



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of S/W (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input checked="" type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**

Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER 2.9 Acres from the overall Master Plan.

**APPLICATION INFORMATION**

Applicant: SUN CENTER PARTNERS LLC		Phone: 505.346.0023
Address: 100 SUN AVE NE SUITE 210		Email: sgoodman@goodmanrealty.com
City: ALBUQUERQUE	State: NM	Zip: 87109
Professional/Agent (if any): Modulus Architects & Land Use Planning, Inc.		Phone: (505) 338.1499
Address: 100 Sun Ave NE, Suite 600		Email: awilliamson@modulusarchitects.com
City: Albuquerque	State: New Mexico	Zip: 87109
Proprietary Interest in Site: Agent	List all owners: SUN CENTER PARTNERS LLC	

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: TRACT 2A-2B3	Block:	Unit:
Subdivision/Addition: JOURNAL CENTER	MRGCD Map No.:	UPC Code: 101706347329510522
Zone Atlas Page(s): D-17-Z	Existing Zoning: NR-BP	Proposed Zoning NR-BP
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 2.983

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 7700 JEFFERSON ST NE Between: San Francisco Dr. NE and: Jefferson St. NE

**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

DRB-96-389 - Project 1000359 (EPC Approved Plan in 1980).

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: <i>Regina Okoye</i>	Date: 11/12/2021
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting Date:	Fee Total:
Staff Signature:	Date:
	Project #

**FORM P2: SITE PLAN – DRB**

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD. PDF shall be organized with the Development Review Application and this Form P2 at the front followed by the remaining documents in the order provided on this form.

**SITE PLAN – DRB**

**MAJOR AMENDMENT TO SITE PLAN – DRB**

**EXTENSION OF SITE PLAN – DRB**

N/A Interpreter Needed for Hearing? \_\_\_\_ if yes, indicate language: \_\_\_\_\_

PDF of application as described above

Zone Atlas map with the entire site clearly outlined and labeled

Letter of authorization from the property owner if application is submitted by an agent

N/A Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) (not required for Extension)

Signed Traffic Impact Study (TIS) Form

N/A Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information (not required for Extension)

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(I)(3)

N/A Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*

Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) (not required for Extension)

Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C)(not required for extension)

Office of Neighborhood Coordination neighborhood meeting inquiry response

Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

Completed neighborhood meeting request form(s)

N/A If a meeting was requested or held, copy of sign-in sheet and meeting notes

Sign Posting Agreement

Required notices with content per IDO Section 14-16-6-4(K)(1) (not required for extension)

Office of Neighborhood Coordination notice inquiry response

Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.

Proof of emailed notice to affected Neighborhood Association representatives

Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing

N/A Completed Site Plan Checklist

Site Plan and related drawings

Copy of the original approved Site Plan or Master Development Plan (for amendments and extensions)


Site Plan and related drawings

N/A Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)

N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units

N/A Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2).(d.) if site is within a designated landfill buffer zone

N/A Infrastructure List, if required

<b>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting, if required, or otherwise processed until it is complete.</b>	
Signature: <u>Regina Okoye</u>	Date: 11/12/2021
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Case Numbers:	Project Number:
Staff Signature:	
Date:	





City of Albuquerque  
Development Review Board  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

**RE: AGENT AUTHORIZATION NOTICE – 101 SUN AVE NE & 7700 JEFFERSON ST NE ALBUQUERQUE NM 87109**

To Whom It May Concern,

Sun Center Partners LLC., hereby authorizes Angela Williamson, CEO with Modulus Architects & Land Use Planning, Inc., to perform as the Agent of Record with the City of Albuquerque. This Agent Authorization is for the property located at 100 & 101 Sun Ave NE Albuquerque NM 87109 and legally described as:

TRACT 3A-1A-1B PLAT OF TRACTS 3A-1A-1A & 3A-1A-1B JOURNALCENTER CONT 5.2234 AC

TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER

This authorization is valid until further written notice from Sun Center Partners LLC. or Angela Williamson, CEO with Modulus Architects & Land Use Planning, Inc. (Agent). Please direct all correspondence and communication to our Agent for the purpose of this request to the Development Review Board (DRB).

Sincerely,

*Scott Goodman*

Sun Center Partners LLC.

100 SUN AVE NE SUITE 210 ALBUQUERQUE NM 87109-4659



# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** \_\_\_\_\_

Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_

Zone Atlas Page: \_\_\_\_\_ DRB#: 1000389 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER

Development Street Address: 7700 JEFFERSON ST NE SUITE 210 ALBUQUERQUE NM 87109-4659

**Applicant:** Modulus Architects Contact: Regina Okoye

Address: 100 Sun Ave Suite 600, Albuquerque NM 87109

Phone#: 505-338-1499 Fax#: \_\_\_\_\_

E-mail: rokoye@modulusarchitects.com

### Development Information

Build out/Implementation Year: 2021 Current/Proposed Zoning: NR-BP/NR-BP

Project Type: New: ( ) Change of Use: ( ) Same Use/Unchanged: () Same Use/Increased Activity: ( )

Proposed Use (mark all that apply): Residential: ( ) Office: ( ) Retail: ( ) Mixed-Use: ( )

Describe development and Uses:

Remove the parcel designated for parking from the overall DRB Approved Site Plan. We will not cause a deficiency in parking because the requirements have changed. The site is currently fully developed as a business park.

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): Developed as a Parking Lot with 314 spaces and 5 compact spaces

Number of Residential Units: N/A

Number of Commercial Units: N/A

### Traffic Considerations

ITE Trip Generation Land Use Code 750

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* \_\_\_\_\_

Driveway(s) Located on: Street Name San Francisco DR, Jefferson St

Adjacent Roadway(s) Posted Speed: Street Name **San Francisco DR** Posted Speed **30 MPH**  
Street Name **Jefferson St** Posted Speed **35 MPH**

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required*

**Roadway Information (adjacent to site)**

**San Francisco DR urban local**  
**Jefferson St - urban minor arterial**

Comprehensive Plan Corridor Designation/Functional Classification: Jefferson St - urban minor arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: None  
(urban center, employment center, activity center)

Jurisdiction of roadway (NMDOT, City, County): City

Adjacent Roadway(s) Traffic Volume: Jefferson - 17800, San Francisco 1000 Volume-to-Capacity Ratio (v/c): \_\_\_\_\_  
(if applicable)

Adjacent Transit Service(s): Bus Route - 140, 251, 551 Nearest Transit Stop(s): Bus Stop Route 140, 251, 551

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: Name: San Francisco Dr. NE Name: Jefferson St. NE  
(bike lanes, trails) Type: (Proposed) Bike Route Type: (Proposed) Bike Lane

Current/Proposed Sidewalk Infrastructure: Existing along Jefferson

**Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: <https://abc-zone.com/document/abc-comp-plan-chapter-5-land-use> (map after Page 5-5)

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

**TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No [  ]

Thresholds Met? Yes [ ] No [  ]

Mitigating Reasons for Not Requiring TIS: \_\_\_\_\_ Previously Studied: [ ]

Notes:

*M.P. P.E.*

10/25/2021

TRAFFIC ENGINEER

DATE

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### **Submittal**

The Scoping Form must be submitted as part of any building permit application, DRB application, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
4. Location of nearby multi-use trails, if applicable ([check MRCOG Bikeways and Trails in the 2040 MTP map](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.





Ms. Jolene Wolfley, DRB Chair  
Development Review Board  
City of Albuquerque  
600 Second Street NW  
Albuquerque, NM. 87102

November 12, 2021

**RE: MAJOR AMENDMENT TO CONTROLLING SITE PLAN TO REMOVE TRACT 2A-2B3.**

**DRB REQUEST AFFECTS ONLY TRACT 2A-2B3 (2.983 ACRES), - 7700 JEFFERSON ST NE ALBUQUERQUE NM 87109.**

Dear Mr. Chairman,

Modulus Architects, Inc., hereafter referred to as “Agent” represents Sun Center Partners LLC., hereafter referred to as “Applicant”. The site is located at 7700 Jefferson ST NE (the “subject site”). The overall Site Plan includes 5141 Masthead ST NE (TR 4AA-3B) and 101 Sun Ave NE (TRACT 3A-1A-1B) (not a part of this request). This request will only be dealing with the north half of the overall approved “Campus Site Plan”. The subject site involved in this request is approximately 2.983 acres and known as TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER). The overall site is zoned Non-residential –Business Park (NR-BP) and the subject site is currently developed as a parking lot.



The purpose of this request is to amend the current Site Plan to remove Tract 2A-2B3. As a result, the subject site will follow the Integrated Development Ordinance (IDO). This request includes the requirement to return to the Development Review Board (DRB) for site plan approval. This letter is to provide background and justification of the review and decision criteria for the proposed Major Amendment to the DRB.

The request includes removing the parcel from the overall approved DRB Site Plan and replacing it with the Integrated Development Ordinance as adopted and amended. The IDO was adopted by the City Council through Ordinance 2017-49 (O-17-49) in November 2017. Council also adopted two sets of 6-month amendments. The IDO became effective on May 17, 2018. The adoption of the IDO replaced the City's Zoning Code, Subdivision Ordinance and Sector Development plans. There are no specific uses being proposed at this time. This will allow flexibility for future developments while still abiding by the IDO allowable uses (Table 4-2-1) for the NR-BP zone district.

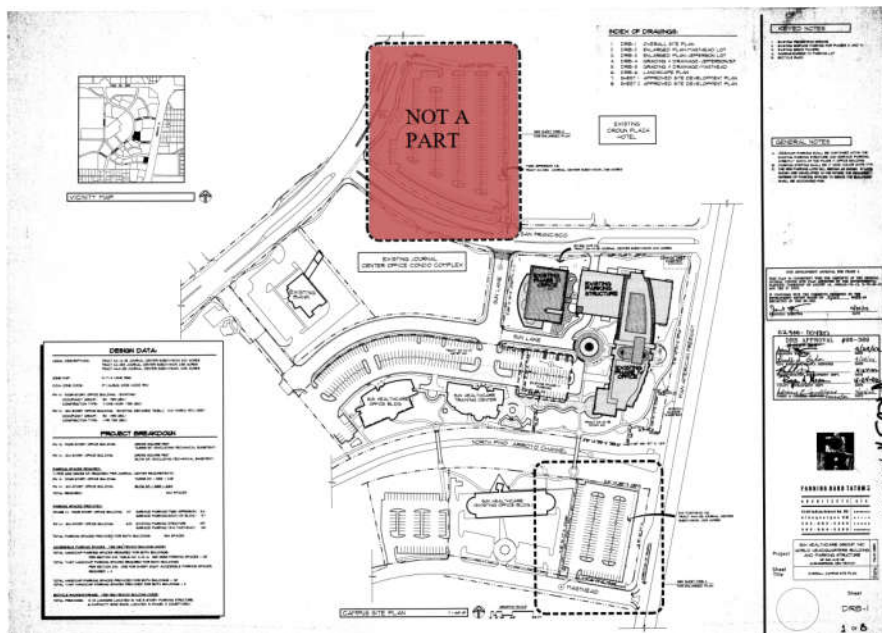
The site has developed as intended. The site is currently a parking lot. Pursuant to IDO, prior approvals remain valid. The request exceeds the thresholds for a Minor Amendment and therefore is being considered pursuant to Section 14-16-6-4(Z)(1)(b)1, which states that Major Amendments shall be reviewed and decided by the decision-making body that issued the approval being amended. In this case, the DRB approved the existing site plan for the subject site prior to the effective date of the IDO.

The North Valley Coalition, District 4 Coalition of Neighborhood Associations, and Alameda North Valley Association were notified along with property owners as required. There was no meetings requested on behalf of the neighborhood associations.

## **BACKGROUND**

In April 2002, the DRB approved a Campus Site Plan (Project #1000389) for TRACT 3A-1A-1B JOURNAL CENTER SUBDIVISION, 5.22 ACRES; TRACT 2A-2B3 JOURNAL CENTER SUBDIVISION, 2.98 ACRES (Subject Site); TRACT 4AA-3B JOURNAL CENTER SUBDIVISION, 1.33 ACRES. This project developed as intended but the subject site parking has been underutilized.

Figure 1: Existing Controlling Site Plan (subject site will get removed with approval of this request)





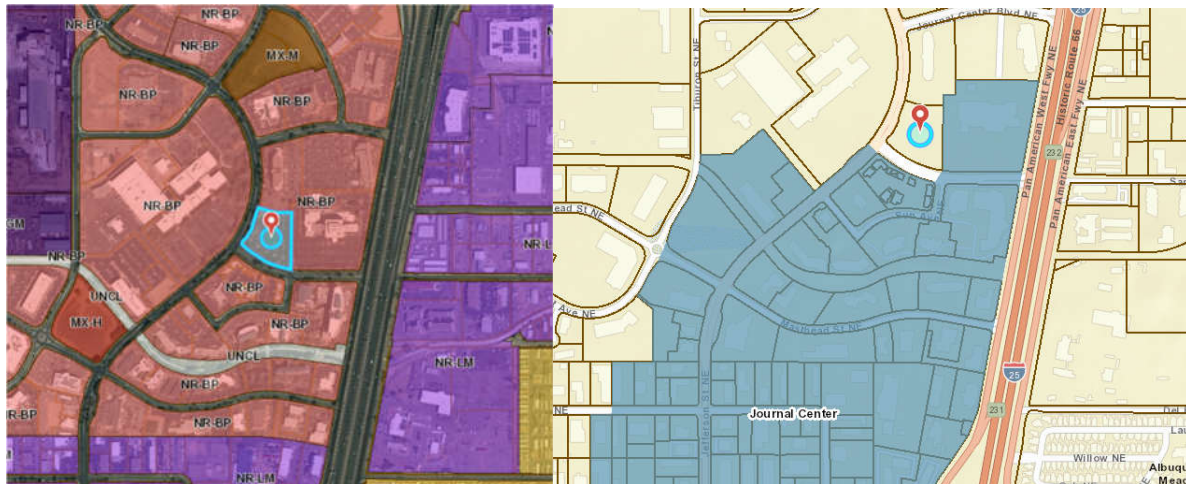
## PROPOSED AMENDMENT

Our request is for a Major Amendment of an existing Site Plan, which was approved prior to the effective date of the IDO, in 2002. The purpose of this Major Amendment is to remove tract 2A-2B3 from the approved Site Plan (Project #1000389). As a result, subject site will follow the IDO. This request does not include the other developed lots that are a part of the Site Plan. The developed lots not a part of our application is as followed: 3A-1A-1B and 4AA-3B (they remain a part of the Site Plan). This proposal includes approximately 2.98 acres out of the overall 9.5 acres. If approved, tract 2A-2B3 will be its own new parcel independent any Site Plan. The request will remove all prior approvals.

After the IDO was adopted, all parcels within the Site Plan amendment area were zoned NR-BP. This zone follows in line with the original intent of IP (Industrial Park). The NR-BP standards are appropriate for the subject site and the location and would be in line with the historic zoning. Additionally, continuous development of this subject site must still go through a review with the City of Albuquerque to ensure compliance and adherence to the standards of the IDO as well as the DPM.

## ZONING

The subject site was formerly zoned IP (Albuquerque Zone Code 1991). The required parking for this center at the time of approval prior to the IDO was 1 per 300 Gross SF required per Journal Center requirements. Overall the approved site plan required 844 spaces and 994 were provided. When the IDO became effective in 2018, the subject site was then zoned NR-BP. Pursuant to IDO Table 2-2-1: Summary Table of Zone Districts, IP converted to NR-BP. The site plan is within the Journal Center Employment Center. The subject site does not fall within the employment center. The subject site is along a Premium Transit Corridor (Jefferson St) and within an area of change.



The purpose of the NR-BP zone district is “The purpose of the NR-BP zone district is to accommodate a wide range of non-residential uses in campus-like settings to buffer potential impacts on surrounding uses and adjacent areas. Allowable uses include a wide variety of office, commercial, research, light industrial, distribution, showroom, processing, and institutional uses”.

The standards put in place at the time of the prior approvals have changed since the IDO was put in place. Pursuant to IDO Table 5-5-1: Minimum off Street Parking Requirements, the required parking for office buildings are 3.5 spaces /1,000 sf

Below is a comparison of the parking requirements for the original approvals compared to the IDO requirements to show that we will not be causing a deficiency in parking by removing TRACT 2A-2B3 from the Site Plan.

Table 1: Existing Parking Calculations:

<b>SUN HEALTH CAMPUS DESIGN DATA   PARKING CRITERION PROJECT NO. 02400-00480 / DRB #96-389</b>			
<b>LEGAL DESCRIPTION:</b>	TRACT 3A-1A-1B JOURNAL CENTER SUBDIVISION, 5.22 ACRES TRACT 2A-2B3 JOURNAL CENTER SUBDIVISION, 2.98 ACRES TRACT 4AA-3B JOURNAL CENTER SUBDIVISION, 1.33 ACRES		
<b>ZONE MAP:</b>	D-14-Z		
<b>COA ZONE CODE:</b>	NR-BP (BUSINESS PARK) (IP) PRIOR TO IDO		
<b>COMPREHENSIVE PLAN CENTER:</b>	JOURNAL CENTER		
<b>COMPREHENSIVE PLAN CENTER TYPE:</b>	EMPLOYMENT		
<b>COMMUNITY PLANNING AREA:</b>	NORTH I-25		
<b>CITY DEVELOPMENT AREA:</b>	CHANGE		
<b>TRANSPORTATION:</b>	BUS STOP ROUTE 140, 251, 551 (NB) BUS STOP ROUTE 140, 251, 551 (SB)		
<b>BIKE LANE:</b>	JEFFERSON LANE, SAN FRANCISCO DRIVE		
<b>EXISTING STRUCTURE:</b>	FOUR-STORY OFFICE BUILDING/ OCCUPANCY GROUP B2 SIX-STORY OFFICE BUILDING/ OCCUPANCY GROUP B2		
<b>GROSS SQUARE FEET:</b>	FOUR-STORY OFFICE BUILDING	72,000 S.F.	
	SIX-STORY OFFICE BUILDING	181,276 S.F.	
<b>PARKING SPACES PROVIDED:</b>			
<b>FOUR-STORY OFFICE BUILDING</b>	57 PARKS PROVIDED (SOUTH OF THE BUILDING)		57
	<b>314 PARKS PROVIDED (REMOVED WITH THIS REQUEST)</b> (SURFACE PARKING AT 7700 JEFFERSON)		
<b>SIX-STORY OFFICE BUILDING:</b>	PARKING STRUCTURE		497
	SURFACE PARKING		126
<b>TOTAL PARKING PROVIDED WITH THIS AMENDMENT REQUEST:</b>			<b>680</b>
<b>PARKING SPACES REQUIRED:</b>	(1 PER 300 S.F. PER JOURNAL CENTER REQUIREMENTS) (3.5 SPACES / 1,000 SQ. FT. GFA PER IDO)		
<b>FOUR-STORY OFFICE BUILDING:</b>	72,000 S.F. / 300		240
SIX-STORY OFFICE BUILDING	181,276 S.F. / 300		604
<b>TOTAL PARKING REQUIRED:</b>			844
<b>PARKING REDUCTIONS:</b>	5-(5)(5)(a) 20% REDUCTION FOR EMPLOYMENT CENTER IN DESIGNATED AREA OF CHANGE (COMP)		<b>-169</b>
<b>TOTAL PARKING REQUIRED:</b>			<b>675</b>

Per the parking table above this request will remove 314 spaces from the overall approved Site Plan. This request will not cause a deficiency in the parking for the oval uses. The total parking provided after this amendment is 680 spaces and there are 675 required. We are over the required parking spaces needed.

This request follow all the Criterion ins 14-16-6-6(I)(3). By removing the subject site from the approved Site Plan it will follow all provisions of the IDO, DPM, and other adopted City regulations. We are not proposing any uses at this time, as a result this request will not have any burdens on the existing infrastructure put in place.

### **CONCLUSION**

The request is for a Major Amendment to remove tract 2A-2B3 from the approved Site Plan (Project #1000389). As a result, there will be no controlling site plan tied to the subject property and will follow the IDO. The overall site is 9.5 acres and the subject site is approximately 2.98 acres.

Future development on the subject site under the NR-BP zone would be subject to IDO requirements including Neighborhood Edges (14-16-5-9), the dimensional standards (Table 5-1-3), buffer landscaping (14-16-5-6), and building design standards (14-16-5-11). These would help ensure appropriate scale and location of development and character of building design. These Use Standards include precautionary measures such as distance requirements, size restrictions, design standards, screening requirements, and various other measures. Additionally, development of this subject site must still go through a review with the City of Albuquerque to ensure compliance with the standards of the IDO as well as the DPM.

We respectfully request the DRB approval of this Major Amendment to the existing approved Site Plan. Future development of the site with be consistent with the intent of the IDO which was to provide consistent standards and simplify the review & approval process of enforcing these standards.

Sincerely,

Angela M. Williamson, CEO/Principal (Agent)  
Modulus Architects & Land Use Planning, Inc.  
100 Sun Ave NE, Suite 600  
Albuquerque, New Mexico 87109  
Office: 505.338.1499 ext. 1000  
Cell: 505.999.8016  
Email: [awilliamson@modulusarchitects.com](mailto:awilliamson@modulusarchitects.com)



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-057 Date: 4/30/21 Time: N/A (sent via email to [awilliamson@modulusarchitects.com](mailto:awilliamson@modulusarchitects.com))

Address: 100 Sun AVE NE

### AGENCY REPRESENTATIVES

Planning: Linda Rumpf ([lrumpf@cabq.gov](mailto:lrumpf@cabq.gov))

Zoning/Code Enforcement: Carl Garcia ([cagarcia@cabq.gov](mailto:cagarcia@cabq.gov))

Fire Marshal: Antonio Chinchilla ([achinchilla@cabq.gov](mailto:achinchilla@cabq.gov)) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger ([jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov))

Hydrology: Ernest Armijo, P.E. ([earmijo@cabq.gov](mailto:earmijo@cabq.gov))

Solid Waste: Herman Gallegos ([hgallegos@cabq.gov](mailto:hgallegos@cabq.gov))

Water Authority: David Gutierrez - [dggutierrez@abcwua.org](mailto:dggutierrez@abcwua.org) or call 505.289.3307; 505.241.9630

### **PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!**

*THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.*

*Additional research may be necessary to determine the exact type of application and/or process needed.  
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

### REQUEST:

**AMEND THE APPROVED SITE PLAN TO REMOVE THE LOT TO THE NORTH AT 7700 JEFFERSON THAT WAS APPROVED WITH THE ORIGINAL APPROVAL FOR SURFACE PARKING.**

### SITE INFORMATION:

Zone: NR-BP

Size: 8.1 acres

Use: Office

Overlay zone: x

Comp Plan Area of: Change

Comp Plan Corridor: x

Comp Plan Center: Journal Center/Employment

MPOS or Sensitive Lands: x

Parking: 5-5

MR Area: x

Landscaping: 5-6

Street Trees: 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: Table 5-1-3: Non-residential Zone District Dimensional Standards

\*Neighborhood Organization/s: xxx

*\*This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at [www.cabq.gov/neighborhoods.resources](http://www.cabq.gov/neighborhoods.resources).*

### PROCESS:

Type of Action: 6-4(Z) Amendments of Pre-IDO Approvals

Review and Approval Body: EPC Is this a PRT requirement? YES

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-057 Date: 4/30/21 Time: N/A (sent via email)

Address: 100 Sun AVE NE

### **NOTES:**

See the **Integrated Development Ordinance**

<http://documents.cabq.gov/planning/IDO/IDO-Effective-2018-05-17.pdf>

### **Download Forms & Applications**

<https://www.cabq.gov/planning/online-forms>

### **New Public Notice Forms**

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings. Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

### **Records requests**

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

### **Requests to Inspect Public Records**

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

- Linda Rumpf, [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)

### **File Submittal**

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov) and/or to Maggie Gould at [mgould@cabq.gov](mailto:mgould@cabq.gov).

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

### **Your Questions**

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-057 Date: 4/30/21 Time: N/A (sent via email)

Address: 100 Sun AVE NE

### QUESTIONS OR CONCERNS (Please be specific so that our staff can do the appropriate research)

THERE IS AN APPROVED SITE PLAN FOR THE SUN HEALTH CAMPUS PHASE III AND IV. AT THE TIME OF APPROVAL, THE PARKING LOT TO THE NORTH WAS INCLUDED FOR SURFACE PARKING. I WOULD LIKE

TO AMEND THIS PLAN AND REMOVE THAT PARKING FIELD FROM THE MASTER PLAN SO THAT PARCEL CAN BE SOLD AND DEVELOPED. I BELIEVE I WOULD NEED TO AMEND THE SITE PLAN PARKING REQUIREMENTS SO THAT PARCEL IS NOT NEEDED BUT I WOULD LIKE CONFIRMATION OF THE PATH FORWARD. IT IS MY ESTIMATE THAT WITH THE IDO PARKING REQUIREMENTS AND THE ABILITY TO TAKE A 20%

REDUCTION IN THE REQUIRED PARKING BECAUSE THIS SITE IS A DESIGNATED AREA OF CHANGE AND

LOCATED IN AN EMPLOYMENT CENTER THAT I CAN SUFFICIENTLY JUSTIFY THIS REQUEST.

PLEASE ADVISE THE PATH FORWARD AND PROCESS TO DO THIS? ALSO, IF I AM JUST SHY OF THE REQUIRED PARKING (28 SPACES) WHAT WOULD BE THE PROCESS FOR A VARIANCE OR IS THIS PART OF THIS PART OF THE SITE PLAN AMENDMENT OR A VARIANCE?

Revised 10/4/2018  
C:\PRT\AMPH\REVISED\REVISED.DOCX

### Zoning Comments

POSSE Project Number: PR-2020-004127

Case Number: 1000389

Z-79-80

Address: 100 SUN AV NE

Apartment:

Lot: 3A1A1B Block: 0000

Subdivision: JOURNAL CENTER

Calculated GIS Acres: 5.2063

Master Development Plan

Name: JOURNAL CENTER

Case Number: Z-79-80

### PROCESS

6-4(Z) Amendments of Pre-IDO Approvals

DRB was the original approving body. The path forward will be 6-6(I) Site Plan – DRB.

Use this legal description for the site plan amendment request.

## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-057 Date: 4/30/21 Time: N/A (sent via email)

Address: 100 Sun AVE NE

Address: 7700 JEFFERSON ST NE  
Apartment:  
Lot: 2A2B3 Block: 0000  
Subdivision: JOURNAL CENTER  
Pin: ABQ26779

UPC: 101706347329510522  
Owner: SUN CENTER PARTNERS LLC  
Owner Address: 100 SUN AVE NE SUITE 210, ALBUQUERQUE NM  
87109-4659  
Situs Address: 7700 JEFFERSON ST NE, ALBUQUERQUE NM  
87109  
Legal Description: TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA &  
2A-2B2 JOURNAL CENTER  
Deeded Assessed Acres: 2.983  
Calculated GIS Acres: 3.0007  
Tax Year: 2021

A variance is not required.

*As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.*

### Transportation Development Comments

For additional information contact Jeanne Wolfenbarger (924-3991)

### General comments below:

#### Curb Cuts

- Follow DPM guidelines commercial curb cuts.
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

#### Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

#### Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.



## PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-057 Date: 4/30/21 Time: N/A (sent via email)

Address: 100 Sun AVE NE

- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Demonstrate queuing capacity when needed in situations such as for drive-thru facilities. It is imperative to demonstrate that the queuing will not block accessways to the site or cause vehicles to back into the main roadway. Also, provide necessary one-way signage and pavement markings.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

### Traffic Studies and Traffic Signals

- 1. See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.**

### Platting and Public Infrastructure Requirements for Roadways

1. When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
2. All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.
3. Curb and sidewalk are required along entire frontage of property. Follow IDO/DPM for specific width requirements.
4. For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
5. Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
6. Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

*If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Linda Rumpf at [lrumpf@cabq.gov](mailto:lrumpf@cabq.gov)*

**From:** [Carmona, Dalaina L.](#)  
**To:** [Ashlea Stewart](#)  
**Subject:** 100 SUN AVE NE Public Notice Inquiry  
**Date:** Monday, August 23, 2021 2:31:07 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image006.png](#)  
[D-17-7.PDF](#)

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Peggy	Norton	peggynorton@yahoo.com	P.O. Box 70232	Albuquerque	NM	87197	5058509293	5053459567
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW	Albuquerque	NM	87104	5052490938	5053441364
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE	Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffee	mgriffee@noeste.org	PO Box 90986	Albuquerque	NM	87199	5052800082	

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<https://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department

1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [mailto:[webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org)] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Monday, August 23, 2021 11:28 AM

**To:** Office of Neighborhood Coordination <[astewart@modulusarchitects.com](mailto:astewart@modulusarchitects.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:  
Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Ashlea Stewart

Telephone Number

5053381499

Email Address

[astewart@modulusarchitects.com](mailto:astewart@modulusarchitects.com)

Company Name

Modulus Architects Inc.

Company Address

100 SUN AVE NE, Suite 600

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

Legal Description: TRACT 3A-1A-1B PLAT OF TRACTS 3A-1A-1A & 3A-1A-1B JOURNALCENTER CONT 5.2234 AC

UPC: 101706352024440510

Owner: SUN CENTER PARTNERS LLC

Physical address of subject site:

100 SUN AVE NE

Subject site cross streets:

San Francisco and Interstate 25 Frontage

Other subject site identifiers:

This site is located on the following zone atlas page:

D-17-Z

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: September 24, 2021\_\_\_\_\_

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: North Valley Coalition, District 4 Coalition of Neighborhood Associations

Name of NA Representative\*: Peggy Norton, Doyle Kimbrough, Daniel Regan, Mildred Griffiee

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: peggynorton@yahoo.com; newmexmba@aol.com; dlregan abq@gmail.com; mgriffiee@noreste.org

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Yes

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

TBD - All Neighborhood Associations have 15 calendar days from the date of this offer letter (09/24/21), in which to respond. Once we are notified that you would like a meeting, a meeting must be scheduled for a date within 30 calendar days but no fewer than 15 calendar days after the Neighborhood Association accepts the meeting request, unless an earlier date is agreed upon.

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 100 Sun Ave NE, Albuquerque, NM 87109  
Location Description Journal Center Building - 100 Sun Ave/San Francisco
2. Property Owner\* Sun Center Partners LLC
3. Agent/Applicant\* [if applicable] Modulus Architects & Land Use Planning Inc./Sun Center Partners LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER 2.9 Acres from the overall Master Plan.

The IDO standards have changed for parking requirements and we will not be causing a deficiency in parking spots.

5. This type of application will be decided by\*:  City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
- Landmarks Commission (LC)  Environmental Planning Commission (EPC)
- City Council

6. Where more information about the project can be found\*<sup>4</sup>:

Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project\*:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:

N/A

4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1\\*](#):  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

- 1. From the IDO Zoning Map<sup>6</sup>:
    - a. Area of Property [typically in acres] 5.2234 acres
    - b. IDO Zone District NR-BP
    - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
    - d. Center or Corridor Area [if applicable] Journal Center - Employment Center
  - 2. Current Land Use(s) [vacant, if none] Business Park
- 

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition [Other Neighborhood Associations, if any]

District 4 Coalition of Neighborhood Associations

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: <b>Major Amendment to Site Plan - DRB</b>		
Decision-making Body: <b>DRB</b>		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: <b>100 Sun Ave NE, Albuquerque, NM 87109</b>		
Name of property owner: <b>Sun Center Partners LLC</b>		
Name of applicant: <b>Sun Center Partners LLC</b>		
Date, time, and place of public meeting or hearing, if applicable:		
<b>VIA Zoom on 12/1/2021 @ 9:00am</b>		
Address, phone number, or website for additional information:		
<b>Modulus Architects, Regina Okoye, 505-338.1499 EXT 1003</b>		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable.		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Regina Okoye (Applicant signature) 10/29/2021 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.





**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Regina Okoye**

---

**From:** Regina Okoye  
**Sent:** Friday, September 24, 2021 2:55 PM  
**To:** 'peggynorton@yahoo.com'; 'newmexmba@aol.com'; 'Dan Regan'; 'mgriffee@noreste.org'  
**Cc:** Angela Williamson  
**Subject:** Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque  
**Attachments:** D-17-Z.PDF; Site Plan.pdf; CABQ-Official\_public\_notice\_form-2019.pdf; Address Report — City of Albuquerque.pdf

<b>Tracking:</b>	<b>Recipient</b>	<b>Delivery</b>
	'peggynorton@yahoo.com'	
	'newmexmba@aol.com'	
	'Dan Regan'	
	'mgriffee@noreste.org'	
	Angela Williamson	Delivered: 9/24/2021 2:56 PM

**Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque**

Date of Request: September 24, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA): North Valley Coalition, District 4 Coalition of NA  
Name of NA Representative: Peggy Norton, Doyle Kimbrough, Daniel Regan, Mildred Griffiee  
Email Address or Mailing Address of NA Representative: [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com), [newmexmba@aol.com](mailto:newmexmba@aol.com), [dlreganabq@gmail.com](mailto:dlreganabq@gmail.com), [mgriffee@noreste.org](mailto:mgriffee@noreste.org)

**The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.**

Email address to respond yes or no: Yes

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above (09/24/2021), unless you agree to an earlier date.

**Meeting Date/Time/Location:** TBD – All Neighborhood Associations have 15 calendar days from the date of this offer letter (09/24/2021) in which to respond. Once we are notified that you would like a meeting, a meeting must be scheduled for a date within 30 calendar days but no fewer than 15 calendar days after the Neighborhood Association accepts the meeting request, unless an earlier date is agreed upon.

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address: 100 Sun Ave NE, Albuquerque, NM 87109  
Location Description: Journal Center Building - 100 Sun Ave/San Francisco
2. Property Owner: Sun Center Partners LLC
3. Agent/Applicant [if applicable]: Modulus Architects & Land Use Planning Inc./Sun Center Partners LLC
4. Application(s) Type per IDO Table 6-1-1 [mark all that apply]:

Conditional Use Approval  
Permit \_\_\_\_\_ (Carport or Wall/Fence - Major)  
**Site Plan**  
Subdivision Major: Preliminary Plat (Minor or Major)

Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)  
Variance  
Waiver  
Zoning Map Amendment  
Other: \_\_\_\_\_  
Summary of project/request:

Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER 2.9 Acres from the overall Master Plan. The IDO standards have changed for parking requirements and we will not be causing a deficiency in number of parking spots.

5. This type of application will be decided by:

City Staff

OR at a public meeting or hearing by:

Zoning Hearing Examiner (ZHE)

**Development Review Board (DRB)**

Landmarks Commission (LC)

Environmental Planning Commission (EPC)

City Council

6. Where more information about the project can be found:

Contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s): D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project: N/A  
Deviation(s)  
Variance(s)  
Waiver(s)  
Explanation: N/A
4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1: **X YES** NO
5. For Site Plan Applications only, attach site plan showing, at a minimum:
  - a. **Location of proposed buildings and landscape areas.**
  - b. **Access and circulation for vehicles and pedestrians.**
  - c. Maximum height of any proposed structures, with building elevations.
  - d. For residential development: Maximum number of proposed dwelling units.
  - e. For non-residential development
    - Total gross floor area of proposed project
    - Gross floor area for each proposed use

**Additional Information:**

1. From the IDO Zoning Map:
  - a. Area of Property [typically in acres]: 5.2234 acres
  - b. IDO Zone District Planned development: NR-BP
  - c. Overlay Zone(s): N/A

d. Center or Corridor Area: Journal Center - Employment Center

2. Current Land Use(s) [vacant, if none]: Business Park

**Useful Links**

**Integrated Development Ordinance (IDO)**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

cc: North Valley Coalition  
District 4 Coalition of NA

1 Pursuant to IDO Subsection 14-16-6-4{K}{1}{a}. email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

2 If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

3 Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information or discussion of concerns and opportunities.

4 Address (mailing or email), phone number, or website to be provided by the applicant

5 Available online here: <http://data.cabq.gov/business/zoneatlas/>

6 Available here: <https://tinurl.com/idozoningmap>

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER**

**MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600

Albuquerque, NM 87109

Office 505.338.1499 (Ext. 1003)

Mobile + Text 505.267.7686



**\*\*\*\*PLEASE NOTE THAT WE HAVE MOVED! OUR NEW ADDRESS IS: 100 SUN AVE. NE SUITE 600, ALB. NM, 87109\*\*\*\***

**Regina Okoye**

---

**From:** Regina Okoye  
**Sent:** Friday, October 29, 2021 2:29 PM  
**To:** 'mwr505@hotmail.com'; 'anvanews@aol.com'  
**Subject:** Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque  
**Attachments:** Site Plan.pdf; CABQ-Official\_public\_notice\_form-2019.pdf; Address Report — City of Albuquerque.pdf; D-17-Z.PDF

**Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque**

Date of Request: October 29, 2021

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA): Alameda North Valley Association  
Name of NA Representative: Mark Rupert, Steve Wentworth  
Email Address or Mailing Address of NA Representative: [anvanews@aol.com](mailto:anvanews@aol.com), [mwr505@hotmail.com](mailto:mwr505@hotmail.com)

**The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.**

Email address to respond yes or no: Yes

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above (10/29/2021), unless you agree to an earlier date.

**Meeting Date/Time/Location:** TBD – All Neighborhood Associations have 15 calendar days from the date of this offer letter (10/29/2021) in which to respond. Once we are notified that you would like a meeting, a meeting must be scheduled for a date within 30 calendar days but no fewer than 15 calendar days after the Neighborhood Association accepts the meeting request, unless an earlier date is agreed upon.

**Project Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

- 1. Subject Property Address: 100 Sun Ave NE, Albuquerque, NM 87109  
Location Description: Journal Center Building - 100 Sun Ave/San Francisco
- 2. Property Owner: Sun Center Partners LLC
- 3. Agent/Applicant [if applicable]: Modulus Architects & Land Use Planning Inc./Sun Center Partners LLC
- 4. Application(s) Type per IDO Table 6-1-1 [mark all that apply]:

Conditional Use Approval  
Permit \_\_\_\_\_ (Carport or Wall/Fence - Major)  
**Site Plan**  
Subdivision Major: Preliminary Plat (Minor or Major)  
Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)  
Variance  
Waiver  
Zoning Map Amendment  
Other: \_\_\_\_\_  
Summary of project/request:

**Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER 2.9 Acres from the overall Master Plan. The IDO standards have changed for parking requirements and we will not be causing a deficiency in number of parking spots.**

5. This type of application will be decided by:

City Staff

OR at a public meeting or hearing by:

Zoning Hearing Examiner (ZHE)

**Development Review Board (DRB)**

Landmarks Commission (LC)

Environmental Planning Commission (EPC)

City Council

6. Where more information about the project can be found:

Contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

**Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s): D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project: N/A  
Deviation(s)  
Variance(s)  
Waiver(s)  
Explanation: N/A
4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1: **X YES** NO
5. For Site Plan Applications only, attach site plan showing, at a minimum:
  - a. **Location of proposed buildings and landscape areas.**
  - b. **Access and circulation for vehicles and pedestrians.**
  - c. Maximum height of any proposed structures, with building elevations.
  - d. For residential development: Maximum number of proposed dwelling units.
  - e. For non-residential development
    - Total gross floor area of proposed project
    - Gross floor area for each proposed use

**Additional Information:**

1. From the IDO Zoning Map:
  - a. Area of Property [typically in acres]: 5.2234 acres
  - b. IDO Zone District Planned development: NR-BP
  - c. Overlay Zone(s): N/A
  - d. Center or Corridor Area: Journal Center - Employment Center
2. Current Land Use(s) [vacant, if none]: Business Park

**Useful Links**

**Integrated Development Ordinance (IDO)**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

cc: Alameda North Valley Association

1 Pursuant to IDO Subsection 14-16-6-4{K}{1}{a}. email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

2 If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

3 Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information or discussion of concerns and opportunities.

4 Address (mailing or email), phone number, or website to be provided by the applicant

5 Available online here: <http://data.cabq.gov/business/zoneatlas/>

6 Available here: <https://tinurl.com/idozoningmap>

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER**

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Mobile + Text 505.267.7686



**\*\*\*\*PLEASE NOTE THAT WE HAVE MOVED! OUR NEW ADDRESS IS: 100 SUN AVE. NE SUITE 600, ALB. NM, 87109\*\*\*\***



\*Attached to all neighborhood/public notices



**City Address: 7700 JEFFERSON ST NE**

**County Address: 7700 JEFFERSON ST NE**

10/25/2021

[www.cabq.gov/gis](http://www.cabq.gov/gis)

City of Albuquerque Property Report

---

Ownership Data from [Bernalillo County Assessor](#)

(County Assessor's data for tax year 2018)

**Owner Name:** SUN CENTER PARTNERS LLC

**Owner Address:** 100 SUN AVE NE SUITE 210, ALBUQUERQUE NM 87109-4659

**UPC:** 101706347329510522

**Tax Year:** 2018 **Tax District:** A1A

**Legal Description:** TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER

**Property Class:** V **Document Number:** 2018111718 122618 QC - EN

**Acres:** 3

City Zoning and Services

**IDO Zone District:** NR-BP

**IDO District Definition:** Business Park

**Old Zoning Designation:** IP

**Old Zoning Description:**

**Land Use:** 04 | Commercial Services

**Lot:** 2A2B3 **Block:** 0000 **Subdivision:** JOURNAL CENTER

**Police Beat:** 243 **Area Command:** VALLEY

**Jurisdiction:** ALBUQUERQUE

**Zone Atlas Page:** [D17](#) (opens in new window)

**City Neighborhood Association:** N/A

**Residential Trash Pickup:**

Political Districts

**City Council District:** [4 - Brook Bassan](#)

**County Commission District:** 1 - Debbie O'Malley

**NM House of Representatives:** Deborah A. Armstrong

**NM Senate:** Bill B. O'Neill

School Districts

**Elementary:** MISSION AVENUE

**Middle:** TAFT

**High School:** DEL NORTE

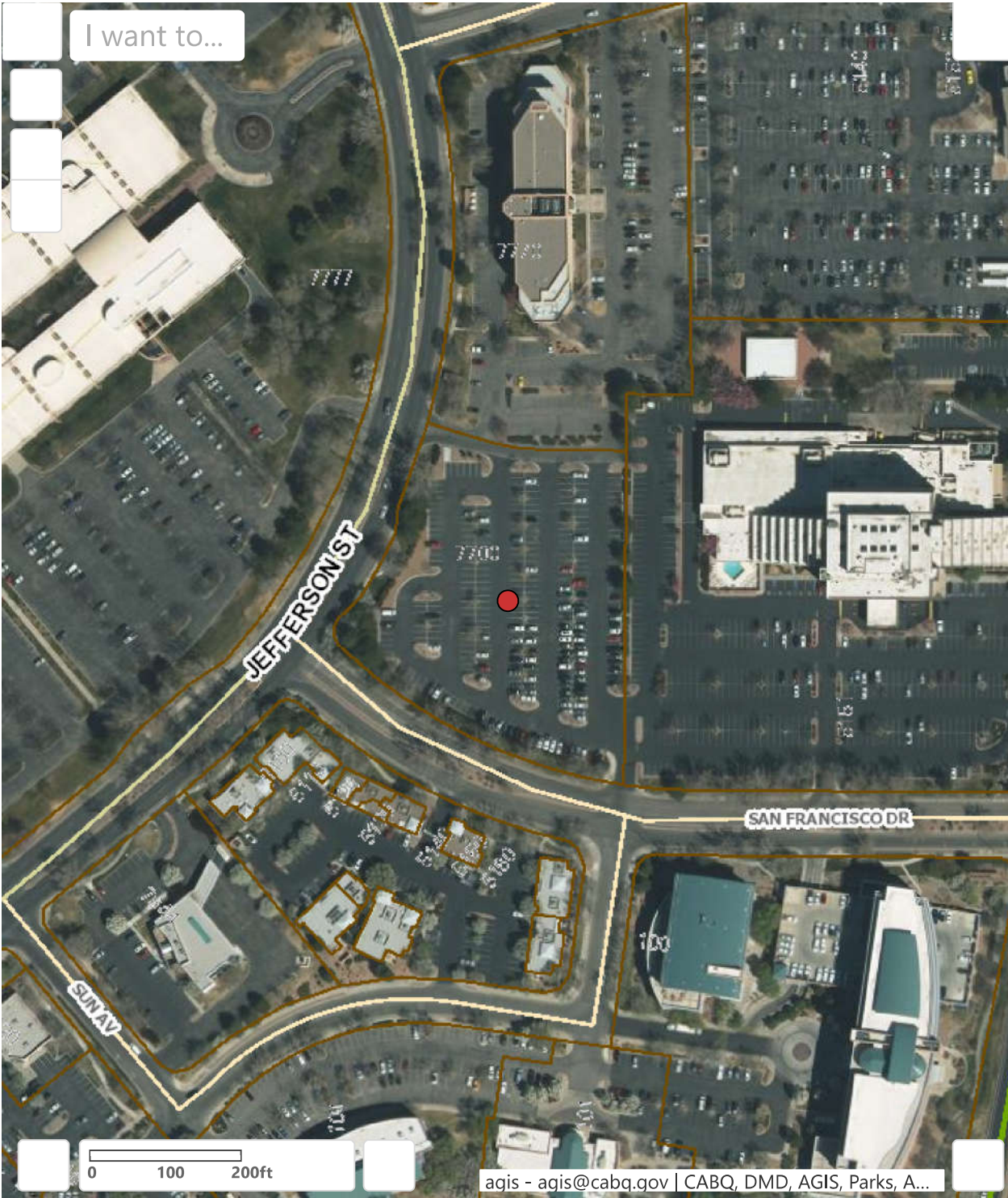
**FEMA Flood Zone:** X

For questions about floodplain information, please contact the COA Floodplain Manager at 924-3986 or email [ccherne@cabq.gov](mailto:ccherne@cabq.gov)

**Run another Search [here](#)**

This report was created by the GIS group of DTI. Please send comments to [GIS@cabq.gov](mailto:GIS@cabq.gov).  
Please wait while the map loads below...

I want to...





# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Regina Okoye  
(Applicant or Agent)

11/12/2021  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

**Regina Okoye**

---

**From:** Carmona, Dalaina L. <dlcarmona@cabq.gov>  
**Sent:** Tuesday, October 26, 2021 8:12 AM  
**To:** Regina Okoye  
**Subject:** 7700 JEFFERSON ST NE Public Notice Inquiry  
**Attachments:** D-17-Z.PDF

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Doyle	Kimbrough	newmexmba@aol.com	2327 Campbell Road NW		Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	peggnorton@yahoo.com	P.O. Box 70232		Albuquerque	NM	87197	5058509293	5053459567
District 4 Coalition of Neighborhood Associations	Daniel	Regan	dlreganabq@gmail.com	4109 Chama Street NE		Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffiee	mgriffiee@noreste.org	PO Box 90986		Albuquerque	NM	87199	5052800082	
Alameda North Valley Association	Steve	Wentworth	anvanews@aol.com	8919 Boe Lane NE		Albuquerque	NM	87113		5058973052
Alameda North Valley Association	Mark	Rupert	mwr505@hotmail.com	909 Tijeras Avenue NW	#214	Albuquerque	NM	87102		5052702462

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)  
Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

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**From:** webmaster=cabq.gov@mailgun.org [mailto:webmaster=cabq.gov@mailgun.org] **On Behalf Of** webmaster@cabq.gov

**Sent:** Monday, October 25, 2021 3:49 PM

**To:** Office of Neighborhood Coordination <ROKOYE@MODULUSARCHITECTS.COM>

**Cc:** Office of Neighborhood Coordination <onc@cabq.gov>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Development Review Board

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Contact Name

Regina Okoye

Telephone Number

15052677686

Email Address

[ROKOYE@MODULUSARCHITECTS.COM](mailto:ROKOYE@MODULUSARCHITECTS.COM)

Company Name

Modulus Architects

Company Address

100 Sun Ave NE Suite 600

City

Albuquerque

State

NM

ZIP

87109

Legal description of the subject site for this project:

TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER

TRACT 3A-1B-1 PLAT OF TRS 3A-2A, 3A-1A-1, 3A-1B-1 & 3A-1C-1 JOURNAL CENTER (AKA PLAZA NORTH AT JOURNAL CENTER CONDOMINIUMS) CONT 2.7347 AC



TR 3A-2A PLAT OF TRS 3A-2A, 3A-1A-1, 3A-1B-1 & 3A-1C-1 JOURNAL CENTER CONT 1.7388 AC M/L OR 75,742 SF M/L

TR 3A-1A-1A-1 CORRECTION PLAT OF TRACTS 3A-1A-1A-1 AND 3A-1A-1A-2 JOURNAL CENTER CONT 2.3625 AC

TR 3A-1A-1A-2 CORRECTION PLAT OF TRACTS 3A-1A-1A-1 AND 3A-1A-1A-2 JOURNAL CENTER CONT 1.3162 AC

TRACT 3A-1A-1B PLAT OF TRACTS 3A-1A-1A & 3A-1A-1B JOURNAL CENTER CONT 5.2234 AC

TR 4AA-3A-2A PLAT OF 4AA3A2A AND 4AA3A2B JOURNAL CENTER CONT 1.1796 AC M/L OR 51,383 SQ FTM/L

TR 4AA-3A-2B PLAT OF 4AA3A2A AND 4AA3A2B JOURNAL CENTER CONT 2.1000 AC M/L OR 91,476 SQ FTM/L

TR 4AA-3B REPL OF TR 4AA-3 JOURNAL CENTER CONT 58,166 SQ FTM/L

Physical address of subject site:

7700 JEFFERSON ST NE ALBUQUERQUE NM 87109

Subject site cross streets:

San Francisco DR and Jefferson St

Other subject site identifiers:

This site is located on the following zone atlas page:

D-17-Z



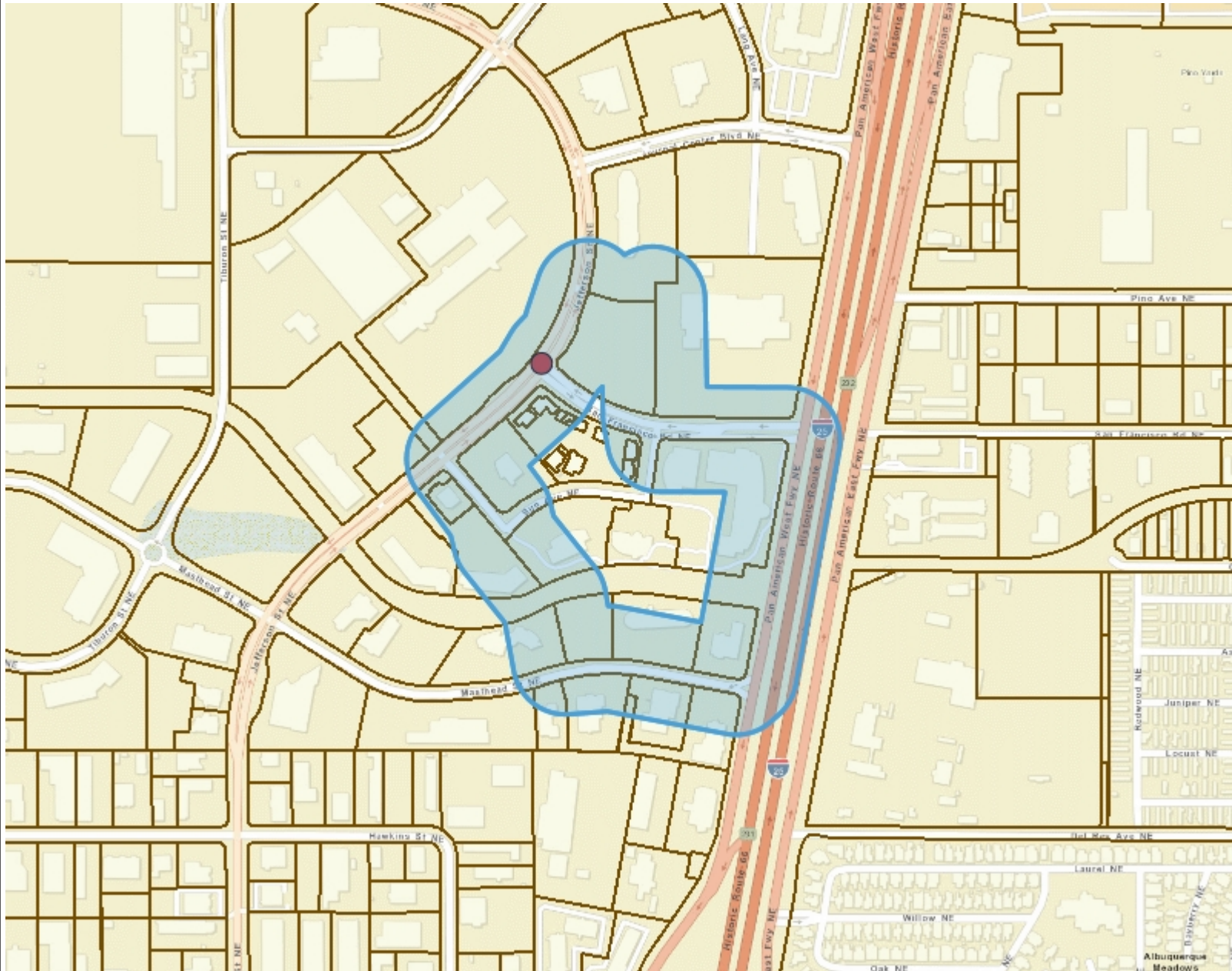


# Jefferson St NE & San Francisco RD NE



## Legend

□ Bernalillo County Parcels



## Notes

Buffer: 205 Ft.  
ROW Jefferson St: 105 Ft.

1,156 0 578 1,156 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
10/27/2021 © City of Albuquerque

1: 6,936

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

5120 MASTHEAD LLC  
5120 MASTHEAD ST NE  
ALBUQUERQUE NM 87109-4366

JOURNAL CENTER CORP C/O MICHAEL  
SMOCK  
PO DRAWER J  
ALBUQUERQUE NM 87103-1136

SUN CENTER PARTNERS LLC  
100 SUN AVE NE SUITE 210  
ALBUQUERQUE NM 87109-4659

JOURNAL PUBLISHING CO ETAL  
PO DRAWER J  
ALBUQUERQUE NM 87103

SUN CENTER PARTNERS LLC  
100 SUN AVE NE SUITE 210  
ALBUQUERQUE NM 87109-4659

JOURNAL CENTER CORP C/O MICHAEL  
SMOCK  
PO DRAWER J  
ALBUQUERQUE NM 87103-1136

HOSPITAL SERVICE CORPORATION  
PO BOX 92200  
ALBUQUERQUE NM 87199-2200

RCI PROPERTIES (JOURNAL CENTER)  
LLC  
5131 MASTHEAD ST NE  
ALBUQUERQUE NM 87109-4367

JOURNAL CENTER CORP CHAPMAN  
COMPANIES  
404 BRUNN SCHOOL RD BLDG A  
SANTA FE NM 87505

CONEJOS I LLC ATTN: KNIGHT SEAVEY  
6 CAMINO MEDIANOCH  
SANTA FE NM 87506-2127

RCI PROPERTIES (JOURNAL CENTER)  
LLC  
6133 EDITH BLVD NE  
ALBUQUERQUE NM 87107-5069

EXPLORE ACADEMY FOUNDATION  
5100 MASTHEAD ST NE  
ALBUQUERQUE NM 87109-4366

JCC-TWO LLC  
8220 LOUISIANA BLVD NE SUITE B  
ALBUQUERQUE NM 87113

BANK OF AMERICA ATTN: CORP REAL  
ESTATE ASSESSMENTS  
101 N TYRON ST  
CHARLOTTE NC 28246-0100

ATRIUM FINANCE III  
12735 MORRIS RD EXT SUITE 400  
ALPHARETTA GA 30004-8904

STATE BAR OF NEW MEXICO & NEW  
MEXICO STATE BAR FOUNDATION  
PO BOX 92860  
ALBUQUERQUE NM 87199-2860

JOURNAL 5150 MEDICAL PROPERTIES  
LLC  
800 W MADISON ST SUITE 400  
CHICAGO IL 60607-2481

MARSHALL VENTURES LLC  
PO BOX 1477  
SANTA FE NM 87504-1477

SUN CENTER PARTNERS LLC  
100 SUN AVE NE SUITE 210  
ALBUQUERQUE NM 87109-4659

JOURNAL CENTER BUILDING LLC  
6801 JEFFERSON ST NE SUITE 200  
ALBUQUERQUE NM 87109-4390

JOURNAL PUBLISHING CO ETAL  
PO DRAWER J  
ALBUQUERQUE NM 87103

1515 SOVANESS LLC  
735 ENDFIELD WAY  
HILLSBOROUGH CA 94010-6951

CR3 LLC  
5110 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109-4640

LEVERICK RICHARD M & PAMELA R  
5120 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109-4640

SAN FRANCISCO SUITES LLC  
736 DESCANSO RD  
SANTA FE NM 87501

JOURNAL CENTER CORP CHAPMAN  
COMPANIES C/O JRLM INC  
5100 SAN FRANCISCO RD NE UNIT 5C  
ALBUQUERQUE NM 87109-4630

JOURNAL CENTER CORP CHAPMAN  
COMPANIES C/O JRLM INC  
5100 SAN FRANCISCO RD NE UNIT 5A  
ALBUQUERQUE NM 87109-4630

JOURNAL CENTER CORP CHAPMAN  
COMPANIES C/O JRLM INC  
5100 A SAN FRANCISCO RD NE UNIT 5B  
ALBUQUERQUE NM 87109-4640

SECOND HOME LLC  
5160 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109

MCMILLAN NEW MEXICO HERITAGE  
FOUNDATION INC C/O STEVE MAESTAS  
6801 JEFFERSON ST NE SUITE 300  
ALBUQUERQUE NM 87109-4390



**Regina Okoye**

---

**From:** Regina Okoye  
**Sent:** Friday, November 12, 2021 9:42 AM  
**To:** 'newmexmba@aol.com'; 'peggynorton@yahoo.com'; 'Dan Regan'; 'mgriffee@norestest.org'; 'anvanews@aol.com'; 'mwr505@hotmail.com'  
**Cc:** Angela Williamson  
**Subject:** RE: Public Notice of a Proposed Project in the City of Albuquerque  
**Attachments:** Address Report — City of Albuquerque.pdf; Site Plan.pdf; CABQ-Official\_public\_notice\_form-2019.pdf

<b>Tracking:</b>	<b>Recipient</b>	<b>Delivery</b>
	'newmexmba@aol.com'	
	'peggynorton@yahoo.com'	
	'Dan Regan'	
	'mgriffee@norestest.org'	
	'anvanews@aol.com'	
	'mwr505@hotmail.com'	
	Angela Williamson	Delivered: 11/12/2021 9:43 AM

All,  
  
Below is an updated for our request. We will have a new hearing date. That is the only information that has changed.

**Public Notice of a Proposed Project in the City of Albuquerque**

Date of Notice: November 12, 2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) Subsection 14-16-6-4(K) Public Notice to:

Neighborhood Association (NA): North Valley Coalition, District 4 Coalition of NA, Alameda North Valley Assoc

Name of NA Representative: Peggy Norton, Doyle Kimbrough, Daniel Regan, Mildred Griffiee, Mark Rupert, Steve Wentworth

Email Address or Mailing Address of NA Representative: [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com); [newmexmba@aol.com](mailto:newmexmba@aol.com); [dreganabq@gmail.com](mailto:dreganabq@gmail.com); [mgriffee@norestest.org](mailto:mgriffee@norestest.org); [anvanews@aol.com](mailto:anvanews@aol.com); [mwr505@hotmail.com](mailto:mwr505@hotmail.com)

**Information Required by IDO Subsection 14-16-6-4(K)(1)(a)**

1. Subject Property Address: 100 Sun Ave NE, Albuquerque, NM 87109  
Location Description: Journal Center Building - 100 Sun Ave/San Francisco
2. Property Owner: Sun Center Partners LLC
3. Agent/Applicant [if applicable]: Modulus Architects & Land Use Planning, Inc./Sun Center Partners LLC
4. Application(s) Type per IDO Table 6-1-1 [mark all that apply]:

Conditional Use Approval  
Permit (Carport or Wall/Fence - Major)

**Site Plan**  
Subdivision (Minor or Major)

Vacation (Easement/Private Way or Public Right-of-way)  
Variance  
Waiver  
Other:

Summary of project/request: Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER) 2.9 Acres from the overall Master Plan. The IDO Standards have changed for parking requirements and we will not be causing a deficiency in parking spots.

5. This application will be decided at a public meeting or hearing by:

Zoning Hearing Examiner (ZHE)  
**Development Review Board (DRB)**  
Landmarks Commission (LC)  
Environmental Planning Commission (EPC)

Date/Time: **December 8, 2021 at 9:00 am**  
Location: VIA Zoom

6. Where more information about the project can be found: Contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision-making body for more information.

**Information Required for Email Notice by IDO Subsection 6-4(K)(1)(b):**

1. Zone Atlas Page(s): D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project:  
Deviation(s)  
Variance(s)  
Waiver(s)  
Explanation: N/A
4. Pre-submittal Neighborhood Meeting: YES  
Summary of Pre-submittal Neighborhood Meeting, if one occurred: No meeting was requested.
5. For Site Plan Applications only, attach site plan showing, at a minimum:
  - a. **Location of proposed buildings and landscape areas.**
  - b. **Access and circulation for vehicles and pedestrians.**
  - c. Maximum height of any proposed structures, with building elevations.
  - d. For residential development<sup>1</sup>: Maximum number of proposed dwelling units.
  - e. **For non-residential development**
    - Total gross floor area of proposed project**
    - Gross floor area for each proposed use**

**Additional Information:**

1. From the IDO Zoning Map:
  - a. Area of Property [typically in acres]: +/- 5.2234 acres
  - b. IDO Zone District: NR-BP
  - c. Overlay Zone(s): N/A
  - d. Center or Corridor Area: Journal Center - Employment Center

2. Current Land Use(s) [vacant, if none]: Business Park

**NOTE:** Pursuant to IDO Subsection 14-16-6-4(L), property owners within 330 feet and Neighborhood Associates within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955

**Useful Links**

**Integrated Development Ordinance (IDO)**  
<https://ido.abc-zone.com/>

**IDO Interactive Map**  
<https://tinyurl.com/IDOzoningmap>

cc: North Valley Coalition  
District 4 Coalition of NA  
Alameda North Valley Association

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER**  
**MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600  
Albuquerque, NM 87109  
Office 505.338.1499 (Ext. 1003)  
Mobile + Text 505.267.7686



**\*\*\*PLEASE NOTE THAT WE HAVE MOVED! OUR NEW ADDRESS IS: 100 SUN AVE. NE SUITE 600, ALB. NM, 87109\*\*\***

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 11/11/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: North Valley Coalition, District 4 Coalition of Neighborhood Associations  
Alameda North Valley Association

Name of NA Representative\*: Peggy Norton, Doyle Kimbrough, Daniel Regan, Mildred Griffiee , Mark Rupert  
Steve Wentworth

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: peggynorton@yahoo.com; newmexmba@aol.com; dlreganabq@gmail.com;  
mgriffiee@noreste.org, anvanews@aol.com, mwr505@hotmail.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 100 Sun Ave NE, Albuquerque, NM 87109  
Location Description Journal Center Building - 100 Sun Ave/San Francisco
2. Property Owner\* Sun Center Partners LLC
3. Agent/Applicant\* [if applicable] Modulus Architects & Land Use Planning Inc./Sun Center Partners LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2 JOURNAL CENTER) 2.9 Acres from the overall Master Plan. The IDO Standards have changed for parking requirements and we will not be causing a deficiency in parking spots.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.





[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

1. Area of Property [typically in acres] 5.2234 acres
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] Journal Center - Employment Center
- Current Land Use(s) [vacant, if none] Business Park
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: North Valley Coalition [Other Neighborhood Associations, if any]  
District 4 Coalition of Neighborhood Associations

---

Alameda North Valley Association

---

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

EXAMPLE: This same letter was sent to each property owner with each property owner and address tailored.

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 11/11/2021

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: 5120 MASTHEAD LLC

Mailing Address\*: 5120 MASTHEAD ST NE ALBUQUERQUE NM 87109-4366

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 100 Sun Ave NE, Albuquerque, NM 87109  
Location Description Journal Center Building - 100 Sun Ave/San Francisco
2. Property Owner\* Sun Center Partners LLC
3. Agent/Applicant\* *[if applicable]* Modulus Architects & Land Use Planning Inc./Sun Center Partners LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

Major Amendment of DRB Site Plan to remove TRACT 2A-2B3 (REPL MAP FOR TR 2A-2BA & 2A-2B2) JOURNAL CENTER 2.9 Acres from the overall Master Plan. The IDO Standards have changed for parking requirements and we will not be causing a deficiency in parking spots.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: 12/1/2021 @ 9:00 am

Location\*<sup>2</sup>: VIA ZOOM

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
Contact the Planning Department at devhelp@cabq.gov or call 505-924-3860 and ask to speak to the case planner associated with the relevant decision making body for more information.

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

N/A  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

No neighborhood meeting was requested.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. For residential development\*: Maximum number of proposed dwelling units.
- e. For non-residential development\*:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 5.2234 acres
  2. IDO Zone District NR-BP
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] Journal Center - Employment Center
- Current Land Use(s) [vacant, if none] Business Park
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



<b>PART I - PROCESS</b>		
Use <a href="#">Table 6-1-1</a> in the Integrated Development Ordinance (IDO) to answer the following:		
Application Type: <b>Major Amendment to Site Plan - DRB</b>		
Decision-making Body: <b>DRB</b>		
Pre-Application meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Neighborhood meeting required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Mailed Notice required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Electronic Mail required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Is this a Site Plan Application:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>Note: if yes, see second page</b>
<b>PART II – DETAILS OF REQUEST</b>		
Address of property listed in application: <b>100 Sun Ave NE, Albuquerque, NM 87109</b>		
Name of property owner: <b>Sun Center Partners LLC</b>		
Name of applicant: <b>Sun Center Partners LLC</b>		
Date, time, and place of public meeting or hearing, if applicable:		
<b>VIA Zoom on 12/8/2021 @ 9:00am</b>		
Address, phone number, or website for additional information:		
<b>Modulus Architects, Regina Okoye, 505-338.1499 EXT 1003</b>		
<b>PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE</b>		
<input checked="" type="checkbox"/> Zone Atlas page indicating subject property.		
<input checked="" type="checkbox"/> Drawings, elevations, or other illustrations of this request.		
<input type="checkbox"/> Summary of pre-submittal neighborhood meeting, if applicable. <i>N/A</i>		
<input checked="" type="checkbox"/> Summary of request, including explanations of deviations, variances, or waivers.		
<b>IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO <a href="#">SUBSECTION 14-16-6-4(K)</a> OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.</b>		

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Regina Okoye (Applicant signature) 11/11/2021 (Date)

**Note:** Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.



**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.





ACADEMY

6255 SAN ANTONIO DR NE  
ALBUQUERQUE, NM 87109-9998  
(800) 275-8777

11/11/2021

10:01 AM

Product	Qty	Unit Price	Price
---------	-----	------------	-------

Forever® Postage Stamp	30	\$0.58	\$34.80
------------------------	----	--------	---------

Grand Total: \$34.80

Credit Card Remitted \$34.80

Card Name: VISA

Account #: XXXXXX1521

Approval #: 087835

Transaction #: 145

Receipt #: 000145

AID: A000000051010

AL: VISA CREDIT

PIN: Not Required

Chip

CAPITAL ONE VISA

\*\*\*\*\*  
 USPS is experiencing unprecedented volume increases and limited employee availability due to the impacts of COVID-19. We appreciate your patience.  
 \*\*\*\*\*

Preview your Mail  
 Track your Packages  
 Sign up for FREE @  
<https://info.redelivery.usps.com>

Earn rewards on your business account purchases of Priority Mail labels with the USPS Loyalty program by using Click and Ship. Visit [www.usps.com/smallbizloyalty](http://www.usps.com/smallbizloyalty) for more info.

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Tell us about your experience. Go to: <http://postalexperience.com/ssk> or scan this code with your mobile device,



IFN: 540123-9552

Receipt #: 840-18520494-1-4847263-1

clerk: 00



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



ALAMEDA NORTH VALLEY ASSOC  
MARK RUPERT  
909 TIJERAS AVE NW  
ALBUQUERQUE NM 87102



NORTH VALLEY COALITION  
DOYLE KIMBROUGH  
2327 CAMPBELL RD NW  
ALBUQUERQUE NM 87104

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

ALAMEDA NORTH VALLEY ASSOC  
STEVE WENTWORTH  
8919 BOE LANE NE  
ALBUQUERQUE NM 87113

SAN FRANCISCO SUITES LLC  
736 DESCANSO RD  
SANTA FE NM 87501



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

DISTRICT 4 COALITION OF NA  
MILDRED GRIFFEE  
PO BOX 90986  
ALBUQUERQUE NM 87199

JOURNAL 5150 MEDICAL PROPERTIES LLC  
800 W MADISON ST SUITE 400  
CHICAGO IL 60607-2481

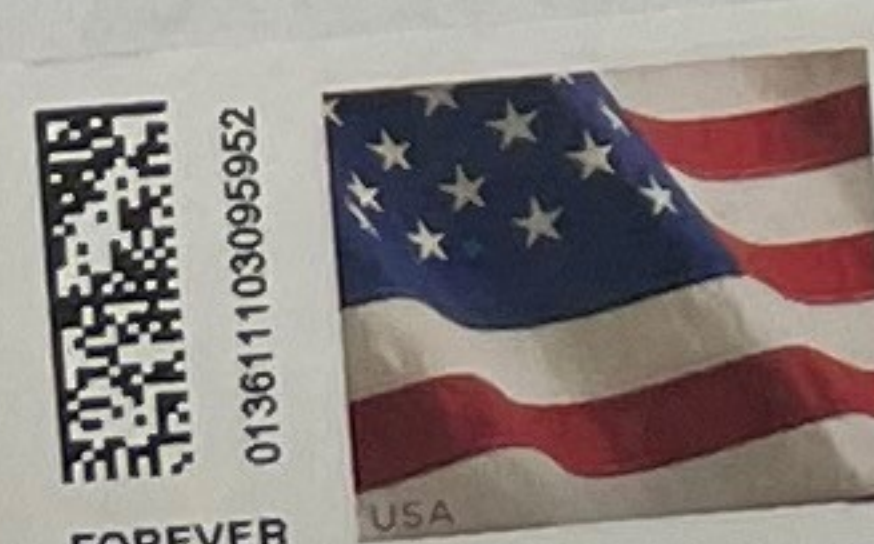


MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

DISTRICT 4 COALITION OF NA  
DANIEL REGAN  
4109 CHAMA ST NE  
ALBUQUERQUE NM 87109

ATRIUM FINANCE III  
12735 MORRIS RD EXT SUITE 400  
ALPHARETTA GA 30004-8904



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

NORTH VALLEY COALITION  
PEGGY NORTON  
PO BOX 70232  
ALBUQUERQUE NM 87197

EXPLORE ACADEMY FOUNDATION  
5100 MASTHEAD ST NE  
ALBUQUERQUE NM 87109-4366



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MCMILLAN NEW MEXICO HERITAGE  
FOUNDATION INC C/O STEVE MAESTAS  
6801 JEFFERSON ST NE SUITE 300  
ALBUQUERQUE NM 87109-4390

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



CONEJOS I LLC ATTN: KNIGHT SEAVEY  
6 CAMINO MEDIANOCHÉ  
SANTA FE NM 87506-2127

CR3 LLC  
5110 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109-4640

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



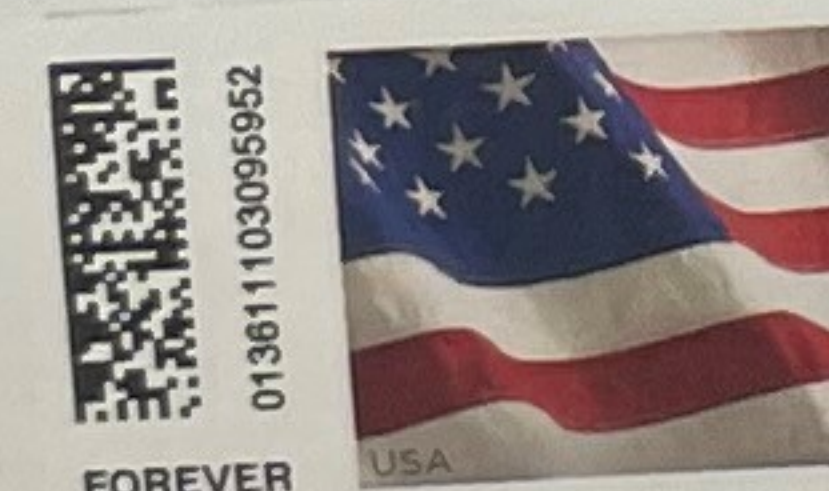
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100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



LEVERICK RICHARD M & PAMELA R  
5120 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109-4640

1515 SOVANESS LLC  
735 ENDFIELD WAY  
HILLSBOROUGH CA 94010-6951

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



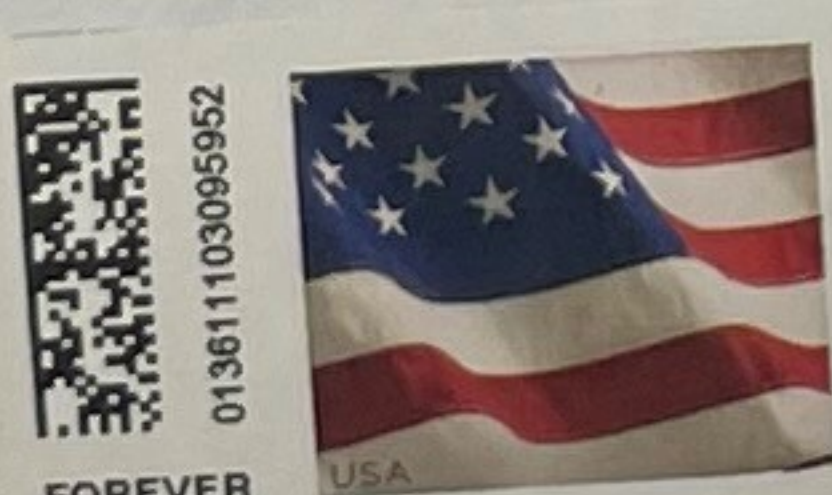
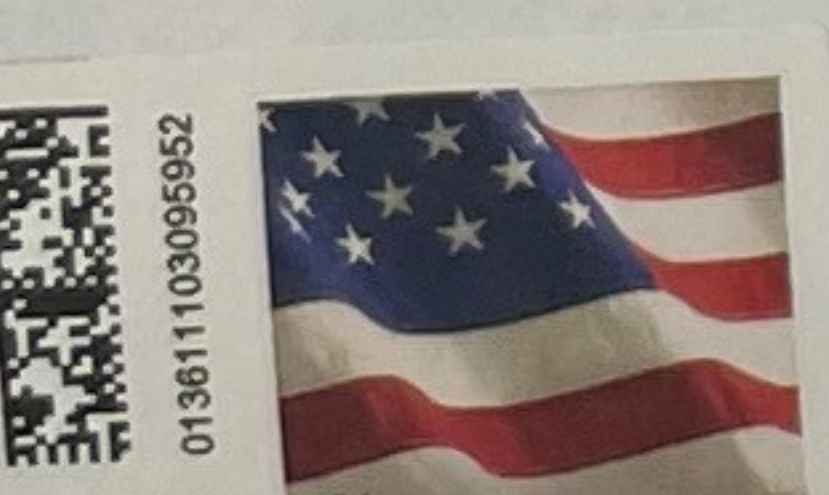
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100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



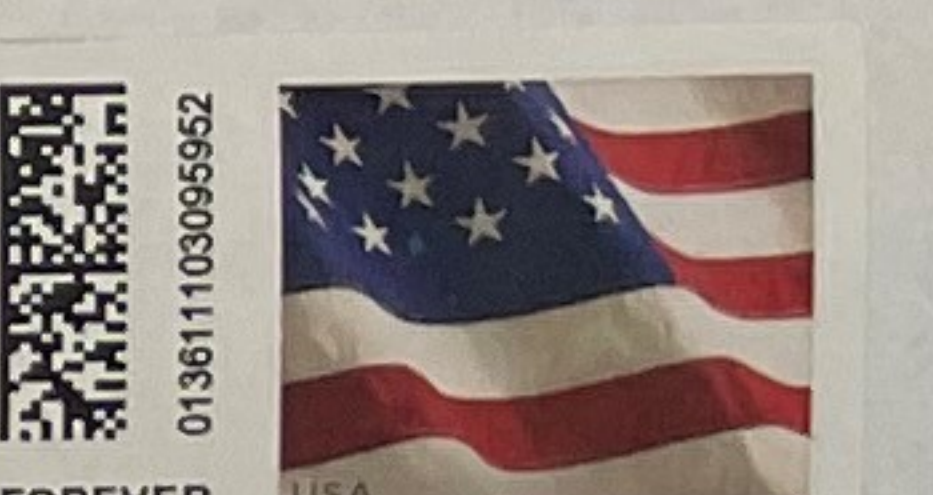
JOURNAL PUBLISHING CO ETAL  
PO DRAWER J  
ALBUQUERQUE NM 87103

MARSHALL VENTURES LLC  
PO BOX 1477  
SANTA FE NM 87504-1477

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



JOURNAL CENTER BUILDING LLC  
6801 JEFFERSON ST NE SUITE 200  
ALBUQUERQUE NM 87109-4390

BANK OF AMERICA ATTN: CORP REAL  
ESTATE ASSESSMENTS  
101 N TYRON ST  
CHARLOTTE NC 28246-0100

STATE BAR OF NEW MEXICO & NEW  
MEXICO STATE BAR FOUNDATION  
PO BOX 92860  
ALBUQUERQUE NM 87199-2860



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



JCC-TWO LLC  
8220 LOUISIANA BLVD NE SUITE B  
ALBUQUERQUE NM 87113



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



RCI PROPERTIES (JOURNAL CENTER) LLC  
6133 EDITH BLVD NE  
ALBUQUERQUE NM 87107-5069

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

SECOND HOME LLC  
5160 SAN FRANCISCO RD NE  
ALBUQUERQUE NM 87109



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



JOURNAL CENTER CORP CHAPMAN COMPANIES  
C/O JRLM INC  
5100 SAN FRANCISCO RD NE UNIT 5C  
ALBUQUERQUE NM 87109-4630

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

RCI PROPERTIES (JOURNAL CENTER) LLC  
5131 MASTHEAD ST NE  
ALBUQUERQUE NM 87109-4367



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



JOURNAL CENTER CORP CHAPMAN COMPANIES  
404 BRUNN SCHOOL RD BLDG A  
SANTA FE NM 87505

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

JOURNAL CENTER CORP C/O MICHAEL  
SMOCK  
PO DRAWER J  
ALBUQUERQUE NM 87103-1136



MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109



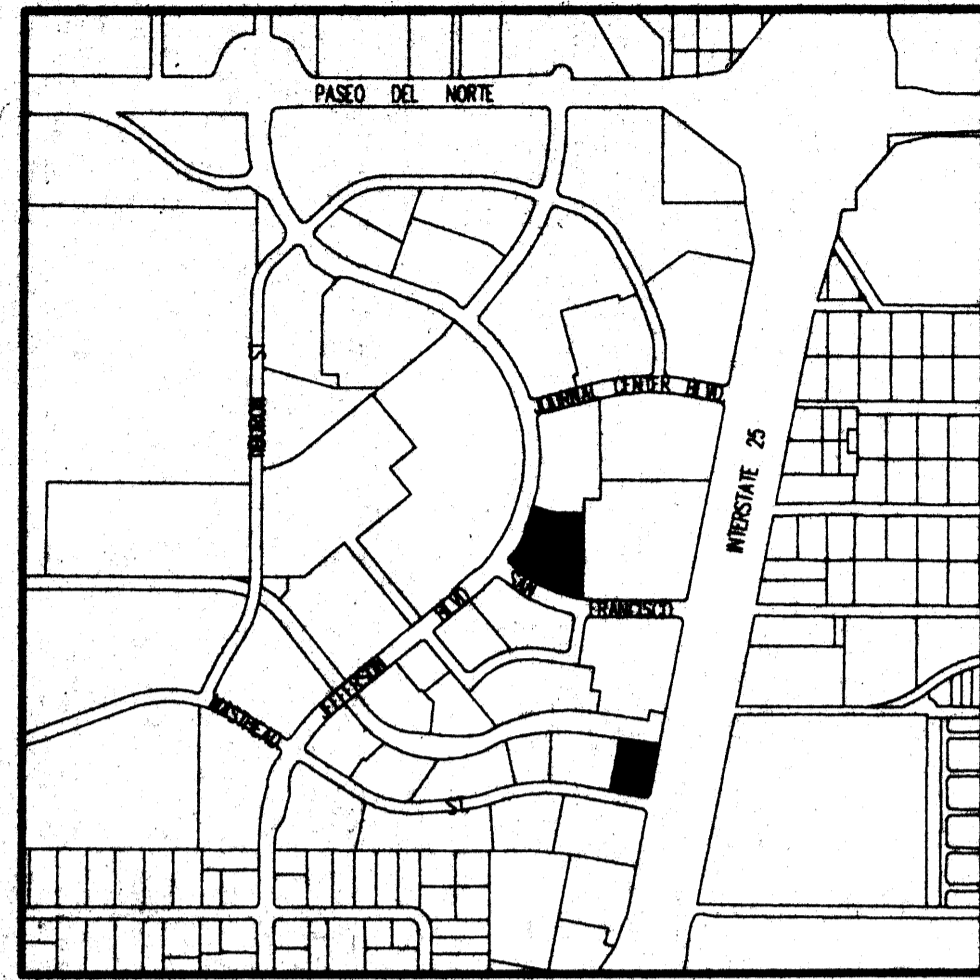
HOSPITAL SERVICE CORPORATION  
PO BOX 92200  
ALBUQUERQUE NM 87199-2200

MODULUS ARCHITECTS INC.  
100 SUN AVENUE NE, SUITE 600  
ALBUQUERQUE, NM 87109

5120 MASTHEAD LLC  
5120 MASTHEAD ST NE  
ALBUQUERQUE NM 87109-4366

SUN CENTER PARTNERS LLC  
100 SUN AVE NE SUITE 210  
ALBUQUERQUE NM 87109-4659





VICINITY MAP

**INDEX OF DRAWINGS:**

1. DRB-1 OVERALL SITE PLAN
2. DRB-2 ENLARGED PLAN-MASTHEAD LOT
3. DRB-3 ENLARGED PLAN-JEFFERSON LOT
4. DRB-4 GRADING & DRAINAGE-JEFFERSON/SF.
5. DRB-5 GRADING & DRAINAGE-MASTHEAD
6. DRB-6 LANDSCAPE PLAN
7. SHEET 1 APPROVED SITE DEVELOPMENT PLAN
8. SHEET 2 APPROVED SITE DEVELOPMENT PLAN

**KEYED NOTES**

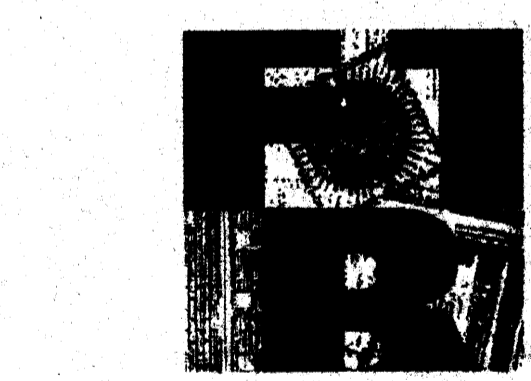
1. EXISTING PEDESTRIAN BRIDGE.
2. EXISTING SURFACE PARKING FOR PHASES III AND IV.
3. EXISTING BRICK PAVERS
4. INGRESS/EGRESS TO PARKING LOT
5. BICYCLE RACK

**GENERAL NOTES**

- A. HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
- B. PARKING STRIPING SHALL BE 4" WIDE COLOR WHITE-TYP.
- C. THE NEW PARKING LOTS WILL REMAIN AS SHOWN IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

SITE DEVELOPMENT APPROVAL FOR PHASE 4  
 THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, 2-79-80-8) AND THE IP ZONE.  
 IT CONFORMS WITH THE COMMENTS REFERRED BY THE DEVELOPMENT REVIEW BOARD ON 4/24/02, 4/22/02 AS REFLECTED BY DRB 96-389.  
 Planning Director: *[Signature]* DATE: 4/24/02

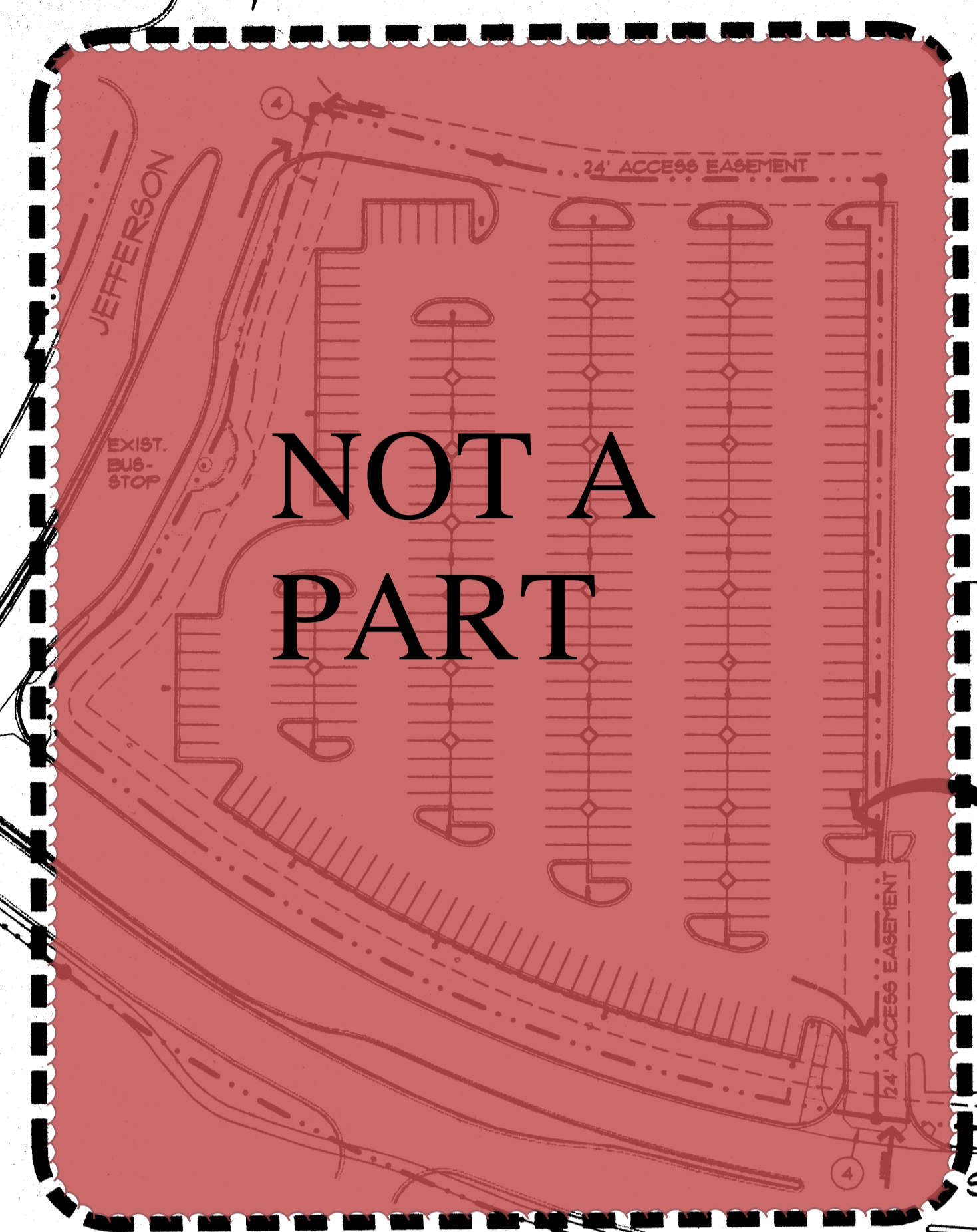
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**DRB APPROVAL #96-389**  
 Planning Director: *[Signature]* DATE: 4/24/02  
 City Engineer: *[Signature]* DATE: 4/24/02  
 Transportation Development Dept.: *[Signature]* DATE: 4-24-02  
 Utility Development Dept.: *[Signature]* DATE: 4/24/02  
 Parks & General Services: *[Signature]* DATE: 4/24/02



**FANNING BARD TATUM & ASSOCIATES**  
 ARCHITECTS AIA  
 6100 Indisa School Rd. NE  
 Albuquerque NM 87110  
 505-885-5200  
 505-884-5590

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE  
 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO  
 Sheet Title: OVERALL CAMPUS SITE PLAN  
 Date: March 2002

PROJECT #1000389



EXISTING CROWN PLAZA HOTEL

SEE SHEET DRB-3 FOR ENLARGED PLAN

1160 JEFFERSON NE. TRACT 2A-2B3 JOURNAL CENTER SUBDIVISION, 2.98 ACRES

EXISTING JOURNAL CENTER OFFICE CONDO COMPLEX

101 SUN AVE NE. TRACT 3A-1A-1B JOURNAL CENTER SUBDIVISION, 5.22 ACRES

EXISTING BANK

EXISTING PHASE III OFFICE  
 EXISTING PARKING STRUCTURE

EXISTING PHASE III OFFICE

SUN HEALTHCARE OFFICE BLDG.

SUN HEALTHCARE TRAINING CENTER

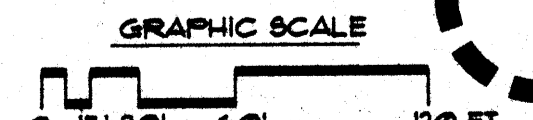
NORTH PINO ARROYO CHANNEL

SUN HEALTHCARE (EXISTING OFFICE BLDG.)

8141 MASTHEAD NE. TRACT 4AA-3B JOURNAL CENTER SUBDIVISION, 1.335 ACRES

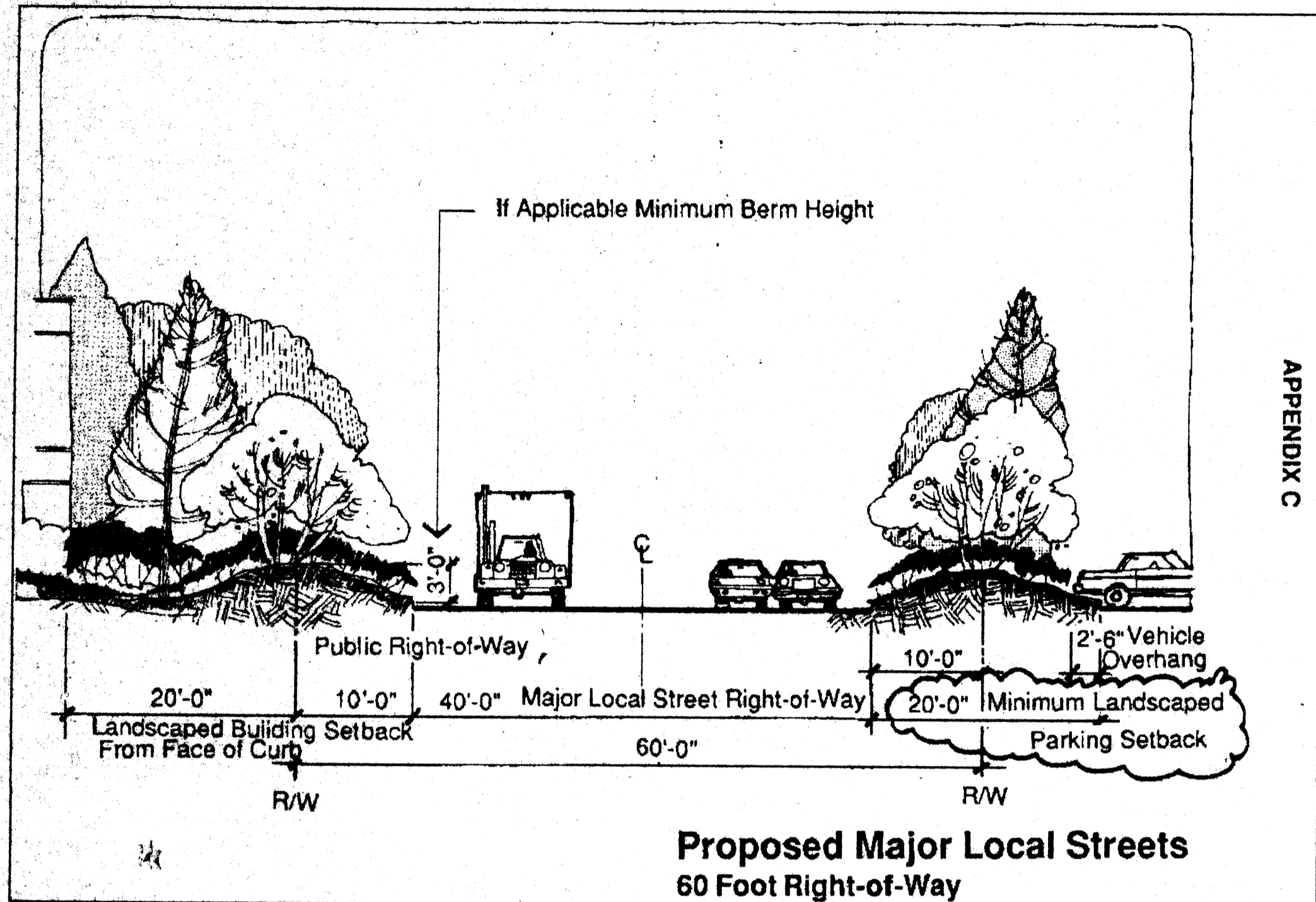
SEE SHEET DRB-2 FOR ENLARGED PLAN

CAMPUS SITE PLAN 1" = 60'-0"



DESIGN DATA:	
LEGAL DESCRIPTIONS:	TRACT 3A-1A-1B JOURNAL CENTER SUBDIVISION, 5.22 ACRES TRACT 2A-2B3 JOURNAL CENTER SUBDIVISION, 2.98 ACRES TRACT 4AA-3B JOURNAL CENTER SUBDIVISION, 1.335 ACRES
ZONE MAP:	D-11-Z (JUNE 1988)
C.O.A. ZONE CODE:	IP (ALBUQ. ZONE CODE 1981)
PH III: FOUR-STORY OFFICE BUILDING: (EXISTING)	OCCUPANCY GROUP- B2 (1991 UBC) CONSTRUCTION TYPE- II-ONE HOUR (1991 UBC)
PH IV: SIX-STORY OFFICE BUILDING: (EXISTING, OBTAINED "SHELL" C.O. MARCH 15TH, 2001)	OCCUPANCY GROUP- B2 (1991 UBC) CONSTRUCTION TYPE- I-FR (1991 UBC)
PROJECT BREAKDOWN	
PH III: FOUR-STORY OFFICE BUILDING:	GROSS SQUARE FEET 12,000 SF. (EXCLUDING MECHANICAL BASEMENT)
PH IV: SIX-STORY OFFICE BUILDING:	GROSS SQUARE FEET 18,276 SF. (EXCLUDING MECHANICAL BASEMENT)
<b>PARKING SPACES REQUIRED:</b> (1 PER 300 GROSS SF. REQUIRED PER JOURNAL CENTER REQUIREMENTS)	
PH III: FOUR-STORY OFFICE BUILDING:	12,000 SF. / 300 = 240
PH IV: SIX-STORY OFFICE BUILDING:	18,276 SF. / 300 = 609
TOTAL REQUIRED:	849 SPACES
<b>PARKING SPACES PROVIDED:</b>	
PHASE III: FOUR-STORY OFFICE BUILDING:	371 SURFACE PARKING (1160 JEFFERSON) 314 SURFACE PARKING (SOUTH OF BLDG.) 57
PH IV: SIX-STORY OFFICE BUILDING:	623 EXISTING PARKING STRUCTURE 491 SURFACE PARKING (8141 MASTHEAD) 126
TOTAL PARKING SPACES PROVIDED FOR BOTH BUILDINGS:	934 SPACES
<b>ACCESSIBLE PARKING SPACES: (1991 NEW MEXICO BUILDING CODE)</b>	
TOTAL HANDICAP PARKING SPACES REQUIRED FOR BOTH BUILDINGS:	PER SECTION 313, TABLE NO. A-31-A: 801-1000 PARKING SPACES = 20
TOTAL "VAN" HANDICAP PARKING SPACES REQUIRED FOR BOTH BUILDINGS:	PER SECTION 313: ONE FOR EVERY EIGHT ACCESSIBLE PARKING SPACES REQUIRED = 3
TOTAL HANDICAP PARKING SPACES PROVIDED FOR BOTH BUILDINGS = 20	TOTAL "VAN" HANDICAP PARKING SPACES PROVIDED FOR BOTH BUILDINGS = 3
<b>BICYCLE RACKS/STORAGE: (1991 NEW MEXICO BUILDING CODE)</b>	
TOTAL PROVIDED:	14 (8 LOCKERS LOCATED IN THE 6-STORY PARKING STRUCTURE, 6-CAPACITY BIKE RACK, LOCATED IN PHASE III COURTYARD)

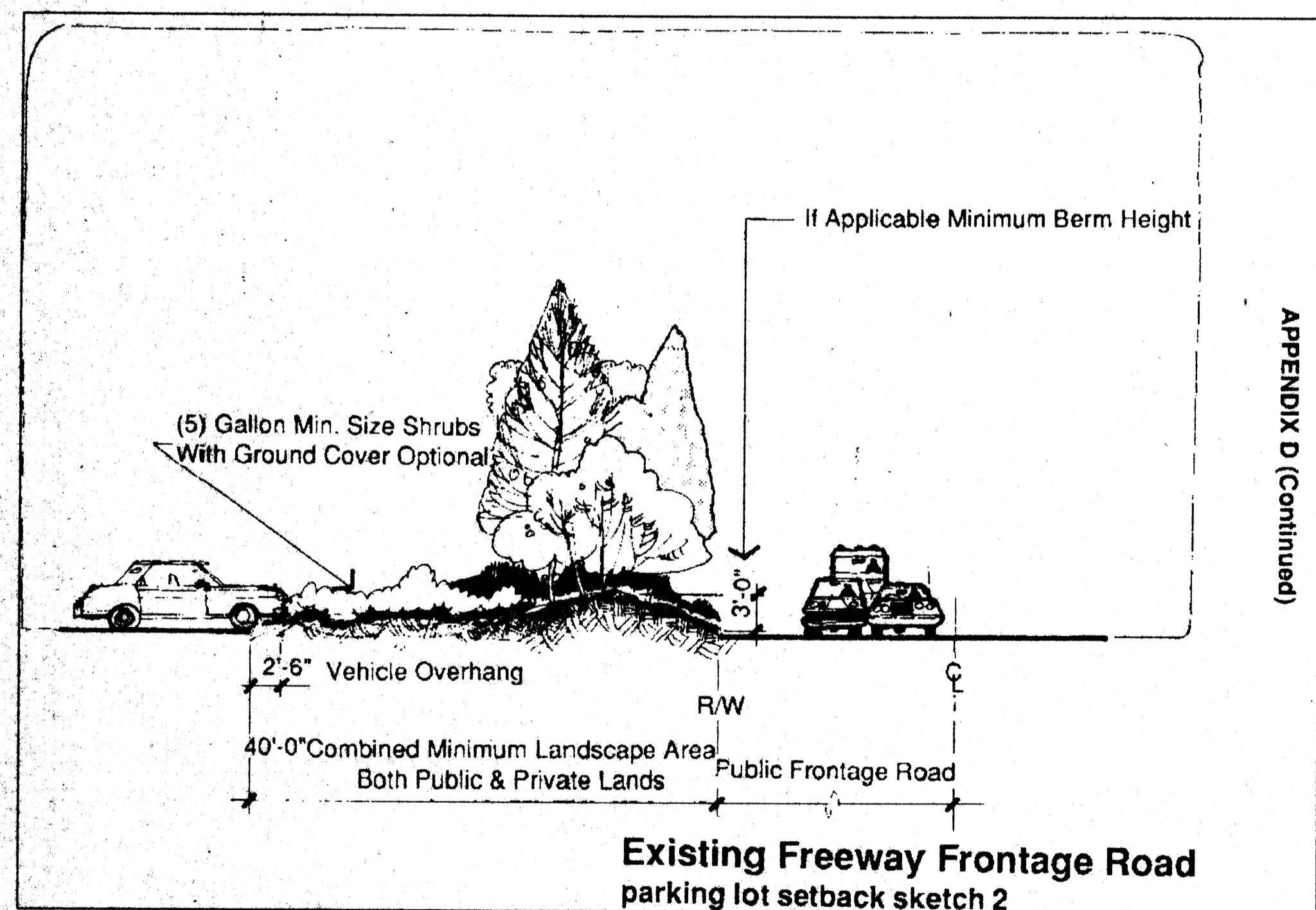




**Proposed Major Local Streets  
60 Foot Right-of-Way**

JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"  
(Page 35, Appendix C)

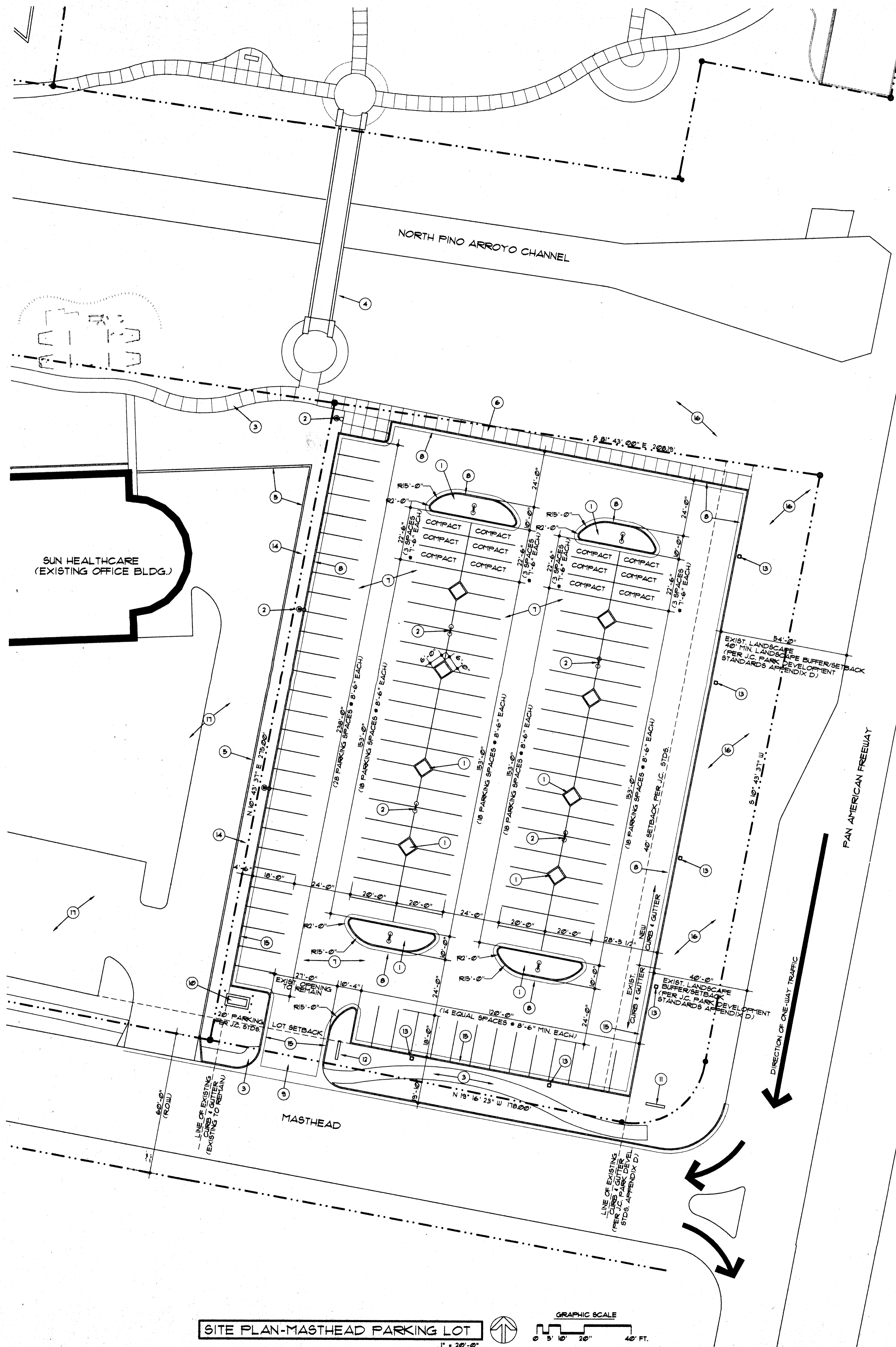
APPENDIX C



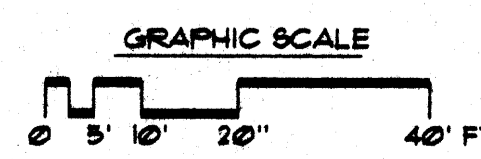
**Existing Freeway Frontage Road  
parking lot setback sketch 2**

JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"  
(Page 37, Appendix D)

APPENDIX D (Continued)



**SITE PLAN-MASTHEAD PARKING LOT**



**KEYED NOTES**

1. PLANTER
  2. 22' TALL, 400 W METAL HALIDE, POLE MOUNTED LIGHT FIXTURE
  3. EXISTING PEDESTRIAN SIDEWALK
  4. EXISTING PEDESTRIAN BRIDGE
  5. EXISTING RETAINING WALL TO REMAIN
  6. NEW 6' WIDE SIDEWALK-CONNECT TO EXISTING AT BRIDGE
  7. ASPHALT PAVING
  8. NEW CONCRETE CURBS AND GUTTER TO TIE IN TO EXISTING
  9. EXISTING SITE ENTRY
  10. EXISTING TRANSFORMER
  11. NEW LIGHTED TYPENUM SIGN
  12. NEW LIGHTED TYPENUM SIGN TO READ "PARKING ENTRANCE"
- THE SIGN SHALL ALSO INDICATE THAT THIS PARKING LOT IS FOR THE USE OF THE 4-STORY AND/OR THE SIX-STORY OFFICE BUILDING(S) LOCATED ON 101 SUN AVE.
13. BOLLARD LIGHTING
  14. EXISTING LANDSCAPE PLANTER
  15. EXISTING CURBS AND GUTTER TO REMAIN
  16. EXISTING LANDSCAPING TO REMAIN
  17. EXISTING SUN HEALTHCARE PARKING LOT

**GENERAL NOTES**

- A. HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
- B. PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE.
- C. THE NEW PARKING LOTS WILL REMAIN AS SHOWN. IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

**SOUTH PARKING LOT COUNT:**

TOTAL NUMBER OF PARKING SPACES: 126  
TOTAL NUMBER OF COMPACT PARKING SPACES: 12 (10% OF TOTAL FOR THIS LOT)

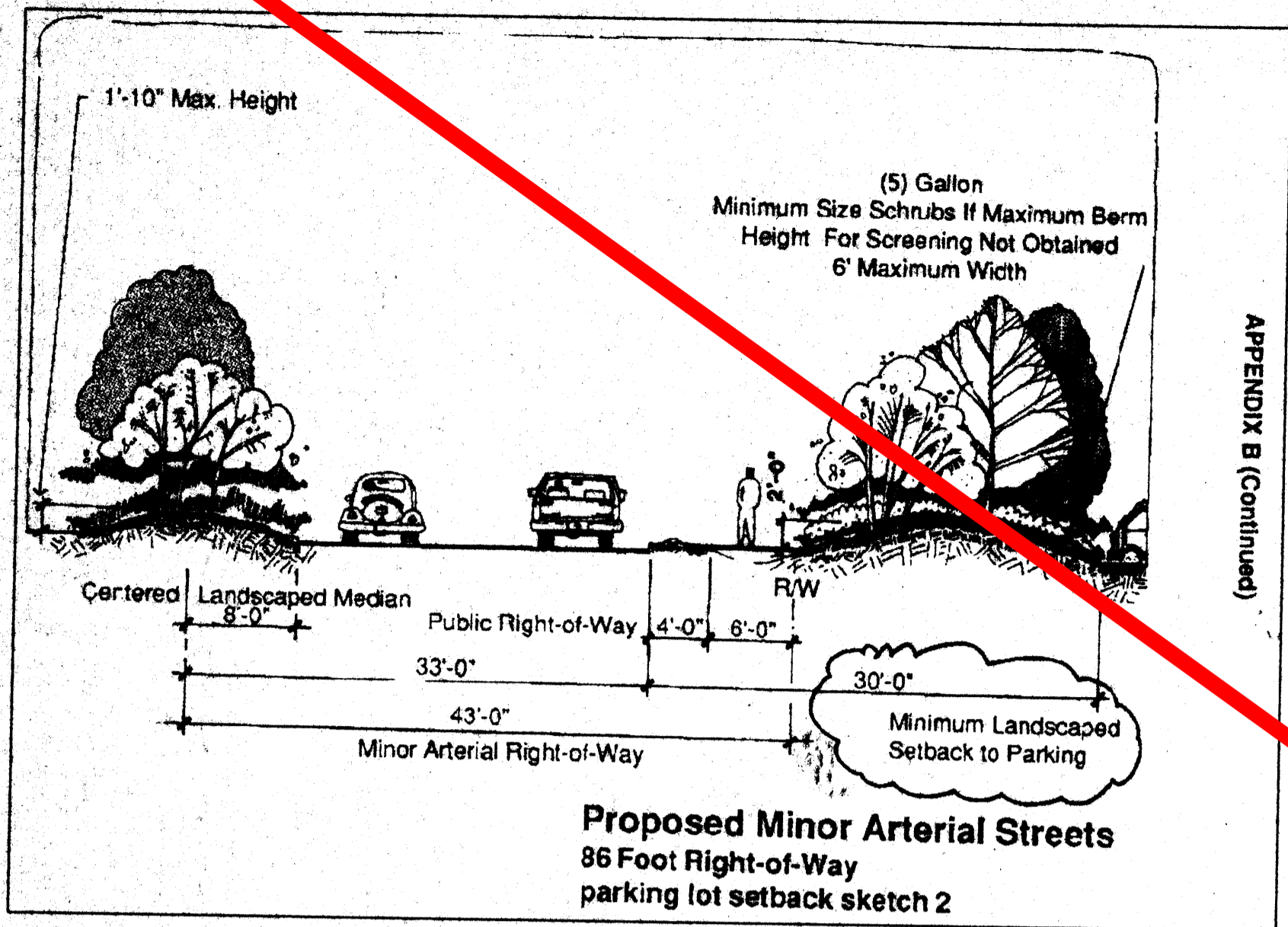


**FANNING BARD TATUM**

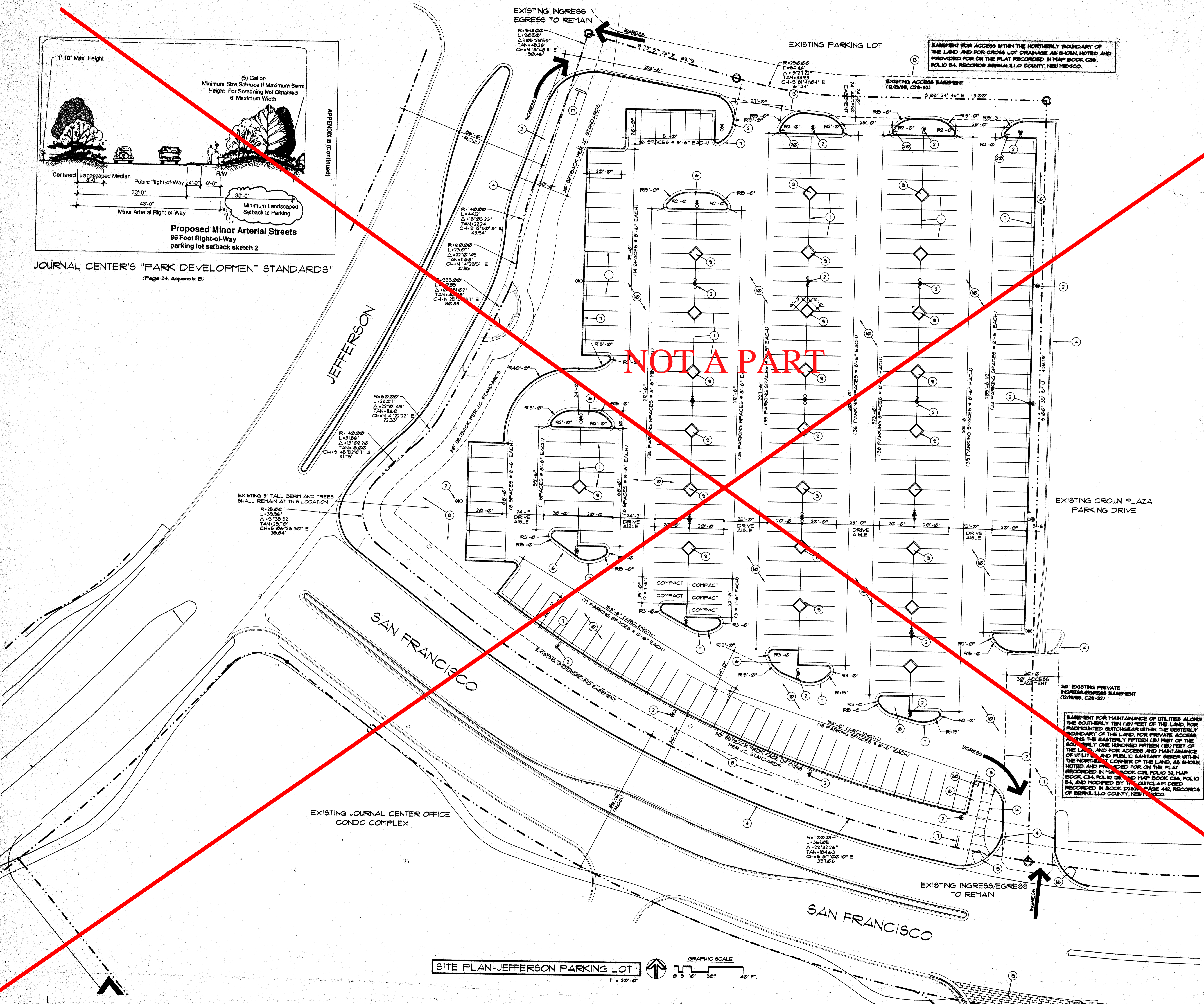
ARCHITECTS AIA  
6100 Indian School Rd. NE  
ALBUQUERQUE, NM 87109  
505-885-5200  
505-884-5590

Project	SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO	Date	March 2002
Sheet Title	SITE PLAN-MASTHEAD	Date	





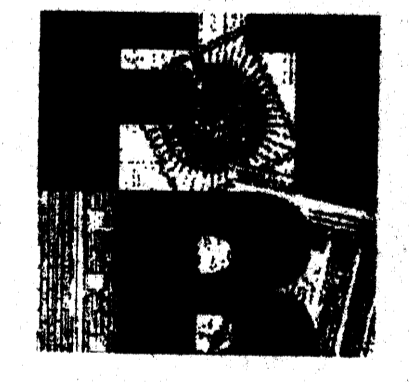
JOURNAL CENTER'S "PARK DEVELOPMENT STANDARDS"  
(Page 34, Appendix B)



- KEYED NOTES**
- 4" WIDE PAINTED STRIPING-WHITE
  - 22" TALL, 4000K METAL HALIDE POLE MOUNTED LIGHT FIXTURE
  - EXISTING SIDEWALK
  - EXISTING CURBS & GUTTER
  - EXISTING DRIVE
  - LANDSCAPED PLANTER
  - NEW CURBS AND GUTTER
  - EXISTING LANDSCAPE TO REMAIN
  - 6' X 6' LANDSCAPE PLANTER-TYPICAL
  - ASPHALT PAVING
  - EXISTING ASPHALT PAVING
  - APPROXIMATE LINE OF EXISTING ASPHALT
  - LINE OF ACCESS EASEMENT
  - NEW WIDE CONCRETE SIDEWALK
  - NEW HANDICAP RAMP
  - EXISTING HANDICAP RAMP
  - NEW LIGHTED FORECAST SIGN TO READ "PARKING ENTRANCE". THE SIGN SHALL ALSO INDICATE THAT THIS PARKING LOT IS FOR THE USE OF THE 4-STORY AND/OR THE 600-STORY OFFICE BUILDING(S) LOCATED ON SUN LANE.
  - EXISTING BUS STOP
  - EXISTING BRICK PAVEMENT CROSSWALK
  - STOP SIGN

- GENERAL NOTES**
- HANDICAP PARKING SHALL BE CONTAINED WITHIN THE EXISTING PARKING STRUCTURE AND SURFACE PARKING, DIRECTLY SOUTH OF THE PHASE III OFFICE BUILDING.
  - PARKING STRIPING SHALL BE 4" WIDE, COLOR WHITE.
  - THE NEW PARKING LOTS WILL REMAIN AS SHOWN. IF LOTS SHOWN ARE DEVELOPED IN THE FUTURE, THE REQUIRED NUMBER OF PARKING SPACES TO SERVE THE BUILDINGS SHALL BE ACCOUNTED FOR.

**JEFFERSON PARKING LOT COUNT:**  
TOTAL NUMBER OF PARKING SPACES: 314  
TOTAL NUMBER OF COMPACT PARKING SPACES: 5

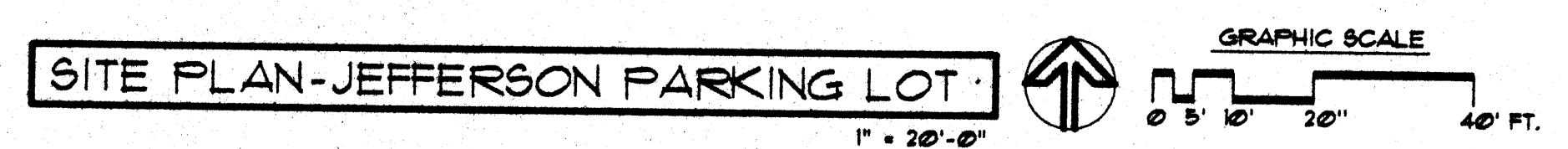


**FANNING BARD TATUM**

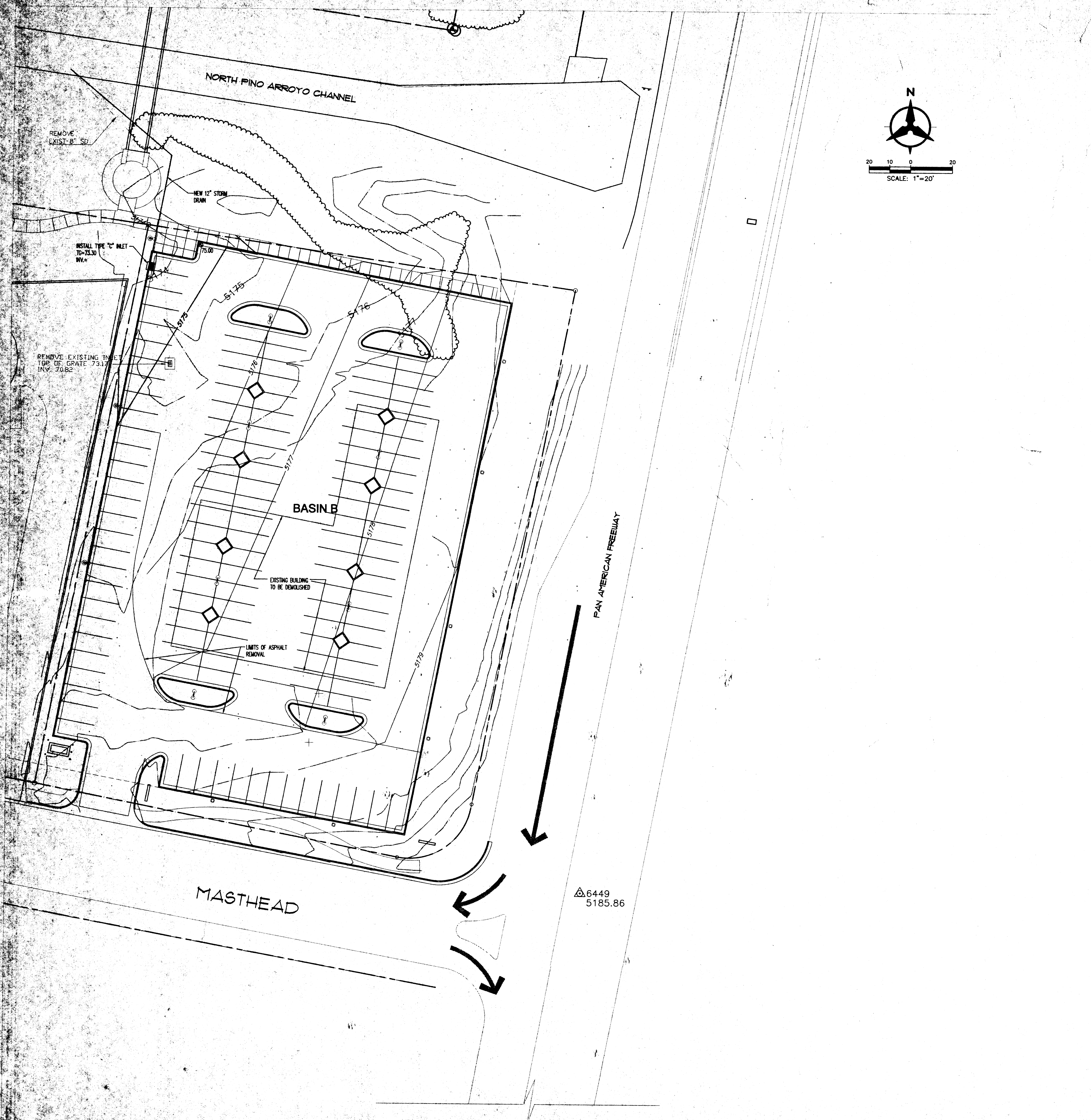
ARCHITECTS AIA  
6100 Indian School Rd. NE  
Albuquerque, NM  
505-885-5200  
505-884-5390

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE, ALBUQUERQUE, NEW MEXICO  
Sheet Title: SITE PLAN-JEFFERSON  
Date: March 2006

Sheet: DRB-3  
3 of 8







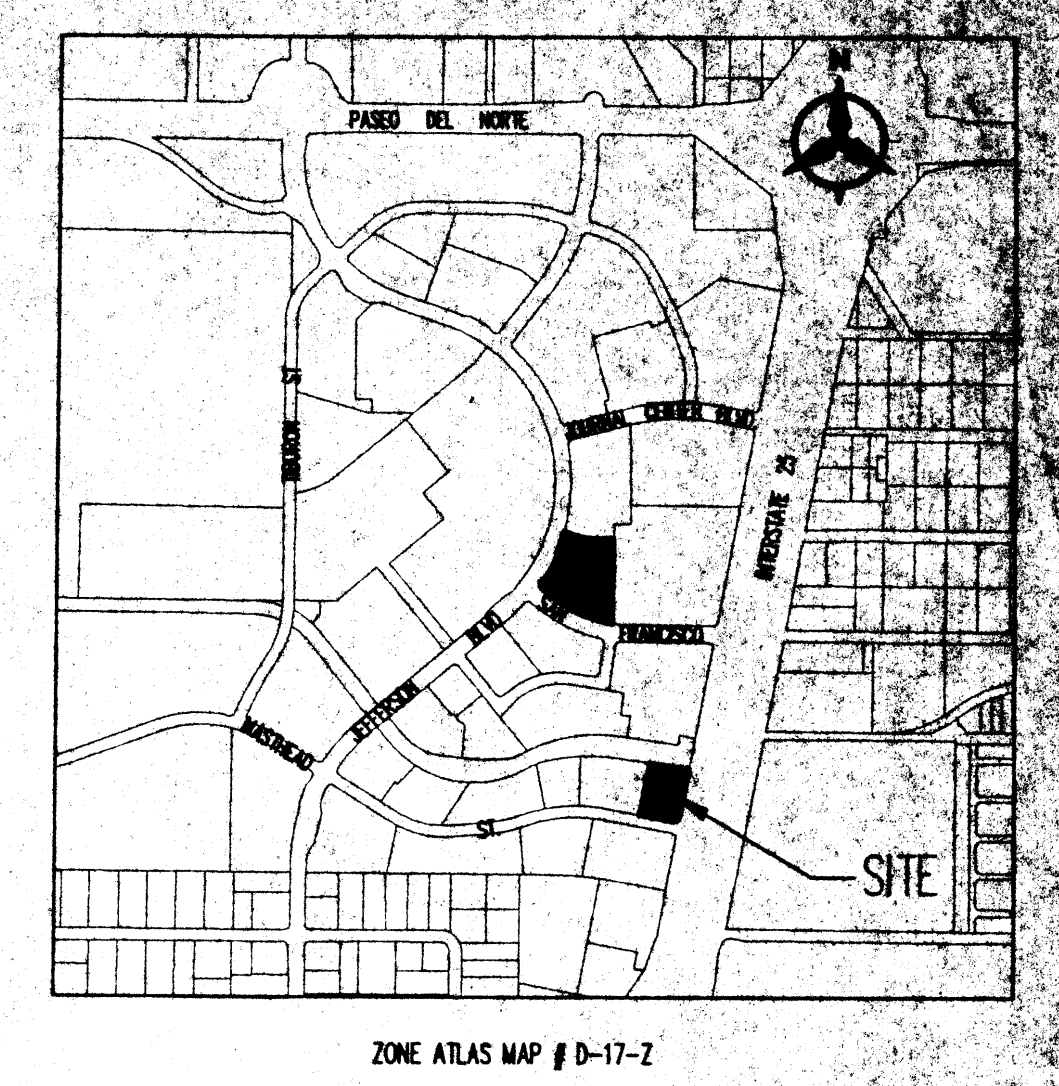
SD PIPES							
Pipe#	Size in.	Slope	Capacity cfs	Actual Flow cfs	Pipe Length ft	Upstream Invert	Downstrm Invert
1	12	0.036	6.759941	5.86	110	68.96	65

Pipe capacities are based on gravity flow using manning's equation with n=0.013

INLET TABLE						
Inlet #	Basin	Inlet Type	Top of Grate	Flow	Avail. Head ft	Capacity*
I1	B	C	66.5	5.53	0.67	7.20

SUN HEALTH CARE MASTHEAD PARKING LOT BASIN CALCULATIONS							
Ultimate Development Conditions Basin Data Table							
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (CFS)
			A	B	C	D	
B	58153	1.34	0.0%	0.0%	20.0%	80.0%	5.86

This table is based on the DPM Section 22.2, Zone: 2



**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
 The purpose of this submittal is to provide a final Drainage Management Plan for development of the Sun Health Care Parking Lot on the NW corner of Masthead Road & the frontage road.

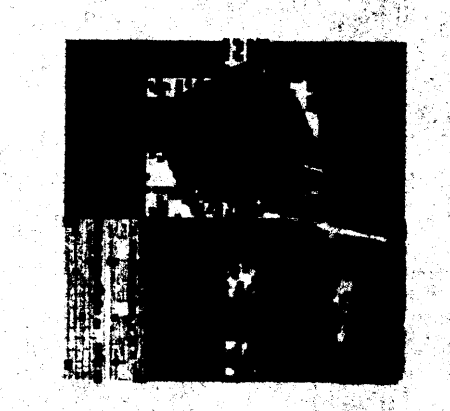
**II. SITE LOCATION**  
 The site is currently legally described as, Tract 4AA-3B (1.34 ac.) The site is bounded by Masthead on the south and the South Bound Frontage Road on the east. The site is located within zone atlas map #D-17-Z, and hydrologic zone 2.

**III. EXISTING HYDROLOGIC CONDITIONS**  
 Currently the site is the former Savage Thomas office site. Consisting of the existing building (to be razed) and a surrounding parking lot. Currently flows are conveyed by surface and curb and gutter to a drop inlet (to be removed) located in the northwest corner of the site.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
 The proposed conditions for Sun Health Care Parking Lot near Masthead Road, are shown on this basin map/final grading and drainage plan. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.  
 The parking lot site (1.34 ac.) will generate 5.86 cfs under newly developed conditions and consists of approximately 80% D land treatment. Flows will be conveyed by surface and curb and gutter to a new drop inlet located at the north west corner of the proposed parking lot. The revised Journal Center Drainage Management Plan, dated Dec. 1992 shows the site in basin G. This site has free discharge in to the North Pino Arroyo Channel.  
 The existing 8" SD and channel penetration are inadequate for the proposed development, they will be replaced with a 12" pipe and channel penetration.

**V. CONCLUSION**  
 This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal we are requesting conceptual grading and drainage plan and building permit approval.

**Bohannon Houston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



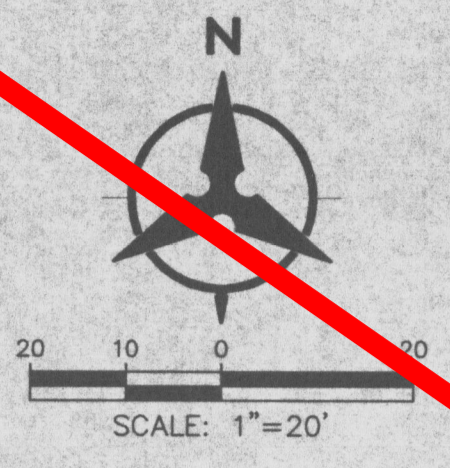
**FANNING BARD TATUM**  
 ARCHITECTS AIA  
 6100 Indian School Rd. NE  
 Albuquerque NM  
 505-885-5200  
 505-884-5590

Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO  
 Sheet Title: CONCEPTUAL GRADING & DRAINAGE PLAN - MASTHEAD

Sheet: DRB-4  
 4 of 8

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 Date: 12/20/02 10:27 PM





**SUN HEALTH CARE JEFFERSON PARKING LOT BASIN CALCULATIONS**  
Ultimate Development Conditions Basin Data Table

BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				Q(100) (CFS)
			A	B	C	D	
A	129809	2.98	0.0%	0.0%	25.0%	75.0%	12.84
A1	69752	1.60	0.0%	0.0%	9.0%	91.0%	7.30
A2	22747	0.52	0.0%	0.0%	5.0%	95.0%	2.41
A3	12181	0.28	0.0%	0.0%	5.0%	95.0%	1.29
A4	25265	0.58	0.0%	25.0%	60.0%	15.0%	1.83

This table is based on the DPM Section 22.2, Zone: 2

**SD PIPES**

Pipe#	Size in.	Slope	Capacity cfs	Actual Flow cfs	Pipe Length ft	Upstream Invert	Downstream Invert
1	12	0.024	5.52	5.52		64	62.2

Pipe capacities are based on gravity flow using Manning's equation with n=0.013

**INLET TABLE**

Inlet #	Basin	Inlet Type	Top of Grate	Flow	Avail. Head	Capacity
1	A	D	66.5	5.53	1.00	6.75

This capacity allows for a 30% clogging factor

**Detention Pond Volume Calculations**

NOTE: Shaded cells require user input, all other cells should not be edited.

ASSUMPTIONS:  
1. Area less than 40 acres (simplified hydrograph method)  
2. 100-year, 6-hour storm event

Basin Name	A1		
Choose Zone (1-4)	2		
Basin Area = (acres)	1.60		
Proposed Conditions			
Treatment	Percentage	Area	Q (cfs)
A	0.0%	0.00	0.00
B	0.0%	0.00	0.00
C	10.0%	0.16	0.50
D	90.0%	1.44	6.77
Peak Q Developed =		7.27	
Maximum allowable discharge =		5.61	

Determine T<sub>b</sub> (hours) T<sub>b</sub> = 0.712

Determine T<sub>c</sub> (Note: should be checked using DPM 22.2.B.2) T<sub>c</sub> = 0.2

Determine T<sub>p</sub> and Duration of Peak (hours) T<sub>p</sub> = 0.198333  
Peak Duration = 0.225

Compute the required retention volume using the simple hydrograph. Figure A-3 in DPM Section 22.3  
Time to Control Q (hrs) = 0.152  
Time to end of Control Q (hrs) = 0.490873  
Duration of Control Q (hrs) = 0.339

Required Detention Volume (CF) = 1726



**DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION**  
The purpose of this submittal is to provide a final Drainage Management Plan for development of the Sun Health Care Parking Lot on the NE corner of Jefferson and San Francisco Road.

**II. SITE LOCATION**  
The site is currently legally described as, Tract 2A-2B3 Journal Center, 2.98 ac. The site is bounded by Jefferson Blvd on the west and San Francisco Road on the south. The site is located within zone atlas map #D-17-2, and hydrologic zone 2.

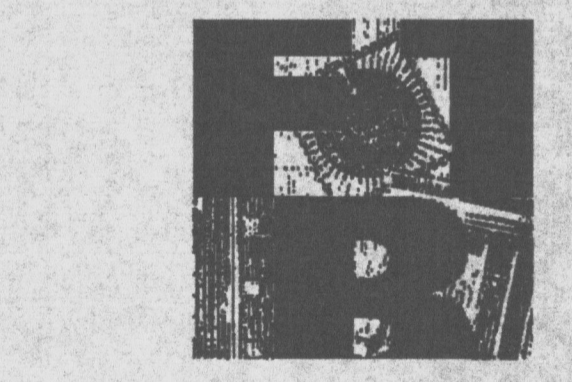
**III. EXISTING HYDROLOGIC CONDITIONS**  
Currently the site is cleared and minor grading has been done in the past. The site was used as a staging yard during construction of Sun Health Care - Phase IV. The site drains from east to west with an average slope 1.5%. At this time on offsite flows impact this site.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
The proposed conditions for Sun Health Care Parking Lot near Jefferson Blvd. are shown on this basin map/final grading and drainage plan. The hydrology analysis for this area is based on drainage requirements for the 100-yr, 6-hr storm event.  
The parking lot area (2.98 ac) will generate 12.84 cfs under developed conditions and consist of approximately 75% D land treatment. The site has been divided into 4 sub basins. Each sub basin has been assigned appropriate land treatments corresponding to its location within the site. The revised Journal Center Drainage Management Plan dated Dec. 1992 shows the site in basin E-1. The allowable discharge from this site is 3.74 cfs/ac (3.74 cfs/ac x 2.98 ac = 11.14 cfs) total allowable discharge. A copy of the Journal Center Master Plan is attached.  
Currently flows from proposed basin A4 flow directly into Jefferson Blvd. Basin A4 (1.83 cfs) will continue in this manner during developed conditions.  
Flows from basin A3 (1.29 cfs) are conveyed on the surface to the drive openings to the north and discharged to the driveway and on to Jefferson Blvd.  
Flows from basin A1 (7.30 cfs) are conveyed on the surface and by curb and gutter to a drop inlet located in an "island" near the southwest corner of the proposed parking lot. This area is a depression in order to create a detention pond which will allow for the appropriate discharge of 5.67 cfs. The discharge is controlled by the slope of the 12" sd pipe and discharges to Jefferson through a sidewalk culvert.  
The allowable discharge for this basin was calculated as follows:  
Total Allowable Discharge = 11.14 cfs  
Basins A2, A3 & A4 total free discharge = 11.14 - 5.53 = 5.61  
The required detention pond volume was calculated using the simplified hydrograph method provided in section 22.2 of the DPM. The calculations are provided on this sheet.  
The detention pond volume provided = 6300cf (surface area) x 0.33 (avg. depth) = 2100cf

**V. CONCLUSION**  
This drainage management plan provides for grading and drainage elements which are capable of safely passing the 100 year storm and which meet city requirements. With this submittal we are requesting conceptual grading and drainage plan approval.

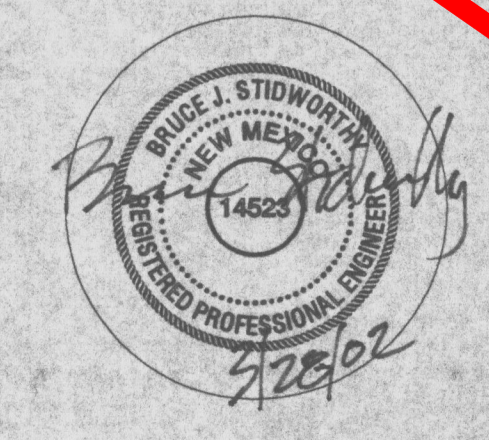
**NOT A PART**

**Bohannon + Huston**  
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109  
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



**FANNING BARD TATUM**  
 ARCHITECTS AIA  
 6100 Indisa School Rd. NE ALBUQUERQUE NM 87110  
 505-883-5200 PHONE  
 505-884-5390 FAX/EMAIL

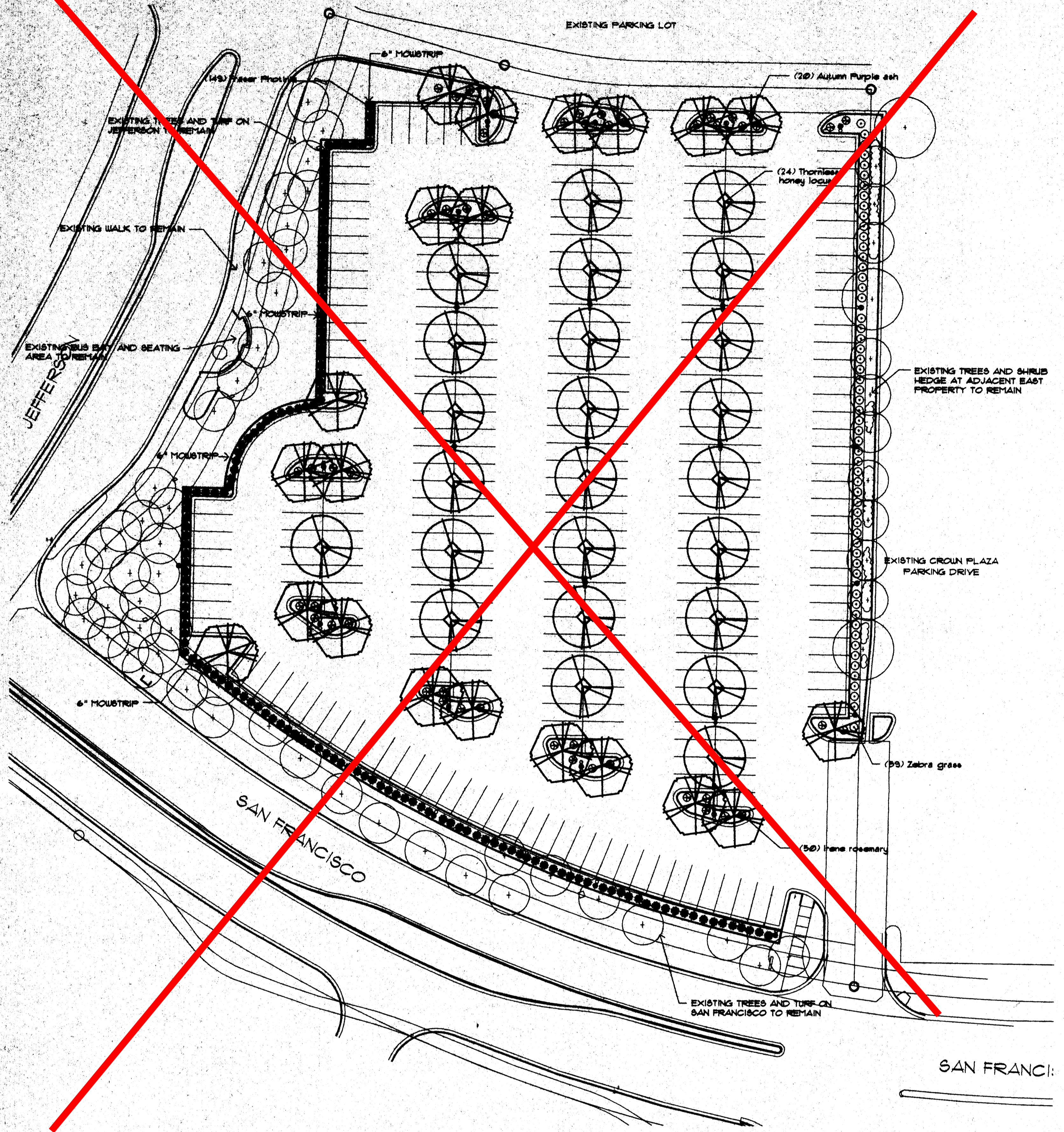
Project: SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING STRUCTURE 101 SUN AVE NE ALBUQUERQUE, NEW MEXICO  
 Sheet Title: CONCEPTUAL GRADING & DRAINAGE PLAN - JEFFERSON  
 Date: March 2002



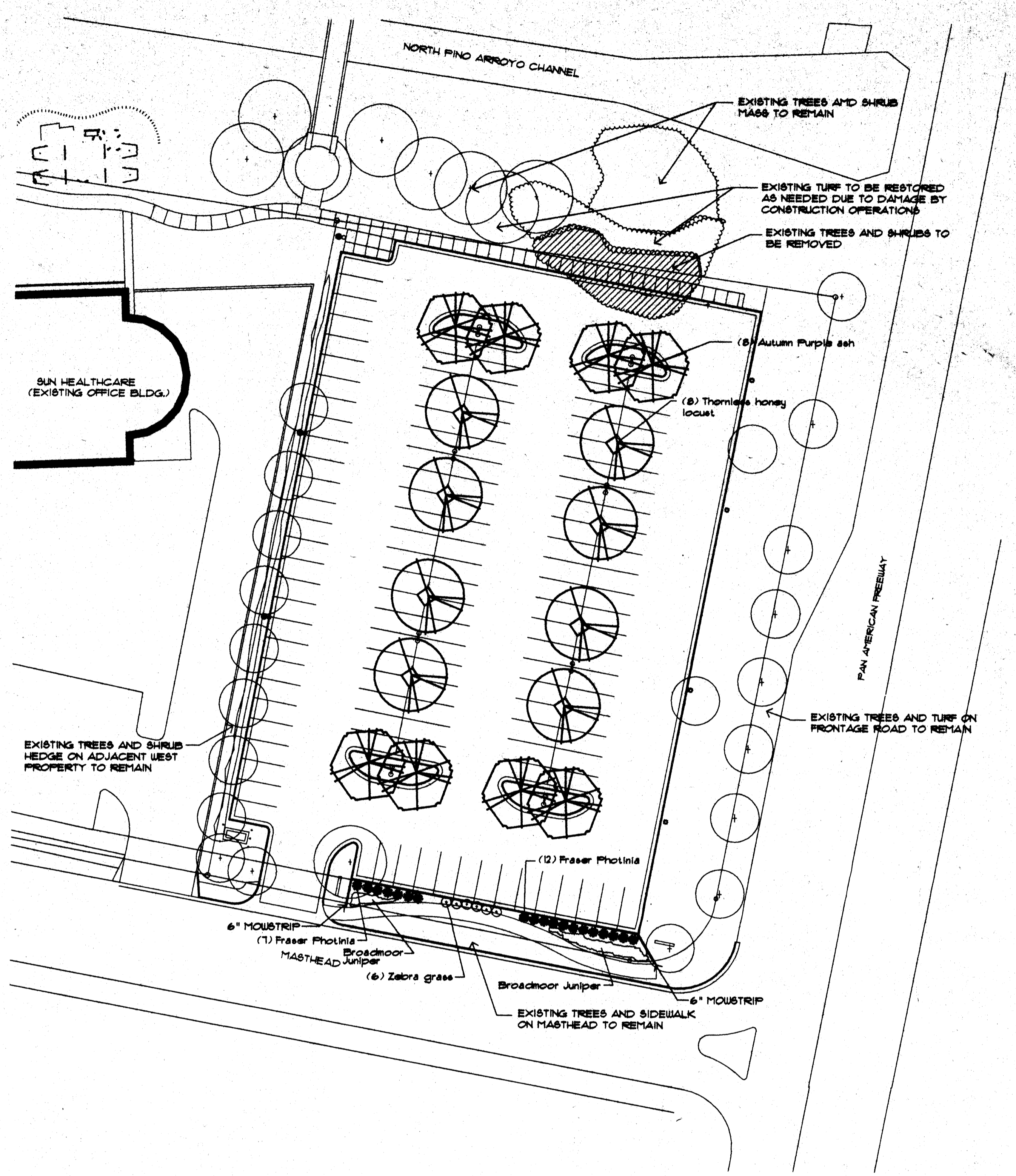
Sheet: DPB-5  
 5 of 8



NOT A PART



NORTHWEST PARKING AREA



SOUTHEAST PARKING AREA

LANDSCAPING NOTES

- LANDSCAPE REQUIREMENTS  
 NORTHWEST PARKING AREA  
 NET LOT AREA = 130,000 SF  
 TOTAL LANDSCAPED AREA REQUIRED = 19,500 SF (15% OF NET LOT AREA)  
 TOTAL LANDSCAPE AREA PROVIDED = 32,000 SF  
 SOUTHEAST PARKING AREA  
 NET LOT AREA = 98,000 SF  
 TOTAL LANDSCAPED AREA REQUIRED = 8,100 SF (8% OF NET LOT AREA)  
 TOTAL LANDSCAPE AREA PROVIDED = 15,000 SF
- LANDSCAPE IRRIGATION  
 AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED. TURF, SPRAY IRRIGATION, TREES AND SHRUBS: SUBSIDER IRRIGATION.
- LANDSCAPE MAINTENANCE  
 THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.
- A 4" DEPTH OF MULCH SHALL BE INSTALLED AT ALL SHRUB BEDS.
- EXISTING LANDSCAPING DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION OPERATIONS. DAMAGED MATERIAL SHALL BE REPLACED IN KIND.

PLANT LIST

COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE INSTALLED
<b>TREES</b>			
Autumn Purple Ash	<i>Fraxinus americana</i> 'Autumn Purple'	28	2 1/2" cal.
Honey Locust	<i>Gleditsia triacanthos</i> 'inermis'	32	2 1/2" cal.
<b>SHRUBS</b>			
Broadmoor Juniper	<i>Juniperus sabina</i>	10	5 gal.
Fraser Phloxia	<i>Phloxia fraseri</i>	168	5 gal.
Irish Rosemary	<i>Rosmarinus officinalis</i> 'Irish'	50	5 gal.
<b>ORNAMENTAL GRASSES</b>			
Zebra Grass	<i>Miscanthus sinensis</i> 'Zelbrinus'	60	5 gal.

MORROW BRADON WILSON, LTD.  
 LANDSCAPE ARCHITECTS  
 115 N. 1st St., Albuquerque, NM 87102  
 505.885.5200 FAX 505.885.5207  
 mrv@mrvnm.com



FANNING BARD TATUM

ARCHITECTS AIA  
 6100 Indian School Rd. NE Albuquerque, NM 87110  
 505-885-5200 phone  
 505-884-5590 fax

Project	SUN HEALTHCARE GROUP, INC. WORLD HEADQUARTERS BUILDING AND PARKING 161 SUN AVE NE ALBUQUERQUE, NEW MEXICO
Sheet Title	LANDSCAPE PLAN



Sheet  
 DRB-G  
 6 of 8



**Keyed Notes:**

1. 6" WIDE CONCRETE MARK
2. EXPANSION JTS. @ 15'-0" OC.
3. LANDSCAPING
4. EXISTING JOURNAL CENTER MONUMENT SIGN
5. HANDICAP CURB RAMP
6. CONCRETE CURB AND GUTTER
7. ASPHALT PAVING-SEE CIVIL DRAWINGS
8. DASHED LINE REPRESENTS FUTURE 8-STORY OFFICE BUILDING
9. PAINTED STRIPING
10. EXISTING SIDEWALK
11. EXISTING JOSSING TRAIL TO REMAIN
12. REMOVE EXISTING ASPHALT STANDING CURB
13. DASHED LINE REPRESENTS FUTURE SURFACE PARKING
14. NEW PARKING LIGHT FIXTURE
15. NEW FIRE HYDRANT
16. FUTURE PARKING STRUCTURE
17. EXISTING PAVED PARKING
18. NOT USED
19. BICYCLE RACK
20. PLANT BED-SEE LANDSCAPING FOR DETAILS
21. NOT USED
22. REMOVE PORTION OF EXISTING SIDEWALK AS SHOWN
23. EXISTING ELECTRICAL TRANSFORMER
24. NOT USED
25. VAN ACCESSIBLE PARKING SPACE-SIGN TO INCLUDE VAN ACCESSIBLE
26. MECHANICAL AREAWAY WITH METAL GRATE COVER
27. UTILITY TUNNEL BELOW GRADE
28. DRAINAGE STORAGE INLET
29. CAST-IN-PLACE CONCRETE MALL
30. COOLING TOWER AND ENCLOSURE
31. EMERGENCY POWER GENERATOR-SEE ELECTRICAL
32. 16" WIDE CONT. CONCRETE MONSTRIP-SEE DETAIL
33. RETAINING WALL
34. NOT USED
35. FIRE DEPARTMENT CONNECTIONS
36. GAS METER
37. POST INDICATOR VALVE
38. HOT BOX FOR BACKFLOW PREVENTER
39. EXISTING DRAIN INLET TO REMAIN
40. NEW DRAINAGE MANHOLE
41. NEW ELECTRICAL TRANSFORMER
42. NEW ASPHALT DRIVE
43. EXISTING STORM DRAIN TO REMAIN
44. EXISTING ELECTRICAL/TELEPHONE EQUIPMENT
45. NEW UNDERGROUND WATER METER VAULT

NOTE: ALL CURB RADII SHALL BE 5'-0" UNLESS OTHERWISE INDICATED.

ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
FILE NO. 7 AA99-96  
*See Clouded notes*  
P. 2  
*Richard D. Tatum*  
PLANNING DIRECTOR DATE

SITE DEVELOPMENT PLAN APPROVAL FOR PHASE 4-1000-3  
THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 16, 1980 (AX-79-13, 2-79-80-2) AND THE IP ZONE.  
IT CONFORMS WITH THE COMMENTS RENDERED BY THE DEVELOPMENT REVIEW BOARD ON 4-22-97 AS REFLECTED IN DRB 96-389.  
*Kevin J. Dine* 5-21-97  
PLANNING DIRECTOR DATE

DRB APPROVAL #96-389  
*Kevin J. Dine* 5-21-97  
PLANNING DIRECTOR DATE  
*Richard D. Tatum* 5-28-97  
CITY ENGINEER/PLANNING DIRECTOR DATE  
*Sharon A. Hargis* 6-22-97  
TRANSPORTATION DEVELOPMENT DEPT. DATE  
*Richard D. Tatum* 5-20-97  
UTILITY DEVELOPMENT DEPT. DATE  
*Richard D. Tatum* 4-22-97  
PARKS & GENERAL SERVICES DATE

PHASE 3 INCLUDES PAGES 3-2

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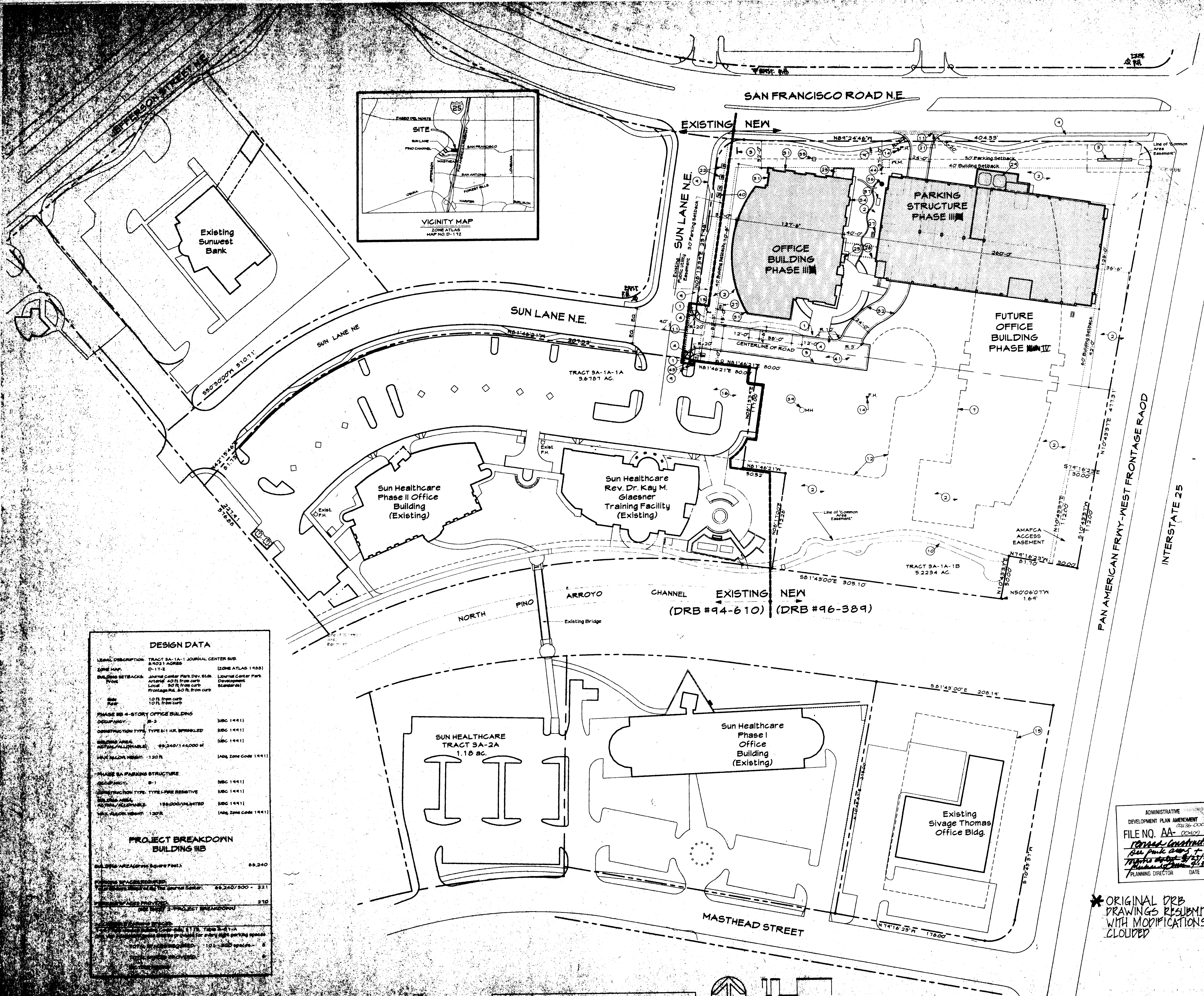
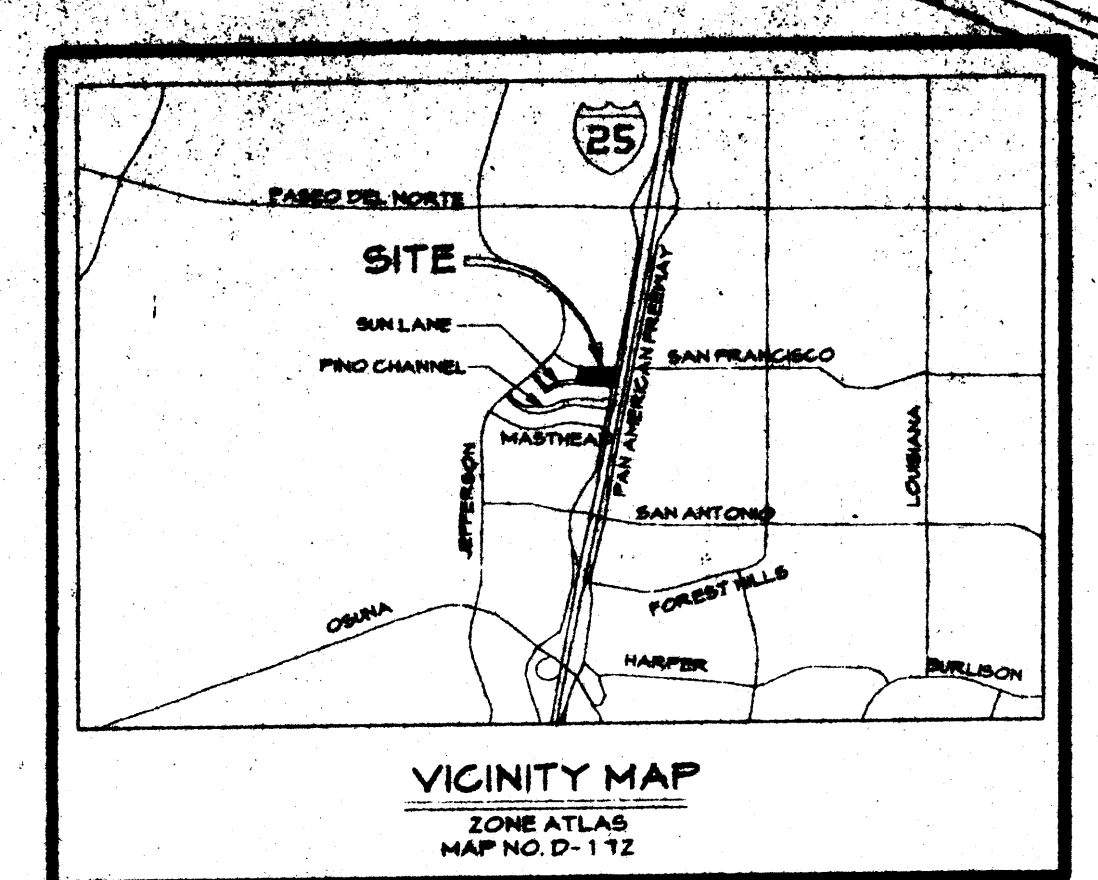
6100 Indian School Road NE Suite 210  
Albuquerque, New Mexico 87110 505-883-5200

Project: SUN HEALTHCARE GROUP, INC. Phase III  
OFFICE BUILDING & GARAGE  
101 SUN LANE NE  
Albuquerque, New Mexico

Sheet Title: SITE DEVELOPMENT PLAN  
Date: APRIL 1997

ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
FILE NO. AA-0002  
*Richard D. Tatum*  
*See Clouded notes*  
PLANNING DIRECTOR DATE

\* ORIGINAL DRB DRAWINGS RESUBMITTED WITH MODIFICATIONS CLOUDED



**DESIGN DATA**

LEGAL DESCRIPTION	TRACT 3A-1A-1 JOURNAL CENTER SUB & 0.31 ACRES	(ZONE ATLAS 1400)
ZONE MAP	D-17-2	(Journal Center Park Development Standards)
BUILDING SETBACKS	Journal Center Park Div. 5th. Arroyo: 40 ft. from curb Local: 50 ft. from curb Frontage Rd. & O ft. from curb	(Journal Center Park Development Standards)
Site	10 ft. from curb	
Use	10 ft. from curb	
PHASE III 4-STORY OFFICE BUILDING		
OCCUPANCY	B-2	(IBC 1441)
CONSTRUCTION TYPE	TYPE B-1 HR. SPRINKLED	(IBC 1441)
SEISMOIC AREA		(IBC 1441)
NET TOTAL AVAILABLE	69,240/144,000 sq ft	(IBC 1441)
MAX. ALLOW. HEIGHT	120 ft.	(Abq. Zone Code 1441)
PHASE IIIA PARKING STRUCTURE		
OCCUPANCY	B-1	(IBC 1441)
CONSTRUCTION TYPE	TYPE II-FIRE RESISTIVE	(IBC 1441)
BUILDING AREA	189,000/SUNLIMITED	(IBC 1441)
NET TOTAL AVAILABLE		(Abq. Zone Code 1441)
MAX. ALLOW. HEIGHT	120 ft.	(Abq. Zone Code 1441)
<b>PROJECT BREAKDOWN</b>		
<b>BUILDING III B</b>		
NET AREA (Gross Square Feet)	66,240	
NET AREA (Net Square Feet)	66,240/300 - 321	
NET AREA (Net Square Feet)	370	

SITE PLAN - PHASE III B





**Keyed Notes:**

1. 6" WIDE CONCRETE WALK P/C CONTROL JOINTS @ 5'-0" O.C. EXPANSION JTS. @ 15'-0" O.C.
2. LANDSCAPING
3. EXISTING JOURNAL CENTER MONUMENT SIGN
4. HANDICAP CURB RAMM
5. CONCRETE CURB AND GUTTER
6. ASPHALT PAVING
7. PLANT BED-SEE LANDSCAPING
8. PAINTED STRIPING
9. EXISTING SIDEWALK
10. EXISTING JOGGING TRAIL TO REMAIN
11. REMOVE EXISTING CURB AND GUTTER
12. NEW CURB CUT
13. NEW PARKING LIGHT FIXTURE ON 20' POLE
14. NEW FIRE HYDRANT
15. PARKING SIGN/UNIVERSAL HANDICAP SYMBOL
16. PRE-CAST CONCRETE WHEEL STOP
17. PAINTED UNIVERSAL HANDICAP SYMBOL
18. FIRETRUCK TURNING RADIUS 40' TO CENTERLINE
19. PLANT BED-SEE LANDSCAPING FOR DETAILS
20. REMOVE EXISTING STRIPING
21. REMOVE PORTION OF EXISTING SIDEWALK AS SHOWN
22. EXISTING PARKING
23. NEW JOGGING TRAIL
24. VAN ACCESSIBLE PARKING SPACE SIGN TO INDICATE VAN ACCESSIBLE
25. NEW PEDESTRIAN BRIDGE
26. EXISTING STORM DRAIN INLET
27. NEW DRAINAGE STORM INLET
28. NEW WATER FOUNTAIN

**Sun Healthcare Group, Inc.**  
World Headquarters Building Parking Count (REVISED)  
April 23, 1999

San Francisco Building	Floor Area	Required Parking (A/200)
First	17018	85
Second	17017	85
Third	14016	70
Fourth	14016	70
<b>Total Required for Building</b>		<b>210</b>

World Headquarters Building	Floor Area to be Occupied (Less/No Occupants)	Required Parking (Less/No Occupants)	Portion of Floor Area to be Occupied
First (Less Dining/Kitchen)	14400	72	100%
Second (Less Mezz. Dining)	14400	72	100%
Third (No occupants)	0	0	0%
Fourth (No occupants)	0	0	0%
Fifth	0	0	0%
Sixth	0	0	0%
<b>Total Required for Building</b>		<b>144</b>	

Parking Count	Total
Existing Parking Structure	207
New Surface Parking	59
<b>Total Number of Parking Spaces</b>	<b>266</b>

Available Parking for World Headquarters Building W/O New Parking Structure (Formula: Total Parking Avail. - S.F. Required) = (539-210) = 329

Summary:  
Without the construction of the new parking structure (Stage 4), a total of 97,800 square feet of office space may be occupied, given the available number of parking spaces from the existing parking structure and the new surface parking.  
Formula: Total Avail. Parking Rate per J.C. Std. = 326 x 300 = 97,800 Sq. Ft.

**SITE DEVELOPMENT PLAN APPROVAL**

THIS PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL JOURNAL CENTER SITE PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON AUGUST 10, 1989 (APR-12, 2-79-242) AND THE TRIP ZONE.

IT CONFORMS WITH THE COMMENTS REFERRED DURING DEVELOPMENT REVIEW BOARD ON 4/22/99 AS RECORDED DRB 96-389.

*[Signature]*  
PLANNING DIRECTOR

**DRB APPROVAL #96-389**

PHASE 4

PLANNING DIRECTOR	5/21/99
DATE	5-22-99
ENGINEER	5/22/99
DATE	5/22/99
PLANNING DEPARTMENT DEPT	5/22/99
DATE	5/22/99
CITY DEVELOPMENT DEPT	5/22/99
DATE	5/22/99
PARKS & GENERAL SERVICES	5/22/99
DATE	5/22/99

PHASE 4 INCLUDES PAGES 0-10

- ▲ 4 27' 91" ADMINISTRATIVE AVENUE
- ▲ 3 23' 00" ADMINISTRATIVE AVENUE

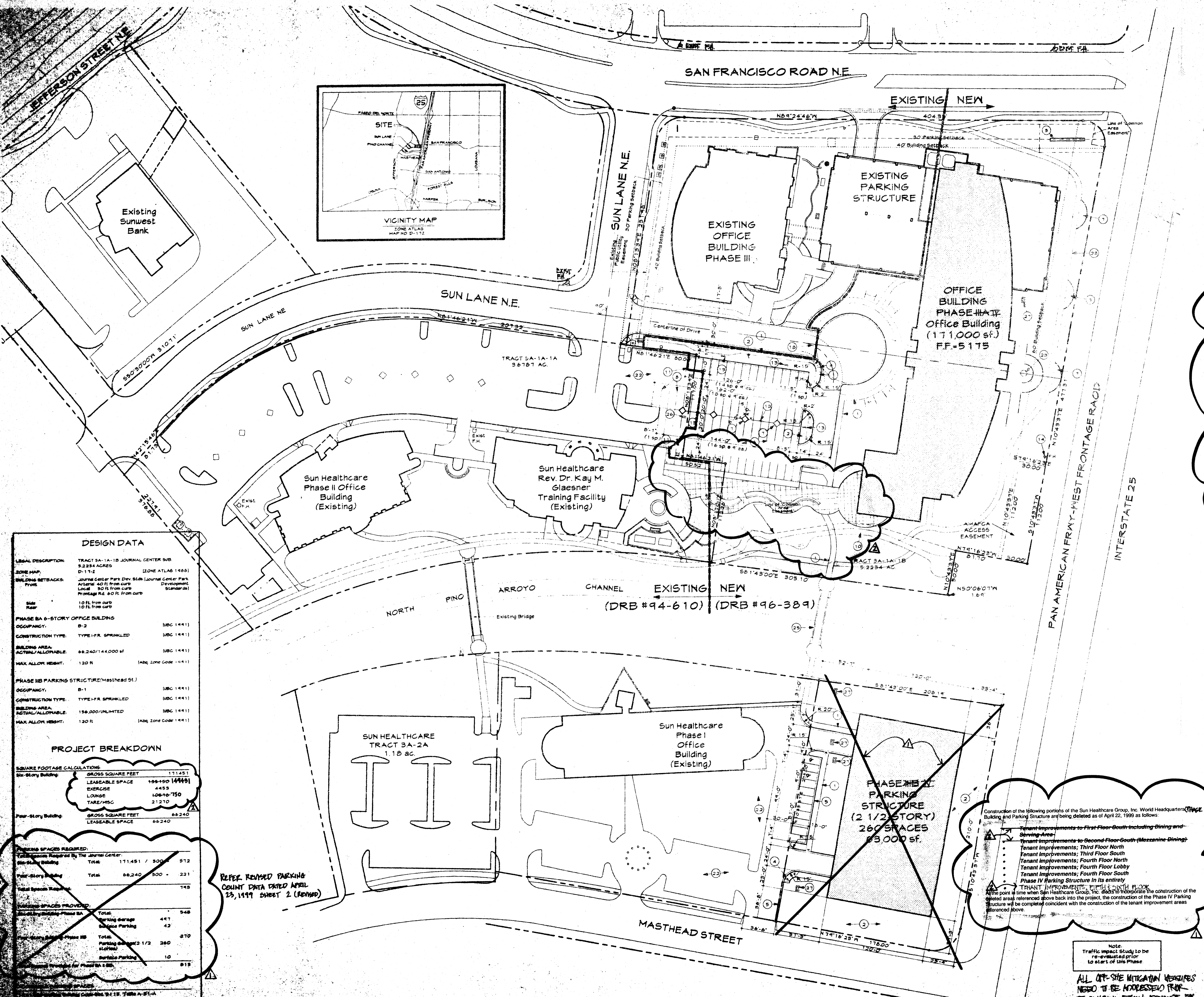
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6100 Indian School Road NE Suite 210  
Albuquerque, New Mexico 87110 505-833-5200

**SUN HEALTHCARE GROUP, INC.**  
Phase III & IV  
OFFICE BUILDING & GARAGE  
101 SUN LANE NE  
ALBUQUERQUE, NEW MEXICO

Project  
Sheet Title  
SITE DEVELOPMENT PLAN

Sheet  
2  
(REVISED)  
8 of 8



**DESIGN DATA**

LEGAL DESCRIPTION: TRACT 5A-1A-1B JOURNAL CENTER SUB 5.238 ACRES (ZONE ATLAS 1488)

ZONE MAP: D-17-2 (ZONE ATLAS 1488)

BUILDING SETBACKS: Journal Center Park Dev. Side Journal Center Park Act. 40 ft from curb Development Local 50 ft from curb Frontage Rd. 80 ft from curb

Side Ramp: 10 ft from curb 10 ft from curb

**PHASE 3A 6-STORY OFFICE BUILDING**

OCCUPANCY: B-2 (NBC 1441)

CONSTRUCTION TYPE: TYPE I-FR SPRINKLED (NBC 1441)

BUILDING AREA: 66,240/144,000 sf (NBC 1441)

ACTUAL/ALLOWABLE: 66,240/144,000 sf (NBC 1441)

MAX. ALLOW. HEIGHT: 120 ft (Adq. Zone Code 1441)

**PHASE 3B PARKING STRUCTURE (Masthead St.)**

OCCUPANCY: B-1 (NBC 1441)

CONSTRUCTION TYPE: TYPE I-FR SPRINKLED (NBC 1441)

BUILDING AREA: 156,000/UNLIMITED (NBC 1441)

ACTUAL/ALLOWABLE: 156,000/UNLIMITED (NBC 1441)

MAX. ALLOW. HEIGHT: 120 ft (Adq. Zone Code 1441)

**PROJECT BREAKDOWN**

**SQUARE FOOTAGE CALCULATIONS**

Building Type	GROSS SQUARE FEET	LEASEABLE SPACE
Six-Story Building	111,451	144,491
Garage	4,453	106,400-150
TARE/MISC	2,120	

**Four-Story Building**

Building Type	GROSS SQUARE FEET	LEASEABLE SPACE
Four-Story Building	66,240	66,240

**PARKING SPACES REQUIRED:**

Building Type	Total	111,451 / 300	672
Four-Story Building	Total	66,240	500 = 221
<b>Total Spaces Required</b>			<b>745</b>

**EXISTING SPACES PROVIDED:**

Building Type	Total	447	548
Existing Parking Phase 3A	Total	42	270
Existing Parking Phase 3B	Total	360	270
Existing Parking Phase 3C	Total	10	813

REFER REVISED PARKING COUNT DATA DATED APRIL 23, 1999 SHEET 2 (REVISED)

Construction of the following portions of the Sun Healthcare Group, Inc. World Headquarters Building and Parking Structure are being deleted as of April 22, 1999 as follows:

- Tenant Improvements to First Floor South including Dining and Serving Area
- Tenant Improvements to Second Floor South (Mezzanine Dining)
- Tenant Improvements; Third Floor North
- Tenant Improvements; Third Floor South
- Tenant Improvements; Fourth Floor North
- Tenant Improvements; Fourth Floor South
- Tenant Improvements; Fourth Floor Lobby
- Phase IV Parking Structure in its entirety

At the point in time when Sun Healthcare Group, Inc. decides to incorporate the construction of the deleted areas referenced above back into the project, the construction of the Phase IV Parking Structure will be completed coincident with the construction of the tenant improvement areas referenced above.

Note:  
Traffic Impact Study to be re-evaluated prior to start of this Phase

ALL OFF-SITE MITIGATION MEASURES NEED TO BE ACCESSED FROM THE BUILDING TENANT ENTRANCE PER BASE-A.

**SITE PLAN-PHASE III & IV** 1-30-0

