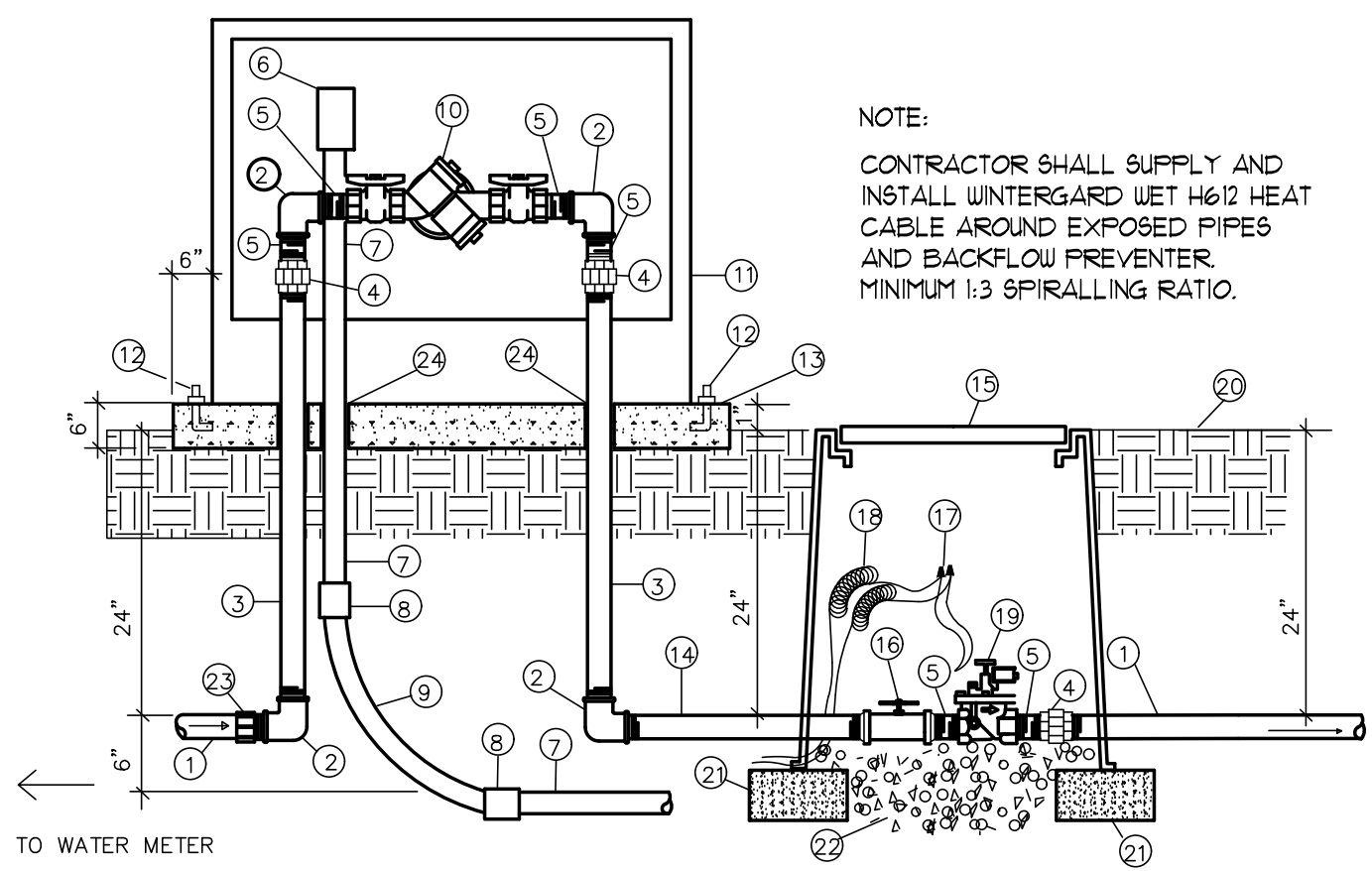
*easy as pie*

*www.jeebsandzuzu.com*

Landscape Details



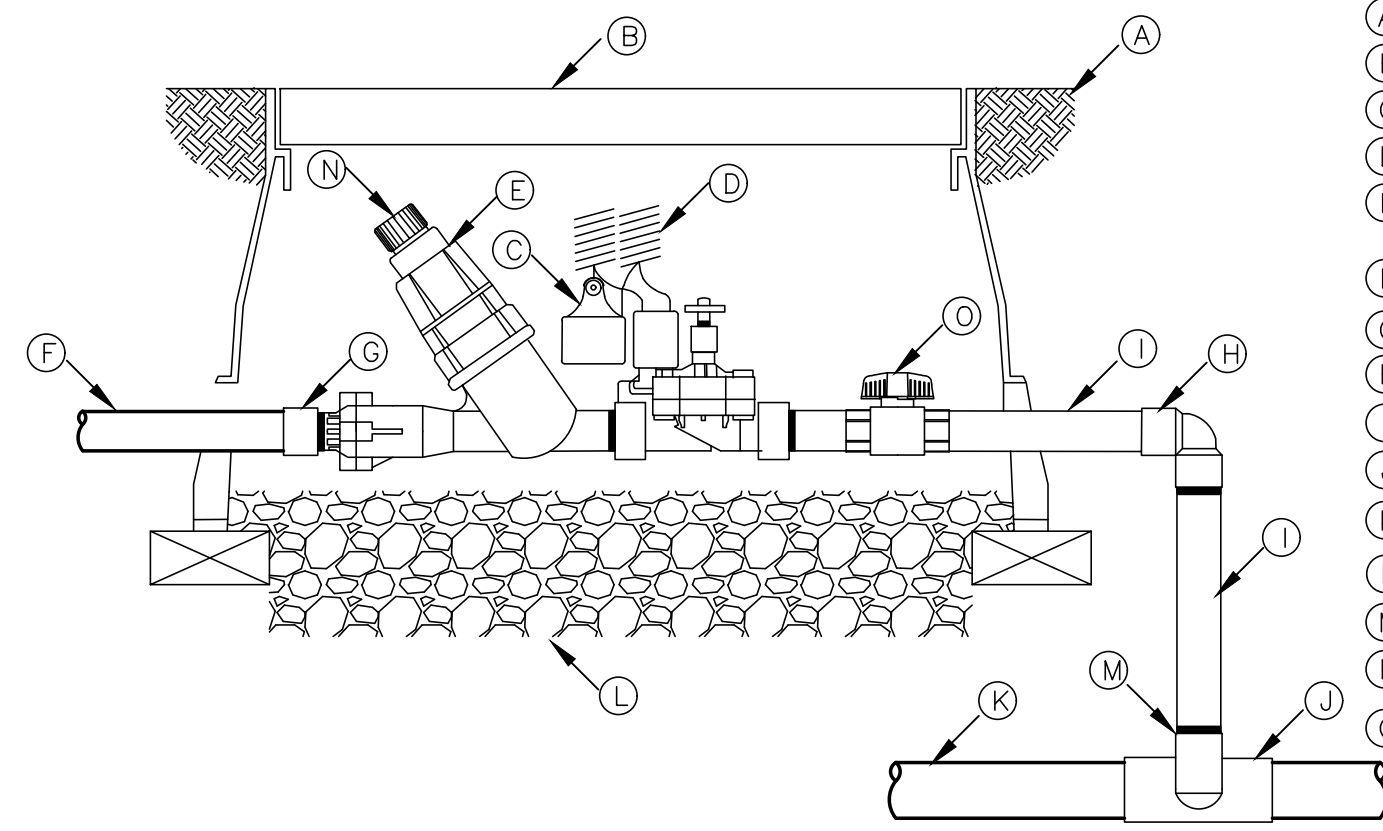
danny@mitchellassociatesinc.com 505.639.9583



- NOTE:  
CONTRACTOR SHALL SUPPLY AND INSTALL WINTERGARD WET #612 HEAT CABLE AROUND EXPOSED PIPES AND BACKFLOW PREVENTER. MINIMUM 1:3 SPIRALLING RATIO.
- 1 PVC MAINLINE (SEE LEGEND)
  - 2 GALVANIZED ELBOW
  - 3 GALVANIZED NIPPLE - 42" LENGTH
  - 4 GALVANIZED UNION
  - 5 GALVANIZED NIPPLE - 3" LENGTH
  - 6 JUNCTION BOX FOR HEAT TAPE
  - 7 RIGID STEEL CONDUIT
  - 8 WATERTIGHT CONNECTOR
  - 9 RIGID STEEL SWEEP ELL
  - 10 REDUCED PRESSURE BACKFLOW PREVENTER OR APPROVED EQUAL
  - 11 INSULATED ENCLOSURE (SEE LEGEND)
  - 12 ANCHOR BOLTS
  - 13 3000 PSI CONCRETE PAD WITH TOOLED EDGES
  - 14 GALVANIZED NIPPLE - 36" LENGTH
  - 15 BROOKS 1130 FB-10" VALVE BOX W/ 8" EXTENSIONS AS REQUIRED
  - 16 SPEARS TRUE UNION SCH. 80 PVC BALL VALVE
  - 17 WATERPROOF WIRE SPLICE
  - 18 3/8" WIRE LOOPS
  - 19 AUTOMATIC VALVE (SEE LEGEND)
  - 20 FINISH GRADE
  - 21 CHU BLOCK
  - 22 PEA GRAVEL - 3 CUBIC FEET
  - 23 SCH 40 PVC MALE ADAPTER
  - 24 PVC SLEEVE

**MASTER VALVE W/ RPA**

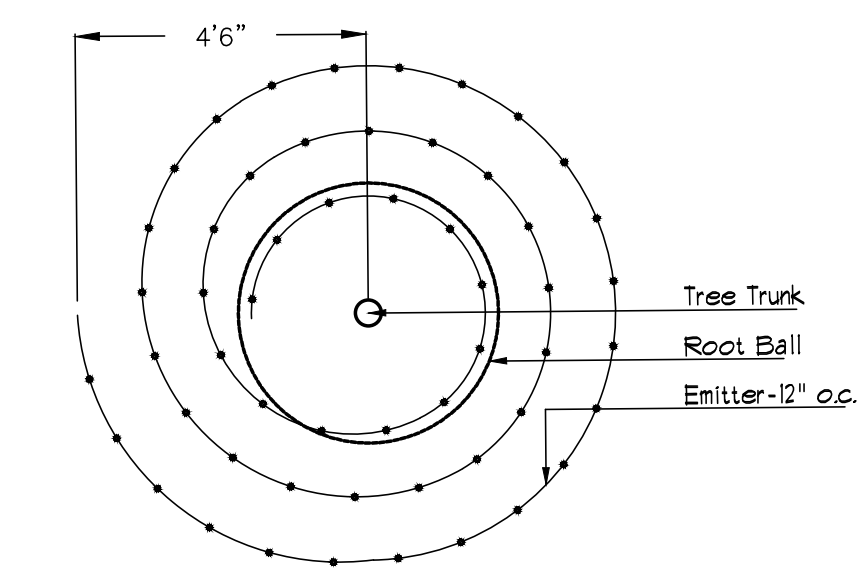
N.T.S.



**DRIP ZONE KIT IN VALVE BOX**

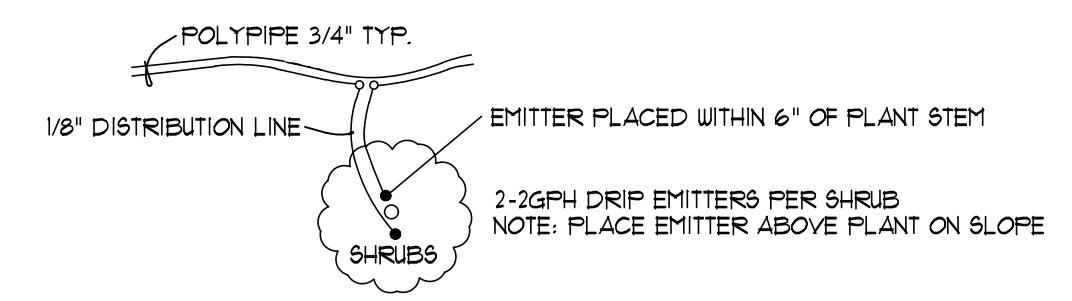
N.T.S.

- A FINISH GRADE
- B LANDSCAPE PRODUCTS JUMBO VALVE BOX WITH COVER
- C VALVE ID TAG
- D 30-INCH LENGTH OF COILED WIRE
- E LANDSCAPE PRODUCTS DRIP KIT (INCLUDES VALVE, FILTER & PRESSURE REGULATOR)
- F PVC SUPPLY HEADER TO DRIFLINE
- G PVC SCH 80 FEMALE ADAPTER OR REDUCER
- H PVC SCH 80 ELL
- I PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- J PVC SCH 80 TEE OR ELL
- K PVC MAINLINE
- L 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- M PVC SCH 80 STREET EL
- N MANUAL FLUSH POINT
- O ISOLATION VALVE



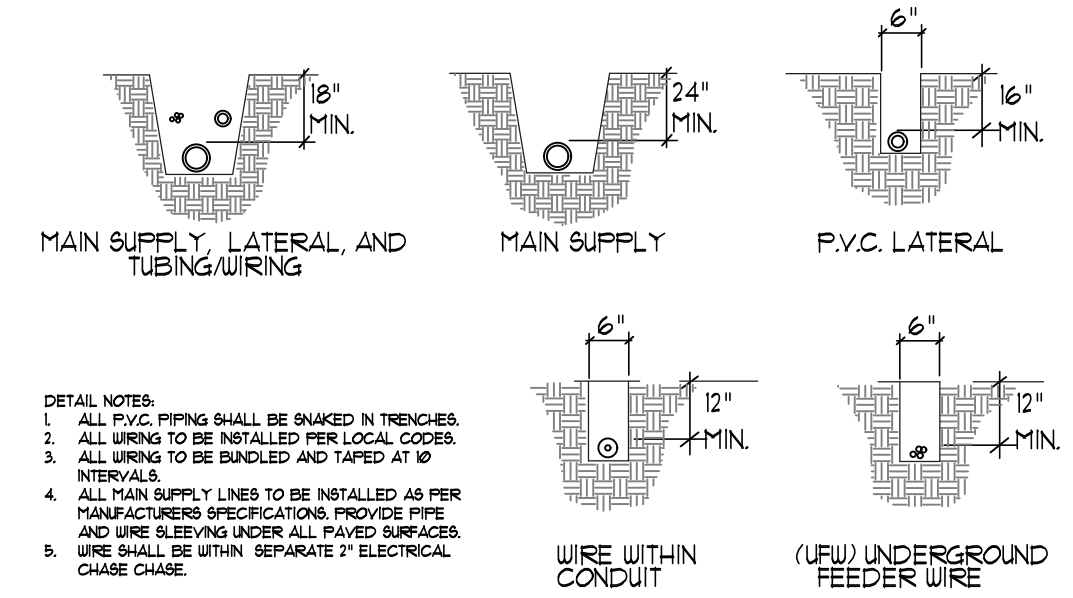
**NETAFIM SPIRAL DETAIL**

N.T.S.



**SHRUB EMITTER PLACEMENT DETAIL**

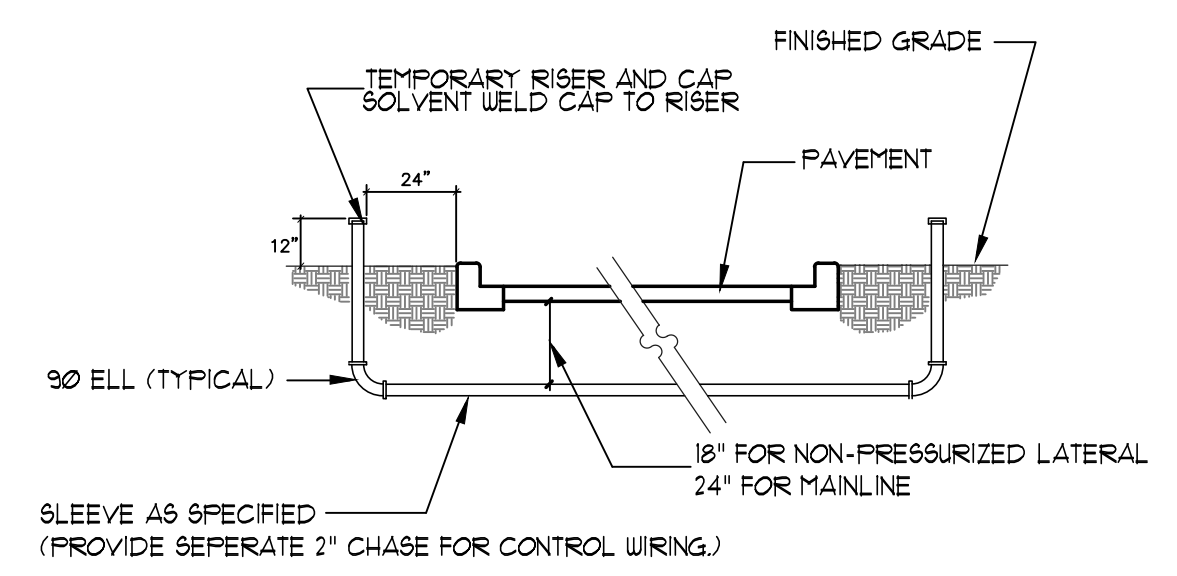
N.T.S.



**TRENCHING DETAIL**

N.T.S.

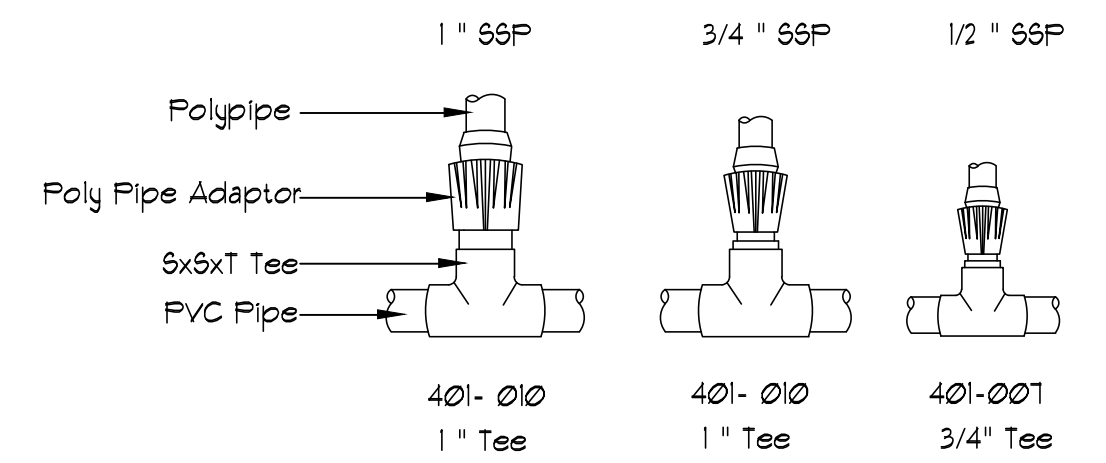
- DETAIL NOTES:
- ALL PVC PIPING SHALL BE SANKEN IN TRENCHES.
  - ALL WIRING TO BE INSTALLED PER LOCAL CODES.
  - ALL WIRING TO BE BUNDLED AND TAPED AT 10' INTERVALS.
  - ALL MAIN SUPPLY LINES TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. PROVIDE PIPE AND WIRE SLEEVING UNDER ALL PAVED SURFACES.
  - WIRE SHALL BE WITHIN SEPARATE 2" ELECTRICAL CHASE CHASE.



**SLEEVE INSTALLATION DETAIL**

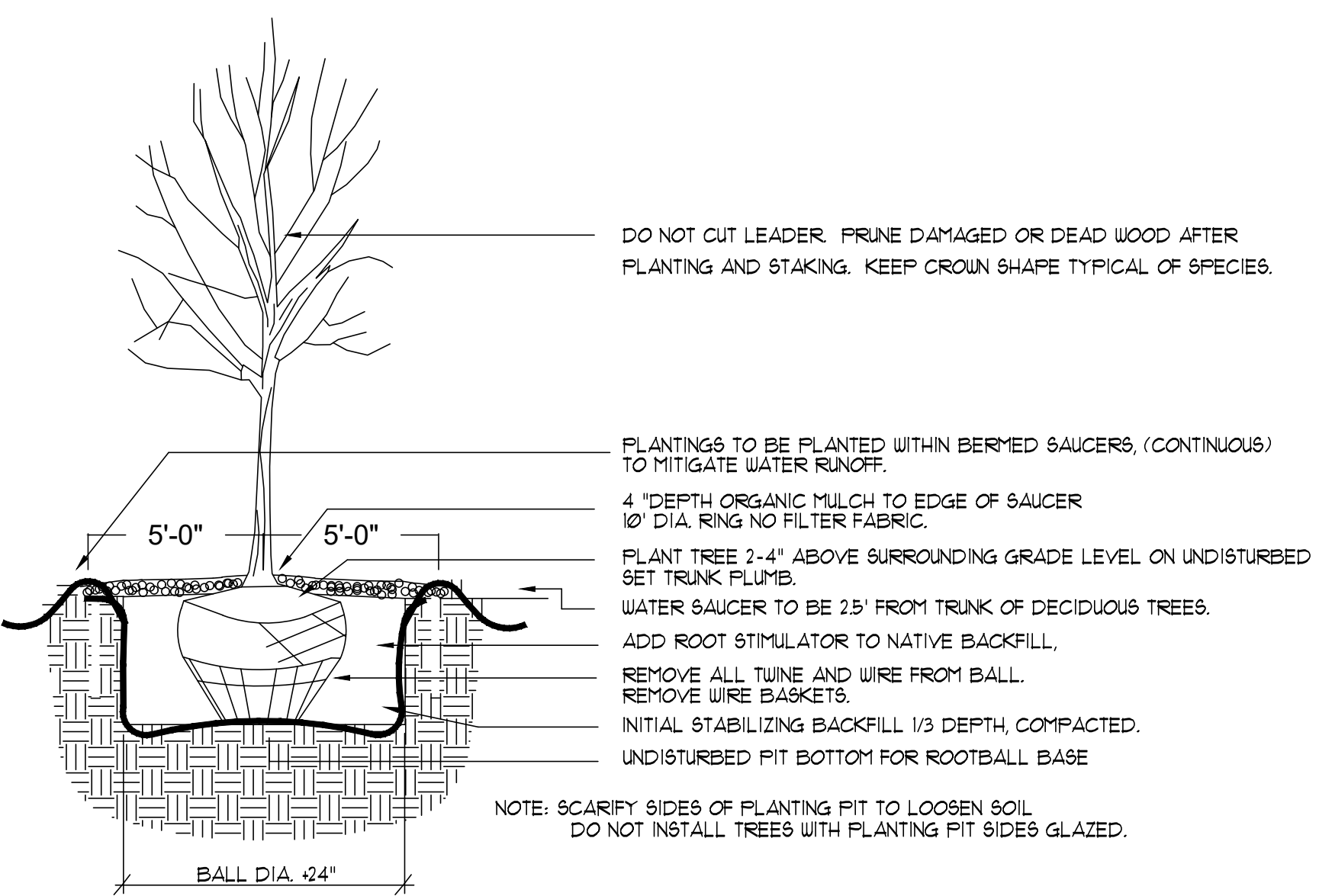
N.T.S.

- SLEEVE AS SPECIFIED (PROVIDE SEPERATE 2" CHASE FOR CONTROL WIRING.)



**PVC TO Poly Connection**

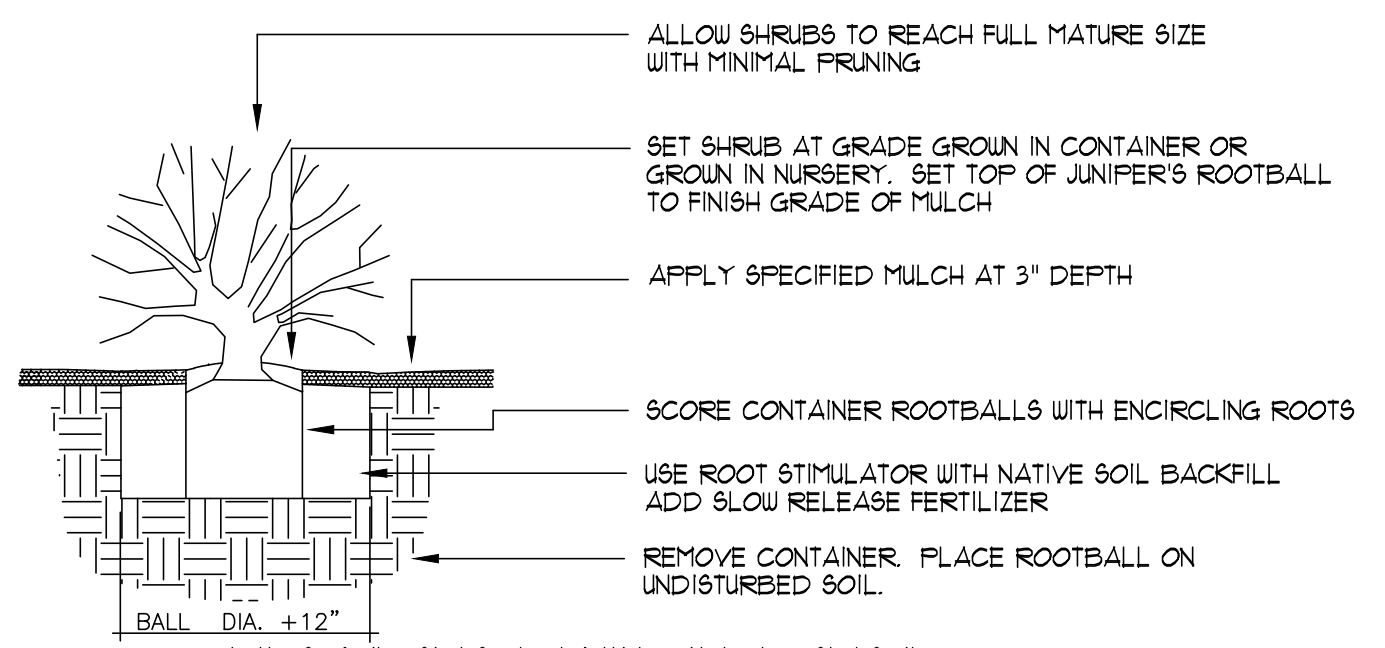
N.T.S.



**TREE PLANTING DETAIL**

N.T.S.

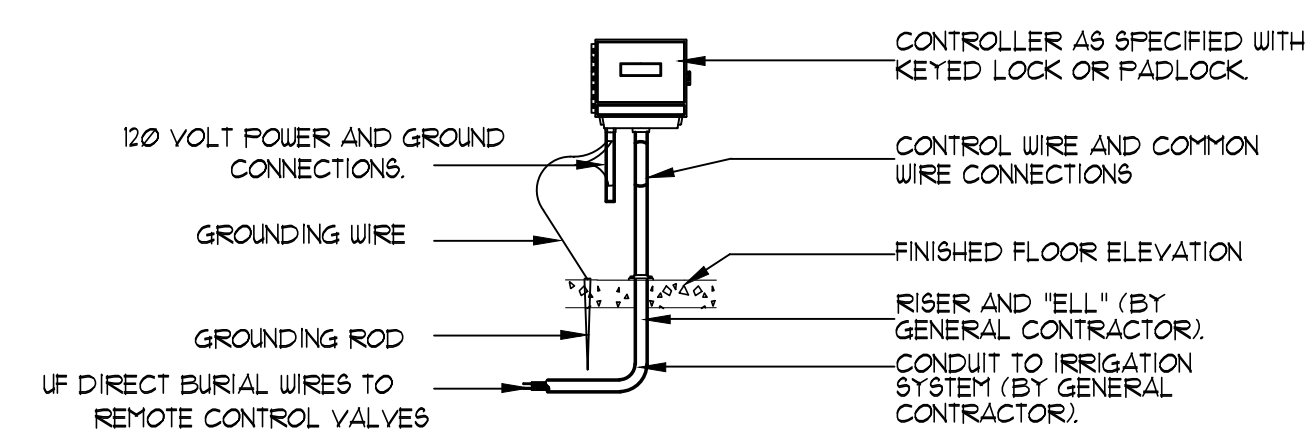
- DO NOT CUT LEADER. PRUNE DAMAGED OR DEAD WOOD AFTER PLANTING AND STAKING. KEEP CROWN SHAPE TYPICAL OF SPECIES.
  - PLANTINGS TO BE PLANTED WITHIN BERMED SAUCERS, (CONTINUOUS) TO MITIGATE WATER RUNOFF.
  - 4" DEPTH ORGANIC MULCH TO EDGE OF SAUCER 10" DIA. RING NO FILTER FABRIC.
  - PLANT TREE 2-4" ABOVE SURROUNDING GRADE LEVEL ON UNDISTURBED SOIL. SET TRUNK FLUMB.
  - WATER SAUCER TO BE 2' FROM TRUNK OF DECIDUOUS TREES.
  - ADD ROOT STIMULATOR TO NATIVE BACKFILL.
  - REMOVE ALL TWINE AND WIRE FROM BALL.
  - REMOVE WIRE BASKETS.
  - INITIAL STABILIZING BACKFILL 1/3 DEPTH, COMPACTED.
  - UNDISTURBED PIT BOTTOM FOR ROOTBALL BASE
- NOTE: SCARIFY SIDES OF PLANTING PIT TO LOOSEN SOIL. DO NOT INSTALL TREES WITH PLANTING PIT SIDES GLAZED.



**SHRUB PLANTING DETAIL**

N.T.S.

- ALLOW SHRUBS TO REACH FULL MATURE SIZE WITH MINIMAL PRUNING
  - SET SHRUB AT GRADE GROWN IN CONTAINER OR GROWN IN NURSERY. SET TOP OF JUNIPER'S ROOTBALL TO FINISH GRADE OF MULCH
  - APPLY SPECIFIED MULCH AT 3" DEPTH
  - SCORE CONTAINER ROOTBALLS WITH ENCIRCLING ROOTS
  - USE ROOT STIMULATOR WITH NATIVE SOIL BACKFILL. ADD SLOW RELEASE FERTILIZER
  - REMOVE CONTAINER. PLACE ROOTBALL ON UNDISTURBED SOIL.
- NOTE: SCARIFY SIDES OF PLANTING PIT TO LOOSEN SOIL. DO NOT INSTALL SHRUBS WITH PLANTING PIT SIDES GLAZED.



**CONTROLLER DETAIL**

N.T.S.

- DETAIL NOTES:
- ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
  - ALL WIRING TO BE INSTALLED PER LOCAL CODES.
  - SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
  - CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

# City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

## PURPOSE

This Section 14-16-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that include the creation of a quality public realm. The City requires landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefits through:

- 5-6(C)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and water investments and property values.
- 5-6(A)(4) Encouraging the use of native and/or adapted, low water-use, or xeric species, unless specified otherwise in the creation of a quality public realm.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention.
- 5-6(A)(6) Encouraging the use of native and/or adapted, low water-use, or xeric species, unless specified otherwise in the creation of a quality public realm.
- 5-6(A)(7) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(8) Providing shade and comfort for pedestrians and visually enhancing streets, which has been shown to reduce vehicle speeding and accidents.
- 5-6(B) APPLICABILITY

- 5-6(B)(1) The provisions of this Section 14-16-5-6 shall apply to any of the following unless specified otherwise in the creation of a quality public realm:
  - 5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development or an accessory parking structure.
  - 5-6(B)(1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot containing 25 or more spaces.
  - 5-6(B)(1)(c) Expansion of the ground floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet or more, or 25 percent or more, whichever is less.
  - 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$600,000 or more.
  - 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-16-5-6, Section 14-16-5-5 (Fencing and

Loading), and Section 14-16-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(B)(3) Requirements for walls provided to meet buffering and screening requirements prevail over material wall height regulations in Section 14-16-5-1 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-16-5-1(E).

## 5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-16-5-6.

### 5-6(C)(1) Landscape Plan Required

a. Landscaping plan designs for landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-16-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with this Section 14-16-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-16-5-9(B)(2).

### 5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping. 5-6(C)(2)(b) In DT-10, DT-15, DT-20, and DT-25-RF areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be ground level. (See Figure B-6)(c) The nature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

- Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscaped area as measured by canopy width of the area beneath the dripline of the nature.
- Size of the actual vegetation of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the nature size of the actual vegetation. (See Figure below.)

### 5-6(C)(2)(d) See Also Subsections 14-16-5-6(D) (Street Frontage Landscaping)

### 5-6(C)(2)(e) Edge Buffer Landscaping

### 5-6(C)(2)(f) (Parking Lot Landscaping) for additional landscaping requirements.

### 5-6(C)(3) Overlapping Requirements

5-6(C)(3)(a) If areas required to be landscaped by 2 or more provisions of this Section 14-16-5-6, a minimum of 10 percent of the net lot area shall be landscaped to the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

### 5-6(C)(3)(b) (Existing Vegetation Credit)

See Subsection 14-16-5-6(C)(2)(d) (Existing Vegetation Credit).

### 5-6(C)(3)(c) Any landscaping provided to meet requirements in Subsection 14-16-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-16-5-6, but shall be subject to Subsection 14-16-5-6(C) (General Landscaping Standards).

### 5-6(C)(3)(d) Any uncovered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-1(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 10 percent of required landscaping in Section 14-16-5-6, but shall be subject to the standards in Subsection 14-16-5-6(C) (General Landscaping Standards).

### 5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 5 percent of the landscaped area shall be landscaped with plants and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan to count toward the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards) except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:

- Meet the intended purpose of that type of landscaping.
- Are not hazardous.
- Are not identified as invasive on a City or State plant list.
- Are not listed in the City's Weeds Identification Handbook.
- Are equally hardy to the New Mexico climate.

### 5-6(C)(4)(b) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Weeds Identification Handbook, is prohibited.

5-6(C)(4)(c) No more than 10 percent of required landscape areas shall be planted with cool season grasses, irrigated cool season grasses shall not be planted on slopes exceeding 14 percent or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surfaces.)

### 5-6(C)(4)(d) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(e) Artificial turf/grass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-16-5-6(C) (General Landscaping Standards).

5-6(C)(4)(f) All vegetation shall comply with Article 3-1-2 and Parts 6-1-1 and 6-2-1 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

5-6(C)(4)(g) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(h) Single trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided.

5-6(C)(4)(i) In DT-10, DT-15 areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(j) See also Subsection 14-16-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Beds 5-6(C)(5)(a) All vegetated areas shall be prepared by this Section 14-16-5-6 shall be planted in uncompact soil.

5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DT-10, DT-15 areas. 5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited.

5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or utility steps located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated areas and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Sizes at Installation.

All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

### Table 5-6-1: Minimum Plant Sizes

| Plant Material Type (DBH/Tree) | Minimum Size                                      | Maximum Size                |
|--------------------------------|---|-----------------------------|
| Shrubs (Street Trees)          | 2 inches  | 24 inches                   |
| Deciduous Street Trees         | 1.5 inches caliper to a crown grade of 25 inches  | 24 inches                   |
| Evergreen Street Trees         | 1.5 inches caliper to a crown grade of 25 inches  | 24 inches                   |
| Multi-trunk Trees              | Minimum 2 inches to a crown grade of 25 inches    | 24 inches                   |
| Shrubs                         | Minimum 2 inches to a crown grade of 25 inches    | 24 inches                   |
| Ground cover and turf          | Adaptable to provide ground cover within 4 inches | grasses using pre-planting. |

5-6(C)(7) Plant Material Spacing

5-6(C)(7)(a) Vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, and utility boxes. A landscape plan shall be submitted with the application.

5-6(C)(7)(b) Where tree planting operations are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in other landscaped front yard areas.

5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or construction, provided that the total amount of required landscaping is not reduced.

5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-Way

5-6(C)(9)(a) All planting of vegetative material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repair, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface.

5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate water for the landscape area in the public right-of-way, with a separate valve(s) at the property line.

5-6(C)(9)(d) All screening and vegetation surrounding ground-mounted transformers and utility poles must allow 10 feet of clearance for access and to ensure the safety of the work areas and public during maintenance and repair.

5-6(C)(9)(e) If overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(9)(f) All screening and vegetation surrounding ground-mounted transformers and utility poles must allow 10 feet of clearance for access and to ensure the safety of the work areas and public during maintenance and repair.

5-6(C)(9)(g) Trees shall not be planted near existing or proposed street lighting.

5-6(C)(10)(g) Standards in the DPM may apply to tree planting in or near other utility easements, such as gas lines.

5-6(C)(11) Prohibited Landscaping Areas Prohibited

Parking of automobiles, trucks, trailers, boats, recreational vehicles, or other motor vehicles is prohibited on any required landscape or buffer area.

5-6(C)(12) Existing Vegetation Credit

5-6(C)(12)(a) If existing prohibited vegetation meets the location requirements and intent of landscaping, buffering, or screening required by this Section 14-16-5-6, that existing vegetation may be credited toward the landscaping, buffering, or screening materials.

5-6(C)(12)(b) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(12)(c) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(12)(d) Trees shall be credited in accordance with Table 5-6-2.

### Table 5-6-2: Credits for Preserving Trees

| Diameter at Breast Height (in.)    | Number of Trees Credited |
|------------------------------------|--------------------------|
| >25                                | 6                        |
| 18 and <25                         | 3                        |
| 12 and <18                         | 4                        |
| <4 and <8                          | 2                        |
| 2-4                                | 1                        |
| Prohibited trees 8 in. or greater" | 1                        |

[1] Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette and may appear on the City or State list of prohibited or invasive species.

### 5-6(C)(13) Stormwater Management Features

5-6(C)(13)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(13)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.

5-6(C)(13)(c) In the R-L, R-MH, Mixed-use, and NR-SU zone districts, and in lots containing multi-family dwellings or non-residential uses in the R-A, R-1, R-MC, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collector areas that are located in landscaped areas and that meet all applicable standards in the DPM.

5-6(C)(13)(d) Areas created to meet stormwater management requirements of the City or a governmental entity and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-16-5-6.

5-6(C)(13)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-16-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(14) Irrigation Systems

5-6(C)(14)(a) Irrigation systems shall comply with Section 8 of the ABCWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

5-6(C)(14)(b) All irrigation systems shall be designed to minimize the use of water.

5-6(C)(14)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

5-6(C)(14)(d) The irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(15) Installation

5-6(C)(15)(a) All landscaping material used to meet the requirements of this Section 14-16-5-6 shall be installed in accordance with the installation procedures established by the American Nursery and Landscape Association.

5-6(C)(15)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy, if there is more than one primary building on the site. The landscaping, screening, and buffering related to each building

shall be installed prior to the issuance of a final certificate of occupancy.

5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement, shall be the responsibility of each property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as a part of a plan for landscaping, screening, or buffering on the public right-of-way, private way, or easement, shall be the responsibility of the public utility.

5-6(C)(15)(d) If the materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials.

5-6(C)(15)(e) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that the City reserves the right to remove them if necessary for a transportation project without compensation but at no cost to the property owner. Landscaping installed in an abutting public right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping.

5-6(C)(16) Alternative Landscape Plans

The Planning Director may approve alternative landscape plans that do not meet the specific requirements stated in this Section 14-16-5-6 if the Planning Director determines that the alternatives meet all of the following criteria:

5-6(C)(16)(a) Are consistent with the purposes of this Section 14-16-5-6.

5-6(C)(16)(b) Do not include invasive vegetation included in a City or State list of prohibited or invasive species or listed as a noxious weed in the City's Weeds Identification Handbook.

5-6(C)(16)(c) Do not include a reduction of tree planting requirements.

5-6(C)(16)(d) Provide equal or superior buffering of adjacent properties from anticipated impacts of the proposed development.

5-6(C)(16)(e) Provide equal or superior visual appearance of the property when viewed from the street.

5-6(C)(16)(f) Provide equal or superior carbon dioxide absorption and heat island reduction.

### 5-6(D) STREET FRONTAGE LANDSCAPING

5-6(D)(1) Required Street Trees

5-6(D)(1)(a) All development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement.

5-6(D)(1)(b) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping) except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall be landscaped with plants and shrubs selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan to count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping) except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6(D)(1)(d) Only trees selected from the Official Albuquerque Plant Palette of low water use, drought tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-16-5-6(D) (Street Frontage Landscaping) except that existing trees that are 8 inch caliper or larger may count toward street tree requirements, regardless of whether they appear on one of those lists.

5-6(D)(1)(e) All screening and vegetation surrounding ground-mounted transformers and utility poles must allow 10 feet of clearance for access and to ensure the safety of the work areas and public during maintenance and repair.

5-6(D)(1)(f) Trees shall not be planted near existing or proposed street lighting.

### Table 5-6-3: Minimum Planting Area by Tree Height at Maturity

| Tree Height at Maturity (ft.) | Minimum Planting Area (ft.) |
|-------------------------------|-----------------------------|
| 0-20                          | 4 x 4                       |
| 21-25                         | 5 x 5                       |
| >26                           | 6 x 6                       |

5-6(D)(2) Additional Frontage Landscaping

5-6(D)(2)(a) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(b) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(c) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(d) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(e) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(f) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(g) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(h) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(i) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(j) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(k) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(l) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(m) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(n) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(o) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(p) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(q) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(r) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(s) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(t) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(u) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(v) General For buildings with a footprint of less than 50,000 square feet in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(2)(w) General For buildings with a footprint of less than

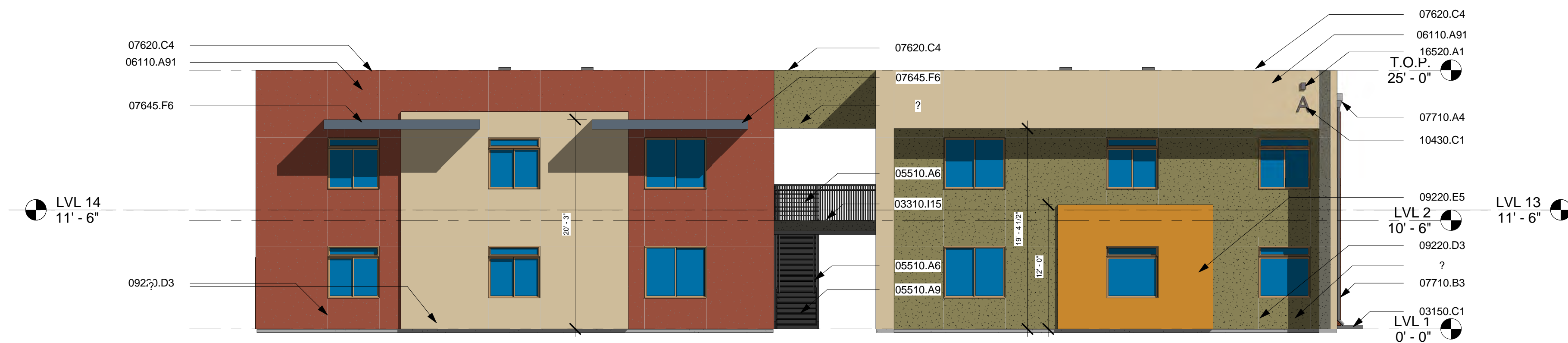
| Keynotes: |   |
|-----------|---|
| Key Value | Keynote Text  |
| 03150.C1  | Standard Prefab Concrete Splash Block   |
| 03310.I15 | 3 1/2" Lightweight Concrete Topping Over 3/4" Plywood Sheathing. Slope topping to Drain |
| 05510.A6  | New 42" High Steel Painted Railing - See Structural                                     |
| 05510.A9  | Steel Channel Stringers w/ Precast Concrete Treads - See Structural                     |
| 05510.A12 | New 36" High Steel Painted Railing As Cane Detection                                    |
| 06110.A91 | New 2x Framed Parapet Wall  |
| 07620.C4  | Metal Parapet Cap Flashing - Finish To Match Fascia                                     |
| 07645.F6  | 1/2" Textured Hardboard Fascia  |
| 07710.A4  | Membrane Lined Sheet Metal Scupper - See Detail on Detail Sheet                         |
| 07710.B3  | Downspout   |
| 09220.B4  | Stucco Color #1   |
| 09220.B30 | 2-Coat Synthetic Stucco With Integrated Crack-Master System                             |
| 09220.D3  | Stucco Expansion Joint Typ.   |
| 09220.E5  | 3" Foam Fur Out w/ Stucco Finish - See Details  |
| 10430.C1  | Aluminum Cast Letter  |
| 16520.A1  | Wall Mounted Exterior Light Fixture   |

**GENERAL NOTES:**

- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
- ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
- CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
- ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
- ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
- EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
- ROOF TOP UNITS IN COMMUNITY BUILDING ARE APPROXIMATELY 35"x35"x38"H
- ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

**MATERIAL SURFACE AREAS:**

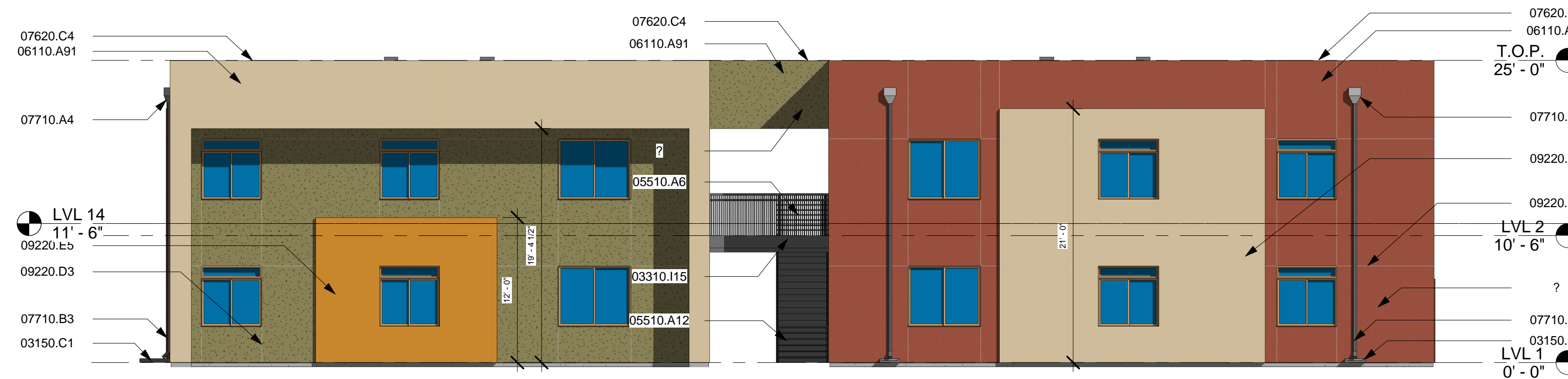
| STUCCO            | FRONT           | REAR            | SIDE 1          | SIDE 2          |
|-------------------|-----------------|-----------------|-----------------|-----------------|
| COLOR #1 - RED    | 791 SF          | 794 SF          | 526 SF          | 0 SF            |
| COLOR #2 - TAN    | 782 SF          | 671 SF          | 781 SF          | 924 SF          |
| COLOR #3 - GREEN  | 672 SF          | 782 SF          | 0 SF            | 534 SF          |
| COLOR #4 - ORANGE | 180 SF          | 180 SF          | 152 SF          | 0 SF            |
| <b>TOTAL</b>      | <b>2,425 SF</b> | <b>2,427 SF</b> | <b>1,459 SF</b> | <b>1,458 SF</b> |



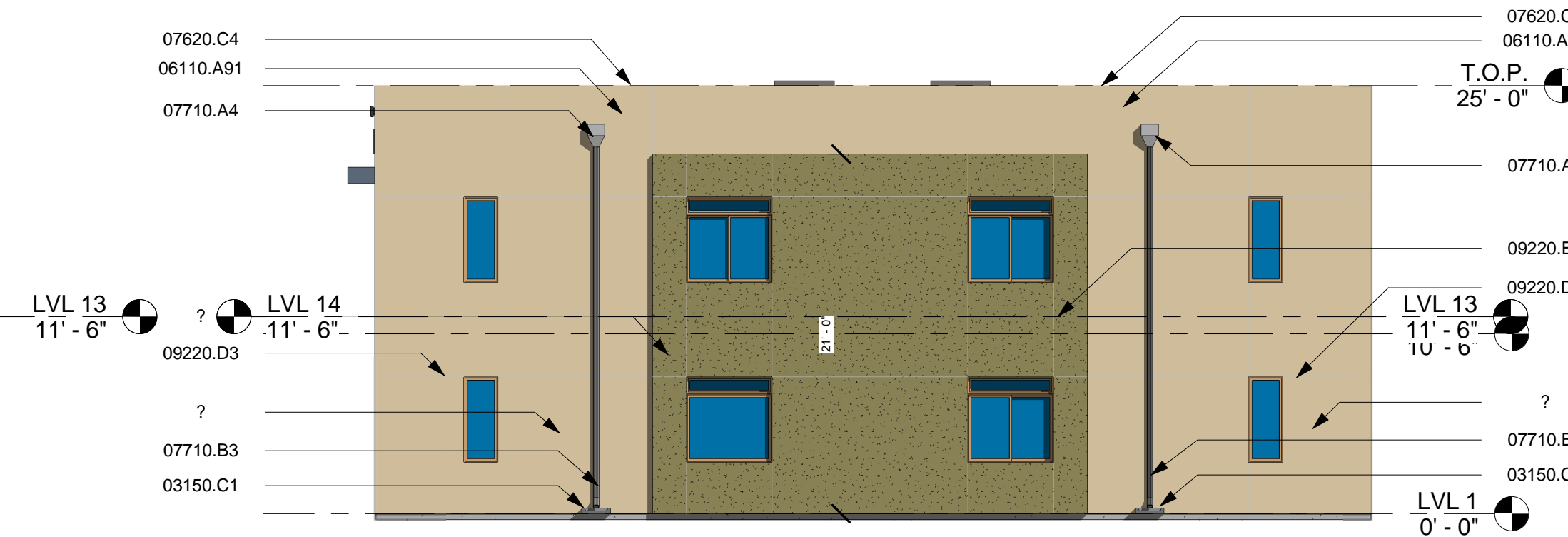
① Front Elevation  
1/8" = 1'-0"



④ Side Elevation 1  
1/8" = 1'-0"

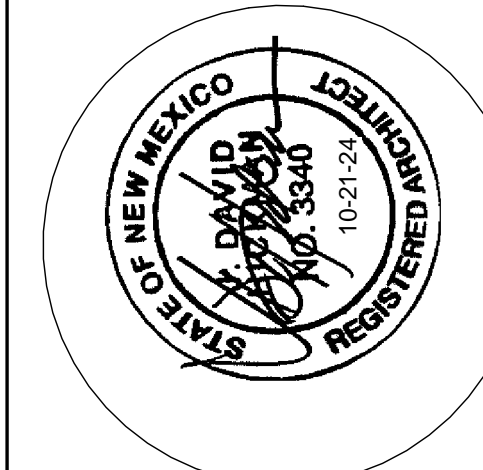


③ Rear Elevation  
1/8" = 1'-0"



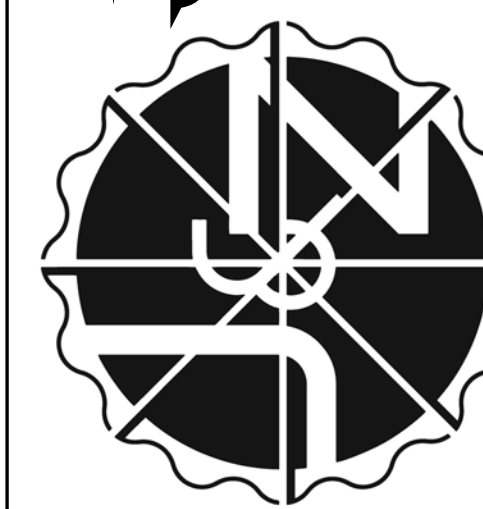
② Side Elevation 2  
1/8" = 1'-0"

easy as pie



**JEEBS & ZUZU, LLC.**  
 Architecture  
 Construction  
 Design-Build

5924 ANAHEIM AVENUE NE SUITE A  
 ALBUQUERQUE, NM 87113  
 P. 505-797-1318



job no: 23-019  
 drawn: EAM  
 checked: J&Z  
 date: Oct. 21, 2024

www.jeebsandzuzu.com

BUILDING TYP. 1 - ELEVATION 1  
**CASITAS DEL CAMINO**  
 60th Street NW  
 Albuquerque, NM 87105  
 sheet no: **A1.12**

| Keynotes: |   |
|-----------|---|
| Key Value | Keynote Text  |
| 03150.C1  | Standard Prefab Concrete Splash Block   |
| 03310.I15 | 3 1/2" Lightweight Concrete Topping Over 3/4" Plywood Sheathing. Slope topping to Drain |
| 05510.A6  | New 42" High Steel Painted Railing - See Structural                                     |
| 05510.A9  | Steel Channel Stringers w/ Precast Concrete Treads - See Structural                     |
| 05510.A12 | New 36" High Steel Painted Railing As Cane Detection                                    |
| 06110.A91 | New 2x Framed Parapet Wall  |
| 07620.C4  | Metal Parapet Cap Flashing - Finish To Match Fascia                                     |
| 07645.F6  | 1/2" Textured Hardboard Fascia  |
| 07710.A4  | Membrane Lined Sheet Metal Scupper - See Detail on Detail Sheet                         |
| 07710.B3  | Downspout   |
| 09220.B4  | Stucco Color #1   |
| 09220.B30 | 2-Coat Synthetic Stucco With Integrated Krack-Master System                             |
| 09220.D3  | Stucco Expansion Joint Typ.   |
| 09220.E5  | 3" Foam Fur Out w/ Stucco Finish - See Details  |
| 10430.C1  | Aluminum Cast Letter  |
| 16520.A1  | Wall Mounted Exterior Light Fixture   |

**GENERAL NOTES:**

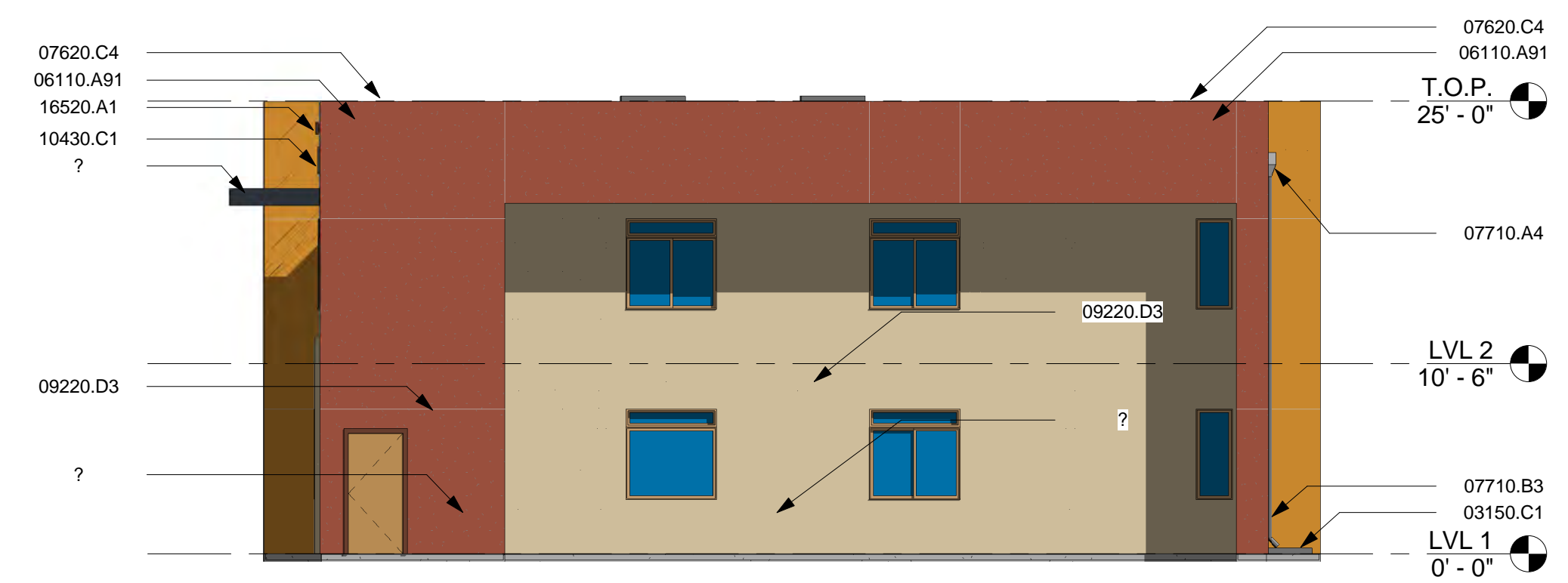
- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
- ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
- CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
- ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
- ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
- EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
- ROOF TOP UNITS IN COMMUNITY BUILDING ARE APPROXIMATELY 35"x35"x38"H
- ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

**MATERIAL SURFACE AREAS:**

| STUCCO COLOR      | FRONT           | REAR            | SIDE 1          | SIDE 2          |
|-------------------|-----------------|-----------------|-----------------|-----------------|
| COLOR #1 - RED    | 888 SF          | 1,090 SF        | 527 SF          | 982 SF          |
| COLOR #2 - TAN    | 445 SF          | 445 SF          | 781 SF          | 0 SF            |
| COLOR #3 - GREEN  | 503 SF          | 503 SF          | 0 SF            | 476 SF          |
| COLOR #4 - ORANGE | 202 SF          | 0 SF            | 148 SF          | 0 SF            |
| <b>TOTAL</b>      | <b>2,038 SF</b> | <b>2,038 SF</b> | <b>1,456 SF</b> | <b>1,458 SF</b> |



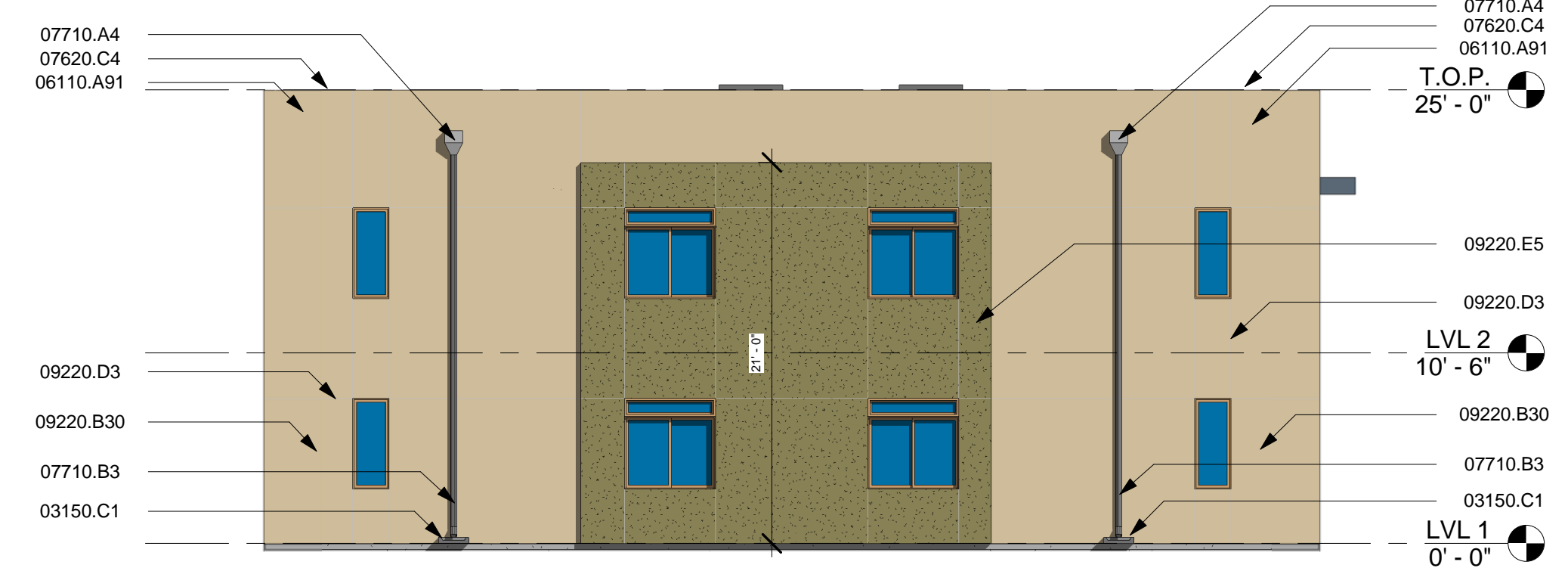
3 Front Elevation  
1/8" = 1'-0"



1 Side Elevation 1  
1/8" = 1'-0"

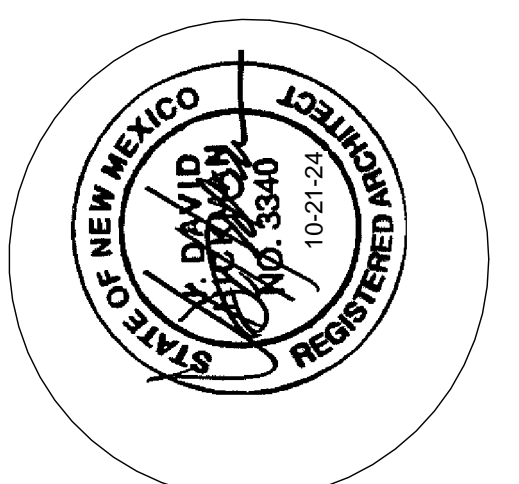


4 Rear Elevation  
1/8" = 1'-0"

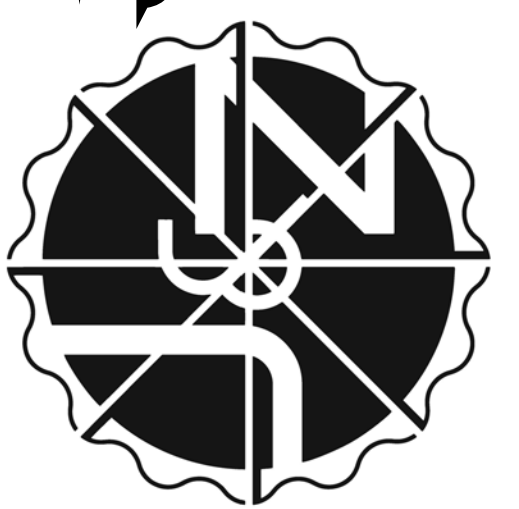


2 Side Elevation 2  
1/8" = 1'-0"

easy as pie



**JEEBS & ZUZU, LLC.**  
 Architecture  
 Construction  
 Design-Build  
 5924 ANAHEIM AVENUE NE SUITE A  
 ALBUQUERQUE, NM 87113  
 P. 505-797-1318



job no: 23-019  
 drawn: EAM  
 checked: J&Z  
 date: Oct. 21, 2024

www.jeebsandzuzu.com

BUILDING TYP. 2 - ELEVATION No  
**CASITAS DEL CAMINO**  
 60th Street NW  
 Albuquerque, NM 87105  
 sheet no:  
**A1.22**



**REHABILITATION  
BUILDING EXTERIOR SCOPE OF WORK:**

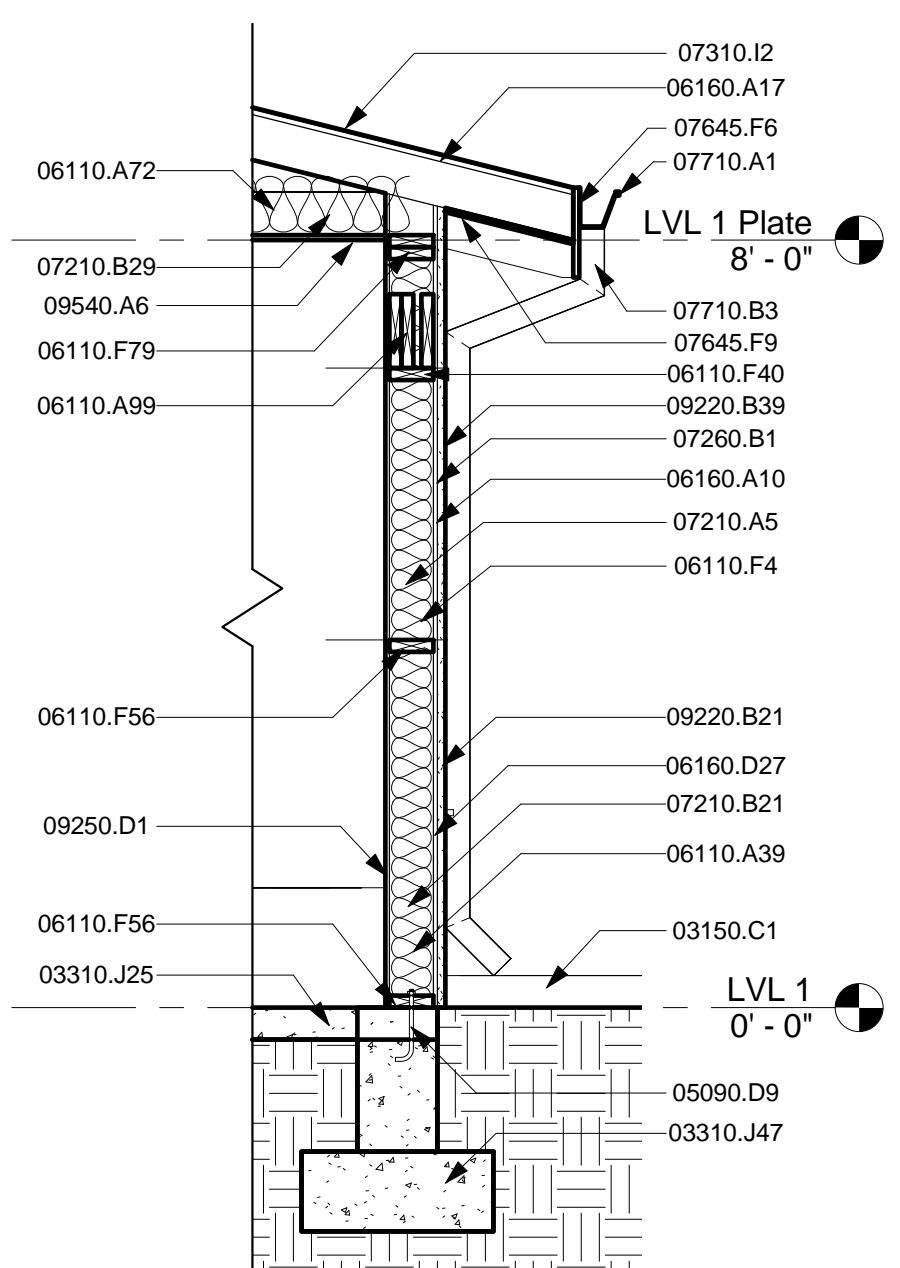
1. Improve building envelope to reduce air infiltration. Caulk and seal all cracks and joints. Patch and repair damaged stucco.
2. Replace exterior doors and windows with new high efficient materials.
3. Repair all roof penetrations, seal openings. Reroof buildings as required to achieve required warranties.
4. Renovate/improve interiors. Replace all finishes and furnishings.
5. Replace all cabinetry and countertops.
6. Replace all interior doors.
7. Repair any drywall damages, patch and paint ceilings and walls.
8. Replace flooring.
9. Replace shelving throughout.
10. Replace all lighting with high efficient LED fixtures.
11. Replace appliances with Energy Star certified appliances.
12. Replace plumbing fixtures and trim with high efficient and low flow fixtures. Toilets to be 1.28 gpm, showerheads to be 2.0 gpm, kitchen faucet to be 1.2 gpm, bathroom faucet to be 1.0 gpm.
13. Replace existing furnaces with high efficient equipment.
14. Replace existing water heaters with high efficient appliances.
15. Replace existing evaporative cooler units.
16. Complete final HERS testing to ensure renovated units achieve maximum HERS score of 65.
17. Sites and units shall include wiring to allow for high-speed broadband internet, telephone, and cable/satellite television.

**MATERIAL SURFACE AREAS:**

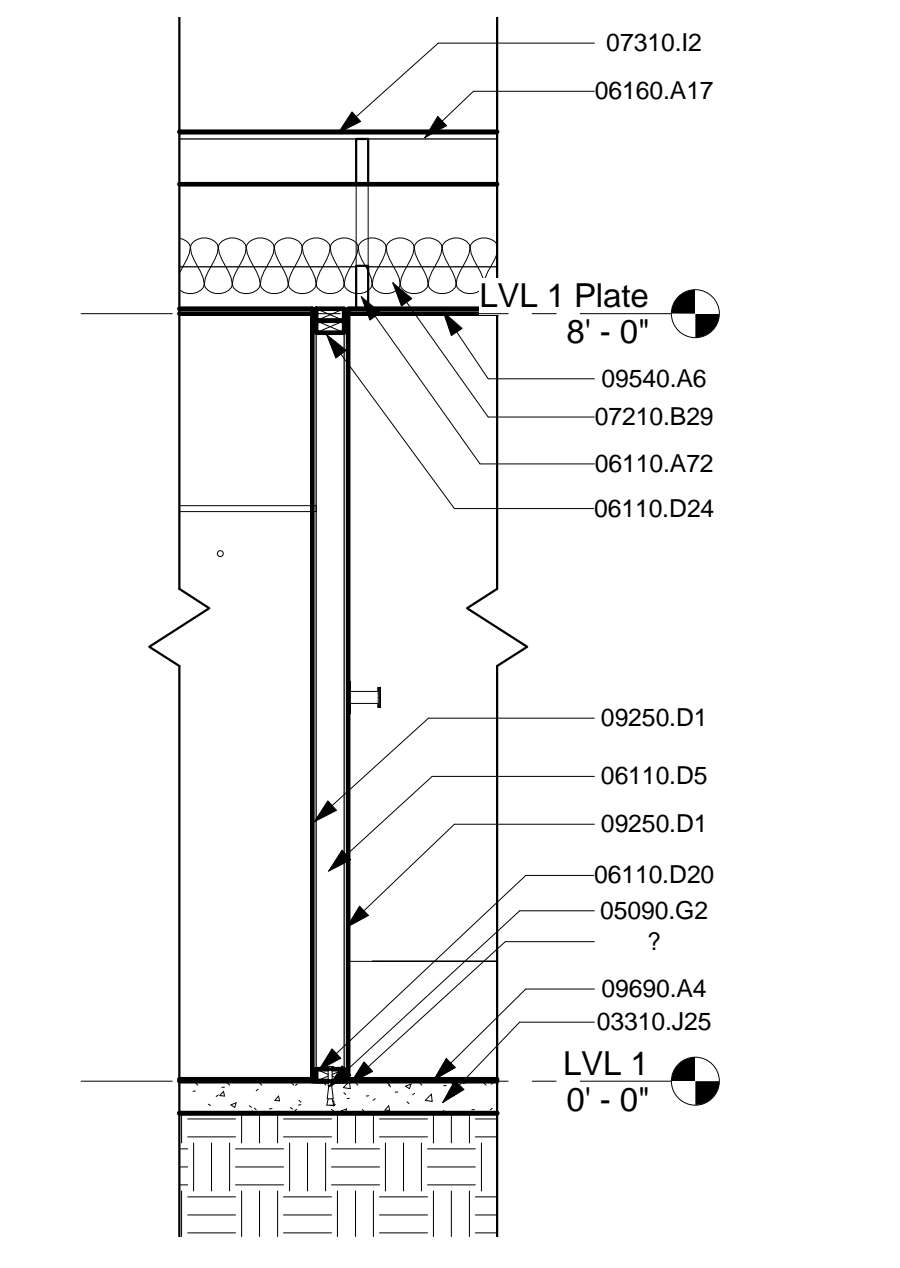
| STUCCO<br>COLOR #1 - RED<br>COLOR #2 - TAN<br>COLOR #3 - GREEN<br>COLOR #4 - ORANGE | FRONT         | REAR          | SIDE 1        | SIDE 2        |
|---|---------------|---------------|---------------|---------------|
|   | 107 SF        | 0 SF          | 0 SF          | 0 SF          |
|   | 134 SF        | 354 SF        | 334 SF        | 334 SF        |
|   | 0 SF          | 0 SF          | 0 SF          | 0 SF          |
|   | 112 SF        | 0 SF          | 0 SF          | 0 SF          |
| <b>TOTAL</b>  | <b>353 SF</b> | <b>354 SF</b> | <b>334 SF</b> | <b>334 SF</b> |

| Key Value | Keynote Text                                   |
|-----------|--|
| 03150.C1  | Standard Prefab Concrete Splash Block          |
| 03310.J25 | Existing Concrete Slab to Remain               |
| 03310.J47 | Existing Concrete Foundation to Remain         |
| 04210.B1  | Existing Brick Exterior Structure to Remain    |
| 05090.D9  | Anchor Bolt - See Structural                   |
| 05090.G2  | 1/2" Expansion Bolt                            |
| 06110.A39 | Exterior Wall Structure To Remain              |
| 06110.A72 | Existing Roof Structure To Remain              |
| 06110.A99 | Existing Header To Remain                      |
| 06110.D5  | 2x4 Framing @ 16 O.C.                          |
| 06110.D20 | 2x4 Sill Plate                                 |
| 06110.D24 | New 2x4 Double Top Plate                       |
| 06110.F4  | 2x6 Framing @ 16 O.C.                          |
| 06110.F40 | 2x6 Single Top Plate                           |
| 06110.F56 | Existing 2x Sill Plate To Remain               |
| 06110.F79 | Existing Double Top Plate To Remain            |
| 06160.A10 | 7/16" Exterior Oriented Strand Board Sheathing |
| 06160.A17 | Existing Roof Decking To Remain                |

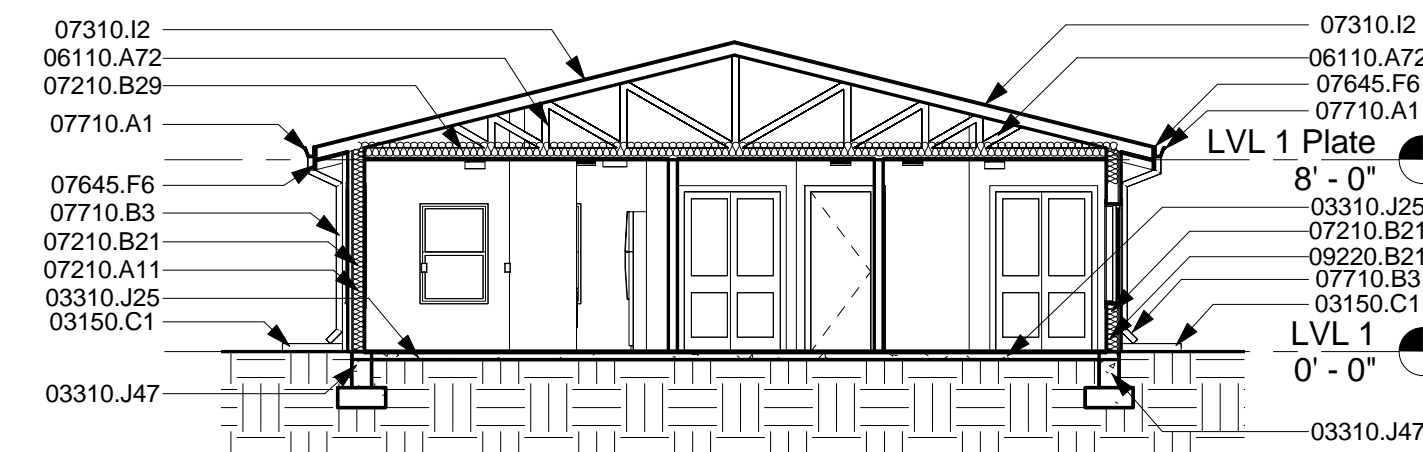
| Key Value | Keynote Text  |
|-----------|---|
| 06160.D27 | Existing Sheathing To Remain  |
| 07210.A5  | R-21 Batt Insulation  |
| 07210.A11 | Insulated 2x6 Exterior Wall W/ R-19 Batt  |
| 07210.B21 | Existing Insulation To Remain   |
| 07210.B29 | Add Blown In Fiberglass Insulation For Roof To Meet R38   |
| 07260.B1  | Weather Barrier - CommercialWrap  |
| 07310.I2  | Existing Asphalt Shingle Roof   |
| 07645.F6  | 1/2" Textured Hardboard Fascia  |
| 07645.F9  | 1/2" Textured Hardboard Roof Soffit   |
| 07710.A1  | Gutter  |
| 07710.B3  | Downspout   |
| 07710.B37 | Gable End Vent - Install Per Manufacturers Specifications and Recommendations                                   |
| 09220.B21 | Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls                                     |
| 09220.B39 | New Stucco to Match Existing  |
| 09250.D1  | 5/8" Gypsum Wallboard   |
| 09540.A6  | New 5/8" Gyp. Board Ceiling   |
| 09690.A4  | Finish Floor To Be Selected By Owner - Contractor To Work With Owner For Selection of Floor Finish And Location |
| 10430.C1  | Aluminum Cast Letter  |
| 16520.A1  | Wall Mounted Exterior Light Fixture   |



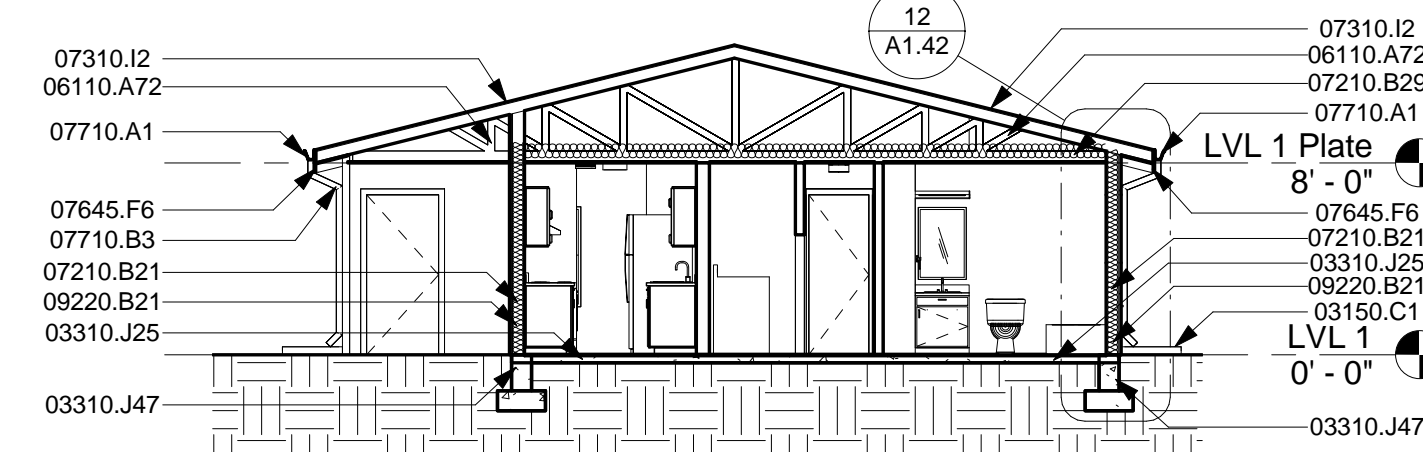
12 Section 5 - Callout 2  
1/2" = 1'-0"



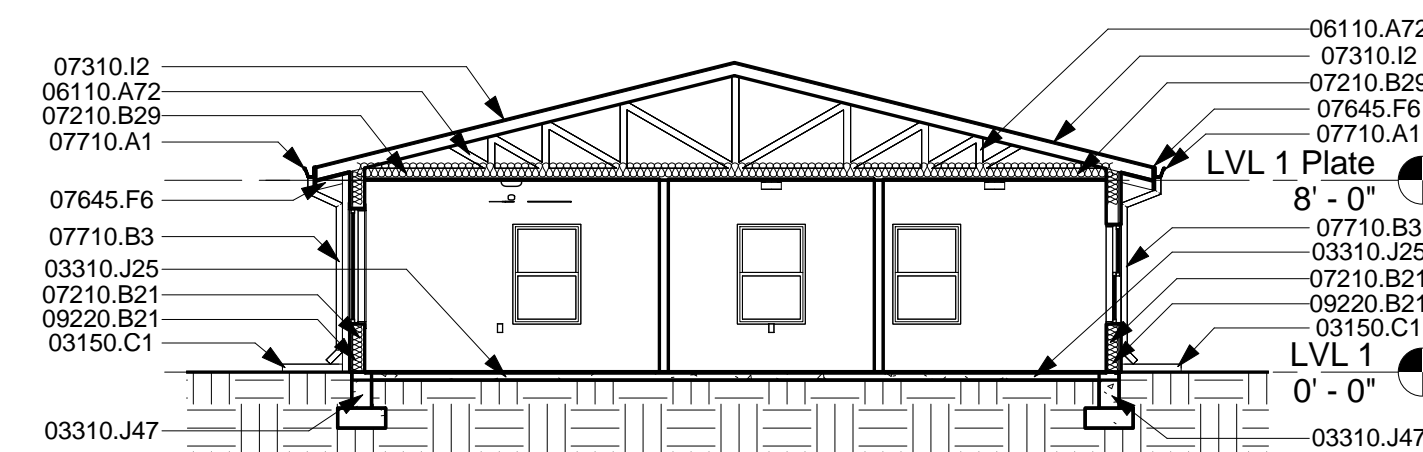
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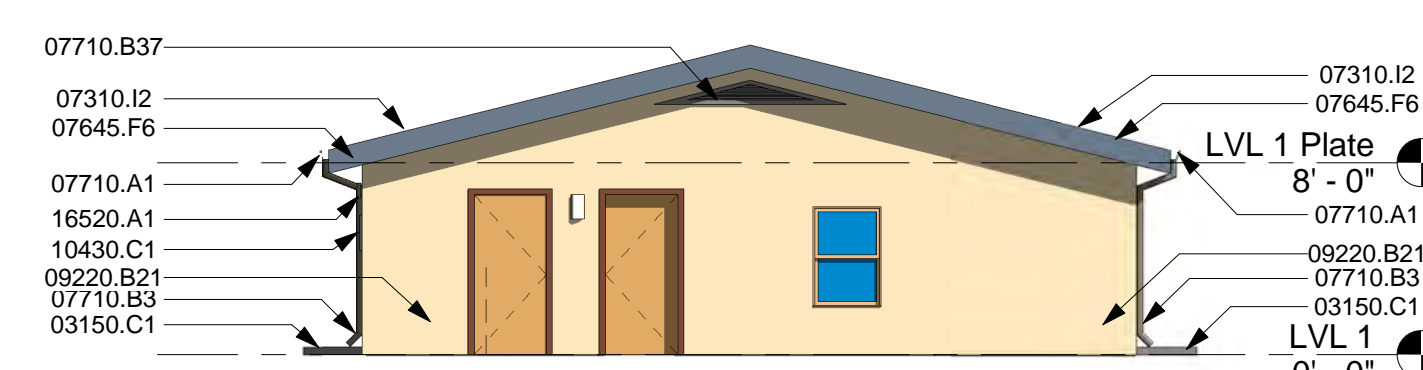
10 Section 6  
1/8" = 1'-0"



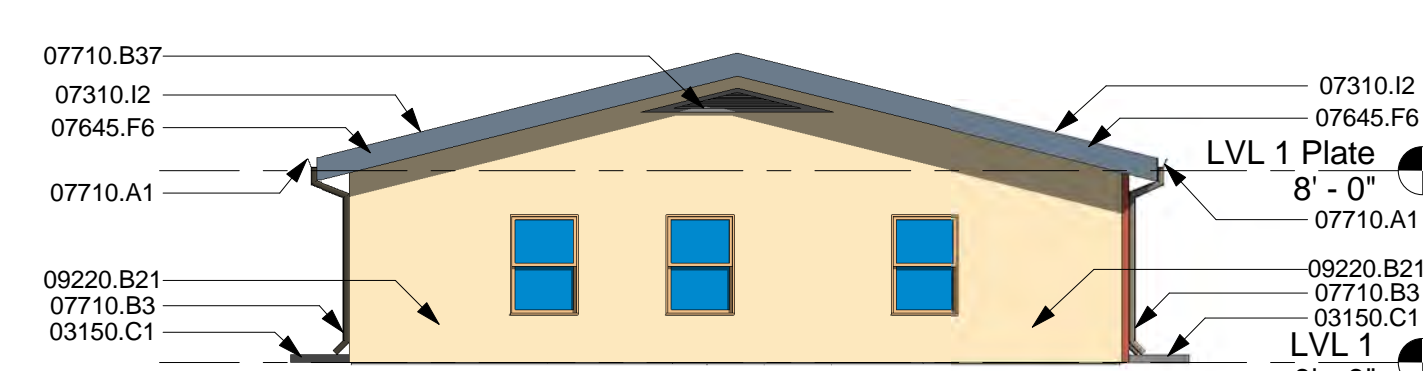
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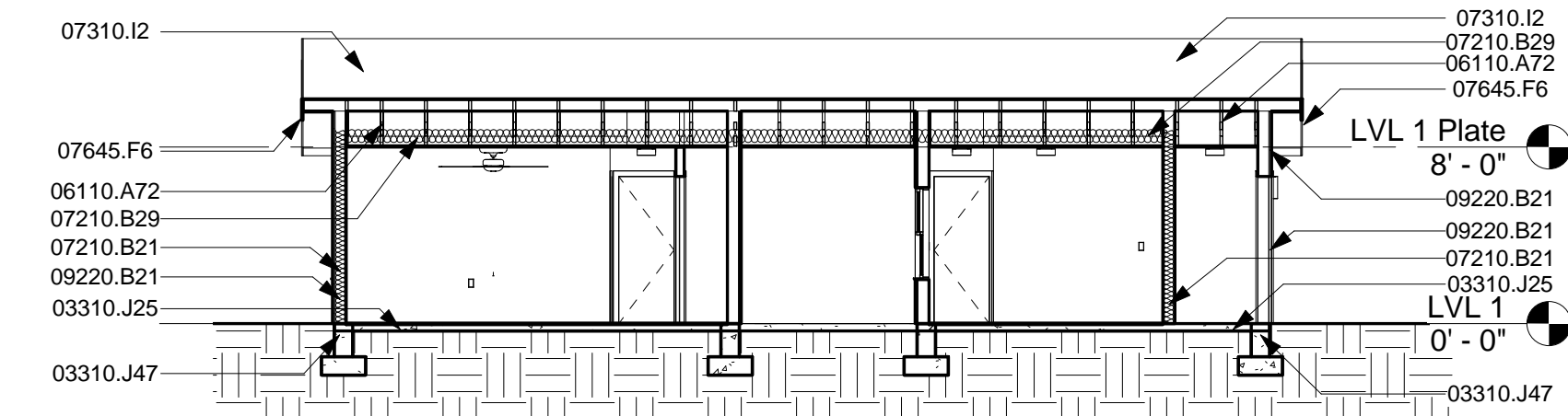
8 Section 4  
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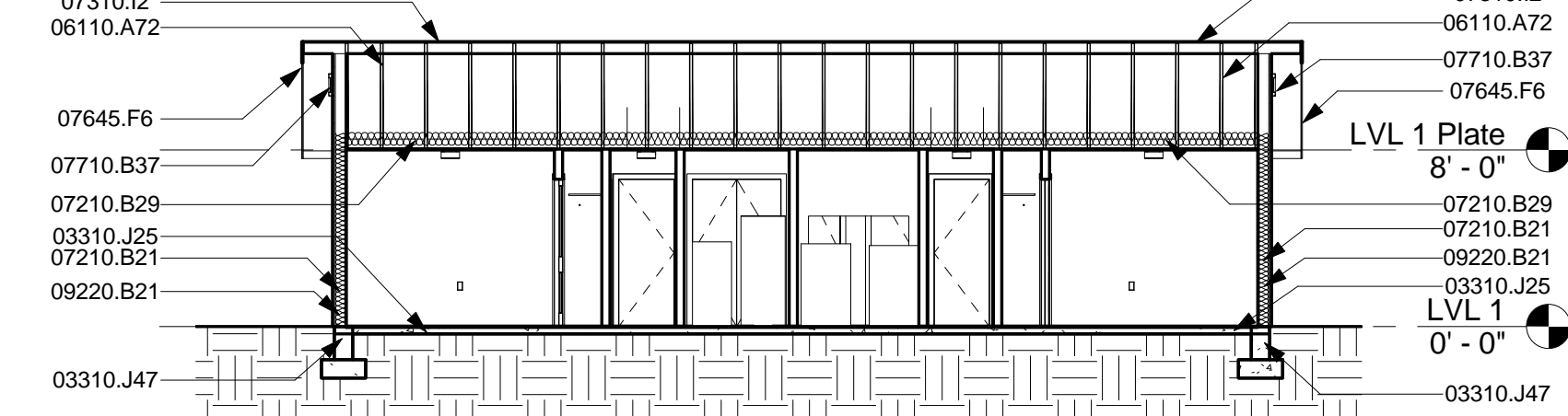
1 Side Elevation 1  
1/8" = 1'-0"



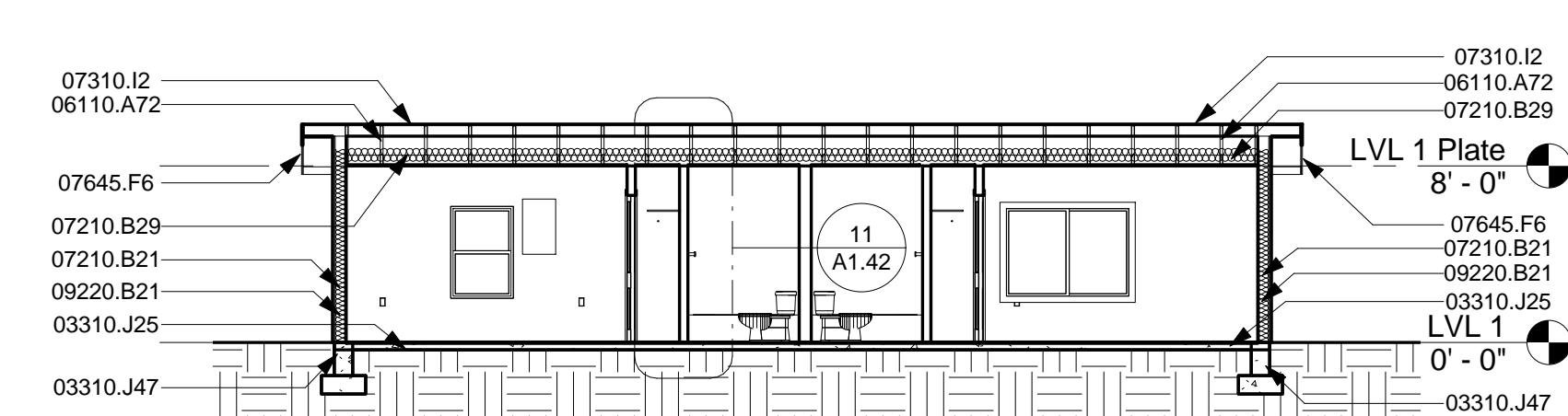
2 Side Elevation 2  
1/8" = 1'-0"



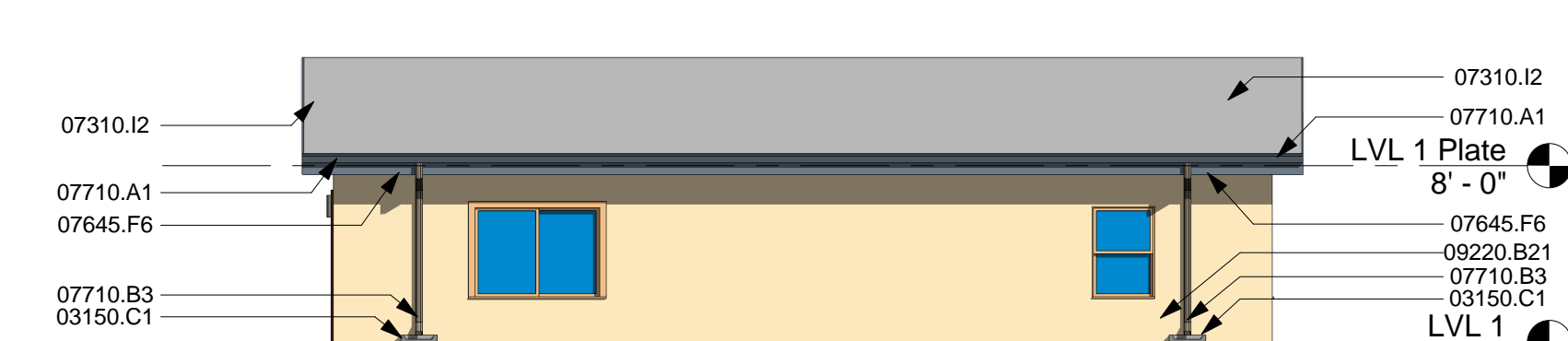
7 Section 3  
1/8" = 1'-0"



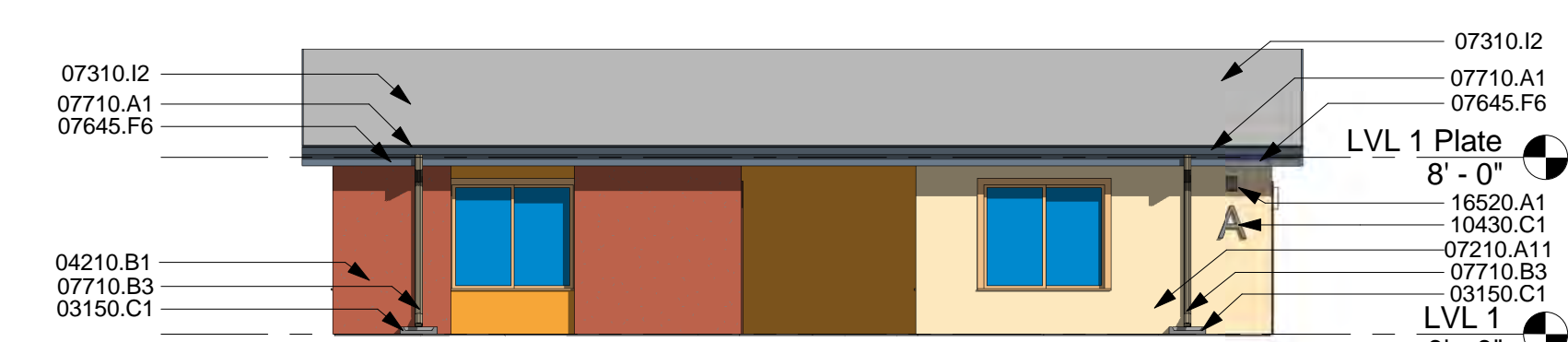
6 Section 2  
1/8" = 1'-0"



5 Section 1  
1/8" = 1'-0"



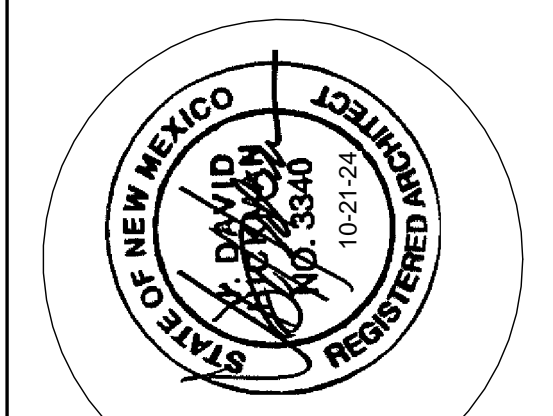
3 Rear Elevation  
1/8" = 1'-0"



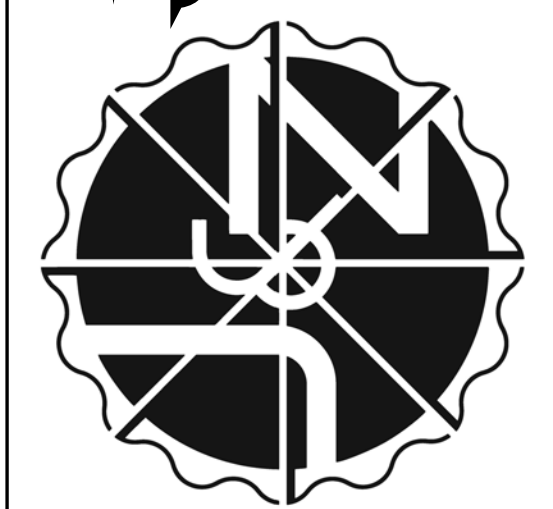
4 Front Elevation  
1/8" = 1'-0"

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easy as pie



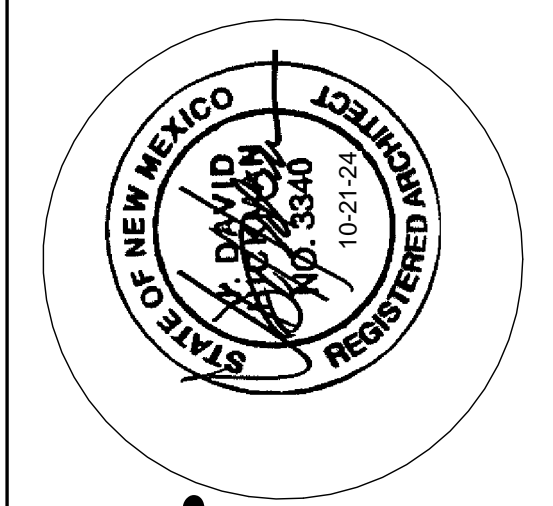
**JEEBS & ZUZU, LLC.**  
**Architecture  
 Construction  
 Design-Build**  
 5924 ANAHEIM AVENUE SUITE A  
 ALBUQUERQUE, NM 87113  
 P. 505-797-1318



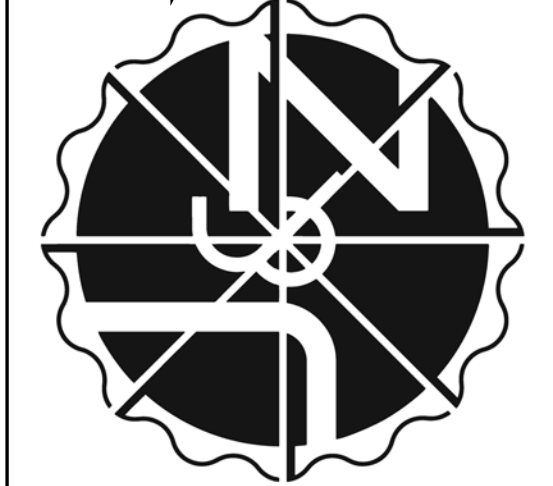
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**drawn:** EAM  
**checked:** J&Z  
**date:** Oct. 21, 2024

**BUILDING TYP. 1 - ELEVATION & SECTION**  
**CASTAS DEL CAMINO**  
 60th Street NW  
 Albuquerque, NM 87105  
 sheet no: **A1.42**

easy as pie



**JEEBS & ZUZU, LLC.**  
**Architecture**  
**Construction**  
**Design-Build**



**job no:** 23-019  
**drawn:** EAM  
**checked:** J&Z  
**date:** Oct. 21, 2024

**CASITAS DEL CAMINO**  
 60th Street NW  
 Albuquerque NM 87105

www.jeebsandzuzu.com

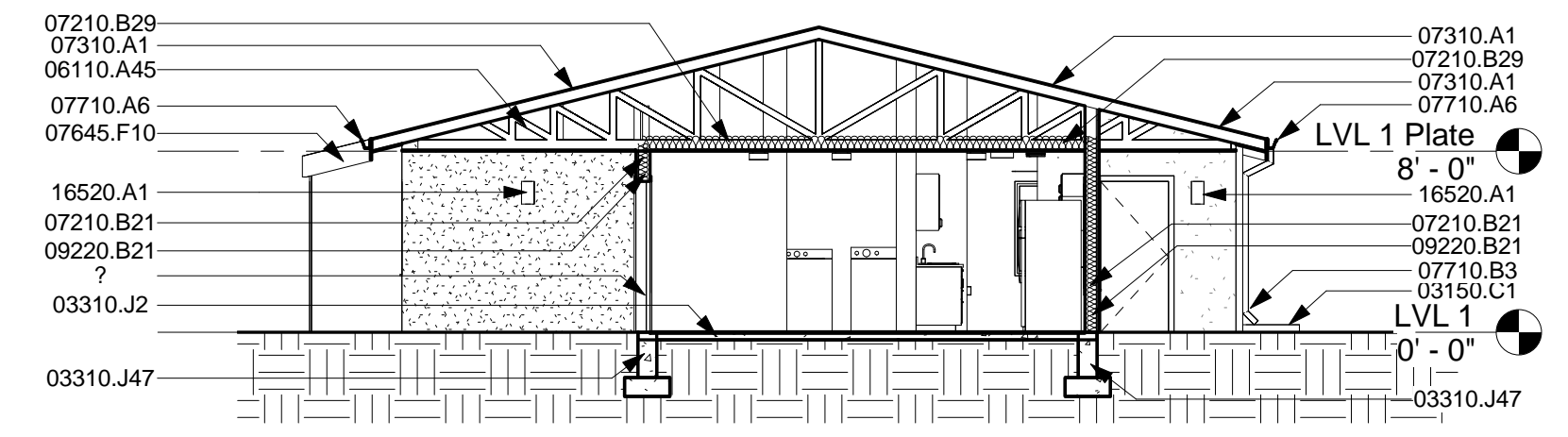
BUILDING TYP. 5 - ELEVATIONS & SECTIONS

sheet no:  
**A1.52**

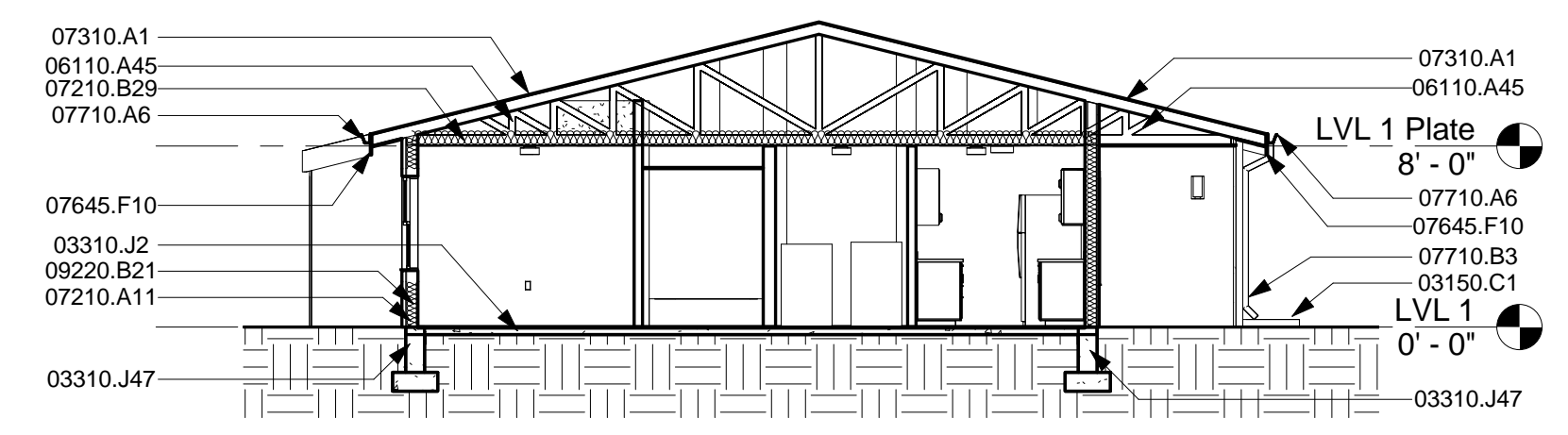
| Keynotes: |   |
|-----------|---|
| Key Value | Keynote Text  |
| 03150.C1  | Standard Prefab Concrete Splash Block   |
| 03310.J2  | Existing Slab   |
| 03310.J47 | Existing Concrete Foundation to Remain  |
| 04210.B1  | Existing Brick Exterior Structure to Remain                                   |
| 06110.A45 | Existing Pre-Manufactured Roof Truss @ 24" O.C.                               |
| 07210.A11 | Insulated 2x6 Exterior Wall W/ R-19 Batt                                      |
| 07210.B21 | Existing Insulation To Remain   |
| 07210.B29 | Add Blown In Fiberglass Insulation For Roof To Meet R38                       |
| 07310.A1  | Asphalt Shingle Roof  |
| 07645.F10 | 1/2" Existing Textured Hardboard Fascia                                       |
| 07710.A6  | Gutters At Perimeter  |
| 07710.B3  | Downspout   |
| 07710.B37 | Gable End Vent - Install Per Manufacturers Specifications and Recommendations |
| 08210.D1  | Door As Per Schedule  |
| 09220.B21 | Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls   |
| 10430.C1  | Aluminum Cast Letter  |
| 16520.A1  | Wall Mounted Exterior Light Fixture   |

| MATERIAL SURFACE AREAS: |               |               |               |               |
|-------------------------|---------------|---------------|---------------|---------------|
| STUCCO                  | FRONT         | REAR          | SIDE 1        | SIDE 2        |
| COLOR #1 - RED          | 256 SF        | 0 SF          | 237 SF        | 0 SF          |
| COLOR #2 - TAN          | 62 SF         | 351 SF        | 157 SF        | 392 SF        |
| COLOR #3 - GREEN        | 203 SF        | 83 SF         | 0 SF          | 0 SF          |
| COLOR #4 - ORANGE       | 10 SF         | 107 SF        | 32 SF         | 32 SF         |
| <b>TOTAL</b>            | <b>531 SF</b> | <b>521 SF</b> | <b>426 SF</b> | <b>424 SF</b> |

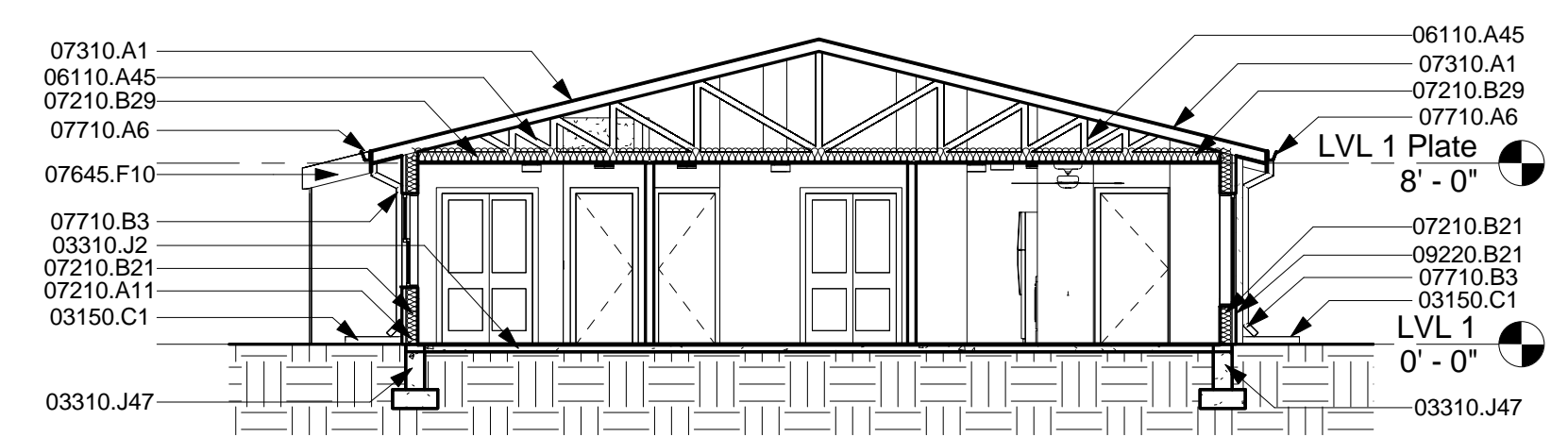
- REHABILITATION BUILDING EXTERIOR SCOPE OF WORK:**
1. Improve building envelope to reduce air infiltration. Caulk and seal all cracks and joints. Patch and repair damaged stucco.
  2. Replace exterior doors and windows with new high efficient materials.
  3. Repair all roof penetrations, seal openings. Reroof buildings as required to achieve required warranties.
  4. Renovate/improve interiors. Replace all finishes and furnishings.
  5. Replace all cabinetry and countertops.
  6. Replace all interior doors.
  7. Repair any dry-wall damages, patch and paint ceilings and walls.
  8. Replace flooring.
  9. Replace shelving throughout.
  10. Replace all lighting with high efficient LED fixtures.
  11. Replace appliances with Energy Star certified appliances.
  12. Replace plumbing fixtures and trim with high efficient and low flow fixtures. Toilets to be 1.28 gpm, showerheads to be 2.0 gpm, kitchen faucet to be 1.2 gpm, bathroom faucet to be 1.0 gpm.
  13. Replace existing furnaces with high efficient equipment.
  14. Replace existing water heaters with high efficient appliances.
  15. Replace existing evaporative cooler units.
  16. Complete final HERS testing to ensure renovated units achieve maximum HERS score of 65.
  17. Sites and units shall include wiring to allow for high-speed broadband internet, telephone, and cable/satellite television.



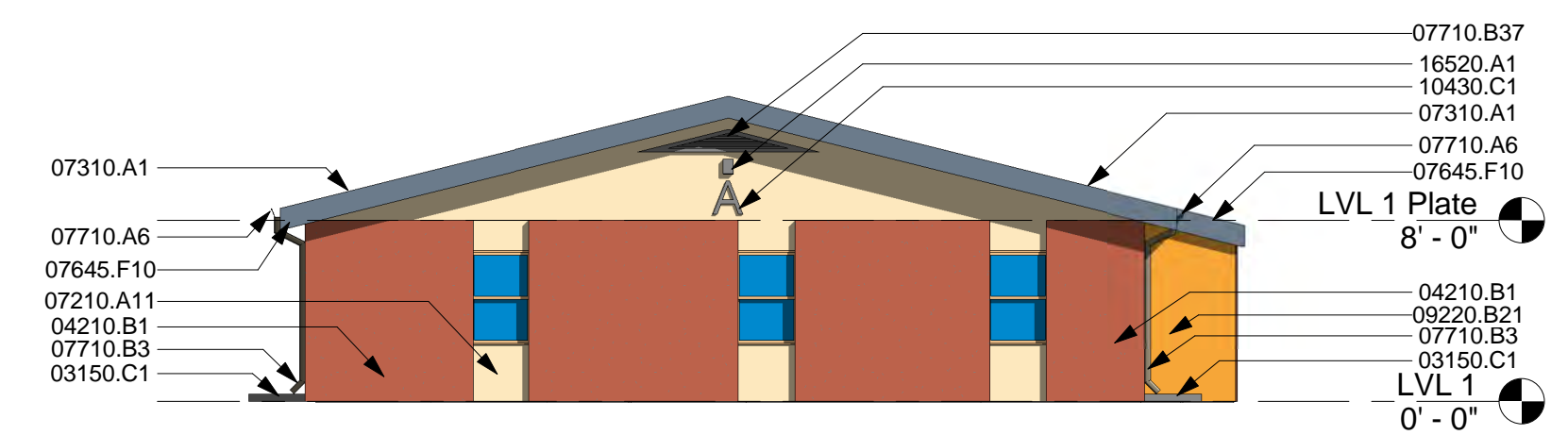
7 Section 3  
1/8" = 1'-0"



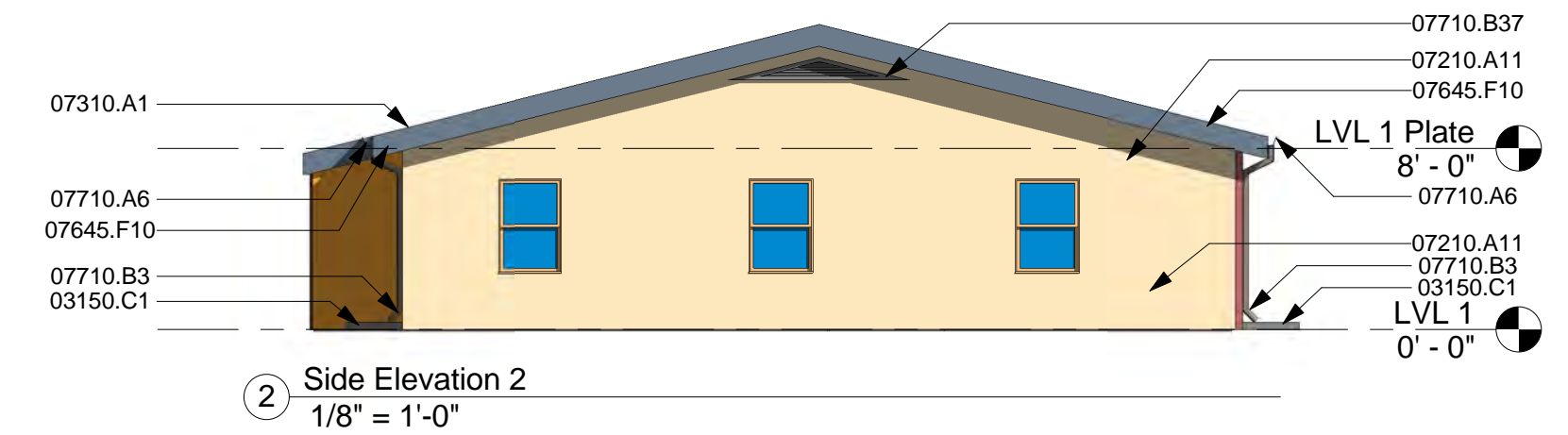
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1/8" = 1'-0"



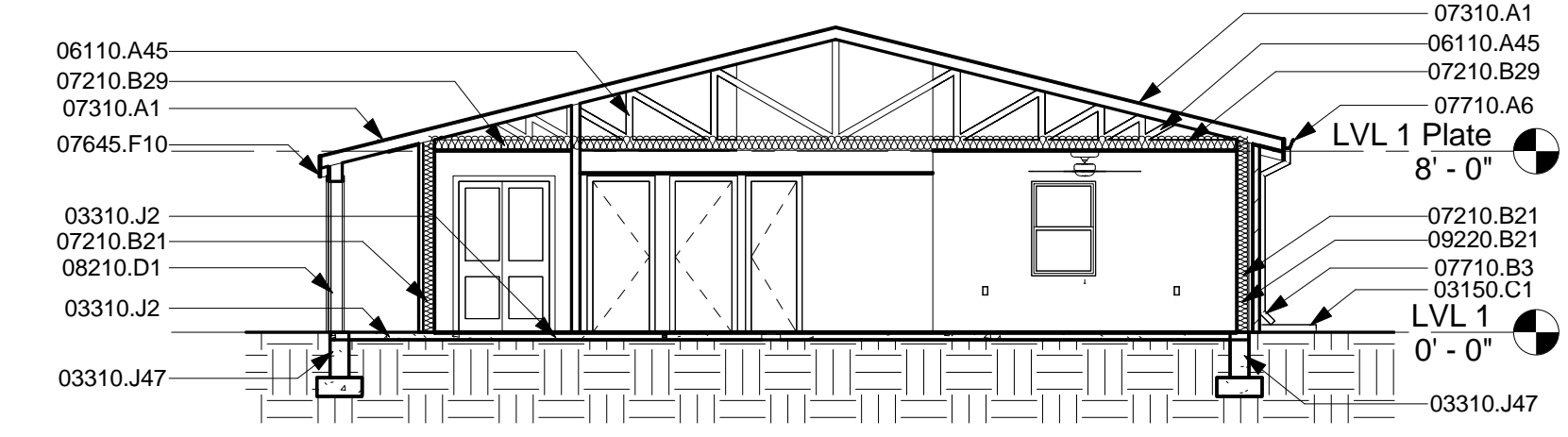
5 Section 1  
1/8" = 1'-0"



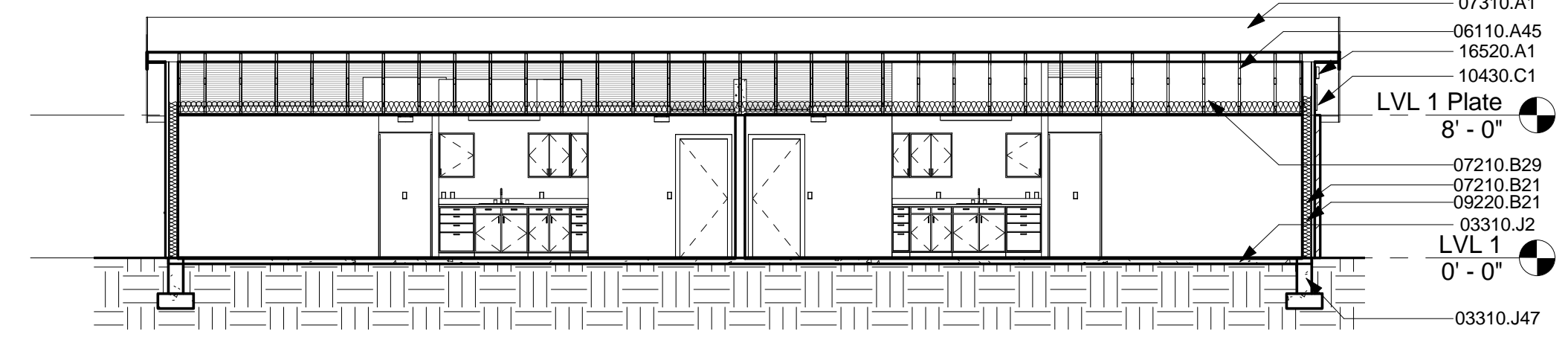
1 Side Elevation 1  
1/8" = 1'-0"



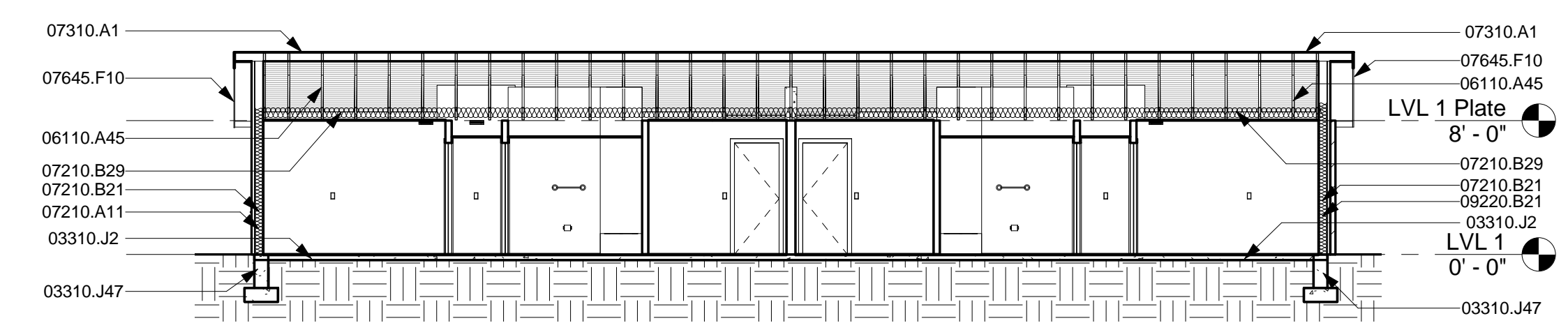
2 Side Elevation 2  
1/8" = 1'-0"



8 Section 4  
1/8" = 1'-0"



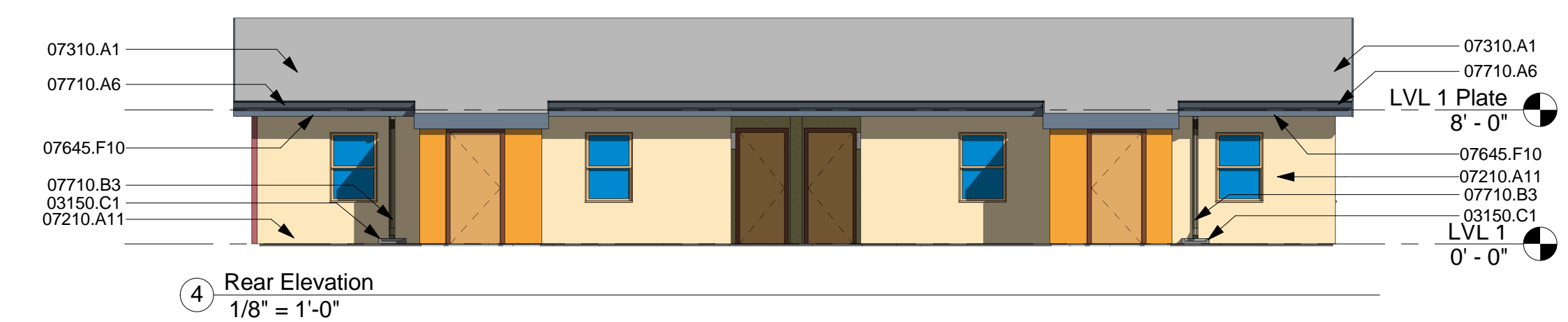
10 Section 6  
1/8" = 1'-0"



9 Section 5  
1/8" = 1'-0"



3 Front Elevation  
1/8" = 1'-0"



4 Rear Elevation  
1/8" = 1'-0"

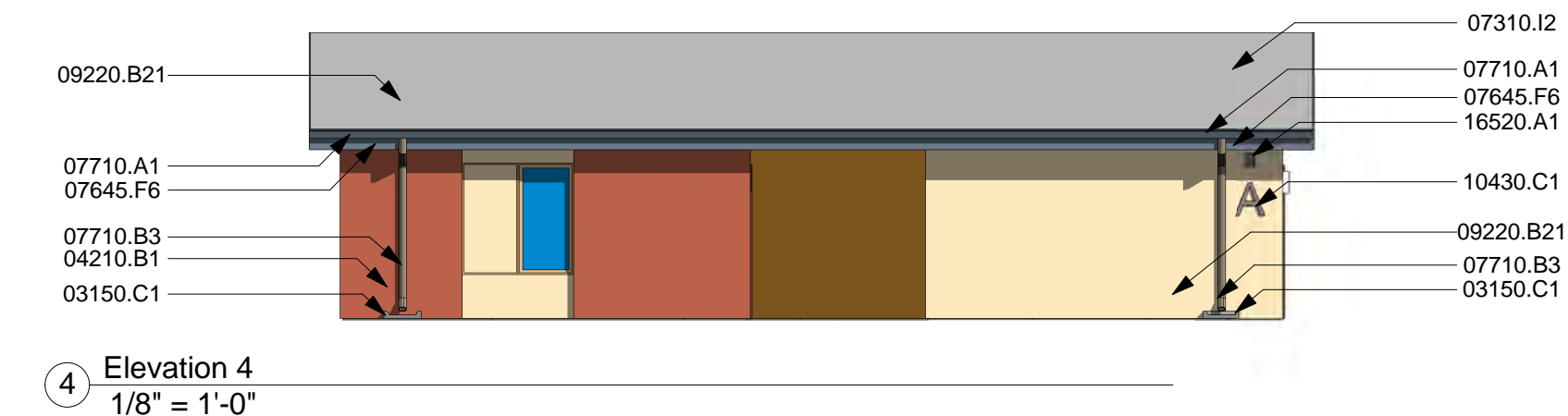
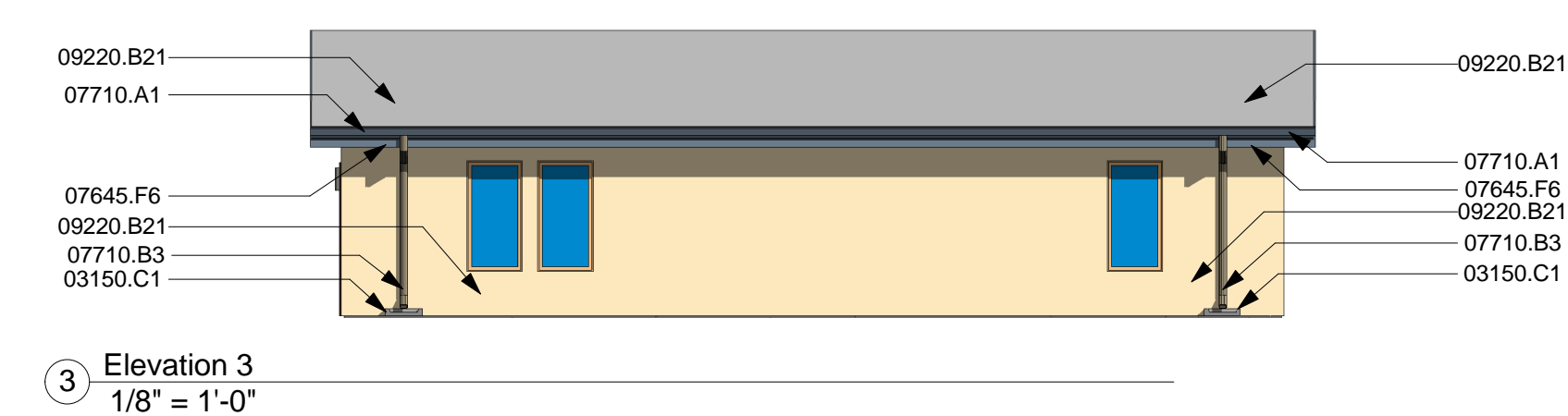
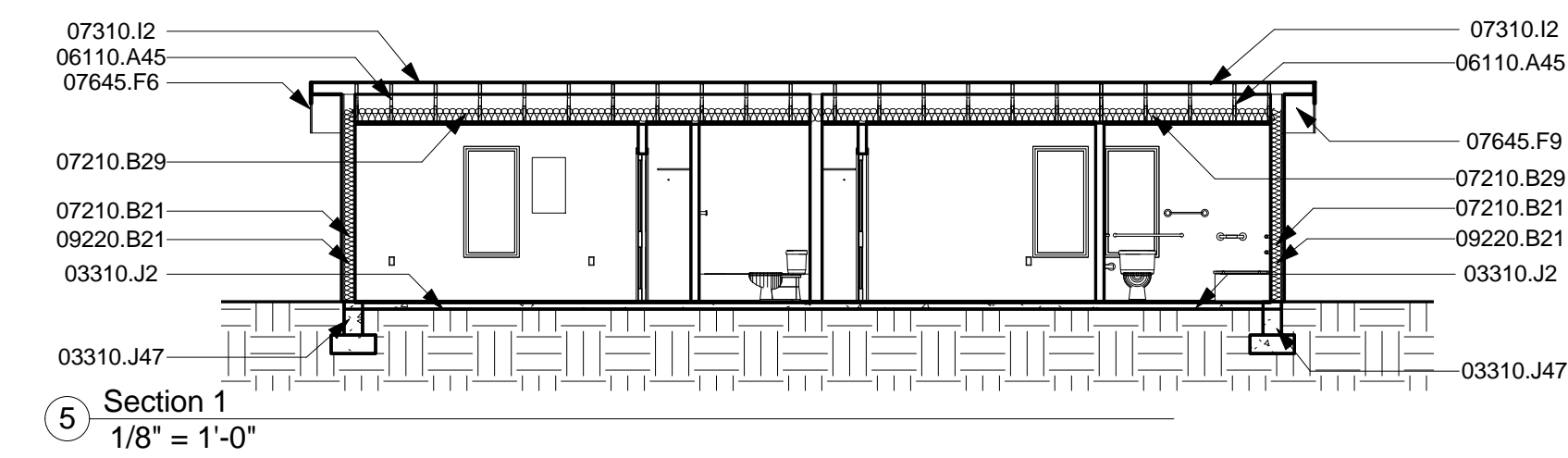
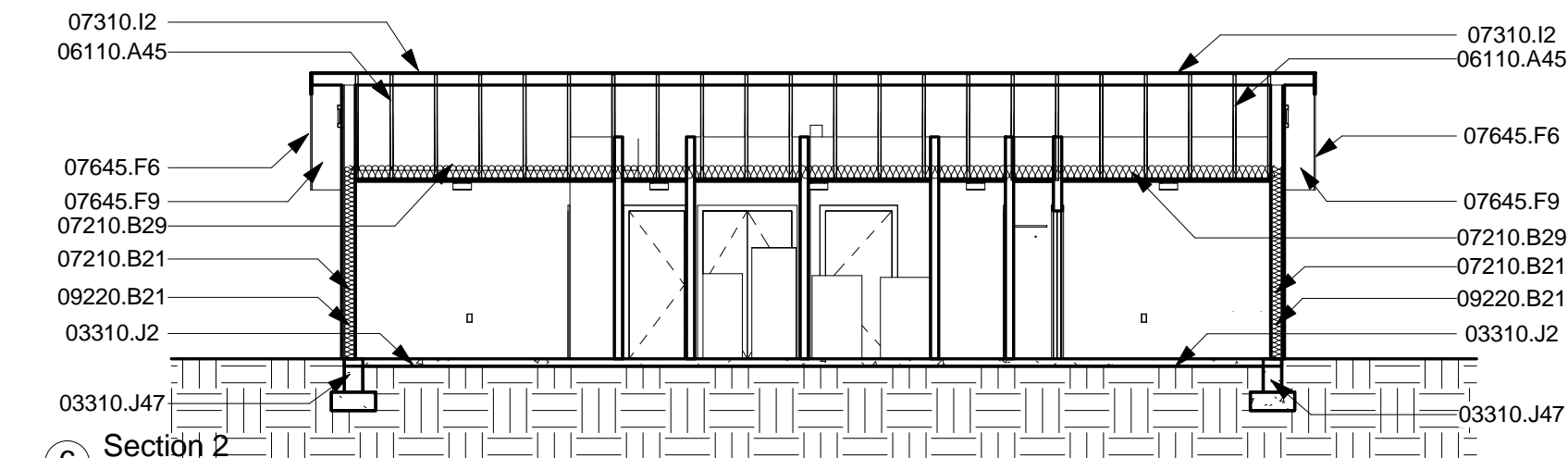
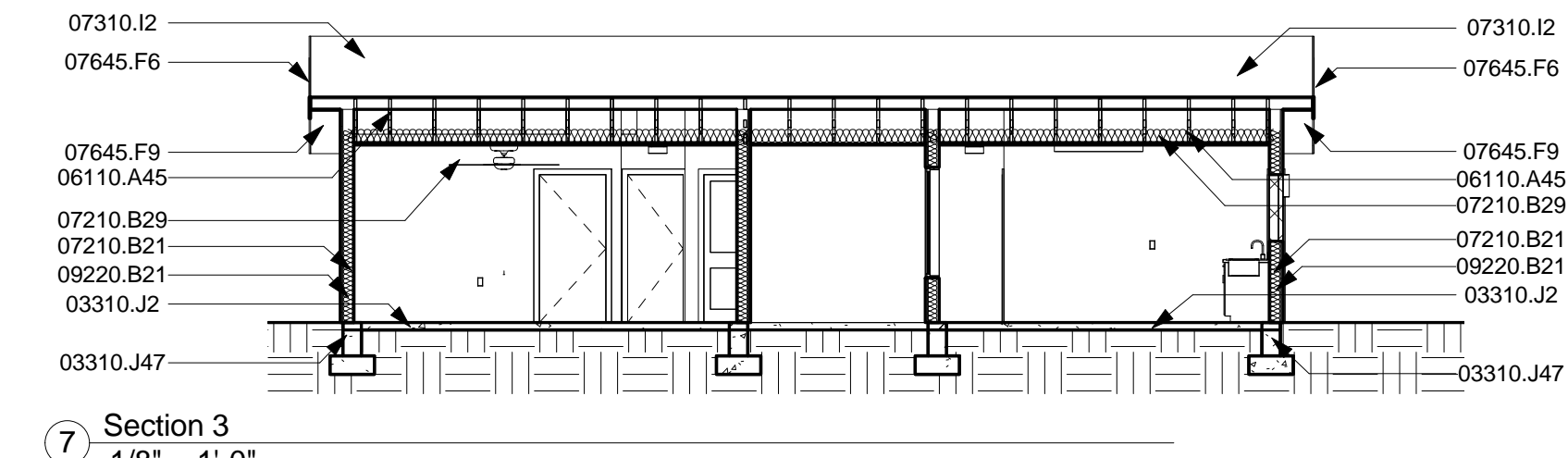
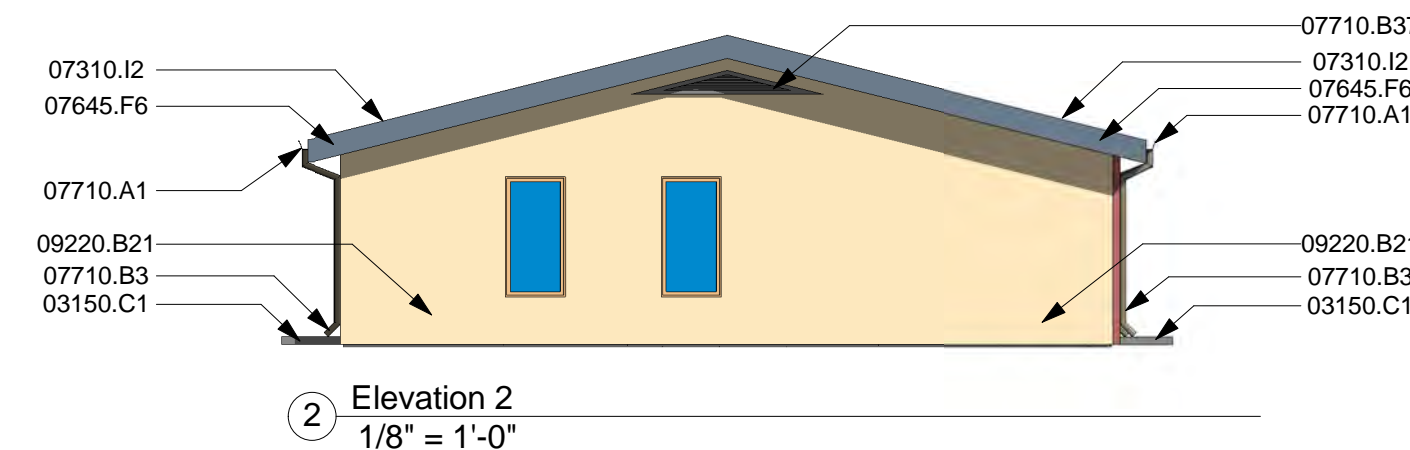
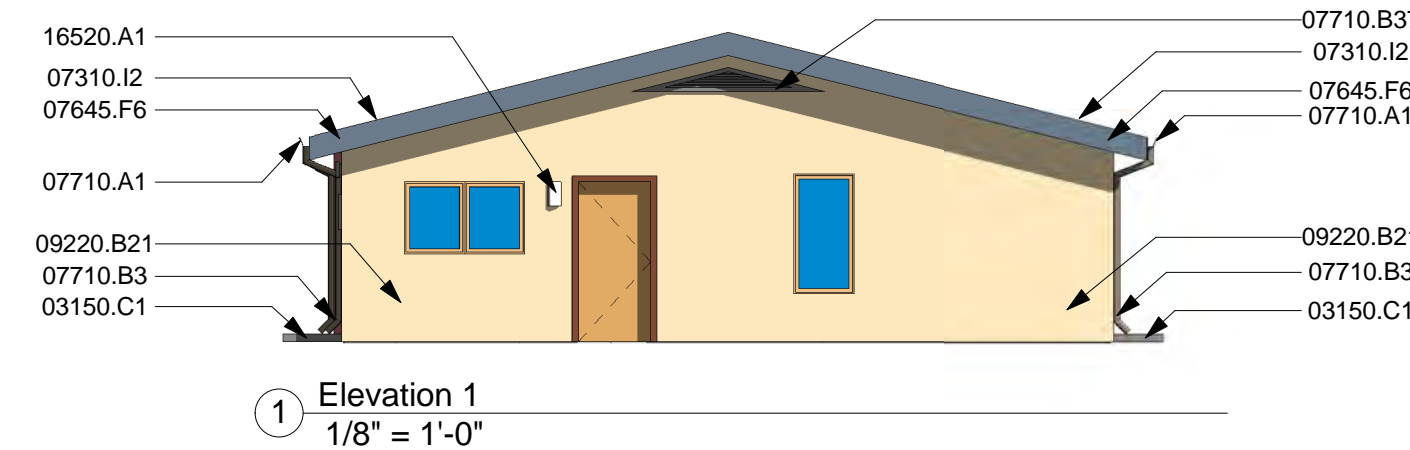
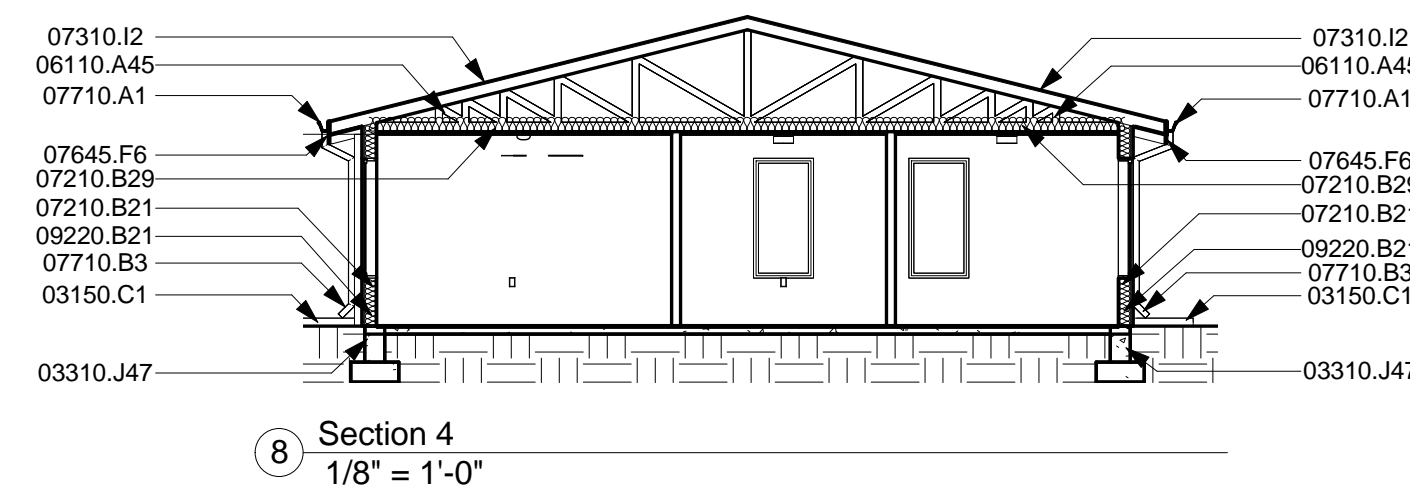
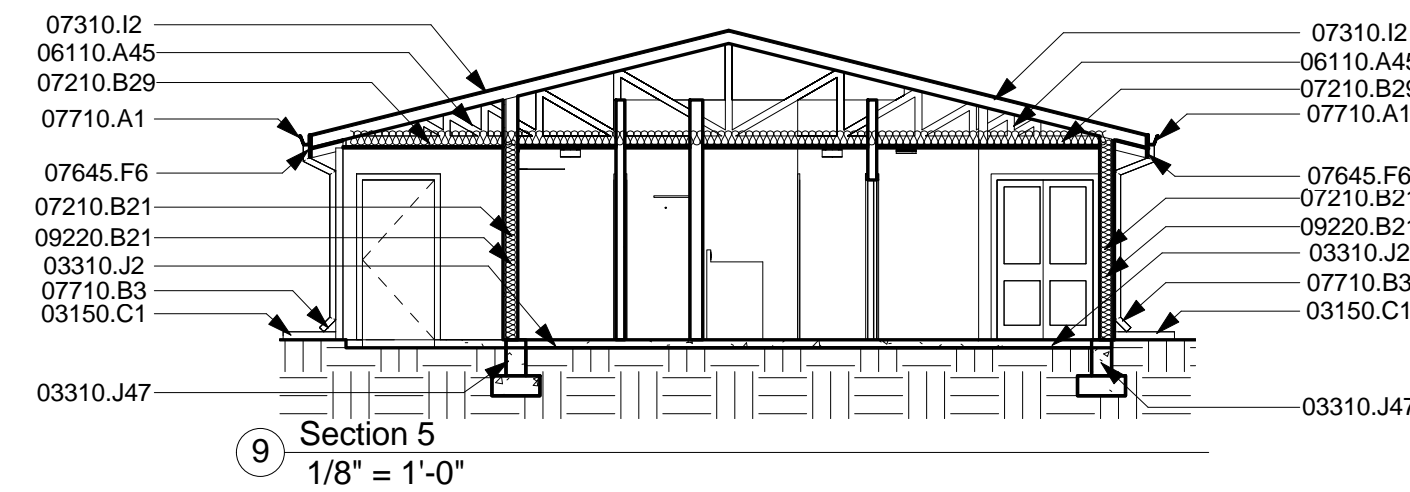
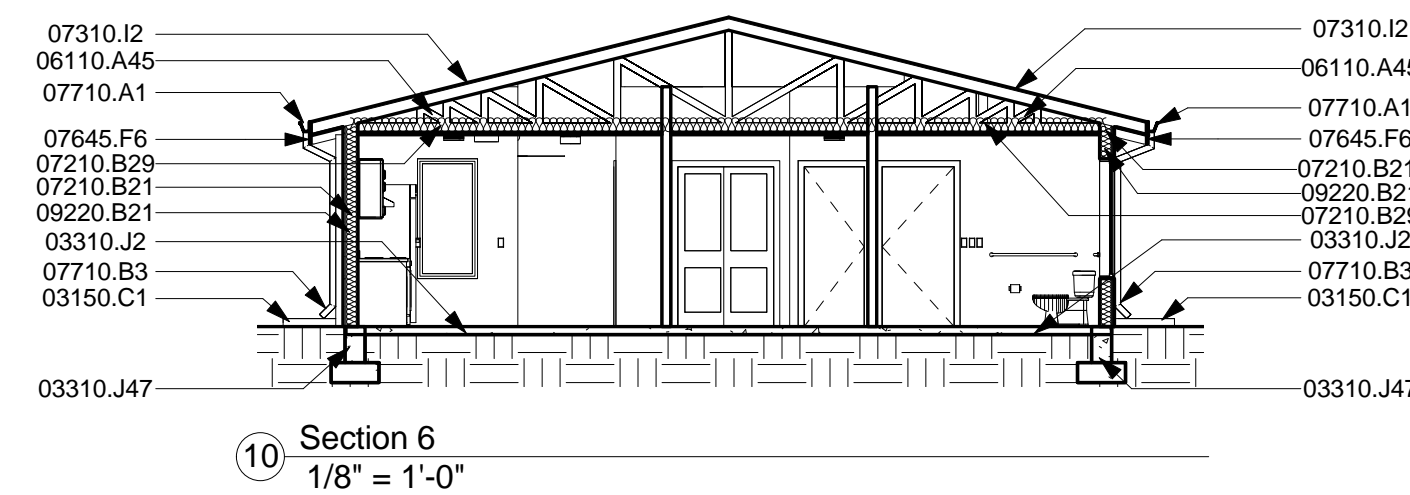
**REHABILITATION  
BUILDING EXTERIOR SCOPE OF WORK:**

1. Improve building envelope to reduce air infiltration. Caulk and seal all cracks and joints. Patch and repair damaged stucco.
2. Replace exterior doors and windows with new high efficient materials.
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4. Renovate/improve interiors. Replace all finishes and furnishings.
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13. Replace existing furnaces with high efficient equipment.
14. Replace existing water heaters with high efficient appliances
15. Replace existing evaporative cooler units
16. Complete final HERS testing to ensure renovated units achieve maximum HERS score of 65.
17. Sites and units shall include wiring to allow for high-speed broadband internet, telephone, and cable/satellite television.

**MATERIAL SURFACE AREAS:**

| STUCCO            | FRONT  | REAR   | SIDE 1 | SIDE 2 |
|-------------------|--------|--------|--------|--------|
| COLOR #1 - RED    | 107 SF | 0 SF   | 0 SF   | 0 SF   |
| COLOR #2 - TAN    | 134 SF | 354 SF | 334 SF | 334 SF |
| COLOR #3 - GREEN  | 0 SF   | 0 SF   | 0 SF   | 0 SF   |
| COLOR #4 - ORANGE | 112 SF | 0 SF   | 0 SF   | 0 SF   |
| TOTAL             | 353 SF | 354 SF | 334 SF | 334 SF |

| Keynotes: |   |
|-----------|---|
| Key Value | Keynote Text  |
| 03150.C1  | Standard Prefab Concrete Splash Block   |
| 03310.J2  | Existing Slab   |
| 03310.J47 | Existing Concrete Foundation to Remain  |
| 04210.B1  | Existing Brick Exterior Structure to Remain                                   |
| 06110.A45 | Existing Pre-Manufactured Roof Truss @ 24" O.C.                               |
| 07210.B21 | Existing Insulation To Remain   |
| 07210.B29 | Add Blown In Fiberglass Insulation For Roof To Meet R38                       |
| 07310.I2  | Existing Asphalt Shingle Roof   |
| 07645.F6  | 1/2" Textured Hardboard Fascia  |
| 07645.F9  | 1/2" Textured Hardboard Roof Soffit   |
| 07710.A1  | Gutter  |
| 07710.B3  | Downspout   |
| 07710.B37 | Gable End Vent - Install Per Manufacturers Specifications and Recommendations |
| 09220.B21 | Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls   |
| 10430.C1  | Aluminum Cast Letter  |
| 16520.A1  | Wall Mounted Exterior Light Fixture   |



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 ALBUQUERQUE, NM 87113  
 P: 505-797-1318



**job no:** 23-019  
**drawn:** EB  
**checked:** J&Z  
**date:** Oct. 21, 2024

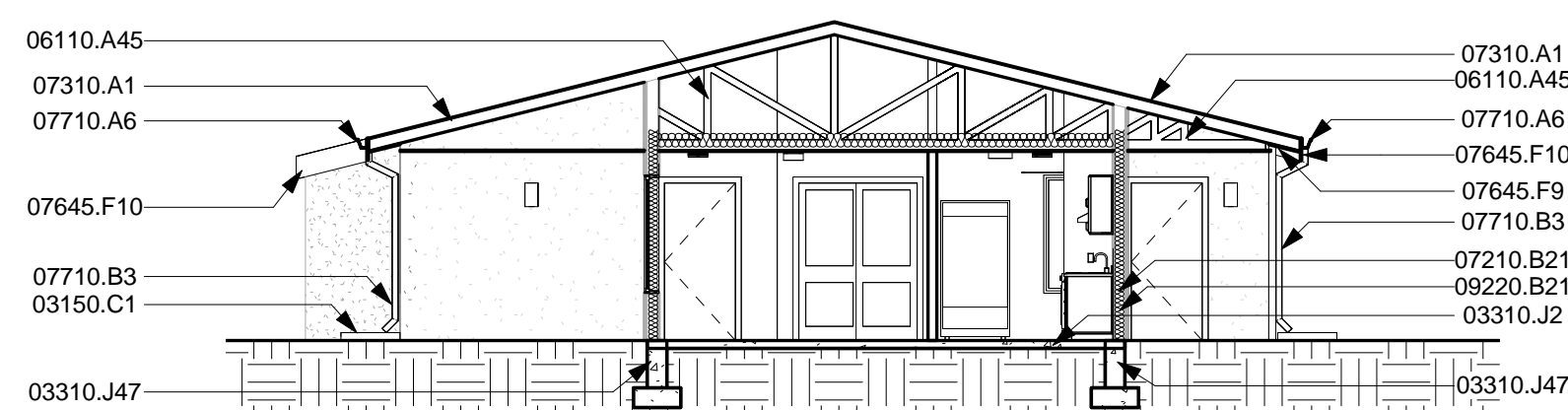
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**CASTAS DEL CAMINO**  
 BUILDING TYP. 6 - ELEVATION & SECTION  
 60th Street NW  
 Albuquerque, NM 87105  
 sheet no: **A1.62**

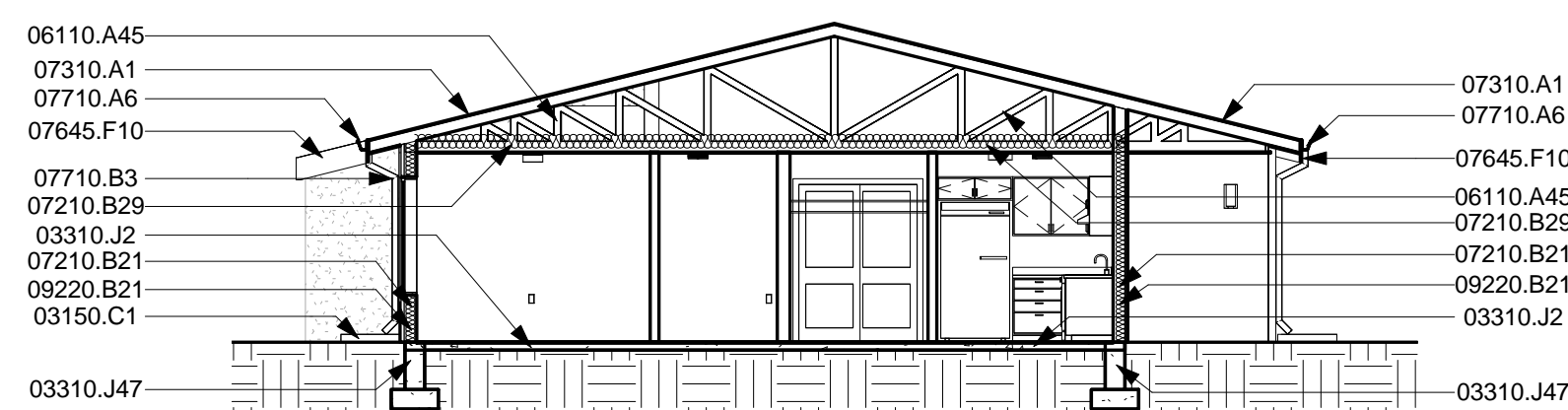
| Keynotes: |   |
|-----------|---|
| Key Value | Keynote Text  |
| 03150.C1  | Standard Prefab Concrete Splash Block   |
| 03310.J2  | Existing Slab   |
| 03310.J47 | Existing Concrete Foundation to Remain  |
| 04210.B1  | Existing Brick Exterior Structure to Remain                                   |
| 06110.A45 | Existing Pre-Manufactured Roof Truss @ 24" O.C.                               |
| 07210.A11 | Insulated 2x6 Exterior Wall W/ R-19 Batt                                      |
| 07210.B21 | Existing Insulation To Remain   |
| 07210.B29 | Add Blown In Fiberglass Insulation For Roof To Meet R38                       |
| 07310.A1  | Asphalt Shingle Roof  |
| 07645.F9  | 1/2" Textured Hardboard Roof Soffit   |
| 07645.F10 | 1/2" Existing Textured Hardboard Fascia                                       |
| 07710.A6  | Gutters At Perimeter  |
| 07710.B3  | Downspout   |
| 07710.B37 | Gable End Vent - Install Per Manufacturers Specifications and Recommendations |
| 09220.B21 | Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls   |
| 10430.C1  | Aluminum Cast Letter  |
| 16520.A1  | Wall Mounted Exterior Light Fixture   |

MATERIAL SURFACE AREAS:

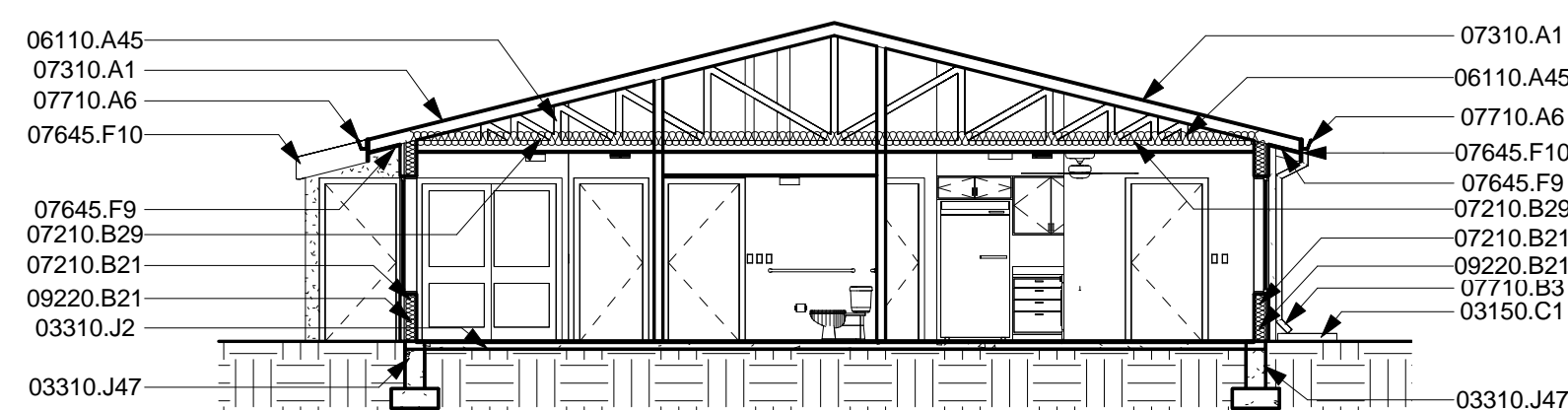
| STUCCO COLOR #1 - RED | FRONT  | REAR   | SIDE 1 | SIDE 2 |
|-----------------------|--------|--------|--------|--------|
|                       | 256 SF | 0 SF   | 237 SF | 0 SF   |
| COLOR #2 - TAN        | 62 SF  | 351 SF | 157 SF | 392 SF |
| COLOR #3 - GREEN      | 203 SF | 63 SF  | 0 SF   | 0 SF   |
| COLOR #4 - ORANGE     | 10 SF  | 107 SF | 32 SF  | 32 SF  |
| TOTAL                 | 531 SF | 521 SF | 426 SF | 424 SF |



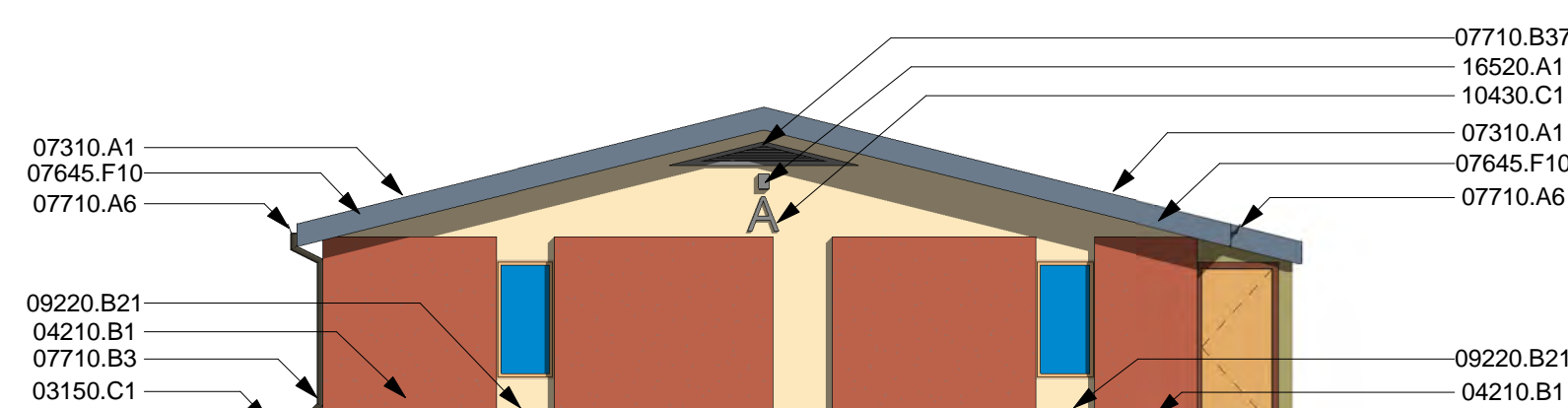
7 Section 3  
1/8" = 1'-0"



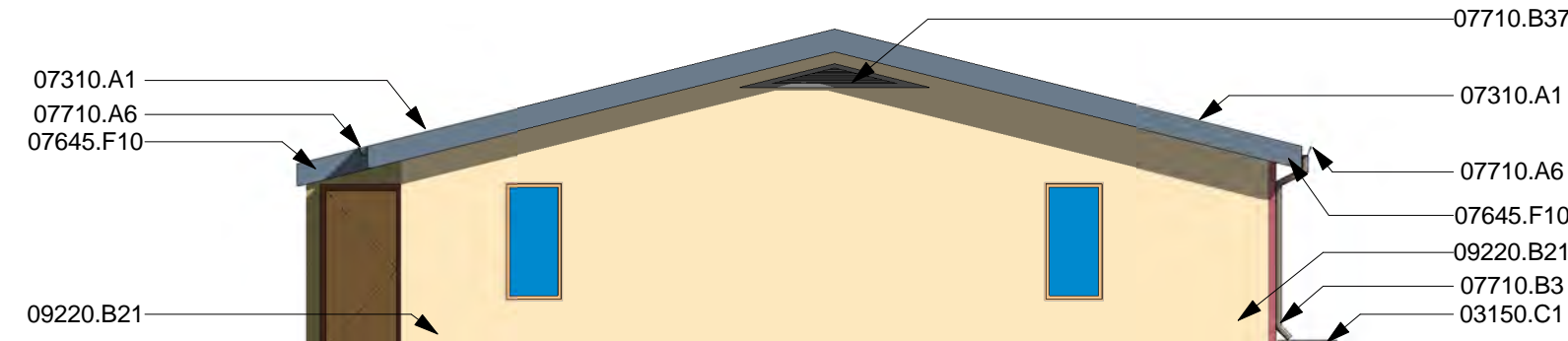
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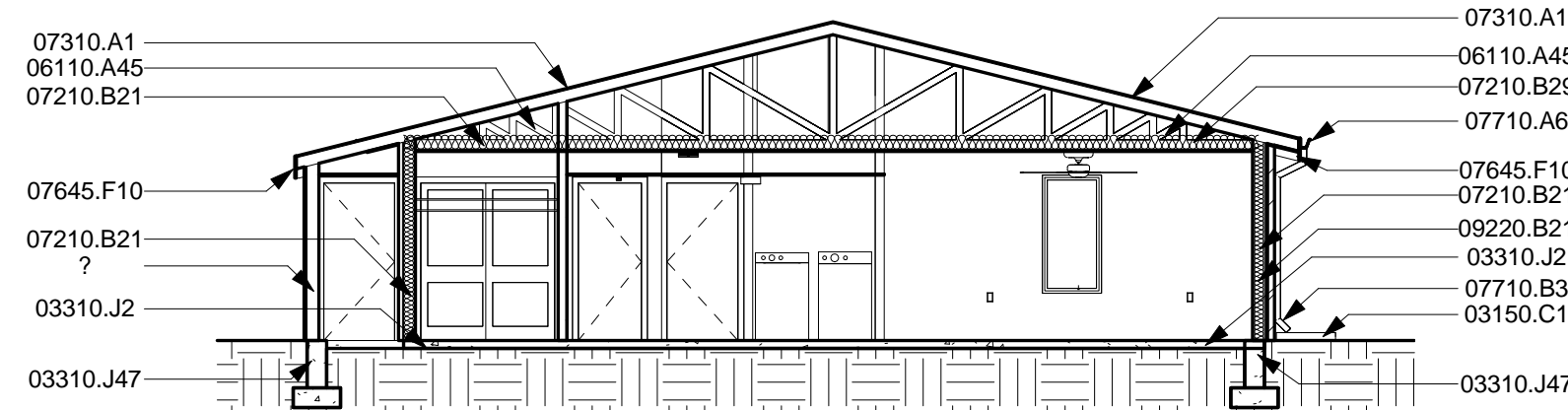
5 Section 1  
1/8" = 1'-0"



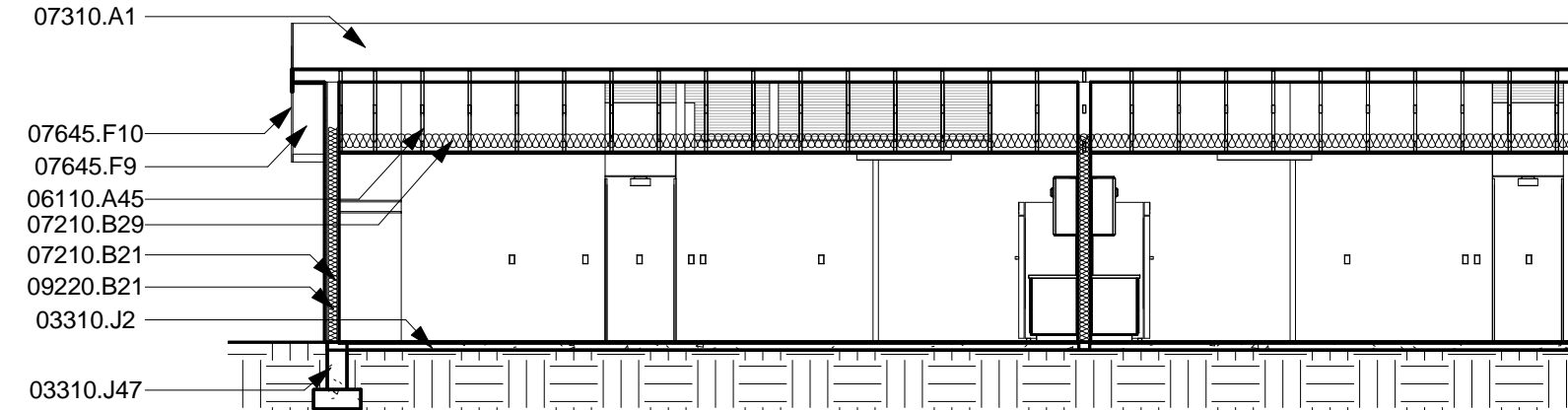
1 Elevation 1  
1/8" = 1'-0"



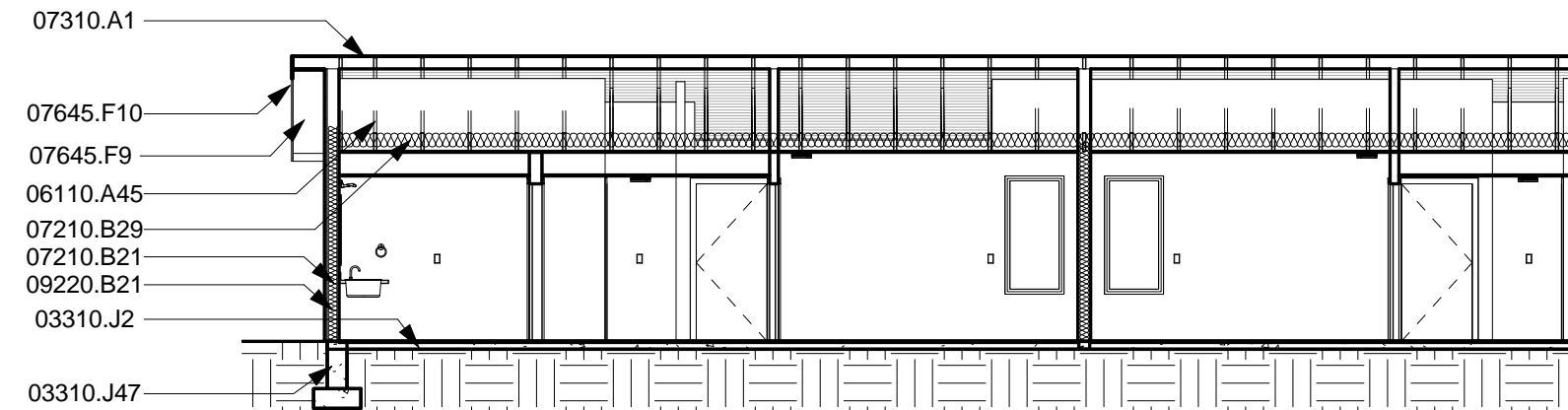
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1/8" = 1'-0"



8 Section 4  
1/8" = 1'-0"



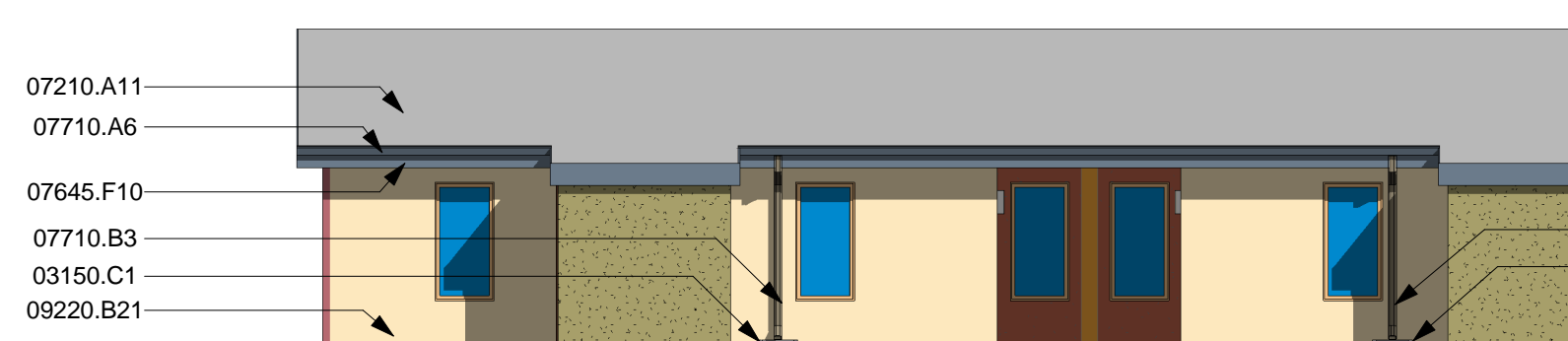
10 Section 6  
1/8" = 1'-0"



9 Section 5  
1/8" = 1'-0"

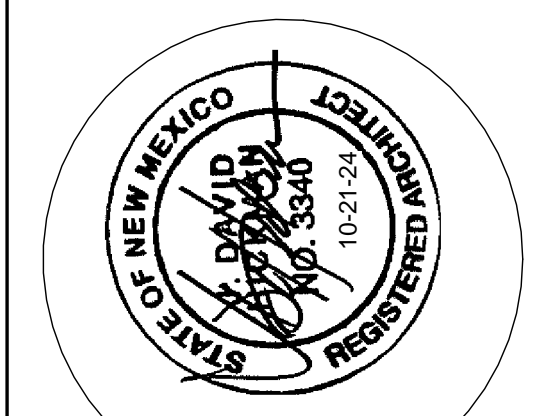


3 Elevation 2  
1/8" = 1'-0"

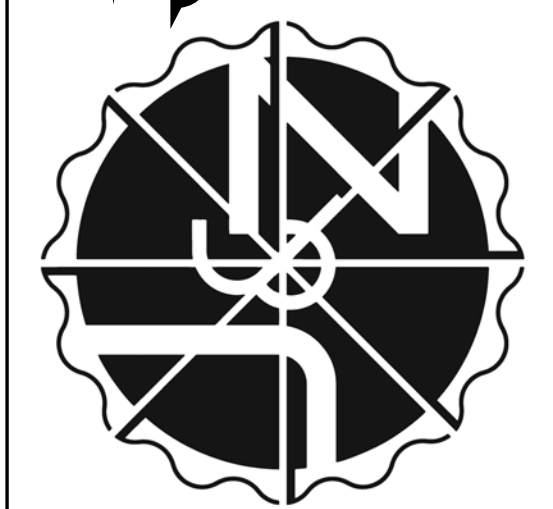


4 Elevation 3  
1/8" = 1'-0"

easy as pie



**JEEBS & ZUZU, LLC.**  
 Architecture  
 Construction  
 Design-Build



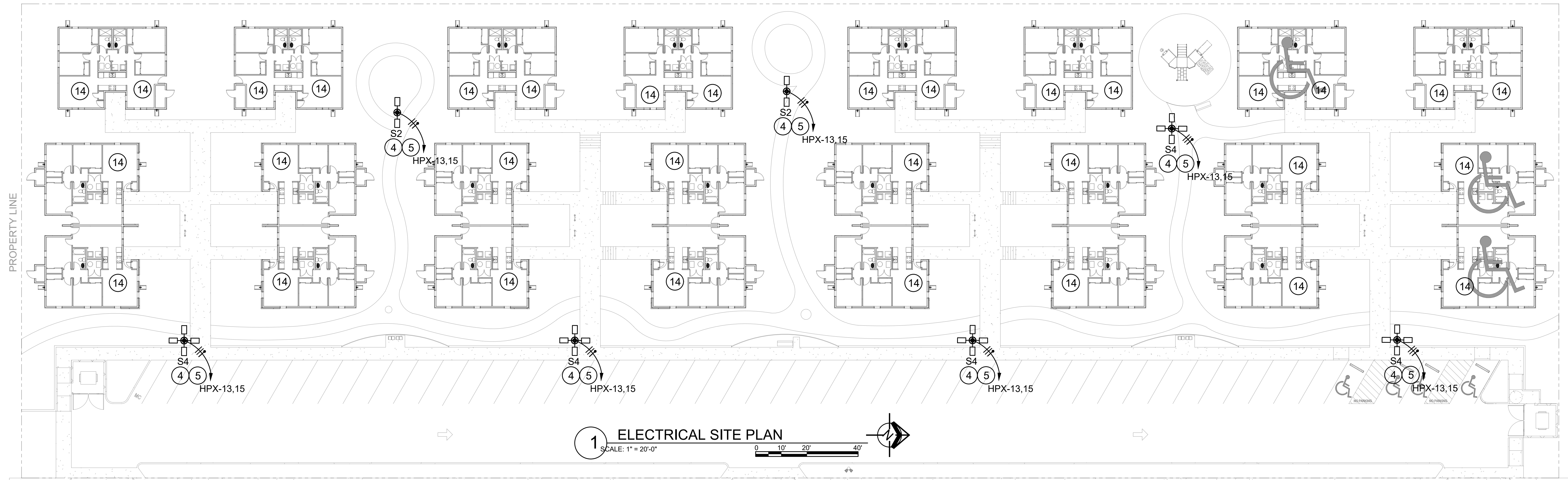
job no: 23-019  
 drawn: EB  
 checked: J&Z  
 date: Oct. 21, 2024

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BUILDING TYP. 7 - ELEVATIONS & SECTIONS  
**CASTAS DEL CAMINO**  
 60th Street NW  
 Albuquerque NM 87105  
 sheet no: **A1.72**



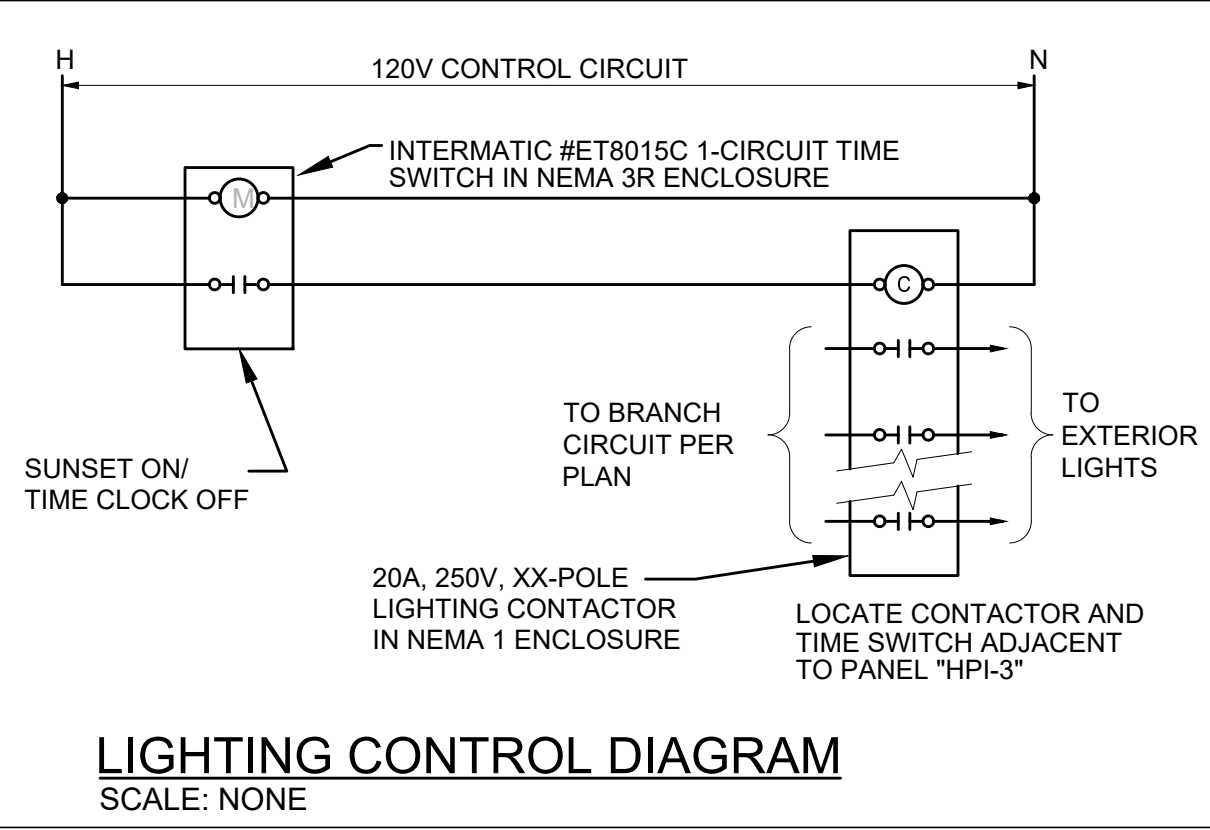
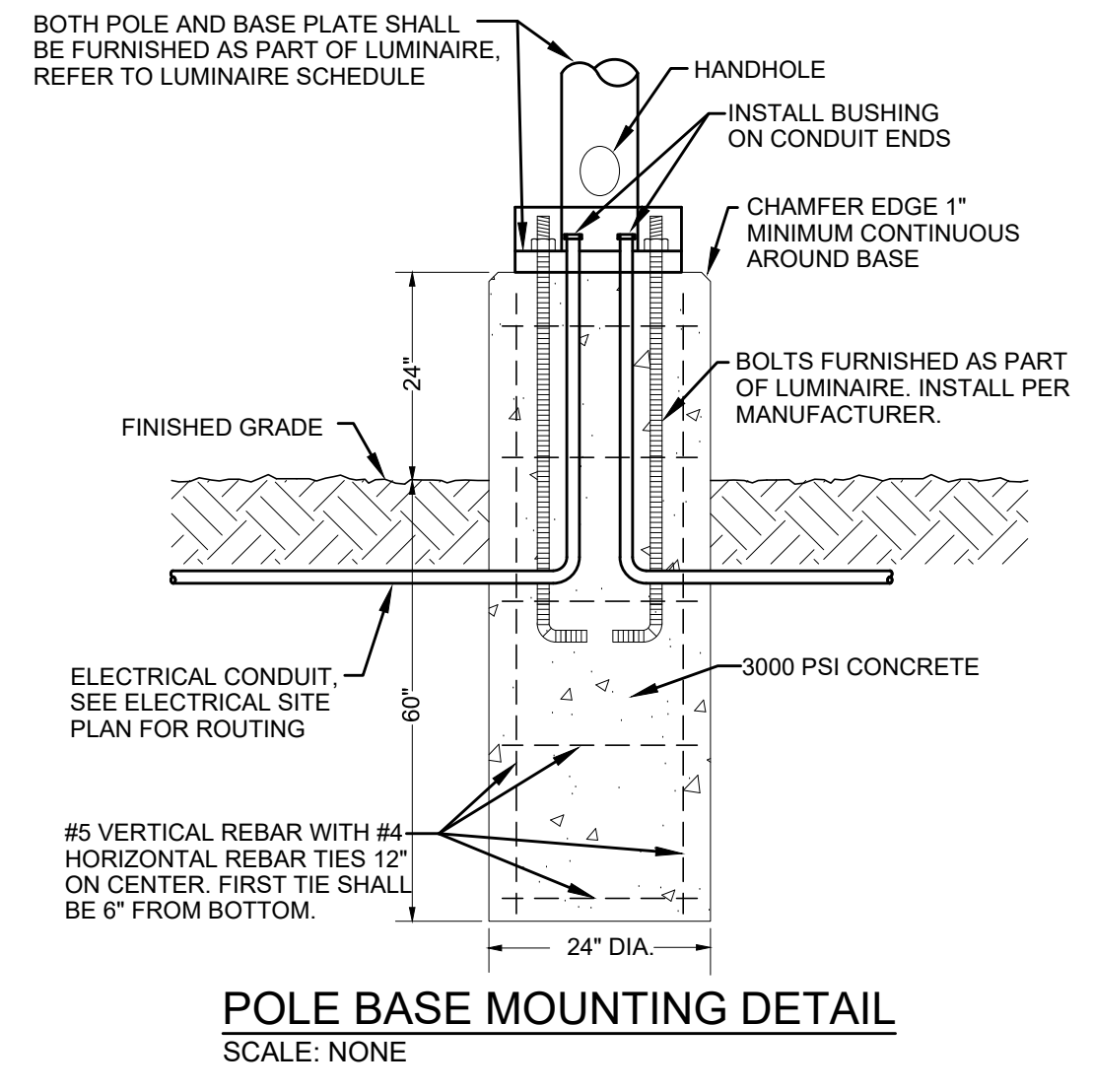
PROPERTY LINE



60TH ST.

**POLE BASE NOTES:**

- A ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- B G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- C LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS.



**GENERAL NOTES:**

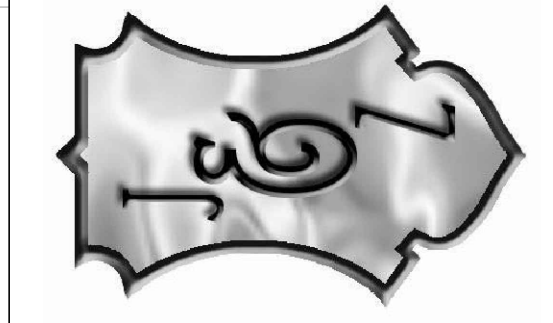
- A. MAINTAIN ELECTRIC SERVICE TO ALL EXISTING APARTMENT BUILDINGS DURING THIS REMODEL PROJECT.
- B. COORDINATE WITH TELEPHONE AND CABLE COMPANIES DURING DEMOLITION WORK TO ENSURE THESE UTILITIES ARE MAINTAINED OPERABLE TO ALL THE APARTMENT BUILDINGS).
- C. REFER TO ARCHITECTURAL AND CIVIL SITE PLANS FOR ADDITIONAL SITE UTILITY INFORMATION.
- D. ALL EXISTING LIGHTING FIXTURES IN THIS APARTMENT COMPLEX SHALL BE REPLACED WITH NEW L.E.D. LIGHTING FIXTURES (BOTH INTERIOR AND EXTERIOR FIXTURES). PROVIDE ELECTRICAL UPGRADES TO ALL (48) EXISTING APARTMENT UNITS AS INDICATED ON THE ENLARGED APARTMENT UNIT ELECTRICAL PLANS ON SHEET E-105.

**ELECTRICAL KEYED NOTES:** ○

- NOTE: SEE ES-102 FOR CONTINUATION.
- 1. METER CENTER LOCATION, REFER TO POWER RISER DIAGRAM.
  - 2. GENERAL LOCATION FOR SERVICE TRANSFORMER TO SERVE BUILDING INDICATED. COORDINATE EXACT LOCATION WITH PNM REPRESENTATIVE.
  - 3. TELEPHONE CABINET, REFER TO COMMUNICATIONS RISER DIAGRAM.
  - 4. PARKING LOT LIGHTING FIXTURE ON 20' POLE, REFER TO POLE BASE MOUNTING DETAIL.
  - 5. EXTEND TO CIRCUIT INDICATED THROUGH LIGHTING CONTROLS USING #10 CONDUCTORS TO NEAREST HOUSE PANEL.
  - 6. EXTEND PRIMARY DUCT TO UTILITY SERVICE POINT PER UTILITY REQUIREMENTS.
  - 7. MONUMENT SIGN, VERIFY EXACT LOCATION WITH ARCHITECTURAL DRAWINGS. CONNECT TO DEDICATED 120V CIRCUIT INDICATED THROUGH PHOTOCELL FOR DUSK-TO-DAWN OPERATION. USE #10 WIRING.
  - 8. ASSUMED TELEPHONE SERVICE POINT, VERIFY WITH CENTURYLINK REPRESENTATIVE.
  - 9. 4" SCHEDULE 80 PVC TELEPHONE SERVICE CONDUIT PER PROVIDER STANDARDS. FIELD VERIFY ROUTING WITH LOCAL COMMUNICATIONS REPRESENTATIVE.
  - 10. MAIN TELEPHONE BACKBOARD, REFER TO COMMUNICATIONS RISER DIAGRAM.
  - 11. FURNISH P.I.V., TEMPER AND FLOW SWITCHES IN EACH FIRE RISER ROOM. FIRE ALARM PANEL TO BE LOCATED AT THE COMMUNITY BUILDING (B). COORDINATE WITH ARCHITECTURAL AND FIRE PROTECTION DESIGN PROFESSIONAL.
  - 12. PROVIDE POWER FOR WAY-FINDING SIGN.
  - 13. PROVIDE POWER FOR FIRE PROTECTION HOT BOX.
  - 14. BUILDING AND ELECTRICAL SERVICE ARE EXISTING.



**JEEBS & ZUZU, LLC.**  
Architecture  
Construction  
Design-Build



**EMEC** LLC  
Consulting Engineers  
505-730-5698 S. Arciniega, S.W.  
1608 BERNARD THOMAS LN. S.W.  
ALBUQUERQUE, NM 87105

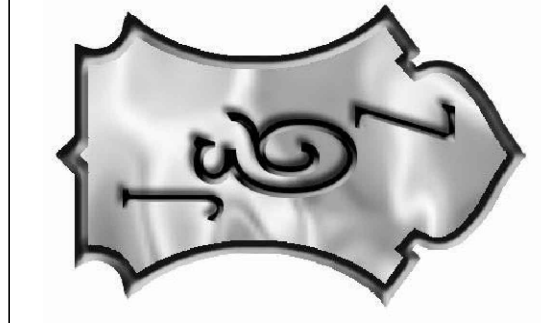
**job no:** 2023.09  
**drawn:** S. ARCINIEGA  
**checked:** S. ARCINIEGA  
**date:** MAR 1 2024

WWW.JEEBSANDZUZU.COM  
sheet title: ELEC SITE PLAN

Casitas Del Camino  
60th Street NW  
Albuquerque, NM 87105  
sheet no: ES-101



**JEEBS & ZUZU, LLC.**  
Architecture  
Construction  
Design-Build

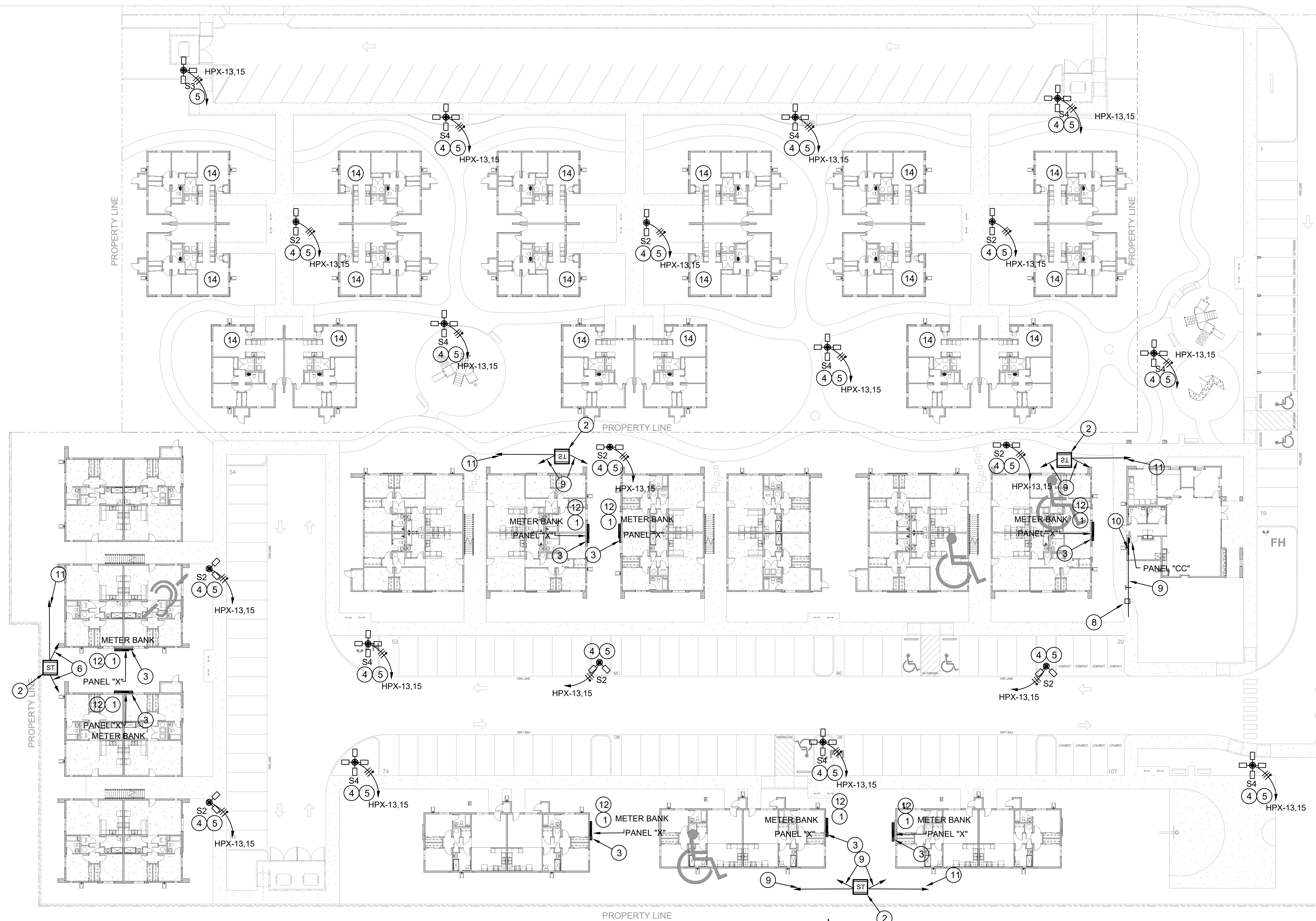


**EMEC**  
LLC  
Consulting Engineers  
505-730-5698 SALES@EMEC.LLC@DNM  
1608 BERNARD THOMAS LN. S.W.  
ALBUQUERQUE, NM 87105

**job no:** 2023.09  
**drawn:** S. ARCINIEGA  
**checked:** S. ARCINIEGA  
**date:** MAR 1 2024

WWW.JEEBSANDZUZU.COM  
sheet title: ELEC SITE PLAN  
Casitas Del Camino  
60th Street NW  
Albuquerque, NM 87105  
sheet no:  
**ES-102**

5924 ANAHEIM AVENUE NE SUITE A  
ALBUQUERQUE, NM 87113  
P: 505-797-1318



**1 ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'-0"  
0 10' 20' 40'

**NOTES:**  
SEE ELECTRICAL SITE PLAN ES-101 FOR GENERAL AND KEYED NOTES.

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 30, 2024

Scott McGee, P.E.  
9700 Sand Verbena Trail NE  
Albuquerque, NM 87122

**RE: Casitas Del Camino  
Conceptual Grading & Drainage Plans  
Engineer's Stamp Date: 08/15/24  
Hydrology File: K11D080**

Dear Mr. McGee:

Based upon the information provided in your submittal received 08/23/2024, the Grading & Drainage Plan is approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit or for action by the Development Hearing Officer (DHO) on Preliminary/Final Plat.

PO Box 1293

**PRIOR TO BUILDING PERMIT:**

Albuquerque

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) along with the Drainage Transportation Information Sheet.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

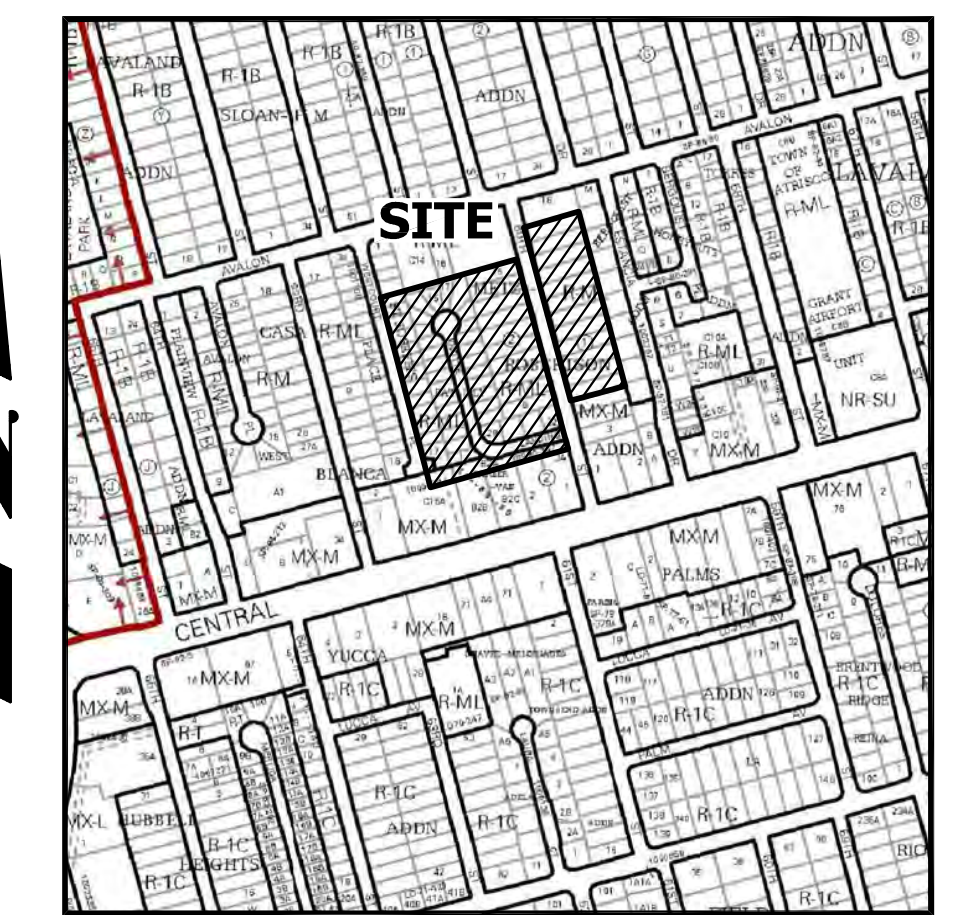
Sincerely,

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

CONCEPTUAL GRADING & DRAINAGE PLAN

CASITAS DEL CAMINO

AUGUST, 2024



ZONE ATLAS MAP K-11-Z

ADDRESS: 113-221 60th St NW, Albuquerque, NM

LEGAL DESCRIPTION: LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION

SITE AREA: 1.91 AC (83,192 SF)

BENCHMARK: City of Albuquerque Station '9-K10 1989' being an aluminum disc with ELEV= 5117.72 (NAVD 1988)

SURVEYOR: Souder, Miller & Assocs. dated March, 2023

FLOOD HAZARD: From FEMA Map 35001C0329H (8/16/2012), this site is identified as Zone 'X' which is determined to be outside the 0.2% annual chance floodplain. A LOMA was issued 9-05-23 (Case No. 23-06-1533A) which removed portions of the site as shown from the SFHA.

OFFSITE FLOW: The site does not accept offsite flow.

EXISTING CONDITIONS: The site is currently developed as multi-family residential. The site slopes to 60th St with free discharge.

PROPOSED IMPROVEMENTS: The existing multi-family residences are proposed to be remodeled with new asphalt parking and landscaping. The impervious area being redeveloped is 14,040 SF.

DRAINAGE APPROACH: The site drainage pattern will direct new impervious runoff to an onsite retention pond including the SWQ volume with controlled discharge to 60th Street NW.

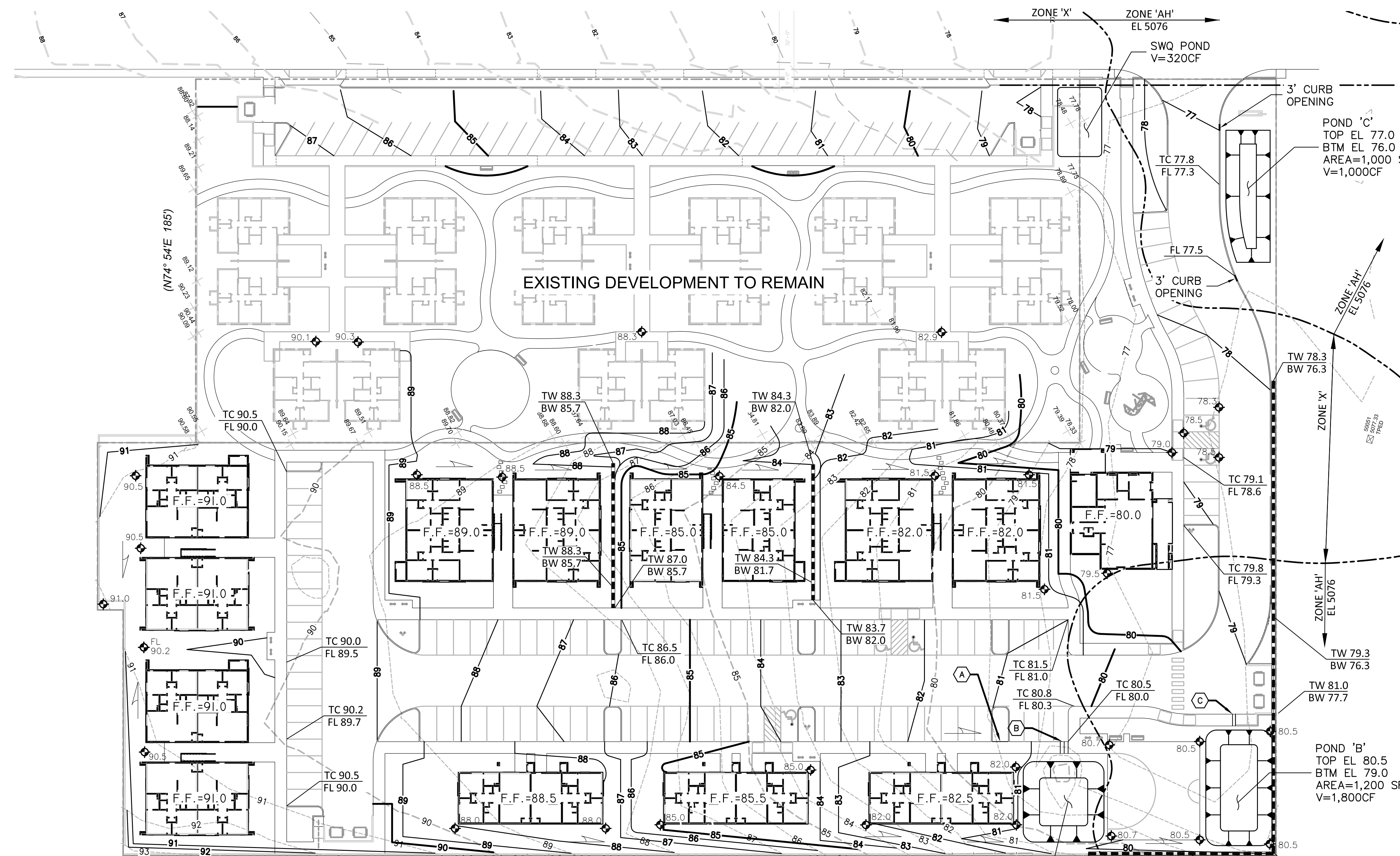
Existing land treatment: 15% B, 25% C, & 60% D PRECIPITATION ZONE: 1  
 $Q = [(0.15)(2.16) + (0.25)(2.87) + (0.6)(4.12)](1.91) = 6.7$  CFS  
 Proposed land treatment: 15% B, 23% C, & 62% D  
 $Q = [(0.15)(2.16) + (0.23)(2.87) + (0.62)(4.12)](1.91) = 6.8$  CFS

SWQ V = (14,040)(0.26/12) = 304 CF

This flow will discharge to an onsite retention ponding area located at the south end of the site. The SWQ volume will be retained in the pond bottom area provided to mitigate site discharge.

KEYED NOTES

- A. 3' MEDIAN OPENING.
- B. (2)-24" SIDEWALK CULVERTS.
- C. 18" SIDEWALK CULVERT.

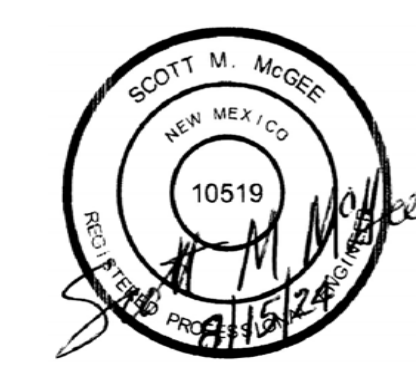
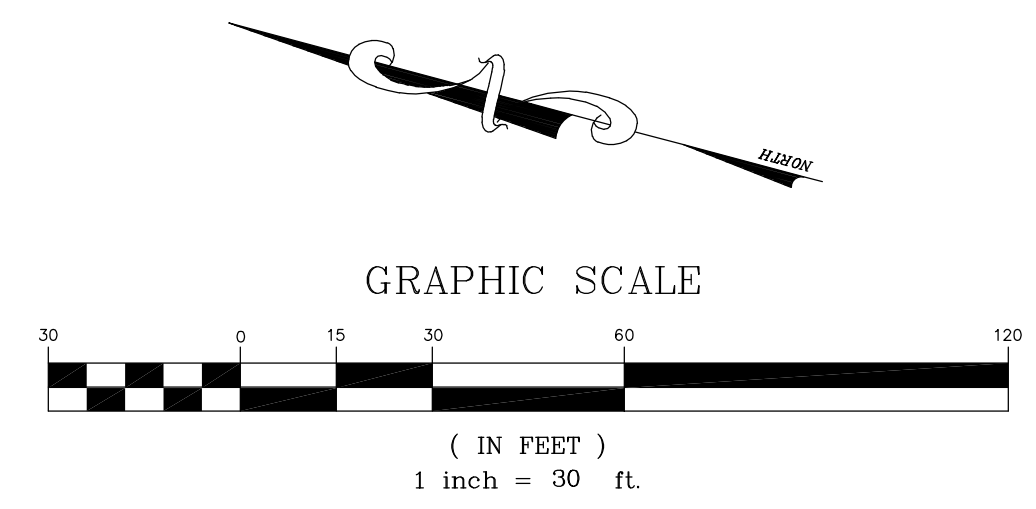


City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 08/30/24  
 BY: *Randy Brantlett*  
 HydroTrans # K11D080

THESE PLANS AND/OR REPORT ARE  
 CONCEPTUAL ONLY. MORE INFORMATION MAY  
 BE NEEDED IN THEM AND SUBMITTED TO  
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**Legend**

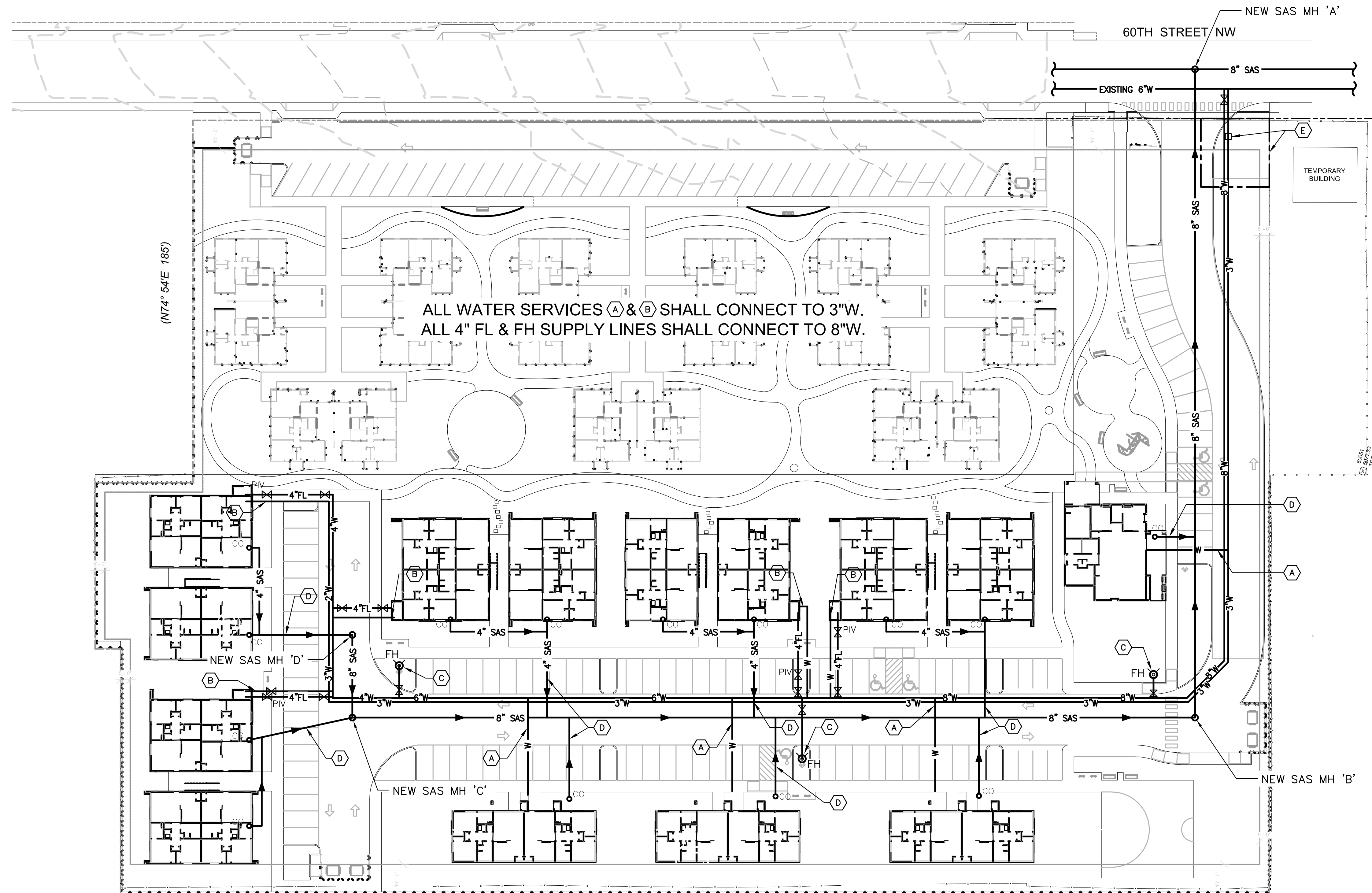
|         |      |     |                          |
|---------|------|-----|--------------------------|
| ---     | 8    | --- | EXISTING CONTOUR - MAJOR |
| ---     | 8    | --- | EXISTING CONTOUR - MINOR |
| ---     | 8    | --- | NEW CONTOUR - MAJOR      |
| ---     | 8    | --- | NEW CONTOUR - MINOR      |
| F.F. =  | 85.5 |     | FINISH FLOOR ELEVATION   |
| →       |      |     | FLOW DIRECTION           |
| ---     |      |     | RETAINING WALL           |
| ---     |      |     | FLOOD ZONE BOUNDARY      |
| TW 88.3 |      |     | TOP OF WALL              |
| BW 85.7 |      |     | BOTTOM OF WALL           |
| TC 5.0  |      |     | TOP OF CURB              |
| FL 4.5  |      |     | FLOW LINE                |



**Scott M McGee PE**

9700 Tanoan Dr NE  
 Albuquerque, NM 87111  
 505.263.2905  
 scottmmcgee@gmail.com

UTILITY PLAN  
**CASITAS DEL CAMINO**  
 MARCH, 2025



(N74° 54'E 185')

ALL WATER SERVICES (A) & (B) SHALL CONNECT TO 3"W.  
 ALL 4" FL & FH SUPPLY LINES SHALL CONNECT TO 8"W.

KEYED UTILITY NOTES

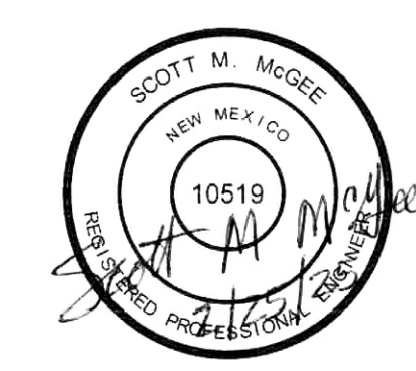
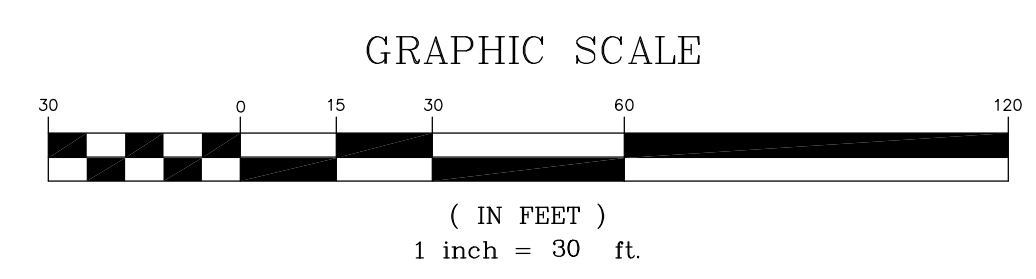
- A. NEW 1-1/2" WATER SERVICE PER UPC CURRENT EDITION.
- B. NEW 2" WATER SERVICE PER UPC CURRENT EDITION.
- C. NEW PRIVATE FIRE HYDRANT PAINTED SAFETY ORANGE.
- D. NEW 4" SANITARY SEWER SERVICE PER UPC CURRENT EDITION.
- E. NEW 3" WATER METER PER ABCWUA STD DWG 2370 AND 35' x 35' WUA METER EASEMENT.

ABCWUA NOTES

1. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
2. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

Legend

|           |                          |
|-----------|--------------------------|
| — 8"SAS — | NEW SANITARY SEWER LINE  |
| — 2"W —   | NEW WATER LINE WITH SIZE |
| ⊙ FH      | FIRE HYDRANT             |
| ○ CO      | CLEANOUT                 |



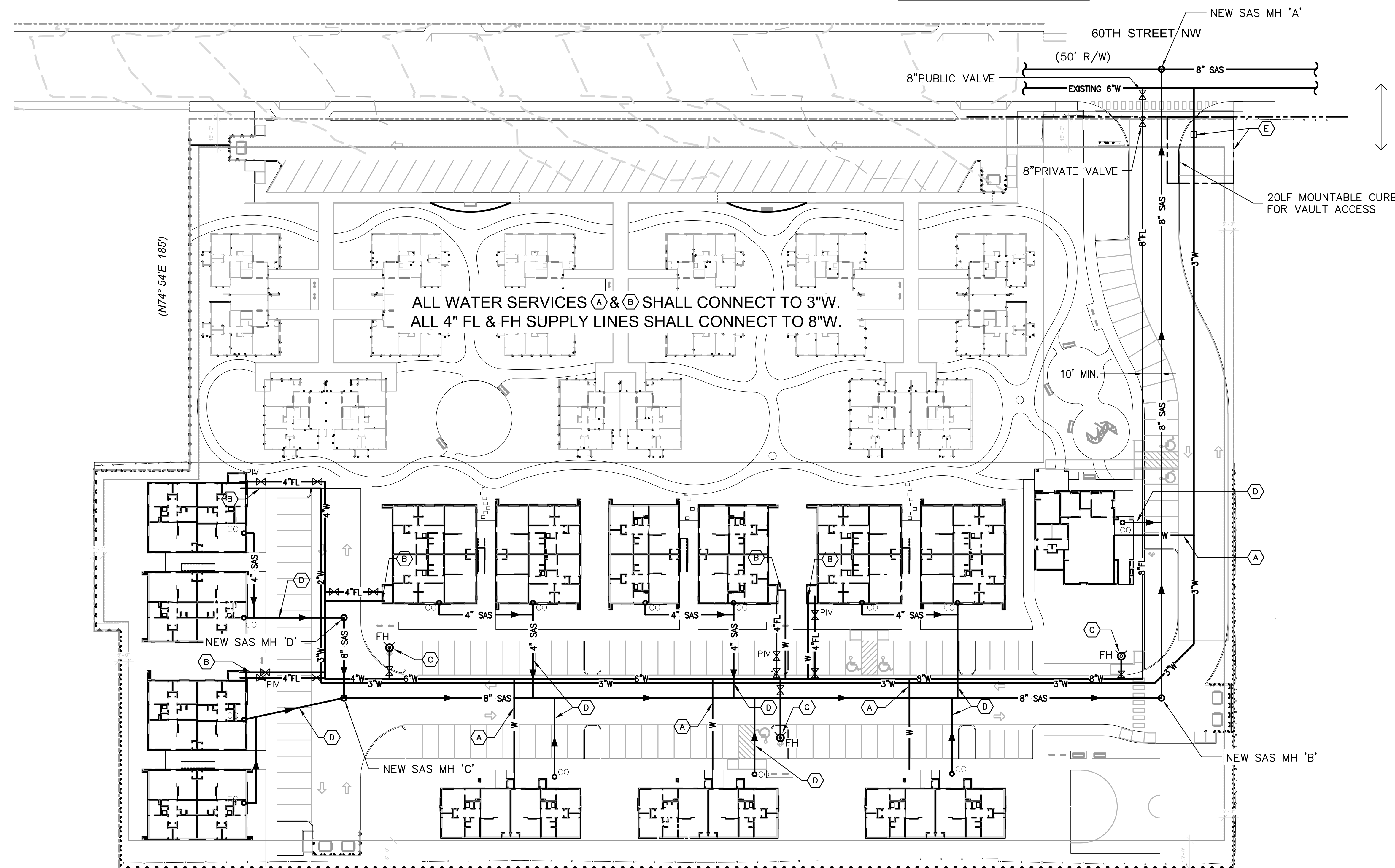
**Scott M McGee PE**

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UTILITY PLAN  
**CASITAS DEL CAMINO**  
 MARCH, 2025

NOTE: WORK SHOWN WITHIN  
 60TH STREET R/W SHALL  
 BE PER AN ABCWUA  
 CONNECTION PERMIT.



ALL UTILITIES SHOWN IN  
 60TH STREET ARE PUBLIC  
 ALL PROPOSED ONSITE  
 UTILITIES ARE PRIVATE

ALL WATER SERVICES (A) & (B) SHALL CONNECT TO 3"W.  
 ALL 4" FL & FH SUPPLY LINES SHALL CONNECT TO 8"W.

(N74° 54'E 185')

KEYED UTILITY NOTES

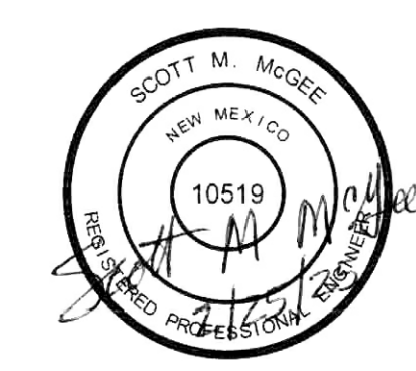
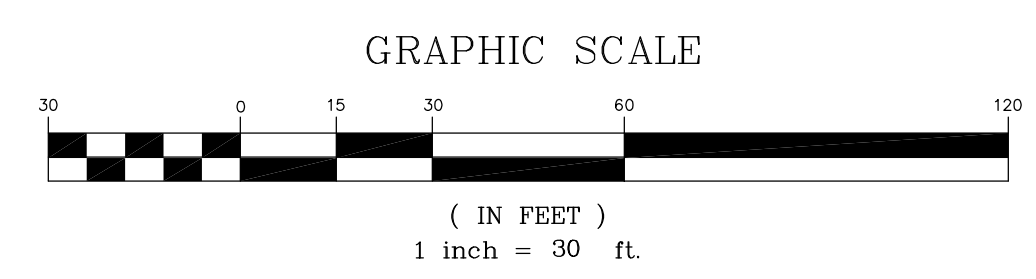
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Legend

|  |       |                                  |
|--|-------|----------------------------------|
|  | 8"SAS | NEW PRIVATE SANITARY SEWER LINE  |
|  | 2"W   | NEW PRIVATE WATER LINE WITH SIZE |
|  | FH    | PRIVATE FIRE HYDRANT             |
|  | CO    | CLEANOUT                         |



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Project Reference: PR-2021-006156 Project Name: Casas del Camino (Albuquerque Housing Authority project off of 60th Street) RESPONSE TO COMMENTS

| Number | Review Cycle | Department | Comment   | Response   |
|--------|--------------|------------|---|--|
| 1      | 1            | Planning   | There is a discrepancy present in the Site Plan Sheets submitted in regards to the EV Parking. On Sheet S1.1 keyed note #25 calls out a need for minimum 10 EV parking spaces on site. On Sheet S1.0 and on the TCL it shows the site plan calling out only 8 EV parking spaces. Please correct the discrepancy shown on sheet S1.1.  | A total of 8 EV parking spaces are to be provided. Please see corrected parking calculation shown on S1.0. An updated TCL with that correction is in the process of being submitted to the city of Albuquerque.  |
| 2      | 1            | Planning   | Ensure all dimensional standards are being adhered to and are clearly called out on the plans.  | All dimensional standards are being adhered to and are called out on the plans.  |
| 3      | 1            | Planning   | Provide the Usable Open Space calculations on the LS Plan sheet outlining what the Usable Open Space will be for the subject property.  | Usable Open Space calculations have been provided. Please see them on Sheet S1.0.  |
| 4      | 1            | Planning   | Much of the landscape area is brown gravel that adds to heat retention and does not provide any recreational value. The provision above allows 20 percent cool season grasses and up to 70 percent warm season grasses. Warm season grasses can be grown to full height with no to minimal mowing and minor watering. Please consider the value to the project of replacing gravel with warm season grasses. (Landscaping plan show 126,879 sf of gravel?)  | An updated landscape plan with updated quantities has been provided. Please see LS-101. In regard to the suggestion of including warm season grasses, it was discussed with the owner and unfortunately they don't have the staff available to maintain those grasses. |
| 5      | 1            | Planning   | No Motorcycle parking spaces are called out on the Site Plan Sheets. Please update sheets to include Motorcycle Parking in the calculations.  | An updated parking calculation with motorcycle parking has been provided. Please see on sheet S1.0.  |
| 6      | 1            | Planning   | Ensure that the tree planting guide shown above is located somewhere on the Landscape plan sheets.  | Please see landscaping details show on LS-103.   |
| 7      | 1            | Planning   | Please modify your tree planting detail to reflect this requirement. The organic mulch used under the trees can be counted towards non gravel mulch used on the site under 5-6(C)(5)(c).  | Please see landscaping details show on LS-103.   |
| 8      | 1            | Planning   | Confirm that shrubs and trees will be the required distance away from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.  | Note added, minimum distance to fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections Shown on Sheet LS-101 and clouded  |
| 9      | 1            | Planning   | Confirm that there will be no trees planted within 10' of the centerline of any sewer or water lines.   | Note added, Shown on Sheet LS-101 and clouded  |
| 10     | 1            | Planning   | Edge buffer landscaping along the west property line is applicable. You likely have the space, but need to add the landscaping as   | Edge buffer landscaping along the west property line has been applied on the revised landscape plan. Please see LS-101.  |
| 12     | 1            | Planning   | Ensure that all landscaping and buffering/screening requirements are being adhered to.  | We ensure that all landscaping and buffering / screening requirements are being adhered to.  |
| 13     | 1            | Planning   | Please add the following notes to the Landscape Plan Sheets if they are not already on the sheets.<br>LANDSCAPING and IRRIGATION<br>Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6- 6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.<br>Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended.<br>5-6(C)(14) Irrigation Systems<br>Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).<br>*(See additional comments on next pages)<br>17 | Please see the referenced notes on LS-104.   |

|    |   |                  |   |   |
|----|---|------------------|---|---|
| 14 | 1 | Planning         | <p>Please add the following notes to the Landscape Plan Sheets if they are not already on the sheets. 5-13(B)(7) Landscaping, Buffering, and Screening</p> <p>5-13(B)(7)(a) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).</p> <p>5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.</p> <p>5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.</p> <p>5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.</p> | Please see the referenced notes on LS-104.  |
| 15 | 1 | Hydrology        | A more detailed Grading & Drainage Plan is required to be submitted to Hydrology for review and approval prior to the issuance of a Building Permit.  | Acknowledged  |
| 16 | 1 | Code Enforcement | Show setbacks and other applicable Dimensional Standards on site plans from Table 5-1-1.  | A setback reference line has been included on the overall site plan. Please see on sheet S1.0.  |
| 17 | 1 | Code Enforcement | Provide calculations to show how the project is meeting Useable Open Space requirements as per IDO Table 5-1-1.   | Usable Open Space calculations have been provided. Please see them on Sheet S1.0.   |
| 18 | 1 | Code Enforcement | Need to show you are meeting landscape buffer requirements on the east and west property lines, as per IDO 5-6(E), Table 5-6-4.   | Landscape buffere requirements are being met. Please see LS-101   |
| 19 | 1 | Code Enforcement | Provide landscape plan with calculations for required trees per dwelling units and street trees.  | Please see updated tree calculations shown on LS-101.   |
| 20 | 1 | Code Enforcement | Provide elevations showing windows will be recessed at least 2 inches and the west facing facades have heat mitigation features.  | A general note staing "All windows to be recessed a minimum of 2" from exterior finish surface" has been added to building elevations. Please see sheets A1.12, A1.22, & A1.32. |
| 21 | 1 | Code Enforcement | Landscaping plan must comply with the current requirements of the IDO; the note shown below regarding woodmulch must be removed from the Landscape Plan.  | Referenced note has been removed from the landscape drawings.   |
| 22 | 1 | Code Enforcement | Per 5-6(C)(9)(c), Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements In Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way. Show a separate valve for the trees within the ROW. Lateral lines and bubbler must be shown for any plants within the ROW.   | Shown on Sheet LS-102, noted and clouded  |
| 23 | 1 | Code Enforcement | 5-6(C)(5)(e) Organic mulch is required as ground cover under trees, not including street trees, within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. Show this requirement on the tree planting detail. Make sure the detail mentions Organic and or Arborist mulch.  | Please see notes on organic mulch on tree planting detail on LS-103.  |
|    |   |                  |   |   |