



PLAN SNAPSHOT REPORT SP-2026-00020 FOR CITY OF ALBUQUERQUE

Plan Type: Site Plan	Project: PR-2021-006236 (PR-2021-006236)	App Date: 02/06/2026
Work Class: Administrative DFT	District: City of Albuquerque	Exp Date: 02/05/2029
Status: In Review	Square Feet: 0.00	Completed: NOT COMPLETED
Valuation: \$0.00	Assigned To:	Approval Expire Date:

Description: Major Amendment to revise the northeast portion of Tract A-3-B to match the recent replat and to revise the overall parking calculations.

Parcel: 101706352646310706	Address: 5171 Lang Ave Ne Albuquerque, NM 87109	Zone:
101706352644910705 Main		
5161 Lang Ave Ne Albuquerque, NM		
	5161 Lang Ave Ne Main Albuquerque, NM 87109	

Agent Jim Strozier 302 8TH ST NW ALBUQUERQUE, NM 87102 Business: (505) 764-9801 Mobile: (505) 235-6803	Applicant Rafael Castellanos 6300 Riverside Plaza Ln Ste 200 Albuquerque, NM 87120 Business: (505) 998-0163	Applicant Ayoni Oyenuga 302 8th Street NW Albuquerque, NM 87102 Business: (505) 764-9801	Owner Titan Journal Center Investors LLC & Titan Journal Center Land, LLC Business: (505) 998-0163
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Plan Custom Fields

Existing Project Number	Existing Zoning	NR-BP - Non-Residential - Business Park	Number of Existing Lots2
Total Area of Site in Acres	2.9778	Site Location Between Streets	Lang Avenue NE. Southwest of Paseo del Norte and I-25
Number of Signs	1	Building Size (Sq. Ft.)	8700
Lot and/or Tract Number	A3A, A3B	Total Gross Square Footage5	0
Subdivision Name and/or Unit Number	LEGACY AT JOURNAL CENTER	Legal Description	TR A-3-B PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3LEGACY AT JOURNAL CENTER) CON' 1.405 AC, TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3LEGACY AT JOURNAL CENTER) CON' 1.5728 AC
Zone Atlas Page(s)	D-17, D-18	Acreage	1.405, 1.5728
Council District	4	Community Planning Area(s)	North I-25
Current Land Use(s)	04 Commercial Services, 15 Vacant	Balloon Landing Preferred Area	Within Balloon Landing Area
Pre-IDO Zoning Description		Major Street Functional Classification	8 - urban interstate on-ramp, 6 - urban interstate frontage
		Calculated Acreage	1.30953748, 1.46649649
		Development Area(s)	Change
		Pre-IDO Zoning District IP	
		FEMA Flood Zone	X

PLAN SNAPSHOT REPORT (SP-2026-00020)

Total Gross Square Footage3	0	Total Gross Square Footage4	0	Credit Multiplier6	2
Spaces Credited Towards Minimum Required5	0	Credit Multiplier5	4	Spaces Credited Towards Minimum Required	0
Credit Multiplier3	7	Spaces Credited Towards Minimum Required6	0	Credit Multiplier2	4
Spaces Credited Towards Minimum Required4	0	Credit Multiplier	1	Spaces Credited Towards Minimum Required2	0
Credit Multiplier4	1	Spaces Credited Towards Minimum Required3	0	Total Gross Square Footage	0
Total Gross Square Footage2	0				

Attachment File Name	Added On	Added By	Attachment Group	Notes
Signature_Ayoni_Oyenuga_2/6/2026.jpg	02/06/2026 12:30	Oyenuga, Ayoni		Uploaded via CSS

Invoice No.	Fee	Fee Amount	Amount Paid
INV-00077876	Technology Fee	\$36.40	\$36.40
	Posted Sign Fee	\$10.00	\$10.00
	Facilitated Meeting Fee for Public Hearing Cases	\$50.00	\$50.00
	Published Notice Fee	\$75.00	\$75.00
	Site Plan Administrative Application Fee	\$385.00	\$385.00
Total for Invoice INV-00077876		\$556.40	\$556.40
Grand Total for Plan		\$556.40	\$556.40

Meeting Type	Location	Scheduled Date	Subject
DFT Meeting v.1	Zoom	03/04/2026	Admin DFT

Workflow Step / Action Name	Action Type	Start Date	End Date
Linked Project Plans v.1			02/18/2026 16:21
Application Intake v.1		02/18/2026 16:02	
Check for Threshold and Assign Case v.1	Generic Action		02/18/2026 16:02
Associate Project Number v.1	Generic Action		02/18/2026 16:03
Screen for Completeness v.1	Generic Action		02/18/2026 16:03
Sign Posting v.1	Generic Action		02/18/2026 16:03
Verify Payment v.1	Generic Action		02/18/2026 16:22
Application Review v.1		02/18/2026 16:22	
DFT Meeting v.1	Hold Meeting	02/18/2026 16:22	02/18/2026 16:23
Site Plan Administrative Application DFT v.1	Receive Submittal		
Notice of Decision v.1			
Upload Notice of Decision v.1	Generic Action		
Add in Conditions of Approval v.1	Generic Action		
Linked Applications v.1			



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 17, 2016

Project# 1010228

16DRB-70245 VACATION/ EASEMENT

16DRB-70247 SITE DEVELOPMENT PLAN FOR SUBDIVISION

16DRB-70248 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

16DRB-70292 PRELIM/ FINAL PLAT

DEKKER PERICH SABATINI and BOHANNAN HOUSTON INC agents for TITAN JOURNAL CENTER INVESTORS LLC request the referenced/ above actions for Tract A, **LEGACY AT JOURNAL CENTER** zoned IP, located on the north side of LANG AVE NE between HEADLINE BLVD NE and JOURNAL CENTER BLVD NE containing approximately 15 acres. (D-17 and D-18)

At the August 17, 2016 Development Review Board meeting, the vacation was approved as shown on exhibit B in the planning file per section 14-14-7-2(a) (1) and (b) (1)(3) of the subdivision ordinance. The site development plan for subdivision was approved with final sign-off delegated to planning for 15 day appeal period. The site development plan for building permit was approved with final sign-off delegated to transportation and planning to address comments. The preliminary/final plat was approved with final sign off delegated to planning for the site plan for subdivision.

Findings

Based on the proposed development, the public welfare is in no way served by retaining the easement.

There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right. Property owners of record abutting the proposed vacation were notified by first class mail at least six days prior to the Development Review Board hearing approving the vacation and no objection regarding access or the abridgement of a substantial property right was raised.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by September 1, 2016 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)



Jack Cloud, DRB Chair

Legal Description & Location:

Tracts A-3-A and A-3-B Plat of Tracts A-3-A & A-3-B Legacy at Journal Center

Cross streets: Lang Avenue and Headline Boulevard

Request Description: Site Plan - Administrative - Major Amendment

I - Hydrology: (if you already have approved plans, you can bypass this section and go to section II) _

- | | | | | |
|-------------------------------------|-------------------------------------|----------|-------|----|
| • Sensitive Lands Analysis (5-2(C)) | _____ | Approved | _____ | NA |
| • Grading and Drainage Plan | <input checked="" type="checkbox"/> | Approved | _____ | NA |
| • AMAFCA | _____ | Approved | _____ | NA |
| • Bernalillo County | _____ | Approved | _____ | NA |
| • NMDOT | _____ | Approved | _____ | NA |
| • MRGCD | _____ | Approved | _____ | NA |

Hydrology Department

Date

II - Approved Grading and Drainage Plan/Letter Attached: (not needed if obtained signature in section I)

III - Transportation: (if you already have approved plans, you can bypass this section and go to section IV) _

- | | | | | |
|--------------------------------------|-------------------------------------|----------|-------|----|
| • Traffic Circulations Layout (TCL) | <input checked="" type="checkbox"/> | Approved | _____ | NA |
| • Traffic Impact Study (TIS) | _____ | Approved | _____ | NA |
| • Neighborhood Impact Analysis (NIA) | _____ | Approved | _____ | NA |
| • Bernalillo County | _____ | Approved | _____ | NA |
| • MRCOG | _____ | Approved | _____ | NA |
| • NMDOT | _____ | Approved | _____ | NA |
| • MRGCD | _____ | Approved | _____ | NA |

Transportation Department

Date

IV - Approved TCL/Letter Attached: (not needed if obtained signature in section III) _

V - Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

Please select and attach the executed document that provides the commitment of service (whichever is applicable):

- Availability Statement
- Service Connection Agreement
- Development Agreement

If you do not have the executed document, please obtain the ABCWUA signature for your project.

To be completed by ABCWUA

- Request for Availability submitted: Availability Statement/Serviceability Letter # _____
- Request for Availability is not applicable

ABCWUA

Date

Note: Commitment for service is required prior ABCWUA approval of DFT application.

- | | | | | |
|---|-------------------------------------|----------|-------------------------------------|----|
| <input type="checkbox"/> VI - Infrastructure Improvements Agreement (IIA*) | _____ | Approved | <input checked="" type="checkbox"/> | NA |
| <input type="checkbox"/> VII - Solid Waste Department Signature on the Plan | <input checked="" type="checkbox"/> | Approved | _____ | NA |
| <input checked="" type="checkbox"/> VIII - Fire Marshall Signature on the Plan | <input checked="" type="checkbox"/> | Approved | _____ | NA |

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

Phase 1 of the Capra project has received approval from Solid Waste. There are no significant changes from the previously approved plan. The Solid Waste approval for Phase 2 is currently in progress with the Capra application.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 22, 2026

John Nixon
Mountain Top Engineering
2525 86th St B,
Lubbock, TX 79423

RE: Capra Bank Albuquerque – Phase 2 of 2
5171 Lang Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 11/19/2025
Hydrology File: D17D106D
Case # HYDR-2025-00455

Dear Mr. Nixon:

Based upon the information provided in your submittal received 1/19/2026, the Grading & Drainage Plan is approved for Demo Permit, Grading Permit, and Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

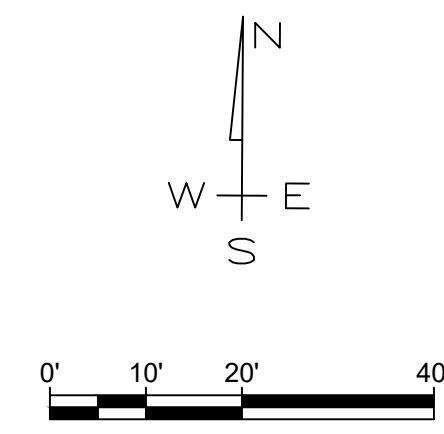
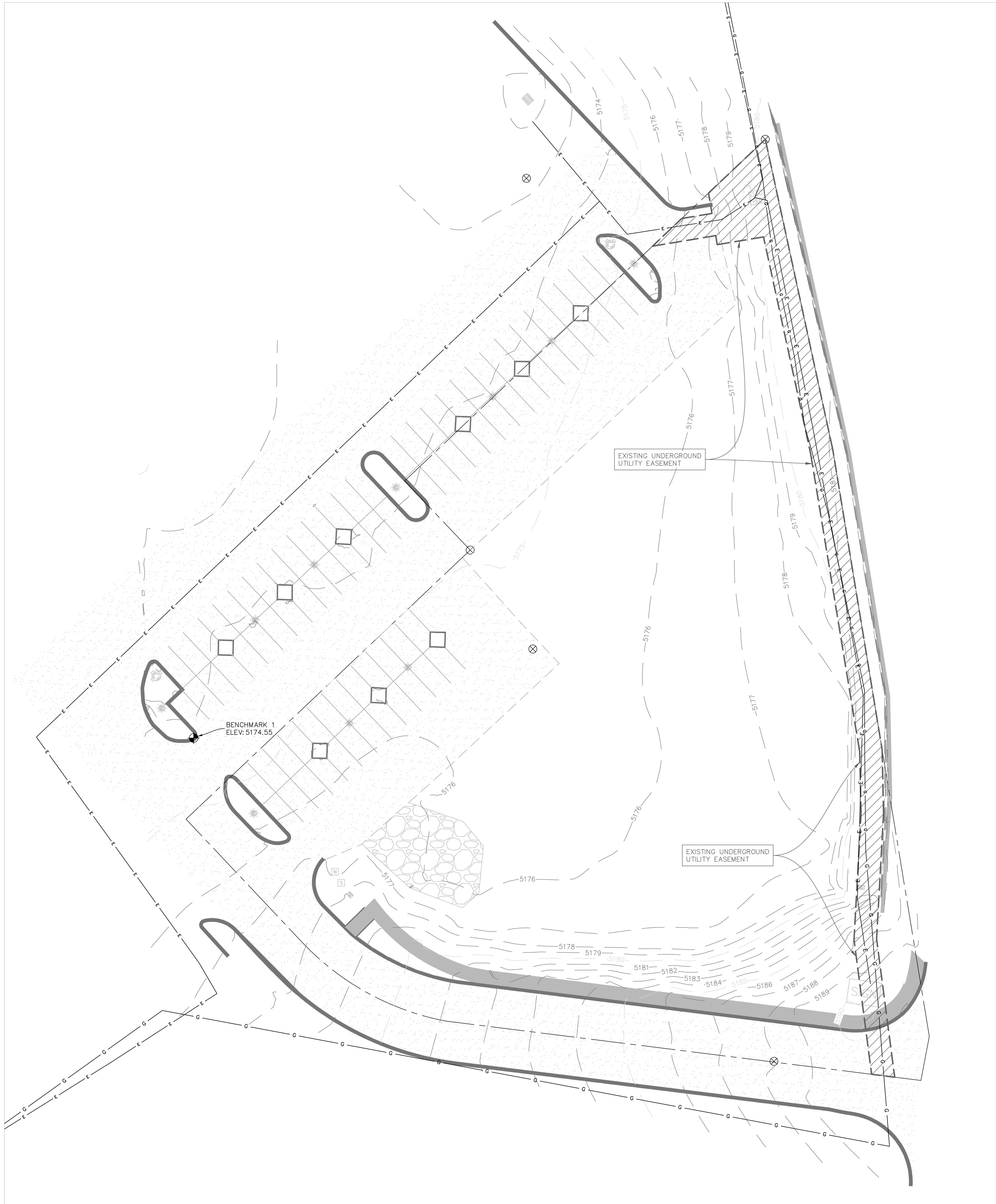
If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/22/2026
 BY: [Signature]
 HydroFrame #: D17D106D

THE APPROVAL OF THESE PLANS AND/OR DETAILS SHALL NOT BE CONSIDERED TO
 PREVENT THE CITY OF ALBUQUERQUE FROM BEING
 HELD RESPONSIBLE FOR ANY CITY ORDINANCE OR STATE LAW, AND
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 FROM BEING HELD RESPONSIBLE FOR ANY CITY ORDINANCE
 OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF
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 CITY ORDINANCE OR STATE LAW.



- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
 - - - - - EXISTING CONTOUR LINE
 - - - - - EXISTING CURB AND GUTTER
 - - - - - EXISTING SIDEWALK
 - - - - - EXISTING ASPHALT PAVING
 - - - - - EXISTING TRACKOUT ROCK
 - - - - - BOUNDARY LINE



REVISIONS:

DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE
 5171 LANG AVE NE
 ALBUQUERQUE, NEW MEXICO 87109



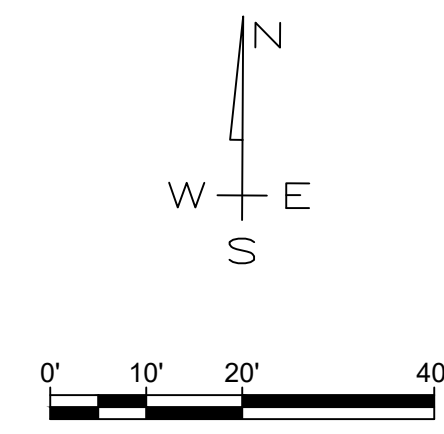
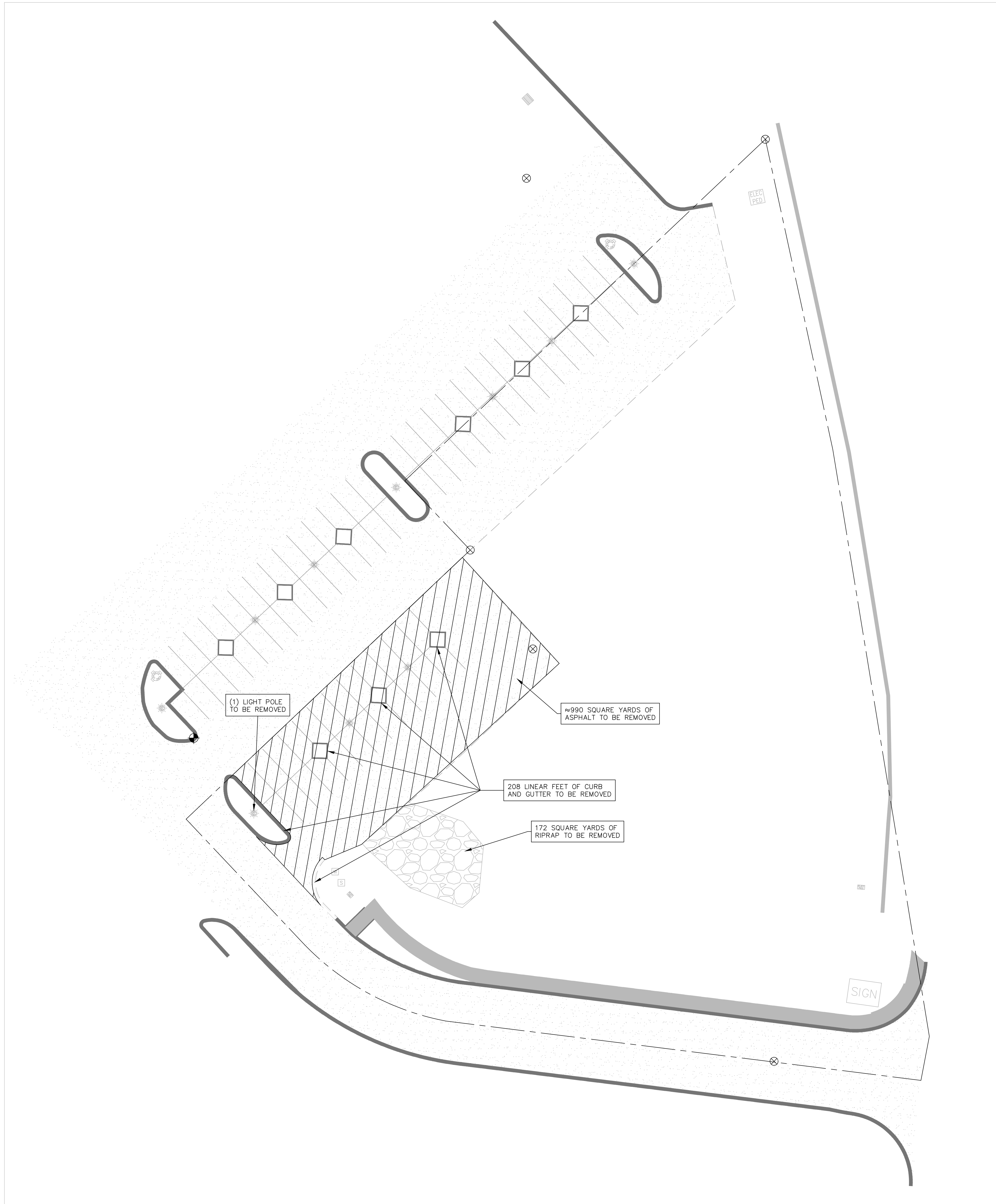
Seventeen Services LLC
 Texas Architecture Firm BR 3014
 1500 Broadway - Suite 203
 Lubbock, TX 79401
 806.787.8533
 tyler@17services.com

Project Number: 25ENG27
 Date: 6-10-25
 Drawn By: SM
 Sheet Size: E1 30X42

TOPO
C-100

City of Albuquerque
 Planning Department
 Development Review Services
APPROVED
 DATE: 1/22/2026
 BY: *[Signature]*
 HydroTeam # D17D106D

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO
 PREVENT THE VIOLATION OF ANY CITY ORDINANCE OR STATE LAW, AND
 SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING
 CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS,
 OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL
 NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2)
 YEARS AFTER THE APPROVAL DATE IF NO RELATED PERMITS HAS BEEN
 FILED ON THE DEVELOPMENT.



- LEGEND AND NOTES:**
- - - - - EXISTING EDGE OF ASPHALT
 - ▬ EXISTING CURB AND GUTTER
 - ▬ EXISTING SIDEWALK
 - ▬ EXISTING ASPHALT PAVING
 - ▬ EXISTING TRACKOUT ROCK
 - - - - - BOUNDARY LINE

[Signature]
 11/19/2025

MOUNTAIN TOP ENGINEERING
 ELEVATING EXPECTATIONS - SUPERIOR SERVICE
 TEXAS ENGINEERING FIRM # 26389
 MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX

REVISIONS:	
DATE	DESCRIPTION

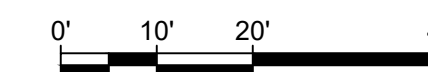
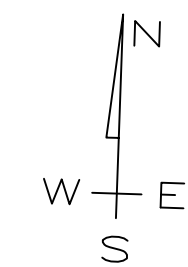
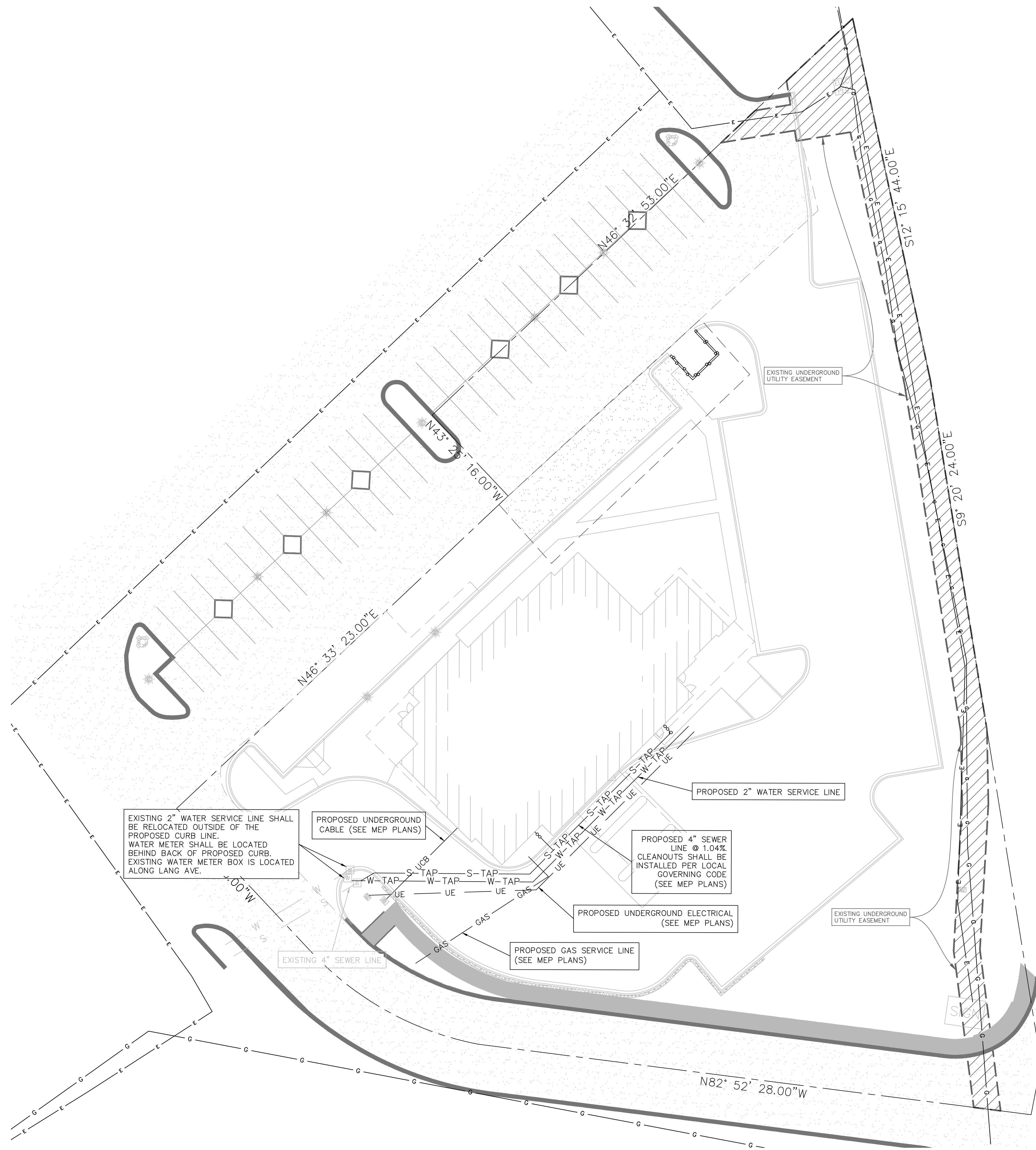
CAPRA BANK ALBUQUERQUE
 5171 LANG AVE NE
 ALBUQUERQUE, NEW MEXICO 87109



Seventeen Services LLC
 Texas Architecture Firm BR 3014
 1500 Broadway - Suite 203
 Lubbock, TX 79401
 806.787.8533
 tyler@17services.com

Project Number 25ENG27
 Date 6-10-25
 Drawn By SM
 Sheet Size E1 30X42

DEMO PLAN
PHASE 2
C-101



LEGEND AND NOTES:

- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- W-TAP — PROPOSED WATER SERVICE LINE
- S-TAP — PROPOSED SEWER SERVICE LINE
- UE — PROPOSED UNDERGROUND ELECTRIC
- UCB — PROPOSED UNDERGROUND CABLE
- GAS — PROPOSED GAS SERVICE LINE
- W — EXISTING WATER LINE
- S — EXISTING SEWER LINE

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF ALBUQUERQUE ENGINEERING MINIMUM DESIGN STANDARDS AND SPECIFICATIONS.

ALL UTILITY APPURTENANCES LOCATED WITHIN A DRIVE AISLE AND/OR SURFACE SHALL USE TRAFFIC RATED COVERS

PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, THE PLAN INCLUDING ALL NOTES, AND ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AND ANY SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES.

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE, INFORMATION, AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF ALL UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGES. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO EXISTING UTILITIES IMMEDIATELY AND AT NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES HAVING PROPERTY IN THE AREA OF CONSTRUCTION A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN OUTS AND VALVE BOXES MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.

AT ALL TIMES THAT WORK IS PROGRESSING, THE CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT PERSON ON-SITE WHO SHALL BE RESPONSIBLE FOR SUPERVISING THE WORK AND WHOSE DUTY IT WILL BE TO PERFORM REQUIRED SAFETY INSPECTIONS AND TO DIRECT ALL REQUIRED CONSTRUCTION SAFETY ACTIVITIES.

REVISIONS:	
DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



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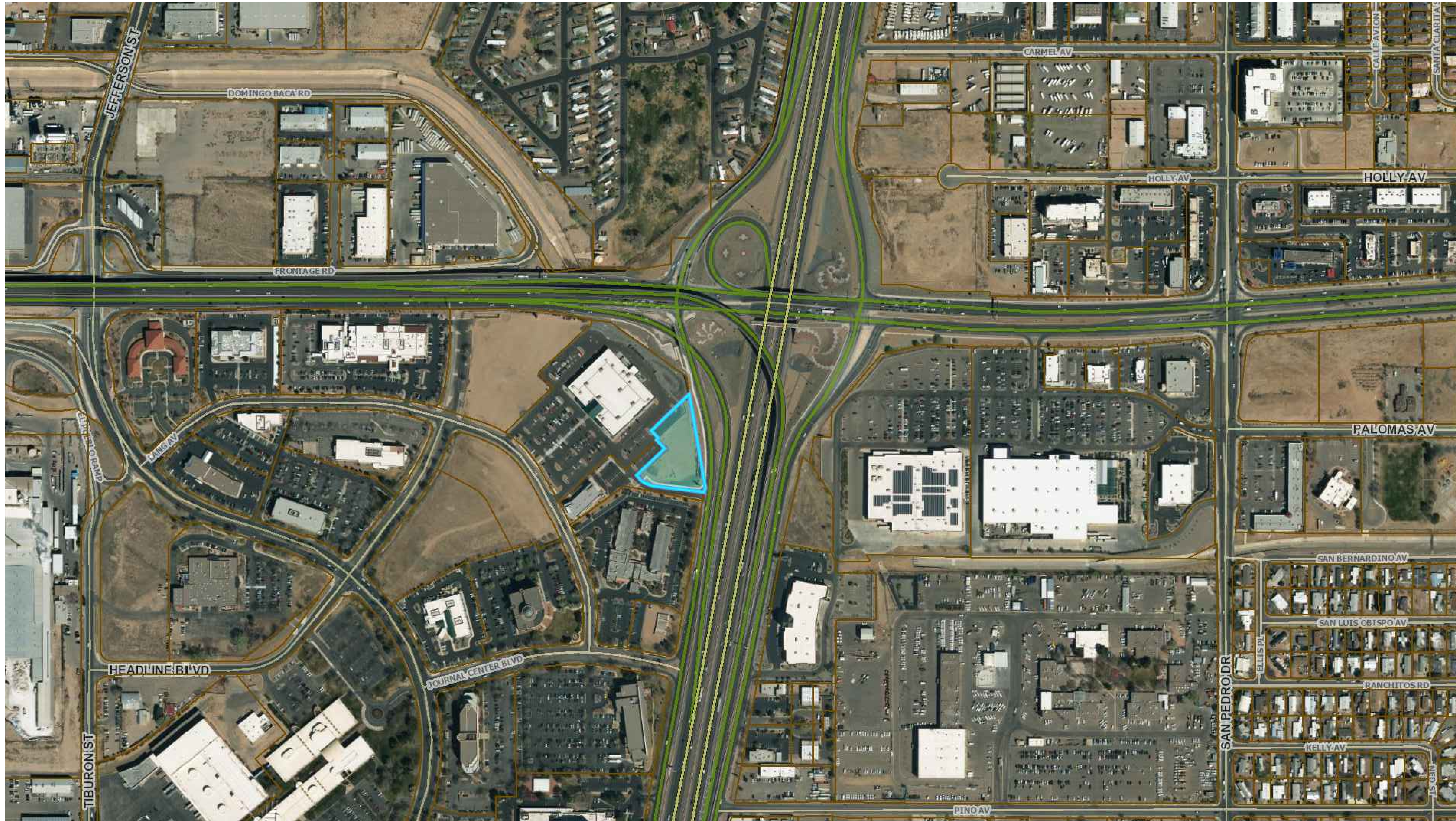
UTILITY PLAN
PHASE 2

C-200

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/22/2026
 BY: *[Signature]*
 HydroType #: D17D106D

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 CORRECT TECHNICAL STANDARDS OR ORDINANCES IN PLANS, SPECIFIC DETAILS,
 OR CONSTRUCTION METHODS. SUCH APPROVAL AND OPERATIONS SHALL
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 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE THREE
 YEARS AFTER THE APPROVAL DATE IF THE BUILDING PERMIT HAS BEEN
 FILED ON THE DEVELOPMENT.

REVISIONS:	
DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED



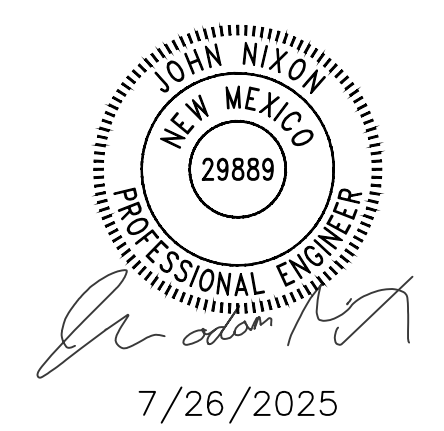
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LEGAL DESCRIPTION:
 TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC



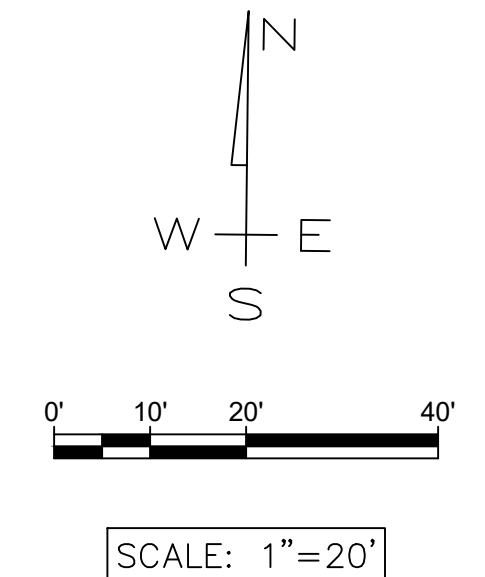
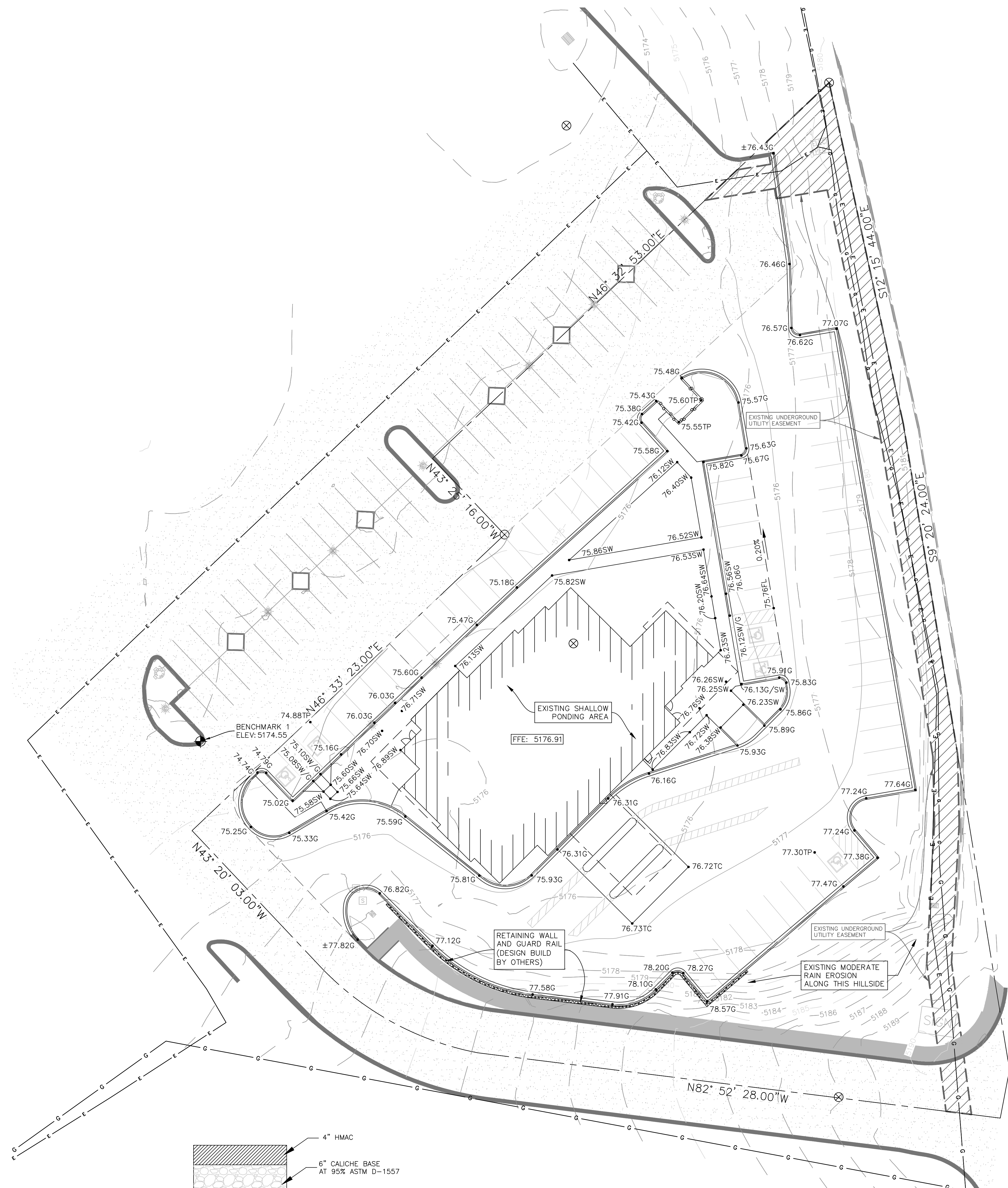
VICINITY MAP
C-400

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/22/2026
BY: [Signature]
Hydrology # D17D106D

THE APPROVAL OF THESE PLANS BY THE CITY OF ALBUQUERQUE DOES NOT CONSTITUTE A GUARANTEE OF ANY KIND OR A WARRANTY OF ANY KIND. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE APPROPRIATE AGENCIES.

REVISIONS:

DATE	DESCRIPTION
1-16-2026	ADDED HYDRO. CALCS.



LEGEND AND NOTES:

- 88.65' - TYPICAL PROPOSED ELEVATIONS
 - ±88.65' - TYPICAL APPROXIMATE EXISTING ELEVATIONS
 - 1.50% - TYPICAL PROPOSED SLOPE
 - - PROPOSED CURB
 - ▨ - PROPOSED RETAINING WALL
 - - - - PROPOSED PROPERTY LINE
 - - - - FLOW LINE
 - - - - PROPOSED CONTOURS
 - - - - EXISTING CONTOURS
 - - - - EXISTING CURB AND GUTTER
 - ▨ - EXISTING ASPHALT PAVING
 - ⊕ - BENCHMARK
- BP - BREAK POINT
EC - EDGE OF CONCRETE
FCE - FINISHED FLOOR ELEVATION
FG - FINISHED GRADE
FL - FLOWLINE
G - GUTTER
GB - GRADE BREAK
NG - NATURAL GROUND
SW - SIDEWALK
TC - TOP OF CURB
TP - TOP OF PAVEMENT
TW - TOP OF WALK

ALL ELEVATIONS AND CONTOURS ARE NAVD. ADD 5100 TO ELEVATIONS WHERE APPLICABLE.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT CITY OF ALBUQUERQUE ENGINEERING MINIMUM DESIGN STANDARDS AND SPECIFICATIONS.

ALL ELEVATIONS SHOWN ARE TOP OF CONCRETE UNLESS INDICATED OTHERWISE.

ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS INDICATED OTHERWISE.

CONTRACTOR SHALL GRADE ALL LANDSCAPE AREAS TO DRAIN. A.D.A. PARKING SPACES AND ACCESS AISLE SHALL HAVE A MAXIMUM SLOPE OF 2%. SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MEET ALL A.D.A. AND T.A.S. STANDARDS.

PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS, THE PLAN INCLUDING ALL NOTES, AND ANY OTHER APPLICABLE STANDARDS AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION AND ANY SAFETY PRECAUTION PROGRAMS RELATING IN ANY WAY TO THE CONDITIONS OF THE PREMISES.

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE, INFORMATION, AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATIONS OF ALL UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGES. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO EXISTING UTILITIES IMMEDIATELY AND AT NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES HAVING PROPERTY IN THE AREA OF CONSTRUCTION A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN OUTS AND VALVE BOXES MUST BE ADJUSTED TO THE PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING.

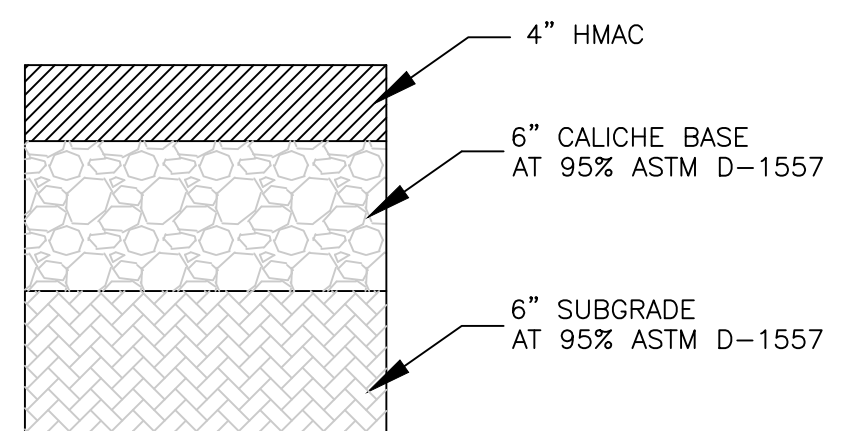
AT ALL TIMES THAT WORK IS PROGRESSING, THE CONTRACTOR SHALL HAVE A DESIGNATED COMPETENT PERSON ON-SITE WHO SHALL BE RESPONSIBLE FOR SUPERVISING THE WORK AND WHOSE DUTY IT WILL BE TO PERFORM REQUIRED SAFETY INSPECTIONS AND TO DIRECT ALL REQUIRED CONSTRUCTION SAFETY ACTIVITIES.

SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.214.b)

ADDED HYDRO. CALCS. REVISION #1

BASIN	AREA (SQ. FT.)	AREA (ACRES)	TREATMENT A				TREATMENT B				TREATMENT C				TREATMENT D				100 YEAR, 6-hr		
			%	(ACRES)	%	(ACRES)	%	(ACRES)	%	(ACRES)	%	(ACRES)	WEIGHTED E (INCHES)	VOLUME (AC-FT)	FLOW (CFS)						
EXISTING	68457	1.57	-	-	-	-	67%	1.05	33%	0.52	1.46	0.191	0.36								
PROPOSED	68457	1.57	-	-	-	-	40%	0.62	60%	0.95	1.82	0.238	0.48								

IMPERVIOUS AREA
TOTAL IMPERVIOUS AREA:
41,282 SQ. FT. (4587 SQ. YDS.)



NOTE: AREAS OF SOFT OR YIELDING SUBGRADE BELOW BASE SHALL BE CUT OUT, REPLACE WITH APPROVED MATERIALS, AND COMPACTED IN LIFTS TO ACHIEVE A MINIMUM 95% MODIFIED PROCTOR DENSITY (ASTM D-1557)

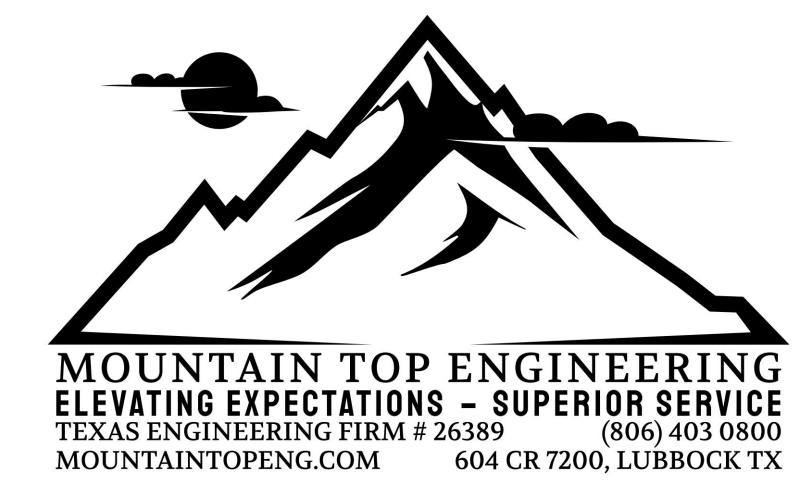
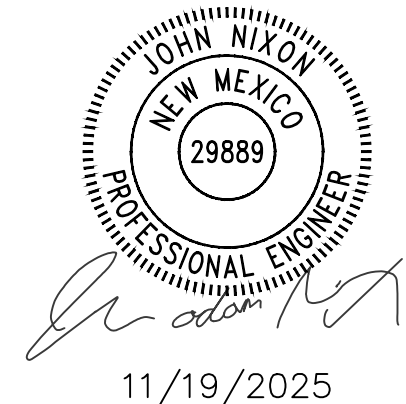
TYPICAL ASPHALT PAVING SECTION
NOT TO SCALE

EXISTING AND PROPOSED SITE GRADING FEATURES:

EXISTING SITE GRADING: THE SITE IS CURRENTLY PARTIALLY PAVED WITH LARGE DIRT LOT TO THE EAST OF THE PARKING LOT. THIS DIRT AREA IS MOSTLY LOWER THAN OR FLUSH TO THE EDGE OF ASPHALT. THERE ALSO EXISTS A RETAINING WALL AT THE EASTERN PROPERTY BOUNDARY THAT ABUTS THE PAN AMERICAN FREEWAY ACCESS/FRONTAGE ROAD, NORTH OF THE ACCESS ROAD, THAT RUNS ALONG THE SOUTHERN BOUNDARY LINE. IS A LONG SLOPED HILL THAT LEVELS OUT TO THE DIRT LOT. CURRENTLY, WATER DRAINS TO THE NORTH AND INTO THE DROP INLETS OF THE STORM SEWER SYSTEM THAT EXISTS ALONG THE BASS PRO SHOPS DRIVE AISLE.

PROPOSED SITE GRADING (PHASE 2): THE PROPOSED SITE GRADING WILL ADD A 8026 SQ. FT BUILDING FOOTPRINT WITH A FULL PERIMETER DRIVE AISLE AND PARKING LOT. THE LOT MAINTAINS THE SAME DRAINAGE PATTERNS ALBEIT WITH DIFFERENT PATHS FOR FLOW WITH THE INTRODUCTION OF THE PHASE 2 BUILDING. THE BUILDING ACTS AS THE DIVIDING FACTOR FOR STORM WATER. THE SIDE OF THE BUILDING THAT STORM WATER LANDS ON WILL DECIDE ITS FLOW PATH. STORM WATER ON THE SOUTHEAST AND EAST SIDE OF THE BUILDING WILL FLOW FROM THE SOUTHWEST TO THE NORTHWEST THROUGH THE DRIVE AISLE. STORM WATER ON THE SOUTHWEST TO THE NORTHWEST THROUGH THE DRIVE AISLE WILL FLOW FROM THE SOUTHWEST TO THE NORTHWEST THROUGH THE DRIVE-THRU ENTRANCE. ALL FLOW CONVEYS AS SHEET FLOW OR SHALL CONCENTRATED FLOW TO THE DRIVE AISLE NORTH OF THE SITE WHERE THE EXISTING STORM INLETS ARE.

BENCHMARK:
BENCHMARK #1 = "X" IN BOX CUT IN BACK OF CURB LOCATED IN A PARKING END CAP PENINSULA NORTH OF THE WESTERN MOST PLAT CORNER.



CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



Seventeen Services LLC
Texas Architecture Firm BR 3014
1500 Broadway - Suite 203
Lubbock, TX 79401
806.787.8533
tyler@17services.com

Project Number 25ENG27
Date 07.03.25
Drawn By SM
Sheet Size E1 30X42

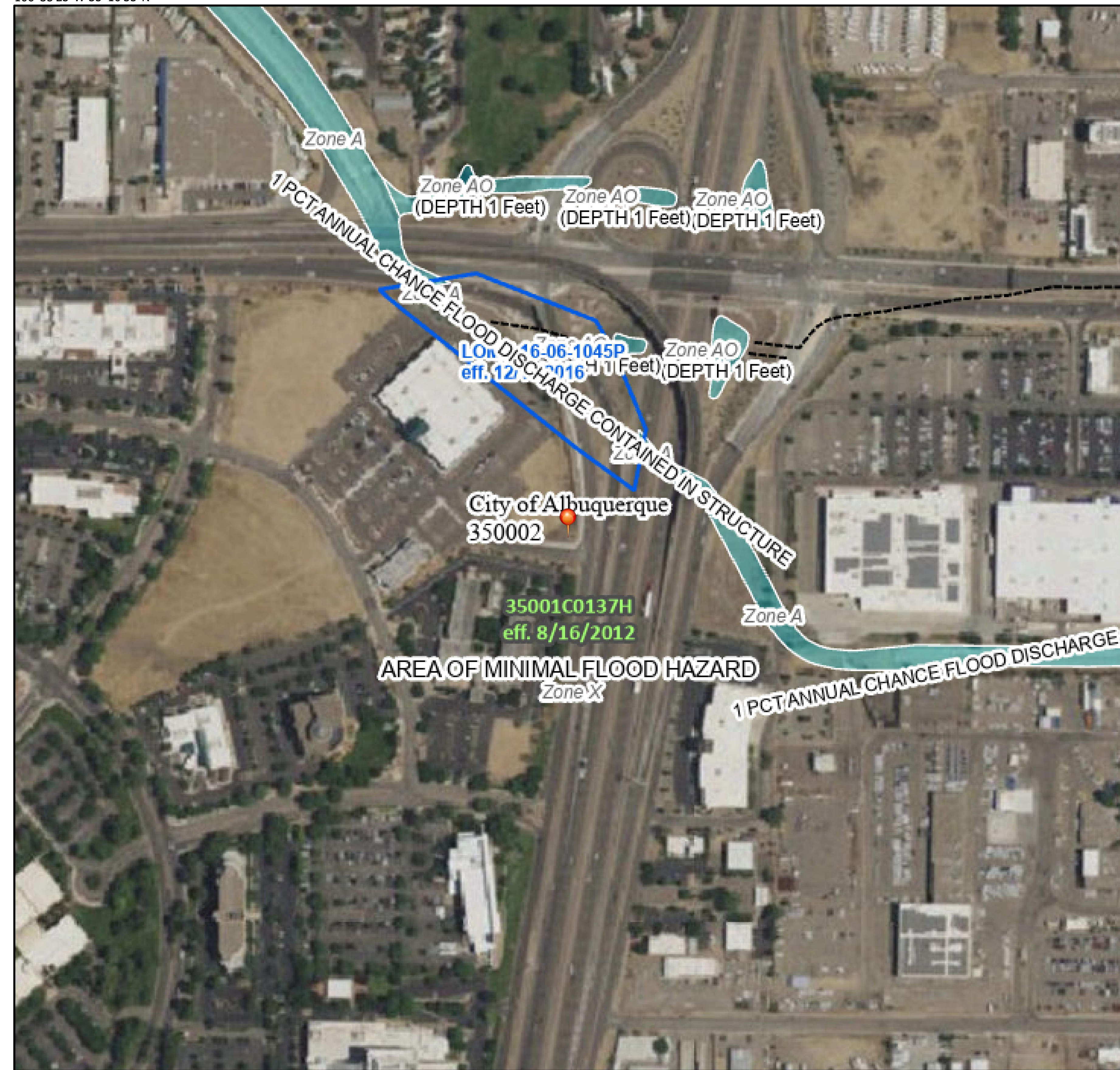
GRADING PLAN
- PHASE 2

C-401

National Flood Hazard Layer FIRMette



106°35'25"W 35°10'35"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000
Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway

	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D

OTHER AREAS OF FLOOD HAZARD

	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D

OTHER AREAS

	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

GENERAL STRUCTURES

	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

OTHER FEATURES

	Digital Data Available
	No Digital Data Available
	Unmapped

MAP PANELS
The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

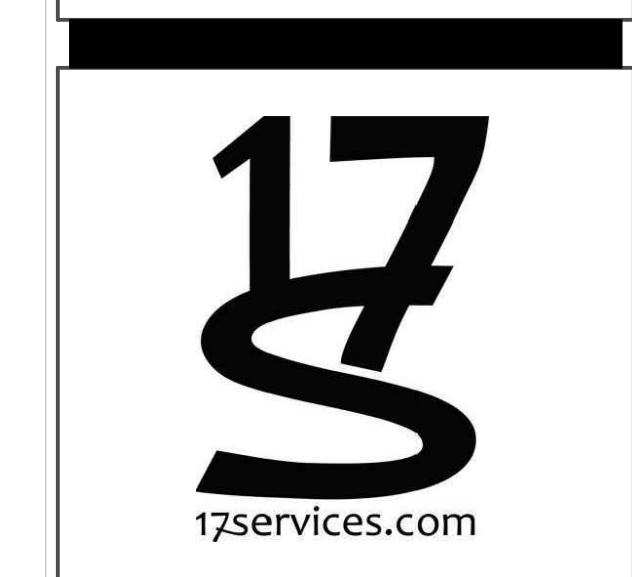
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 10/1/2025 at 4:21 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 1/22/2026
BY: [Signature]
HydroTeam # D17D106D
THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO REPRESENT THE CITY OF ALBUQUERQUE OR ITS EMPLOYEES AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING CORRECTIVE ACTIONS OR AMENDMENTS TO ANY PERMITS, ORDINANCES, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED, OR REPRODUCED WITHOUT THE WRITTEN APPROVAL OF THE APPROVAL OFFICE. THIS PERMIT SHALL BE VOID IF THE APPROVAL OFFICE IS NOT NOTIFIED WITHIN 90 DAYS OF THE APPROVAL DATE.

DATE	DESCRIPTION
8/21/2025	ADDENDUM 2, CITY COMMENTS
9/29/2025	ADDENDUM #3 - TRASH ENCLOSURE ADDED, CHD COMMENTS ADDRESSED

CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



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tyler@17services.com

Project Number	25ENG27
Date	6-10-25
Drawn By	SM
Sheet Size	E1 30X42

FIRMette
C-402



CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 23, 2026

Adam Nixon, PE
604 CR 7200
Lubbock, TX 79404

anixon@mountaintopeng.com

**Re: Capra Bank Albuquerque PH-2
5171 Lang NE
Albuquerque, NM 87109
Traffic Circulation Layout
Engineer's Stamp 11/18/25 (D17D106D)-TRANS-2025-00345**

Dear Mr. Nixon,

PO Box 1293

The TCL submittal received 11-25-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

NM 87103

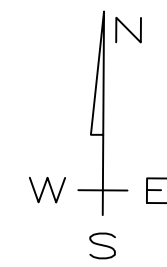
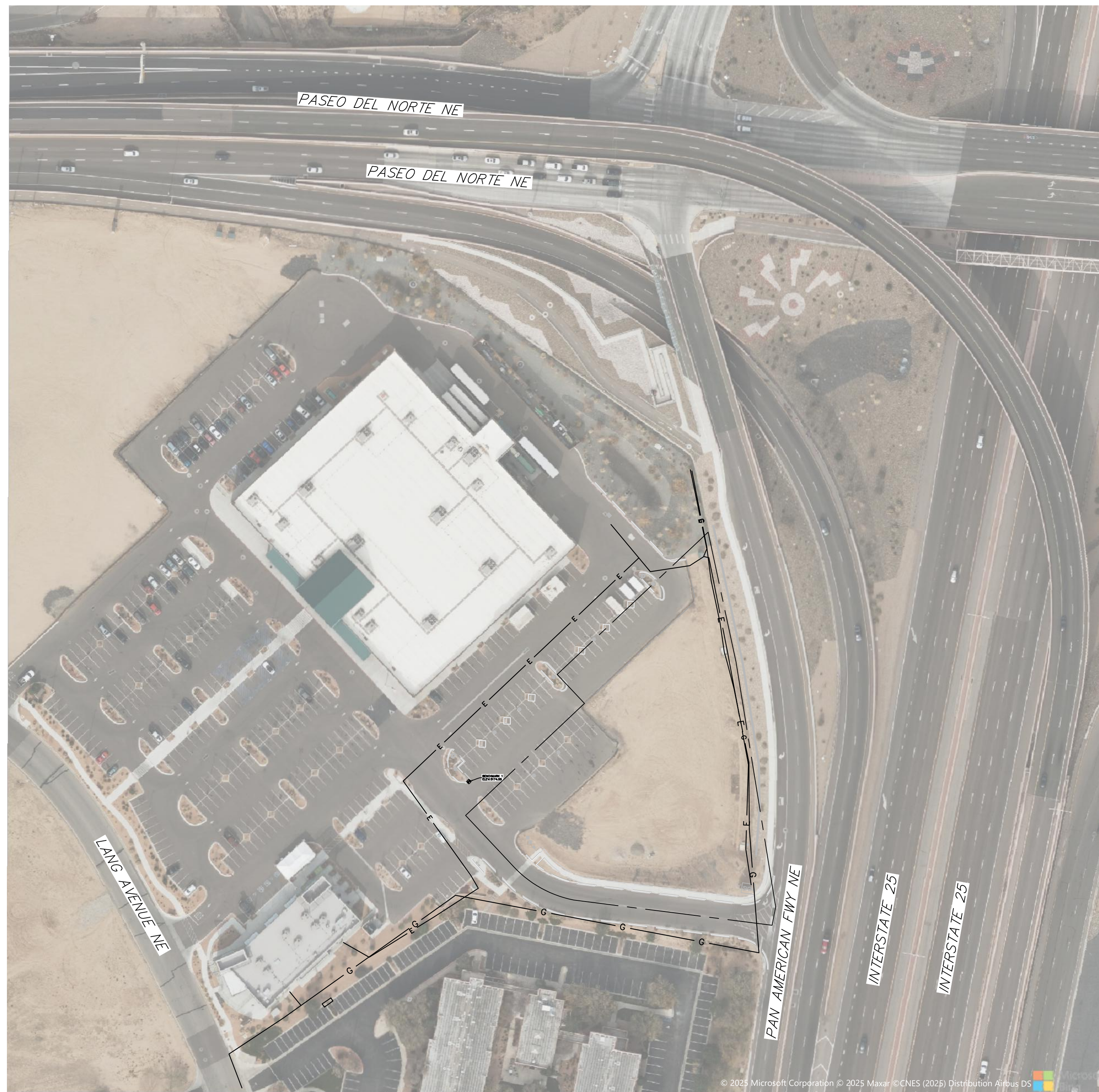
www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Sertil A. Kanbar

Sertil Kanbar, PhD, PE, CFM
Sr. Engineer, Planning Dept.
Development Review Services



VICINITY MAP
 ZONE ATLAS PAGE: D-18-Z

TRAFFIC CIRCULATION
 LAYOUT APPROVED
 Sortil A. Kanbar 1/23/2026
 Signed Date



REVISIONS:

DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE
 5171 LANG AVE NE
 ALBUQUERQUE, NEW MEXICO 87109



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 1500 Broadway - Suite 203
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 tyler@17services.com

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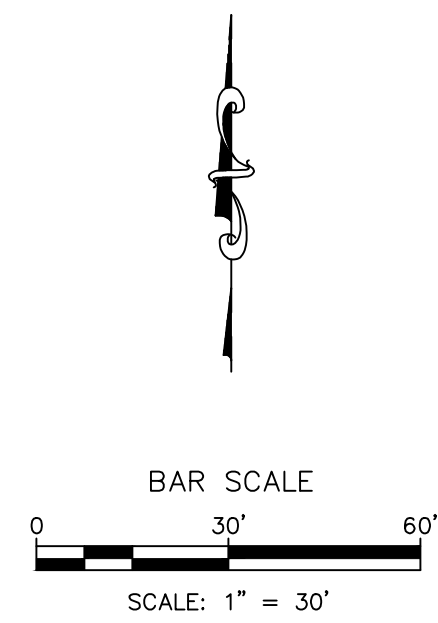
TRAFFIC
 CIRCULATION
 PLAN
 - MAP

TCL-1

Boundary Survey
for
Topographic Map
for
Tract A-3-A
Legacy at Journal Center
City of Albuquerque
Bernalillo County, New Mexico
June 2025

Easement Notes

- 1 EXISTING 10' GRANT AND RELEASE OF ACCESS RIGHTS (9/21/1983, BK. 51-A, PG. 459) AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 2 EXISTING 10' PNM EASEMENT (12/19/1994, 94C-420) AND AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 3 EXISTING 10' P.U.E. (09/09/2016, 2016C-112) AND AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 4 EXISTING P.U.E. (09/09/2016, 2016C-112) AND AS SHOWN ON PLAT (04/04/2017, 2017C-40)
- 5 EXISTING PEDESTRIAN ACCESS EASEMENT (09/09/2016, 2016C-112)
- 6 EXISTING PEDESTRIAN ACCESS EASEMENT (04/04/2017, 2017C-40)
- 7 EXISTING 10' UNDERGROUND PNM EASEMENT WITHIN TRACT A-3 (5/9/2017, DOC. NO. 2017043507)
- 8 EXISTING 10' UNDERGROUND PNM EASEMENT WITHIN TRACT A-2 (5/9/2017, DOC. NO. 2017043508)
- 9a EXISTING 10' UNDERGROUND PNM EASEMENT (8/28/2017, DOC. NO. 2017082878)
- 9b EXISTING 17' X 21' PNM TRANSFORMER EASEMENT (8/28/2017, DOC. NO. 2017082878)
- 10 EXISTING PRIVATE UTILITY EASEMENT BENEFITING TRACT A-3-A (04/04/2017, 2017C-40)
- 11 EXISTING BLANKET CROSS LOT DRAINAGE AND ACCESS EASEMENT FOR THE BENEFIT OF TRACTS A-2, A-3-A & A-3-B AND FURTHER DEFINED BY THE RECIPROCAL EASEMENT AND OPERATING AGREEMENT (9/9/2016, 2016C-112) AND REFERENCED ON PLAT (04/04/2017, 2017C-40)



CSI-CARTESIAN SURVEYS INC.
P.O. BOX 44414 RIO RANCHO, N.M. 87174
Phone (505) 896-3050 Fax (505) 891-0244
cartesianbrian@gmail.com

TRAFFIC CIRCULATION LAYOUT APPROVED
Sertil A. Kanbar 1/23/2026
Signed Date

Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES PER PLAT (4/4/2017, 2017C-40)
{N 90°00'00" E}	RECORD BEARINGS AND DISTANCES PER PLAT (8/15/2023, 2023C-66)
[N 90°00'00" E]	RECORD BEARINGS AND DISTANCES PER PLAT (9/9/2016, 2016C-112)
●	FOUND MONUMENT AS INDICATED
○	SET 1/2" REBAR WITH CAP "LS 18374" UNLESS OTHERWISE NOTED
—●—	ACCESS CONTROL LINE PER RIGHT OF WAY MAP, PROJECT NO. "A301180"
▭	CONCRETE
▨	COVERED AREA
▩	BLOCK WALL
— —	METAL FENCE
— —	BOLLARD
□	UTILITY PEDESTAL
⊞	ELECTRIC VEHICLE CHARGING STATION
⊞	PULL BOX
☆	LIGHT POLE
⊞	ELECTRIC METER
⊞	TRANSFORMER
⊞	ELECTRIC CABINET
⊞	SANITARY SEWER MANHOLE
⊞	SAS CLEANOUT
⊞	IRRIGATION BOX
⊞	WATER VALVE
⊞	WATER METER
⊞	FIRE HYDRANT
⊞	HOT BOX
⊞	SIGN
⊞	CURB CUT/INDICATION OF ACCESS TO ROADWAY
⊞	STORM DRAIN MANHOLE
⊞	STORM DRAIN INLET
⊞	ROOF DRAIN
⊞	GAS METER
⊞	RAMP
—○—	UNDERGROUND GAS UTILITY LINE
—○—	UNDERGROUND WATER UTILITY LINE
—○—	UNDERGROUND SANITARY SEWER LINE
—○—	UNDERGROUND ELECTRIC UTILITY LINE
—○—	FDC
—○—	PIV
5075.50	SPOT ELEVATION
BC 5075.50	BACK OF CURB ELEVATION
FL 5075.50	FLOW LINE ELEVATION
EP 5075.50	EDGE OF PAVEMENT ELEVATION
TA 5075.50	TOP OF ASPHALT ELEVATION
TC 5075.50	TOP OF CONCRETE ELEVATION
TOP 5075.50	TOP OF SLOPE ELEVATION
TOE 5075.50	TOE OF SLOPE ELEVATION

Line #	Direction	Length (ft)
L1	S 43°26'27" E (S 43°18'04" E) [S 43°18'04" E]	89.84' (89.76') [89.76']
L2	N 46°42'37" E (N 46°44'14" E)	163.98' (164.00')
L3	N 43°20'03" W (N 43°15'46" W)	51.06' (51.12')
L4	N 43°17'53" W (N 43°18'03" W)	24.68' (24.73')
L5	S 10°48'16" W (S 10°43'37" W) [S 10°43'37" W]	57.06' (57.17') [57.17']
L6	S 10°48'16" W (S 10°43'37" W) [S 10°43'37" W]	19.92' (20.02')
L7	S 10°48'16" W (S 10°43'37" W) [S 10°43'37" W]	37.15' (37.15')
L8	N 43°26'16" W (N 43°15'46" E) [N 43°15'46" E]	42.37' (42.92') [42.92']
L9	N 46°33'23" E (N 46°44'14" E) [N 46°44'14" E]	9.97' (9.98')
L10	S 54°31'05" W (S 54°28'02" W) [S 54°29'45" W]	277.10' (277.23') [277.14']

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	116.60' (117.10')	2441.93' (2441.93')	2°44'09"	116.59'	N 26°01'10" W
C2	73.93' (73.94')	118.00' (118.00')	35°53'56"	72.73'	N 61°14'55" W

5075.50	SPOT ELEVATION
BC 5075.50	BACK OF CURB ELEVATION
FL 5075.50	FLOW LINE ELEVATION
EP 5075.50	EDGE OF PAVEMENT ELEVATION
TA 5075.50	TOP OF ASPHALT ELEVATION
TC 5075.50	TOP OF CONCRETE ELEVATION
TOP 5075.50	TOP OF SLOPE ELEVATION
TOE 5075.50	TOE OF SLOPE ELEVATION

TRAFFIC CIRCULATION PLAN
- EXISTING
TCL-2

571 Leng Ave. N.E.

Tract A-3-A
68,458 Sq. Ft.
1.5716 Acres

Pan American Freeway NE

REVISIONS:	
DATE	DESCRIPTION
10/27/2025	ADA UPDATES

CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



Seventeen Services LLC
 Texas Architecture Firm BR 3014
 1500 Broadway - Suite 203
 Lubbock, TX 79401
 806.787.8533
 tyler@17services.com

Project Number	25ENG27
Date	9-19-25
Drawn By	SM
Sheet Size	D 24X36

TRAFFIC CIRCULATION PLAN - PHASE 2
TCL-3

SITE DATA:

USE: BANK
 ZONING: NR-BP
 OVERLAY: NORTH I-25 AREA - CPO-9
 CENTERS AND CORRIDORS: FAR NORTH, JOURNAL CENTER
 PREMIUM TRANSIT STATION: N/A
 TRANSIT: I-25, PASEO DEL NORTE NE
 BICYCLE FACILITIES: PASEO DEL NORTE TRAIL
 LEGAL DESCRIPTION: TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNAL CENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC
 NET SITE AREA: 68511.2 FT²
 ZONE ATLAS PAGE: D-18-Z
 SETBACKS:
 BUILDING HEIGHT: 11.25'
 BUILDING FOOTPRINT: 1400 FT²
 PARKING:
 REQUIRED: 7 SPACES (1 SPACE PER 200 FT²)
 PROVIDED: 23

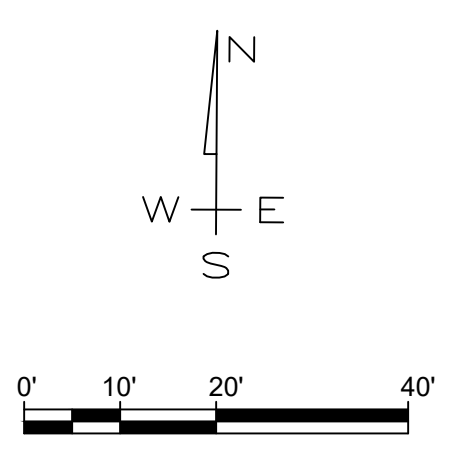
MOTORCYCLE SPACES REQUIRED: 1 (1 SPACE FOR 1-25 OFF-STREET SPACES)
 MOTORCYCLE SPACES PROVIDED: 1
 BICYCLE SPACES REQUIRED: 2 (ONE BICYCLE SPACE PER EACH 20 PARKING SPACES REQUIRED FOR AUTOMOBILES AND LIGHT TRUCKS, BUT NOT LESS THAN TWO SPACES PER PREMISES)
 BICYCLE SPACES PROVIDED: 2

KEYED NOTES:

1. EXISTING PARKING TO REMAIN
2. EXISTING LOT TO BE DEVELOPED IN THE FUTURE
3. EXISTING LIGHT POLES TO REMAIN
4. EXISTING EDGE OF ASPHALT
5. EXISTING UTILITY STUB-OUTS
6. EXISTING ADA RAMP
7. EXISTING ACCESS ROAD TO PAN AMERICAN FRONTAGE ROAD
8. EXISTING SIDEWALK
9. EXISTING MARQUEE SIGN
10. EXISTING RIPRAP RUNOUT TRACK

GENERAL NOTES:

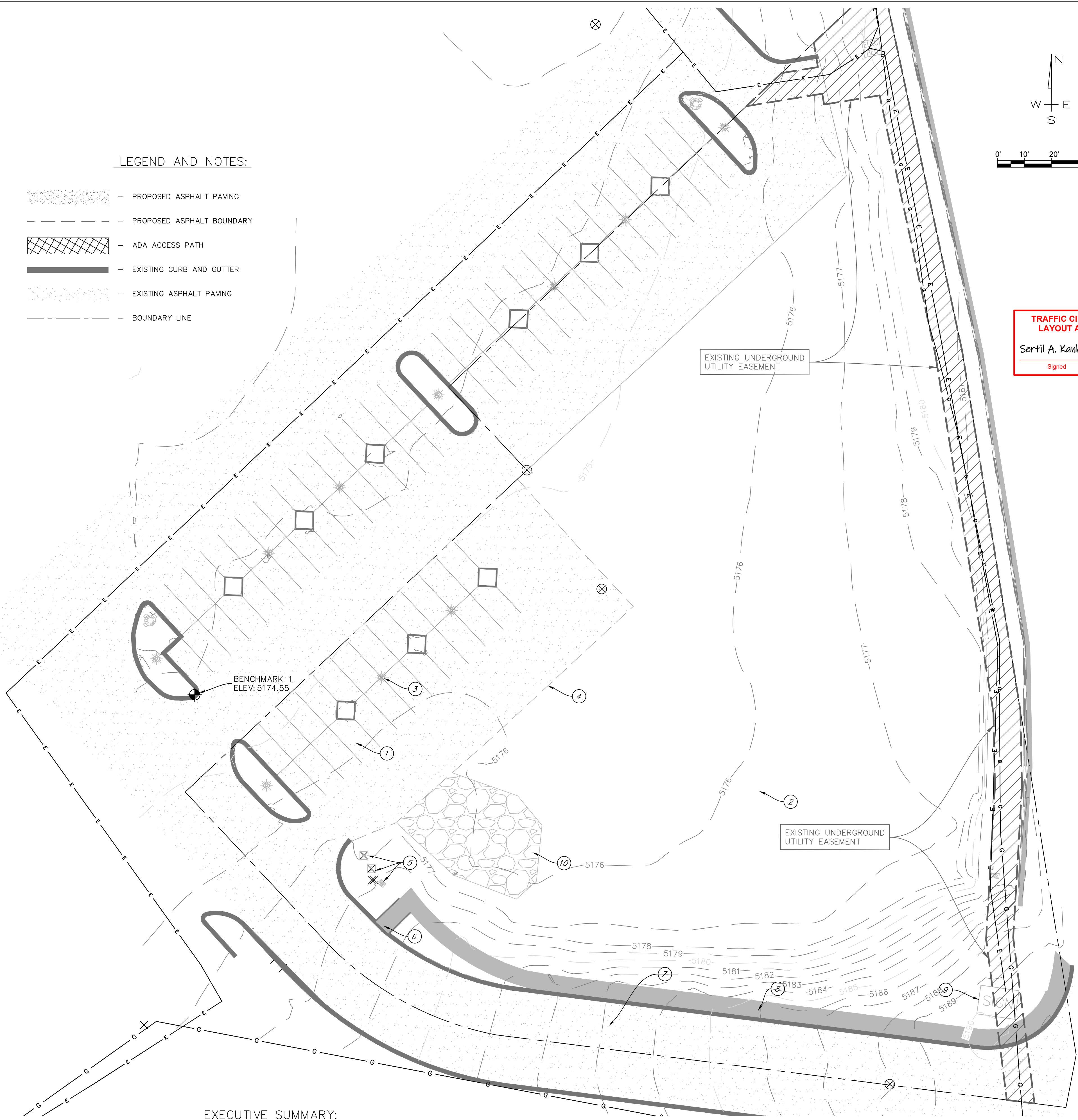
1. ALL EXISTING SIDEWALKS, CURBS, DRIVE PADS, WALLS AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
2. LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREE, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
3. ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB AND GUTTER AND SIDEWALKS.
4. ALL BROKEN OR CRACKED SIDEWALK TO BE REPLACED WITH SIDEWALK, CURBS AND GUTTERS.
5. A 6-FOOT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
6. SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH IDO MX-M REQUIREMENTS.
7. EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-5-6 OF THE CITY OF ALBUQUERQUE ZONING CODE.



TRAFFIC CIRCULATION LAYOUT APPROVED
 Serfil A. Kanbar 1/23/2026
 Signed Date

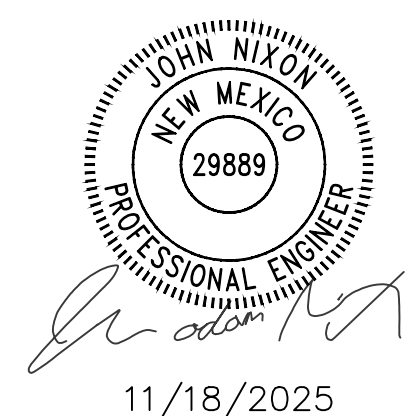
LEGEND AND NOTES:

- PROPOSED ASPHALT PAVING
- PROPOSED ASPHALT BOUNDARY
- ADA ACCESS PATH
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- BOUNDARY LINE



EXECUTIVE SUMMARY:

This site is located just west of the Pan American Freeway NE Frontage Road. The site has a common access from the frontage road along its southern boundary. Lang Avenue NE is located through the parking lot to the west. The site currently is vacant and has no structures. The proposed site includes a building on the 2.21 acre lot. Access to the site can be made from Lang Avenue or from the frontage road to the east. The lot will maintain the common access drive from the frontage road which serves the businesses within the development. A full scale parking lot, drive-thru and employee parking will be constructed for this building. The drive thru allows circulation around the building.



REVISIONS:	
DATE	DESCRIPTION
10/27/2025	ADA UPDATES

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 ALBUQUERQUE, NEW MEXICO 87109



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TRAFFIC CIRCULATION PLAN - PHASE 2
TCL-4

SITE DATA:

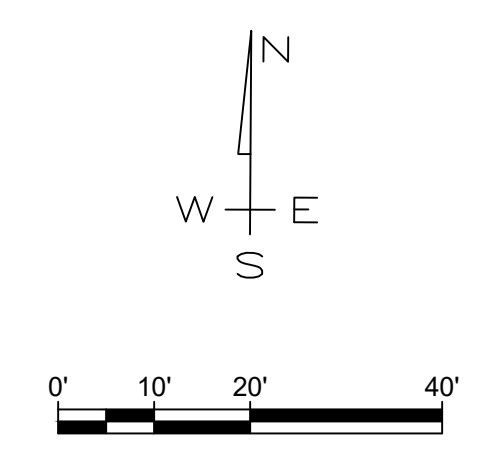
USE: BANK
 ZONING: NR-BP
 OVERLAY: NORTH I-25 AREA - CPO-9
 CENTERS AND CORRIDORS: FAR NORTH, JOURNAL CENTER
 PREMIUM TRANSIT STATION: N/A
 TRANSIT: I-25, PASEO DEL NORTE NE
 BICYCLE FACILITIES: PASEO DEL NORTE TRAIL
 LEGAL DESCRIPTION: TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNAL CENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC
 NET SITE AREA: 68511.2 FT²
 ZONE ATLAS PAGE: D-18-Z
 SETBACKS:
 BUILDING HEIGHT: 35.5'
 BUILDING FOOTPRINT: 8018 FT²
 PARKING:
 REQUIRED: 41 SPACES (1 SPACE PER 200 FT²)
 PROVIDED: 61
 MOTORCYCLE SPACES REQUIRED: 2 (2 SPACE FOR 26-50 OFF-STREET SPACES)
 MOTORCYCLE SPACES PROVIDED: 2
 BICYCLE SPACES REQUIRED: 3 (ONE BICYCLE SPACE PER EACH 20 PARKING SPACES REQUIRED FOR AUTOMOBILES AND LIGHT TRUCKS, BUT NOT LESS THAN TWO SPACES PER PREMISES)
 BICYCLE SPACES PROVIDED: 3

KEYED NOTES:

- | | |
|--|--|
| 1. PROPOSED BUILDING | 9. PROPOSED REFUSE CONTAINER STORAGE AREA WITH SHIELDING BARRIER |
| 2. PROPOSED DRIVE-THRU, AWNING, STRIPING AND CAR STACKING (SEE EXHIBIT, SHEET TCL-5) | 10. PROPOSED CURB AND GUTTER TO TIE TO EXISTING CURB AND GUTTER |
| 3. PROPOSED RETAINING WALL AND CURB | 11. PROPOSED SIDE PARKING SPACES |
| 4. PROPOSED DRIVE-THRU APPROACH | 12. (2) PROPOSED ADA PARKING SPACES |
| 5. PROPOSED BICYCLE RACKS PER DPM 7-4(K)(2) | 13. PROPOSED ACCESS RAMP, ADA PATH TO EV CHARGING |
| 6. (2) ADA PARKING SPACES | 14. PROPOSED EV CHARGING SPACES |
| 7. PROPOSED ADA RAMP LOCATION | 15. PROPOSED REAR PARKING SPACES |
| 8. PROPOSED FRONT ACCESS PARKING | |

GENERAL NOTES:

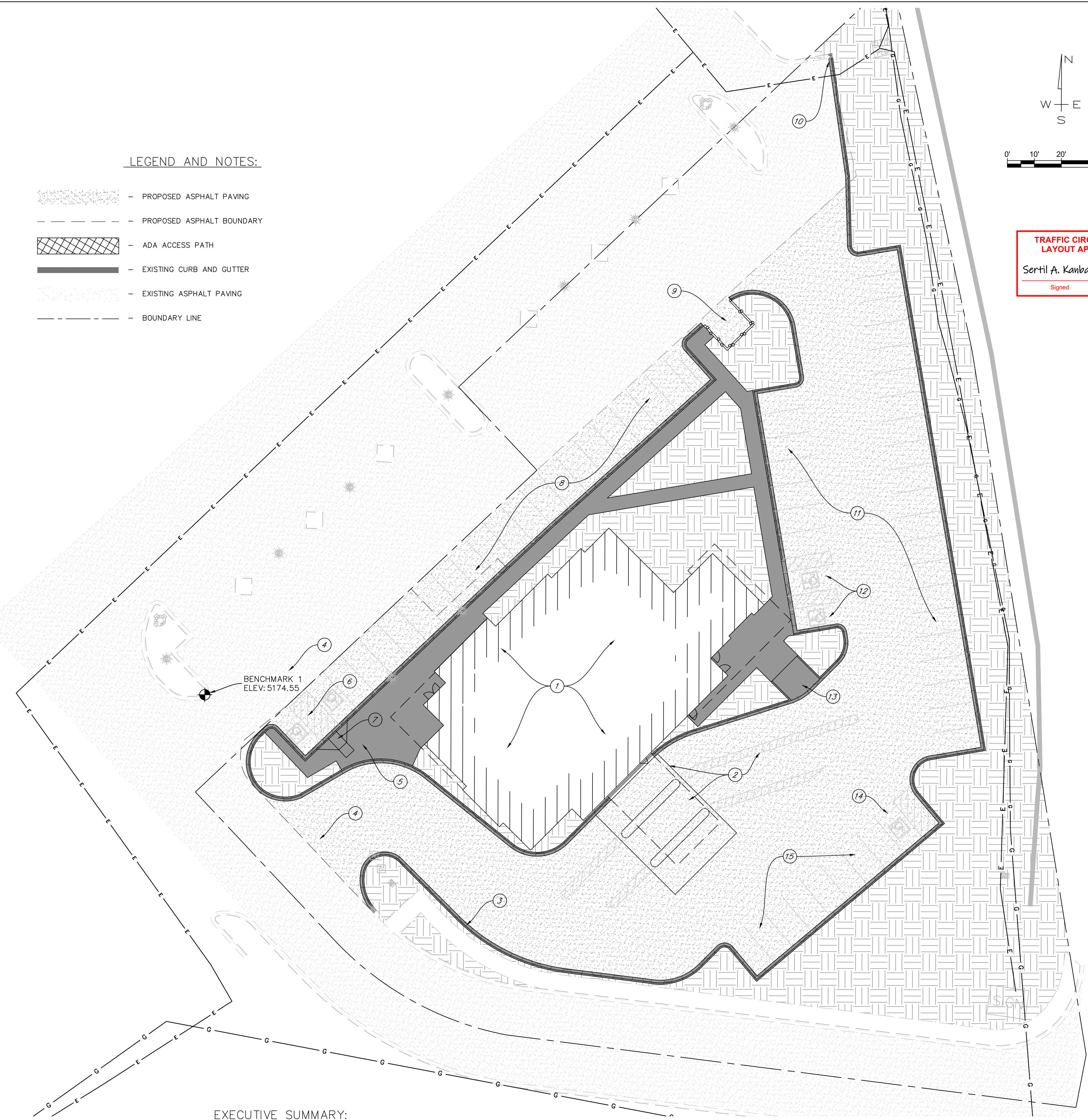
- ALL EXISTING SIDEWALKS, CURBS, DRIVE PADS, WALLS AND ANYTHING THAT INFLUENCES THE PARKING AND CIRCULATION ARE IDENTIFIED ON THE SITE PLAN.
- LANDSCAPING, FENCING, AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREE, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL UNUSED CURB CUTS SHALL BE REPLACED WITH NEW CURB AND GUTTER AND SIDEWALKS.
- ALL BROKEN OR CRACKED SIDEWALK TO BE REPLACED WITH SIDEWALK, CURBS AND GUTTERS.
- A 6-FOOT WIDE ADA ACCESSIBLE PEDESTRIAN PATHWAY WILL BE PROVIDED FROM THE PUBLIC SIDEWALK TO THE BUILDING ENTRANCES.
- SIGNAGE SHALL BE PERMITTED SEPARATELY AND SHALL COMPLY WITH IDO MX-M REQUIREMENTS.
- EQUIPMENT SCREENING WILL COMPLY WITH SCREENING REQUIREMENTS IN SECTION 14-16-5-6 OF THE CITY OF ALBUQUERQUE ZONING CODE.



TRAFFIC CIRCULATION LAYOUT APPROVED
 Serfil A. Kanbar 1/23/2026
 Signed Date

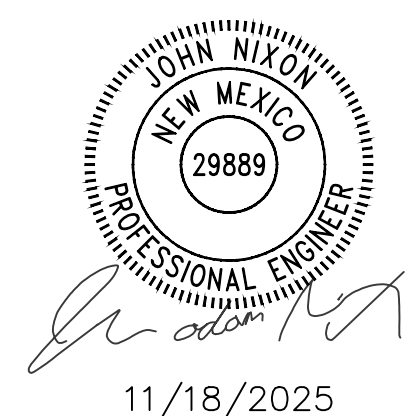
LEGEND AND NOTES:

- PROPOSED ASPHALT PAVING
- PROPOSED ASPHALT BOUNDARY
- ADA ACCESS PATH
- EXISTING CURB AND GUTTER
- EXISTING ASPHALT PAVING
- BOUNDARY LINE



EXECUTIVE SUMMARY:

This site is located just west of the Pan American Freeway NE Frontage Road. The site has a common access from the frontage road along its southern boundary. Lang Avenue NE is located through the parking lot to the west. The site currently is vacant and has no structures. The proposed site includes a building on the 2.21 acre lot. Access to the site can be made from Lang Avenue or from the frontage road to the east. The lot will maintain the common access drive from the frontage road which serves the businesses within the development. A full scale parking lot, drive-thru and employee parking will be constructed for this building. The drive thru allows circulation around the building.



REVISIONS:	
DATE	DESCRIPTION

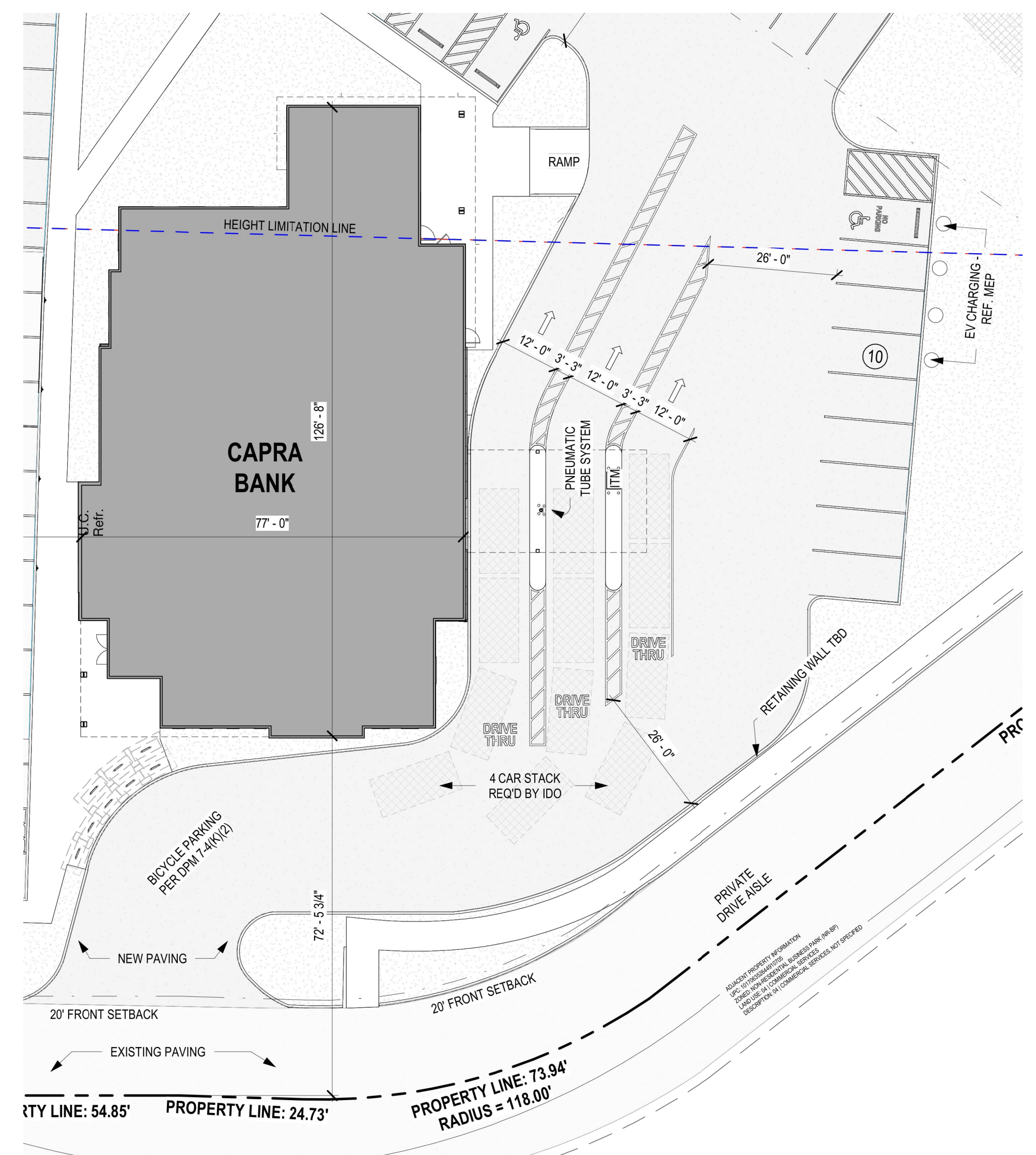
CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



Seventeen Services LLC
Texas Architecture Firm BR 3014
1500 Broadway - Suite 203
Lubbock, TX 79401
806.787.8533
tyler@17services.com

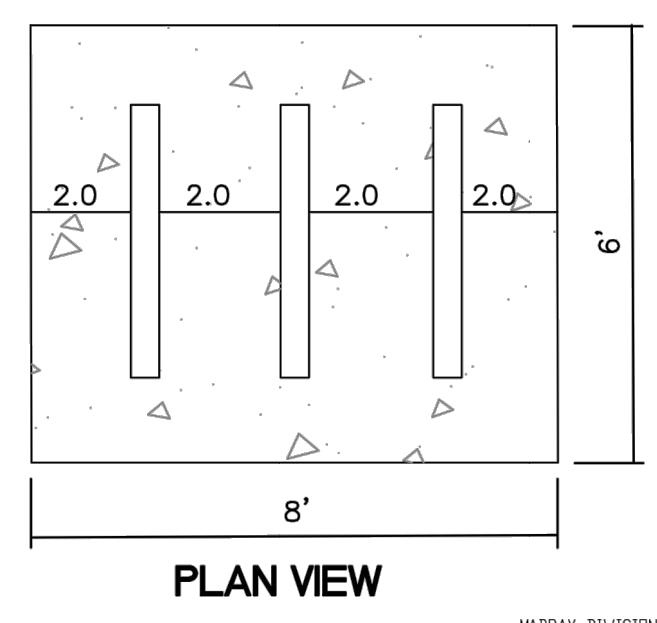
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Date 9-19-25
Drawn By SM
Sheet Size D 24X36

TRAFFIC
CIRCULATION
PLAN
- PHASE 2
TCL-5

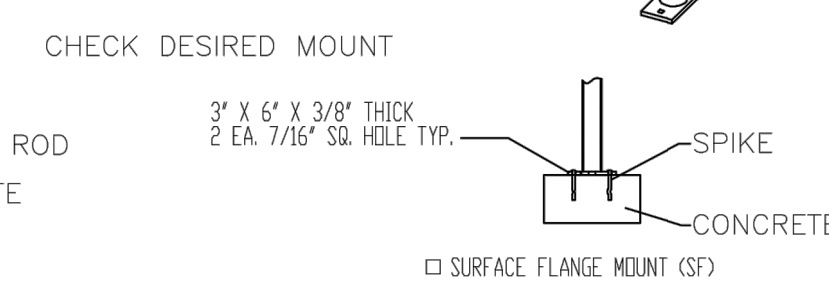
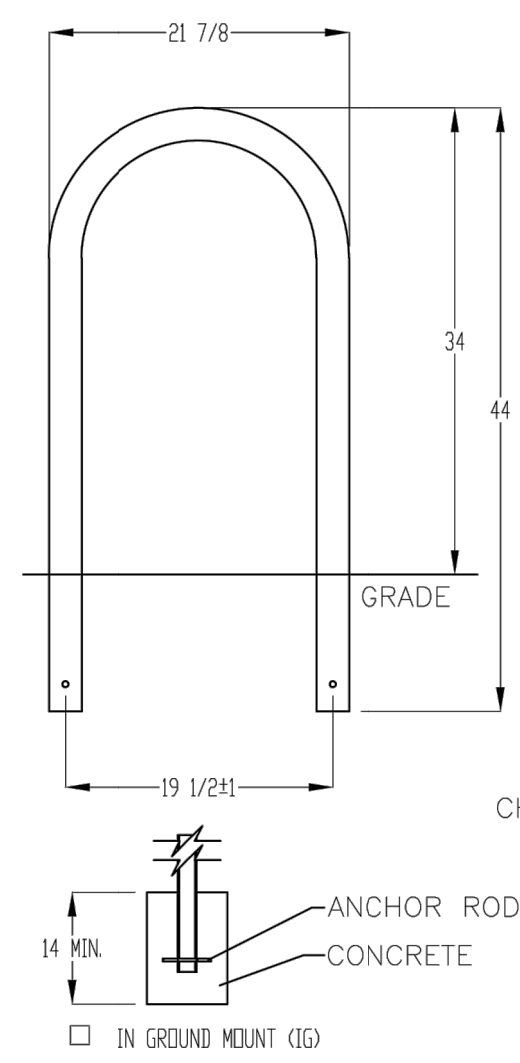


DRIVE-THRU
STACKING EXHIBIT

TRAFFIC CIRCULATION
LAYOUT APPROVED
Sertil A. Kanbar 1/23/2024
Signed Date

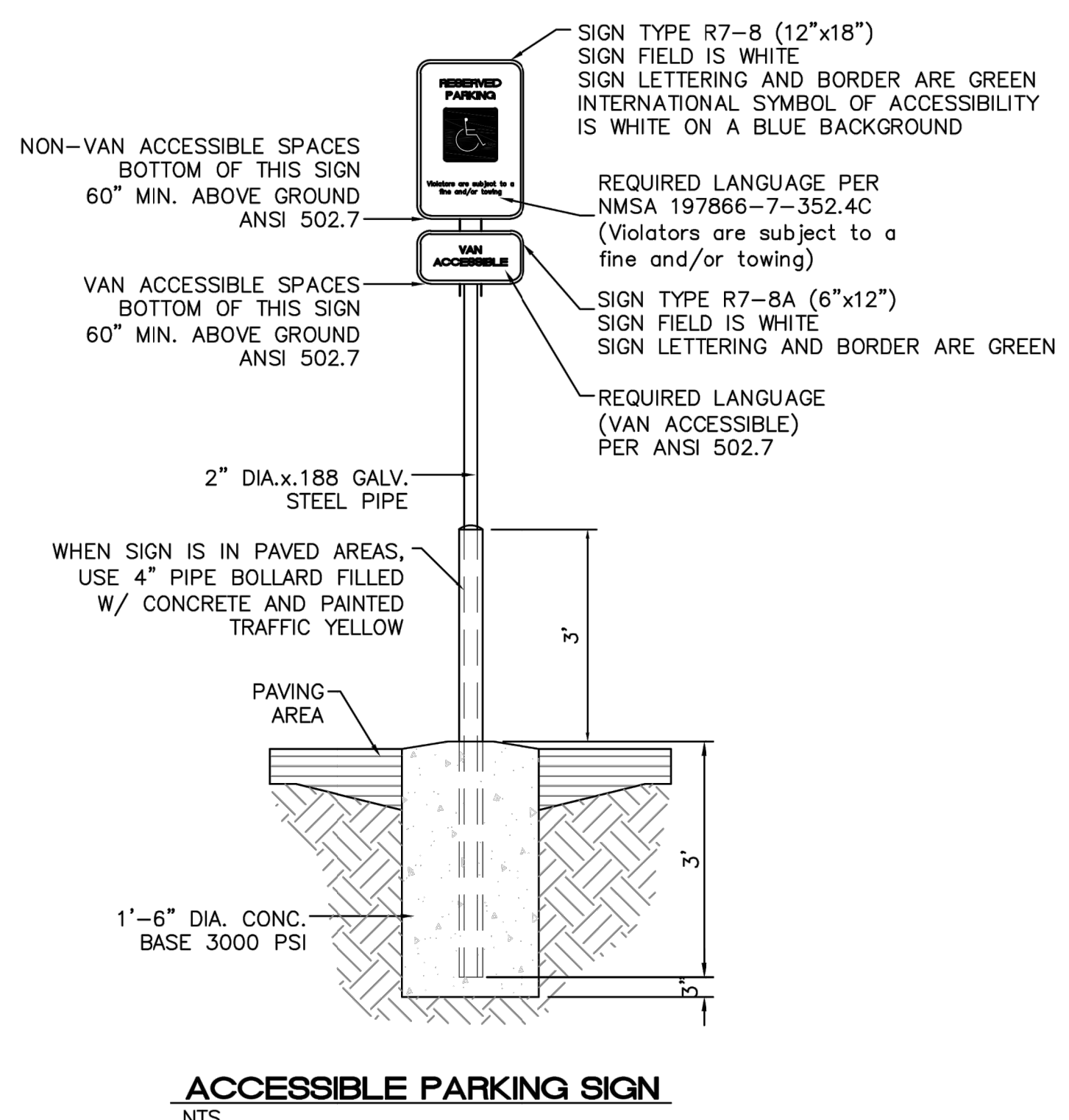


MUDRAX DIVISION
GRABER MANUFACTURING, INC.
1080 LINCOLN DRIVE
WALNUT CREEK, CA 94597
PHONE 416-7701, FAX 925-849-1080, F1 (800) 849-1081
WWW.MUDRAX.COM, E-MAIL: SALES@MUDRAX.COM

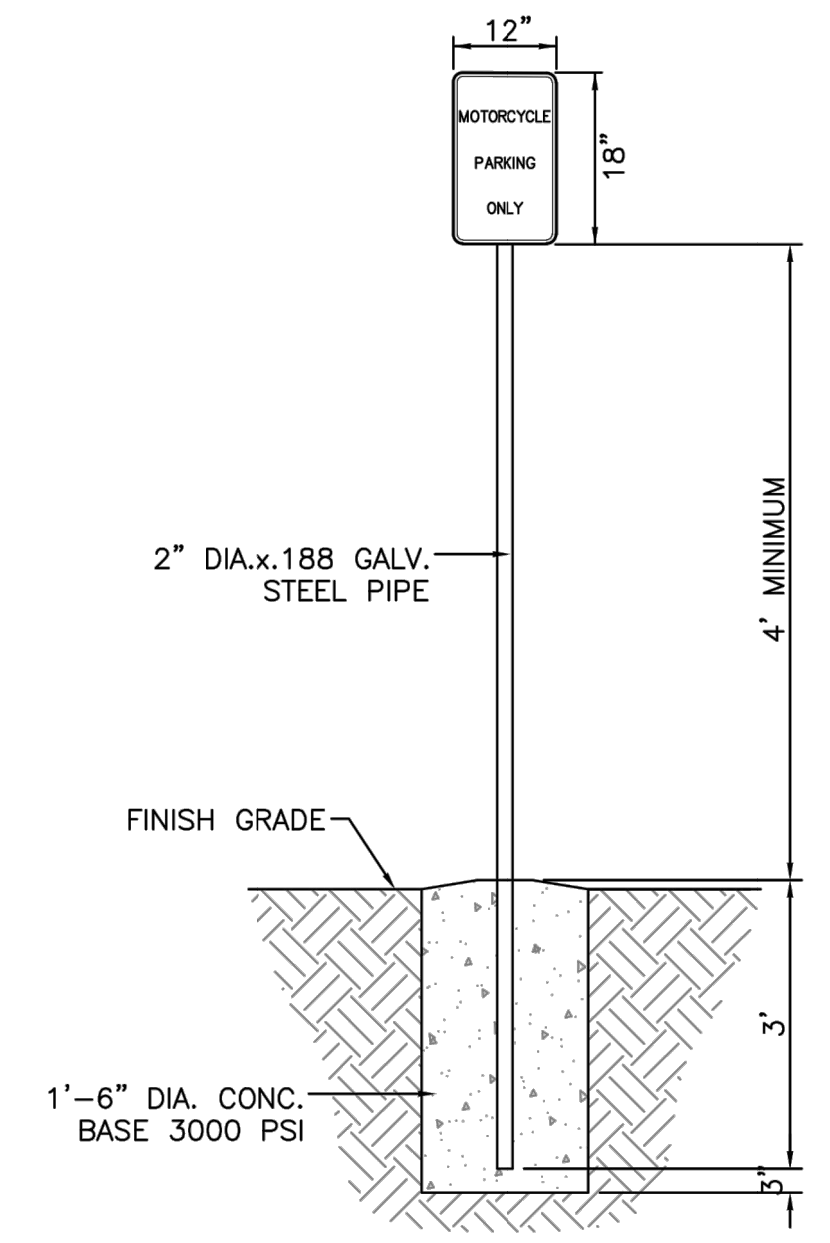


PRODUCT: 11230-16(S)
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SNC
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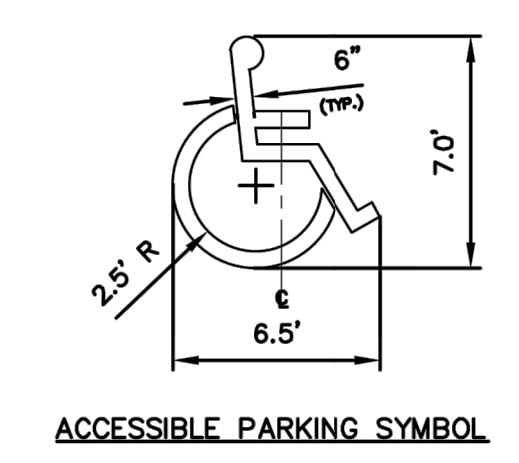
BIKE RACK DETAIL
SCALE: NONE



ACCESSIBLE PARKING SIGN
NTS



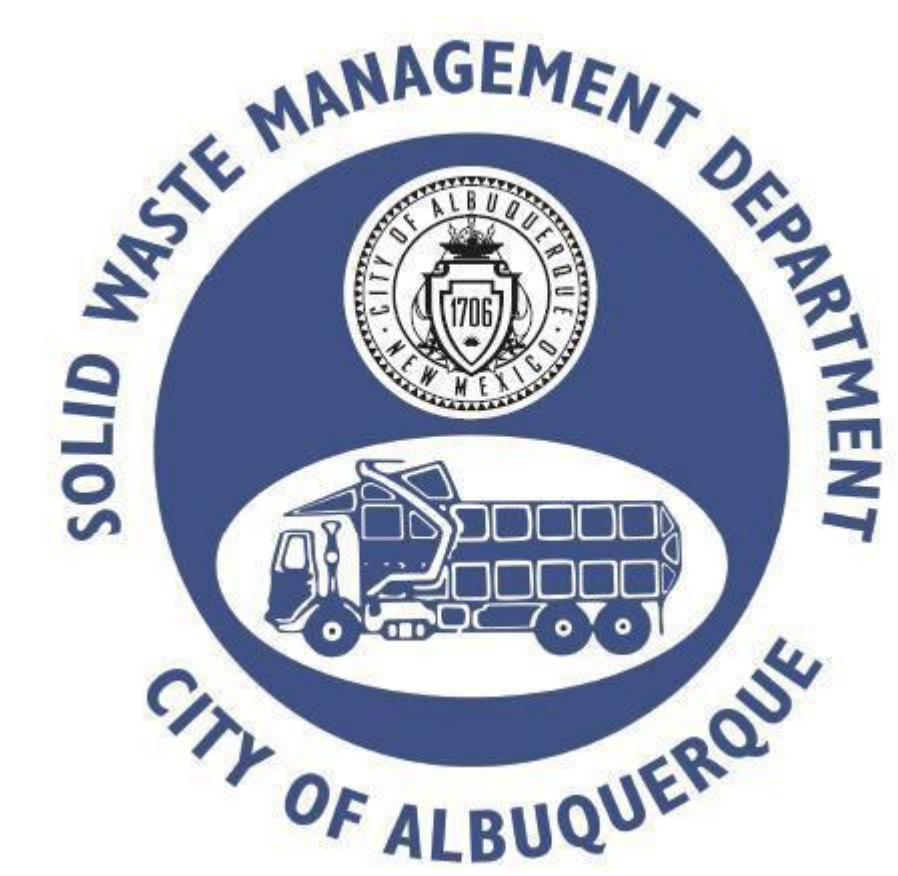
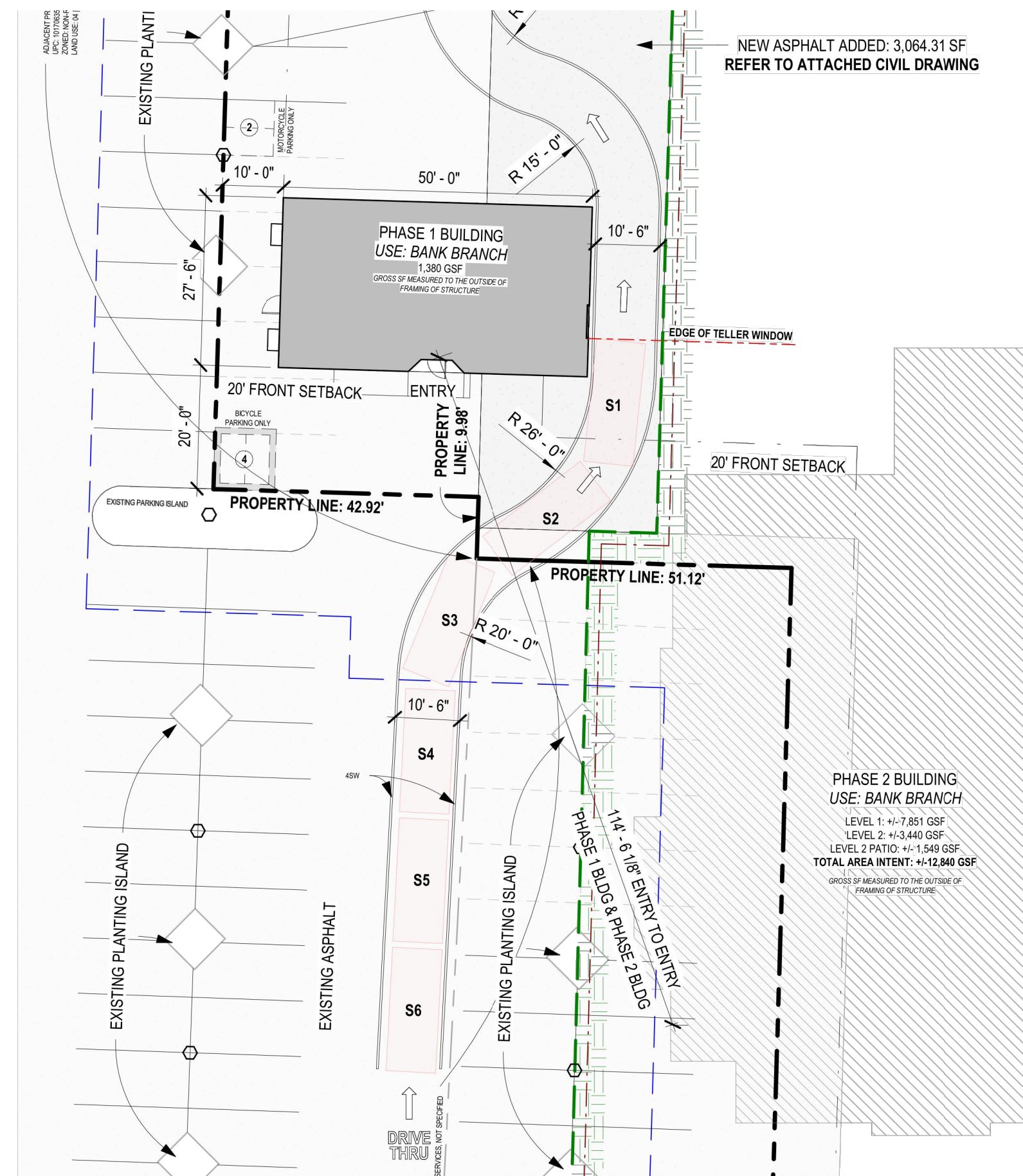
MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SYMBOL

JOHN NIXON
NEW MEXICO
29889
PROFESSIONAL ENGINEER
11/18/2025

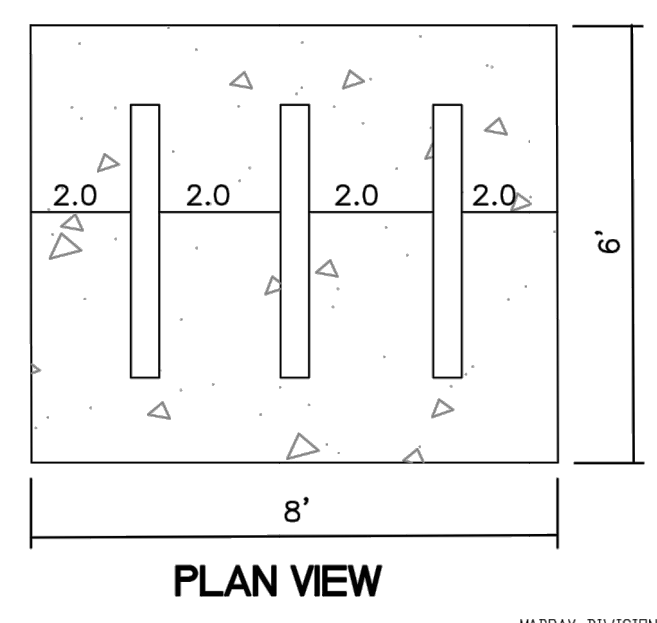
MOUNTAIN TOP ENGINEERING
ELEVATING EXPECTATIONS - SUPERIOR SERVICE
TEXAS ENGINEERING FIRM # 26389 (806) 403 0800
MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX



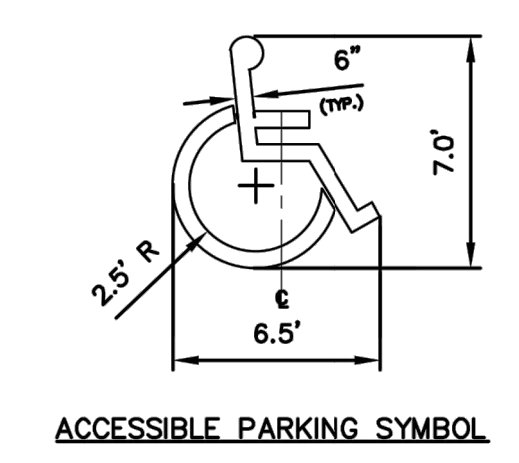
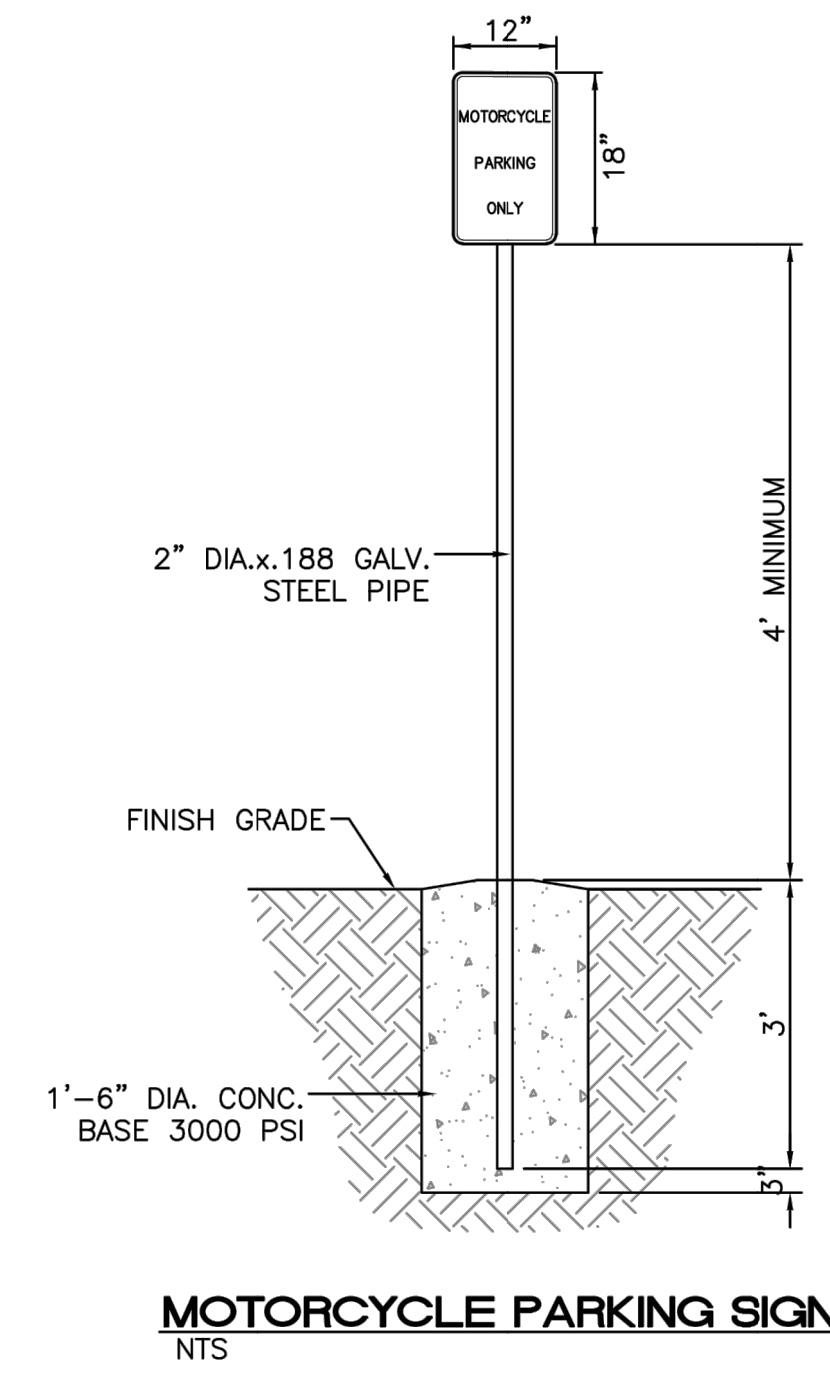
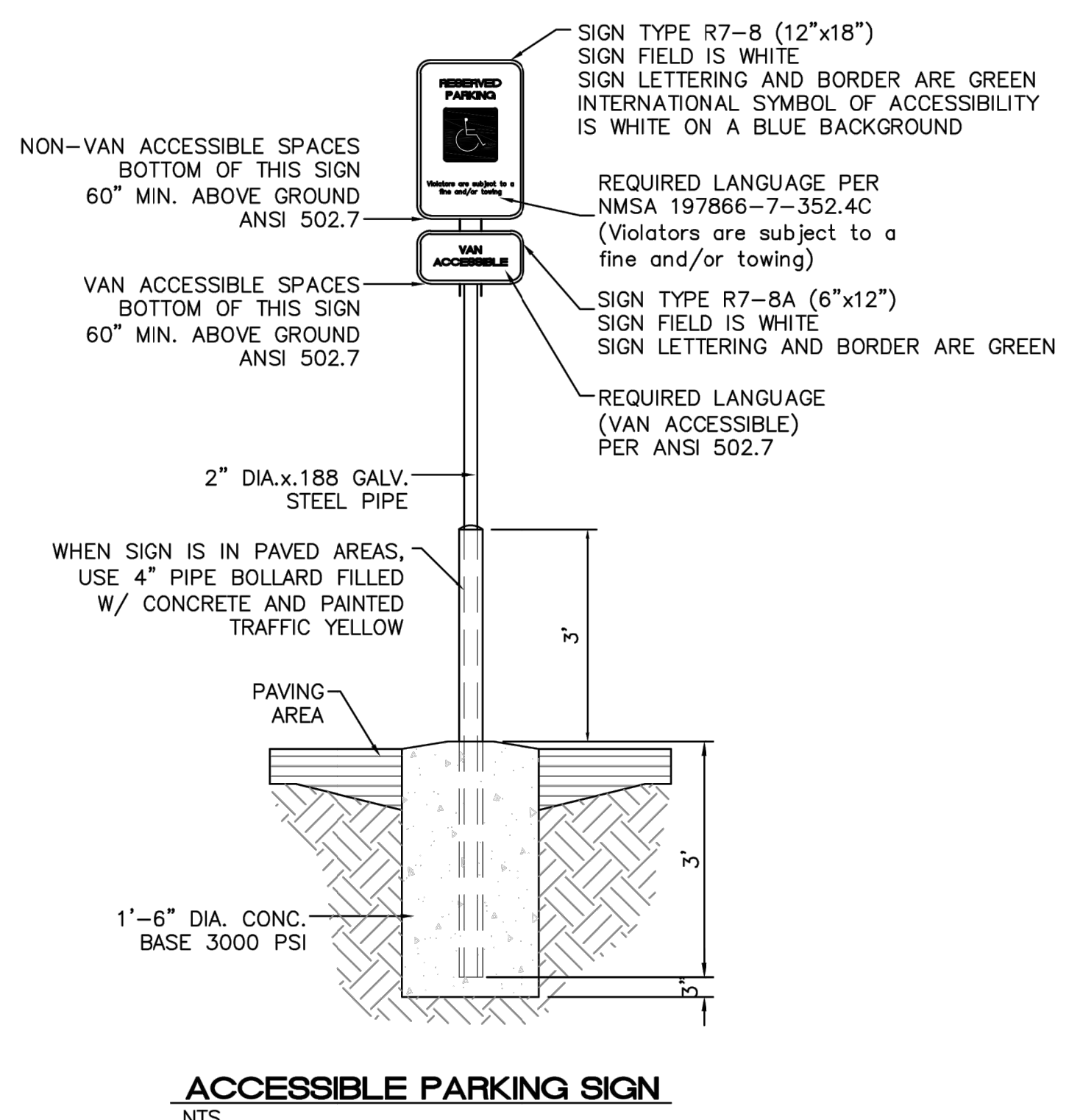
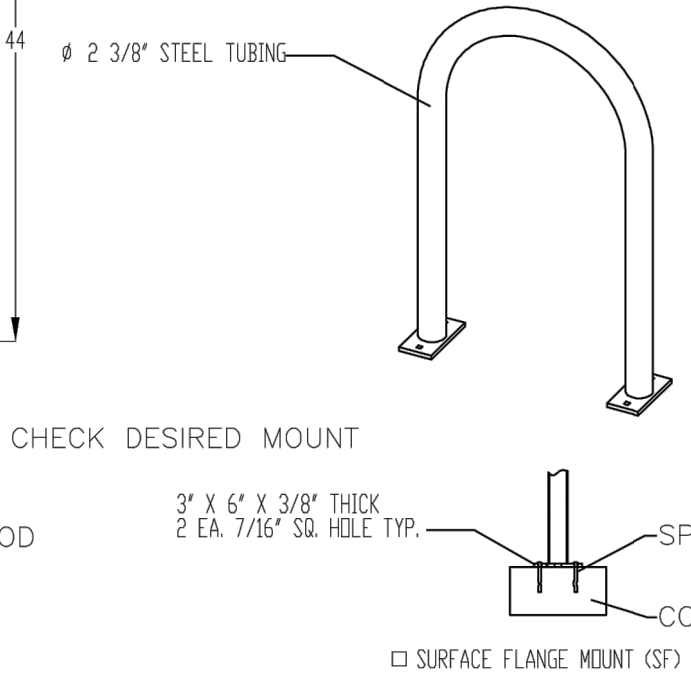
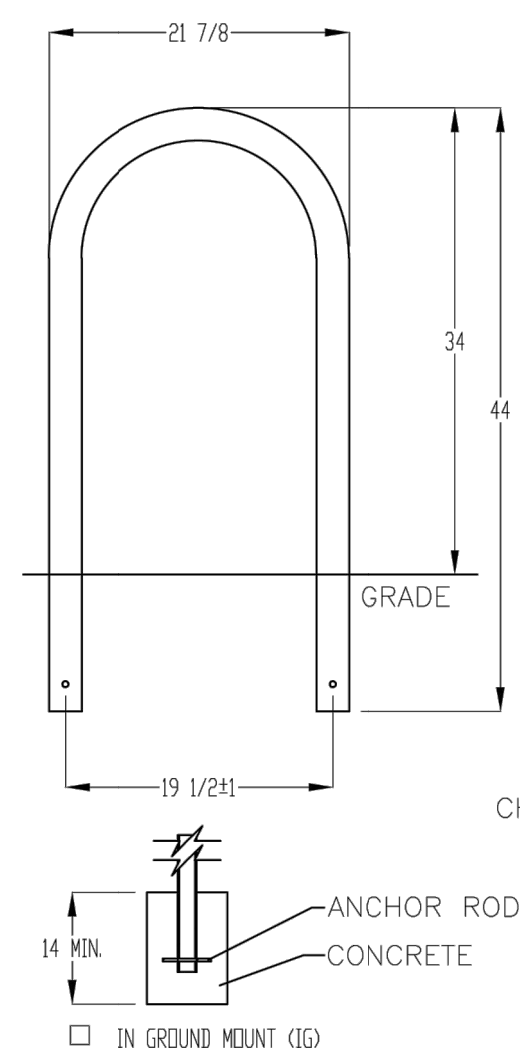
Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up
between the hours of 5AM and 8PM.
Reviewer: ADRIAN MAREZ
Date: 10-1-25

TRAFFIC CIRCULATION
LAYOUT APPROVED
Sertil A. Kanbar 9/23/2025
Signed Date

APPROVED FOR PHASE 1 OF THIS PROJECT FOR TRASH ENCLOSURE LOCATION



MURAX DIVISION
GRABER MANUFACTURING, INC.
1050 LINCOLN DRIVE
WAUNAKEE, WI 53597
PHONE 414-770-1100, FAX 414-770-1100, F1000 849-1001
WWW.MURAX.COM, E-MAIL: SALES@MURAX.COM



PRODUCT: 1238-16(S)
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SNC

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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR OF SIGN; SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. BIKE RACK SHALL HAVE A 4-FOOT CLEAR ZONE ALL AROUND.
5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK DETAIL
SCALE: NONE

JOHN NIXON
NEW MEXICO
29889
PROFESSIONAL ENGINEER

9/19/2025

MOUNTAIN TOP ENGINEERING
ELEVATING EXPECTATIONS - SUPERIOR SERVICE
TEXAS ENGINEERING FIRM # 26389 (806) 403 0800
MOUNTAINTOPENG.COM 604 CR 7200, LUBBOCK TX

REVISIONS:

DATE	DESCRIPTION

CAPRA BANK ALBUQUERQUE
5171 LANG AVE NE
ALBUQUERQUE, NEW MEXICO 87109



Seventeen Services LLC
Texas Architecture Firm BR 3014
1500 Broadway - Suite 203
Lubbock, TX 79401
806.787.8533
tyler@17services.com

Project Number 25ENG27
Date 9-19-25
Drawn By SM
Sheet Size D 24X36

TRAFFIC CIRCULATION PLAN - PHASE 1
TCL-4

October 1, 2025

Chair
Klarissa Peña
City of Albuquerque
Councilor, District 3

Vice Chair
Barbara Baca
County of Bernalillo
Commissioner, District 1

Frank A. Baca
County of Bernalillo
Commissioner, District 2

Dan Lewis
City of Albuquerque
Councilor, District 5

Eric C. Olivas
County of Bernalillo
Commissioner, District 5

Louie Sanchez
City of Albuquerque
Councilor, District 1

Timothy M. Keller
City of Albuquerque
Mayor

Ex-Officio Member
Gilbert Benavides
Village of Los Ranchos
Board Trustee

Executive Director
Mark S. Sanchez

Website
www.abcwua.org

Simon Melonas
Mountain Top Engineering, LLC
604 County Road 7200
Lubbock, Texas 79404

RE: Water and Sanitary Sewer Availability #250608

Project Name: Capra Bank Albuquerque

Project Address: 5171 Lang Avenue NE

Legal Description: Tract A-3-A Plat of Tract A-3-A and Tract A-3-B Legacy at Journal Center (A Replat of Tract a-3, Plat of A-1, A-2 & A-3 Legacy of Journal Center)

UPC: 101706352646310706

Zone Atlas Map: D-18

Dear Mr. Melonas:

Project Description: The subject site is located on Lang Avenue north of Journal Center Blvd., within the City of Albuquerque. The proposed development consists of approximately 1.57 acres and the property is currently zoned NR-BP, Non-Residential-Business Park Zone District. The property lies within the Pressure Zone 2E in the Alameda Trunk. The Request for Availability indicates plans to develop the site that will consist of an approximately 6,000 square building, Capra Bank and support the proposed platting action.

Existing Conditions:

Water infrastructure in the area consists of the following:

- 12-inch PVC distribution line (project #26-5081.90-95) along Lang Avenue NE.

Sanitary sewer infrastructure in the area consists of the following:

- Eight-inch PVC sanitary sewer collector line (project #26-5081.90-95) along Lang Avenue NE.

Water Service: New metered water service to the property can be provided via routine connection to the existing 12-inch distribution line along Lang Avenue NE. Additional private easement may be required. According to the Record Drawings, there is a 2" domestic meter box and a ¾" landscape meter box on Lang Avenue for this property through an existing 15-foot private utility easement for the benefit of the subject property. This private easement crosses existing Tract A-3-B. The engineer is responsible for determining pressure losses and sizing the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and the collar removed.

Sanitary Sewer Service: New sanitary sewer service can be provided via routine connection to the existing eight-inch sanitary sewer collector line along Lang Avenue NE. Additional private easement may be required. According to record drawings, there is an existing four-inch private sewer line for this property through a 15-foot private utility easement for the benefit of the subject property. This private easement crosses existing Tract A-3-B. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

Fire Protection: From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1500 gallons per minute. One fire hydrant is required. There are two existing hydrants available, and no new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow **CAN** be met by applying the required fire flow to the system as shown in the information provided by the requestor. Analysis was performed by simulating the required fire flow at the 12-inch water line in Lang Avenue NE.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system. Private fire pumps shall not take suction directly from the public water system. If private fire pumps are proposed to connect to the public system, coordination with the Water Authority is required to determine if the private pump will have adverse impacts on the public system such as cavitation and/or water hammer.

Cross Connection Prevention: Per the Cross Connection Prevention and Control Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations, or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration, or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker, or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source, or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches, possible connection fittings, or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority recommends that all backflow (containment) devices be located above ground just outside the easement or road right-of-way, the containment backflow device can be installed within the building if there are no tees, branches, possible connection fittings, or openings between the reduced principal backflow prevention assembly and the service connection unless protected by another reduced pressure backflow prevention assembly device. Contact Cross Connection at (505) 289-3465 for more information.

Easements and Property: Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. For larger meters that require a meter vault, a 35-foot by 35-foot easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property is to be transferred to the Water Authority for the installation of facilities to be owned by the Water Authority such as pump stations, reservoirs, wells, lift stations, or any other facility.

The Water Authority shall be granted perpetual, exclusive easement(s) in gross for the construction, installation, maintenance, repair, modification, replacement, and operation of public water and sanitary lines, equipment and facilities reasonably necessary to provide service together with free access on and over the easement and the right to remove trees, shrubs, undergrowth and any other obstacles, modifications, or structures which interfere with use of the easement.

Pro Rata: Pro Rata is not owed, and the property can utilize the services available upon completion of the requirements of this statement to connect to water and sanitary sewer.

Design and Construction: The design and construction of all required improvements will be at the developer/property owner's expense. If new services are needed, improvements must be coordinated through the Water Authority Connection Permit process. Construction must be performed by a licensed (GF9 or GF98) and bonded public utility contractor.

Utility Expansion Charge (UEC): In addition to installation and construction costs, a UEC charge will be paid to the Water Authority at the time of meter sale or application for service for all properties connecting to the water and/or wastewater system. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

Water Use: All new commercial developments shall be subject to the requirements for water usage and water conservation requirements as defined by the Water Authority, particularly the Water Waste Reduction Ordinance. Where available, outdoor water usage shall utilize reclaimed water.

Closure: This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at kcadena@abcwua.org if you have questions regarding the information presented herein or need additional information.

Sincerely,



Mark S. Sanchez
Executive Director

Enclosures: Infrastructure Maps

f/ **Availability Statement #250608**

250608 - Water



0 230 460 Feet



Legend



Hydrant



Project Location

Water Pipe

Subtype



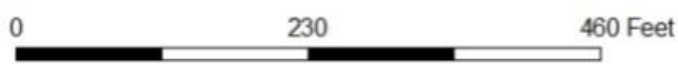
Distribution Line



Hydrant Leg



250608 - Sanitary Sewer



Legend

- Sewer Manhole
- Project Location
- Sewer Pipe**
- Subtype**
- COLLECTOR





February 6, 2026

Jay Rodenbeck
Development Facilitation Team
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

RE: Project No – 1010228; Major Amendment to a Site Plan – DRB

Landscape Architecture
Urban Design
Planning Services

302 Eighth St. NW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

Dear Mr. Rodenbeck:

The purpose of this letter is to request the approval of a Major Amendment to the Site Plan-DRB (Project No - 1010228). The subject site is legally described as *Tract A-3-B Plat of Tracts A-3-A & A-3-B Legacy at Journal Center (A Replat of Tract A-3, Plat of Tract A-1, A-2 & A-3 Legacy at Journal Center) containing 1.405 acres and Tract A-3-A Plat of Tracts A-3-A & A-3-B Legacy at Journal Center (A Replat of Tract A-3, Plat of Tract A-1, A-2 & A-3 Legacy at Journal Center) containing 1.5728 acres.*

This amendment is based on the need to revise the property lot lines and the overall parking calculations and allotment for the restaurants on Tract A-3-B to match the recently approved replat (PR-2021-006236 / MINOR_PLT-2025-00049). This is responding to comments made by Jeff Palmer, City Code Enforcement, on the Capra Bank Phase 1 Site Plan:

Parking for Tracts A3-A (Capra) and A3-B (restaurants): The northeast portion of Lot A3-B is being eliminated by the replat and, in the interim, is being utilized for parking for the modular unit bank. Two issues to address here:

- *After the replat is completed, there needs to be a revision of the approved site plan for the restaurant businesses located on A3-B to reflect the new lot size AND the new parking allotment. Parking calculations will need to be changed, along with designated parking available for A3-B restaurants.*
- *Amendment of the Site Plan for Tract A3-B (restaurants): Note: This does not have to hold up Phase 1 progress. Prior to submittal of Phase 2 for permit, you must amend the site plan for A3-B, as noted above, to accurately reflect the changes that have been made to that prior approved site plan. I am willing to make this a Conditional Approval for Phase 1, so that you will have time to complete this without holding things up – but it must be done prior to Phase 2.*

We submitted an application for a Minor Amendment (SP-2025-00095) on November 21, 2025. The application was reviewed by City staff, and it was determined that, although the request to clarify the parking situation is minor, the calculations do not meet the Minor Amendment Criteria (less than 10% change) in the IDO and requires a Major Amendment/Site Plan DFT. The changes to the Site Plan include:

- Revision of property lines for A-3-B to match recently approved replat (see Figure 1). The northeast portion of A-3-B was replatted into A-3-A.

PRINCIPALS

James K. Strozier, FAICP

ASSOCIATES

Ken Romig, PLA, ASLA



- Adjustment to parking allotment for the restaurants on A-3-B. From 44 required and 76 provided to 44 required and 50 provided (see Figure 2).

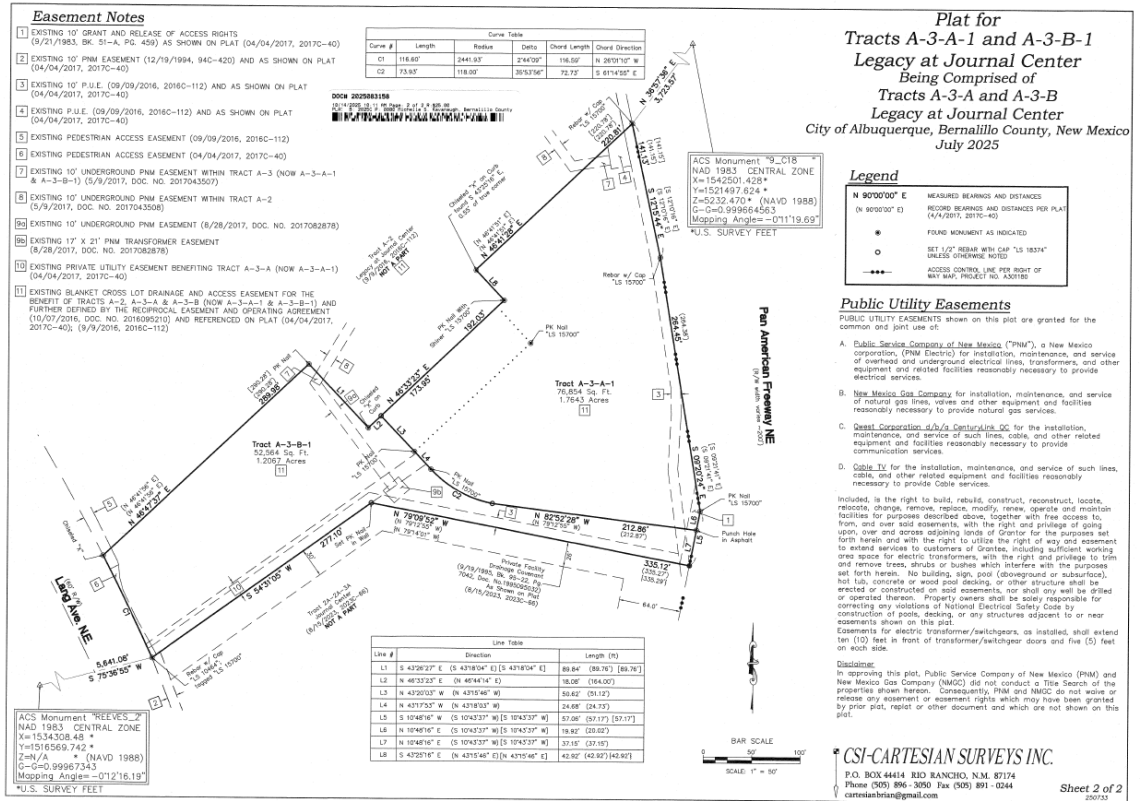


Figure 1: Recently approved Plat

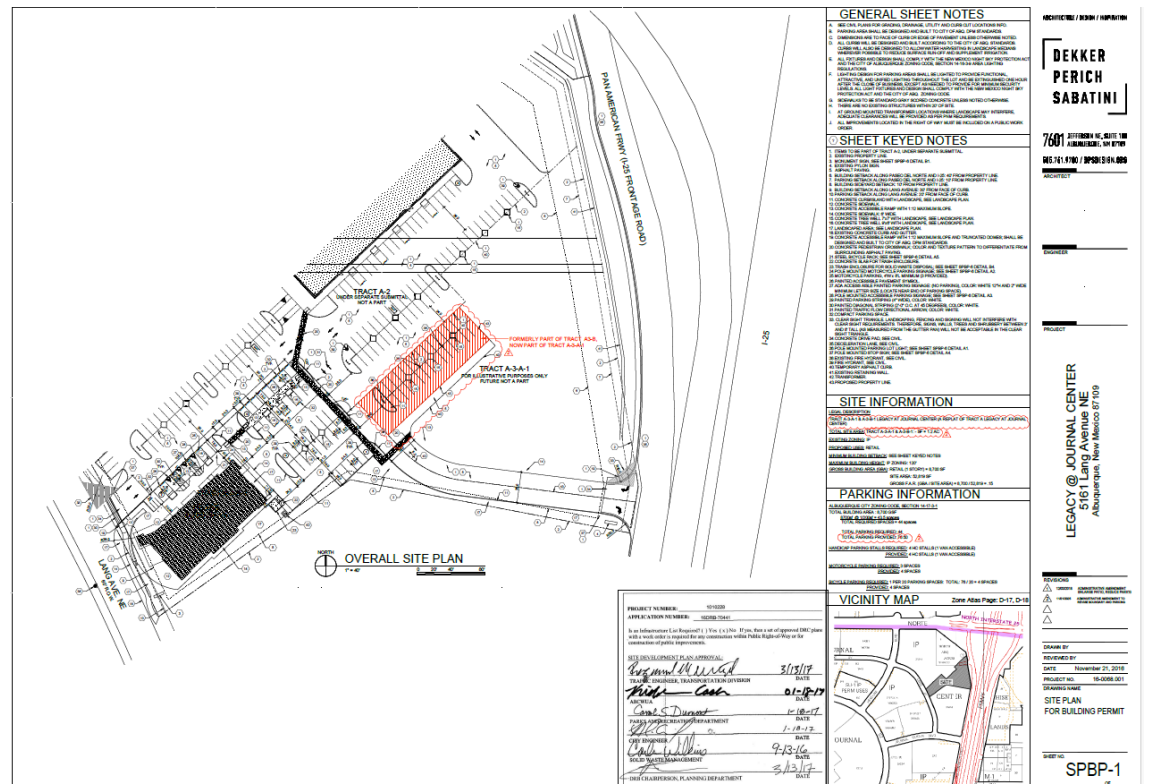


Figure 2: Marked-up Site Plan showing proposed minor amendments



This amendment meets the condition placed on the property by the plat and allow for the construction of a new bank facility.

6-5(G)(3) REVIEW and DECISION CRITERIA

An application for Site Plan-Administrative shall be approved if it meets all of the following criteria.

6-5(G)(3)(a): The Site Plan complies with all applicable standards in this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Applicant Response: *The Site Plan complies with all applicable standards related to the subject property. As previously stated, the proposed amendment is limited to the revision of the property lines in the northeast portion of A-3-B and the adjustments to parking calculations to reflect the parking required and provided on A-3-B. The current retail use is permissive in the NR-BP zone and the Site Plan has been designed in accordance with all applicable standards in the IDO and the DPM. The existing site development plan specifies the use, zoning, building setback and height, and parking requirements at the time of approval. The requested changes revises the interior property line and parking calculations to mirror the approved replat and meet the original requirements. These minor changes do not conflict with any regulations or requirements outlined in the previously approved Site Plan.*

6-5(G)(3)(b): The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5-4(N) and or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Applicant Response: *The Capra bank application obtained approval of a Traffic Circulation Layout plan from City Transportation; a Conceptual Grading and Drainage Plan from City Hydrology. The applicant obtained approval of a Fire 1 Plan from Albuquerque Fire Rescue through the previous approved plans. Documentation of these approvals has been provided as part of this submittal to the DFT. Phase 1 of the Capra project has received approval from Solid Waste. This has been provided as part of this submittal. There are no significant changes from the previously approved plan. The Solid Waste approval for Phase 2 is currently in progress with the Capra application.*

There is no Infrastructure Improvements Agreement required for this application as the changes are limited to adjusting the lot line and the parking calculations. The requested change is to match the recently approved replat of the subject property. The use is not changing, there are no changes to the existing building, parking remains adequate, and in excess of the parking requirements, and access and circulation to the site remains shared and unchanged. The requested change will not require major public infrastructure, significant changes to access to the subject property, or a traffic impact study. The subject property is served by well-established infrastructure capable of supporting the minor changes to the Site Plan.



6-5(G)(3)(c): If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

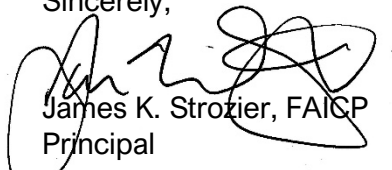
Applicant Response: *The subject property is not within an approved Master Development Plan.*

6-5(G)(3)(d): If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Applicant Response: The subject property is not within an approved Framework Plan.

Based on the IDO Criteria and responses provided above, we respectfully request that the DFT review and approve the amendment to the Site Plan. Thank you for your consideration.

Sincerely,



James K. Strozier, FAICP
Principal

November 7, 2025

City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

RE: Property Owner Letter of Authorization – 5161 Lang Avenue NE

To whom it may concern:

The purpose of this letter is to authorize Consensus Planning, Inc. to act as agent for Titan Journal Center Investors, LLC & Titan Journal Center Land, LLC (owner and applicant) for all meetings, applications, and other formal representation related to the request for a Site Plan Amendment for the subject properties legally described as follows:

- Tract A-3-B Plat of Tracts A-3-A & A-3-B Legacy at Journal Center (A Replat of Tract A-3, Plat of Tract A-1, A-2 & A-3 Legacy at Journal Center) containing 1.405 acres
- Tract A-3-A Plat of Tracts A-3-A & A-3-B Legacy at Journal Center (A Replat of Tract A-3, Plat of Tract A-1, A-2 & A-3 Legacy at Journal Center) containing 1.5728 acres

Sincerely,

Name Matt Lammers

Signature 

Position VP Development & Asset Management

Date 11/10/2025

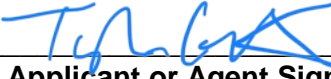
Mailing Address 6300 Riverside Plaza Ln #200
Albuquerque, NM 87120

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 2025.09.25
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements **NO FREESTANDING SIGNS ARE PLANED FOR PHASE 1**
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type) **EXISTING SITE LIGHTING INDICATED ON SHEET**
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable. **TO BE PROVIDED FOR PHASE 2 SPA REVIEW**
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- ** A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces **PROJECT CAN NOT UTILIZE ON STREET PARKING**
- ** B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- ** C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- ** D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

**PROVIDED ON CIVIL TCL-3 SHEET

SITE PLAN CHECKLIST

- ✓ 2. Location and dimension of drive aisle crossings, including paving treatment
- N/A 3. Location and description of amenities, including patios, benches, tables, etc.
NO AMENITIES OFFERED FOR PHASE 1

N/A E. Off-Street Loading

- N/A 1. Location and dimensions of all off-street loading areas
OFF-STREET LOADING NOT REQUIRED FOR PHASE 1 BUILDING

✓ F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- ✓ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- N/A* 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- ✓** 3. Striping and Sign details for one-way drive through facilities

*LANDSCAPING IS TO BE PROVIDED FOR THE PHASE 2 BUILDING. THE DRIVE THROUGH LANE IS BELOW THE PUBLIC ROW WITH A RETAINING WALL BETWEEN THE TWO AREAS

**PROVIDED ON CIVIL TCL-4 SHEET

3. Streets and Circulation

✓** A. Locate and identify adjacent public and private streets and alleys.

- ✓** 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- ✓ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- ✓** 3. Location of traffic signs and signals related to the functioning of the proposal
- ✓ 4. Identify existing and proposed medians and median cuts
- ✓** 5. Sidewalk widths and locations, existing and proposed
- ✓ 6. Location of street lights
- ✓** 7. Show and dimension clear sight triangle at each site access point
- ✓** 8. Show location of all existing driveways fronting and near the subject site.

✓ B. Identify Alternate transportation facilities within site or adjacent to site

- ✓ 1. Bikeways and bike-related facilities
- N/A* 2. Pedestrian trails and linkages
- N/A* 3. Transit facilities, including routes, bus bays and shelters existing or required

*NONE EXISTING OR REQUIRED

**PROVIDED ON CIVIL TCL-1 SHEET

4. Phasing

- ✓ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

THE FULL LANDSCAPING PLAN IS BEING DEFERRED TO THE PHASE 2 SPA SUBMITTAL IN ORDER TO PROVIDE THE CITY WITH A WHOLISTIC DESIGN INTENT WITH RELATION TO THE PHASE 2 BUILDING AND WE ACKNOWLEDGE THE ITEMS LISTED BELOW ARE REQUIRED IN THE SUBMITTAL WHERE EVER POSSIBLE. A PRELIMINARY FOR INFORMATION ONLY DRAFT OF THE LANDSCAPE PLAN HAS BEEN INCLUDED IN THE PACKET

- N/A 1. Scale - must be same as scale on sheet #1 - Site plan
- N/A 2. Bar Scale
- N/A 3. North Arrow
- N/A 4. Property Lines
- N/A 5. Existing and proposed easements
- N/A 6. Identify nature of ground cover materials
 - N/AA. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - N/AB. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - N/AC. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- N/A 7. Identify type, location and size of plantings (common and/or botanical names).
 - N/AA. Existing, indicating whether it is to be preserved or removed.
 - N/AB. Proposed, to be established for general landscaping.
 - N/AC. Proposed, to be established for screening/buffering.
- N/A 8. Describe irrigation system – Phase I & II . . .
- N/A 9. Planting Beds, indicating square footage of each bed
- N/A 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- N/A 11. Responsibility for Maintenance (statement)
- N/A 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- N/A 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- N/A 14. Planting or tree well detail
- N/A 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- N/A 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- N/A 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- N/A 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- N/A* 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- N/A* 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

*SIGNAGE BEING USED FOR THE PHASE 1 PORTION ARE BANNER STYLE AND ARE TO BE INSTALLED ON TO THE FACES OF THE PHASE 1 BUILDING IN A MANNER AS TO NOT BE TORN OR RIPPED OFF OF THE BUILDING

From: [Palmer, Jeffrey](#)
To: [Brian Patterson](#); [Rafael Castellanos](#)
Cc: [Matt Lammers](#); [Rafael Castellanos](#); [Biazar, Shahab](#); [Vos, Michael](#); [Rodenbeck, Jay B.](#)
Subject: RE: Capra Bank Phase 1 - SPA Submittal
Date: Thursday, October 2, 2025 4:53:26 PM
Attachments: [image004.jpg](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

Good afternoon, Brian,

I spoke with Rafael this afternoon, and wanted to provide an update for you on the status of the review for the Site Plan Administrative – Zoning (SPA-Z). It appears that you have provided all of the documentation we had requested, but there are a few corrections and/or notes we need to add, as follows:

1. Property line shown on Site Plan and Landscape Plan: These plans need to show the proposed replatted property line. As you are in that process now, you could show both lines, if you would prefer, but I need to be able to see the replatted property line. You also need to show the setback distance from the replatted property line to the building – as it is now, it appears to be going through the middle of the building.
2. Parking for Tracts A3-A (Capra) and A3-B (restaurants): The northeast portion of Lot A3-B is being eliminated by the replat and, in the interim, is being utilized for parking for the modular unit bank. Two issues to address here:
 - Until the replat is completed, there needs to be a cross-lot access agreement between the two tracts, as A3-A is using parking on A3-B's lot, that is assigned for use by A3-B. This is needed to allow the modular unit to park in that area.
 - After the replat is completed, there needs to be a revision of the approved site plan for the restaurant businesses located on A3-B to reflect the new lot size AND the new parking allotment. Parking calculations will need to be changed, along with designated parking available for A3-B restaurants. If you are going to continue to allow cross-lot parking, you would need to note that in the change to the site plan.
3. Amendment of the Site Plan for Tract A3-B (restaurants): *Note: This does not have to hold up Phase 1 progress.* Prior to submittal of Phase 2 for permit, you must amend the site plan for A3-B, as noted above, to accurately reflect the changes that have been made to that prior approved site plan. I am willing to make this a Conditional Approval for Phase 1, so that you will have time to complete this without holding things up – but it must be done prior to Phase 2.
4. Signage for the modular bank: I discussed this with Rafael, and signage must be submitted under a separate sign permit. It must meet requirements of IDO section 14-16-5-12, Table 5-

12-3. Please send me a draft before submittal, to ensure no problems with the permit.

Please keep in mind that once we approve the SPA-Z, it does not guarantee the Journal Center Architectural Review Committee will approve the landscape plan or site plan for phase 2 as submitted at this time. These appear to meet the requirements, but, as I mentioned to Rafael, they may require changes, such as a berm between the frontage road and the parking area, or other modifications in order to be more consistent with the Journal Center design guidelines which I may have missed. Their approved Site Plan will replace and amend the SPA-Z at that time, and will need our final review for any changes, as well.

Brian, if you are able to get these changes made by early next week, I see no reason we cannot get this Site Plan Administrative-Zoning application approved next week, which will prepare us for approval of the Zoning portion of the Building Permit, as well. Please let me know if you have further questions.

Respectfully,



JEFF PALMER

Code Enforcement Supervisor

o 505.924.3804

c 505.803.3420

e jppalmer@cabq.gov

cabq.gov/planning

Our POSSE and AVOLVE systems have been replaced with our new software system, ABQ-PLAN. POSSE and AVOLVE users can create an ABQ-PLAN account with the same email address to access their data. We have a [user guide](#), [video tutorials in English and Spanish](#), and other resources to help you get up to speed. For more information about ABQ-PLAN please visit <https://www.cabq.gov/planning/abq-plan> .

From: Brian Patterson <bpatterson@Titan-Development.com>

Sent: Monday, September 29, 2025 8:45 AM

To: Biazar, Shahab <sbiazar@cabq.gov>; Vos, Michael <mvos@cabq.gov>; Palmer, Jeffrey <jppalmer@cabq.gov>

Cc: Matt Lammers <mlammers@titan-development.com>; Rafael Castellanos <rcastellanos@Titan-Development.com>

Subject: FW: Capra Bank Phase 1 - SPA Submittal

Good morning Shahab,

Just wanted to let you know that the Administrative Site Plan for Capra Bank in the Journal Center was submitted late last week (Administrative Site Plan). As discussed, we have a hard deadline to have Capra moved into their modular building on December 1st and believe that this is still very attainable. Our goal is to obtain Site Plan approval this week, so that we can pull a grading permit and a tap-in permit for utilities next week. This will allow us to complete the horizontal infrastructure while the modular building permit gets processed.

Status

Administrative Site Plan - Administrative Site Plan - Submitted

Conceptual G&D – HYDR-2025-00337 – Submitted but not approved yet.

TCL - TRANS-2025-00267 – Already approved.

ABCWUA – Availability letter has been drafted but waiting on signatures. Spoke to ABCWUA and it should go out early this week.

Appreciate your additional attention to this project and if you or your staff has any questions, please reach out as this is very time sensitive.



BRIAN C. PATTERSON, P.E.

Partner

P (505) 998-0163

W www.titan-development.com

E bpatterson@titan-development.com

6300 Riverside Plaza, Ste. 200
Albuquerque, NM 87120

4903 Woodrow Unit A
Austin, TX 78756

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From: Rafael Castellanos <rcastellanos@Titan-Development.com>

Sent: Thursday, September 25, 2025 5:33 PM

To: Matt Lammers <mlammers@titan-development.com>; Brian Patterson <bpatterson@Titan-Development.com>

Subject: Fwd: Capra Bank Phase 1 - SPA Submittal

Sent from my iPhone

Begin forwarded message:

From: Jeremy Vardaman <jeremy@17services.com>
Date: September 25, 2025 at 4:24:05 PM MDT
To: Jen Hanson <jhanson@caprabank.com>, Rafael Castellanos <rcastellanos@titan-development.com>
Cc: Tyler Gentry <Tyler@17services.com>, Matt Lammers <mlammers@titan-development.com>, Tut Fuller <tut@caprabank.com>, Andres Garcia <agarcia@caprabank.com>, Liz Earls <learls@caprabank.com>
Subject: Capra Bank Phase 1 - SPA Submittal

All,

The Phase 1 SPA has been submitted to the city of Albuquerque and the fee has been paid. Below is the SPA number for those he need a record.

SP-2025-00081

Please let me know if you have any questions or concerns.

Thanks,

Jeremy Vardaman, RA
Project Architect | Seventeen Services LLC
1500 Broadway Suite 203 Lubbock, TX 79401 | jeremy@17services.com | 17services.com

1	12/03/2016	ADMINISTRATIVE AMENDMENT ENLARGE PATIO, REDUCE PARKING
2		
3		
4		

GENERAL SHEET NOTES

- SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PNM REQUIREMENTS.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

SHEET KEYED NOTES

- ITEMS TO BE PART OF TRACT A-2, UNDER SEPARATE SUBMITTAL.
- EXISTING PROPERTY LINE.
- MONUMENT SIGN, SEE SHEET SPBP-6 DETAIL B1.
- EXISTING PYLON SIGN.
- ASPHALT PAVING.
- BUILDING SETBACK ALONG PASEO DEL NORTE AND I-25: 40' FROM PROPERTY LINE.
- PARKING SETBACK ALONG PASEO DEL NORTE AND I-25: 10' FROM PROPERTY LINE.
- BUILDING SIDEYARD SETBACK: 10' FROM PROPERTY LINE.
- BUILDING SETBACK ALONG LANG AVENUE: 30' FROM FACE OF CURB.
- PARKING SETBACK ALONG LANG AVENUE: 20' FROM FACE OF CURB.
- CONCRETE CURB ISLAND WITH LANDSCAPE, SEE LANDSCAPE PLAN.
- CONCRETE SIDEWALK.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
- CONCRETE SIDEWALK: 6' WIDE.
- CONCRETE TREE WELL 7'x7' WITH LANDSCAPE, SEE LANDSCAPE PLAN.
- CONCRETE TREE WELL 9'x6' WITH LANDSCAPE, SEE LANDSCAPE PLAN.
- LANDSCAPED AREA: SEE LANDSCAPE PLAN.
- EXISTING CONCRETE CURB AND GUTTER.
- CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES: SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- CONCRETE PEDESTRIAN CROSSWALK: COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
- STEEL BICYCLE RACK: SEE SHEET SPBP-6 DETAIL A5.
- CONCRETE SLAB FOR TRASH ENCLOSURE.
- TRASH ENCLOSURE FOR SOLID WASTE DISPOSAL: SEE SHEET SPBP-6 DETAIL B4.
- POLE MOUNTED MOTORCYCLE PARKING SIGNAGE: SEE SHEET SPBP-6 DETAIL A2.
- MOTORCYCLE PARKING, 4'W x 8'L MINIMUM (3 PROVIDED).
- PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- ADA ACCESS AISLE PAINTED PARKING SIGNAGE: (NO PARKING), COLOR: WHITE 12" H AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF PARKING SPACE).
- POLE MOUNTED ACCESSIBLE PARKING SIGNAGE: SEE SHEET SPBP-6 DETAIL A3.
- PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
- PAINTED DIAGONAL STRIPING (2'-0" O.C. AT 45 DEGREES), COLOR: WHITE.
- PAINTED TRAFFIC FLOW DIRECTIONAL ARROW, COLOR: WHITE.
- COMPACT PARKING SPACE.
- CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- CONCRETE DRIVE PAD, SEE CIVIL.
- DECELERATION LANE, SEE CIVIL.
- POLE MOUNTED PARKING LOT LIGHT: SEE SHEET SPBP-6 DETAIL A1.
- POLE MOUNTED STOP SIGN: SEE SHEET SPBP-6 DETAIL A4.
- EXISTING FIRE HYDRANT, SEE CIVIL.
- FIRE HYDRANT, SEE CIVIL.
- TEMPORARY ASPHALT CURB.
- EXISTING RETAINING WALL.
- TRANSFORMER.
- PROPOSED PROPERTY LINE.

SITE INFORMATION

LEGAL DESCRIPTION
TRACT A3-A & A3-B LEGACY AT JOURNAL CENTER (A REPLAT OF TRACT A LEGACY AT JOURNAL CENTER)

TOTAL SITE AREA: TRACT A3-A & A3-B - SF = 1.2 AC

EXISTING ZONING: IP

PROPOSED USES: RETAIL

MINIMUM BUILDING SETBACK: SEE SHEET KEYED NOTES

MAXIMUM BUILDING HEIGHT: IP ZONING: 120'

GROSS BUILDING AREA (GBA): RETAIL (1 STORY) = 8,700 SF

SITE AREA: 52,819 SF

GROSS F.A.R. (GBA / SITE AREA) = 8,700 / 52,819 = .15

PARKING INFORMATION

ALBUQUERQUE CITY ZONING CODE, SECTION 14-17-3-1

TOTAL BUILDING AREA: 8,700 GSF

TOTAL REQUIRED SPACES: 44 SPACES

TOTAL PARKING PROVIDED: 44

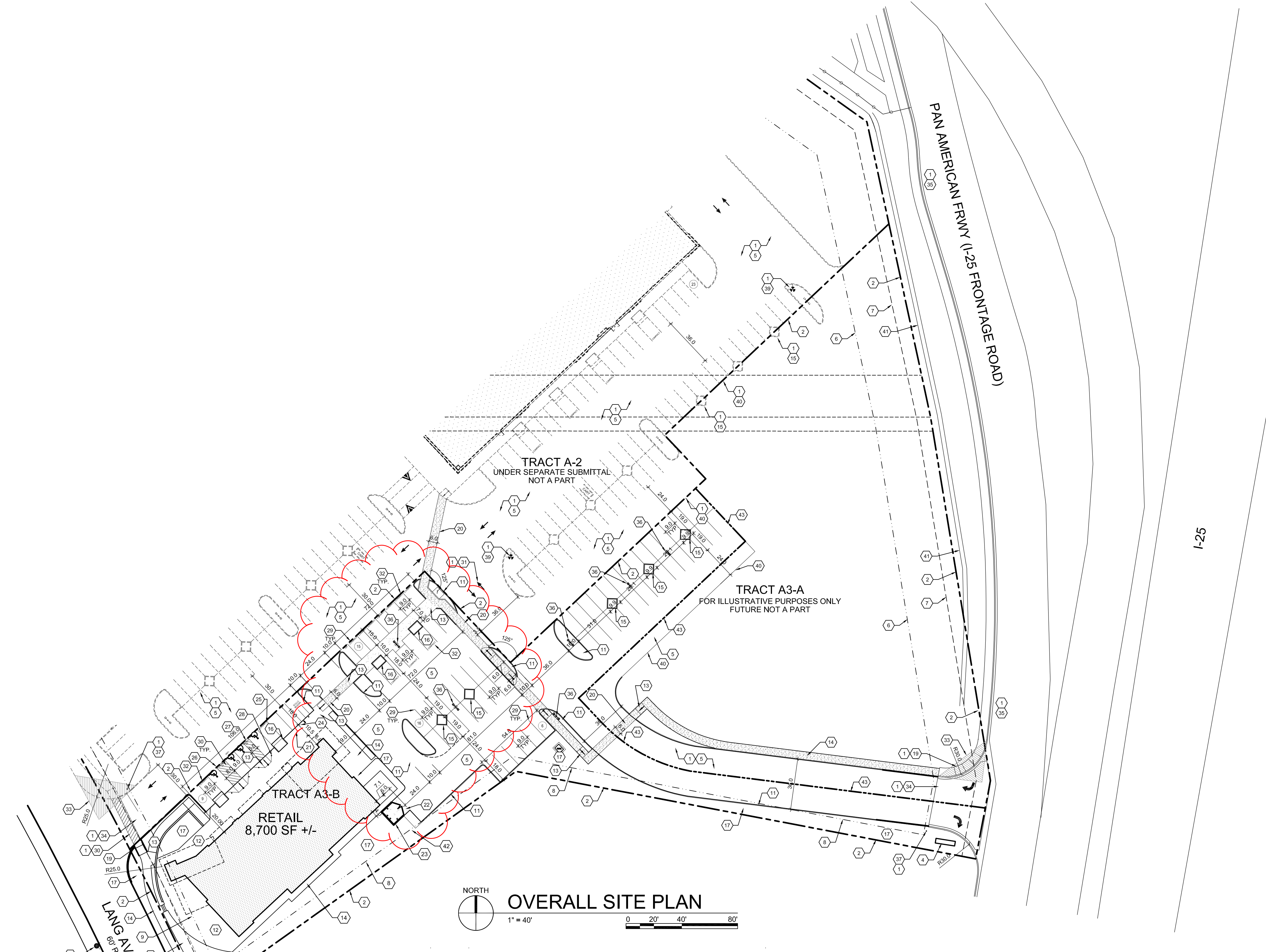
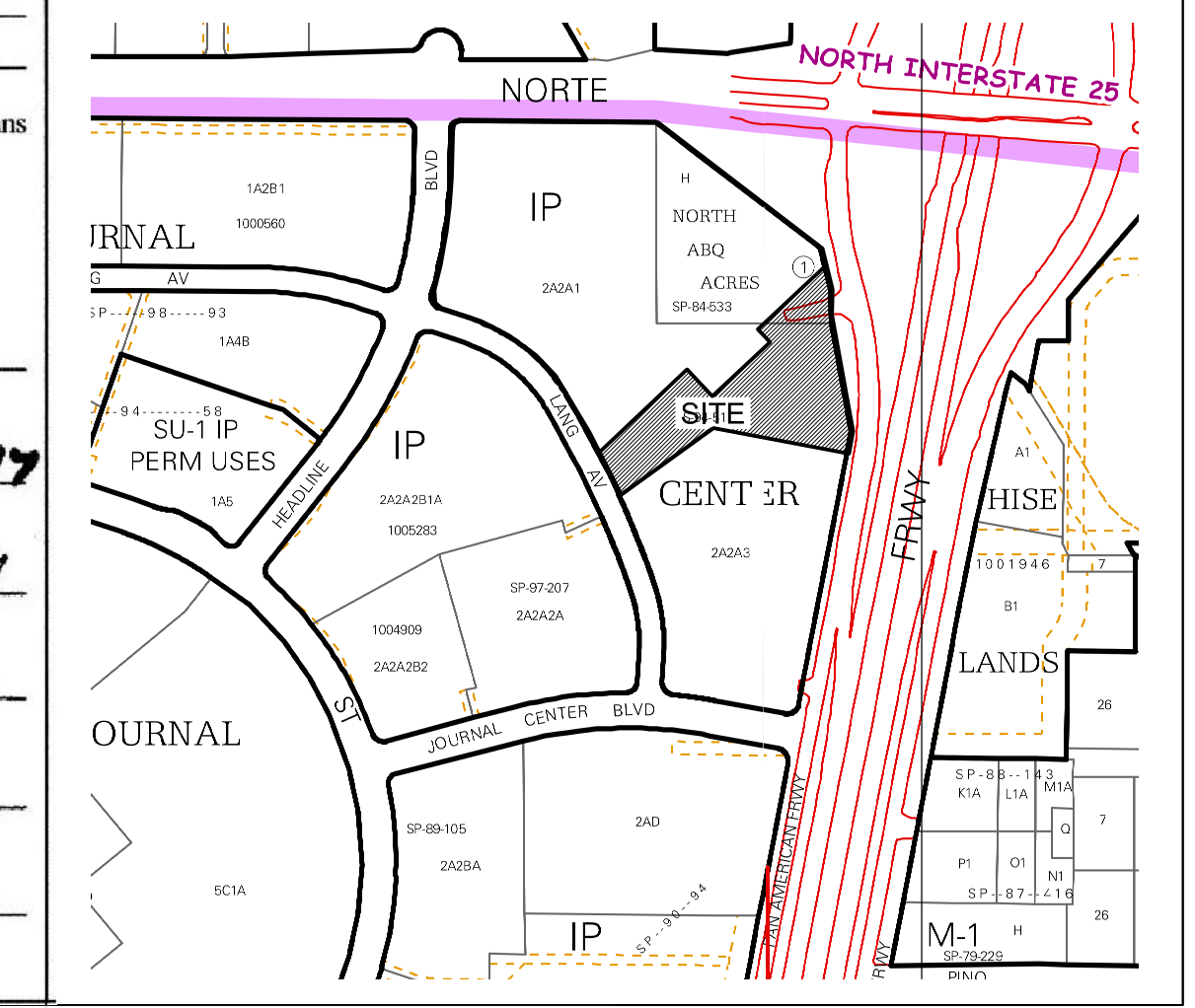
TOTAL PARKING REQUIRED: 44

HANDICAP PARKING STALLS REQUIRED: 4 HO STALLS (1 VAN ACCESSIBLE)
PROVIDED: 4 HO STALLS (1 VAN ACCESSIBLE)

MOTORCYCLE PARKING REQUIRED: 3 SPACES
PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 76 / 20 = 4 SPACES
PROVIDED: 4 SPACES

VICINITY MAP



OVERALL SITE PLAN
1" = 40'

PROJECT NUMBER: 1010228

APPLICATION NUMBER: 16DRB-70441

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	3/13/17
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	01-18-17
ABCWUA	DATE
<i>[Signature]</i>	1-18-17
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1-18-17
CITY ENGINEER	DATE
<i>[Signature]</i>	9-13-16
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	3/13/17
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



REVISIONS

- ▲ 2/11/2017, Site Plan Change
- ▲
- ▲
- ▲

DRAWN BY

REVIEWED BY

DATE September 20, 2016

PROJECT NO. 16-0068.001

DRAWING NAME

LANDSCAPE PLAN

SHEET NO.

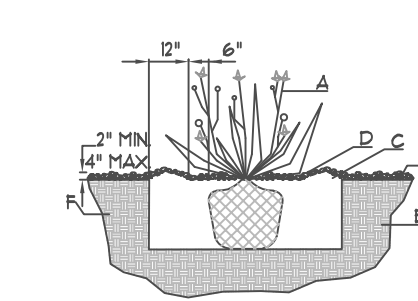
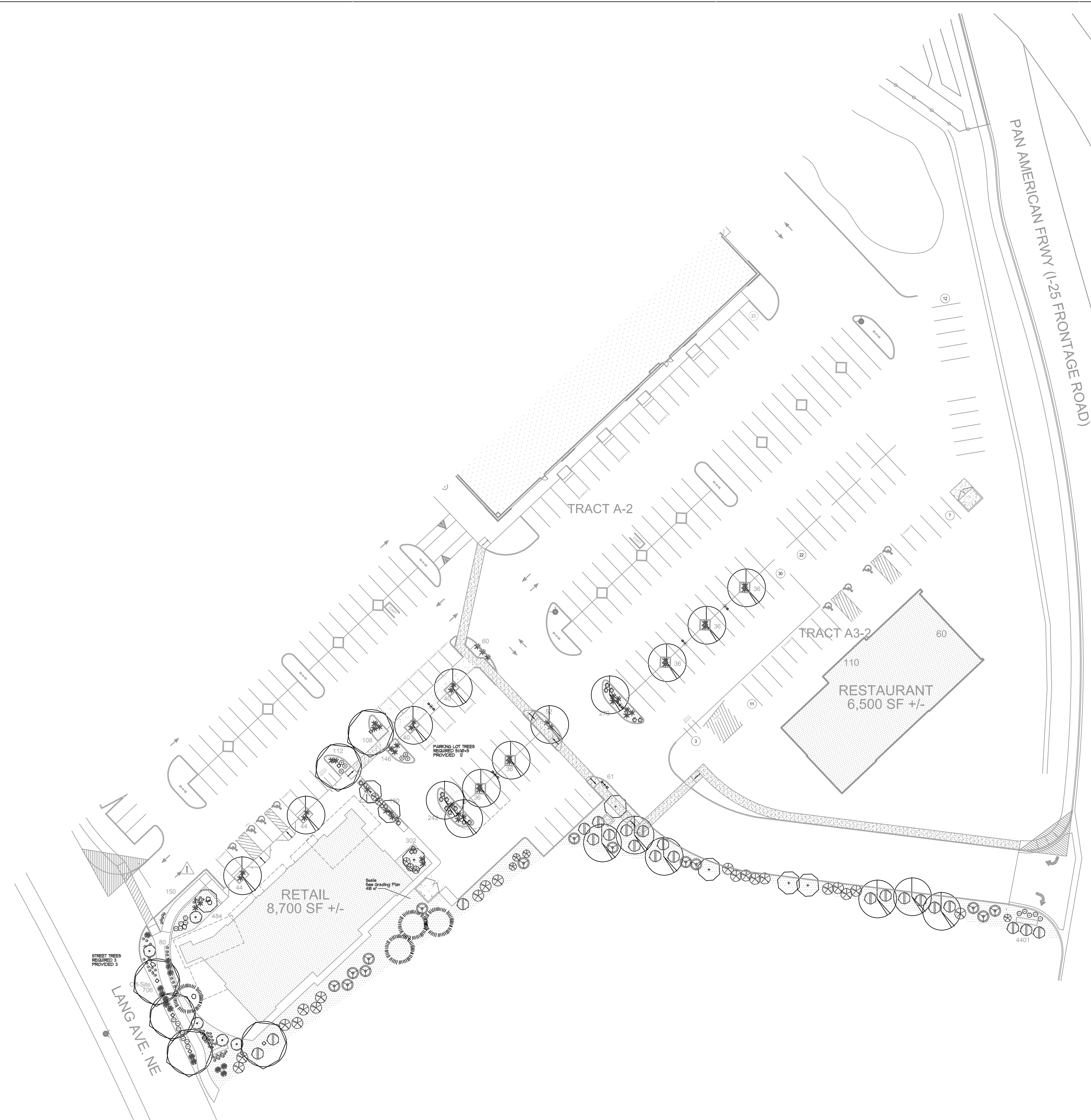
L1.1
OF

PLANTING SCHEDULE

TREES	SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE
		19	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	2.5" Cal.	35.00	25.00	625	MED	11875
		6	SHADEMASTER HONEY LOCUST	Gleditsia triacanthos var. inermis Shademaster	2.5" Cal.	35.00	30.00	900	LOW	5400
		8	NEW MEXICO OLIVE	Forestiera neomexicana	36" Box	15.00	15.00	225	LOW	1800
		4	PINON PINE	Pinus edulis	6" Min. Ht.	25.00	20.00	400	LOW	1600
									TOTAL LIVE TREE COVERAGE	20675
SHRUBS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		14	APACHE PLUME	Fallugia paradoxa	5 Gal	4.00	7.00	49	LOW	686
		29	GREEN CHAMISA	Chrysothamnus nauseosus 'Green'	5 Gal	5.00	7.00	49	LOW	1421
		5	BIRD OF PARADISE	Caesalpinia gilliesii	5 Gal	8.00	8.00	64	LOW	320
		17	SHRUBBY CINQUEFOIL	Potentilla fruticosa	5 Gal	3.00	3.00	9	LOW	153
		22	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	5 Gal	3.00	7.00	49	LOW	1078
PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		6	WHITE WHIRLING BUTTERFLIES	Gaura lindheimeri	1 Gal	3.00	3.00	9	LOW	54
		57	ANGELITA DAISY	Hymenoxys acaulis	1 Gal	1.00	1.25	1,5625	LOW	114
GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		20	BLUE GRAMA GRASS	Bouteloua 'Blonde Ambition'	1 Gal	2.50	2.50	6.25	LOW	125
		14	DEER GRASS	Muhlenbergia rigens	1 Gal	4.00	4.00	16	LOW	224
ACCENTS/VINE	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		49	YELLOW FLOWERING YUCCA	Hesperaloe parviflora 'Yellow'	5 Gal	3.00	3.00	9	LOW	441
									TOTAL LIVE GROUND COVER	4616

MULCHES AND SEED MIXES	SYMBOL	DESCRIPTION
	7021	CRUSHER FINES (NO FILTER FABRIC), 3" DEPTH
	706 OFF-SITE	COLOR: TAN / BROWN / GOLD
	7727	

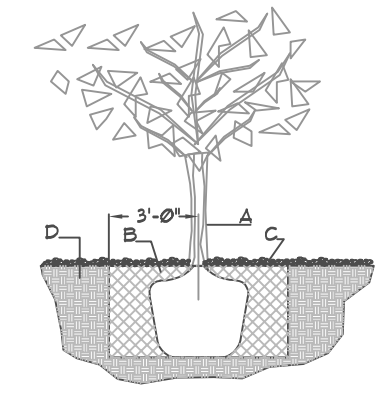
5 BOULDERS, SIZE: MINIMUM OF 2'X2'X2', COLOR: TAN/BROWN



SHRUB PLANTING DETAIL
NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASKIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.

CONSTRUCTION NOTES:
A. SHRUB
B. BACKFILL WITH EXISTING SOIL
C. EARTH BERRY AROUND WATER RETENTION BASKIN
D. 3" DEPTH OF GRAVEL MULCH
E. FINISH GRADE
F. UNDISTURBED SOIL



TREE PLANTING DETAIL
NTS

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOT COLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY 1/2\"/>

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Gray Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafin spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafin shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Trees drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

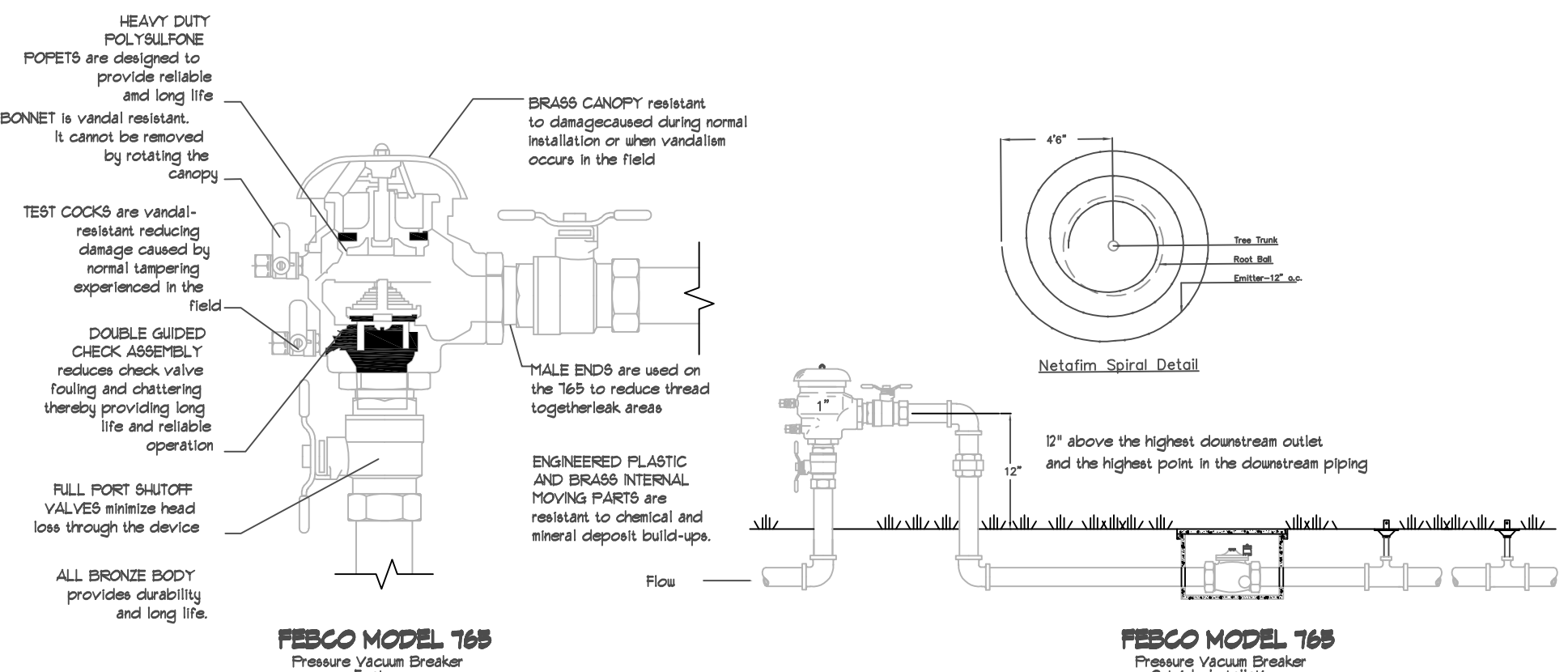
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

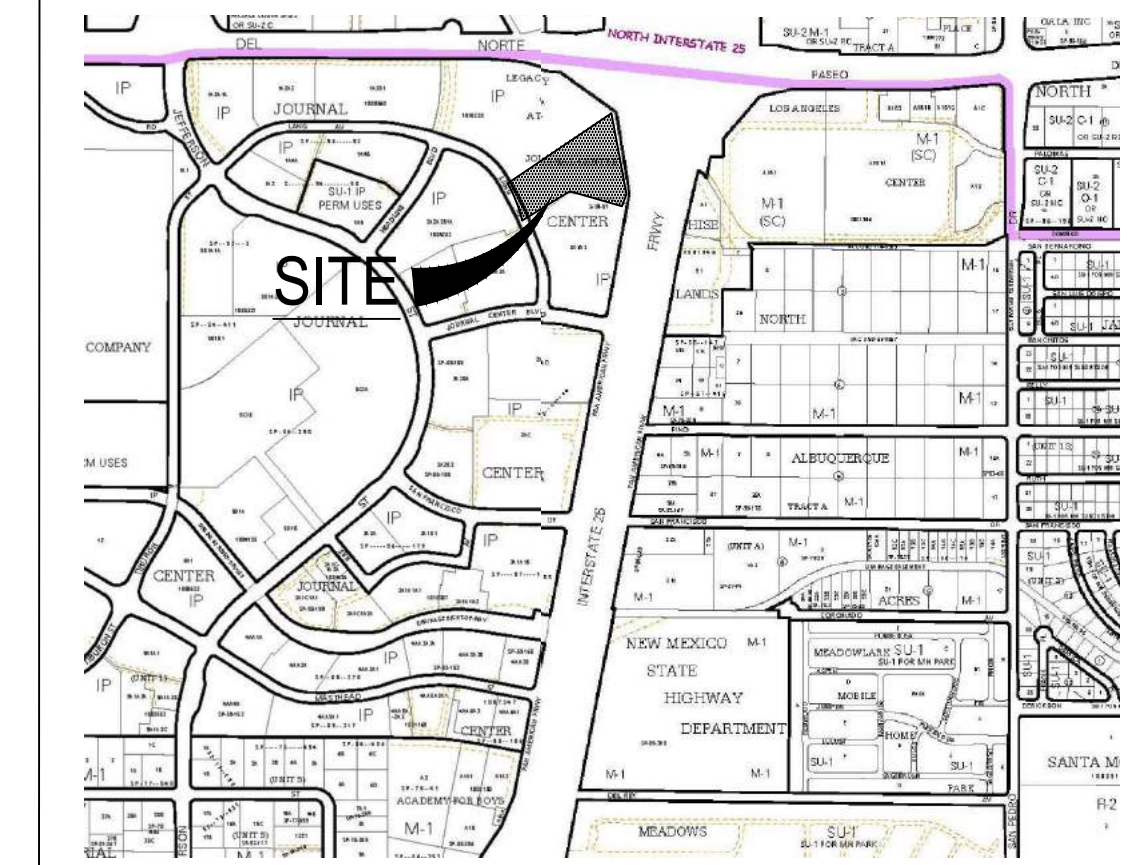
TOTAL LOT AREA (sf)	61,401
OFF-SITE LANDSCAPE PROVIDED	864
TOTAL BUILDING AREA (sf)	51,843
TOTAL LOT AREA (sf)	51,843
LANDSCAPE REQUIREMENT	15
TOTAL LANDSCAPE REQUIRED (15%)	7,776
TOTAL ON-SITE LANDSCAPE PROVIDED	13,439
TOTAL LIVE GROUND COVER REQUIRED 30%	4,032
TOTAL LIVE GROUND COVER PROVIDED	4,416
TOTAL LIVE PLANT MATERIAL REQUIRED 75%	10,080
TOTAL LIVE GROUND COVER PROVIDED	25,391



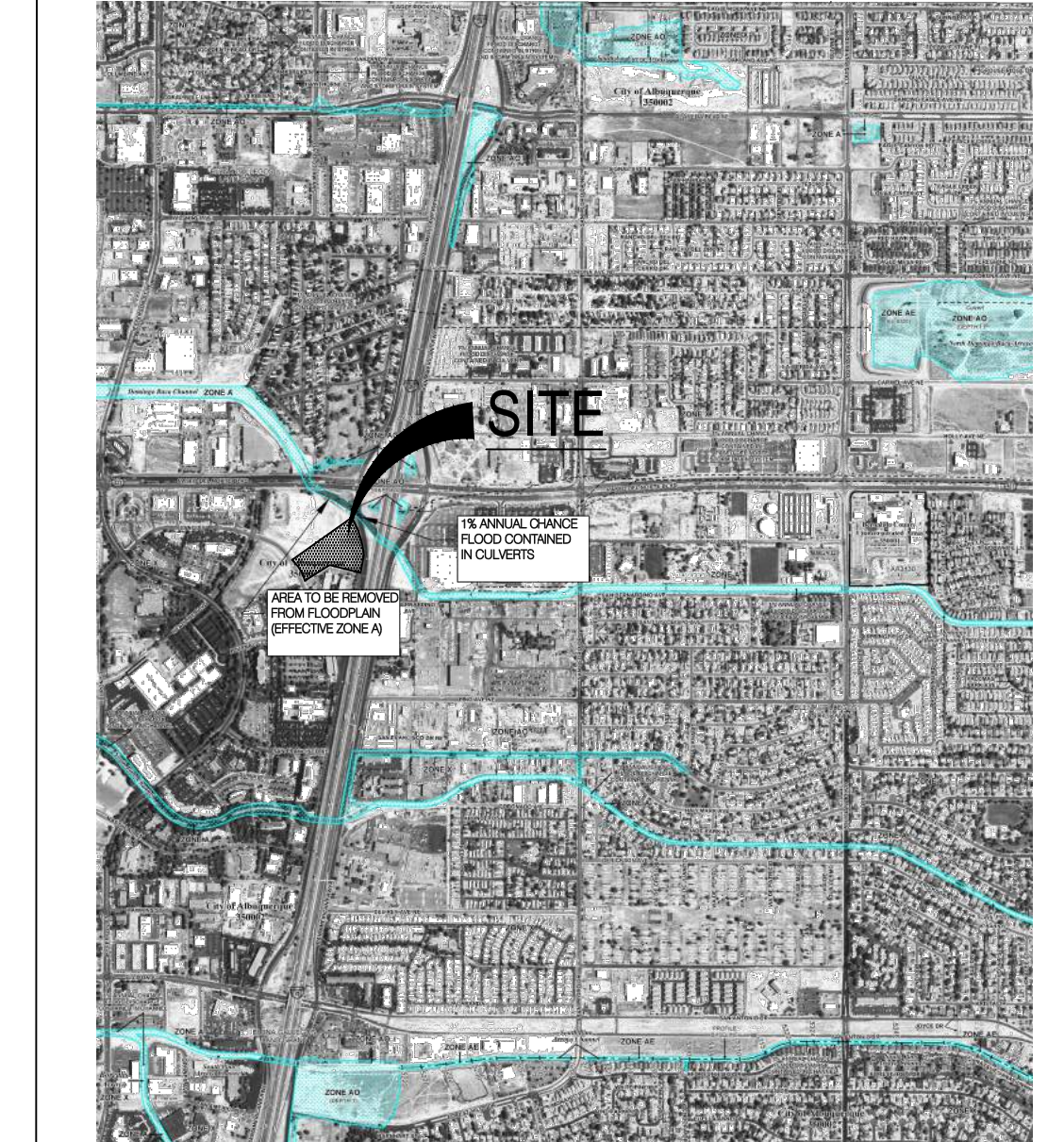


GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADEING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
- N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- O. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- P. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- Q. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, FIRST PRIORITY SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- R. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- S. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- T. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- U. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- V. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- W. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- X. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



ZONE ATLAS PAGE D17 & D18



FEMA FIRM # 35001C0137H

GRADING KEYNOTES

1. NEW EARTHEN SWALE. GRADES SHOWN ARE TO TOP OF LANDSCAPING. CONTRACTOR SHALL INSURE ALL FINAL GRADES MEET PROPOSED ELEVATIONS NOTED. CONTRACTOR TO ADD RIP RAP AT NEW ROOF DRAINS, 3' WIDE DOWN TO INVERT OF SWALE.
2. INSTALL CURB OPENING PER DETAIL A1 THIS SHEET.
3. CONSTRUCT NEW 2' WIDE VALLEY GUTTER PER DETAIL A3 THIS SHEET.
4. INSTALL RIP RAP BLANKET 12" DEEP AND 3' X 3' WITH GEOTECH FABRIC.
5. MATCH EXISTING GRADE
6. INSTALL DEPRESSED ISLANDS AND CURB OPENINGS PER DETAIL A2 THIS SHEET.
7. INSTALL CONCRETE VALLEY GUTTER 4' WIDE X 6' LONG.

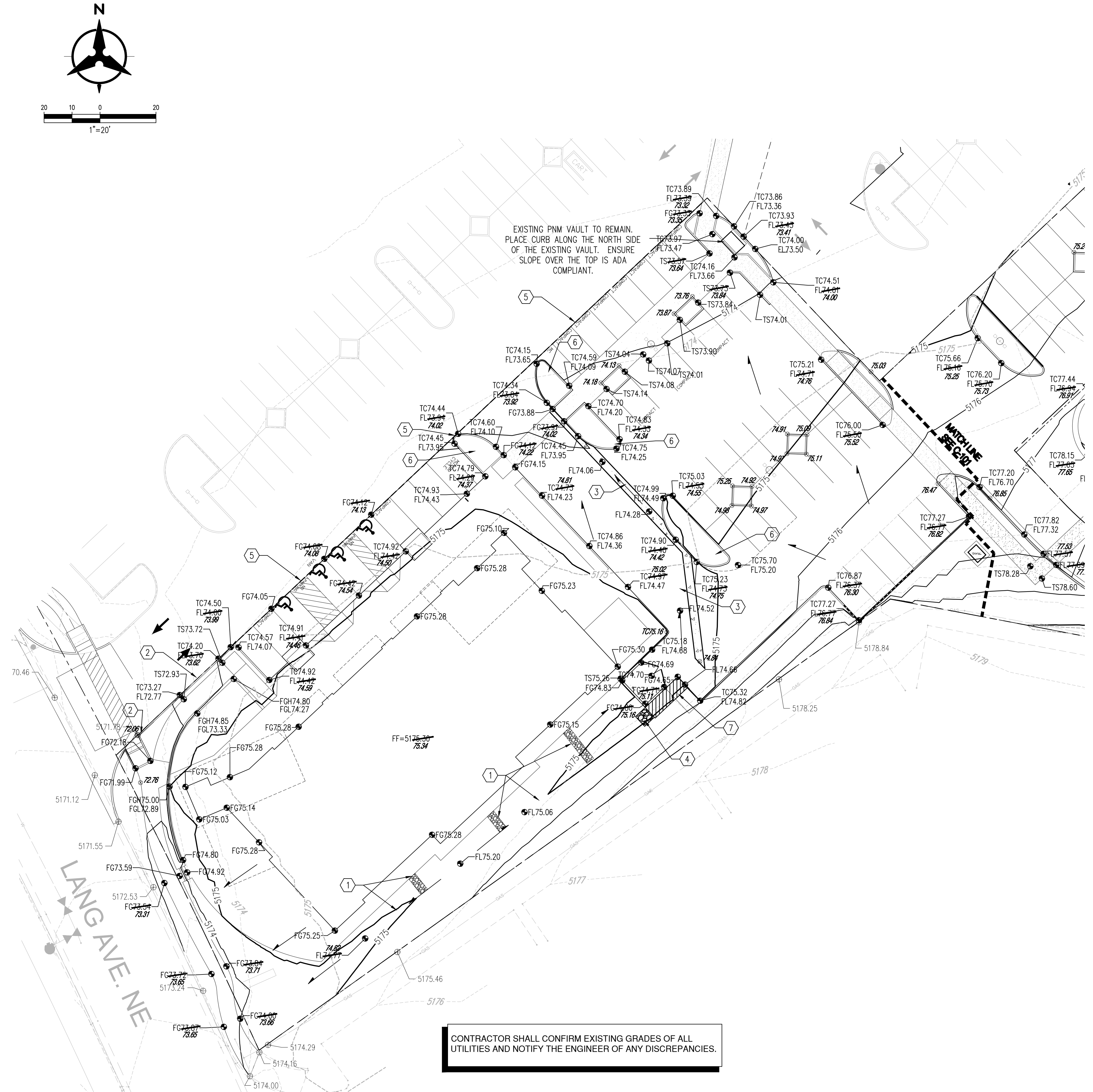
GRADING LEGEND

--- PROPERTY LINE	--- PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	--- DIRECTION OF FLOW
--- EXISTING INDEX CONTOUR	--- WATER BLOCK/GRADE BREAK
--- EXISTING INTERMEDIATE CONTOUR	--- PROPOSED STORM DRAIN LINE
@ 5025.25 EXISTING GROUND SPOT ELEVATION	--- PROPOSED STORM DRAIN MANHOLE
--- 5025 PROPOSED INDEX CONTOUR	--- PROPOSED STORM DRAIN INLETS
--- 5024 PROPOSED INTERMEDIATE CONTOUR	--- PROPOSED RETAINING WALL
--- PROPOSED FLOW LINE	--- EASEMENT
@ 26.75 PROPOSED FINISHED GRADE SPOT ELEVATION	
TC=TOP OF CURB	
FL=FLOW LINE	
TS=TOP OF SIDEWALK	
TG=TOP OF GRATE	
FGH=FINISH GROUND HIGH	
FLG=FINISH GROUND LOW	

REVISIONS

△	
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△	
△	
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△	

DRAWN BY	MHS
REVIEWED BY	MJB
DATE	April 27, 2017
PROJECT NO.	16-0068
DRAWING NAME	GRADING AND DRAINAGE PLAN



CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

DRAINAGE CERTIFICATION

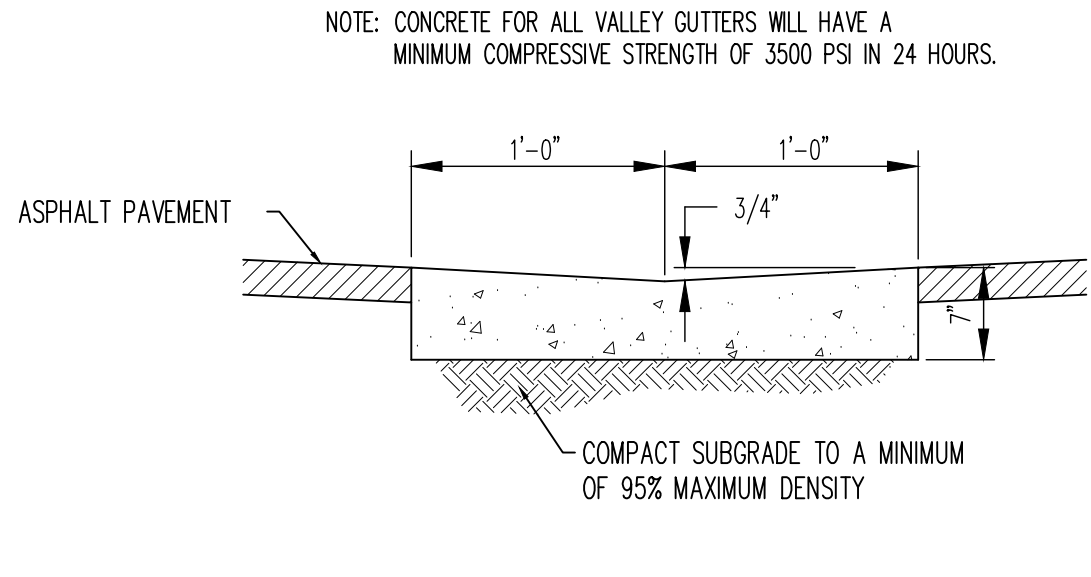
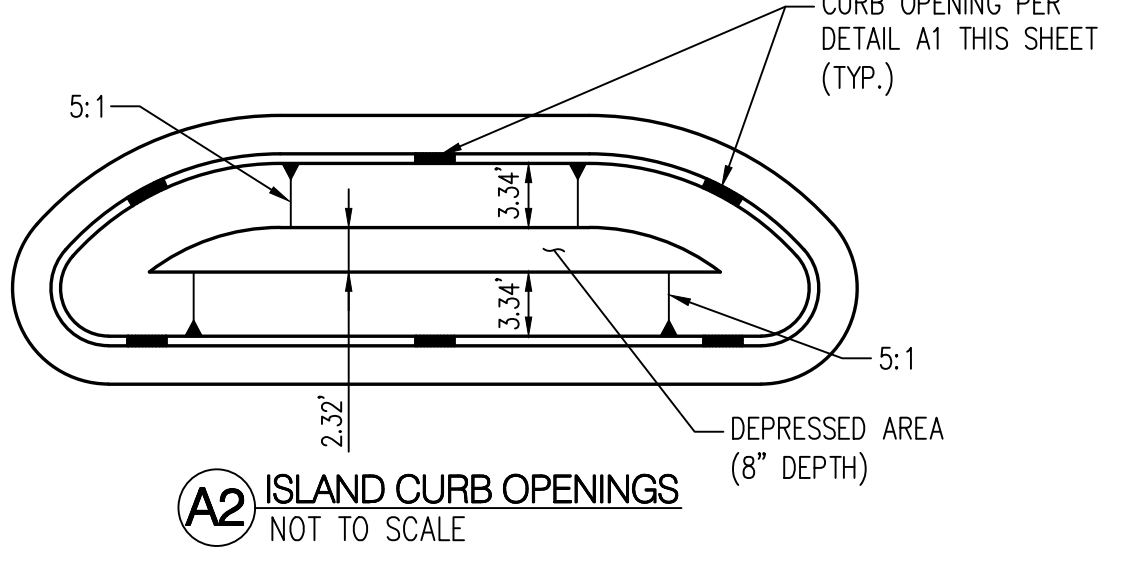
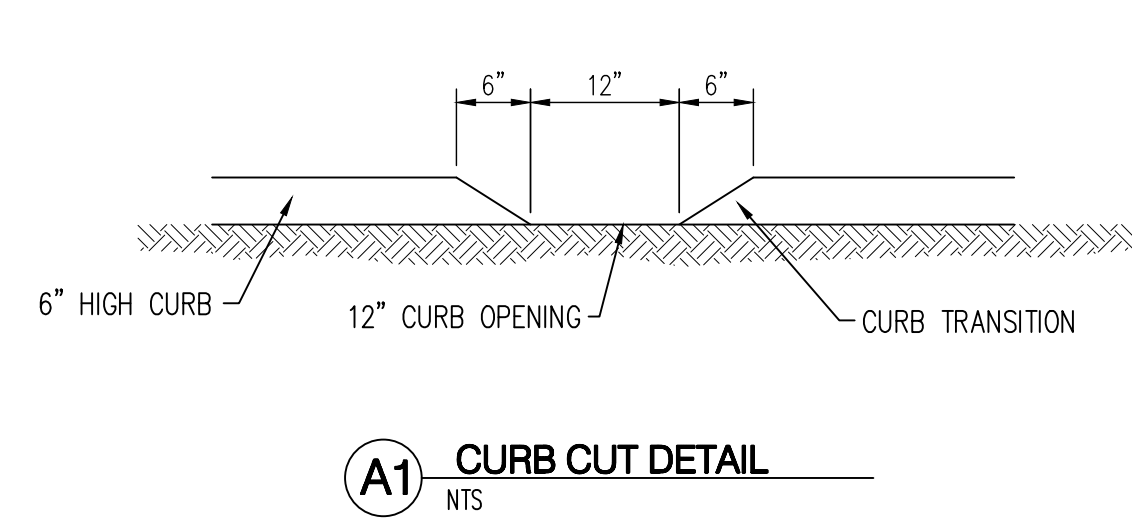
I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 4/26/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 16702, OF TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/4/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Michael Balaskovits
MICHAEL BALASKOVITS, NMPE 18187
1/10/2018

AS-BUILT LEGEND

- FL 24.87 AS-BUILT GRADE
- 75.25 AS-BUILT GRADE



**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

LEGACY @ JOURNAL CENTER
5151 Lang Avenue NE
Albuquerque, New Mexico 87109

REVISIONS

- △
- △
- △
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DRAWN BY MHS

REVIEWED BY MJB

DATE December 20, 2016

PROJECT NO. 16-0068.001

DRAWING NAME

CONCEPTUAL UTILITY PLAN

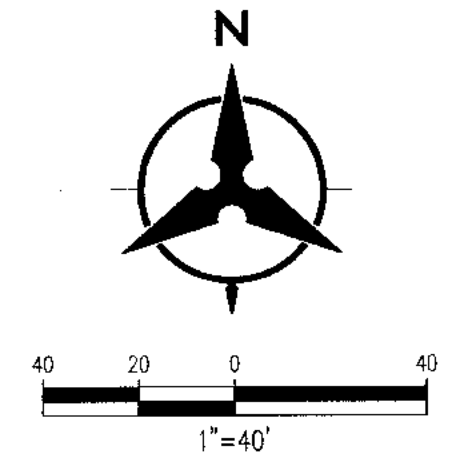
SHEET NO.

SPBP-4

OF

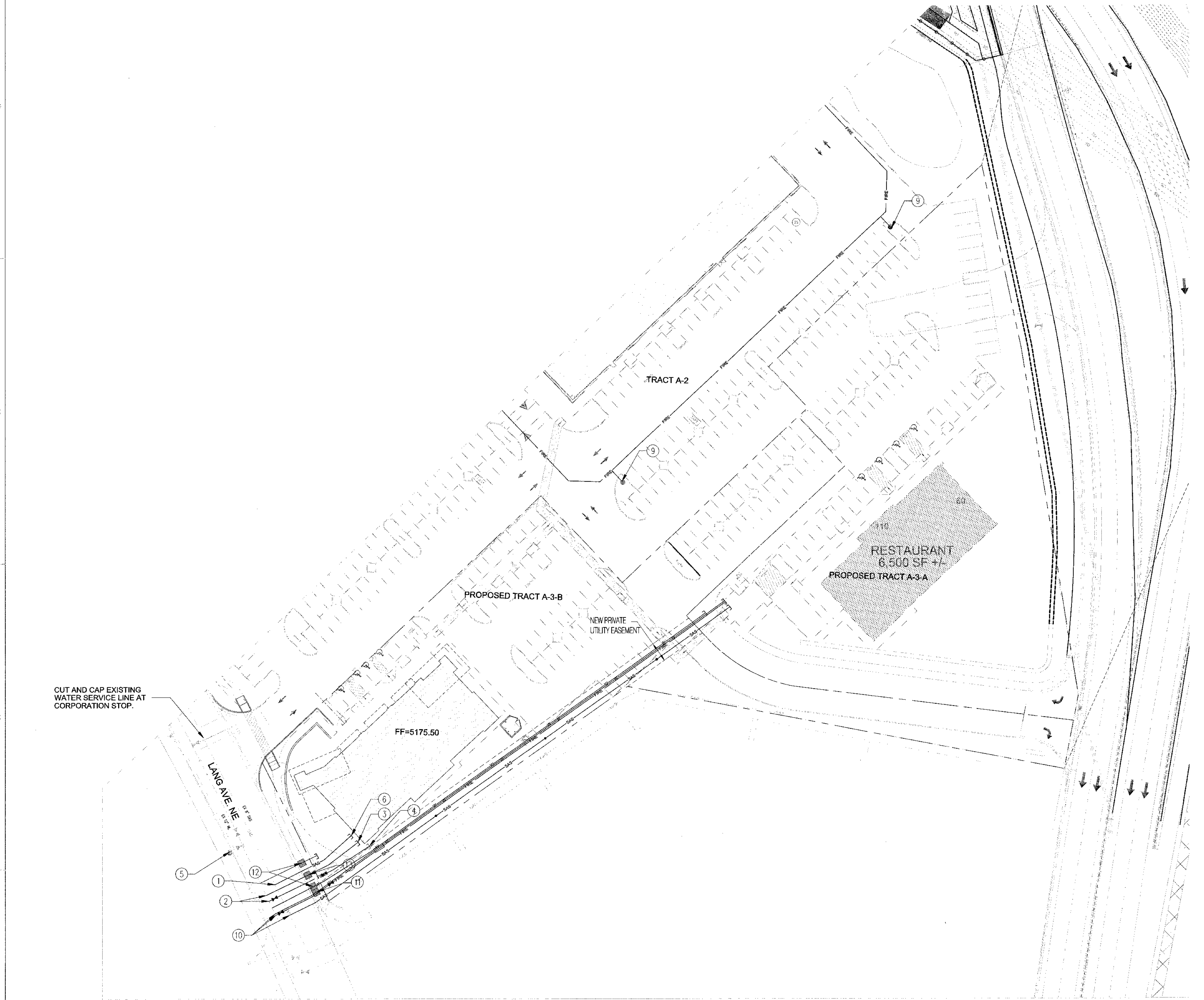
UTILITY KEYNOTES

1. CONNECT TO EXISTING SANITARY SEWER SERVICE MAIN.
2. CONNECT TO EXISTING WATER SERVICE MAIN.
3. INSTALL 2" DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING.
4. INSTALL 6" FIRE PROTECTION LINE TO WITHIN 5' OF BUILDING.
5. EXISTING FIRE HYDRANT.
6. INSTALL 4" SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING.
7. NOT USED
8. NOT USED
9. FUTURE FIRE HYDRANT CONSTRUCTED WITH THE TRACT A-2 DEVELOPMENT
10. NEW WATER, FIRE AND SEWER SERVICES INSTALLED AT THIS TIME TO SERVE FUTURE TRACT A-3-2 AND PLACED WITHIN A PRIVATE UTILITY EASEMENT.
11. INSTALL 2" WATER METER PER COA STD DWG 2367
12. INSTALL 3/4" WATER METER PER COA STD DWG 2361
13. INSTALL 1 1/2" WATER METER PER COA STD DWG 2367



UTILITY LEGEND

---	PROPERTY LINE	- - - - -	PROPOSED EASEMENT
- - - - -	EXISTING EASEMENT	SAS	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER	●	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING WATER LINE	●	PROPOSED CLEANOUT
---	EXISTING WATER METER	W	PROPOSED WATER LINE
---	EXISTING CAP	W	PROPOSED VALVE
---	EXISTING VALVE	FL	PROPOSED FIRE WATER LINE
---	EXISTING FIRE HYDRANT	■	PROPOSED HYDRANT
---	EXISTING SANITARY SEWER MANHOLE	~	PROPOSED CAP
---	EXISTING STORM DRAIN MANHOLE	■	PROPOSED WATER METER
---	EXISTING INLET	▲	PROPOSED PIV
		W	REMOTE FIRE DEPARTMENT CONNECTION




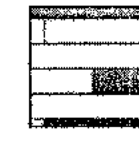
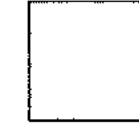


GENERAL SHEET NOTES

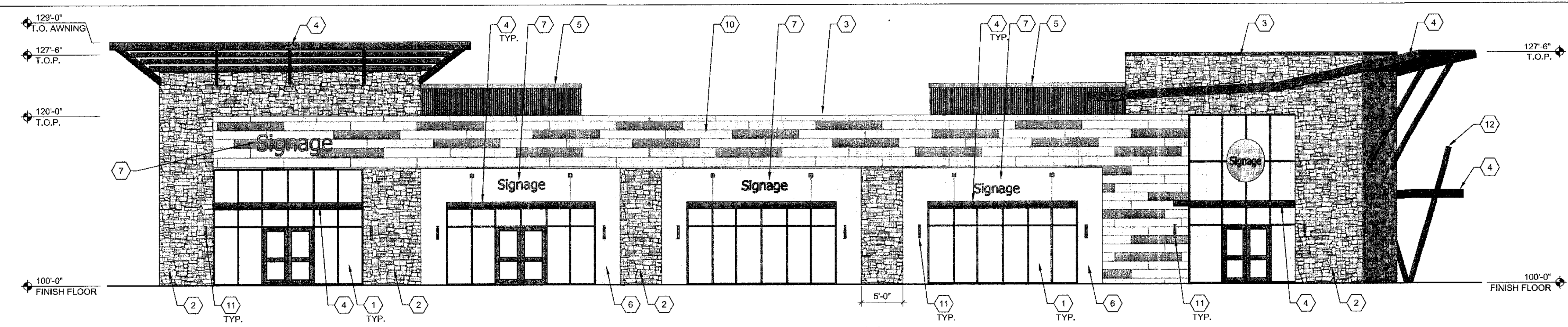
A. BUILDING MOUNTED SIGNS SHALL COMPLY WITH GENERAL SIGN REGULATIONS SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT.

7 SHEET KEYED NOTES

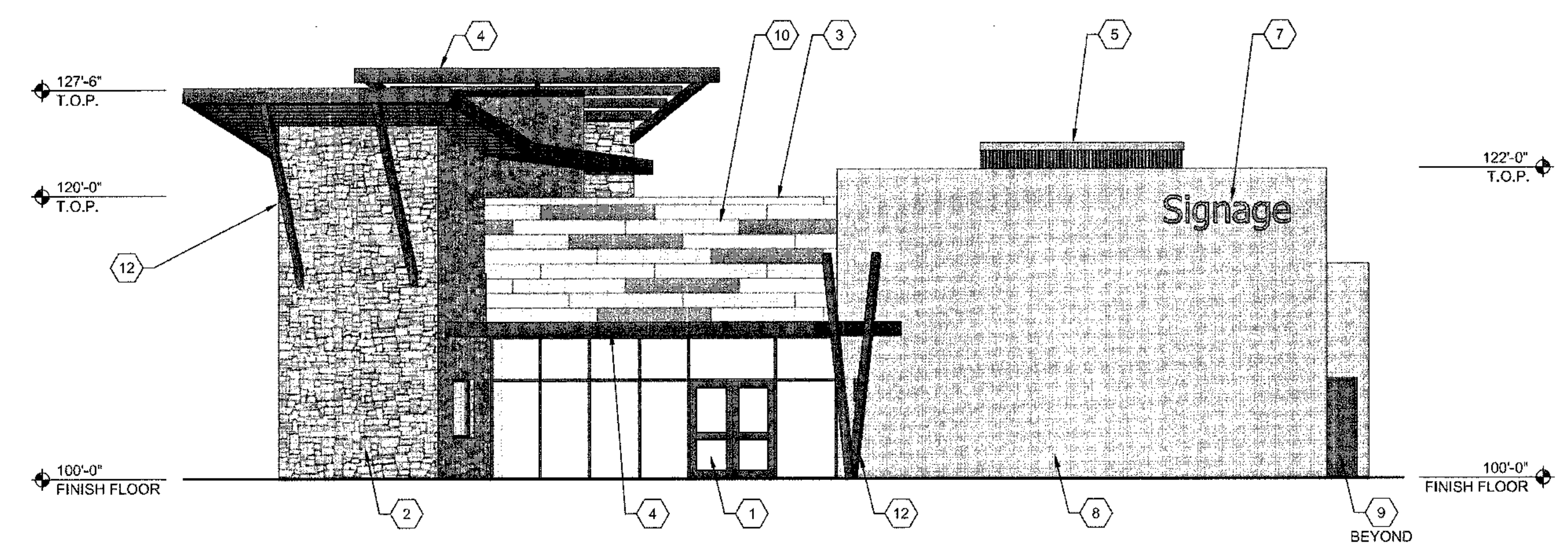
1. ALUMINUM STOREFRONT, COLOR: DARK BRONZE.
2. STONE VENEER, STYLE: BOULDER CREEK CABELA'S BLEND.
3. PRE-FINISHED METAL COPING, COLOR: DARK GREEN.
4. STEEL AWNING, COLOR: DARK GREEN.
5. RIBBED METAL PANEL ROOFTOP HVAC SCREEN, COLOR: DARK GREY.
6. PORTLAND CEMENT PLASTER, COLOR: TAN.
7. BUILDING SIGNAGE, SEE: GENERAL SHEET NOTES.
8. PORTLAND CEMENT PLASTER, COLOR: LIGHT GREEN.
9. HOLLOW METAL DOOR, COLOR: TO MATCH ALUMINUM STOREFRONT.
10. METAL PANEL SYSTEM, COLOR: MIX OF TAN, GREY, DARK GREEN.
11. WALL SCOUNCE.
12. STEEL TUBE, COLOR: DARK GREEN.

LEGEND

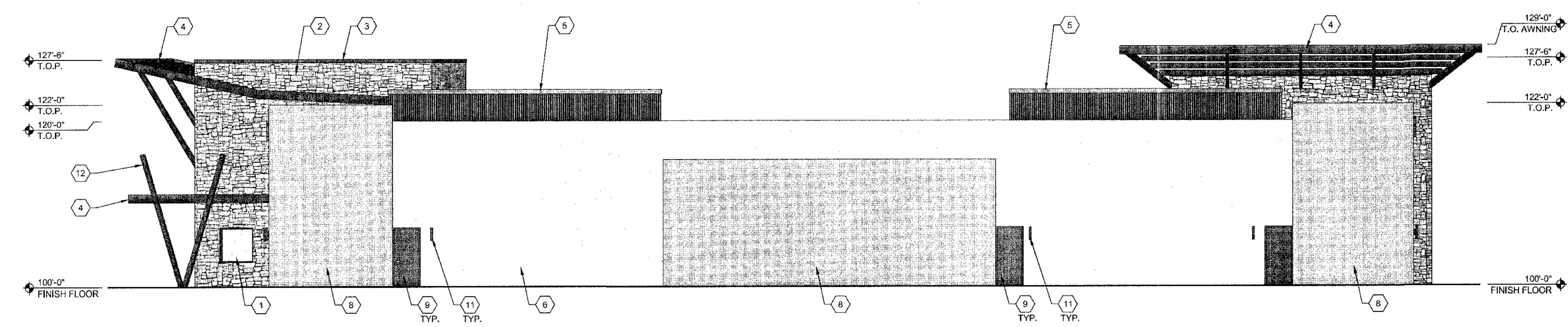
-  STONE VENEER, STYLE: BOULDER CREEK CABELA'S BLEND
-  METAL PANEL SYSTEM, COLOR: MIX OF TAN, GREY, DARK GREEN
-  PORTLAND CEMENT PLASTER, COLOR: TAN
-  PORTLAND CEMENT PLASTER, COLOR: LIGHT GREEN
-  RIBBED METAL PANEL ROOFTOP HVAC SCREEN, COLOR: DARK GREY



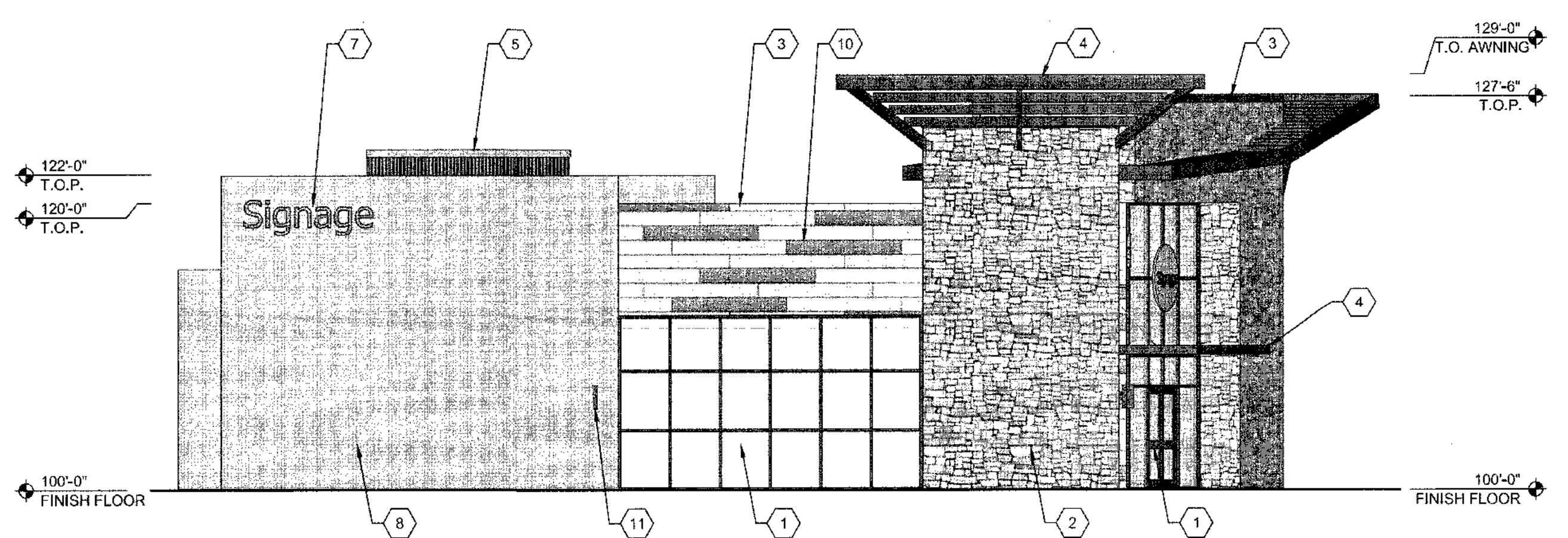
D2 NORTH WEST ELEVATION
1/8" = 1'-0"



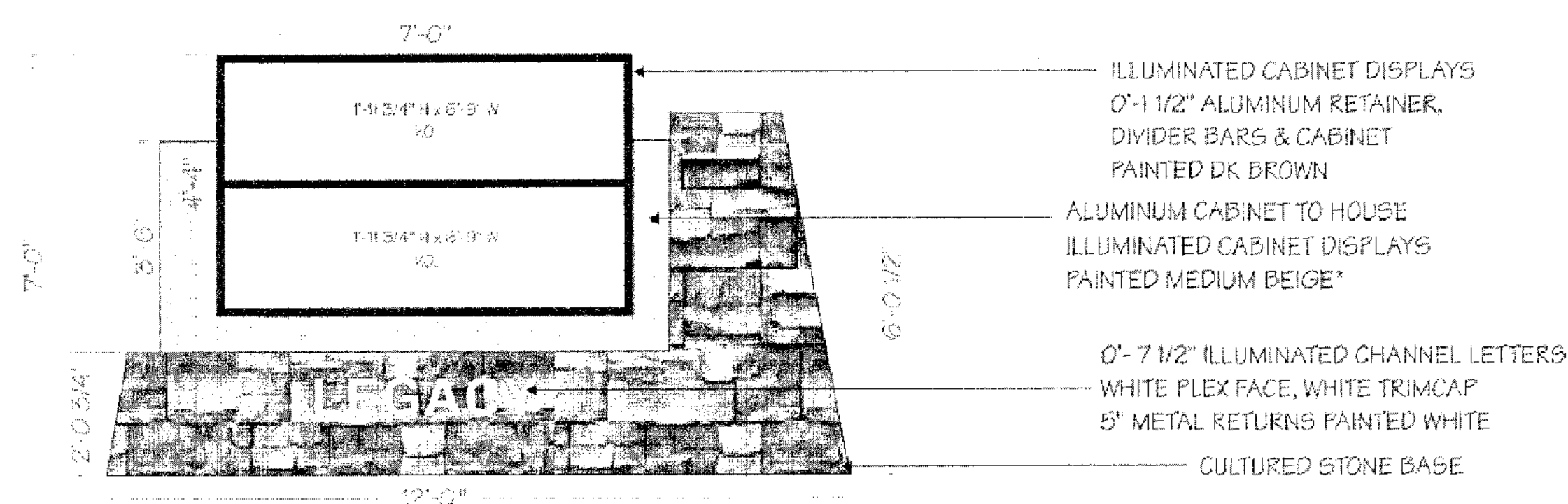
C2 SOUTHWEST ELEVATION
1/8" = 1'-0"



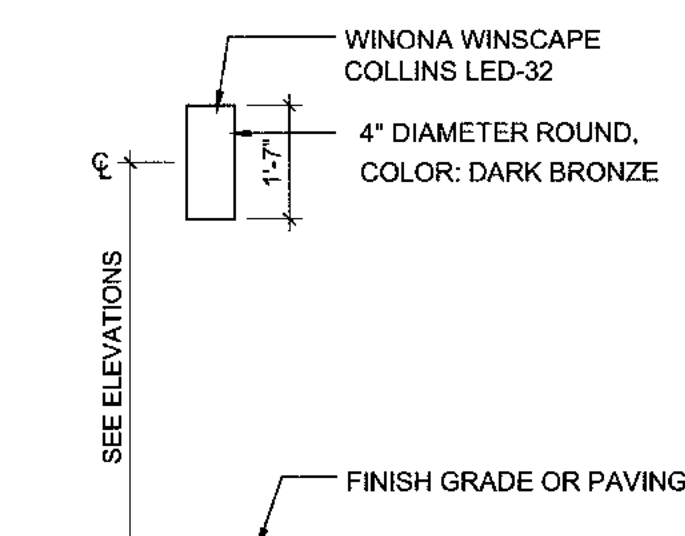
B2 SOUTHEAST ELEVATION
1/8" = 1'-0"



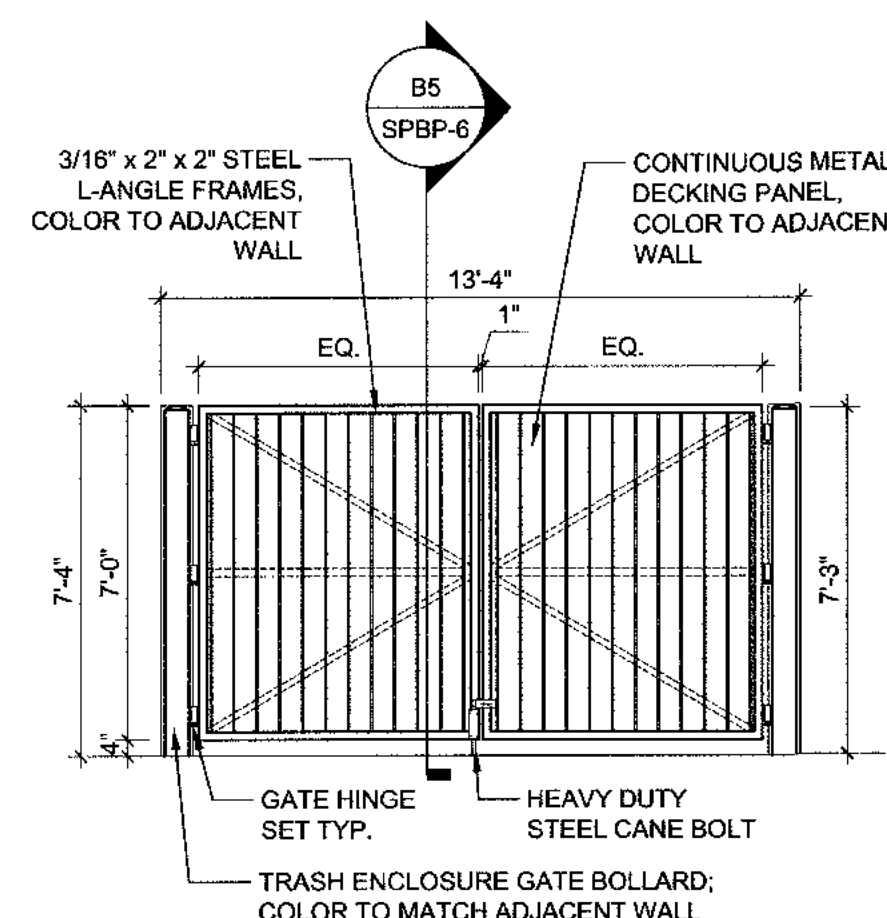
A2 NORTHEAST ELEVATION
1/8" = 1'-0"



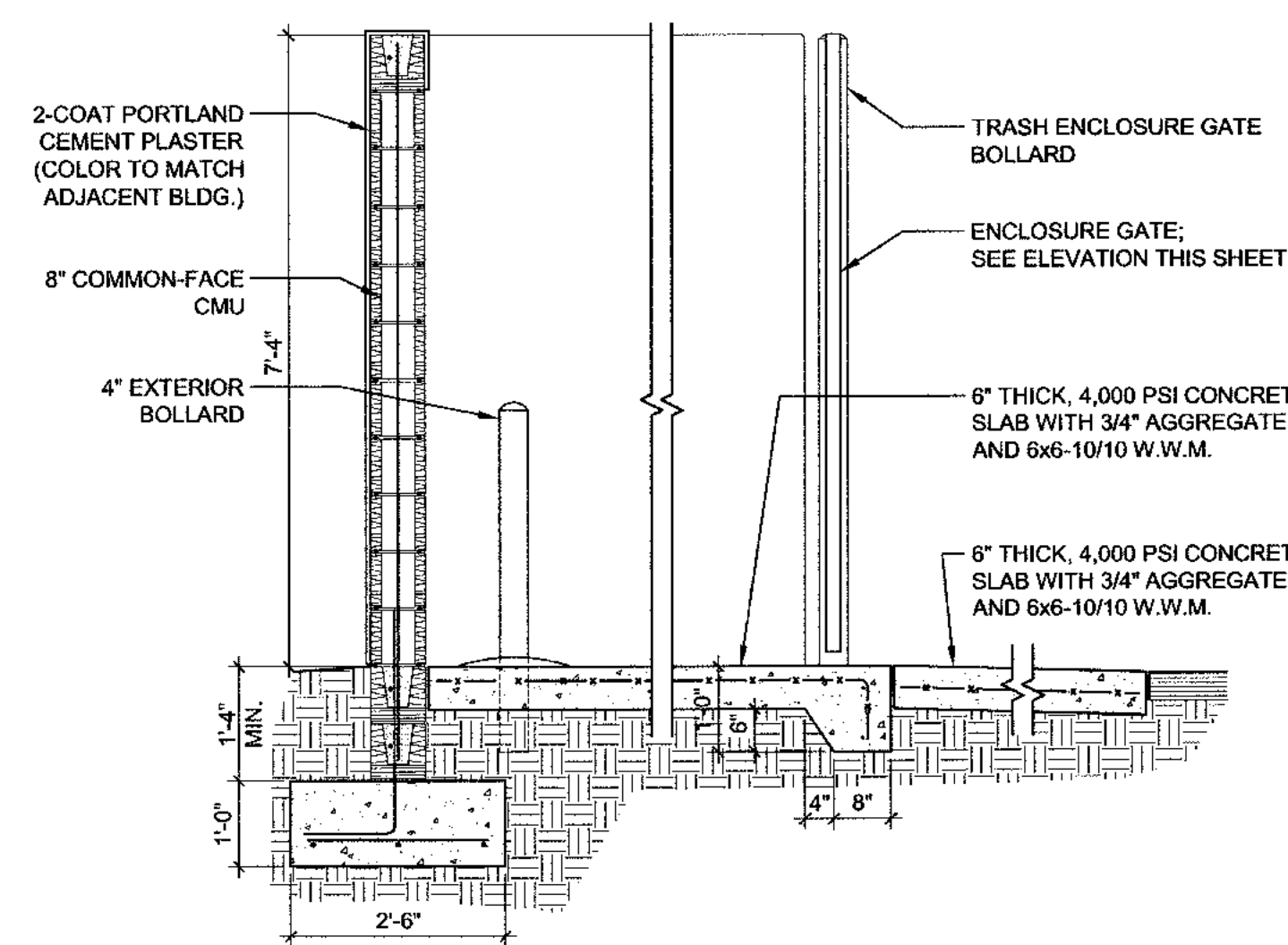
B1 MONUMENT SIGN
NOT TO SCALE
NOTE * SIGNS SHALL COMPLY WITH GENERAL SIGN REGULATIONS SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT.



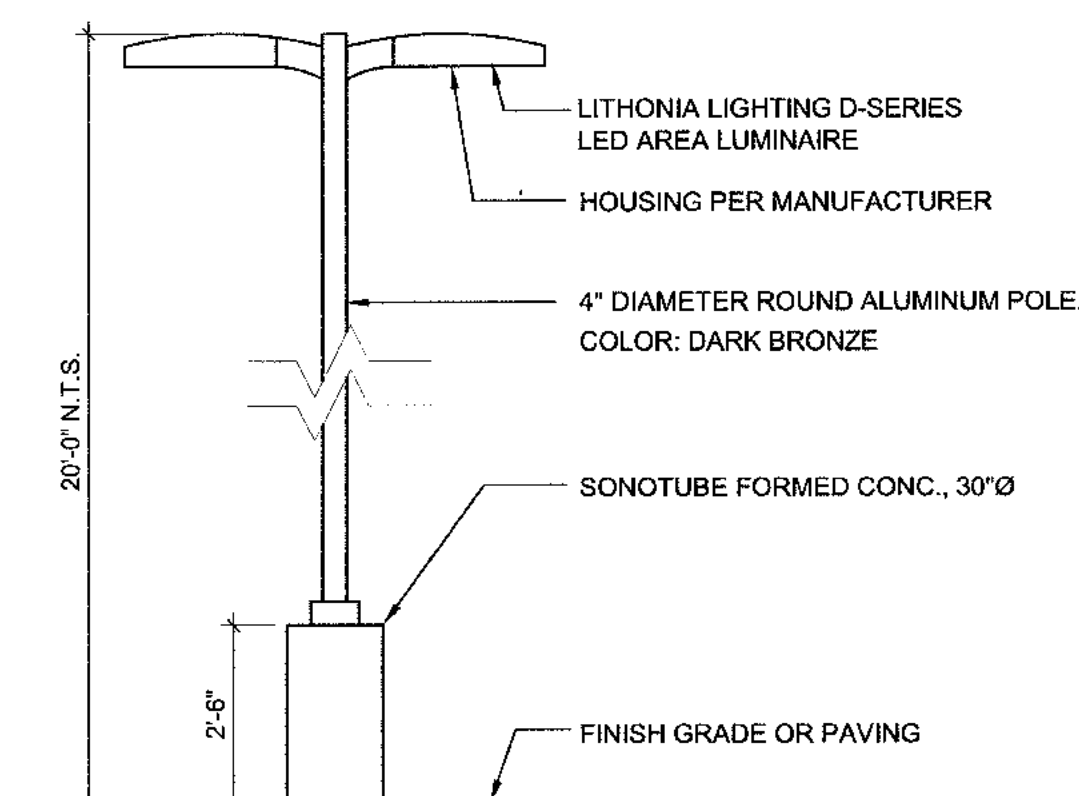
B3 BUILDING MOUNTED WALL SCONCE
3/8" = 1'-0"



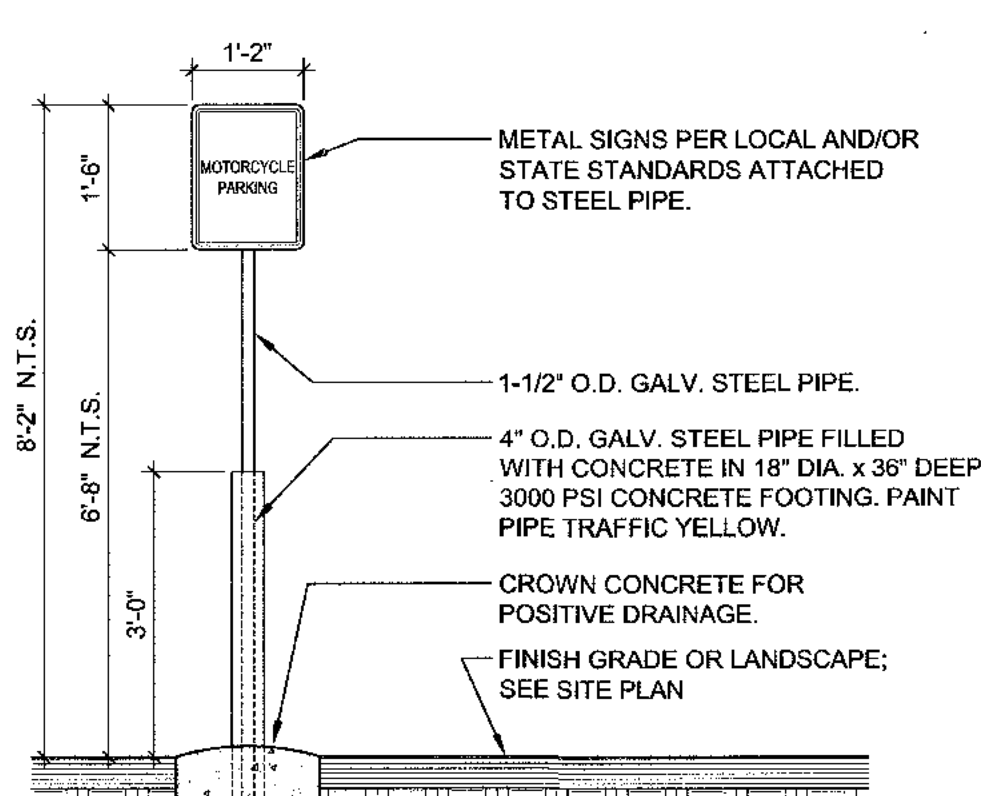
B4 TRASH ENCLOSURE
1/4" = 1'-0"



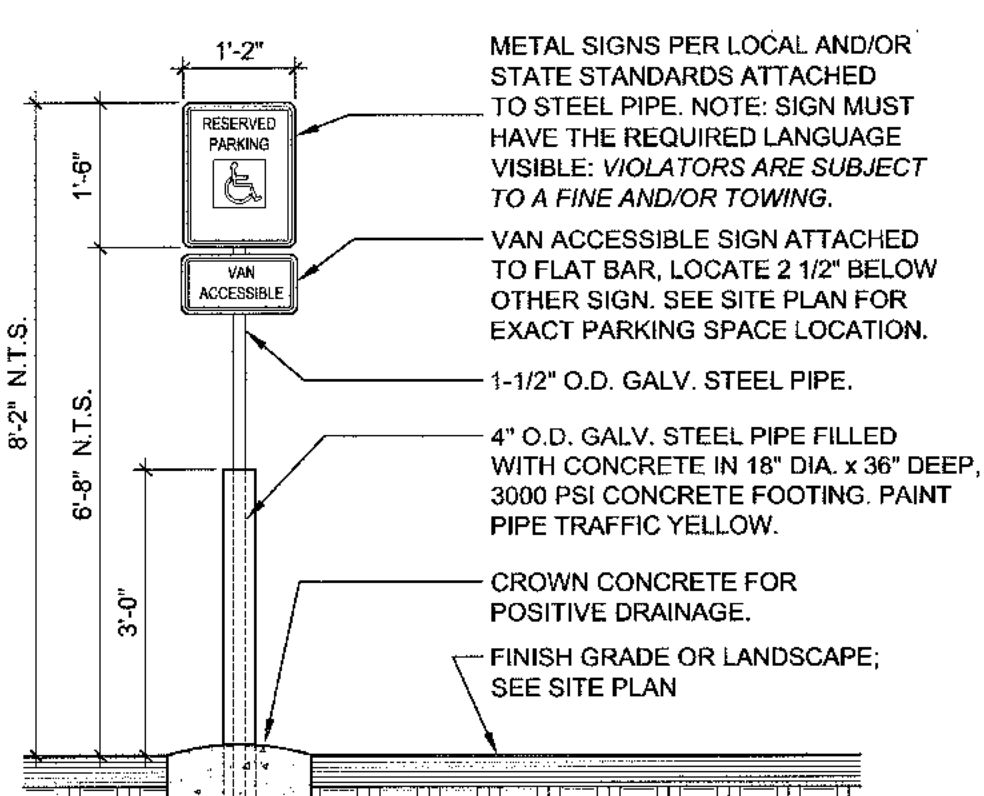
B5 TRASH ENCLOSURE WALL and GATE
1/2" = 1'-0"



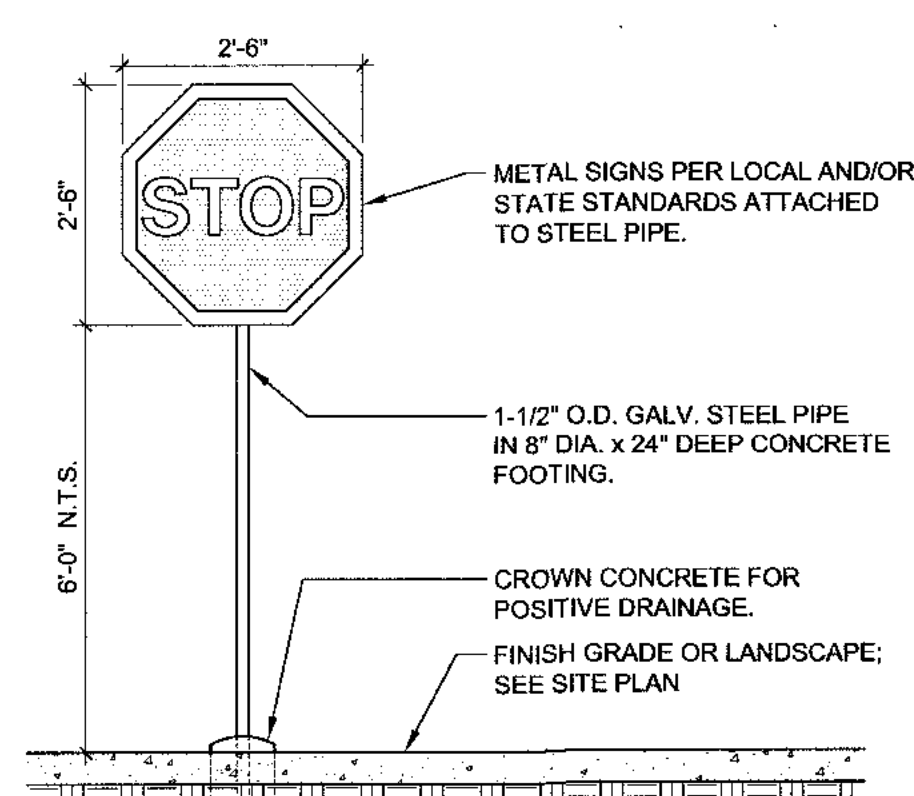
A1 POLE MOUNTED PARKING LOT LIGHT
3/8" = 1'-0"



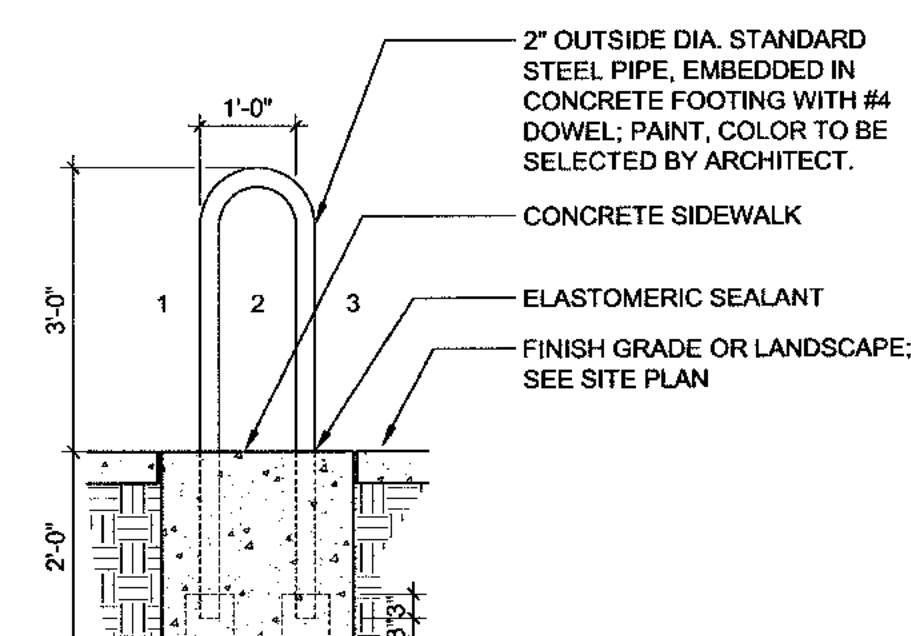
A2 POLE MOUNTED MOTORCYCLE SIGN
1/2" = 1'-0"



A3 POLE MOUNTED H.C. SIGN (VAN)
1/2" = 1'-0"



A4 POLE MOUNTED STOP SIGN
1/2" = 1'-0"



A5 BICYCLE RACK
1/2" = 1'-0"

REVISIONS

DRAWN BY

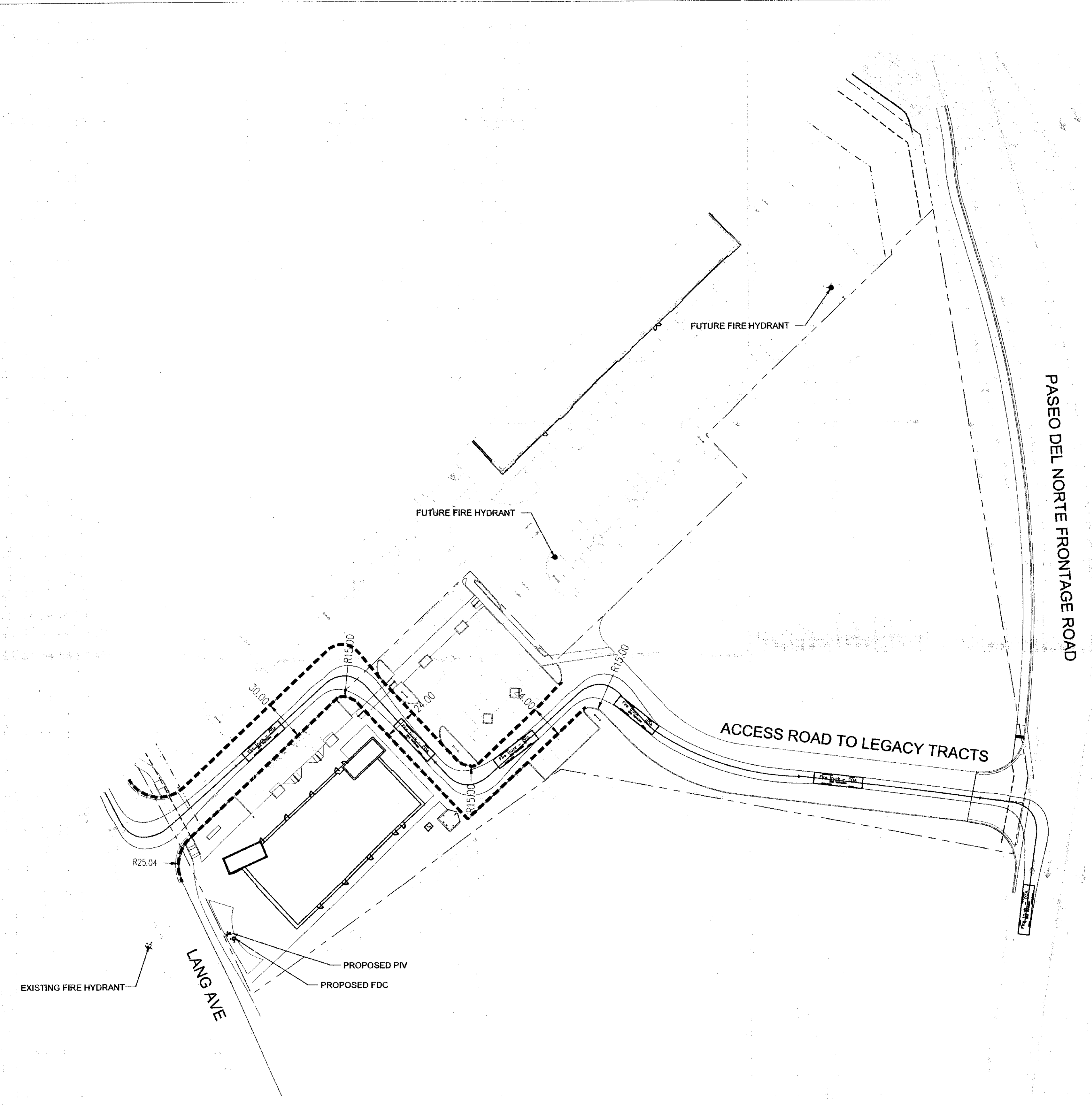
REVIEWED BY

DATE November 21, 2016

PROJECT NO. 16-0068.001

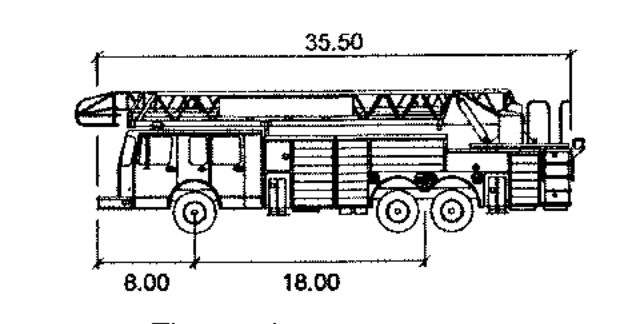
DRAWING NAME

SITE DETAILS



BUILDING INFORMATION

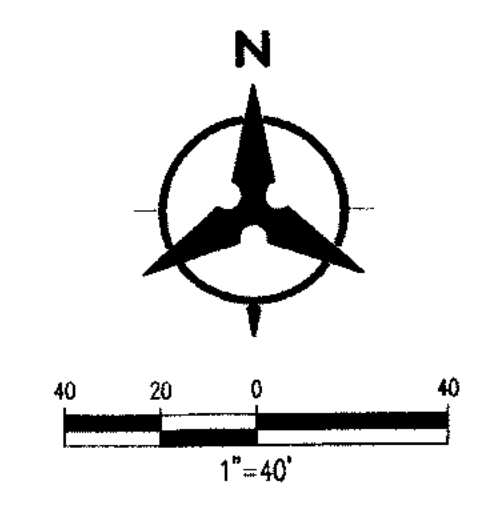
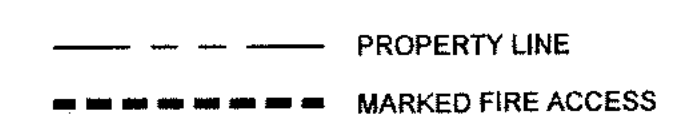
ADDRESS : 5151 LANG AVENUE NE
 LEGAL DESCRIPTION : TRACT A-3 LEGACY AT JOURNAL CENTER (A REPLAT OF TRACT A LEGACY AT JOURNAL CENTER)
 ZONE ATLAS : C-17, C-18, D-17, D-18
 LARGEST ONSITE BUILDING : 8,000 SF
 CONSTRUCTION TYPE : VB
 SPRINKLERED : YES
 FIRE FLOW : 1,250 GPM
 BUILDING HEIGHT : 28'
 HYDRANTS REQUIRED : 1



Fire truck	feet
Width	8.00
Track	8.00
Lock to Lock Time	6.0
Steering Angle	40.0

NOTES

1. ALL RADII ALONG FIRE LANE SHALL BE 28'.
2. MONUMENT SIGN IDENTIFY BUILDINGS WILL BE PROVIDED AT ADJACENT ROADWAYS.
3. ALL BUILDINGS SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
4. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
5. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT OF A FIRE HYDRANT.
6. ALL AREAS PAVED INCLUDING FIRE ACCESS.
7. SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
8. ALL BUILDINGS WILL BE SPRINKLERED.



UTILITY LEGEND

--- PROPERTY LINE	--- PROPOSED EASEMENT
--- EXISTING EASEMENT	--- S&S PROPOSED SANITARY SEWER LINE
--- EXISTING SANITARY SEWER	● PROPOSED SANITARY SEWER MANHOLE
--- EXISTING WATER LINE	● PROPOSED CLEANOUT
--- EXISTING WATER METER	--- PROPOSED WATER LINE
--- EXISTING CAP	--- PROPOSED VALVE
--- EXISTING VALVE	--- PROPOSED FIRE WATER LINE
--- EXISTING FIRE HYDRANT	--- PROPOSED HYDRANT
--- EXISTING SANITARY SEWER MANHOLE	--- PROPOSED CAP
--- EXISTING STORM DRAIN MANHOLE	■ PROPOSED WATER METER
--- EXISTING INLET	▲ PROPOSED PIV
	▼ REMOTE FIRE DEPARTMENT CONNECTION

ARCHITECTURE / DESIGN / INSPIRATION



7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

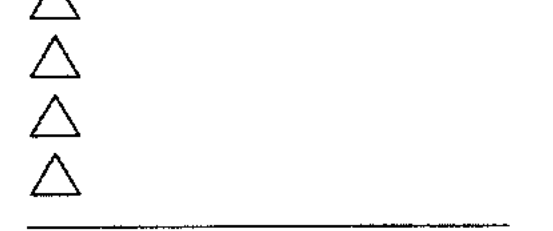
ARCHITECT

ENGINEER

PROJECT

LEGACY @ JOURNAL CENTER
 5151 Lang Avenue NE
 Albuquerque, New Mexico 87109

REVISIONS



DRAWN BY J.J.L.

REVIEWED BY M.J.B.

DATE September 20, 2016

PROJECT NO. 16-0068.001

DRAWING NAME
FIRE LANE PLAN ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 505.761.9700 CONSTRUCTION TYPE VB
 08/11/16 NUMBER OF HYDRANTS 1
APPROVED / DISAPPROVED
 [Signature]

FILE CASE # 5145-14
 SHEET NO.

Bohannon & Huston
 www.bhinc.com 800.877.5332

FMSP
 OF

GENERAL SHEET NOTES

- A. SEE CIVIL PLANS FOR GRADING, DRAINAGE, UTILITY AND CURB CUT LOCATIONS INFO.
- B. PARKING AREA SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- C. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. ALL CURBS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ABQ. STANDARDS. CURBS WILL ALSO BE DESIGNED TO ALLOW WATER HARVESTING IN LANDSCAPE MEDIANS WHEREVER POSSIBLE TO REDUCE SURFACE RUN-OFF AND SUPPLEMENT IRRIGATION.
- E. ALL FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ALBUQUERQUE ZONING CODE, SECTION 14-16-3-9 AREA LIGHTING REGULATIONS.
- F. LIGHTING DESIGN FOR PARKING AREAS SHALL BE LIGHTED TO PROVIDE FUNCTIONAL, ATTRACTIVE, AND UNIFIED LIGHTING THROUGHOUT THE LOT AND BE EXTINGUISHED ONE HOUR AFTER THE CLOSE OF BUSINESS, EXCEPT AS NEEDED TO PROVIDE FOR MINIMUM SECURITY LEVELS. ALL LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE NEW MEXICO NIGHT SKY PROTECTION ACT AND THE CITY OF ABQ. ZONING CODE.
- G. SIDEWALKS TO BE STANDARD GRAY SCORED CONCRETE UNLESS NOTED OTHERWISE.
- H. THERE ARE NO EXISTING STRUCTURES WITHIN 20' OF SITE.
- I. AT GROUND MOUNTED TRANSFORMER LOCATIONS WHERE LANDSCAPE MAY INTERFERE, ADEQUATE CLEARANCES WILL BE PROVIDED AS PER PDM REQUIREMENTS.
- J. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.

SHEET KEYED NOTES

- 1. ITEMS TO BE PART OF TRACT A-2, UNDER SEPARATE SUBMITTAL.
- 2. EXISTING PROPERTY LINE.
- 3. MONUMENT SIGN, SEE SHEET SPBP-6 DETAIL B1.
- 4. EXISTING PYLON SIGN.
- 5. ASPHALT PAVING.
- 6. BUILDING SETBACK ALONG PASEO DEL NORTE AND I-25: 40' FROM PROPERTY LINE.
- 7. PARKING SETBACK ALONG PASEO DEL NORTE AND I-25: 10' FROM PROPERTY LINE.
- 8. BUILDING SIDEYARD SETBACK: 10' FROM PROPERTY LINE.
- 9. BUILDING SETBACK ALONG LANG AVENUE: 30' FROM FACE OF CURB.
- 10. PARKING SETBACK ALONG LANG AVENUE: 20' FROM FACE OF CURB.
- 11. CONCRETE CURBS/LAND WITH LANDSCAPE, SEE LANDSCAPE PLAN.
- 12. CONCRETE SIDEWALK.
- 13. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE.
- 14. CONCRETE SIDEWALK: 6" WIDE.
- 15. CONCRETE TREE WELL 7'x7' WITH LANDSCAPE, SEE LANDSCAPE PLAN.
- 16. CONCRETE TREE WELL 9'x6' WITH LANDSCAPE, SEE LANDSCAPE PLAN.
- 17. LANDSCAPED AREA; SEE LANDSCAPE PLAN.
- 18. EXISTING CONCRETE CURB AND GUTTER.
- 19. CONCRETE ACCESSIBLE RAMP WITH 1:12 MAXIMUM SLOPE AND TRUNCATED DOMES, SHALL BE DESIGNED AND BUILT TO CITY OF ABQ. DPM STANDARDS.
- 20. CONCRETE PEDESTRIAN CROSSWALK; COLOR AND TEXTURE PATTERN TO DIFFERENTIATE FROM SURROUNDING ASPHALT PAVING.
- 21. STEEL BICYCLE RACK; SEE SHEET SPBP-6 DETAIL A5.
- 22. CONCRETE SLAB FOR TRASH ENCLOSURE.
- 23. TRASH ENCLOSURE FOR SOLID WASTE DISPOSAL; SEE SHEET SPBP-6 DETAIL B4.
- 24. POLE MOUNTED MOTORCYCLE PARKING SIGNAGE; SEE SHEET SPBP-6 DETAIL A2.
- 25. MOTORCYCLE PARKING, 4'W x 6'L MINIMUM (3 PROVIDED).
- 26. PAINTED ACCESSIBLE PAVEMENT SYMBOL.
- 27. ADA ACCESS AISLE PAINTED PARKING SIGNAGE (NO PARKING), COLOR: WHITE 12" AND 2" WIDE MINIMUM LETTER SIZE (LOCATE NEAR END OF PARKING SPACE).
- 28. POLE MOUNTED ACCESSIBLE PARKING SIGNAGE; SEE SHEET SPBP-6 DETAIL A3.
- 29. PAINTED PARKING STRIPING (4" WIDE), COLOR: WHITE.
- 30. PAINTED DIAGONAL STRIPING (2"-0" O.C. AT 45 DEGREES), COLOR: WHITE.
- 31. PAINTED TRAFFIC FLOW DIRECTIONAL ARROW, COLOR: WHITE.
- 32. COMPACT PARKING SPACE.
- 33. CLEAR SIGHT TRIANGLE, LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 34. CONCRETE DRIVE PAD, SEE CIVIL.
- 35. DECELERATION LANE, SEE CIVIL.
- 36. POLE MOUNTED PARKING LOT LIGHT; SEE SHEET SPBP-6 DETAIL A1.
- 37. POLE MOUNTED STOP SIGN; SEE SHEET SPBP-6 DETAIL A4.
- 38. EXISTING FIRE HYDRANT, SEE CIVIL.
- 39. FIRE HYDRANT, SEE CIVIL.
- 40. TEMPORARY ASPHALT CURB.
- 41. EXISTING RETAINING WALL.
- 42. TRANSFORMER.
- 43. PROPOSED PROPERTY LINE.

SITE INFORMATION

LEGAL DESCRIPTION
TRACT A-3-A-1 & A-3-B-1 LEGACY AT JOURNAL CENTER (A REPEAT OF TRACT A LEGACY AT JOURNAL CENTER)

TOTAL SITE AREA: TRACT A-3-A-1 & A-3-B-1 - SF = 1.2 AC

EXISTING ZONING: IP

PROPOSED USES: RETAIL

MINIMUM BUILDING SETBACK: SEE SHEET KEYED NOTES

MAXIMUM BUILDING HEIGHT: IP ZONING: 120'

GROSS BUILDING AREA (GBA): RETAIL (1 STORY) = 8,700 SF

SITE AREA: 52,819 SF

GROSS F.A.R. (GBA / SITE AREA) = 8,700 / 52,819 = .15

PARKING INFORMATION

ALBUQUERQUE CITY ZONING CODE, SECTION 14-17-3-1

TOTAL BUILDING AREA: 8,700 GSF

8700sf @ 1/200sf = 43.5 spaces

TOTAL REQUIRED SPACES = 44 spaces

TOTAL PARKING REQUIRED: 44

TOTAL PARKING PROVIDED: 76 50

HANDICAP PARKING STALLS REQUIRED: 4 HC STALLS (1 VAN ACCESSIBLE)

PROVIDED: 4 HC STALLS (1 VAN ACCESSIBLE)

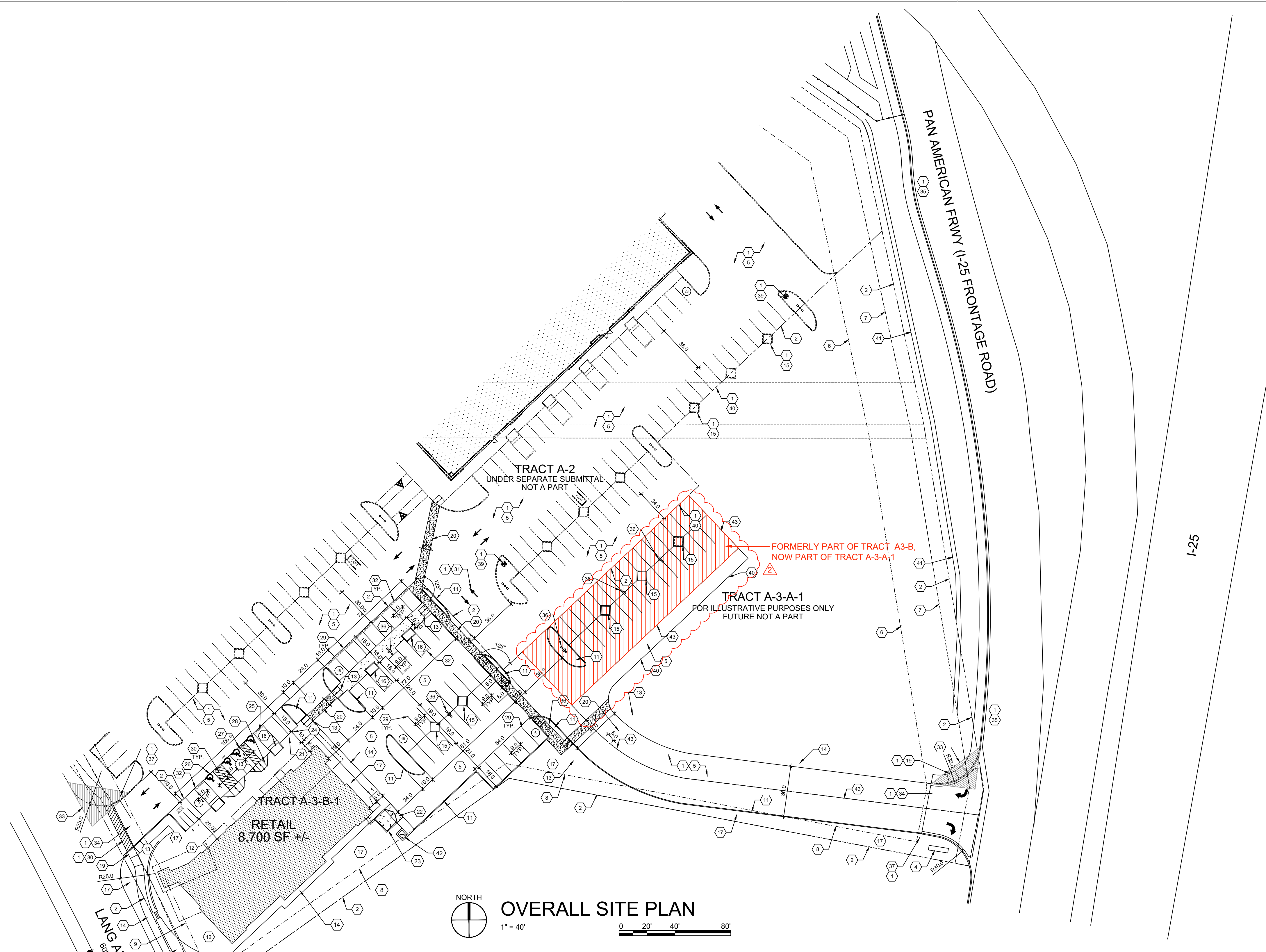
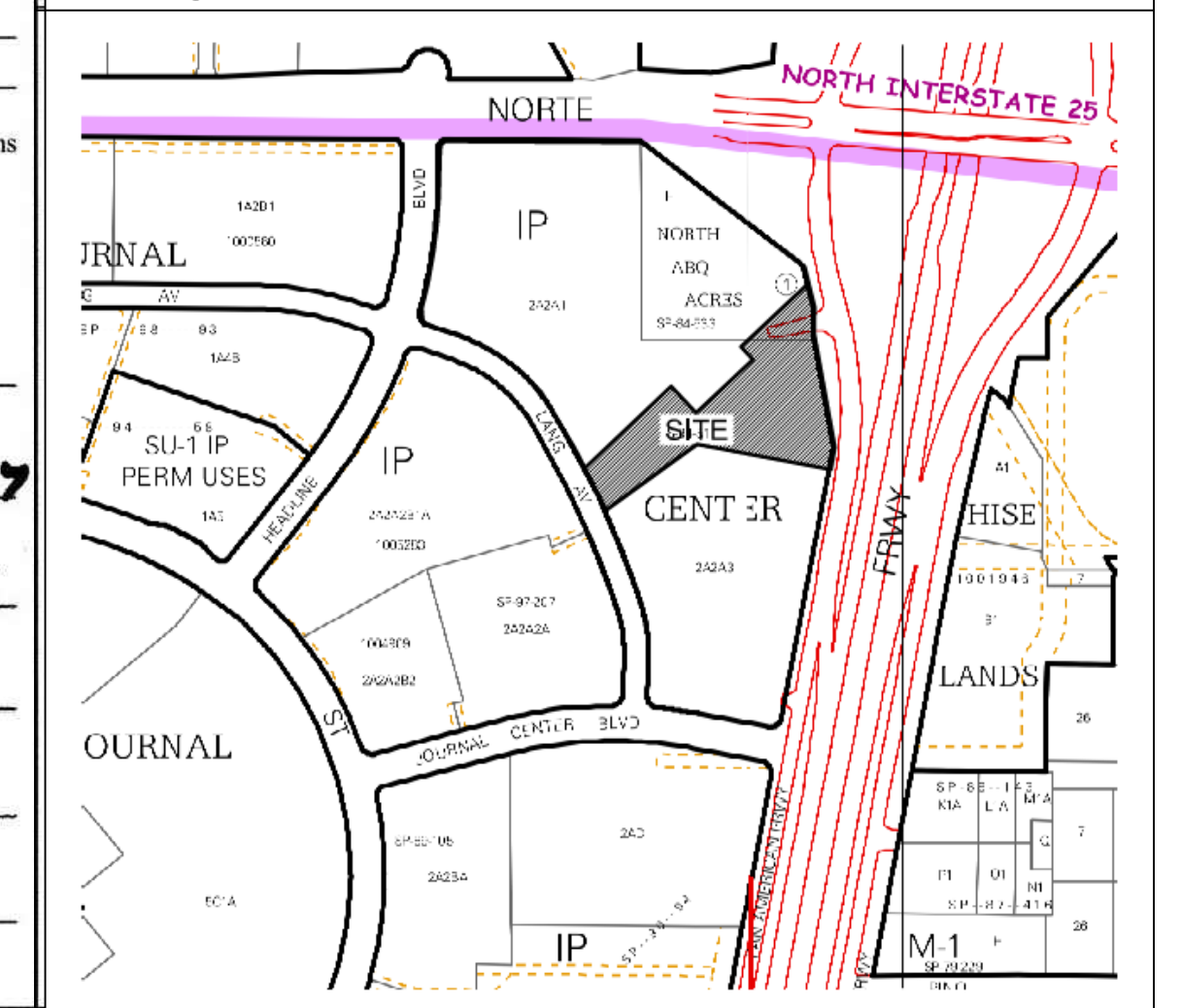
MOTORCYCLE PARKING REQUIRED: 3 SPACES

PROVIDED: 4 SPACES

BICYCLE PARKING REQUIRED: 1 PER 20 PARKING SPACES: TOTAL: 76 / 20 = 4 SPACES

PROVIDED: 4 SPACES

VICINITY MAP



OVERALL SITE PLAN
1" = 40'

PROJECT NUMBER: 1010228
APPLICATION NUMBER: 16DRB-70441

Is an Infrastructure List Required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i>	3/13/17
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	01-18-17
ABCWUA	DATE
<i>[Signature]</i>	1-18-17
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1-18-17
CITY ENGINEER	DATE
<i>[Signature]</i>	9-13-16
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	3/13/17
-DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS

12/03/2018	ADMINISTRATIVE AMENDMENT ENLARGE PATIO, REDUCE PARKING
11/21/2025	ADMINISTRATIVE AMENDMENT TO REVISE BOUNDARY AND PARKING

DRAWN BY:
REVIEWED BY:
DATE: November 21, 2016
PROJECT NO.: 16-0068.001
DRAWING NAME:

SITE PLAN FOR BUILDING PERMIT

SHEET NO. SPBP-1



REVISIONS

- ▲ 2/11/2017, Site Plan Change
- ▲
- ▲
- ▲

DRAWN BY

REVIEWED BY

DATE September 20, 2016

PROJECT NO. 16-0068.001

DRAWING NAME

LANDSCAPE PLAN

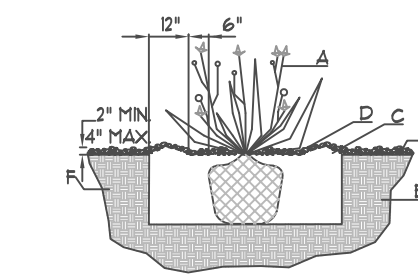
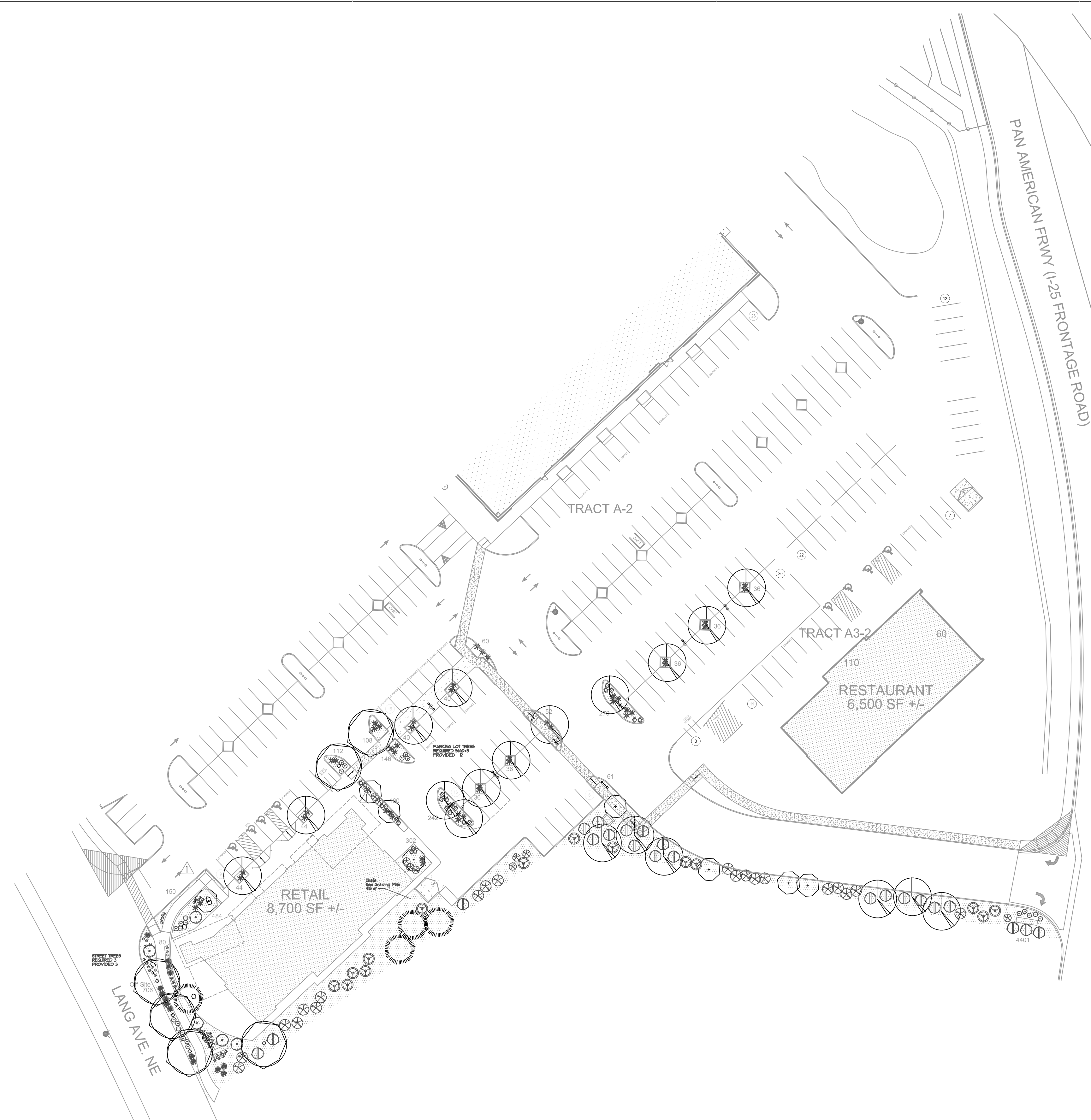
SHEET NO.

PLANTING SCHEDULE

TREES	SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE
		19	RAYWOOD ASH	Fraxinus oxycarpa 'Raywood'	2.5" Cal.	35.00	25.00	625	MED	11875
		6	SHADEMASTER HONEY LOCUST	Gleditsia triacanthos var. inermis Shademaster	2.5" Cal.	35.00	30.00	900	LOW	5400
		8	NEW MEXICO OLIVE	Forestiera neomexicana	36" Box	15.00	15.00	225	LOW	1800
		4	PINON PINE	Pinus edulis	6" Min. Ht.	25.00	20.00	400	LOW	1600
									TOTAL LIVE TREE COVERAGE	20675
SHRUBS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		14	APACHE PLUME	Fallugia paradoxa	5 Gal	4.00	7.00	49	LOW	686
		29	GREEN CHAMISA	Chrysothamnus nauseosus 'Green'	5 Gal	5.00	7.00	49	LOW	1421
		5	BIRD OF PARADISE	Caesalpinia gilliesii	5 Gal	8.00	8.00	64	LOW	320
		17	SHRUBBY CINQUEFOIL	Potentilla fruticosa	5 Gal	3.00	3.00	9	LOW	153
		22	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	5 Gal	3.00	7.00	49	LOW	1078
PERENNIALS	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		6	WHITE WHIRLING BUTTERFLIES	Gaura lindheimeri	1 Gal	3.00	3.00	9	LOW	54
		57	ANGELITA DAISY	Hymenoxys acaulis	1 Gal	1.00	1.25	1,5625	LOW	114
GRASSES	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		20	BLUE GRAMA GRASS	Bouteloua 'Blonde Ambition'	1 Gal	2.50	2.50	6.25	LOW	125
		14	DEER GRASS	Muhlenbergia rigens	1 Gal	4.00	4.00	16	LOW	224
ACCENTS/VINE	SYMBOL	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	HEIGHT	WIDTH	AREA	WATER REQ.	COVERAGE	
		49	YELLOW FLOWERING YUCCA	Hesperaloe parviflora 'Yellow'	5 Gal	3.00	3.00	9	LOW	441
									TOTAL LIVE GROUND COVER	4616

MULCHES AND SEED MIXES	SYMBOL	DESCRIPTION
	7021	CRUSHER FINES (NO FILTER FABRIC), 3" DEPTH
	706 OFF-SITE	COLOR: TAN / BROWN / GOLD
	7727	

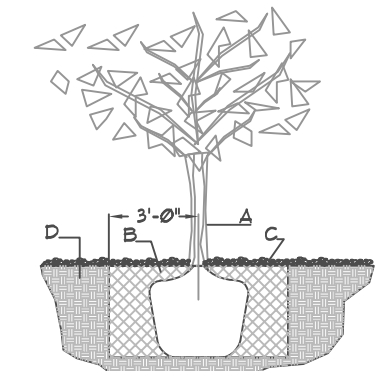
5 BOULDERS, SIZE-MINIMUM OF 2'X2'X2', COLOR: TAN/BROWN



SHRUB PLANTING DETAIL

NTS

- GENERAL NOTES:**
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASKIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- SHRUB
 - BACKFILL WITH EXISTING SOIL
 - EARTH BERRY AROUND WATER RETENTION BASKIN
 - 3" DEPTH OF GRAVEL MULCH
 - FINISH GRADE
 - UNDISTURBED SOIL



TREE PLANTING DETAIL

NTS

- GENERAL NOTES:**
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 - TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED THAT LEVEL MAY BE EXCEEDED BY ONLY 1/2" ONE INCH LAYER OF SOIL.
 - PRIOR TO BACKFILLING TREE ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL
 - 3" DEPTH OF GRAVEL MULCH
 - UNDISTURBED SOIL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with City of Albuquerque Landscape Ordinance. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Gray Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafin spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafin shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Trees drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

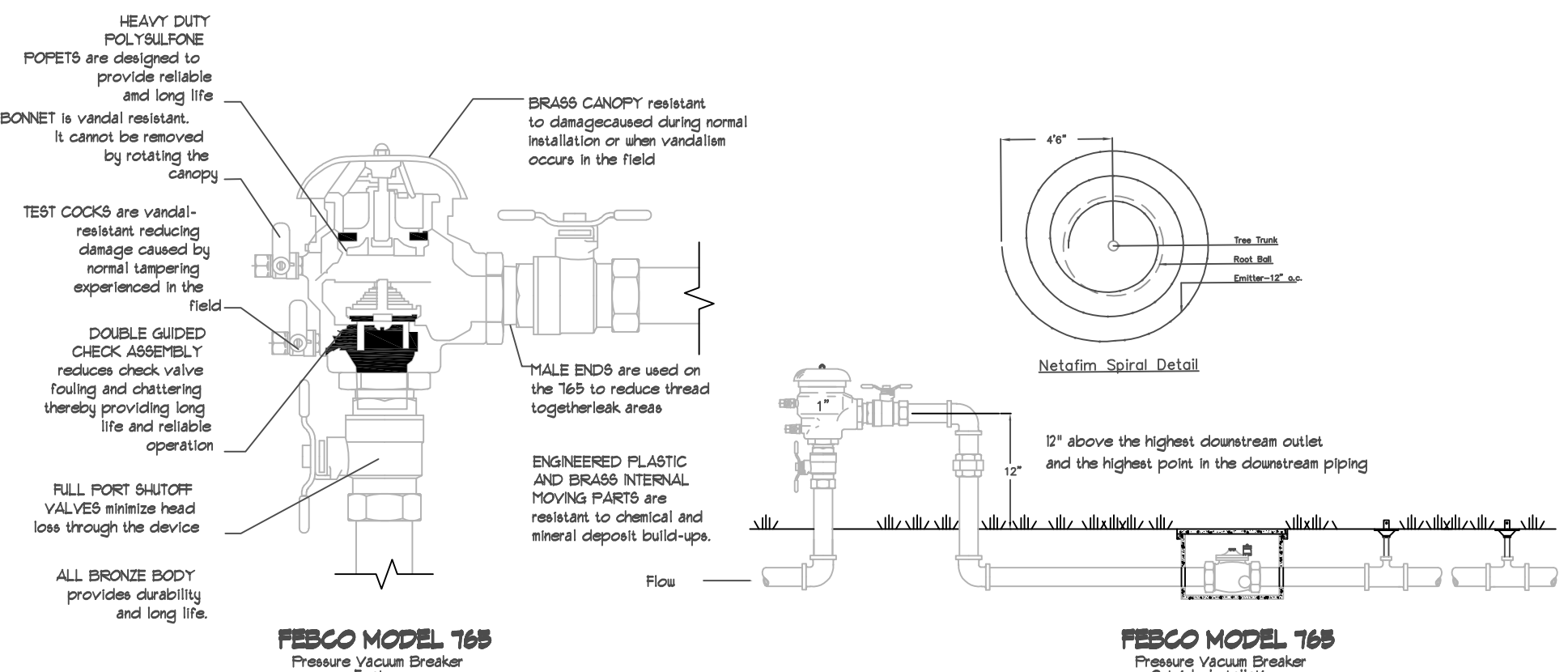
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner. Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

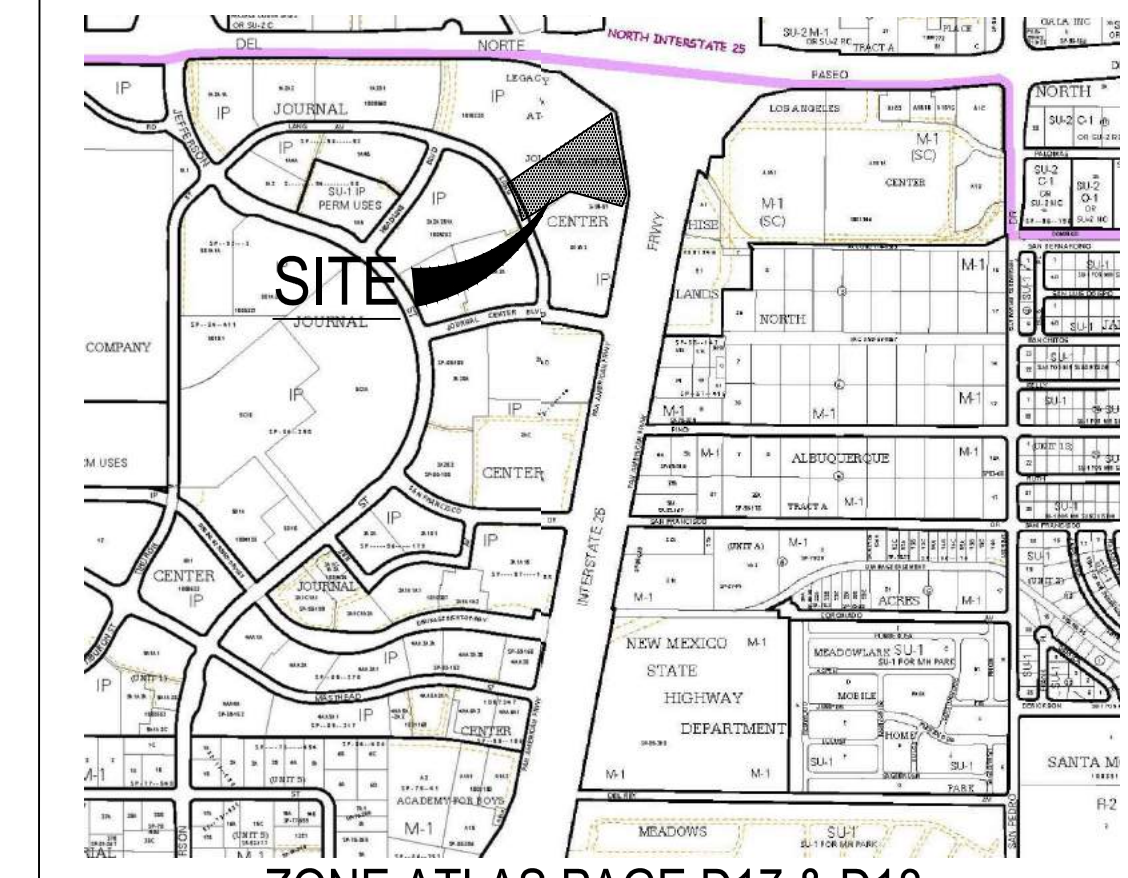
TOTAL LOT AREA (sf)	61,401
OFF-SITE LANDSCAPE PROVIDED	864
TOTAL BUILDING AREA (sf)	51,843
TOTAL LOT AREA (sf)	5,116
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED (15%)	7,116
TOTAL ON-SITE LANDSCAPE PROVIDED	13,439
TOTAL LIVE GROUND COVER REQUIRED 30%	4,032
TOTAL LIVE GROUND COVER PROVIDED	4,416
TOTAL LIVE PLANT MATERIAL REQUIRED 75%	10,080
TOTAL LIVE GROUND COVER PROVIDED	25,391



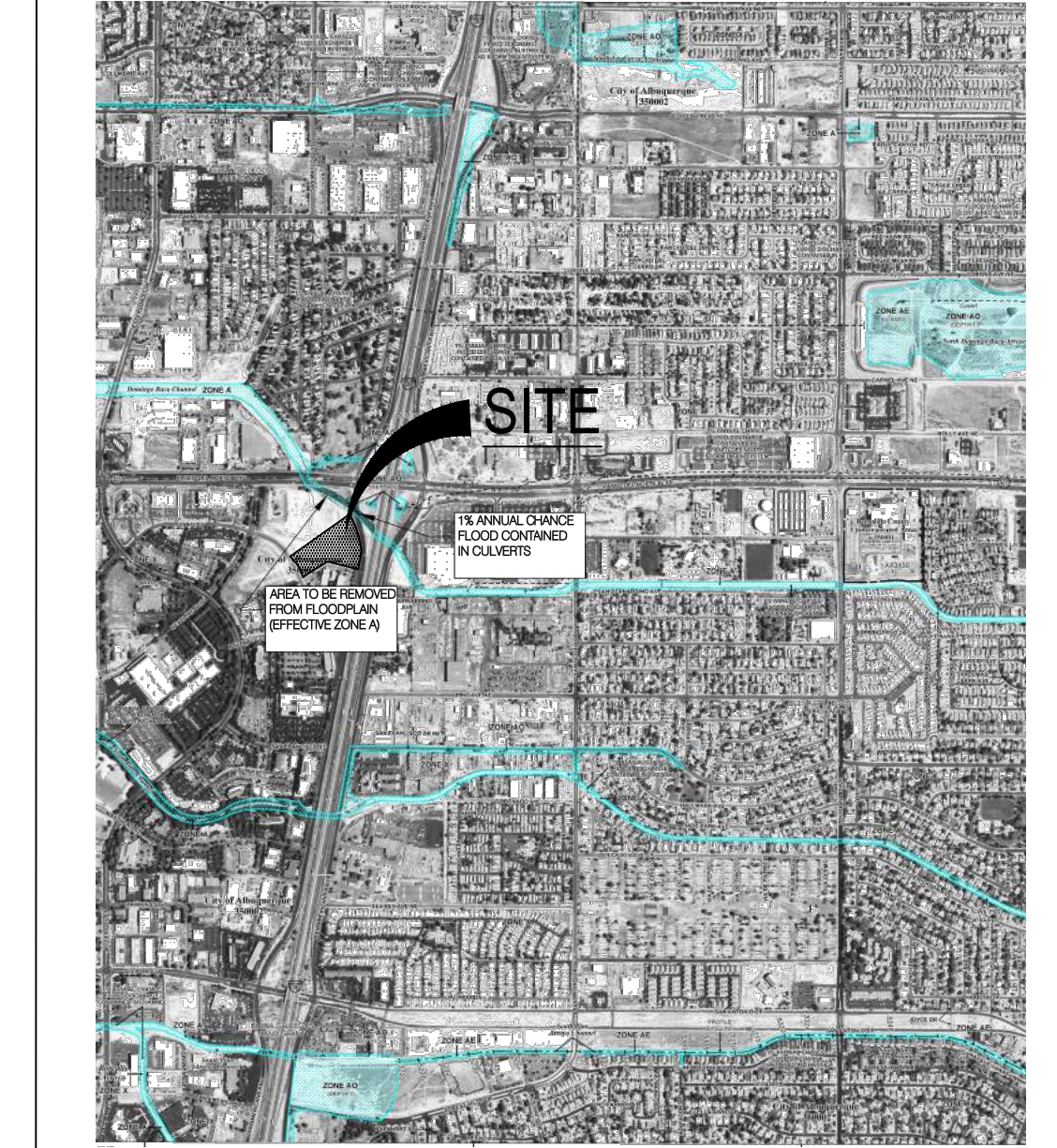


GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADEING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- L. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- M. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
- N. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.
- O. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- P. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- Q. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION". ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, FIRST PRIORITY SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- R. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- S. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- T. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- U. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAIL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- V. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- W. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
- X. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



ZONE ATLAS PAGE D17 & D18



FEMA FIRM # 35001C0137H

GRADING KEYNOTES

1. NEW EARTHEN SWALE. GRADES SHOWN ARE TO TOP OF LANDSCAPING. CONTRACTOR SHALL INSURE ALL FINAL GRADES MEET PROPOSED ELEVATIONS NOTED. CONTRACTOR TO ADD RIP RAP AT NEW ROOF DRAINS, 3' WIDE DOWN TO INVERT OF SWALE.
2. INSTALL CURB OPENING PER DETAIL A1 THIS SHEET.
3. CONSTRUCT NEW 2' WIDE VALLEY GUTTER PER DETAIL A3 THIS SHEET.
4. INSTALL RIP RAP BLANKET 12" DEEP AND 3' X 3' WITH GEOTECH FABRIC.
5. MATCH EXISTING GRADE
6. INSTALL DEPRESSED ISLANDS AND CURB OPENINGS PER DETAIL A2 THIS SHEET.
7. INSTALL CONCRETE VALLEY GUTTER 4' WIDE X 6' LONG.

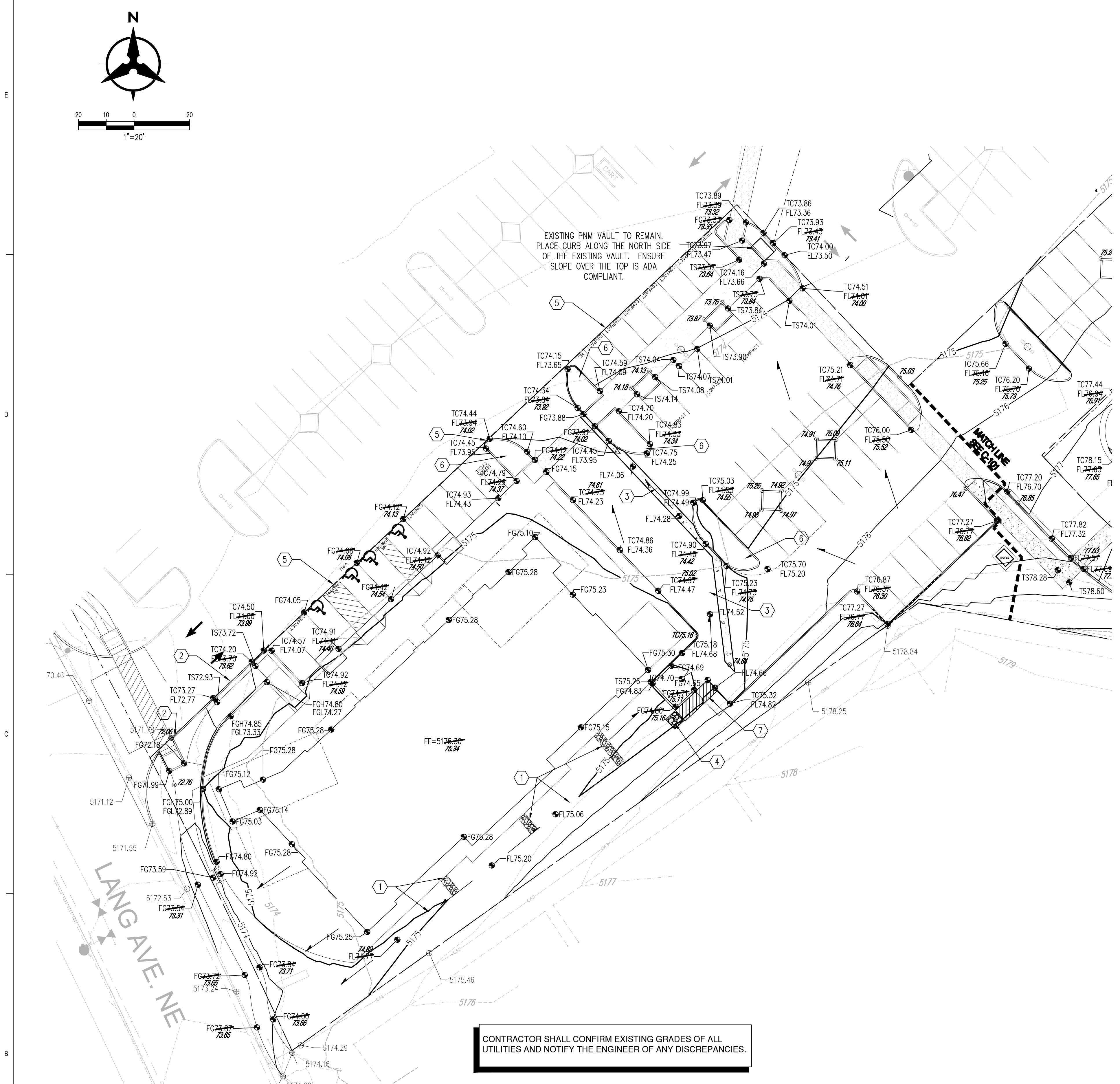
GRADING LEGEND

--- PROPERTY LINE	--- PROPOSED CURB & GUTTER
--- PROJECT LIMITS OF GRADING	--- DIRECTION OF FLOW
--- EXISTING INDEX CONTOUR	--- WATER BLOCK/GRADE BREAK
--- EXISTING INTERMEDIATE CONTOUR	--- PROPOSED STORM DRAIN LINE
@ 5025.25 EXISTING GROUND SPOT ELEVATION	--- PROPOSED STORM DRAIN MANHOLE
--- 5025 PROPOSED INDEX CONTOUR	--- PROPOSED STORM DRAIN INLETS
--- 5024 PROPOSED INTERMEDIATE CONTOUR	--- PROPOSED RETAINING WALL
--- PROPOSED FLOW LINE	--- EASEMENT
@ 26.75 PROPOSED FINISHED GRADE SPOT ELEVATION	
TC=TOP OF CURB	
FL=FLOW LINE	
TS=TOP OF SIDEWALK	
TG=TOP OF GRATE	
FGH=FINISH GROUND HIGH	
FLG=FINISH GROUND LOW	

REVISIONS

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DRAWN BY: MHS
 REVIEWED BY: MJB
 DATE: April 27, 2017
 PROJECT NO.: 16-0068
 DRAWING NAME: GRADING AND DRAINAGE PLAN



CONTRACTOR SHALL CONFIRM EXISTING GRADES OF ALL UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

DRAINAGE CERTIFICATION

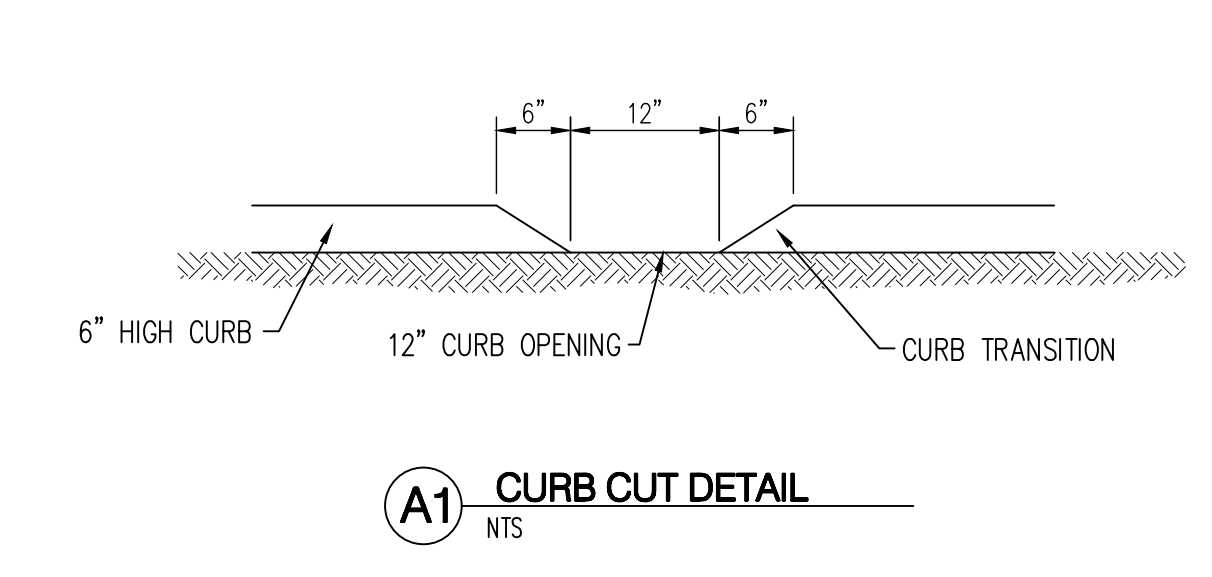
I, MICHAEL BALASKOVITS, NMPE 18187, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 4/26/2017. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER A. MEDINA, NMPLS 16702, OF TIERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 1/4/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

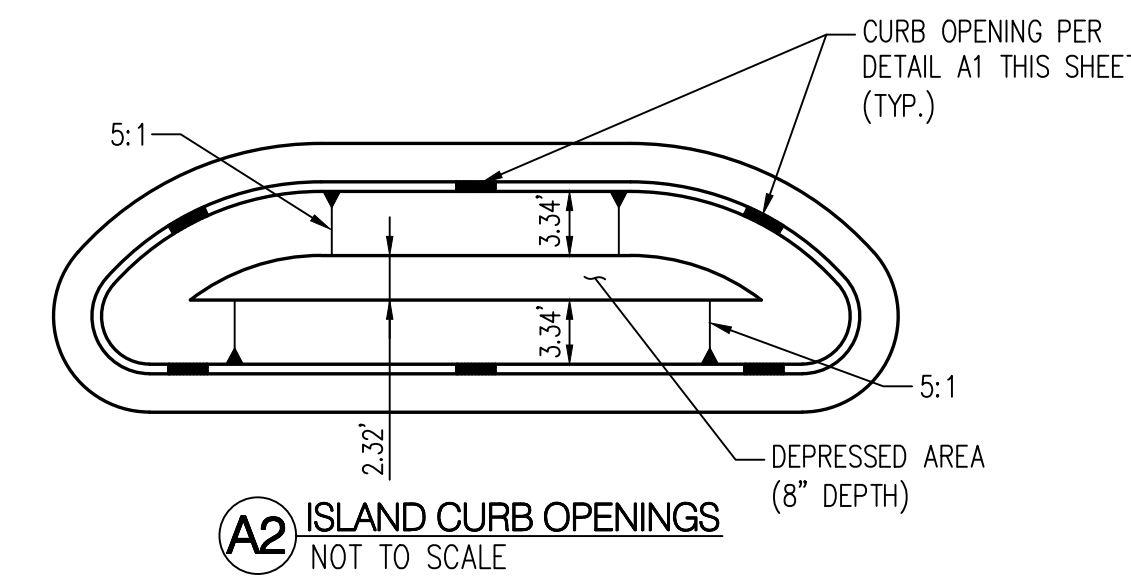
Michael Balaskovits
 MICHAEL BALASKOVITS, NMPE 18187
 1/10/2018

AS-BUILT LEGEND

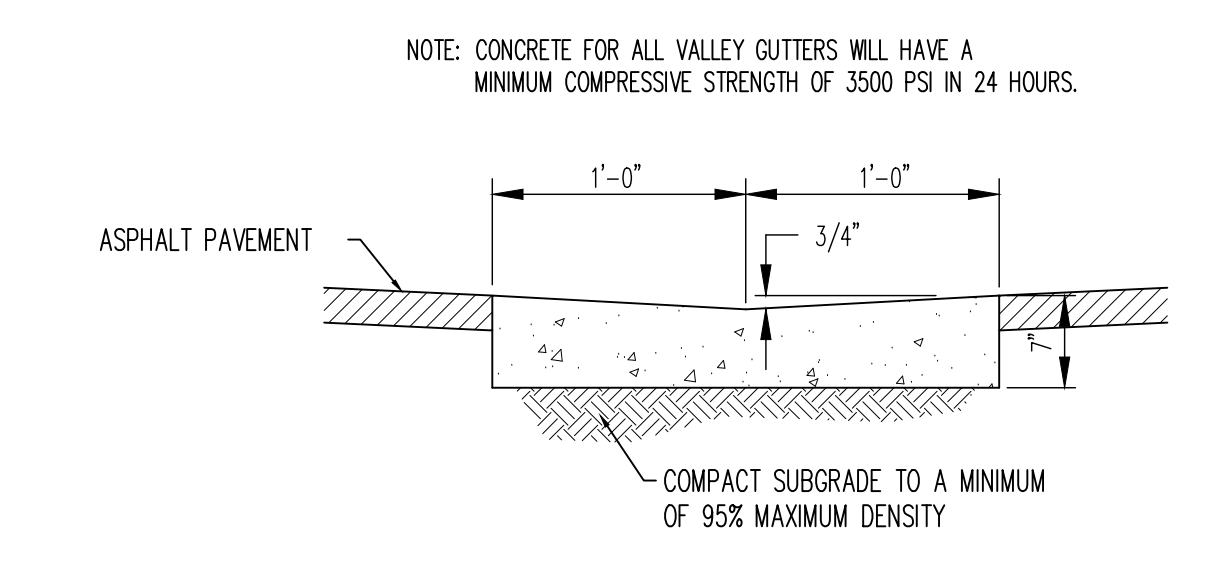
- FL 24.87 AS-BUILT GRADE
- 75.25 AS-BUILT GRADE



A1 CURB CUT DETAIL
N.T.S.



A2 ISLAND CURB OPENINGS
NOT TO SCALE



A3 CONCRETE VALLEY GUTTER
N.T.S.

**DEKKER
PERICH
SABATINI**

7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

LEGACY @ JOURNAL CENTER
5151 Lang Avenue NE
Albuquerque, New Mexico 87109

REVISIONS
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DRAWN BY MHS

REVIEWED BY MJB

DATE December 20, 2016

PROJECT NO. 16-0068.001

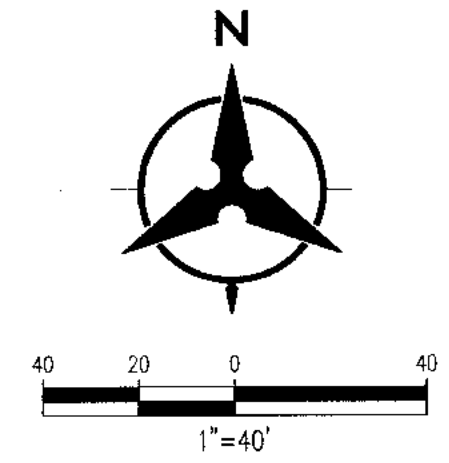
DRAWING NAME
**CONCEPTUAL UTILITY
PLAN**

SHEET NO. **SPBP-4**

OF

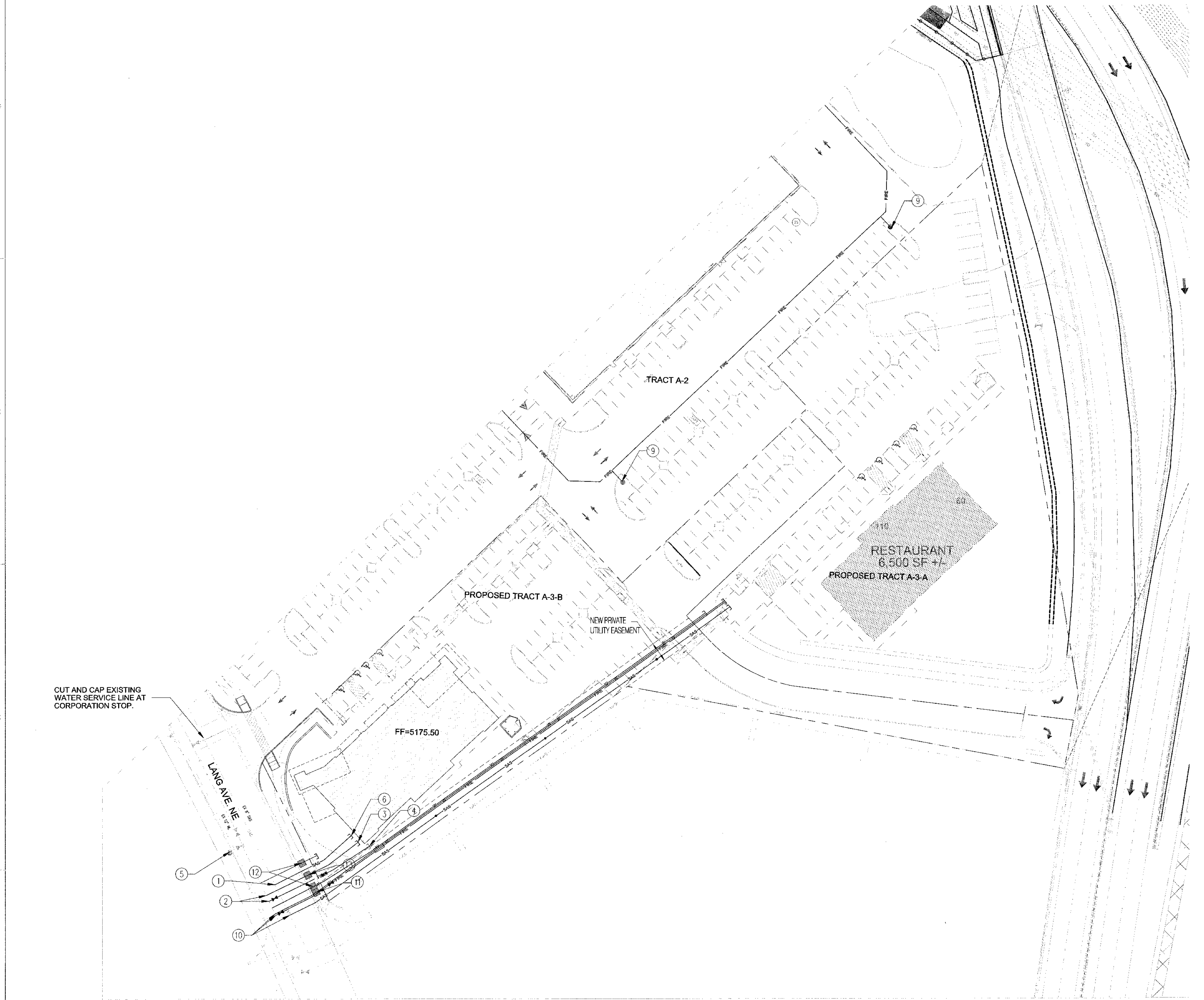
UTILITY KEYNOTES

1. CONNECT TO EXISTING SANITARY SEWER SERVICE MAIN.
2. CONNECT TO EXISTING WATER SERVICE MAIN.
3. INSTALL 2" DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING.
4. INSTALL 6" FIRE PROTECTION LINE TO WITHIN 5' OF BUILDING.
5. EXISTING FIRE HYDRANT.
6. INSTALL 4" SANITARY SEWER SERVICE TO WITHIN 5' OF BUILDING.
7. NOT USED
8. NOT USED
9. FUTURE FIRE HYDRANT CONSTRUCTED WITH THE TRACT A-2 DEVELOPMENT
10. NEW WATER, FIRE AND SEWER SERVICES INSTALLED AT THIS TIME TO SERVE FUTURE TRACT A-3-2 AND PLACED WITHIN A PRIVATE UTILITY EASEMENT.
11. INSTALL 2" WATER METER PER COA STD DWG 2367
12. INSTALL 3/4" WATER METER PER COA STD DWG 2361
13. INSTALL 1 1/2" WATER METER PER COA STD DWG 2367



UTILITY LEGEND

---	PROPERTY LINE	- - - - -	PROPOSED EASEMENT
- - - - -	EXISTING EASEMENT	SAS	PROPOSED SANITARY SEWER LINE
---	EXISTING SANITARY SEWER	●	PROPOSED SANITARY SEWER MANHOLE
---	EXISTING WATER LINE	●	PROPOSED CLEANOUT
W	EXISTING WATER METER	W	PROPOSED WATER LINE
+	EXISTING CAP	+	PROPOSED VALVE
+	EXISTING VALVE	FL	PROPOSED FIRE WATER LINE
+	EXISTING FIRE HYDRANT	+	PROPOSED HYDRANT
+	EXISTING SANITARY SEWER MANHOLE	~	PROPOSED CAP
+	EXISTING STORM DRAIN MANHOLE	+	PROPOSED WATER METER
+	EXISTING INLET	+	PROPOSED PIV
		+	REMOTE FIRE DEPARTMENT CONNECTION




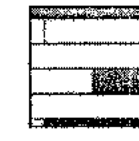
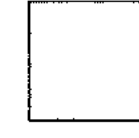


GENERAL SHEET NOTES

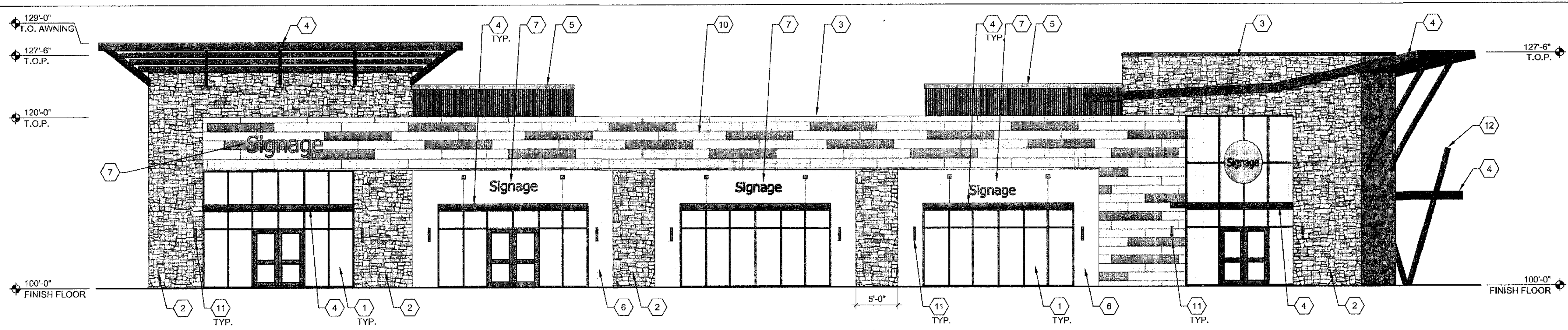
A. BUILDING MOUNTED SIGNS SHALL COMPLY WITH GENERAL SIGN REGULATIONS SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT.

SHEET KEYED NOTES

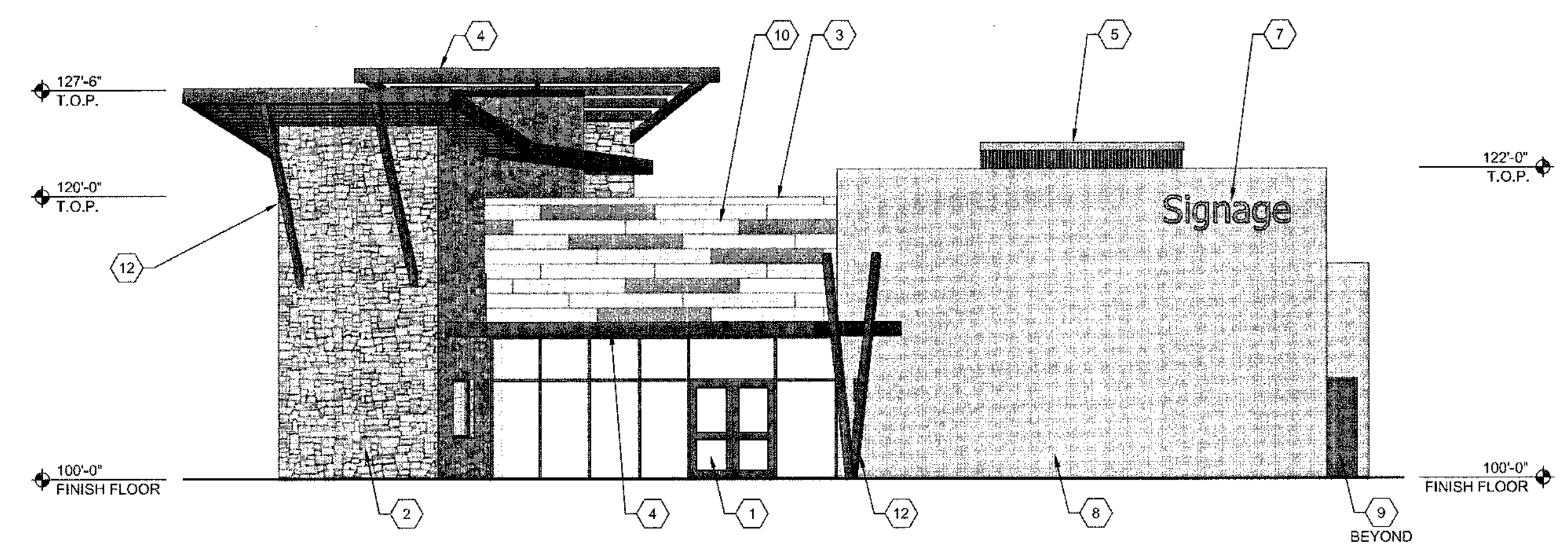
1. ALUMINUM STOREFRONT, COLOR: DARK BRONZE.
2. STONE VENEER, STYLE: BOULDER CREEK CABELA'S BLEND.
3. PRE-FINISHED METAL COPING, COLOR: DARK GREEN.
4. STEEL AWNING, COLOR: DARK GREEN.
5. RIBBED METAL PANEL ROOFTOP HVAC SCREEN, COLOR: DARK GREY.
6. PORTLAND CEMENT PLASTER, COLOR: TAN.
7. BUILDING SIGNAGE, SEE: GENERAL SHEET NOTES.
8. PORTLAND CEMENT PLASTER, COLOR: LIGHT GREEN.
9. HOLLOW METAL DOOR, COLOR: TO MATCH ALUMINUM STOREFRONT.
10. METAL PANEL SYSTEM, COLOR: MIX OF TAN, GREY, DARK GREEN.
11. WALL SCOUNCE.
12. STEEL TUBE, COLOR: DARK GREEN.

LEGEND

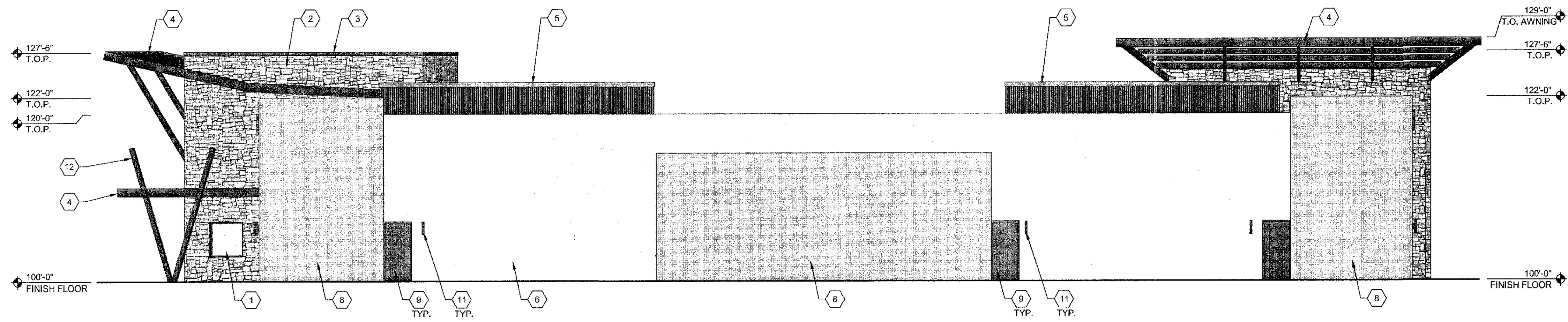
-  STONE VENEER, STYLE: BOULDER CREEK CABELA'S BLEND
-  METAL PANEL SYSTEM, COLOR: MIX OF TAN, GREY, DARK GREEN
-  PORTLAND CEMENT PLASTER, COLOR: TAN
-  PORTLAND CEMENT PLASTER, COLOR: LIGHT GREEN
-  RIBBED METAL PANEL ROOFTOP HVAC SCREEN, COLOR: DARK GREY



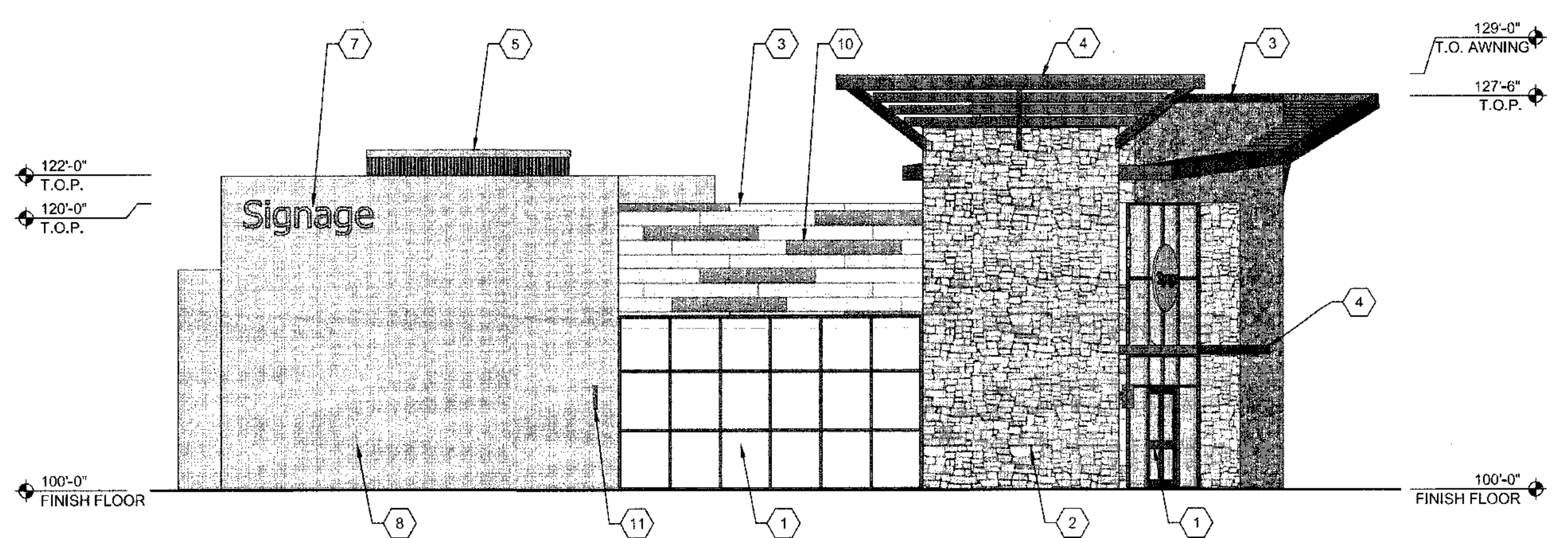
D2 NORTH WEST ELEVATION
1/8" = 1'-0"



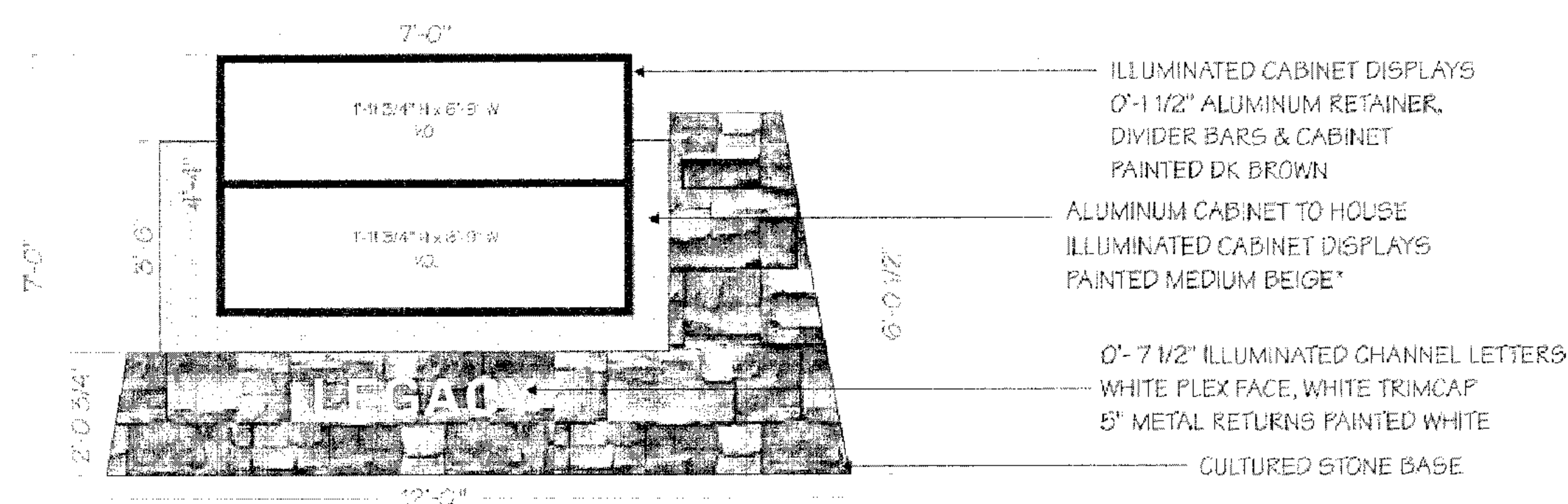
C2 SOUTHWEST ELEVATION
1/8" = 1'-0"



B2 SOUTHEAST ELEVATION
1/8" = 1'-0"



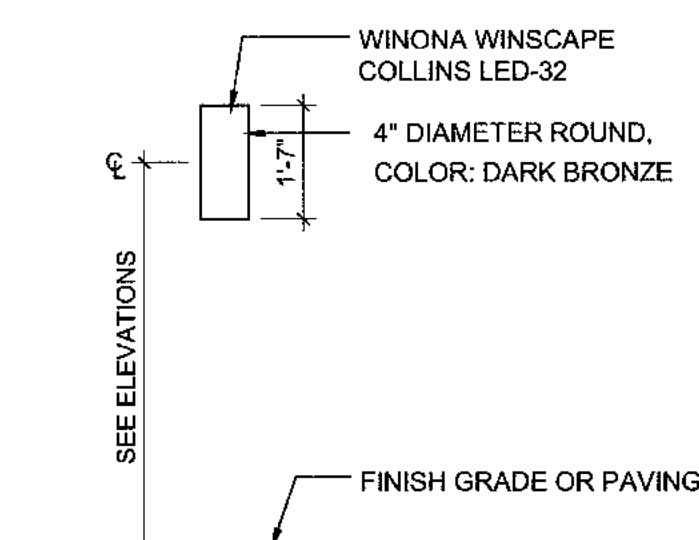
A2 NORTHEAST ELEVATION
1/8" = 1'-0"



B1 MONUMENT SIGN

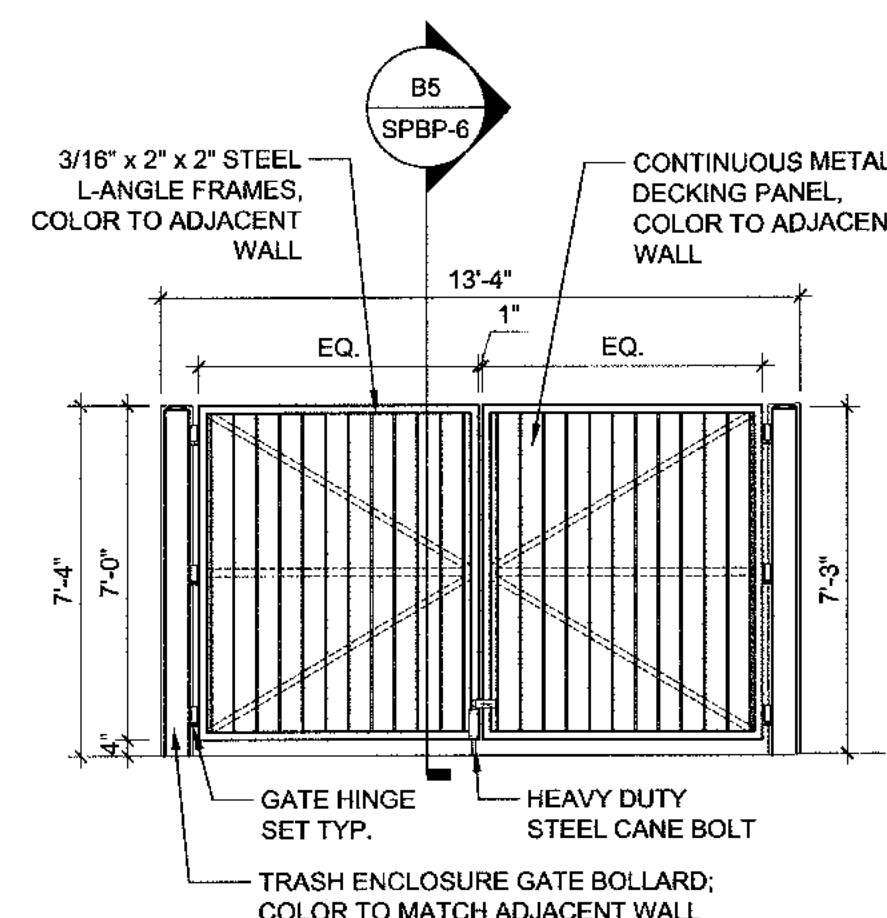
NOT TO SCALE

NOTE * SIGNS SHALL COMPLY WITH GENERAL SIGN REGULATIONS SECTION 14-16-3-5 OF THE CITY OF ALBUQUERQUE ZONING CODE AND SHALL BE SUBMITTED UNDER SEPARATE PERMIT.



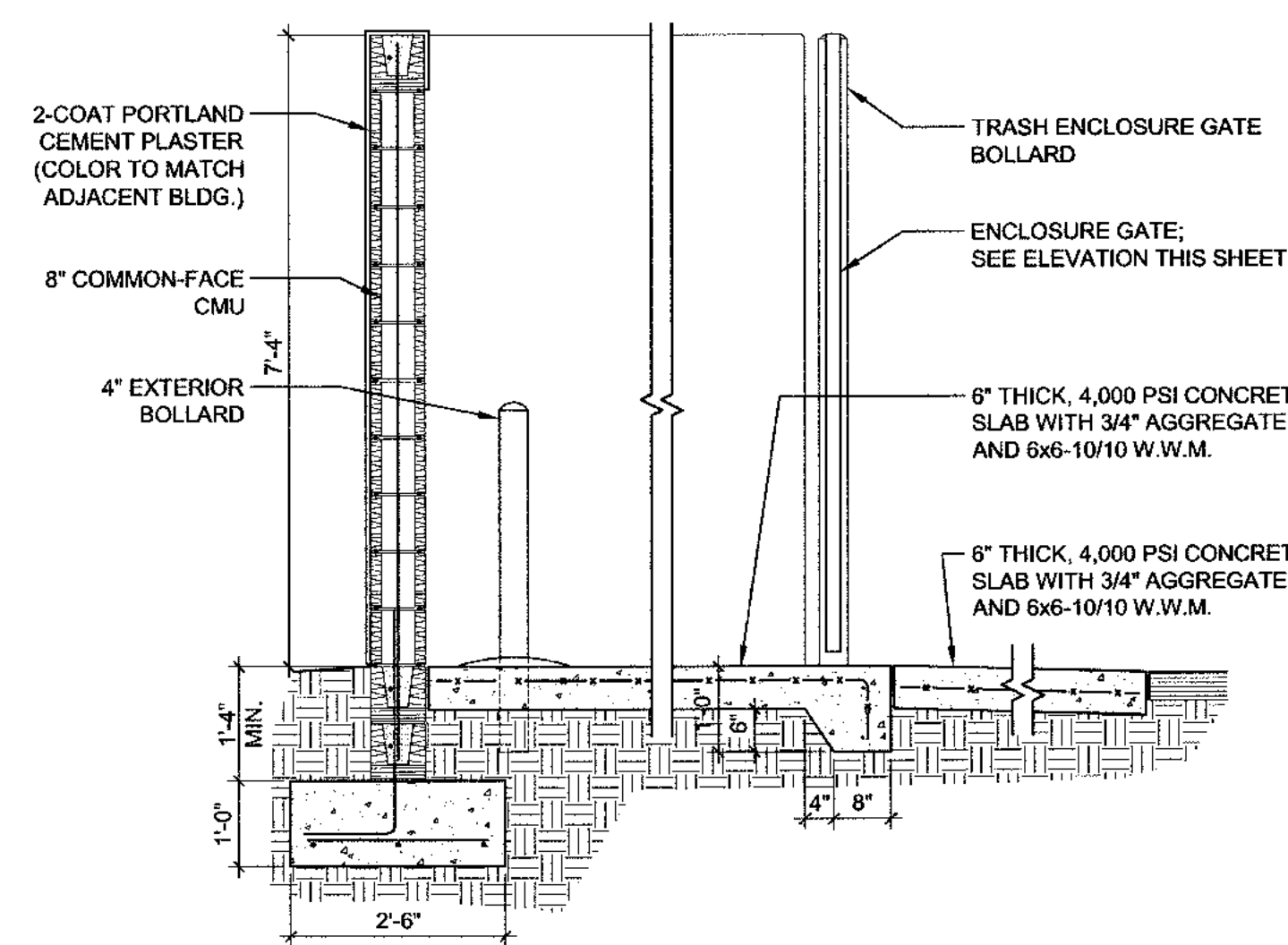
B3 BUILDING MOUNTED WALL SCONCE

3/8" = 1'-0"



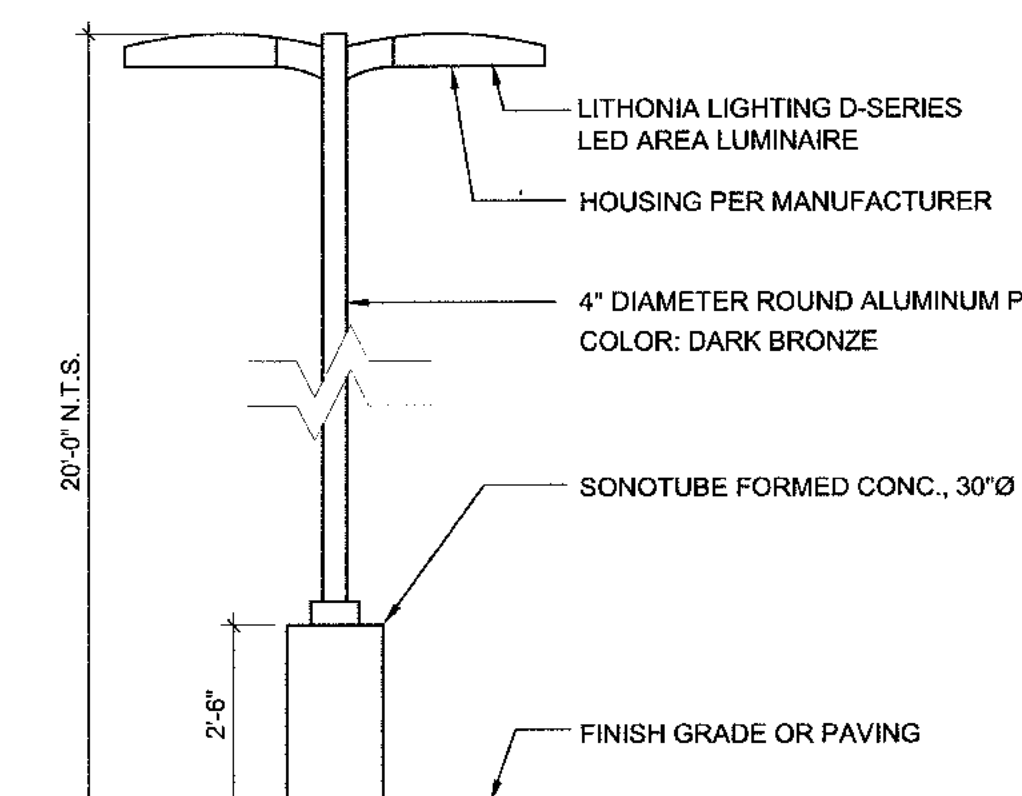
B4 TRASH ENCLOSURE

1/4" = 1'-0"



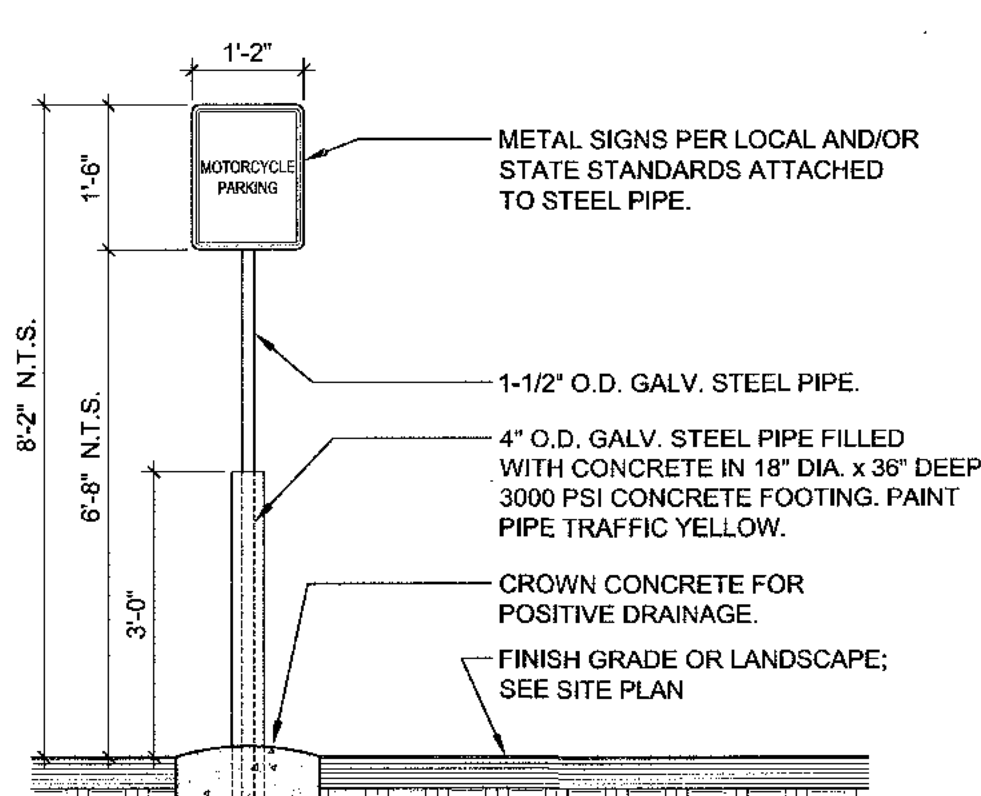
B5 TRASH ENCLOSURE WALL and GATE

1/2" = 1'-0"



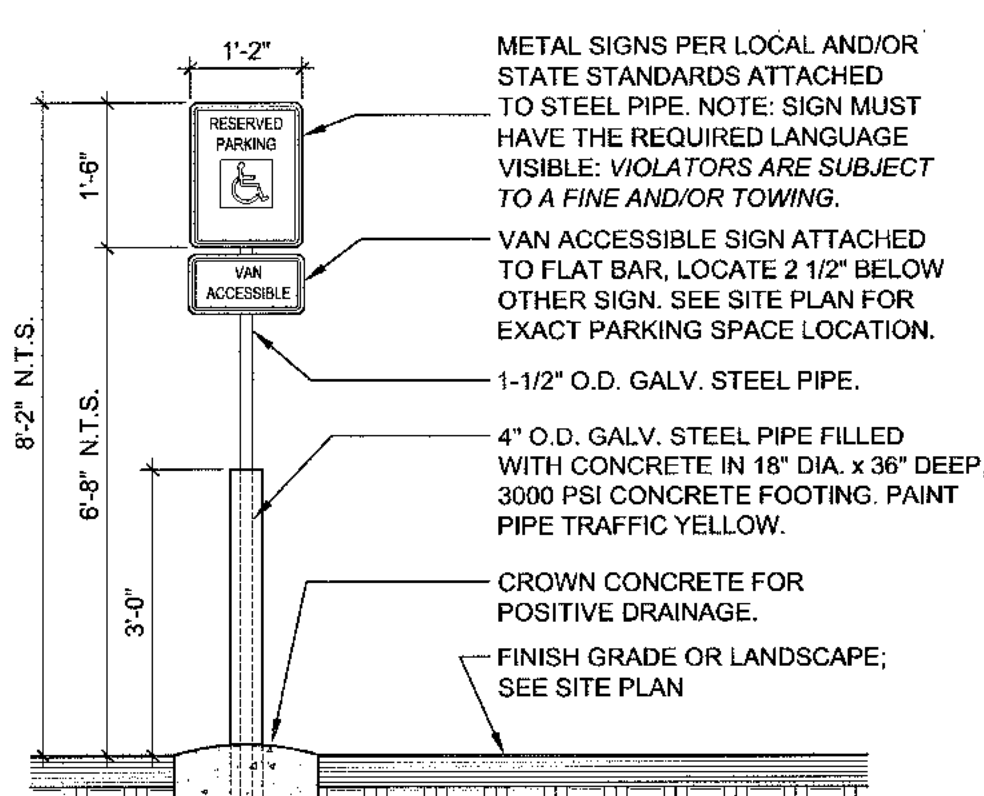
A1 POLE MOUNTED PARKING LOT LIGHT

3/8" = 1'-0"



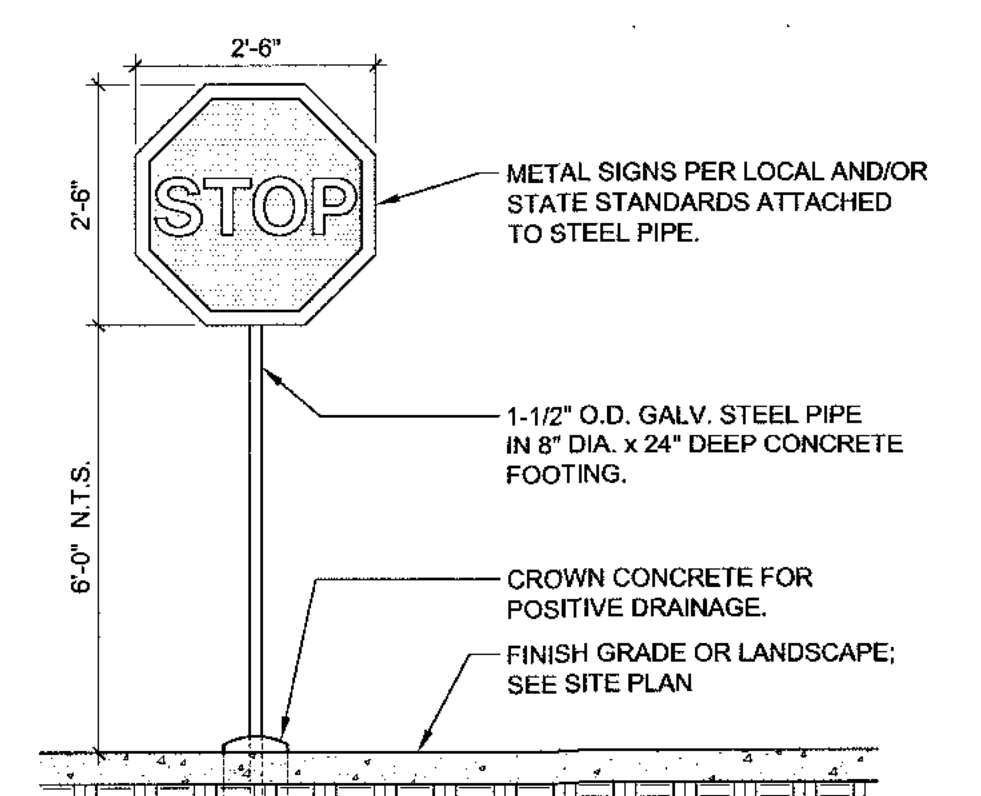
A2 POLE MOUNTED MOTORCYCLE SIGN

1/2" = 1'-0"



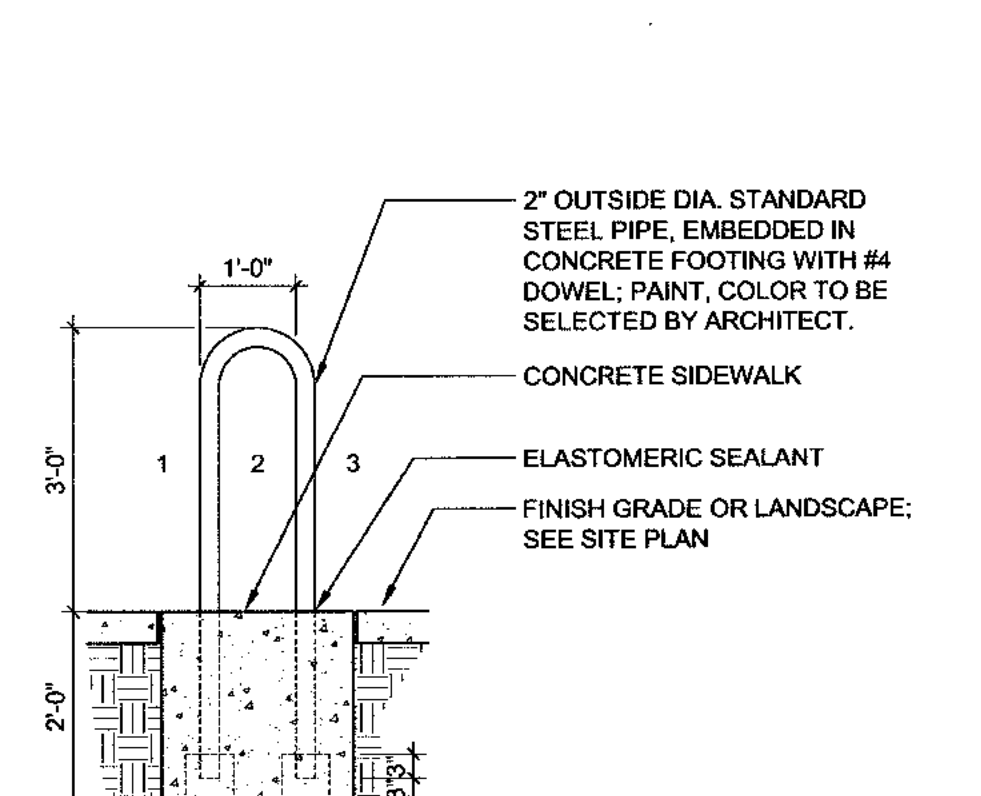
A3 POLE MOUNTED H.C. SIGN (VAN)

1/2" = 1'-0"



A4 POLE MOUNTED STOP SIGN

1/2" = 1'-0"



A5 BICYCLE RACK

1/2" = 1'-0"

REVISIONS

DRAWN BY

REVIEWED BY

DATE November 21, 2016

PROJECT NO. 16-0068.001

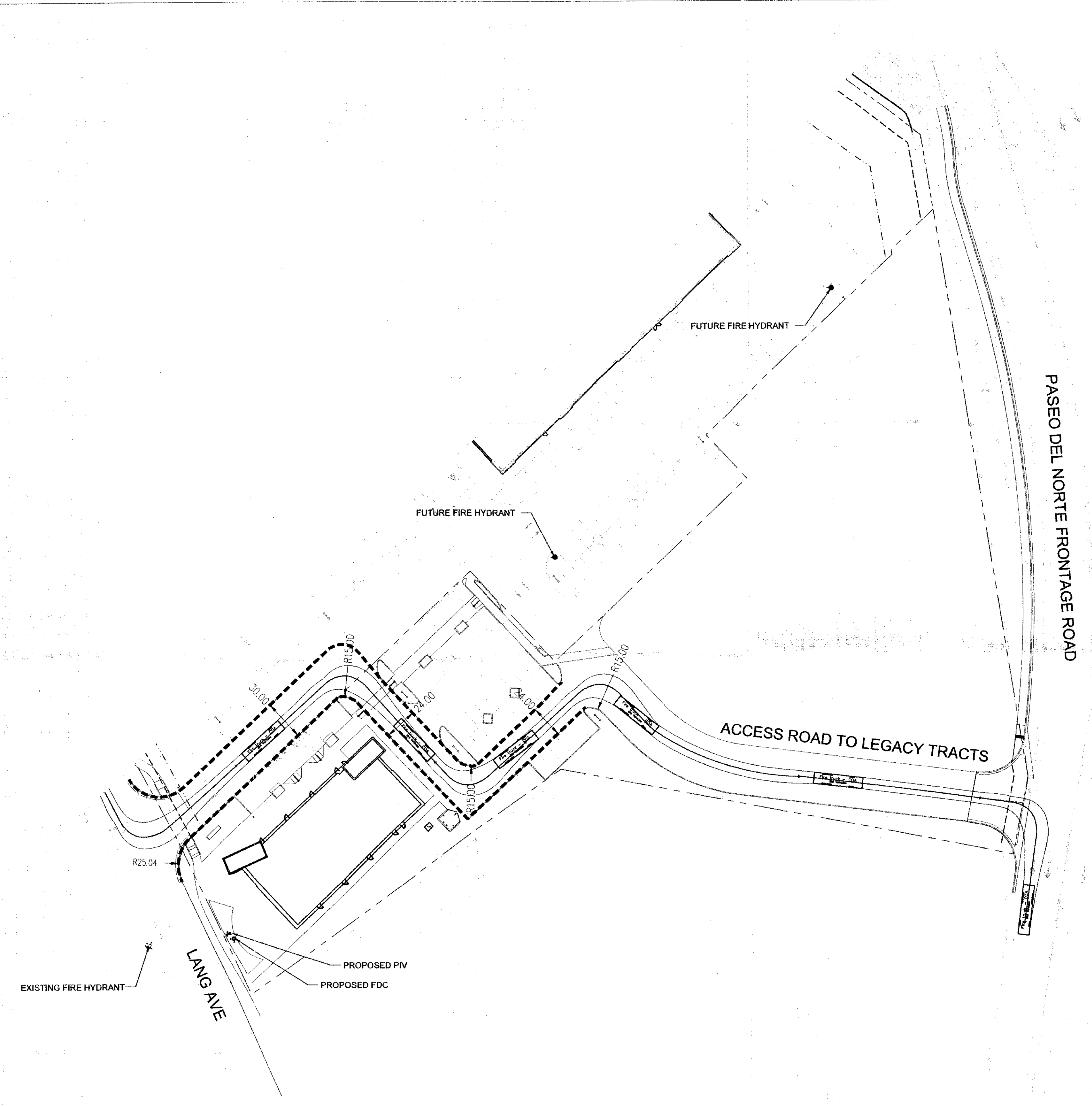
DRAWING NAME

SITE DETAILS

SHEET NO.

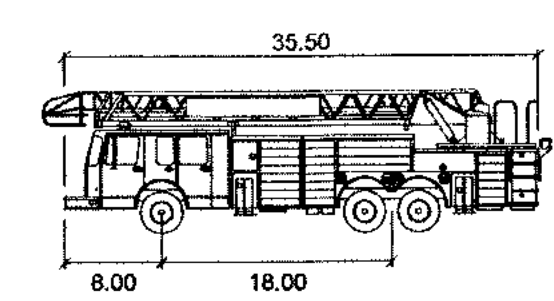
SPBP-6

OF



BUILDING INFORMATION

ADDRESS : 5151 LANG AVENUE NE
 LEGAL DESCRIPTION : TRACT A-3 LEGACY AT JOURNAL CENTER (A REPLAT OF TRACT A LEGACY AT JOURNAL CENTER)
 ZONE ATLAS : C-17, C-18, D-17, D-18
 LARGEST ONSITE BUILDING: 8,000 SF
 CONSTRUCTION TYPE : VB
 SPRINKLERED : YES
 FIRE FLOW: 1,250 GPM
 BUILDING HEIGHT: 28'
 HYDRANTS REQUIRED: 1

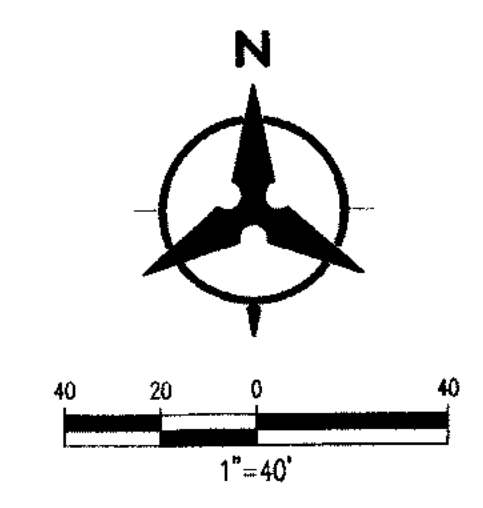


Fire truck	feet
Width	8.00
Track	8.00
Lock to Lock Time	6.0
Steering Angle	40.0

NOTES

1. ALL RADII ALONG FIRE LANE SHALL BE 28'.
2. MONUMENT SIGN IDENTIFY BUILDINGS WILL BE PROVIDED AT ADJACENT ROADWAYS.
3. ALL BUILDINGS SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
4. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE ON BOTH SIDES.
5. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT OF A FIRE HYDRANT.
6. ALL AREAS PAVED INCLUDING FIRE ACCESS.
7. SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
8. ALL BUILDINGS WILL BE SPRINKLERED.

--- PROPERTY LINE
 - - - - - MARKED FIRE ACCESS



UTILITY LEGEND

--- PROPERTY LINE	--- PROPOSED EASEMENT
--- EXISTING EASEMENT	--- S&S PROPOSED SANITARY SEWER LINE
--- EXISTING SANITARY SEWER	● PROPOSED SANITARY SEWER MANHOLE
--- EXISTING WATER LINE	● PROPOSED CLEANOUT
--- EXISTING WATER METER	--- PROPOSED WATER LINE
--- EXISTING CAP	--- PROPOSED VALVE
--- EXISTING VALVE	--- PROPOSED FIRE WATER LINE
--- EXISTING FIRE HYDRANT	--- PROPOSED HYDRANT
--- EXISTING SANITARY SEWER MANHOLE	--- PROPOSED CAP
--- EXISTING STORM DRAIN MANHOLE	■ PROPOSED WATER METER
--- EXISTING INLET	▲ PROPOSED PIV
	▼ REMOTE FIRE DEPARTMENT CONNECTION

ARCHITECTURE / DESIGN / INSPIRATION



7601 JEFFERSON NE, SUITE 100
 ALBUQUERQUE, NM 87109

505.761.9700 / DPSDESIGN.ORG

ARCHITECT

ENGINEER

PROJECT

LEGACY @ JOURNAL CENTER
 5151 Lang Avenue NE
 Albuquerque, New Mexico 87109

REVISIONS

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- △
- △
- △

DRAWN BY J.J.L.

REVIEWED BY M.J.B.

DATE September 20, 2016

PROJECT NO. 16-0068.001

DRAWING NAME
FIRE LANE PLAN ACCESS
 ALBUQUERQUE FIRE MARSHAL'S OFFICE
 PLANS CHECKING DIVISION
 505.761.9700 CONSTRUCTION TYPE VB
 08/11/16 NUMBER OF HYDRANTS 1
APPROVED / DISAPPROVED
 [Signature]

FILE CASE # 5145-14
 SHEET NO.

Bohannon & Huston
 www.bhinc.com 800.877.5332

FMSP
 OF

Ayoni Oyenuga

From: Flores, Suzanna A. <Suzannaflores@cabq.gov>
Sent: Friday, January 23, 2026 11:30 AM
To: Ayoni Oyenuga
Subject: 5161 LANG AVE NE _ Public Notice Inquiry Sheet Submission
Attachments: Zone Atlas Page D-17&D-18.pdf

Dear Applicant:

As of January 23, 2026 there are **NO** neighborhood associations to notify. You will need to attach a copy of this e-mail from the Office of Neighborhood Coordination (ONC) to your application when you submit it to the Planning Department.

Please note that the ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

From: webmaster@cabq.gov <webmaster@cabq.gov>
Sent: Friday, January 23, 2026 10:34 AM
To: Office of Neighborhood Coordination <oyenuga@consensusplanning.com>
Cc: Office of Neighborhood Coordination <onc@cabq.gov>
Subject: Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Development Facilitation Team

Applicant Information

Contact Name

Ayoni Oyenuga

Telephone Number

505-764-9801

Email Address

oyenuga@consensusplanning.com

Company Name

Consensus Planning, Inc.

Company Address

302 8th Street NW

City

Albuquerque

State

NM

ZIP

87102

Subject Site Information

Legal description of the subject site for this project:

TR A-3-B PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.405 AC TR A-3-A PLAT OF TRACTS A-3-A & A-3-B LEGACY AT JOURNALCENTER (A REPLAT OF TRACT A-3, PLAT OF TRACT A-1, A-2 & A-3 LEGACY AT JOURNAL CENTER) CONT 1.5728 AC

Physical address of subject site:

5161 LANG AVE NE ALBUQUERQUE NM 87109 & 5171 LANG AV NE ALBUQUERQUE NM 87109

Subject site cross streets:

Lang Avenue and Headline Boulevard NE. Southwest of Paseo del Norte and I-25

Other subject site identifiers:

This site is located on the following zone atlas page:

D-17-Z & D-18-Z

Link for map

Captcha

DFT SIGN POSTING AGREEMENT – A PUBLIC NOTICE REQUIREMENT

All development applications are required to complete public notice under the Integrated Development Ordinance, Section 6-1, Table 6-1-1. <https://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance-1> All applicants are obligated to satisfy all of the public notice requirements, i.e., sending email notifications, mailing notices, and posting signage on the subject property. **This form covers posting signs.** Adherence to sign posting requirements will inform the public of a proposed project and relevant project details.

Signs should be picked up at the Development Review Services office, located at 600 2nd St in the Plaza Del Sol building. Signs are available upon the acceptance of the application. The cost for the signs is included in the project application fee. It is critical that the signs be prominently located and clearly visible without any obstructions from each street frontage.

Applicants are responsible to maintain posting from time of application through the appeal period (15 days following a final decision on the application). Signs must be posted for at least 5 calendar days and for the required appeal period after any final decision. Evidence of the sign posting must also be provided within 3 days of application acceptance. In addition, applicants must ensure that required signs are in place during the 15-day appeal period after the project approval. Evidence of posting includes: Time stamped photographs of the sign at the location which must be submitted as a supplement to the application.

Failure to install or replace the signs during the required timeframe may result in your application being deferred.

LOCATION

- A. The sign shall be conspicuously located, i.e, within twenty feet of the public sidewalk (or edge of a street).
- B. The face of the sign shall be parallel to the street.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

NUMBER

- A. One sign shall be posted on each street frontage.
- B. If the land does not abut a public street, a sign shall be placed at the edge of the public right-of-way of the nearest paved street, in addition to the sign placed on the property.

PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

I have read and understand all of the public notice requirements. By my signature, I acknowledge that: I understand (A) I have read the sign posting requirements; (B) I understand my obligation to keep the signs posted for (5) days at the time of application, and (15) days after application approval, (C) where/how the sign(s) should be posted, and (D) agree to provide evidence of posting.

I further certify that the required public notice signs were posted per the instructions above.

SIGNATURE & DATE:



2/6/2026

PROJECT NUMBER & ADDRESS:

SITE PLAN CHECKLIST

Project #: TITAN SHOPS TRACT Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

**SEE APPROVED SITE PLAN - NO CHANGES
AMENDMENT IS LIMITED TO LOT LINE AND PARKING CALCULATIONS**

A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

SEE APPROVED SITE PLAN

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

N/A E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

N/A F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- 3. Location of traffic signs and signals related to the functioning of the proposal
- 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

N/A B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

N/A A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

SEE APPROVED LANDSCAPE PLAN - NO CHANGES

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

SEE APPROVED GRADING AND DRAINAGE PLAN - NO CHANGES

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN SEE APPROVED UTILITY PLAN - NO CHANGES

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information SEE APPROVED ELEVATIONS - NO CHANGES

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage SEE APPROVED SITE PLAN FOR EXISTING BUILDING MOUNTED SIGNAGED

- 1. Site location(s) NO CHANGES
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

