

**LEGEND**

---	BOUNDARY LINE
---	EXISTING ROW
---	PROPOSED ROAD CENTER LINE
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	BUILDING SETBACK LINE
○	PARKING SPACE COUNT
R	ADA RAMP
4	PROPOSED SIGN
4 ADA	PROPOSED ACCESSIBLE PARKING SPACE SIGN
4 S	PROP. STOP SIGN
BC	DIMENSION TO BACK OF CURB
PL	DIMENSION TO PROPERTY LINE
EP	DIMENSION TO EDGE OF PAVEMENT
B	DIMENSION TO BUILDING
□	PROPOSED LIGHT POLE/WALL PACK LIGHT
○	EXISTING LIGHT POLE
▨	PROPOSED REINFORCED CONCRETE PAVEMENT SEE DETAIL SHEET COB.1
▨	PROPOSED CONCRETE SIDEWALK SEE DETAIL SHEET COB.1
▨	PROPOSED STANDARD DUTY ASPHALT PAVEMENT SEE DETAIL SHEET COB.1

- NOTES:**
- SEE SHEET COB.0 FOR CONSTRUCTION NOTES.
  - ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL RADI ARE 3.0' UNLESS OTHERWISE NOTED.
  - REFER TO ARCHITECTURAL PLANS FOR SITE LIGHTING ELECTRICAL PLANS.
  - ALL STRIPING SHALL BE 4" YELLOW PAINT UNLESS OTHERWISE NOTED. ALL STRIPING SHALL BE APPLIED WITH TWO COATS OF PAINT AT MANUFACTURER'S RECOMMENDED RATE. REFERENCE SHEET COB.2 FOR SPECIFICATIONS.

**SITE DATA**

EXISTING SITE AREA	2.72 ACRES
PROPOSED SITE AREA	2.72 ACRES (118,435 SF)
BUILDING AREA	5,630 SF

CURRENT ZONING DISTRICT **MIXED USE - MODERATE INTENSITY (MX-M)**

\*FUEL USE IS PERMITTED BY RIGHT IN CURRENT ZONING DISTRICT

BUILDING SETBACK	REQUIRED	PROVIDED
FRONT (WEST)	15'	144'
SIDE (NORTH)	15'	137'
SIDE (SOUTH)	15'	144'
REAR (EAST)	15'	72'

**PARKING DATA**

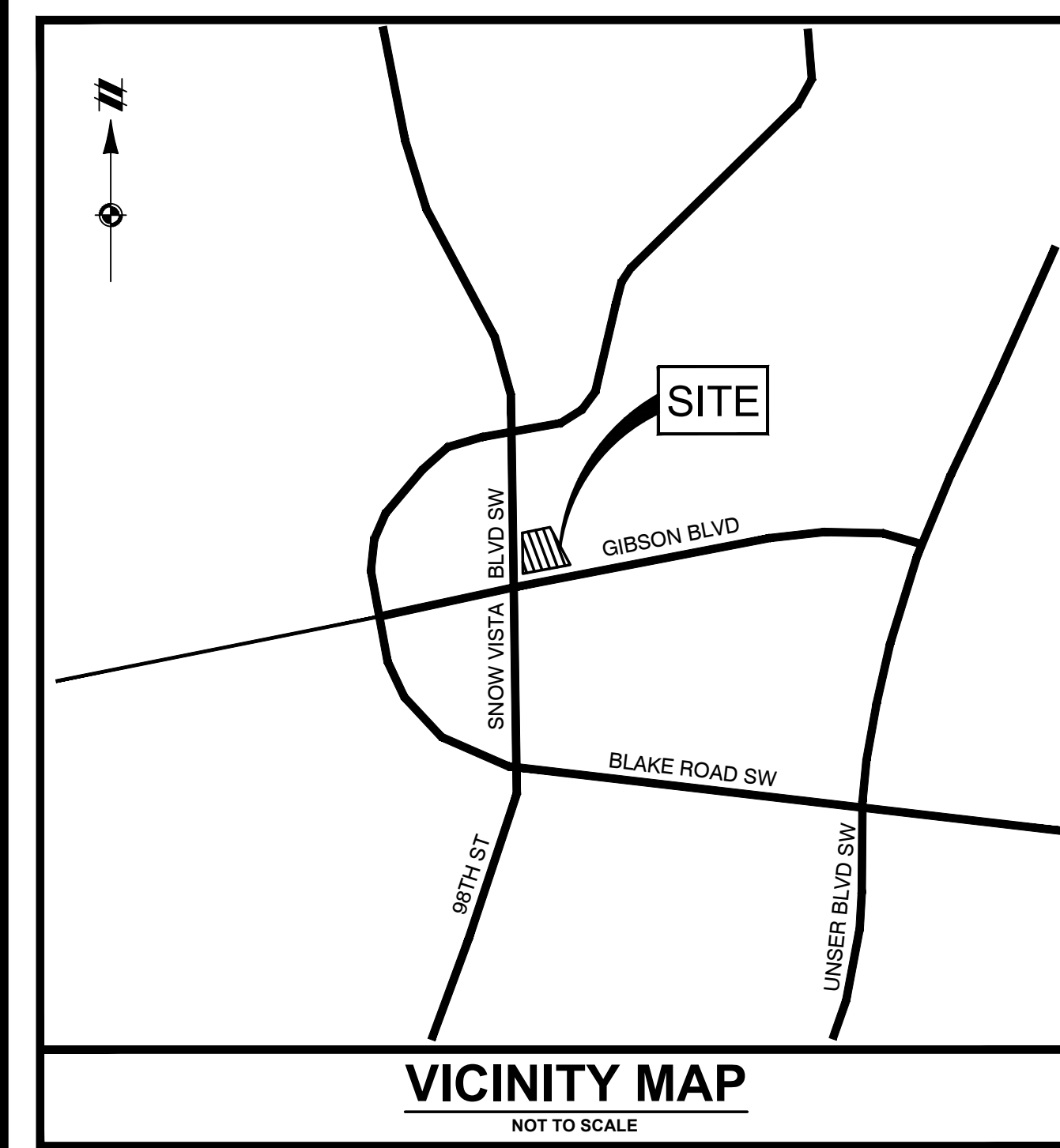
REQUIRED	24*
PROVIDED BUILDING SPACES	25**
PROVIDED PUMP SPACES	20
TOTAL	45
BIKE SPACES PROVIDED	3
*4 SPACES PER 1,000 SQUARE FEET BUILDING AREA	
**20 STANDARD SPACES, 4 COMPACT SPACES (MAX 25%)	
1 MOTORCYCLE SPACE	

**ADA SPACES**

PROVIDED	2
----------	---

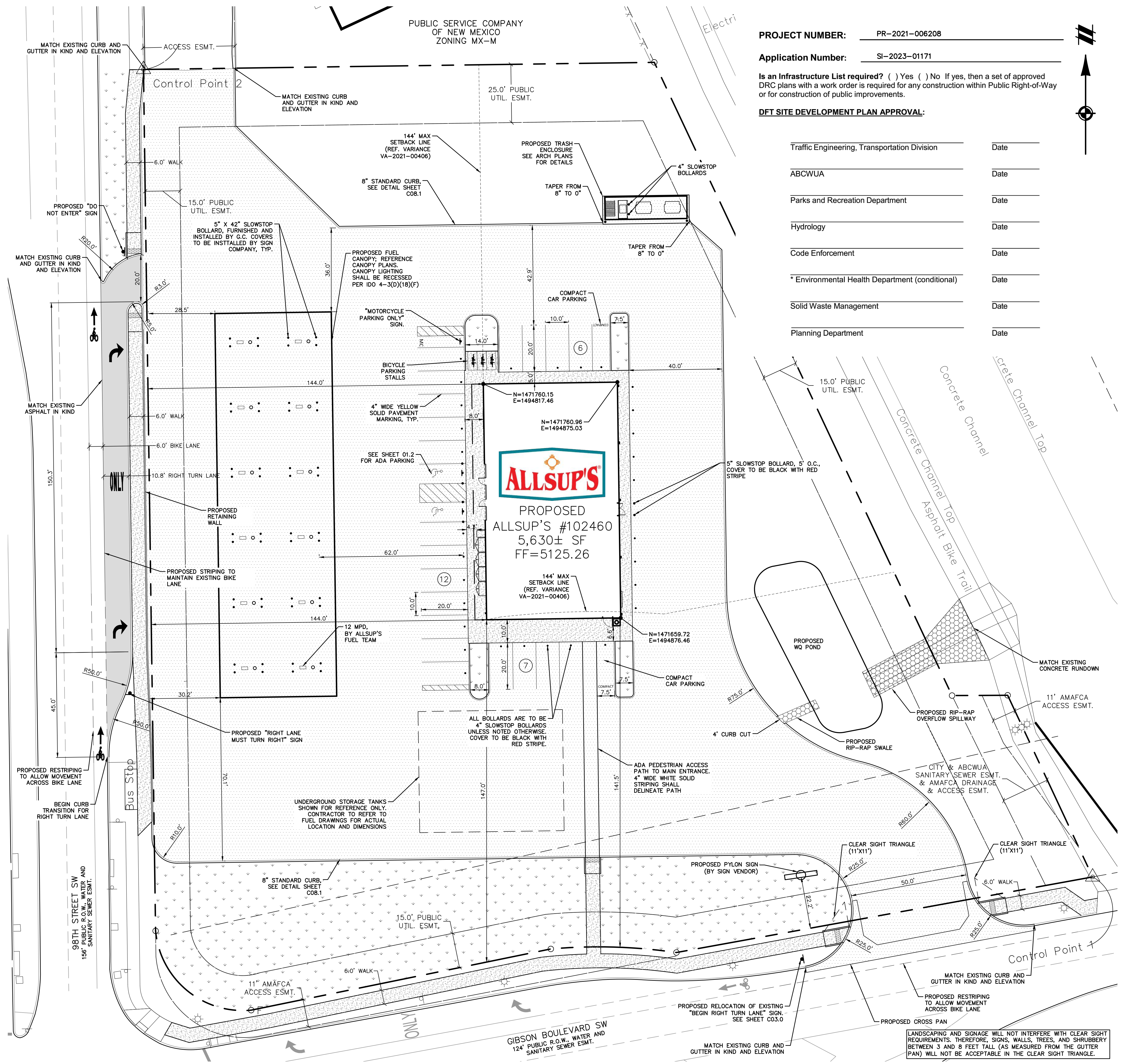
**PAVEMENT DATA**

- CONCRETE - 76,560 SF



**BASIS OF BEARING**

THE BASIS OF BEARINGS IS BETWEEN THE SE CORNER OF TRACT E-5-A-2 AND USC&GS BRASS CAP "TRANS 1969" AS MEASURED WITH THE "TRIMBLE VRS NOW" GNSS VIRTUAL REFERENCE SYSTEM. BEARINGS ARE NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE, NAD 83. DISTANCE ARE GROUND DISTANCES. ELEVATION DATUM IS NAVD88



**PROJECT NUMBER:** PR-2021-006208

**Application Number:** SI-2023-01171

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

**811**  
Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2023 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

**ATWELL**  
866.850.4200 www.atwell-group.com  
143 UNION BOULEVARD, SUITE 700  
LAKEWOOD, CO 80228  
303.462.1100

SECTION 28  
TOWNSHIP 10 NORTH, RANGE 3 EAST  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC  
ALLSUP'S CONVENIENCE STORE #102460  
9501 GIBSON BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121  
FINAL ENGINEERING PLANS  
SITE LAYOUT PLAN

DATE: 9/8/2023

REVISIONS

**CHRISTINE SWEENEY**  
Professional Engineer  
09/08/23

SCALE: 0 15 30  
1" = 20 FEET

DR. KJK | CH. CBS  
P.M. D. MADRUGA  
BOOK: --  
JOB: 22003692  
SHEET NO.: 10  
CAD FILE: 22003692-01.0.DWG

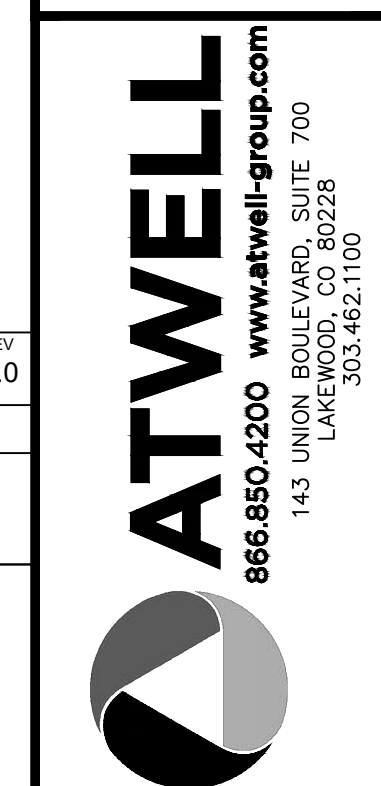


Know what's below.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR...

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR...

COPYRIGHT © 2023 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

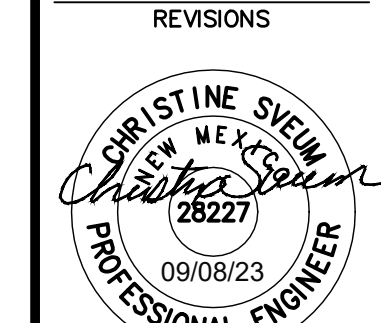


SECTION 28 TOWNSHIP 10 NORTH, RANGE 3 EAST CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC ALLSIP'S CONVENIENCE STORE #102460 9501 GIBSON BLVD SW ALBUQUERQUE, NEW MEXICO 87121 FINAL ENGINEERING PLANS CONSTRUCTION DETAILS

DATE: 9/8/2023

Table with 2 columns: REVISIONS, and empty rows for revision notes.



DR. KJK | CH. CBS P.M. D. MADRUGA BOOK -- JOB 22003692 SHEET NO. 11

CAD FILE: 22003692-01-2.DWG

NOTE: ALL SIGN PANELS SHALL BE PROVIDED BY CLOVIS SIGN SERVICE...

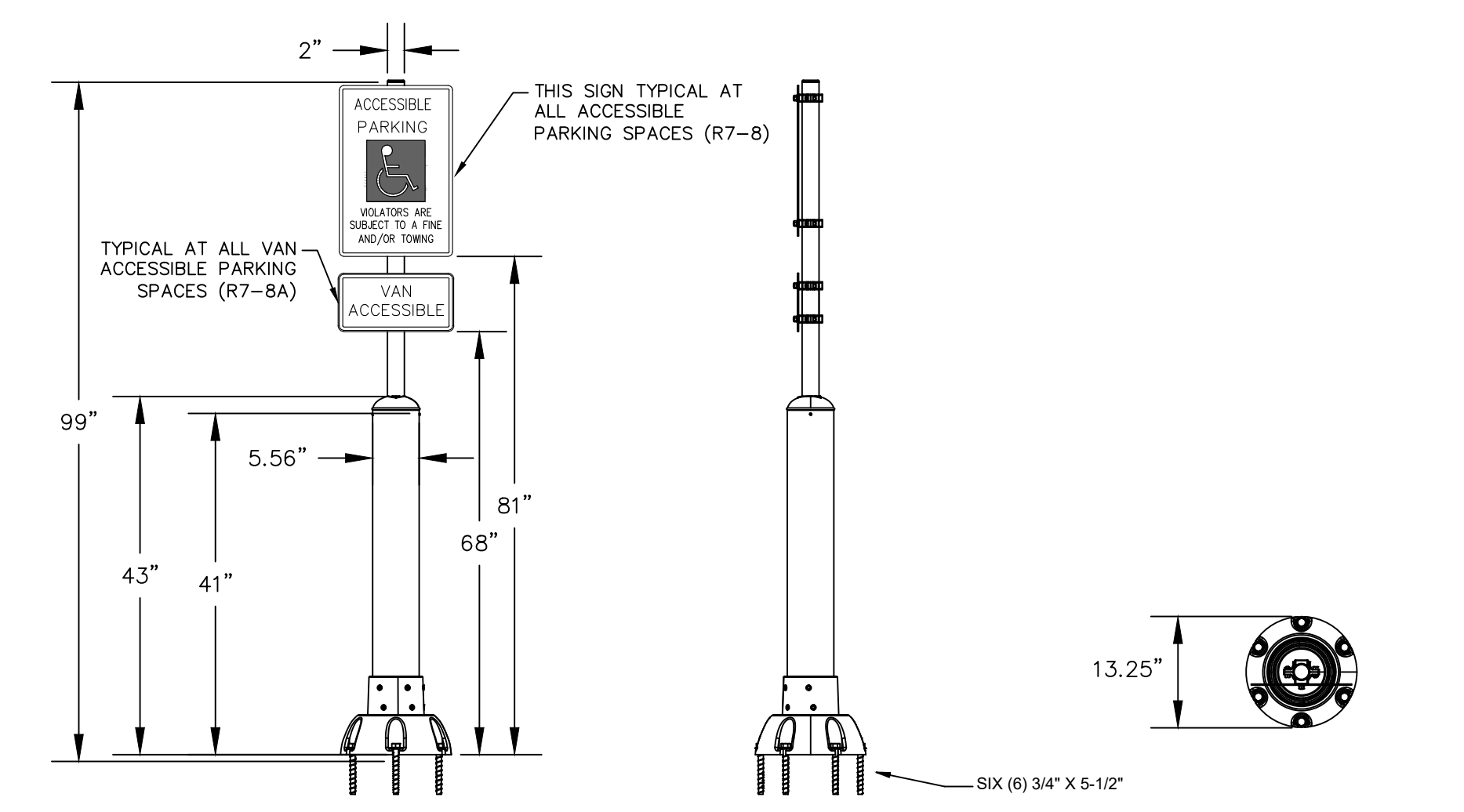


Table with columns: CONFIDENTIAL & PROPRIETARY, SIZE, PART NO., DWG., SLOWSTOP 5' STOREFRONT BOLLARD SIGNPOST, REV. 1.0

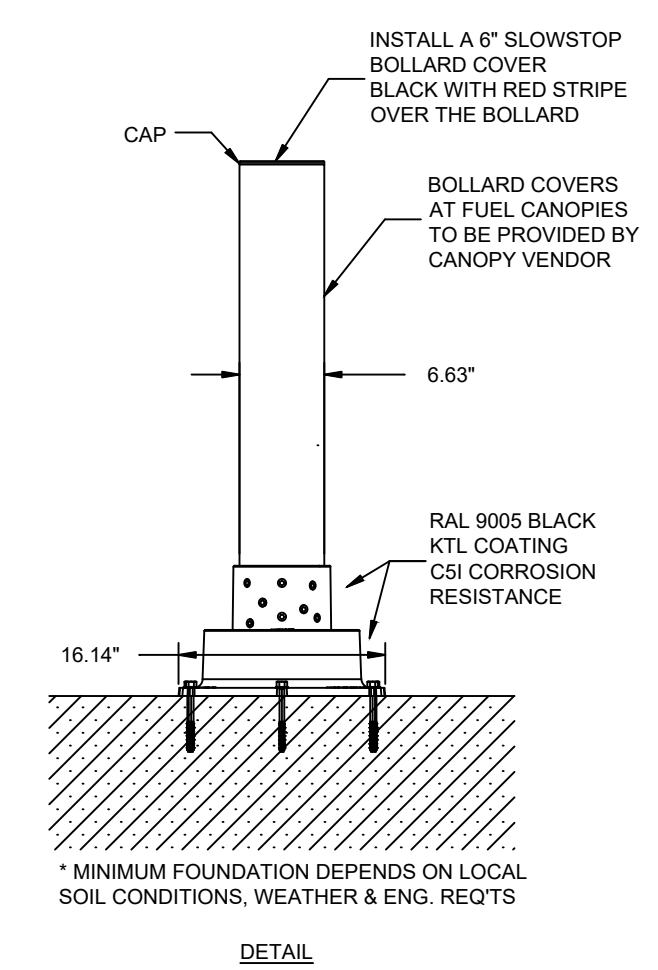


Table with columns: CONFIDENTIAL & PROPRIETARY, SIZE, PART NO., DWG., SLOWSTOP BOLLARD - n-6.63" X 42", REV. 1.0

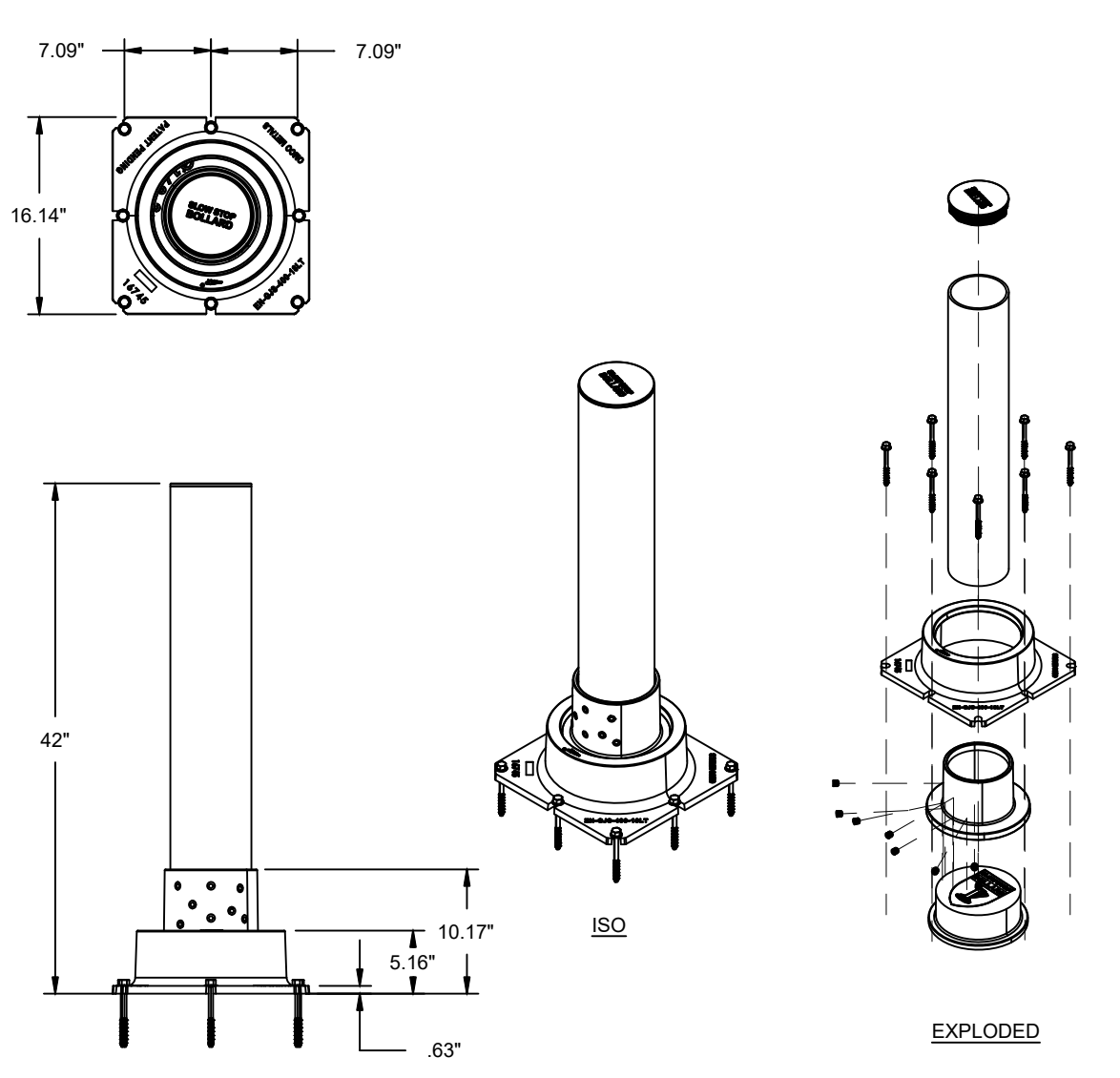
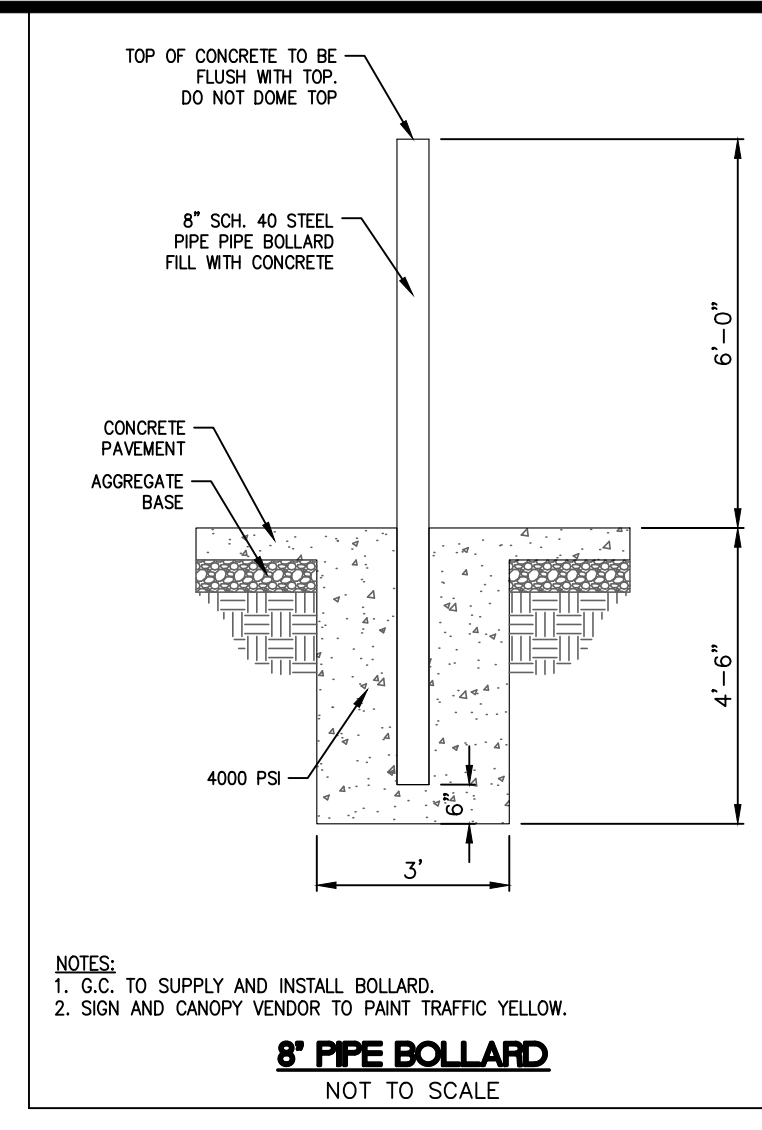


Table with columns: CONFIDENTIAL & PROPRIETARY, SIZE, PART NO., DWG., SLOWSTOP BOLLARD - n-6.63" X 42", REV. 1.0

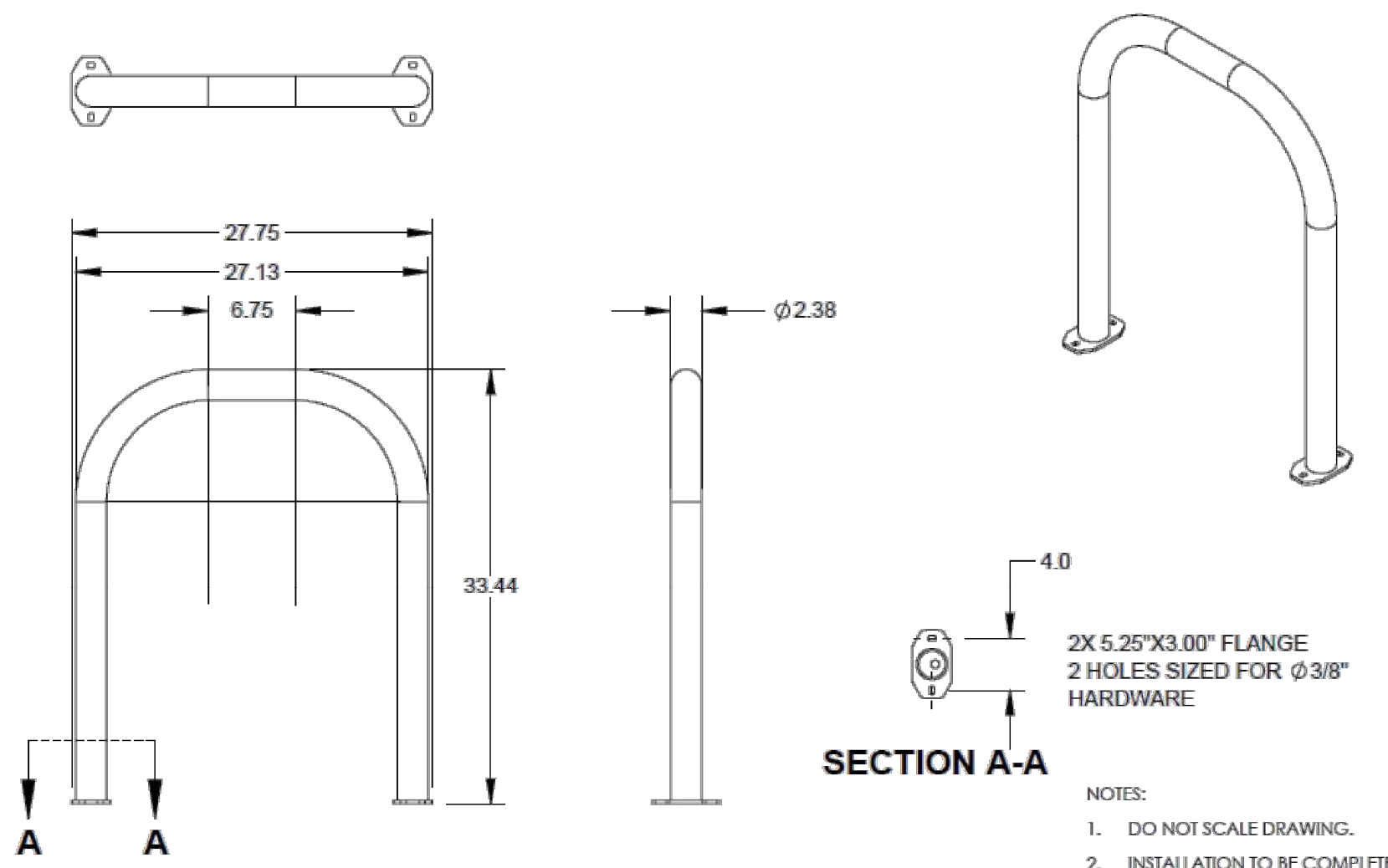


NOTES: 1. G.C. TO SUPPLY AND INSTALL BOLLARD. 2. SIGN AND CANOPY VENDOR TO PAINT TRAFFIC YELLOW. 8' PIPE BOLLARD NOT TO SCALE

Spec Sheet



2-Bike Inverted-U Heavy-Duty Bike Rack Model: 116-1009 (Surface Mount)



- NOTES: 1. DO NOT SCALE DRAWING. 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3. TOTAL WEIGHT: 26.4 LBS

The Park Catalog 220 Congress Park Dr. Suite 215 Delray Beach, FL 33445 | 800-695-3503 | theparkcatalog.com

5' SLOWSTOP BOLLARD SIGNPOST NOT TO SCALE

NOTE: ALL SIGN PANELS SHALL BE PROVIDED BY CLOVIS SIGN SERVICE...

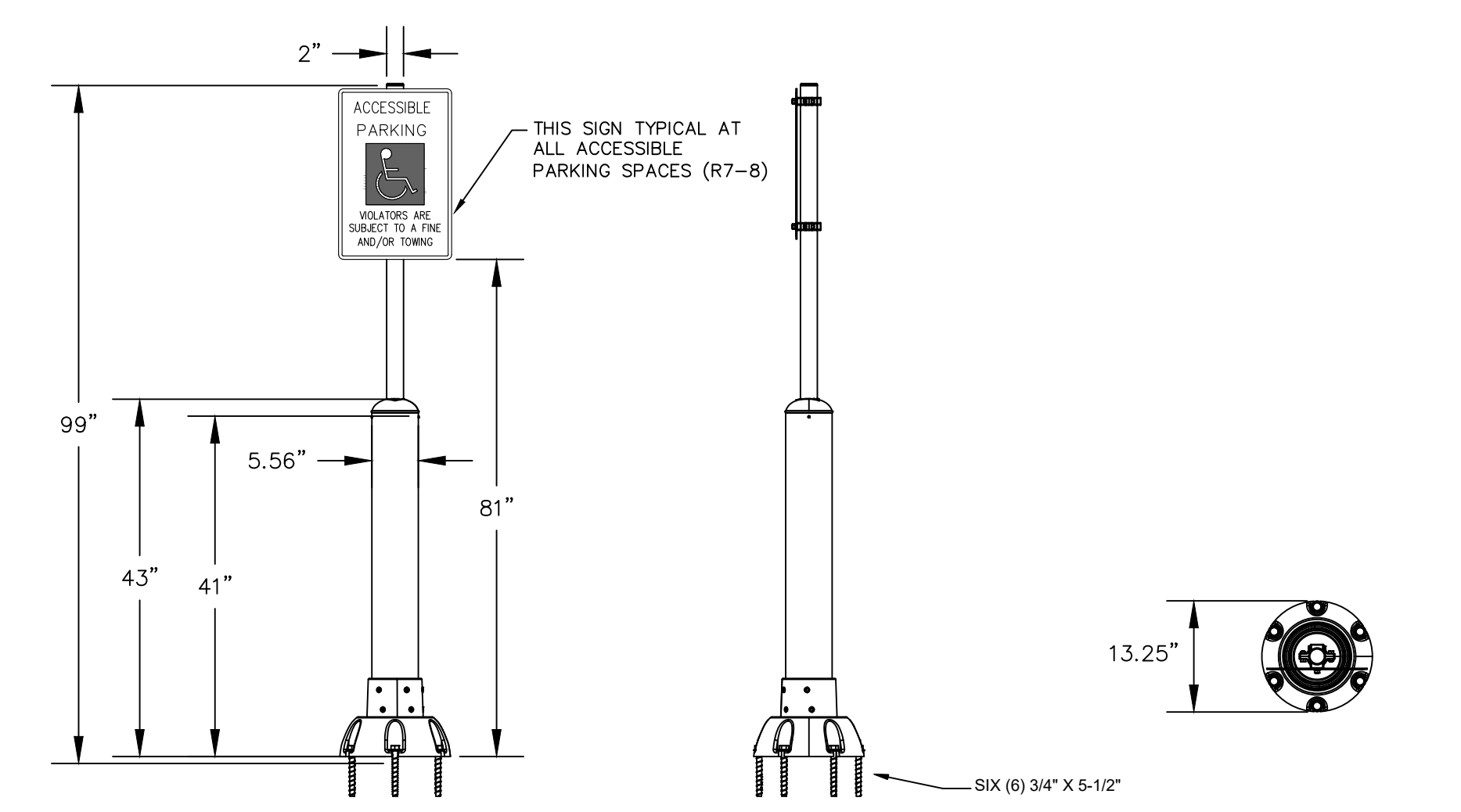


Table with columns: CONFIDENTIAL & PROPRIETARY, SIZE, PART NO., DWG., SLOWSTOP 5' STOREFRONT BOLLARD SIGNPOST, REV. 1.0

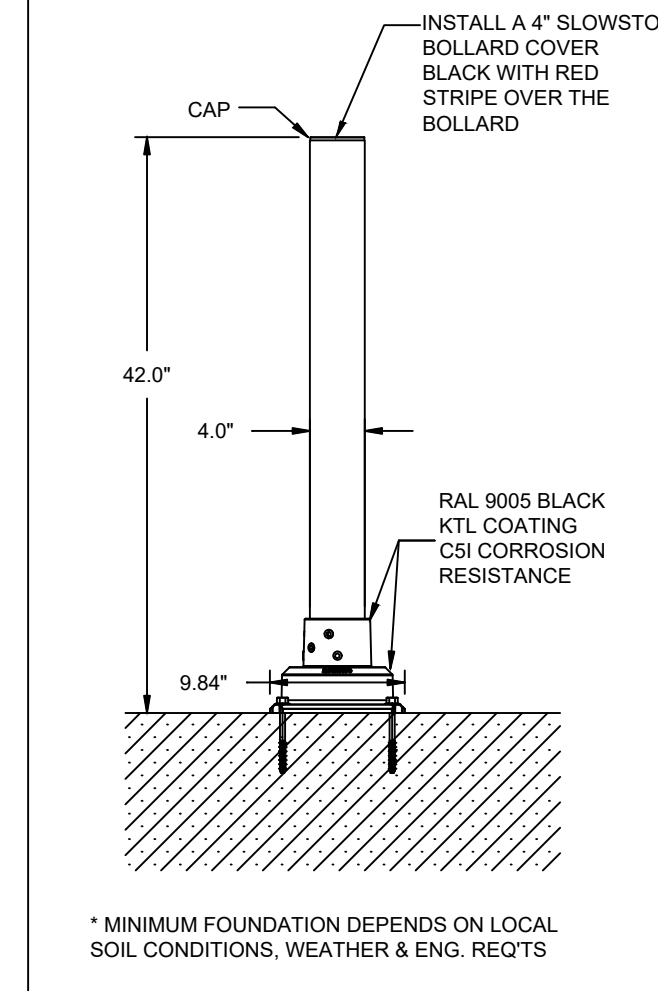


Table with columns: CONFIDENTIAL & PROPRIETARY, SIZE, PART NO., DWG., SLOWSTOP BOLLARD - n-4" X 42", REV. 2.0

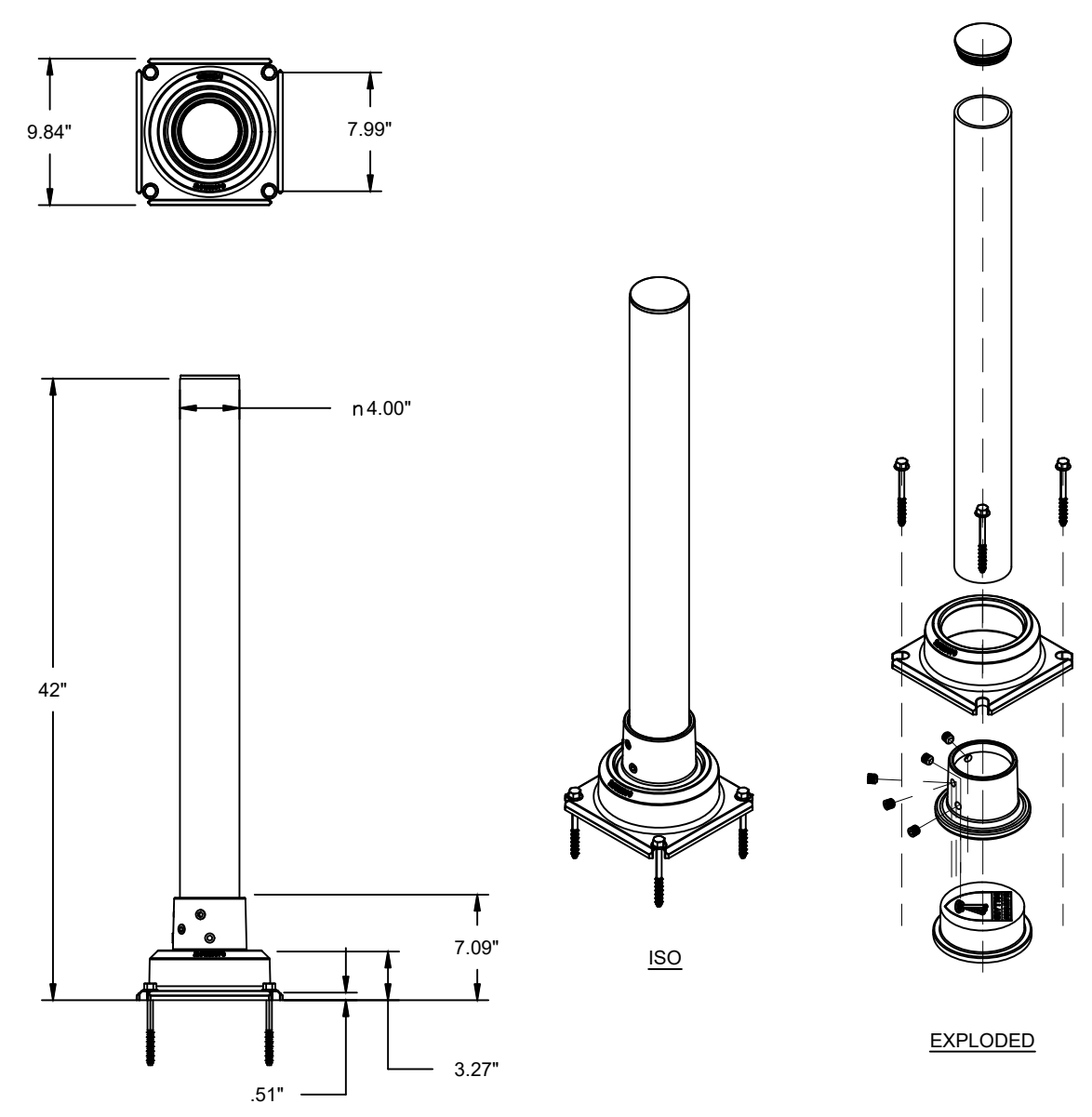
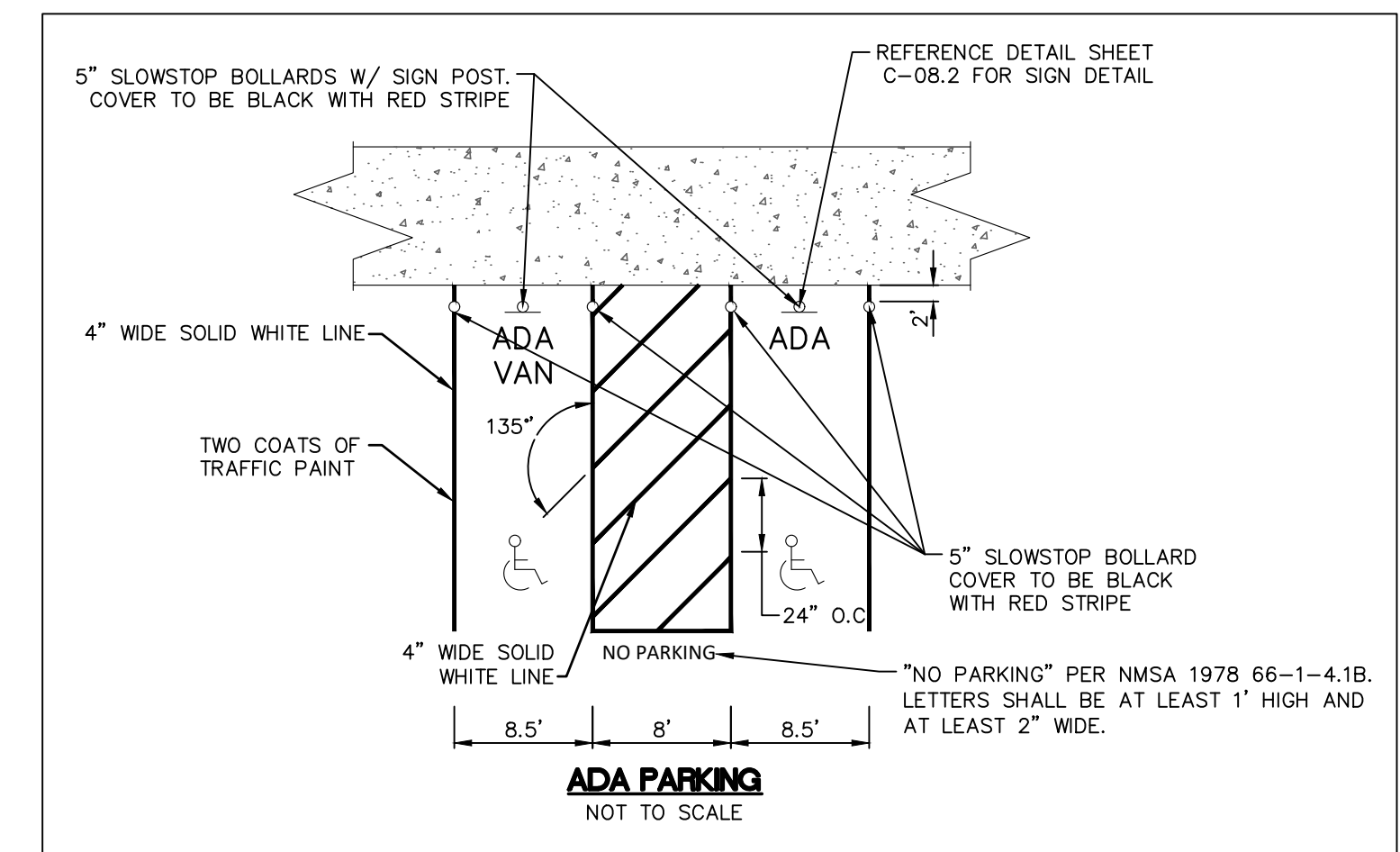
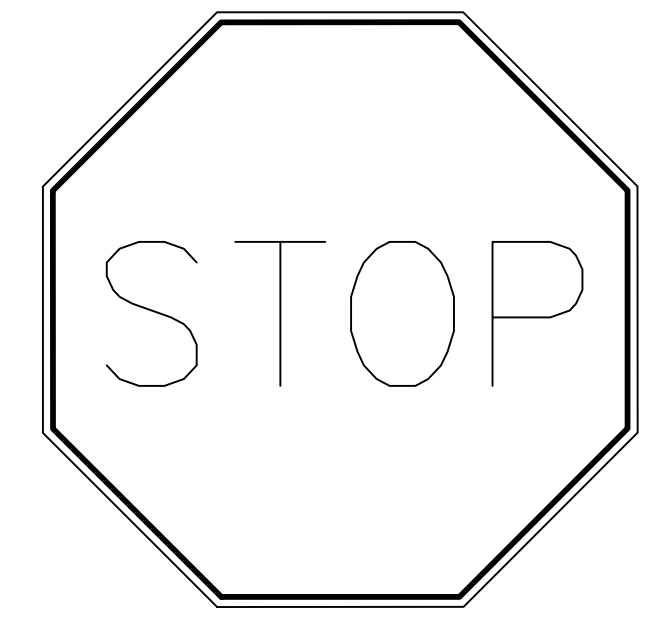


Table with columns: CONFIDENTIAL & PROPRIETARY, SIZE, PART NO., DWG., SLOWSTOP BOLLARD - n-4" X 42", REV. 2.0

4' SLOWSTOP BOLLARD NOT TO SCALE



R6-1L NTS



R1-1 30"x30" NTS

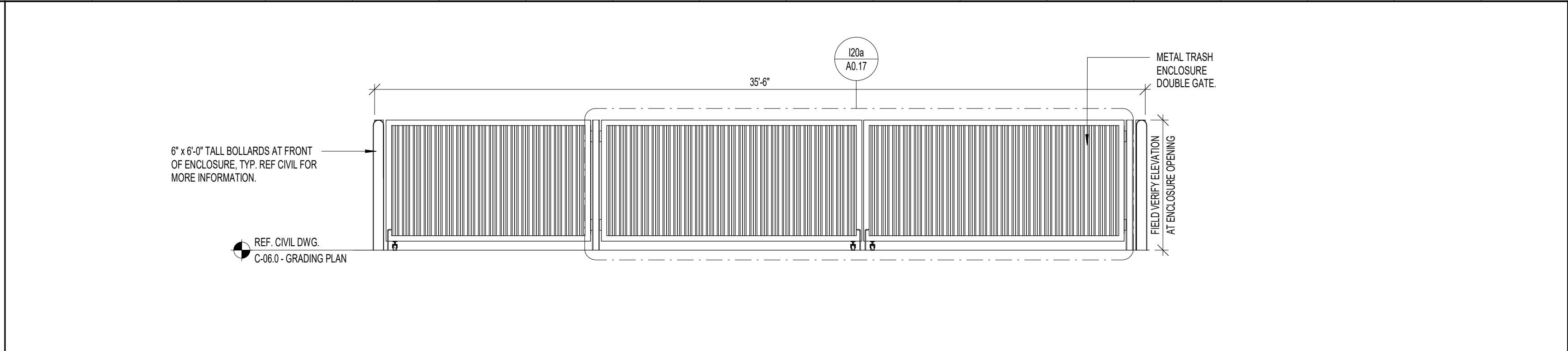


MOTORCYCLE PARKING ONLY-SIGN 12"x18" NTS

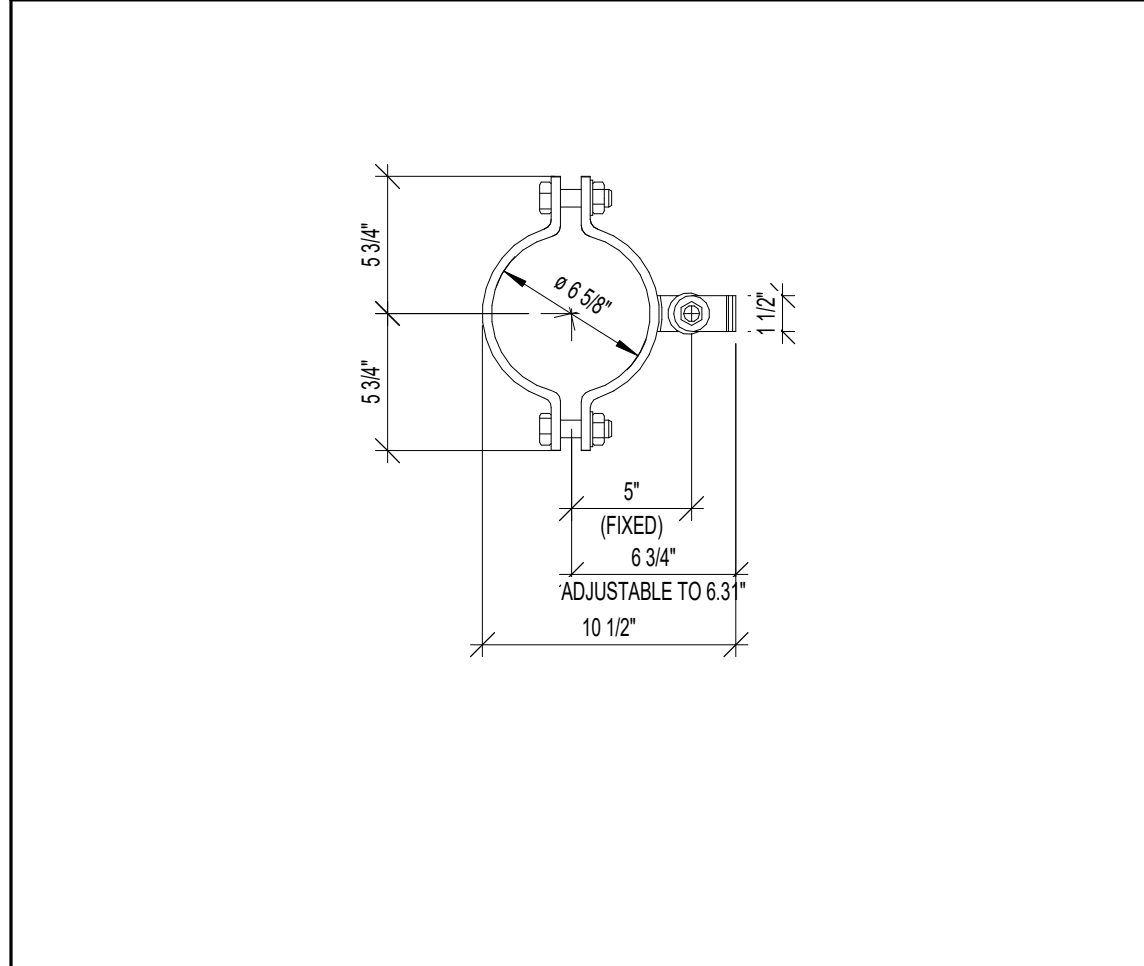
5:12203692-01.DWG

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37

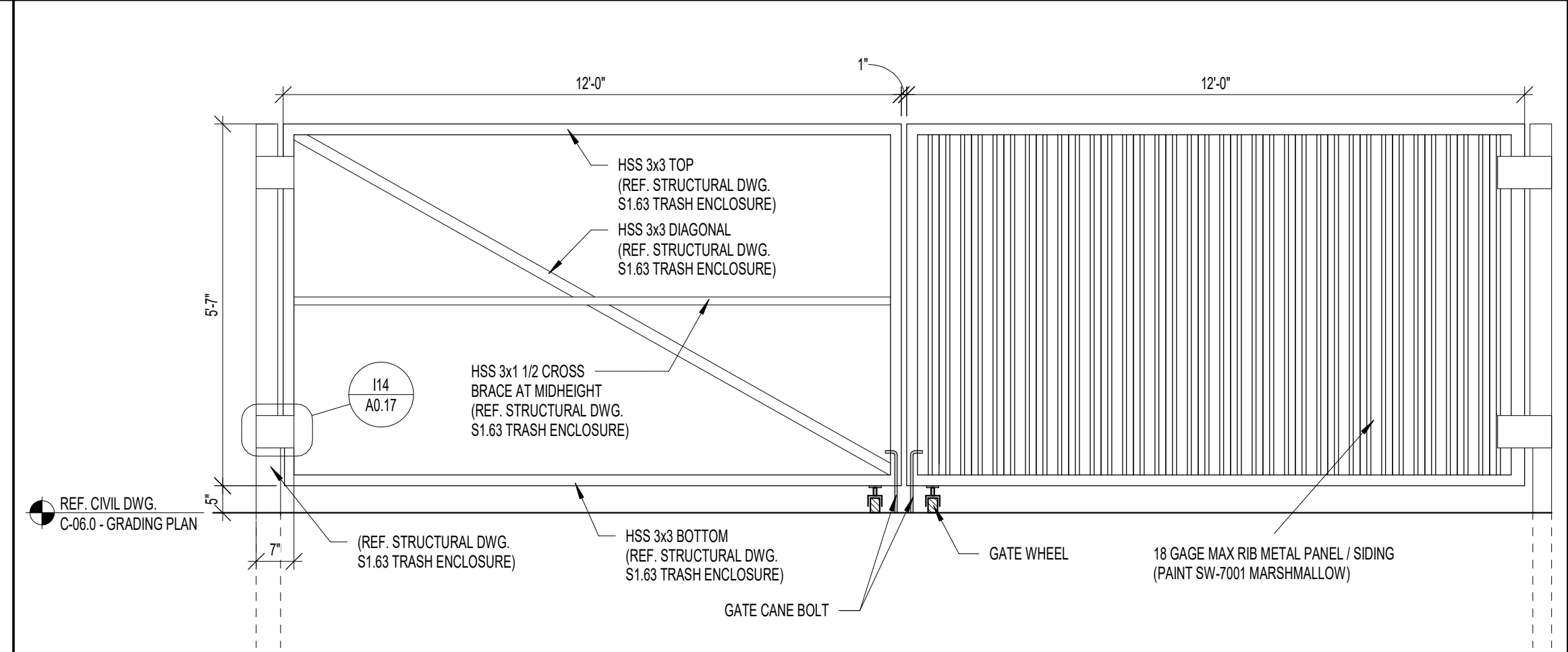
N  
M  
L  
K  
J  
I  
H  
G  
F  
E  
D  
C  
B  
A



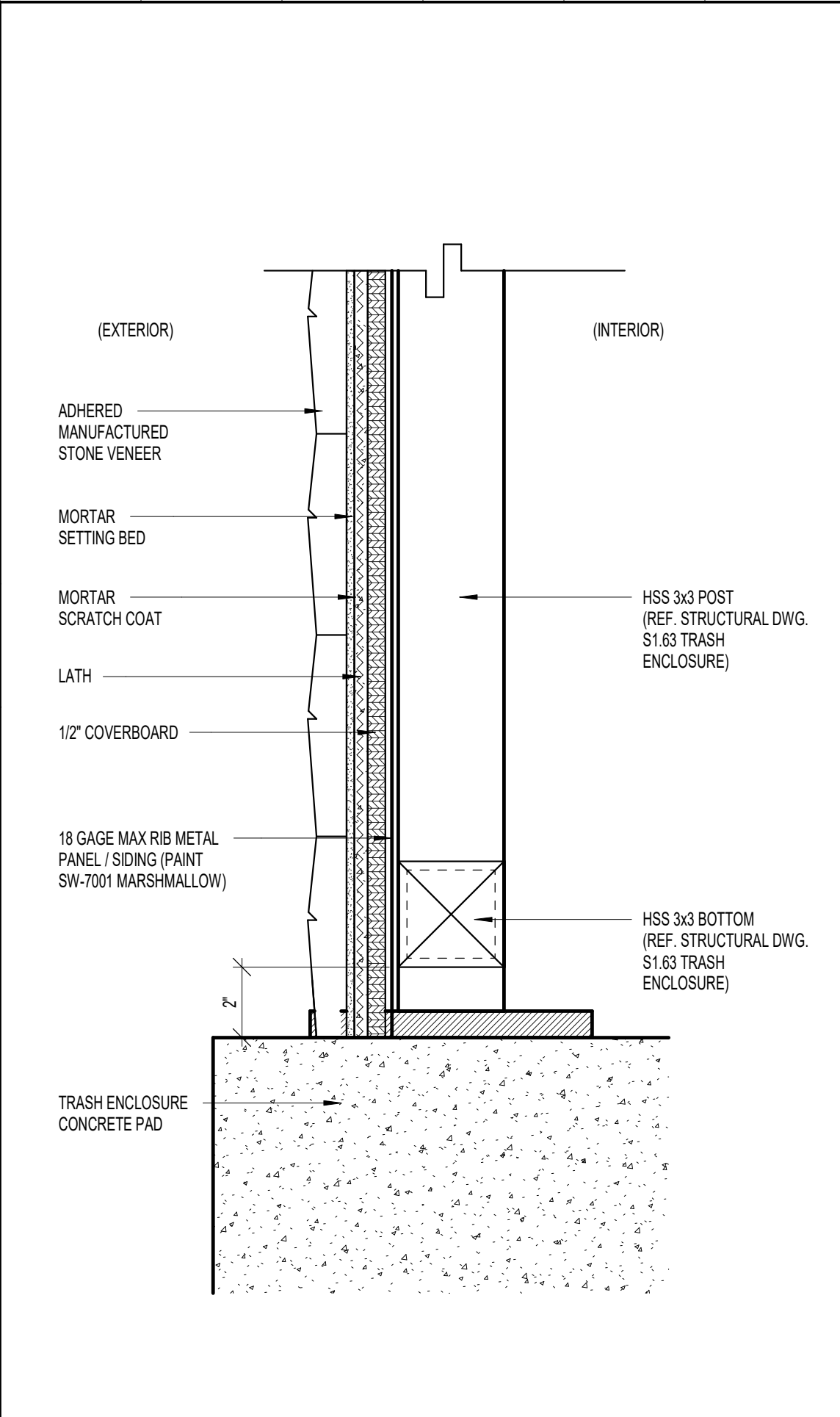
**L14** SCALE 1/4" = 1'-0"  
**SOLID WASTE ENCLOSURE GATE - FRONT ELEVATION**



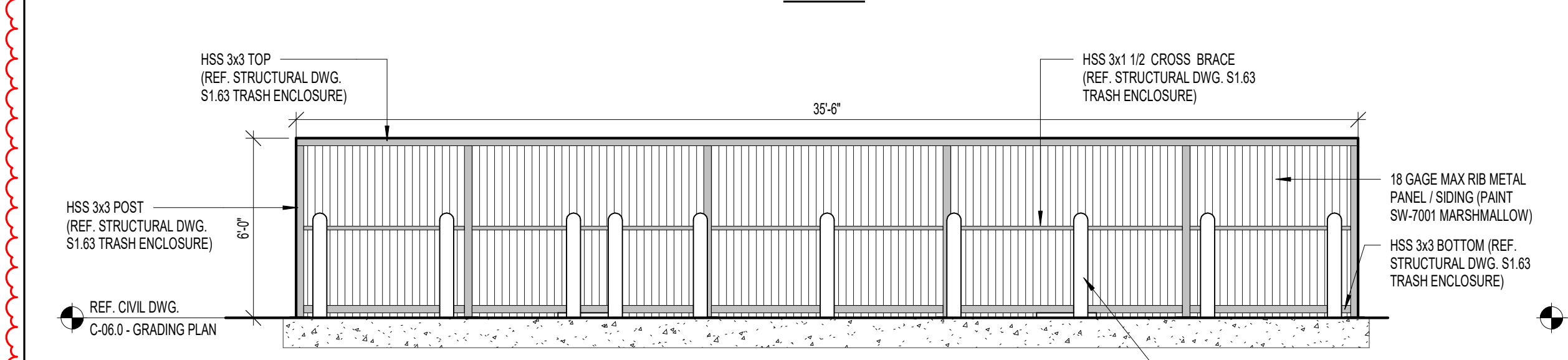
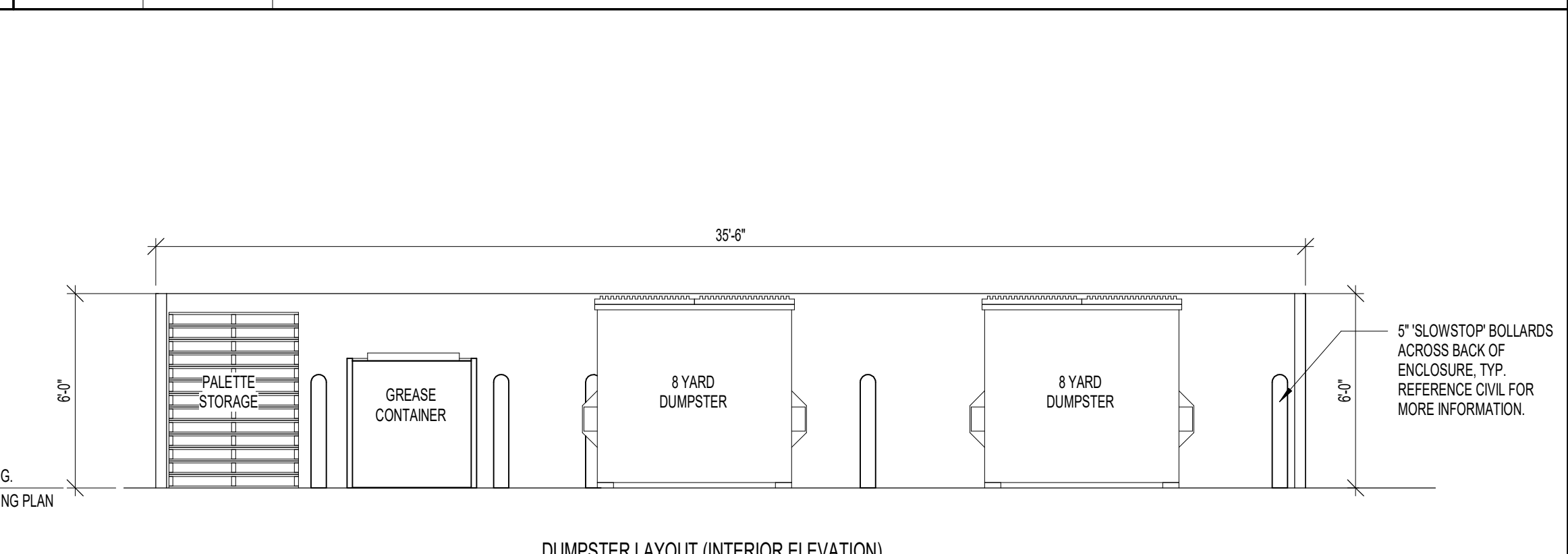
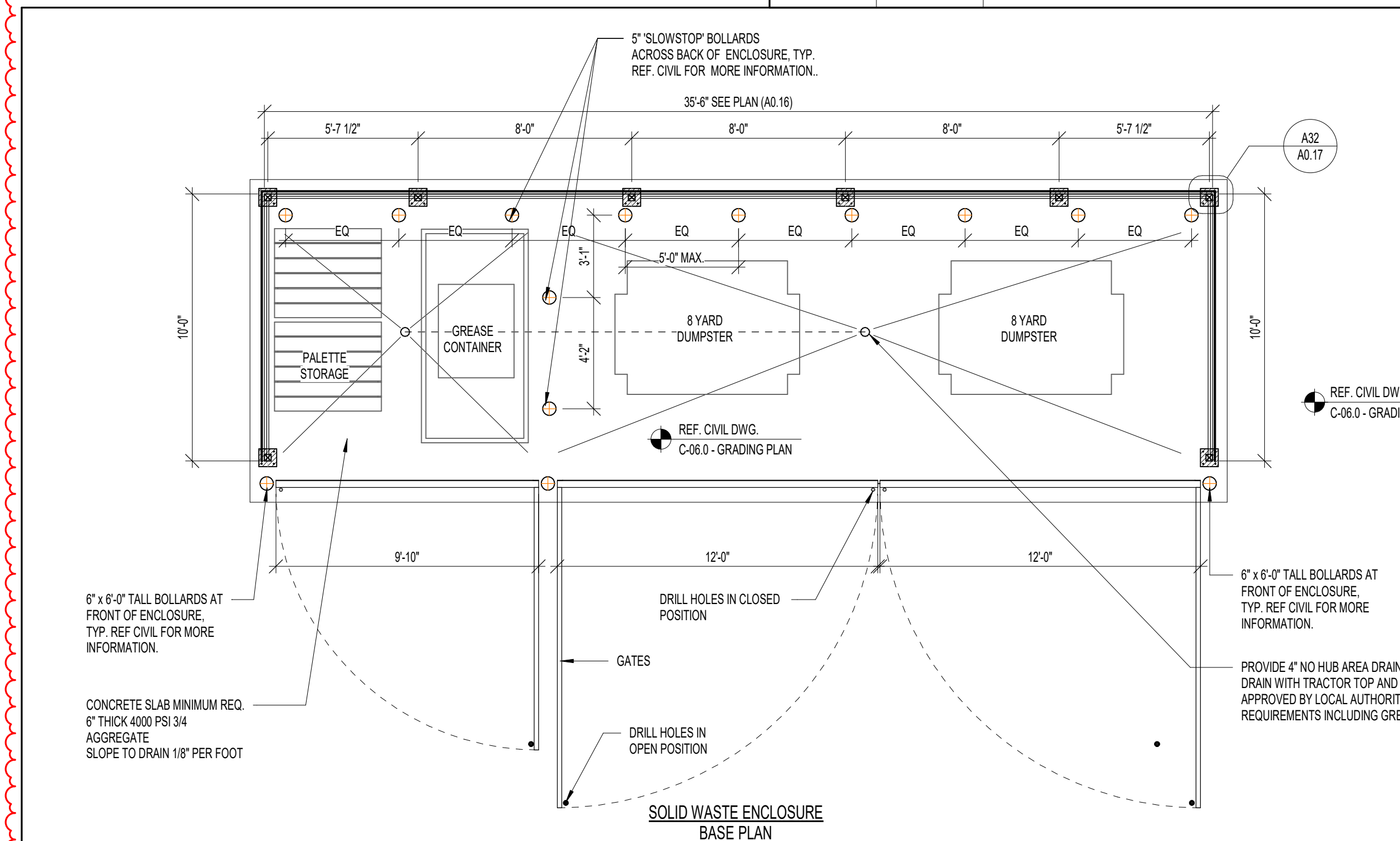
**I14** SCALE 1 1/2" = 1'-0"  
**SOLID WASTE ENCLOSURE - HINGE DETAIL**



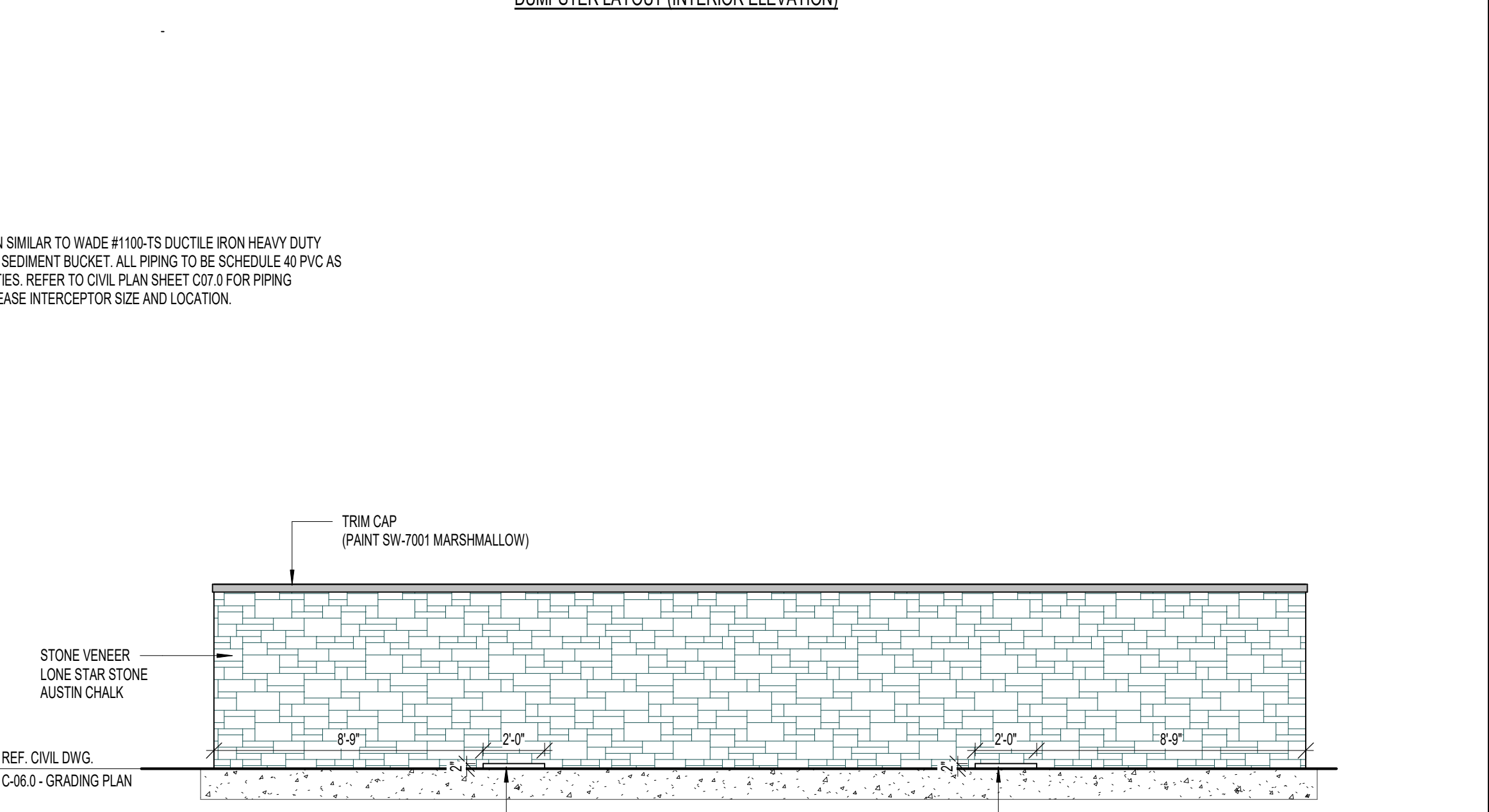
**I20a** SCALE 1/2" = 1'-0"  
**SOLID WASTE ENCLOSURE - GATE DETAIL**



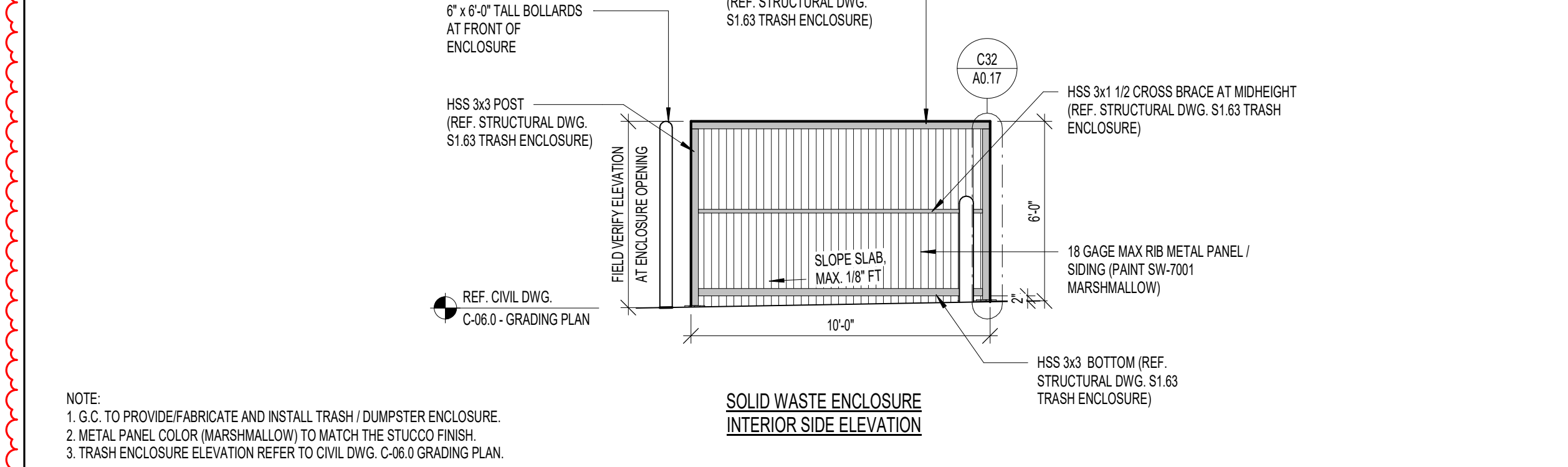
**I32** SCALE 3" = 1'-0"  
**ENLARGE DETAIL 1**



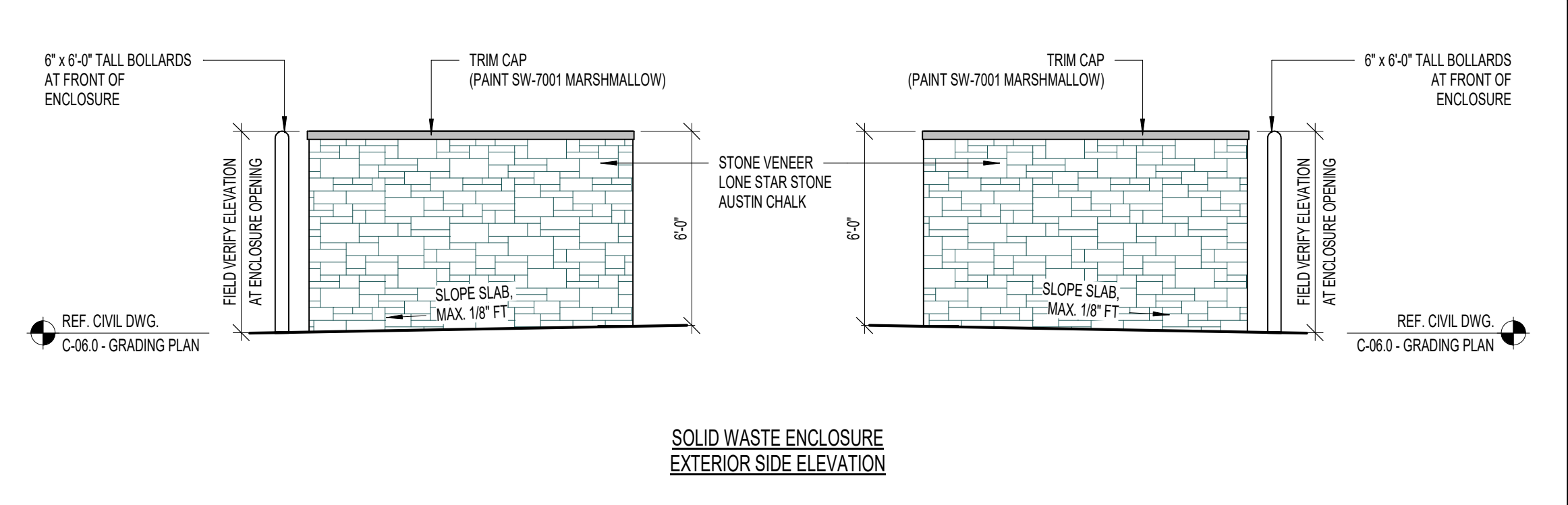
**SOLID WASTE ENCLOSURE INTERIOR ELEVATION**



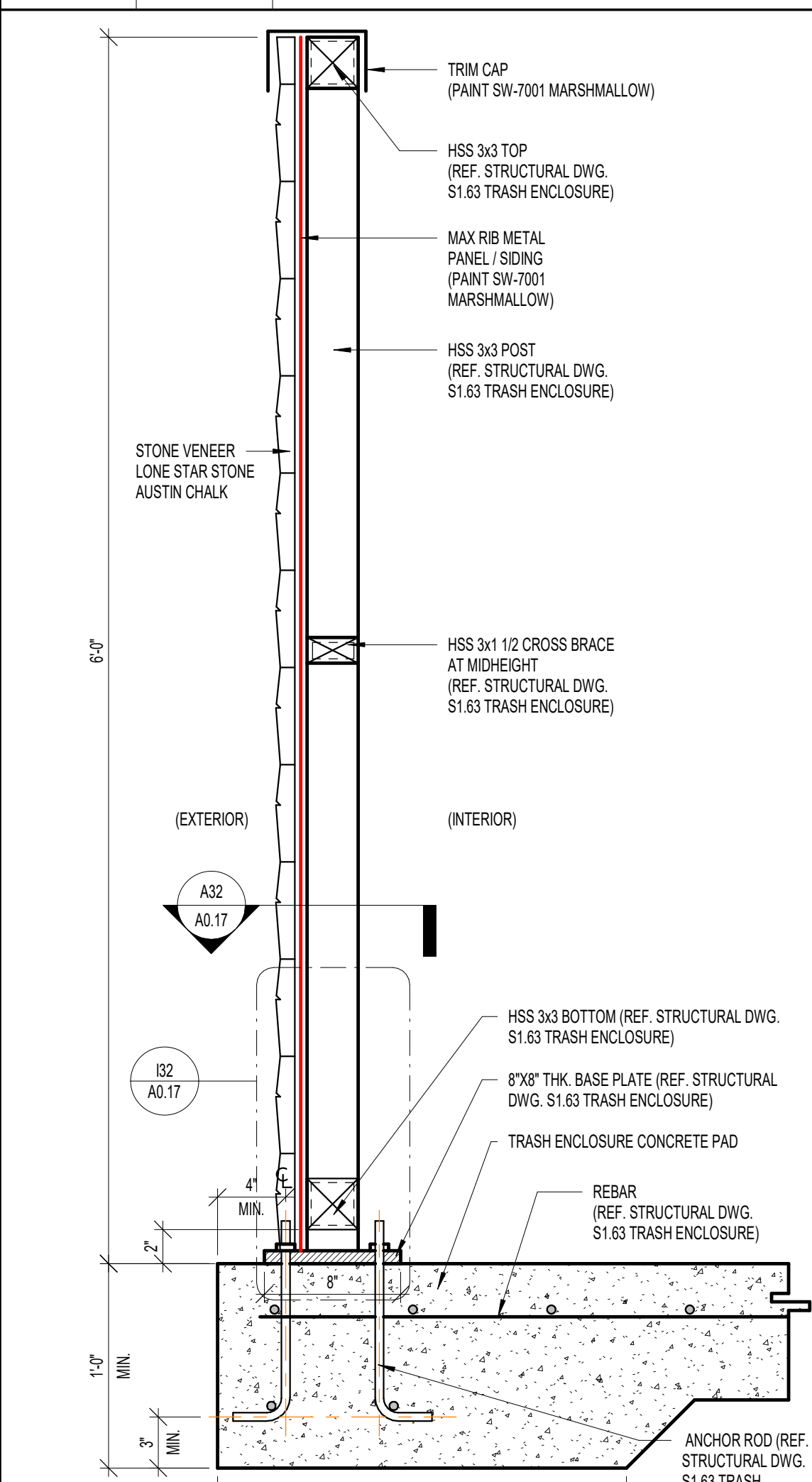
**SOLID WASTE ENCLOSURE INSIDE EXTERIOR ELEVATION**



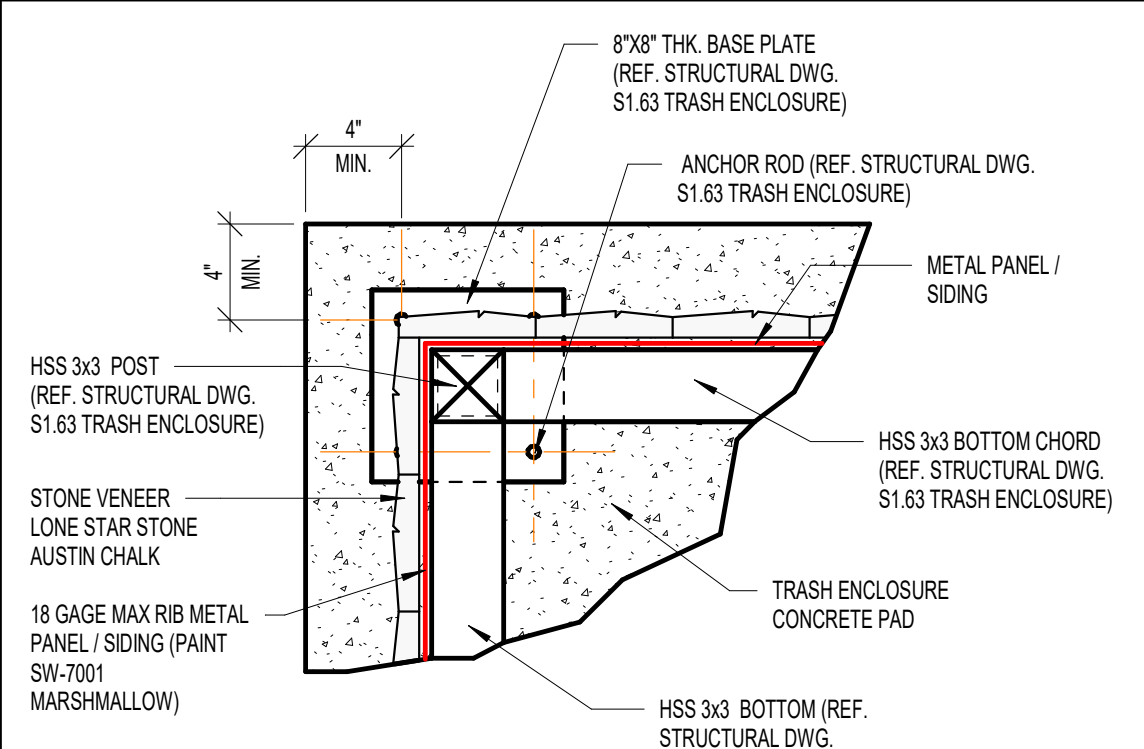
**SOLID WASTE ENCLOSURE INTERIOR SIDE ELEVATION**



**SOLID WASTE ENCLOSURE EXTERIOR SIDE ELEVATION**



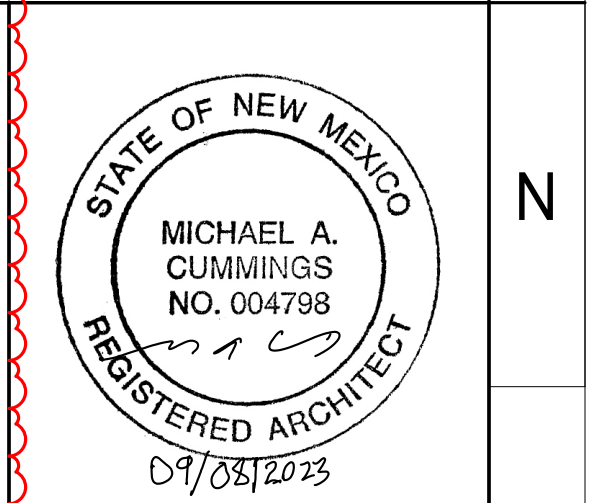
**C32** SCALE 1 1/2" = 1'-0"  
**DETAIL 1**



**A32** SCALE 1 1/2" = 1'-0"  
**DETAIL 2**

**A7** SCALE NOT TO SCALE  
**SOLID WASTE ENCLOSURE DETAIL**

NOTE:  
1. I.C. TO PROVIDE/FABRICATE AND INSTALL TRASH (DUMPSTER) ENCLOSURE.  
2. METAL PANEL COLOR (MARSHMALLOW) TO MATCH THE STUCCO FINISH.  
3. TRASH ENCLOSURE ELEVATION REFER TO CIVIL DWG. C-06.0 GRADING PLAN.



MICHAEL A. CUMMINGS  
1100 Main Street, Suite 2200  
Kansas City, Missouri 64105  
Phone: 816-842-7552 Fax: 816-842-1902

DRAWINGS & SPECIFICATIONS BEYOND THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS & SPECIFICATIONS RETAINED BY THE CLIENT ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE DESIGN PROFESSIONAL.

#102460- ALLSUP'S ALBUQUERQUE  
9501 GIBSON BLVD SW,  
ALBUQUERQUE, NM 87121



ISSUED FOR PERMIT

2023.08.09

REVISION SCHEDULE		
#	DATE	DESCRIPTION
1	2023.08.08	REVISION 2 - REVISED PER PERMIT COMMENTS

PROJECT # 22766

SITE DETAILS

SHEET NUMBER

**A0.17**

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37

LEGEND	
---	BOUNDARY LINE
---XXX---	EXISTING CONTOUR
---XX---	PROPOSED CONTOUR
---	EXISTING ROW
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING UNDERGROUND GAS
---	PROPOSED UNDERGROUND GAS
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING OVERHEAD TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND CABLE
---	EXISTING OVERHEAD CABLE
---	PROPOSED UNDERGROUND CABLE
---	EXISTING FENCE
---	PROPOSED FENCE
---	EXISTING LIGHT POLE
---	PROPOSED LIGHT POLE/WALL PACK LIGHT
---	BLUE GRAMA GRASS SEEDED LAWN
---	ROCK MULCH VALLEY GOLD (1" - 3" DEPTH WITH PERVIOUS FILTER FABRIC)
---	SOILUTIONS FOREST FLOOR MULCH, 4" DEPTH.
---	DETENTION POND SEED MIX

DETENTION AREA SEED MIX		
TYPE	#	PLS / AC
HILARIA JAMESII 'VIVA' - GALLETA	7.0	
ORYZOPSIS HYMENOIDES 'PALOMA' - INDIAN RICE GRASS	5.0	
BOUTELOUA GRACILIS 'HACHITA' BLUE GRAMA	2.0	
BOUTELOUA CURTIPENDULA 'VAUGHN' - SIDEOTS GRAMA	1.0	
AGROPYRON SMITHII 'ARRIBA' - WESTERN WHEAT	1.0	
SPOROBOLUS AIROIDES 'SALADO' ALKALI SCATON	1.0	
ARTEMISIA FRIGIDA - FRINGED SAGEBUSH	.25	
SPHAERALCEA AMBIGUA - DESERT GLOBEMALLOW	.25	
SPHAERALCEA PARVIFOLIA - NELSON GLOBEMALLOW	.25	
HELIANTHUS ANNUUS	.5	
OENOTHERA PALLIDA - WHITE EVENING PRIMROSE	.25	
BAILEYA MULTIRADATA - DESERT MARIGOLD	.25	
ABRONIA FRAGRANS OR ABRONIA VILLOSA	.25	
DALEA PURPUREA VAR PURPUREA - PURPLE PRARIE CLOVER	.25	
MACHAERANTHERA CANESCENS - HOARY TANSEYASTER	.25	
BERLANDIERA LYRATA - CHOCOLATE FLOWER	.25	
RATIBIDA COLUMNIFERA FORMA PULCHERRIMA - MEXICAN HAT	.25	

**LANDSCAPE CALCULATIONS**

ROW TREES	
21	ROW TREES REQUIRED (522 LF/25)
21	ROW TREES PROVIDED

SITE LANDSCAPE	
118,435 SF	TOTAL SITE AREA
40,733 SF	LANDSCAPE AREA PROVIDED (34% OF TOTAL SITE)
16,408 SF	GRAVEL LANDSCAPE AREA PROVIDED (40% OF TOTAL SITE)
2,629 SF	TREE VEGETATED AREA (SITE LANDSCAPE) PROVIDED
4,160 SF	SHRUB VEGETATED AREA PROVIDED
30,459 SF	ROCK MULCH (75% OF LANDSCAPE AREA)
758 SF	PARKING LOT LANDSCAPE AREA (11% OF 6,757 SF PARKING LOT AREA)

**LANDSCAPE NOTES**

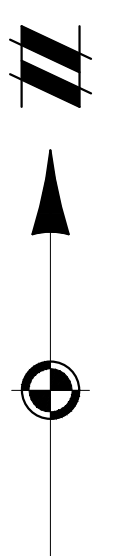
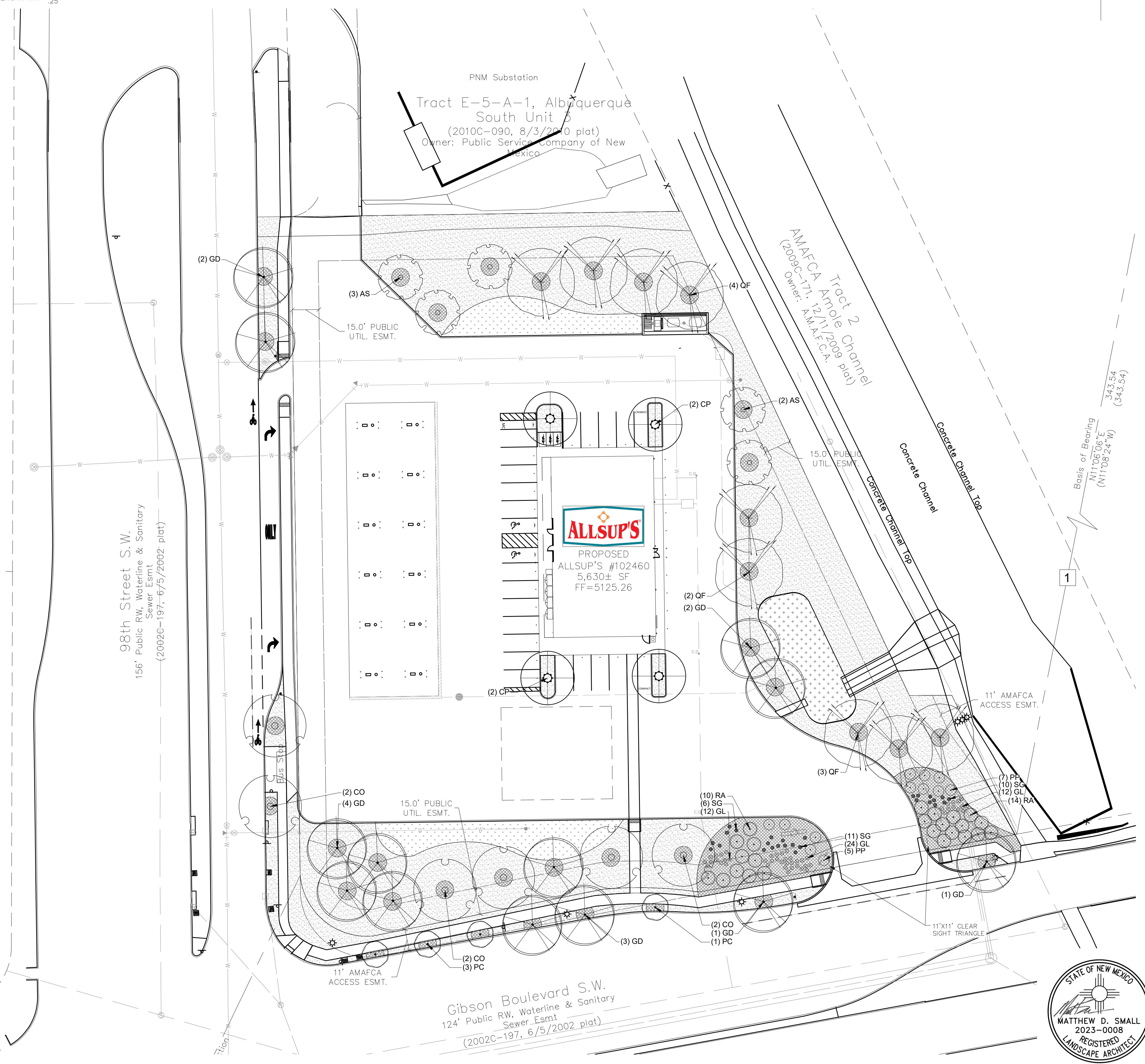
- ALL PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL WEED BARRIER SHALL BE PERMEABLE AND ONLY INSTALLED IN AREAS NOT TO RECEIVE ORGANIC MULCH.
- PROVIDE A MINIMUM OF 5' RADIUS OF ORGANIC MULCH, BUT NOT DIRECTLY AGAINST THE TRUNK, FOR ALL TREES WITH A DEPTH OF 4".
- ALL SHRUBS WITHIN ANY SITE TRIANGLES SHALL BE LESS THAN 30" MATURE HEIGHT.
- ALL TREES THAT OVERHANG PUBLIC WALKS SHALL MAINTAIN 8' CLEARANCE WITH 9' CLEARANCE MAINTAINED OVER PUBLIC ROADS.
- TREES IN PUBLIC ROW SHALL BE IRRIGATED AND COMPLY WITH MINIMUM TECHNICAL REQUIREMENTS IN ARTICLE 6-6 OF ROA 1994. A SEPERATE VALVE SHALL BE PROVIDED FOR REQUIRED IRRIGATION IN PUBLIC ROW.
- ALL ON SITE LANDSCAPE SHALL BE IRRIGATED WITH AN AUTOMATE DRIP IRRIGATION SYSTEM FOR SHRUBS AND TREES. ANY TURF AREAS SHALL BE IRRIGATED WITH SPRAY IRRIGATION AS REQUIRED. SPRAY IRRIGATION SHALL NOT OVERSPRAY ON HARD SURFACES INCLUDED WALKWAYS AND PARKING AREAS.
- TREES SHALL NOT BE PLANTED IN EASEMENTS.
- TREES SHALL MAINTAIN A MINIMUM OF 10' CLEAR FROM CENTERLINE OF SEWER OR WATER LINES, ALONG WITH OTHER REQUIREMENTS FOR UTILITIES.
- ALL LANDSCAPING WORK SHALL ADHERE TO CITY OF ALBUQUERQUE STANDARD DETAILS AND SPECIFICATIONS.

**PLANT SCHEDULE**

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	MATURE SIZE (H x W)
	AS	5	Acer negundo 'Sensation' / Sensation Box Elder	B&B	2" Cal.	30' x 25'
	CO	6	Celtis occidentalis / Common Hackberry	B&B	2" Cal.	40' x 40'
	GD	13	Gymnocladus dioica 'Espresso' / Kentucky Coffeetree	B&B	2" Cal.	60' x 40'
	CP	4	Pistacia chinensis / Chinese Pistache	B&B	2" Cal.	30' x 30'
	PC	4	Prunus cerasifera / Purple-leaf Plum	B&B	2" Cal.	20' x 15'
	QF	9	Quercus fusiformis / Texas Live Oak	B&B	2" Cal.	50' x 50'

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	O.C	MATURE SIZE (H x W)
	GL	48	Gaura lindheimeri / Gaura	1 gal.		3' x 2'
	PP	12	Prunus besseyi 'P011S' / Pawnee Buttes® Sand Cherry	1 gal.		1.5' x 6'
	RA	24	Rhus trilobata 'Autumn Amber' / Autumn Amber Sumac	1 gal.		14" x 8'
	SG	27	Salvia greggii / Autumn Sage	1 gal.		2' x 2'



**Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2023 ATWELL, LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL, LLC.

866.850.4200 [www.atwell-group.com](http://www.atwell-group.com)  
 143 UNION BOULEVARD, SUITE 700  
 LAKEWOOD, CO 80228  
 303.462.1100

SECTION 28	TOWNSHIP 10 NORTH, RANGE 3 EAST	CITY OF ALBUQUERQUE
		BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC  
 ALLSUP'S CONVENIENCE STORE #102460  
 9501 GIBSON BLVD. SW  
 ALBUQUERQUE, NEW MEXICO 87121  
 FINAL ENGINEERING PLANS

LANDSCAPE PLAN

DATE	9/8/2023
REVISIONS	

SCALE: 0 15 30  
 1" = 30 FEET

DR. KJK CH. CBS  
 P.M. D. MADRUGA  
 BOOK --  
 JOB 22003692  
 SHEET NO.

STATE OF NEW MEXICO  
  
**MATTHEW D. SMALL**  
 2023-0008  
 REGISTERED  
 LANDSCAPE ARCHITECT

CAD FILE: 22003692-010-ESD.WG



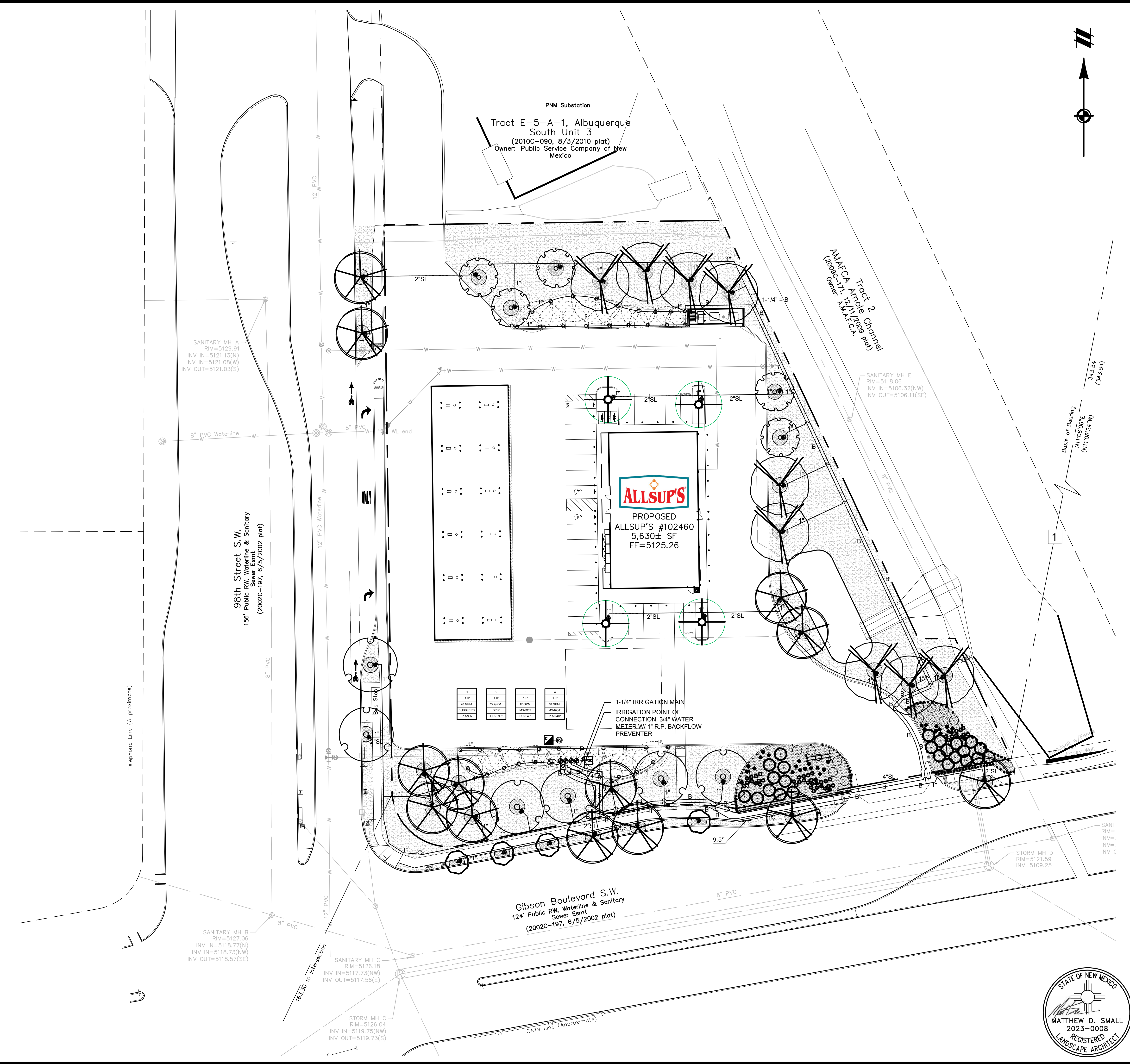
**LEGEND**

- BOUNDARY LINE
- EXISTING ROW
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING UNDERGROUND GAS
- PROPOSED UNDERGROUND GAS
- EXISTING UNDERGROUND TELEPHONE
- EXISTING OVERHEAD TELEPHONE
- PROPOSED UNDERGROUND TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND CABLE
- EXISTING OVERHEAD CABLE
- PROPOSED UNDERGROUND CABLE
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE/WALL PACK LIGHT
- PROPOSED SHRUBS

- PROPOSED DECIDUOUS TREES
- [Pattern] BLUE GRAMA GRASS SEEDED LAWN - IRRIGATED W/ MULTI-STREAM ROTATING HYDRANTS
  - [Pattern] DECORATIVE ROCK MULCH, VALLEY GOLD (1") - 3" DEPTH WITH PERVIOUS FILTER FABRIC. NON-IRRIGATED
  - [Pattern] SOLUTIONS FOREST FLOOR MULCH, 4" DEPTH. PROVIDE (1) .5 GPM NON-ADJUSTABLE BUBBLER PER TREE
  - [Symbol] IRRIGATION POINT OF CONNECTION, 3/4" WATER METER W/ 1" R.P. BACKFLOW PREVENTER; 24± GPM FLOW REQUIRED. REUSE WATER SERVICE IF AVAILABLE
  - [Symbol] IRRIGATION CONTROLLER & RAIN SENSOR. FOUR STATIONS PEDESTAL MOUNT CONTROLLER. IRRIGATION CONTRACTOR TO PROVIDE SINGLE PHASE 120V. POWER TO CONTROLLER.
  - [Symbol] IRRIGATION MAIN: 1-1/4" CLASS 200 SOLVENT WELD IRRIGATION MAIN W/ SCH 80 PVC FITTINGS; 30"± DEPTH; PROVIDE A 5'± HORIZONTAL SEPARATION FROM OTHER POTABLE LINE(S).
  - [Symbol] IRRIGATION SLEEVES: 4" SCH 80 PVC FOR DRIVEWAY CROSSINGS AND MULTIPLE LATERAL LINES CROSSINGS; 2" SCH 40 PVC FOR SINGLE LATERAL LINE AND CONTROL WIRES CROSSINGS. SOLVENT WELD ALL JOINTS AT CROSSINGS.
  - [Symbol] IRRIGATION MAIN BLOW-OFF ASSEMBLY: 1-1/4" SCH 80 PVC BALL VALVE WITHIN A JUMBO VALVE BOX PROVIDE FILTER FABRIC AND GRAVEL.
  - [Symbol] IRRIGATION ZONE CONTROL VALVE, 1" PLASTIC BODY; GLOVE CONFIGURATION; 24± GPM FLOW LIMIT; THREE VALVES WITHIN A JUMBO VALVE BOX; DBR WIRE CONNECTORS, PROVIDE PLASTIC ID & WARNING TAGS, NON-WOVEN FILTER FABRIC AND .5" DIAM. GRAVEL.
  - [Symbol] IRRIGATION TREE BUBBLERS: .5 GPM PRESSURE COMPENSATING W/ CHECK VALVE; NON-ADJUSTABLE UMBRELLA PATTERN BUBBLER NOZZLE; ONE NOZZLE PER TREE. PLACE BUBBLER UPHILL FROM EDGE OF ROOTBALL.
  - [Symbol] DRIP IRRIGATION TREE COMPONENTS: IN-LINE TUBING, 0.92 GPH EMITTERS 12" O.C., BETWEEN TUBING SECTIONS.
  - [Symbol] PVC INTER-CONNECTING FITTING
  - [Symbol] TUBING TO TUBING INTER-CONNECTING FITTING
  - [Symbol] AUTOMATIC LINE FLUSHING VALVE

**IRRIGATION NOTES**

1. PIPING AND ELEMENTS MAY BE SHOWN ON PAVED SURFACES, OUTSIDE PROPERTY LINE OR THROUGH VEGETATION FOR GRAPHIC CLARITY ONLY. ACTUAL LOCATION SHALL BE WITHIN THE PROJECT'S LANDSCAPE DESIGNATED AREA(S).
2. ALL ELEMENT(S) INCLUDING BACKFLOW PREVENTER, INSTALLATION SHALL COMPLY W/ THE CITY OF ALBUQUERQUE, NM APPLICABLE IRRIGATION RULES & REGULATIONS.



1	2	3	4
1/2" 20 GPM	1/2" 15 GPM	1/2" 10 GPM	1/2" 5 GPM
BUBBLERS	DRIP	SL/RC1	MS/RC7
PRK/A	PRK/B	PRK/C	PRK/D

**Know what's below.**  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

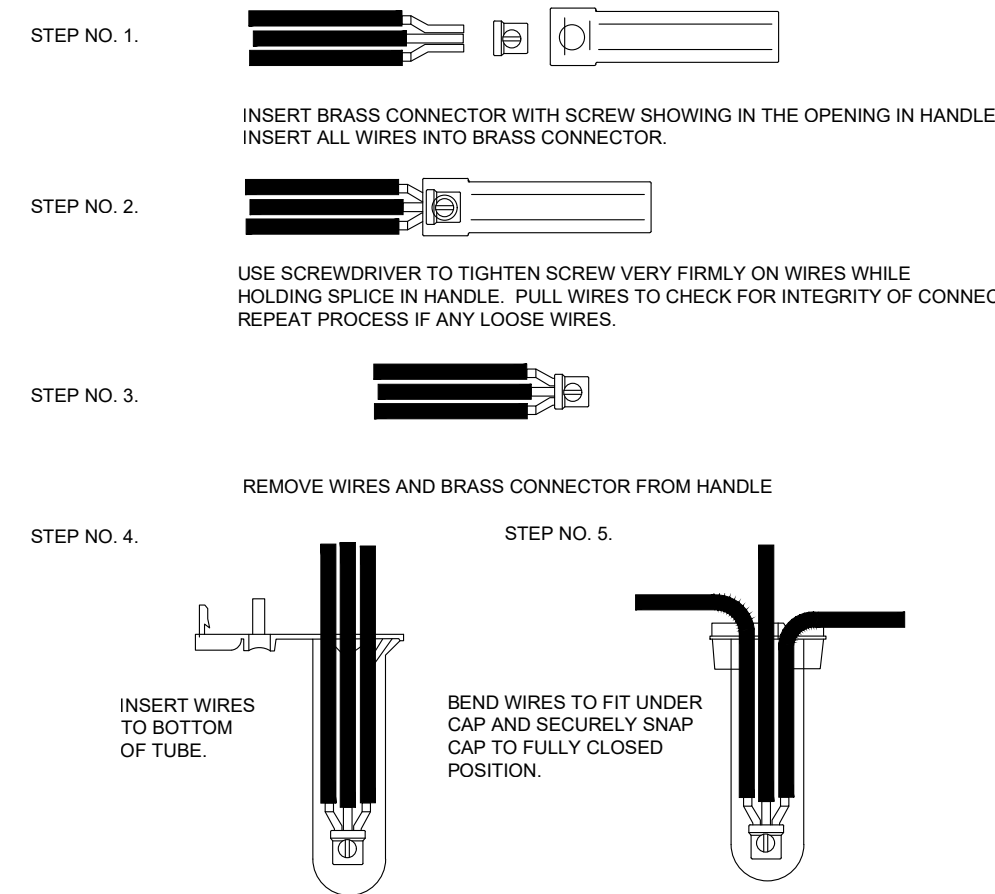
NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2023 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

**ATWELL**  
www.atwell-group.com  
866.850.4200  
143 UNION BOULEVARD, SUITE 700  
LAKEWOOD, CO 80228  
303.462.1100

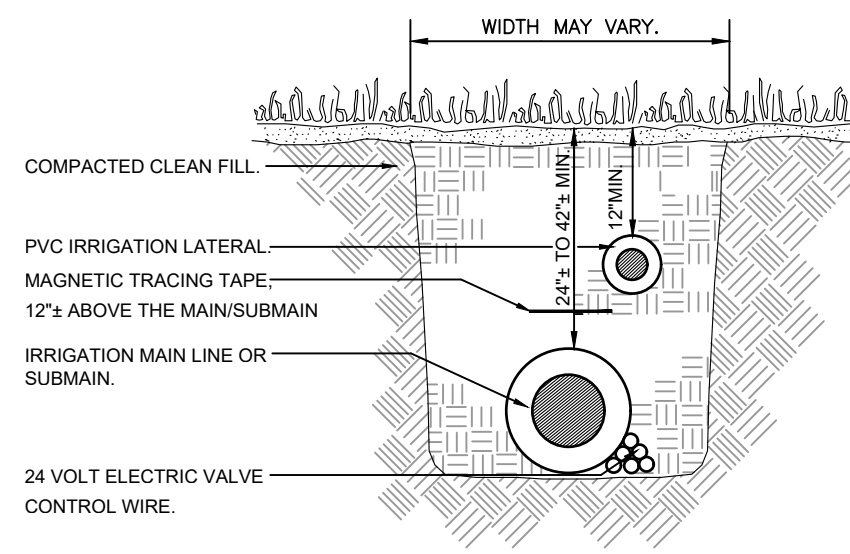
SECTION 28	TOWNSHIP 10 NORTH, RANGE 3 EAST	CITY OF ALBUQUERQUE
CLIENT	B/W GAS & CONVENIENCE RETAIL, LLC	
PROJECT	ALLSUP'S CONVENIENCE STORE #102460	
ADDRESS	9501 GIBSON BLVD SW	
LOCATION	ALBUQUERQUE, NEW MEXICO 87121	
DESIGNER	FINAL ENGINEERING PLANS	
TYPE	IRRIGATION PLAN	
DATE	9/8/2023	
REVISIONS		
SCALE	0 15 30 1" = 30 FEET	
DR.	KJK CH. CBS	
BOOK	---	
JOB	22003692	
SHEET NO.	L1010	

STATE OF NEW MEXICO  
MATTHEW D. SMALL  
2023-0008  
REGISTERED  
LANDSCAPE ARCHITECT



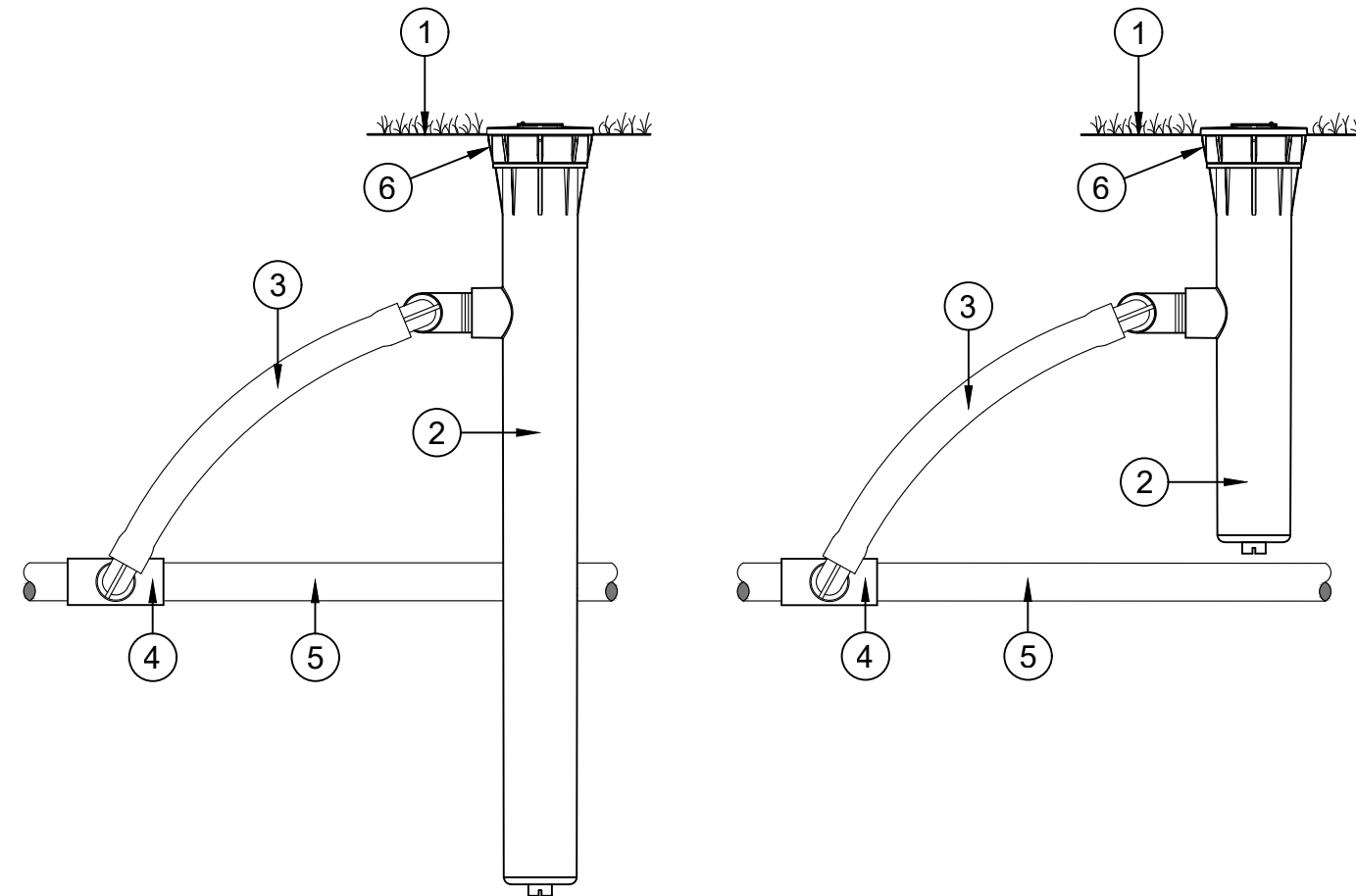
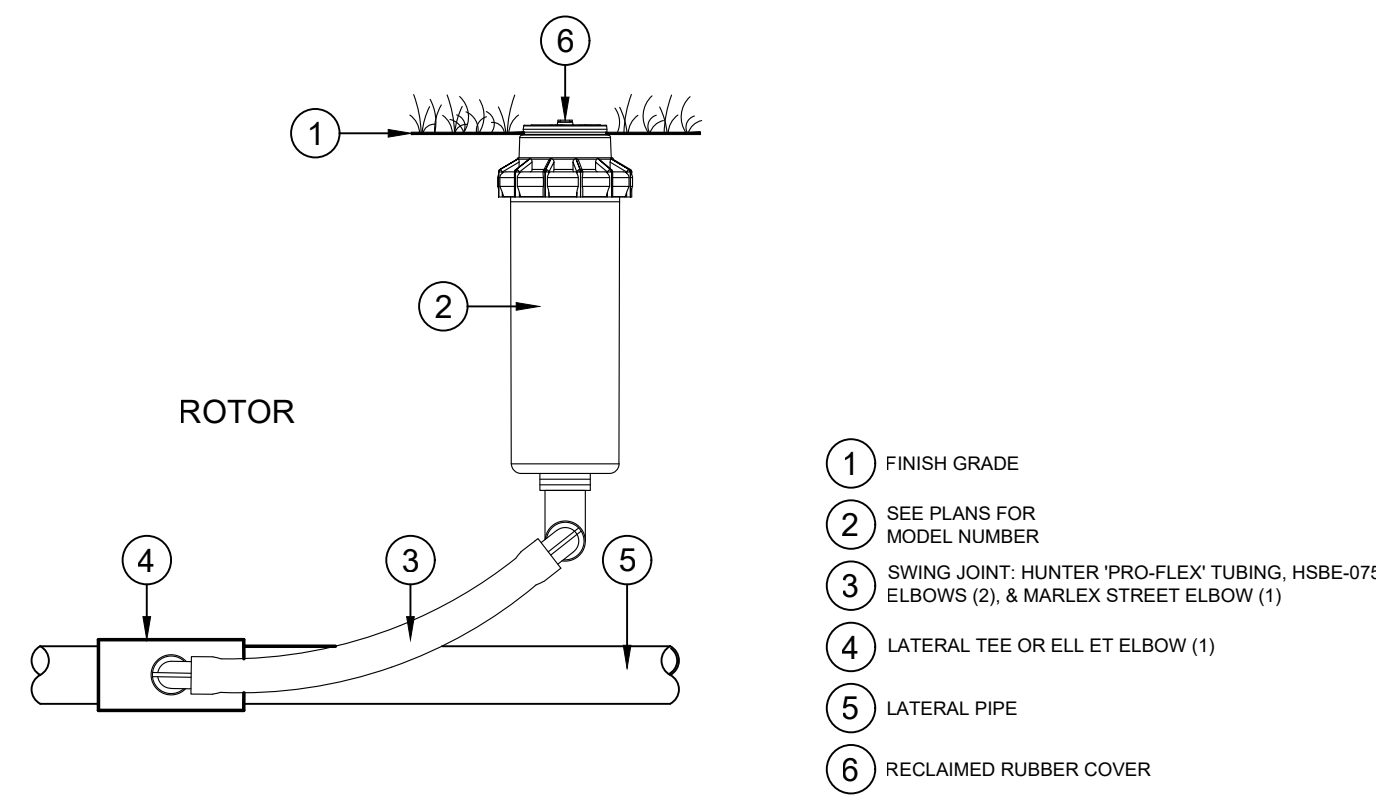
- NOTES:**
- TURN OFF POWER BEFORE INSTALLING OR REMOVING CONNECTOR.
  - ALL ELECTRICAL WORK SHOULD BE DONE ACCORDING TO MANUFACTURER SPECIFICATIONS AND ALSO APPROPRIATE ELECTRICAL CODES.

**CM1 24-VOLT WIRE CONNECTION DETAIL**  
SCALE: N.T.S.



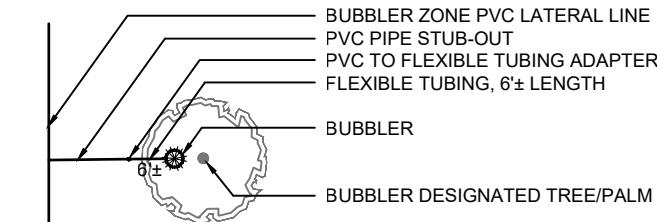
- NOTES:**
- ALL TRENCHING DEPTHS SHOWN ARE MINIMUM. IN THE EVENT THAT MINIMUM TRENCHING DEPTHS ARE NOT MET, THE TRENCHES SHALL BE RE-EXCAVATED.
  - DEPTH MEASUREMENTS ARE TO BE DONE FROM FLUSH GRADE TO TOP OF PIPE.
  - PROVIDE A 12" MINIMUM VERTICAL SEPARATION BETWEEN MAIN LINE(S) AND LATERAL LINE(S).
  - THE CONTROL WIRES SHALL BE INSTALLED TUCKED BENEATH A SIDE OF THE IRRIGATION MAIN/SUBMAIN.
  - PIPE PULLING THROUGH UN-TRENCHED SOIL IS NOT ALLOWED UNDER ANY CIRCUMSTANCE.

**CM2 TYPICAL TRENCHING DETAIL**  
SCALE: N.T.S.

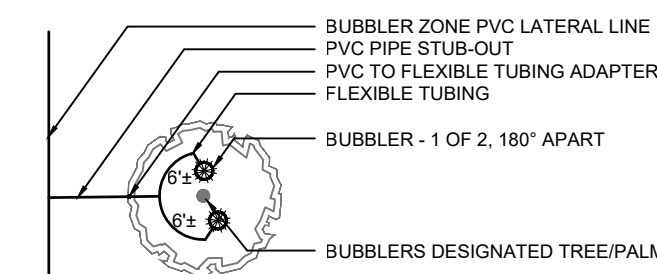


**CM4 SPRAY HEAD & ROTOR HEAD**  
SCALE: N.T.S.

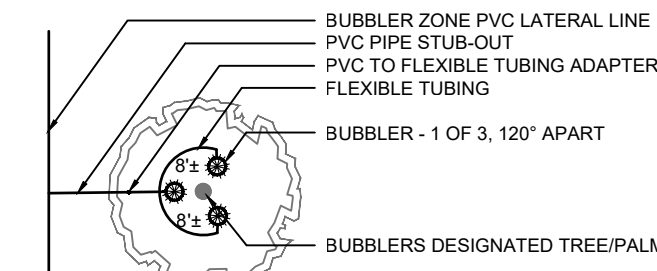
- MEDIUM TO LARGE TREE/PALM (0'-18" HT.):**
- PROVIDE ONE (1) BUBBLER PER TREE/PALM.
  - SET THE BUBBLER AT THE EDGE OF THE ROOTBALL.
  - FLEXIBLE TUBING SECTION LENGTH FROM PVC PIPING TO BUBBLER SHALL HAVE A MINIMUM LENGTH OF 6'±.



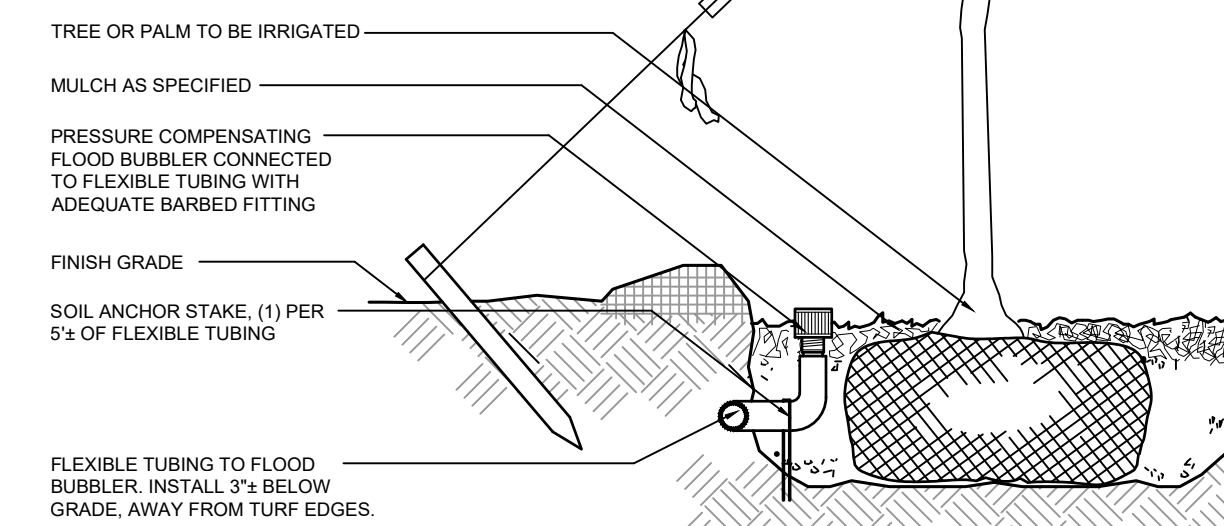
- LARGE SPECIMEN TREE/PALM (20'-25' HT.):**
- PROVIDE TWO (2) BUBBLERS PER TREE/PALM.
  - SET THE BUBBLERS 180"± APART AT THE EDGE OF THE ROOTBALL.
  - FLEXIBLE TUBING SECTION LENGTHS FROM TUBING ADAPTER TO BUBBLER SHALL HAVE A MINIMUM LENGTH OF 6'±.



- EXTRA-LARGE SPECIMEN TREE/PALM (25'+ HT.):**
- PROVIDE THREE (3) BUBBLERS PER TREE/PALM.
  - SET THE BUBBLERS 120"± APART AT THE EDGE OF THE ROOTBALL.
  - FLEXIBLE TUBING SECTION LENGTHS FROM TUBING ADAPTER TO BUBBLER SHALL HAVE A MINIMUM LENGTH OF 8'±.

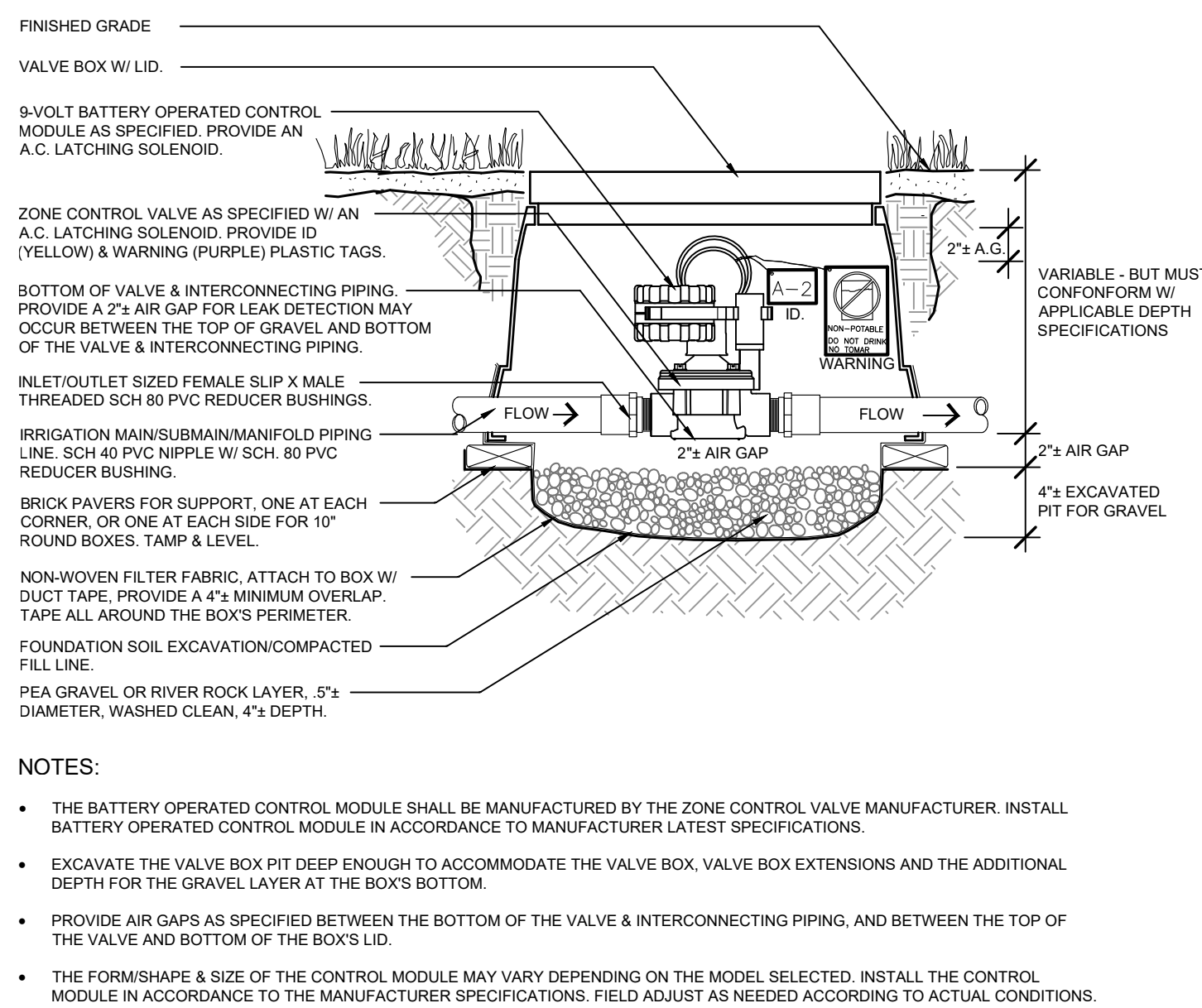


**PLAN VIEW SCHEMATICS**



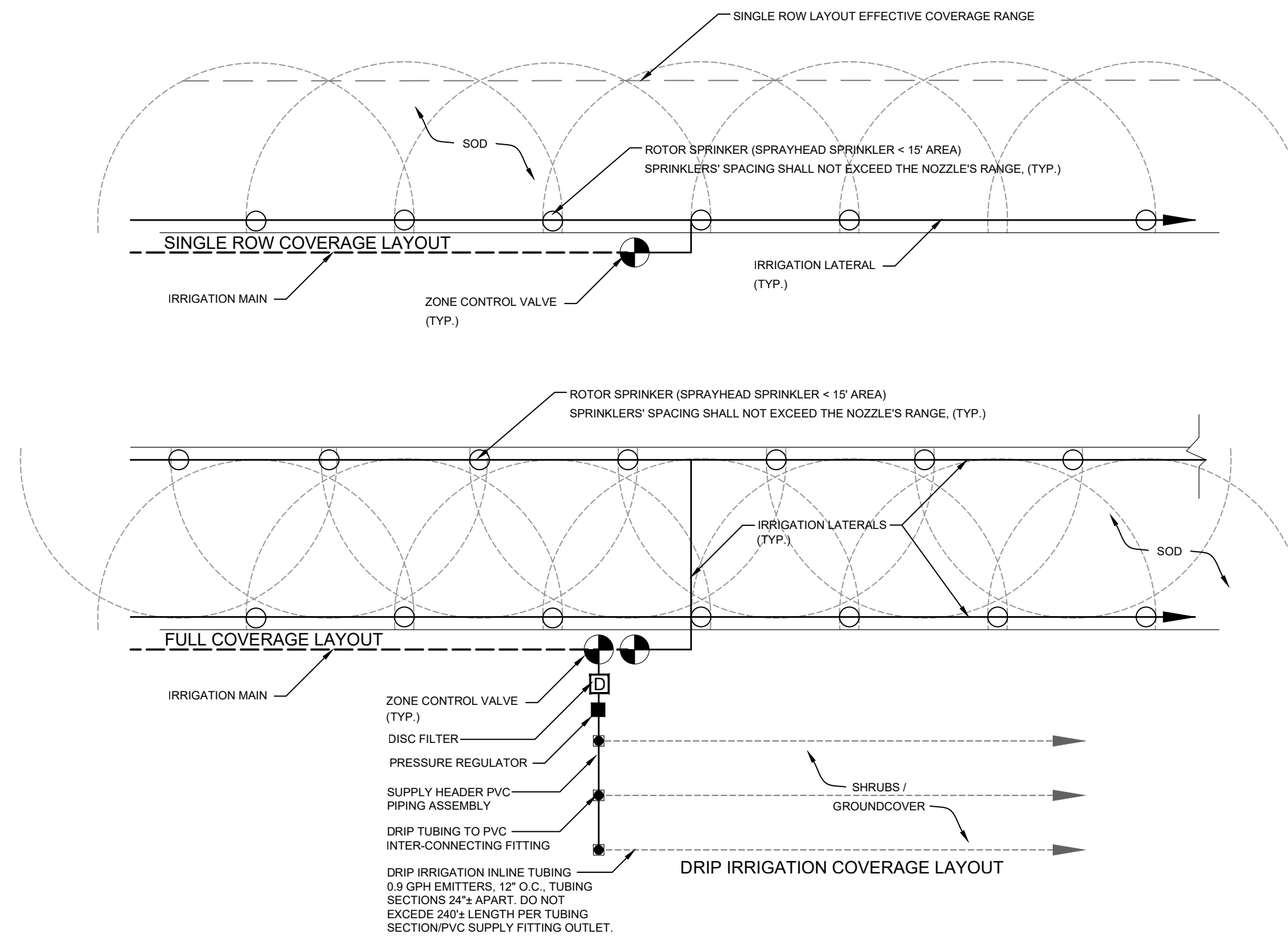
- NOTES:**
- REFER TO PLAN OR BUBBLER LEGEND FOR BUBBLER QUANTITIES & NOZZLE SIZE PER TREE/PALM.
  - BUBBLER(S) IS/ARE TO BE INSTALLED ADJACENT TO ROOTBALL PERIMETER. DO NOT INSTALL BUBBLER(S) ON TOP OF THE ROOTBALL OR NEXT TO TRUNK; INSTALL AT EDGE OF THE ROOTBALL.
  - ON SLOPING GROUNDS, INSTALL BUBBLER(S) DIRECTLY UP/HILL FROM THE TREE/PALM ROOTBALL.
  - TRESS/PALMS LOCATED IN AREAS WITHOUT IRRIGATION COVERAGE SHALL BE ZONED SEPARATE FROM OTHER TREES LOCATED IN AREAS W/ IRRIGATION COVERAGE UNLESS THAT THE BUBBLER NOZZLE(S) DISCHARGE VOLUME IS ADJUSTED TO COMPENSATE FOR THE LACK OF IRRIGATION COVERAGE.

**CM6 TREES/PALMS BUBBLER INSTALLATION DETAIL**  
SCALE: N.T.S.

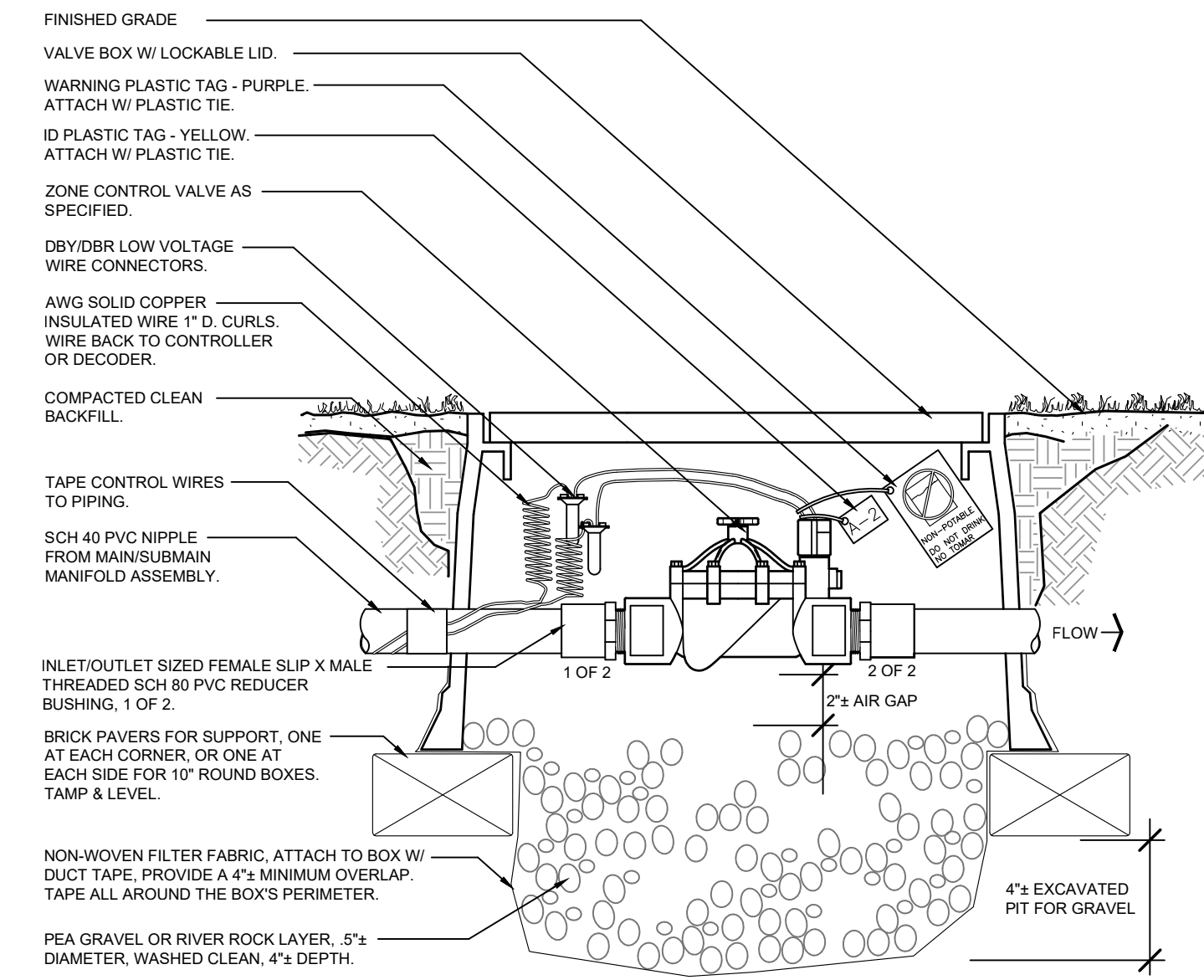


- NOTES:**
- THE BATTERY OPERATED CONTROL MODULE SHALL BE MANUFACTURED BY THE ZONE CONTROL VALVE MANUFACTURER. INSTALL BATTERY OPERATED CONTROL MODULE IN ACCORDANCE TO MANUFACTURER LATEST SPECIFICATIONS.
  - EXCAVATE THE VALVE BOX PIT DEEP ENOUGH TO ACCOMMODATE THE VALVE BOX, VALVE BOX EXTENSIONS AND THE ADDITIONAL DEPTH FOR THE GRAVEL LAYER AT THE BOX'S BOTTOM.
  - PROVIDE AIR GAPS AS SPECIFIED BETWEEN THE BOTTOM OF THE VALVE & INTERCONNECTING PIPING, AND BETWEEN THE TOP OF THE VALVE AND BOTTOM OF THE BOX'S LID.
  - THE FORM-SHAPE & SIZE OF THE CONTROL MODULE MAY VARY DEPENDING ON THE MODEL SELECTED. INSTALL THE CONTROL MODULE IN ACCORDANCE TO THE MANUFACTURER SPECIFICATIONS. FIELD ADJUST AS NEEDED ACCORDING TO ACTUAL CONDITIONS.

**CM3 BATTERY OPERATED CONTROL MODULE DETAIL**  
SCALE: N.T.S.



**CM5 SCHEMATIC IRRIGATION LAYOUT**  
SCALE: N.T.S.



- NOTES:**
- INSTALL THE ZONE CONTROL VALVE IN ACCORDANCE TO THE LATEST MANUFACTURER SPECIFICATIONS.
  - THE VALVE BOX SHALL BE INSTALLED LEVEL W/ SURROUNDING GROUND, W/ FINISH GRADE SLOPING AWAY FROM BOX TOP.
  - INSTALL VALVE SO THAT TOP OF VALVE IS AT LEAST 2" BELOW THE BOTTOM OF THE BOX'S LID, AND THE VALVE ALIGNED W/ THE MIDDLE OF THE BOX.

**CM7 ZONE CONTROL VALVE GLOVE MOUNT INSTALLATION**  
SCALE: N.T.S.

**811**  
Know what's below.  
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2023 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

**ATWELL**  
866.850.4200 www.atwell-group.com  
143 UNION BOULEVARD, SUITE 700  
LAKEWOOD, CO 80228  
303.462.1100

SECTION 28  
TOWNSHIP 10 NORTH, RANGE 3 EAST  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC  
ALLSIP'S CONVENIENCE STORE #102460  
9501 GIBSON BLVD SW  
ALBUQUERQUE, NEW MEXICO 87121  
FINAL ENGINEERING PLANS  
IRRIGATION DETAILS PLAN

DATE	9/8/2023
REVISIONS	

SCALE: N.A.  
DR. KJK CH. CBS  
P.M. D. MADRUGA  
BOOK: --  
JOB: 22003692  
SHEET NO. L1011

STATE OF NEW MEXICO  
REGISTERED LANDSCAPE ARCHITECT  
MATTHEW D. SMALL  
2023-0008

S:\22003692\DWG\PLAN\_REVISED\_FINAL\22003692-L1011-L101.DWG 9/8/2023 8:14 AM MONICETTA, GABRIELA

CAD FILE: 22003692-L1011-L101.DWG





**LEGEND**

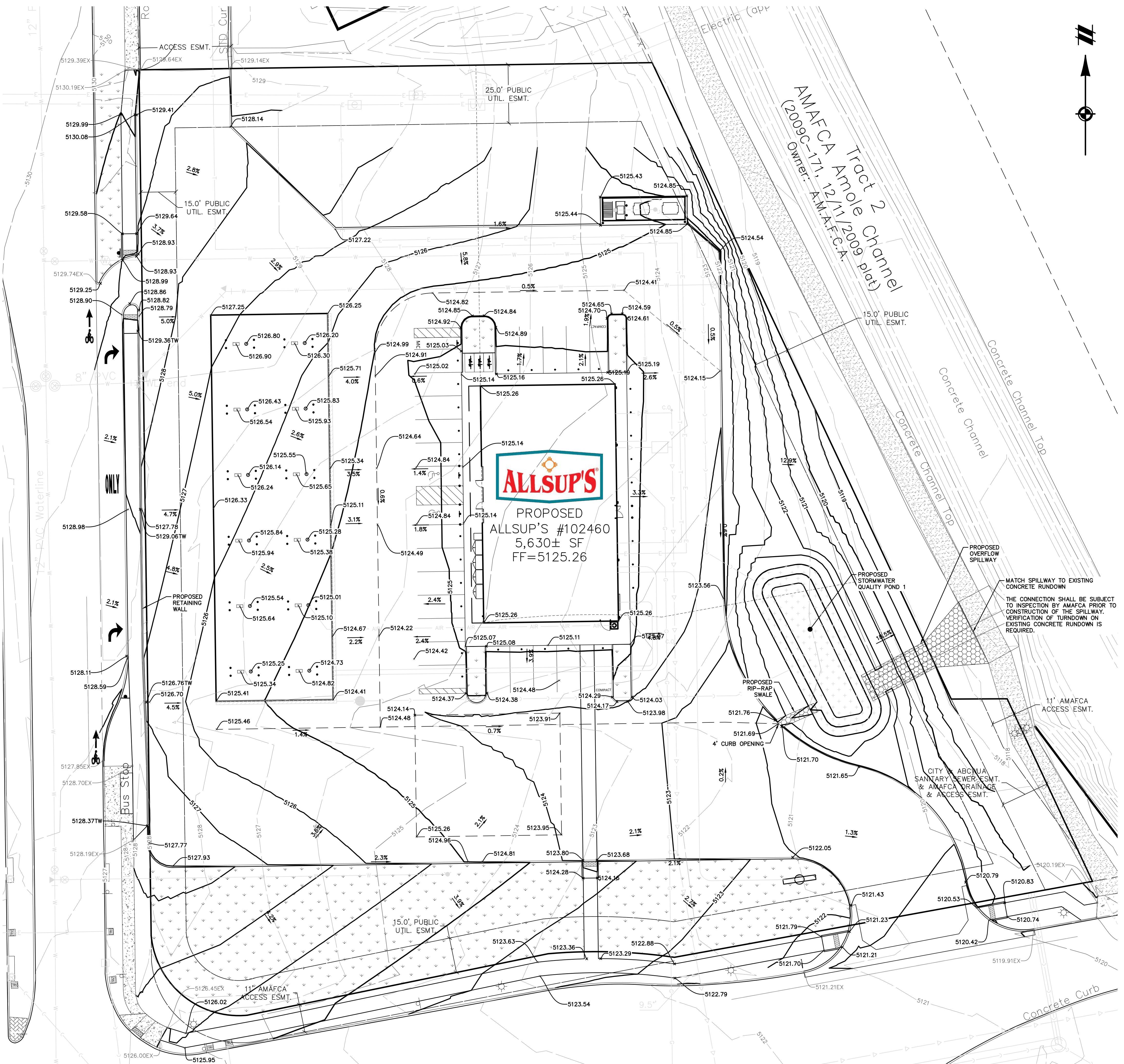
---	BOUNDARY LINE
---	EXISTING ROW
---XXX---	EXISTING CONTOUR
---XXX---	PROPOSED CONTOUR
---	PROPOSED SWALE
---	PROPOSED RIDGE LINE
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	PROPOSED PITCH-OUT CURB AND GUTTER
○	EXISTING STORM CATCH BASIN/MANHOLE
●	PROPOSED STORM CATCH BASIN/MANHOLE
X XXX.XX	PROPOSED SPOT ELEVATION
X XXX.XX RIM	PROPOSED RIM ELEVATION
X XXX.XXME	MATCH EXISTING ELEVATION
X XXX.XXFG	PROPOSED FINISHED GRADE ELEVATION
X XXX.XXTC	PROPOSED TOP OF CURB ELEVATION
X XXX.XXEP	PROPOSED EDGE OF PAVEMENT ELEVATION
X XXX.XXTW	PROPOSED FINISHED GRADE AT TOP OF WALL
X XXX.XXBW	PROPOSED FINISHED GRADE AT BOTTOM OF WALL
←	EMERGENCY OVERFLOW ROUTE
→	PROPOSED DRAINAGE ARROW

- NOTES:**
- SEE SHEET C-XX FOR GRADING NOTES.
  - EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
  - PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
  - ALL SPOT GRADES ALONG CURB LINE ARE FLOWLINE GRADES UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE FLOWLINE ELEVATIONS.
  - ALL STORM SEWER AND UTILITY STRUCTURE RIMS SHALL BE FLUSH WITH PAVEMENT OR FINISHED GRADE.
  - SPOT GRADE AT MPD IS TO FINISHED GRADE AND DOES NOT INCLUDE 2" LIFT.

**EXISTING CONDITIONS**  
 THE SITE IS A 2.72 ACRE UNDEVELOPED PROPERTY BOUNDED TO THE WEST BY 98TH STREET, TO THE SOUTH BY GIBSON BLVD, AND TO THE EAST BY THE AMOLE ARROYO CHANNEL. THE SITE SLOPES TO THE EAST AND CURRENTLY DISCHARGES TO THE AMOLE ARROYO CHANNEL VIA A CONCRETE RUNDOWN TO THE SOUTHEAST.

**PROPOSED IMPROVEMENTS**  
 THE PROPOSED SITE IS A GAS STATION AND CONVENIENCE STORE WITH CONCRETE ACCESS, PARKING AND LANDSCAPING. THE SITE MATCHES THE EXISTING DRAINAGE PATTERN, WITH RUNOFF FLOWING SOUTHEAST. STORMWATER QUALITY VOLUME IS CAPTURED IN WATER QUALITY POND 1. A TRENCH DRAIN AROUND THE FUEL CANOPY DIRECTS RUNOFF FROM THE FUEL PUMPS TO AN OIL WATER SEPARATOR BEFORE DISCHARGING INTO POND 1. AN OVERFLOW SPILLWAY DIVERTS EXCESS RUNOFF VOLUME TO THE EXISTING CONCRETE RUNDOWN AND INTO THE AMOLE CHANNEL. THE SITE IS PERMITTED FREE DISCHARGE TO THE CHANNEL.

**BASIS OF BEARING**  
 THE BASIS OF BEARINGS IS BETWEEN THE SE CORNER OF TRACT E-5-A-2 AND USC&GS BRASS CAP "TRANS 1969" AS MEASURED WITH THE "TRIMBLE VRS NOW" GNSS VIRTUAL REFERENCE SYSTEM. BEARINGS ARE NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE, NAD 83. DISTANCE ARE GROUND DISTANCES. ELEVATION DATUM IS NAVD88



**811**  
 Know what's below.  
 Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2023 ATWELL LLC. NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC.

**ATWELL**  
 866.850.4200 www.atwell-group.com  
 143 UNION BOULEVARD, SUITE 700  
 LAKEWOOD, CO 80228  
 303.462.1100

SECTION 28  
 TOWNSHIP 10 NORTH, RANGE 3 EAST  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC  
 ALLSUP'S CONVENIENCE STORE #102460  
 9501 GIBSON BLVD, SW  
 ALBUQUERQUE, NEW MEXICO 87121  
 FINAL ENGINEERING PLANS  
 GRADING & DRAINAGE PLAN

DATE: 9/8/2023

REVISIONS

JOHN STINE SHELDON  
 JOHN STINE SHELDON  
 28227  
 09/08/23  
 PROFESSIONAL ENGINEER

SCALE: 0 15 30  
 1" = 30 FEET  
 DR. KJK CH. CBS  
 P.M. D. MADRUGA  
 BOOK: --  
 JOB: 22003692  
 SHEET NO.: 30  
 CAD FILE: 22003692-C08-C-03.DWG

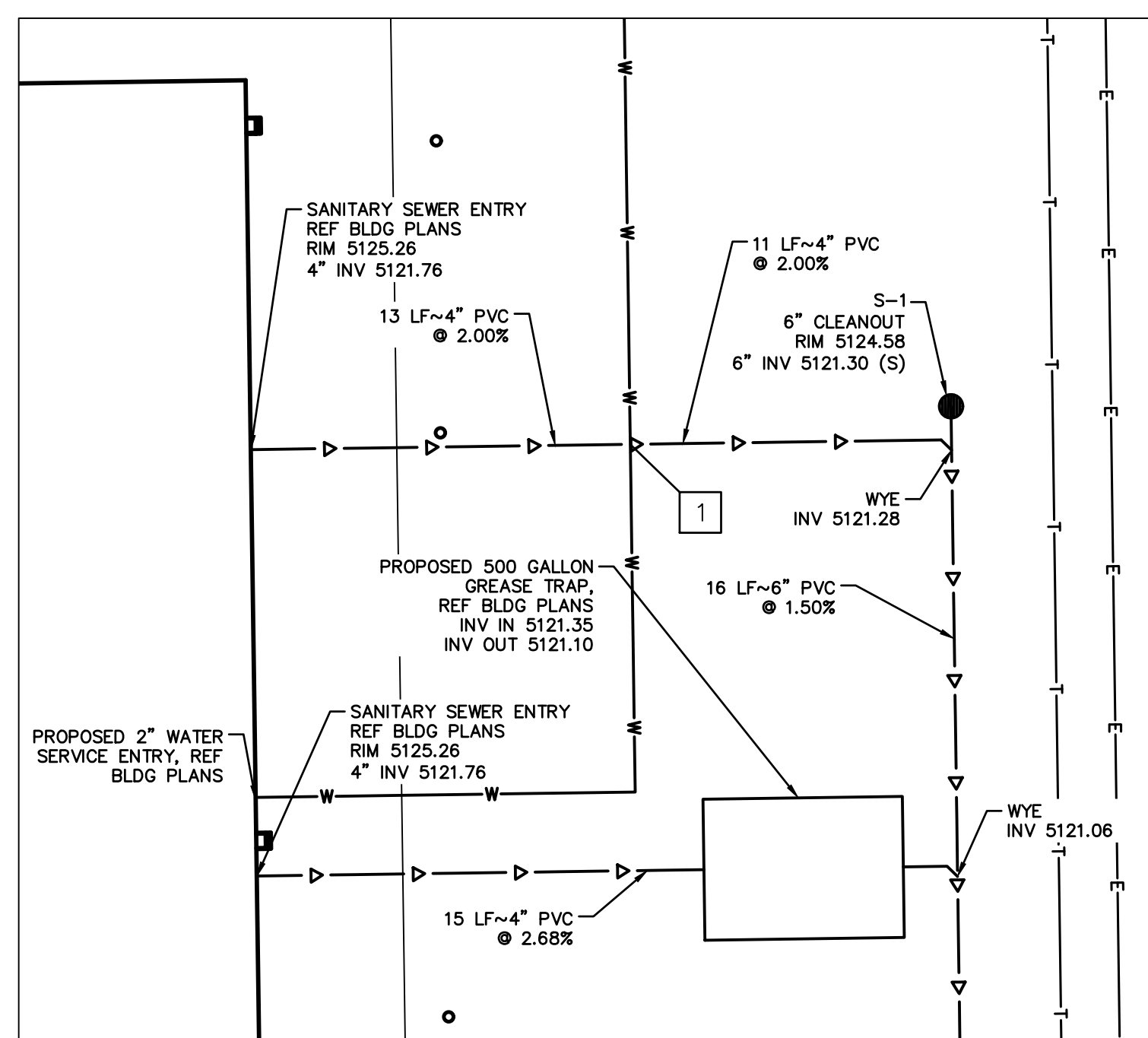
**LEGEND**

---	BOUNDARY LINE
---	EXISTING ROW
---	EXISTING EASEMENT LINE
---	PROPOSED EASEMENT LINE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING UNDERGROUND GAS
---	PROPOSED UNDERGROUND GAS
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING OVERHEAD TELEPHONE
---	PROPOSED UNDERGROUND TELEPHONE
---	EXISTING UNDERGROUND ELECTRIC
---	EXISTING OVERHEAD ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	EXISTING UNDERGROUND CABLE
---	EXISTING OVERHEAD CABLE
---	PROPOSED UNDERGROUND CABLE
---	PROPOSED AIR LINE
---	EXISTING LIGHT POLE
---	PROPOSED LIGHT POLE/WALL PACK LIGHT
○	EXISTING MANHOLE/CATCH BASIN
●	PROPOSED MANHOLE/CATCH BASIN/INLET
○	EXISTING CLEANOUT
●	PROPOSED CLEANOUT
○	PROPOSED DOWNSPOUT
]	EXISTING END SECTION
)	PROPOSED END SECTION
○	EXISTING WATER VALVE
●	PROPOSED WATER VALVE
○	EXISTING FIRE HYDRANT
●	PROPOSED FIRE HYDRANT
○	PROPOSED WATER METER
○	PROPOSED REDUCER
○	PROPOSED FIRE DEPARTMENT CONNECTION
○	EXISTING UTILITY POLE
○	PROPOSED UTILITY POLE
○	PROPOSED UTILITY CROSSING, SEE UTILITY CROSSING CHART THIS SHEET

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH APPROPRIATE UTILITY COMPANIES TO ENSURE THAT THE REQUIRED VERTICAL AND HORIZONTAL CLEARANCES AT ALL LOCATIONS WHERE ANY UTILITY LINE CROSSES AN EXISTING OR PROPOSED GAS, TELEPHONE OR ELECTRIC LINE ARE MET.

**UTILITY CROSSING CHART**

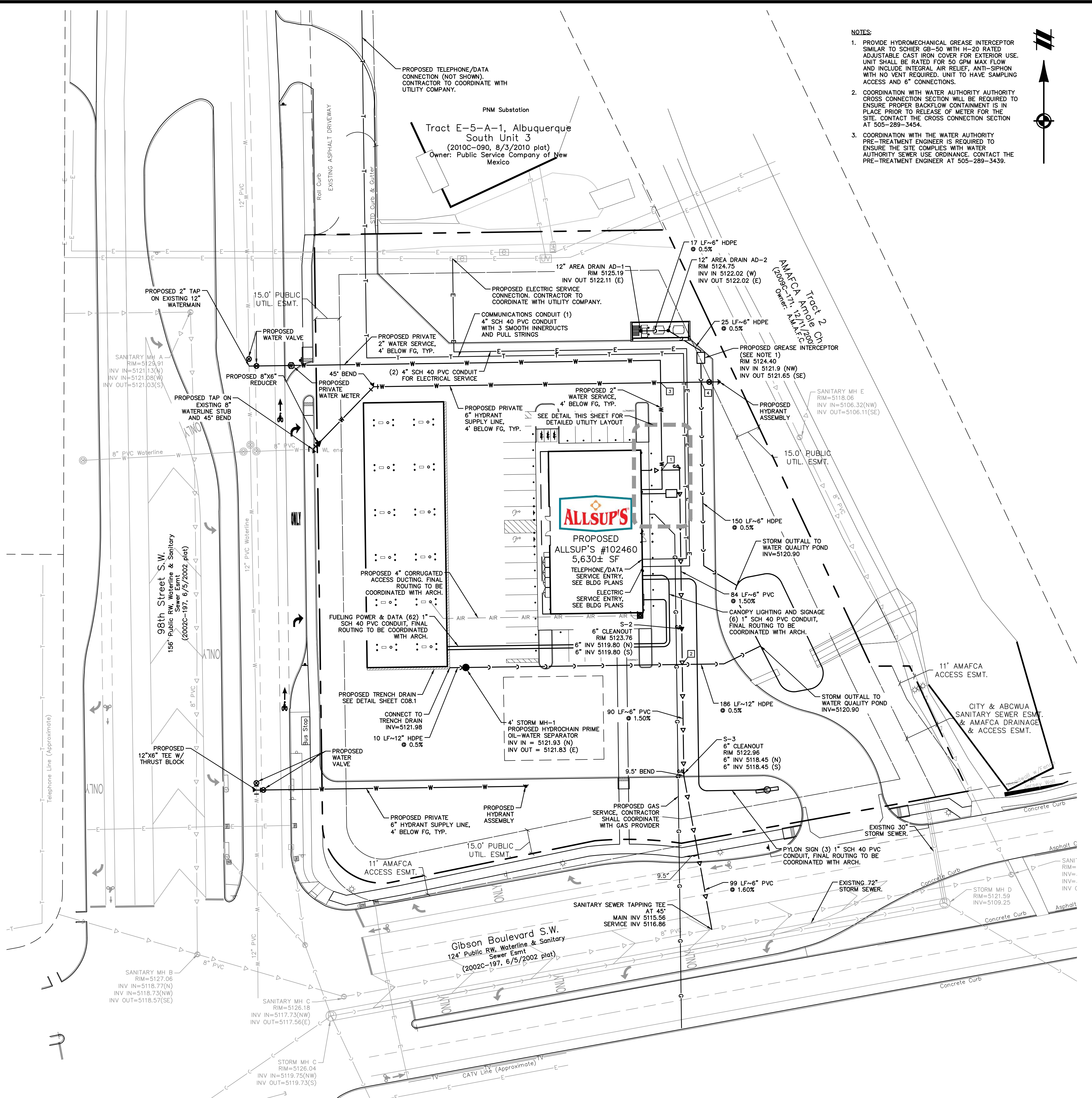
CROSSING NUMBER	FINISHED GROUND	TOP UTILITY	B/P ELEVATION	BOTTOM UTILITY	T/P ELEVATION	CLEARANCE	COMMENT
1	5124.94	4" SANITARY	5121.49	2" WATER	5119.49	2.00	WATER SERVICE LOWERING
2	5122.82	12" STORM	5120.80	6" SANITARY	5119.33	1.47	
3	5124.40	6" FIRE	5119.90	2" WATER	5118.40	1.50	WATER SERVICE LOWERING
4	5124.34	6" STORM	5121.57	6" FIRE	5120.07	1.50	



**DETAILED UTILITY**  
SCALE 1" = 5'

**BASIS OF BEARING**

THE BASIS OF BEARINGS IS BETWEEN THE SE CORNER OF TRACT E-5-A-2 AND USC&GS BRASS CAP "TRANS 1969" AS MEASURED WITH THE "TRIMBLE VRS NOW" GNSS VIRTUAL REFERENCE SYSTEM. BEARINGS ARE NEW MEXICO STATE PLANE BEARINGS, CENTRAL ZONE, NAD 83. DISTANCE ARE GROUND DISTANCES. ELEVATION DATUM IS NAVD88



**NOTES:**

- PROVIDE HYDROMECHANICAL GREASE INTERCEPTOR SIMILAR TO SCHIER GB-50 WITH H-20 RATED ADJUSTABLE CAST IRON COVER FOR EXTERIOR USE. UNIT SHALL BE RATED FOR 50 GPM MAX FLOW AND INCLUDE INTEGRAL AIR RELIEF, ANTI-SIPHON WITH NO VENT REQUIRED. UNIT TO HAVE SAMPLING ACCESS AND 6" CONNECTIONS.
- COORDINATION WITH WATER AUTHORITY AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
- COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

**811**  
Know what's below.  
Call before you dig.  
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

COPYRIGHT © 2023 ATWELL LLC NO REPRODUCTION SHALL BE MADE WITHOUT THE PRIOR WRITTEN CONSENT OF ATWELL LLC

**ATWELL**  
www.atwell-group.com  
866.850.4200  
143 UNION BOULEVARD, SUITE 700  
LAKEWOOD, CO 80228  
303.462.1100

SECTION 28  
TOWNSHIP 10 NORTH, RANGE 3 EAST  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

CLIENT: BW GAS & CONVENIENCE RETAIL, LLC  
ALLSUP'S CONVENIENCE STORE #102460  
9507 GIBSON BLVD. SW  
ALBUQUERQUE, NEW MEXICO 87121  
FINAL ENGINEERING PLANS  
UTILITY PLAN

DATE: 9/8/2023

REVISIONS

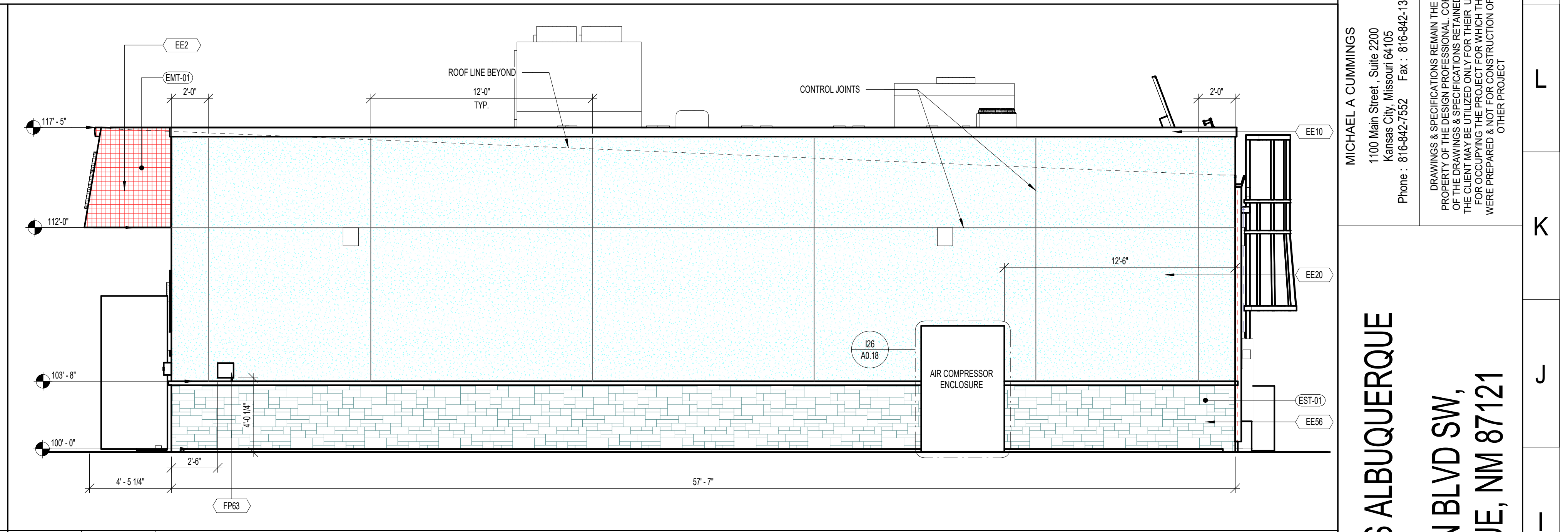
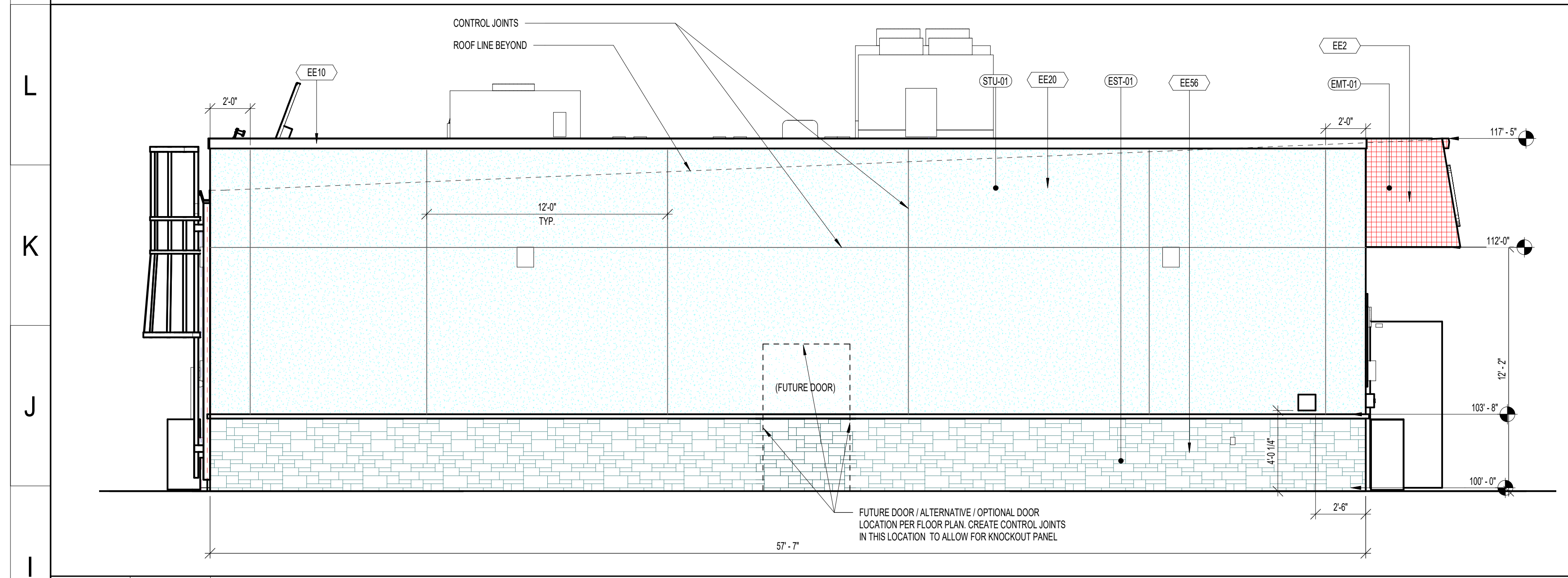
CHRISTINE SWEENEY  
NEW MEXICO  
Professional Engineer  
28227  
09/08/23

SCALE 0 15 30  
1" = 30 FEET  
DR. KJK | CH. CBS  
P.M. D. MADRUGA  
BOOK --  
JOB 22003692  
SHEET NO. 40

CAD FILE: 22003692-C07.0-UDWG

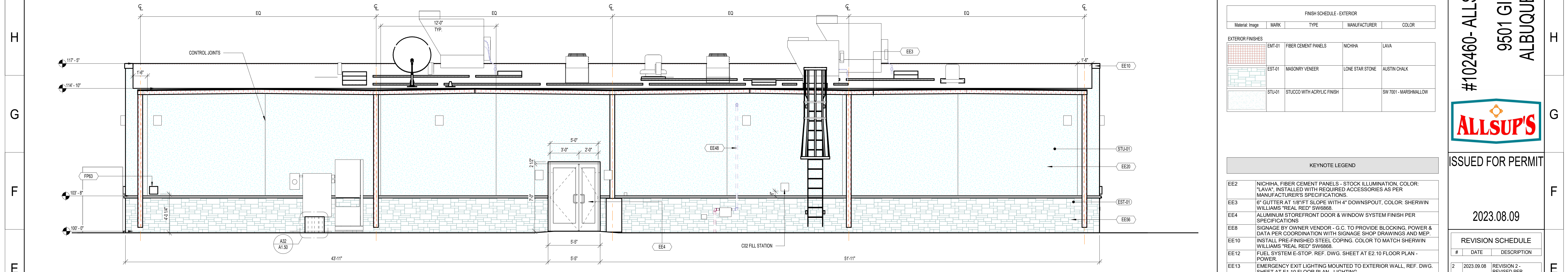
SIGNAGE DATA TABLE		
SIGNAGE LOCATION	REQUIREMENT	PROPOSED
EXTERIOR ELEVATION - NORTH	15% OF FACADE AREA INCLUSIVE OF DOORS AND WINDOWS. 267 S.F.	93 S.F.

NOTE: SIGNAGE WILL BE PERMITTED SEPARATELY.



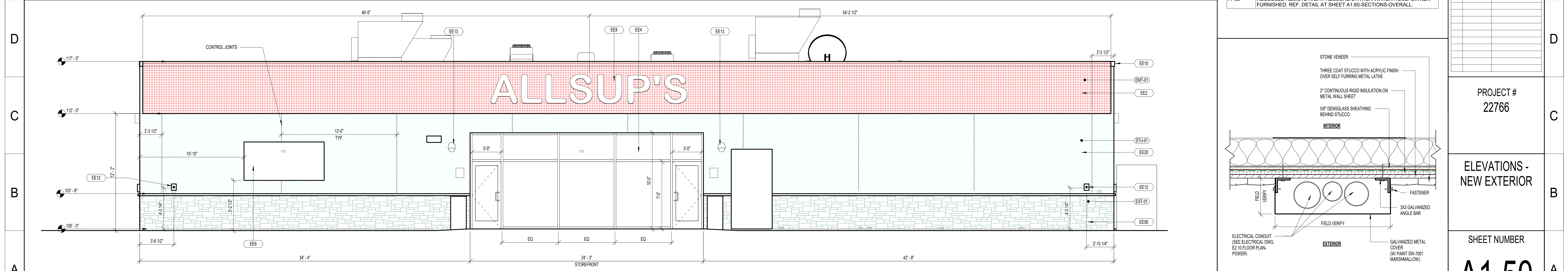
**11** SCALE 1/4" = 1'-0" **EXTERIOR ELEVATION - EAST**

**120** SCALE 1/4" = 1'-0" **EXTERIOR ELEVATION - WEST**



**D1** SCALE 1/4" = 1'-0" **EXTERIOR ELEVATION - SOUTH**

**A32** SCALE 1 1/2" = 1'-0" **EXTERIOR CONDUIT WIREWAY DETAIL**

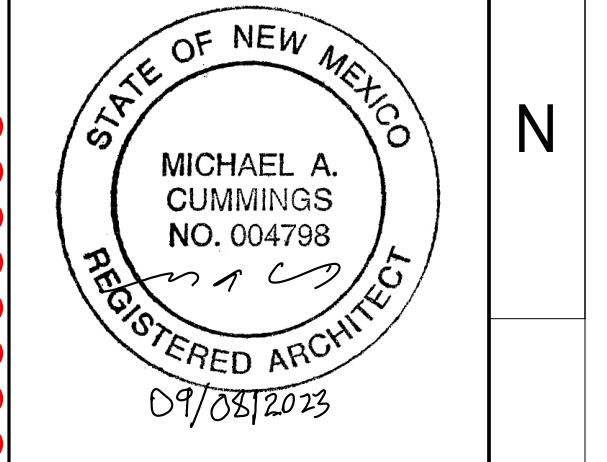
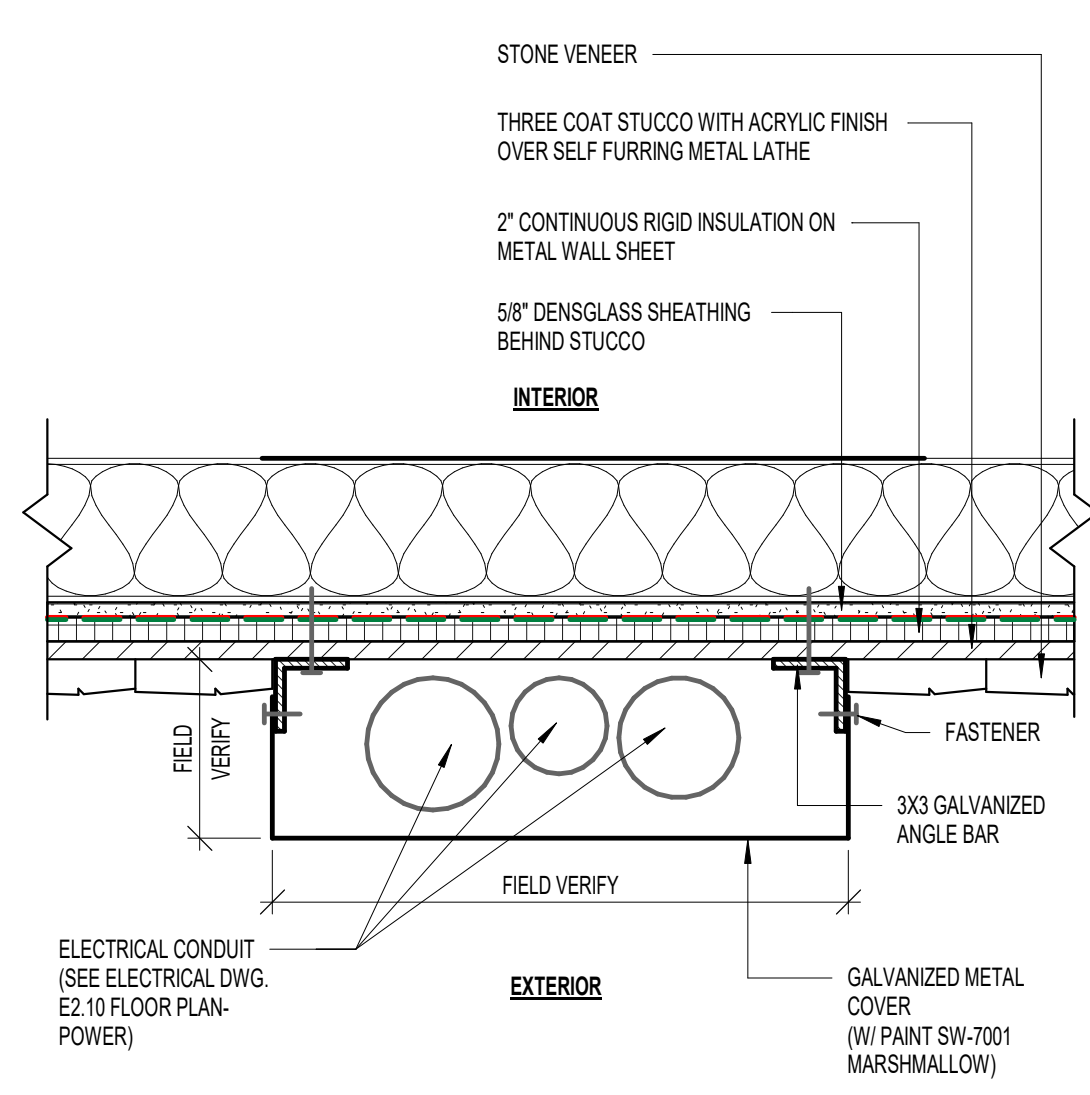


**A1** SCALE 1/4" = 1'-0" **EXTERIOR ELEVATION - NORTH**

**A32** SCALE 1 1/2" = 1'-0" **EXTERIOR CONDUIT WIREWAY DETAIL**

Material	Image	MARK	TYPE	MANUFACTURER	COLOR
EE2		EE2-01	FIBER CEMENT PANELS	NICHHA	LAVA
EE4		EE4-01	MASONRY VENEER	LOVE STAR STONE	AUSTIN CHALK
STU-01		STU-01	STUCCO WITH ACRYLIC FINISH	SW 7001 - MARSHMALLOW	

- KEYNOTE LEGEND**
- EE2 NICHHA: FIBER CEMENT PANELS - STOCK ILLUMINATION. COLOR: "LAVA". INSTALLED WITH REQUIRED ACCESSORIES AS PER MANUFACTURER'S SPECIFICATIONS.
  - EE3 6" GUTTER AT 1/8" SLOPE WITH 4" DOWNSPOUT. COLOR: SHERWIN WILLIAMS "REAL RED" SW6888.
  - EE4 ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM FINISH PER SPECIFICATIONS.
  - EE8 SIGNAGE BY OWNER VENDOR - G.C. TO PROVIDE BLOCKING, POWER & DATA PER COORDINATION WITH SIGNAGE SHOP DRAWINGS AND M.E.P.
  - EE10 INSTALL PRE-FINISHED STEEL COPING. COLOR TO MATCH SHERWIN WILLIAMS "REAL RED" SW6888.
  - EE12 FUEL SYSTEM E-STOP. REF. DWG. SHEET AT E2.10 FLOOR PLAN - POWER.
  - EE13 EMERGENCY EXIT LIGHTING MOUNTED TO EXTERIOR WALL. REF. DWG. SHEET AT E1.10 FLOOR PLAN - LIGHTING.
  - EE20 THREE COAT STUCCO WITH ACRYLIC FINISH.
  - EE48 GAS PIPING TO BE PAINTED TO MATCH EXTERIOR FINISH COLOR.
  - EE56 ADHERED MANUFACTURED STONE VENEER. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  - FP63 RECESSED REMOTE HIGH PRESSURE STATION WATER HOSE. OWNER FURNISHED. REF. DETAIL AT SHEET A1.60-SECTIONS-OVERALL.



MICHAEL A. CUMMINGS  
 1100 Main Street, Suite 2200  
 Kansas City, Missouri 64105  
 Phone: 816-842-7552 Fax: 816-842-1932

DRAWINGS & SPECIFICATIONS BEYOND THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS & SPECIFICATIONS RETAINED BY THE CLIENT ARE UNAUTHORIZED. THE PROJECT FOR WHICH THESE DRAWINGS WERE PREPARED & NOT FOR CONSTRUCTION OF ANY OTHER PROJECT.

#102460- ALLSUP'S ALBUQUERQUE  
 9501 GIBSON BLVD SW,  
 ALBUQUERQUE, NM 87121

ISSUED FOR PERMIT  
 2023.08.09

REVISION SCHEDULE		
#	DATE	DESCRIPTION
2	2023.09.08	REVISION 2 - REVISED PER PERMIT COMMENTS

PROJECT #  
 22766

ELEVATIONS -  
 NEW EXTERIOR

SHEET NUMBER  
**A1.50**

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: \_\_\_\_\_  
Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: **PR-2021-006208**  
DRB Application No.: **SI-2023-01171**

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Allsup's Convenience Store, 9501 Gibson Blvd.  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Tract E-5-A-2, Albuquerque South Unit 3  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		573'	Curb and Gutter	East edge of site	Gibson Blvd East Entry	Existing Asphalt Drive North property line	/	/	/
		12' Wide Lane	190' northbound right turn lane along 98th street with associated signage and striping	98th street	98th street bus stop	northwest entry off of 98th street	/	/	/
		100'	Sawcut and removal of existing asphalt pavement	Gibson Blvd	25' West of East property line	125' West of East property line	/	/	/
		6' wide sidewalk	300' of Concrete sidewalk with ADA accessible ramps	Gibson Blvd	106' West of East property line	West Property line	/	/	/
		6' wide sidewalk	305' of Concrete sidewalk with ADA accessible ramps	98th Street	75' North of South property line	North property line	/	/	/
		290'	6" PVC Sanitary Sewer pipe	East side of site	150' South of North property line	55' South of South property line	/	/	/
		350'	2" water service line	North side of site	80' South of North property line on 98th street	160' South of North property line	/	/	/
		270'	6" water line	North side of site	150' South of North property line on 98th street	100' South of North property line	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	170'	6" water line	South side of site	60' North of South property line	130' East of West property line	/	/	/
<input type="text"/>	<input type="text"/>	340'	Electric line	North East section of site	90' East of West property line	110' West of East property line	/	/	/
<input type="text"/>	<input type="text"/>	310'	Gas Pipe	East side of site	115' South of South property line	205' North of South property line	/	/	/
<input type="text"/>	<input type="text"/>	1	Fire Hydrant	North East corner of site	10' West of East property line	30' South of North property line	/	/	/
<input type="text"/>	<input type="text"/>	1	Fire Hydrant	South side of site	130' East of West property line	35' North of South property line	/	/	/
<input type="text"/>	<input type="text"/>	1	Removal and Relocation of exsiting turn lane sign	West of Gibson site entry	113' West of East property line	125' West of East property line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 \_\_\_\_\_  
\_\_\_\_\_
- 2 \_\_\_\_\_  
\_\_\_\_\_
- 3 \_\_\_\_\_  
\_\_\_\_\_

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	-------------------------------------------

**CHRISTINE SVEUM, P.E.**  
NAME (print)

**ATWELL, LLC**  
FIRM

SIGNATURE - date

\_\_\_\_\_ DRB CHAIR - date

\_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date

\_\_\_\_\_ UTILITY DEVELOPMENT - date

\_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ PARKS & RECREATION - date

\_\_\_\_\_ AMAFCA - date

\_\_\_\_\_ CODE ENFORCEMENT - date

\_\_\_\_\_ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

