

DEVELOPMENT FACILITATION TEAM SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DFT calendar – late submittals will not be accepted unless approved by the DFT)

Application No. <u>SI-2024-01536</u>
TO:
x Planning Department
x Hydrology
x Transportation Development
x_ABCWUA
x Code Enforcement
x Parks & Rec
x City Engineer
*(Please attach this sheet with each collated set for each DFT member)
NOTE: ELECTRONIC VERSION is Required. Submittal will not be accepted without.
DFT SCHEDULED MEETING DATE: November 6, 2024 MEETING DATE OF DEFERRAL:
SUBMITTAL DESCRIPTION: Copy of Water Availability Statement, Copy of proposed plat, Archeological Certificate.
CONTACT NAME: Juanita Garcia, JAG Planning & Zoning
TELEPHONE: (505) 362-8903 EMAIL: jag@jagpandz.com

<u>Chair</u> Eric C. Olivas County of Bernalillo Commissioner, District 5

Vice Chair
Louie Sanchez
City of Albuquerque
Councilor, District 1

Barbara Baca County of Bernalillo Commissioner, District 1

Joaquin Baca City of Albuquerque Councilor, District 2

Adriann Barboa County of Bernalillo Commissioner, District 3

Klarissa Peña City of Albuquerque Councilor, District 3

Timothy M. Keller City of Albuquerque Mayor

Ex-Officio Member Gilbert Benavides Village of Los Ranchos Board Trustee

Executive Director Mark S. Sanchez

Website www.abcwua.org

July 29, 2024

Dave Hickman Jeebs & Zuzu, LLC 5924 Anaheim Ave., NE Suite A Albuquerque, NM 87113

RE: Water and Sanitary Sewer Availability Statement #240513

Project Name: Casitas del Camino Project Address: Multiple on 60th Street

Legal Description: LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION

UPC: 101105712031720646 through 101105712031720677;

101105714540620711 through 101105715935420722; 101105713634720610

through 101105712638620618

Zone Atlas Map: K-11

Dear Mr. Hickman:

Project Description: The subject site is located along Knotts Landing Court and 60th Street, north of Central Avenue, within the City of Albuquerque. The proposed development consists of approximately 7.74 acres and the property is currently zoned multi-family low density. The property lies within the Pressure Zone 2WR in the Atrisco Trunk.

The Request for Availability indicates plans to develop a multifamily housing complex via the consolidation of 52 existing lots into two separate tracts. There is a proposed plat that will be consolidating multiple lots into two consolidated lots along the west and east side of 60th St. Proposed Tract A, located west of 60th St., will include both existing and proposed dwelling units. Proposed Tract B, located east of 60th St., will only include existing dwelling units. The existing dwelling units on both proposed Tract A and proposed Tract B have existing service and will continue to receive service. The complex will consist of 42 rehabilitated dwelling units and 46 new dwelling units, for a total of 88 dwelling units. This Availability Statement provides the details in providing service to the new dwelling units on proposed Tract A.

Existing Conditions:

Water infrastructure in the area consists of the following:

- Six-inch Cast Iron distribution line (project # 03-18-62) along 60th Street.
- Six-inch PVC distribution line (project # 26-6760.81-05) along West Court Place.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch Vitrified Clay Pipe sanitary sewer collector (project #10-170-70) along 60th Street.
- Eight-inch PVC sanitary sewer collector (project #26-6760.81-05) along West Court Place.

Water Service: New metered water service to new dwelling units on proposed Tract A can be provided via routine connection to the existing six-inch cast iron distribution main along 60th Street via a master meter. As a condition of service, a private water and private sanitary sewer easement is required to provide access to service for the existing lot described as the 107 Knotts Landing Court. The existing dwelling units on proposed Tract A have existing water service and that service will remain unchanged with this development. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Additionally, required private fire lines can connect to the existing sixinch waterline along 60th Street and extend into the property. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Non-Potable Water Service: Currently, there is no non-potable infrastructure available to serve the subject property.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch collector along 60th Street. As a condition of service, a private water and private sanitary sewer easement is required to provide access to service for the existing lot described as the 107 Knotts Landing Court. The existing dwelling units on proposed Tract A have existing sanitary sewer service and that service will remain unchanged with this development. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,750 gallons-per-minute gallons per minute. One fire hydrant is required. There are zero existing hydrants available and three new private hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the existing six-inch distribution line in 60th Street.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

Cross Connection Prevention: Any residential premises having existing private wells and who desire to connect to the public water system shall have two options as follows:

- Customers shall permanently abandon the use of private wells by cutting and capping the well line as accepted by the Water Authority prior to connecting to the public water system; or
- 2. Customers who choose to maintain their private wells for irrigation purposes, shall completely sever the private well from the premises' potable plumbing system with no valves or means of connecting back into the premises' potable plumbing system unless a reduced pressure principal backflow prevention assembly approved by the Water Authority is installed at the terminal end of the water service from the public water system (e.g., service connection).

Any multi-family dwelling including a clubhouse and/or office is required to have a reduced-pressure backflow prevention device for containment. If metered separately, the building that includes a clubhouse and/or office shall have a reduced pressure backflow prevention device.

Contact Cross Connection at (505) 289-3465 for Moses Mondragon, or (505) 289-3454, for James Baca for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

No side yard easements are allowed for public Water Authority infrastructure. Rather a separate tract shall be created (owned by a Home Owner's Association) with an easement granted to the Water Authority for the public waterline and/or public sanitary sewer line.

Pro Rata: Pro Rata is not owed and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and

rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low-income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low-income and market-rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

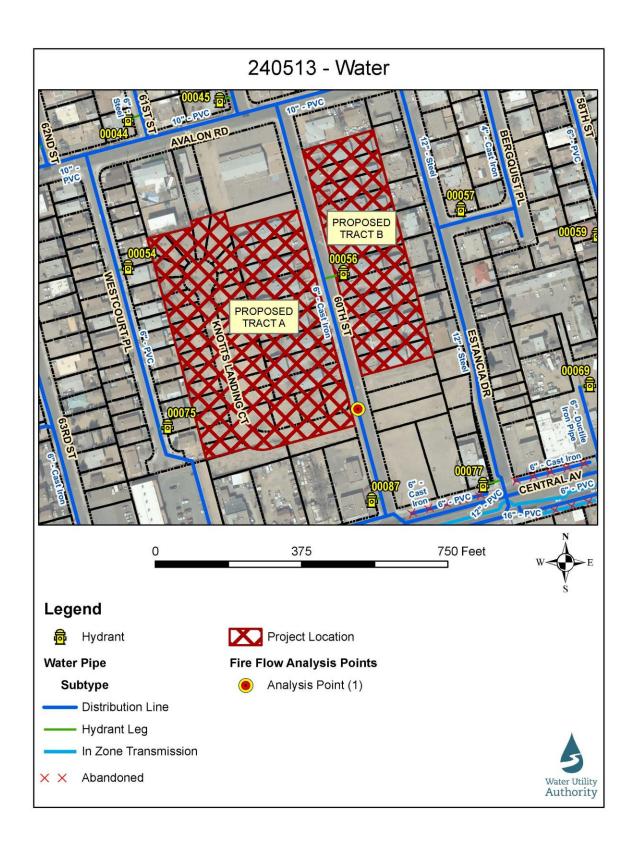
Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

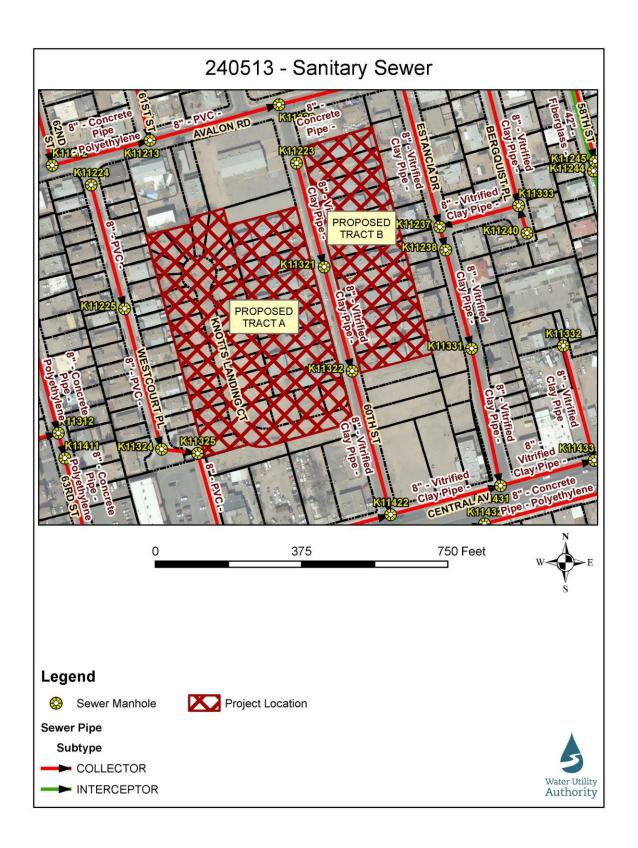
Sincerely,

Mark S. Sanchez Executive Director

Enclosures: Infrastructure Maps

f/ Availability Statement #240513





REPLAT OF LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION

AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION

LOT CONSOLIDATION TO TRACTS A & B

WITHIN PROJECTED SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT,

BERNALILLO COUNTY, NEW MEXICO

COUNTY CLERK RECORDING LABEL

PURPOSE OF PLAT: THE PURPOSE OF THIS PLAT IS TO:

- CONSOLIDATE LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION, BEING FILED FOR RECORD IN PLAT BOOK C1 PAGE 10. DOCUMENT NUMBER 1945084534 AND LOTS 1-15 & 17-32. PATLILLY SUBDIVISION, BEING FILED IN FOR RECORD IN PLAT BOOK C18 PAGE 64, DOCUMENT NUMBER 1981022667, IN THE OFFICE OF THE COUNTY CLERK BERNALILLO COUNTY, STATE OF NEW MEXICO, INTO TRACT A, AS SHOWN HEREON.
- CONSOLIDATE LOTS 6-17, BLOCK 1, METZ-ROBERTSON ADDITION INTO TRACT B, AS SHOWN HEREON
- VACATE VARIOUS EASEMENTS AS SHOWN OR NOTED HEREON
- GRANT NEW UTILITY, 35'x35' WATER METER, AND VEHICULAR ACCESS EASEMENTS, AS SHOWN HEREON

TRACT A CONTAINING 5.19 ACRES AND TRACT B CONTAINING 2.55 ACRES, MORE OR LESS

DECLARATION OF LOT CONSOLIDATION:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) HAVE CONSOLIDATED LOTS AS SHOWN HEREON OF 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION THEREOF BEING FILED FOR RECORD IN PLAT BOOK C1 PAGE 10, DOCUMENT NUMBER 1945084534 AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION THEREOF BEING FILED IN FOR RECORD IN PLAT BOOK C18 PAGE 64, DOCUMENT NUMBER 1981022667, IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, STATE OF NEW MEXICO. SAID LOT CONSOLIDATION IS MADE WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND PROPRIETOR(S). SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY GRANT THE USE OF THE PUBLIC FOREVER, THE PUBLIC UTILITY AND VEHICULAR ACCESS EASEMENT AS SHOWN HEREON. SAID OWNER(S) AND PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

ACKNOWLEDGEMENT OF OWNER:

THE UNDERSIGNED BEING THE OWNER OF THE LAND DESCRIBED HEREIN, HEREBY CONSENTS TO THIS LOT CONSOLIDATION, AND CONSENT TO THE GRANT TO USE OF THE PUBLIC FOREVER, THE PUBLIC UTILITY EASEMENTS AS SHOWN HEREON.

ACKNOWLEDGEMENT

STATE OF: NEW MEXICO

COUNTY OF: Bernalillo

STATE OF NEW MEXICO NOTARY PUBLIC Carolyn Montoya Commission No. 1136292 December 23, 2025

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 30 DAY OF October 1024

MY COMMISSION EXPIRES 12. 23.2025

THE FOLLOWING DOCUMENTS AND INSTRUMENTS WERE USED FOR THE PERFORMANCE AND PREPARATION OF THIS SURVEY

- METZ-ROBERTSON ADDITION FILED 12/29/1945 AS PLAT BOOK C1 PAGE 10. DOCUMENT NUMBER 1945084534
- 2. PATLILLY SUBDIVISION FILED 5/1/1981 AS PLAT BOOK C18 PAGE 64, DOCUMENT NUMBER
- BERGQUIST ADDITION FILED 5/17/1946 AS PLAT BOOK B1 PAGE 94, DOCUMENT NUMBER 1946094391
- CORRECTED QUIT CLAIM DEED FILED 2/7/2017 AS DOCUMENT NUMBER 2017011244
- WARRANTY DEED FILED 7/16/2020 AS DOCUMENT NUMBER 2020065534
- INTER-OFFICE MEMORANDUM DATED FEBRUARY 5, 2024 FOR THE APPROVAL OF VACATION OF PUBLIC RIGHT-OF-WAY KNOTTS LANDING COURT.

GRADING AND DRAINAGE NOTES:

THIS PROPERTY IS SUBJECT TO BERNALILLO COUNTY CODE CHAPTER 38 FLOODS. A GRADING AND DRAINAGE PLAN PREPARED BY A NEW MEXICO REGISTERED ENGINEER MAY BE REQUIRED WITH FUTURE DEVELOPMENT OF THESE LOTS. CROSS LOT DRAINAGE MUST NOT BE INCREASED OR IMPACTED BY DEVELOPMENT OF THESE LOTS, UNLESS APPROVED BY A GRADING AND DRAINAGE PLAN. LOTS MUST ACCEPT HISTORICAL STORM WATER RUNOFF FROM ADJACENT ROADWAYS AND PROPERTIES, UNLESS APPROVED BY A GRADING AND DRAINAGE PLAN. NO MASS SITE GRADING, CLEARING, OR GRUBBING IS ALLOWED WITHOUT AN APPROVED GRADING AND DRAINAGE PLAN.

	FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY						
	THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # SEE SHEET 2 FOR UPC NUMBERS						
	PROPERTY OWNER OF RECORD: ALBUQUERQUE HOUSING AUTHORITY						
_	BERNALILLO COUNTY TREASURER'S OFFICE						
1							

LEGAL DESCRIPTION TRACT A:

A TRACT OF LAND LOCATED IN THE CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO BEING COMPRISED OF LOTS 6 THROUGH 14, BLOCK 2, METZ-ROBERTSON ADDITION, BEING FILED FOR RECORD IN PLAT BOOK C1 PAGE 10, DOCUMENT NUMBER 1945084534 AND LOTS 1 THROUGH 15 AND LOTS 17 THROUGH 32, PATLILLY SUBDIVISION, BEING FILED IN FOR RECORD IN PLAT BOOK C18 PAGE 64, DOCUMENT NUMBER 1981022667, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF 60TH STREET, POINT BEING THE NORTHEAST CORNER OF TRACT A OF PLAT TITLED "LAND DIVISION OF LAND IN AIRPORT UNIT", BEING FILED FOR RECORD IN MAP BOOK B8, FOLIO 175;

THENCE SOUTH 14°48'47" EAST ALONG THE WESTERLY RIGHT-OF-WAY OF 60TH STREET, A DISTANCE OF 237.49 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749" AND THE POINT OF BEGINNING:

THENCE SOUTH 14°48'47" EAST, ALONG SAID WESTERLY RIGHT OF WAY LINE, A DISTANCE OF 450.93 FEET TO A FOUND REBAR WITH ALUMINUM CAP AND TAG STAMPED "RAF 6126";

THENCE SOUTH 15°06'00" EAST, A DISTANCE OF 99.72 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749", WHENCE A TIE FOR A CITY OF ALBUQUERQUE CONTROL STATION "2_L10" BEARS SOUTH 24°31'52" WEST, A DISTANCE OF 4939.82 FEET:

THENCE LEAVING SAID WESTERLY RIGHT OF WAY, SOUTH 75°06'49" WEST, A DISTANCE OF 394.35 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749":

THENCE NORTH 14°54'01" WEST, A DISTANCE OF 588.19 FEET TO A SET #4 REBAR WITH CAP STAMPED

THENCE NORTH 75°11'13" EAST, A DISTANCE OF 125.00 FEET TO A SET #4 REBAR WITH CAP STAMPED

THENCE NORTH 14°48'47" WEST, A DISTANCE OF 13.00 FEET TO A SET #4 REBAR WITH CAP STAMPED

THENCE NORTH 75°11'13" EAST, A DISTANCE OF 85.10 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749":

THENCE SOUTH 14°48'47" EAST, A DISTANCE OF 50.10 FEET TO A SET #4 REBAR WITH CAP STAMPED

THENCE NORTH 75°09'55 EAST, A DISTANCE OF 184.65 FEET TO THE POINT AND PLACE OF BEGINNING

SAID TRACT CONTAINING 226,111 SQUARE FEET OR 5.19 ACRES MORE OR LESS.

LEGAL DESCRIPTION TRACT B:

A TRACT OF LAND LOCATED IN THE CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT, WITHIN PROJECTED SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO BEING COMPRISED OF LOTS 6 THROUGH 17 OF METZ-ROBERTSON ADDITION, THE SAME AS SHOWN ON THE SUBDIVISION PLAT FILED DECEMBER 29, 1945 IN MAP VOLUME C1 FOLIO 10, RECORDS OF BERNALILLO COUNTY, NEW MEXICO AND BEING MORE PARTICULARLY DESCRIBED

COMMENCING AT A FOUND REBAR ON THE WESTERLY RIGHT-OF-WAY LINE OF 60TH STREET, POINT BEING THE NORTHEAST CORNER OF TRACT A OF PLAT TITLED "LAND DIVISION OF LAND IN AIRPORT UNIT", BEING FILED FOR RECORD IN MAP BOOK B8, FOLIO 175;

THENCE SOUTH 44°17'57" EAST. A DISTANCE OF 101.58 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749" ON THE EASTERLY RIGHT-OF-WAY LINE OF 60TH STREET AND THE POINT OF BEGINNING:

THENCE LEAVING SAID EASTERLY RIGHT-OF-WAY LINE. NORTH 75°11'13" EAST. A DISTANCE OF 185.00 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749":

THENCE SOUTH 14°48'47" EAST, A DISTANCE OF 600.00 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749":

THENCE SOUTH 75°11'13" WEST, A DISTANCE OF 185.00 FEET TO A SET #4 REBAR WITH CAP STAMPED "NATERA 27749" AND A POINT ON THE EASTERLY RIGHT-OF-WAY OF 60TH STREET

THENCE NORTH 14°48'47" WEST ALONG SAID EASTERLY RIGHT OF WAY, A DISTANCE OF 600.00 FEET TO THE POINT AND PLACE OF BEGINNING

SAID TRACT CONTAINING 111,000 SQUARE FEET OR 2.55 ACRES MORE OR LESS.

NOTES:

- SUBJECT PROPERTY IS ZONED R-ML (MULTI FAMILY LOW DENSITY), IDO ZONE ATLAS PAGE K-11-Z.
- 2. FIELD SURVEY PERFORMED FEBRUARY 22 THROUGH MARCH 3, 2023
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND IN RESPONSE TO NM811 DESIGN LOCATE REQUEST (NM811 TICKET#23FE100436 DATE:2/10/23, TIME: 1:33 P.M.). LOCATIONS AND SIZES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATIONS SHOWN. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. BURIED UTILITIES/STRUCTURES SHOWN HEREON MAY NOT EXIST. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO FIND OR VERIFY BURIED UTILITIES LOCATIONS.
- SUBJECT PROPERTY LOCATED IN FLOOD ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN; AND FLOOD ZONE AH, SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED PER FEMA MAP NO. 35001C0329H EFFECTIVE AND REVISED DATE AUGUST 16, 2012.
- LETTER OF MAP AMENDMENT (LOMA), DATED 9/5/2023 CASE NO. 23-06-1533A, DETERMINED THAT SOME AREAS ARE REMOVED FROM THE SPECIAL FLOOD HAZARD AREA (SFHA), SHOWN AND NOTED HEREON,
- SOLAR COLLECTION NOTE: NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION. COVENANT, OR BUILDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF PROPOSED PLAT, THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT.

UTILITY APPROVALS:

	10/17/2024
PUBLIC SERVICE COMPANY OF NEW MEXICO	DATE
7bx	10/25/2024
NEW MEXICO GAS COMPANY	DATE
Mike Mortus	10/17/2024
COMCAST CABLE	DATE
Watklu Antonie	4505/1/11
CENTURY LINK (LUMEN)	DÂTE

CITT AFFROVALS.	
Loren N. Risenhoover P.S. CITY SURVEYOR	9/17/2024 DATE
HYDROLOGY	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
$\langle \lambda \rangle$	10/28/2024
AMAFCA	DATE
CITY ENGINEERING	DATE
CODE ENFORCEMENT	DATE
PLANNING DEPARTMENT	DATE

BASIS OF BEARINGS:

STAMPED "9-K10 1989"

BASIS OF BEARING FOR THIS SURVEY SHOWN HEREON ARE NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS. DISTANCES AND COORDINATES ARE MODIFIED (SURFACE) NEW MEXICO CENTRAL 3002, NAD83, NAVD88, FROM A PUBLISHED CITY OF ALBUQUERQUE BENCHMARK

REFERENCE FRAME: MODIFIED NAD83(2011)(EPOCH:2010.0000) VERTICAL DATUM: NAVD88 (COMPUTED USING GEOID18) GRID TO GROUND SCALE FACTOR: 1.0003178710 ORIGIN OF SCALE: N= 1485617.62 E= 1498430.82 (N35°04'56.6163" W106°43'28.54582") **ELEVATION USED FOR SCALE: 5117.72** CONVERGENCE: -0° 16' 22.01" ALL DISTANCES ARE GROUND DISTANCES.

SURVEYOR'S CERTIFICATION

UNITS ARE U.S. SURVEY FEET.

I, JAYSON NATERA, NEW MEXICO PROFESSIONAL SURVEYOR NO. 27749, DO HEREBY CERTIFY THAT THIS REPLAT AND THE ACTUAL SURVEY ON THE GROUND UPON WHICH IT IS BASED WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT I AM RESPONSIBLE FOR THIS SURVEY; SHOWS ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, TITLE COMPANIES, UTILITY COMPANIES OR OTHER PARTIES EXPRESSING AN INTEREST. I FURTHER CERTIFY THAT THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO: AND THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

9/17/2024

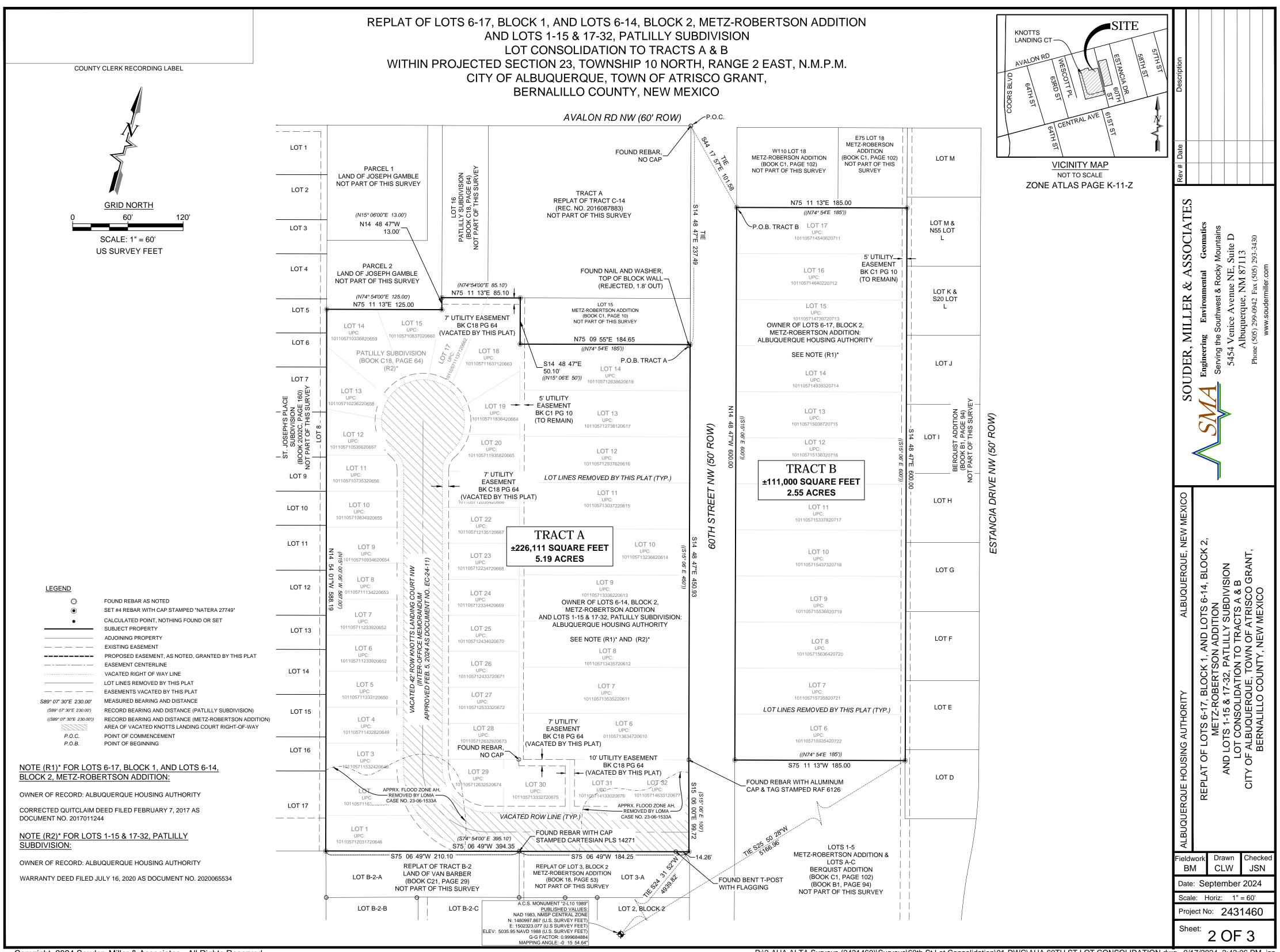
MILLER

ieldwork Drawn Checked BM CLW JSN

Date: September 2024

Scale: Horiz: N/A

Project No: 2431460 Sheet:



REPLAT OF LOTS 6-17, BLOCK 1, AND LOTS 6-14, BLOCK 2, METZ-ROBERTSON ADDITION KNOTTS AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION LANDING CT LOT CONSOLIDATION TO TRACTS A & B WITHIN PROJECTED SECTION 23, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. COUNTY CLERK RECORDING LABEL CITY OF ALBUQUERQUE, TOWN OF ATRISCO GRANT. BERNALILLO COUNTY, NEW MEXICO AVALON RD NW (60' ROW) E75 LOT 18 METZ-ROBERSON LOT 1 W110 LOT 18 ADDITION FOUND REBAR, METZ-ROBERSON ADDITION (BOOK C1, PAGE 102) LOT M NO CAP (BOOK C1, PAGE 102) NOT PART OF THIS SURVEY **VICINITY MAP** NOT PART OF THIS PARCEL 1 SURVEY NOT TO SCALE LAND OF JOSEPH GAMBLE NOT PART OF THIS SURVEY **ZONE ATLAS PAGE K-11-Z** LOT 2 TRACT A REPLAT OF TRACT C-14 **GRID NORTH** (REC. NO. 2016087883) NOT PART OF THIS SURVEY LOT M & LOT 3 N55 LOT SCALE: 1" = 60' **US SURVEY FEET** 5' UTILITY___ EASEMENT PARCEL 2 LOT 4 BK C1 PG 10 LAND OF JOSEPH GAMBLE NOT PART OF THIS SURVEY (TO REMAIN) LOT K & S20 LOT LOT 15 METZ-ROBERTSON ADDITION LOT 5 (BOOK C1, PAGE 10) NOT PART OF THIS SURVEY OWNER OF LOTS 6-17, BLOCK 2, METZ-ROBERTSON ADDITION: ALBUQUERQUE HOUSING AUTHORITY LOT 6 SOUDER, SEE NOTE (R1)* LOT J 5' UTILITY - EASEMENT BK C1 PG 10 (TO REMAIN) TRACT B LOT 9 ±111,000 SQUARE FEET **2.55 ACRES** LOT H LOT 10 TRACT A LOT 11 **±226,111 SQUARE FEET 5.19 ACRES** LOT G LOT 12 **LEGEND** OWNER OF LOTS 6-14, BLOCK 2, FOUND REBAR AS NOTED METZ-ROBERTSON ADDITION SET #4 REBAR WITH CAP STAMPED "NATERA 27749" AND LOTS 1-15 & 17-32, PATLILLY SUBDIVISION: CALCULATED POINT, NOTHING FOUND OR SET ALBUQUERQUE HOUSING AUTHORITY LOT 13 LOT F ADJOINING PROPERTY SEE NOTE (R1)* AND (R2)* PROPOSED EASEMENT, AS NOTED, GRANTED BY THIS PLAT REPLAT OF LOTS 6-17, BLOCK
METZ-ROBERTS
AND LOTS 1-15 & 17-32, P
LOT CONSOLIDATION
CITY OF ALBUQUERQUE, TC
BERNALILLO COUNT EASEMENT CENTERLINE LOT LINES REMOVED BY THIS PLAT — — — — EASEMENTS VACATED BY THIS PLAT S89° 07' 30"E 230.00' MEASURED BEARING AND DISTANCE LOT E LOT 15 (S89° 07' 30"E 230.00') RECORD BEARING AND DISTANCE (PATLILLY SUBDIVISION) ((S89° 07' 30"E 230.00")) RECORD BEARING AND DISTANCE (METZ-ROBERTSON ADDITION) AREA OF VACATED KNOTTS LANDING COURT RIGHT-OF-WAY POINT OF COMMENCEMENT POINT OF BEGINNING S75 11 13"W 5.00 5' UTILITY EASEMENT NOTE (R1)* FOR LOTS 6-17, BLOCK 1, AND LOTS 6-14, 30 18 08" GRANTED BY THIS PLAT R=107.23'
/- L=56.71'
ChB S59 57 46"W
ChL=56.05' **BLOCK 2, METZ-ROBERTSON ADDITION:** LOT D ChB S60 1240"W OWNER OF RECORD: ALBUQUERQUE HOUSING AUTHORITY 35'x35' WATER 30' WIDE VEHICULAR ACCESS EASEMENT METER EASEMENT, LOT 17 CORRECTED QUITCLAIM DEED FILED FEBRUARY 7, 2017 AS S75 06 49"W 58.55 GRANTED TO ABCWUA GRANTED BY THIS PLAT DOCUMENT NO. 2017011244 BY THIS PLAT S75 06 49"W 167.65 NOTE (R2)* FOR LOTS 1-15 & 17-32, PATLILLY SUBDIVISION: LOTS 1-5 S75 06 49"W 179.25 METZ-ROBERTSON ADDITION & Drawn OWNER OF RECORD: ALBUQUERQUE HOUSING AUTHORITY REPLAT OF TRACT B-2 BM CLW JSN METZ-ROBERTSON ADDITION
LOT 3-A BERQUIST ADDITION LAND OF VAN BARBER (BOOK C1, PAGE 102) LOT B-2-A WARRANTY DEED FILED JULY 16, 2020 AS DOCUMENT NO. 2020065534 (BOOK 18, PAGE 53) (BOOK C21, PAGE 29) Date: September 2024 (BOOK B1, PAGE 94) NOT PART OF THIS SURVEY NOT PART OF THIS SURVEY NOT PART OF THIS SURVEY Scale: Horiz: 1" = 60' LOT B-2-C LOT 2, BLOCK 2 LOT 2, BLOCK 2 Project No: 2431460 3 OF 3



Tim Keller, Mayor Sarita Nair CAO

City of Albuquerque

P.O. Box 1293 Albuquerque, NM 87103

Planning Department

Alan Varela, Interim Director

Planning, Development Services

Santa Nan, CAO							
	ΓΕ: November 4,						
SUB	SJECT: Albuquer	que Archaeological Ordinance	- Compliance Docum	nentation			
Case	e Number(s):	PR-2023-009260, SI-2024-0	1546, see also PR-20	21-006156			
Age	Agent: Juanita Garcia, JAG Planning & Zoning						
~ ~	licant:	Albuquerque Housing Author	•				
	al Description:	See attached lists of lots and	addresses				
Zon	O	R-ML 7 acres					
	eage: e Atlas Page(s):	K-11-Z					
ZUII	e Atlas I age(s).	11.12					
	RTIFICATE OI	F NO EFFECT: Yes					
SU	PPORTING DO	OCUMENTATION:					
		images, ARMS/NMCRIS reco	rds Albuquerque Hist	torical Aerial Veiwer			
	ogio carti motorio	magoo, 7 a anomano ao ao	ao, 7 libaqao qao 1 lio	orioar romar romor			
SI	SITE VISIT: n/a						
RI	RECOMMENDATIONS:						
	1940s (or older) farmhouses have been removed from the Knotts Landing Ct. NW property. Other portions of the project area have already been developed.						
	Therefore: CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 2 "The property has been disturbed through previous land use"						
O.	110 % #1/10/00 10 10 10 10 10 10 10 10 10 10 10 10 1			SUBMITTED TO	0.		
51	JBMITTED BY	:		SODMITTED I	<u>U.</u>		

Douglas H. M. Boggess, MA, RPA Date Senior Principal Investigator Acting City Archaeologist Lone Mountain Archaeological Services, Inc.