



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2021-006238
Application No. SI-2021-01916 and SD-2022-00001

TO:

- ☒ Planning Department/Chair
- ☒ Hydrology
- ☒ Transportation Development
- ☒ ABCWUA
- ☒ Code Enforcement
- ☒ Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 1/19/22 HEARING DATE OF DEFERRAL: 1/12/22

SUBMITTAL

DESCRIPTION: Revised stamped and signed plan set, signed infrastructure list, and final plat for approval.


CONTACT NAME: Michael Vos, AICP

TELEPHONE: (505) 764-9801 EMAIL: vos@consensusplanning.com



Memorandum

To: Jolene Wolfley and DRB Members, City of Albuquerque

From: Michael Vos, AICP, Consensus Planning, Inc. 

Date: January 13, 2022

Re: Allaso Louisiana Site Plan – DRB Comment Responses (PR-2021-006238)

This memo outlines the responses and changes made to the site plan for the Allaso Louisiana project based on the updated and remaining comments received and reviewed at the January 12, 2022 DRB meeting.

Transportation Development

1. Label clear sight triangles with a keyed note on the landscaping plan for both entrance locations.
 - a. ***A keynote has been added to the landscape plan for the clear sight triangles.***
2. Provide dimension of Oakland at its intersection with Louisiana where it ties into existing curb.
 - a. ***Dimension has been added to this location.***
3. Along Oakland Drive, the existing sidewalk on either side of the property has a landscape buffer. Make adjustments to incorporate this buffer except where the entrance way is located.
 - a. ***Sidewalk has been redesigned to match adjacent landscape buffer.***
4. On Alameda Boulevard, Note 26 which designates the bus shelter location is shown on the opposite side of the road instead of in front of the site. Shifting of the trail around the bus shelter location with gradual transitioning based upon design speed may impact landscaping plan.
 - a. ***As discussed at the DRB hearing on 1/12/2022, CABQ Transit has requested that the bus shelter be located on the south side of Alameda as shown. No modifications made.***
5. Dimension all parking spaces, and make sure dimensions are called out on all segments, including the width.
 - a. ***Additional dimensions have been added to show dimensions of all parking spaces length and width.***
6. If allowing for overhang as part of a standard parking space where the minimum required length is 18 feet, label the overhang on the drawing (west side of parking lot). The maximum number of compact parking spaces in the IDO shall apply.
 - a. ***Overhang has been dimensioned, parking space is 16'-0" and overhang at curb is 2'-0" for a total of 18'-0".***

7. For the compact spaces near the south side of the site, the minimum length is 15 feet, and the minimum required pathway width to the right-of-way is 6 feet. Make adjustments as necessary; if using overhang, label this, and adjust the sidewalk.
 - a. ***Sidewalk has been adjusted to 8'-0" wide to allow for a 2'-0" overhang and a 6 foot right of way at the sidewalk.***
8. Label typical width of parking spaces along the west side of the parking lot along both aisles, including the compact spaces.
 - a. ***Width of parking spaces has been dimensioned.***
9. Given the number of bicycle spaces actually required, indicate on the site plan where these will be accounted for.
 - a. ***Bicycle parking is required for 16 bicycles. 20 spaces are provided through 10 two-sided bike racks, see keynote #6. Each leader line from the keynote indicates a bike rack. See legend and keynote description for more information.***
10. The curb ramp on the far north side does not lead to any continuous pathway to the north and appears to not be needed since the ADA connection to the right-of-way is to the south.
 - a. ***The curb ramp provides access to the trash enclosure for residents of the complex via an entry into the enclosure on the north side. See associated enclosure detail. The ramp and pathway have been left as-is to maintain this access.***
11. At the far south entry, shift the median island to the west in order to allow for sufficient vehicular maneuvering around the east side of the island and to allow for sufficient space for backing up the vehicles to the east of the island. Ensure that vehicles will be able to turn around the island.
 - a. ***Island median has been shifted to accommodate cars backing up from parking spaces and full turn around space around the island.***
12. Use keyed notes to designate the handicapped spaces, signage, and ramps on the south side of the site.
 - a. ***Additional keynotes have been added for these items.***

ABCWUA

4. Utility Plan:
 - a. There shall be no trees, parallel fences/sidewalks/curbs, or structures within the public water and public sewer easement. Please revise landscape plan in the area of the water meter vault.
 - a. ***The landscape plan has been updated to further adjust the landscaping around and within the easement area.***

Hydrology

1. Hydrology did receive the submittal on 11/11/2021 (C18D085). Hydrology had a minor comment about Stormwater Quality Volume. Once the Engineer fixes the Grading & Drainage Plan, Hydrology will approve it.
 - a. ***The grading and drainage plan has been updated to account for the required Stormwater Quality Volume.***

Planning

All sheets in the updated plan set have been stamped and signed by the respective design professionals. The Project Architect is coordinating with Solid Waste to get their approval signature, which will be obtained prior to routing the approved plans for final signatures.

The DXF file for the plat has been submitted for approval, and we will share that approval at the appropriate time when routing the plat for Board signatures.

Parks and Recreation

A more legible landscape plan is included with this supplemental submittal, which addresses previous comments. No new comments received.

From: [Tim Aldrich](#)
To: [Josh Rogers](#)
Cc: [Michael Vos](#); [Derrick Archuleta](#)
Subject: FW: PLAT REVIEW REQUESTED - PR-2021-006238
Date: Thursday, January 13, 2022 4:48:51 PM

Here you go!!!

From: Muzzey, Devin P. [mailto:dmuzzey@cabq.gov]
Sent: Thursday, January 13, 2022 4:36 PM
To: Tim Aldrich; Planning Plat Approval
Cc: Rodenbeck, Jay B.; Gould, Maggie S.
Subject: RE: PLAT REVIEW REQUESTED - PR-2021-006238

Hi Tim,

The DXF for PR-2021-006238 – North Albuquerque Acres, Lot 15-A, Block 28 – has been approved.
This email will notify the DRB Office.

Thank you,
Devin Muzzey



Devin Muzzey
gis specialist
e dmuzzey@cabq.gov
cabq.gov/planning

From: Tim Aldrich <tim.aldrich@comcast.net>
Sent: Thursday, January 13, 2022 12:32 PM
To: Planning Plat Approval <platgisreview@cabq.gov>
Cc: Josh Rogers <jrogers@titan-development.com>; Michael Vos <Vos@consensusplanning.com>;
Derrick Archuleta <arch.plan@comcast.net>
Subject: PLAT REVIEW REQUESTED - PR-2021-006238

Please review and send your approval as soon as possible.

Thank you,

Tim Aldrich, PS
Aldrich Land Surveying
505-328-3988

DRAWING INDEX

SDP 1.1	SITE PLAN
SDP 1.2	SITE DETAILS
SDP 1.3	SITE DETAILS
LS-01	LANDSCAPE PLAN
C-100	OVERALL GRADING
C-101	GRADING SHEET 1
C-102	GRADING SHEET 2
C-103	DRAINAGE
C-104	UTILITY
C-105	SECTIONS
SDP 5.1	EXTERIOR BUILDING ELEVATIONS
SDP 5.2	SUN ANALYSIS
SDP 5.3	SUN ANALYSIS
FIRE-1	APPROVED FIRE ONE



ALLASO LOUISIANA

OWNER
TITAN DEVELOPMENT
6300 RIVERSIDE DEVELOPMENT, SUITE 200
ALBUQUERQUE, NM 87102
PHONE: 505.998.0163

ARCHITECT
DEKKER/PERICH/SABATINI, LTD.
7601 JEFFERSON ST. NE, SUITE 100
ALBUQUERQUE, NM 87109
PHONE: 505.761.9700

LANDSCAPE ARCHITECT
YELLOWSTONE LANDSCAPE
7525 2ND ST NW
ALBUQUERQUE, NM 87107
PHONE: 505.898.9615

CIVIL ENGINEER
RESPEC
5971 JEFFERSON ST NE
ALBUQUERQUE, NM 87109
505.251.0815

DEKKER
PERICH
SABATINI

ARCHITECT

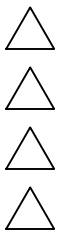


ENGINEER

PROJECT

ALLASO LOUISIANA
NORTHWEST CORNER OF
ALAMEDA AND LOUISIANA
ALBUQUERQUE, NM

REVISIONS

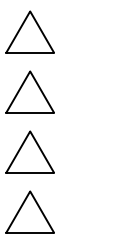


DRAWN BY	AG, AS
REVIEWED BY	RAW, HFG
DATE	11/12/2021
PROJECT NO.	21-1013
DRAWING NAME	

SDP FOR
BUILDING PERMIT

SHEET NO.

COVER
OF



GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- D. SITE PLAN SHALL COMPLY WITH LOCAL, STATE AND FEDERAL ADA STANDARDS & GUIDELINES, INCLUDING THE INTERNATIONAL FIRE CODE (IFC) 2015.
- E. CURBS AND ACCESSIBLE RAMPS WILL BE DESIGNED AND BUILT ACCORDING TO THE CITY OF ALBUQUERQUE STANDARDS.
- F. LIGHT FIXTURES AND DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- G. STREETS, PARKING SPACES AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE.
- H. LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- I. ALL PUBLIC INFRASTRUCTURE LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE INCLUDED IN A PUBLIC WORK ORDER.

PROJECT DATA

ZONING:

IDO - MIXED USE - LOW INTENSITY ZONING DISTRICT (MX-L)

TRANSIT:

BUS STOP ROUTE 98 IS ALONG ALAMEDA BOULEVARD GOING IN THE WEST AND SOUTH DIRECTION.

BIKE FACILITIES:

A BIKE LANE IS WITHIN ALAMEDA BOULEVARD AND LOUISIANA BOULEVARD. A PAVED MULTIPLE USE TRAIL NAMED ALAMEDA TRAIL IS ON THE SOUTH OF THE SUBJECT SITE.

LEGAL DESCRIPTION:

015 028TRACT A UNIT B NORTH ALBUQUERQUE ACRES; LT 16 BLK 28 (EXCL ELY PORT OUT TO R/W) TR A UNIT B NORTHALBUQUERQUE ACRES; LT 18 BLK 28 (EXCL SLY PORT OUT TO R/W) TR A UNIT B NORTHALBUQUERQUE ACRES; LT 17 BLK 28 (EXCL SLY & ELY PORT OUT TO R/W) TR A UNIT BNORTH ALBUQUERQUE ACRES LOT CONSOLIDATION PENDING REPLAT.

SITE AREA: 2.77 ACRES

ZONE ATLAS: C-162

SETBACKS: FRONT= 5' MIN

SIDE = 0' MIN, STREET SIDE = 5' MIN

REAR= 15' MIN

BUILDING HEIGHT:

MAXIMUM ALLOWED: 38'-0"

ACTUAL HEIGHT: 38'-0"

SPRINKLERED: YES, NFPA 13

BUILDING OCCUPANCY: R-2 MULTIFAMILY RESIDENTIAL

CONSTRUCTION TYPE: 3 STORY RESIDENTIAL BUILDING - TYPE VA

BUILDING SF:

FIRST LEVEL	41,240 GSF
SECOND LEVEL	40,774 GSF
THIRD LEVEL	34,404 GSF
TOTAL	116,418 GSF

PARKING CALCULATION: (TABLE 5-5-1, UC-MS-PT)

REQUIRED SPACES: 142 SPACES

(1.5 SPACES / DWELLING UNITS: 105 X 1.5 = 158 SPACES MINUS PARKING CREDIT OF 16 SPACES FOR 5% PARKING REDUCTION FOR A TRANSIT SHELTER, AND 8 ELECTRIC CHARGING STATION PARKING SPACES)

PROVIDED PARKING = 146 TOTAL SPACES

(INCLUDING 15 COMPACT SPACES = 11% OF TOTAL PARKING REQUIRED COMPACT SPACES ARE IDENTIFIED WITH "C"; SEE LEGEND.)

ACCESSIBLE PARKING: (ADA 208.2.3)

2% OF UNITS = 105 X .02 = 2.1 = 3 SPACES REQUIRED

2 STANDARD SPACES + 2 VAN ACCESSIBLE SPACE = 4 SPACES PROVIDED

{142 STANDARD SPACES + 4 ACCESSIBLE SPACES}

MOTORCYCLE PARKING REQUIRED (TABLE 5-5-4, 101-150 OFF-STREET) = 4 SPACES

MOTORCYCLE PARKING PROVIDED = 4 SPACES

BICYCLE PARKING REQUIRED, 10% (TABLE 5-5-5) = 14.2 = 15 SPACES

BICYCLE PARKING PROVIDED = 20 SPACES

UNIT DATA

UNIT TYPE	DESCRIPTION	GSF	#UNITS	TOTAL
S1	STUDIO	592 SF	6	3,552 SF
S2	STUDIO	520 SF	14	7,280 SF
A1	1 BEDROOM / 1 BATHROOM	695 SF	6	4,170 SF
A2	1 BEDROOM / 1 BATHROOM	775 SF	19	14,725 SF
A3	1 BEDROOM / 1 BATHROOM	762 SF	3	2,286 SF
A6	1 BEDROOM / 1 BATHROOM	859 SF	24	20,616 SF
B1	2 BEDROOM / 2 BATHROOM	1,130 SF	16	18,080 SF
B2	2 BEDROOM / 2 BATHROOM	1,016 SF	6	6,096 SF
B3	2 BEDROOM / 2 BATHROOM	1,000 SF	6	6,000 SF
B4	2 BEDROOM / 2 BATHROOM	1,049 SF	2	2,098 SF
B5	2 BEDROOM / 2 BATHROOM	1,040 SF	3	3,120 SF
TOTAL:		105 UNITS		88,023 SF

OPEN SPACE CALCULATIONS

TABLE 2-4-3 / MX-L ZONING			
USABLE OPEN SPACE			
1 BD: 225 SF PER UNIT	225 SF x 72 UNITS	=	16,200 SF
2 BD: 285 SF PER UNIT	285 SF x 33 UNITS	=	9,405 SF
TOTAL		=	25,605 SF

REQUIRED OPEN SPACE: = 25,605 SF

PROVIDED OPEN SPACE: = 29,886 SF

LEVEL 1 = 2,630 SF

LEVEL 2 = 32,516 SF

TOTAL = 32,516 SF

LEGEND

- FIRELANE STRIPING MARKING FIRE ACCESS LANE; REF: A2/SDP1.3
- PROPERTY LINE
- FIRE HYDRANT
- ⊕ POST INDICATOR VALVE (PIV), RE: CONCEPTUAL UTILITY PLAN
- ⊕ FIRE DEPARTMENT CONNECTION (FDC) WALL-MOUNTED
- ⊕ BIKE RACK (EACH BIKE RACK HOLDS TWO BIKES, SEE KEYNOTE)
- ⊕ SIDEWALK RAMP (ARROW POINTS DOWN)
- ⊕ TRANSFORMER WITH SAFETY BOLLARDS & 6" THICK CONCRETE PAD PER PNM STANDARDS
- ⊕ ACCESSIBLE PARKING WITH ACCESSIBLE SIGNAGE AND STRIPING, REF: A3/SDP1.2, b1/SDP1.2 & D4/SDP1.2.
- MC MOTORCYCLE PARKING
- C COMPACT PARKING WITH "COMPACT" LABELED AT THE BACK OF THE SPACE
- LIGHT POLE; REF: D2/SDP1.2
- 6" BOLLARD WITH SIGN, REF: B1/SDP1.2
- ||||| 6" WIDE PAINTED CROSSWALK, SEE B2/SDP1.2

SHEET KEYED NOTES

- 6' TALL PERIMETER FENCE, REF: D5/SDP1.2
- 6' TALL ORNAMENTAL GATE, REF: C4/SDP1.3
- 6' WIDE CONCRETE SIDEWALK, UNLESS DIMENSIONED OTHERWISE; SEE B4/SDP1.2
- ACCESSIBLE PARKING WITH SIGNAGE, SEE A3/SDP1.2
- ACCESSIBLE RAMP, SEE C5/SDP1.2 AND B3/SDP1.2
- BIKE PARKING RACK PER IDO SECTION 5-5(E) AND DPM STANDARDS, 10% OF REQUIRED OFF-STREET PARKING WITH TWO-POINT BIKE LOCKING, SEE B5/SDP1.2 (EACH RACK HOLDS 2 BIKES)
- GARAGE PARKING
- BUILDING OVERHANG ABOVE
- CONCRETE CURB & GUTTER, SEE A2/SDP1.2
- ELECTRIC VEHICLE CHARGING STATION WITH SIGNAGE, REF: B1/SDP1.2
- ELECTRICAL METERS
- EXISTING FIRE HYDRANT, SEE CIVIL
- FIRE DEPARTMENT CONNECTION (FDC) SEE CIVIL
- FIRE HYDRANT, SEE CIVIL
- 25' LANDSCAPE BUFFER
- ILLUMINATED MONUMENT SIGN, REF: A3/SDP1.3
- KNOX BOX AND USPS KEY REQUIRED AT GATE ACCESS
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- PARKING LOT STRIPING, 4" WIDE TYPICAL, COLOR: WHITE
- PARALLEL CURB RAMP PER C.O.A. DETAIL 2443.
- POST INDICATOR VALVE (PIV)
- POOL
- SHADE STRUCTURE
- SFA
- PROVIDE/INSTALL NEW TRANSIT SHELTER PER CITY STANDARD DETAIL 2535. COORDINATE EXACT LOCATION WITH TRANSIT AUTHORITY PRIOR TO INSTALLATION.
- REFUSE ENCLOSURE WITH 2 YARD TRASH BINS TO COMPLY WITH IDO/SOLID WASTE REQUIREMENTS, REF: C1/SDP1.2
- TRANSFORMER
- VEHICULAR GATE, 6'-0" HIGH, PROVIDE KNOX KEY PER FIRE DEPARTMENT REQUIREMENTS, REF: A5/SDP1.3
- WATER METER VAULT, SEE CIVIL
- POOL GATE, REF: C3/SDP1.3
- 6' TALL ORNAMENTAL FENCE, REF: C4/SDP1.3
- 10' WIDE ASPHALT TRAIL
- MOTORCYCLE PARKING, 4'X8' MINIMUM WITH "MC" LABELED AT THE BACK OF THE SPACE, "MOTORCYCLE PARKING ONLY" SIGNAGE PROVIDED AS INDICATED, SEE B1/SDP1.2.
- PROVIDE "RESIDENT ONLY" SIGNAGE AT ENTRY.
- 5' PARKING LOT KEYWAY.
- EXISTING 6' WIDE SIDEWALK AND 3' LANDSCAPE BUFFER.
- EXISTING CENTURYLINK PEDESTAL
- COMPACT PARKING, SIZE REQUIREMENTS PER DPM, WITH "COMPACT" LABELED AT THE BACK OF THE SPACE.

AMENITIES

AMENITIES ON-SITE WILL INCLUDE A SWIMMING POOL, HOT TUB, FITNESS CENTER, CLUBHOUSE, COVERED POOLSIDE GATHERING SPACE, AND CABANAS. POOL AND HOT TUB TO BE PERMITTED BY OTHERS. SITE WALLS TO BE PERMITTED SEPERATELY

PROJECT NUMBER: PR-2021-006238

Application Number: SI-2021-01916

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way for construction of public improvements.

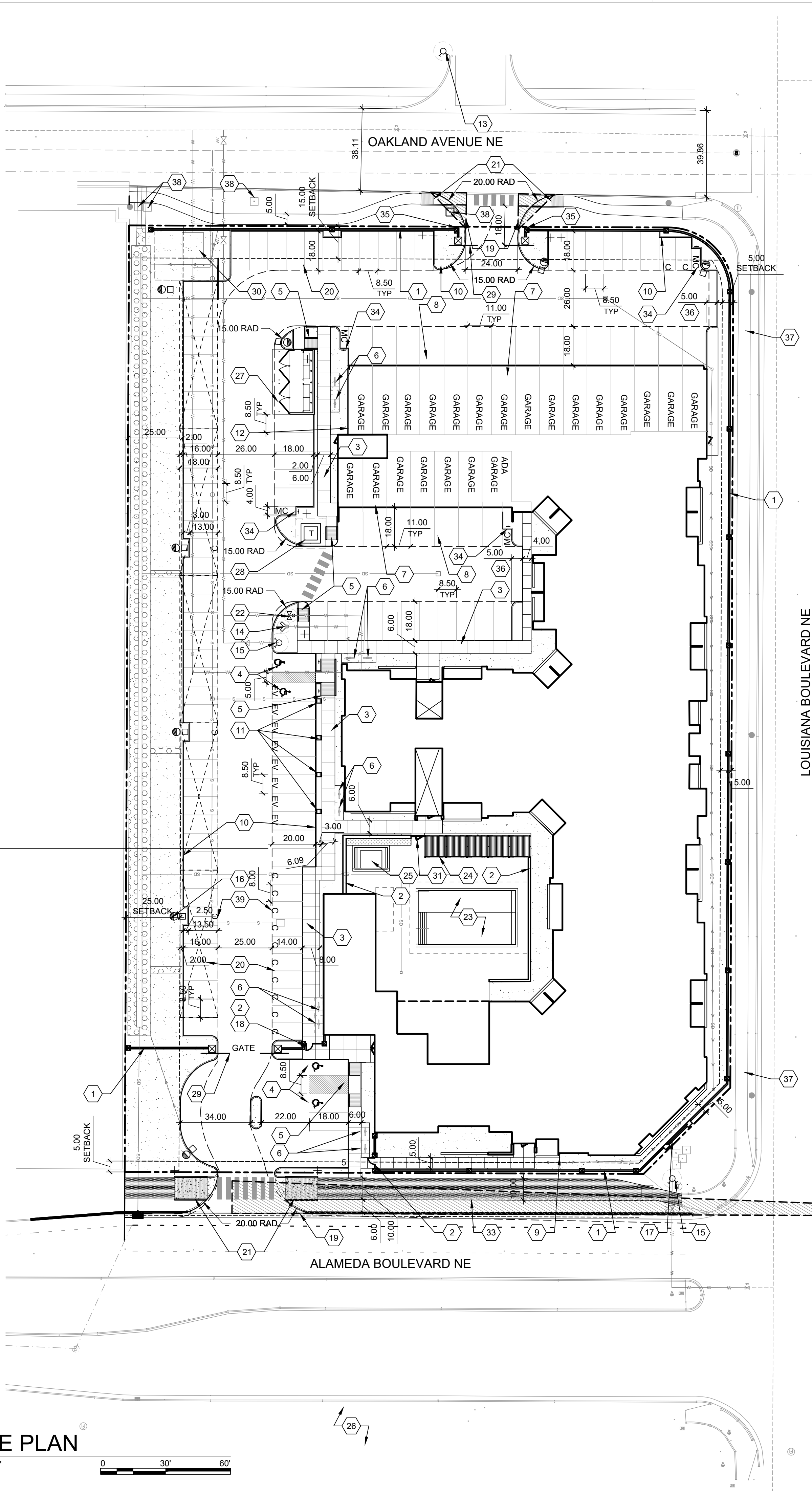
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineeer/Hydrology	Date
Code Enforcement	Date
*Environmental Heath Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Panning Department	Date

*Environmental Health, if necessary

2/16/2018

VICINITY MAP





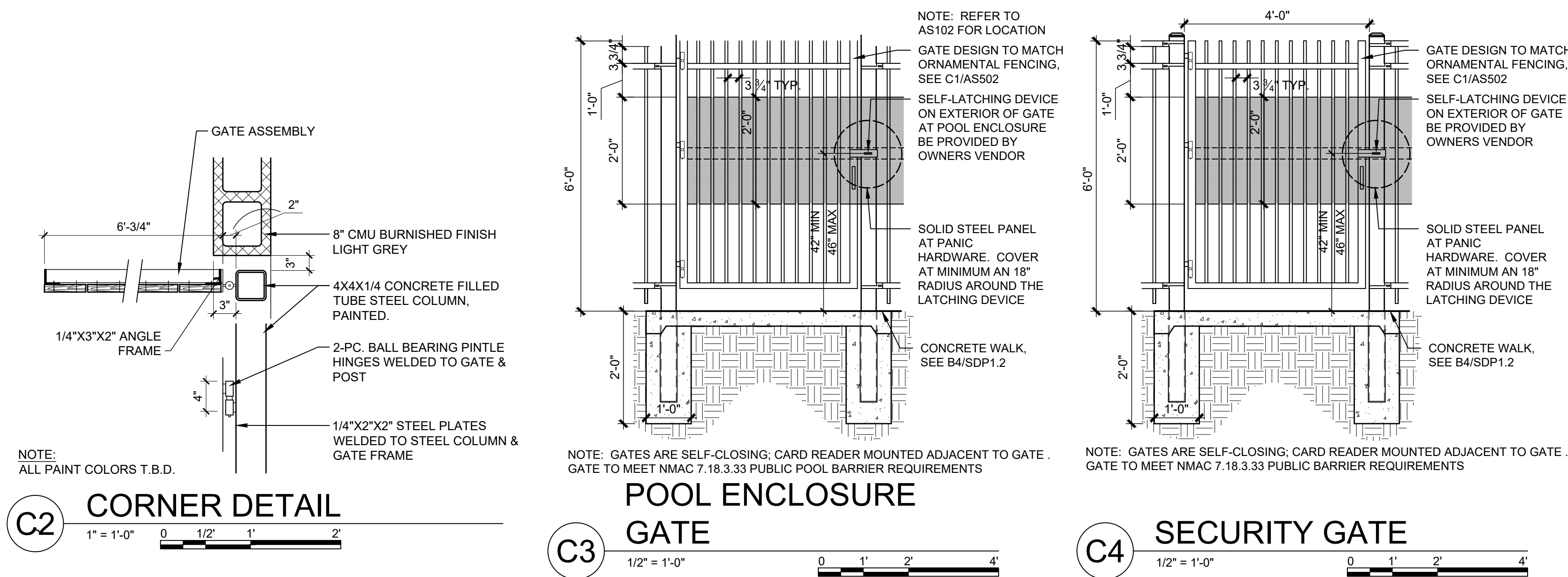
ARCHITECT



ENGINEER

PROJECT

ALLASO LOUISIANA
NORTHWEST CORNER OF
ALAMEDA AND LOUISIANA
ALBUQUERQUE, NM



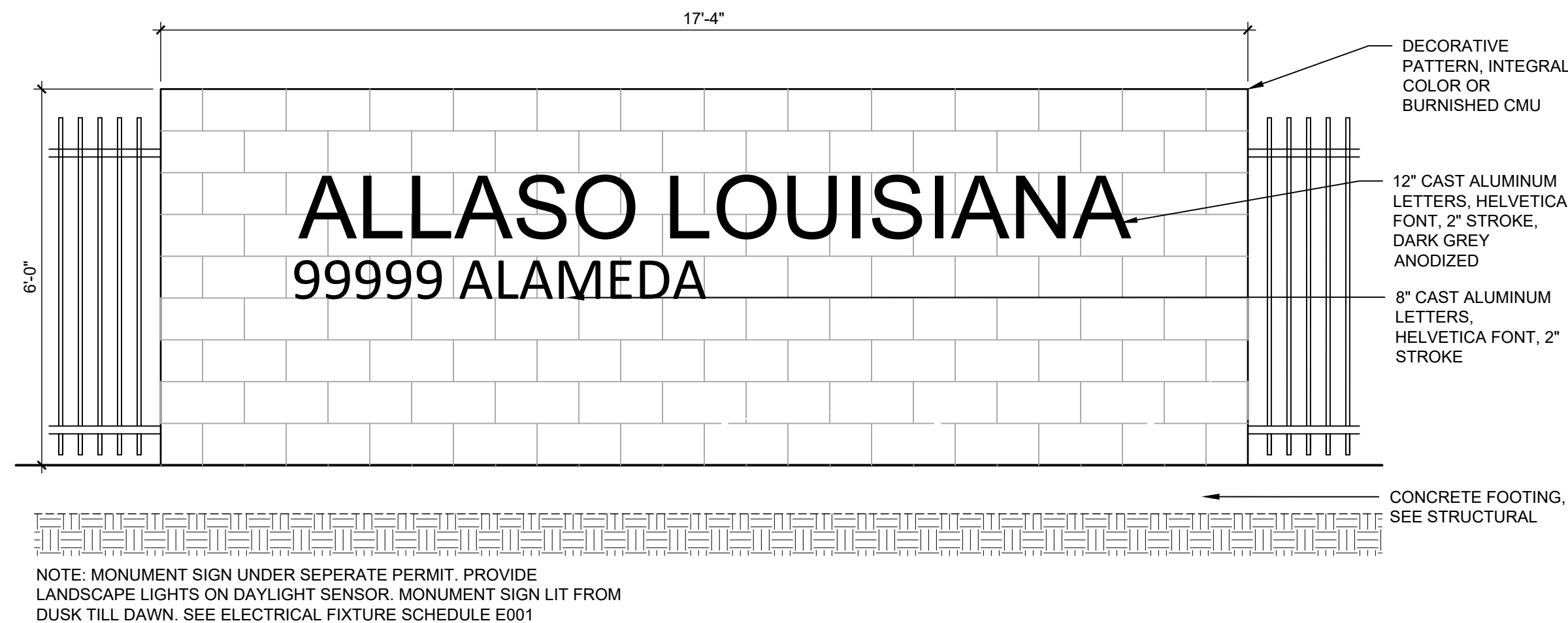
ALLASO

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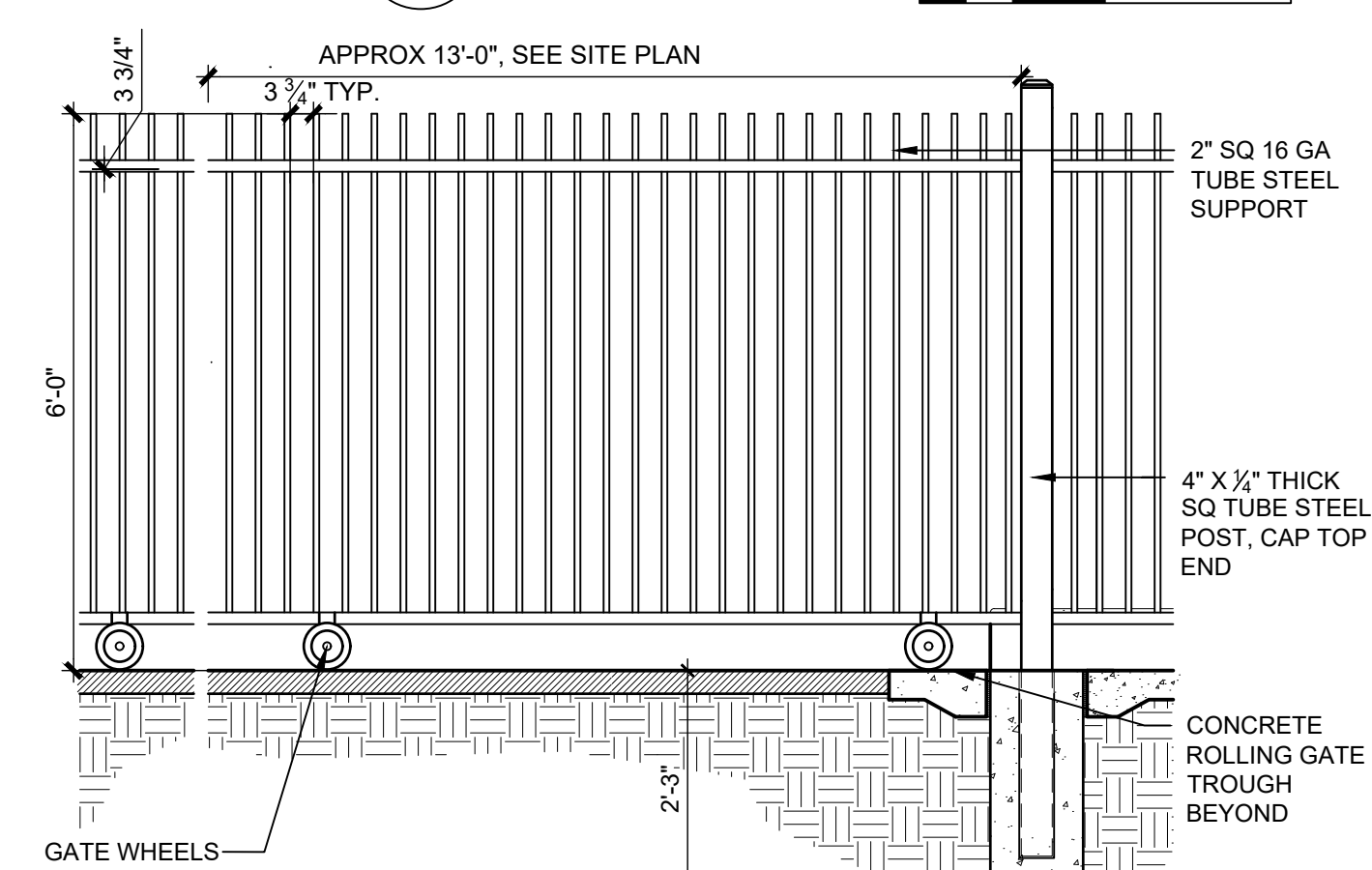
BUILDING MOUNTED SIGN, REF: C1/SDP5.1

BUILDING MOUNTED
SIGN

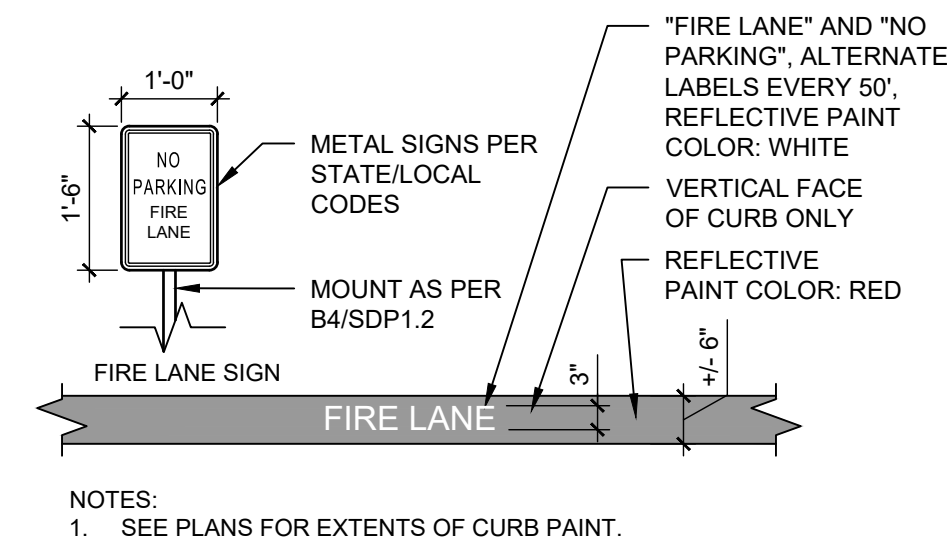
B5 1/2\"/>



A3 MONUMENT SIGN
1/2\"/>

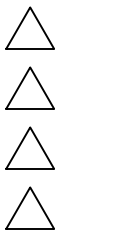


A5 VEHICULAR GATE
1/2\"/>



A2 FIRELANE STRIPING
AND SIGNAGE
1/2\"/>

REVISIONS



DRAWN BY DPS

REVIEWED BY DPS

DATE 11/12/2021

PROJECT NO. 21-1013

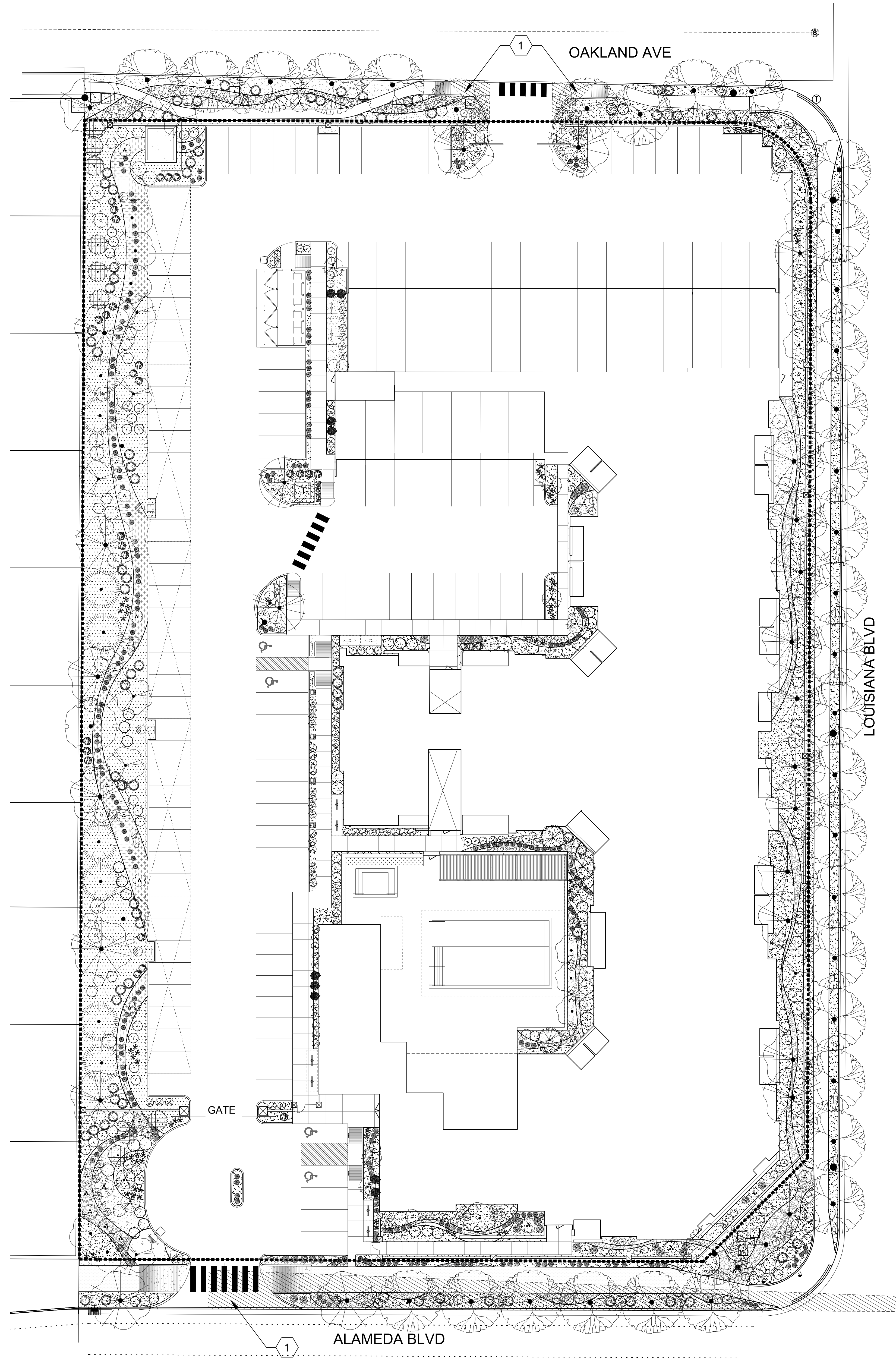
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SITE DETAILS

SHEET NO.

SDP1.3
OF

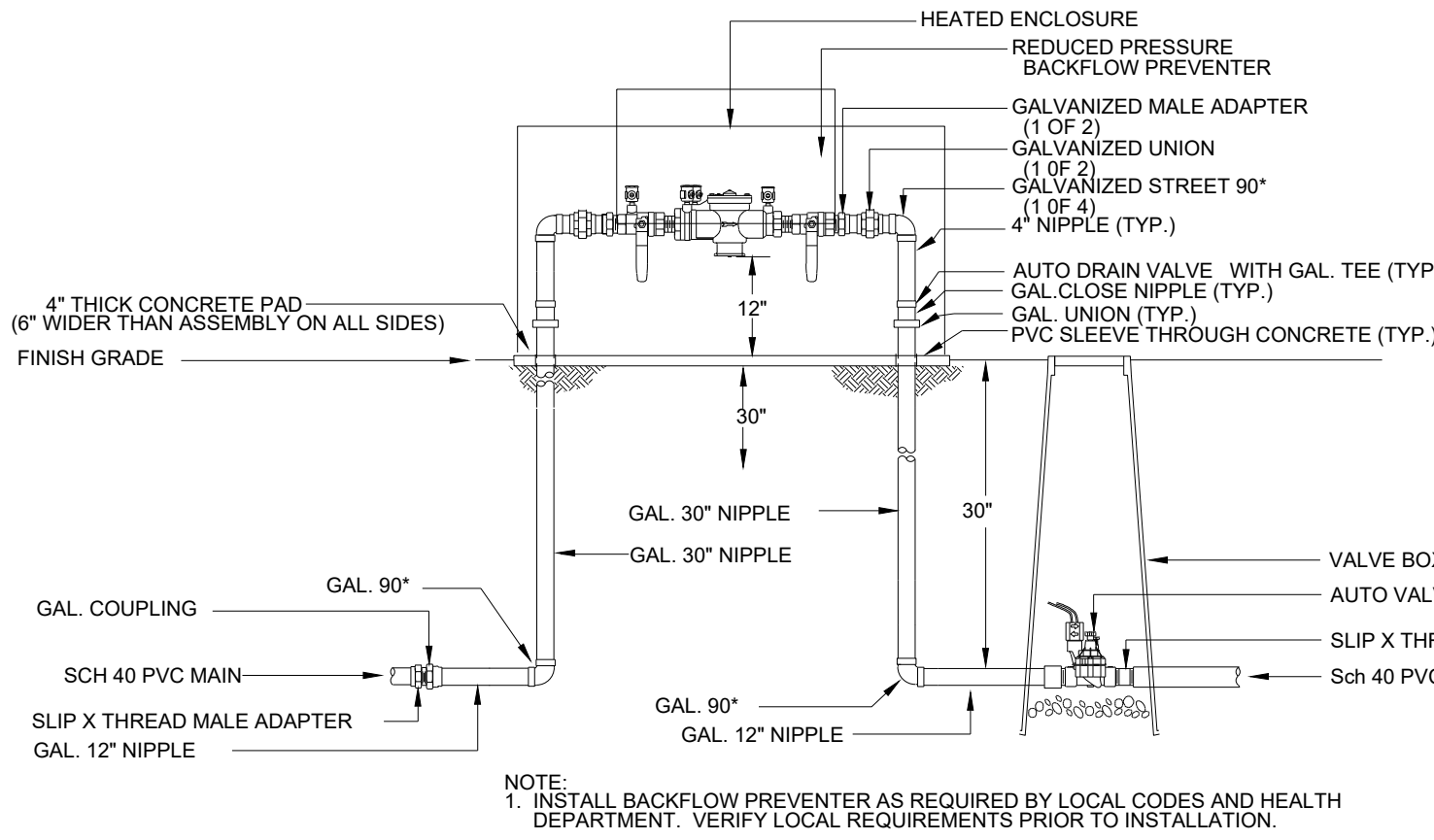
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LANDSCAPE PLAN

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	10	CHILOPSIS LINEARIS 'ART-S SEEDLESS' / ART-S SEEDLESS DESERT WILLOW	24"BOX	20' X 25'	491X10=4910 SF
	5	COTINUS COGGYGRIA / SMOKE TREE	15 GAL	15' X 15'	177X5=885 SF
	8	FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	24"BOX	15' X 15'	177X8=1,416 SF
	3	GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST	2" B&B	50' X 45'	1590X3=4770 SF
	13	LAGERSTROEMIA INDICA / CRAPE MYRTLE	15 GAL	15' X 15'	177X13=2,301 SF
	24	PISTACIA CHINENSIS / CHINESE PISTACHE	2" B&B	40' X 30'	707X24=16,968 SF
	3	QUERCUS LOBATA / VALLEY OAK	2" B&B	45' X 30'	707X3=2,121 SF
	35	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	2" B&B	40' X 40'	1,256X35=43,960 SF
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	9	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	20 GAL	12' X 3'	7X9=63 SF
	8	JUNIPERUS SCOPULORUM / ROCKY MOUNTAIN JUNIPER	15 GAL	40' X 20'	314X8=2512 SF
	3	PINUS NIGRA / AUSTRIAN BLACK PINE	10" B&B	35' X 25'	491X3=1,473 SF
		Subtotal Coverage			81,377 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	14	DASYLIRION TEXANUM / TEXAS SOTOL	5 GAL	5' X 5'	20X14=280 SF
	7	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL	3' X 4'	13X7=91 SF
	9	NOLINA MICROCARPA / BEARGRASS	5 GAL	5' X 6'	28X9=252 SF
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	172	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	1 GAL	3' X 3'	7X172=1204 SF
	68	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	1 GAL	30' X 2'	3X68=204 SF
	32	MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	1 GAL	3' X 3'	7X32=224 SF
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	68	BERBERIS THUNBERGII 'CRIMSON PYGMY' / CRIMSON PYGMY BARBERRY	5 GAL	4' X 4'	13X68=884 SF
	27	BUDDLEIA DAVIDII / BUTTERFLY BUSH	5 GAL	4' X 4'	13X27=251 SF
	29	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	1 GAL	3' X 3'	7X29=203 SF
	27	GAILLARDIA X GRANDIFLORA / BLANKETFLOWER	1 GAL	2' X 2'	3X27=81 SF
	18	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	1 GAL	3' X 3'	7X18=126 SF
	16	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL	6' X 6'	28X16=448 SF
	28	NEPETA X FAASSENII 'SELECT BLUE' / CATMINT	1 GAL	1' X 2'	3X28=84 SF
	42	PENSTEMON PINIFOLIUS / THREADLEAF BEARDTONGUE	1 GAL	1" X 20"	3X42=126 SF
	54	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	4' X 4'	13X54=702 SF
	9	ROSA X 'KNOCKOUT' TM / ROSE	5 GAL	6' X 5'	20X9=180 SF
	23	SALVIA GREGGII / AUTUMN SAGE CHERRY	1 GAL	2' X 3'	7X23=161 SF
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
	65	CERCOCARPUS LEDIFOLIUS / CURL-LEAF MOUNTAIN MAHOGANY	5 GAL	15' X 15'	177X65=11505 SF
	28	ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	5 GAL	3' X 4'	13X28=364 SF
	56	FALLUGIA PARADOXA / APACHE PLUME	5 GAL	6' X 7'	38X56=2128 SF
	75	PINUS MUGO MUGO / DWARF MUGO PINE	5 GAL	4' X 4'	13X75=975 SF
	46	RHAPHOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	3' X 4'	13X46=598 SF
	52	ROSMARINUS OFFICINALIS / ROSEMARY	5 GAL	6' X 6'	28X52=1,456 SF
		Subtotal Coverage			22,527 SF
		Total Coverage			103,904 SF



1 RP BACKFLOW/Master Valve Detail

N.T.S.

MATERIAL SCHEDULE

SYMBOL	DESCRIPTION
	LARGE BOULDER
SYMBOL	DESCRIPTION
	1" MOUNTAINAIR SUNRISE GOLD GRAVEL OVER FILTER FABRIC
	1" PUEBLO ROSE GRAVEL OVER FILTER FABRIC
	2-4" BLUE SAIS COBBLE OVER FILTER FABRIC
	TURF
	4-8" WALLIN COBBLE
	4-8" MOUNTAINAIR SUNRISE GOLD COBBLE

LANDSCAPE CALCULATIONS

TOTAL AREA OF PROJECT	121,023 SF
LESS BUILDING	41,570 SF
NET LOT AREA	79,453 SF

REQUIRED LANDSCAPE AREA	
MINIMUM 25% OF NET LOT AREA	19,864 SF
ACTUAL LANDSCAPE AREA	30,782 SF
LANDSCAPE AREA REQUIREMENT EXCEEDED	10,918 SF

LANDSCAPE COVERAGE REQUIRED - 75%	23,087 SF
COVERAGE PROVIDED	103,904 SF
REQUIREMENT EXCEEDED	80,817 SF

REQUIRED 25% COVERAGE BY GROUND-LEVEL PLANTS	5,772 SF
ACTUAL COVERAGE BY GROUND-LEVEL PLANTS	22,527 SF
REQUIREMENT EXCEEDED	16,755 SF

SOD ALLOWED (10%)	2,267 SF
SOD ACTUAL	164 SF
UNDER MINIMUM ALLOWED	2,103 SF

PARKING LOT TREES (1 TREE PER 10 PARKING SPACES)	
146 PARKING SPACES PROVIDED	
REQUIRED (146 / 10)	15 TREES
PROVIDED	15 TREES

STREET TREES REQUIRED (1 TREE PER 25 LF)	39 TREES
STREET TREES PROVIDED	39 TREES

DWELLING UNIT TREES REQUIRED	
(1 TREE PER 1ST STORY UNIT + 1 TREE PER 2ND STORY UNIT. 67 UNITS TOTAL)	72 TREES
PROVIDED	72 TREES

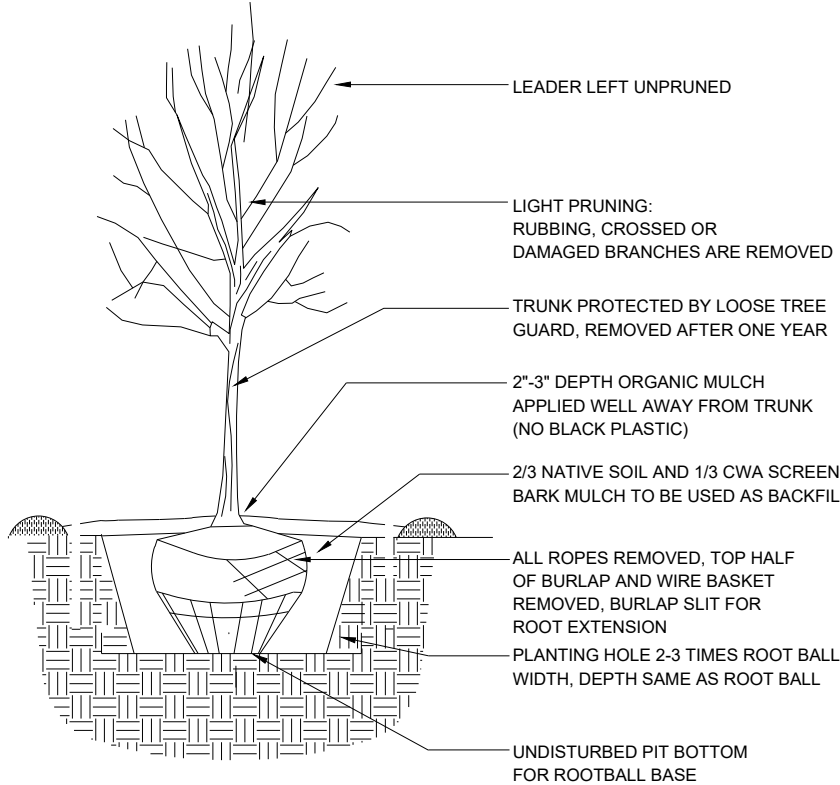
DECIDUOUS TREES REACHING 25' MATURE CANOPY DIAMETER	
REQUIRED (50%)	34 TREES
PROVIDED	35 TREES

GENERAL LANDSCAPE NOTES

- CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION AND PLANTING.
- RESPONSIBILITY FOR MAINTENANCE: THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF THE LANDSCAPE DURING CONSTRUCTION AND DURING A 90 DAY-MAINTENANCE PERIOD FOLLOWING SUBSTANTIAL COMPLETION. THE OWNER WILL BE RESPONSIBLE FOR MAINTENANCE FOLLOWING THE 90-DAY MAINTENANCE PERIOD. THE PROPERTY OWNER SHALL MAINTAIN RIGHT-OF-WAY (ROW) LANDSCAPING IN A NEAT AND HEALTHY CONDITION.
- STATEMENT OF COMPLIANCE WITH CITY OF ALBUQUERQUE: THE LANDSCAPING SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO) INCLUDING, BUT NOT LIMITED TO, GENERAL LANDSCAPING REGULATIONS, WATER CONSERVATION, LANDSCAPING AND WATER WASTE REGULATIONS, POLLEN-RELATED REGULATIONS, MINIMUM VEGETATIVE COVERAGE REQUIREMENTS AND STREET TREE REGULATIONS.
- TIMING OF LANDSCAPE INSTALLATION: INSTALLATION OF THE LANDSCAPING SHALL BE COMPLETE WITHIN 60 DAYS OF THE RELATED BUILDING'S OCCUPANCY.
- SURFACE TREATMENT: LANDSCAPE AREAS SHALL BE COVERED WITH MULCH.
- LANDSCAPE, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS; THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- LANDSCAPING WILL BE WATERED WITH AN AUTOMATED IRRIGATION SYSTEM THAT INCLUDES DRIP ZONES FOR LANDSCAPING.
- MINIMUM PLANT SIZES ARE AS PER CITY OF ALBUQUERQUE STANDARDS: 2" CALIPER TREES, 6" HEIGHT CONIFERS, AND 1" GALLON SHRUBS.
- AREAS DISTURBED DURING CONSTRUCTION, INCLUDING AREAS NOT WITHIN THE PROPERTY LINE, WILL BE STABILIZED.
- ROOF DRAINS: SURFACE DRAINAGE OFF DOWNSPOUTS SHALL BE DIRECTED AWAY FROM BUILDINGS INTO LANDSCAPE AREAS OR ENGINEERED DRAINAGE SYSTEMS. REFER TO CIVIL VEGETATIVE SCREENING SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10' OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5' OF CLEARANCE ON THE REMAINING SIDES FOR SAFE OPERATION AND MAINTENANCE.
- NEW PLANTINGS DO NOT EXCEED THE 10% LIMIT FOR HIGH WATER TURF.
- ORGANIC BARK MULCH IS PROVIDED AT EACH TREE FROM ROOT BALL EXTENDING OUT TO DRIPLINE PER CITY OF ALBUQUERQUE IDO 14-16-5-6(C)(5)(b).
- WHERE MULCH IS ADJACENT TO CONCRETE OR ASPHALT, FINISH GRADE OF MULCH SHALL 1/2" BELOW TOP OF CONCRETE, UNLESS OTHERWISE INDICATED.
- PLANT MATERIAL SHALL BE FREE OF DISEASE AND INSECTS AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ASNA) OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL LANDSCAPING CONTIGUOUS TO INDIGENOUS AREAS TO BE PLANTED WITH INDIGENOUS TREES AND SHRUBS.
- PLANTINGS IN CLEAR SIGHT TRIANGLE NOT TO OBSTRUCT LINE OF VISION FROM 3' HEIGHT TO 8' HEIGHT.

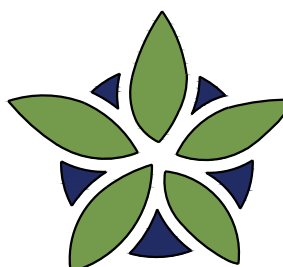
KEYED NOTES

- CLEAR SIGHT TRIANGLE.



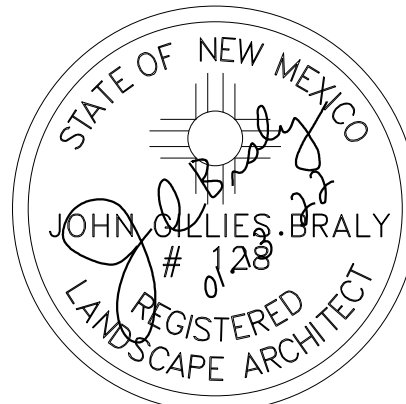
2 TREE PLANTING DETAIL

N.T.S.



YELLOWSTONE
LANDSCAPE

www.yellowstonelandscape.com
P O Box 10597
Albuquerque, NM 87184
505.898.9615
design@yellowstonelandscape.com



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Revisions:

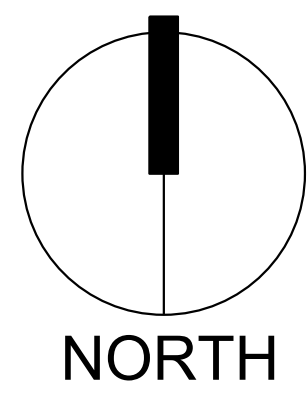
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- ▲ 01/13/2022 HA
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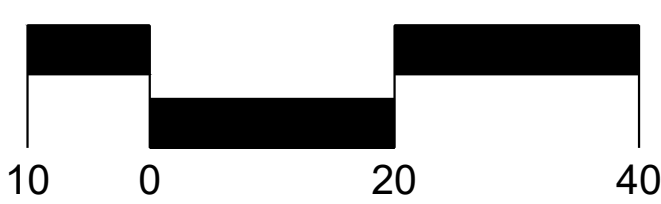
Reviewed by: JB

Allaso Louisiana

Albuquerque, New Mexico



Scale: 1" = 20'



Sheet Title:

Landscape Plan

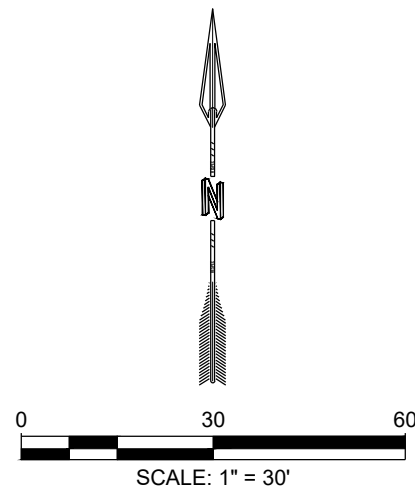
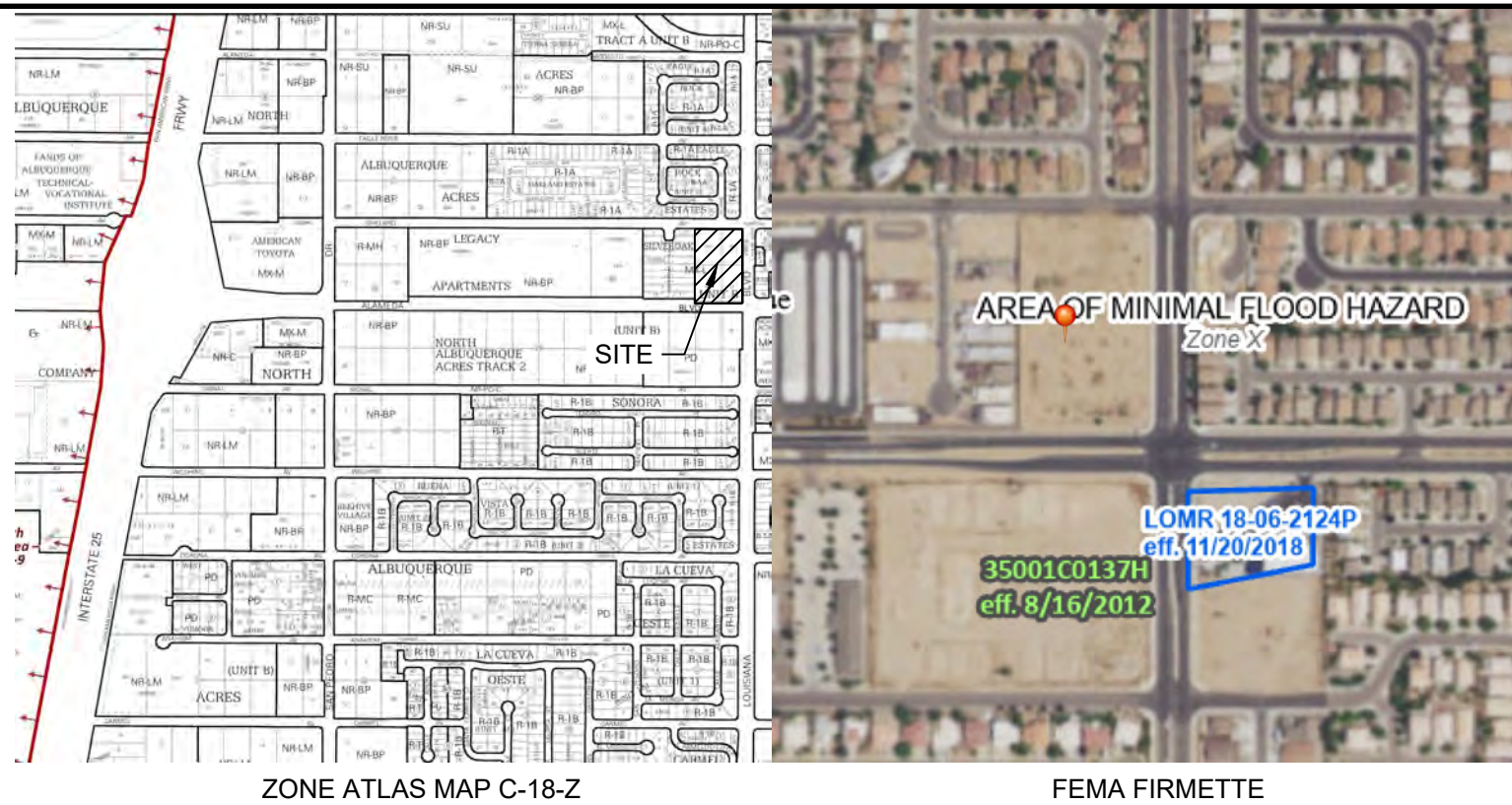
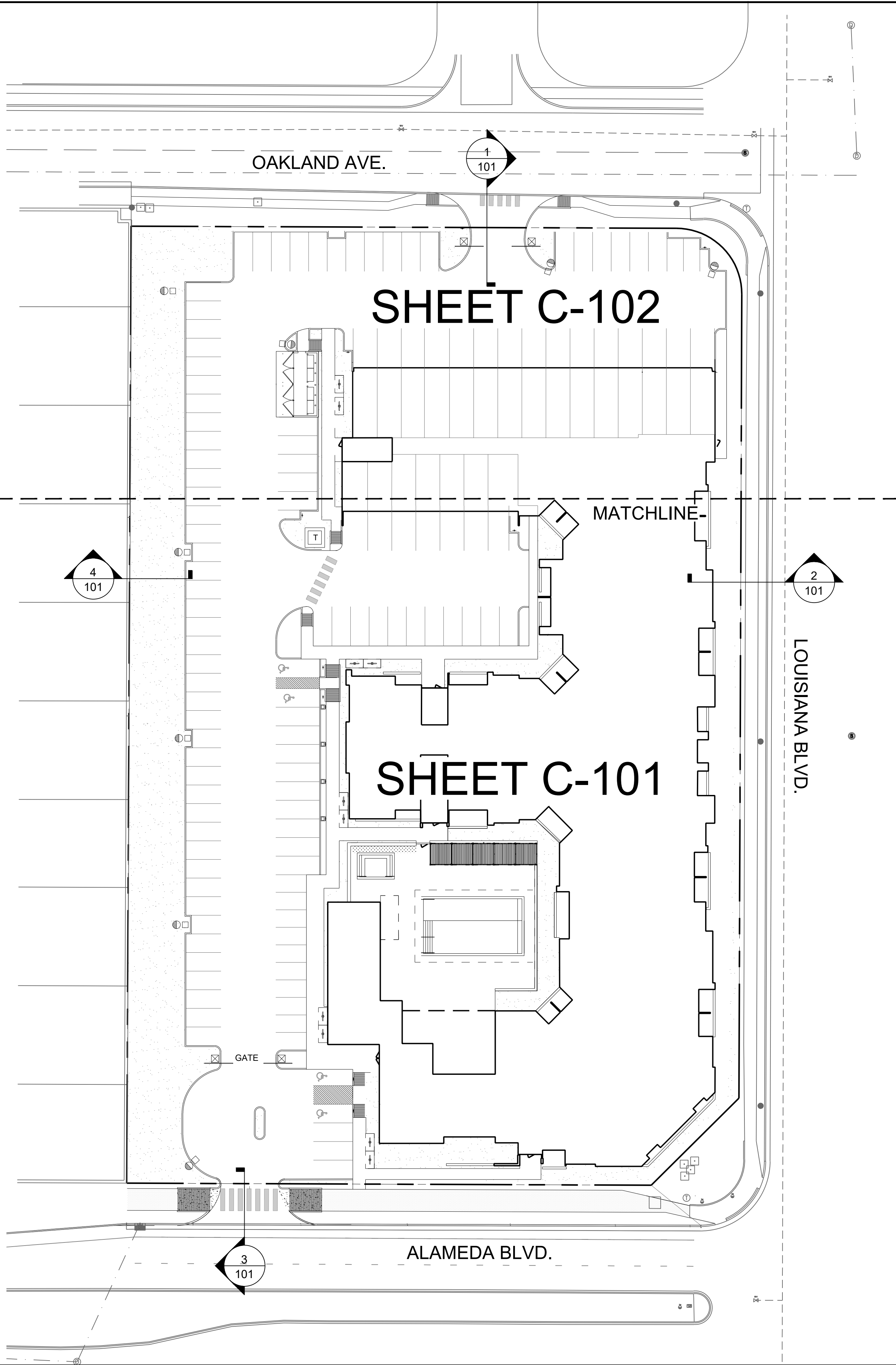
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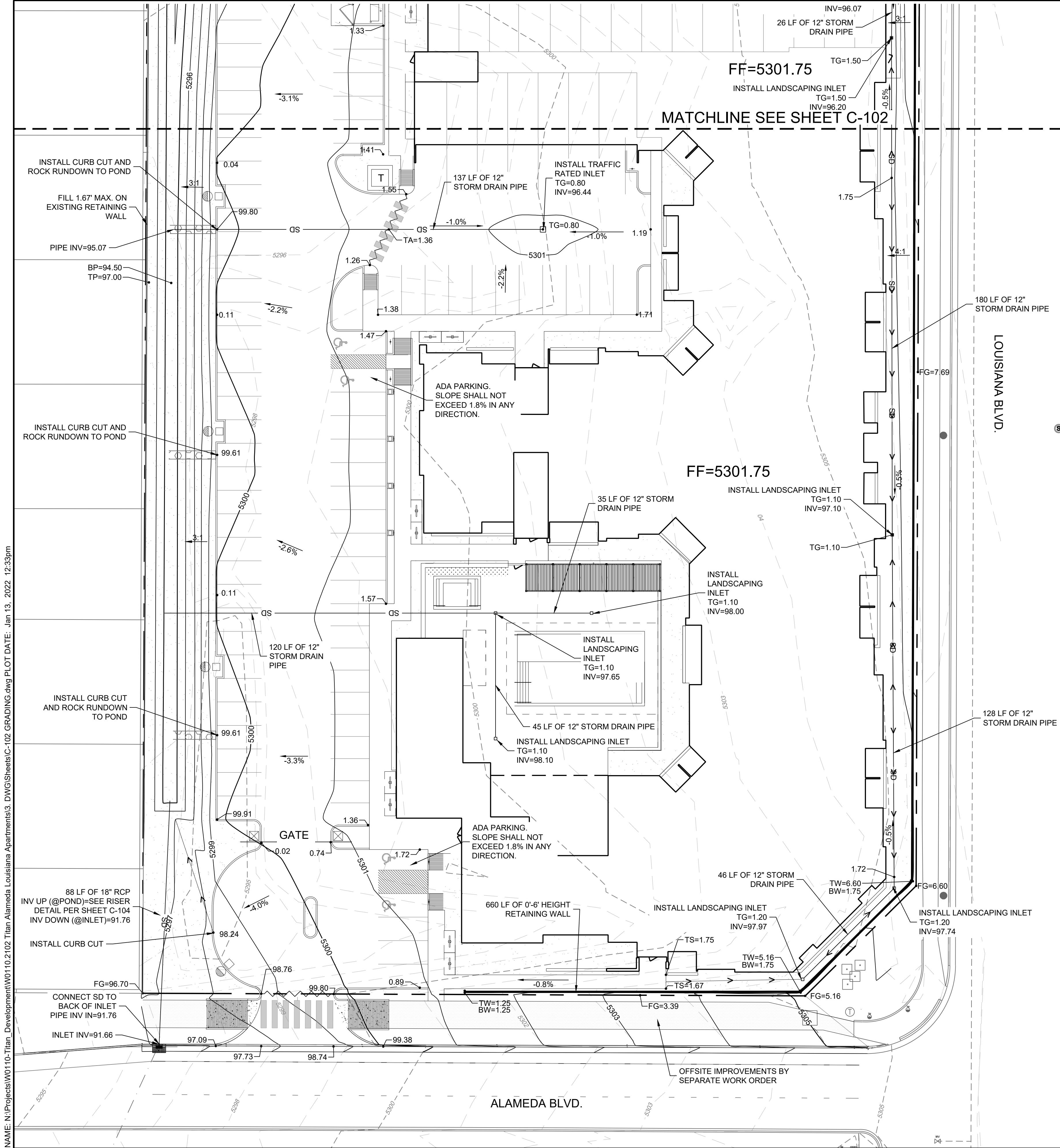
CONCEPTUAL PLAN NOT FOR CONSTRUCTION

NAME: N:\Projects\W0110-Titan_Development\W0110.2102_Titan Alameda Louisiana Apartments3, DWG\Sheets\C-100 OVERALL GRADING.dwg PLOT DATE: Jan 13, 2022 12:33pm

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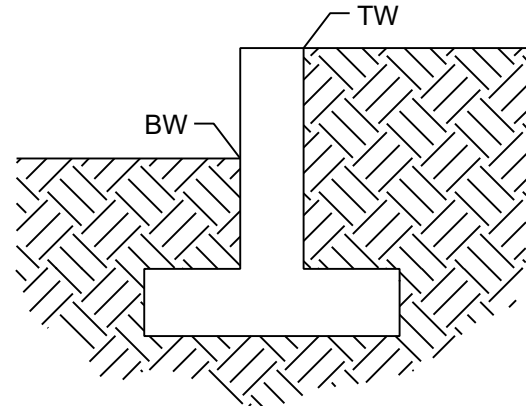


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<p>PROJECT NAME: ALLASO LOUISIANA APARTMENTS</p>		<p>SHEET TITLE: OVERALL GRADING</p>	
<p>SHEET NUMBER: C-100</p>		<p>DRB</p>	



SPOT ELEVATION SYMBOLS

- 66.00 FLOWLINE
- EG=66.00 EXISTING GROUND
- TP=66.00 TOP OF POND
- BP=66.00 BOTTOM OF POND
- TS=66.00 TOP OF SIDEWALK
- TA=66.00 TOP OF ASPHALT
- BW=66.00 BOTTOM OF WALL (SEE SCHEMATIC BELOW)
- TW=66.00 TOP OF WALL (SEE SCHEMATIC BELOW)
- TBC=66.00 TOP BACK OF CURB
- FG=66.00 FINISHED GROUND
- TG=66.00 TOP OF GRATE



RIP RAP SPECIFICATIONS

RIP RAP SHALL BE OVER FILTER MATERIAL AND CONSIST OF RIP RAP AND CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

MAX DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
3"	10

FILTER MATERIAL SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION OR ENGINEER-APPROVED EQUAL:

U.S. STANDARD SIEVE SIZE	% PASS BY WT
1"	100
3/4"	45-65
#4	25-45
#40	0-20
#200	0-5

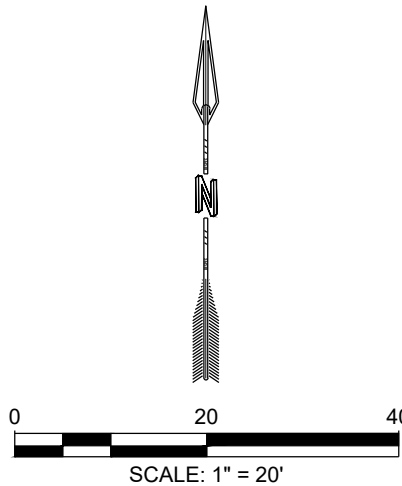
FILTER MATERIAL SHALL BE PLACED UNDER THE RIP RAP CHANNEL AND COMPACTED INTO SURFACE VOIDS OF THE RIP RAP. THE SUBGRADE SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLAYING RIP RAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEGREGATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIP RAP.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- LIMITS OF DISTURBANCE
- PROPOSED WATER BLOCK
- PROPOSED SWALE
- SLOPE ARROW
- PROPOSED RIP RAP PER SPEC
- PROPOSED RETAINING WALL
- PROPOSED STEM WALL
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN CLEANOUT

GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- PARKING LOT STRIPING AND SITE PLAN HAVE BEEN SCREENED BACK FOR VISUAL CLARITY
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- ALL AREAS WITH SLOPES GREATER THAN 3:1 SHALL BE LANDSCAPED WITH 3/4" MINUS ALL FACED FRACTURED GRAVEL AND SEPARATION FABRIC.
- INSTALL L-TOE TYPE RETAINING WALLS FOR ALL RETAINING WALLS ADJACENT TO THE PROPERTY BOUNDARY. FOOTER SHALL NOT EXTEND OUTSIDE OF THE PROPERTY. INSTALL TYPE E-3-S RETAINING WALL WHERE FINISHED GRADE AT THE TOP OF WALL EXCEEDS 10%. FOR ALL OTHER RETAINING WALLS USE RETAINING WALL TYPES A THROUGH TYPE D. RETAINING WALL TYPE VARIES WITH WALL HEIGHT (SEE RETAINING WALL DETAIL SHEET C-106).



NAME: N:\Projects\W0110-Titan_Development\W0110-2102-Titan Alameda Louisiana Apartments3, DWG\Sheets\C-102 GRADING.dwg PLOT DATE: Jan 13, 2022 12:33pm

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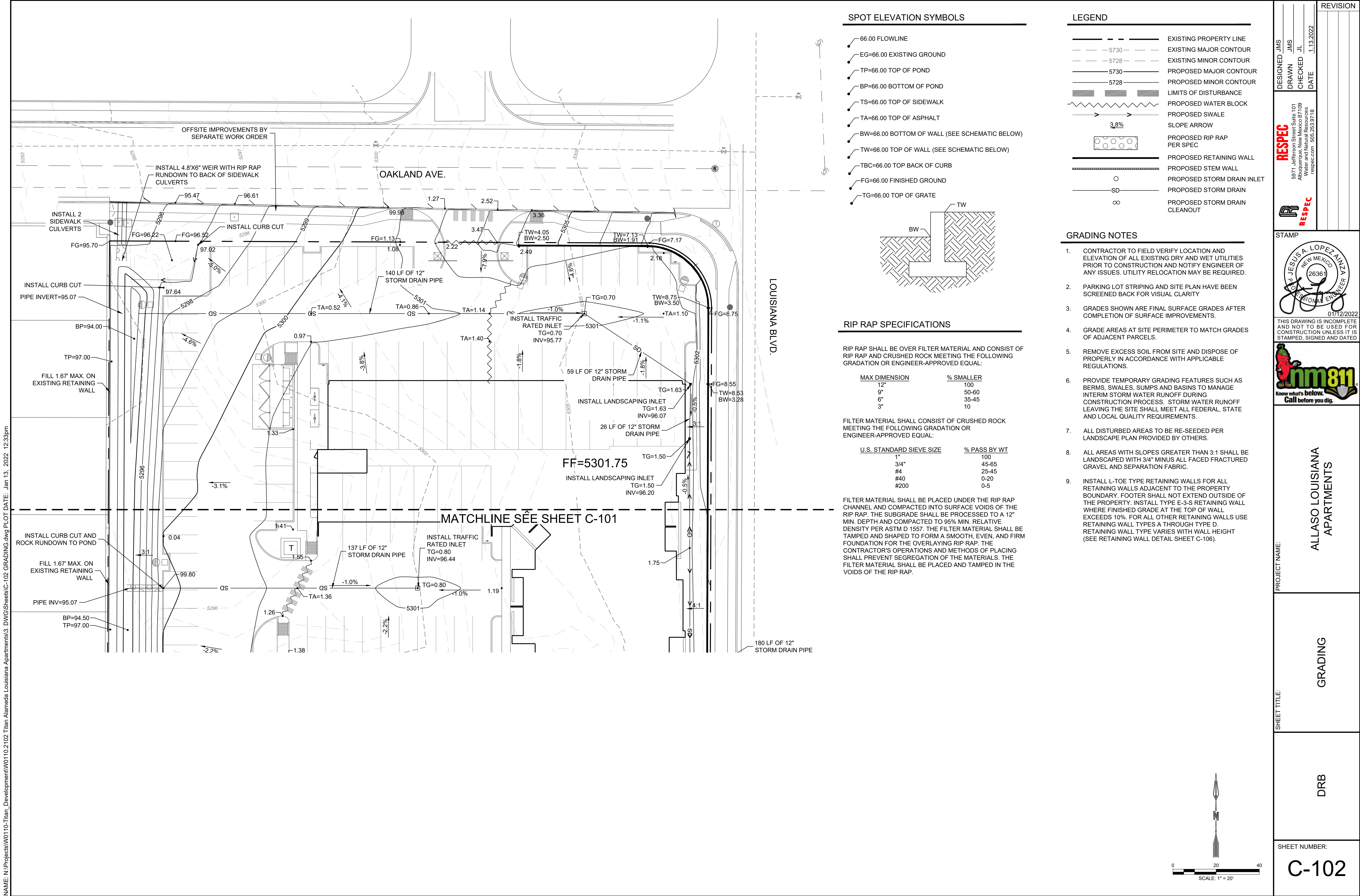
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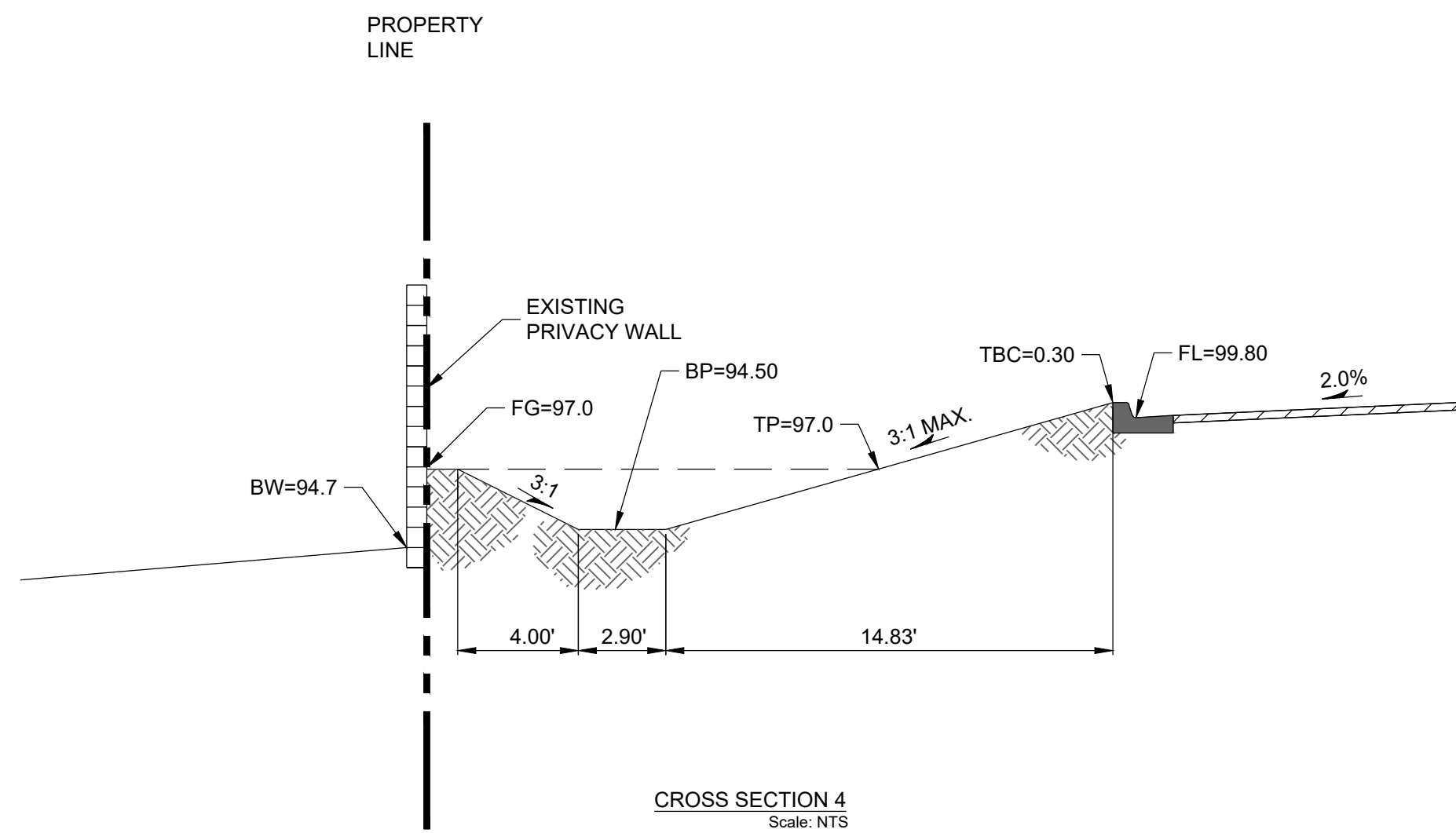
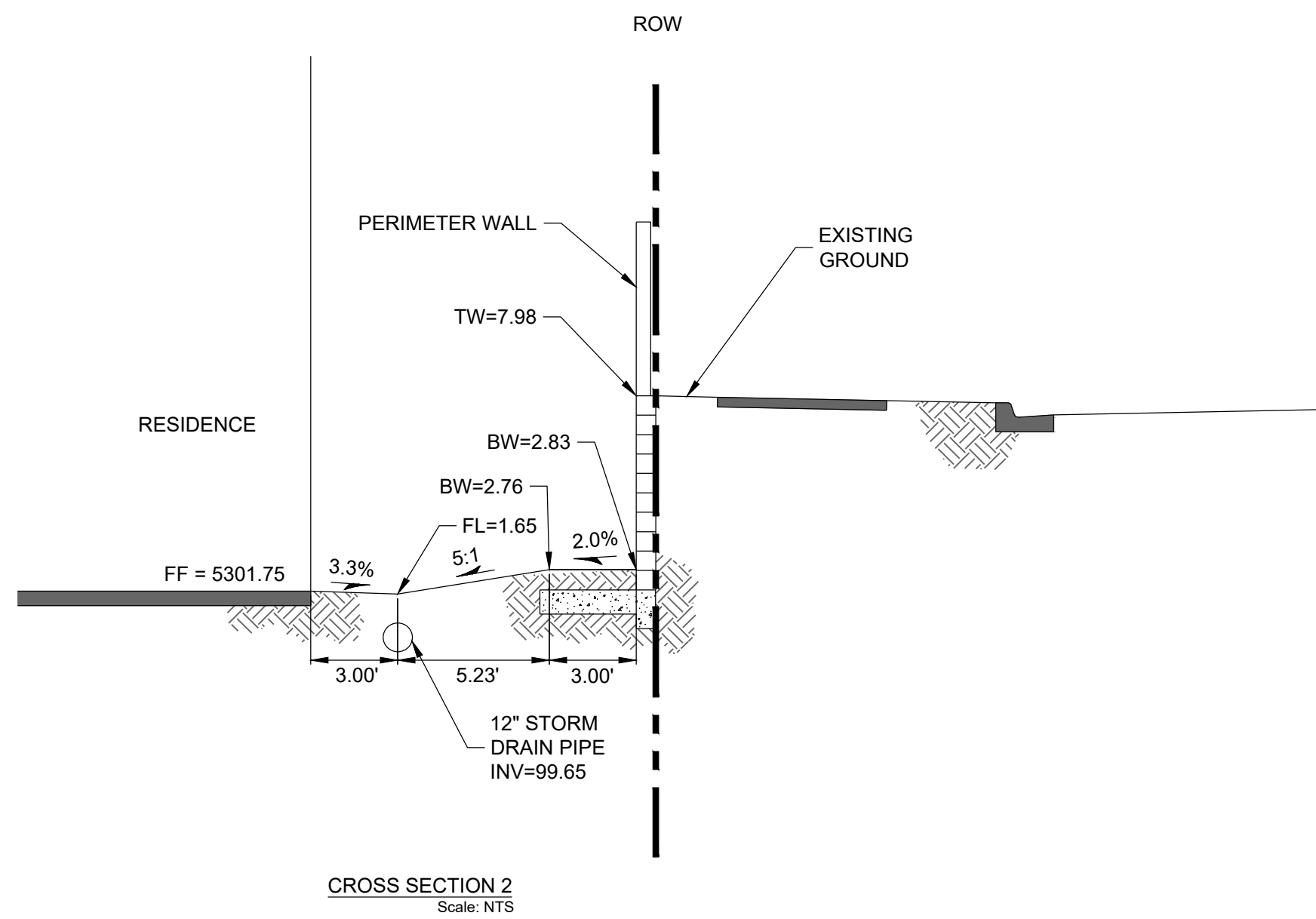
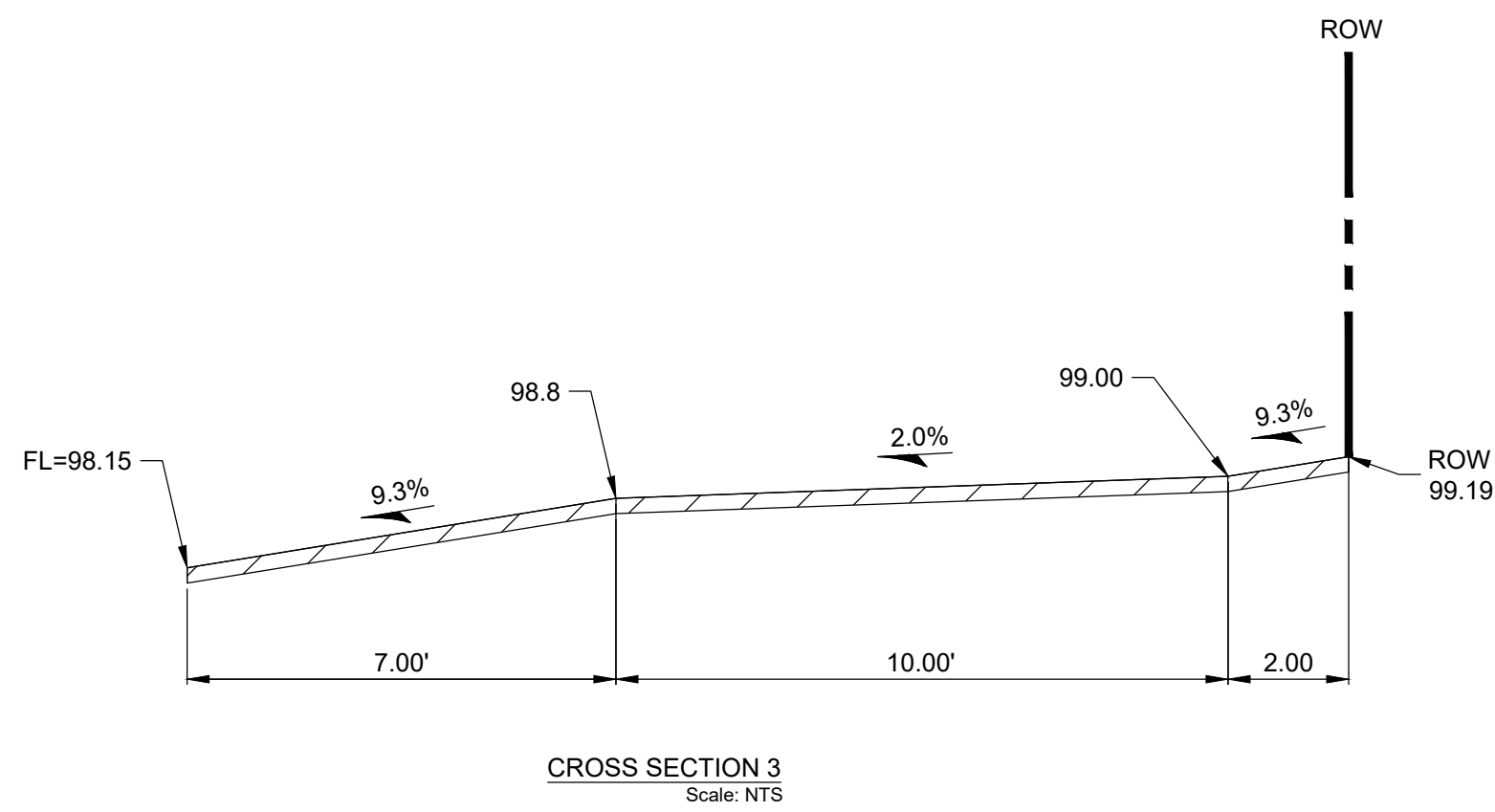
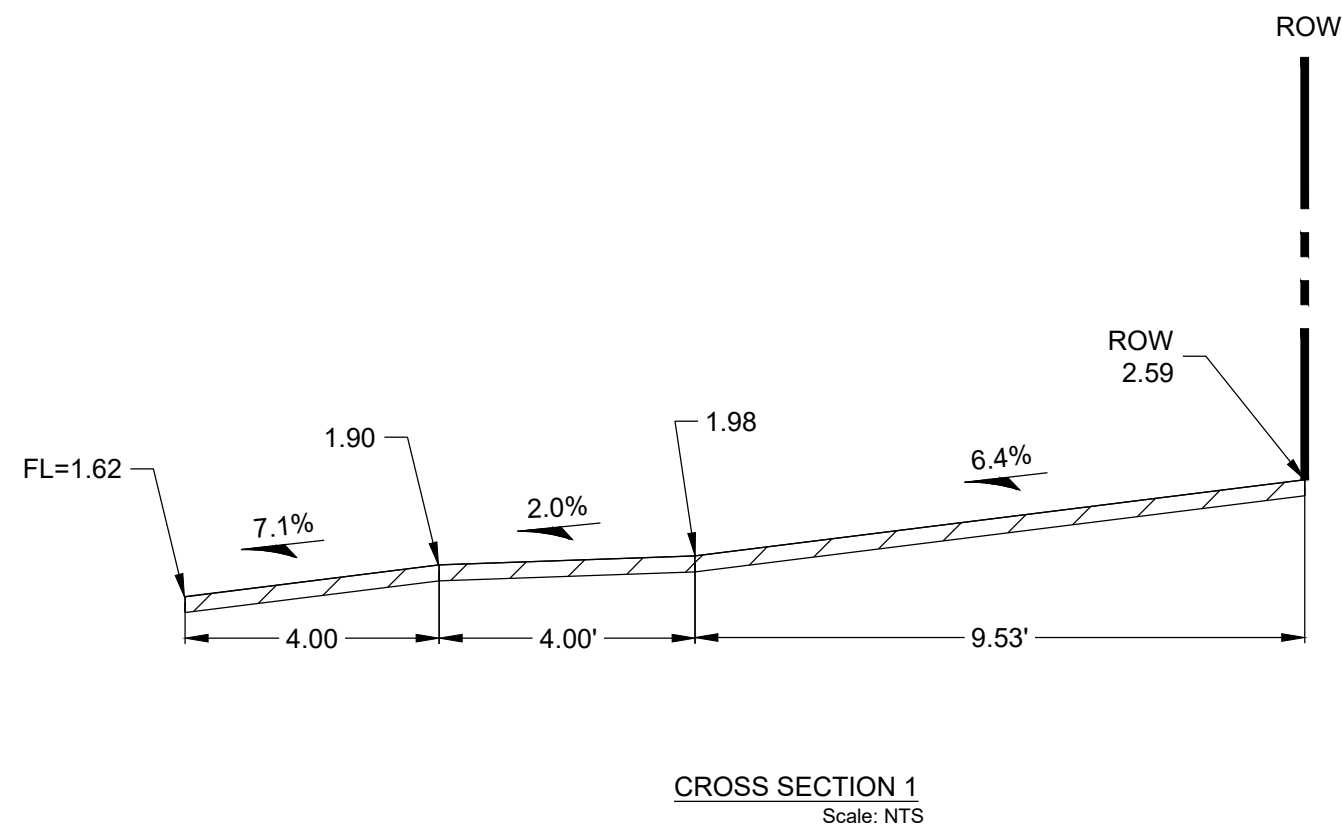
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C-101

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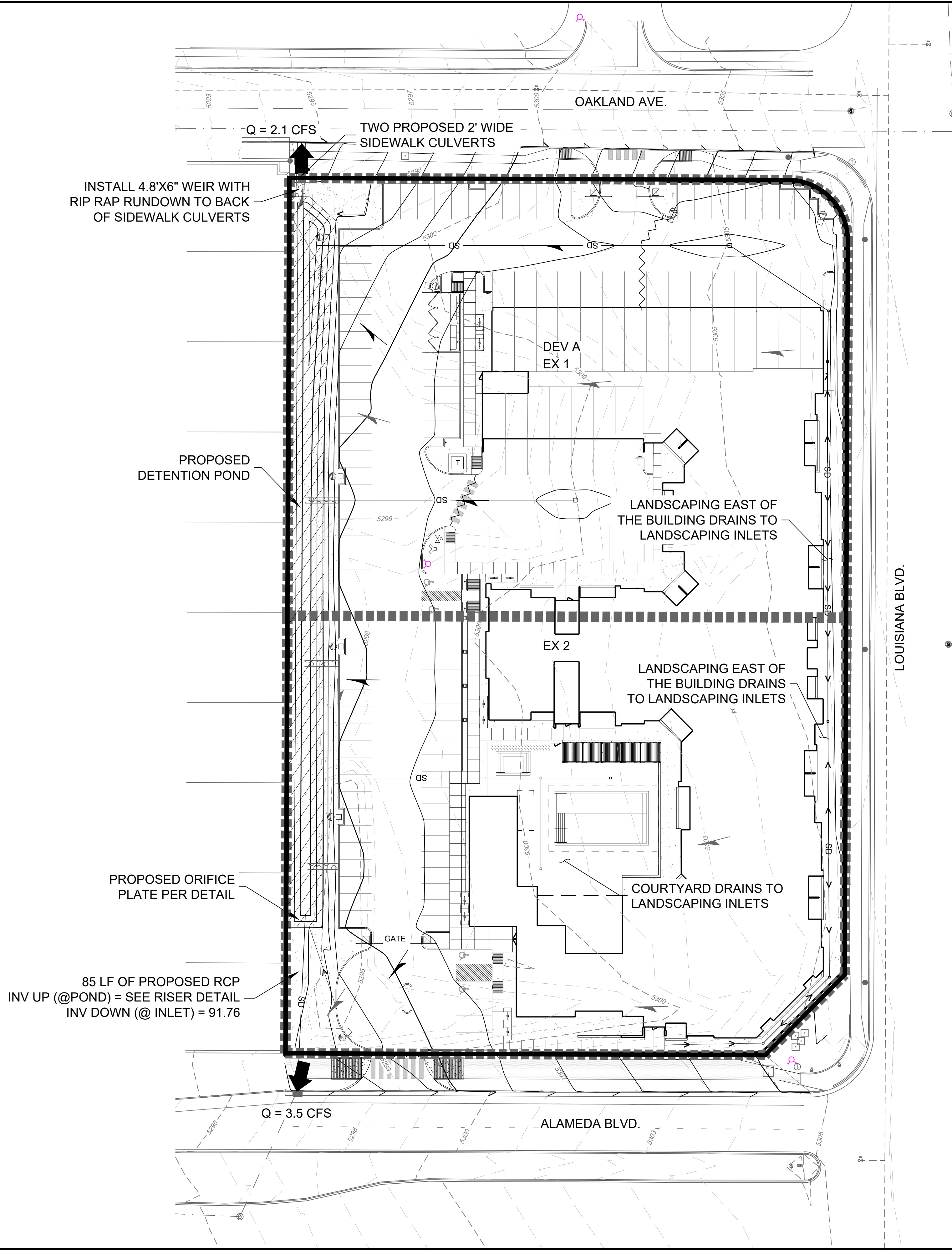
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SHEET TITLE: CROSS SECTION	
DRB	
SHEET NUMBER: C-103	

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DRAINAGE SUMMARY

Background
Lots 15-18, Block 28, Tract A, Unit B, North Albuquerque Acres are located at the northwest corner of Alameda Blvd. and Louisiana Blvd. in Albuquerque, New Mexico, and contain approximately 2.78 acres. The site is currently undeveloped and does not appear to receive offsite flows.

The proposed development is an approximately 108-unit apartment complex containing 1 building, an asphalt paved parking lot, and landscaping areas. The drainage intent under developed conditions is to reduce the developed stormwater discharge to below the levels specified in the approved "North Albuquerque Acres Master Drainage Plan" (Resource Technology, 1998).

Methodology
The assumptions and criteria including land treatment types and impervious areas as well as the hydrologic analysis for the site were performed in accordance with the city of Albuquerque Development Process Manual (DPM). AHYMO-S4 (April 2018) was used to develop peak flow rates for the 100-year 24-hour design storm in accordance with Section 6 of the DPM. Hydraulic calculations were performed per section 6 of the DPM.

Existing Conditions
The existing site is currently undeveloped with moderate vegetation and has mild slopes from east to west ranging from 0% to 15%. The existing flows appear to collect in small retention ponds and possibly against the privacy wall at the west property boundary and with eventual surface flow into Alameda Blvd to the south and Oakland Avenue to the north. The ponds do not appear to be sized to accommodate the 100-year 24-hour design storm. However, no signs of ponding against the west end retaining wall were visible at the time of site exploration.

The allowable discharge for the site is governed by the North Albuquerque Acres Master Drainage Plan (NAAMPD). Lots 15 and 16 (Basin EX 1) are within NAAMPD developed basin 117.2 while Lots 17-18 (Basin EX 2) are in developed basin 117.3. For developed basins 117.2 and 117.3, NAAMPD used land treatment percentages of 0% Type A, 34%, Type B, 16% Type C, and 50% Type D. These land treatments result in an allowable discharge of 4.6 cfs into Alameda Blvd and an additional 4.6 cfs into Oakland Blvd -- a total allowable discharge of 9.2 cfs for the site.

Proposed Conditions
In general, Basin DEV A will surface drain via sheet flow, concentrated gutter flows, and storm drain pipe towards the pond along the west portion of the site. Landscaping inlets will capture the flows on the east side of the building. All flows from the site will be directed into the pond. The pond will discharge to a stormdrain inlet in Alameda Blvd via an 18" reinforced concrete pipe with an orifice plate on the upstream end of the pipe. The pond will also discharge into Oakland Ave via a weir and two sidewalk culverts. The proposed stormwater discharge into Alameda Blvd and Oakland Ave is at or below the developed flows specified in the NAAMPD.

Water quality requirements will be met by retaining the required water quality volume in the pond below the orifice of the outlet pipe (see the pond riser detail). Calculations for the required water quality retention volume can be found on this sheet.

DRAINAGE CALCULATIONS

AHYMO INPUT: ALLOWABLE DISCHARGE (PER NAAMP)					
Subbasin	Area (ac)	Treatment Type Area (%)			
		A	B	C	D
EX 1	1.40	0.0%	34.0%	16.0%	50.0%
EX 2	1.38	0.0%	34.0%	16.0%	50.0%

AHYMO INPUT: PROPOSED CONDITIONS									
Subbasin	Area (ac)	Treatment Type Area (ac)				Treatment Type Area (%)			
		A	B	C	D	A	B	C	D
DEV A	2.78	0.00	0.31	0.31	2.16	0.0%	11.2%	11.2%	77.6%

Pond Routing Table (AHYMO Input)							
Elev.	Area (sq. ft.)	Vol (cu. ft.)	Cum. (cu. ft.)	Cum. (ac. ft.)	Orifice Outflow into Alameda Blvd (cfs)	Weir Outflow into Oakland Blvd (cfs)	Cum Outflow (cfs)
0.0	140	0	0	0.000	0.0	0	0.0
0.5	850	248	248	0.006	0.0	0	0.0
1.0	1910	690	938	0.022	0.0	0	0.0
1.5	2990	1225	2163	0.050	0.0	0	0.0
1.85	3760	1181	3344	0.077	0.0	0	0.0
2.0	4090	589	3933	0.090	1.5	0	1.5
2.5	5210	2325	6258	0.144	3.0	0	3.0
3.0	6340	2888	9145	0.210	4.1	4.6	8.6

Notes: The water quality volume retained in the pond is highlighted.

AHYMO OUTPUT: EXISTING CONDITIONS				
Subbasin	A (ac)	Q (cfs)	V (acft)	Q/A (cfs/ac)
EX 1	1.40	4.6	0.193	3.3
EX 2	1.38	4.6	0.190	3.3

AHYMO OUTPUT: PROPOSED CONDITIONS				
Subbasin	A (ac)	Q (cfs)	V (acft)	Q/A (cfs/ac)
DEV A	2.78	10.6	0.492	3.8
DEV A (ROUTED)	2.78	5.6	0.492	2.0

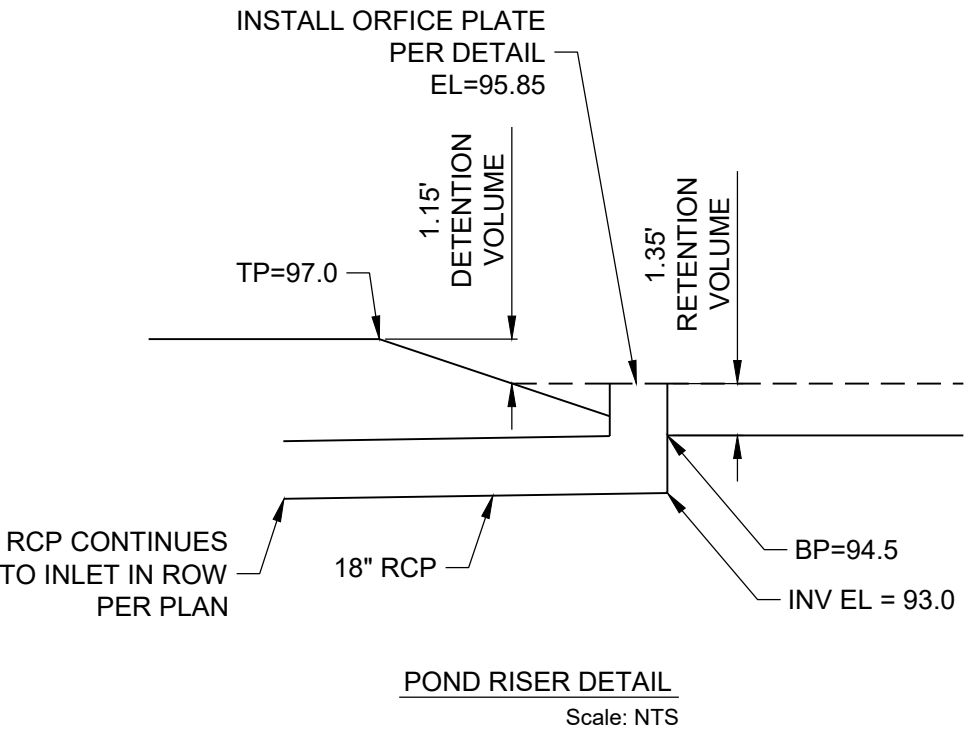
Maximum Storage and Discharge during the 100-year 24-hour Event				
Max. Water Surface Elev.	Max. Storage (ac. ft.)	Peak Discharge (cfs)		
		Orifice Discharge into Alameda Blvd	Weir Discharge into Oakland Blvd	Cum. Discharge
2.74	0.175	3.5	2.1	5.6

DRAINAGE SUMMARY		
Subbasin	Allowable (cfs)	Provided (cfs)
DEV A (ROUTED)	9.2	5.6

WATER QUALITY PONDING, DEV A				
Area (ac)	% Imp.	Imp. Area (ac)	WQ Depth (in)	Required WQ Vol (cu ft)
2.78	77.6%	2.16	0.42	3287
				Provided WQ Vol (cu ft)
				3344

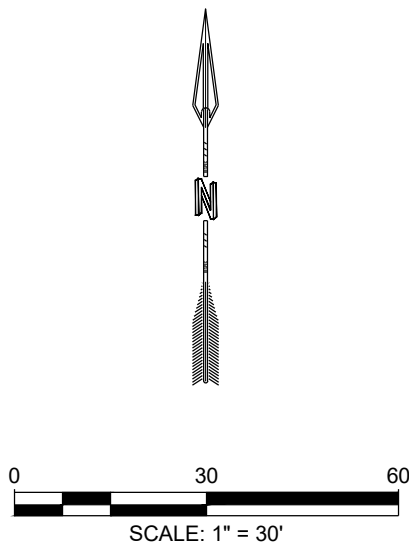
LEGEND

- PROPERTY LINE
- 5380 --- EX CONTOUR MAJOR
- 5379 --- EX CONTOUR MINOR
- 5380 — PROP CONTOUR MAJOR
- 5379 — PROP CONTOUR MINOR
- EXISTING SUBBASIN PER NAAMPD
- PROPOSED SUBBASIN
- PROPOSED SWALE
- EXISTING FLOW ARROW
- PROPOSED FLOW ARROW
- PROPOSED DISCHARGE LOCATION



Orifice Flow Calcs: Pond Outfall Pipe		
Q _o = .6A√2gh		0.785
A = Open area of grate (sq. ft)		32.2
g = 32.2 (ft/s²)		
h = Hydraulic head (ft)		
Q _o = Capacity (cfs)		
Pond Elev	Hydraulic Head (ft)	Capacity (cfs)
1.85	0	0.0
2.0	0.15	1.5
2.5	0.65	3.0
3.0	1.15	4.1

Weir Flow Calcs: Pond Spillway	
Q _w = 2.7P(h) ^{1.5}	
P = Perimeter (ft)	4.80
h = Head (ft)	0.5
2.7 = coefficient of discharge	
Q _w = Capacity (cfs)	4.6



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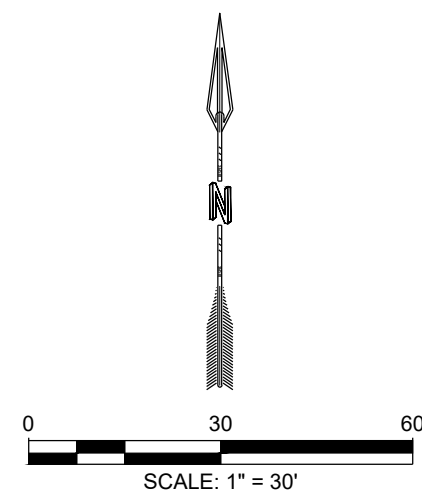
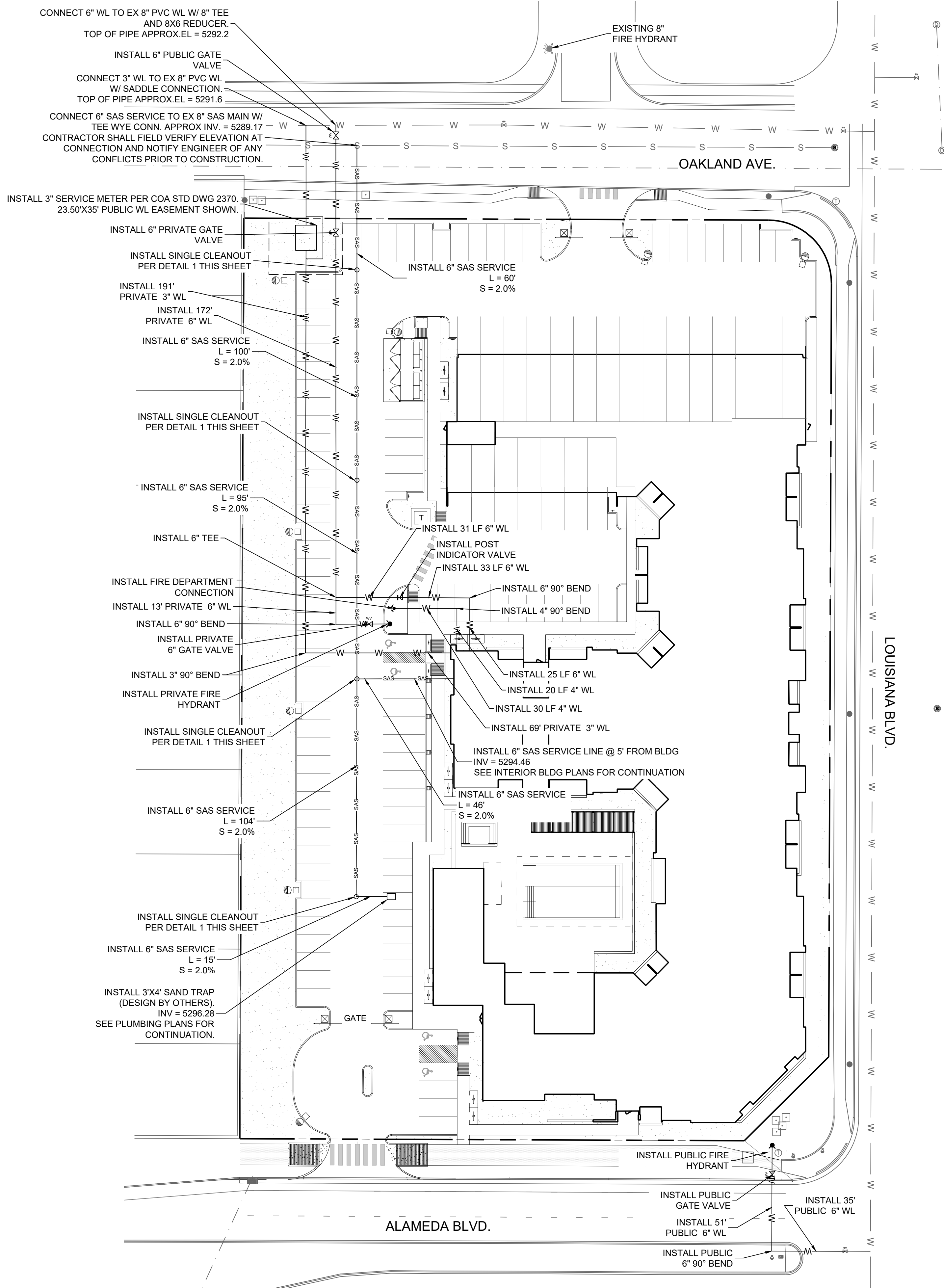
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SHEET TITLE:
DRAINAGE

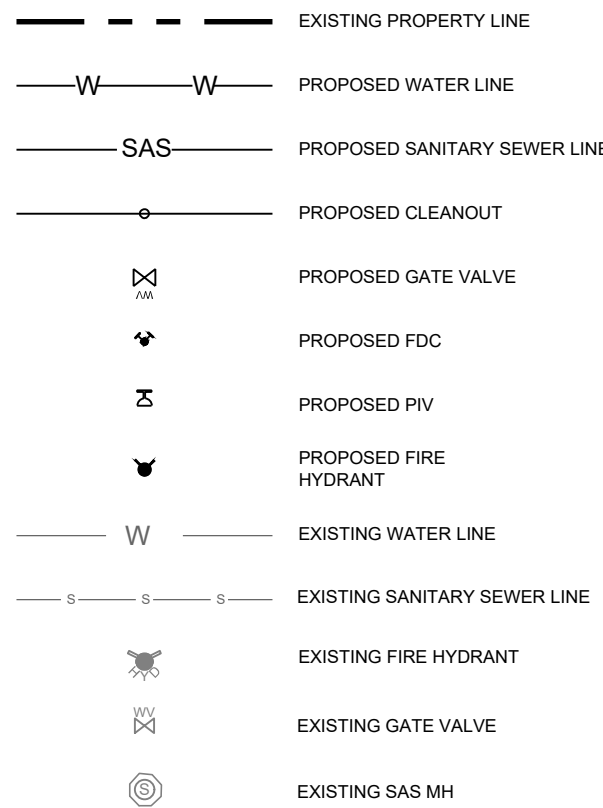
DRB

SHEET NUMBER:
C-104

NAME: N:\Projects\W0110-Titan_Development\W0110.2102-Titan Alameda Louisiana Apartments3, DWG\Sheets\C-105 UTILITY PLAN.dwg PLOT DATE: Jan 13, 2022 12:35pm



LEGEND



UTILITY GENERAL NOTES

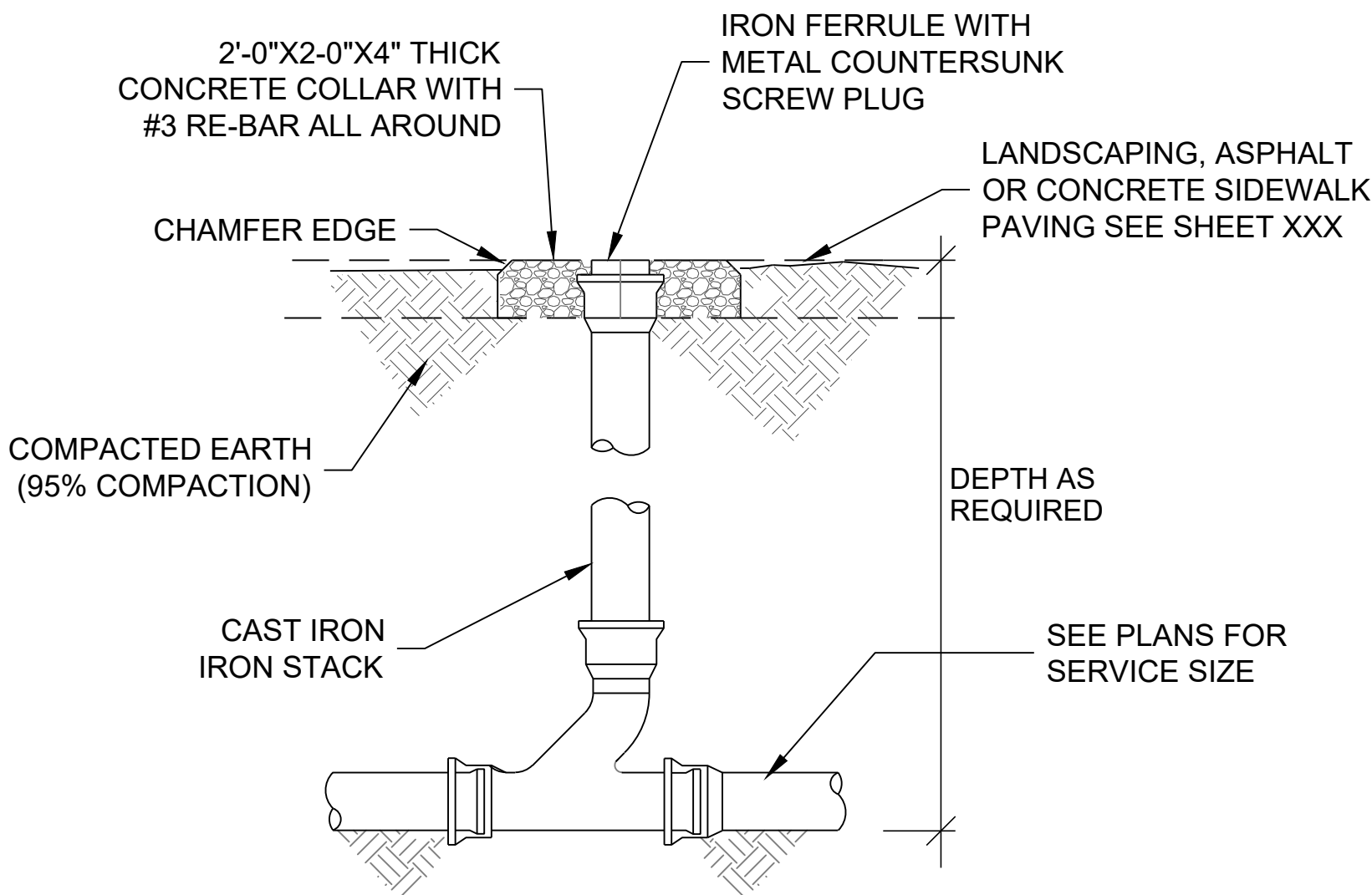
- EXISTING UTILITIES LOCATIONS SHOWN ARE APPROXIMATE.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS, AND MATERIAL PRIOR TO CONSTRUCTION. RELOCATION OF EXISTING UTILITIES MAY BE REQUIRED FOR THE CONSTRUCTION OF PROPOSED IMPROVEMENTS. CONTRACTOR TO NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO INSTALLATION OF PROPOSED IMPROVEMENTS.
- VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATION WHERE NECESSARY.
- ALL UTILITIES TO BE INSTALLED PER CITY OF ALBUQUERQUE STANDARDS AND SPECIFICATIONS.
- ALL ON-SITE PRIVATE FIRE HYDRANTS TO BE PAINTED SAFETY ORANGE.
- PROTECT AND MAINTAIN SERVICE OF OTHER UTILITIES AT CROSSINGS.
- DO NOT CONNECT ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER SERVICES TO THE SANITARY SEWER.
- ADJUST ALL CASTINGS TO FINISH GRADES.
- KEEP SITE LIGHTING CONDUITS OUTSIDE OF PAVEMENT IF POSSIBLE.
- ELECTRIC, PHONE, GAS, AND IRRIGATION LINE BY OTHERS.

SANITARY SEWER SERVICE NOTES

- INSTALL CLEANOUTS AT ANY CHANGE IN DIRECTION OF PIPE.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.

WATER SERVICE NOTES

- INSTALL WATER MAIN WITH A MINIMUM OF 3' FEET OF COVER.
- PROVIDE A MINIMUM OF EIGHTEEN (18) INCHES OF VERTICAL SEPARATION AND TEN (10) FEET OF HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND ALL SANITARY AND STORM SEWERS.



SINGLE CLEANOUT
NTS

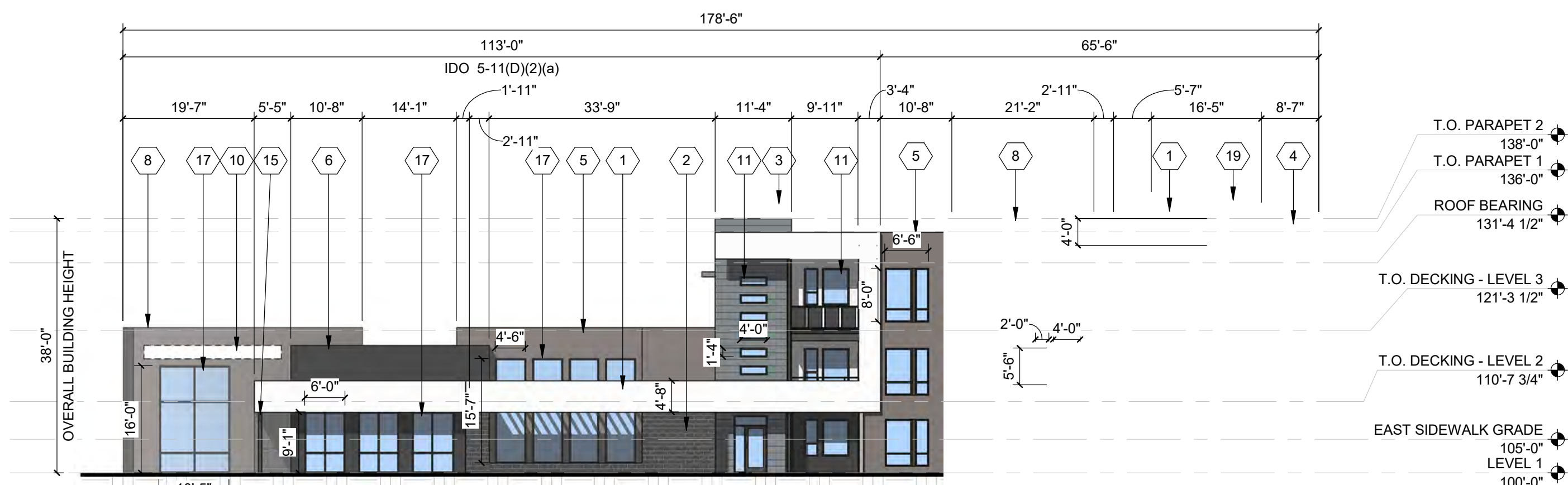
DESIGNED JMS DRAWN JMS CHECKED JL DATE 1.13.2022		REVISION	
6971 Jefferson Street Suite 101 Albuquerque, NM 87113 Water and Natural Resources respec.com 505.253.9718		RESPEC	
STAMP JESUS A. LOPEZ ANZA NEW MEXICO 26361 PROFESSIONAL ENGINEER 01/12/2022 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED		nm811 Know what's below. Call before you dig.	
PROJECT NAME: ALLASO LOUISIANA APARTMENTS		SHEET TITLE: UTILITY PLAN	
SHEET NUMBER: C-105		DRB	

GENERAL SHEET NOTES	SHEET KEYNOTES	LEGEND
<p>A. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALL AND NOT BE VISIBLE WHEN VIEWED FROM 5' ABOVE GRADE AT ANY PROPERTY LINE.</p> <p>B. ALL DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FINISH UNLESS OTHERWISE NOTED.</p> <p>C. BUILDING IDENTIFICATION SIGNAGE TO BE A MINIMUM OF 18" HIGH CHARACTERS WITH A MINIMUM OF 3" BRUSH STROKE WITH CONTRASTING ALUMINUM COLORS LIT FROM DUSK UNTIL DAWN AS WELL AS DAYLIGHT HOURS, PER 2009 IFC. MOUNT AT 15'-20" ABOVE FINISH FLOOR.</p> <p>D. ROOF DRAINAGE BY WAY OF EXTERNAL DOWNSPOUTS.</p> <p>E. IDO SECTION 5-11(D) MULTI-FAMILY RESIDENTIAL DEVELOPMENT IS MET IN THE FOLLOWING WAYS:</p> <p>1. BUILDING ENTRANCES ARE EMPHASIZED BY CONTEMPORARY ARCHITECTURAL OVERHANGS.</p> <p>2A. THE FACADE DESIGN INCORPORATES ELEMENTS OF HUMAN SCALE BY INCORPORATING WINDOWS THAT MAKE UP 20% OF THE GROUND FLOOR OF STREET-FACING FACADES (SEE CALCULATIONS ON SOUTH AND EAST ELEVATIONS) AND ARE RECESSED 2 INCHES ON UPPER FLOORS. WINDOWS FACING WEST HAVE BEEN REDUCED IN SIZE TO REDUCE HEAT IMPACT OR ARE SHADED BY BALCONY STRUCTURE ABOVE OR INCORPORATE SUN SHADE DEVICES WHERE NEEDED.</p> <p>2B. FACADE ARTICULATION IS ACHIEVED IN COMBINATION OF RECESSES AND PROJECTIONS EVERY 30 FEET MINIMUM (SEE DIMENSIONS ON ELEVATIONS FOR PLANE CHANGES), MORE THAN ONE FINISH MATERIAL OR COLOR IS USED ON EVERY FACADE (REFER TO EXTERIOR FINISH LEGEND INDICATING UP TO 6 COLOR AND MATERIAL SELECTIONS), BALCONIES ARE INCORPORATED AT EVERY DWELLING UNIT FOR VISUAL INTEREST.</p> <p>3. FACADE LENGTH EXCEEDS 60 FEET, THEREFORE ROOFLINE EXTENDS FROM 36'-0" TO 38'-0" AT INTERVALS LESS THAN 60 FEET CONTINUOUSLY.</p> <p>4. 5-11(D)4 - NOT APPLICABLE</p>	<p>1. FIELD COLOR - NEUTRAL WHITE - STUCCO FINISH MATERIAL</p> <p>2. ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER</p> <p>3. ACCENT COLOR/MATERIAL #2 - DARK GRAY - ACCENT FIBER CEMENT BOARD</p> <p>4. ACCENT COLOR #3 - LIGHT WARM GRAY - ACCENT STUCCO FINISH</p> <p>5. ACCENT COLOR #4 - DARK WARM GRAY - ACCENT STUCCO FINISH</p> <p>6. ACCENT COLOR #5 - DARKEST WARM GRAY - ACCENT STUCCO FINISH</p> <p>7. FIBER CEMENT BOARD FACIA - DARK BRONZE</p> <p>8. PREFINISHED METAL COPING - COLOR TO MATCH ADJACENT MATERIAL OR STANDARD NEUTRAL COLOR</p> <p>9. GUARDRAIL - METAL CUSTOM FABRICATED - DARK BRONZE</p> <p>10. BUILDING IDENTIFICATION SIGNAGE FOR WAYFINDING</p> <p>11. RESIDENTIAL WINDOWS - FRAME COLOR: DARK BRONZE</p> <p>12. GARAGE OVERHEAD DOOR</p> <p>13. NOT USED</p> <p>14. NOT USED</p> <p>15. STEEL COLUMN PAINTED</p> <p>16. GLAZED PATIO DOOR</p> <p>17. ALUMINUM STOREFRONT</p> <p>18. METAL UNIT ENTRY DOOR</p> <p>19. PREFINISHED METAL COPING - DARK BRONZE</p>	<p>FIELD COLOR - NEUTRAL WHITE STUCCO FINISH</p> <p>ACCENT COLOR/MATERIAL #1 - DARK MASONRY VENEER</p> <p>ACCENT COLOR/MATERIAL #2 - DARK GRAY FIBER CEMENT BOARD</p> <p>ACCENT COLOR #3 - LIGHT GRAY ACCENT STUCCO FINISH</p> <p>ACCENT COLOR #4 - DARK GRAY ACCENT STUCCO FINISH</p> <p>ACCENT COLOR #5 - DARKEST GRAY ACCENT STUCCO FINISH</p>



D1 NORTH ELEVATION

1/16" = 1'-0"



C1 SOUTH ELEVATION

1/16" = 1'-0"

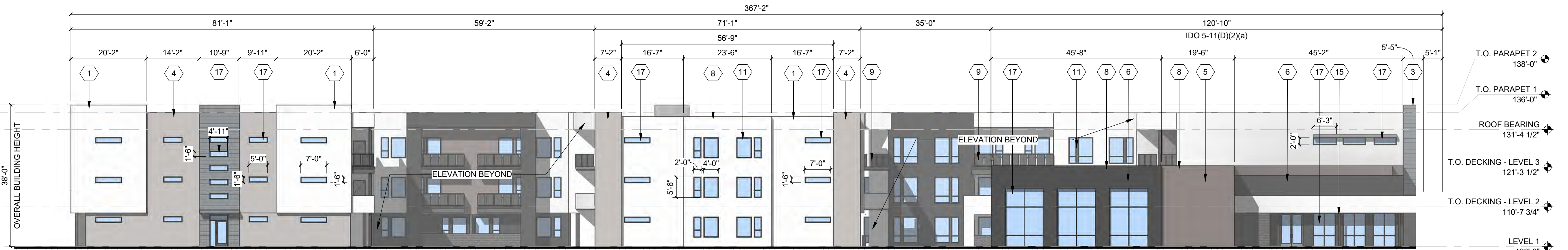
5-11(D)(2)(a)(1) - STREET FACING FACADE CONTAINS 20 PERCENT MINIMUM TRANSPARENT WINDOWS AND DOORS AT THE GROUND LEVEL. GROUND FLOOR FACADE AREA = 599 SF GLASS / 1932.6 SF TOTAL = 31%



B5 EAST ELEVATION

1/16" = 1'-0"

5-11(D)(2)(a)(1) - STREET FACING FACADE CONTAINS 20 PERCENT MINIMUM TRANSPARENT WINDOWS AND DOORS AT THE GROUND LEVEL. GROUND FLOOR FACADE AREA = 963.4 SF GLASS / 3885.9 SF TOTAL = 24.7%



A5 WEST ELEVATION

1/16" = 1'-0"

DEKKER
PERICH
SABATINI

SEAL



PROJECT

ALLASO LOUISIANA
NORTHWEST CORNER OF ALAMEDA
AND LOUISIANA
ALBUQUERQUE, NM

REVISIONS

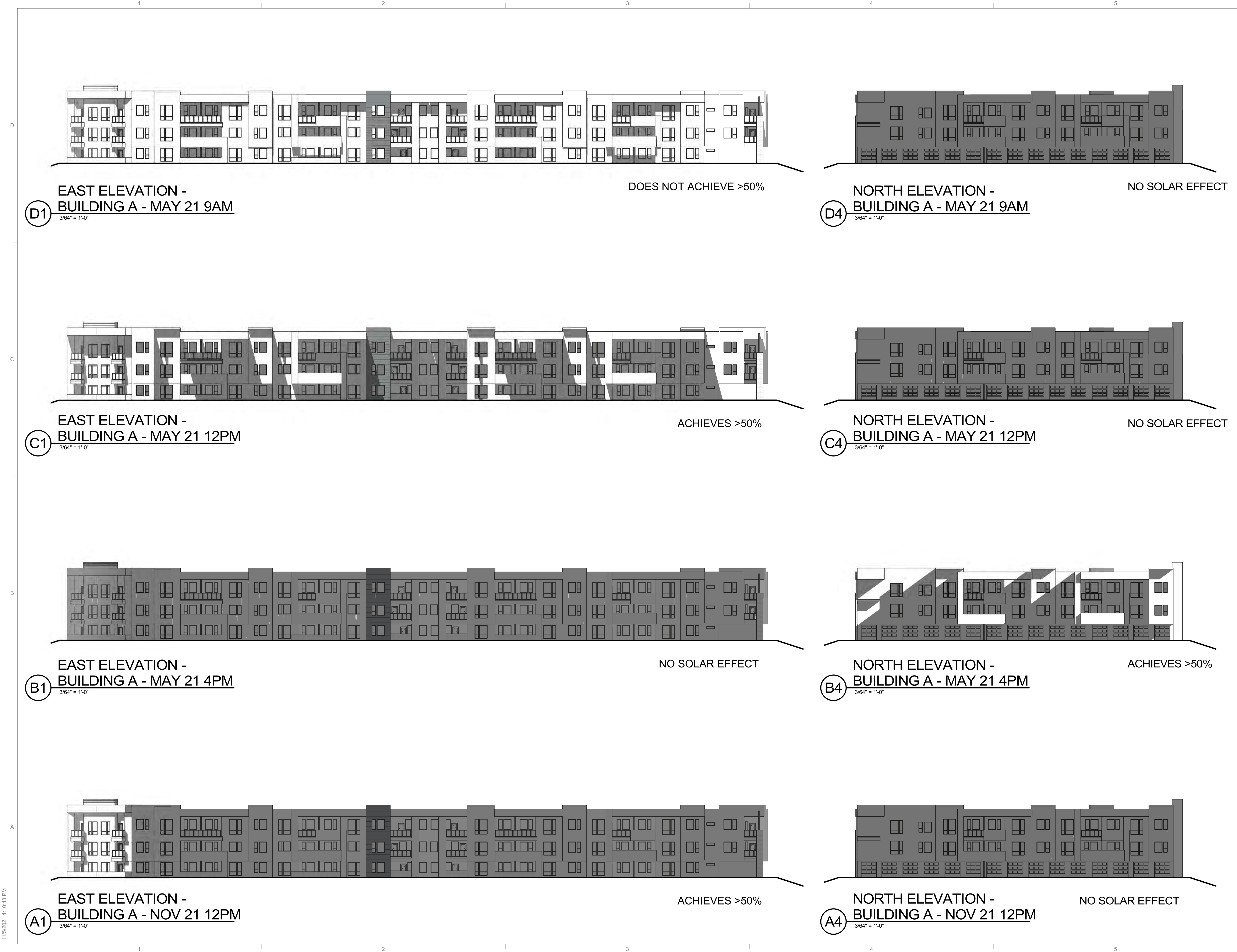


DRAWN BY VM, PMG, AG
REVIEWED BY DM, HFG
DATE 11/12/2021
PROJECT NO:

DRAWING NAME
BUILDING
ELEVATIONS

SHEET NO

SDP5.1



DEKKER
PERICH
SABATINI

SEAL



PROJECT

ALLASO LOUISIANA
NORTHWEST CORNER OF
ALAMEDA AND LOUISIANA
ALBUQUERQUE, NM

REVISIONS



DRAWN BY VM

REVIEWED BY AS

DATE 11/12/2021

PROJECT NO: 21-1013

DRAWING NAME

SUN SHADE
ANALYSIS

SHEET NO

SDP5.2

11/5/2021 11:13:35 PM



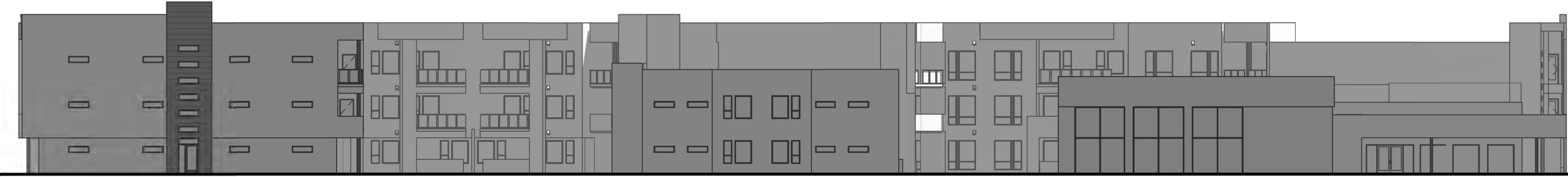
**WEST ELEVATION -
BUILDING A - MAY 21 9AM**
3/64" = 1'-0"

NO SOLAR EFFECT



**SOUTH ELEVATION -
BUILDING A - MAY 21 9AM**
3/64" = 1'-0"

NO SOLAR EFFECT



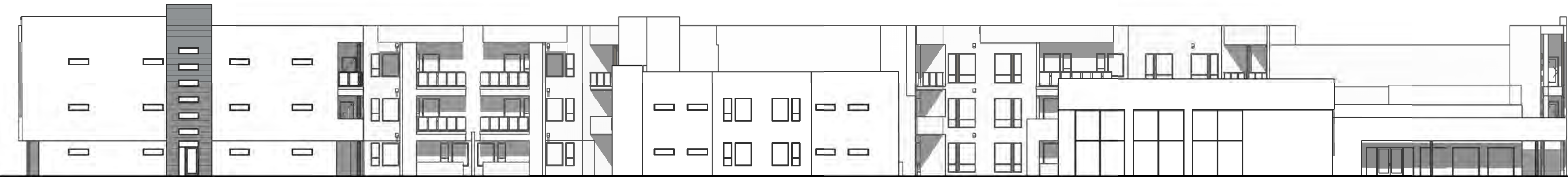
**WEST ELEVATION -
BUILDING A - MAY 21 12PM**
3/64" = 1'-0"

NO SOLAR EFFECT



**SOUTH ELEVATION -
BUILDING A - MAY 21 12PM**
3/64" = 1'-0"

DOES NOT ACHIEVE >50%



**WEST ELEVATION -
BUILDING A - MAY 21 4PM**
3/64" = 1'-0"

DOES NOT ACHIEVE >50%



**SOUTH ELEVATION -
BUILDING A - MAY 21 4PM**
3/64" = 1'-0"

NO SOLAR EFFECT



**WEST ELEVATION -
BUILDING A - NOV 21 12PM**
3/64" = 1'-0"

ACHIEVES >50%



**SOUTH ELEVATION -
BUILDING A - NOV 21 12PM**
3/64" = 1'-0"

DOES NOT ACHIEVE >50%

DEKKER
PERICH
SABATINI

SEAL



PROJECT

ALLASO LOUISIANA
NORTHWEST CORNER OF
ALAMEDA AND LOUISIANA
ALBUQUERQUE, NM

REVISIONS

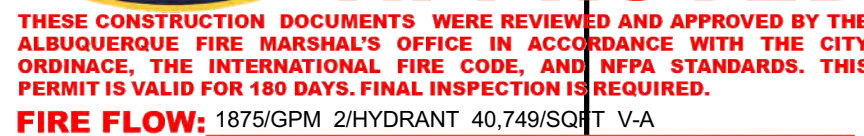


DRAWN BY VM
REVIEWED BY AS
DATE 11/12/2021
PROJECT NO: 21-1013

DRAWING NAME
SUN SHADE
ANALYSIS

SHEET NO

SDP5.3



PERMIT

APPROVED DATE: 10/06/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 1875/GPM 2/HYDRANT 40,749/SQFT V-A











1. THE BUILDING TYPE SHALL BE V-A, 40,749 SF 3-STORY APARTMENT COMPLEX
2. THE TOTAL HEIGHT OF THE PROPOSED BUILDING SHALL BE 38'
3. THE PROPOSED BUILDINGS SHALL BE FULLY SPRINKLED
4. THE PARKING LOT SURFACE SHALL BE ASPHALT AND CAPABLE OF SUPPORTING AN IMPOSED LOAD OF A FIRE APPARATUS WEIGHING 75,000 LBS
5. THE MINIMUM DRIVE AISLE SHALL BE 26' UNLESS OTHERWISE SPECIFIED
6. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR BUILDING IDENTIFICATION PLACED IN A POSITION PLAINLY LEGIBLE AND VISIBLE FROM THE STREET
7. ALL DRIVING SURFACE SHALL NOT EXCEED 10 PERCENT IN GRADE
8. FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED WITHIN 100' OF A HYDRANT AND BE UNOBSTRUCTED FROM ANY OBJECT FOR A MINIMUM DISTANCE OF 3'
9. INDICATOR VALVES SHALL BE PROVIDED PER NFPA 13
10. ALL FIRE HYDRANT SUPPLY LINES THAT BRANCH OFF FROM THE WATER MAINS SHALL BE 6" DIA. UNLESS OTHERWISE NOTED ON THE PLANS
11. WORK SHALL BE IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. APPROVED WET STAMPED SHOP DRAWINGS SHALL BE ON SITE FOR INSPECTION.
12. ELEVATIONS SHALL MEET ALL THE REQUIREMENTS IN NFPA 13, CHAPTER 8 AND 72, CHAPTER 21
13. ALL FIRE APPARATUS ACCESS ROAD GATES TO CONFORM TO IFC 2015 APPENDIX D103.5.

AUTOMATIC SPRINKLER SYSTEM: YES
ALLOWABLE FIRE FLOW REDUCTION: 75%
FIRE FLOW REDUCTION USED: 50%

FIRE FLOW (GPM):1875
FIRE FLOW DURATION (HOURS): 2



- | | |
|---|---------------------------|
|  | PROPOSED WATERLINE |
|  | PROPERTY BOUNDARY |
|  | EXISTING WATERLINE |
|  | PROPOSED MARKED FIRE LANE |
|  | PROPOSED FIRE HYDRANT |
|  | PROPOSED GATE VALVE |
|  | PROPOSED FDC |
|  | PROPOSED PIV |

STAMP

THIS DRAWING IS INCOMPLETE
AND NOT TO BE USED FOR
CONSTRUCTION UNLESS IT IS
STAMPED, SIGNED AND DATED



PROJECT NAME:

ALLASO LOUISIANA APARTMENTS

SHEET TITLE:

FIRE ONE PLAN

SHEET NUMBER:

F-1

Current DRC
Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Submitted: January 12, 2022

Date Site Plan Approved: _____

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: PR-2021-006238

DRB Application No.: SI-2021-01915

ALLASO LOUISIANA

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOTS 15-18, BLOCK 28, NAA TRACT A, UNIT B

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
		205'	6' SIDEWALK 4" PCC	NORTH ALONG FRONTAGE OF SITE	NW CORNER OF SITE	NE CORNER OF SITE	/	/	/
		195'	10' ASPHALT MULTI-USE TRAIL	SOUTH ALONG FRONTAGE OF SITE	SW CORNER OF SITE	SE CORNER OF SITE	/	/	/
		26' WIDE	ACCESS DRIVE INCL 2 ACCESS RAMPS	OAKLAND AVE	NE CORNER OF SITE	80' WEST	/	/	/
		26' WIDE	ACCESS DRIVE INCL 2 ACCESS RAMPS	ALAMEDA AVE	SW CORNER OF SITE	26' EAST	/	/	/
		660'	6' CMU RETAINING WALL	NORTH, EAST, AND SOUTH ALONG FRONTAGE OF SITE	90' WEST OF NE INTERSECTION	160' WEST OF SE INTERSECTION	/	/	/
		235'	PCC STD C&G	OAKLAND AVE	NW CORNER OF SITE	NE CORNER OF SITE	/	/	/
		1	BUS STOP INCL BUS SHELTER	ALAMEDA BLVD	SW CORNER OF ALAMEDA/LOUISIANA INTERSECTION	75' WEST	/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jesus Lopez

NAME (print)

DRB CHAIR - date

PARKS & RECREATION - date

RESPEC

FIRM

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

 01/12/2022
SIGNATURE - date

UTILITY DEVELOPMENT - date

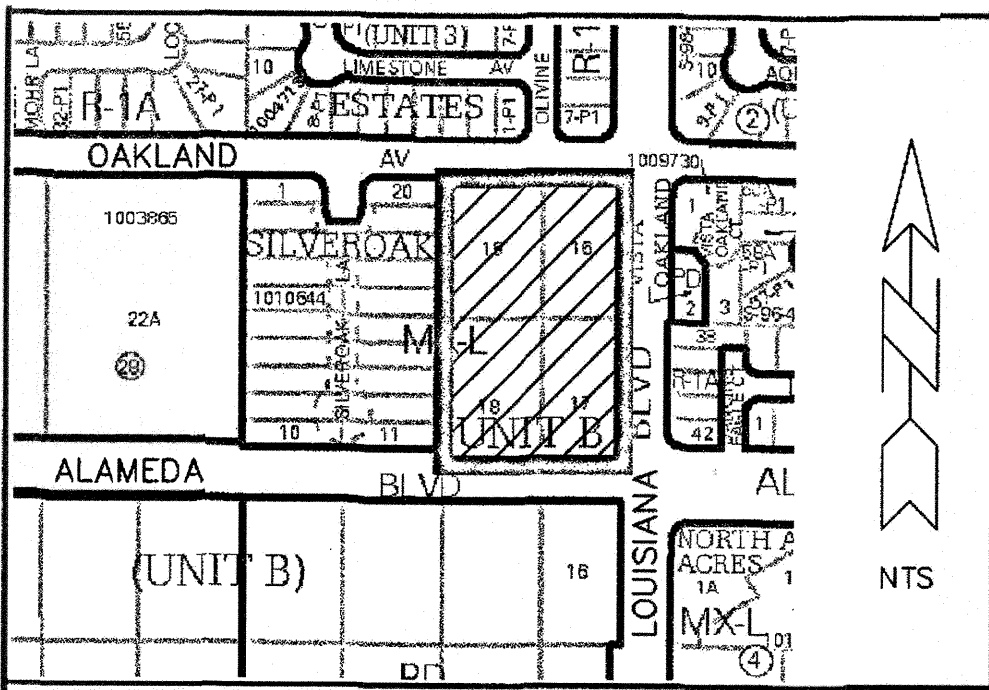
CODE ENFORCEMENT - date

CITY ENGINEER - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



LOCATION MAP C-18-Z

PURPOSE OF PLAT

1. To eliminate lot lines as shown hereon.
2. To grant easements as shown hereon.
3. To dedicate public street right-of-way as shown hereon.

SUBDIVISION DATA

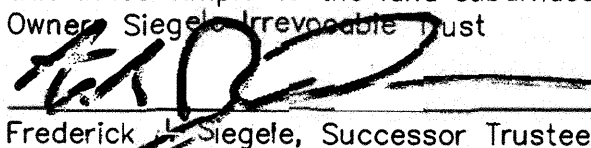
1. Project No.:
2. Application No.:
3. Zone Atlas Index No.: C-18-Z
4. Total Number of Lots created: 1
5. Total Number of existing Lots: 4
6. Gross Subdivision Acreage: 2.7777 Acres

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is the plat of record entitled:
"TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES",
(04-24-1936, D-130)
all being records of Bernalillo County, New Mexico.
5. Field Survey: November, 2019.
6. Title Report(s): Old Republic National Title Insurance Company
File No. 63146 (Effective Date: July 30, 2021)
7. Address of Property: Oakland Avenue NE, Albuquerque, New Mexico 87113
8. City of Albuquerque, New Mexico IDO Zone: MX-L
9. 100 Year Flood Zone Designation: ZONE X, as shown on Panel 137
of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo
County, New Mexico, dated August 16, 2012.
10. Unless shown otherwise all points are set 1/2" rebar with cap
or PK nail with tag "LS 7719".

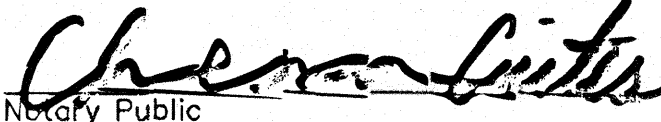
FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the creation of lots as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the vacation of temporary drainage easement as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the dedication of public street right-of-way to the City of Albuquerque in fee simple with warranty covenants. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.
Owner: Siegle Irrevocable Trust


Frederick J. Siegle, Successor Trustee

STATE OF NEW MEXICO)
BERNALILLO COUNTY)

On this 16 day of December, 2021, this instrument was acknowledged before me by Frederick J. Siegle, Successor Trustee of Siegle Irrevocable Trust, on behalf of said Trust.


Notary Public

DESCRIPTION

A tract of land situate within the Elena Gallegos Grant, projected Section 13, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being LOT 15, 16, 17 & 18, BLOCK 28, TRACT A, UNIT B, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130, and containing 4.0446 GROSS acres more or less.

EXCEPTING THEREFROM, an area of undedicated right-of-way being portions of Oakland Avenue NE, Louisiana Boulevard NE and Alameda Boulevard NE, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on April 24, 1936, in Plat Book D, Page 130, and containing 0.8236 acres more or less.

FURTHER EXCEPTING THEREFROM, a tract of land for public right-of-way, dedicated to the City of Albuquerque, as the same is shown and designated in Warranty Deed, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on October 29, 2013, in Document No. 2013118575, and containing 0.4433 acres more or less.

COMPRISING 2.7777 TOTAL NET ACRES, more or less.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. New Mexico Gas Company (NMGCO) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Lumen for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.
4. Comcast for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

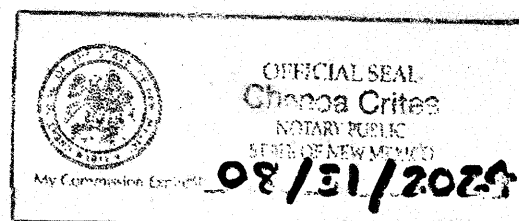
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.
Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER

In approving this plat, PNM, NMGCO, LUMEN and COMCAST did not conduct a title search of the properties shown hereon. Consequently, PNM, NMGCO, LUMEN and COMCAST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

SOLAR NOTE

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat.



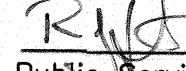
PLAT FOR
LOT 15-A, BLOCK 28
TRACT A, UNIT B,
NORTH ALBUQUERQUE ACRES
(A REPLAT OF LOTS 15 THRU 18,
BLOCK 28, NORTH ALBUQUERQUE ACRES)
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 13
TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER, 2021

PROJECT NUMBER: PR 2021-006238

Application Number: SD 2022-00001

PLAT APPROVAL

Utility Approvals:

	<u>1/7/2022</u>
Public Service Company of New Mexico	Date
Jeff Estvanko	<u>12.15.2021</u>
New Mexico Gas Company	Date
<u>Natalia Antonio</u>	<u>1.6.2022</u>
Lumen	Date
<u>Mike Montus</u>	<u>12.15.2021</u>
Comcast	Date

City Approvals:

<u>Loren N. Risenhoover P.S.</u>	<u>12/20/2021</u>
City Surveyor	Date

Real Property Division	Date
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Traffic Engineering, Transportation Division	Date
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Albuquerque-Bernalillo County Water Utility Authority	Date
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Parks and Recreation Department	Date
<u>AMAFRA</u>	<u>1/10/2022</u>
	Date

City Engineer/Hydrology	Date
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Code Enforcement	Date
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Solid Waste Management	Date
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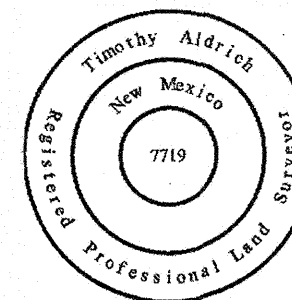
DRB Chairperson, Planning Department	Date
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SURVEYOR'S CERTIFICATION

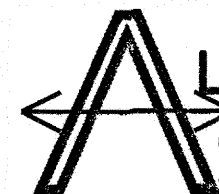
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."


Timothy Aldrich, P.S. No. 7719

12/12/2021
Date



Drawn By: TA	Date: 12-12-21
Checked By: TA	Drawing Name: 16064PLT.DWG
Job No.: 16-064	Sheet: 1 of 2

 **ALDRICH LAND
SURVEYING**

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

AGRS MONUMENT
 "10-C18"
 N=1524123.885 (US SURVEY FOOT)
 E=1542565.263 (US SURVEY FOOT)
 G-G=0.999665042
 Δα=-00°11'19.43"
 CENTRAL ZONE
 ELEVATION=5222.09 (US SURVEY FOOT)
 (NAD83/NAVD88)

EAGLE ROCK ESTATES, UNIT II
 (06-29-1998, 98C-175)

EAGLE ROCK ESTATES, UNIT III
 (05-13-1999, 99C-118)

PLAT FOR
 LOT 15-A, BLOCK 28
 TRACT A, UNIT B,
 NORTH ALBUQUERQUE ACRES
 (A REPLAT OF LOTS 15 THRU 18,
 BLOCK 28, NORTH ALBUQUERQUE ACRES)
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 13
 TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 DECEMBER, 2021

SILVEROAK SUBDIVISION
 (08-25-2016, 2016C-102)

LOT LINE ELIMINATED BY THIS PLAT (TYPICAL)

VISTA OAKLAND
 (09-21-2016, 2016C-117)

VISTA DEL AGUILA, UNIT 3
 (03-25-2004, 2004C-101)

EASEMENTS/RIGHT-OF-WAY

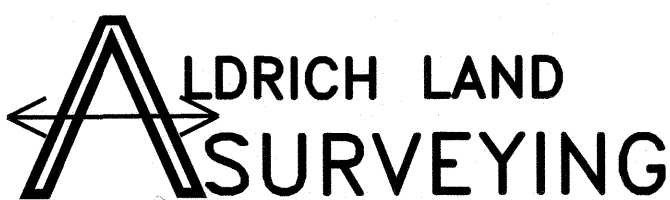
- ① EXISTING ROADWAY AND UTILITY EASEMENT
 (04-24-1936, D-130) (0.8236 acres)
- ② EXISTING C.O.A. ADDITIONAL PUBLIC RIGHT-OF-WAY
 (10-29-2013, 2013118575) (0.4433 acres)
- ③ EXISTING 10' PUE
 (08-25-2016, 2016C-102)

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH ALUMINUM CAP OR PK WITH TAG
 "LS 11599" (TYP.)
- FOUND CROSS SCRIBED IN CONCRETE
- Δ FOUND C.O.A. CENTERLINE MONUMENT
 "LS 7719" (TYP.)
- SET 1/2" REBAR WITH CAP "LS 7719" (TYP.)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.12'	30.00'	89°59'07"	S 44°47'26" W	42.42'
	(47.12')	(30.00')	(89°59'07")	(S44°47'27"E)	(42.42')

Drawn By:	TA	Date:	12-12-21
Checked By:	TA	Drawing Name:	16064PLT.DWG
Job No.:	16-064	Sheet:	2 of 2



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