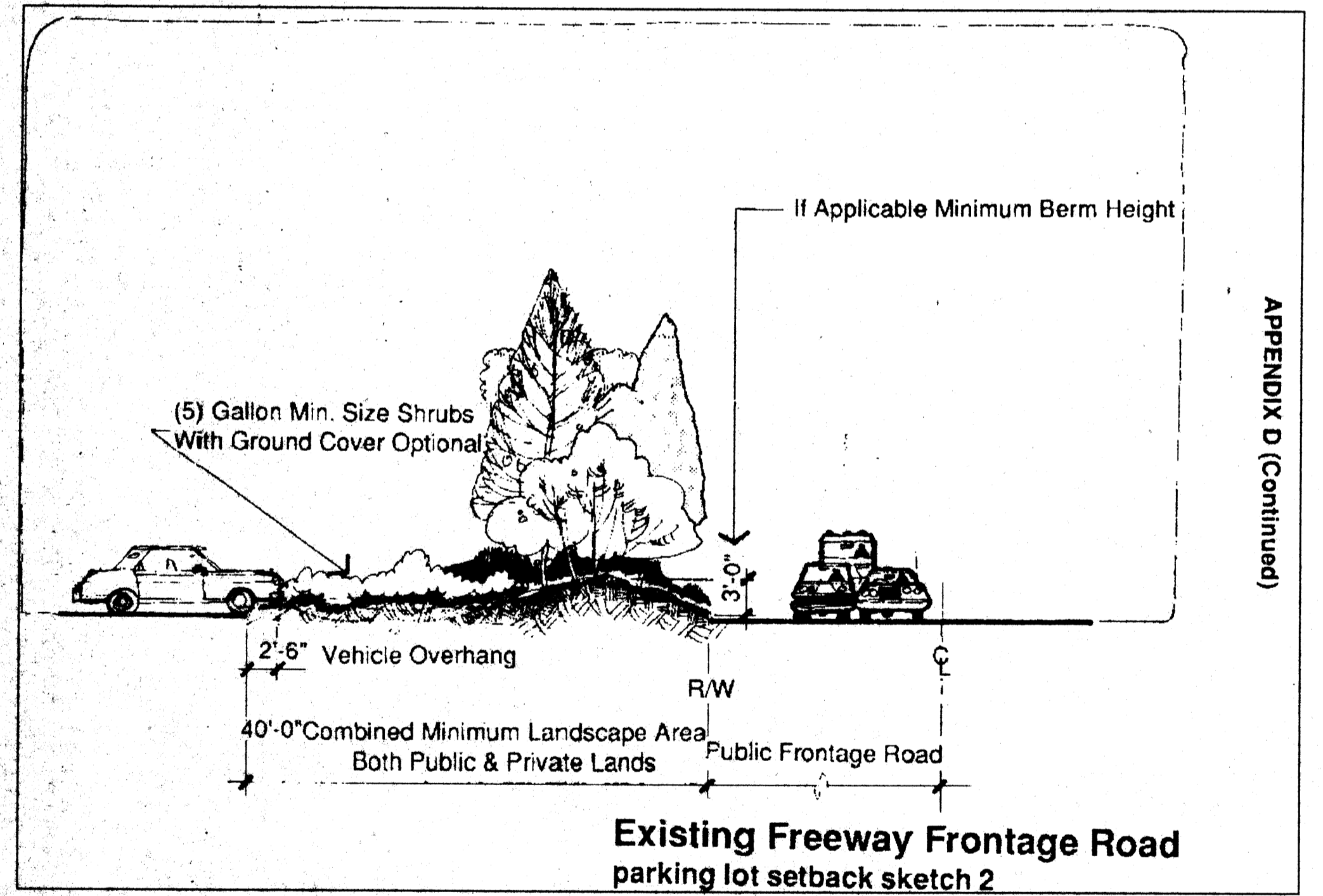


APPENDIX C

**Proposed Major Local Streets
60 Foot Right-of-Way**

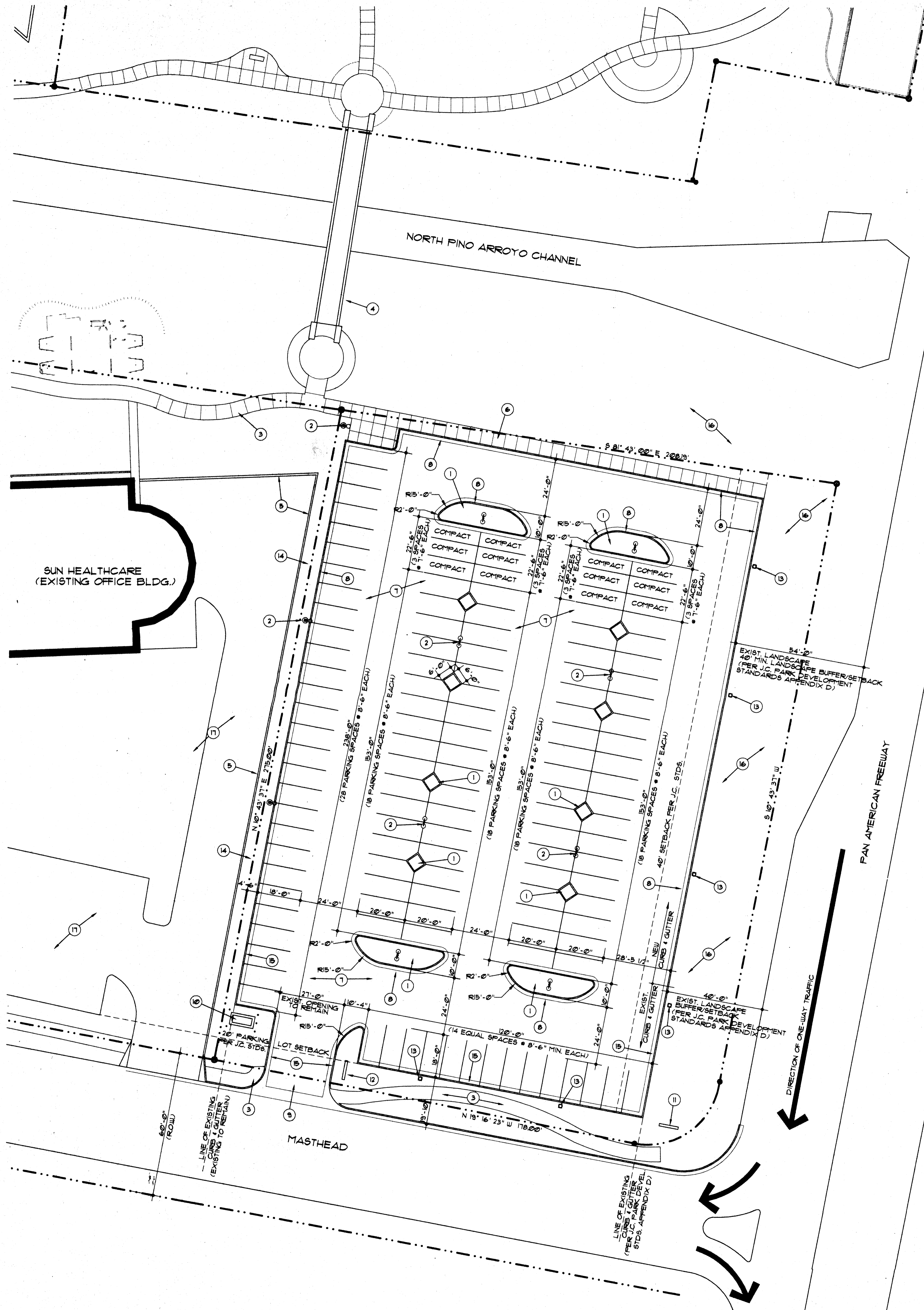
JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"
(Page 35, Appendix C)



APPENDIX D (Continued)

**Existing Freeway Frontage Road
parking lot setback sketch 2**

JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"
(Page 37, Appendix D)



SITE PLAN-MASTHEAD PARKING LOT
1" = 20'-0"

KEYED NOTES

1. PLANTER
 2. 22' TALL, 400 W METAL HALIDE, POLE MOUNTED LIGHT FIXTURE
 3. EXISTING PEDESTRIAN SIDEWALK
 4. EXISTING PEDESTRIAN BRIDGE
 5. EXISTING RETAINING WALL TO REMAIN
 6. NEW & WIDE SIDEWALK-CONNECT TO EXISTING AT BRIDGE
 7. ASPHALT PAVING
 8. NEW CONCRETE CURBS AND GUTTER TO TIE IN TO EXISTING
 9. EXISTING SITE ENTRY
 10. EXISTING TRANSFORMER
 11. NEW LIGHTED TYPENUM SIGN
 12. NEW LIGHTED TYPENUM SIGN TO READ "PARKING ENTRANCE"
- THE SIGN SHALL ALSO INDICATE THAT THIS PARKING LOT IS FOR THE USE OF THE 4-STORY AND/OR THE SIX-STORY OFFICE BUILDING(S) LOCATED ON 101 SUN AVE.
13. BOLLARD LIGHTING
 14. EXISTING LANDSCAPE PLANTER
 15. EXISTING CURBS AND GUTTER TO REMAIN
 16. EXISTING LANDSCAPING TO REMAIN
 17. EXISTING SUN HEALTHCARE PARKING LOT

GENERAL NOTES

- A. HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
- B. PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE.
- C. THE NEW PARKING LOTS WILL REMAIN AS SHOWN. IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

SOUTH PARKING LOT COUNT:

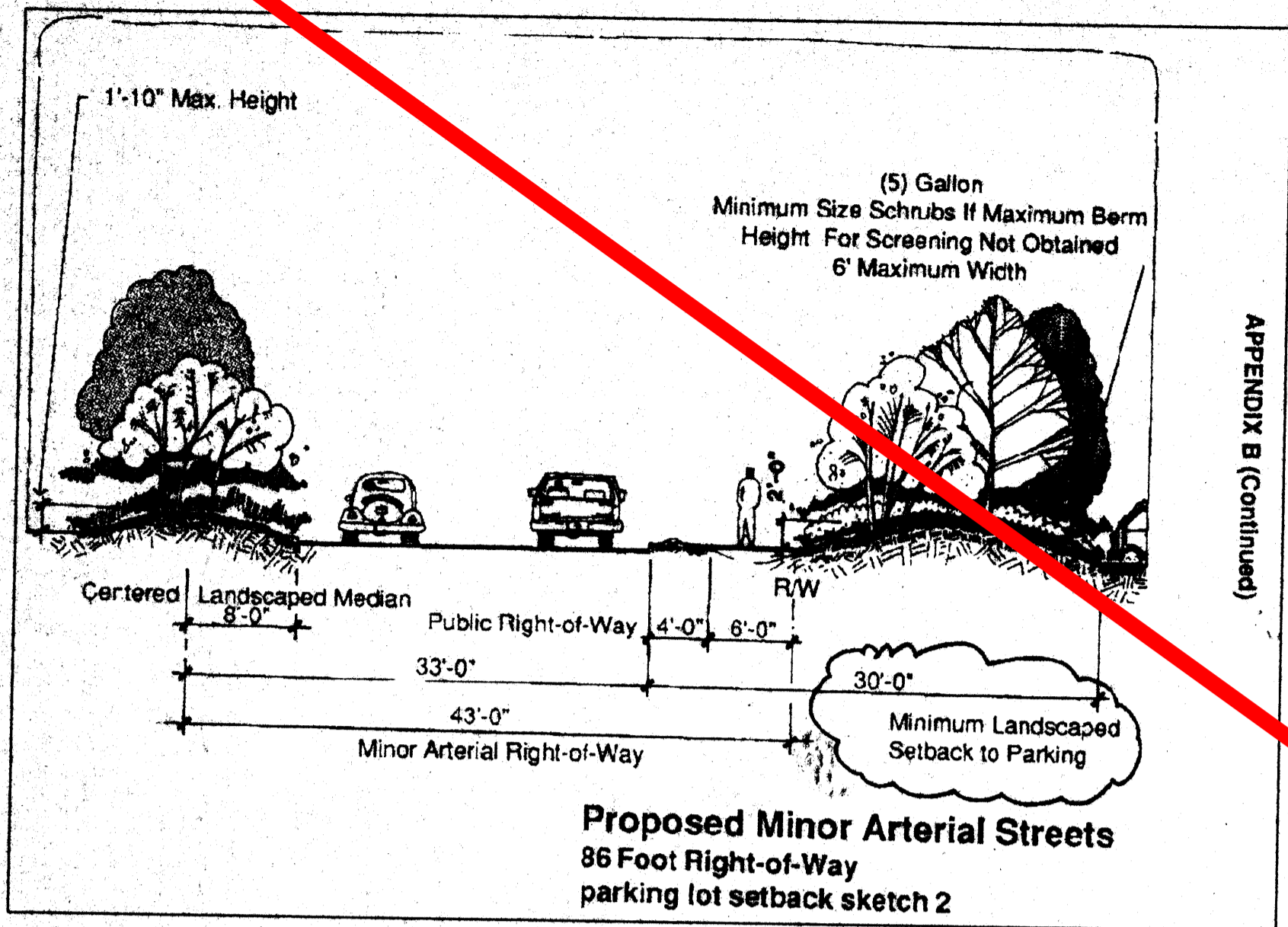
TOTAL NUMBER OF PARKING SPACES: 126
TOTAL NUMBER OF COMPACT PARKING SPACES: 12 (10% OF TOTAL FOR THIS LOT)



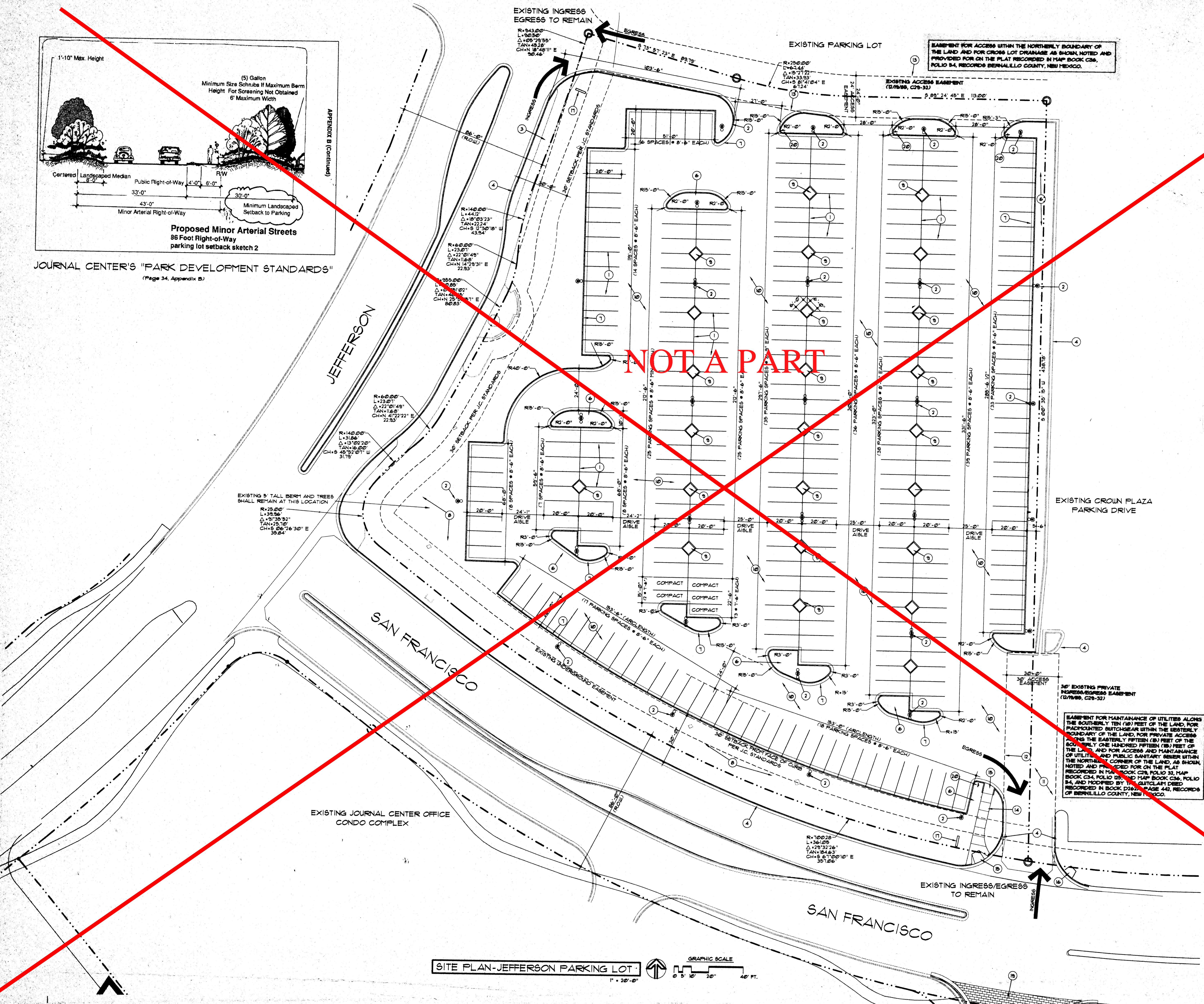
FANNING BARD TATUM
ARCHITECTS AIA

6100 Indian School Rd. NE
ALBUQUERQUE, NM 87109
505-885-5200
505-884-5590

Project	SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO	Date	March 2002
Sheet Title	SITE PLAN-MASTHEAD	Date	



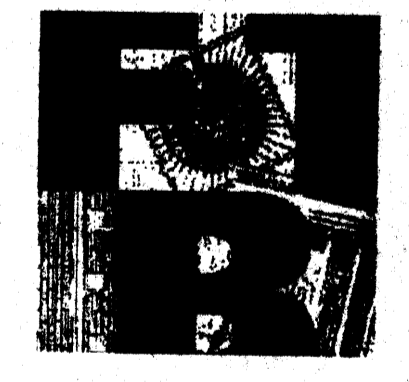
JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"
(Page 34, Appendix B)



- KEYED NOTES**
- 4" WIDE PAINTED STRIPING-WHITE
 - 22" TALL, 4000U METAL HALIDE POLE MOUNTED LIGHT FIXTURE
 - EXISTING SIDEWALK
 - EXISTING CURBS & GUTTER
 - EXISTING DRIVE
 - LANDSCAPED PLANTER
 - NEW CURBS AND GUTTER
 - EXISTING LANDSCAPE TO REMAIN
 - 6' X 6' LANDSCAPE PLANTER-TYPICAL
 - ASPHALT PAVING
 - EXISTING ASPHALT PAVING
 - APPROXIMATE LINE OF EXISTING ASPHALT
 - LINE OF ACCESS EASEMENT
 - NEW 18" WIDE CONCRETE SIDEWALK
 - NEW HANDICAP RAMP
 - EXISTING HANDICAP RAMP
 - NEW LIGHTED FORECAST SIGN TO READ "PARKING ENTRANCE". THE SIGN SHALL ALSO INDICATE THAT THIS PARKING LOT IS FOR THE USE OF THE 4-STORY AND/OR THE 6th-STORY OFFICE BUILDING(S) LOCATED ON SUN LANE.
 - EXISTING BUS STOP
 - EXISTING BRICK PAVEMENT CROSSWALK
 - STOP SIGN

- GENERAL NOTES**
- HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
 - PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE.
 - THE NEW PARKING LOTS WILL REMAIN AS SHOWN. IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

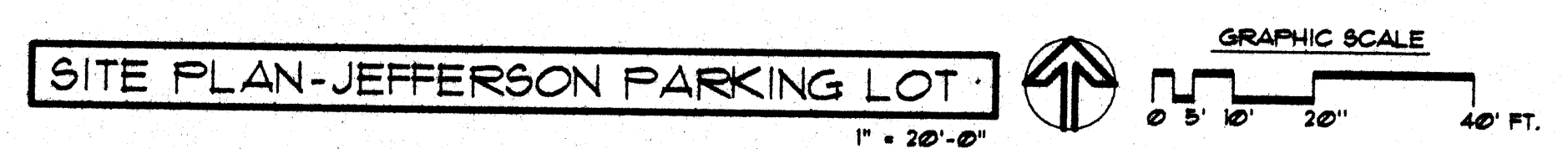
JEFFERSON PARKING LOT COUNT:
TOTAL NUMBER OF PARKING SPACES: 314
TOTAL NUMBER OF COMPACT PARKING SPACES: 5



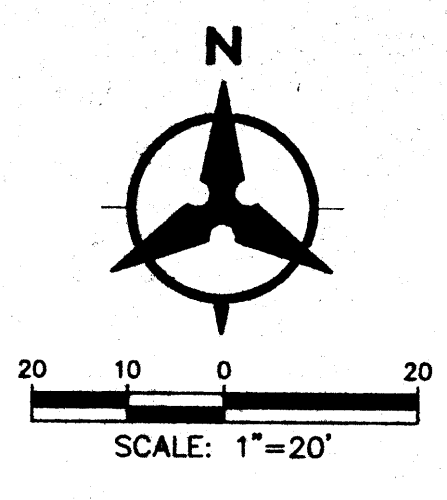
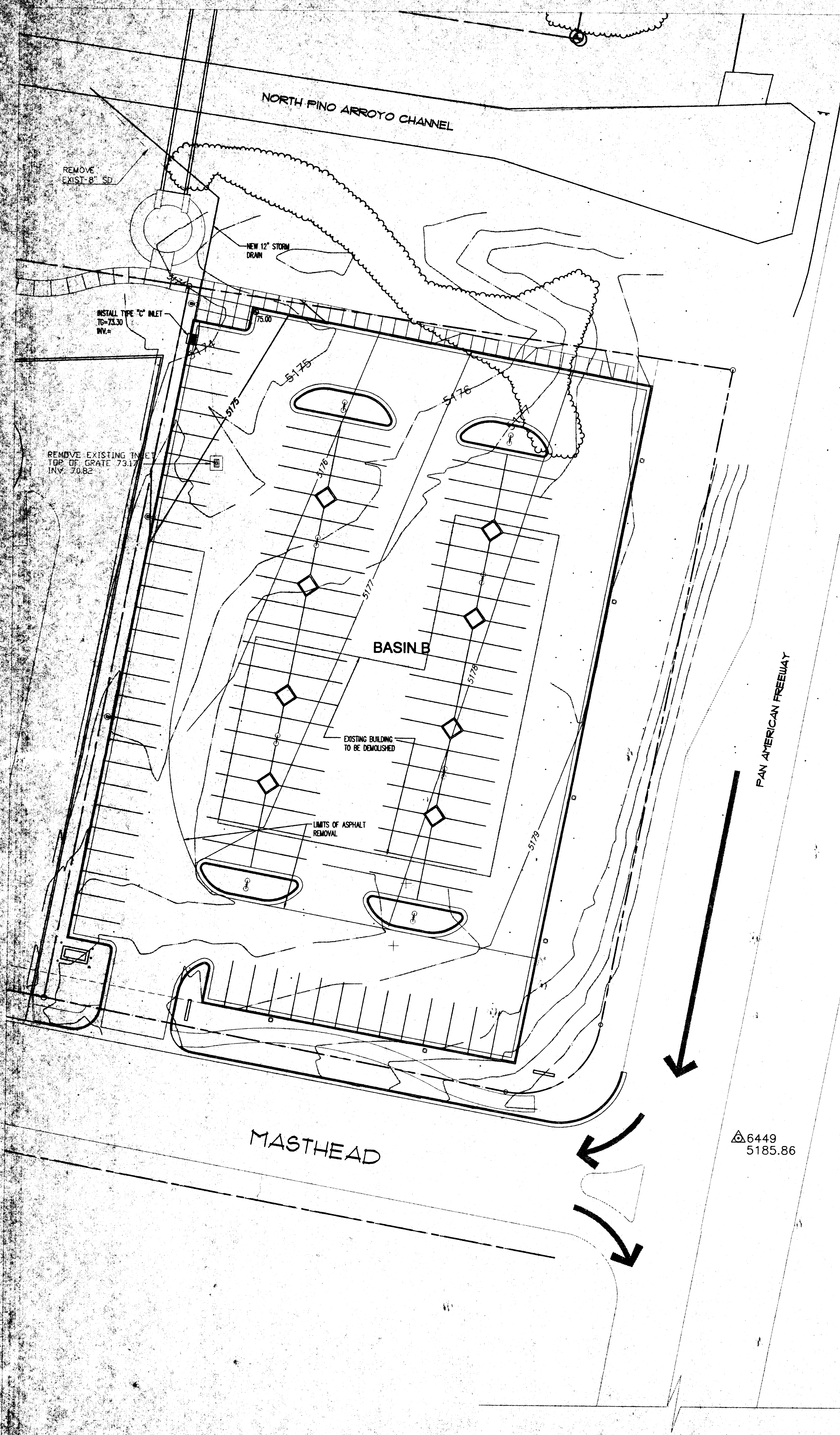
FANNING BARD TATUM

ARCHITECTS AIA
6100 Indian School Rd. NE
Albuquerque, NM
505-885-5200
505-884-5390

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE, ALBUQUERQUE, NEW MEXICO
Sheet Title: SITE PLAN-JEFFERSON
Date: March 2006



Sheet: DRB-3
3 of 8



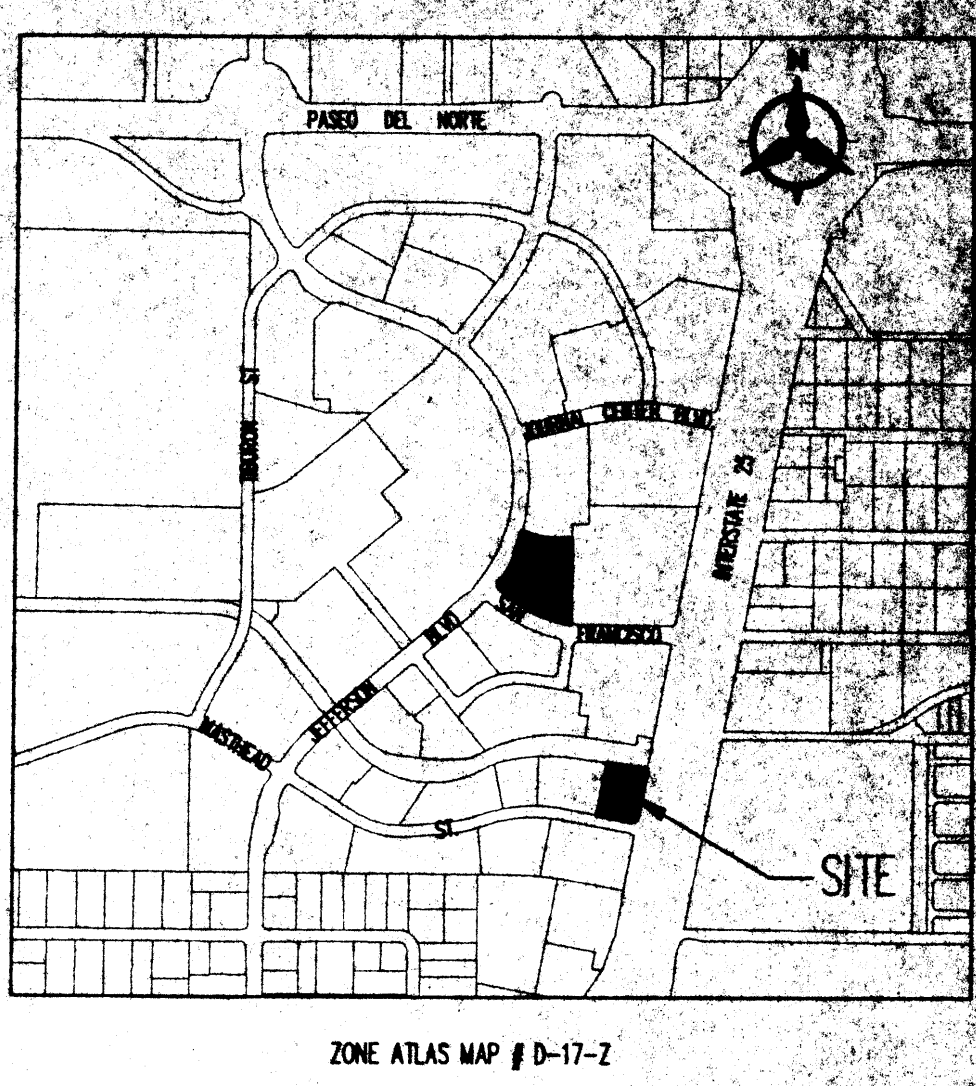
SD PIPES							
Pipe#	Size in.	Slope	Capacity cfs	Actual Flow cfs	Pipe Length ft	Upstream Invert	Downstrm Invert
1	12	0.036	6.759941	5.86	110	68.96	65

Pipe capacities are based on gravity flow using manning's equation with n=0.013

INLET TABLE						
Inlet #	Basin	Inlet Type	Top of Grate	Flow	Avail. Head ft	Capacity*
I1	B	C	66.5	5.53	0.67	7.20

SUN HEALTH CARE MASTHEAD PARKING LOT BASIN CALCULATIONS							
Ultimate Development Conditions Basin Data Table							
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (CFS)
			A	B	C	D	
B	58153	1.34	0.0%	0.0%	20.0%	80.0%	5.86

This table is based on the DPM Section 22.2, Zone: 2



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
 The purpose of this submittal is to provide a final Drainage Management Plan for development of the Sun Health Care Parking Lot on the NW corner of Masthead Road & the frontage road.

II. SITE LOCATION
 The site is currently legally described as, Tract 4AA-3B (1.34 ac.) The site is bounded by Masthead on the south and the South Bound Frontage Road on the east. The site is located within zone atlas map #D-17-Z, and hydrologic zone 2.

III. EXISTING HYDROLOGIC CONDITIONS
 Currently the site is the former Savage Thomas office site. Consisting of the existing building (to be razed) and a surrounding parking lot. Currently flows are conveyed by surface and curb and gutter to a drop inlet (to be removed) located in the northwest corner of the site.

IV. PROPOSED HYDROLOGIC CONDITIONS
 The proposed conditions for Sun Health Care Parking Lot near Masthead Road, are shown on this basin map/final grading and drainage plan. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.
 The parking lot site (1.34 ac.) will generate 5.86 cfs under newly developed conditions and consists of approximately 80% D land treatment. Flows will be conveyed by surface and curb and gutter to a new drop inlet located at the north west corner of the proposed parking lot. The revised Journal Center Drainage Management Plan, dated Dec. 1992 shows the site in basin G. This site has free discharge in to the North Pino Arroyo Channel.
 The existing 8" SD and channel penetration are inadequate for the proposed development, they will be replaced with a 12" pipe and channel penetration.

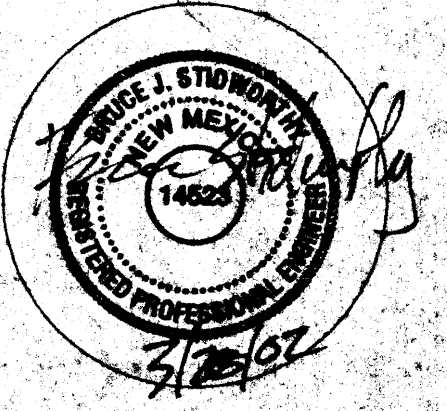
V. CONCLUSION
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal we are requesting conceptual grading and drainage plan and building permit approval.

Bohannon Houston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



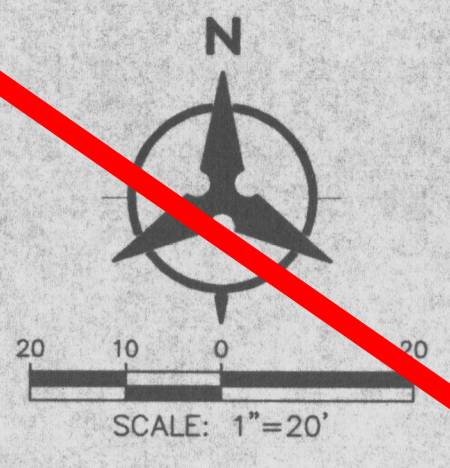
FANNING BARD TATUM
 ARCHITECTS AIA
 6100 Indian School Rd. NE
 Albuquerque NM
 505-885-5200
 505-884-5590

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO
 Sheet Title: CONCEPTUAL GRADING & DRAINAGE PLAN - MASTHEAD



Sheet: DRB-4
 4 of 8

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SUN HEALTH CARE JEFFERSON PARKING LOT BASIN CALCULATIONS

Ultimate Development Conditions Basin Data Table

BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100)
			A	B	C	D	(CFS)
A	129809	2.98	0.0%	0.0%	25.0%	75.0%	12.84
A1	69752	1.60	0.0%	0.0%	9.0%	91.0%	7.30
A2	22747	0.52	0.0%	0.0%	5.0%	95.0%	2.41
A3	12181	0.28	0.0%	0.0%	5.0%	95.0%	1.29
A4	25265	0.58	0.0%	25.0%	60.0%	15.0%	1.83

This table is based on the DPM Section 22.2, Zone: 2

SD PIPES

Pipe#	Size in.	Slope	Capacity cfs	Actual Flow cfs	Pipe Length ft	Upstream Invert	Downstream Invert
1	12	0.024	5.52	5.52		64	62.2

Pipe capacities are based on gravity flow using Manning's equation with n=0.013

INLET TABLE

Inlet #	Basin	Inlet Type	Top of Grate	Flow	Avail. Head	Capacity
1	A	D	66.5	5.53	1.00	6.75

This capacity allows for a 30% clogging factor

Detention Pond Volume Calculations

NOTE: Shaded cells require user input, all other cells should not be edited.

ASSUMPTIONS:

- Area less than 40 acres (simplified hydrograph method)
- 100-year, 6-hour storm event

Basin Name	A1		
Choose Zone (1-4)	2		
Basin Area = (acres)	1.60		
Proposed Conditions			
Treatment	Percentage	Area	Q (cfs)
A	0.0%	0.00	0.00
B	0.0%	0.00	0.00
C	10.0%	0.16	0.50
D	90.0%	1.44	6.77
Peak Q Developed =		7.27	
Maximum allowable discharge =		5.61	

Determine T_b (hours) T_b = 0.712

Determine T_c (Note: should be checked using DPM 22.2.B.2) T_c = 0.2

Determine T_p and Duration of Peak (hours) T_p = 0.198333
Peak Duration = 0.225

Compute the required retention volume using the simple hydrograph. Figure A-3 in DPM Section 22.3

Time to Control Q (hrs)	= 0.162
Time to end of Control Q (hrs)	= 0.490873
Duration of Control Q (hrs)	= 0.339
Required Detention Volume (CF)	= 1726



DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION
The purpose of this submittal is to provide a final Drainage Management Plan for development of the Sun Health Care Parking Lot on the NE corner of Jefferson and San Francisco Road.

II. SITE LOCATION
The site is currently legally described as, Tract 2A-2B3 Journal Center, 2.98 ac. The site is bounded by Jefferson Blvd on the west and San Francisco Road on the south. The site is located within zone atlas map #D-17-2, and hydrologic zone 2.

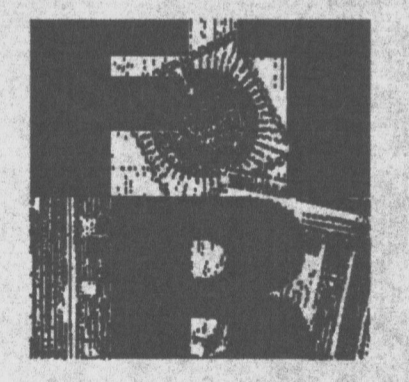
III. EXISTING HYDROLOGIC CONDITIONS
Currently the site is cleared and minor grading has been done in the past. The site was used as a staging yard during construction of Sun Health Care - Phase IV. The site drains from east to west with an average slope 1.5%. At this time on offsite flows impact this site.

IV. PROPOSED HYDROLOGIC CONDITIONS
The proposed conditions for Sun Health Care Parking Lot near Jefferson Blvd. are shown on this basin map/final grading and drainage plan. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.
The parking lot area (2.98 ac) will generate 12.84 cfs under developed conditions and consist of approximately 75% D land treatment. The site has been divided into 4 sub basins. Each sub basin has been assigned appropriate land treatments corresponding to its location within the site. The revised Journal Center Drainage Management Plan dated Dec. 1992 shows the site in basin E-1. The allowable discharge from this site is 3.74 cfs/ac (3.74 cfs/ac x 2.98 ac = 11.14 cfs) total allowable discharge. A copy of the Journal Center Master Plan is attached.
Currently flows from proposed basin A4 flow directly into Jefferson Blvd. Basin A4 (1.83 cfs) will continue in this manner during developed conditions.
Flows from basin A3 (1.29 cfs) are conveyed on the surface to the drive openings to the north and discharged to the driveway and on to Jefferson Blvd.
Flows from basin A2 (2.41 cfs) are conveyed on the surface and by curb and gutter to a concrete runoff located in the northwest corner of the proposed parking lot. Flows discharge to the driveway and on to Jefferson Blvd.
Flows from basin A1 (7.30 cfs) are conveyed on the surface and by curb and gutter to a drop inlet located in an "island" near the southwest corner of the proposed parking lot. This area is a depression in order to create a detention pond which will allow for the appropriate discharge of 5.67 cfs. The discharge is controlled by the slope of the 12" sd pipe and discharges to Jefferson through a sidewalk culvert.
The allowable discharge for this basin was calculated as follows:
Total Allowable Discharge = 11.14 cfs
Basins A2, A3 & A4 total free discharge = 11.14 - 5.53 = 5.61
The required detention pond volume was calculated using the simplified hydrograph method provided in section 22.2 of the DPM. The calculations are provided on this sheet.
The detention pond volume provided = 6300cf (surface area) x 0.33 (avg. depth) = 2100cf

V. CONCLUSION
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal we are requesting conceptual grading and drainage plan approval.

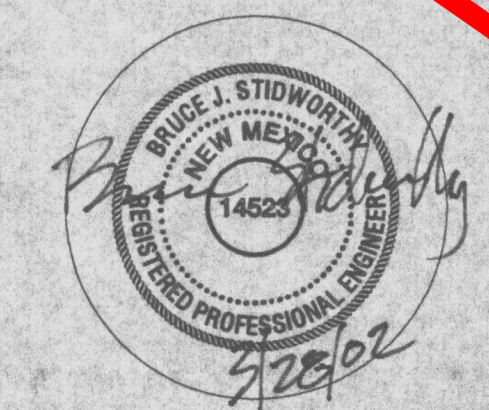
NOT A PART

Bohannon + Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



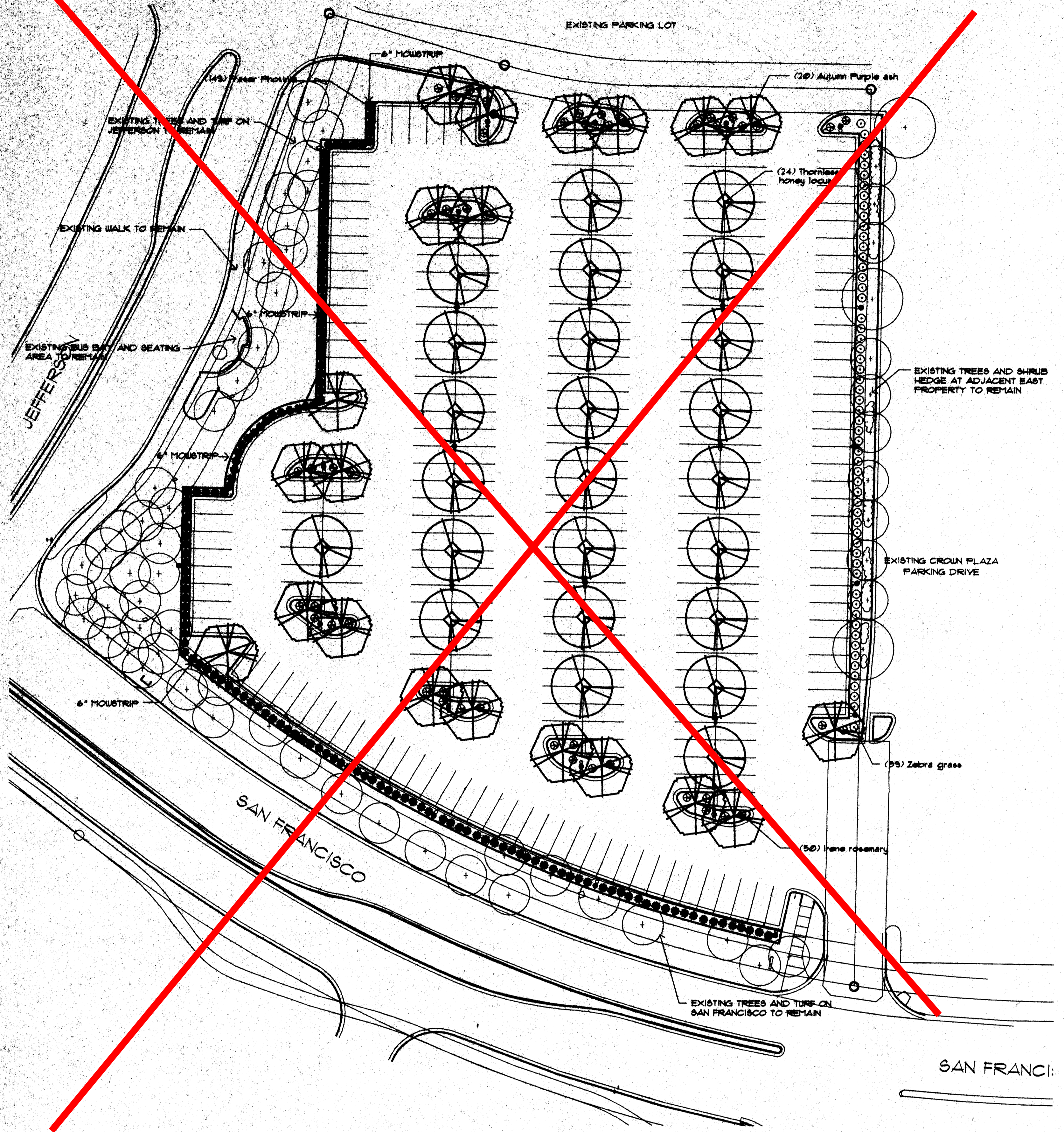
FANNING BARD TATUM
 ARCHITECTS AIA
 6100 Indisa School Rd. NE ALBUQUERQUE NM 87110
 505-883-5200 PHONE
 505-884-5390 FAX/EMAIL

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO
 Sheet Title: CONCEPTUAL GRADING & DRAINAGE PLAN - JEFFERSON
 Date: March 2002

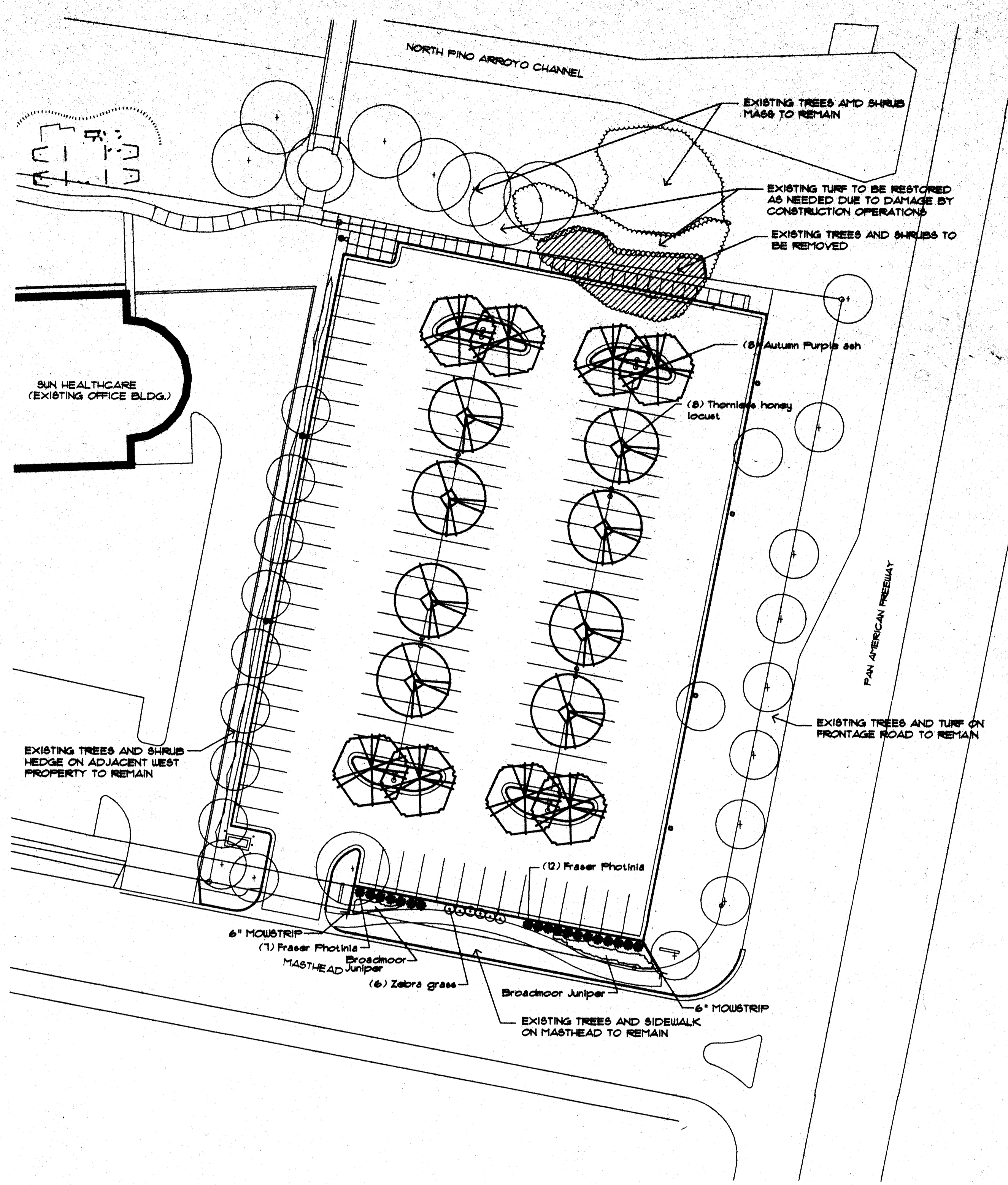


Sheet: DPB-5
 5 of 8

NOT A PART



NORTHWEST PARKING AREA



SOUTHEAST PARKING AREA

LANDSCAPING NOTES

- LANDSCAPE REQUIREMENTS
 NORTHWEST PARKING AREA
 NET LOT AREA = 130,000 SF
 TOTAL LANDSCAPED AREA REQUIRED = 19,500 SF (15% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED = 32,000 SF
 SOUTHEAST PARKING AREA
 NET LOT AREA = 98,000 SF
 TOTAL LANDSCAPED AREA REQUIRED = 8,100 SF (8% OF NET LOT AREA)
 TOTAL LANDSCAPE AREA PROVIDED = 15,000 SF
- LANDSCAPE IRRIGATION
 AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED. TURF, SPRAY IRRIGATION, TREES AND SHRUBS: SUBSIDER IRRIGATION.
- LANDSCAPE MAINTENANCE
 THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.
- A 4" DEPTH OF MULCH SHALL BE INSTALLED AT ALL SHRUB BEDS.
- EXISTING LANDSCAPING DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION OPERATIONS. DAMAGED MATERIAL SHALL BE REPLACED IN KIND.

PLANT LIST

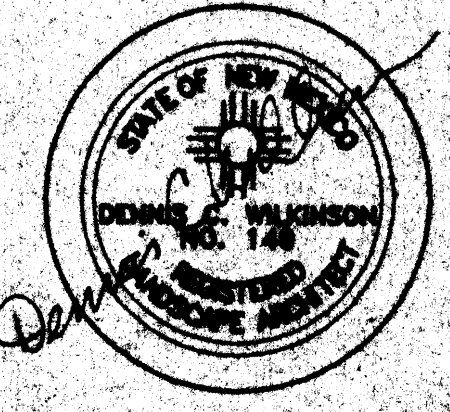
COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE INSTALLED
TREES			
Autumn Purple Ash	<i>Fraxinus americana</i> 'Autumn Purple'	28	2 1/2" cal.
Honey Locust	<i>Gleditsia triacanthos</i> 'inermis'	32	2 1/2" cal.
SHRUBS			
Broadmoor Juniper	<i>Juniperus sabina</i>	10	5 gal.
Fraser Photinia	<i>Photinia fraseri</i>	168	5 gal.
Irish Rosemary	<i>Rosmarinus officinalis</i> 'Irish'	50	5 gal.
ORNAMENTAL GRASSES			
Zebra Grass	<i>Miscanthus sinensis</i> 'Zebrinus'	60	5 gal.

MORROW BRADON WELDON, LTD.
 LANDSCAPE ARCHITECTS
 115 N. 1st St., Albuquerque, NM 87102
 505.885.5200 FAX 505.885.5207
 mrv@mrvnm.com

FANNING BARD TATUM

ARCHITECTS & ID
 6100 Indian School Rd. NE Albuquerque, NM 87110
 505-885-5200 phone
 505-884-5590 fax

Project	SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING 161 SUN AVE NE ALBUQUERQUE, NEW MEXICO
Sheet Title	LANDSCAPE PLAN



Sheet
 DRB-G
 6 of 8






PR-2021-006237_SI-2021-01915_Site_Plan_Amendment_Approved_12-15-21_Sheet_1

Final Audit Report

2021-12-17

Created:	2021-12-16
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAawf4MudWf2nWrsUDt6soDTZF-BRSgmJB

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2021-12-16 - 10:05:42 PM GMT
-  Email viewed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)
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-  Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)
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