

ZONE ATLAS:



PROJECT INFORMATION:

LEGAL DESCRIPTION

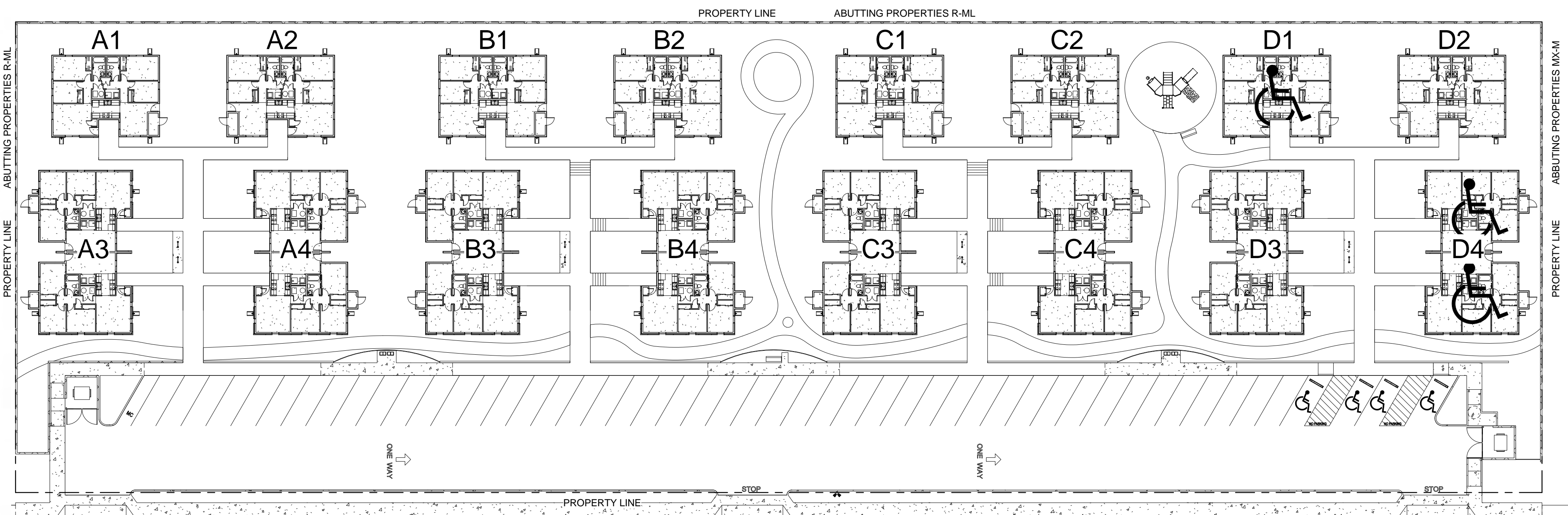
LOTS NUMBERED ONE (1) THROUGH FIFTEEN (15), INCLUSIVE, AND LOTS SEVENTEEN (17) THROUGH THIRTY TWO (32), INCLUSIVE, OF THE PATILLY SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 1, 1981 IN MAP BOOK C18, FOLIO 64, R2 - 46 UNITS

OCCUPANCY TYPE: TYPE 5B
CONSTRUCTION TYPE: NFPA 13.R
AUTOMATIC SPRINKLER SYSTEM: 24' - 0" FEET
BUILDING HEIGHT: 2 FLOORS
NUMBER OF FLOORS: 142,935 SF | 3.2 ACRES
LOT AREA: 142,935 SF | 3.2 ACRES
UNIT MIX:
THREE BEDROOM 32
FOUR BEDROOM 10
NEW CONSTRUCTION:
TWO BEDROOM 30
THREE BEDROOM 16
TOTAL UNITS: 88

PARKING SPACES:
PARKING REQUIREMENTS PER TABLE 5-5-1 OF IDO
PARKING REQUIREMENTS PER IDO:
2 BR UNITS: 1.6 SPACES / UNIT (30) 48 SPACES
3+ BR UNITS: 1.8 SPACES / UNIT (58) 105 SPACES
REQUIRED: 152 SPACES
PROVIDED: 131 STANDARD SPACES
45 COMPACT SPACES
9 HANDICAP SPACES
8 ELECTRIC CHARGING STATIONS
193 SPACES PROVIDED

MOTORCYCLE PARKING REQUIRED: 5 SPACES
MOTORCYCLE PARKING PROVIDED: 5 SPACES

	(gross)	(net)	Subtotal (gross)	Subtotal (net)
NEW CONSTRUCTION UNITS:				
BLDG TYP 1:				
2 Bd Unit (2 per building)	984 sf	904 sf	1,968 sf	1,826 sf
No. Buildings = 3			5,904 sf	5,478 sf
BLDG TYP 2:				
2 Bd Unit (8 per building)	993 sf	907 sf	7,944 sf	7,256 sf
No. Buildings = 3			23,832 sf	21,768 sf
BLDG TYP 3:				
3 Bd Unit (8 per building)	1,250 sf	1,093 sf	10,000 SF	8,744 SF
No. Buildings = 2			20,000 SF	17,488 SF
REHABILITATION UNITS:				
BLDG TYP 4:				
3 Bd Unit (2 per building)	1,097 sf	982 sf	2,194 sf	1,964 sf
No. Buildings = 16			35,104 sf	31,424 sf
BLDG TYP 5:				
4 Bd Unit (1 per building)	1,371 sf	1,227 sf	1,371 sf	1,227 sf
No. Buildings = 10			13,710 sf	12,270 sf
TOTAL NEW CONSTRUCTION:				
Total New Construction			49,064 sf	44,734 sf
Total Rehab			48,814 sf	43,694 sf
Total Building			98,550 sf	88,428 sf
Community Building			2,052 sf	1,576 sf
Total Project Area			100,602 sf	90,004 sf



60TH ST.

GENERAL NOTES:

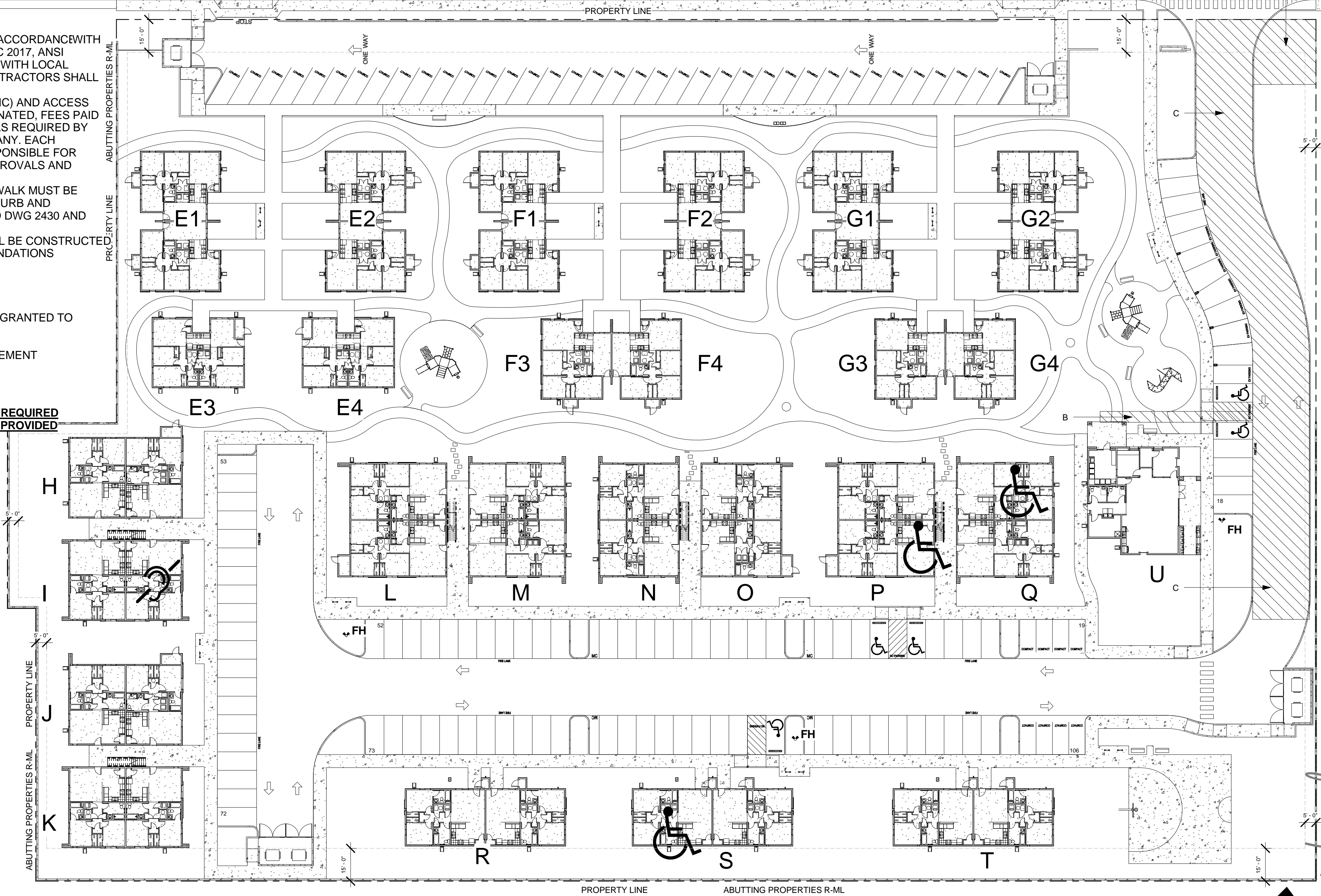
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
- ALL UTILITIES (PRIVATE AND PUBLIC) AND ACCESS CONNECTIONS SHALL BE COORDINATED, FEES PAID AND CONSTRUCTION INSTALLED AS REQUIRED BY GOVERNING AGENCIES OR COMPANY. EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFIC PERMIT, APPROVALS AND PAYING ALL FEES AND TAXES.
- ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.
- ASPHALT PAVING SECTIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY SOILS ENGINEER

KEYED NOTES:

- A. 30'X30' WATER METER EASEMENT GRANTED TO ABCWUA
B. 5' UTILITY EASEMENT
C. 30' WIDE VEHICULAR ACCESS EASEMENT

USEABLE OPEN SPACE:

2 BR: 285 SF X 30 = 8,550 SF
3 BR+: 350 SF X 58 = 20,300 SF
28,850 SF REQUIRED
176,069 SF PROVIDED



1 TCL - Overall Site Plan
1" = 30'-0"

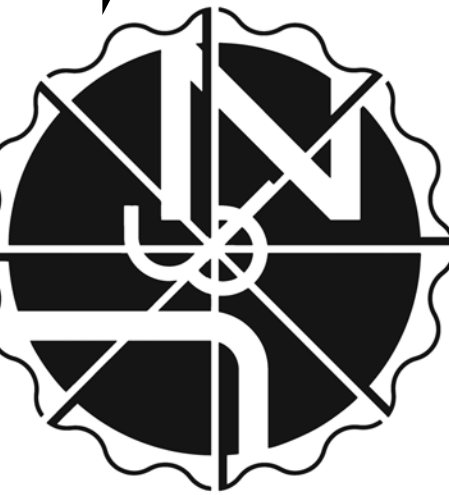
easy as pie



JEEBS & ZUZU, LLC.

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

**Architecture
Construction
Design-Build**



job no: -
drawn: EAM
checked: J&Z
date: Oct. 21, 2024

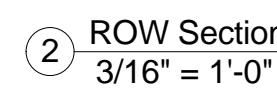
CASITAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

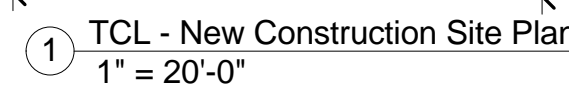
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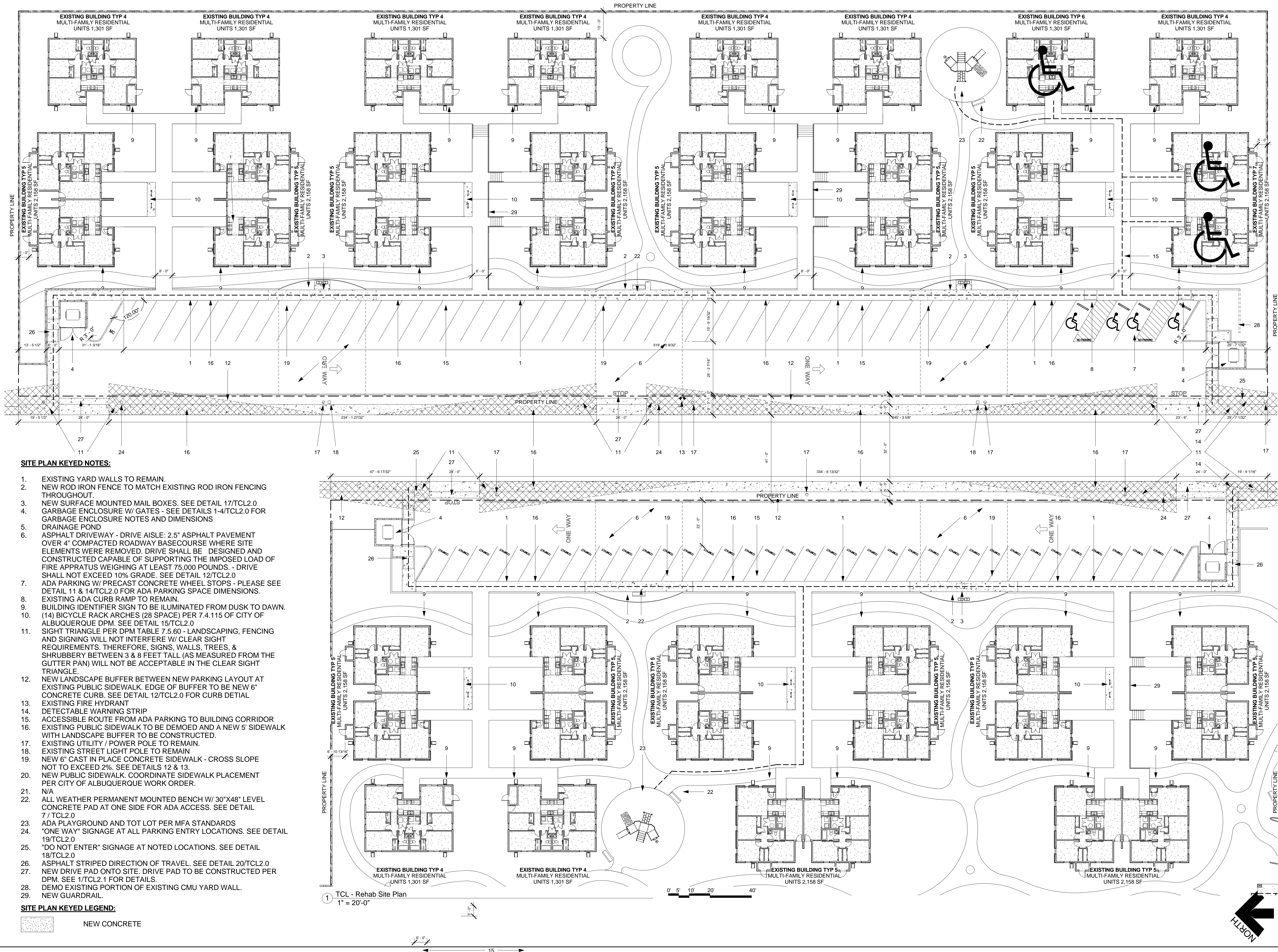
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1. COMMUNITY BUILDING
2. MONUMENT SIGN - SEE DETAIL
3. MAINTENANCE RM
4. GARBAGE ENCLOSURE W/ GATES - SEE DETAILS 1-4/TCL2.0 FOR GARBAGE ENCLOSURE NOTES AND DIMENSIONS
5. DRAINAGE POND
6. ASPHALT DRIVEWAY - DRIVE AISLE: 2.5" ASPHALT PAVEMENT OVER 4" COMPACTED ROADWAY BASECOURSE. DRIVE SHALL BE DESIGNED AND CONSTRUCTED CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPRATUS WEIGHING AT LEAST 75,000 POUNDS. - DRIVE SHALL NOT EXCEED 10% GRADE. - SEE DETAIL 12/TCL2.0
7. ADA PARKING W/ PRECAST CONCRETE WHEEL STOPS - PLEASE SEE DETAIL 11 & 14/TCL2.0 FOR ADA PARKING SPACE DIMENSIONS.
8. ADA CURB RAMP - SEE DETAIL 14/TCL2.0 FOR CURB RAMP SLOPES AND DIMENSIONS
9. BUILDING IDENTIFIER SIGN TO BE ILLUMINATED FROM DUSK TO DAWN (12) BICYCLE RACK ARCHES (24 SPACES) PER 7.4.115 OF CITY OF ALBUQUERQUE DPM. SEE DETAILS 6 & 15/TCL2.0
11. SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
12. POST INDICATOR VALVE
13. FIRE HYDRANT
14. DETECTABLE WARNING STRIP & PUBLIC CURB RAMP. SEE DETAILS ON SHEET TCL2.1
15. ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING CORRIDOR
16. N/A
17. 16" POLE MOUNTED SITE LED DOWNLIGHT W/ CUTOFF - LIGHTING TO BE DESIGNED BY ELECTRICAL ENGINEER AND SHALL BE COMPLIANT W/ ABQ NIGHT SKY ORDINANCE.
18. NEW STOP SIGNAGE - SEE DETAIL 16/TCL2.0
19. NEW 6" CAST IN PLACE CONCRETE SIDEWALK - CROSS SLOPE NOT TO EXCEED 2%. SEE DETAILS 12 & 13.
20. NEW PUBLIC SIDEWALK TO TIE INTO EXISTING PUBLIC SIDEWALK. COORDINATE SIDEWALK PLACEMENT PER CITY OF ALBUQUERQUE WORK ORDER.
21. COMPACT PARKING - SEE DETAIL 5/TCL2.0 FOR ALL PARKING DIMENSIONS.
22. ALL WEATHER PERMANENT MOUNTED BENCH W/ 30"x48" LEVEL CONCRETE PAD AT ONE SIDE FOR ADA ACCESS. SEE DETAIL 7 / TCL2.0
23. ADA PLAYGROUND AND TOT LOT PER MFA STANDARDS
24. NEW BASKETBALL COURT
25. A MINIMUM OF 10 OF THESE PARKING SPACES TO BE LABELED AS "ELECTRIC VEHICLE PARKING" CHARGING STATIONS ARE TO HAVE A MIN. OF 240 V RATING. SEE DETAIL 5/AS2.1 FOR PARKING STALL DIMENSIONS
26. ADA CURB RAMP AT REFUSE ENCLOSURES
27. MOTORCYCLE PARKING - SEE 5/TCL2.0 FOR TYP. DIMENSIONS
28. REMOVE EXISTING DRIVE PAD AND RECONSTRUCT A NEW SIDEWALK AND CURB AND GUTTER PER CABQ DWG 2415C, 2430, & 2432.
29. MAIL CENTER
30. NEW 6'-0" HIGH GRAY CMU WALL AT NORTH AND WEST PROPERTY LINES.
31. NEW 6'-0" HIGH BLACK IRON FENCE AT SOUTH PROPERTY LINE.



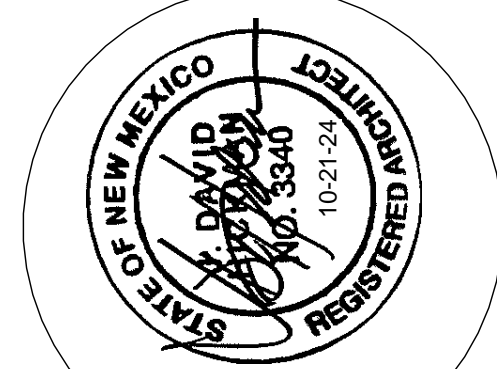


SITE PLAN KEYED NOTES:

- EXISTING YARD WALLS TO REMAIN.
- NEW ROD IRON FENCE TO MATCH EXISTING ROD IRON FENCING THROUGHOUT.
- NEW SURFACE MOUNTED MAIL BOXES. SEE DETAIL 17/TCL2.0
- GARBAGE ENCLOSURE W/ GATES - SEE DETAILS 1-4/TCL2.0 FOR GARBAGE ENCLOSURE NOTES AND DIMENSIONS
- DRAINAGE POND
- ASPHALT DRIVEWAY - DRIVE AISLE: 2.5" ASPHALT PAVEMENT OVER 4" COMPACTED ROADWAY BASECOURSE WHERE SITE ELEMENTS WERE REMOVED. DRIVE SHALL BE DESIGNED AND CONSTRUCTED CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPRATUS WEIGHING AT LEAST 75,000 POUNDS. - DRIVE SHALL NOT EXCEED 10% GRADE. SEE DETAIL 12/TCL2.0
- ADA PARKING W/ PRECAST CONCRETE WHEEL STOPS - PLEASE SEE DETAIL 11 & 14/TCL2.0 FOR ADA PARKING SPACE DIMENSIONS.
- EXISTING ADA CURB RAMP TO REMAIN.
- BUILDING IDENTIFIER SIGN TO BE ILLUMINATED FROM DUSK TO DAWN.
- (14) BICYCLE RACK ARCHES (28 SPACE) PER 7.4.115 OF CITY OF ALBUQUERQUE DPM. SEE DETAIL 15/TCL2.0
- SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- NEW LANDSCAPE BUFFER BETWEEN NEW PARKING LAYOUT AT EXISTING PUBLIC SIDEWALK. EDGE OF BUFFER TO BE NEW 6" CONCRETE CURB. SEE DETAIL 12/TCL2.0 FOR CURB DETAIL
- EXISTING FIRE HYDRANT
- DETECTABLE WARNING STRIP
- ACCESSIBLE ROUTE FROM ADA PARKING TO BUILDING CORRIDOR
- EXISTING PUBLIC SIDEWALK TO BE DEMOED AND A NEW 5' SIDEWALK WITH LANDSCAPE BUFFER TO BE CONSTRUCTED.
- EXISTING UTILITY / POWER POLE TO REMAIN.
- EXISTING STREET LIGHT POLE TO REMAIN
- NEW 6" CAST IN PLACE CONCRETE SIDEWALK - CROSS SLOPE NOT TO EXCEED 2%. SEE DETAILS 12 & 13.
- NEW PUBLIC SIDEWALK. COORDINATE SIDEWALK PLACEMENT PER CITY OF ALBUQUERQUE WORK ORDER.
- N/A
- ALL WEATHER PERMANENT MOUNTED BENCH W/ 30"X48" LEVEL CONCRETE PAD AT ONE SIDE FOR ADA ACCESS. SEE DETAIL 7 / TCL2.0
- ADA PLAYGROUND AND TOT LOT PER MFA STANDARDS
- "ONE WAY" SIGNAGE AT ALL PARKING ENTRY LOCATIONS. SEE DETAIL 19/TCL2.0
- "DO NOT ENTER" SIGNAGE AT NOTED LOCATIONS. SEE DETAIL 18/TCL2.0
- ASPHALT STRIPED DIRECTION OF TRAVEL. SEE DETAIL 20/TCL2.0
- NEW DRIVE PAD ONTO SITE. DRIVE PAD TO BE CONSTRUCTED PER DPM. SEE 1/TCL2.1 FOR DETAILS.
- DEMO EXISTING PORTION OF EXISTING CMU YARD WALL.
- NEW GUARDRAIL.

SITE PLAN KEYED LEGEND:

NEW CONCRETE



JEEBS & ZUZU, LLC.

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318

Architecture
Construction
Design-Build



job no:	-
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CASITAS DEL CAMINO

60th Street NW
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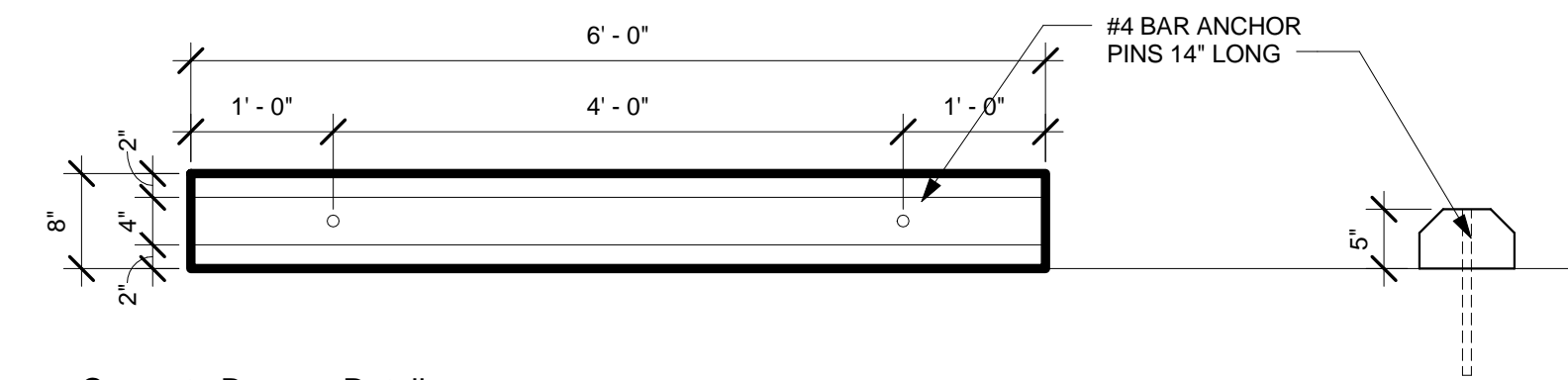
sheet no:

512

REHAB SITE PLAN

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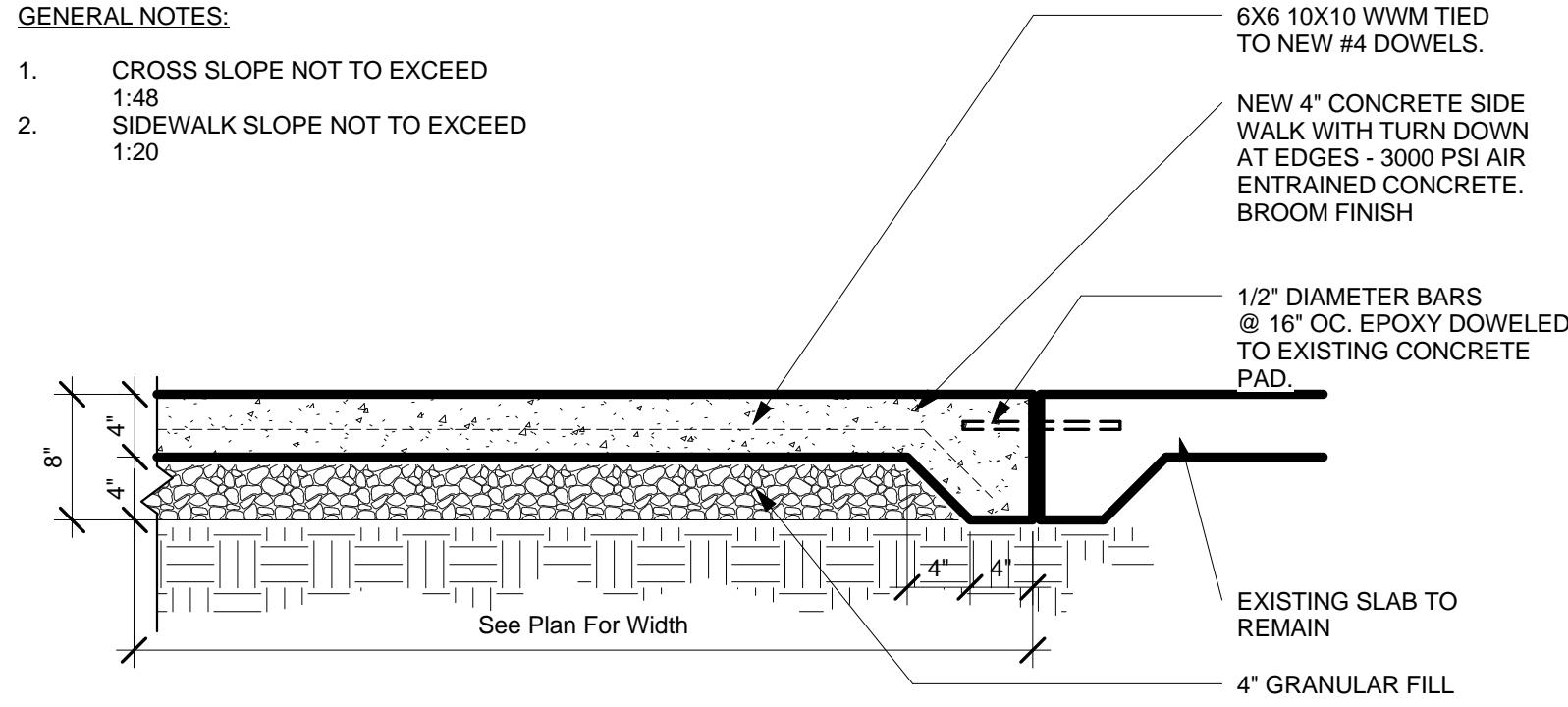
easy as pie



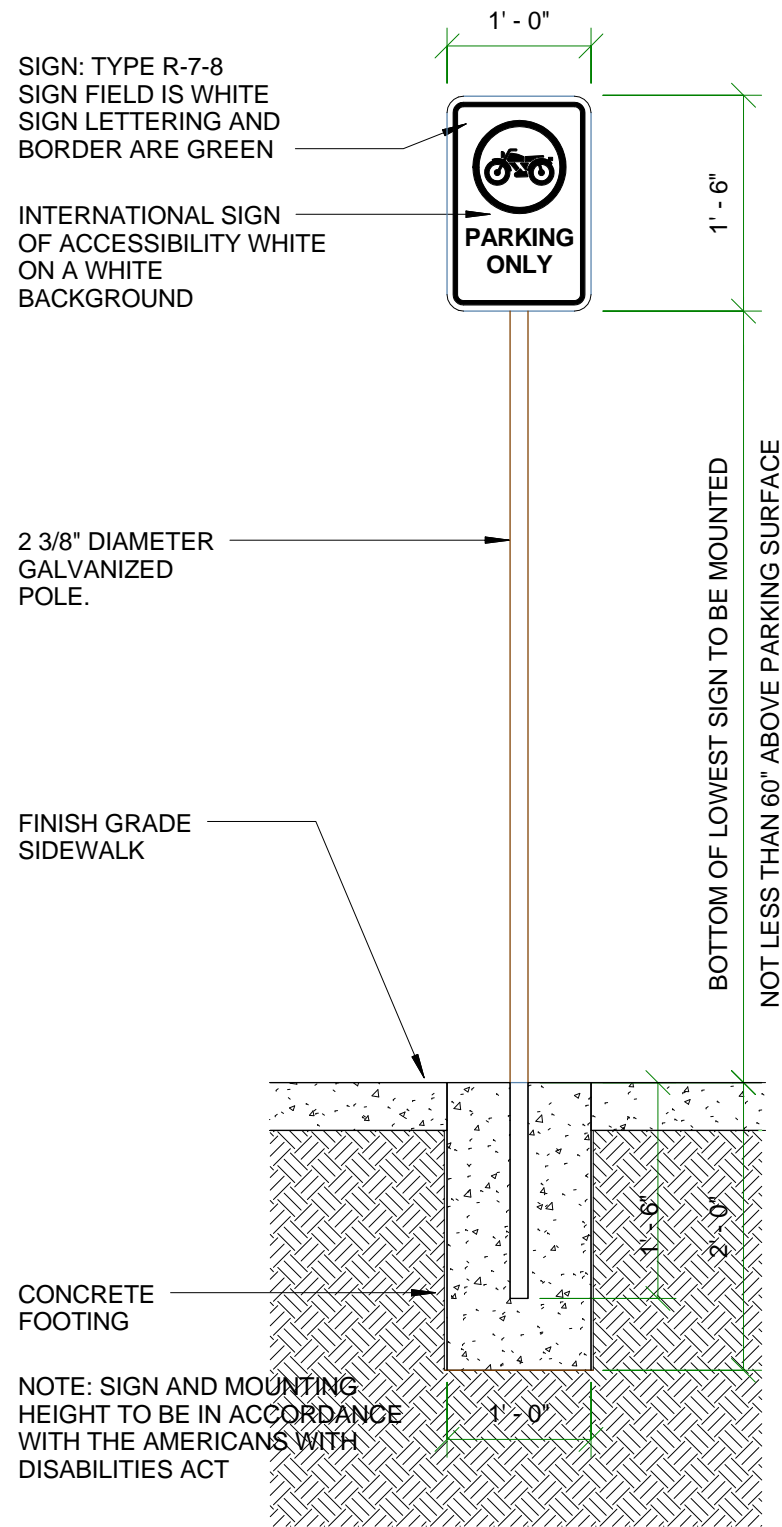
14 Concrete Bumper Detail
3/4" = 1'-0"

GENERAL NOTES:

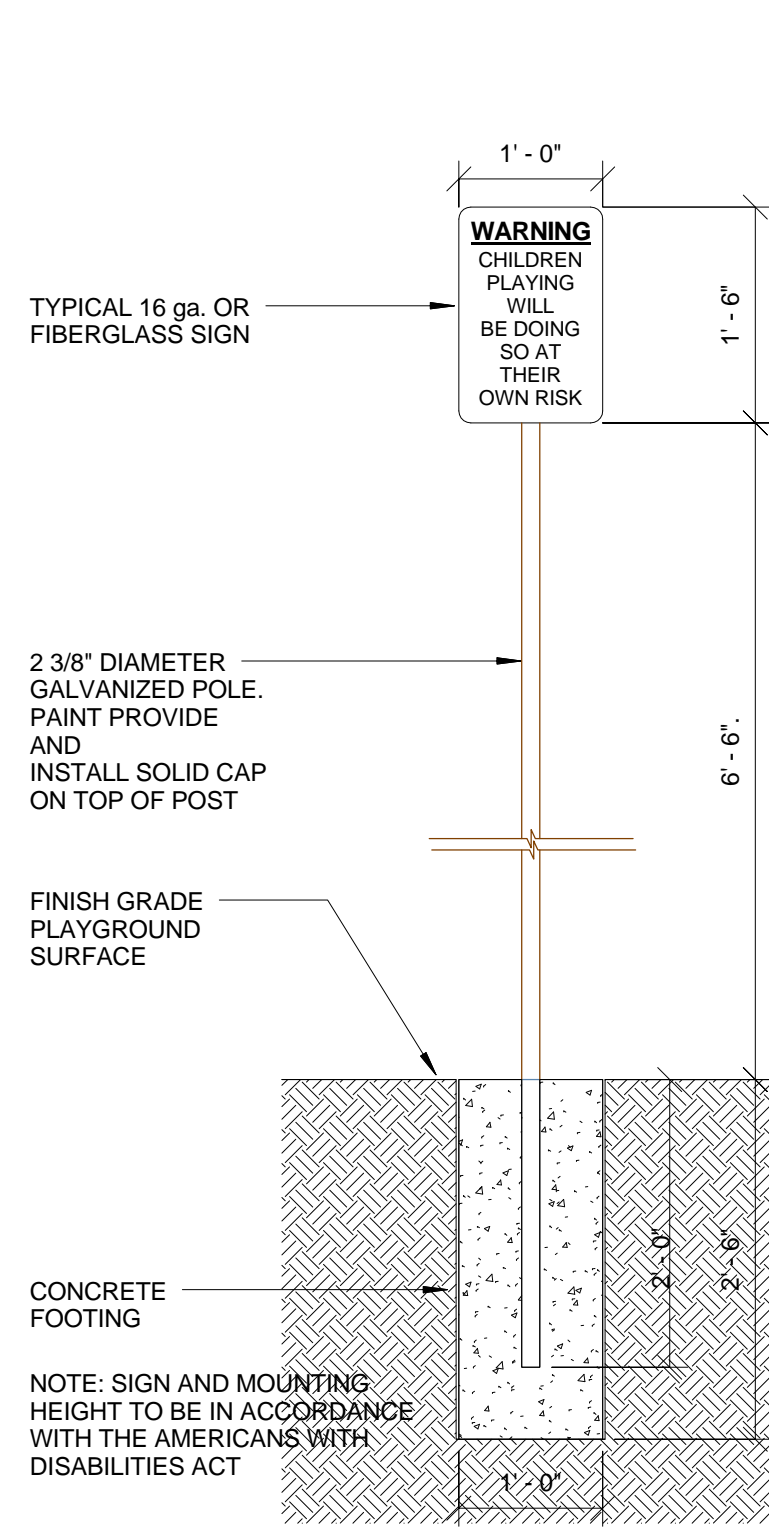
- CROSS SLOPE NOT TO EXCEED 1:48
- SIDEWALK SLOPE NOT TO EXCEED 1:20



13 Sidewalk Detail
1" = 1'-0"

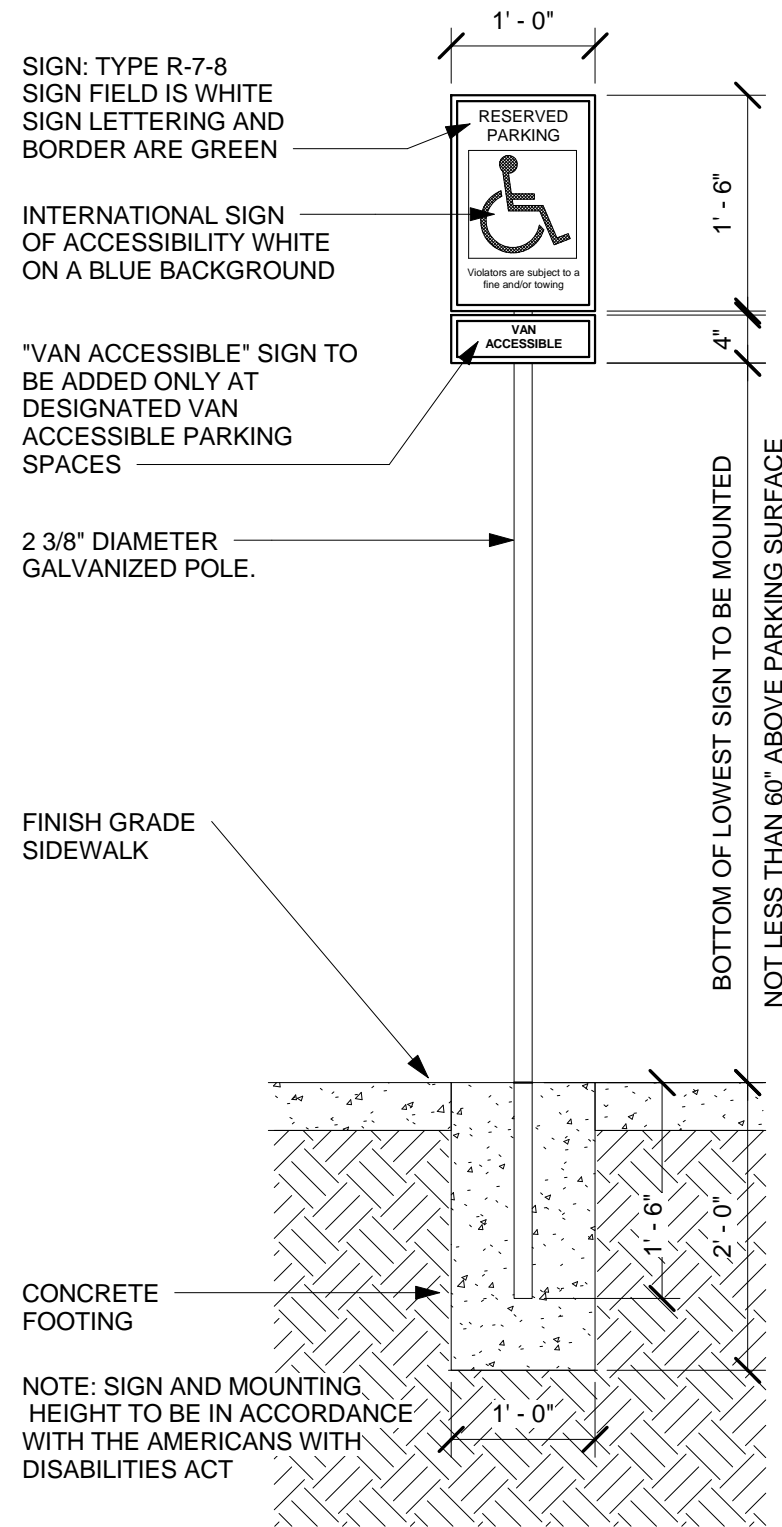


8 Motorcycle Parking Sign
3/4" = 1'-0"



9 Playground Warning Sign
3/4" = 1'-0"

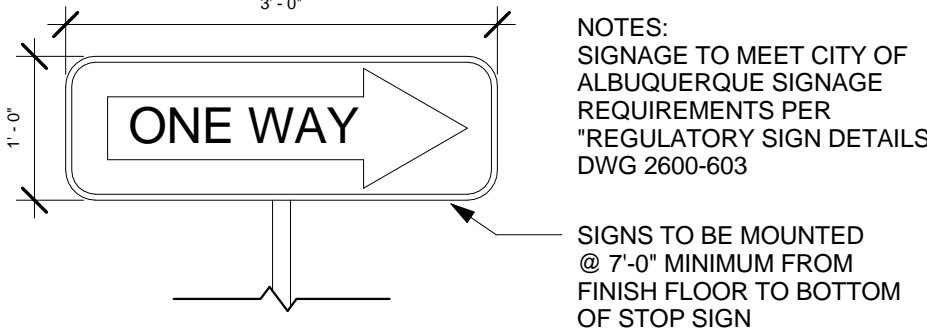
15 Bike Rack Detail
1/4" = 1'-0"



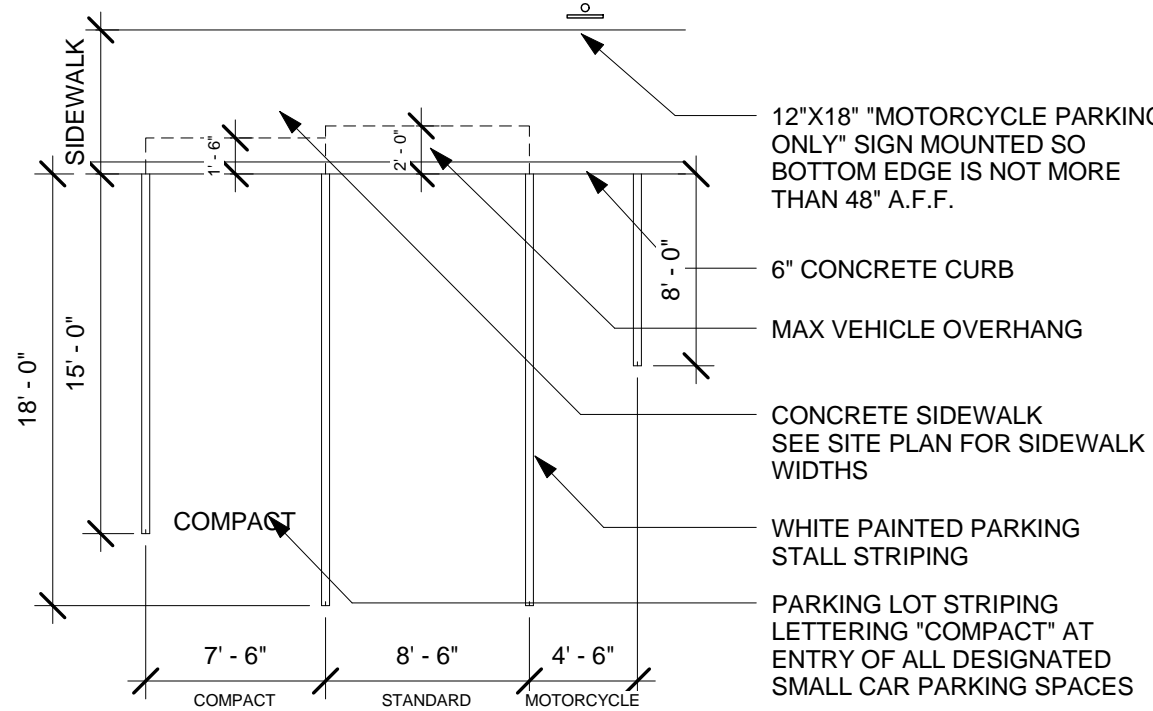
10 Handicap Parking Sign
3/4" = 1'-0"

NOTES:
STRIPED DIRECTIONAL ARROW TO MEET CITY OF ALBUQUERQUE SIGNAGE REQUIREMENTS PER "PAVEMENT MARKING DETAILS" DWG 2600-105

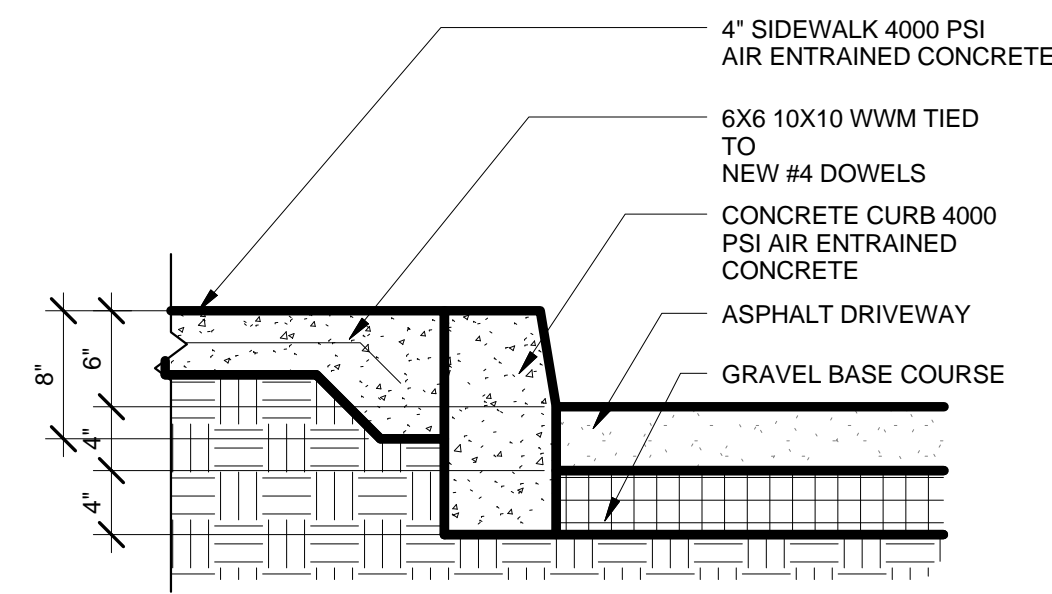
20 Arrow Asphalt Striping
3/8" = 1'-0"



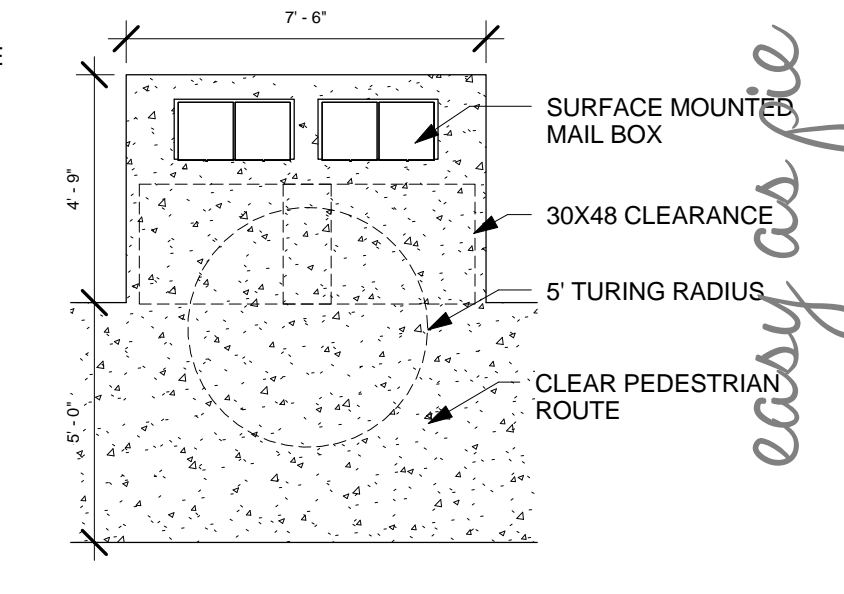
19 ONE WAY Sign Detail
3/4" = 1'-0"



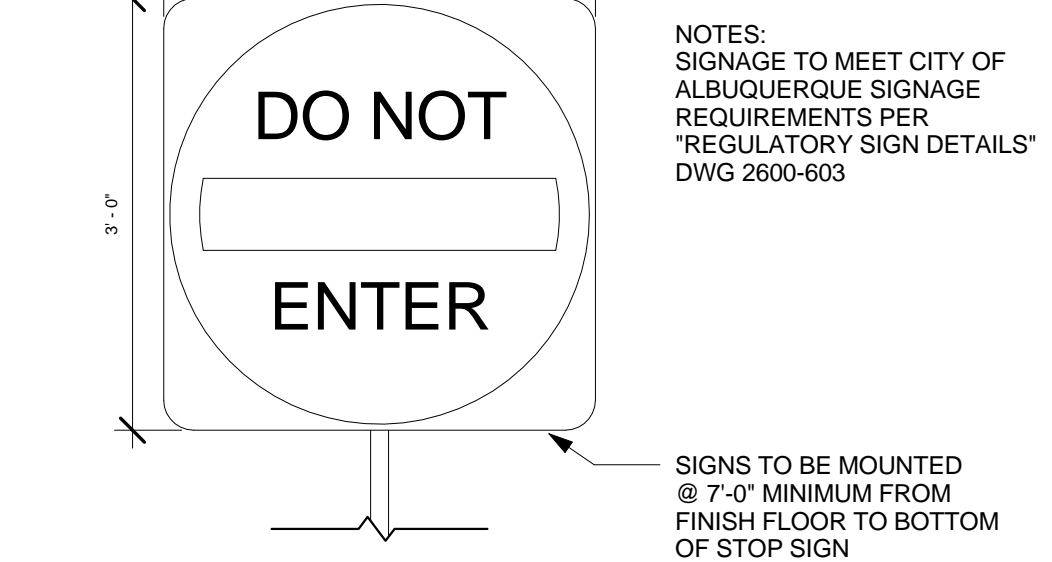
5 Parking Detail
1/8" = 1'-0"



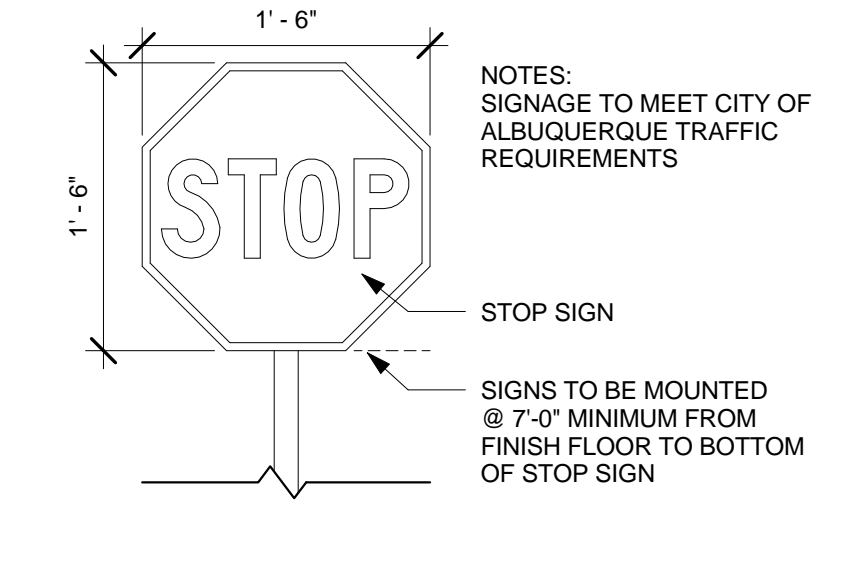
12 Curb Section Detail
1" = 1'-0"



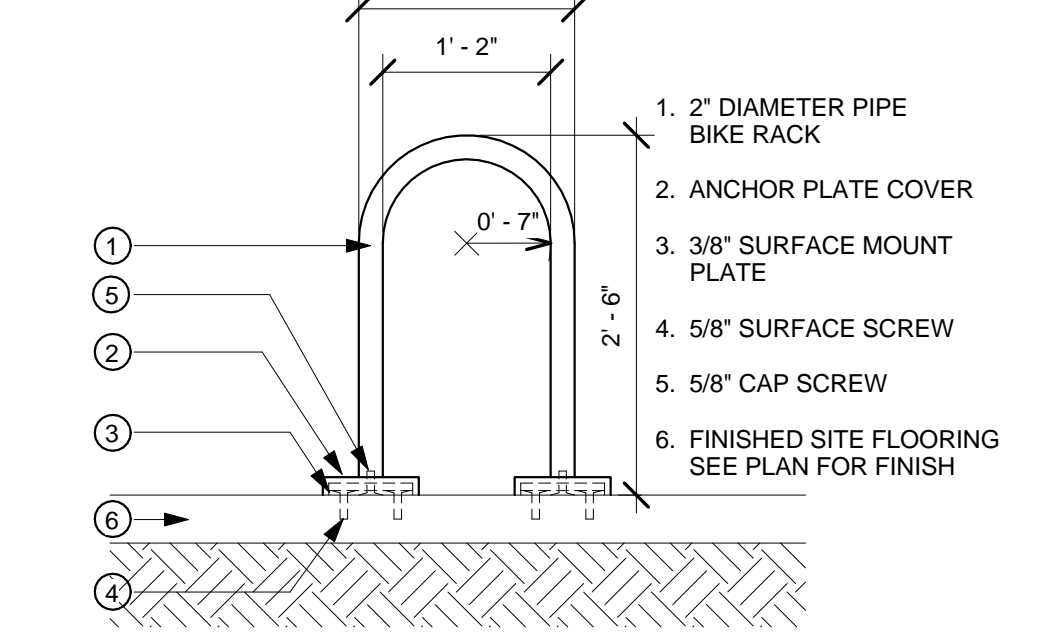
17 Mail Box Plan
1/4" = 1'-0"



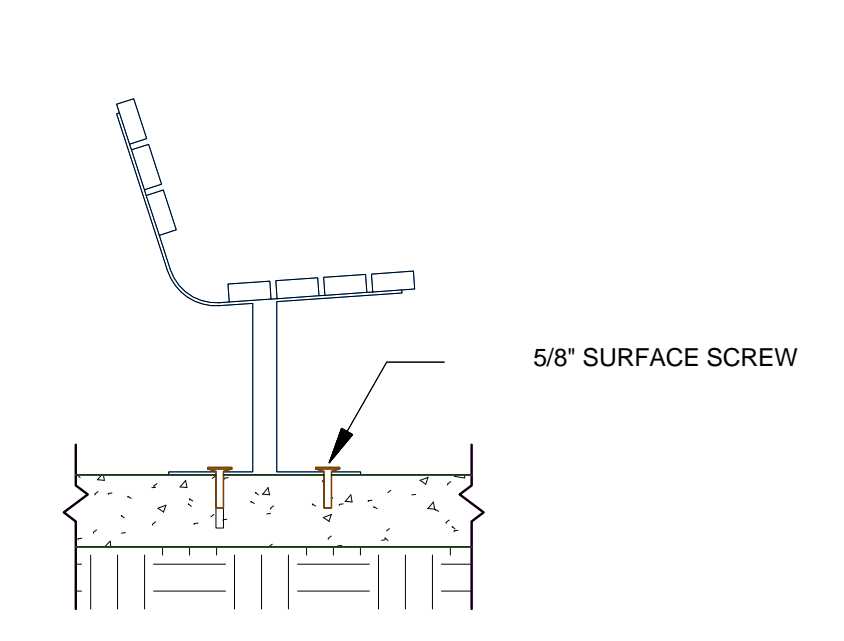
18 DO NOT ENTER Sign Detail
3/4" = 1'-0"



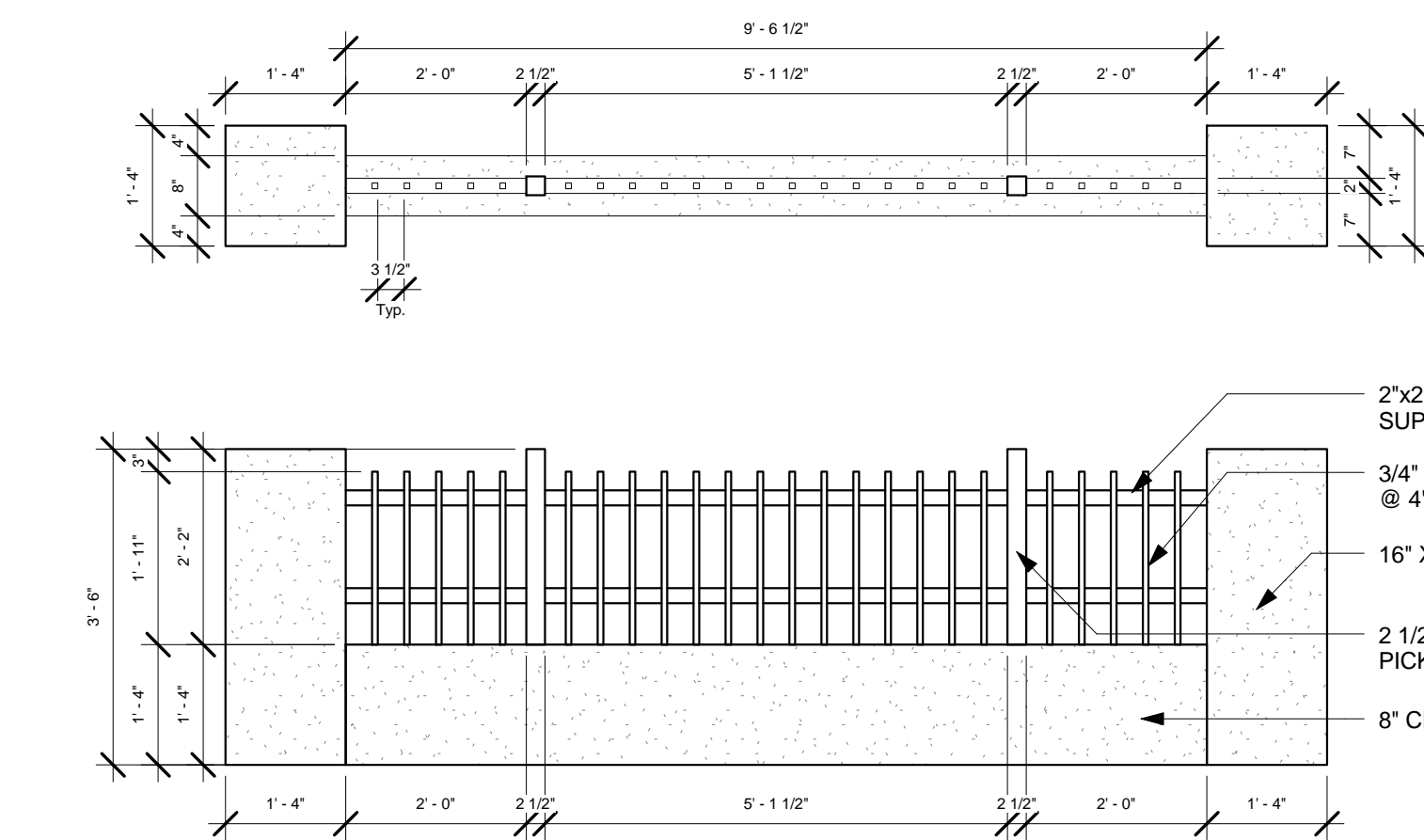
16 Stop Sign Detail
1" = 1'-0"



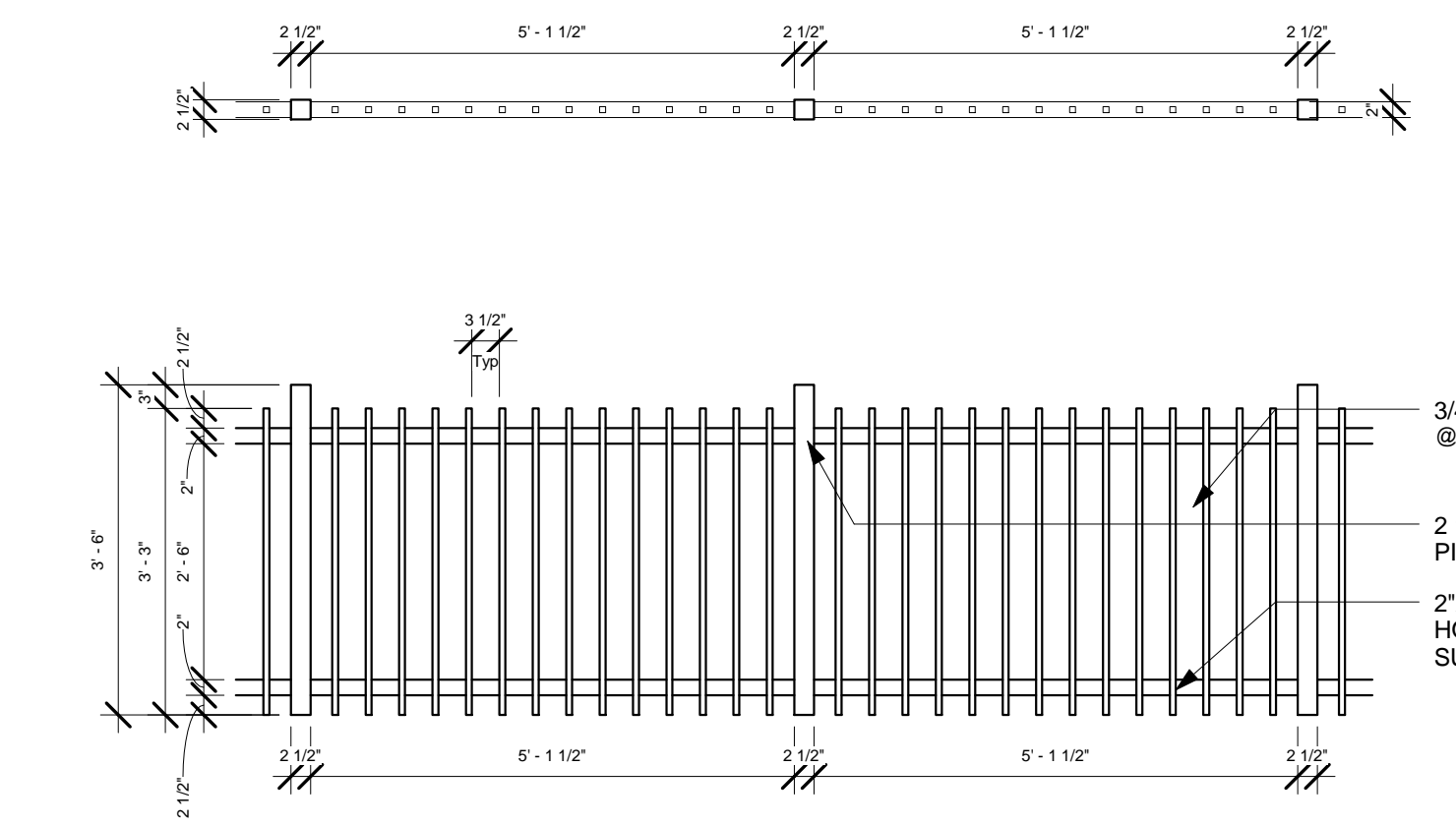
6 Bike Rack Detail
3/4" = 1'-0"



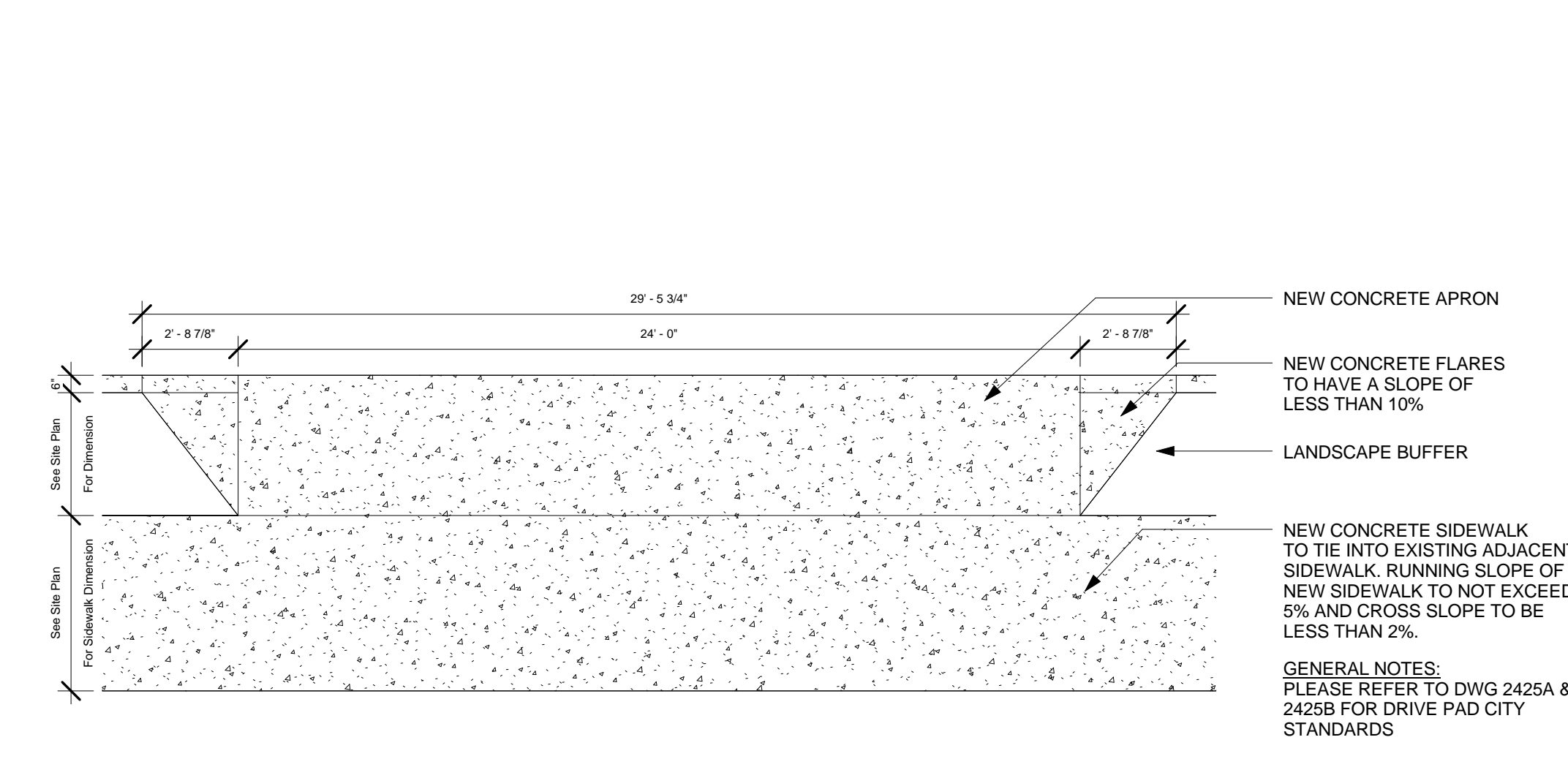
7 Surface Mounted Bench
3/4" = 1'-0"



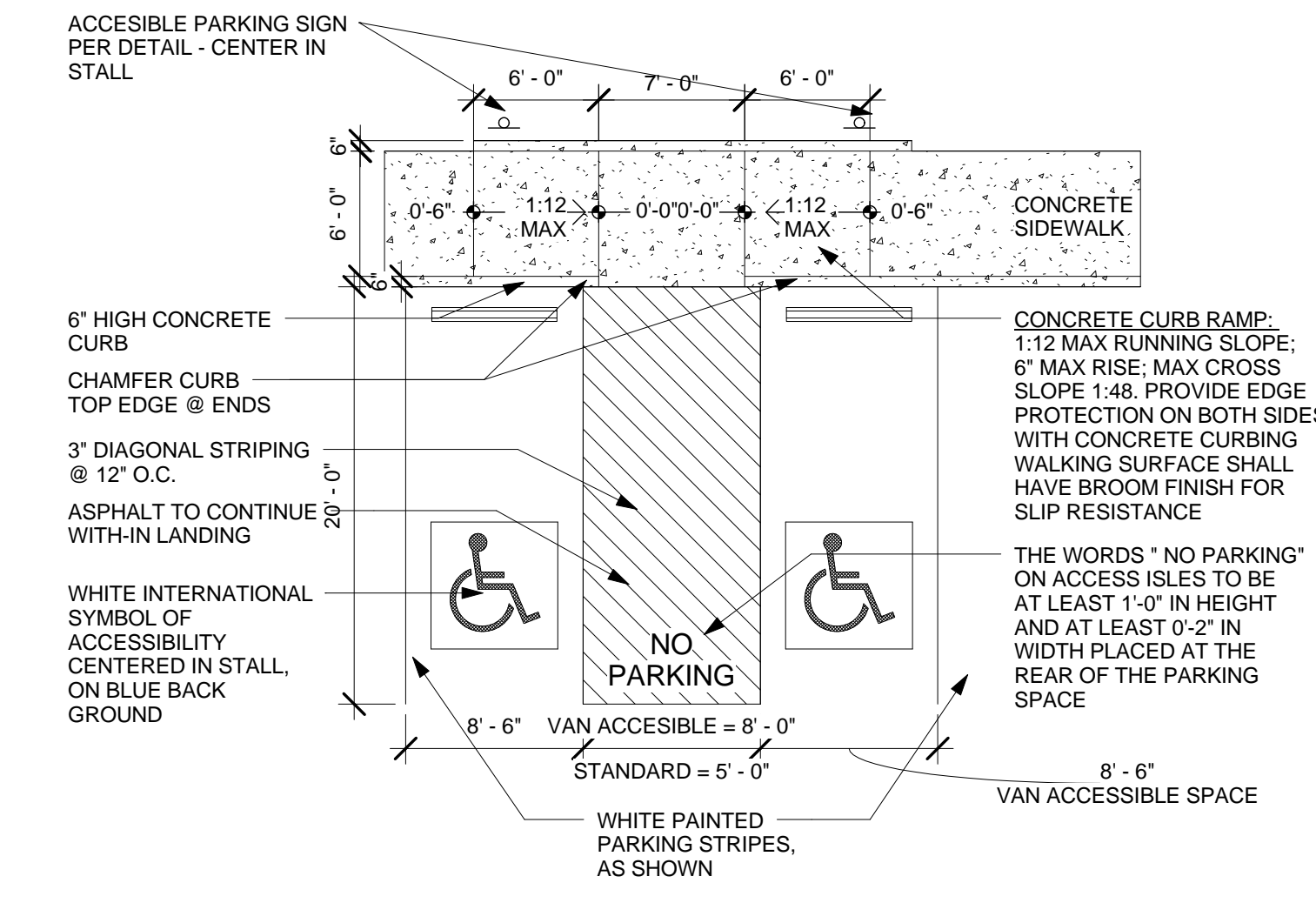
2 CMU / Wrought Iron Fence Detail
1/2" = 1'-0"



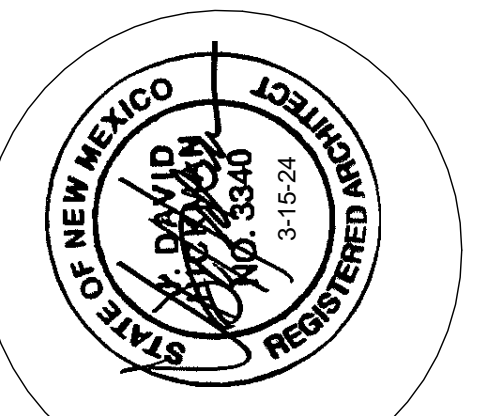
3 Wrought Iron Fence Detail
1/2" = 1'-0"



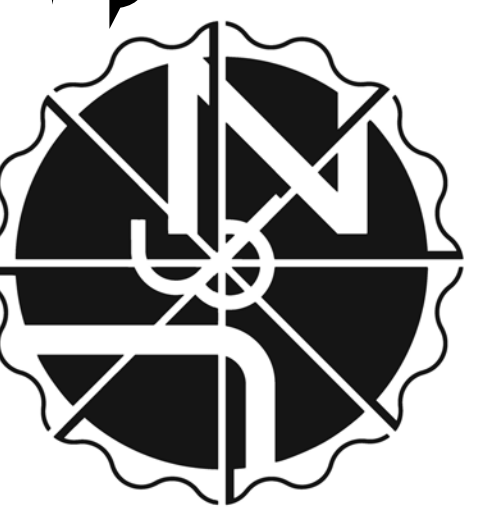
1 Concrete Driving Pad
1/4" = 1'-0"



11 ADA Parking Detail
1/8" = 1'-0"



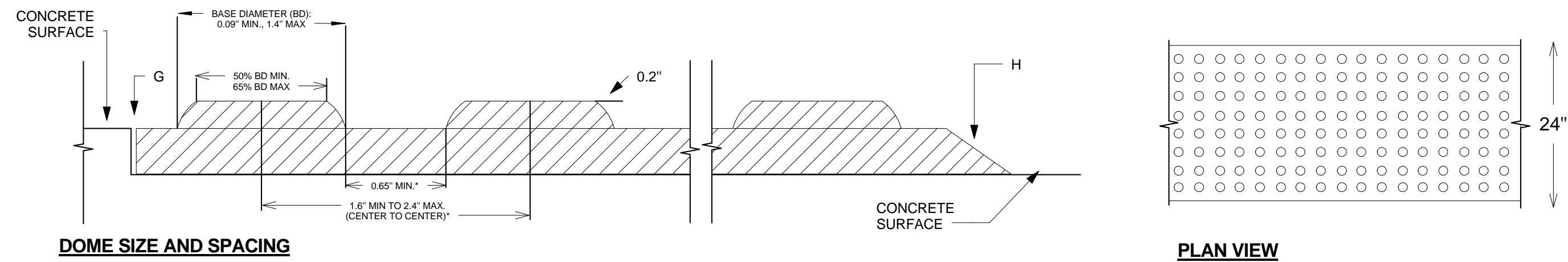
JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build



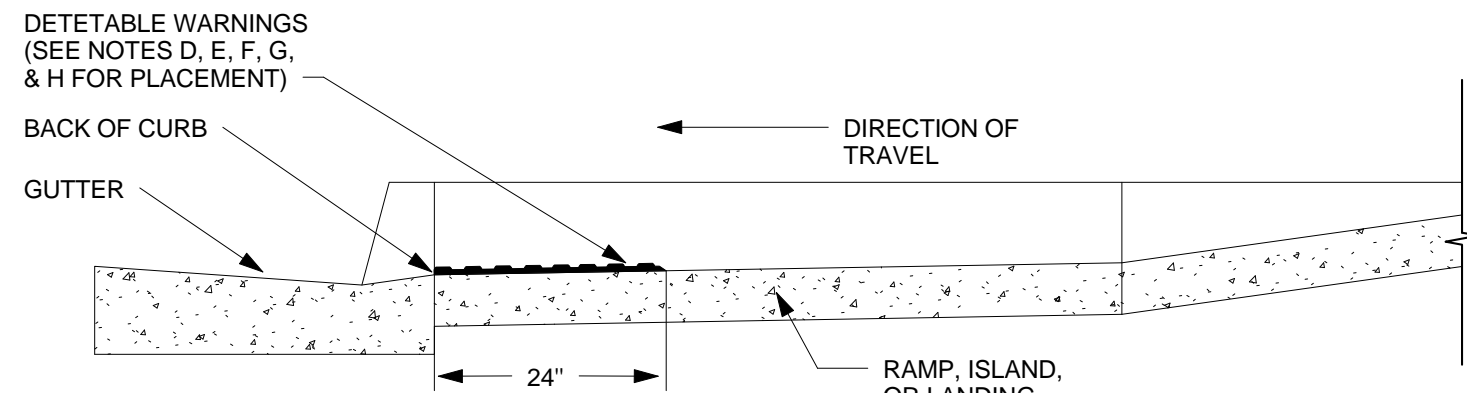
job no: -
drawn: EAM
checked: J&Z
date: Sep. 9, 2024

CASITAS DEL CAMINO
60th Street NW
Albuquerque, NM 87105
sheet no: **S2.0**

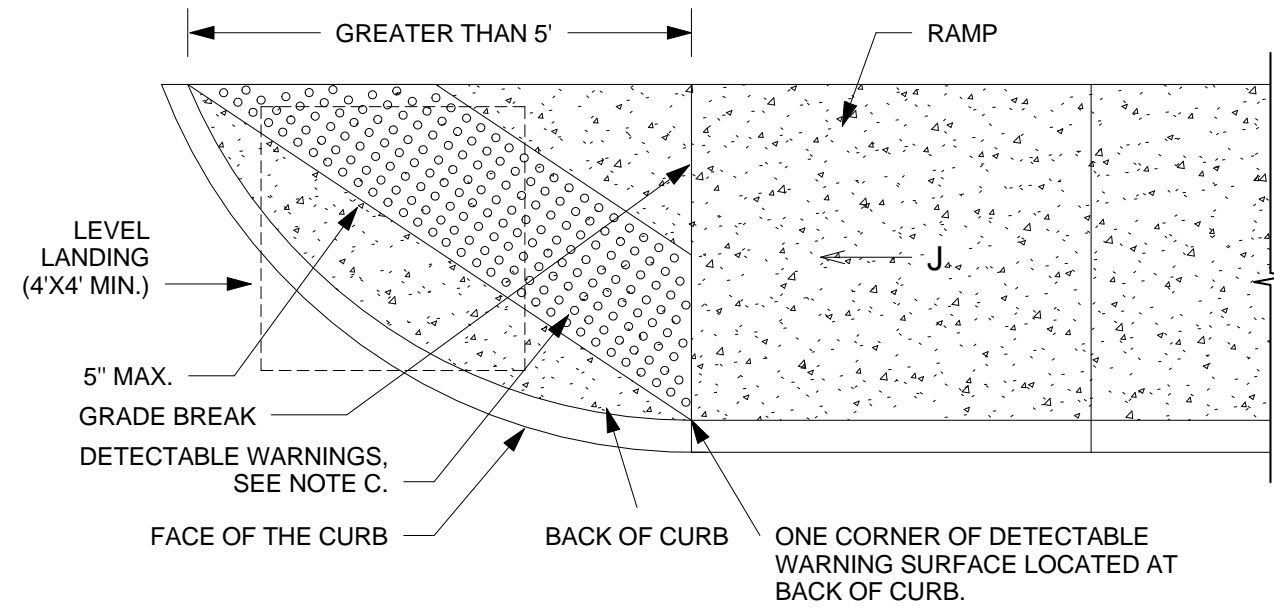
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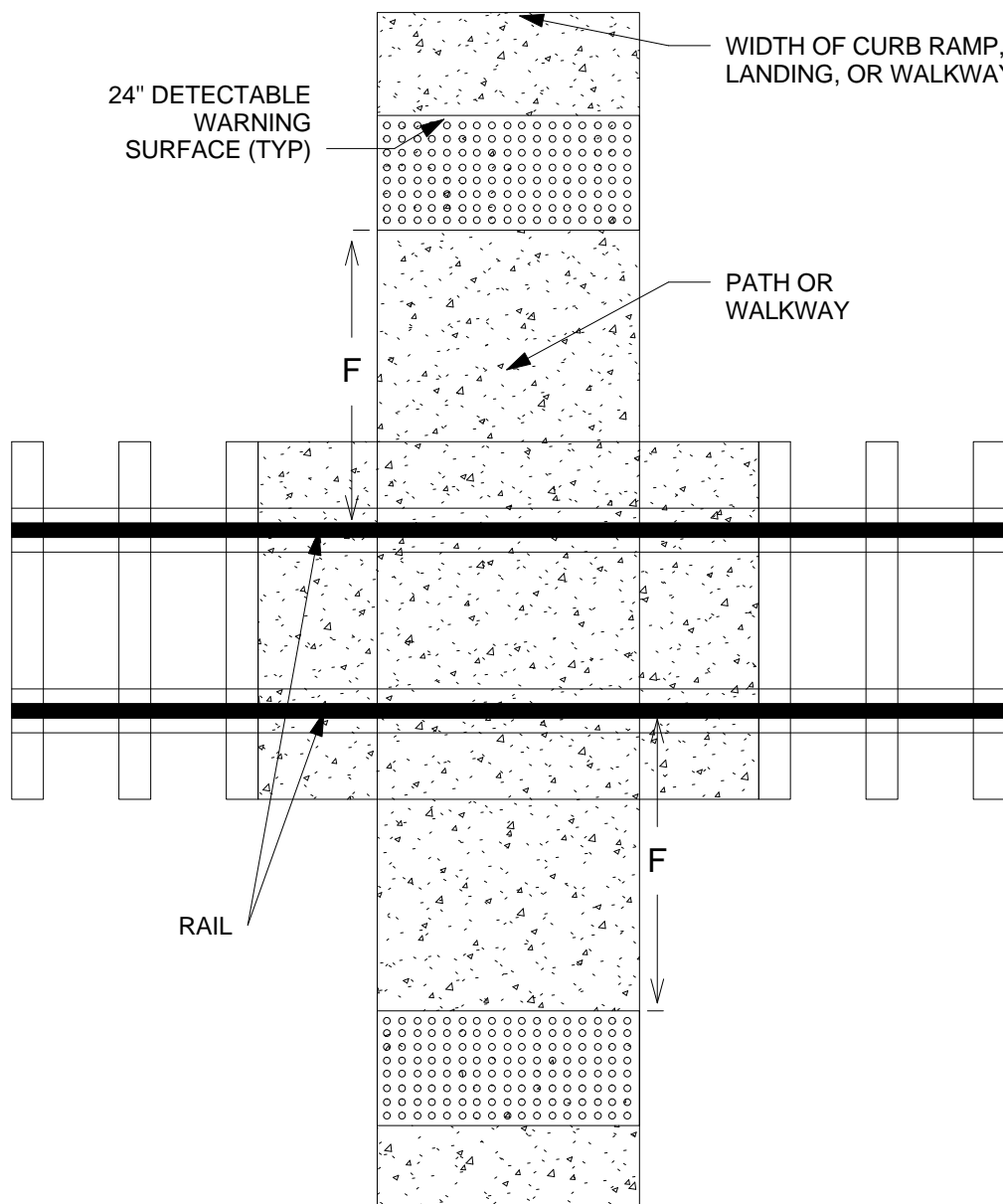
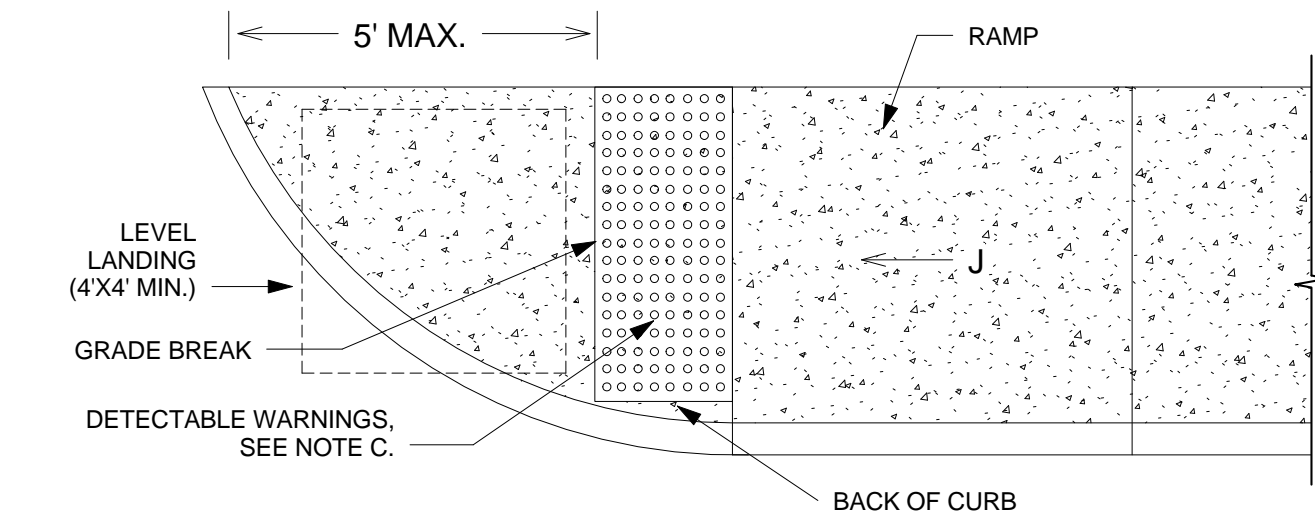
DOME SIZE AND SPACING



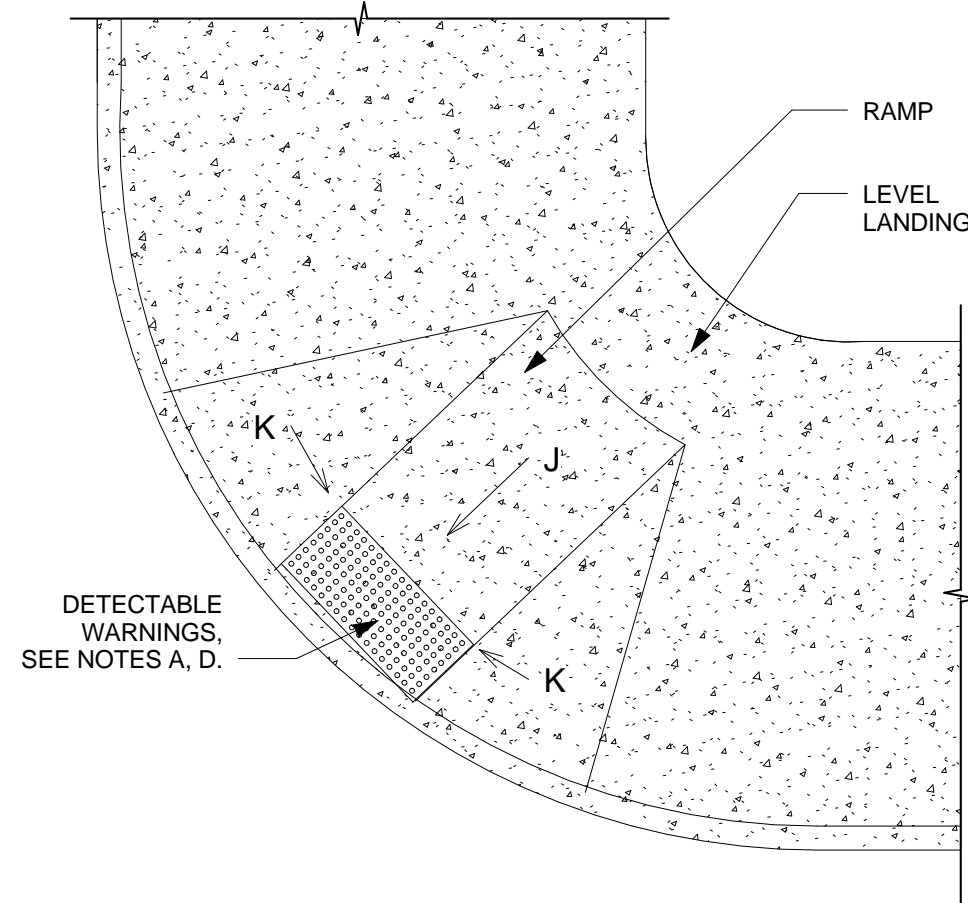
PLACEMENT - PROFILE



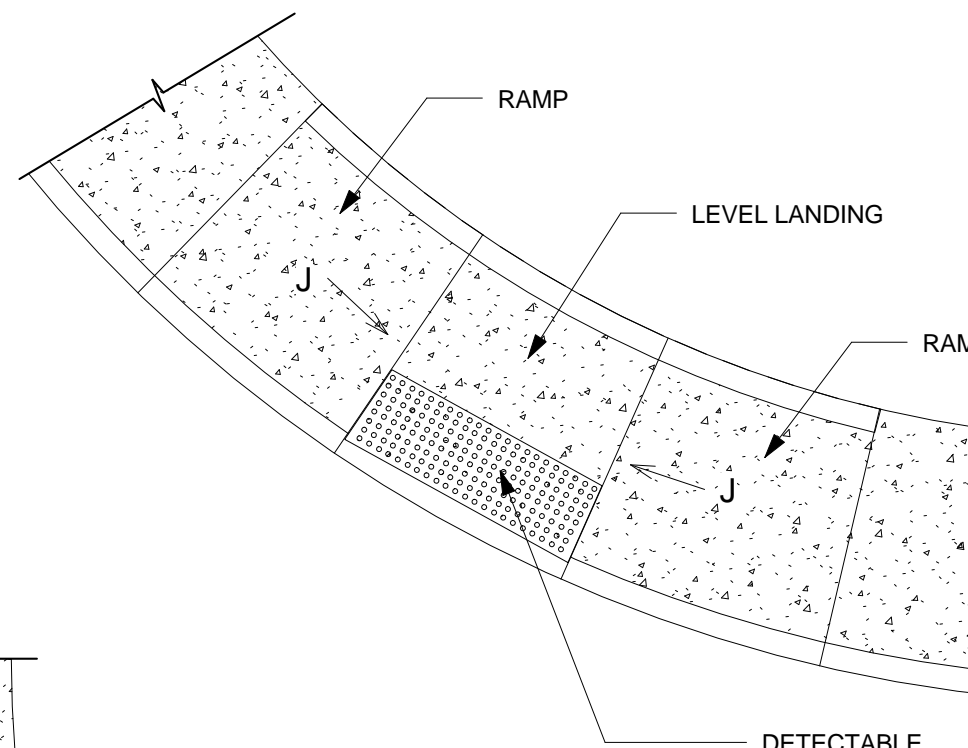
PLACEMENT ON PARALLE CURB RAMPS



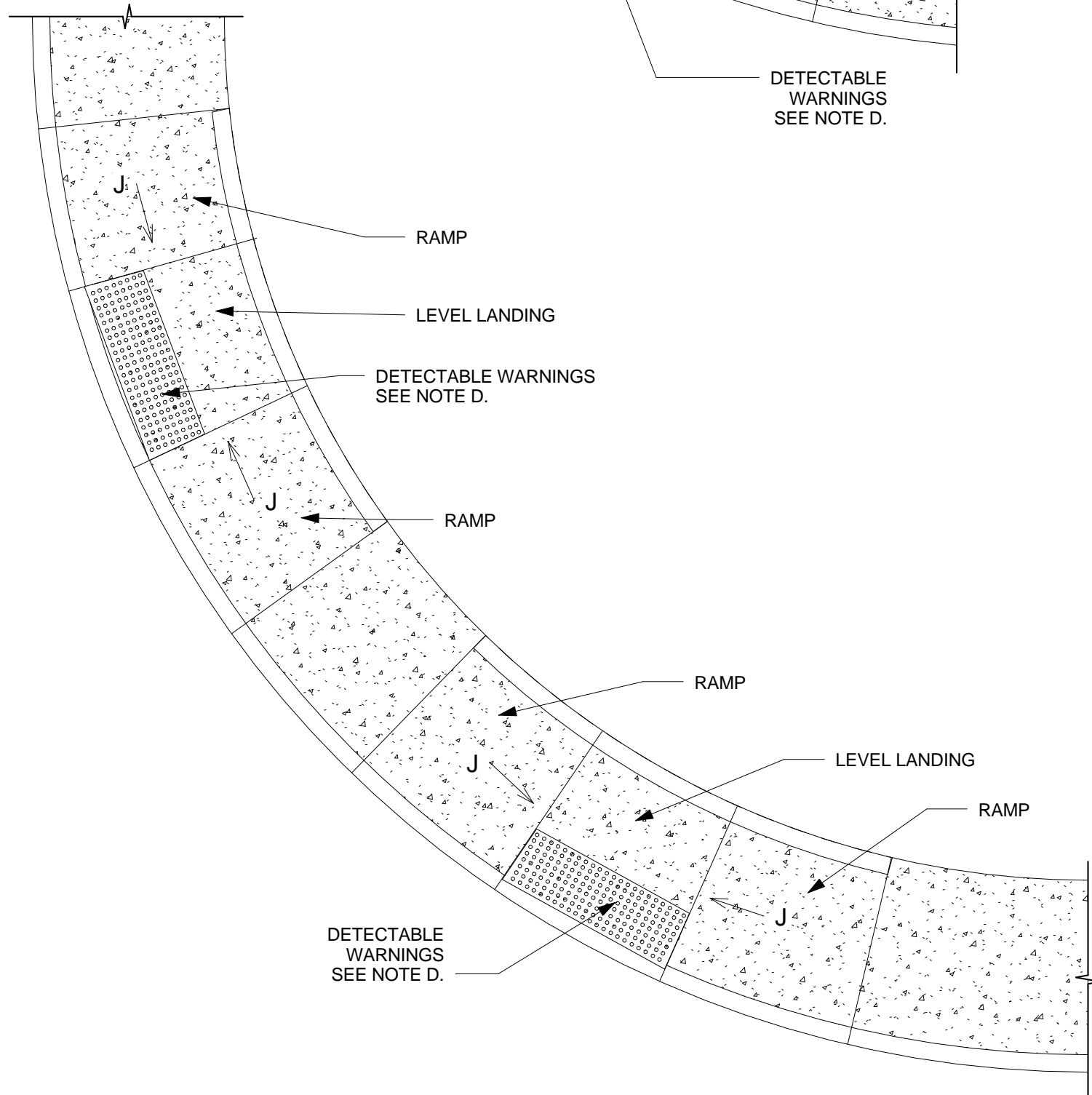
PEDESTRIAN AT-GRADE
RAIL CROSSINGS



PLACEMENT ON PERPENDICULAR CURB
RAMPS WITH FLARED SIDED SLOPES



PLACEMENT ON PERPENDICULAR CURB RAMP



GENERAL NOTES FOR DWG 2446:

1. PROVIDE DETECTABLE WARNINGS ON ANY CURB RAMP OR LANDING WHERE THE ACCESSIBLE ROUTE CROSSES A PUBLIC STREET. DETECTABLE WARNINGS ARE NOT REQUIRED AT DRIVEWAYS UNLESS THE DIVEWAY IS PROVIDED WITH TRAFFIC CONTROL DEVICES OR IS PERMITTED TO OPERATE LIKE A PUBLIC STREET AS DETERMINED BY THE CITY ENGINEER.
2. SELECT A DETECTABLE WARNING SURFACE THAN CONTRASTS VISUALLY (LIGHT-ON-DARK OR DARK-ON-LIGHT) WITH ADJACENT SURFACES.
3. IN NEW CONSTRUCTION, INSTALL CAST-IN-PLACE REPLACEABLE DETECTABLE WARNING PLATES, PANELS, TILES, OR PAVERS. IN RETROFITS, INSTALL SURFACE-APPLIED DETECTABLE WARNING PANELS SHALL BE MECHANICALLY ANCHORED.

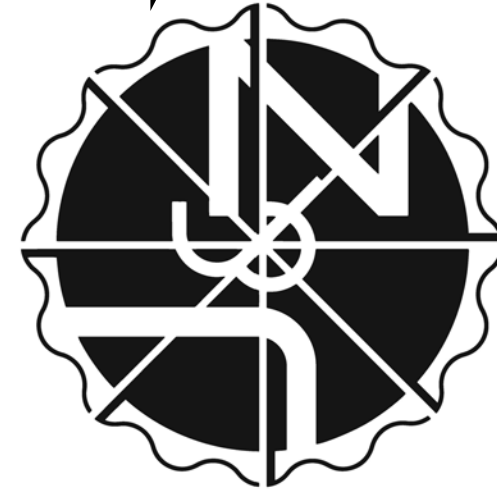
CONSTRUCTION NOTES:

- A. INSTALL DETECTABLE WARNING SURFACE SO THAT IT EXTENDS 24" IN THE DIRECTION OF TRAVEL FOR THE FULL WIDTH (NOT INCLUDING SIDE FLARES) OF THE RAMP OR LANDING.
- B. PLACE DETACTABLE WARNINGS SO THAT THE ROWS OF TRUNCATED DOMES ARE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP OR LANDING AND THE ROADWAY
- C. ON PARALLEL CURB RAMPS, PLACE DETECTABLE WARNINGS ON THE RAMP SURFACE AT THE GRADE BREAK IF GRADE BREAK IS WITHING 5' FROM BACK OF CURB. IF THE GRADE BREAK IS GREATER THAN 5' FROM BACK OF CURB, PLACE DETACTABLE WARNINGS AT A DIAGONAL USING A MAXIMUM DISTANCE OF 5' FROM FACE OF CURB.
- D. ON PERPENDICULAR CURB RAMPS, PLACE DETECTABLE WARNINGS AT THE BACK OF CURB,
- E. ON CUT-THROUGH ISLANDS, PLACE DETECTABLE WARNINGS IN LINE WITH THE BACK OF CURB IF DETECTABLE WIRNINGS SUREFACES ON THE ENTRANCE AND EXIT SIDES OF THE ISLAND CAN BE SEPARATED BY 2' MIN. OF WALKWAY. IF NECESSARY TO ACHIEVE 2' MIN. SEPERATION, PLACE DETECTABLE WARNINGS IN LINE WITH THE FACE OF CURB. IF THE ISLAND HAS NO CURB, PLACE DETECTABLE WARNINGS AT THE EDGE OF ROADWAY. SEE COA STD DWG. 2448.
- F. PLACE DETECTABLE WARNINGS AT RAIL CROSSINGS SO THAT THE EDGE NEAREST THE RAIL IS 6' TO 15' FROM THE CENTERLINE OF THE NEAREST RAIL ALIGH ROWS OF TRUNCATED DOMES PARALLEL TO THE DIRECTION OF TRAVEL.
- G. RECESS OR CAST-IN DETECTABLE WARNINGS SO THAT THE SURFACE TO WHICH THE TRUNCATED DOMES ARE ATTACHED IS FLUSH WITH ADJACENT CONCRETE.
- H. IN RETROFITS, DETECTABLE WARNING MAT MAY BE MECHANICALLY ANCHORED TO THE SURFACE OF THE CONCRETE IF THE MAT EDGE IS BEVELED WITH A MAXIMUM SLOPE OF 2H: 1V.
- J. 8.3% MAX SLOPE, 7% PREFERRED SLOPE.



JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**



job no: -
drawn: EAM
checked: J&Z
date: Sep. 9, 2024

CASITAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

sheet no:

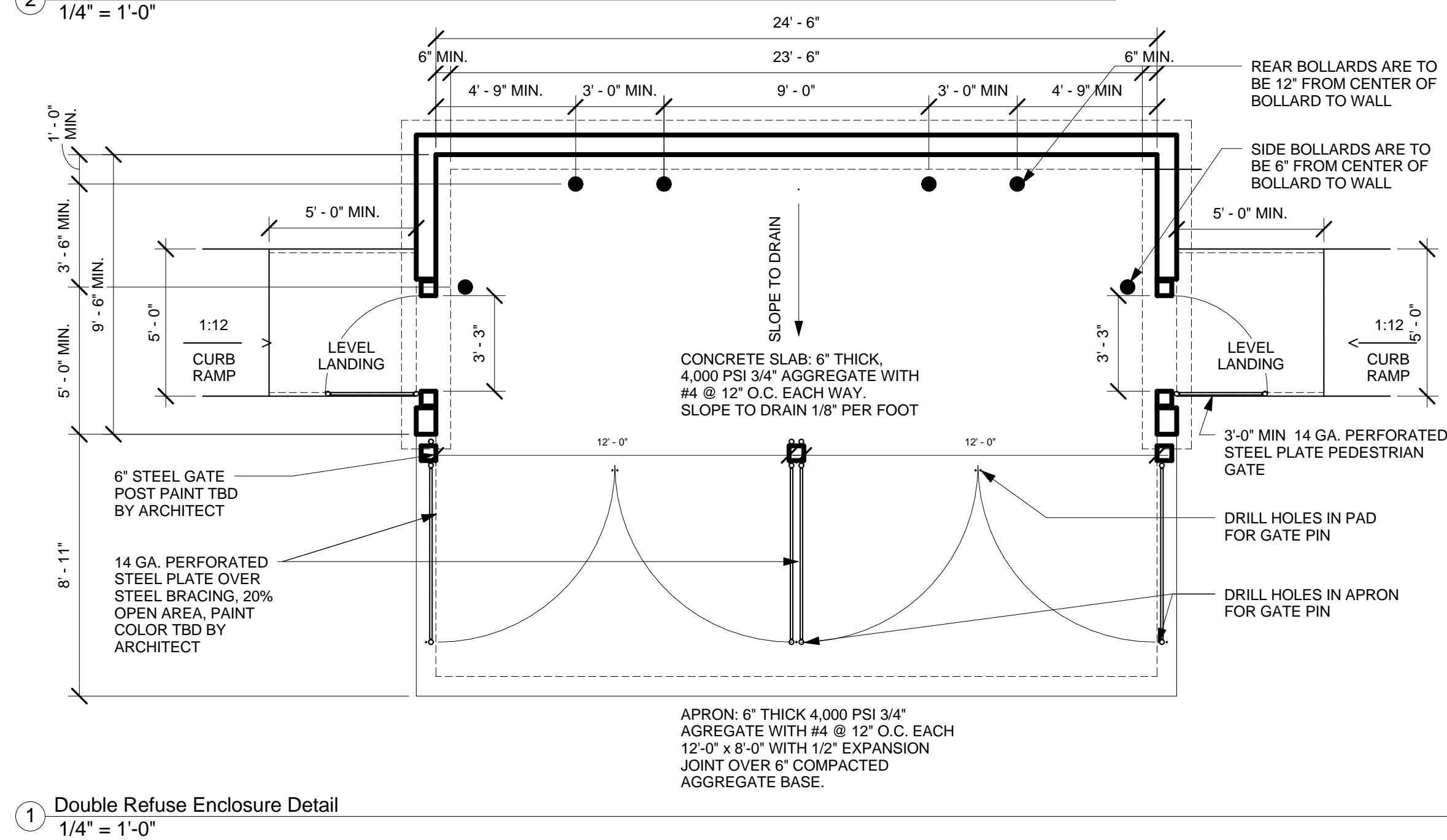
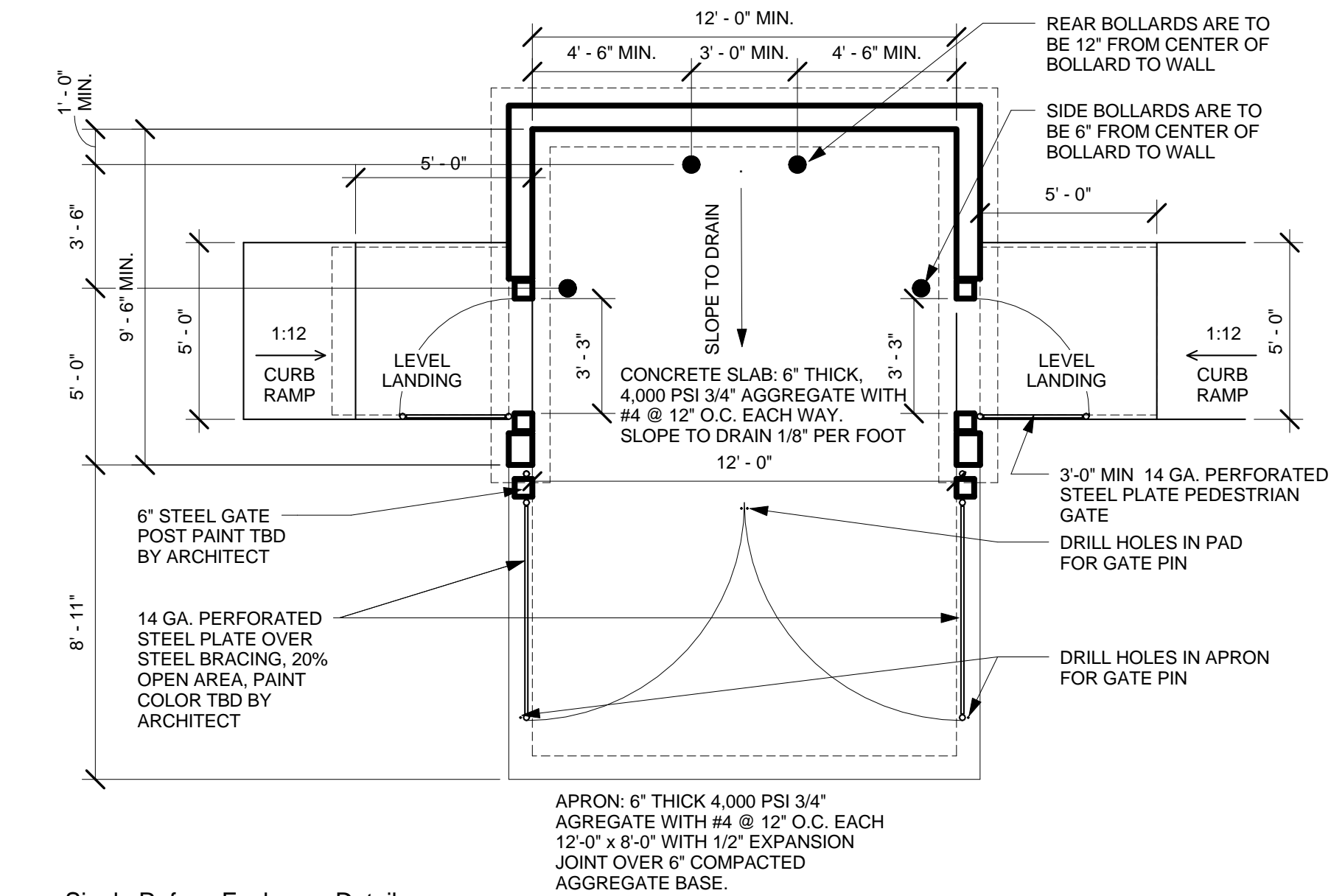
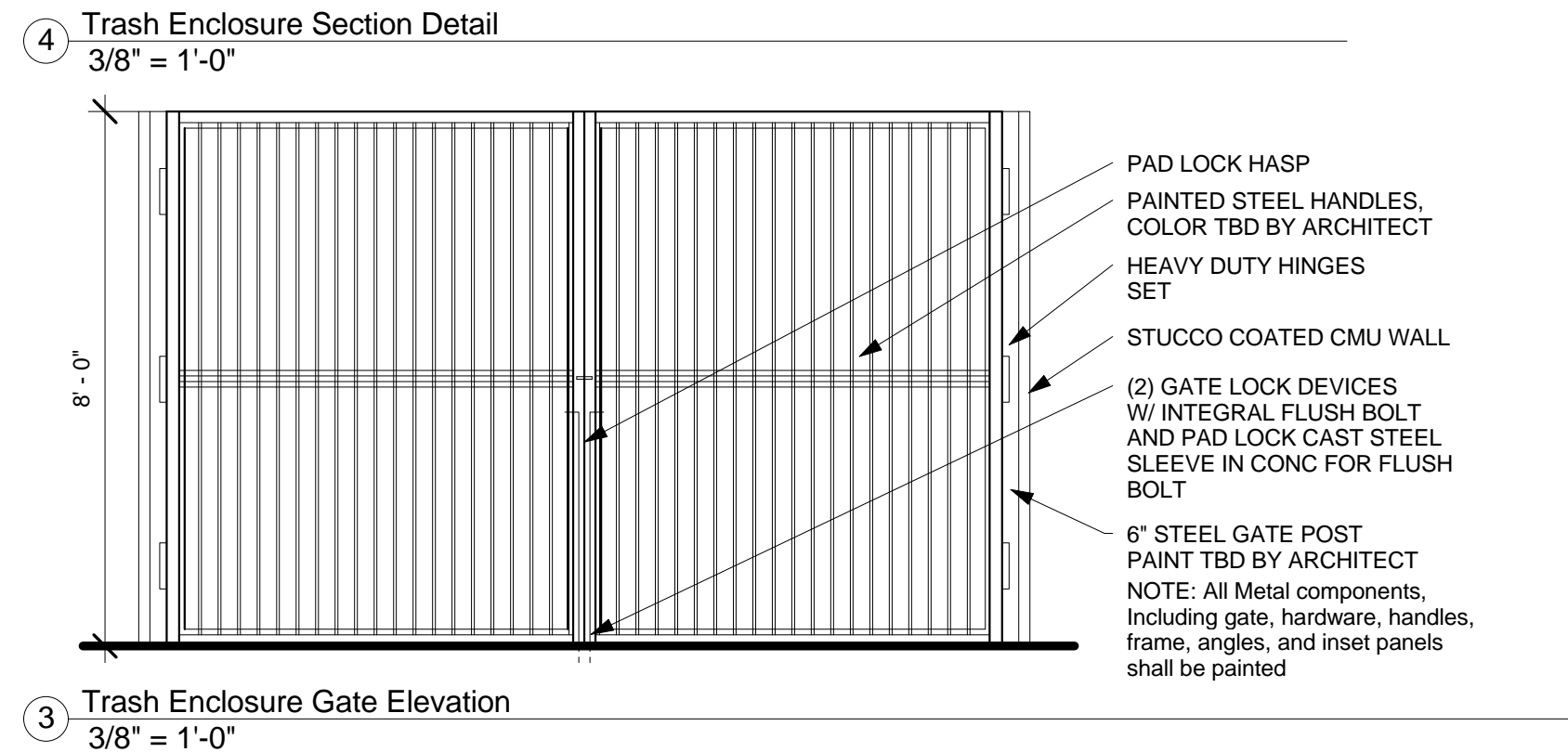
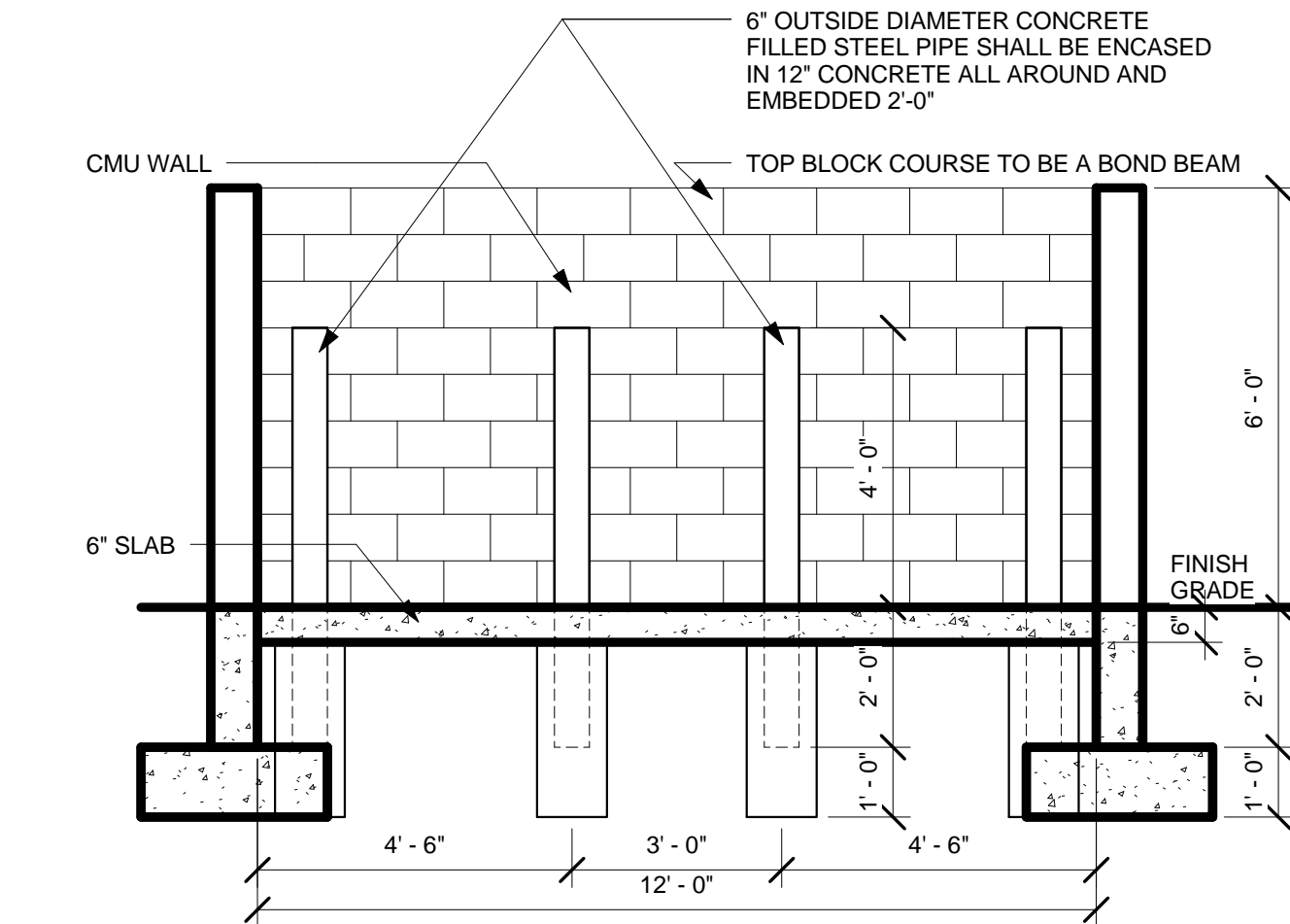
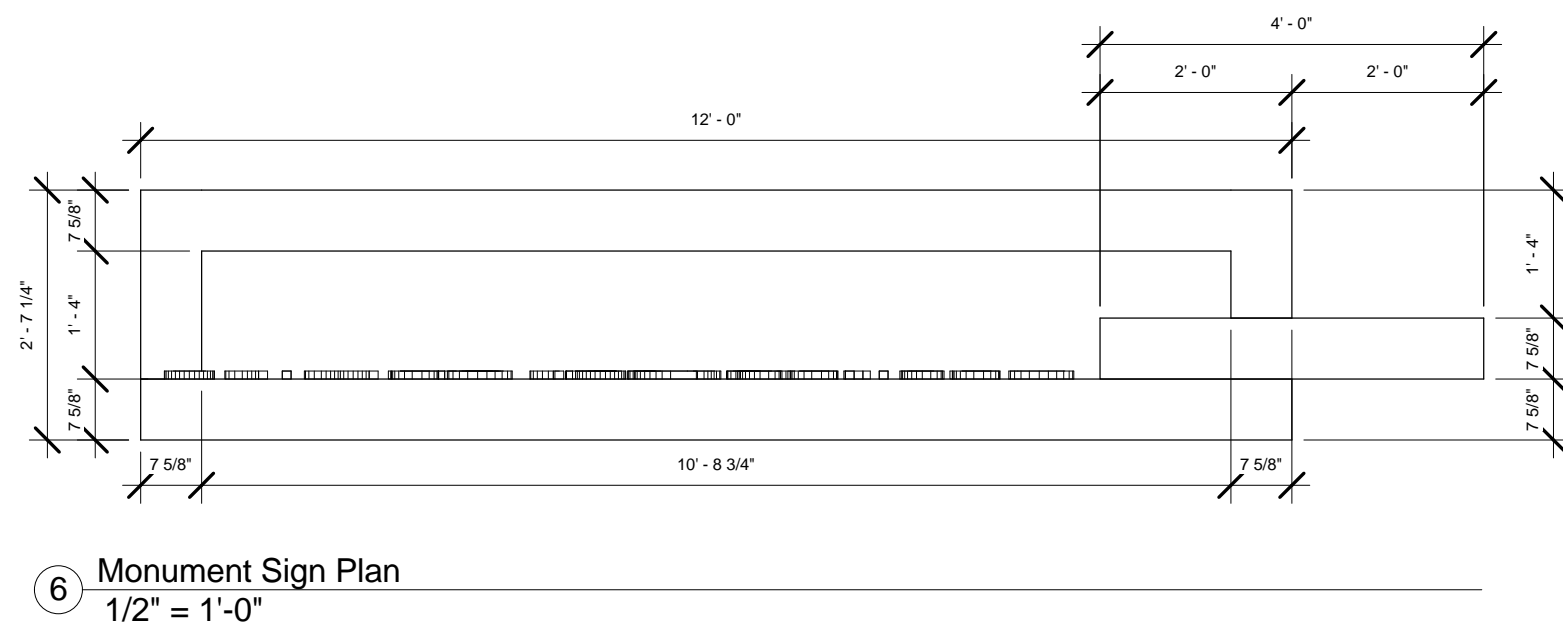
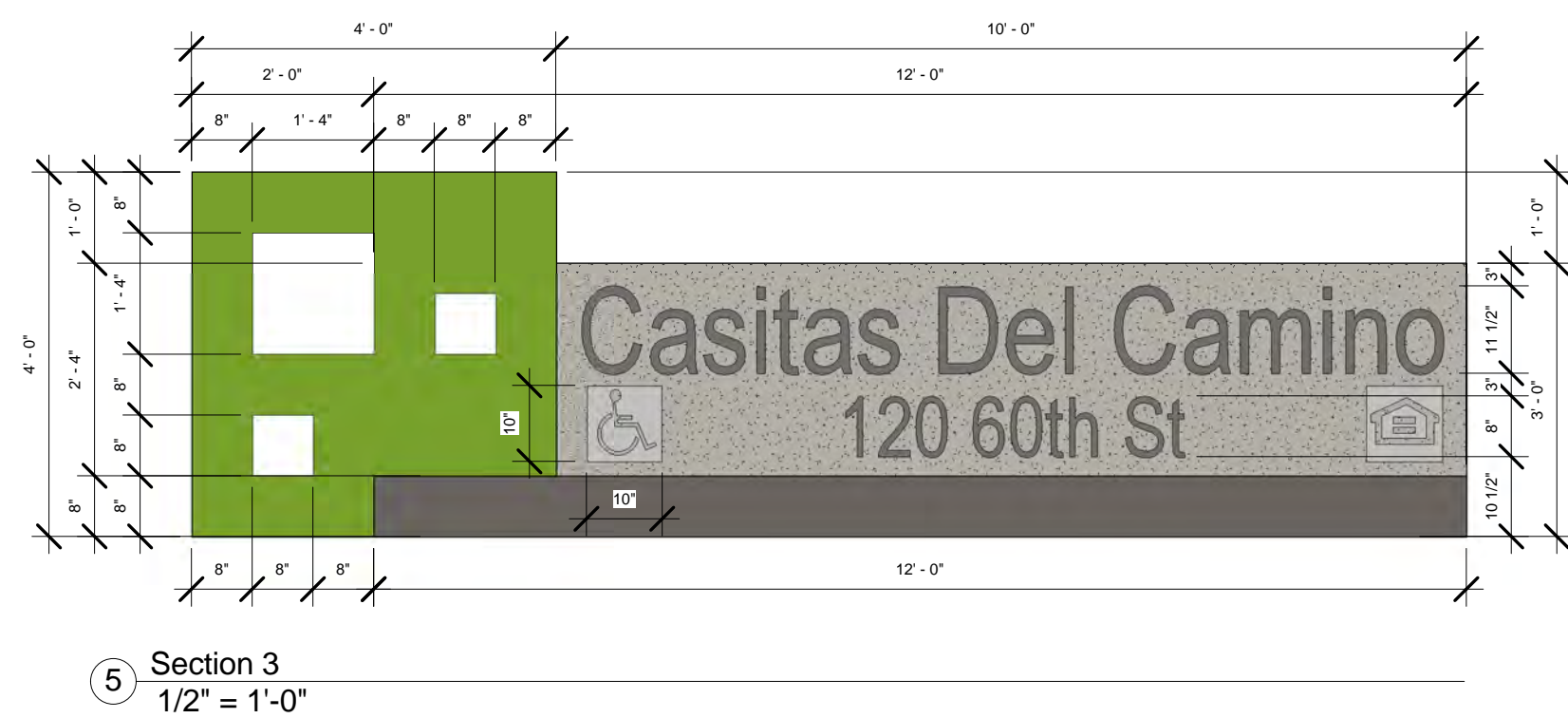
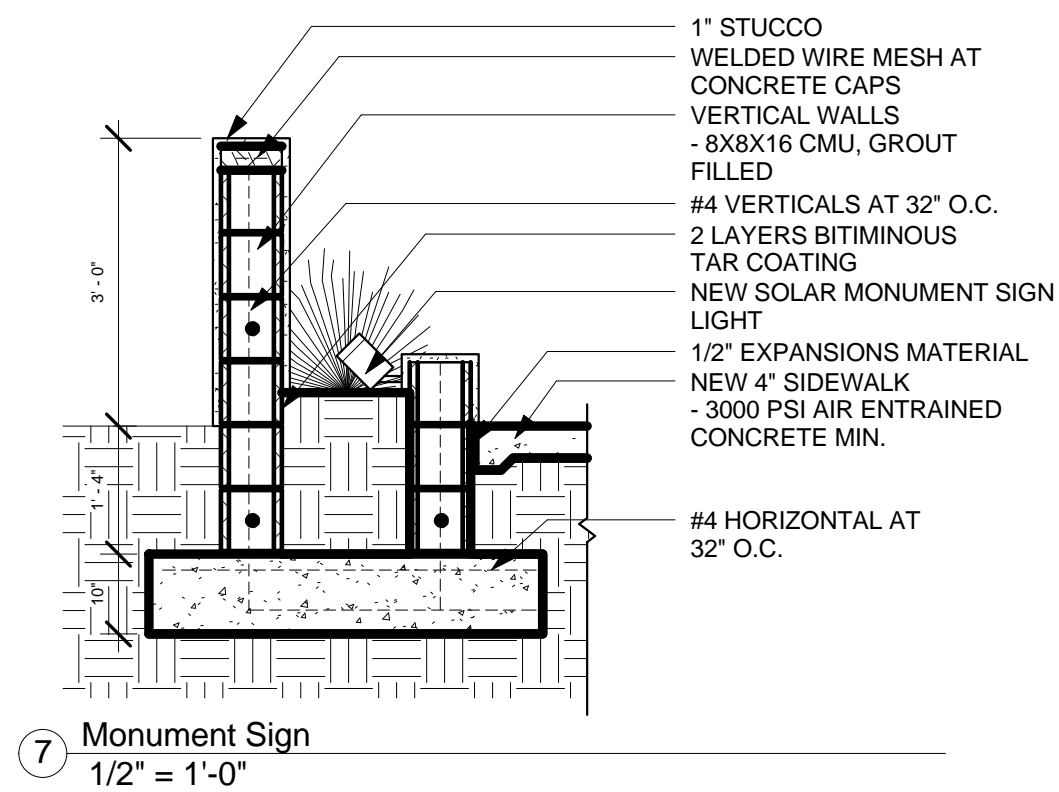
S2.1

SITE DETAIL

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3

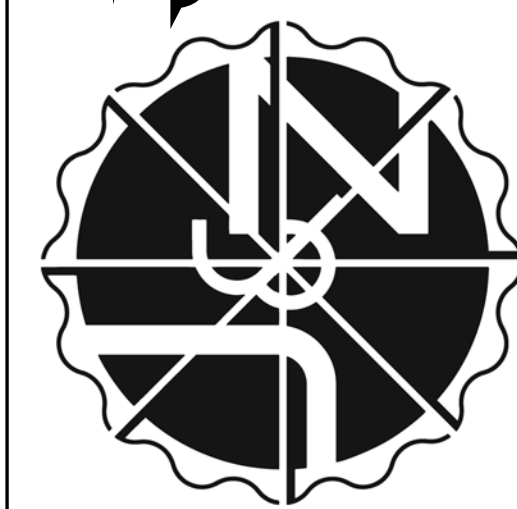


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P: 505-797-1318



job no: -
drawn: EAM
checked: J&Z
date: Sep. 9, 2024

SITE DETAIL
CASITAS DEL CAMINO
60th Street NW
Albuquerque, NM 87105
sheet no: **S2.2**

LANDSCAPE LEGEND										TREES			
QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	25' CANOPY	WATER USE	COVERAGE	COVERAGE ALLOWED 600SF	TOTAL COVERAGE					
35	Varies	Existing Trees To be preserved	40x30	35	M	107	600	2,000					
9	2" CAL	Chinese Pistache <i>Pistacia chinensis</i>	40x35	9	M	962	600	5,400					
8	6'	Austrian Pine <i>Pinus nigra</i>	35x25	8	M	491	491	3,328					
5	2" CAL	Oak <i>Quercus emoryi</i>	35x35	5	M	962	600	3,000					
3	30" Box	Grape Myrtle Cherokee Red Tree Form- multi Trunk Lagerstroemia 'cherokee'	15x15		M	171	171	1,530					
12	2" CAL	Palm Yucca <i>Yucca faxoniana</i> Note: Install 3 Boulders and 150sf cobble accent	15x6		L	28	28	339					
34	2" CAL	Redbud <i>Cercis canadensis</i> 'Pink pom poms'	15x12		M	113	113	3,842					
11	2" CAL	Desert Willow <i>Chilopsis linearis</i>	20x25	11	L	491	491	5,391					
19	2" CAL	Golden Rain Tree <i>Koeleruteria paniculata</i>	25x25	19	M	491	491	9,322					
16	2" CAL	Western Soapberry <i>Sapindus drummondii</i>	30x30	16	M	107	600	9,600					
32	2" CAL	Faul's scarlet hawthorn <i>Crataegus laevigata</i>	25x15		M	171	171	5,652					
50	4'-6'	Upright Juniper Upright Juniper	12x6		M	28	28	1,400					
TOTAL TREES:		240		103	TOTAL COVERAGE:			70,463					

Note: Trees shall be pruned for overhead line clearance and dead branches shall be removed. Irrigation shall be updated to city spec. Sidewalk ROW shall be repaired as necessary from damage caused due to existing trees.

Shrubs & Groundcovers

QTY.	SIZE	COMMON/BOTANICAL NAME	DIMS	WATER USE	COVERAGE	TOTAL COVERAGE
119	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x4	M	12.56	1,495
27	5 Gal	Beargrass <i>Nolina texana</i>	4x4	L	12.56	339
43	5 Gal	Deep Blue Lavender <i>Lavender angustifolia</i> 'Hidcote'	2x3	L	1.07	304
32	5 Gal	Turpentine Bush <i>Ericameria laricifolia</i>	3x4	L	12.56	402
118	5 Gal	Gro-Low Sumac <i>Rhus aromatica</i> 'Gro-Low'	3x8	L	50.24	5,928
13	5 Gal	Yellow Bird of Paradise <i>Caesalpinia gilliesii</i>	8x10	L	18.5	5,731
7	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x5	L	19.63	137
27	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x5	L	19.63	530
31	5 Gal	Scotol Yucca <i>Dasylirion wheeleri</i>	6x7	L	38.47	1,193
93	5 Gal	Red Yucca <i>Dasylirion wheeleri</i>	3x3	L	1.07100	658
196	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> 'Buffalo'	1x8	M	50.2400	9,847
19	5 Gal	Knock Out Roses <i>Rosa</i> 'Knock Out'	3x4	L	12.5600	239

LANDSCAPE CALCULATIONS for R-ML

TOTAL LOT AREA (sf)	336,915
TOTAL BUILDING AREA (sf)	-18,193
TOTAL NET-LOT AREA (sf)	258,722
LANDSCAPE REQUIREMENT	x0.25

TOTAL LANDSCAPE REQUIRED (25%) 64,681

TOTAL ON-SITE LANDSCAPE PROVIDED	129,599
TREE CANOPY up to 600ft dia + GROUND COVER REQUIRED (75% of total landscape provided)	97,199
TREE CANOPY + GROUND COVER PROVIDED	97,271
GROUNDCOVERS REQUIRED (25% of total vegetative coverage required)	24,300
GROUNDCOVERS PROVIDED	26,802

Parking Lot Landscape Area Calculation

Total Parking	132 spaces
180 sf each x 132 space = landscape required	23,760
Landscape Required (sf)	23,760 x 0.15 = 3,564
Landscape Provided (sf)	3,564

One (1) tree is required per 10 parking spaces.
Tree Required 13
Tree Provided 33

At least 75 percent deciduous canopy-type shade trees,
Deciduous Tree Required 10
Deciduous Tree Provided 33

Organic Mulch (refer to IDO sheet)

Note, Each Tree, min. 5' rad. 185	240 Trees x 785 sf = 189,400
See Tree Detail, a 5' radius of wood mulch is required around each tree w/out Filter Fabric	
Note, Each Shrub, min. 3' rad. 283	785 Shrubs x 283 sf = 222,165
Total Mulch Provided (area sf)	41,056
Volume Required (area x 3" min = cf)	243,000

Gravel or Crusher Fines (refer to IDO sheet)	129,599
Total Landscaped Area	97,199
75% maximum gravel or crusher fines	62,112
Gravel or Crusher Fines Provided (47%)	

Usable Open Space calculations

REHAB: THREE BEDROOM 32
FOUR BEDROOM 10

NEW CONSTRUCTION: TWO BEDROOM 30
THREE BEDROOM 16

TOTAL UNITS 88

Usable open space, minimum: 350 sqft/unit

Usable open space, Required: 88x 350= 30,800 sqft

Usable open space, Provided: 128,879 sqft

1 Tree Per Ground Floor Dwelling

1 Tree Per Second Floor Dwelling

Required: 88

Provided: 240

Total Trees: 240

50% Trees Required shall have 25ft Canopy

Required: 44

Provided: 103

36

2-3cf Boulders
To be placed at contractor discretion

96,509 Landscape Gravel / No Filter Fabric

3,124 Mountainair Brown

Playground Mulch

6,659 2-4" Fractured Cobble Tan

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain landscaping in a living, healthy, and attractive condition.
It is the intent of this plan to comply with the City of Albuquerque Water, IDO Ordinance.
It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.
Water management is the sole responsibility of the Property Owner. Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.
Contractor shall supply to the owner samples and prices of various gravel samples for approval prior to installing.
25% of landscape area shall be covered with organic mulch. Mulch shall be a minimum of 4" deep in areas as shown on the details. Landscape maintenance shall ensure that all organic mulch areas are maintained and refreshed on a regular basis.
Filter Fabric shall not be placed in areas to receive organic mulch. Landscape shall be watered by a complete underground irrigation system operated by automatic timer.
Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.
No substitutions or alterations to this plan with out the express written permission of the Landscape Architect, and approval of the City of Albuquerque, approved permit set.
Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

No planting at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.
Shrubs 3 feet
Trees 15 feet

1/3/2025

no trees planted within 10' of the centerline of any sewer or water lines.

1/3/2025

Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees.

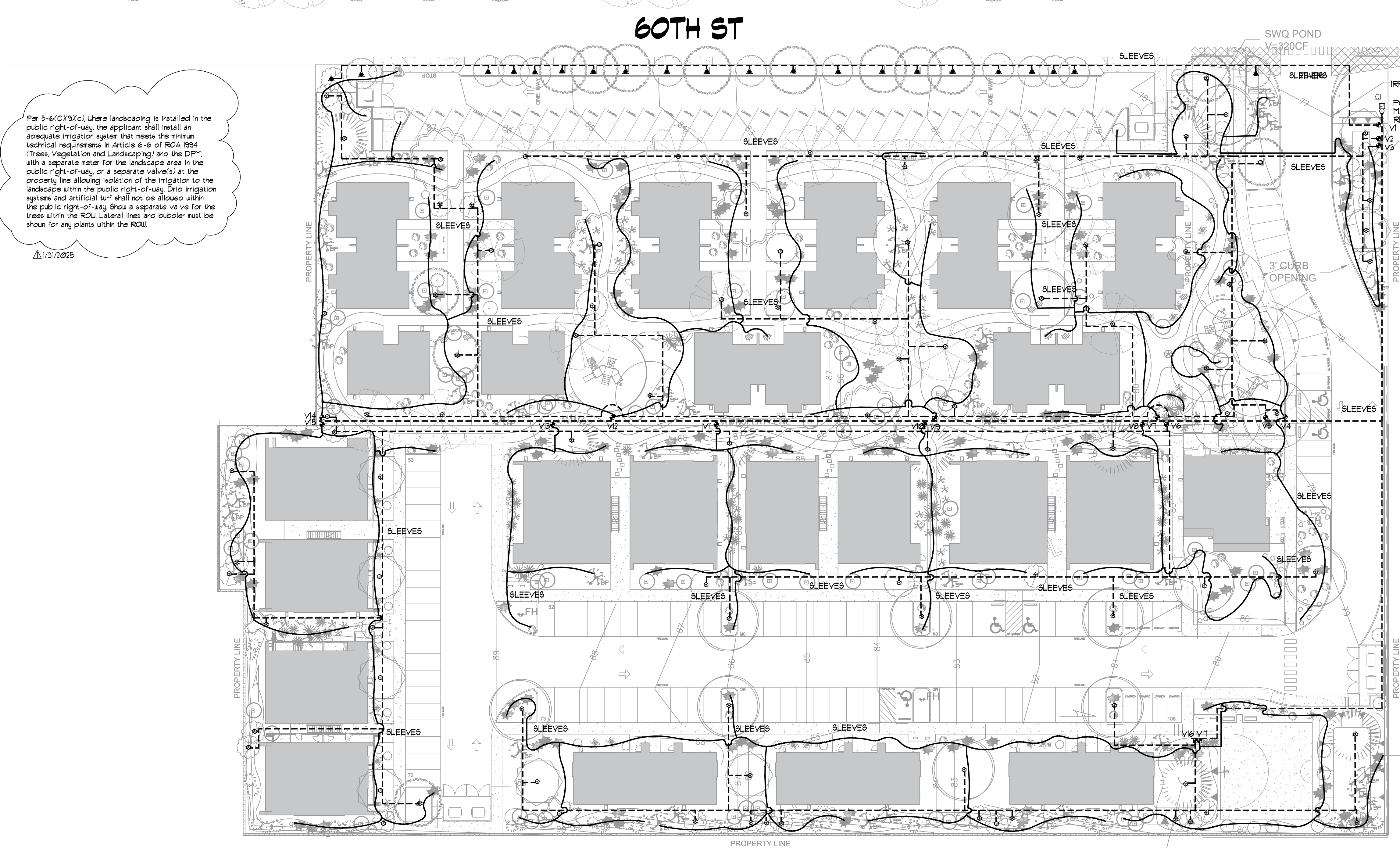
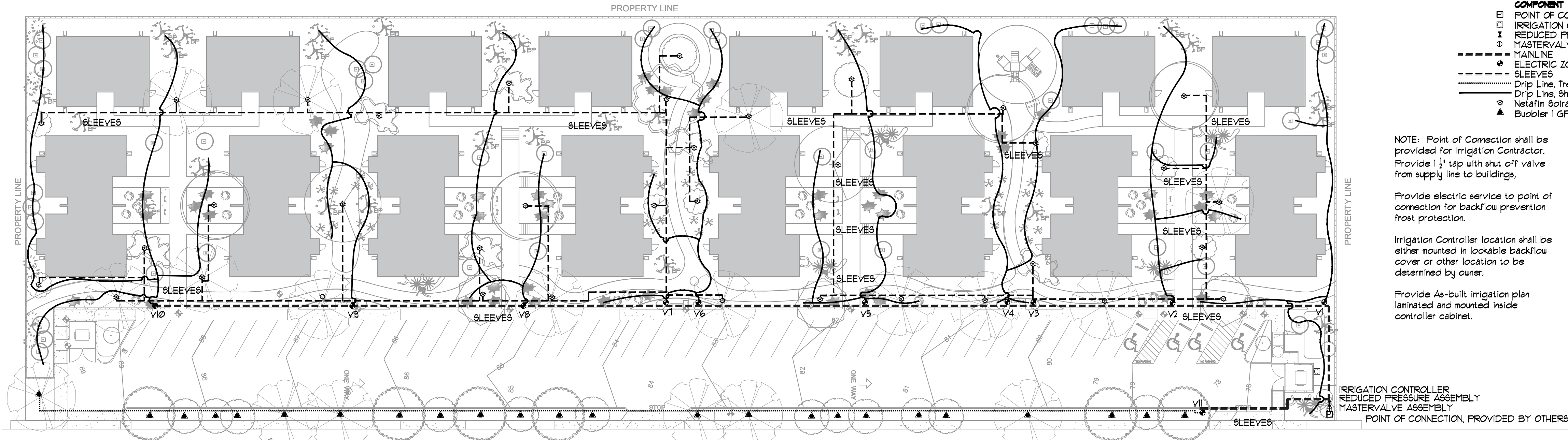
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of RDA 1934 (Street Trees)

Section 6-6-2-5 Street Trees (A)

1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing, and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.

2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced.

3. Existing trees to remain shall be pruned for overhead clearance, and dead branches shall be removed. Irrigation at existing trees to remain shall be updated to City specification. Sidewalk ROW shall be repaired as necessary from damage caused due to existing trees.



Per 5-6(C)(3)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way. Show a separate valve for the trees within the ROW. Lateral lines and bubbler must be shown for any plants within the ROW.

IRRIGATION LEGEND

COMPONENT	MANUFACTURER	SIZE / NOTES
POINT OF CONNECTION PROVIDED BY OTHERS	SEE CIVIL PLANS	1/2"
IRRIGATION CONTROLLER	RAINBIRD	Smart Controller
REDUCED PRESSURE ASSEMBLY	FEBCO (OR EQUAL)	1 1/2" RPA / Freeze Protection Required
MASTERY VALVE ASSEMBLY	RAINBIRD	1 1/2"
MAINLINE	RAINBIRD	1 1/2"
ELECTRIC ZONE VALVE	Sch 40 PVC	1 1/2"
SLEEVES	RAINBIRD	1 1/2" TYP.
Drip Line, Tree Netafim Rings	Class 200 PVC	2 SIZES LARGER THAN PIPE TO BE SLEEVED.
Drip Line, Shrub Drip Emitter Line	Class 200 PVC	SIZE AS REQUIRED
Netafim Spiral Tree Irrigation	Polypipe	SIZE AS REQUIRED
Bubbler / GPM	NETAFIM	SEE DETAIL
	RAINBIRD	
	Size Equipment as Required for Flow Rate	

NOTE: Point of Connection shall be provided for Irrigation Contractor. Provide 1 1/2" tap with shut off valve from supply line to buildings.

Provide electric service to point of connection for backflow prevention frost protection.

Irrigation Controller location shall be either mounted in lockable backflow cover or other location to be determined by owner.

Provide As-built irrigation plan laminated and mounted inside controller cabinet.

IRRIGATION CONTROLLER
REDUCED PRESSURE ASSEMBLY
MASTERY VALVE ASSEMBLY
POINT OF CONNECTION PROVIDED BY OTHERS

IRRIGATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, EQUIPMENT QUANTITIES, AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK.
- THE IRRIGATION CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS, CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY, SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT MAY BE SHOWN OUTSIDE PROPERTY LINES ON THIS PLAN. ALL IRRIGATION LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- ALL IRRIGATION SLEEVING TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- SUPPLY LINE AND WATER METER TO BE PROVIDED BY OWNER/BACKFLOW PREVENTOR TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN DOWNSTREAM OF THE IRRIGATION WATER METER

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 10 GPH Drip Emitters. Drip systems to be tied to polypipe with flush caps at each end.

Trees and shrubs shall be on separate valves.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

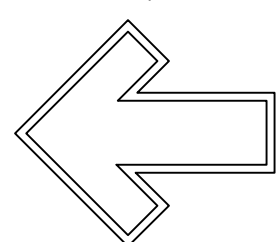
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



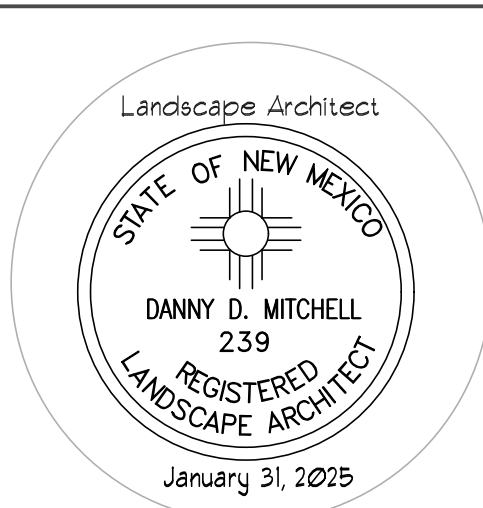
danny@mitchellassociatesinc.com

505.639.9583



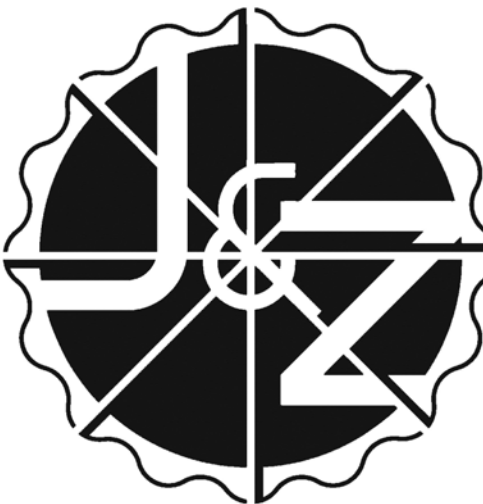
GRAPHIC SCALE

SCALE: 1" = 30'-0"



5924 ANAHEIM AVENUE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

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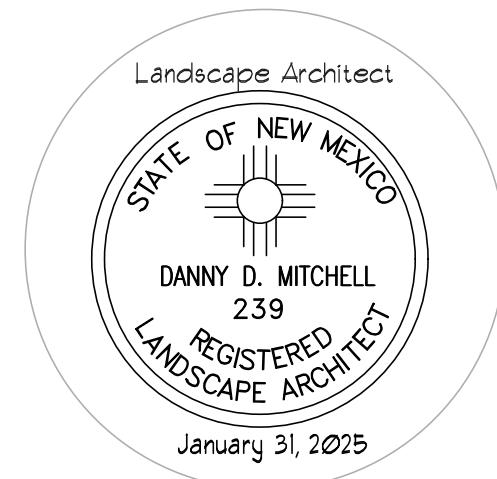


job no: -
drawn: PP
checked: DM
date: 1/31/2025

CASITAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

sheet no: LS-102



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ALBUQUERQUE, NM 87113
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job no: -
drawn: FV
checked: DM
date: 1/31/2025

CASITAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

sheet no: **LS-103**

of 104

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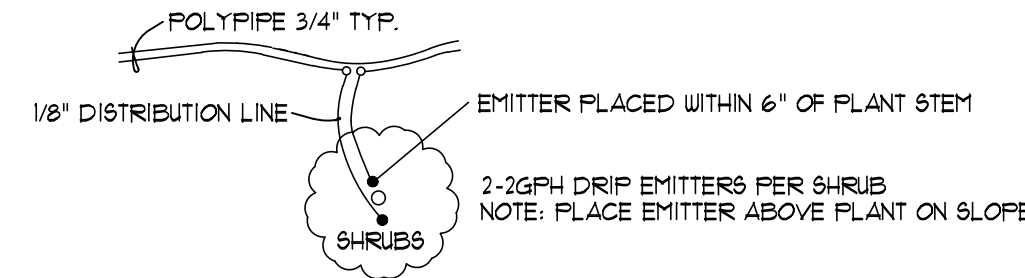
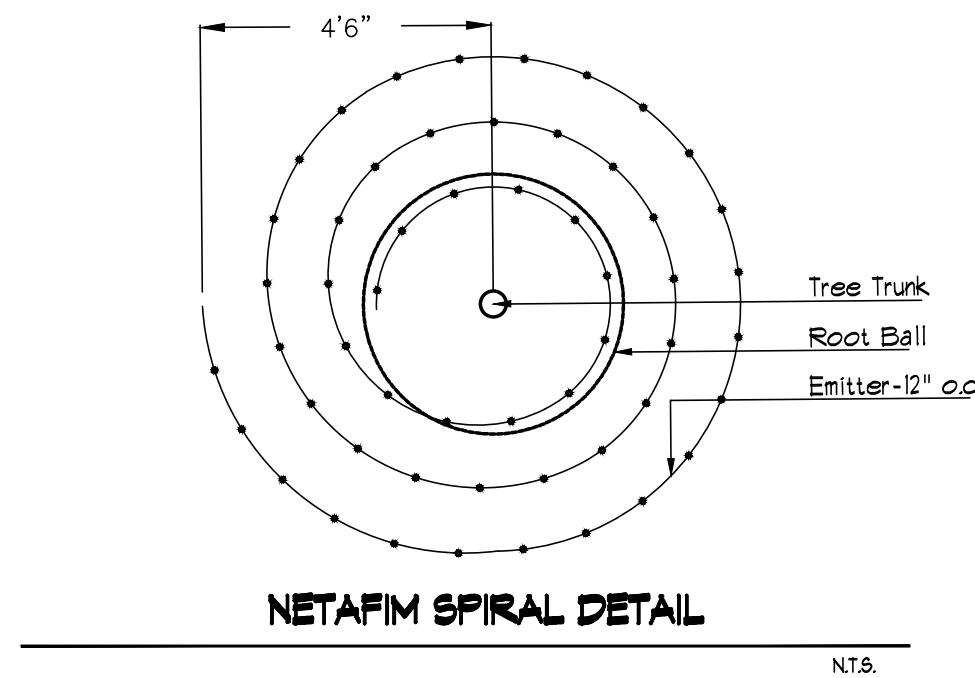
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Landscape Details

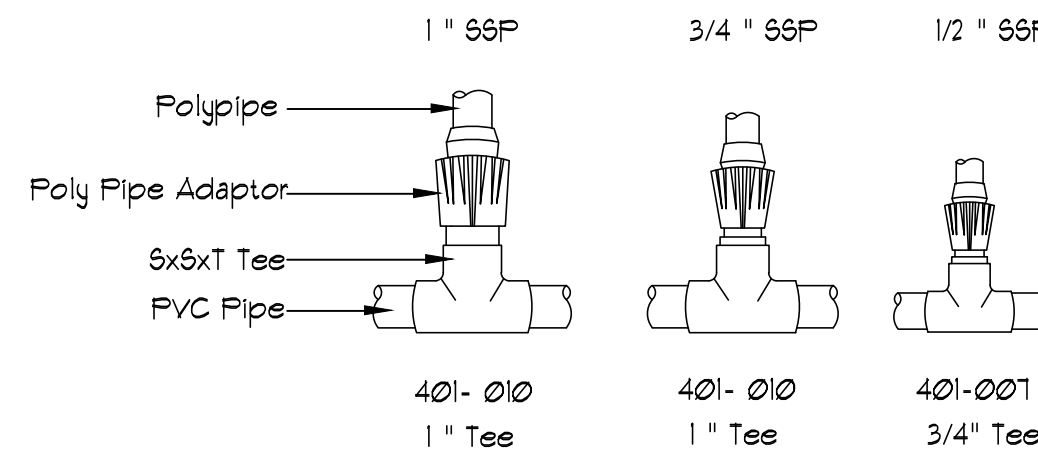


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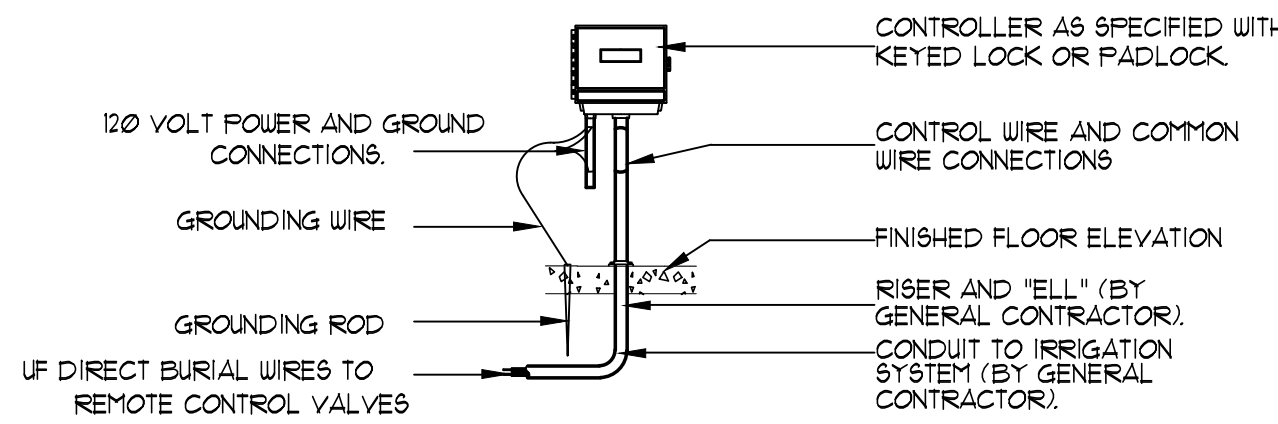
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SHRUB EMITTER PLACEMENT DETAIL
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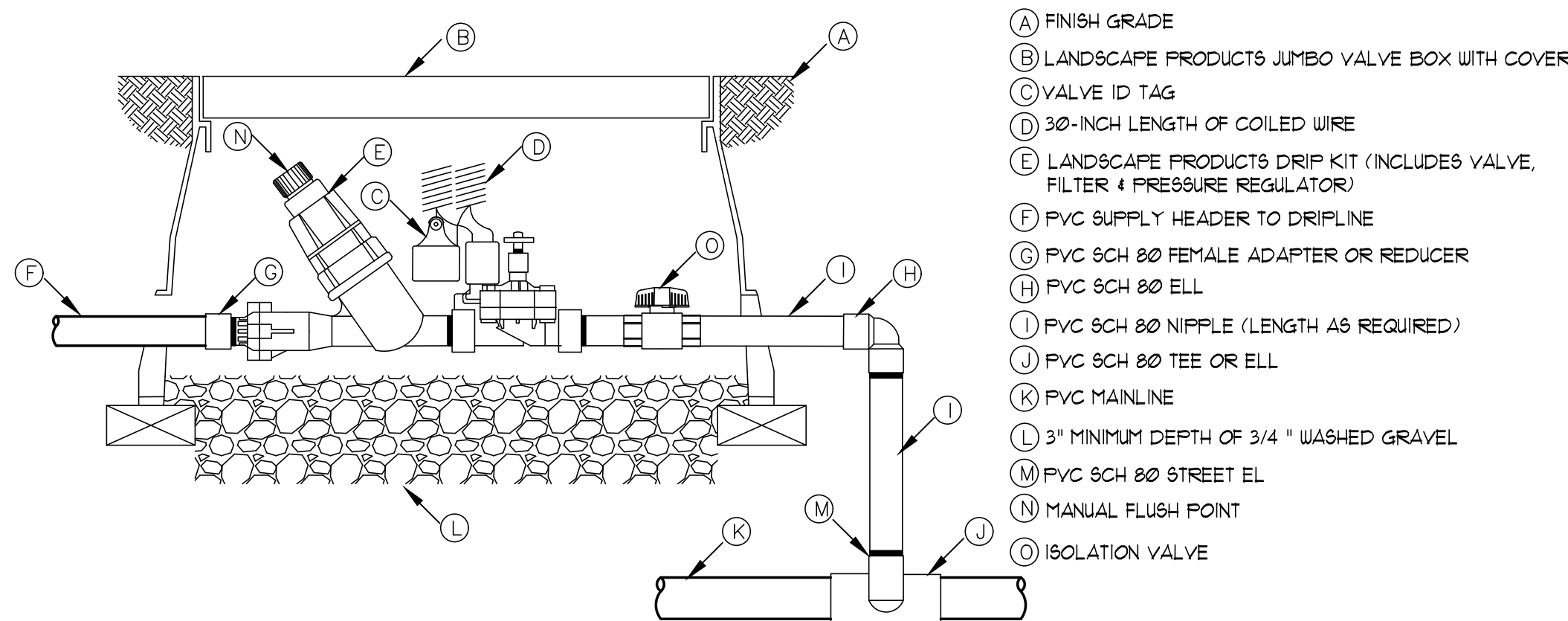


PVC TO Poly Connection
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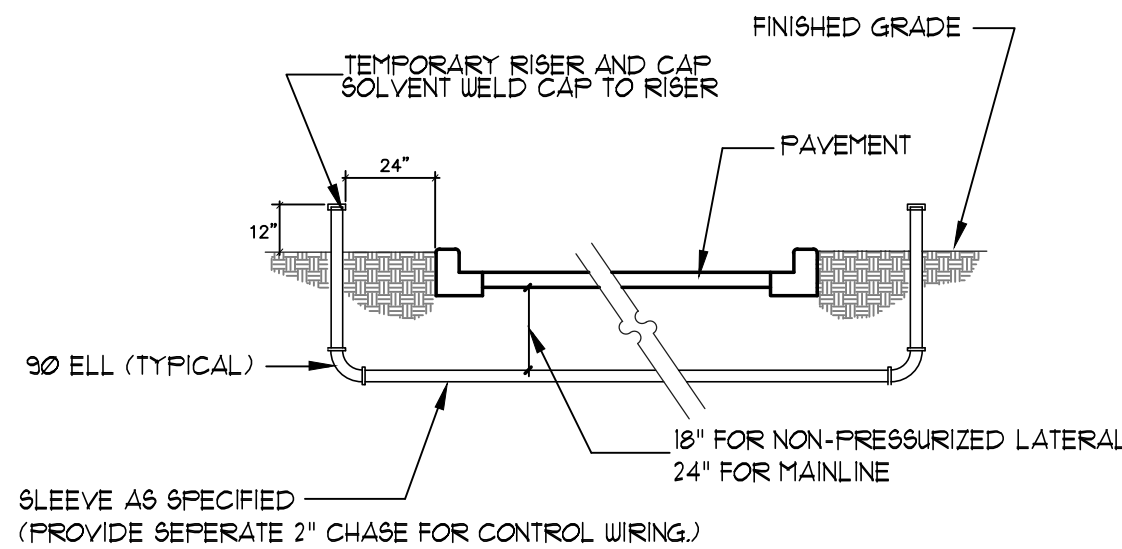


DETAIL NOTES:
1. ELECTRICAL POWER TO BE SUPPLIED BY OTHERS.
2. ALL WIRING TO BE INSTALLED PER LOCAL CODES.
3. SEE ELECTRICAL PLANS FOR LOCATION OF CONTROLLER.
4. CONTROLLER TO BE MOUNTED APPROXIMATELY 5'-0" ABOVE FINISHED FLOOR ELEVATION.

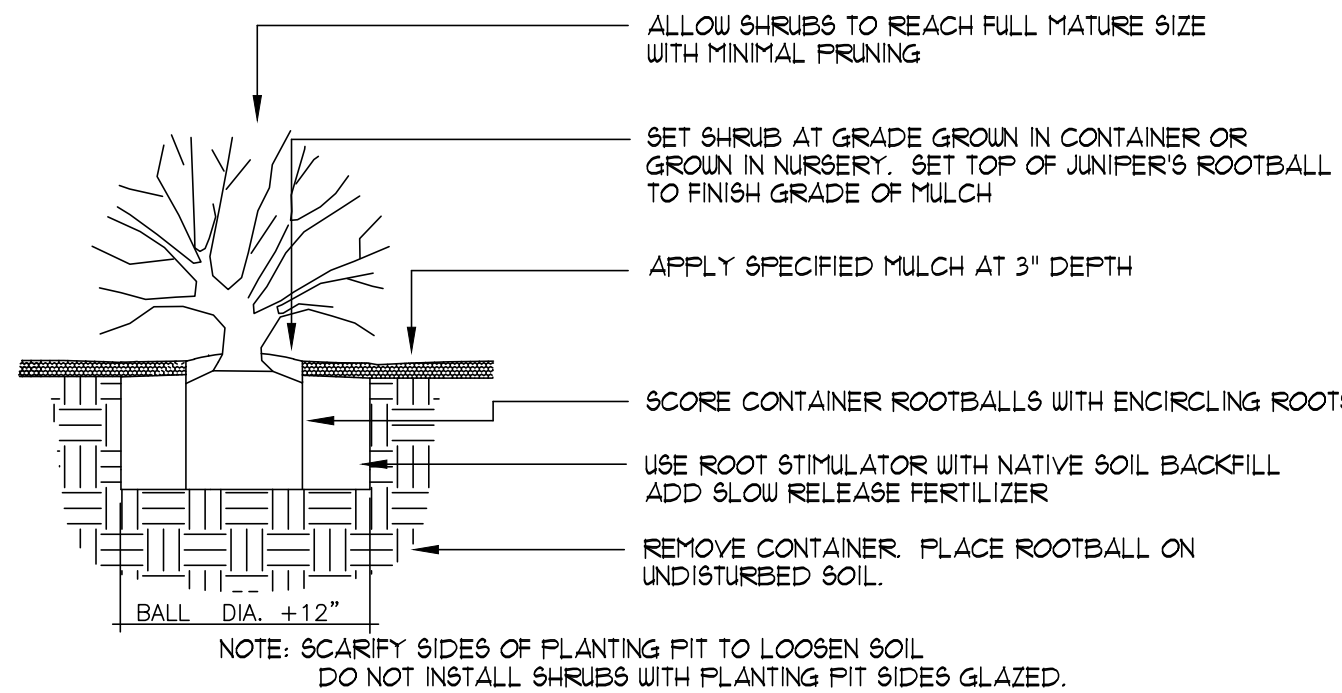
CONTROLLER DETAIL
N.T.S.



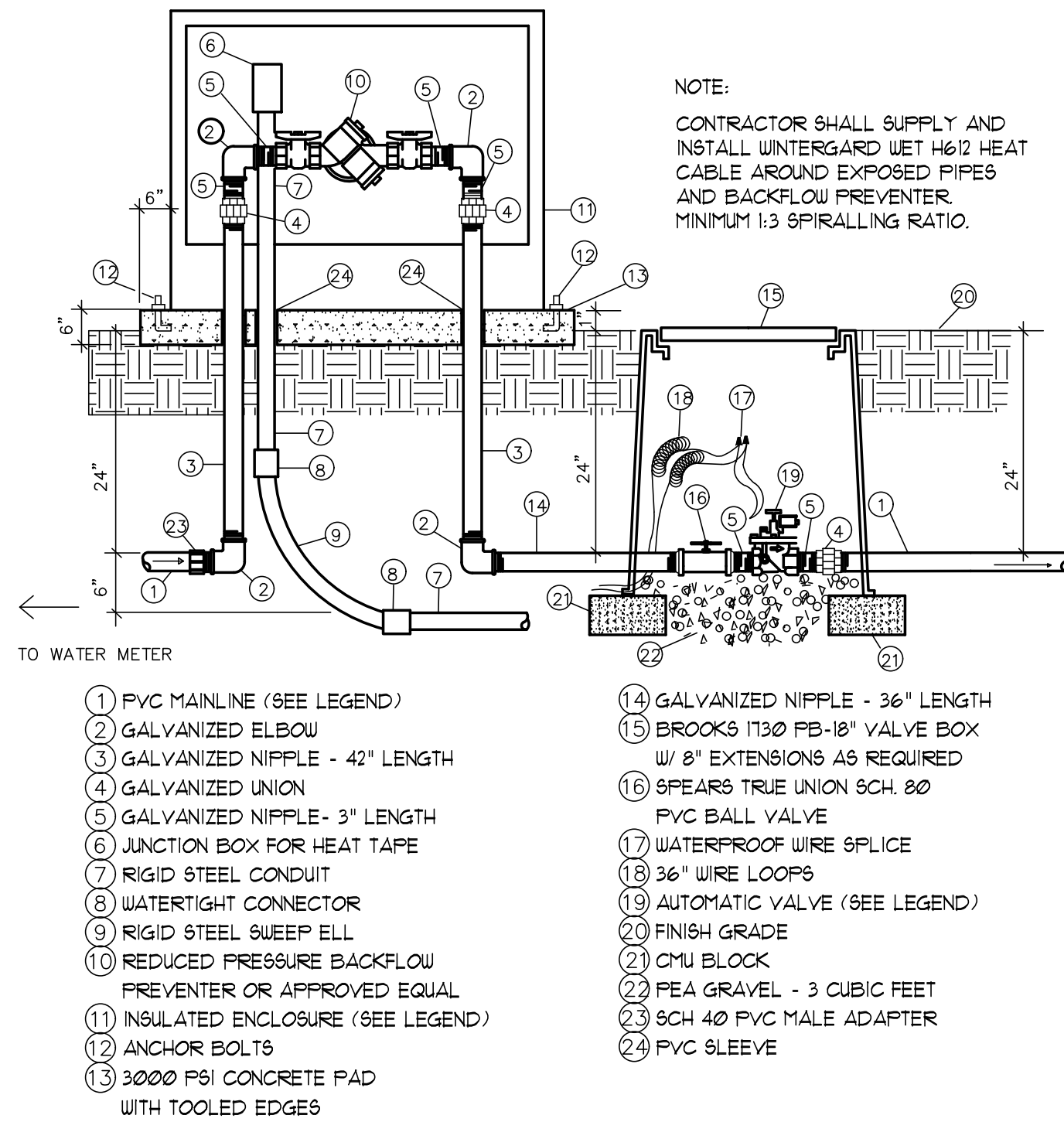
DRIP ZONE KIT IN VALVE BOX
N.T.S.



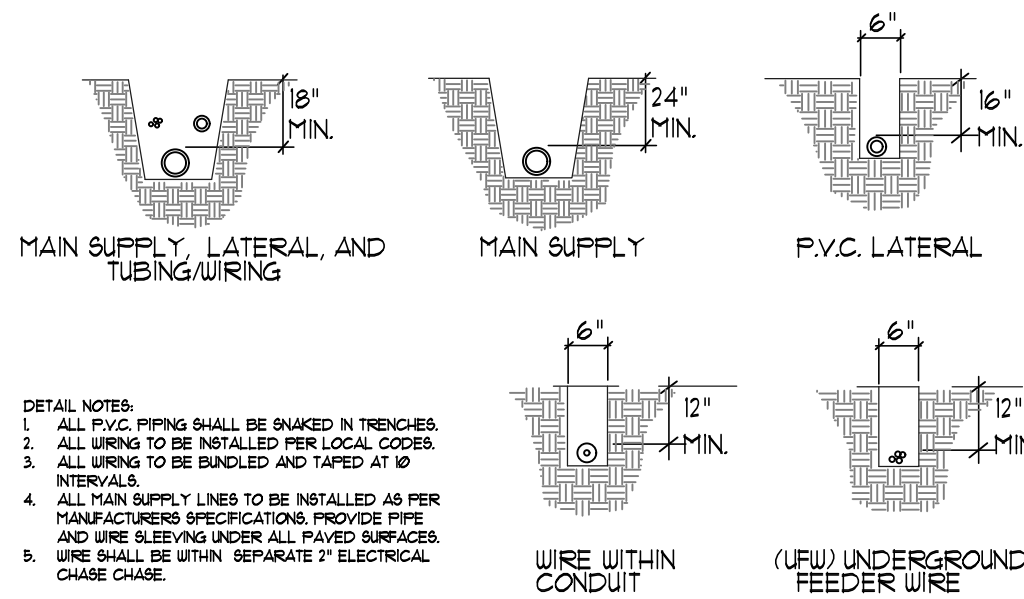
SLEEVE INSTALLATION DETAIL
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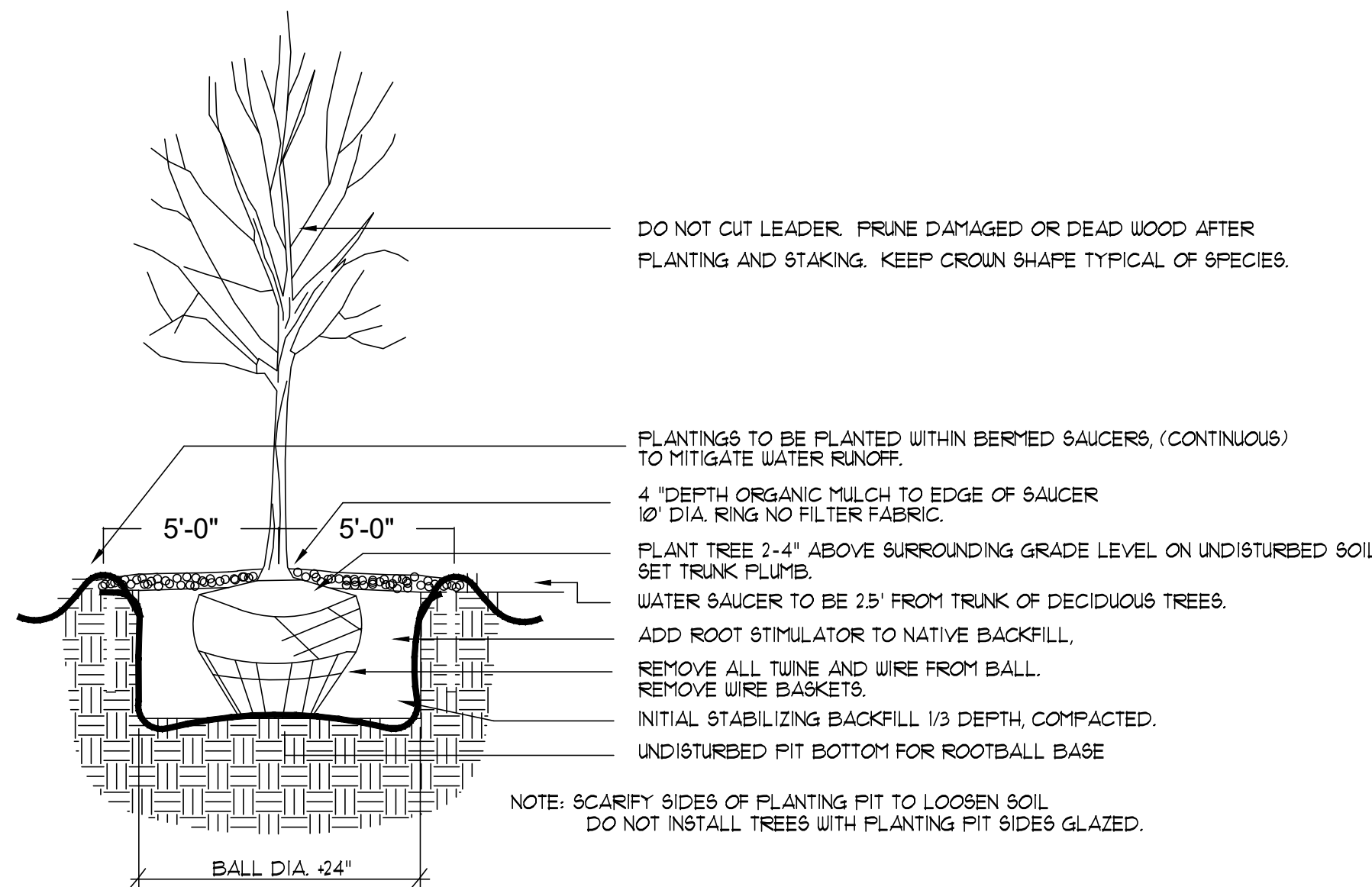
SHRUB PLANTING DETAIL
N.T.S.



MASTER VALVE W/ RPA
N.T.S.



TRENCHING DETAIL
N.T.S.



TREE PLANTING DETAIL
N.T.S.

City of Albuquerque Integrated Development Ordinance-Landscaping, Buffering, and Screening Provided for Reference

PURPOSE

This Section 14-6-5-6 regulates landscaping to ensure visually attractive, sustainable desert landscapes that are in the creation of a quality public realm. The City recognizes landscape as a visual component to quality environments that enhance Albuquerque's overall appearance and provide other public benefit through:

- 5-6(A)(1) Providing visual relief from urbanization.
- 5-6(A)(2) Establishing a consistent, attractive streetscape that generates a sense of continuity and a strong positive city image.
- 5-6(A)(3) Improving the aesthetic appearance of commercial, industrial, and multi-family residential development to protect and enhance public and private investments and property values.
- 5-6(A)(4) Ensuring the use of native and/or adapted, low water-use, or xeric species, and regionally appropriate, sustainable design and maintenance techniques to conserve water resources.
- 5-6(A)(5) Contributing to the processes of air purification, oxygen regeneration, groundwater recharge, and stormwater runoff retention. Landscape should be designed to retain soil, minimize erosion, encourage the growth of abutting plantings, and mitigate urban heat-island effects, while aiding in the abatement of air and water pollution, dust, noise, heat, and glare.
- 5-6(A)(6) Providing screening of some types of facilities, structures, and equipment.
- 5-6(A)(7) Providing shade and comfort for pedestrians and visually narrowing streets, which has been shown to reduce vehicle speeding and accidents.
- 5-6(B) APPLICABILITY

5-6(B)(1) The provisions of this Section 14-6-5-6 shall apply to any of the following unless specifically exempted or otherwise indicated:

- 5-6(B)(1)(a) Construction of a new building containing multi-family, mixed-use, or non-residential development or an accessory parking structure.
- 5-6(B)(1)(b) Construction of a new parking lot containing 25 or more spaces, or expansion of an existing parking lot by 25 spaces or more.
- 5-6(B)(1)(c) Expansion of the ground floor area of an existing building containing multi-family, mixed-use, or non-residential development by 2500 square feet or more, or 25 percent or more, whichever is less.
- 5-6(B)(1)(d) Renovation or redevelopment of an existing building containing multi-family, mixed-use, or non-residential development, including but not limited to reconstruction after fire, flood, or other damage, where the value of the renovation or redevelopment, indicated by building permits, is \$600,000 or more.
- 5-6(B)(2) In the case of walls provided for buffering or screening requirements with conflicting standards in this Section 14-6-5-6, Section 14-6-5-5 (Parking and

Loading), and Section 14-6-5-9 (Neighborhood Edges), the highest specified wall height allowance prevails.

5-6(B)(3) Requirements for walls provided for neat buffering and screening requirements prevail over maximum wall height regulations in Section 14-6-5-1 (Walls and Fences), but shall be subject to any other applicable material and design requirements in Subsection 14-6-5-1(E)(5).

5-6(C) GENERAL LANDSCAPING STANDARDS

The following standards apply to all landscaping, screening, or buffering required by this Section 14-6-5-6.

5-6(C)(1) Landscape Plan Required

A landscape plan designed for landscaped areas shall be submitted as a part of all development applications where landscaping, buffering, or screening is required, unless the relevant decision-making body determines that compliance with the provisions of this Section 14-6-5-6 can be demonstrated without the use of a landscape plan. A landscape plan may be combined with other required application materials if compliance with the provisions of this Section 14-6-5-6 can be demonstrated in the combined materials. Landscaping shall be maintained pursuant to the requirements of Subsection 14-6-5-1(B)(6).

5-6(C)(2) Minimum Landscape Area

5-6(C)(2)(a) Except as noted in Subsection (b) below, a minimum of 15 percent of the net lot area of each development shall contain landscaping.

5-6(C)(2)(b) In DTU-CU-15-RS areas, a minimum of 10 percent of the net lot area of each development shall contain landscaping. In these areas, landscaping required to meet this requirement need not be at ground level. (See Figure below).

5-6(C)(2)(c) The natural realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows:

1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature tree.
2. The size of the actual vegetation of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. (See Figure below).

5-6(C)(2)(d) See also Subsections 14-6-5-6(D) (Street Frontage Landscaping), 14-6-5-6(E) (Edge Buffer Landscaping), and 14-6-5-6(F) (Parking Lot Landscaping) for additional landscaping requirements.

5-6(C)(3) Overlapping Requirements

5-6(C)(3)(a) If areas required to be landscaped by 2 or more provisions of this Section 14-6-5-6 overlap each other, the provision requiring the greater amount of landscaping shall apply, and landscaping provided that meets the greater requirement shall count toward fulfilling the overlapping requirements.

1. See Subsection 14-6-5-6(C)(2)(d) (Existing Vegetation Credit).

2. See Subsection 14-6-5-6(C)(3)(b) (Stormwater Management Features).

3. See Subsection 14-6-5-6(D) (Street Frontage Landscaping).

4. See Subsection 14-6-5-6(E) (Edge Buffer Landscaping).

5. See Subsection 14-6-5-6(F) (Parking Lot Landscaping).

5-6(C)(3)(b) Landscaped areas may count toward satisfying usable open space requirements specified for Residential zone districts in Table 5-1-1 and for Mixed-use zone districts in Table 5-1-2.

5-6(C)(3)(c) Gardens and community gardens provided may count toward satisfying the requirements of Subsection 14-6-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(3)(d) Any landscaping provided to meet requirements in Subsection 14-6-5-2(1) (Major Arroyo Standards) may count toward any required landscaping in this Section 14-6-5-6 but shall be subject to Subsection 14-6-5-6(G) (General Landscaping Standards).

5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-6-5-11(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 13 of required landscaping in Section 14-6-5-6 but shall be subject to standards in Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(4) Required Plant Materials and Site Amenities

5-6(C)(4)(a) A minimum of 50 percent of the plants in the landscaped area shall be native or drought-tolerant plants selected from the Official Albuquerque Plant Palette of low water use, drought-tolerant, or xeric species and shown on a landscape plan can count toward the requirements of this Subsection 14-6-5-6(C) (General Landscaping Standards) except that, upon presentation of evidence, the relevant decision-making body may authorize alternative species or cultivars that meet all of the following requirements:

1. Meet the intended purpose of that type of landscaping.
2. Are not hazardous.
3. Are not identified as invasive on a City or State plant list.
4. Are not listed in the City's Weed Identification Handbook.
5. Are equally hardy to the New Mexico climate.

5-6(C)(4)(c) Installation of any trees, shrubs, or other vegetation included in a State list of prohibited or invasive species or listed as noxious weeds in the City's Weed Identification Handbook is prohibited.

5-6(C)(4)(d) No more than 10 percent of the required landscape areas shall be cool season grass species. Trigrass cool season grass shall not be planted on slopes exceeding 1:4 rise/run or planted in narrow or irregularly shaped areas (10 feet or less in any dimension) in order to avoid water waste. Any cool season grass shall be installed at

least 3 feet in any direction from any impermeable hard surface. (A buffer using organic mulch can be used when planting cool season grass adjacent to impermeable surfaces).

5-6(C)(4)(e) Landscaping abutting arroyos shall consist of native plants that are included on the Official Albuquerque Plant Palette.

5-6(C)(4)(f) Artificial turfgrass shall not be counted as living vegetative material or to meet the requirements of this Subsection 14-6-5-6(C) (General Landscaping Standards).

5-6(C)(4)(g) All vegetation shall comply with Article 3-1-2 and Parts 6-1-1 and 6-2-1 of ROA 1994 (Poller Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable.

5-6(C)(4)(h) All required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ANSI) of the American Nursery and Landscape Association.

5-6(C)(4)(i) Shrubs trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or where there is insufficient space for a tree, a trellis of at least 6 feet high for at least 5 feet along the walkway shall be provided.

5-6(C)(4)(j) In DTU-CU-15-RS areas, landscaped areas other than street frontage shall include pedestrian furniture, pedestrian amenities, or trash receptacles to encourage pedestrian use.

5-6(C)(4)(k) See also Subsection 14-6-5-6(D) (Street Frontage Landscaping) for additional landscaping requirements.

5-6(C)(5) Soil Condition and Planting Beds 5-6(C)(5)(a) All vegetated material required by this Section 14-6-5-6 shall be planted in compacted soil.

5-6(C)(5)(b) If used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff.

5-6(C)(5)(c) The use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area, or 50 percent in DTU-CU-15-RS areas. 5-6(C)(5)(d) A minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6(C)(5)(e) Organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk but not directly against the trunk. In these areas, weed barrier fabric is prohibited.

5-6(C)(5)(f) All landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated areas and stormwater infiltration areas.

5-6(C)(6) Minimum Plant Sizes at Installation

All vegetation required by this Section 14-6-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Plant material type (ANSI/USDA)	Minimum size
Shrubs (street trees)	2-1/2" caliper @ 6 ft. above grade or 2 1/2" height
Deciduous canopy trees	3-1/2" caliper @ 6 ft. above grade or 2 1/2" height
Evergreen trees	3-1/2" caliper @ 6 ft. above grade or 2 1/2" height
Multi-trunk trees	Minimum 2 trunks with a combined caliper of 4 inches
Shrubs	1-1/2" caliper @ 6 ft. above grade or 2 1/2" height
Ground cover and turf	Adequate to provide overall ground cover within 4 growing seasons after planting

5-6(C)(7) Plant Material Spacing

5-6(C)(7)(a) Vegetation required by this Section 14-6-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve boxes, hose bibs, electric hydrants, and fire alarm pull stations.

5-6(C)(7)(b) Where tree planting requirements are based on the length of the street frontage, areas occupied by driveways and drive aisles shall be included when calculating the number of trees required to be planted, and all trees that would otherwise be required in driveways or drive aisles shall be planted in those driveways or drive aisles.

5-6(C)(7)(c) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

5-6(C)(8) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(9) Planting in or over the Public Right-of-Way

5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner will be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain a 6 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9 foot clearance over the street surface.

5-6(C)(9)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate water for the landscape area in the public right-of-way, or a separate valve(s) at the property line between the public right-of-way and the property.

5-6(C)(9)(d) Planting near Utilities

5-6(C)(9)(e) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(9)(f) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(9)(g) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(9)(h) If overhead distribution electric lines are present and large trees cannot be planted due to potential interference with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(9)(i) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work areas and public during maintenance and repair.

5-6(C)(9)(j) Trees shall not be planted near existing or proposed street lighting.

5-6(C)(9)(k) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(9)(l) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(9)(m) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-2: Credits for Preserving Trees	
Diameter at Breast Height (in.)	Number of Trees Credited
>13 and <25	8
28 and <13	4
<24 and <8	2
<4	1
Prohibited trees 8 in. or greater	1

(1) Prohibited trees are those that do not appear on the Official Albuquerque Plant Palette or that are listed as prohibited or invasive species.

5-6(C)(10) Stormwater Management Features

5-6(C)(10)(a) Required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation.

5-6(C)(10)(b) Required landscape and buffer areas shall be designed pursuant to the DPM and the City Standard Specifications for Public Works Construction.

5-6(C)(10)(c) In the R-L, R-MH, Mixed-use, and NR-SU zone districts, and in lots containing multi-family dwellings or non-residential uses in the R-A, R-L, R-MC, and R-T zone districts, surface runoff including runoff from roofs and parking areas shall be directed into depressed water collection areas that are located in landscape areas and that meet all applicable standards in the DPM.

5-6(C)(10)(d) Areas created to meet stormwater management requirements of the City or a governmental entity and located in a required side or rear yard buffer or in a parking lot, shall be counted toward required landscaping and buffering in those areas, provided that the area includes vegetation required by this Section 14-6-5-6.

5-6(C)(10)(e) Where pedestrian walkways and multi-use trails cross required landscape areas, permeable paving may be used and may count toward satisfying the requirements of Subsection 14-6-5-6(C)(2) (Minimum Landscape Area).

5-6(C)(11) Irrigation Systems

5-6(C)(11)(a) Irrigation systems shall comply with Section 8 of the ABCWA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance).

5-6(C)(11)(b) All irrigation systems shall be designed to minimize the use of water.

5-6(C)(11)(c) All non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering.

5-6(C)(11)(d) The irrigation system shall not spray or irrigate impervious surfaces, including the sidewalks, driveways, drive aisles, streets, and parking and loading areas.

5-6(C)(12) Installation

5-6(C)(12)(a) All landscaping material used to meet the requirements of this Section 14-6-5-6 shall be installed in accordance with the planting procedures established by the American Nursery and Landscape Association.

5-6(C)(12)(b) All required landscaping, street trees, screening, and buffering shall be installed prior to the issuance of a final certificate of occupancy. If there is more than one primary building on the site, the landscaping, screening, and buffering related to each building

shall be installed prior to the issuance of a final certificate of occupancy.

5-6(C)(12)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement, shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as a part of a plan for landscaping, screening, or buffering on the public right-of-way, private way, or easement, shall be the responsibility of the public utility.

5-6(C)(12)(d) The Planning Director may authorize adjustments to any spacing requirements when required due to topography, drainage, utilities or obstructions, provided that the total amount of required landscaping is not reduced.

5-6(C)(13) Protecting Clear Sight Triangle

The clear sight triangle shall be maintained at all exits of parking areas and street intersections.

5-6(C)(14) Planting in or over the Public Right-of-Way

5-6(C)(14)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of-way shall require the prior approval of the City. The property owner will be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of-way.

5-6(C)(14)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain a 6 foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9 foot clearance over the street surface.

5-6(C)(14)(c) Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate water for the landscape area in the public right-of-way, or a separate valve(s) at the property line between the public right-of-way and the property.

5-6(C)(14)(d) Planting near Utilities

5-6(C)(14)(e) Trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.

5-6(C)(14)(f) Trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line.

5-6(C)(14)(g) Trees or shrubs planted within utility easements shall comply with the standards of the utility provider to minimize effects on facilities maintenance and repair.

5-6(C)(14)(h) If overhead distribution electric lines are present and large trees cannot be planted due to potential interference with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities.

5-6(C)(14)(i) All screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work areas and public during maintenance and repair.

5-6(C)(14)(j) Trees shall not be planted near existing or proposed street lighting.

5-6(C)(14)(k) All existing vegetation preserved and used for credit against the requirements for new vegetation shall be protected during construction by a fence erected one foot beyond the drip line of the vegetation.

5-6(C)(14)(l) Trees may be credited only 1 time toward any one buffer, screen, or other landscape requirement.

5-6(C)(14)(m) Trees shall be credited in accordance with Table 5-6-2.

Table 5-6-3: Minimum Planting Area by Tree Height at Maturity	
Tree Height at Maturity (ft.)	Minimum Planting Area (sq. ft.)
>20	4 x 4
15-20	5 x 5
10-15	6 x 6

5-6(D)(1) Additional Frontage Landscaping

5-6(D)(1)(a) For buildings with a floor area of more than 50,000 square feet, in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be planted every 30 feet along the length of any facade facing a City park or trail, Major Public Open Space, or major arroyo.

5-6(D)(1)(b) Only trees selected from the Official Albuquerque Plant Palette, Transient Areas Fifty (50) Percent of any front setback area not used for pedestrian access to the building or improved with pedestrian furniture and amenities shall be landscaped, and no part of the front setback area surface shall be asphalt.

5-6(E) EDGE BUFFER LANDSCAPING

5-6(E)(1) General Requirements

5-6(E)(1)(a) Landscaped edge buffers and/or edge buffer walls are required between properties to mitigate and the impacts of significant differences in property use, site, or scale through standards specified in Subsections (2) through (5) below.

5-6(E)(1)(b) If a landscaped edge buffer is required and a wall is required or will be provided, the wall shall be provided on the property line between the two properties unless specified otherwise in this IDO.

5-6(E)(1)(c) Required edge buffering is not required to be installed along any portion of the lot line covered by an access easement between adjacent lots, but an equivalent amount of landscaping shall be installed on remaining portions of the side or rear lot line, as applicable.

5-6(E)(1)(d) For the purposes of this Subsection 14-6-5-6(E), "industrial development" refers to the zone districts and uses indicated in Subsection 14-6-5-6(E)(4)(a) (Industrial Development Adjacent to Non-Industrial Development).

5-6(E)(1)(e) Additional buffering may be required for specific uses, pursuant to any Use-specific Standards for those uses in Section 14-6-4-3 or Neighborhood Edge standards in Section 14-6-5-9.

Table 5-6-4: Edge Buffer - Development Types Summary	
Development Type	Development Type Summary
Multi-family	Industrial development (R-A, R-L, R-MC, R-T)
Mixed-use or residential	Industrial development (R-A, R-L, R-MC, R-T)
Multi-family, mixed-use, or other residential	Industrial development (R-A, R-L, R-MC, R-T)

5-6(E)(2) Development Next to Low-density Residential Zone Districts

Where multi-family, mixed-use, or non-residential development other than industrial development occurs on a lot abutting or across an alley from a lot containing low-density residential development in an R-A, R-L, R-MC, R-T, or R-MH zone district, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.

5-6(E)(2)(a) General

A landscaped edge buffer area shall be provided on the subject property, along the property line, at least 25 feet tall at maturity and 3 shrubs shall be provided every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts of the proposed development on the adjacent property.

1. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts of the proposed development on the adjacent property.

2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-6-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(b) Downtown, Urban Centers, and Main Street and Premium Transit Areas

1. A landscaped edge buffer area at least 6 feet wide shall be provided for buildings with a floor area of more than 50,000 square feet, in mixed-use or non-residential development, at least 1 tree and 3 shrubs shall be provided every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts of the proposed development on the adjacent property.

2. An opaque wall, fence, or vegetative screen at least 6 feet tall shall be provided at the property line between the two properties, and all of the following requirements shall be met:

- a. One (1) tree at least 6 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.
- b. The side facing the low-density residential development shall be at least as finished in appearance as the side facing the multi-family, mixed-use, or non-residential development.
- c. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-6-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(c) Development Next to a Multi-family Residential Zone District

Where multi-family, mixed-use, or non-residential development occurs on a lot abutting or across an alley from a lot in the R-L, or R-MH zone districts with tourhouse development or multi-family development, a buffer shall be provided along the lot line, as specified in Table 5-6-4 and for the relevant area below.

5-6(E)(2)(d) General

An edge buffer area shall be provided on the subject property along the property line between the two properties, 1 tree at least 6 feet tall at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.

1. If no wall is provided or exists, 1 tree at least 6 feet tall at the time of planting and at least 25 feet tall at maturity and 3 shrubs shall be provided every 25 feet along the lot line, with spacing designed to minimize sound, light, and noise impacts of the proposed development on the adjacent property.

2. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-6-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(2)(e) Development Adjacent to Non-Industrial Development

5-6(E)(2)(f) Applicability

An edge buffer shall be provided as specified in Table 5-6-4 and for the relevant areas in Subsections (b) and (c) below in all of the following locations:

1. Where a lot with industrial zoning or development is adjacent to a lot with industrial zoning or development, including but not limited to both of the following locations:
 - a. Where any development in an NR-LM or NR-GM zone district is adjacent to a lot that is not in an NR-LM or NR-GM zone district.
 - b. Where light manufacturing or heavy manufacturing or manufacturing/natural resource extraction non-linear portions of an electric utility, drainage facility, or other major utility or any primary use in the Waste and Recycling category in Table 4-2-1 is developed on a lot abutting a vacant lot or a lot with a use other than one of those specified uses.
2. Where multi-family residential development is adjacent to a lot with industrial development.

3. If the wall is located on the property line, 1 tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.

4. Where the edge buffer area is across the street from the lot with non-industrial zoning or development, the wall may be set back from the property line if both of the following requirements are met:

1. Landscaping that meets the requirements in Subsection 2, below shall be provided between the wall and the street.
2. The landscaping shall be maintained by the owner of the subject property.

5. One (1) tree at least 8 feet high at the time of planting shall be provided every 15 feet along the wall, with spacing designed to minimize sound and light impacts of the proposed development on the adjacent property.

6. The side of the wall facing the non-industrial development shall be at least as finished in appearance as the side facing the industrial use.

7. If there is an existing wall between the two properties, it may count toward satisfying the requirements of Subsection 14-6-5-6(E)(2)(b) if it meets, or is improved to meet, the height and design standards above.

5-6(E)(3) Area of Change Next to Area of Consistency

Where a premises partially or completely in an Area of Change is abutting or across an alley from a premises partially or completely in an Area of Consistency (per City Department of Planning and Development, as amended), the following standards shall apply on the lot(s) adjacent to the premises partially or completely in the Area of Consistency, regardless of the standard land use on that lot or premises, unless specified otherwise in this IDO.

Table 5-6-5: Edge Buffer - Development Area Summary	
Lot Area (sq. ft.)	Development Area Summary
Area of Consistency in R-A, R-L, R-MC, R-T	Industrial development (R-A, R-L, R-MC, R-T)
Area of Consistency in R-MH	Industrial development (R-A, R-L, R-MC, R-T)
Area of Consistency in Mixed-Use, NR-C, or NR-SU	Industrial development (R-A, R-L, R-MC, R-T)

5-6(E)(3)(a) R-L, R-MH, and Mixed-use Zone Districts

Where multi-family, mixed-use, or non-residential development occurs on a lot abutting or across an alley from a lot in the R-L, or R-MH zone districts, the requirements of Subsections 14-6-5-6(E)(1) and 14-6-5-6(E)(2) shall apply.

5-6(E)(3)(b) If the lot in the Area of Consistency is in an R-L, or R-MH zone district, the requirements of Subsections 14-6-5-6(E)(1) and 14-6-5-6(E)(2) shall apply.

5-6(E)(3)(c) If the lot in the Area of Consistency is in any Mixed-use, NR-C, or NR-SU zone district, the requirements of Subsections 14-6-5-6(E)(1) and 14-6-5-6(E)(2) shall apply.

5-6(F) PARKING LOT LANDSCAPING

5-6(F)(1) General

5-6(F)(1)(a) Landscape buffer areas are required to separate off-street parking and circulation areas from front, side, and rear boundaries of premises.

5-6(F)(1)(b) Where a parking lot is abutting an R-A, R-L, R-MC, or R-T zone district, provisions related to parking area in Subsection 14-6-5-9(D) (Parking, Drive-through Or Drive-up Locations, and Loading) shall apply.

5-6(F)(1)(c) Where development is coordinated on 7 or more abutting sites, or where multiple parking areas are located on a single lot, or on planned development areas controlled by Site Plans, these requirements shall be based on the entire development area unless otherwise approved by the decision-making body.

5-6(F)(1)(d) Landscape buffers may be crossed by drive aisles connecting to abutting land.

5-6(F)(1)(e) No parking is allowed within a required landscape buffer area.

5-6(F)(1)(f) Landscaping approved within the abutting public right-of-way or private way may be counted toward this requirement if there is no existing or planned public sidewalk between such landscape and the premises, but in no case shall the width of the on-site landscape buffer be less than 5 feet.

5-6(F)(1)(g) The landscape area may be reduced by up to 25 percent if the surface of the parking or vehicle circulation area is of a permeable material with approval from the Planning Director.

5-6(F)(1)(h) Where sites are required, they shall integrate with building materials and colors.

5-6(F)(1)(i) Landscape buffers are required in the following locations, with minimum screening and design requirements as specified below:

1. Front Lot Landscaping

Any parking lot located within 30 feet of the front lot line shall be screened by the street or other use on the lot, or by a wall constructed of a material with texture, appearance, and color to the street-facing facade of the primary building (but excluding exposed CMU block) at least 3 feet but not more than 4 feet in height, or by a landscape buffer at least 10 feet in width with a continuous line of evergreen shrubbery 3 feet in height, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

2. Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within 30 feet of the front lot line shall be screened from the street by a masonry wall as described in Subsection a above. Openings in the masonry wall be no more than 4 feet wide to allow passage of bicycles and pedestrians from the street into the parking lot area.

3. Side and Rear Lot Landscaping

Where no side or rear lot line buffer is required by Subsection 14-6-5-6(E) above, the following standards apply where the side or rear lot line abuts a public street.

- a. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- b. Downtown, Urban Centers, and Main Street and Premium Transit Areas

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- c. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- d. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- e. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- f. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- g. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- h. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- i. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- j. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- k. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- l. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- m. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- n. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- o. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- p. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- q. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- r. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- s. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- t. General

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- u. General

Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- v. General

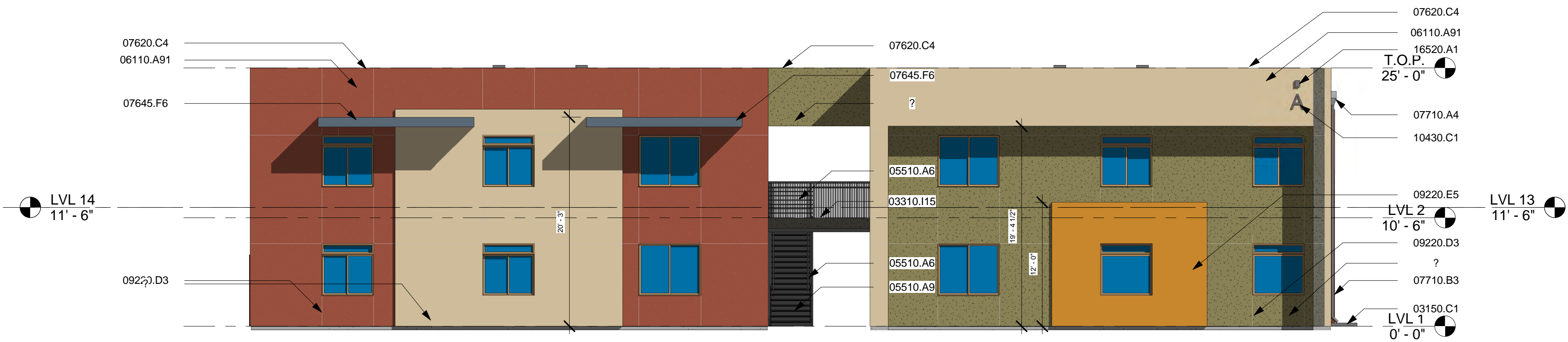
Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- w. General

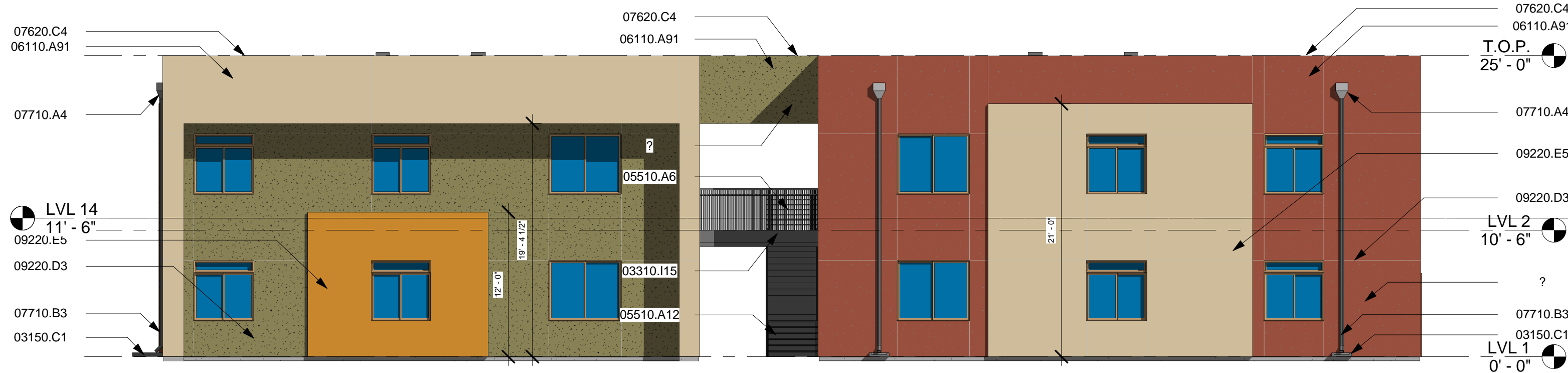
Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shrubs per 25 feet of the parking lot edge closest to the lot line, or by other means that the Planning Director determines provides equal or better screening of the headlights of parked vehicles.

- x. General

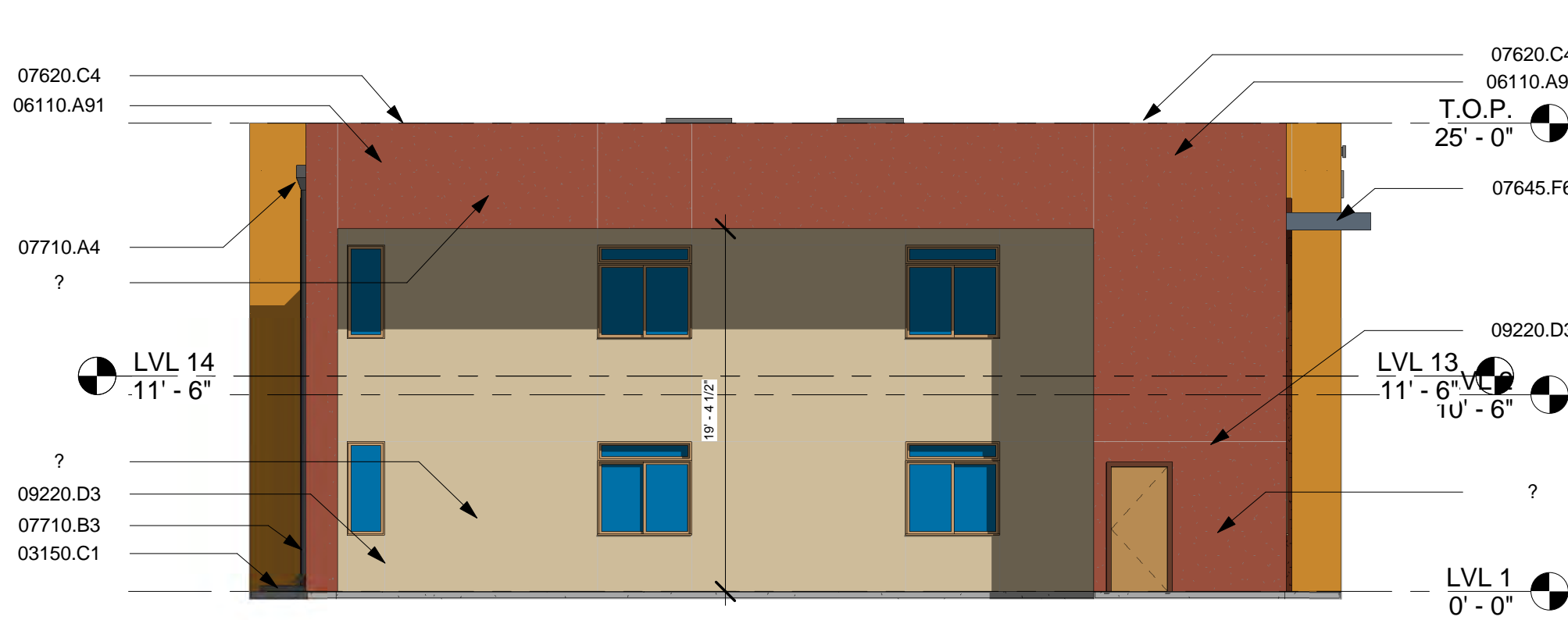
Any parking lot located within 30 feet of a side or rear lot line shall be screened by a landscaped strip at least 6 feet wide containing at least 2 trees and 6 shr



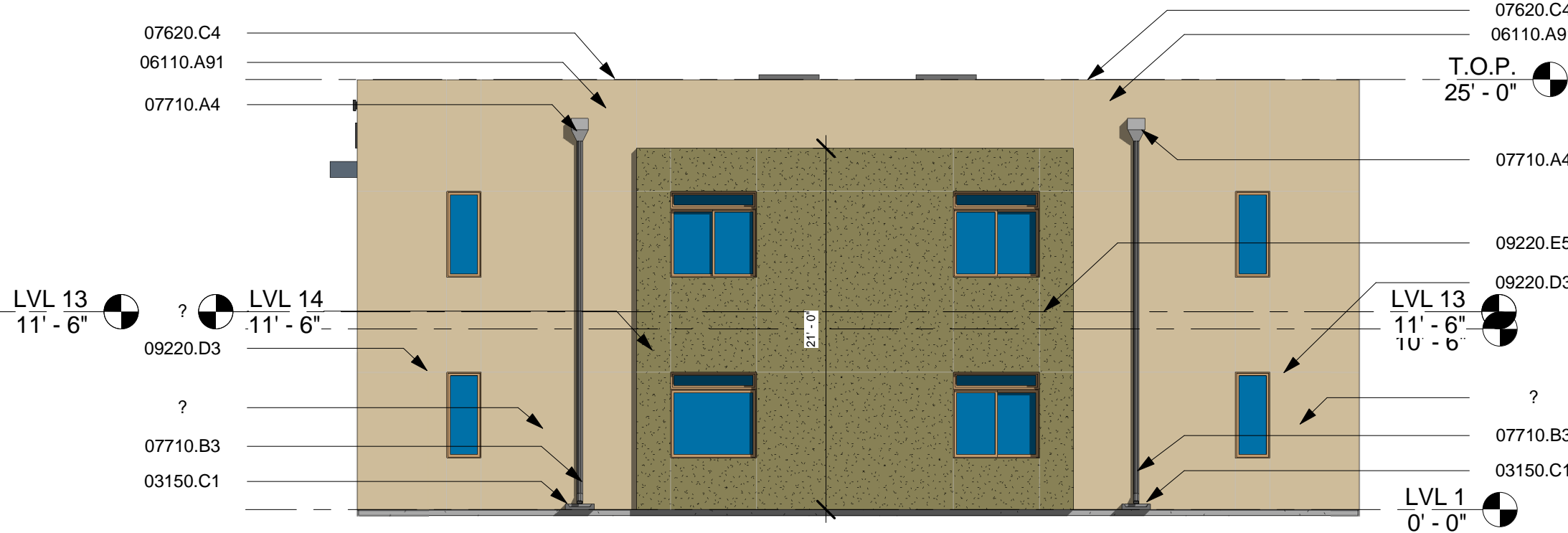
1 Front Elevation
1/8" = 1'-0"



3 Rear Elevation
1/8" = 1'-0"



4 Side Elevation 1
1/8" = 1'-0"

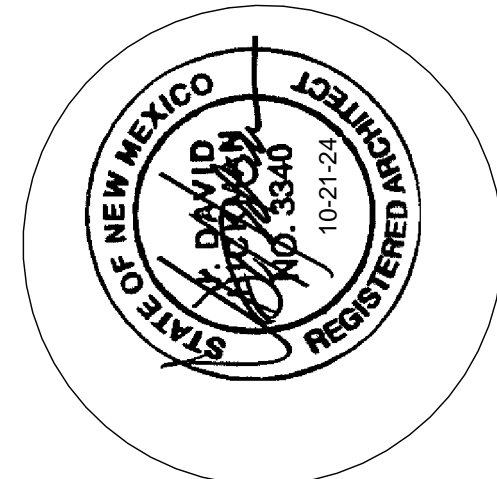


2 Side Elevation 2
1/8" = 1'-0"

Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
03310.I15	3 1/2" Lightweight Concrete Topping Over 3/4" Plywood Sheathing. Slope topping to Drain
05510.A6	New 42" High Steel Painted Railing - See Structural
05510.A9	Steel Channel Stringers w/ Precast Concrete Treads - See Structural
05510.A12	New 36" High Steel Painted Railing As Cane Detection
06110.A91	New 2x Framed Parapet Wall
07620.C4	Metal Parapet Cap Flashing - Finish To Match Fascia
07645.F6	1/2" Textured Hardboard Fascia
07710.A4	Membrane Lined Sheet Metal Scupper - See Detail on Detail Sheet
07710.B3	Downspout
09220.B4	Stucco Color #1
09220.B30	2-Coat Synthetic Stucco With Integrated Krack-Master System
09220.D3	Stucco Expansion Joint Typ.
09220.E5	3" Foam Fur Out w/ Stucco Finish - See Details
10430.C1	Aluminum Cast Letter
16520.A1	Wall Mounted Exterior Light Fixture

- GENERAL NOTES:
- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
 - ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
 - CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
 - ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
 - ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
 - EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
 - ROOF TOP UNITS IN COMMUNITY BUILDING ARE APPROXIMATELY 35"x35"x38"H
 - ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

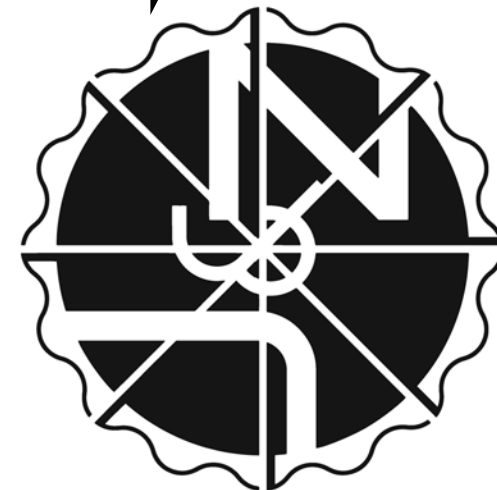
MATERIAL SURFACE AREAS:	FRONT	REAR	SIDE 1	SIDE 2
STUCCO	791 SF	794 SF	526 SF	0 SF
COLOR #1 - RED	782 SF	671 SF	781 SF	924 SF
COLOR #2 - TAN	672 SF	782 SF	0 SF	534 SF
COLOR #3 - GREEN	180 SF	180 SF	152 SF	0 SF
COLOR #4 - ORANGE				
TOTAL	2,425 SF	2,427 SF	1,459 SF	1,458 SF



JEEBS & ZUZU, LLC.

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

**Architecture
Construction
Design-Build**



job no: 23-019

drawn: EAM

checked: J&Z

date: Oct. 21, 2024

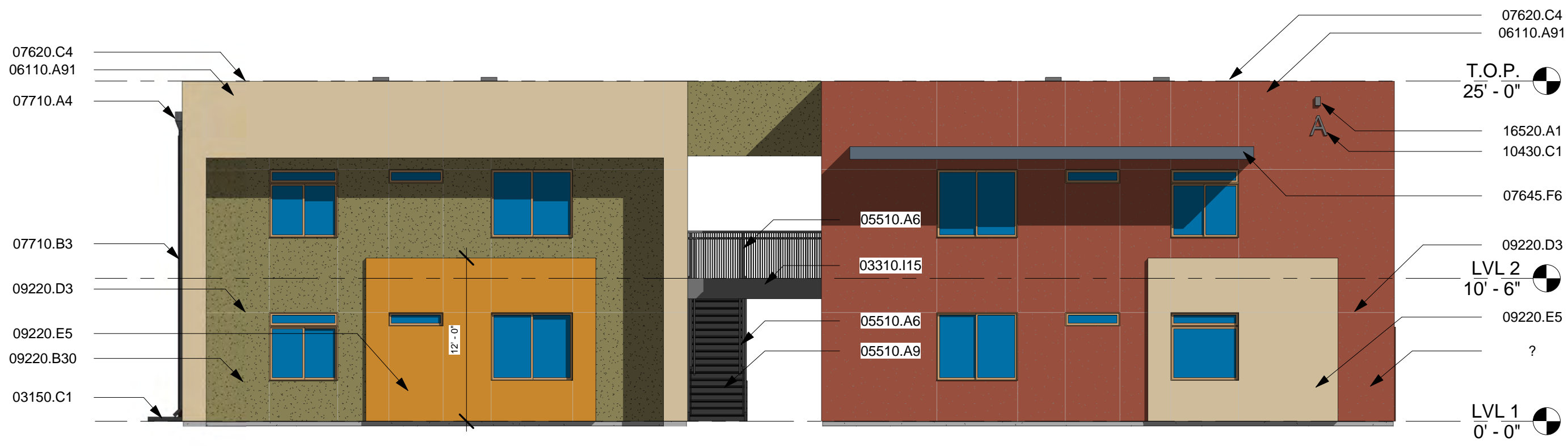
CASAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

BUILDING TYP. 1 - ELEVATION

sheet no: **A1.12**

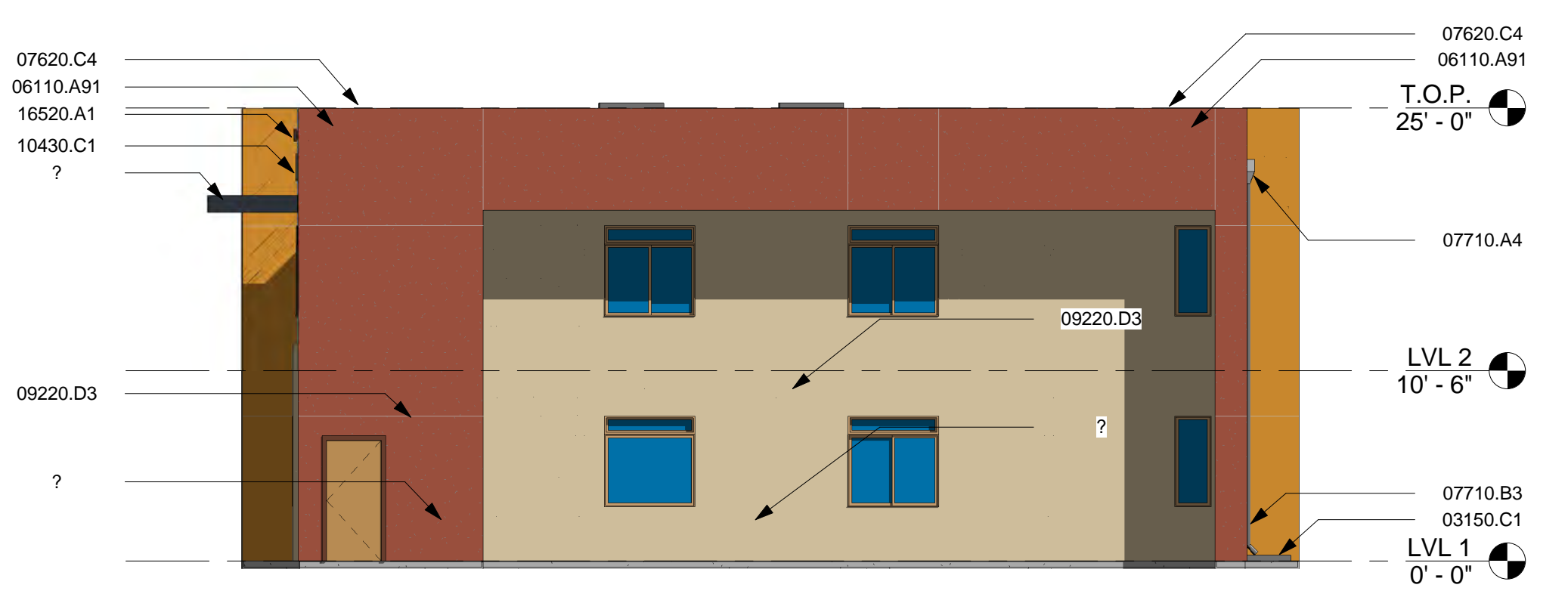
www.jeebsandzuzu.com



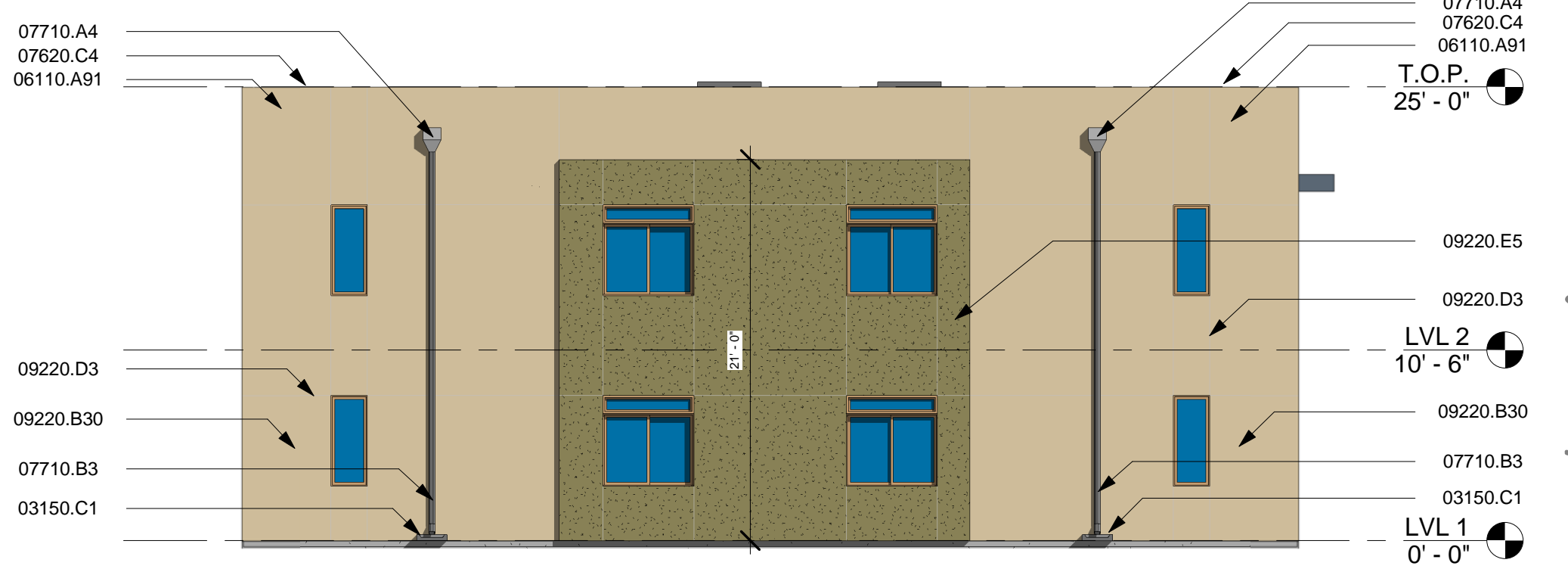
③ Front Elevation
1/8" = 1'-0"



④ Rear Elevation
1/8" = 1'-0"



① Side Elevation 1
1/8" = 1'-0"

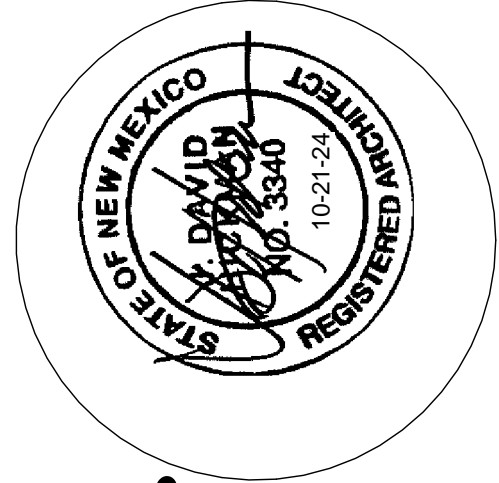


② Side Elevation 2
1/8" = 1'-0"

Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
03310.I15	3 1/2" Lightweight Concrete Topping Over 3/4" Plywood Sheathing. Slope topping to Drain
05510.A6	New 42" High Steel Painted Railing - See Structural
05510.A9	Steel Channel Stringers w/ Precast Concrete Treads - See Structural
05510.A12	New 36" High Steel Painted Railing As Cane Detection
06110.A91	New 2x Framed Parapet Wall
07620.C4	Metal Parapet Cap Flashing - Finish To Match Fascia
07645.F6	1/2" Textured Hardboard Fascia
07710.A4	Membrane Lined Sheet Metal Scupper - See Detail on Detail Sheet
07710.B3	Downspout
09220.B4	Stucco Color #1
09220.B30	2-Coat Synthetic Stucco With Integrated Krack-Master System
09220.D3	Stucco Expansion Joint Typ.
09220.E5	3" Foam Fur Out w/ Stucco Finish - See Details
10430.C1	Aluminum Cast Letter
16520.A1	Wall Mounted Exterior Light Fixture

- GENERAL NOTES:
- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
 - ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
 - CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
 - ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
 - ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
 - EXTEROIR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
 - ROOF TOP UNITS IN COMMUNITY BUILDING ARE APROXIMATELY 35"x35"x38"H
 - ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

MATERIAL SURFACE AREAS:				
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	888 SF	1,090 SF	527 SF	982 SF
COLOR #2 - TAN	445 SF	445 SF	781 SF	0 SF
COLOR #3 - GREEN	503 SF	503 SF	0 SF	476 SF
COLOR #4 - ORANGE	202 SF	0 SF	148 SF	0 SF
TOTAL	2,038 SF	2,038 SF	1,456 SF	1,458 SF



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

job no: 23-019
drawn: EAM
checked: J&Z
date: Oct. 21, 2024

BUILDING TYP. 2 - ELEVATION 5

CASAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

sheet no: **A1.22**

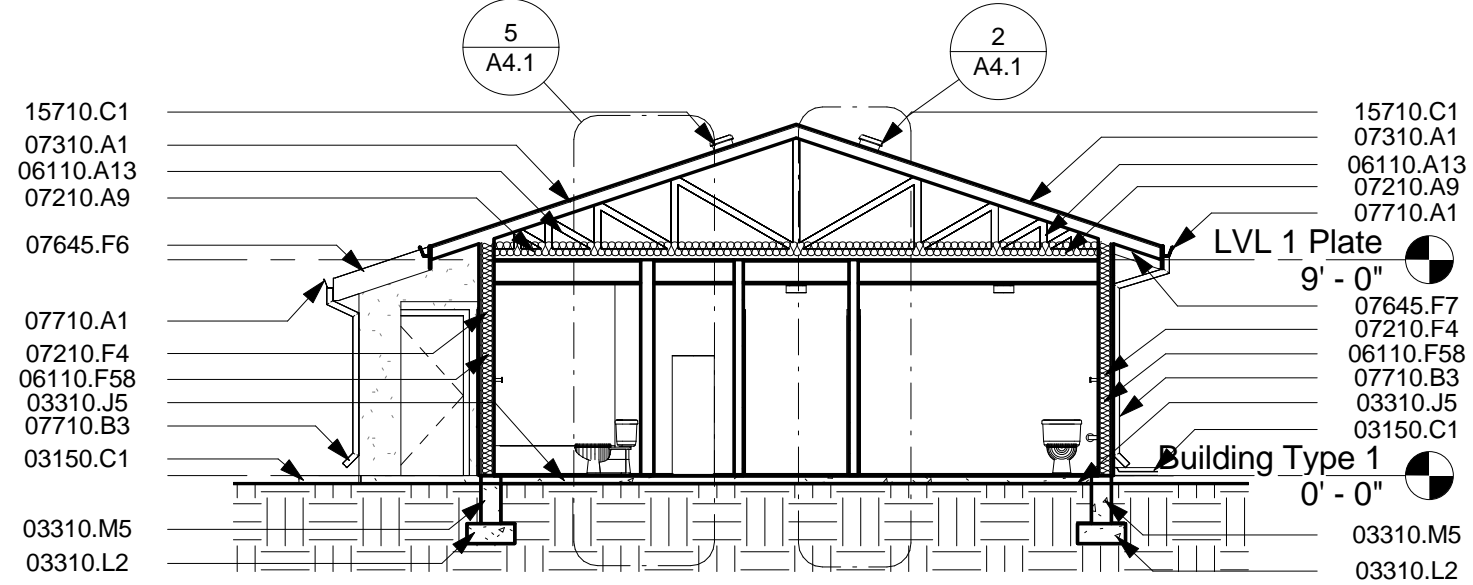
Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
03310.J5	4" Cast-in-Place Concrete Slab
03310.L2	Concrete Footing - See Structural
03310.L11	12" Thicken Concrete Slab - See Structural
03310.M5	12" Cast-in-Place Concrete Stem Wall - See Structural
06110.A13	Pre-Manufactured Roof Truss @ 24" O.C.
06110.A37	Fire Partition per IBC 2015 Section 708. Fire Partitions shall be continuous from floor to deck in accordance with 708.4 and IBC Handbook. See provided clarifying architectural detail where the building is classified as Type VB.
06110.F58	New 2x6 Framing @ 16" O.C., 5/8" Gyp Bd., 7/16" Sheathing, 1" Stucco
06110.F80	New 2x6 Framing @ 16" O.C., 5/8" Gyp Bd., 7/16" Sheathing, 3" Rigid Insulation Fur Out, 1" Stucco
07210.A9	R-38 Batt Insulation
07210.B22	New Sound Batt
07210.F4	Blown in Fiberglass R-20 Insulation System - 5 1/2" Thick
07310.A1	Asphalt Shingle Roof
07645.F6	1/2" Textured Hardboard Fascia
07645.F7	1/2" Masonite Soffit
07710.A1	Gutter
07710.B3	Downspout
09220.B30	2-Coat Synthetic Stucco With Integrated Krack-Master System
09220.D3	Stucco Expansion Joint Typ.
09220.E5	3" Foam Fur Out w/ Stucco Finish - See Details
10430.C1	Aluminum Cast Letter
15710.C1	Roof Turtle Vent
16520.A1	Wall Mounted Exterior Light Fixture

GENERAL NOTES:

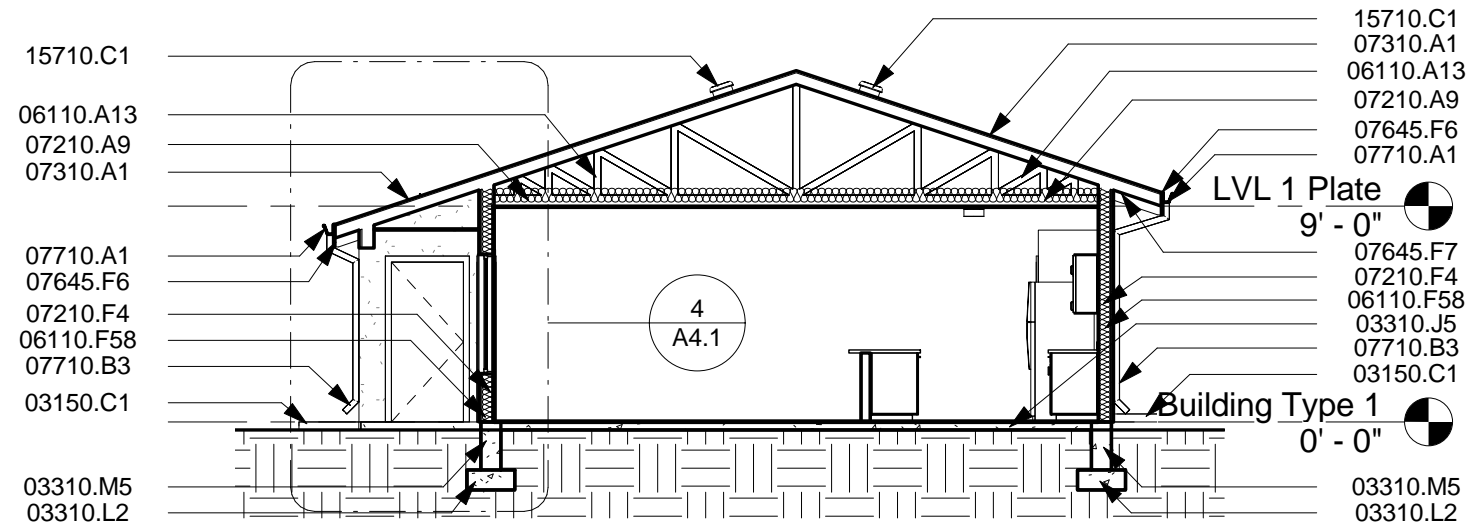
- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
- ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
- CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
- ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
- ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
- EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
- ROOF TOP UNITS IN COMMUNITY BUILDING ARE APROXIMATELY 35"x35"x38"H
- ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

MATERIAL SURFACE AREAS:

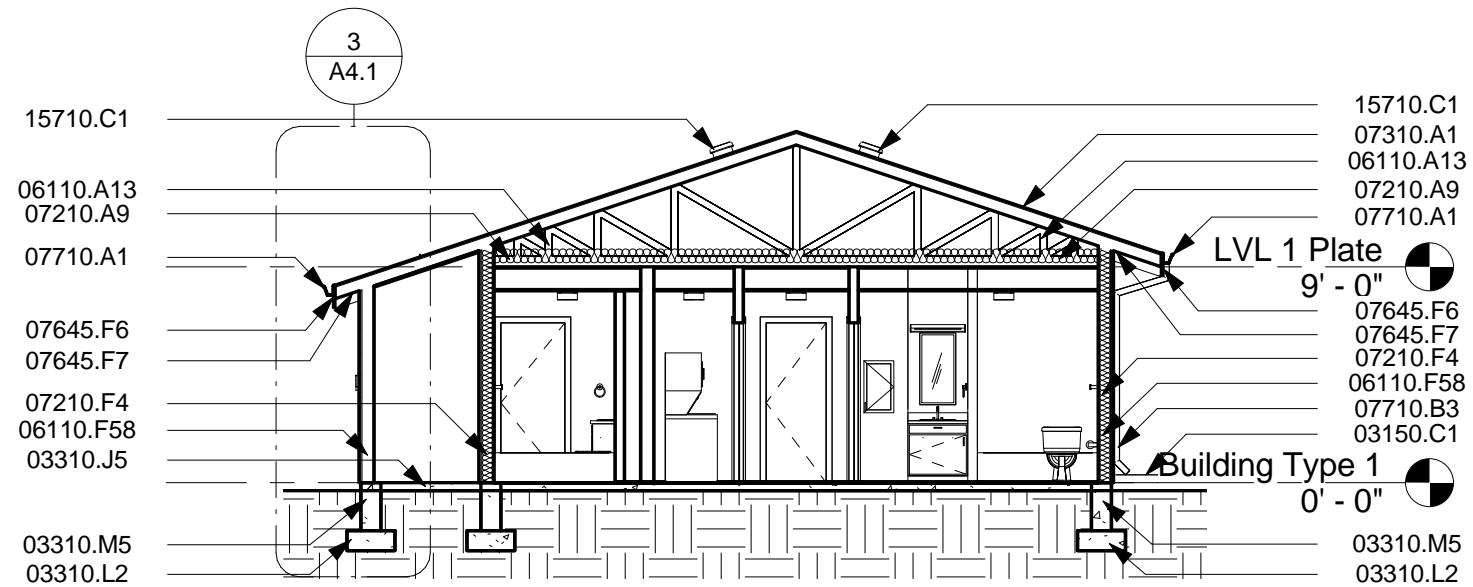
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	63 SF	712 SF	0 SF	42 SF
COLOR #2 - TAN	555 SF	0 SF	206 SF	219 SF
COLOR #3 - GREEN	0 SF	0 SF	0 SF	0 SF
COLOR #4 - ORANGE	34 SF	0 SF	138 SF	84 SF
TOTAL	652 SF	712 SF	346 SF	345 SF



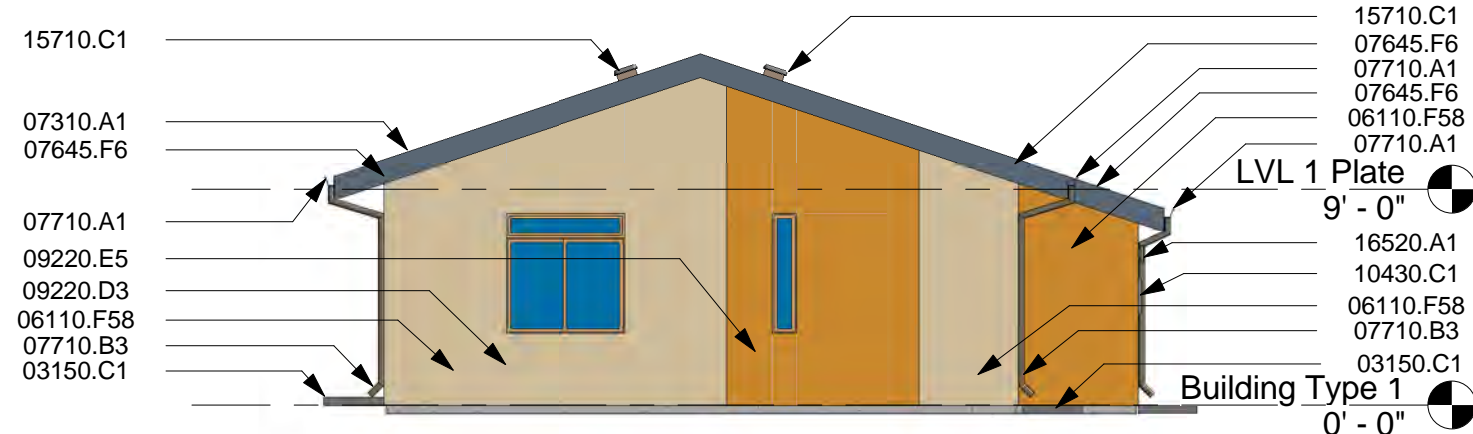
9 Section 6
1/8" = 1'-0"



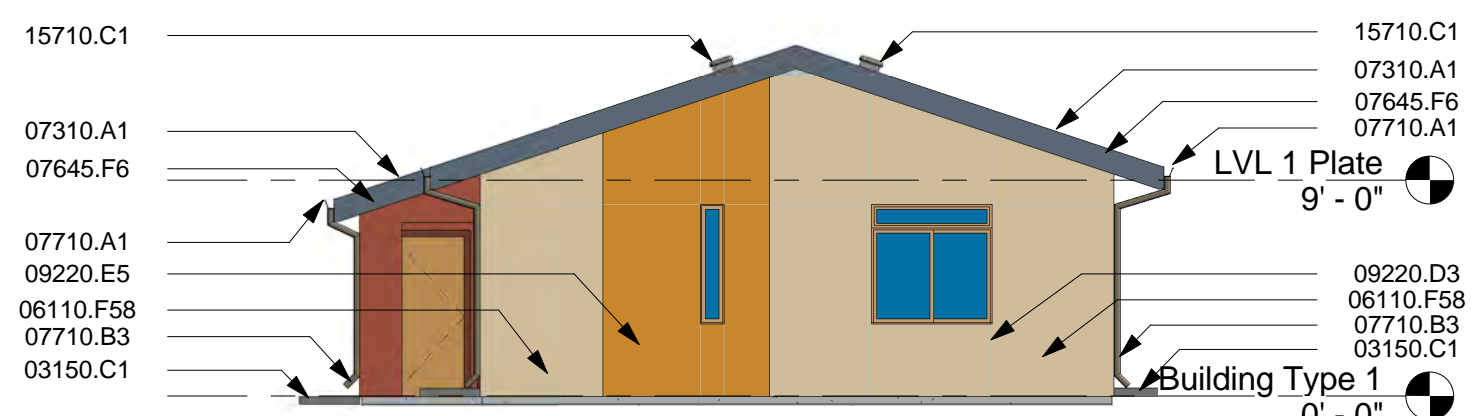
8 Section 5
1/8" = 1'-0"



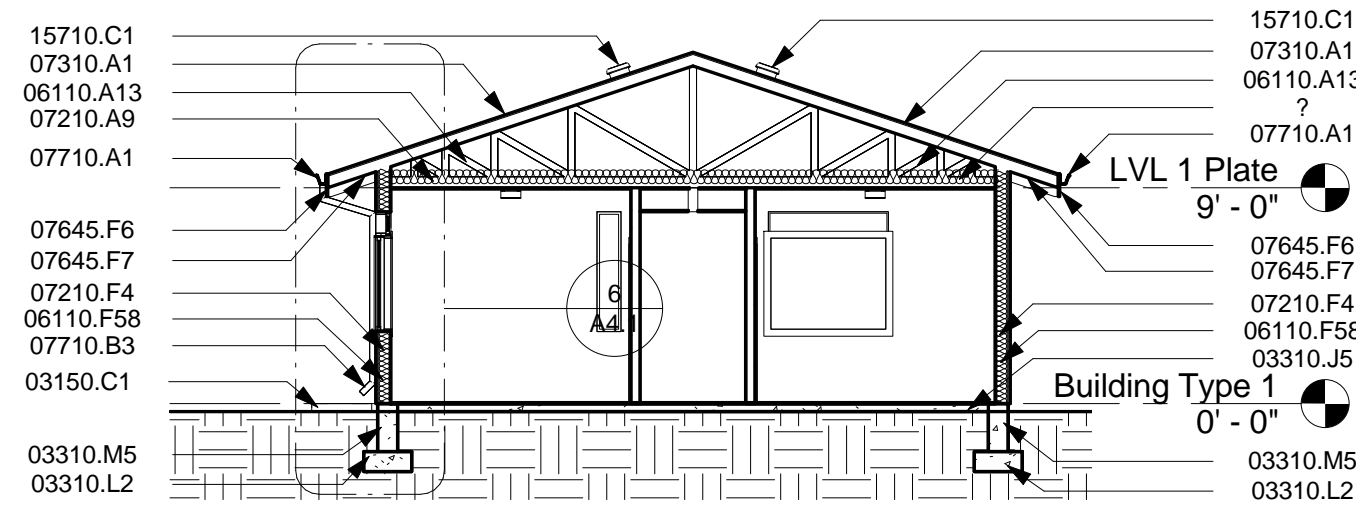
7 Section 4
1/8" = 1'-0"



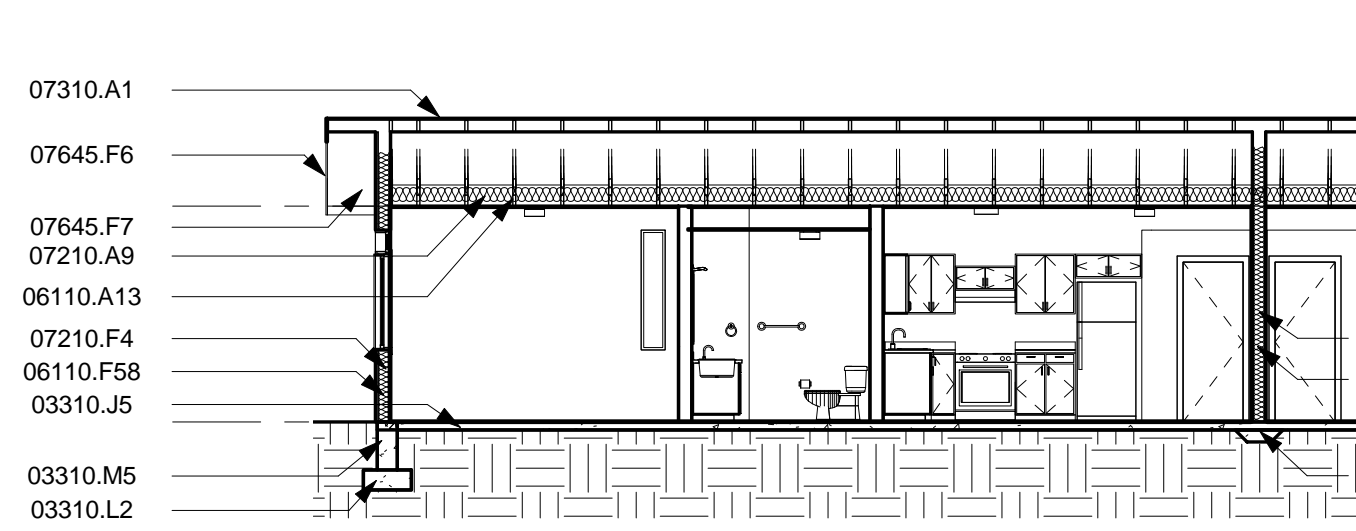
3 Side Elevation 1
1/8" = 1'-0"



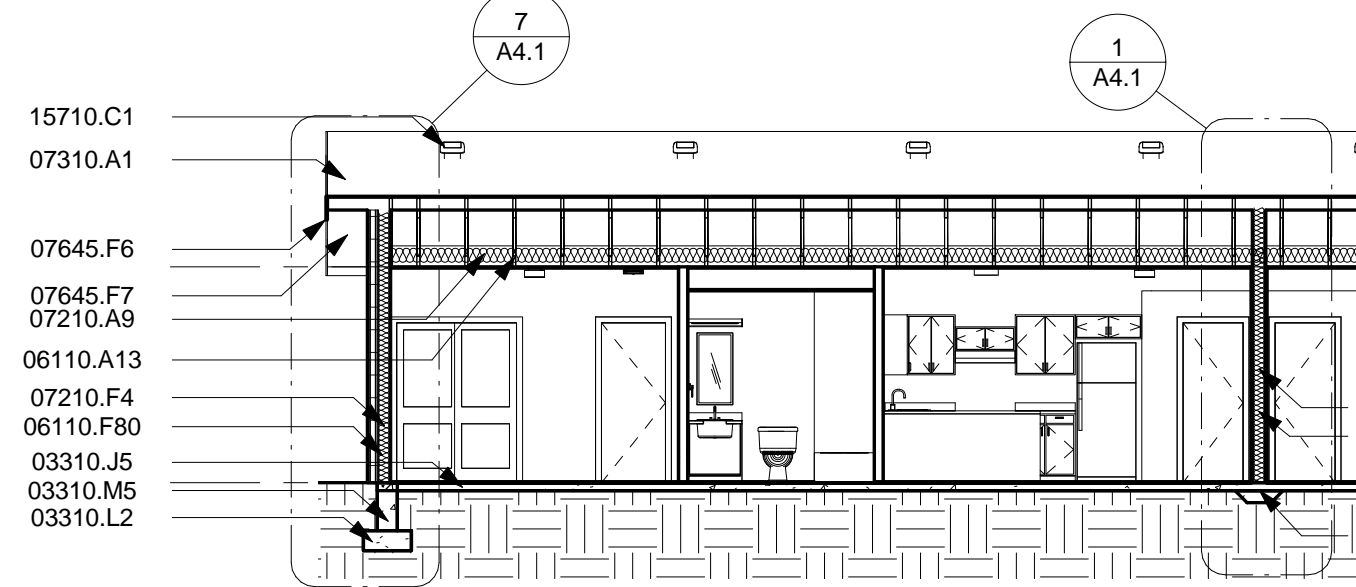
2 Side Elevation 2
1/8" = 1'-0"



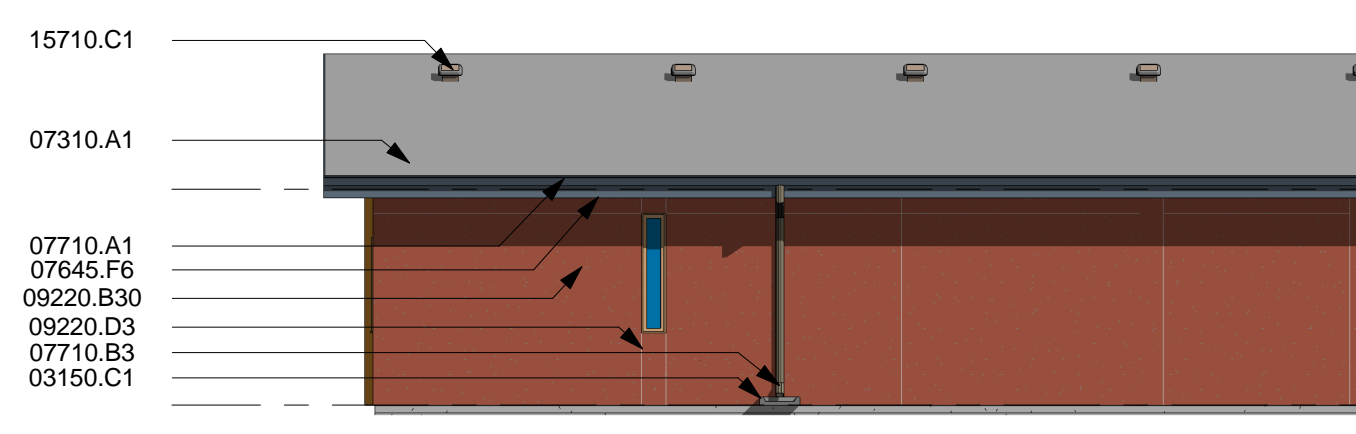
10 Section 7
1/8" = 1'-0"



6 Section 3
1/8" = 1'-0"



5 Section 2
1/8" = 1'-0"



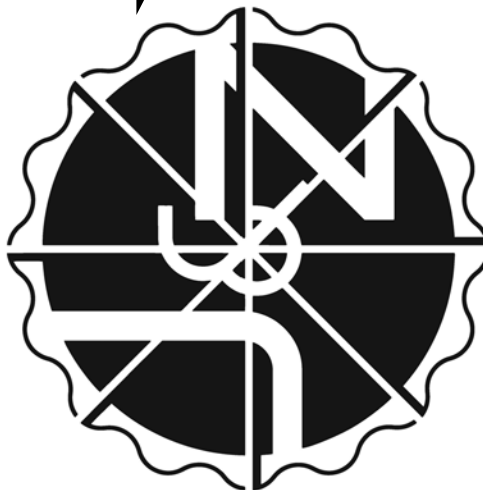
4 Rear Elevation
1/8" = 1'-0"



1 Front Elevation
1/8" = 1'-0"



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: 23-019

drawn: EAM

checked: J&Z

date: Mar. 15, 2024

CASITAS DEL CAMINO

sheet no:

A1.32

60th Street NW
Albuquerque, NM 87105

BUILDING TYP. 3 - ELEVATIONS & SECTIONS

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easy as pie

- REHABILITATION
BUILDING EXTERIOR SCOPE OF WORK:
1. Improve building envelope to reduce air infiltration. Caulk and seal all cracks and joints. Patch and repair damaged stucco.
 2. Replace exterior doors and windows with new high efficient materials.
 3. Repair all roof penetrations, seal openings. Reroof buildings as required to achieve required warranties.
 4. Renovate/improve interiors. Replace all finishes and furnishings.
 5. Replace all cabinetry and countertops.
 6. Replace all interior doors
 7. Repair any drywall damages, patch and paint ceilings and walls
 8. Replace flooring.
 9. Replace shelving throughout
 10. Replace all lighting with high efficient LED fixtures.
 11. Replace appliances with Energy Star certified appliances
 12. Replace plumbing fixtures and trim with high efficient and low flow fixtures. Toilets to be 1.28 gpm, showerheads to be 2.0 gpm, kitchen faucet to be 1.2 gpm, bathroom faucet to be 1.0 gpm.
 13. Replace existing furnaces with high efficient equipment.
 14. Replace existing water heaters with high efficient appliances
 15. Replace existing evaporative cooler units
 16. Complete final HERS testing to ensure renovated units achieve maximum HERS score of 65.
 17. Sites and units shall include wiring to allow for high-speed broadband internet, telephone, and cable/satellite television.

MATERIAL SURFACE AREAS:

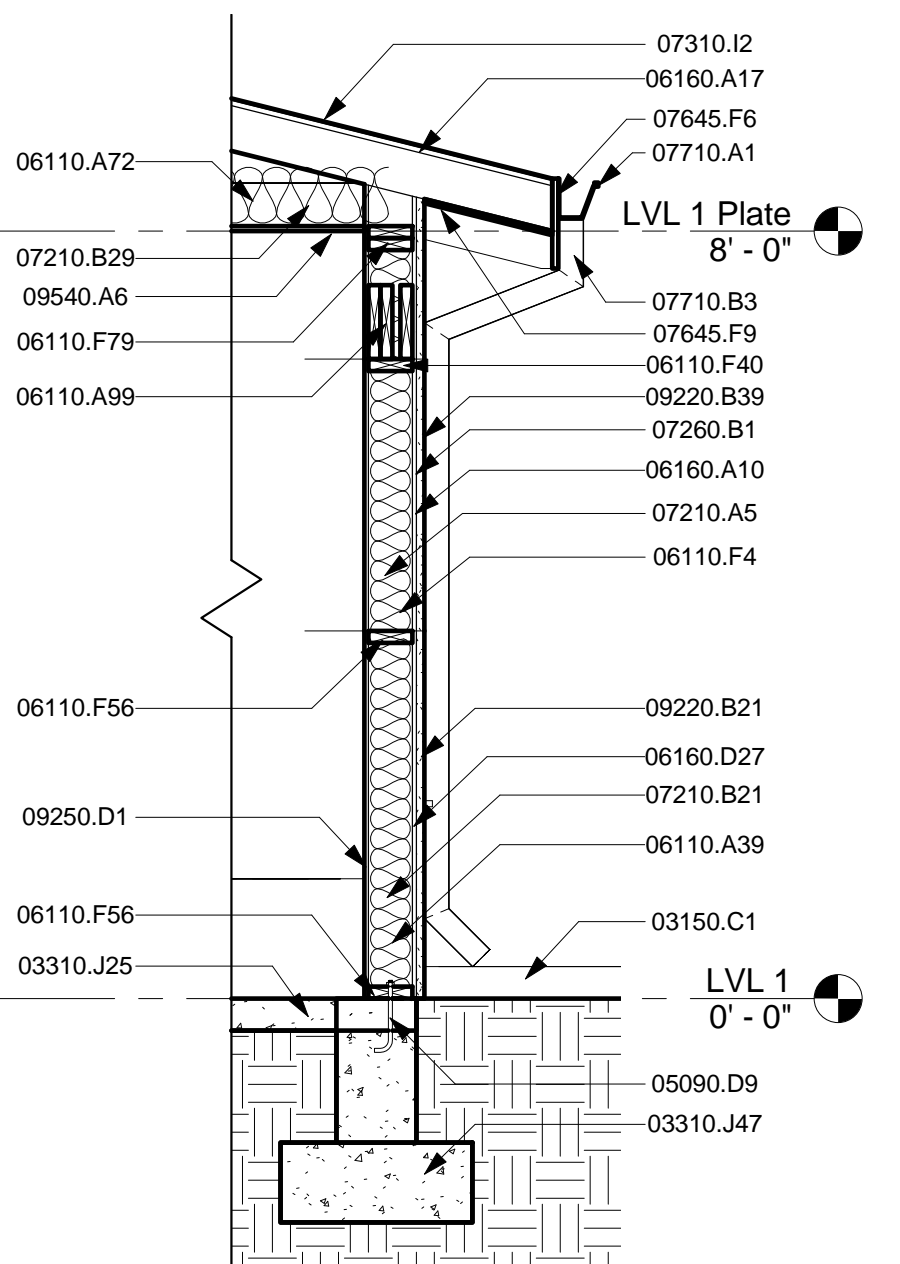
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	107 SF	0 SF	0 SF	0 SF
COLOR #2 - TAN	134 SF	354 SF	334 SF	334 SF
COLOR #3 - GREEN	0 SF	0 SF	0 SF	0 SF
COLOR #4 - ORANGE	112 SF	0 SF	0 SF	0 SF
TOTAL	353 SF	354 SF	334 SF	334 SF

Keynotes:	
Key Value	Keynote Text

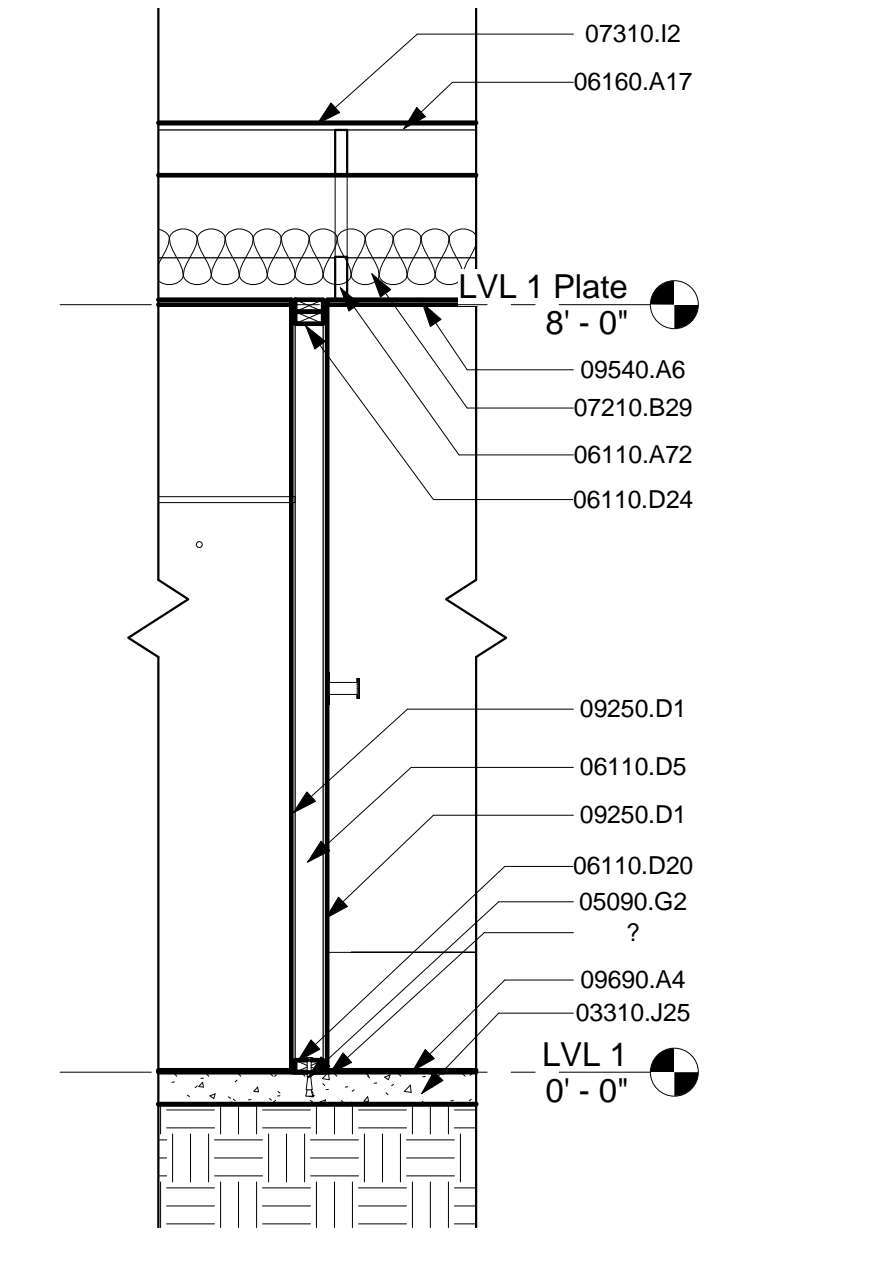
03150.C1	Standard Prefab Concrete Splash Block
03310.J25	Existing Concrete Slab To Remain
03310.J47	Existing Concrete Foundation to Remain
04210.B1	Existing Brick Exterior Structure to Remain
05090.D9	Anchor Bolt - See Structural
05090.G2	1/2" Expansion Bolt
06110.A39	Exterior Wall Structure To Remain
06110.A72	Existing Roof Structure To Remain
06110.A99	Existing Header To Remain
06110.D5	2x4 Framing @ 16 O.C.
06110.D20	2x4 Sill Plate
06110.D24	New 2x4 Double Top Plate
06110.F4	2x6 Framing @ 16 O.C.
06110.F40	2x6 Single Top Plate
06110.F56	Existing 2x Sill Plate To Remain
06110.F79	Existing Double Top Plate To Remain
06160.A10	7/16" Exterior Oriented Strand Board Sheathing
06160.A17	Existing Roof Decking To Remain

Keynotes:	
Key Value	Keynote Text

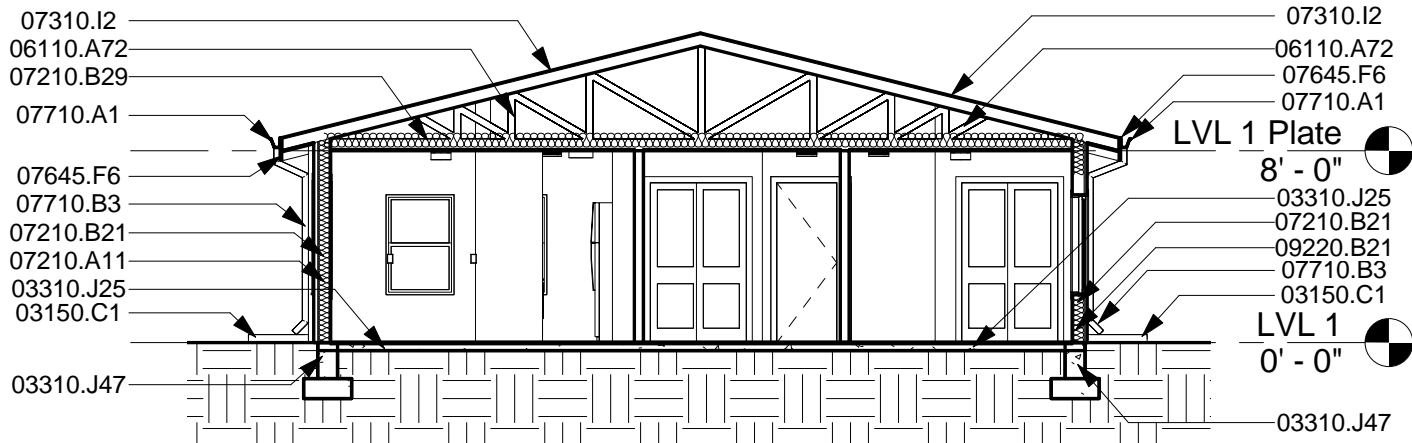
06160.D27	Existing Sheathing To Remain
07210.A5	R-21 Batt Insulation
07210.A11	Insulated 2x6 Exterior Wall W/ R-19 Batt
07210.B21	Existing Insulation To Remain
07210.B29	Add Blown In Fiberglass Insulation For Roof To Meet R38
07260.B1	Weather Barrier - CommercialWrap
07310.I2	Existing Asphalt Shingle Roof
07645.F6	1/2" Textured Hardboard Fascia
07645.F9	1/2" Textured Hardboard Roof Soffit
07710.A1	Gutter
07710.B3	Downspout
07710.B37	Gable End Vent - Install Per Manufacturers Specifications and Recommendations
09220.B21	Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls
09220.B39	New Stucco to Match Existing
09250.D1	5/8" Gypsum Wallboard
09540.A6	New 5/8" Gyp. Board Ceiling
09690.A4	Finish Floor To Be Selected By Owner - Contractor To Work With Owner For Selection of Floor Finish And Location
10430.C1	Aluminum Cast Letter
16520.A1	Wall Mounted Exterior Light Fixture



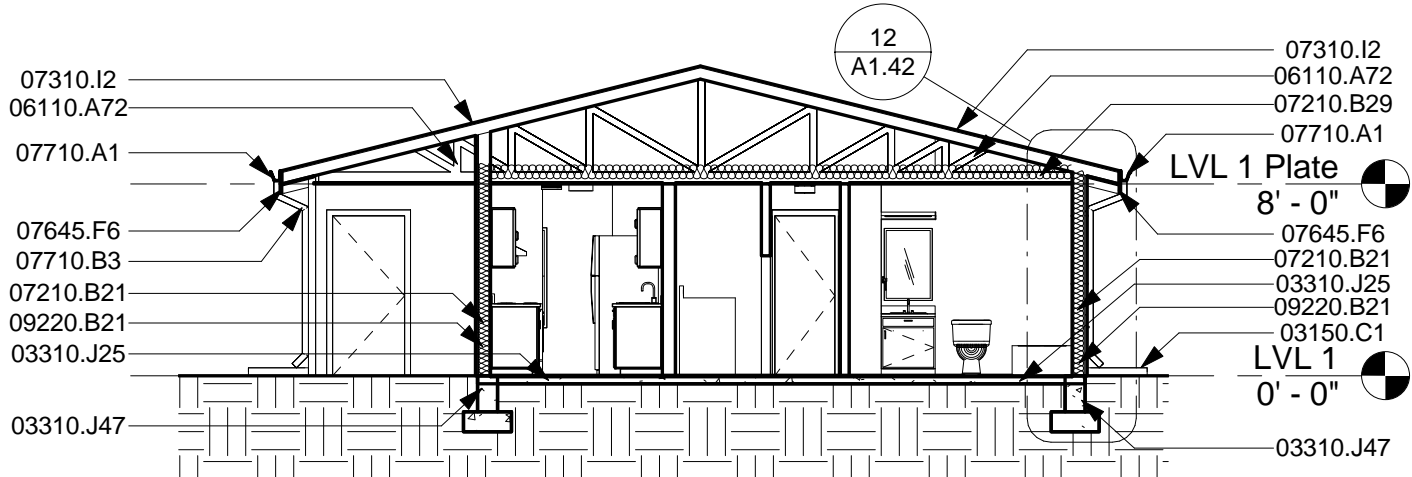
12 Section 5 - Callout 2
1/2" = 1'-0"



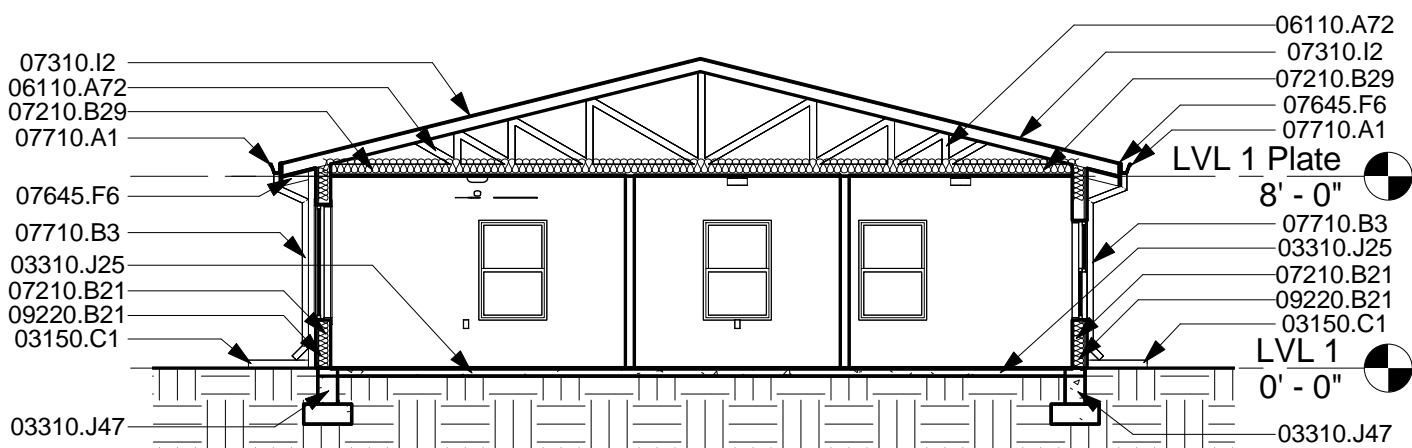
11 Section 1 - Callout 1
1/2" = 1'-0"



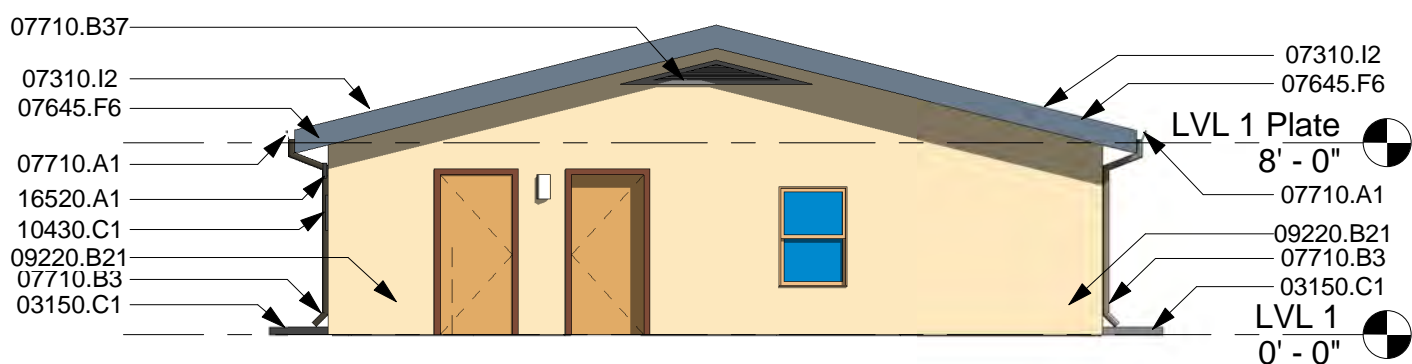
10 Section 6
1/8" = 1'-0"



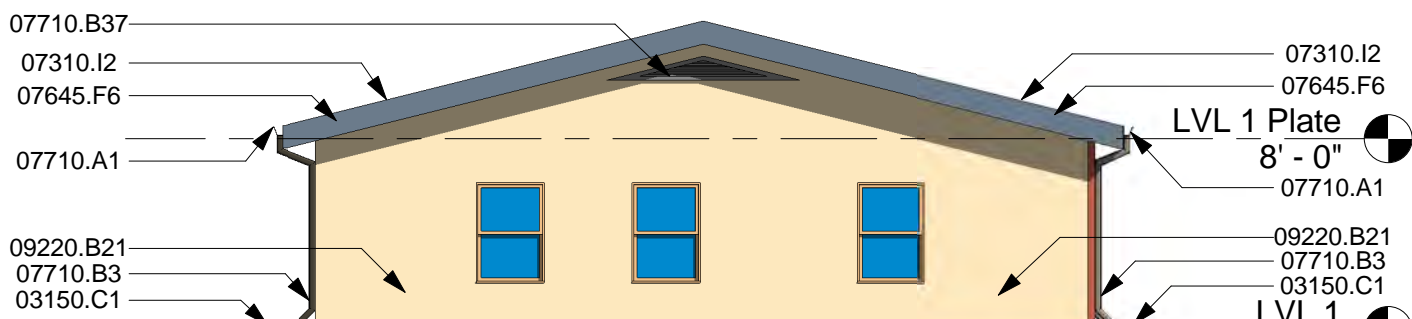
9 Section 5
1/8" = 1'-0"



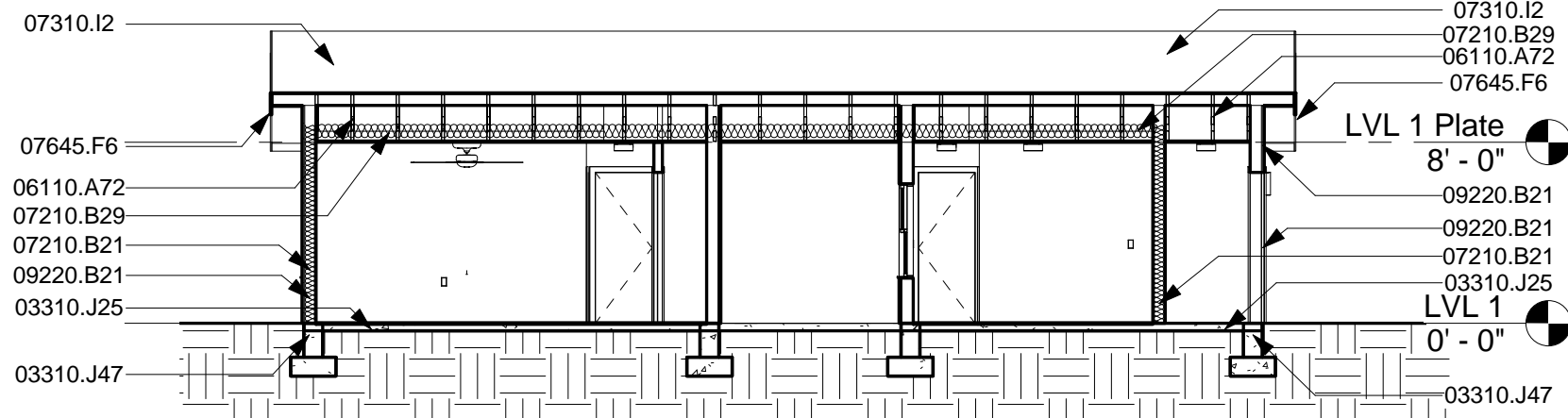
8 Section 4
1/8" = 1'-0"



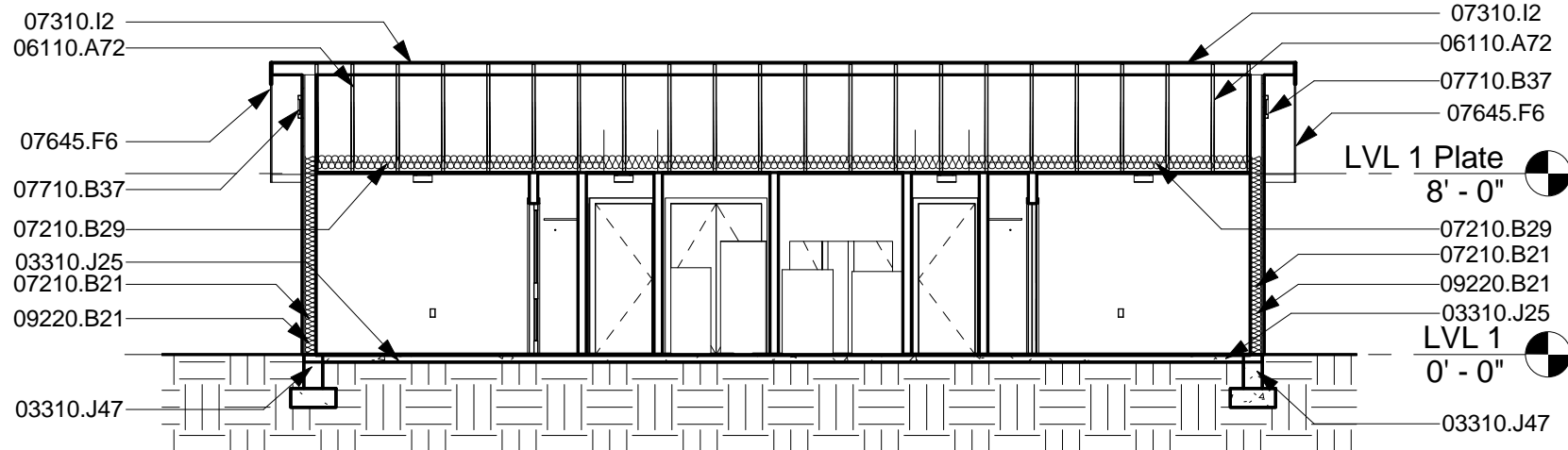
1 Side Elevation 1
1/8" = 1'-0"



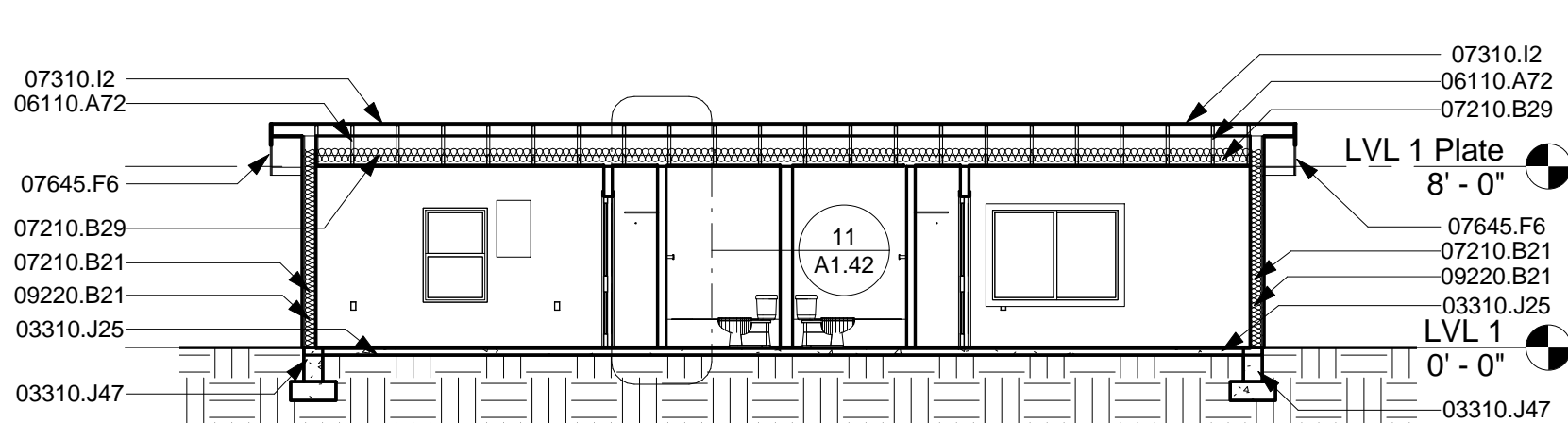
2 Side Elevation 2
1/8" = 1'-0"



7 Section 3
1/8" = 1'-0"



6 Section 2
1/8" = 1'-0"



5 Section 1
1/8" = 1'-0"

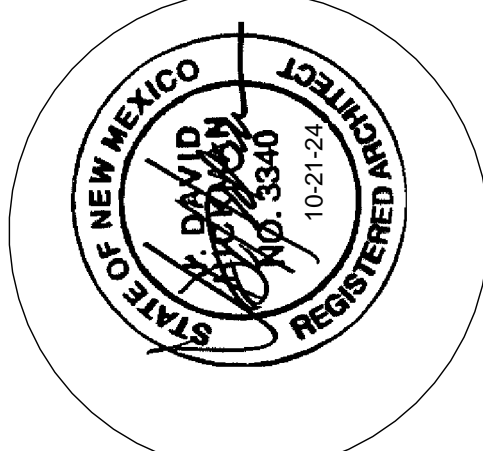


3 Rear Elevation
1/8" = 1'-0"

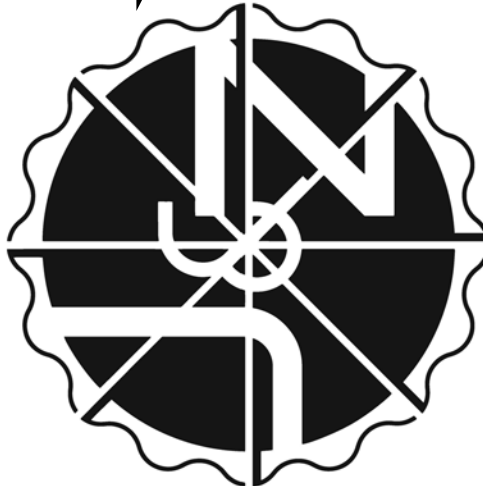


4 Front Elevation
1/8" = 1'-0"

easy as pie



JEEBS & ZUZU, LLC.
**Architecture
Construction
Design-Build**
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318



job no: 23-019

drawn: EAM

checked: J&Z

date: Oct. 21, 2024

CASITAS DEL CAMINO

60th Street NW
Albuquerque, NM 87105

sheet no:

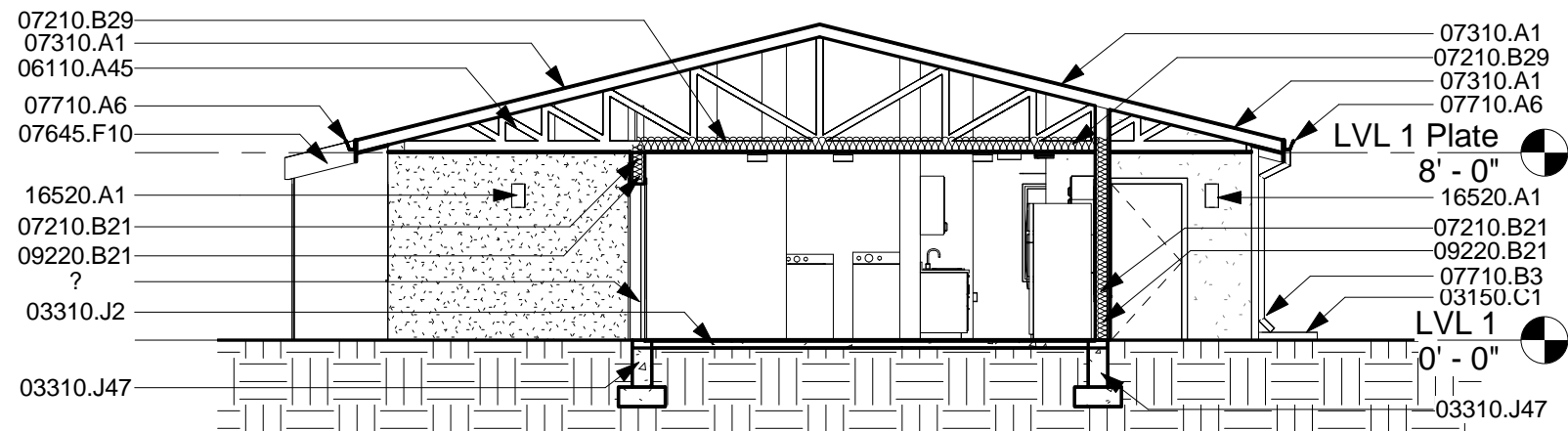
A1.42

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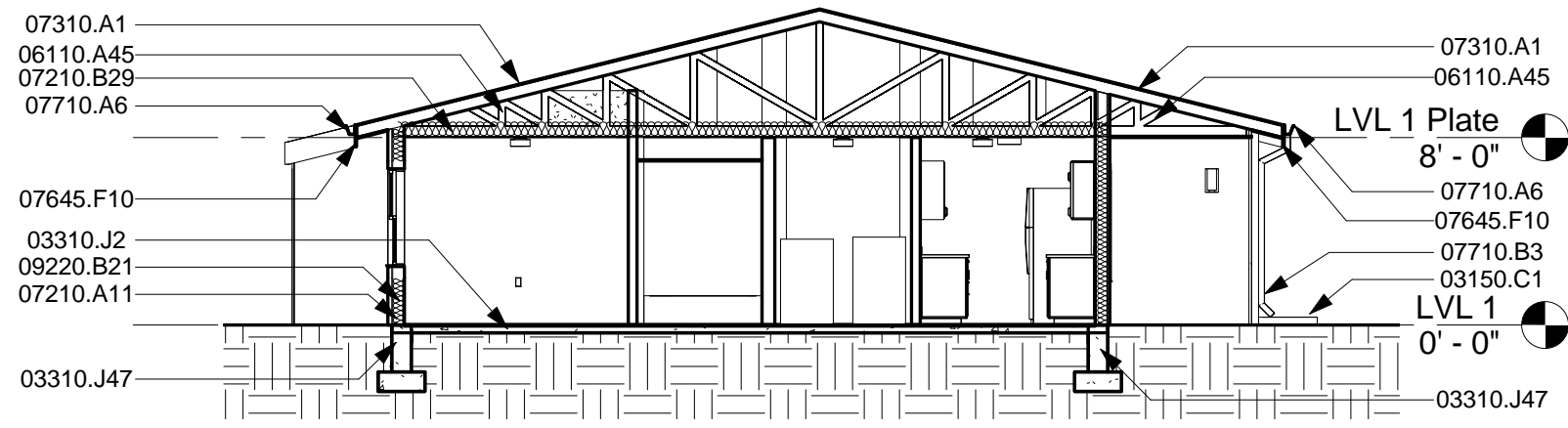
BUILDING TYP. 1 - ELEVATION & SECTION

Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
03310.J2	Existing Slab
03310.J47	Existing Concrete Foundation to Remain
04210.B1	Existing Brick Exterior Structure to Remain
06110.A45	Existing Pre-Manufactured Roof Truss @ 24" O.C.
07210.A11	Insulated 2x6 Exterior Wall W/ R-19 Batt
07210.B21	Existing Insulation To Remain
07210.B29	Add Blown In Fiberglass Insulation For Roof To Meet R38
07310.A1	Asphalt Shingle Roof
07645.F10	1/2" Existing Textured Hardboard Fascia
07710.A6	Gutters At Perimeter
07710.B3	Downspout
07710.B37	Gable End Vent - Install Per Manufacturers Specifications and Recommendations
08210.D1	Door As Per Schedule
09220.B21	Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls
10430.C1	Aluminum Cast Letter
16520.A1	Wall Mounted Exterior Light Fixture

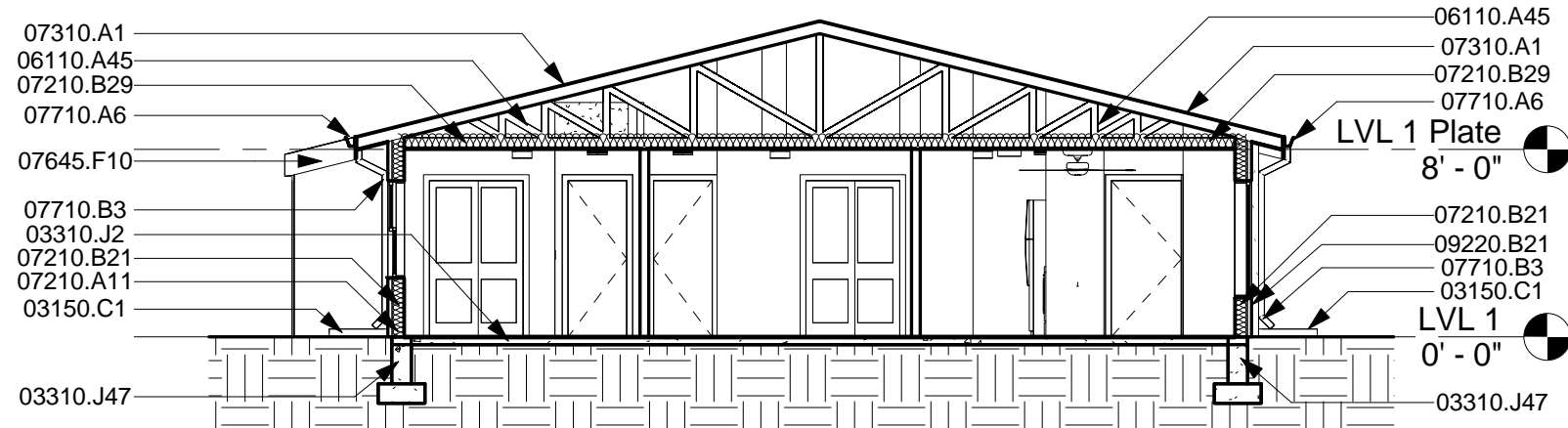
MATERIAL SURFACE AREAS:				
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	256 SF	0 SF	237 SF	0 SF
COLOR #2 - TAN	62 SF	351 SF	157 SF	392 SF
COLOR #3 - GREEN	203 SF	63 SF	0 SF	0 SF
COLOR #4 - ORANGE	10 SF	107 SF	32 SF	32 SF
TOTAL	531 SF	521 SF	426 SF	424 SF



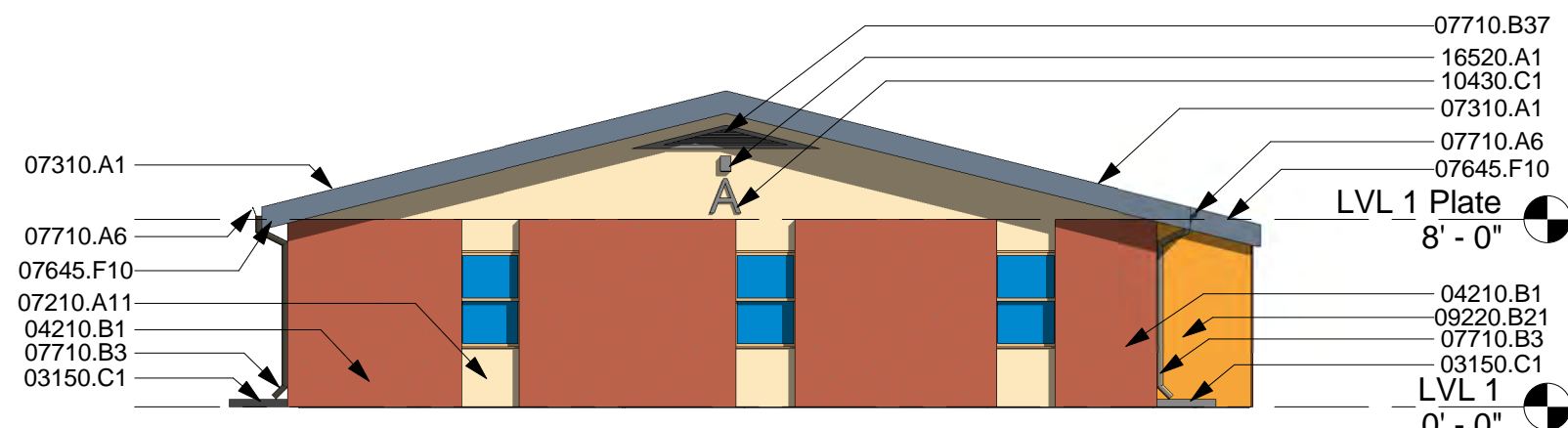
7 Section 3
1/8" = 1'-0"



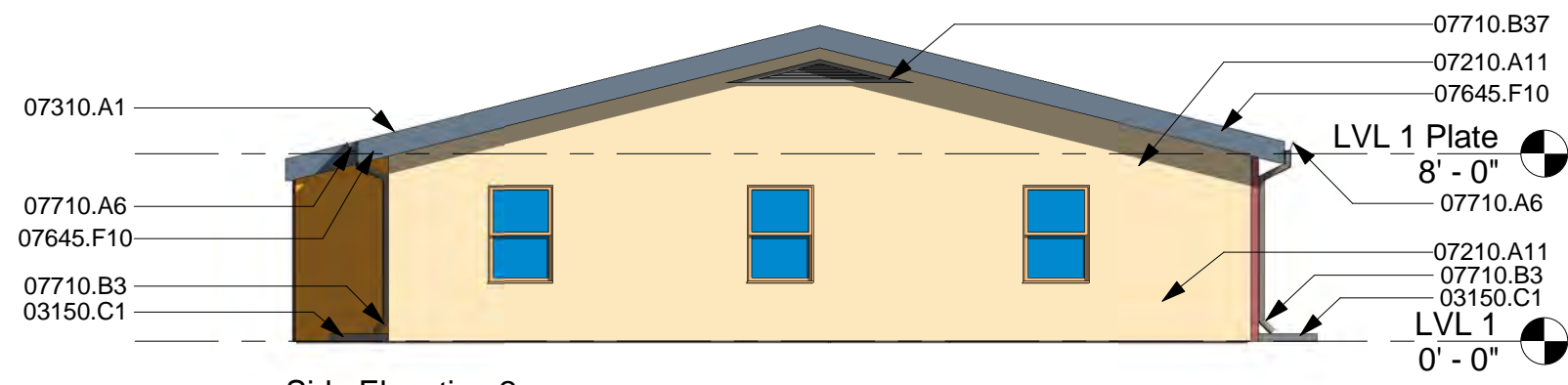
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1/8" = 1'-0"



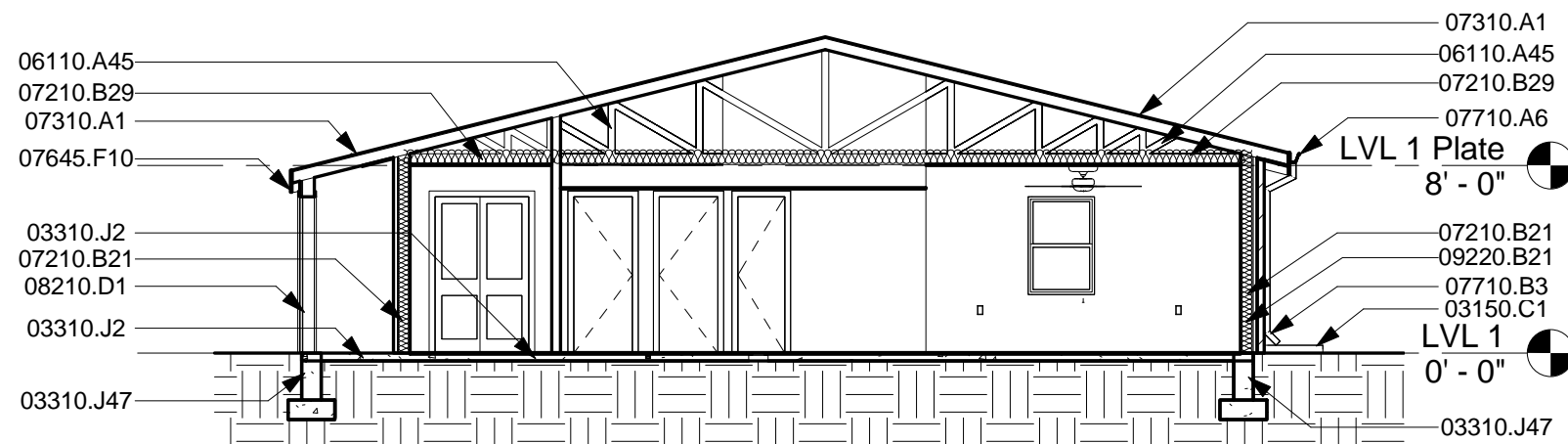
5 Section 1
1/8" = 1'-0"



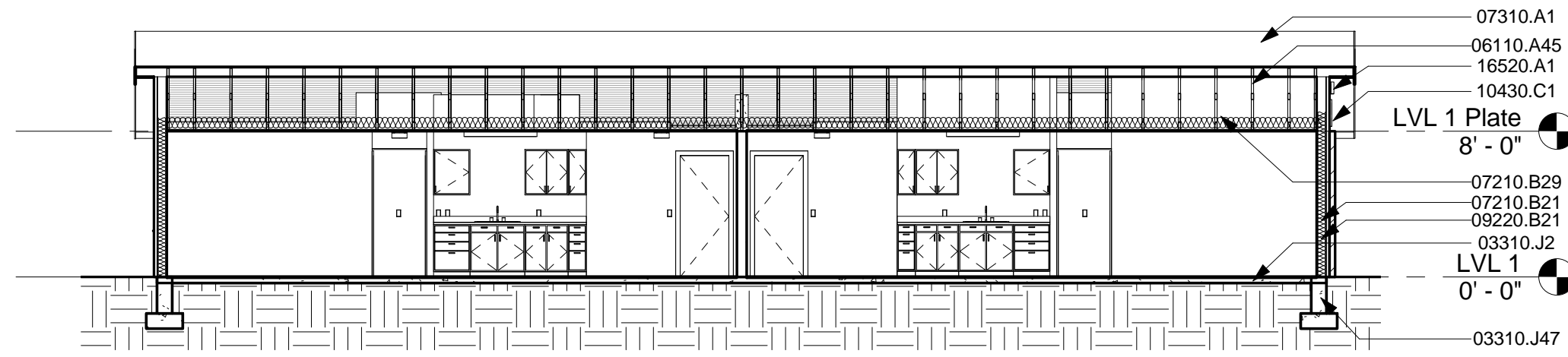
1 Side Elevation 1
1/8" = 1'-0"



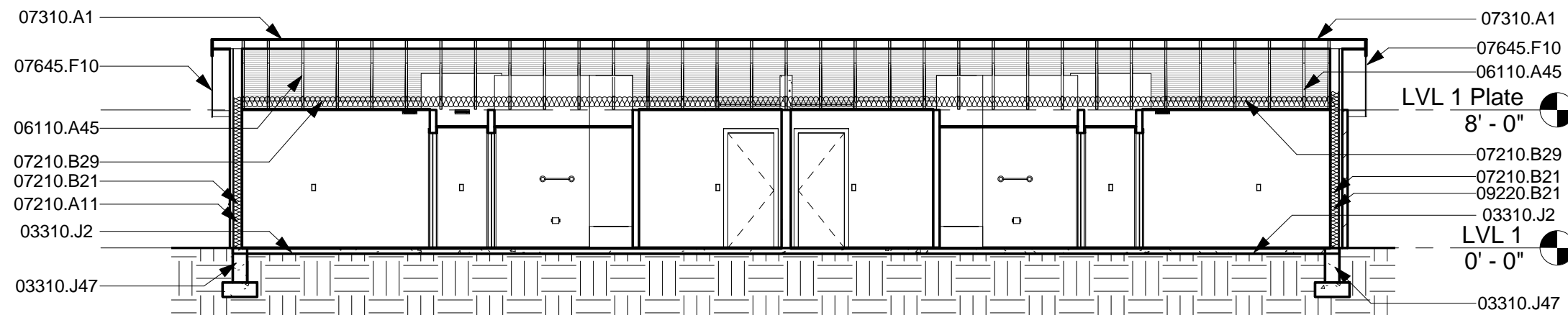
2 Side Elevation 2
1/8" = 1'-0"



8 Section 4
1/8" = 1'-0"



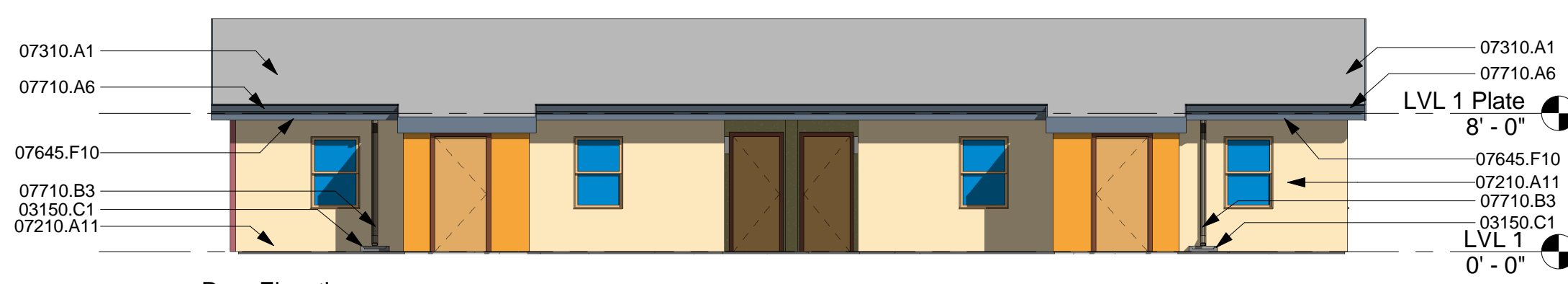
10 Section 6
1/8" = 1'-0"



9 Section 5
1/8" = 1'-0"

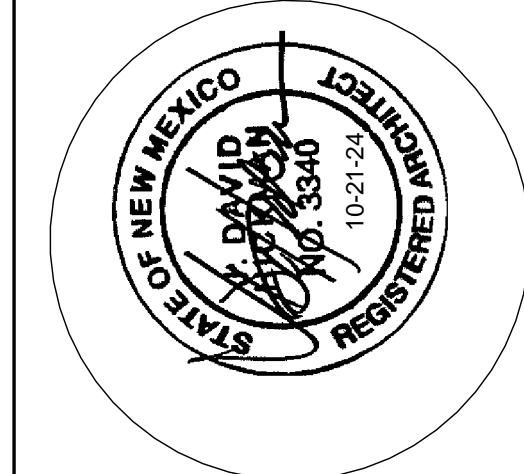


3 Front Elevation
1/8" = 1'-0"

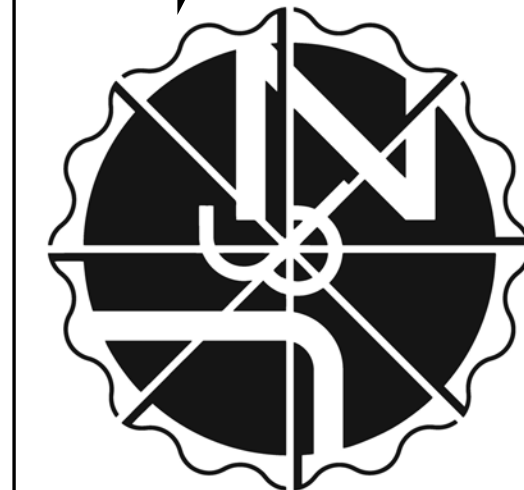


4 Rear Elevation
1/8" = 1'-0"

- REHABILITATION
BUILDING EXTERIOR SCOPE OF WORK:**
1. Improve building envelope to reduce air infiltration. Caulk and seal all cracks and joints. Patch and repair damaged stucco.
 2. Replace exterior doors and windows with new high efficient materials.
 3. Repair all roof penetrations, seal openings. Reroof buildings as required to achieve required warranties.
 4. Renovate/improve interiors. Replace all finishes and furnishings.
 5. Replace all cabinetry and countertops.
 6. Replace all interior doors.
 7. Repair any drywall damages, patch and paint ceilings and walls.
 8. Replace flooring.
 9. Replace shelving throughout.
 10. Replace all lighting with high efficient LED fixtures.
 11. Replace appliances with Energy Star certified appliances.
 12. Replace plumbing fixtures and trim with high efficient and low flow fixtures. Toilets to be 1.28 gpm, showerheads to be 2.0 gpm, kitchen faucet to be 1.2 gpm, bathroom faucet to be 1.0 gpm.
 13. Replace existing furnaces with high efficient equipment.
 14. Replace existing water heaters with high efficient appliances.
 15. Replace existing evaporative cooler units.
 16. Complete final HERS testing to ensure renovated units achieve maximum HERS score of 65.
 17. Sites and units shall include wiring to allow for high-speed broadband internet, telephone, and cable/satellite television.



JEEBS & ZUZU, LLC.
**Architecture
Construction
Design-Build**
5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318



job no: 23-019

drawn: EAM

checked: J&Z

date: Oct. 21, 2024

CASITAS DEL CAMINO

BUILDING TYP. 5 - ELEVATIONS & SECTIONS

sheet no:

A1.52

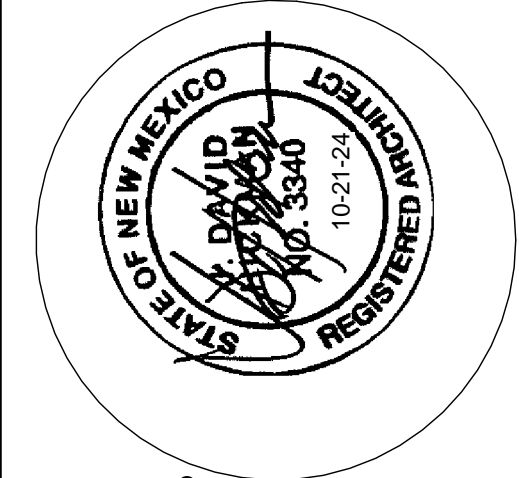
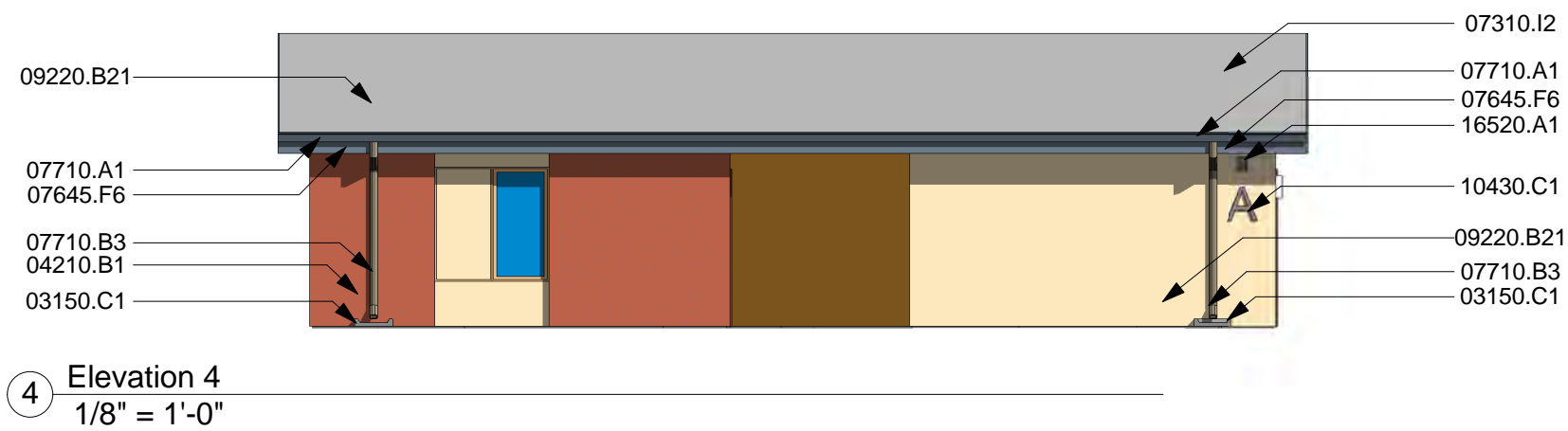
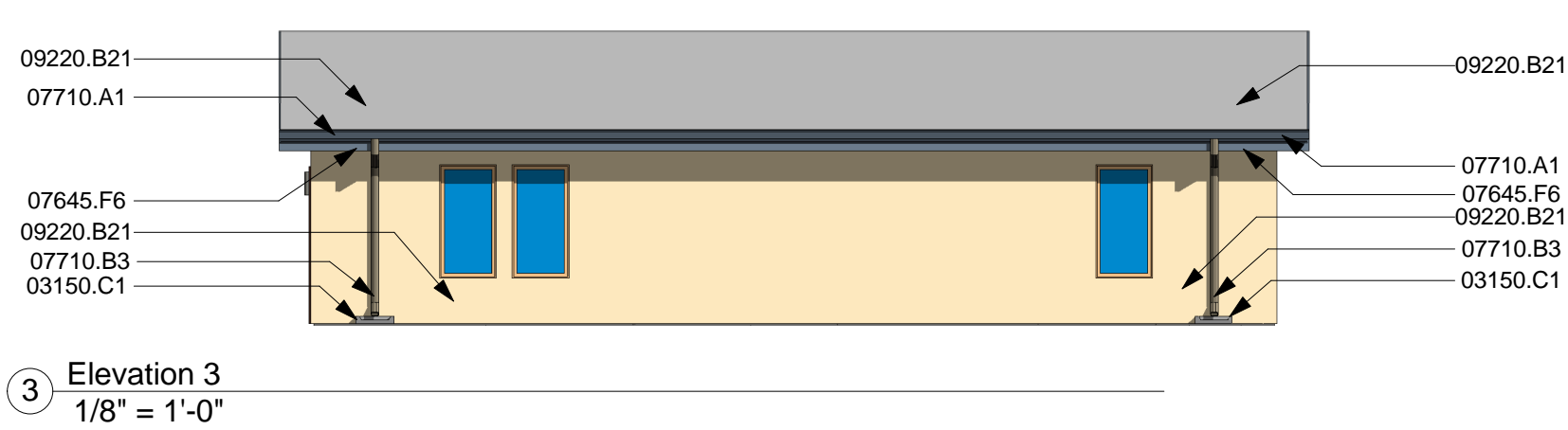
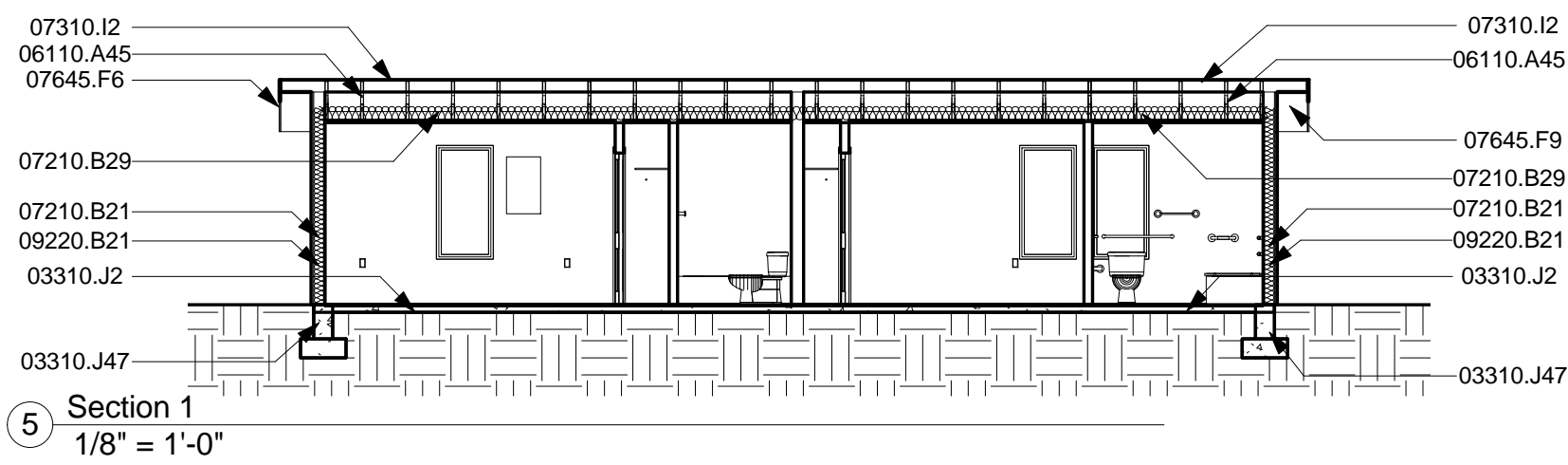
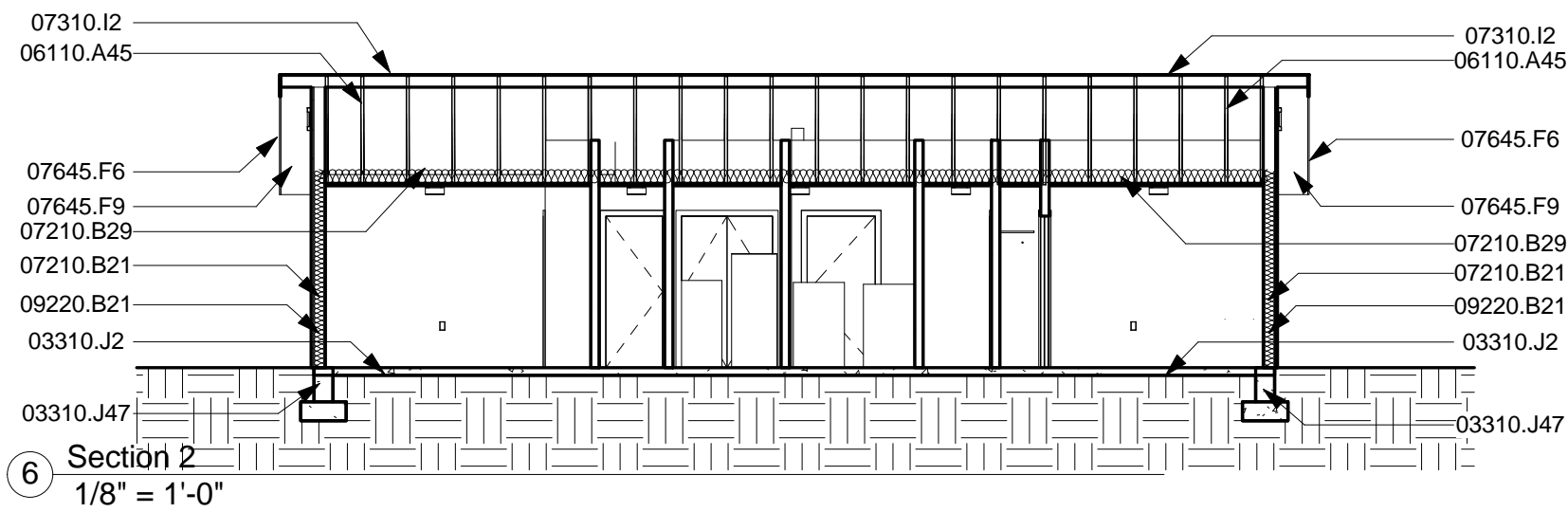
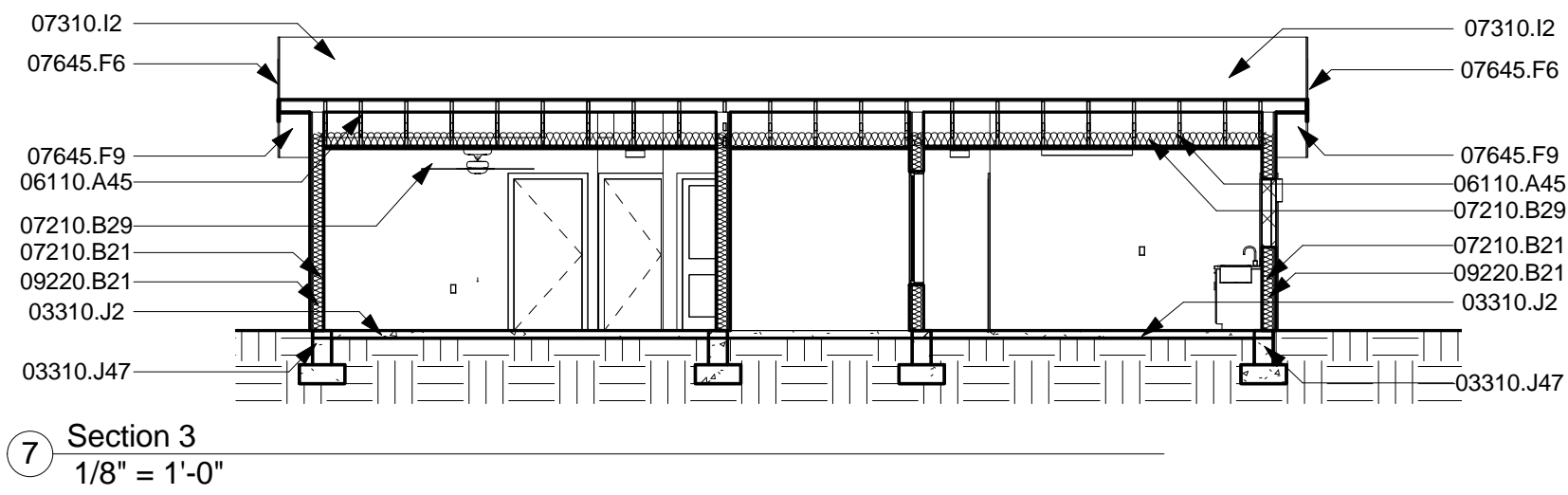
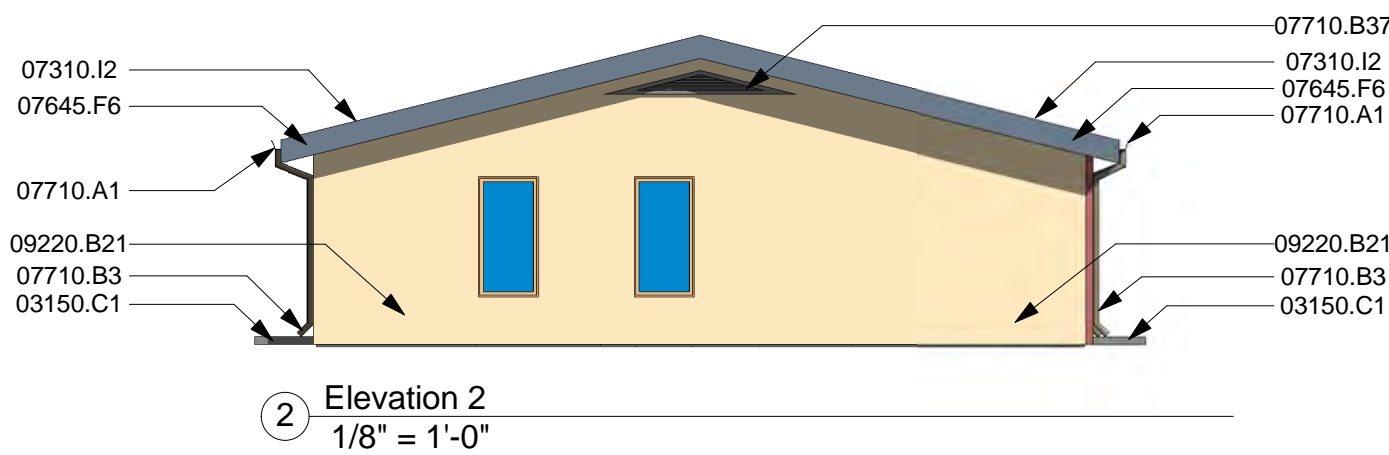
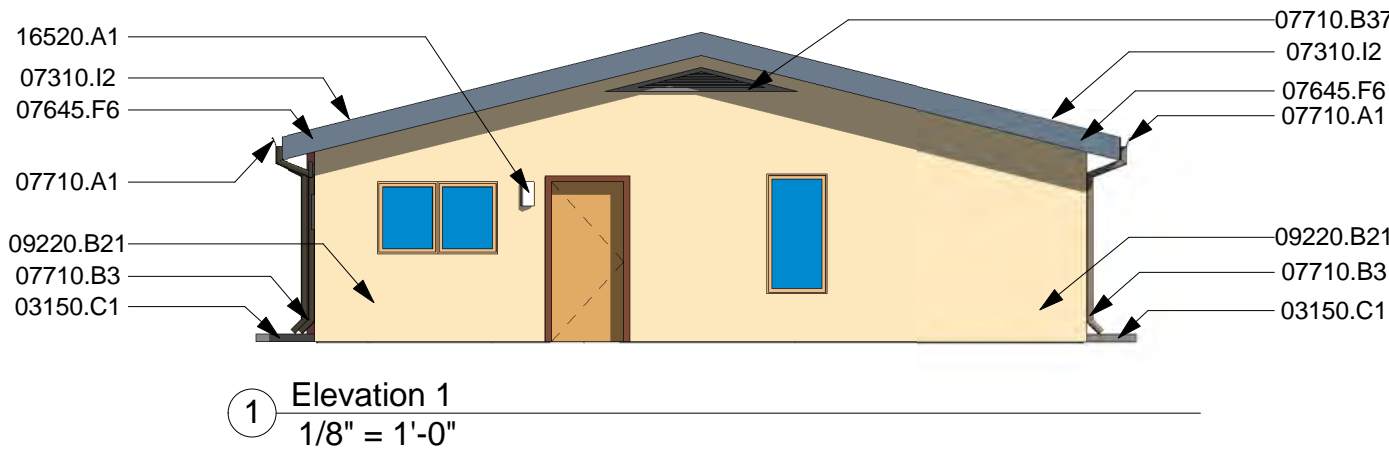
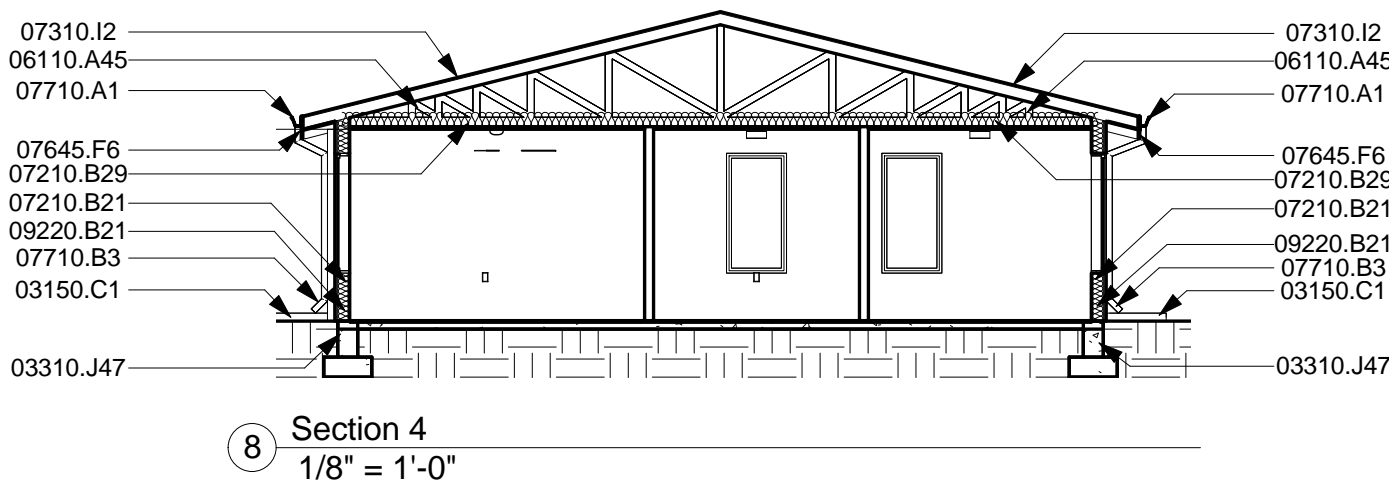
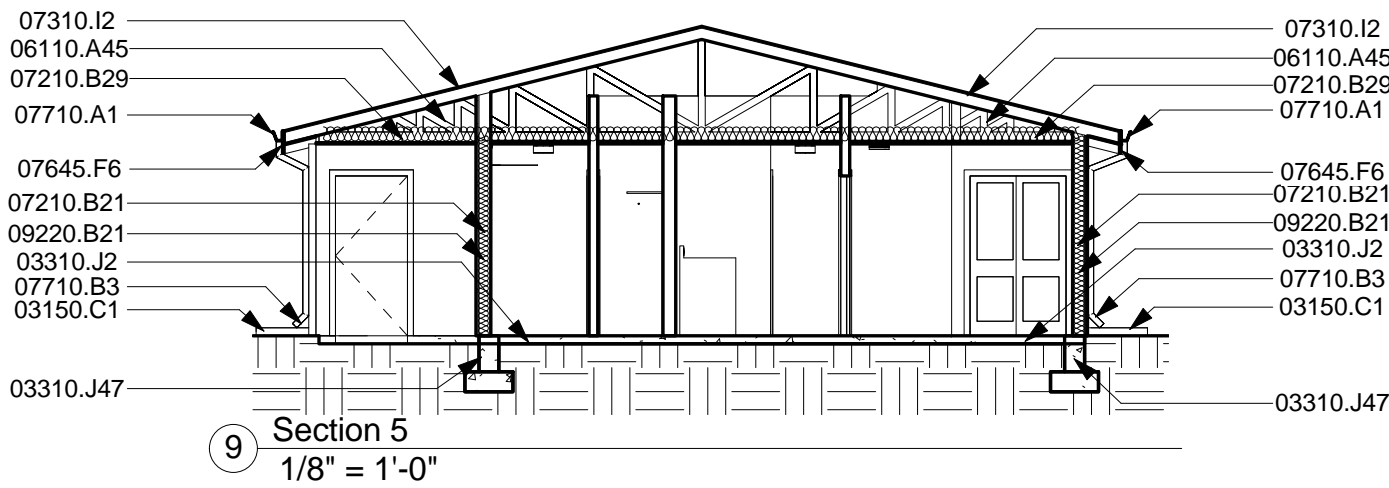
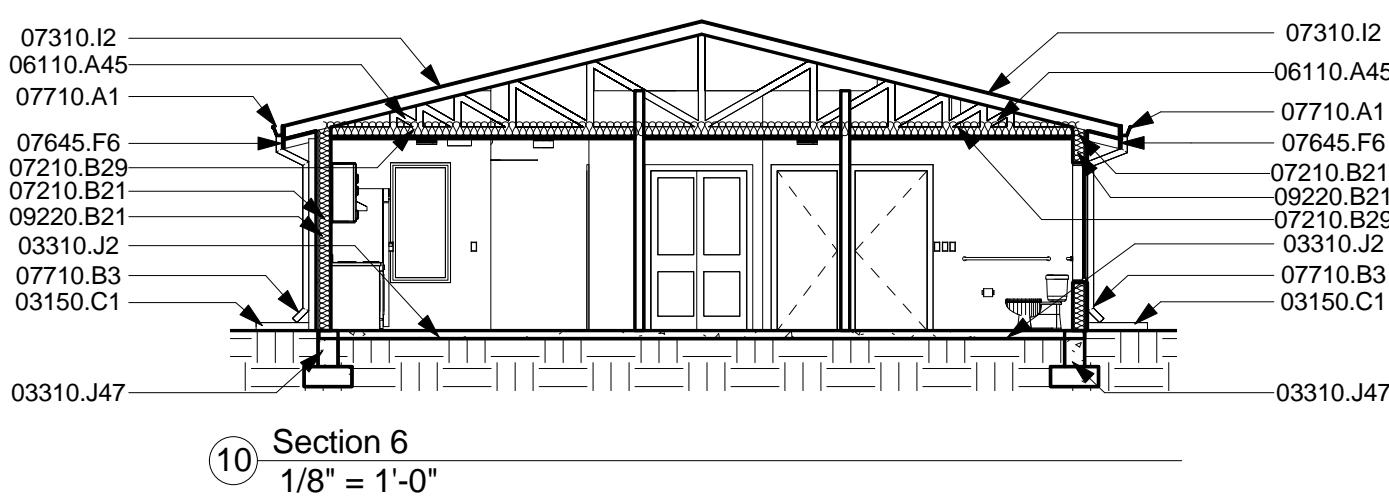
60th Street NW
Albuquerque NM 87105

- REHABILITATION
BUILDING EXTERIOR SCOPE OF WORK:
1. Improve building envelope to reduce air infiltration. Caulk and seal all cracks and joints. Patch and repair damaged stucco.
 2. Replace exterior doors and windows with new high efficient materials.
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 4. Renovate/improve interiors. Replace all finishes and furnishings.
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 13. Replace existing furnaces with high efficient equipment.
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 15. Replace existing evaporative cooler units
 16. Complete final HERS testing to ensure renovated units achieve maximum HERS score of 65.
 17. Sites and units shall include wiring to allow for high-speed broadband internet, telephone, and cable/satellite television.

MATERIAL SURFACE AREAS:

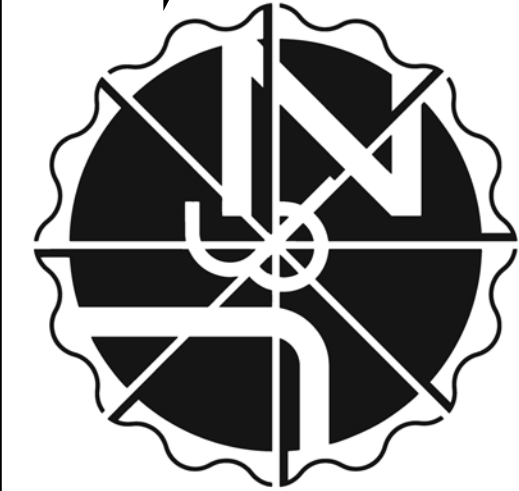
STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	107 SF	0 SF	0 SF	0 SF
COLOR #2 - TAN	134 SF	354 SF	334 SF	334 SF
COLOR #3 - GREEN	0 SF	0 SF	0 SF	0 SF
COLOR #4 - ORANGE	112 SF	0 SF	0 SF	0 SF
TOTAL	353 SF	354 SF	334 SF	334 SF

Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
03310.J2	Existing Slab
03310.J47	Existing Concrete Foundation to Remain
04210.B1	Existing Brick Exterior Structure to Remain
06110.A45	Existing Pre-Manufactured Roof Truss @ 24" O.C.
07210.B21	Existing Insulation To Remain
07210.B29	Add Blown In Fiberglass Insulation For Roof To Meet R38
07310.I2	Existing Asphalt Shingle Roof
07645.F6	1/2" Textured Hardboard Fascia
07645.F9	1/2" Textured Hardboard Roof Soffit
07710.A1	Gutter
07710.B3	Downspout
07710.B37	Gable End Vent - Install Per Manufacturers Specifications and Recommendations
09220.B21	Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls
10430.C1	Aluminum Cast Letter
16520.A1	Wall Mounted Exterior Light Fixture



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318



job no: 23-019
drawn: EB
checked: J&Z
date: Oct. 21, 2024

CASITAS DEL CAMINO

BUILDING TYP. 6 - ELEVATION 6 & SECTION 6

sheet no:
A1.62

60th Street NW
Albuquerque, NM 87105

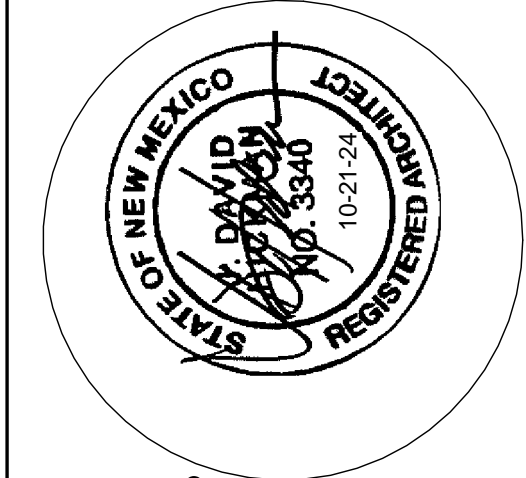
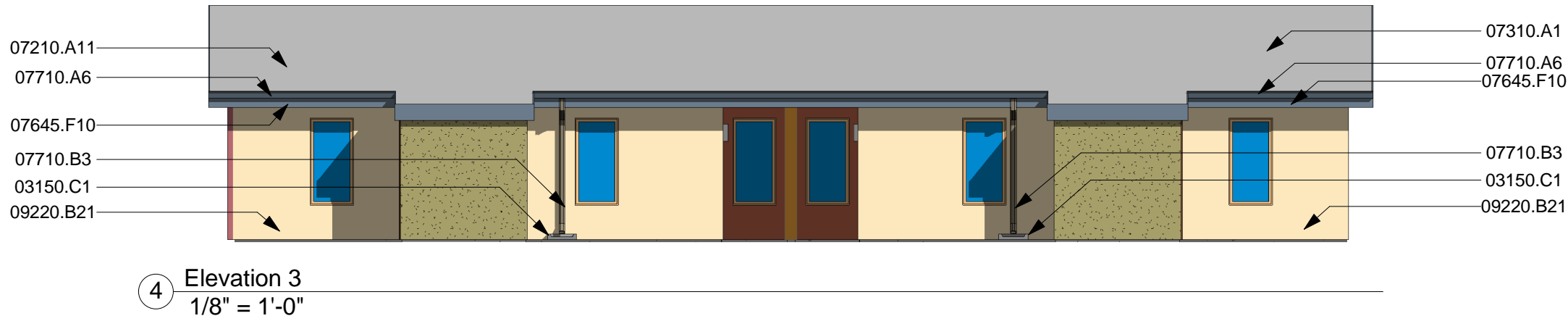
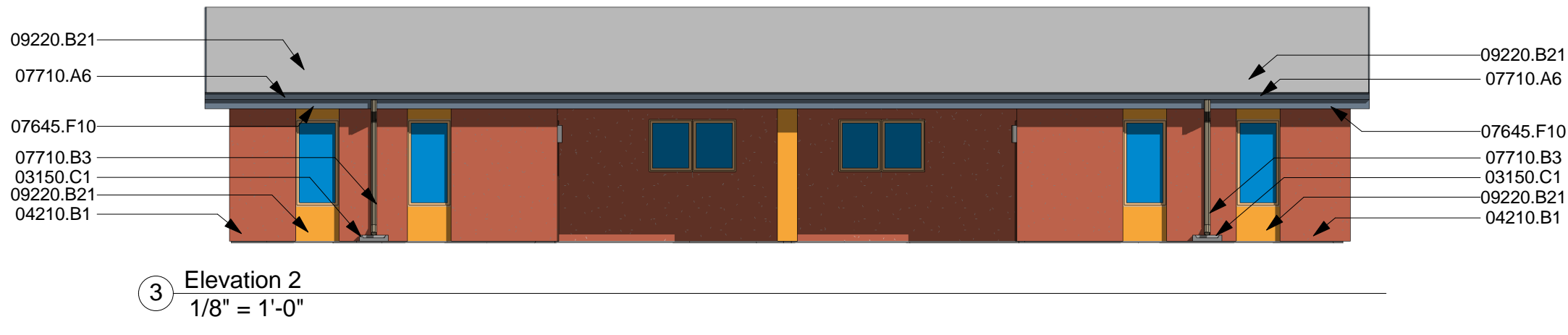
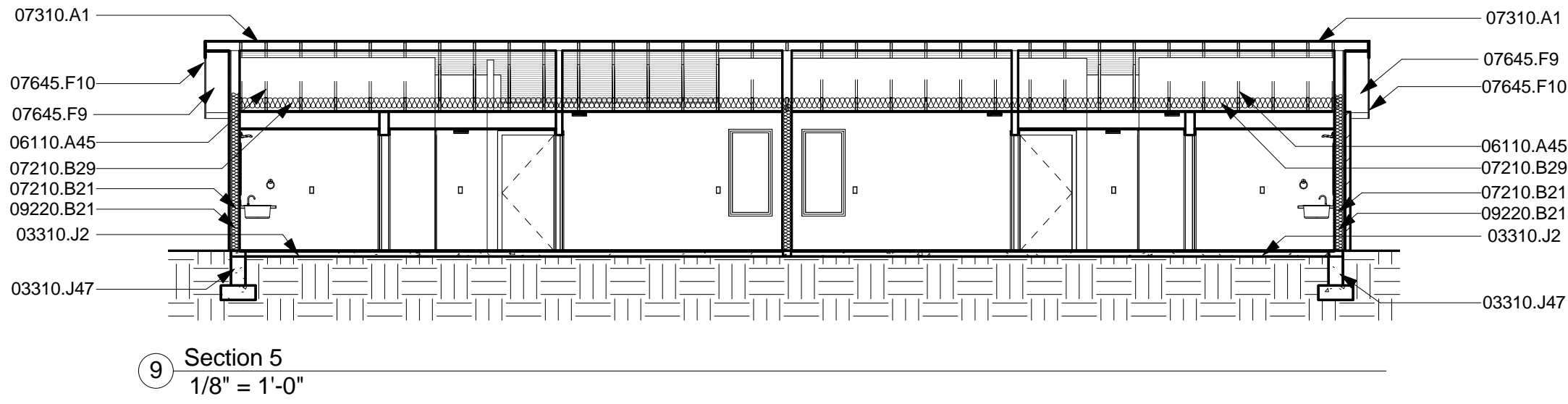
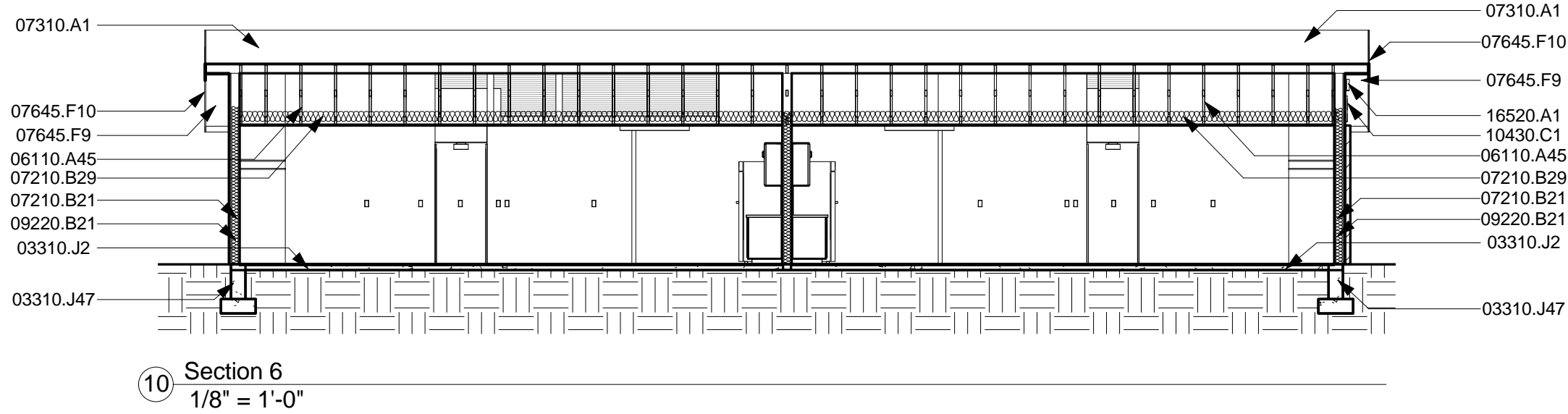
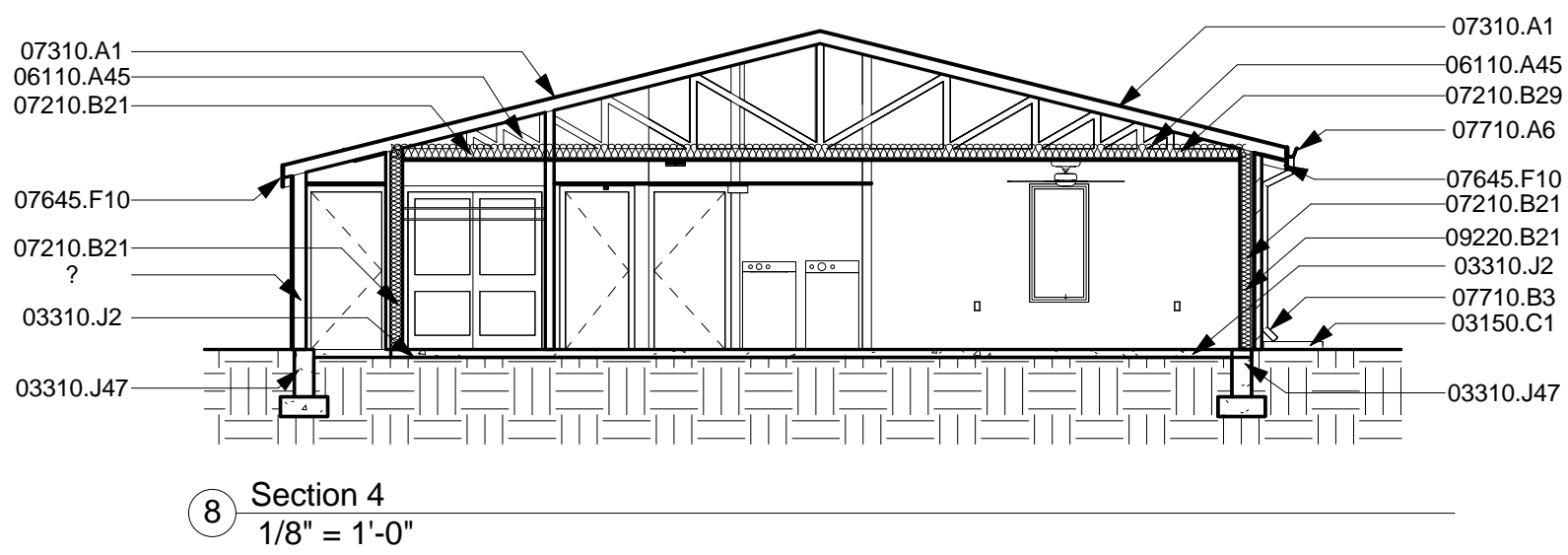
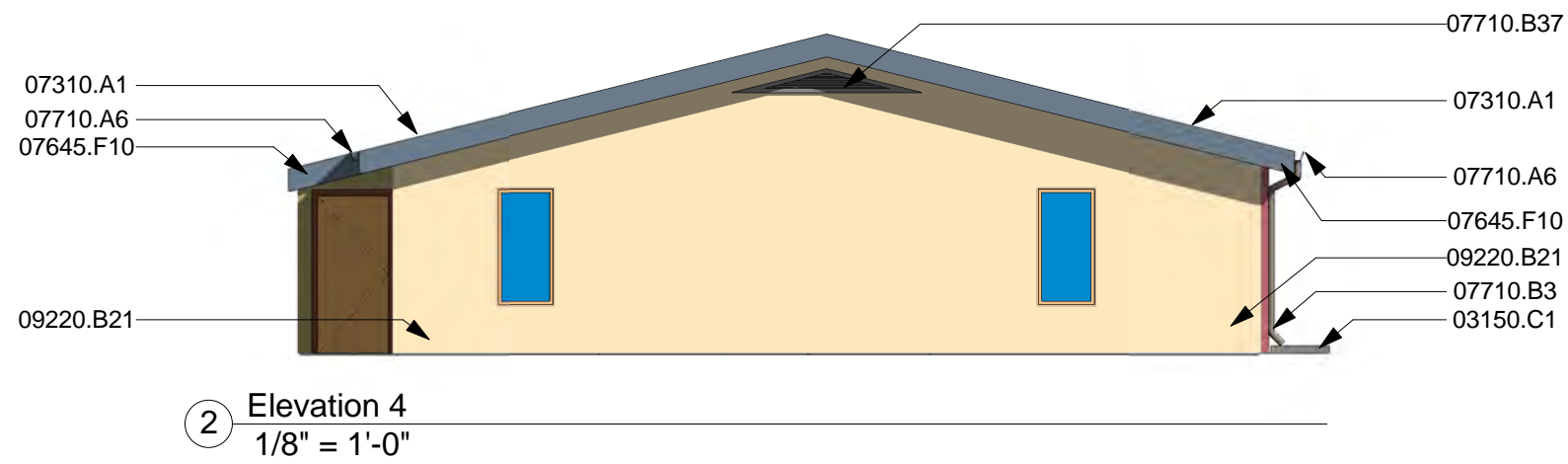
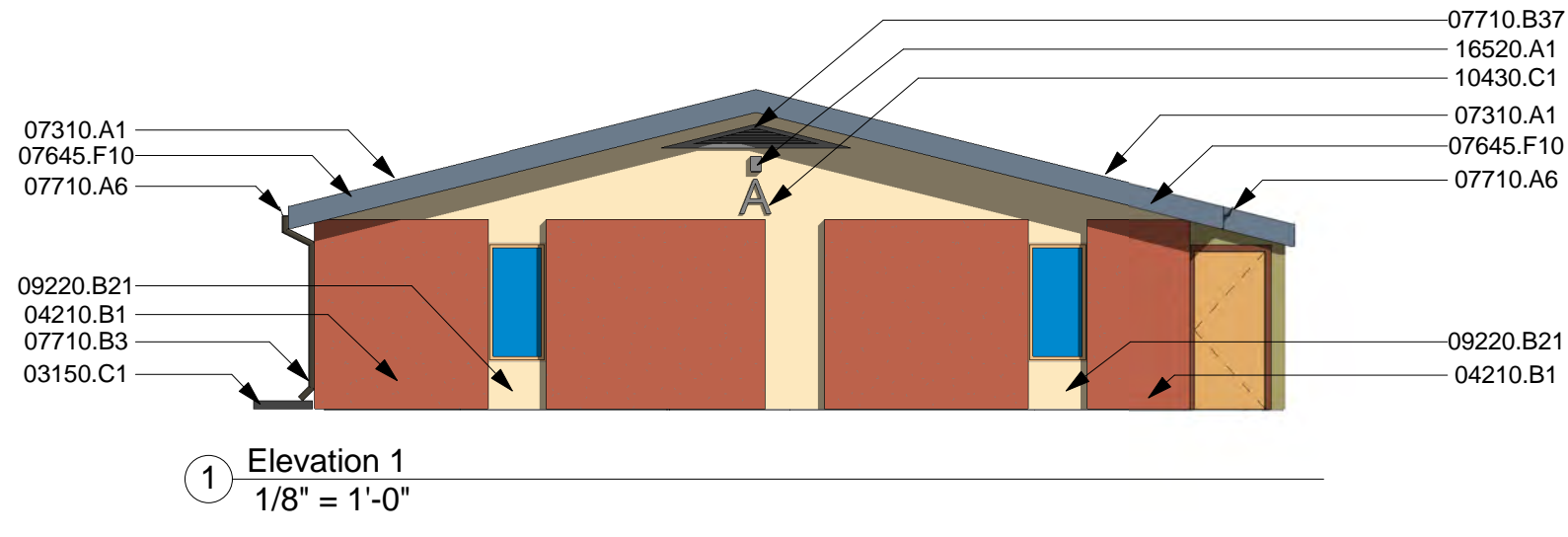
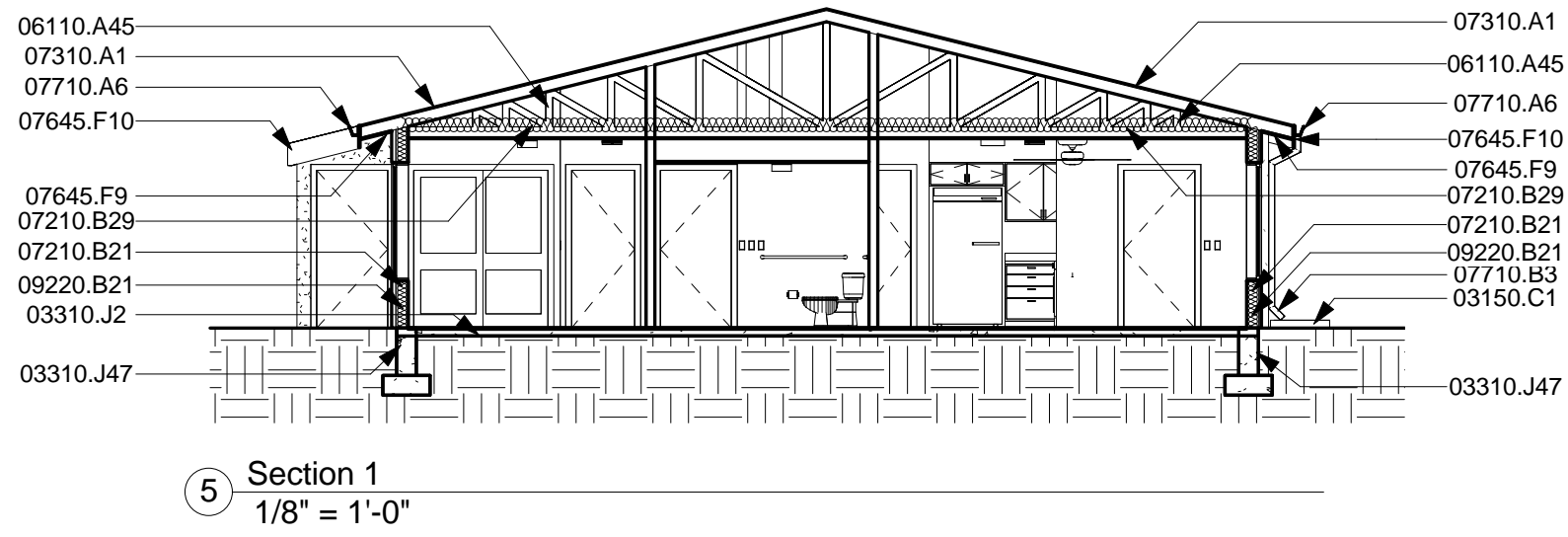
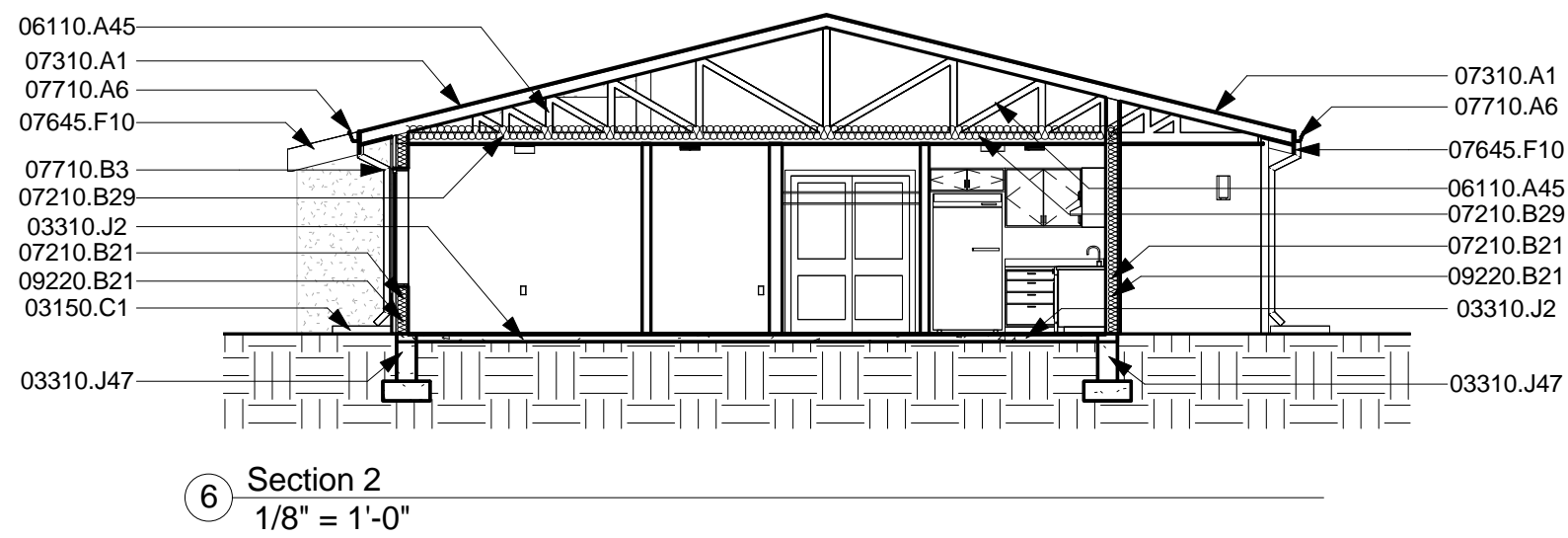
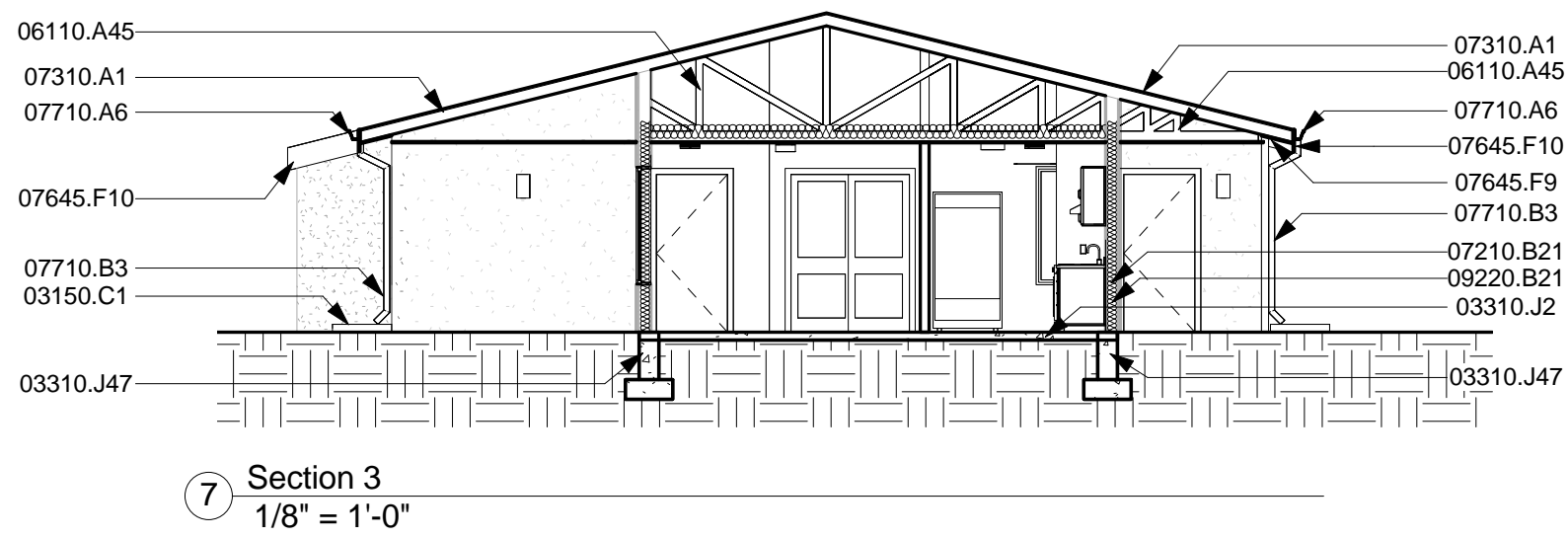
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Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
03310.J2	Existing Slab
03310.J47	Existing Concrete Foundation to Remain
04210.B1	Existing Brick Exterior Structure to Remain
06110.A45	Existing Pre-Manufactured Roof Truss @ 24" O.C.
07210.A11	Insulated 2x6 Exterior Wall W/ R-19 Batt
07210.B21	Existing Insulation To Remain
07210.B29	Add Blown In Fiberglass Insulation For Roof To Meet R38
07310.A1	Asphalt Shingle Roof
07645.F9	1/2" Textured Hardboard Roof Soffit
07645.F10	1/2" Existing Textured Hardboard Fascia
07710.A6	Gutters At Perimeter
07710.B3	Downspout
07710.B37	Gable End Vent - Install Per Manufacturers Specifications and Recommendations
09220.B21	Re Coat Entire Wall From Corner to Corner. Color to Match Surrounding Walls
10430.C1	Aluminum Cast Letter
16520.A1	Wall Mounted Exterior Light Fixture

MATERIAL SURFACE AREAS:

STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	250 SF	0 SF	237 SF	0 SF
COLOR #2 - TAN	62 SF	351 SF	157 SF	392 SF
COLOR #3 - GREEN	203 SF	63 SF	0 SF	0 SF
COLOR #4 - ORANGE	10 SF	107 SF	32 SF	32 SF
TOTAL	531 SF	521 SF	426 SF	424 SF



JEEBS & ZUZU, LLC.
Architecture
Construction
Design-Build

5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P: 505-797-1318

job no: 23-019
drawn: EB
checked: J&Z
date: Oct. 21, 2024

CASTAS DEL CAMINO

BUILDING TYP. 7 - ELEVATIONS & SECTIONS

60th Street NW
Albuquerque NM 87105

sheet no: **A1.72**

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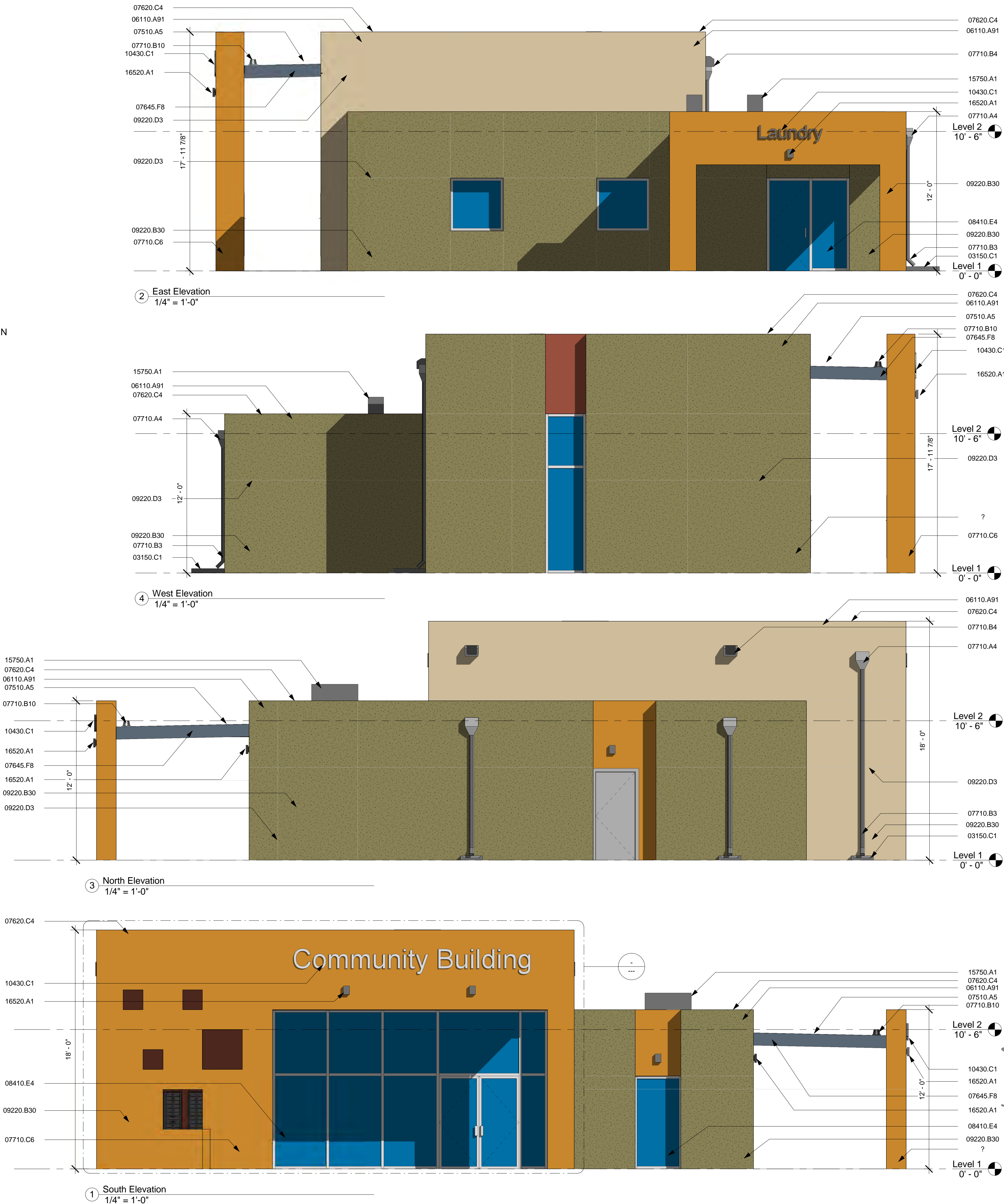
Keynotes:	
Key Value	Keynote Text
03150.C1	Standard Prefab Concrete Splash Block
06110.A91	New 2x Framed Parapet Wall
07510.A5	Single Ply TPO 60 mil Roofing Installed Per Manufacturers Specifications
07620.C4	Metal Parapet Cap Flashing - Finish To Match Fascia
07645.F8	Metal Fascia
07710.A4	Membrane Lined Sheet Metal Scupper - See Detail on Detail Sheet
07710.B3	Downspout
07710.B4	Leader Head
07710.B10	Roof Drain With Overflow
07710.C6	Wall Discharge Downspout Nozzle
08410.E4	Aluminum Storefront Glazing System
09220.B30	2-Coat Synthetic Stucco With Integrated Crack-Master System
09220.D3	Stucco Expansion Joint Typ.
10430.C1	Aluminum Cast Letter
15750.A1	Roof Top Combo Unit - See Mechanical
16520.A1	Wall Mounted Exterior Light Fixture

GENERAL NOTES:

- NO STUCCO SURFACE SHALL EXCEED 120 SF OF SURFACE AREA WITHOUT STUCCO EXPANSION JOINT.
- ALL OPERABLE WINDOWS AT 2ND AND 3RD LEVELS THAT DO NOT OPEN TO A BALCONY MUST HAVE A WINDOW OPENING CONTROL DEVICE COMPLYING WITH ASTM F 2090.
- CONTRACTOR TO REFER TO NOTE 1 AND APPROVED PERMIT SET FOR STUCCO EXPANSION JOINT LOCATIONS AND PATTERN.
- ALL EXTERIOR WINDOW JAMBS TO BE WHITE VINYL.
- ALL STOREFRONT MULLIONS TO BE A MATTE WHITE ALUMINUM.
- EXTERIOR METAL DOORS AND JAMBS TO BE PAINTED GRAY.
- ROOF TOP UNITS IN COMMUNITY BUILDING ARE APPROXIMATELY 35"x35"x38"H
- ALL WINDOWS TO BE RECESSED A MINIMUM OF 2" FROM EXTERIOR FINISH SURFACE.

MATERIAL SURFACE AREAS:

STUCCO	FRONT	REAR	SIDE 1	SIDE 2
COLOR #1 - RED	0 SF	0 SF	19 SF	0 SF
COLOR #2 - TAN	0 SF	306 SF	0 SF	198 SF
COLOR #3 - GREEN	121 SF	447 SF	649 SF	401 SF
COLOR #4 - ORANGE	410 SF	75 SF	38 SF	142 SF
TOTAL	531 SF	828 SF	706 SF	741 SF



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Architecture
Construction
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5924 ANAHEIM AVENUE NE SUITE A
ALBUQUERQUE, NM 87113
P. 505-797-1318

job no:	22-035
drawn:	EAM
checked:	J&Z
date:	Oct. 21, 2024

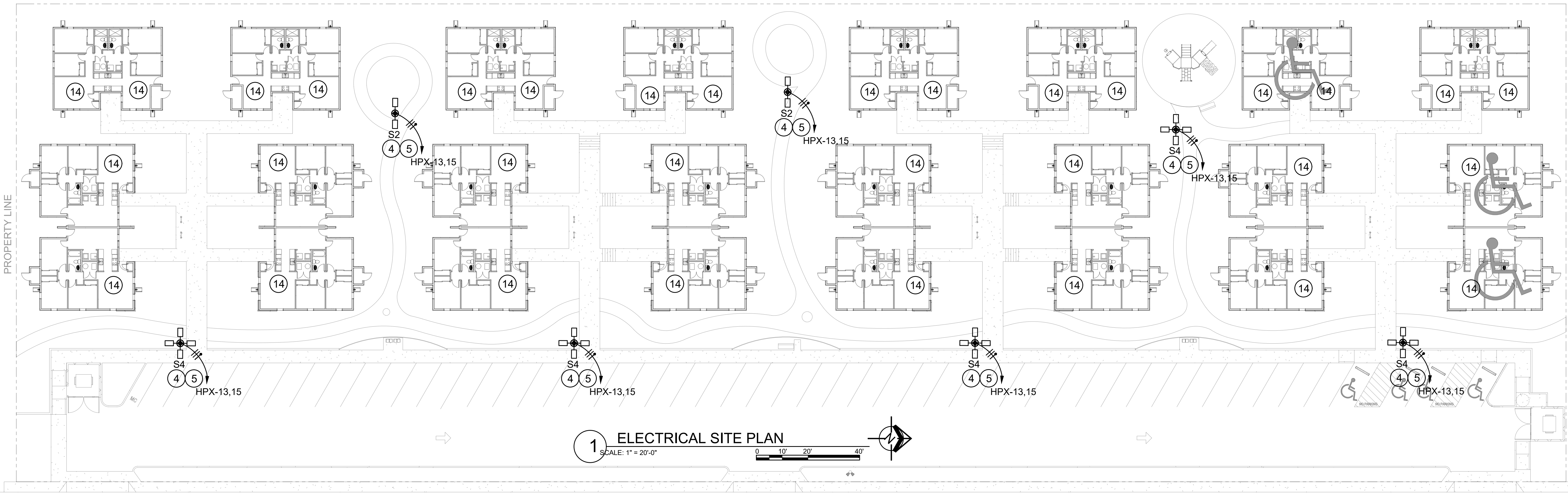
COMMUNITY BUILDING - ELEVATIONS

Casitas Del Camino

60th Street NW
Albuquerque NM, 87105

sheet no:
A1.83

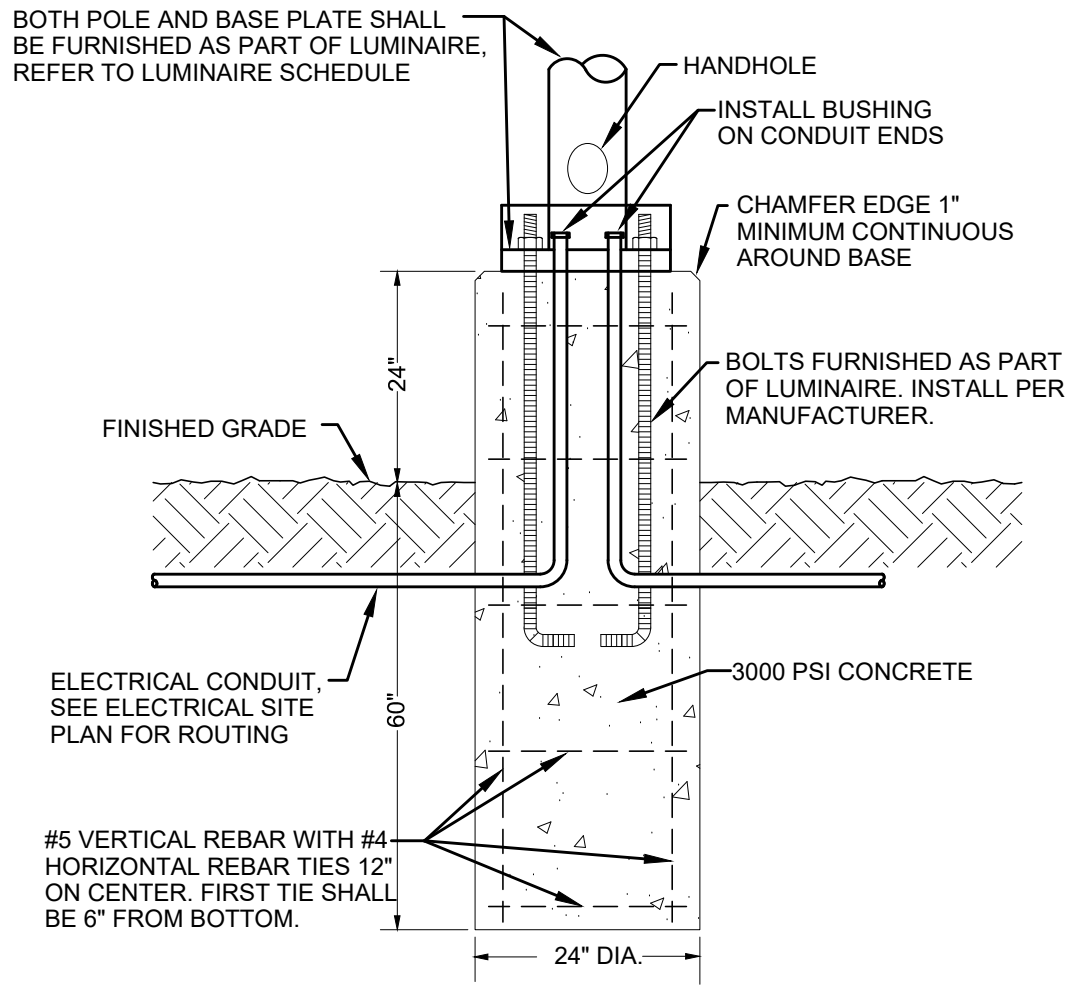
PROPERTY LINE



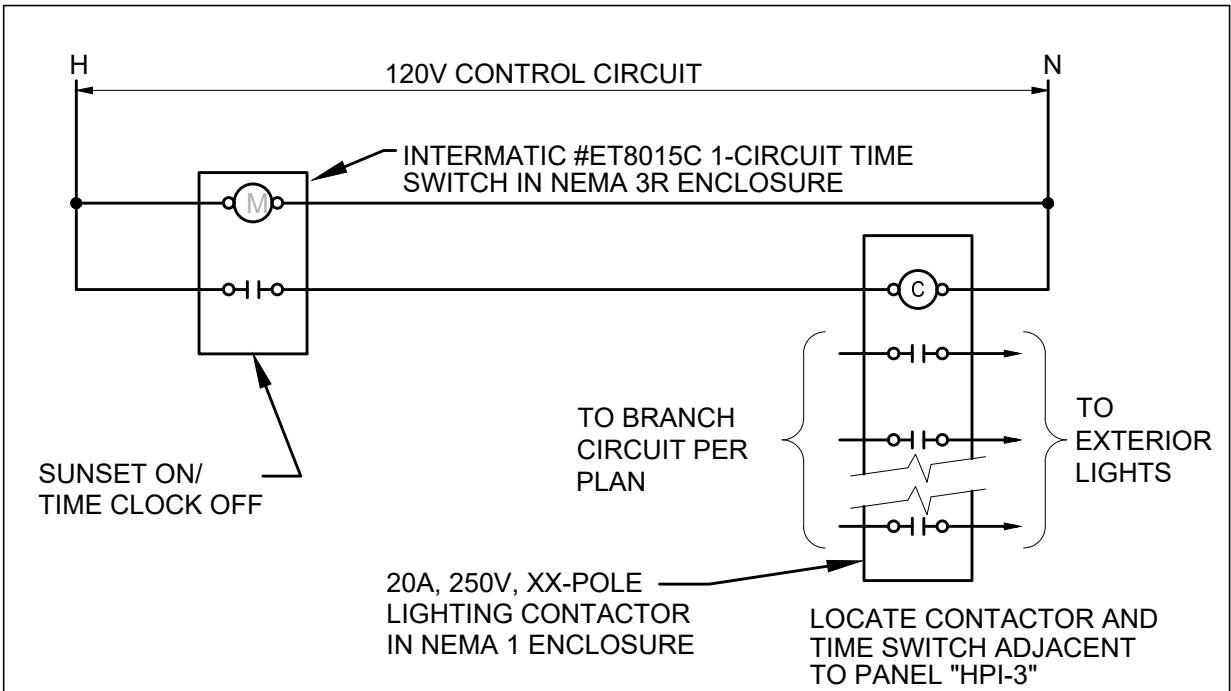
60TH ST.

POLE BASE NOTES:

- A ALL LIGHT POLE CONCRETE BASES SHOULD BE VERIFIED WITH STRUCTURAL ENGINEER FAMILIAR WITH THE SOIL AND WIND CONDITIONS OF THIS PROJECT.
- B G.C. TO PROVIDE AND INSTALL ENTIRE POLE BASE.
- C LIGHTING FIXTURES SHALL BE OF TYPE INDICATED ON DRAWINGS.



POLE BASE MOUNTING DETAIL
SCALE: NONE



LIGHTING CONTROL DIAGRAM
SCALE: NONE

GENERAL NOTES:

- A. MAINTAIN ELECTRIC SERVICE TO ALL EXISTING APARTMENT BUILDINGS DURING THIS REMODEL PROJECT.
- B. COORDINATE WITH TELEPHONE AND CABLE COMPANIES DURING DEMOLITION WORK TO ENSURE THESE UTILITIES ARE MAINTAINED OPERABLE TO ALL THE APARTMENT BUILDINGS).
- C. REFER TO ARCHITECTURAL AND CIVIL SITE PLANS FOR ADDITIONAL SITE UTILITY INFORMATION.
- D. ALL EXISTING LIGHTING FIXTURES IN THIS APARTMENT COMPLEX SHALL BE REPLACED WITH NEW L.E.D. LIGHTING FIXTURES (BOTH INTERIOR AND EXTERIOR FIXTURES). PROVIDE ELECTRICAL UPGRADES TO ALL (48) EXISTING APARTMENT UNITS AS INDICATED ON THE ENLARGED APARTMENT UNIT ELECTRICAL PLANS ON SHEET E-105.

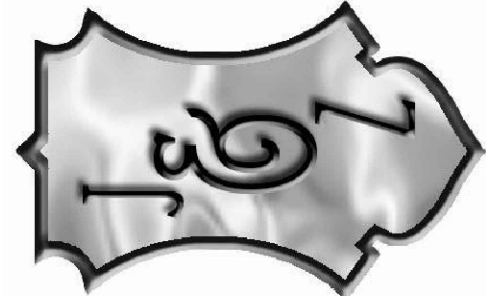
ELECTRICAL KEYED NOTES: ○

- NOTE: SEE ES-102 FOR CONTINUATION.
- METER CENTER LOCATION, REFER TO POWER RISER DIAGRAM.
 - GENERAL LOCATION FOR SERVICE TRANSFORMER TO SERVE BUILDING INDICATED. COORDINATE EXACT LOCATION WITH PNM REPRESENTATIVE.
 - TELEPHONE CABINET, REFER TO COMMUNICATIONS RISER DIAGRAM.
 - PARKING LOT LIGHTING FIXTURE ON 20' POLE, REFER TO POLE BASE MOUNTING DETAIL.
 - EXTEND TO CIRCUIT INDICATED THROUGH LIGHTING CONTROLS USING #10 CONDUCTORS TO NEAREST HOUSE PANEL.
 - EXTEND PRIMARY DUCT TO UTILITY SERVICE POINT PER UTILITY REQUIREMENTS.
 - MONUMENT SIGN, VERIFY EXACT LOCATION WITH ARCHITECTURAL DRAWINGS. CONNECT TO DEDICATED 120V CIRCUIT INDICATED THROUGH PHOTOCELL FOR DUSK-TO-DAWN OPERATION. USE #10 WIRING.
 - ASSUMED TELEPHONE SERVICE POINT, VERIFY WITH CENTURYLINK REPRESENTATIVE.
 - 4" SCHEDULE 80 PVC TELEPHONE SERVICE CONDUIT PER PROVIDER STANDARDS. FIELD VERIFY ROUTING WITH LOCAL COMMUNICATIONS REPRESENTATIVE.
 - MAIN TELEPHONE BACKBOARD, REFER TO COMMUNICATIONS RISER DIAGRAM.
 - FURNISH P.I.V., TEMPER AND FLOW SWITCHES IN EACH FIRE RISER ROOM. FIRE ALARM PANEL TO BE LOCATED AT THE COMMUNITY BUILDING (B). COORDINATE WITH ARCHITECTURAL AND FIRE PROTECTION DESIGN PROFESSIONAL.
 - PROVIDE POWER FOR WAY-FINDING SIGN.
 - PROVIDE POWER FOR FIRE PROTECTION HOT BOX.
 - BUILDING AND ELECTRICAL SERVICE ARE EXISTING.



JEEBS & ZUZU, LLC.

Architecture
Construction
Design-Build



EMEC
LLC

Consulting Engineers
505-730-5698 Suite 400
1608 BERNARD THOMAS LN. S.W.
ALBUQUERQUE, NM 87055

job no: 2023.09

drawn: S. ARCINIEGA

checked: S. ARCINIEGA

date: MAR 1 2024

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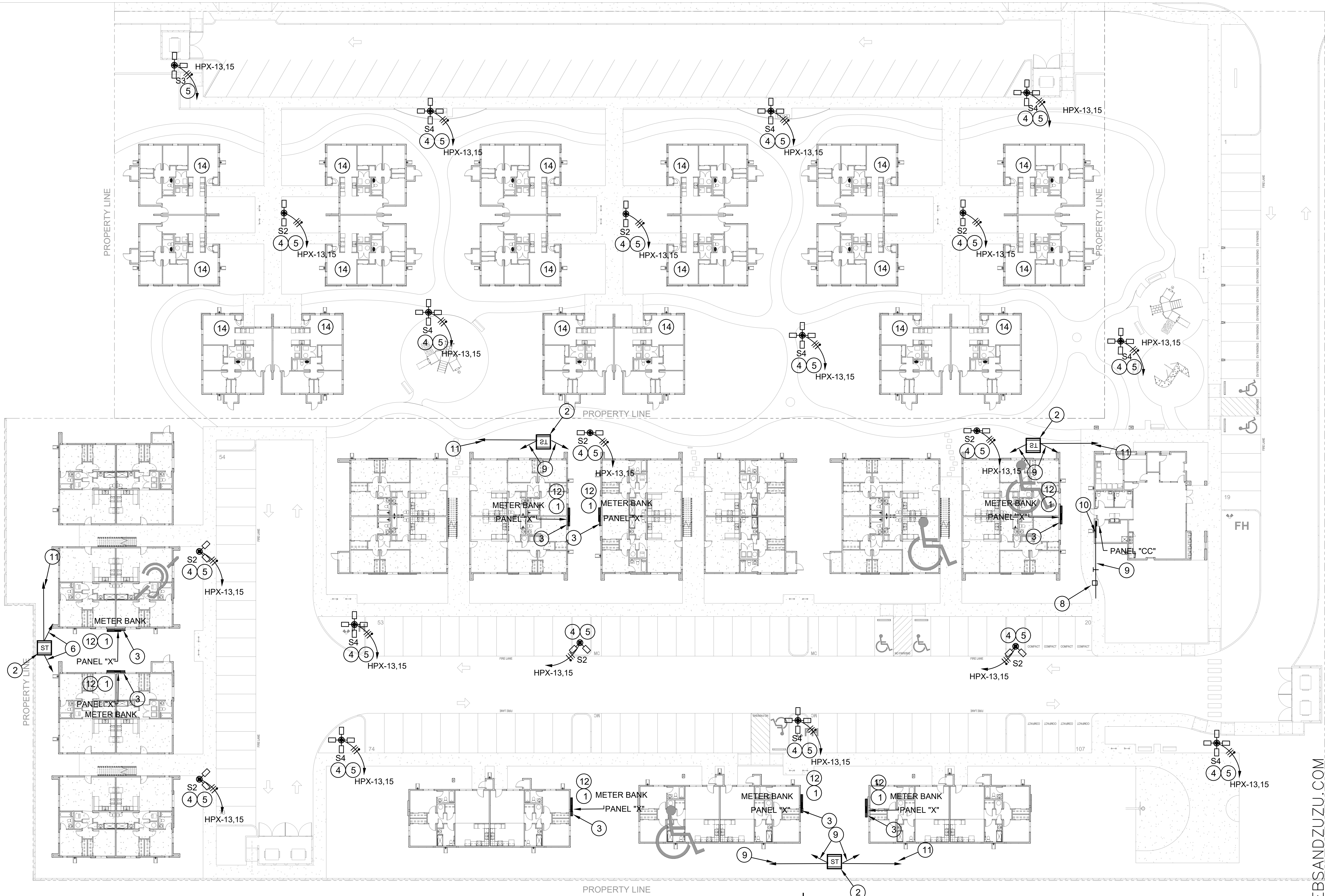
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Casitas Del Camino

60th Street NW
Albuquerque, NM 87105

sheet no:

ES-101

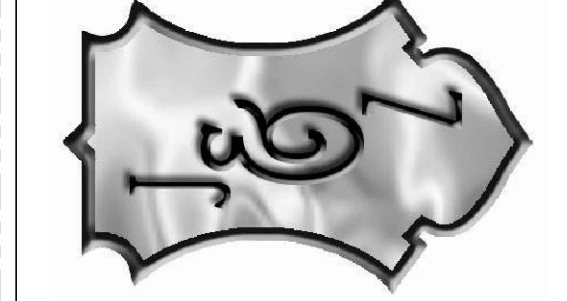


1 ELECTRICAL SITE PLAN
SCALE: 1" = 20'-0"

NOTES:
SEE ELECTRICAL SITE PLAN ES-101 FOR GENERAL AND KEYED NOTES.



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sheet title: ELEC SITE PLAN

Casitas Del Camino
60th Street NW
Albuquerque, NM 87105

sheet no: ES-102

Project Reference: PR-2021-006156 **Project Name:** Casitas del Camino (Albuquerque Housing Authority project off of 60th Street) **RESPONSE TO COMMENTS**

Number	Review Cycle	Department	Comment	Response
1	1	Planning	There is a discrepancy present in the Site Plan Sheets submitted in regards to the EV Parking. On Sheet S1.1 keyed note #25 calls out a need for minimum 10 EV parking spaces on site. On Sheet S1.0 and on the TCL it shows the site plan calling out only 8 EV parking spaces. Please correct the discrepancy shown on sheet S1.1.	A total of 8 EV parking spaces are to be provided. Please see corrected parking calculation shown on S1.0. An updated TCL with that correction is in the process of being submitted to the city of Albuquerque.
2	1	Planning	Ensure all dimensional standards are being adhered to and are clearly called out on the plans.	All dimensional standards are being adhered to and are called out on the plans.
3	1	Planning	Provide the Usable Open Space calculations on the LS Plan sheet outlining what the Usable Open Space will be for the subject property.	Usable Open Space calculations have been provided. Please see them on Sheet S1.0.
4	1	Planning	Much of the landscape area is brown gravel that adds to heat retention and does not provide any recreational value. The provision above allows 20 percent cool season grasses and up to 70 percent warm season grasses. Warm season grasses can be grown to full height with no to minimal mowing and minor watering. Please consider the value to the project of replacing gravel with warm season grasses. (Landscaping plan show 126,879 sf of gravel?)	An updated landscape plan with updated quantities has been provided. Please see LS-101. In regard to the suggestion of including warm season grasses, it was discussed with the owner and unfortunately they don't have the staff available to maintain those grasses.
5	1	Planning	No Motorcycle parking spaces are called out on the Site Plan Sheets. Please update sheets to include Motorcycle Parking in the calculations.	An updated parking calculation with motorcycle parking has been provided. Please see on sheet S1.0.
6	1	Planning	Ensure that the tree planting guide shown above is located somewhere on the Landscape plan sheets.	Please see landscaping details show on LS-103.
7	1	Planning	Please modify your tree planting detail to reflect this requirement. The organic mulch used under the trees can be counted towards non gravel mulch used on the site under 5-6(C)(5)(c).	Please see landscaping details show on LS-103.
8	1	Planning	Confirm that shrubs and trees will be the required distance away from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections.	Note added, minimum distance to fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections Shown on Sheet LS-101 and clouded
9	1	Planning	Confirm that there will be no trees planted within 10' of the centerline of any sewer or water lines.	Note added, Shown on Sheet LS-101 and clouded
10	1	Planning	Edge buffer landscaping along the west property line is applicable. You likely have the space, but need to add the landscaping as	Edge buffer landscaping along the west property line has been applied on the revised landscape plan. Please see LS-101.
12	1	Planning	Ensure that all landscaping and buffering/screening requirements are being adhered to.	We ensure that all landscaping and buffering / screening requirements are being adhered to.
13	1	Planning	Please add the following notes to the Landscape Plan Sheets if they are not already on the sheets. LANDSCAPING and IRRIGATION Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6- 6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable. Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. 5-6(C)(14) Irrigation Systems Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance). *(See additional comments on next pages) 17	Please see the referenced notes on LS-104.

14	1	Planning	<p>Please add the following notes to the Landscape Plan Sheets if they are not already on the sheets. 5-13(B)(7) Landscaping, Buffering, and Screening</p> <p>5-13(B)(7)(a) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance).</p> <p>5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval.</p> <p>5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner.</p> <p>5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners.</p>	Please see the referenced notes on LS-104.
15	1	Hydrology	A more detailed Grading & Drainage Plan is required to be submitted to Hydrology for review and approval prior to the issuance of a Building Permit.	Acknowledged
16	1	Code Enforcement	Show setbacks and other applicable Dimensional Standards on site plans from Table 5-1-1.	A setback reference line has been included on the overall site plan. Please see on sheet S1.0.
17	1	Code Enforcement	Provide calculations to show how the project is meeting Useable Open Space requirements as per IDO Table 5-1-1.	Usable Open Space calculations have been provided. Please see them on Sheet S1.0.
18	1	Code Enforcement	Need to show you are meeting landscape buffer requirements on the east and west property lines, as per IDO 5-6(E), Table 5-6-4.	Landscape buffere requirements are being met. Please see LS-101
19	1	Code Enforcement	Provide landscape plan with calculations for required trees per dwelling units and street trees.	Please see updated tree calculations shown on LS-101.
20	1	Code Enforcement	Provide elevations showing windows will be recessed at least 2 inches and the west facing facades have heat mitigation features.	A general note staing "All windows to be recessed a minimum of 2" from exterior finish surface" has been added to building elevations. Please see sheets A1.12, A1.22, & A1.32. For west facing fascades, we have included trees in locations that will help medigate the heat from the western sun.
21	1	Code Enforcement	Landscaping plan must comply with the current requirements of the IDO; the note shown below regarding woodmulch must be removed from the Landscape Plan.	Referenced note has been removed from the landscape drawings.
22	1	Code Enforcement	Per 5-6(C)(9)(c), Where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements In Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way. Show a separate valve for the trees within the ROW. Lateral lines and bubbler must be shown for any plants within the ROW.	Shown on Sheet LS-102, noted and clouded
23	1	Code Enforcement	5-6(C)(5)(e) Organic mulch is required as ground cover under trees, not including street trees, within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. Show this requirement on the tree planting detail. Make sure the detail mentions Organic and or Arborist mulch.	Please see notes on organic mulch on tree planting detail on LS-103.
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