

**SITE DATA**

PROPOSED USAGE: RETAIL/RESTAURANT/BANK  
 LOT AREA: 447,657.43 S.F.(10.2768 AC.)  
 BUILDING AREA: 97,119 S.F.

**PARKING CALCULATIONS:**

PARKING REQUIRED:  
 RETAIL/BANK 87,158 GSF/ 200 GSF 436 PARKING  
 RESTAURANT (JINJA) 8,661 GSF/ 200 GSF 89 PARKING  
 RESTAURANT (SAXBY'S) 1,300 GSF/ 200 GSF 22 PARKING

TOTAL PARKING: 527 SPACES

PARKING REDUCTION:  
 10% WITHIN 300' OF TRANSIT SYSTEM (ROUTE #91) 53 SPACES

5% SITE GREATER THAN 5 ACRES 26 SPACES

10% MIXED USES/SHARED PARKING 53 SPACES

TOTAL PARKING REDUCTION: 132 SPACES

TOTAL PARKING REQUIRED: 395 SPACES

TOTAL PARKING PROVIDED: 527 SPACES

HC PARKING REQUIRED: 8 SPACES (2 VAN)

HC PARKING PROVIDED: 24 SPACES (2 VAN)

BICYCLE SPACES REQUIRED: 16 SPACES

BICYCLE SPACES PROVIDED: 20 SPACES

**GENERAL NOTES:**

1. SITE LIGHTING WILL CONSIST OF BUILDING-MOUNTED OR STEEL POLE SEE BELOW FOR SITE LAYOUT AND TYPE.
2. THE SIGNAGE WILL CONSIST OF A MONUMENT SIGN AND BUILDING MOUNTED SIGN. THE MONUMENT SIGN SIZE SHALL NOT EXCEED 50 SQUARE FEET AND THE HEIGHT SHALL NOT EXCEED 8.00' (SEE ELEVATION SHEET 7.7 FOR DETAIL).
3. THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
4. CURRENT ZONING CURRENT IS SU-1 MIXED USED.
5. WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT.
6. BUILDINGS: BUILDING HEIGHT: BUILDING STRUCTURE SHALL NOT EXCEED 36 FEET IN HEIGHT. BUILDING TYPES AND COLORS: SEE ELEVATION PLANS, SHEETS 7.1 THRU 7.8.
7. THE LANDSCAPING PLAN WILL COMPLY WITH THE REQUIREMENTS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
9. SITE PLAN FOR BUILDING PERMIT SHALL REQUIRE TO MEET THE SIGNAGE REQUIREMENTS OF C-1 ZONING SECTION 16-14-2-16-A-11 AND NOT NECESSARILY AS THOSE SHOWN ON THE SITE PLAN FOR BUILDING PERMIT.
10. MAINTENANCE OF PUBLIC OPEN SPACE AMENDMENTS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

**NOTES:**

1. 6" CONCRETE CURB PER COA STD. DWG. #24158 TYP.
2. LANDSCAPING AREA.
3. HC ACCESSIBLE SIDEWALK RAMP.
4. NEW ASPHALT PAVING AREA.
5. 6' WIDE TEXTURED CONCRETE PEDESTRIAN CROSSING.
6. NEW TURN DOWN SIDEWALK.
7. 6' WIDE ASPHALT PEDESTRIAN CROSSING
8. NEW 4" SIDEWALK PER COA STD. DWG. #2430.
9. EXISTING 6' SIDEWALK.
10. EXISTING DRIVE WAY ENTRANCE.
11. 8" CMU REFUSE ENCLOSURE PER COA SOLID WASTE DEPARTMENT STANDARDS.
12. EXISTING CURB AND GUTTER.
13. EXISTING POWER POLE.
14. FUTURE CURB AND GUTTER.
15. EXISTING UNIDIRECTIONAL WHEELCHAIR RAMP.
16. 9' WIDE X 20' DEEP PARKING SPACES
17. 9' WIDE X 18' DEEP PARKING SPACES
18. HANDICAP SIGN PER COA STANDARDS.
19. BICYCLE RACK
20. TAN SPLIT FACE BLOCK WALL (HEIGHT NOT TO EXCEED 8').
21. MONUMENT SIGN, REFER TO ELEVATION PLAN.
22. TRANSFORMER
23. CART RETURN

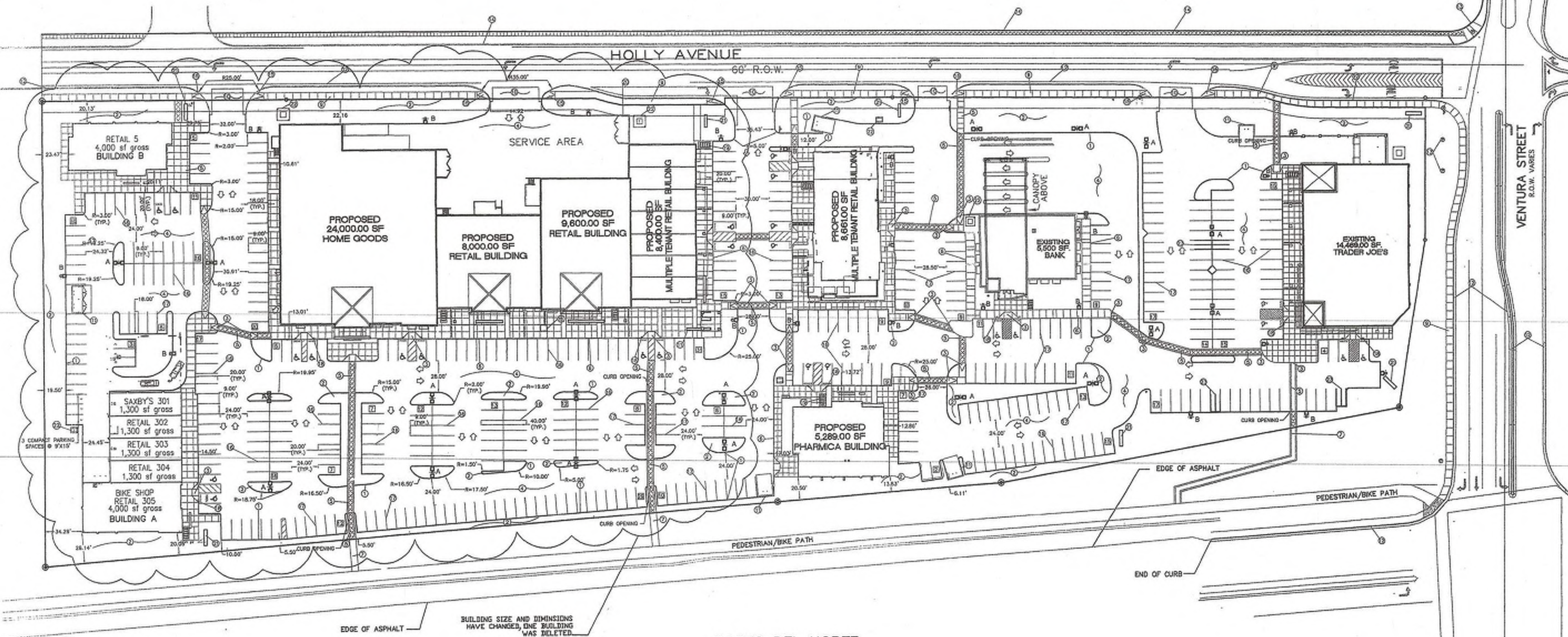


VICINITY MAP:

C-20-Z

**LEGAL DESCRIPTION:**

LOTS 1, 2-A, 3-A, 4, 5, AND 6, VENTURA PLACE  
 CONTAINING 440,300.14 S.F. (10.31655 ACRE).  
 ZONING SU-1/C-1



**SHEET INDEX**

1. AMENDED SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
- 3.0 ELEVATION BUILDING A
- 3.1 ELEVATION BUILDING B

**ADMINISTRATIVE APPROVAL**

File # 06AA-0245, Project # 1002633  
 Combine Lots 1 and 2-A  
 Revise buildings on 3-A  
 and 1-A as shown.

*[Signature]*  
 APPROVED BY DATE 2 Nov 06

ALBUQUERQUE  
 BUILDING & SAFETY

MAY 14 2007

U.S.  
 PLAN CHECK  
 SECTION

**ADVANCED  
 ENGINEERING  
 and CONSULTING, LLC**

SHAHAB BIAZAR  
 P.E. #13479

4416 ANAHEIM AVE., N.E.  
 ALBUQUERQUE, NEW MEXICO 87113  
 (505)899-5570

**VENTURA PLACE  
 AMENDED SITE PLAN FOR BUIL. PERMIT**

DRAWING: 100622-OVERALL-ST.DWG	DRAWN BY: SHH	DATE: 05-24-05	SHEET # C1
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**SITE LIGHTING SCHEDULE**

Symbol	Label	Qty	Catalog Number	Description	Lamp
A	A	10	AS2 256M SRW	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SRW REFLECTOR.	ONE 250-WATT CLEAR ED-26 METAL HALIDE, HORIZONTAL POSITION, WIFULL CUT OFF
B	B	34	AS2 256M SRW	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SRW REFLECTOR.	ONE 250-WATT CLEAR ED-26 METAL HALIDE, HORIZONTAL POSITION, WIFULL CUT OFF
C	C	2	TWA 70M	WALLPACK W/SPICULAR REFLECTOR, PRISMATIC LENS.	ONE 70-WATT CLEAR ED-17 METAL HALIDE, TILTED 22-DEG WIFULL CUT OFF

LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' WHEN MEASURED FROM THE FINISHED GRADE TO THE TOP OF THE POLE AND AT NO TIME SHALL THE HEIGHT OF A LIGHT POLE EXCEED 16' WITHIN 100' OF RESIDENTIAL ZONE.

**LEGEND**

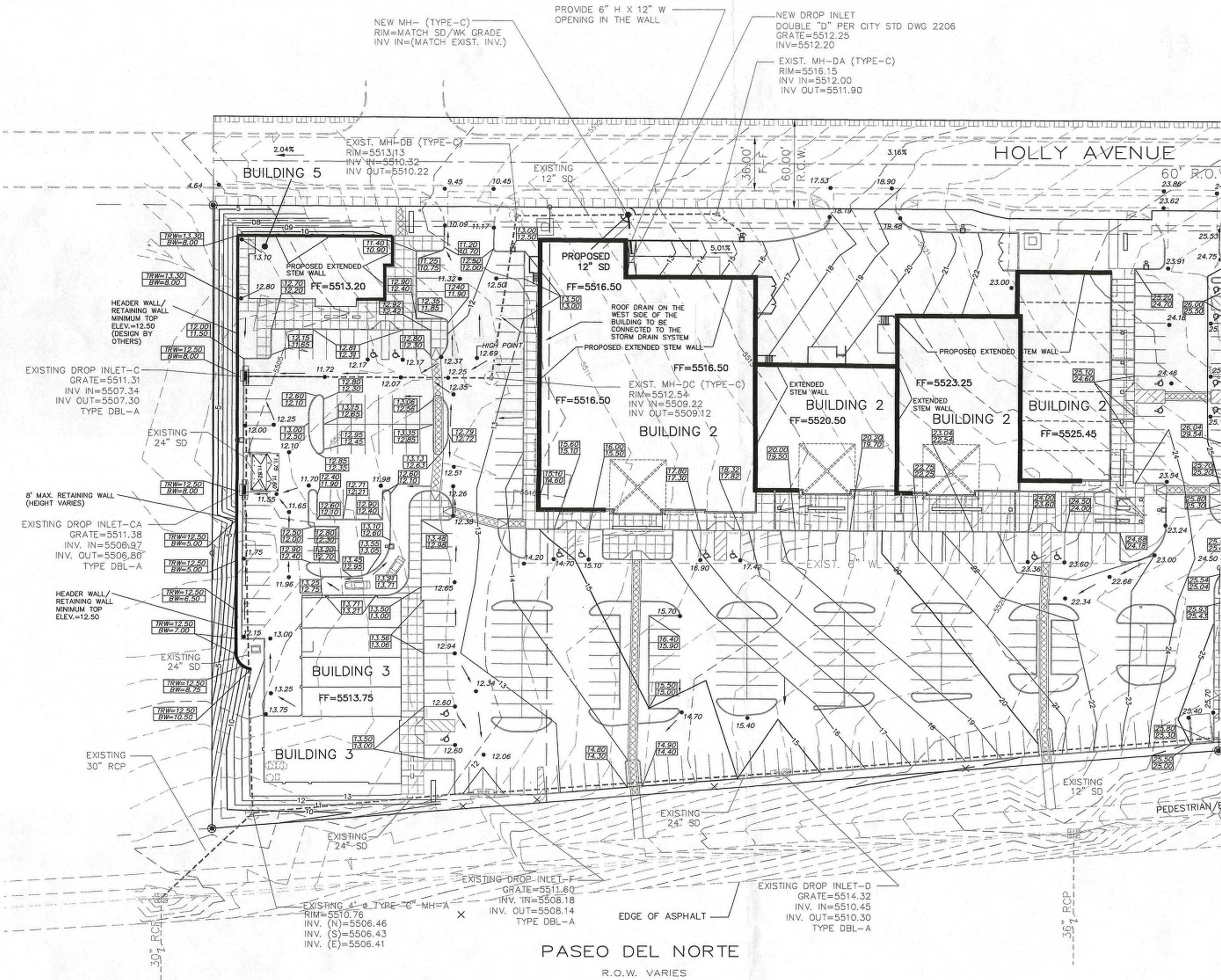
- BOUNDARY LINE
- ▭ BUILDING
- PROPOSED CURB
- - - FUTURE CURB & GUTTER
- EXISTING CURB & GUTTER
- 7 NUMBER OF PARKING SPACES
- ☐ FIXTURE SITTING WITH PLANTER FOR DECIDUOUS TREE
- SIDEWALK
- TREE LOCATION
- ◻ PAINTED COMPACT PARKING

**GRAPHIC SCALE**

SCALE: 1"=50'



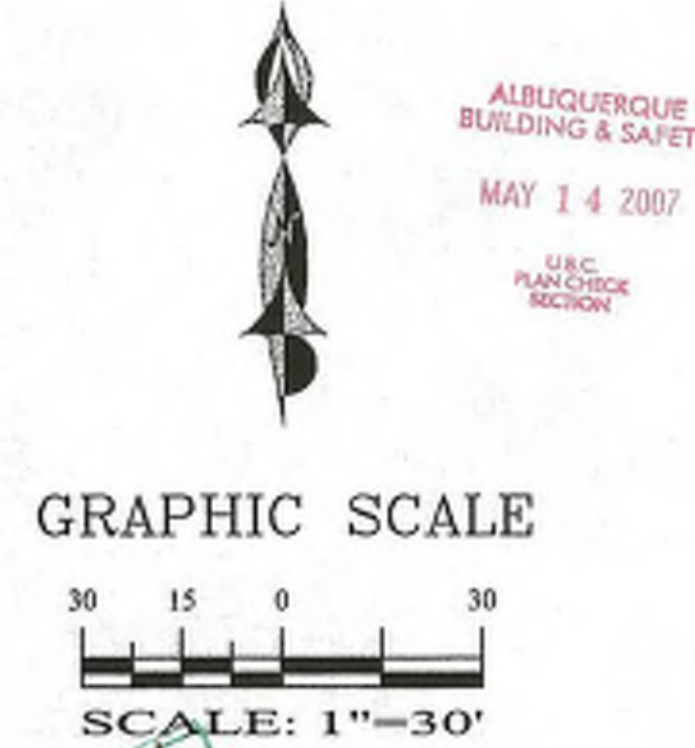
**Ventura Place  
 BUILDINGS 2, 3, & 5  
 Holly Avenue NE**



**LEGEND**

	EXISTING CURB & GUTTER
	NEW CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	PROPOSED STORM SEWER PIPE
	EXISTING CURB AND GUTTER
	TRANSFORMER LOCATION
	TOP OF RETAINING WALL
	BOTTOM OF WALL

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
  4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
  6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

- ADDITIONAL CONSTRUCTION NOTES**
- 1) SEE THE OVERALL GRADING PLAN FOR ADJACENT GRADES. ALSO GRADES TO BE COORDINATED WITH ADJACENT PROPERTY OWNERS.
  - 2) SLOPES EXCEED 5% IN ORDER TO ELIMINATE THE STEM WALL.
  - 3) THE GRADES HAVE TO BE CHECKED WITH SANDIA LABORATORY FEDERAL CREDIT UNION.
  - 4) THE GRADE CHANGE WILL INCREASE THE HEIGHT OF THE RETAINING WALL ALONG THE EAST SIDE OF THE PROPERTY LINE (BETWEEN THE BANK AND TRACT 5).

- GENERAL NOTES:**
- 1: ADD 5500 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
  - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
  - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5589.886 FEET ABOVE SEA LEVEL.
  - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - 6: SLOPES ARE AT 3:1 MAXIMUM.

**ADVANCED ENGINEERING and CONSULTING, LLC**  
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 ALBUQUERQUE, NEW MEXICO 87113  
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SHAHAB BAZAR  
 P.E. #13479

VENTURA PLACE - BUILDINGS 2, 3, & 5  
**GRADING PLAN**

DRAWING: 200622-GR-BLD3-5-DWG  
 DRAWN BY: SBB  
 DATE: 11-28-06  
 SHEET # **C2**

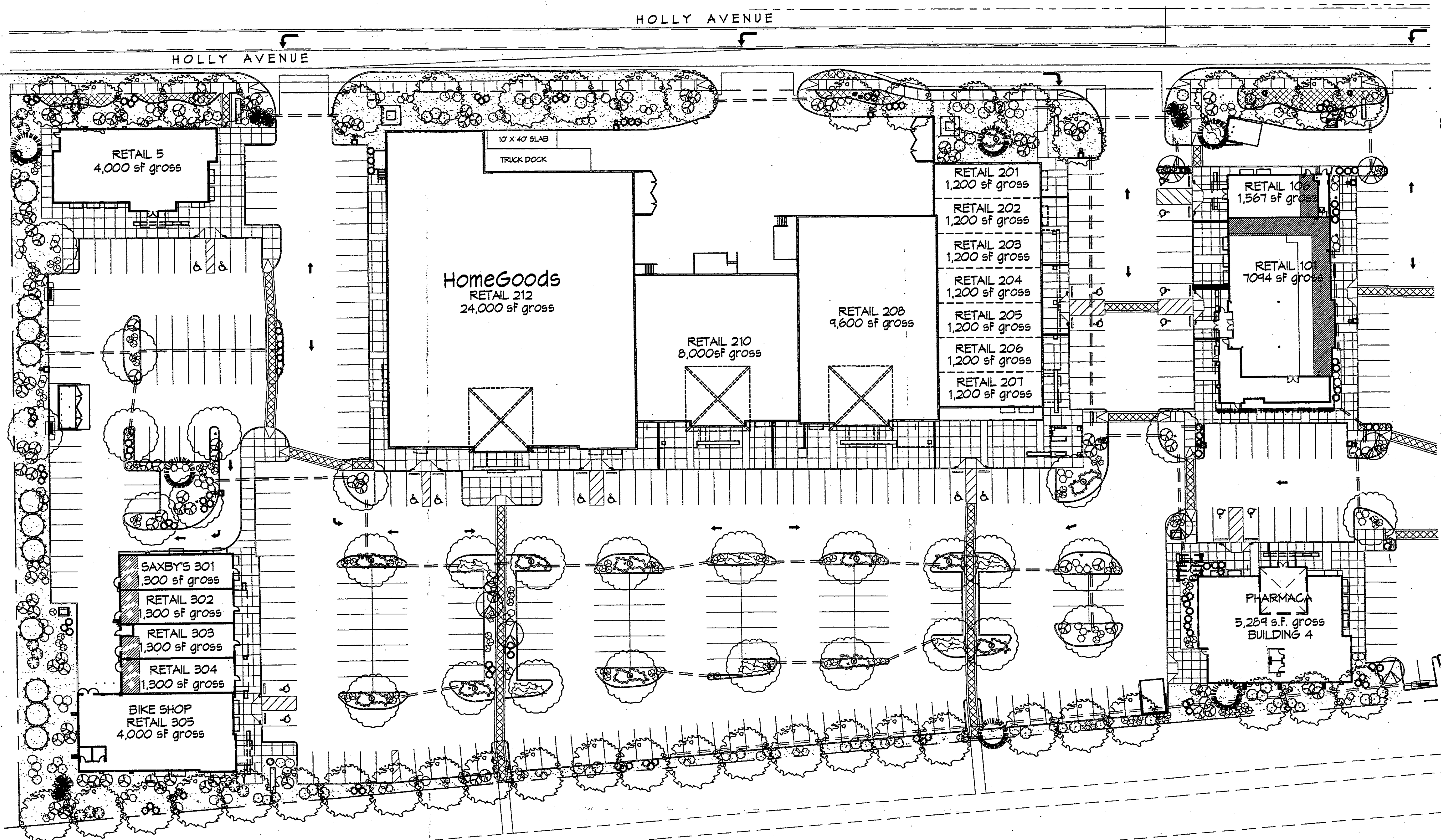
REVISIONS

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DRAWN BY \_\_\_\_\_  
 REVIEWED BY \_\_\_\_\_  
 DATE \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_  
 DRAWING NAME \_\_\_\_\_

SHEET NO. \_\_\_\_\_





- PLANT LEGEND**
- HONEY LOCUST (H) 45  
*Gleditsia triacanthos*  
2" Cal.
  - PURPLE ROBE LOCUST (M) 29  
*Robinia ambigua*  
2" Cal.
  - AUSTRIAN PINE (M) 6  
*Pinus nigra*  
6'-8'
  - FLOWERING PEAR (M+) 7  
*Pyrus calleryana*  
2" Cal.
  - PALM YUCCA (L) 6
  - DESERT WILLOW (L) 11  
*Chilopsis linearis*  
5 Gal. 225sf
  - APACHE PLUME (L) 43  
*Fallugia paradoxa*  
5 Gal. 25sf
  - BUTTERFLY BUSH (M) 35  
*Buddleia davidii*  
5 Gal. 100sf
  - NANDINA (M) 39  
*Nandina domestica*  
5 Gal. 25sf
  - LANAS/ SCOTCH BROOM (M) 70  
*Cytisus scoparius/ Genista hispanica*  
1 Gal. 95sf
  - CHAMISA (L) 15  
*Chrysothamnus nauseosus*  
1 Gal. 25sf
  - HONEYSUCKLE (M) 116  
*Lonicera japonica 'Halliana'*  
1 Gal. 144sf  
Unstaked-Groundcover
  - AUTUMN SAGE (M) 103  
*Salvia greggii*  
1 Gal. 45sf
  - ROSEMARY (M) 45  
*Rosmarinus officinalis*  
1 Gal. 36sf
  - POTENTILLA (M) 21  
*Potentilla fruticosa*  
1 Gal. 45sf
  - WILDFLOWER 144  
1 Gal. 45sf
  - CREeping ROSEMARY (L) 21  
*Rosmarinus officinalis 'Prostrata'*  
1 Gal. 36sf  
Symbol indicates 3 plants
  - GREYLEAF COTONEASTER (M) 36  
*Cotoneaster buxifolius*  
5 Gal. 51sf  
Symbol indicates 3 plants
  - SANTA FE BROWN GRAVEL  
WITH FILTER FABRIC
  - SANTA ANA TAN GRAVEL  
WITH FILTER FABRIC
  - OVERSIZED GRAVEL  
& 17 BOULDERS
  - COMMERCIAL GRADE  
STEEL EDGING

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	303813	square feet
TOTAL BUILDINGS AREA	77150	square feet
OFFSITE AREA	2315	square feet
NET LOT AREA	224348	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	33652	square feet
TOTAL BED PROVIDED	41770	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	32685	square feet
TOTAL GROUND COVER PROVIDED	32718	square feet
TOTAL LANDSCAPE PROVIDED	41770	square feet

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap. In lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

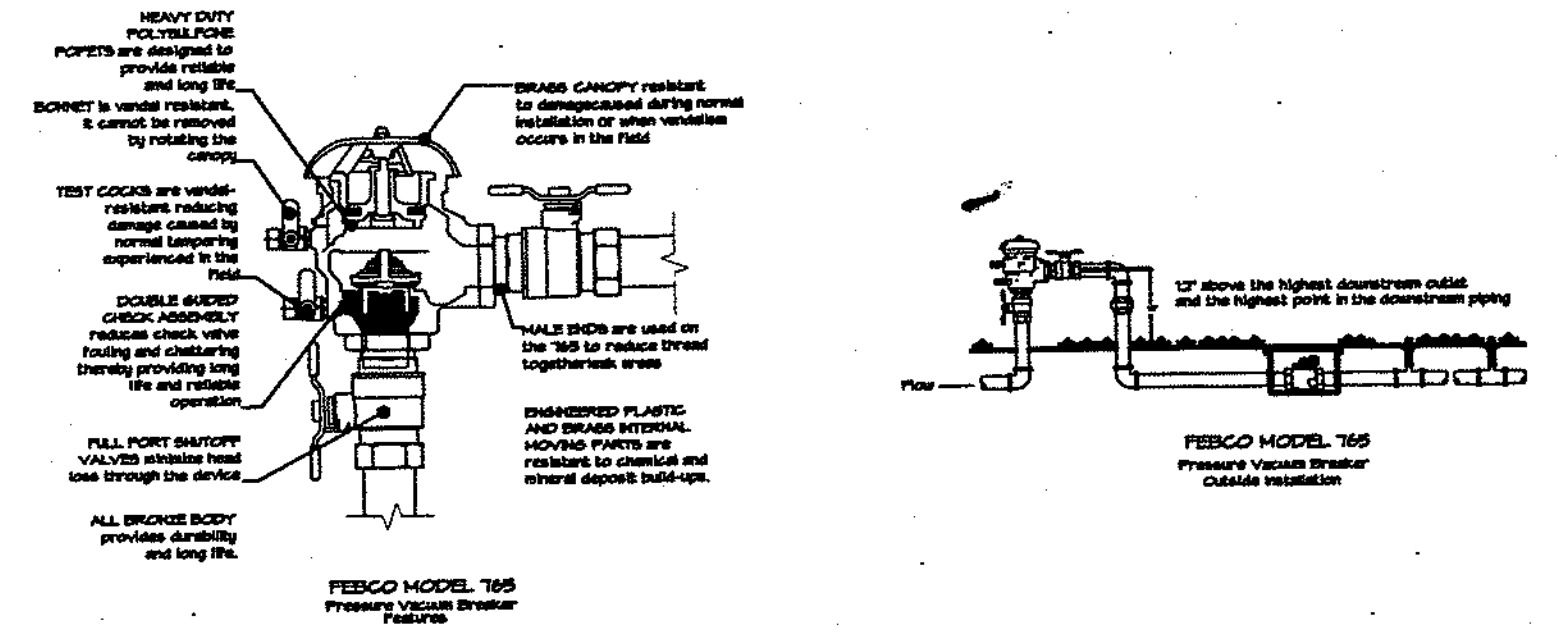
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

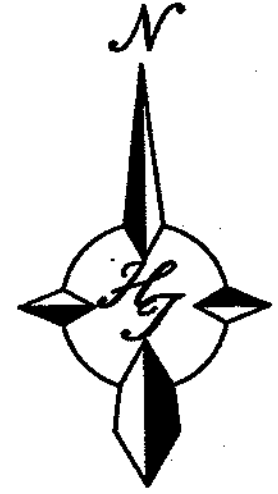
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/BUILDER.



**BACKFLOW PREVENTOR DETAIL**

no scale



**GRAPHIC SCALE**



SCALE: 1"=30'



**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cjohnson@hilltoplandscaping.com

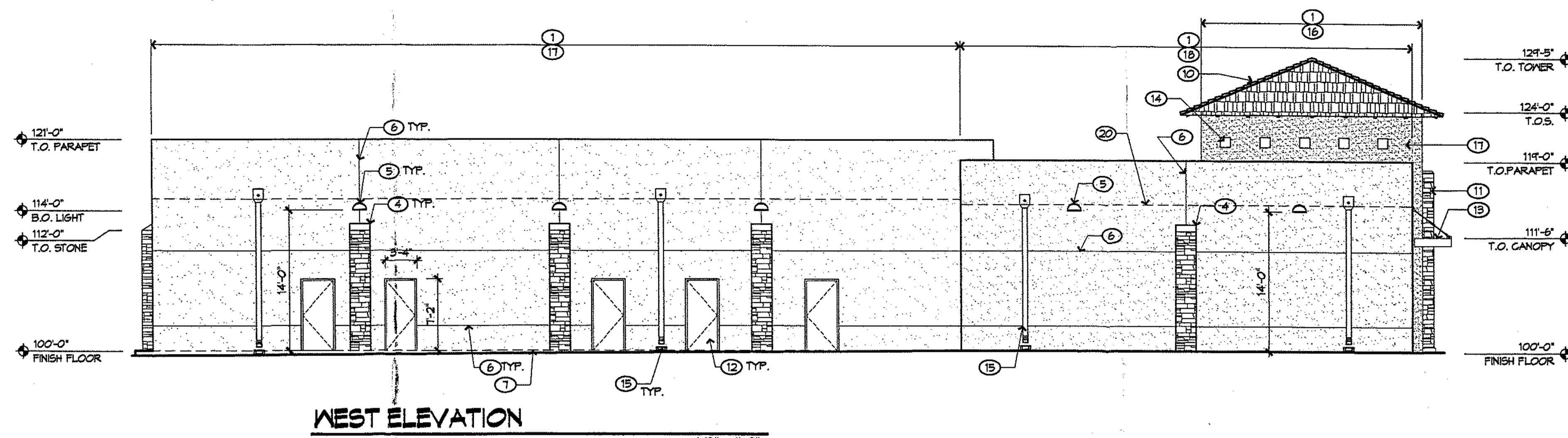
**REVISIONS**

△	7/5/06	Revisions per Owner
△	7/14/06	site plan revision
△	8-8-06	Overall plan
△		
△		
△		

6/30/07  
08002.01  
DRAWN BY: ac  
REVIEWED BY: c  
DATE:  
PROJECT NO:  
DRAWING NAME:

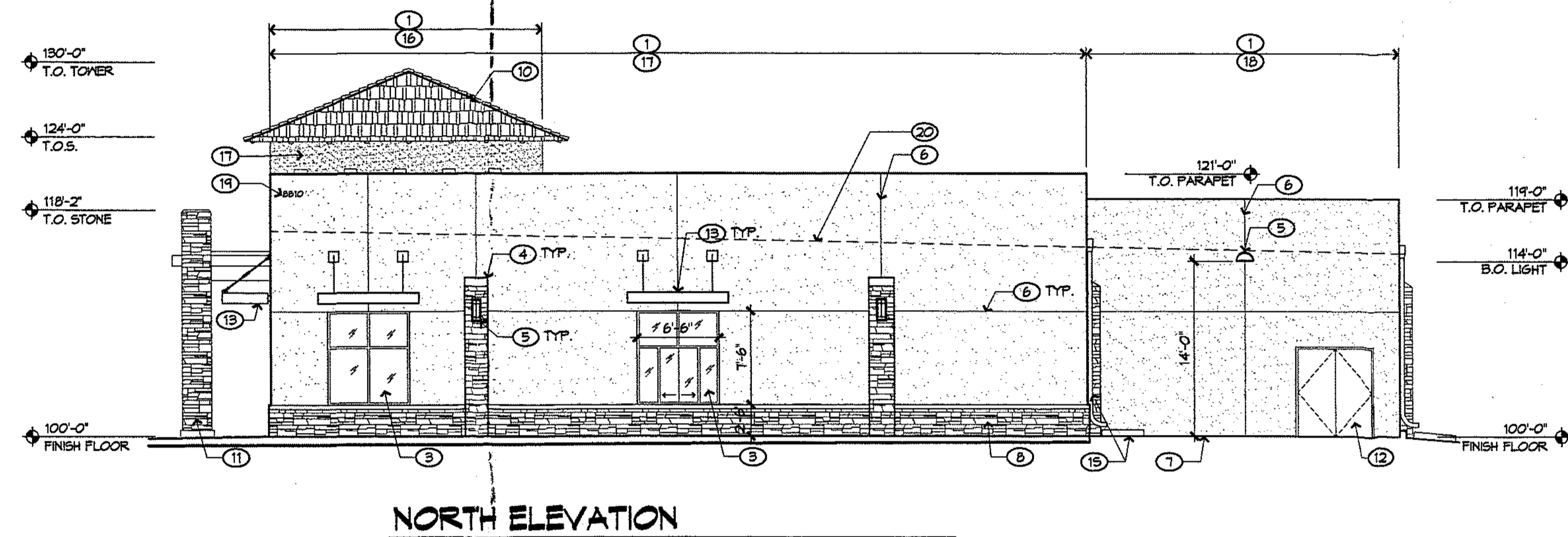
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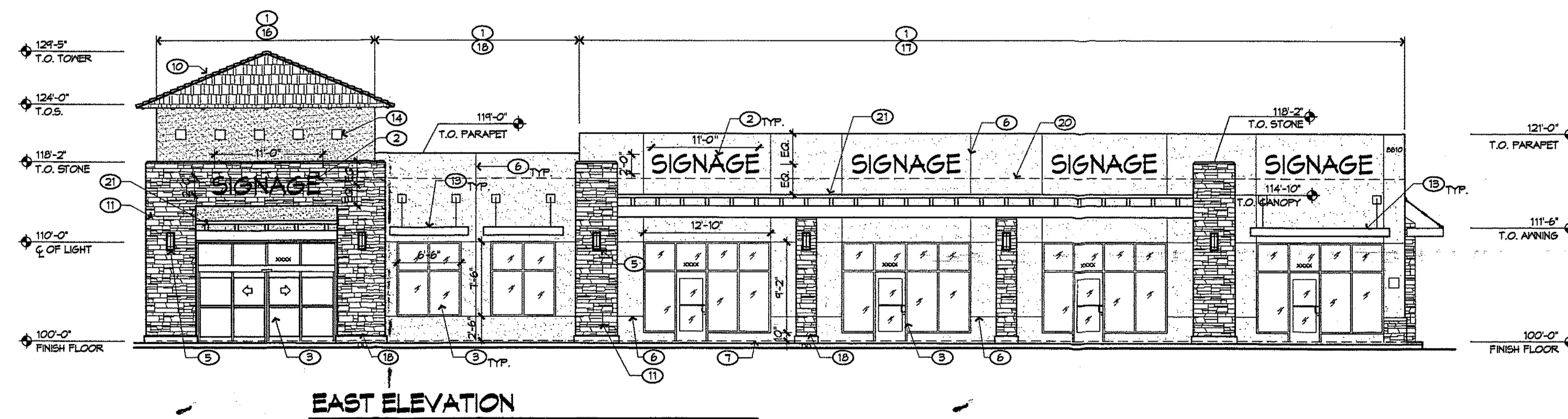
WEST ELEVATION

1/8" = 1'-0"



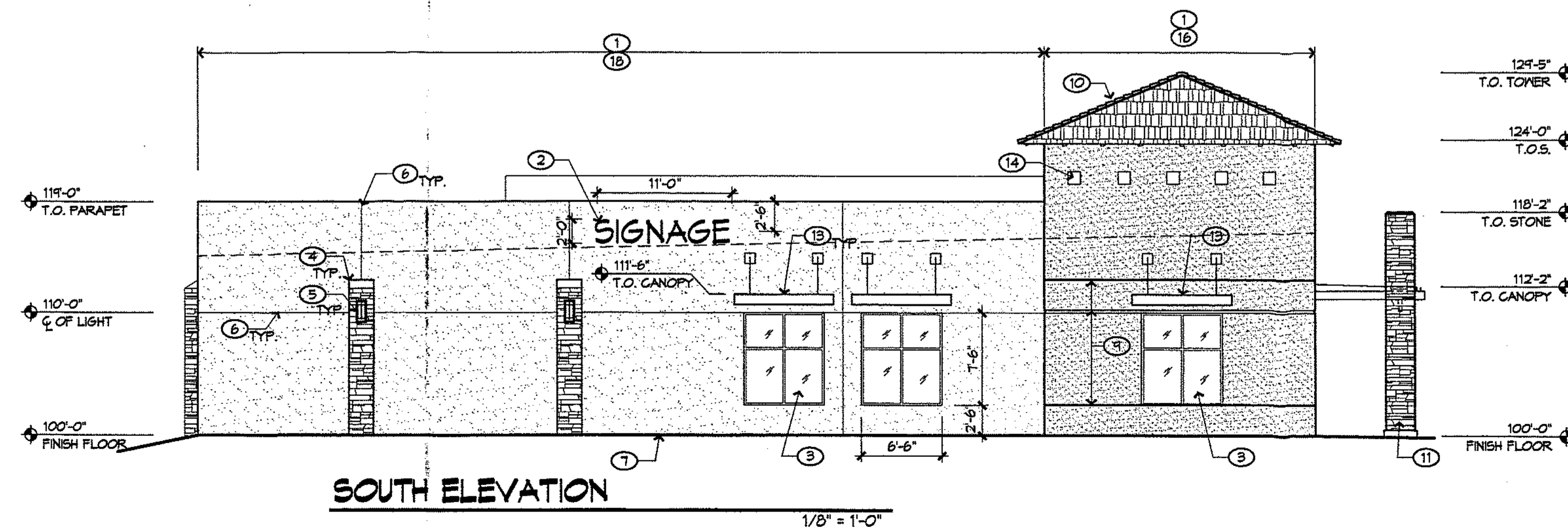
NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

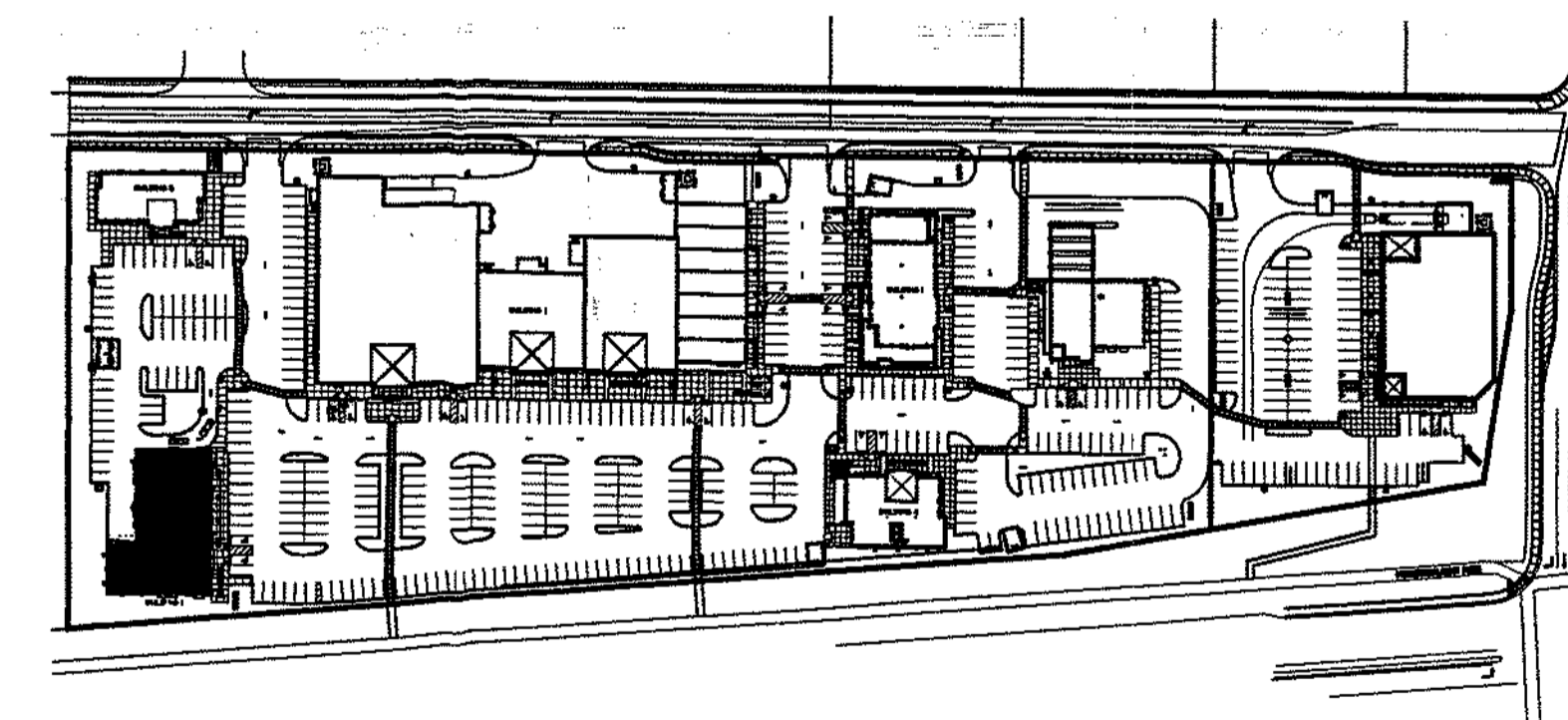
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**GENERAL NOTES**

A. BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE C-1 ZONE.

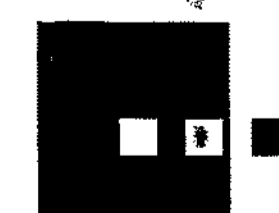
**KEYED NOTES**

1. 2-COAT STUCCO OVER 5/8" EXTERIOR GRADE SHEATHING IV CONTROL JOINTS
2. BACKLIT SIGNAGE, 24" MAX. LETTER HEIGHT, SEE GENERAL NOTES THIS SHEET
3. CLEAR ANODIZED ALUMINUM STOREFRONT FRAMING SYSTEM
4. STACKED STONE PLASTER (ELDORADO STONE, STYLE: CASTAWAY) WITH 2-COAT STUCCO CAP
5. WALL MOUNTED SCOSCE
6. CONTROL JOINT
7. FINISH FLOOR LINE
8. STACKED STONE VENEER (ELDORADO STONE, STYLE: CASTAWAY) GRAY FIELD IV TAN BLEND.
9. METAL SCREED CHANNEL REVEALS, TYPICAL AROUND ALL TOWER FACADES
10. CEMENTITIOUS ROOF TILES (MONIER LIFETILE, 15X6S 49TB, COLOR: PRAIRIE GREEN C/T)
11. STACKED STONE COLUMN OR WALL (ELDORADO STONE, STYLE: CASTAWAY) WITH PREMANUFACTURED STONE CAP
12. HOLLOW METAL DOOR AND FRAME PAINTED TO MATCH ADJACENT 2-COAT STUCCO COLOR
13. STEEL CANOPY AND STEEL TIEBACK BRACING, COLOR: BENJAMIN MOORE TATE OLIVE HC-112
14. 12" X 12" CLEAR GLASS BLOCK CLERESTORY WINDOWS
15. SCUPPER/DOWNSPOUT PAINTED TO MATCH ADJACENT STUCCO COLOR, CONCRETE SPLASH BLOCK BELOW
16. 2-COAT STUCCO COLOR = TO MATCH BROWN (STO #01003)
17. 2-COAT STUCCO COLOR = TO MATCH TAN (BENJAMIN MOORE #4C-21)
18. 2-COAT STUCCO COLOR = TO MATCH MEDIUM BROWN (BENJAMIN MOORE #4C-37)
19. 8" BRUSHED ALUMINUM BUILDING IDENTIFICATION NUMBER (8810), FONT = NUEVA STANDARD
20. ROOF LINE BEYOND
21. TUBE STEEL CANOPY WITH METAL DECK - COLOR BENJAMIN MOORE, TATE OLIVE HC-112
22. ROOF DRAIN DOWNSPOUT NOZZLE WITH WALL FLANGE



KEY PLAN

N.T.S.



**Dekker/Perich/Sabatini**

architecture ■ interiors ■ planning ■ engineering  
6801 Jefferson NE, Suite 100  
Albuquerque, NM 87109 505 761-9700  
fax 761-4222

EXTERIOR ELEVATION:  
ADMINISTRATIVE  
AMENDMENT

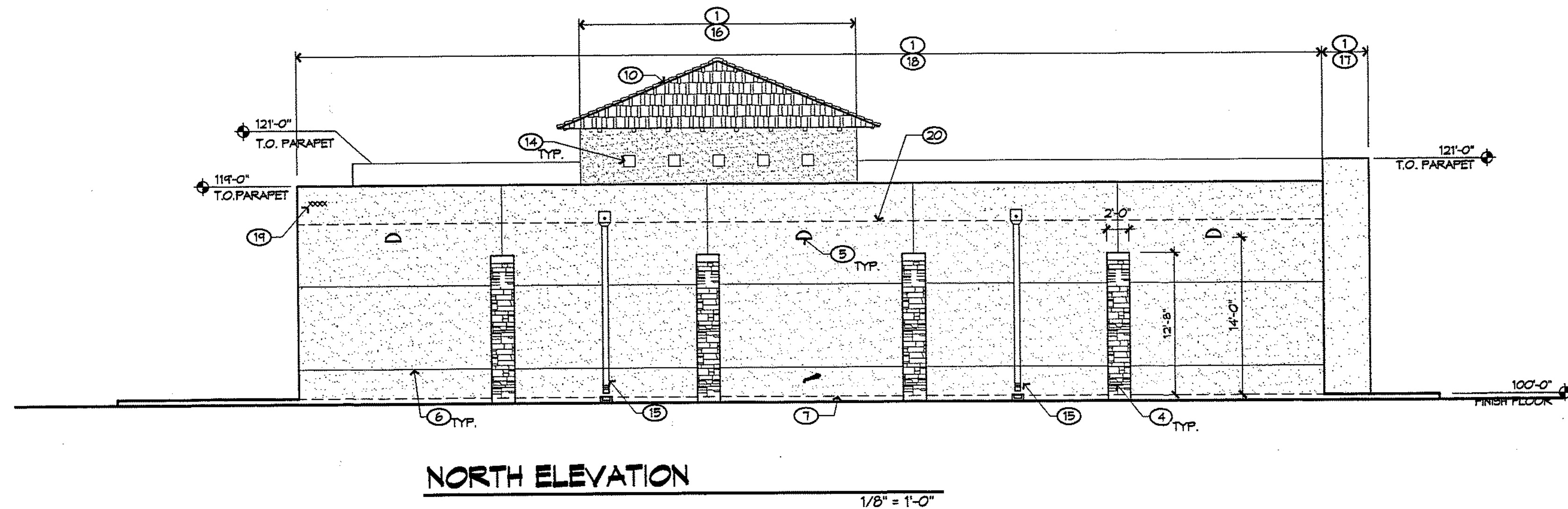
VENTURA PLACE - BUILDING 3  
HOLLY BLVD. AT VENTURA BLVD. AND PASEO DEL NORTE  
ALBUQUERQUE, NM

**GENERAL NOTES**

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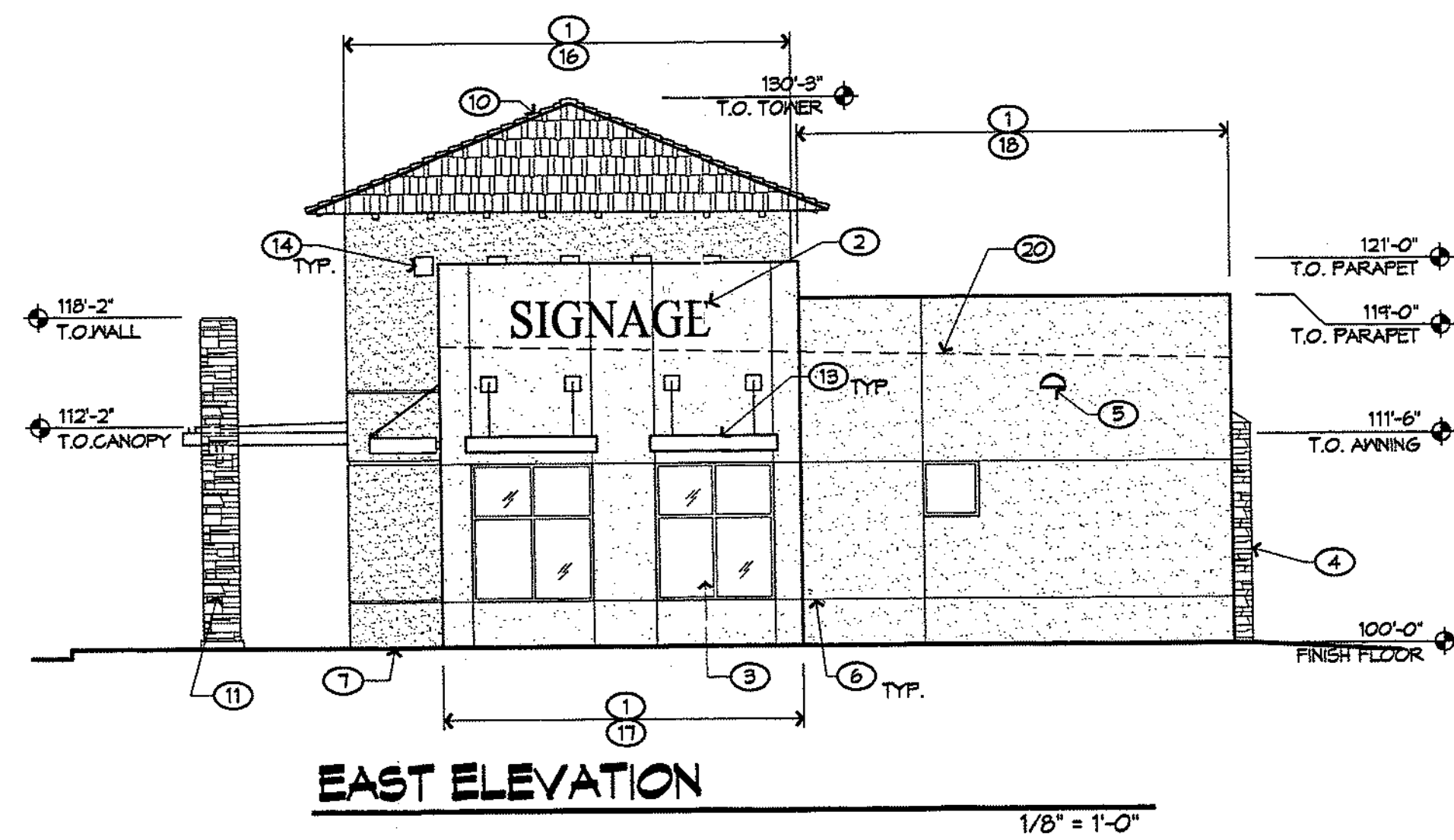
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18. 2-COAT STUCCO COLOR = TO MATCH MEDIUM TAN (BENJAMIN MOORE #HG-31)
19. 3" BRUSHED ALUMINUM BUILDING IDENTIFICATION NUMBER, FONT = NUEVA STANDARD
20. ROOF LINE BEYOND
21. TUBE STEEL CANOPY WITH METAL DECK - COLOR BENJAMIN MOORE, TATE OLIVE HG-112.



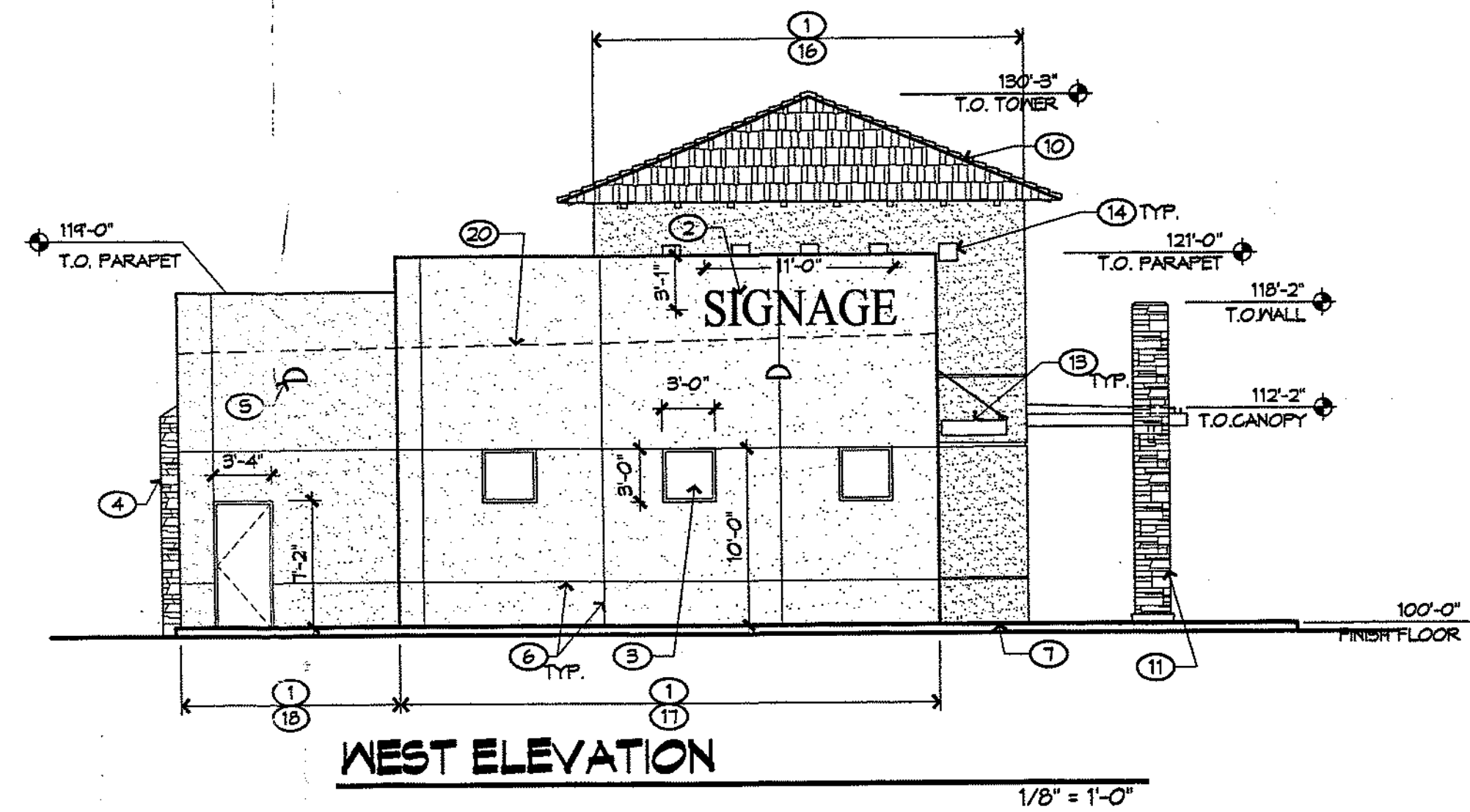
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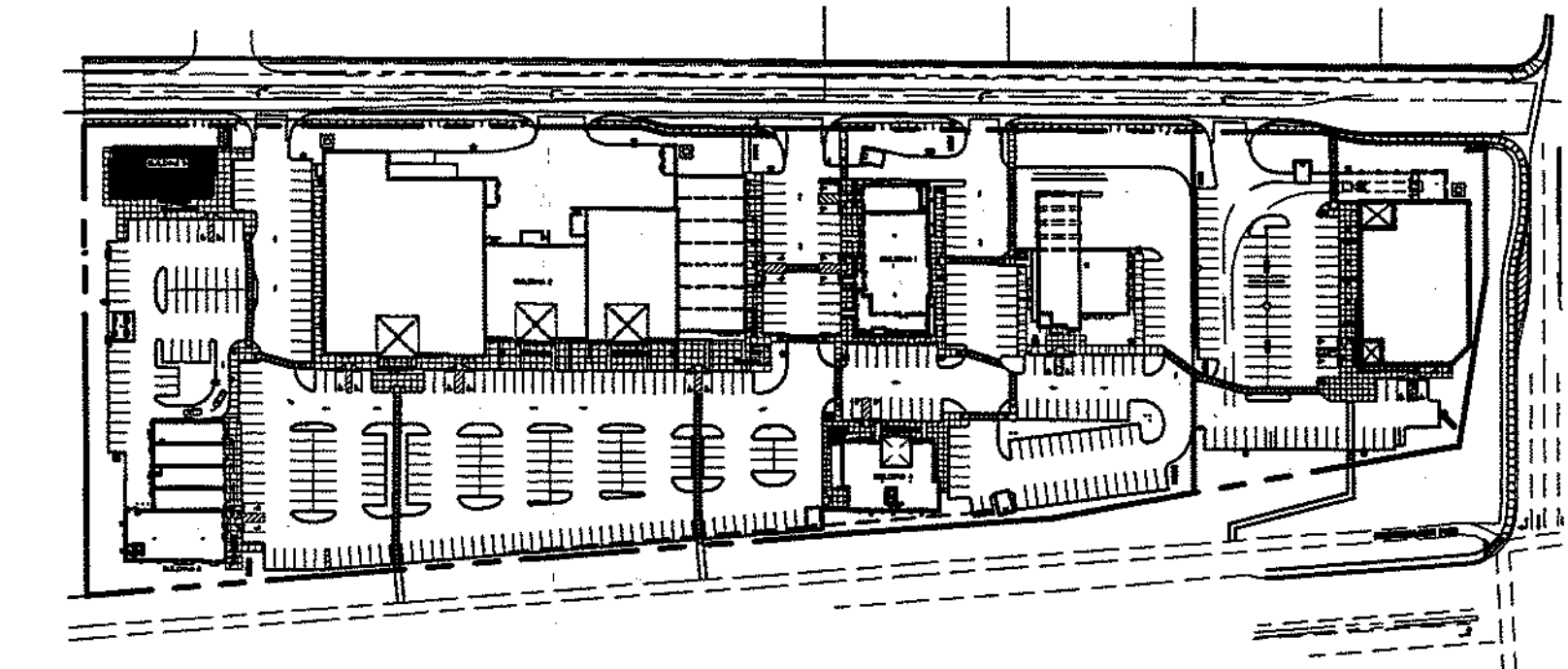
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1/8" = 1'-0"



**KEY PLAN**

N.T.S.



**Dekker/Perich/Sabatini**

architecture • interiors • planning • engineering

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EXTERIOR ELEVATIONS -

ADMINISTRATIVE  
AMENDMENT

**VENTURA PLACE - BUILDING 5**  
 HOLLY BLVD. AT VENTURA BLVD. AND PASEO DEL NORTE  
 ALBUQUERQUE, NM

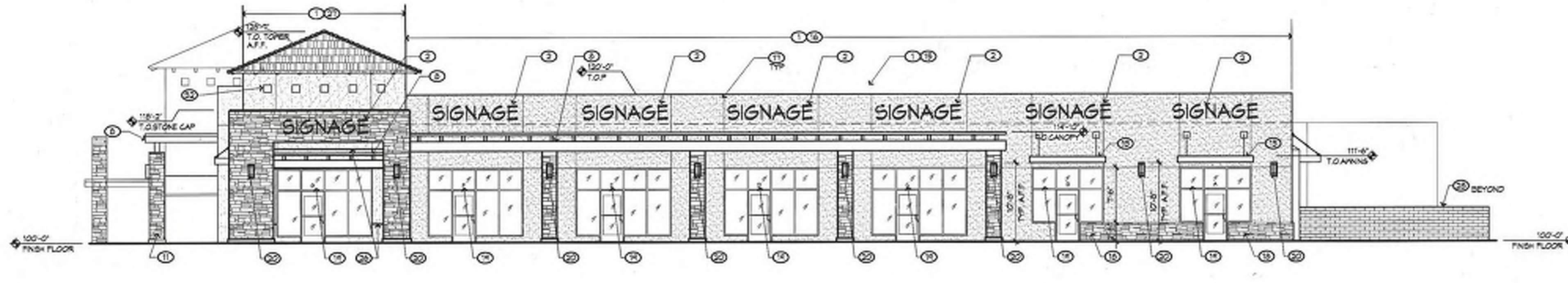


**GENERAL NOTES**

1. BUILDING MOUNTED SIGNS SHALL NOT EXCEED THE ALLOWED SQUARE FOOTAGE AS SPECIFIED IN THE C-1 ZONE.
2. SIGN BAND MOUNTED TO BUILDING TO BE PROVIDED AND INSTALLED BY TENANT SIGN CONTRACTOR. VERIFY WITH SIGN MANUFACTURER FOR LOCATIONS PER TENANT. ALL SIGNAGE TO COMPLY W/ LOCAL ORDINANCES.
3. ALL HEIGHTS GIVEN ARE ABOVE THE FINISH FLOOR OF 100'-0".

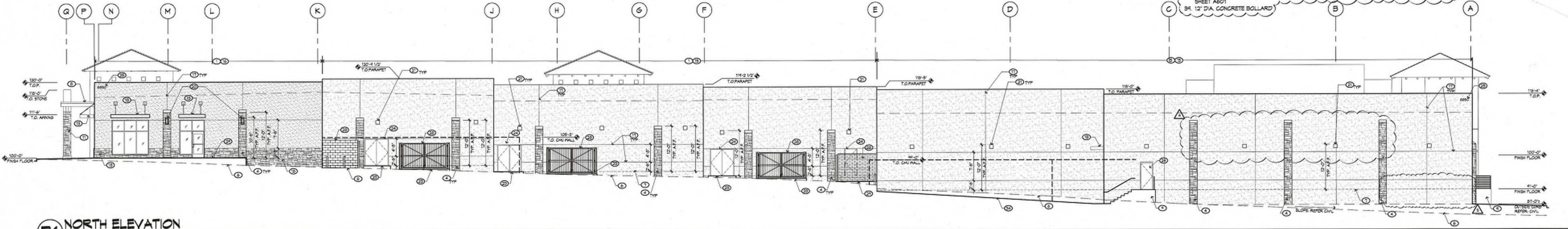
**KEYED NOTES**

1. 2-COAT STUCCO OVER 5/8" EXTERIOR GRADE SHEATHING.
2. PROVIDE J-BOX FOR FUTURE SIGNAGE, 24" MAX LETTER HT, REFER TO GENERAL NOTES 1 & 3. PROVIDE ACCESS DOOR BEHIND WALL AT STONE WALL LOCATION.
3. CLEAR ANODIZED ALUMINUM STOREFRONT FRAMING SYSTEM W/ LOW-E GLAZING.
4. STACKED STONE PLASTER (ELDORADO STONE, STYLE CASTANAY) W/ PRE-MANUFACTURED STONE CAP. SEE DETAIL A3/A4/4.
5. 2-COAT STUCCO OVER CMU.
6. GRADE, REF TO CIVL DRAWINGS.
7. FINISH FLOOR LINE.
8. TUBE STEEL CANOPY W/METAL DECK, PAINT COLOR = TATE OLIVE (BENJAMIN MOORE # HG-112).
9. CONCRETE STAIRS OR RAMP, REF. TO A002.
10. CEMENTITIOUS ROOF TILES (MONER LIFETIME, 15X25 4475; COLOR PRINCE GREEN G/T).
11. STACKED STONE COLUMN OR WALL (ELDORADO STONE, STYLE CASTANAY) W/ PRE-MANUFACTURED STONE CAP.
12. OPENING IN STACKED STONE WALL.
13. STEEL CANOPY AND TIE BACK BRACINGS. SEE STRUCTURAL DRAWINGS, COLOR: BENJAMIN MOORE HG-112 TATE OLIVE.
14. STUCCO SOFFIT SAME COLOR AS TOWER LESS.
15. STUCCO COLOR TO MATCH STO 101003 (BROWN).
16. STUCCO CONTROL JOINT.
17. STACKED STONE VENEER OVER THIN SET MORTAR ON 5/8" EXTERIOR GRADE SHEATHING.
18. 6" WHITE VINYL ADDRESS LETTERING (SUITE LETTER).
20. EXTERIOR WALL SOUNGE, REF. ELECTRICAL.
21. EXTERIOR WALL PACK, REF. ELECTRICAL.
22. EXTERIOR CONCEALED LANDSCAPE LIGHT, REF. ELECTRICAL.
23. CONCRETE PAD, SEE A002.
24. PAINT HOLLOW METAL DOOR AND FRAME TO MATCH ADJACENT STUCCO.
25. 8" BRUSHED ALUMINUM BUILDING IDENTIFICATION NUMBER (B050).
26. METAL SCREED CHANNEL, REVEALS, TYPICAL AROUND ALL TOWER FACADES, RE: B5/A414.
27. STUCCO COLOR TO MATCH BENJAMIN MOORE HG-91 (MEDIUM BROWN).
28. TRASH ENCLOSURE, REF. TO A002.
29. CONCRETE PAD.
30. PLASTER, REF. TO A002 AND L1.
31. 2-COAT STUCCO OVER BARS.
32. CLERESTORY WINDOW.
33. ROOF LINE.
34. LOADING DOCK RAMP.
35. PROVIDE J-BOX FOR FUTURE SIGNAGE AND ACCESS DOOR BEHIND WALL. INDIVIDUAL SIGN LETTER HEIGHTS ARE PER VARIANCE GRANTED ON 5-25-07 BY THE ZONING HEARING OFFICER FOR THIS SIGN ONLY. TOP LINE 32" HIGH, BOTTOM LINE 25" HIGH.
36. STACKED STONE PLASTER. SEE DETAIL A3/A4/4.
37. 12" X 12" TILE BACKGROUND, COLOR TO BE DETERMINED BY ARCHITECT.
38. CLERESTORY WINDOWS ON SOUTH AND WEST FACADES ONLY, THIS TOWER, SEE DETAIL C5 AND D5. SHEET A301.
39. 12" DIA. CONCRETE BOLLARD.



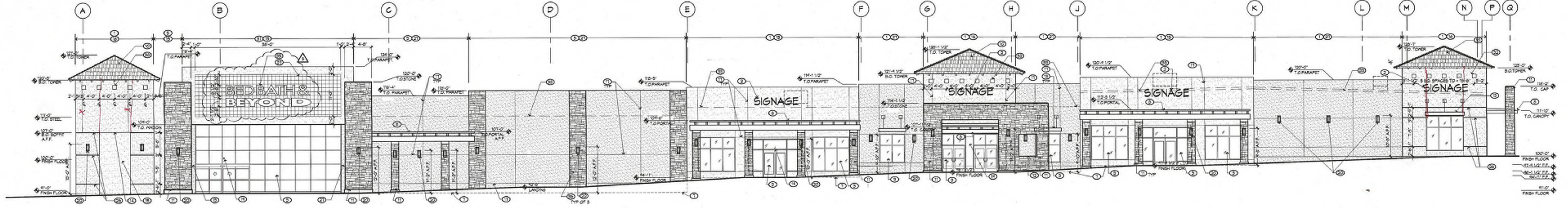
**A1 EAST ELEVATION**

3/32" = 1'-0"



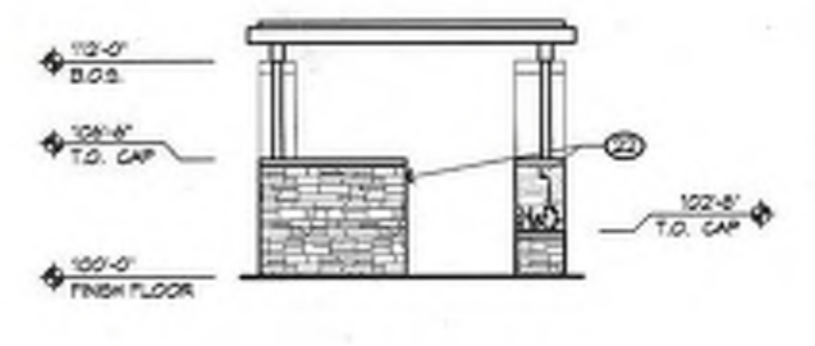
**B1 NORTH ELEVATION**

3/32" = 1'-0"



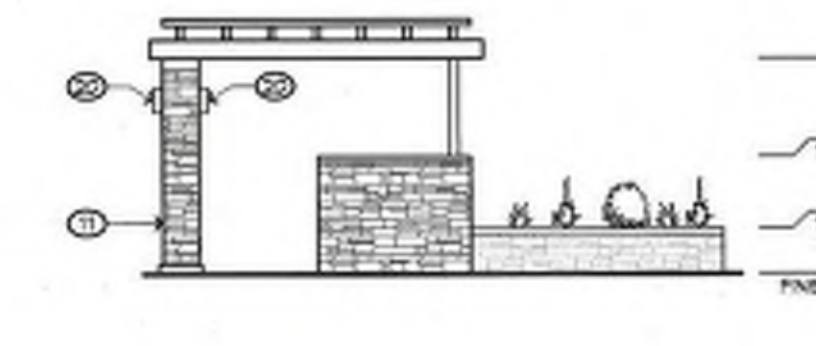
**D1 SOUTH ELEVATION**

3/32" = 1'-0"



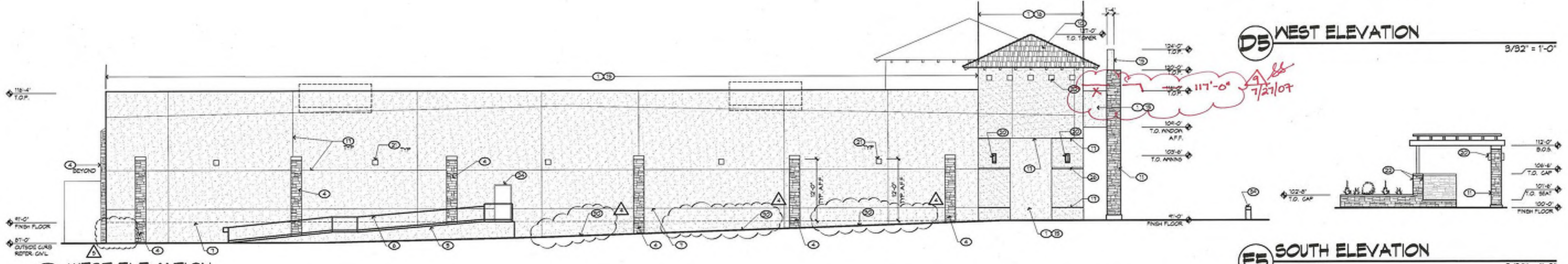
**D5 WEST ELEVATION**

3/32" = 1'-0"



**D6 NORTH ELEVATION**

3/32" = 1'-0"



**E5 SOUTH ELEVATION**

3/32" = 1'-0"



**E6 EAST ELEVATION**

3/32" = 1'-0"

**REVISIONS**

06/18/05	Permit Revisions
8/4/07	REVISIONS PER OWNER
5/15/07	CONSTRUCTION REVISIONS
6/12/07	CONSTRUCTION REVISIONS
7/21/07	ASI #19

DRAWN BY  
REVIEWED BY  
DATE 6/30/05  
PROJECT NO. 08002.006  
DRAWING NAME  
**EXTERIOR ELEVATIONS**

Albuquerque Building & Safety  
JUN 29 2007  
I.B.C. Plan Check Section