



**DEVELOPMENT FACILITATION TEAM
SUPPLEMENTAL SUBMITTAL**

(Deadline is Friday at noon unless noted on DFT calendar – late submittals will not be accepted unless approved by the DFT)

PROJECT NO. PR-2021-006156

Application No. SI-2024-01536

TO:

Planning Department

Hydrology

Transportation Development

ABCWUA

Code Enforcement

Parks & Rec

City Engineer

*(Please attach this sheet with each collated set for each DFT member)

NOTE: ELECTRONIC VERSION is Required. Submittal will not be accepted without.

DFT SCHEDULED MEETING DATE: November 6, 2024 MEETING DATE OF DEFERRAL: _____

SUBMITTAL

DESCRIPTION: Copy of Water Availability Statement, Copy of proposed plat, Archeological Certificate.

CONTACT NAME: Juanita Garcia, JAG Planning & Zoning

TELEPHONE: (505) 362-8903 EMAIL: jag@jagpandz.com

July 29, 2024

Chair
Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Vice Chair
Louie Sanchez
City of Albuquerque
Councilor, District 1

Barbara Baca
County of Bernalillo
Commissioner, District 1

Joaquin Baca
City of Albuquerque
Councilor, District 2

Adriann Barboa
County of Bernalillo
Commissioner, District 3

Klarissa Peña
City of Albuquerque
Councilor, District 3

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Dave Hickman
Jeebs & Zuzu, LLC
5924 Anaheim Ave., NE Suite A
Albuquerque, NM 87113

RE: Water and Sanitary Sewer Availability Statement #240513

Project Name: Casitas del Camino

Project Address: Multiple on 60th Street

Legal Description: LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION

UPC: 101105712031720646 through 101105712031720677;

101105714540620711 through 101105715935420722; 101105713634720610 through 101105712638620618

Zone Atlas Map: K-11

Dear Mr. Hickman:

Project Description: The subject site is located along Knotts Landing Court and 60th Street, north of Central Avenue, within the City of Albuquerque. The proposed development consists of approximately 7.74 acres and the property is currently zoned multi-family low density. The property lies within the Pressure Zone 2WR in the Atrisco Trunk.

The Request for Availability indicates plans to develop a multifamily housing complex via the consolidation of 52 existing lots into two separate tracts. There is a proposed plat that will be consolidating multiple lots into two consolidated lots along the west and east side of 60th St. Proposed Tract A, located west of 60th St., will include both existing and proposed dwelling units. Proposed Tract B, located east of 60th St., will only include existing dwelling units. The existing dwelling units on both proposed Tract A and proposed Tract B have existing service and will continue to receive service. The complex will consist of 42 rehabilitated dwelling units and 46 new dwelling units, for a total of 88 dwelling units. This Availability Statement provides the details in providing service to the new dwelling units on proposed Tract A.

Existing Conditions:

Water infrastructure in the area consists of the following:

- Six-inch Cast Iron distribution line (project # 03-18-62) along 60th Street.
- Six-inch PVC distribution line (project # 26-6760.81-05) along West Court Place.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch Vitrified Clay Pipe sanitary sewer collector (project #10-170-70) along 60th Street.
- Eight-inch PVC sanitary sewer collector (project #26-6760.81-05) along West Court Place.

Water Service: New metered water service to new dwelling units on proposed Tract A can be provided via routine connection to the existing six-inch cast iron distribution main along 60th Street via a master meter. As a condition of service, a private water and private sanitary sewer easement is required to provide access to service for the existing lot described as the 107 Knotts Landing Court. The existing dwelling units on proposed Tract A have existing water service and that service will remain unchanged with this development. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Additionally, required private fire lines can connect to the existing six-inch waterline along 60th Street and extend into the property. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along 60th Street. As a condition of service, a private water and private sanitary sewer easement is required to provide access to service for the existing lot described as the 107 Knotts Landing Court. The existing dwelling units on proposed Tract A have existing sanitary sewer service and that service will remain unchanged with this development. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 gallons-per-minute gallons per minute. One fire hydrant is required. There are zero existing hydrants available and three new private hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the existing six-inch distribution line in 60th Street.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows:

1. Customers shall permanently abandon the use of private wells by cutting and capping the well line as accepted by the Water Authority prior to connecting to the public water system; or
2. Customers who choose to maintain their private wells for irrigation purposes, shall completely sever the private well from the premises' potable plumbing system with no valves or means of connecting back into the premises' potable plumbing system unless a reduced pressure principal backflow prevention assembly approved by the Water Authority is installed at the terminal end of the water service from the public water system (e.g., service connection).

Any multi-family dwelling including a clubhouse and/or office is required to have a reduced-pressure backflow prevention device for containment. If metered separately, the building that includes a clubhouse and/or office shall have a reduced pressure backflow prevention device.

Contact Cross Connection at (505) 289-3465 for Moses Mondragon, or (505) 289-3454, for James Baca for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

No side yard easements are allowed for public Water Authority infrastructure. Rather a separate tract shall be created (owned by a Home Owner's Association) with an easement granted to the Water Authority for the public waterline and/or public sanitary sewer line.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and

rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low-income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low-income and market-rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director








Enclosures: Infrastructure Maps

f/ **Availability Statement #240513**

240513 - Water

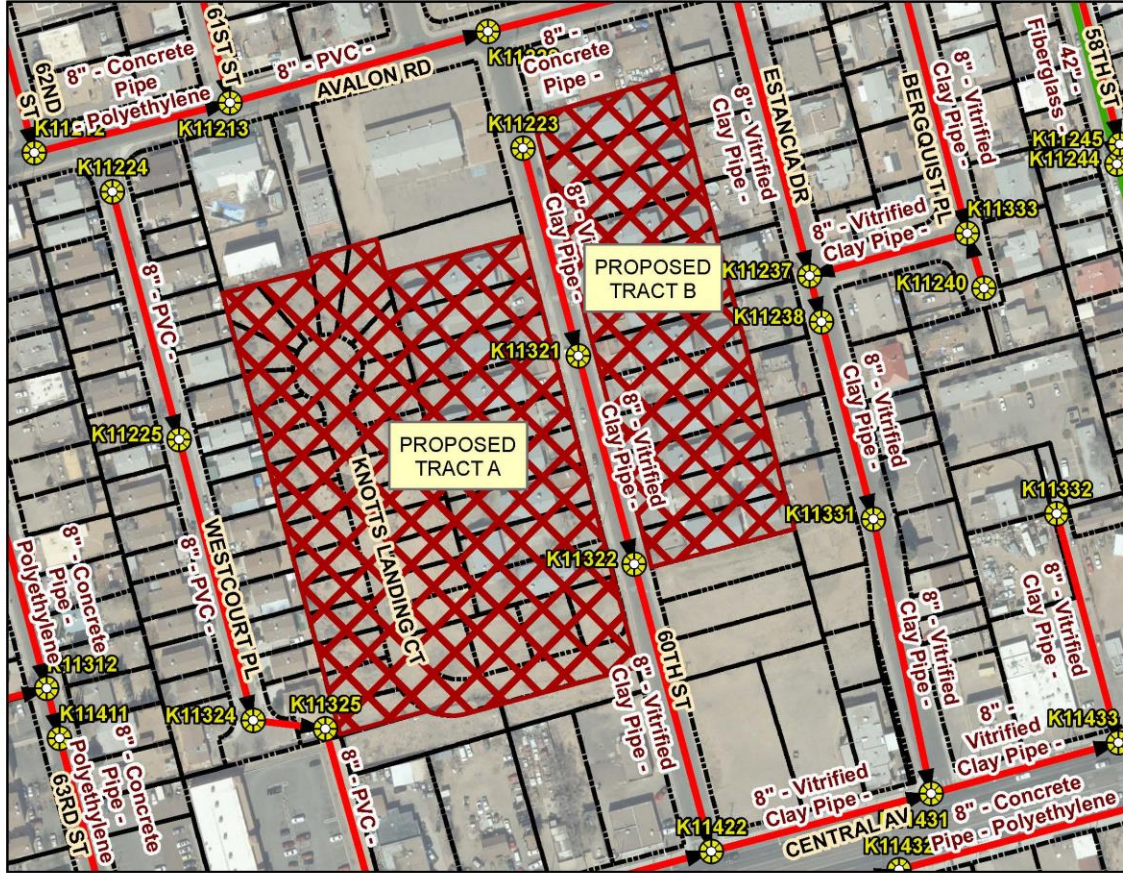


Legend

-  Hydrant
-  Project Location
- Water Pipe**
- Subtype**
-  Distribution Line
-  Hydrant Leg
-  In Zone Transmission
-  Abandoned
- Fire Flow Analysis Points**
-  Analysis Point (1)



240513 - Sanitary Sewer



Legend

-  Sewer Manhole
-  Project Location

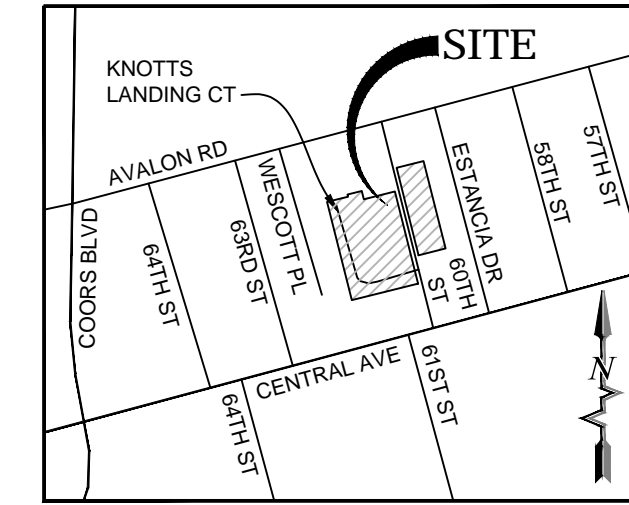
Sewer Pipe

Subtype

-  COLLECTOR
-  INTERCEPTOR

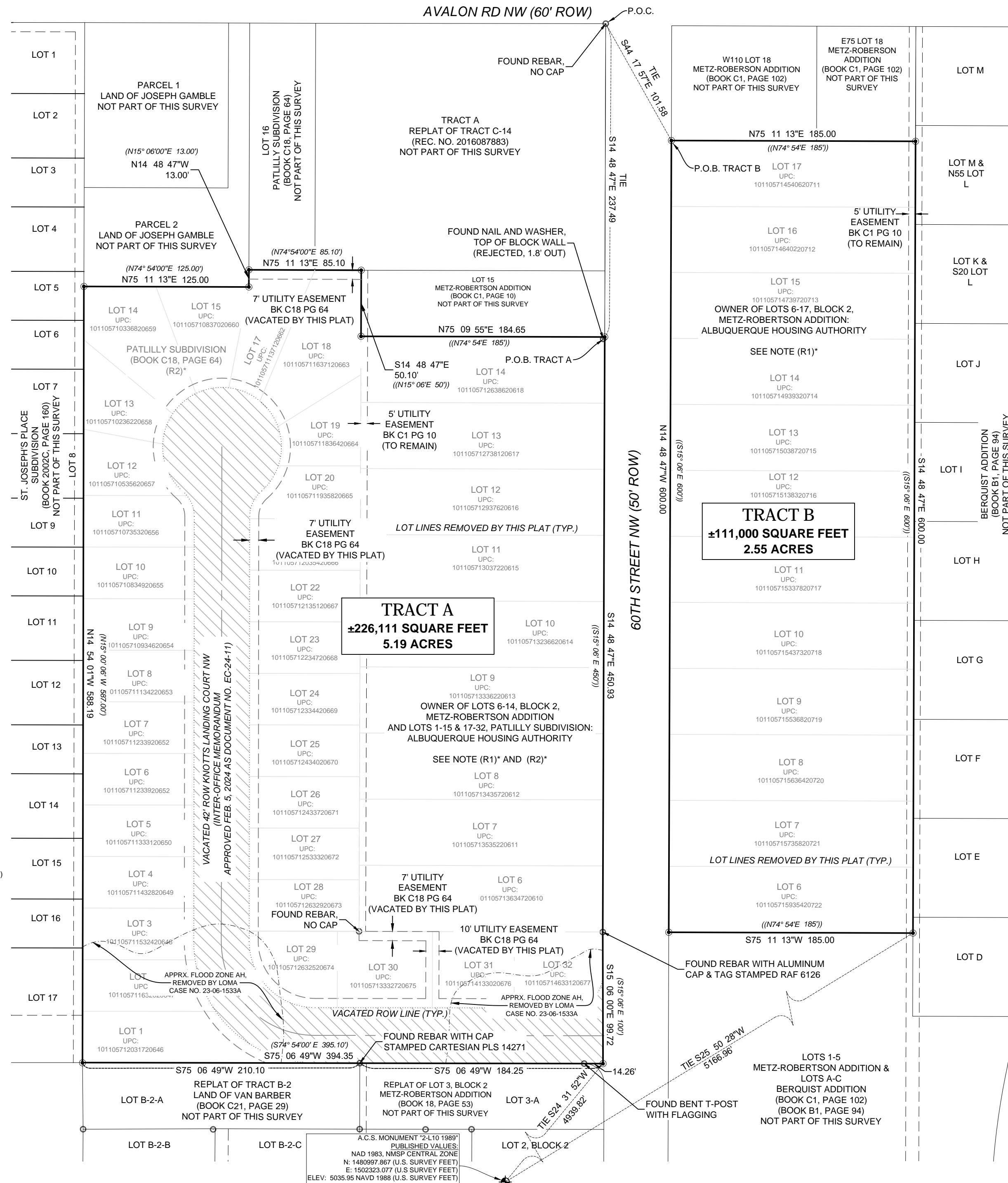
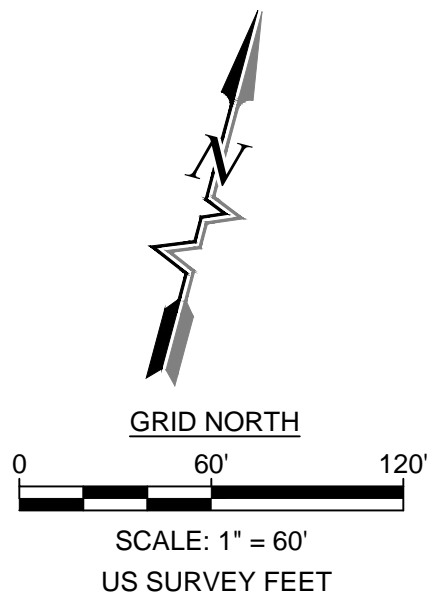


REPLAT OF LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION
 AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION
 LOT CONSOLIDATION TO TRACTS A & B
 WITHIN PROJECTED SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT,
 BERNALILLO COUNTY, NEW MEXICO



VICINITY MAP
 NOT TO SCALE
 ZONE ATLAS PAGE K-11-Z

COUNTY CLERK RECORDING LABEL



- LEGEND**
- FOUND REBAR AS NOTED
 - SET #4 REBAR WITH CAP STAMPED "NATERA 27749"
 - CALCULATED POINT, NOTHING FOUND OR SET
 - SUBJECT PROPERTY
 - ADJOINING PROPERTY
 - EXISTING EASEMENT
 - PROPOSED EASEMENT, AS NOTED, GRANTED BY THIS PLAT
 - EASEMENT CENTERLINE
 - VACATED RIGHT OF WAY LINE
 - LOT LINES REMOVED BY THIS PLAT
 - EASEMENTS VACATED BY THIS PLAT
 - S89° 07' 30"E 230.00' RECORD BEARING AND DISTANCE (PATLILLY SUBDIVISION)
 - (S89° 07' 30"E 230.00') RECORD BEARING AND DISTANCE (METZ-ROBERTSON ADDITION)
 - APPROX. FLOOD ZONE AREA REMOVED BY LOMA CASE NO. 23-06-1533A
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING

NOTE (R1)* FOR LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION:

OWNER OF RECORD: ALBUQUERQUE HOUSING AUTHORITY
 CORRECTED QUITCLAIM DEED FILED FEBRUARY 7, 2017 AS DOCUMENT NO. 2017011244

NOTE (R2)* FOR LOTS 1-15 & 17-32, PATLILLY SUBDIVISION:

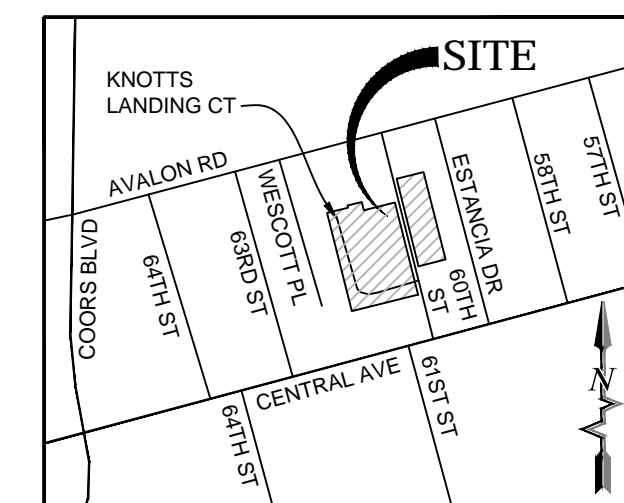
OWNER OF RECORD: ALBUQUERQUE HOUSING AUTHORITY
 WARRANTY DEED FILED JULY 16, 2020 AS DOCUMENT NO. 2020065534

SOUDER, MILLER & ASSOCIATES
 Engineering Environmental Geomatics
 Serving the Southwest & Rocky Mountains
 5454 Venice Avenue NE, Suite D
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 Phone (505) 299-0942 Fax (505) 293-3430
 www.soudermiller.com

ALBUQUERQUE HOUSING AUTHORITY
 ALBUQUERQUE, NEW MEXICO
 REPLAT OF LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION LOT CONSOLIDATION TO TRACTS A & B CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO

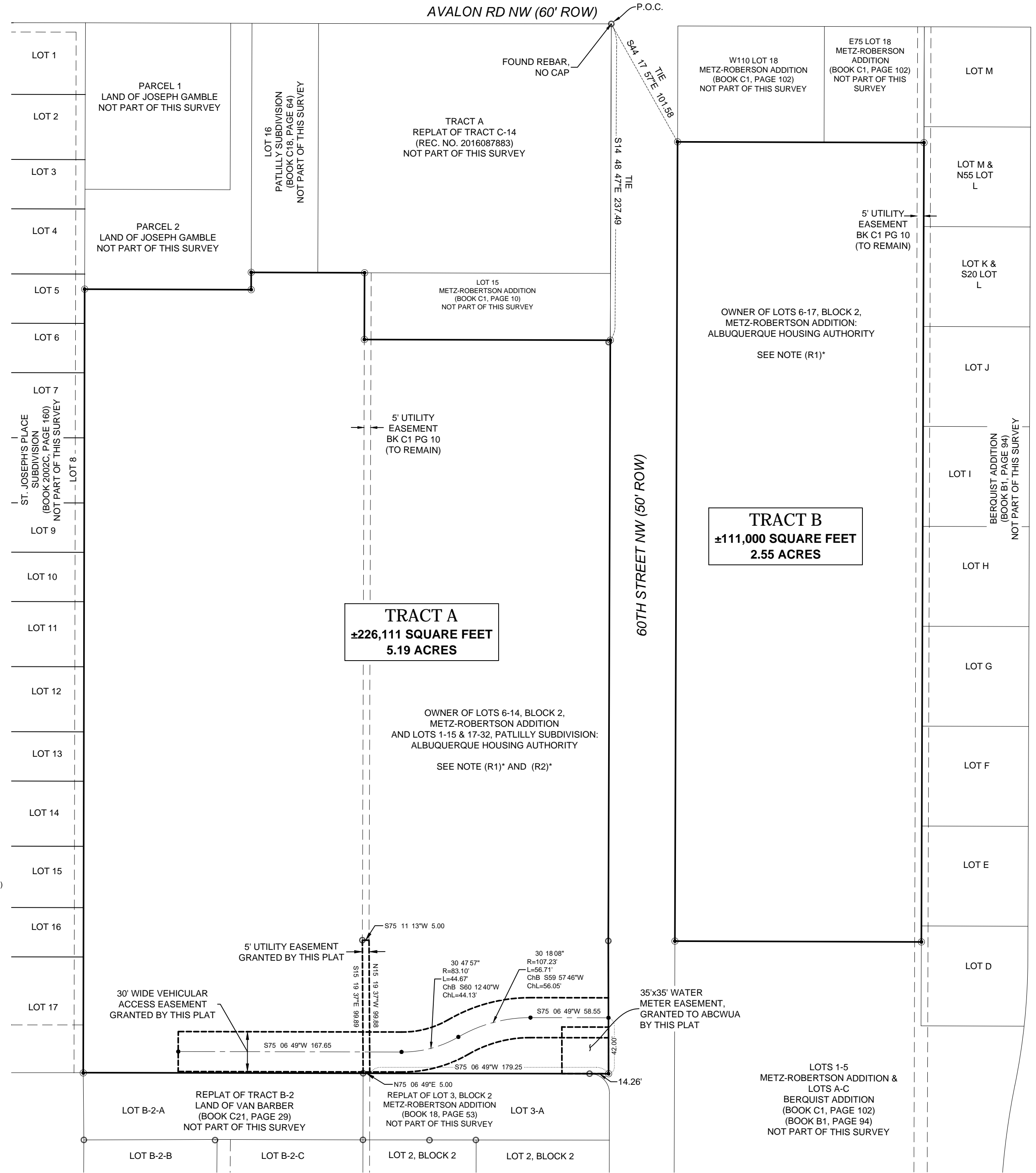
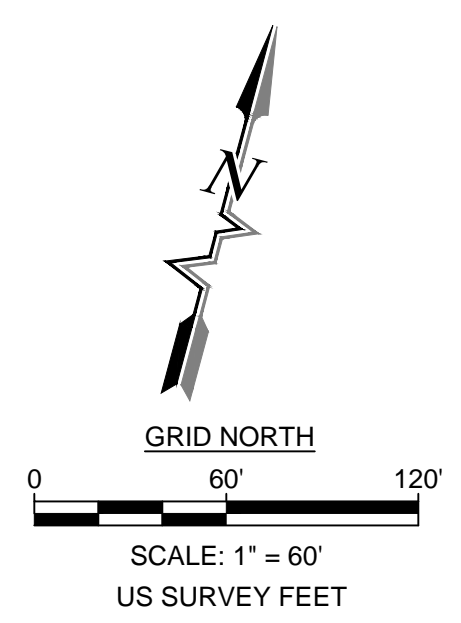
Fieldwork	BM	Drawn	CLW	Checked	JSN
Date:	September 2024				
Scale:	Horiz: 1" = 60'				
Project No:	2431460				
Sheet:	2 OF 3				

REPLAT OF LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION
 AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION
 LOT CONSOLIDATION TO TRACTS A & B
 WITHIN PROJECTED SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT,
 BERNALILLO COUNTY, NEW MEXICO



VICINITY MAP
 NOT TO SCALE
 ZONE ATLAS PAGE K-11-Z

COUNTY CLERK RECORDING LABEL



- LEGEND**
- FOUND REBAR AS NOTED
 - SET #4 REBAR WITH CAP STAMPED "NATERA 27749"
 - CALCULATED POINT, NOTHING FOUND OR SET
 - SUBJECT PROPERTY
 - ADJOINING PROPERTY
 - - - EXISTING EASEMENT
 - - - PROPOSED EASEMENT, AS NOTED, GRANTED BY THIS PLAT
 - - - EASEMENT CENTERLINE
 - · · VACATED RIGHT OF WAY LINE
 - - - LOT LINES REMOVED BY THIS PLAT
 - - - EASEMENTS VACATED BY THIS PLAT
 - S89° 07' 30"E 230.00' MEASURED BEARING AND DISTANCE
 - (S89° 07' 30"E 230.00') RECORD BEARING AND DISTANCE (PATLILLY SUBDIVISION)
 - ((S89° 07' 30"E 230.00')) RECORD BEARING AND DISTANCE (METZ-ROBERTSON ADDITION)
 - ▨ AREA OF VACATED KNOTTS LANDING COURT RIGHT-OF-WAY
 - P.O.C. POINT OF COMMENCEMENT
 - P.O.B. POINT OF BEGINNING

NOTE (R1)* FOR LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION:

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Rev #	Date	Description

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ALBUQUERQUE HOUSING AUTHORITY ALBUQUERQUE, NEW MEXICO

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Fieldwork	Drawn	Checked
BM	CLW	JSN
Date: September 2024		
Scale: Horiz: 1" = 60'		
Project No: 2431460		
Sheet: 3 OF 3		



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE: November 4, 2024

SUBJECT: Albuquerque Archaeological Ordinance - Compliance Documentation

Case Number(s): PR-2023-009260, SI-2024-01546, see also PR-2021-006156
Agent: Juanita Garcia, JAG Planning & Zoning
Applicant: Albuquerque Housing Authority
Legal Description: See attached lists of lots and addresses
Zoning: R-ML
Acreage: 7 acres
Zone Atlas Page(s): K-11-Z

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

Google earth historic images, ARMS/NMCRIS records, Albuquerque Historical Aerial Veiwier

SITE VISIT: n/a

RECOMMENDATIONS:

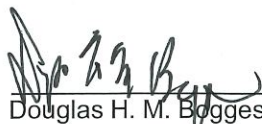
1940s (or older) farmhouses have been removed from the Knotts Landing Ct. NW property. Other portions of the project area have already been developed.

Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"

SUBMITTED BY:

SUBMITTED TO:

Planning, Development Services


Douglas H. M. Boggess, MA, RPA Date
Senior Principal Investigator
Acting City Archaeologist
Lone Mountain Archaeological Services, Inc.

11-4-2024