

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107
 LEGAL DESCRIPTION: TRACT TWO (2) OF THE BULK LAND PLAT OF TRACTS 1 AND 2, OUR LADY OF GUADALUPE, BEING A REPLAT OF TRACTS 143, 144A2, 144B3, 167A, 168A, 168B2, 168A3, 168A4, 169, 170, 170A, 171, 175 M.R.C.D. MAP NO. 31 AND S.40' OF LOT 3-A, CORDOVA'S SUBDIVISION, WITHIN THE ELANA GALLEGOS GRANT, PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUN 21, 2022 IN MAP BOOK 2022C, FOLD 60.
 ZONE: ATLAS MAP-F-13-Z
 ZONING: R-A
 DEVELOPMENT TYPE: COTTAGE
 PROJECT SIZE: 10 ACRE +/- PARCEL SUBDIVIDED AS 8 LOTS EACH BETWEEN 1 AND 2 ACRES.
 PROJECT DESCRIPTION: LANDSCAPE FORWARD COTTAGE DEVELOPMENT W/ 90 UNITS RANGING IN SIZE FROM 658 SF. TO 1070 SF., DISTRIBUTED BETWEEN 8 LOTS(SEE UNIT COUNT NOTES THIS SHEET). PROJECT WILL INCLUDE A COMMUNITY AMENITIES BUILDING TO BE DETERMINED.

SITE REQUIREMENTS/ LOT AND UNIT INFORMATION

MARKING REQUIREMENTS (SEE TABLE 5-1-1)
 COTTAGE DEVELOPMENT: 1 SPACE PER UNIT + 2 VISITORS= 90 + 2 SPACES PER 8 LOTS= 102 SPACES REQUIRED
 COMMUNITY SPACE= 3 SPACES PER 1,000 GFA= 15 SPACES
 TOTAL SPACES REQUIRED 121 SPACES
132 SPACES PROVIDED:
 9 HC SPACES
 3 MOTORCYCLE SPACES
 2 BIKE SPACES
GENERAL NOTES-PARKING:
 1. SEE TRAFFIC CIRCULATION LAYOUT FOR DETAILED LAYOUT AND INFORMATION
 2. SEE SHARED PARKING AGREEMENT AND EXHIBIT FOR ADDITIONAL INFORMATION.
GENERAL NOTES-SITE:
 1. THIS IS THE FIRST APPLICATION FOR THIS PROJECT AND, THEREFORE, THE PROJECT SITE FOR THE COTTAGE DEVELOPMENT IS DEFINED BY THE PLATTED PROPERTIES KNOWN AS GRIEGOS FARMS FOR THE DD OPTION BELOW.
 2. THE ENTIRE "PROJECT SITE" IS TO REMAIN UNDER ONE OWNERSHIP.
PROJECT SITE: A LOT OR COLLECTION OF LOTS SHOWN ON A SUBDIVISION - MINOR OR MAJOR OR PART OF A SITE PLAN. THE LOTS BELONG TO THE LARGEST PROPERTY INTEREST IN THE EARLIEST REQUEST FOR PERMIT ON THE FIRST APPLICATION RELATED TO PARTICULAR DEVELOPMENT ON THAT SITE. A LARGER LOT OR SUBDIVISION WHICH WOULD APPLY TO THE PROJECT SHALL BE APPLIED TO THE EARLIEST APPLICATION FOR THAT SITE. THIS SHALL APPLY TO ALL LOTS AND TO ALL LOTS INCLUDED IN THE SUBDIVISION.
MINIMUM LOT SIZE FOR R-A PER TABLE 5-1-1 IS 1 ACRE=10,890 SF.
TOTAL 10+ ACRE LOT: 445,818 SF /70,980 SF = 40.91 LOTS ALLOWABLE
PER DD 4-30(X)(X)(Y) ASSUME AVERAGE HOME SIZE HOME IS 2,000 SF IN R-A ZONE
TOTAL ALLOWABLE RESIDENTIAL SQUARE FOOTAGE=81,839 SF
PROPOSED RESIDENTIAL SF = 74,540 SF
****SEE UNIT COUNT AND INFO THIS SHEET**

OPEN SPACE REQUIREMENTS:
 PER DD 4-30(X)(X) FOR AN R-A ZONE DISTRICT A MIN. OF 30% OF THE LOT MUST BE DESIGNATED AS USABLE OPEN SPACE AS DETERMINED BY THE DD.
 AS ALLOWED BY THE USABLE OPEN SPACE DEFINITION THE DESIGN TEAM HAS INCLUDED ALL LANDSCAPED AREAS, WALKWAYS, SETBACKS, BUFFERS, AND ACTIVE AND PASSIVE RECREATION AREAS. PER DD 4-30(X)(X) PRIVATE PATIOS ASSOCIATED WITH EACH UNIT HAVE BEEN EXCLUDED FROM THIS CALCULATION.
 USABLE OPEN SPACE REQUIRED=30% OF 445,818 SF = 133,885 SF.
 USABLE OPEN SPACE PROVIDED=238,214 SF.
 USABLE OPEN SPACE PROVIDED INCLUDES 178,034 SF OF LANDSCAPED AREA AND AN ADDITIONAL 60,180 SF OF WALKWAYS, PATIOS, SHARED COMMUNITY SPACES AND ACTIVE AND PASSIVE RECREATION AREAS.
 SEE PLAN FOR USABLE OPEN SPACE.

USABLE OPEN SPACE AREA

LOT #	LOT SIZE	ALLOWABLE GROSS SF. PER LOT	PROPOSED GROSS SF. PER LOT
LOT 1	1.72 ACRES	13,764.91	13,216
LOT 2	1.03 ACRES	8,233.67	8,210
LOT 3	1.37 ACRES	10,989.15	10,940
LOT 4	1.02 ACRES	8,172.84	5,415
LOT 5	1.03 ACRES	8,411.94	5,905
LOT 6	1.39 ACRES	12,780.90	12,762
LOT 7	1.11 ACRES	8,974.99	8,867
LOT 8	1.28 ACRES	10,234.34	10,175

UNIT INFORMATION:
 MINIMUM SIZE OF DWELLING=500 SF (R-A), MAXIMUM SIZE OF DWELLING= 1,200 SF. PER DD 4-30(X)(X)(Y)
 UNIT TYPE UNIT SF. BEDROOM TOTAL UNIT COUNT TOTAL GROSS SF. PER UNIT TYPE

UNIT A	655 SF.	ONE BED	146	30,130 SF.
UNIT B	697 SF.	TWO BED	10	6,970 SF.
UNIT C	1070 SF.	TWO BED	34	36,380 SF.
TOTAL			190	75,480 SF.

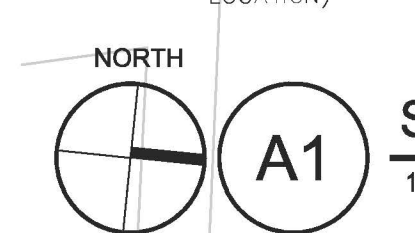
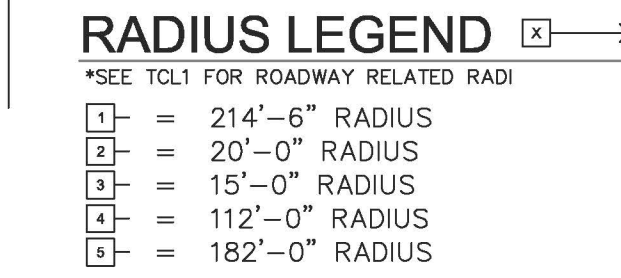
KEYED NOTES-SITE PLAN

- FIRE ACCESS ALTERNATIVE HAMMERHEAD
- LOADABLE TRASH CONTAINERS-SEE DETAIL
- BI/ASTIO-TRASH BINS LOCATED IN LANDSCAPE BUFFER TO NOT INCLUDE ENCLOSURE
- 6"-Ø CONCRETE PEDESTRIAN PATH DPM STANDARDS
- VEGETATED SWALE/ DRAINAGE POND-SEE DETAIL
- 3'-1/2" TALL SITE WALL/ FENCE SEE TOL 1 FOR ADDITIONAL INFORMATION-PROPOSED STUCCO FINISH- NAVAJO WHITE OR SIMILAR
- 6'-1/2" TALL OPaque WALL/ FENCE
- EXISTING 6"-Ø ADORNE WALL TO REMAIN
- EXISTING 3"-Ø ADORNE WALL TO REMAIN
- EXISTING APPARATUS ACCESS ROAD ONLY-NO VEHICULAR ACCESS
- Ø" OF SECURITY GATE W/ KNOX BOX-FOUNDATIONS, PLASTER AND OTHER

- STRUCTURAL REQUIREMENTS WILL BE INDEPENDENT OF EXISTING WALL. WATER FEATURE. PARKING LOT- SEE GENERAL NOTES, ROAD SECTION- SEE SHEET TOL 1 FOR DETAILS. COUNT AND ZONING REQUIREMENTS. PARKING LOT DRIVEWAYS- SEE SHEET TOL 2 FOR DETAILS AND MATERIALS. LANDSCAPE COURTYARDS-SEE LANDSCAPE DRAWING. APPROXIMATE LOCATION OF AMENITIES BUILDING- TBD APPROXIMATELY 5000 SF. VINEYARD AND LAWN AREA- SEE LANDSCAPE PLANS. EXISTING EXAMINATIONS- SEE ATTACHED PLAT FOR SPECIFICS. EXISTING EXAMINATIONS- SEE ATTACHED PLAT FOR SPECIFICS. PICKLEBALL COURT- TBD. EXISTING STRUCTURE TO BE REMOVED. PROPOSED SHARED COVERED PAVILION AND OF WAY- REFER TO TOL FOR ADDITIONAL INFORMATION. 6"-Ø CONCRETE ADA CONNECTION TO RIGHT OF WAY- REFER TO TOL FOR ADDITIONAL INFORMATION. 31. 28'-Ø WIDE ROADWAY SEE TOL 2

GENERAL NOTES

- REFER TO PLAT DRAWINGS FOR EXISTING AND PROPOSED EASEMENTS, PROPOSED LOT INFORMATION, AND FULL METES AND BOUNDS
- REFER TO TOL 1 AND TOL 2 FOR CROSS SECTIONS OF PROPOSED STREETS, ROADWAY AND CIRCULATION INFORMATION.
- REFER TO SHEET AS10 FOR REFUSE INFORMATION.
- UNLESS OTHERWISE NOTED ALL ADJACENT PROPERTIES ARE RESIDENTIAL.
- PROJECT TO BE CONSTRUCTED IN ONE PHASE- IT IS ASSUMED AT THIS POINT THAT THE CONSTRUCTION WILL BEGIN ON THE SOUTH AND MOVE NORTH AND EAST. STAGING WILL TAKE PLACE AT PARKING LOT LOCATIONS.
- PER DD 5-11(C)(2) WINDOWS IN NEW LOW-DENSITY RESIDENTIAL DEVELOPMENT, WINDOWS SHALL BE RECESSED NOT LESS THAN 2 INCHES AND/OR SHALL BE SURROUNDED BY A WINDOW CASING NOT LESS THAN 2 INCHES WIDE.
- BUILDING HEIGHTS NOT TO EXCEED 26'-0"

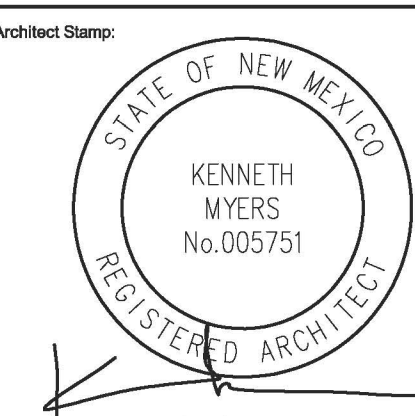


SITE PLAN
 1"=50'-0"

VICINITY MAP-SCALE: 1"=250'
 GRAPHIC SCALE: 0 50 100

1860 GRIEGOS RD. NW
 ALBUQUERQUE, NM 87107

GRIEGOS FARMS



07/06/2023

REMBE
 urban design + development
 1716 Central SW, Suite A
 Albuquerque NM 87104
 t: 505.243.0188

Project Number:	PR-2022-006261	Application Number:	SI-2022-2109
IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.			
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:			
<i>Ernest Armiijo</i>	Aug 30, 2023	Date	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION		Date	
<i>Dan G...</i>	Sep 21, 2023	Date	
ABCWUA		Date	
<i>Whitney...</i>	Aug 30, 2023	Date	
PARKS AND RECREATION DEPARTMENT		Date	
<i>Wegne...</i>	Aug 30, 2023	Date	
CITY ENGINEER/ HYDROLOGY		Date	
<i>JM Palmer</i>	Aug 30, 2023	Date	
Jeff Palmer (Aug 30, 2023 11:42 MDT) Code Enforcement		Date	
SEE SHEET AS110		Date	
SOLID WASTE MANAGEMENT		Date	
<i>...</i>	Sep 21, 2023	Date	
DRB CHAIRPERSON, PLANNING DEPARTMENT		Date	

Project: **GRIEGOS FARMS**
 Drawn By: **KMA** Checked By: **KMA**
 Phase: **SD**
 Date: ---
 Drawing Title: **SITE PLAN**
 Project Number: **2102**
 Sheet Number: **AS101**

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107
 ZONE ATLAS MAP: F-13-Z
 ZONING: R-A
 DEVELOPMENT TYPE: COTTAGE COURT, IDO 4-3(B)(3)
 PROJECT SIZE: 10 ACRE +/- PARCEL SUBDIVIDED AS 8 LOTS EACH BETWEEN 1 AND 2 ACRES.
 SETBACKS:
 FRONT: 20'-0"
 REAR: 25'-0"
 SIDE: 10'-0"

PROJECT DESCRIPTION

LANDSCAPE FORWARD COTTAGE COURT DEVELOPMENT W/ 90 UNITS RANGING IN SIZE FROM 655 SF. TO 1070 SF. DISTRIBUTED BETWEEN 8 LOTS(SEE UNIT COUNT NOTES THIS SHEET). PROJECT WILL INCLUDE A COMMUNITY BUILDING TO BE DETERMINED.

UNIT COUNT AND INFO

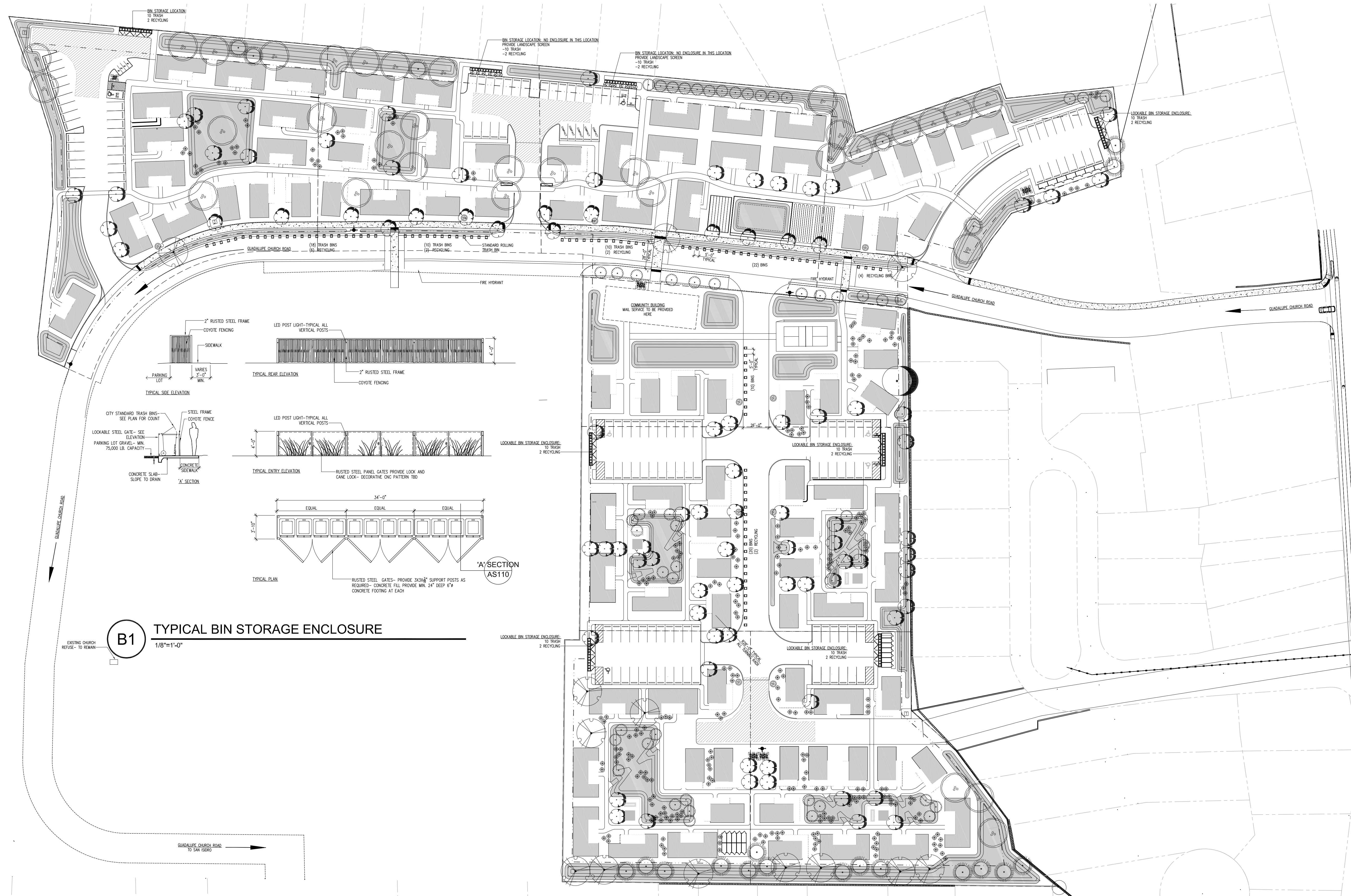
UNIT TYPE	UNIT SF.	BEDROOM	UNIT COUNT	TOTAL SF.
UNIT A	655 SF.	ONE BED	46	30,130 SF.
UNIT B	897 SF.	TWO BED	10	8,970 SF.
UNIT C	1070 SF.	TWO BED	34	36,380 SF.
TOTAL			90	75,480 SF.

TOTAL BIN COUNT: 90 TRASH BINS
 16 RECYCLING BINS

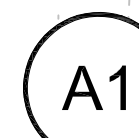
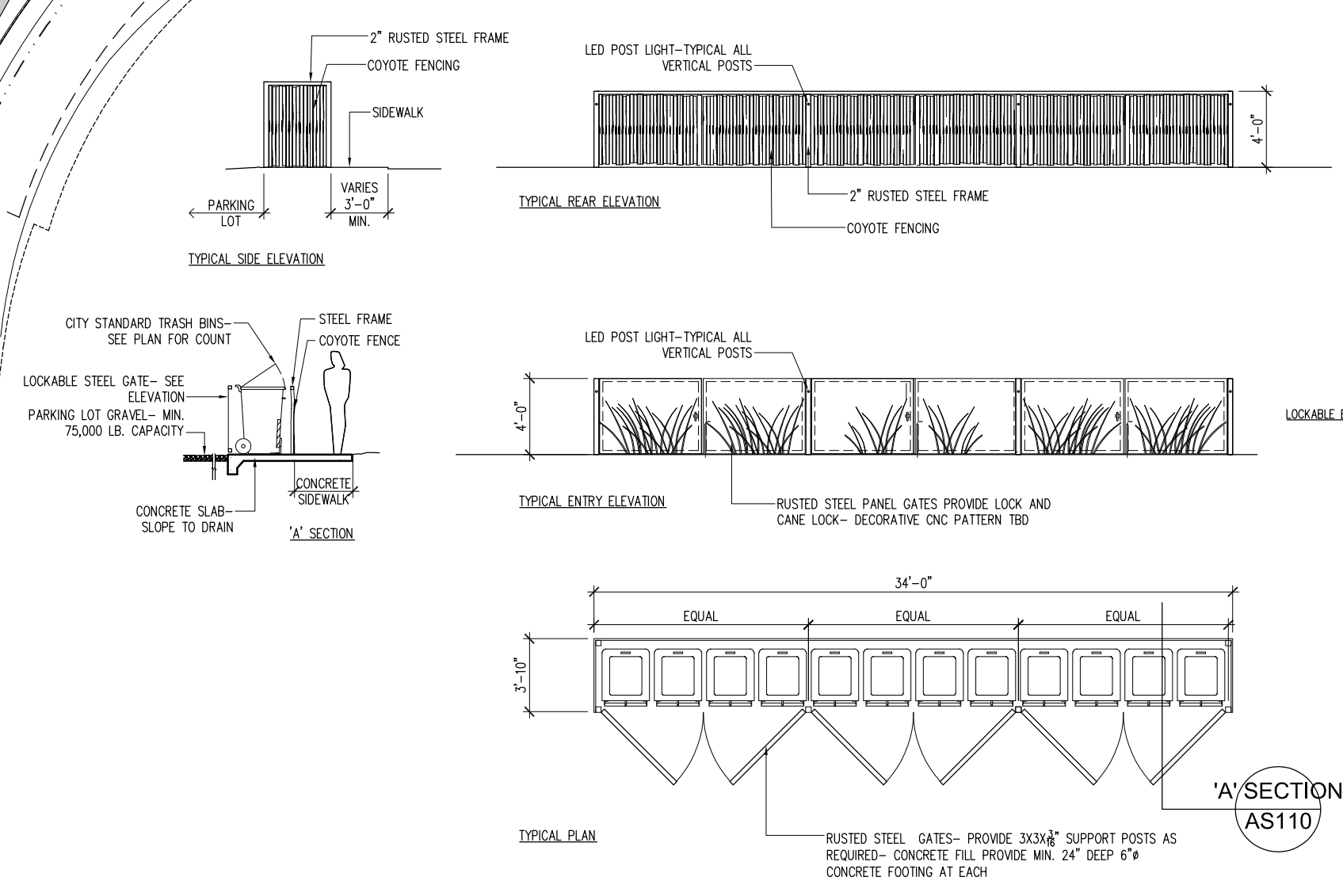
REFUSE GENERAL NOTES

- ACCESS IS PROVIDED FROM GRIEGOS AND FROM SAN ISIDRO
- PROJECT SITE TO BE OWNED AND OPERATED BY ONE OWNER.
- ROAD SIGNAGE WILL BE PROVIDED PROHIBITING PARKING IN THIS AREA ON THE SOLID WASTE SPECIFIED DAY, AND TIME.
- OPERATOR WILL PROVIDE TRASH SERVICE A PART OF RENTAL AGREEMENT- ALL TRASH BINS WILL BE MANAGED BY OPERATOR.
- BINS WILL BE DISTRIBUTED CURB SIDE AS INDICATED ON PLAN BY 7:00AM AND RETURNED TO STORAGE LOCATION BY 8:00 PM ON TRASH DAY.
- COORDINATE DATE FOR TRASH PICK UP WITH COA SOLID WASTE
- TRIM LANDSCAPING TO MAINTAIN 14'-0" CLEARANCE OR GRATER ABOVE CURB AREA WHERE BINS WILL BE LOCATED FOR PICK UP

Approved for access by the Solid Waste Department for 90 trash carts and 16 recycle carts.
 Herman Gallegos 12-08-22 *Herman Gallegos*



B1 TYPICAL BIN STORAGE ENCLOSURE
 1/8"=1'-0"



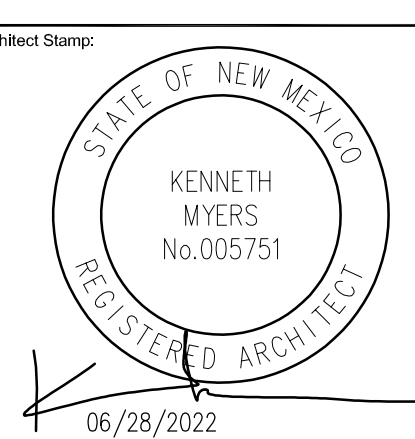
A1 SITE PLAN-REFUSE SOLID WASTE PLAN
 1"=50'-0"



PROJECT NUMBER: PR-2022-006261 APPLICATION NUMBER: SI-2022-2109

1860 GRIEGOS RD. NW
 ALBUQUERQUE, NM 87107

GRIEGOS FARMS



Project: GRIEGOS FARMS
 Drawn By: KMA Checked By: KMA
 Phase: SD
 Date: --
 Drawing Title:

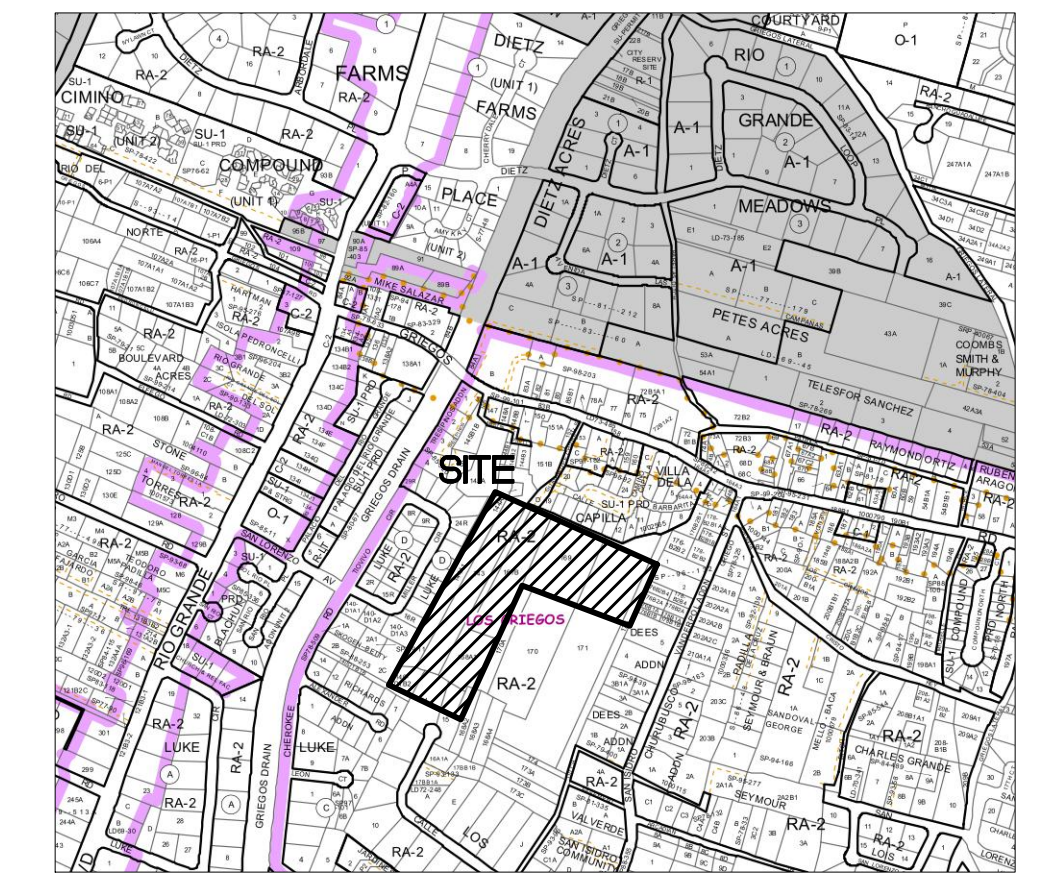
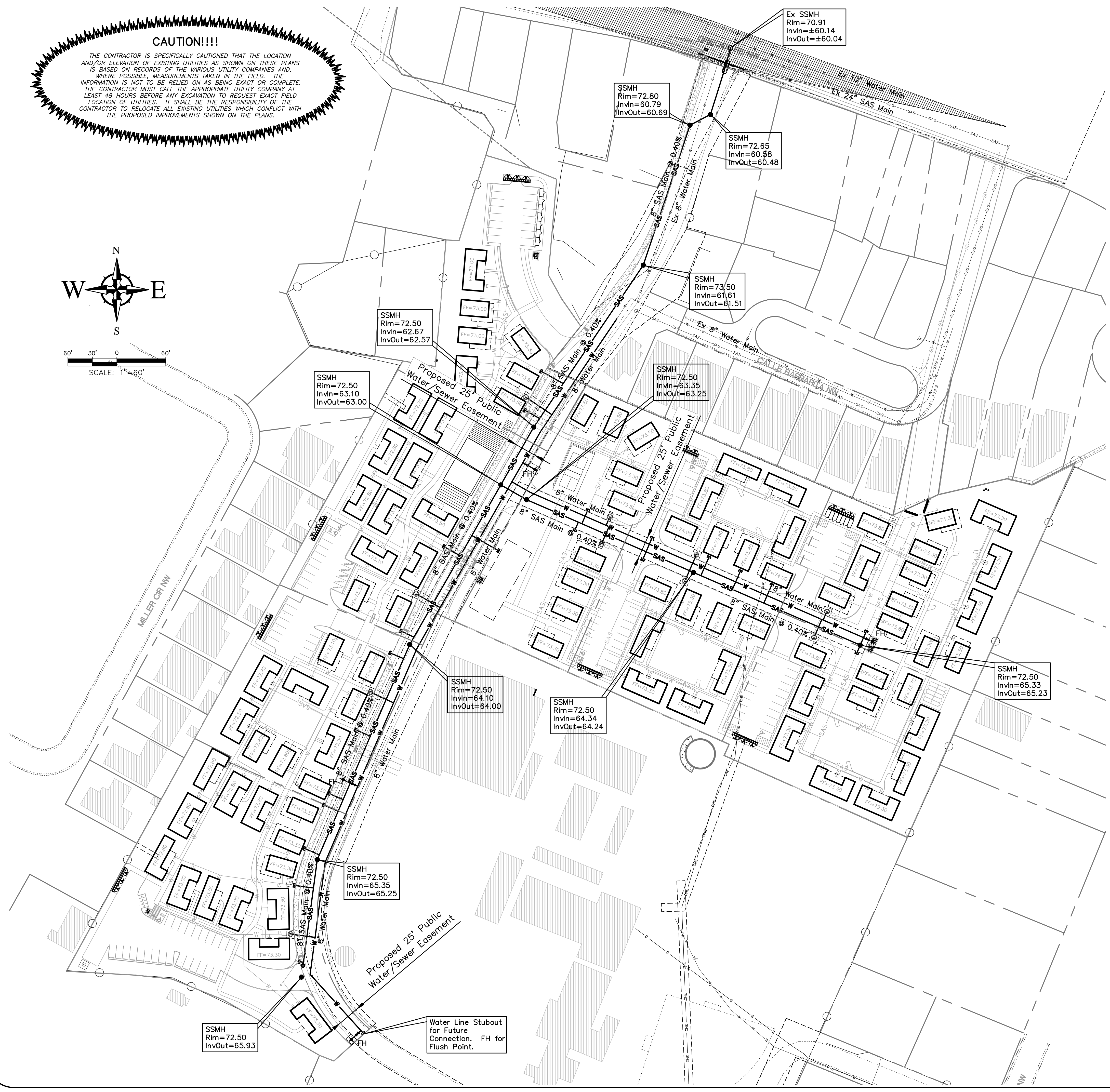
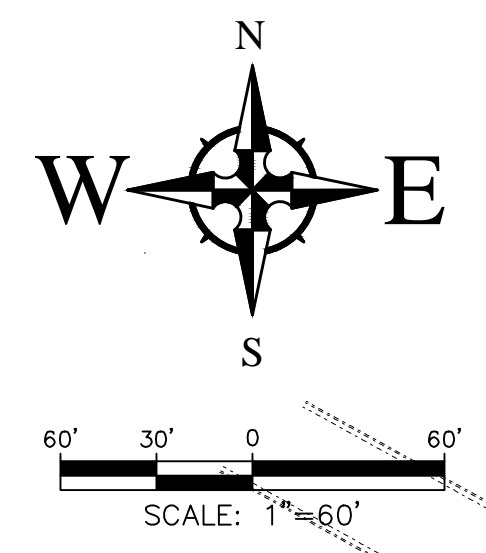
SITE PLAN- REFUSE PLAN

Project Number: 2102
 Sheet Number:

AS110

CAUTION!!!!

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



VICINITY MAP - Zone Map F-13-Z
 Legal Description: Tract 2, Our Lady of Guadalupe and Tract 144A1, Cordova's Subdivision City of Albuquerque, NM. 10.19 Acres.

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING UTILITIES AND ALL NECESSARY FITTINGS TO WITHIN 5' OF BUILDING.
7. ALL VALVES SHALL BE ANCHORED PER CITY OF ALBUQUERQUE STANDARDS.
8. FIRE LINES (IF REQUIRED) SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.

NO.	DATE	REMARKS	BY
		REVISIONS	
		DESIGN	
DESIGNED BY: JW		DATE: Sept. 2022	
DRAWN BY: OG		DATE: Sept. 2022	
CHECKED BY: JW		JOB NO.: 2022014	
		DATE: Sept. 2022	



Wooten Engineering
 PO Box 15814
 Rio Rancho, N.M. 87174
 Phone: (505) 980-3560

Griegos Farms
 Griegos Rd & Guadalupe Church St NW
 Albuquerque, NM 87107

Overall Conceptual Utility Plan

C-300

NOT FOR CONSTRUCTION

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107

LEGAL DESCRIPTION: TRACT TWO (2) OF THE BULK LAND PLAT OF TRACTS 1 AND 2, OUR LADY OF GUADALUPE, BEING A REPLAT OF TRACTS 143, 144A2, 144B3, 167A, 168A1, 168A2, 488A3, 168A4, 169, 170, 170A, 171, 175 M.R.G.C.D. MAP NO. 31 AND S.40' OF LOT 3-A, CORDOVA'S SUBDIVISION, WITHIN THE ELANA CALLEGOS GRANT, PROJECTED SECTION 31, TOWNSHIP 11 NORTH, RANGE 3 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUN 21, 2022 IN MAP BOOK 2022C, FOLD 60.

ZONE: ATLAS MAP-F-13-Z

ZONING: R-A

DEVELOPMENT TYPE: COTTAGE

PROJECT SIZE: 10 ACRE +/- PARCEL SUBDIVIDED AS 8 LOTS EACH BETWEEN 1 AND 2 ACRES.

PROJECT DESCRIPTION: LANDSCAPE FORWARD COTTAGE DEVELOPMENT W/ 90 UNITS RANGING IN SIZE FROM 655 SF TO 1070 SF, DISTRIBUTED BETWEEN 8 LOTS (SEE UNIT COUNT NOTES THIS SHEET). PROJECT WILL INCLUDE A COMMUNITY AMENITIES BUILDING TO BE DETERMINED.

PARKING INFORMATION

PARKING REQUIREMENTS (200 TABLE 3-5.1-1)
 COTTAGE DEVELOPMENT-1 SPACE PER UNIT + 2 VISITOR+ 90 + 2 SPACES PER 8 LOTS- 156 SPACES REQUIRED
 COMMUNITY SPACE- 3 SPACES PER 1,000 GFA+ 15 SPACES

132 SPACES PROVIDED

14 HC SPACES
 5 MOTORCYCLES SPACES
 21 BIKE SPACES

GENERAL NOTES-PARKING
 1. SEE TRAFFIC CIRCULATION LAYOUT FOR DETAILED LAYOUT AND INFORMATION FOR THE COTTAGE DEVELOPMENT IS OBTAINED THE PLATTED PROPERTIES KNOWN AS GRIEGOS FARMS PER THE IDO DEFINITION BELOW.
 2. SEE SHARED PARKING AGREEMENT FOR ADDITIONAL INFORMATION.

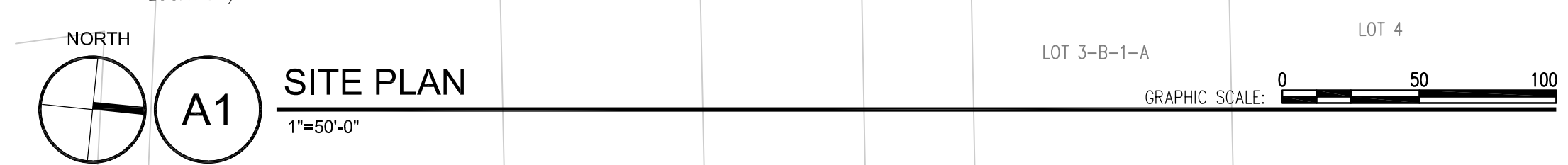
GENERAL NOTES-SITE
 1. THIS IS THE FIRST APPLICATION FOR THIS PROJECT AND, THEREFORE, THE "PROJECT SITE" FOR THE COTTAGE DEVELOPMENT IS DEFINED THE PLATTED PROPERTIES KNOWN AS GRIEGOS FARMS PER THE IDO DEFINITION BELOW.
 2. THE ENTIRE "PROJECT SITE" IS TO REMAIN UNDER ONE OWNERSHIP

Lot Number	Unit Count	Additional Spaces Required per IDO-use parking info	Total Required	Total Provided	Available/Required (-) for shared parking	Shared Parking with abutting Lot
1	14	2	16	26	10	
2	10	2	12	12	0	
3	11	2	13	15	2	
4	7	2	9	16	7	
5*	9	17	26	0	-26	Lot 3:1 space, Lot 4: 7 spaces, Lot 6: 18 Spaces= 26
6	16	2	18	36	18	
7	10	2	12	22	10	
8	13	2	15	12	-3	Lot 7: 3
Total	90	31	121	139		

Legend:
 *requires additional parking for community building
 Requires shared parking with abutting lot

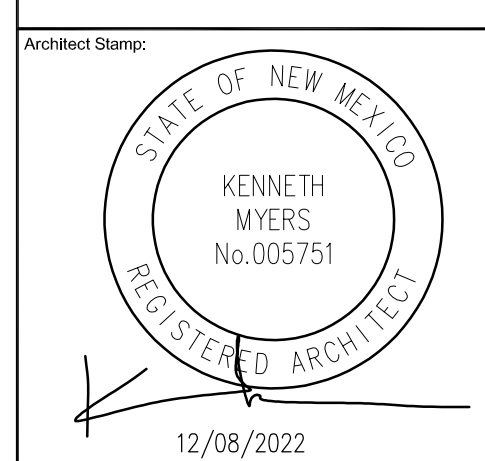


TO SAN ISIDRO STREET (SECOND ACCESS LOCATION)
 VICINITY MAP - SCALE: 1"=250'-0"



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 ALBUQUERQUE, NM 87107

GRIEGOS FARMS



REMBE
 urban design + development
 1716 Central SW, Suite A
 Albuquerque NM 87104
 t. 505.243.0188

Project: **GRIEGOS FARMS**

Drawn By: **KMA** | Checked By: **KMA**

Phase: **SD**

Date: ---

Drawing Title: **SHARED PARKING LAYOUT**

Project Number: **2102**

Sheet Number: ---

EXHIBIT 'A'

LANDSCAPE NOTES

GENERAL LANDSCAPE NOTES

THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVER, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND COVER PLANTS.

ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.

RESPONSIBILITY FOR LANDSCAPE AND IRRIGATION MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

LANDSCAPE AREAS SHALL BE DESIGNED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. BIOSWALES AND BIORETENTION PONDS AT 12" TO 36" MAXIMUM BELOW ADJACENT GRADE FOR STORMWATER CATCHMENT, SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION.

LANDSCAPE PLANS WILL MEET THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE, SECTION 6-1-1.

THE LANDSCAPE PLANS SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.

THE LANDSCAPE PLAN SHALL BE DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO GENERAL LANDSCAPE REQUIREMENTS AND STREET TREE ORDINANCE, SECTION 14-16-3-10.

PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN CLEAR SIGHT AREAS.

LANDSCAPING AND SIGNAGE SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS.

LANDSCAPE PLAN MEETS 25' MIN SPACING REQUIREMENTS FOR STREET TREES.

THE PROJECT SITE SHALL MAINTAIN A LANDSCAPE BUFFER AT LEAST 10 FEET WIDE, MEETING THE REQUIREMENTS OF SECTION 14-16-5-6(LANDSCAPING, BUFFERING, AND SCREENING) ALONG EACH SIDE AND REAR LOT LINE, AND NO PORTION OF ANY PRIMARY OR ACCESSORY STRUCTURE MAY BE LOCATED IN THAT BUFFER AREA.

THE EXISTING SITE TO THE EAST OF GUADALUPE CHURCH STREET NW IS COMPRISED OF UNMAINTAINED BASEBALL FIELDS THAT ARE NOT VEGETATED AND THE EXISTING SITE TO THE WEST OF UNDEVELOPED LAND THAT IS NOT VEGETATED.

THE OFF-STREET PARKING AREA LANDSCAPING REQUIREMENTS PER 14-16-3-10 LANDSCAPING REQUIREMENTS (G) SPECIAL LANDSCAPING STANDARDS HAVE BEEN ADDRESSED INCLUDING THE FOLLOWING:

- (A) ONE TREE IS REQUIRED PER TEN PARKING SPACES;
- (B) NO PARKING SPACE MAY BE MORE THAN 100 FEET FROM A TREE TRUNK;
- (C) THE MINIMUM SIZE OF TREE PLANTERS WITHIN OFF-STREET PARKING AREAS SHALL BE 36 - 80 SQUARE FEET PER TREE; THE TREE PLANTER AREA MAY BE REDUCED IF THE SURFACE OF THE PARKING OR VEHICLE CIRCULATION AREA IS OF A PERMEABLE MATERIAL;
- (D) AT LEAST 75% OF THE REQUIRED PARKING AREA TREES SHALL BE DECIDUOUS CANOPY-TYPE SHADE TREES, CAPABLE OF ACHIEVING A MATURE CANOPY DIAMETER OF AT LEAST 25 FEET.

PLANTING NOTES

ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 3/8" LANDSCAPE GRAVEL MULCH (COLOR BEIGE OR APPROVED EQUAL) OR BARK MULCH MIXED WITH SEEDED GRASS MIX. ALL GRAVEL SHALL BE UNDERLINED WITH DEWITT PRO-5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.

THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.

IRRIGATION NOTES

THE IRRIGATION PLAN SHALL BE DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS, SECTION 5-6(C)(14).

SETBACK & LANDSCAPE BUFFER NOTES

PER THE COTTAGE DEVELOPMENT LANGUAGE IN SECTION 4-3(B)(3) THE MAXIMUM PROJECT SIZE IS TWO (2) ACRES WHICH DEFINES EACH OF THE INDIVIDUAL COTTAGE COURTS. THIS GOVERNS THE OVERALL BUILDABLE SQUARE FOOTAGE AND HAS DEFINED THE PROJECT SITES UNIT DISTRIBUTION. THIS SECTION DISCUSSES THE ZONE DISTRICT LOT AND SET BACK REQUIREMENTS DEFINED IN TABLE 2-3-1 IN REFERENCE TO THE PROJECT SITE WHICH, AS DEFINED BY IDO SECTION 7-1 DEFINITIONS, IS THE ENTIRE TEN PLUS (10+) ACRE SITE.

PER EDGE BUFFER LANDSCAPING (14-16-5-6(D)) REQUIREMENTS - ONE (1) TREE AND THREE (3) SHRUBS PER EVERY TWENTY-FIVE (25) FEET.

LANDSCAPE SCHEDULES

PLANTING SCHEDULE

			QTY.		
	LARGE DECIDUOUS TREES		45		
	Rio Grande Cottonwood	Populus wislizeni	2.5 cal., B4B	50' x 40'	
	Arizona Ash	Fraxinus velutina	2.5 cal., B4B	50' x 40'	
	Arizona Sycamore	Plantanus wrightii	2.5 cal., B4B	40' x 30'	
	Chinese Pistache	Pistacia chinensis	2.5 cal., B4B	40' x 30'	
	Lacebark Elm	Lacebark elm	2.5 cal., B4B	40' x 40'	
	MEDIUM DECIDUOUS TREES		42		
	Black Willow	Salix nigra	2.5 cal., B4B	40' x 30'	
	Bigtooth Maple	Acer saccharum v grandidentatum	15 gal.	25' x 25'	
	Netleaf hackberry	Celtis reticulata	2.5 cal., B4B	30' x 30'	
	Chisos Red Oak	Quercus gravesii	15 gal.	25' x 25'	
	SMALL/MEDIUM & FLOWERING DECIDUOUS TREES		67		
	Desert Willow	Chilopsis linearis	15 gal.	20' x 25'	
	Honey Mesquite	Prosopis grandulosa	24" box	25' x 25'	
	Mexican Elder	Sambucus Mexicana	15 gal.	15' x 15'	
	FRUIT TREES		170		
	Golden Delicious Apple	Malus domestica	2.5 cal., B4B	25' x 25'	
	Alberta Peach	Golden Delicious	2.5 cal., B4B	25' x 25'	
	Santa Rosa Plum	Prunus persicas Alberta	2.5 cal., B4B	25' x 25'	
		Prunus domestica 'Santa Rosa'	2.5 cal., B4B	25' x 25'	
	Fuyu Persimmon	Diospyros virginiana Fuyu	2.5 cal., B4B	25' x 25'	
	Tilton Apricot	Prunus armeniaca Apricot	2.5 cal., B4B	25' x 25'	
	EVERGREEN TREES		36		
	Rocky Mountain Juniper	Juniperus scopulorum	15 gal.	30' x 20'	
	Southwest White Pine	Pinus strobiformis	6' - 8' ht. B4B	50' x 30'	
	Limber Pine	Pinus flexilis	8' - 10' ht. B4B	30' x 20'	
	Pinon Pine	Pinus edulis	8' - 10' ht. B4B	20' x 15'	
	Desert Oak	Quercus turbinella	15 gal.	20' x 15'	
	SHRUBS		430 + 420 ALONG BUFFER		
	LARGE SHRUBS				
	Silver Buffaloberry	Shepherdia argentea	5 gal.	15' x 12'	
	False Indigo Bush	Amorpha fruticosa	5 gal.	6' x 6'	
	Chokecherry	Prunus virginiana demise	5 gal.	8' x 6'	
	Coyote Willow	Salix exigua	5 gal.	6' x 8'	
	Desert Broom	Baccharis sarothroides	5 gal.	6' x 6'	
	Curleaf Mountain Mahogany	Cercocarpus ledifolius	5 gal.	10' x 6'	
	Greyleaf Cotoneaster	Cotoneaster buxifolius	5 gal.	3' x 8'	
	Spanish Broom	Spartium junceum	5 gal.	6' x 6'	
	Rosewood	Yauquelinia californica	5 gal.	8' x 6'	
	Alkali Sacaton	Sporobolus airoides	1 gal.	4' x 6'	
	MEDIUM SHRUBS				
	Three Leaf Sumac	Rhus trilobata	5 gal.	5' x 5'	
	Apache Plume	Fallugia paradoxa	5 gal.	5' x 4'	
	Cutleaf Sumac	Rhus glabra var. cismontane	5 gal.	3' x 4'	
	Turpentine Bush	Ericameria laricifolia	5 gal.	3' x 5'	
	Red Yucca	Hesperaloe parviflora	5 gal.	4' x 4'	
Flame Anisacanthus	Anisacanthus wrightii	5 gal.	4' x 4'		
Thompson Broom	Baccharis x Starns	5 gal.	2' x 5'		
Heavenly Bamboo	Nandina domestica	5 gal.	5' x 5'		
Western Sand Cherry	Prunus besseyi	5 gal.	4' x 4'		
	'Pawnee Buttes'				
Cliff Fendlerbush	Fendlera rupicola	5 gal.	4' x 4'		
SMALL SHRUBS					
Golden Currant	Ribes aureum	5 gal.	4' x 3'		
Chamisa	Chrysothamnus nauseosus	5 gal.	2' x 2'		
Banana Yucca	Yucca baccata	5 gal.	2' x 2'		
Cherry Sage	Salvia greggii	5 gal.	3' x 3'		
Compact Oregon Grape	Mahonia aquifolium 'compacta'	3 gal.	2' x 3'		

VINES, PERENNIALS, CROPS, GROUND COVER & GRASSES

Grapes	Vitis sp.	5 gal.	2' x 15'
Hops	Humulus sp.	5 gal.	3' x 25'
Curry Plant	Helichrysum italicum	1 gal.	2' x 3'
Lavender	Lavandula angustifolia	1 gal.	3' x 2'
Maximilian Sunflower	Helianthus Maximiliani	1 gal.	3' x 2'
Rosemary	Rosmarinus officinalis	5 gal.	4' x 4'
Chives	Allium schoenoprasum	4" pot	2' x 1'
Artichoke	Cynara scolymus	4" pot	3' x 3'
Bulbs	Various	4" pot	1' x 1'
Chocolate Flower	Berlandiera lyrata	4" pot	2' x 2'
Mexican Hat	Ratibida tagetes	4" pot	3' x 2'
Indian Blanket	Gaillardia pulchella	4" pot	1' x 1'
Yerba de Mansa	Anemopsis californica	1 gal.	1' x 2'
Cota	Thelesperma megapotamicum	1 gal.	1' x 1'
Blue Grama Grass	Bouteloua gracilis	Seed	3' x 2'
Giant Sacaton	Sporobolus wrightii	1 gal.	8' x 6'
Sheep's Fescue	Festuca ovina	Seed	n/a
Blue Grama Blond	Bouteloua gracilis	1 gal.	3' x 3'
Ambition	'Blonde Ambition'		
Indian Rice Grass	Oryzopsis hymenoides	1 gal.	1' x 1'

HARDSCAPE / GROUND COVER SCHEDULE

SYMBOL	DESCRIPTION	QTY
	LANDSCAPE AREA WITH EITHER 3/8" LANDSCAPE GRAVEL MULCH (COLOR: BEIGE OR APPROVED EQUAL) OR BARK MULCH MIXED WITH SEEDED GRASS MIX. 4" DEPTH.	126,636 SF
	CRUSHER FINES WITH GRAVEL PARKING. COLOR: BEIGE OR APPROVED EQUAL. 4" DEPTH.	58,495 SF
	BIORETENTION POND SEED MIX.	66,638 SF
	BIOSWALE LANDSCAPE AREA (ALONG THE ROAD)	2,036 SF
	INTERIOR ACCESS ROAD, ASPHALT	1,220 SF



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CONSULTANTS

PROJECT

GRIEGOS FARMS

ADDRESS

1860 GRIEGOS RD, NM
ALBUQUERQUE, NM 87107



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ISSUE DATE: AUGUST 26, 2022

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SHEET TITLE

LANDSCAPE NOTES
& SCHEDULES

LP101

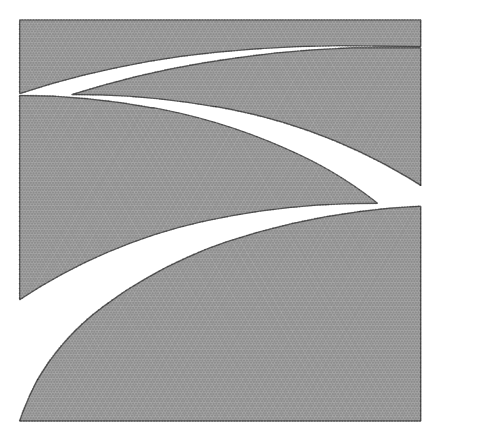
SHEET 1 OF 5

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LEGEND

- PROPERTY LINE
- - - - - SETBACK LINE
- SYMBOL DESCRIPTION**
- LANDSCAPE AREA WITH EITHER 3/8" LANDSCAPE GRAVEL MULCH (COLOR: BEIGE OR APPROVED EQUAL) OR BARK MULCH MIXED WITH SEEDED GRASS MIX. 4" DEPTH.
- CRUSHER FINES WITH GRAVEL PARKING. COLOR: BEIGE OR APPROVED EQUAL. 4" DEPTH.
- BIORETENTION POND SEED MIX.
- BIOSWALE LANDSCAPE AREA (ALONG THE ROAD)
- INTERIOR ACCESS ROAD, ASPHALT
- 10'-0" WIDE LANDSCAPE BUFFER. PER 4-3(B)(3)(H), EACH PROJECT SITE SHALL MAINTAIN A LANDSCAPE BUFFER AT LEAST 10 FEET WIDE, MEETING THE REQUIREMENTS OF SECTION 14-16-5-6 (LANDSCAPING, BUFFERING, AND SCREENING) ALONG EACH SIDE AND REAR LOT LINE, AND NO PORTION OF ANY PRIMARY OR ACCESSORY STRUCTURE MAY BE IN THAT BUFFER AREA.



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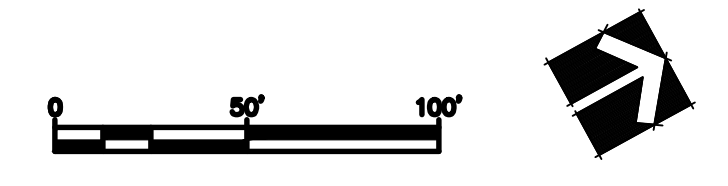
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SHEET TITLE

LANDSCAPE
CONSTRUCTION PLAN

LP102

SHEET 2 OF 5



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10'-0" WIDE LANDSCAPE BUFFER, PER 4-3(B)(3)(H), EACH PROJECT SITE SHALL MAINTAIN A LANDSCAPE BUFFER AT LEAST 10 FEET WIDE, MEETING THE REQUIREMENTS OF SECTION 14-16-5-6 (LANDSCAPING, BUFFERING, AND SCREENING) ALONG EACH SIDE AND REAR LOT LINE, AND NO PORTION OF ANY PRIMARY OR ACCESSORY STRUCTURE MAY BE IN THAT BUFFER AREA.

LEGEND PLANTING

VINES, PERENNIALS, CROPS, GROUNDCOVER & GRASSES

- | | |
|----------------------|---------------------------|
| Grapes | Vitis sp. |
| Hops | Humulus sp. |
| Curry Plant | Helichrysum italicum |
| Lavender | Lavendula angustifolia |
| Maximilian Sunflower | Helianthus Maximiliani |
| Rosemary | Rosmarinus officinalis |
| Chives | Allium schoenoprasum |
| Artichoke | Cynara scolymus |
| Bulbs | Various |
| Chocolate Flower | Berlandiera lyrata |
| Mexican Hat | Ratibida tagetes |
| Indian Blanket | Gaillardia pulchella |
| Yerba de Mansa | Anemopsis californica |
| Cota | Thelesperma megapotamicum |
| Blue Grama Grass | Bouteloua gracilis |
| Giant Sacaton | Sporobolus wrightii |
| Sheep's Fescue | Festuca ovina |
| Blue Grama Blond | Bouteloua gracilis |
| Ambition | 'Blonde Ambition' |
| Indian Rice Grass | Oryzopsis hymenoides |

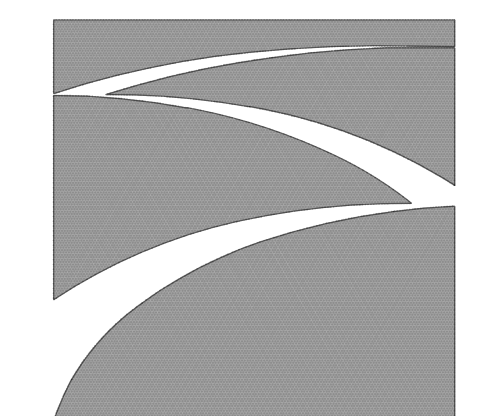
LEGEND

- PROPERTY LINE
- - - - - SETBACK LINE

LEGEND PLANTING

- LARGE DECIDUOUS TREES**
 - Rio Grande Cottonwood Populus wislizeni
 - Arizona Ash Fraxinus velutina
 - Arizona Sycamore Plantanus wrightii
 - Chinese Pistache Pistacia chinensis
 - Lacebark Elm Lacebark elm
- MEDIUM DECIDUOUS TREES**
 - Black Willow Salix nigra
 - Bigtooth Maple Acer saccharum v grandidentatum
 - Netleaf hackberry Celtis reticulata
 - Chisos Red Oak Quercus gravesii
- SMALL/MEDIUM & FLOWERING DECIDUOUS TREES**
 - Desert Willow Chilopsis linearis
 - Honey Mesquite Prosopis grandulosa
 - Mexican Elder Sambucus Mexicana
- FRUIT TREES**
 - Golden Delicious Apple Malus domestica
 - Alberta Peach Prunus persicas Alberta
 - Santa Rosa Plum Prunus domestica 'Santa Rosa'
 - Fuyu Persimmon Diospyros virginiana Fuyu
 - Tilton Apricot Prunus armeniaca Apricot
- EVERGREEN TREES**
 - Rocky Mountain Juniper Juniperus scopulorum
 - Southwest White Pine Pinus strobiformis
 - Limber Pine Pinus flexilis
 - Pinon Pine Pinus edulis
 - Desert Oak Quercus turbinella
- SHRUBS**
 - LARGE SHRUBS**
 - Silver Buffaloberry Shepherdia argentea
 - False Indigo Bush Amorpha fruticosa
 - Chokecherry Prunus virginiana demise
 - Coyote Willow Salix exigua
 - Desert Broom Baccharis sarothroides
 - Curleaf Mountain Cercocarpus ledifolius
 - Mahogany Mahogany
 - Greyleaf Cotoneaster Cotoneaster buxifolius
 - Spanish Broom Spartium junceum
 - Rosewood Vauquelinia californica
 - Alkali Sacaton Sporobolus airoides
 - MEDIUM SHRUBS**
 - Three Leaf Sumac Rhus trilobata
 - Apache Plume Fallugia paradoxa
 - Cutleaf Sumac Rhus glabra var. cismontane
 - Turpentine Bush Ericameria laricifolia
 - Red Yucca Hesperaloe parviflora
 - Flame Anisacanthus Anisacanthus wrightii
 - Thompson Broom Baccharis x Stans
 - Heavenly Bamboo Nandina domestica
 - Western Sand Cherry Prunus besseyi
 - 'Pawnee Buttes' Fendlera rupicola
 - Cliff Fenderbush
 - SMALL SHRUBS**
 - Golden Currant Ribes aureum
 - Chamisa Chrysothamnus nauseosus
 - Banana Yucca Yucca baccata
 - Cherry Sage Salvia greggii
 - Compact Oregon Grape Mahonia aquifolium 'Compacta'

PER EDGE BUFFER LANDSCAPING (14-16-5-6(D)) REQUIREMENTS: ONE (1) TREE AND THREE (3) SHRUBS PER EVERY TWENTY-FIVE (25) FEET.



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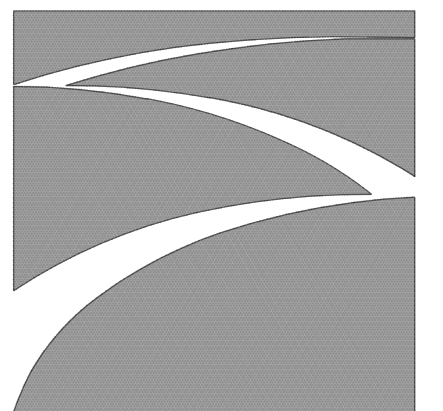
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ISSUE DATE: AUGUST 26, 2022

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LANDSCAPE PLANTING PLAN

LP103



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1	12/07/22	Updated Landscape Calculations
MARK	DATE	DESCRIPTION
	ISSUE DATE:	AUGUST 26, 2022
PROJECT NO: 2022038		
DWS FILE: 2022038_L05_GRIEGOS_FARM_DRB_SITING.dwg		
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SHEET TITLE

LANDSCAPE CALCULATIONS

LP104

SHEET 4 OF 5

LEGEND

PROPERTY LINE
SETBACK LINE

LANDSCAPED AREA

PROPOSED LANDSCAPE AREAS 195,634 SQ. FT.



LANDSCAPE AREA CALCULATIONS		
ITEM	SQFT	ACRE
Total Site Area	445,618.00	10.23
Gross Covered Area	97,678.00	2.24
Net Site Area	347,940.00	7.99
Landscape Area Required (10%)	34,794.00	0.80
Total Landscape Area Required	34,794.00	0.80
Existing Landscape	0.00	0.00
Landscape Area Provided	195,310.00	4.48
Landscape Area Existing	0.00	0.00
Supplement seating areas (1/3)	0.00	0.00
Total Landscape Area provided	195,634.00	4.49
Landscape Area Ratio to Site (Minimum of 10% required)	56.2%	
Total Required Vegetation Cover @ Maturity (75%)	146,482.50	3.36
Total Required Vegetation Cover with shrubs, groundcover, grasses (30%)	58,593.00	1.35
Total Required Vegetative Cover	205,075.50	4.71
Total Provided Vegetative Cover	190,369.57	4.37
Provided Cover Ratio to Proposed Landscape Area (Minimum of 75% required)	92.8%	

EDGE BUFFERING 5-6(E)(1)(b): EACH PROJECT SITE SHALL MAINTAIN A LANDSCAPE BUFFER AT LEAST 10 FEET WIDE, MEETING THE REQUIREMENTS OF SECTION 14-16-5-6(LANDSCAPING, BUFFERING, AND SCREENING) ALONG EACH SIDE AND REAR LOT LINE, AND NO PORTION OF ANY PRIMARY OR ACCESSORY STRUCTURE MAY BE LOCATED IN THAT BUFFER AREA.

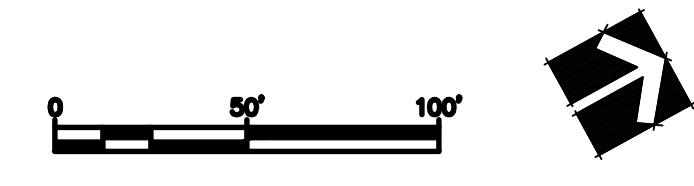
PER EDGE BUFFER LANDSCAPING (14-16-5-6(D)) REQUIREMENTS: ONE (1) TREE AND THREE (3) SHRUBS PER EVERY TWENTY-FIVE (25) FEET.

BUFFER LANDSCAPE AREA REQ.
(RML MIN AREA)+(RI MIN AREA)
(4,688' x 10') = 46,880 SF (1.07 AC)

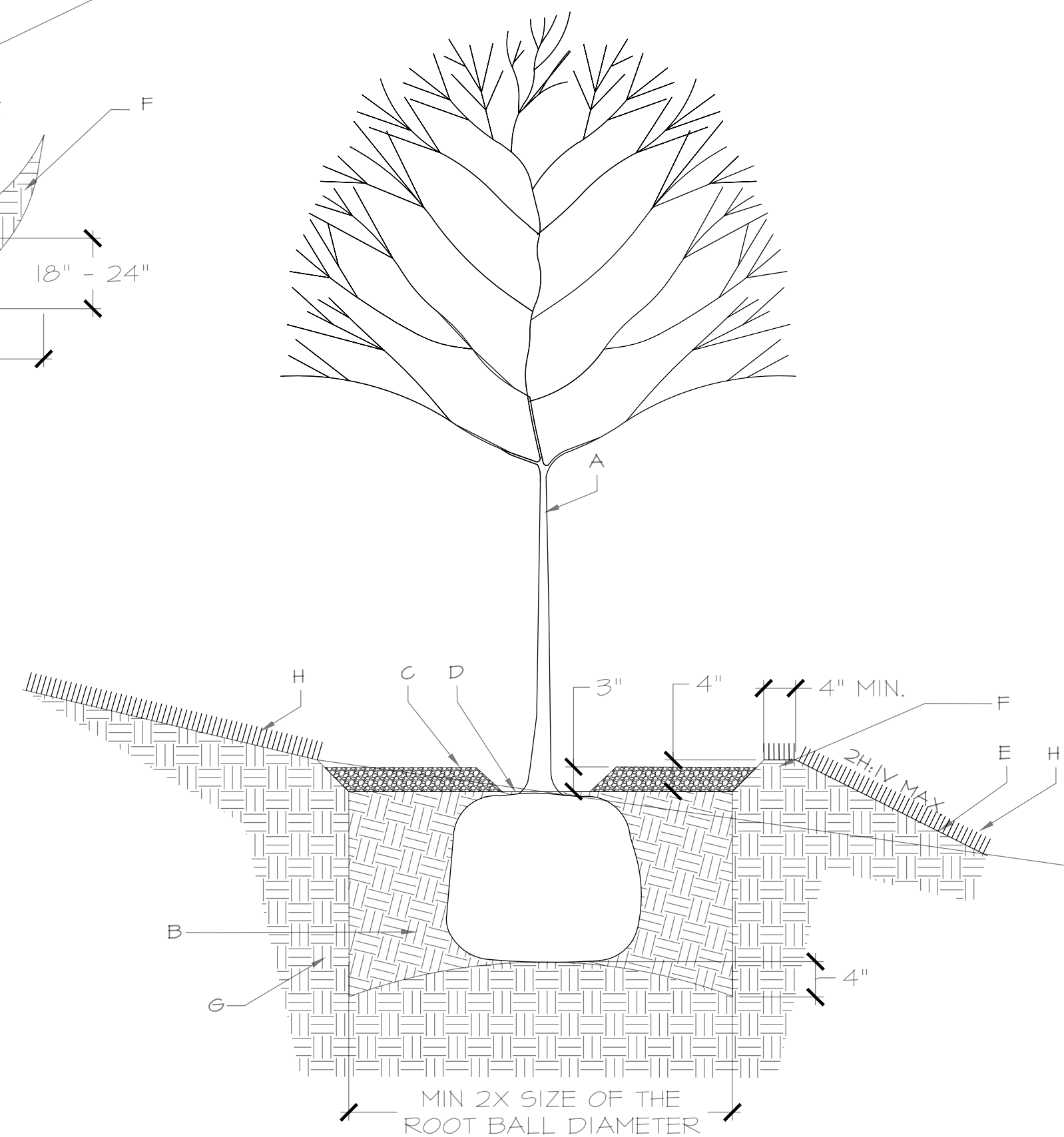
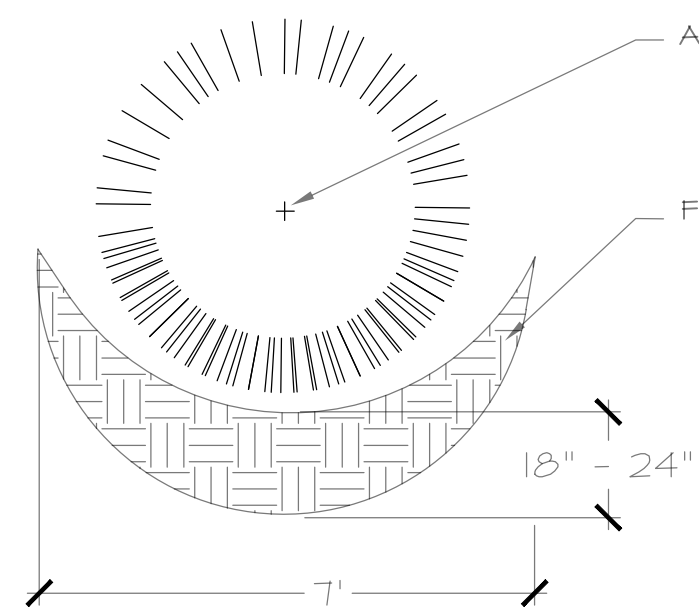
LANDSCAPE AREA REQ. (10%) = 4,688 SF (0.10 AC)

LANDSCAPE AREA PROPOSED = 54,358 SF (1.24 AC)

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PLAN



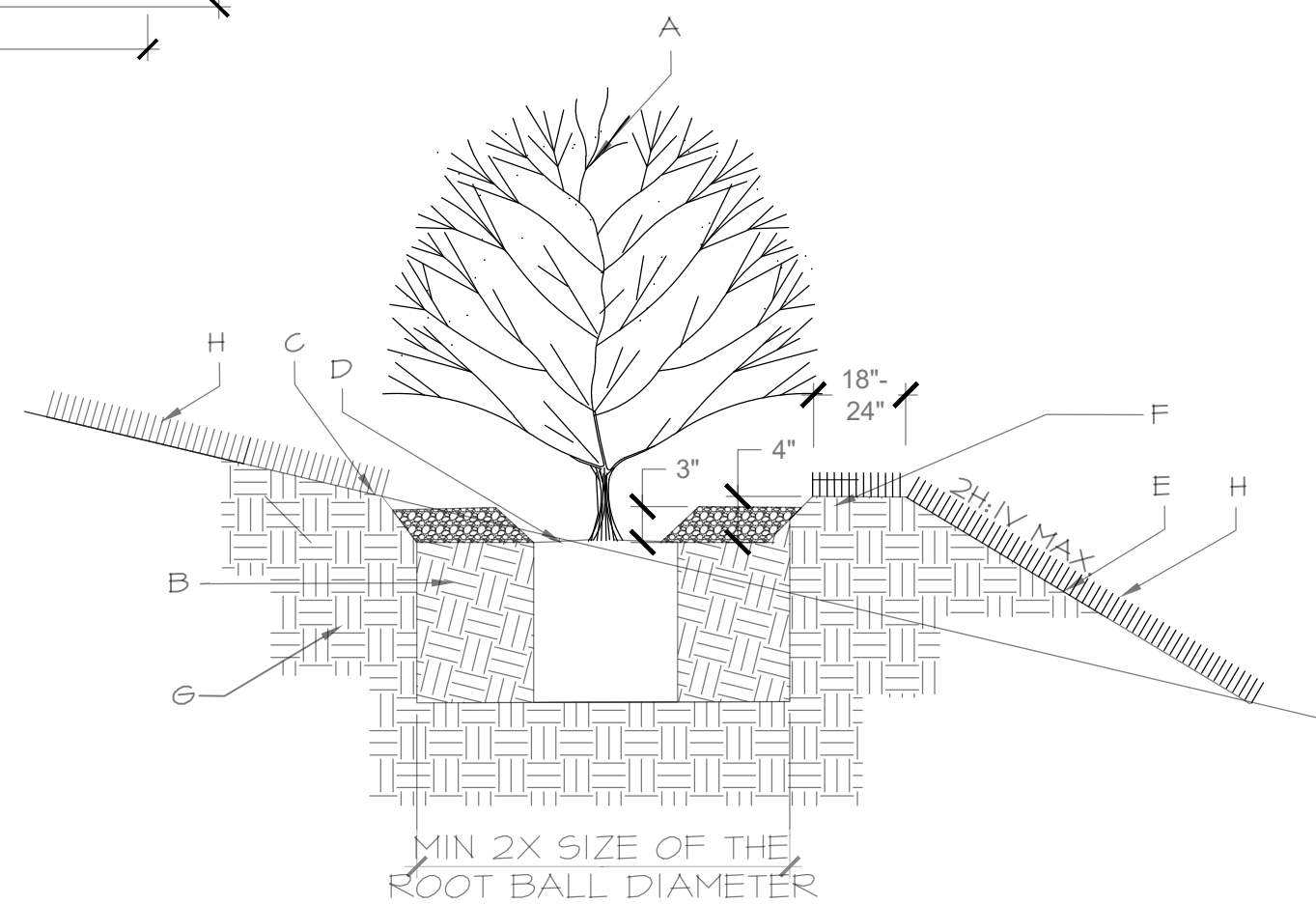
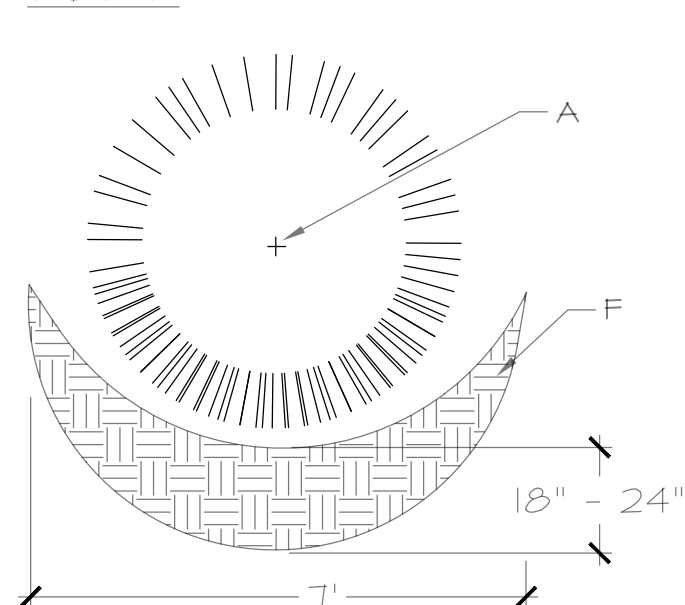
- CONSTRUCTION NOTES:
- A. TREE.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF MULCH PER PLANS. TREES IN TURF AREAS SHALL RECEIVE 4" DIA. RING OF BARK MULCH, 3" MIN. DEPTH.
 - D. 4" SPACE BETWEEN MULCH AND TREE.
 - E. FINISH GRADE.
 - F. COMPACTED MOUND ON DOWNHILL SIDE OF PLANTING HOLE.
 - G. UNDISTURBED SOIL.
 - H. REVEGETATIVE SEEDING, SEE PLANTING PLANS

- GENERAL NOTES:
- 1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
 - 2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
 - 3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
 - 4. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM ENTIRE ROOTBALL AND FROM PLANTING HOLE.
 - 5. TREES WITH CO-DOMINANT LEADERS WILL NOT BE ACCEPTED.
 - 6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - 7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
 - 8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

A TREE PLANTING ON SLOPE

NOT TO SCALE

PLAN

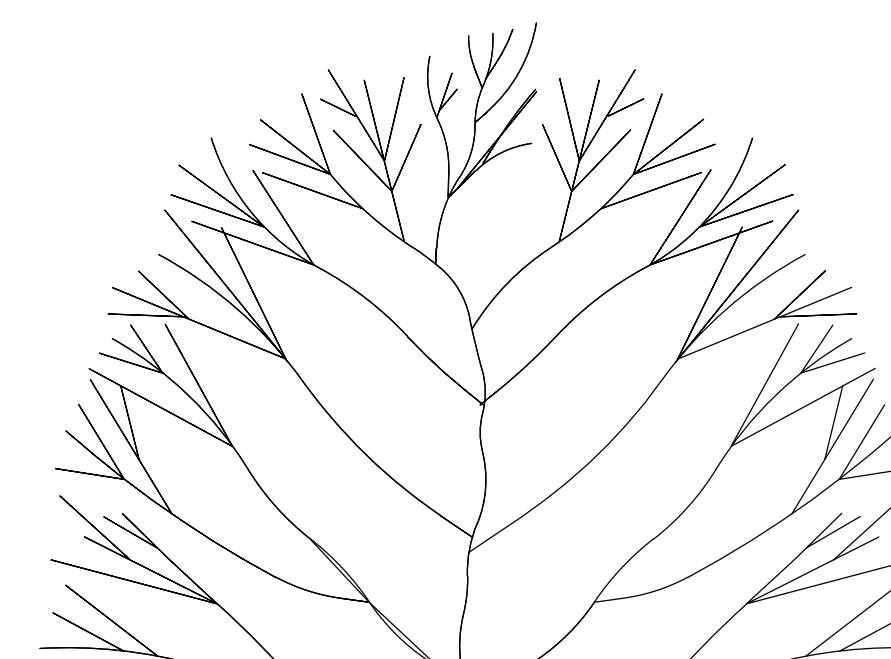


- CONSTRUCTION NOTES:
- A. SHRUB/ORNAMENTAL GRASS
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 4" DEPTH OF COMPOST MULCH PER PLANS. SHRUBS IN TURF AREAS SHALL RECEIVE 4" DIA. RING OF BARK MULCH, 3" MIN. DEPTH.
 - D. 4" SPACE BETWEEN MULCH AND SHRUB/ORNAMENTAL GRASS
 - E. FINISH GRADE.
 - F. COMPACTED MOUND ON DOWNHILL SIDE OF PLANTING HOLE.
 - G. UNDISTURBED SOIL.
 - H. REVEGETATIVE SEEDING, SEE PLANTING PLANS

- GENERAL NOTES:
- 1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT SHRUB/ORNAMENTAL GRASS FROM SETTLING.
 - 2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE.
 - 3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
 - 4. DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
 - 5. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

C SHRUB/ORNAMENTAL GRASS PLANTING, CONTAINER ON SLOPE

NOT TO SCALE

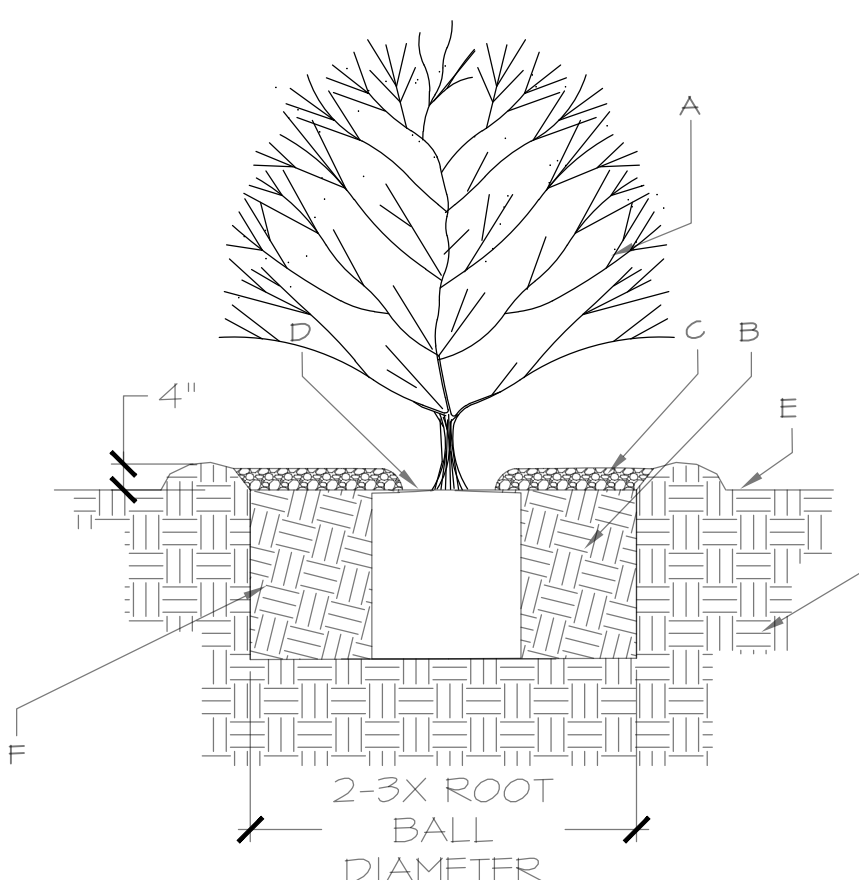


- CONSTRUCTION NOTES:
- A. TREE.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF MULCH PER PLANS.
 - D. 4" SPACE BETWEEN MULCH AND TREE.
 - E. FINISH GRADE.
 - F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
 - G. UNDISTURBED SOIL.

- GENERAL NOTES:
- 1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT TREE FROM SETTLING.
 - 2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE (OR 1"-2" HIGHER IN SLOWLY DRAINING SOIL).
 - 3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
 - 4. PRIOR TO BACKFILLING, REMOVE BURLAP, ROPE, TWINE, AND WIRE FROM ENTIRE ROOTBALL AND FROM PLANTING HOLE.
 - 5. TREES WITH CO-DOMINANT LEADERS WILL NOT BE ACCEPTED.
 - 6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - 7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
 - 8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

B TREE PLANTING, BALL & BURLAP

NOT TO SCALE



- CONSTRUCTION NOTES:
- A. SHRUB/ORNAMENTAL GRASS.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF MULCH PER PLANS.
 - D. 4" SPACE BETWEEN MULCH AND SHRUB.
 - E. FINISH GRADE.
 - F. 1:1 SLOPE ON SIDES OF PLANTING HOLE.
 - G. UNDISTURBED SOIL.

- GENERAL NOTES:
- 1. KEEP SOIL BELOW ROOT BALL UNDISTURBED TO PREVENT SHRUB/ORNAMENTAL GRASS FROM SETTLING.
 - 2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE LEVEL TO FINISH GRADE.
 - 3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
 - 4. DO NOT PLACE MULCH IN CONTACT WITH SHRUB, KEEP AT LEAST 4" AWAY FROM TRUNK.
 - 5. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS.

D SHRUB/ORNAMENTAL GRASS PLANTING, CONTAINER

NOT TO SCALE



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E-MAIL: mail@sites-sw.com
WEB: www.sites-sw.com

CONSULTANTS

PROJECT

GRIEGOS FARMS

ADDRESS

1860 GRIEGOS RD, NM
ALBUQUERQUE, NM 87107



This document is for permitting purposes only and this stamp does not authorize the use of this document for bidding and/or construction purposes.

DRB SUBMITTAL SET

MARK	DATE	DESCRIPTION
ISSUE DATE:	AUGUST 26, 2022	
PROJECT NO.:	2022038	
DWG FILE:	2022038_LOS GRIEGOS FARM_DRB SITE.DWG	
DRAWN BY:	LC/NO	
CHKD BY:	GR	
COPYRIGHT:	Sites Southwest	

SHEET TITLE

LANDSCAPE PLANTING DETAILS

LP501

P: 2022038_Griegos Farms\4. Construction Drawings - Specs-Bid - Estimates\CAD Drawings\PERMITTING SET\2022038_LOS GRIEGOS FARM_DRB SITE.dwg 12-07-22 09:59:56 AM noder

SITE INFORMATION

ADDRESS: PROPERTY NORTH AND WEST OF 1860 GRIEGOS, ALBUQUERQUE, NM 87107
 ZONE: ATLAS MAP: F-13-Z
 ZONING: R-A
 DEVELOPMENT TYPE: COTTAGE COURT, IDO 4-3(B)(3)
 PROJECT SIZE: 10 ACRE +/- PARCEL SUBDIVIDED AS 8 LOTS EACH BETWEEN 1 AND 2 ACRES.
 SETBACKS:
 FRONT: 20'-0"
 REAR: 25'-0"
 SIDE: 10'-0"

PROJECT DESCRIPTION

LANDSCAPE FORWARD COTTAGE COURT DEVELOPMENT W/ 90 UNITS RANGING IN SIZE FROM 655 SF. TO 1070 SF. DISTRIBUTED BETWEEN 8 LOTS(SEE UNIT COUNT NOTES THIS SHEET). PROJECT WILL INCLUDE A COMMUNITY BUILDING TO BE DETERMINED.

PARKING REQUIREMENTS

DWELLING, COTTAGE DEVELOPMENT- IDO TABLE 5-5-1:
 1 SPACE PER UNIT + 2 VISITORS= 90 + 2 SPACES PER 8 LOTS= 106 SPACES
 RESIDENTIAL COMMUNITY AMENITY, IDO TABLE 5-5-1:
 3 SPACES/1,000 GFA= 15 SPACES REQUIRED (BASED ON CURRENT COMMUNITY BLD. DESIGN=5,000 SF)
 TOTAL OFF STREET PARKING:
 REQUIRED: 121 SPACES
 PROVIDED: 139 SPACES
 HC PARKING, IBC TABLE 1106.1:
 101-150 PROVIDED SPACES=5 SPACES REQUIRED (INCLUDED IN OVERALL REQUIRED CALCULATIONS)
 PROVIDED:
 MOTORCYCLE PARKING, IDO TABLE 5-5-4:
 101-150 REQUIRED SPACES= 4 MOTORCYCLE SPACES
 PROVIDED=4 SPACES
 BICYCLE PARKING, IDO TABLE 5-5-5:
 RESIDENTIAL USE (MORE THAN 5 UNITS)= 3 SPACES OR 10% REQUIRED OFF-STREET PARKING
 121 REQUIRED OFF STREET PARKING=13 BIKE SPACES REQUIRED
 PROVIDED 33 SPACES

KEYED NOTES-SITE PLAN

1. FIRE ACCESS ALTERNATIVE HAMMERHEAD
2. LOCKABLE TRASH CONTAINERS
3. CONCRETE PEDESTRIAN WALKWAY 6'-0" UNLESS OTHERWISE NOTED
4. FLUSH PAVEMENT TRANSITION
5. SITE WALL- MAXIMUM HEIGHT ABOVE FINISH ROAD 3'-0" + +/- 6'-0" TALL OPAQUE WALL/ FENCE
- 6.1 EXISTING 6'-0" ADOBE WALL TO REMAIN
7. ASPHALT ROAD WAY PER COA STD. DTL.#2405A W/ ESTATE STYLE CURB COA STD. DTL.#2406 WHERE APPLICABLE
8. WATER FEATURE
9. PARKING LOT- COMPACTED AND STABILIZED GRAVEL- SEE DETAIL D2/TCL2 FOR DETAILS- NOTE ALL PARKING SPACES TO INCLUDE PARKING BLOCKS
10. PARKING LOT DRIVEWAYS- COMPACTED AND STABILIZED GRAVEL DRIVE
11. LANDSCAPED COURTYARD-FINAL LANDSCAPING TBD
12. APPROXIMATE LOCATION OF AMENITIES BUILDING- TBD
13. VINEYARD AND LAWN AREA- FINAL LAYOUT TBD
14. EXISTING PRIVATE ROADWAY AT ACCESS EASEMENT
15. MOTORCYCLE SPACE PER DPM STANDARDS-SEE D1/TCL2
16. BIKE PARKING PER DPM STANDARDS- SEE D4/TCL2
17. STORAGE BUILDING
18. EXISTING CURB COA STANDARD DRAWING #2406
19. HC PARKING SPACE PER DPM STANDARDS SEE D1/TCL2
20. 6'-0" SIDEWALK PER DPM STANDARDS
21. RAISED PEDESTRIAN CROSSING/ SPEED TABLE- SEE DETAIL A1/TCL2
22. EXISTING CHURCH CAMPUS AND PARKING TO REMAIN-NOT IN SCOPE OF WORK
23. EXISTING BIKE LANE TO REMAIN
24. NOT USED
25. NOT USED
26. NEW CONCRETE CURB EXTENSION
27. EXISTING WALL- NOT IN SCOPE
28. DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA STANDARD DRAWING#2446
29. PICKLE BALL COURT-TBD
30. 26'-0" OPERABLE GATE- FOR FIRE ACCESS ONLY
31. NOT USED
32. EXISTING SIDEWALK TO REMAIN
33. MINI SITE TRIANGLE PER DPM 7-4(i)(5)(V)
34. PEDESTRIAN CROSSING SIGN- SEE DETAIL D3/TCL2
35. CURB STOP PER DETAIL C4/TCL2
36. KEYWAY- MIN. 5'-0" DEPTH

RADIUS LEGEND

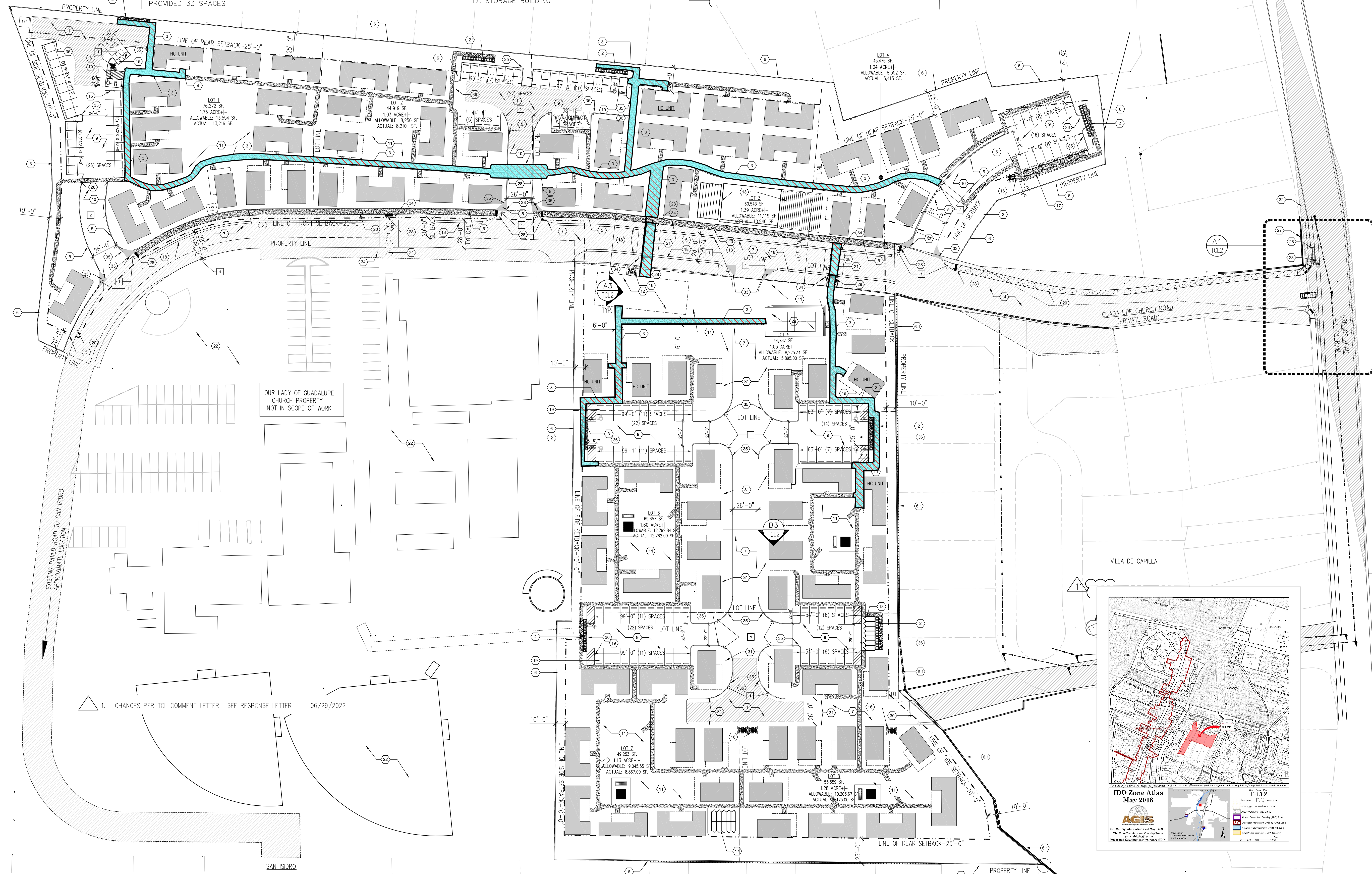
- = 28'-0" RADIUS
- = 178'-0" RADIUS
- = 182'-0" RADIUS
- = 176'-0" RADIUS

LEGEND

- EXISTING EASEMENTS TO REMAIN
- CONCRETE WALKWAYS- SEE KEYED NOTES AND PLAN
- GRAVEL FINISH- SEE KEYED NOTES
- INTERSECTION SITE TRIANGLE
- ADA ACCESSIBLE PATHWAY (6'-0" WIDE)

TCL GENERAL NOTES

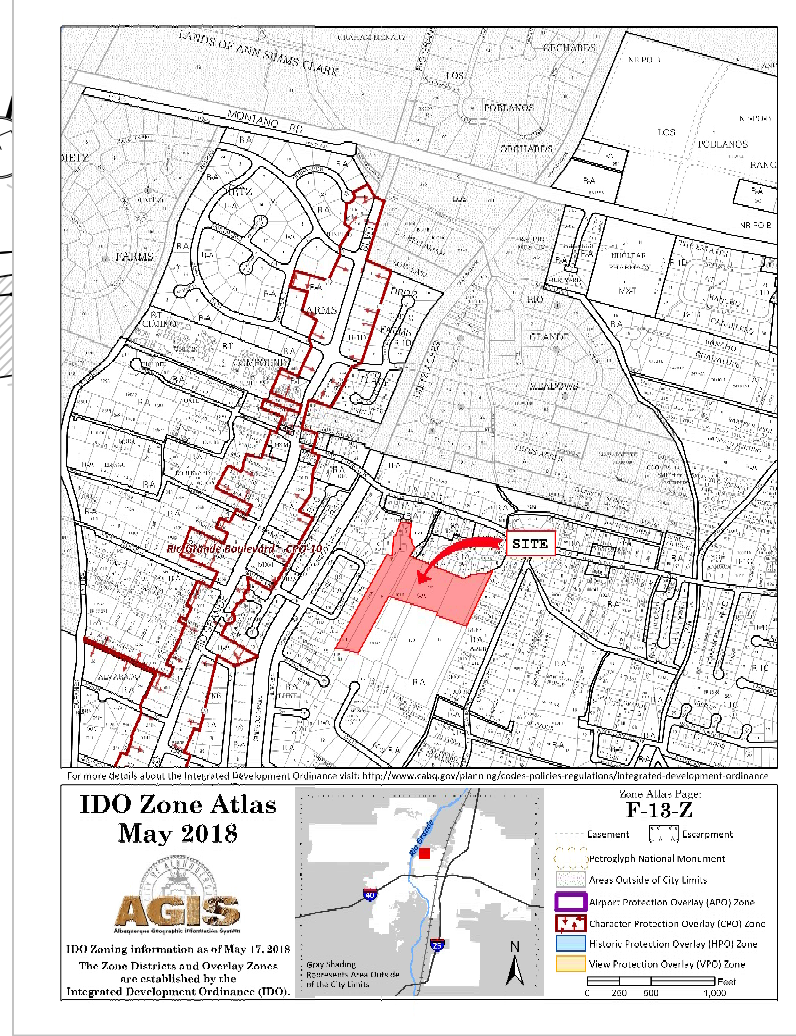
1. PARKING AREA TO SLOPE A MIN. OF 1% AND A MAXIMUM OF 8% PER COA DPM
 2. ALL NEW PUBLIC SIDEWALK PER COA STANDARD DRAWING 2430
 3. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. - SEE NOTE 2
 4. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 5. NOTE NO ACCESSIBLE PATHWAY IS TO EXCEED 1:20 SLOPE
 6. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
- ALL RAMP, CURBS, AND ROAD WORK ALONG GUADALUPE CHURCH ROAD AND AT GRIEGOS GUADALUPE CHURCH ROAD TO BE DONE THROUGH A WORK ORDER WITH THE CITY OF ALBUQUERQUE



TRAFFIC CIRCULATION LAYOUT APPROVED
 Ernest Arriaga 7/22/2022
 Signed Date

OUR LADY OF GUADALUPE CHURCH PROPERTY- NOT IN SCOPE OF WORK

1. CHANGES PER TCL COMMENT LETTER- SEE RESPONSE LETTER 06/29/2022



1860 GRIEGOS RD. NW
 ALBUQUERQUE, NM 87107

GRIEGOS FARMS

Architect Stamp:
 STATE OF NEW MEXICO
 KENNETH MYERS
 No.005751
 REGISTERED ARCHITECT
 06/14/2022

REMBE
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 1716 Central SW, Suite A
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 t. 505.243.0186

Project: **GRIEGOS FARMS**
 Drawn By: **KMA** Checked By: **KMA**
 Phase: **SD**
 Date: ---

Drawing Title:
TCL- TRAFFIC CONTROL LAYOUT SITE PLAN

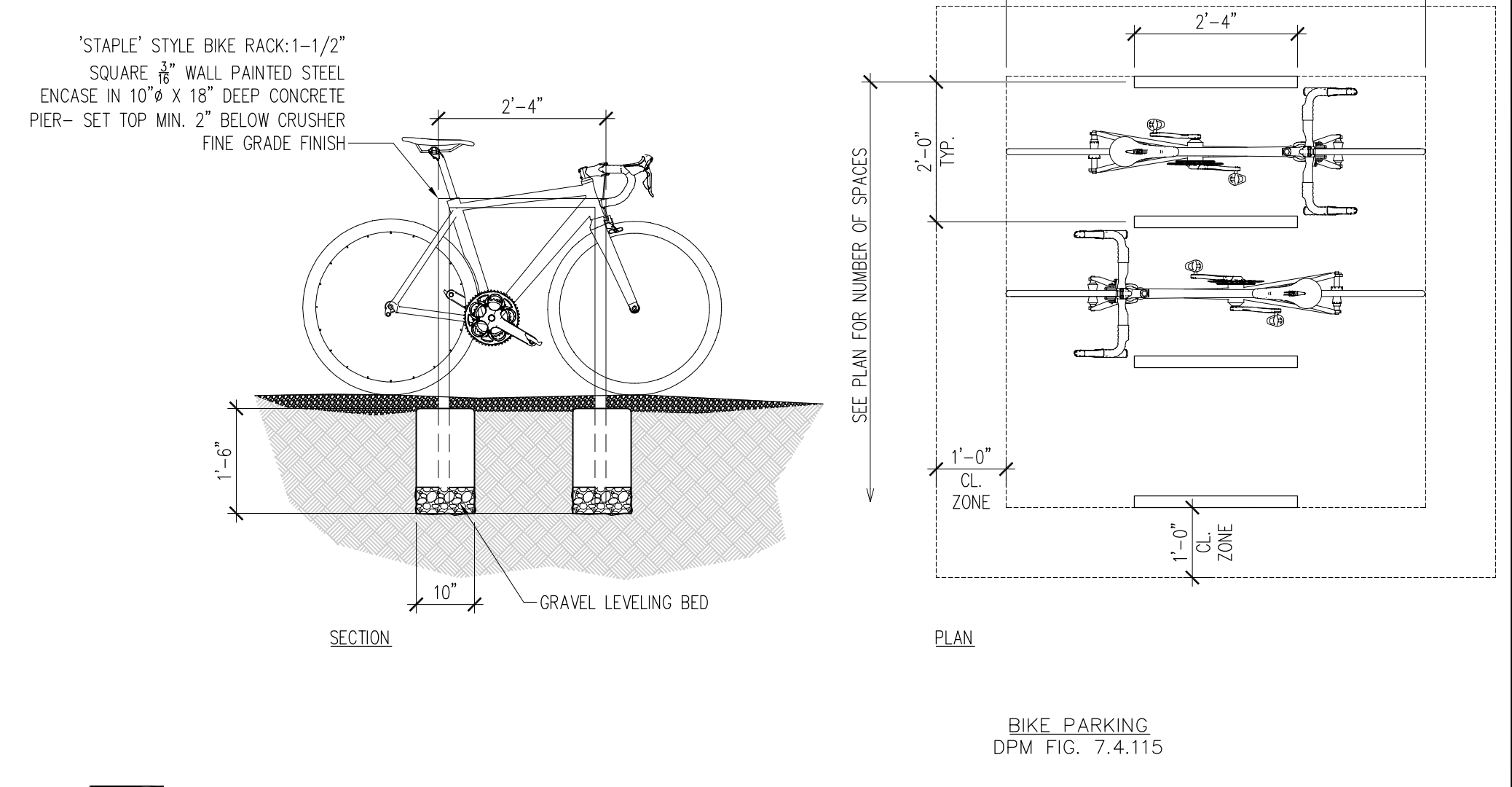
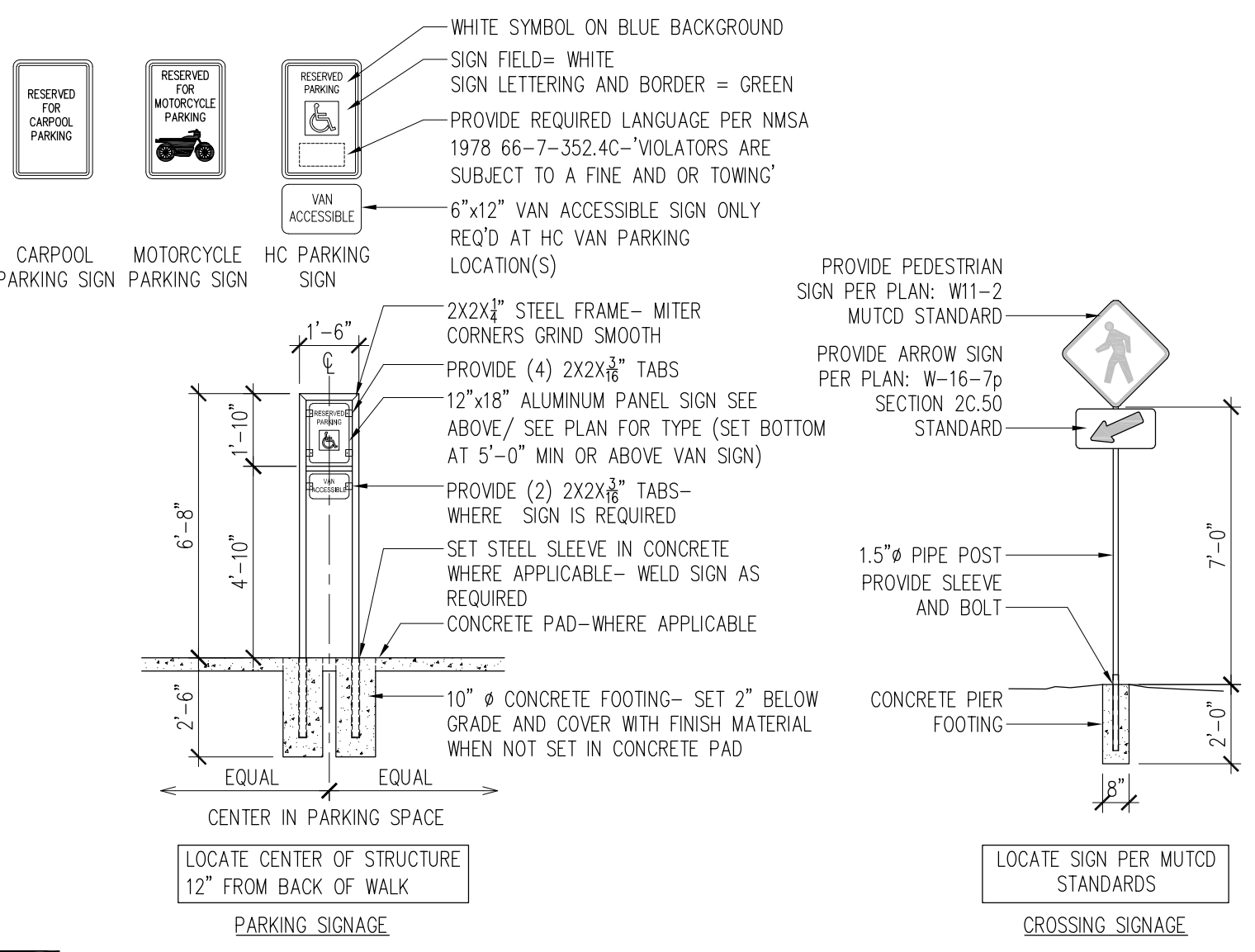
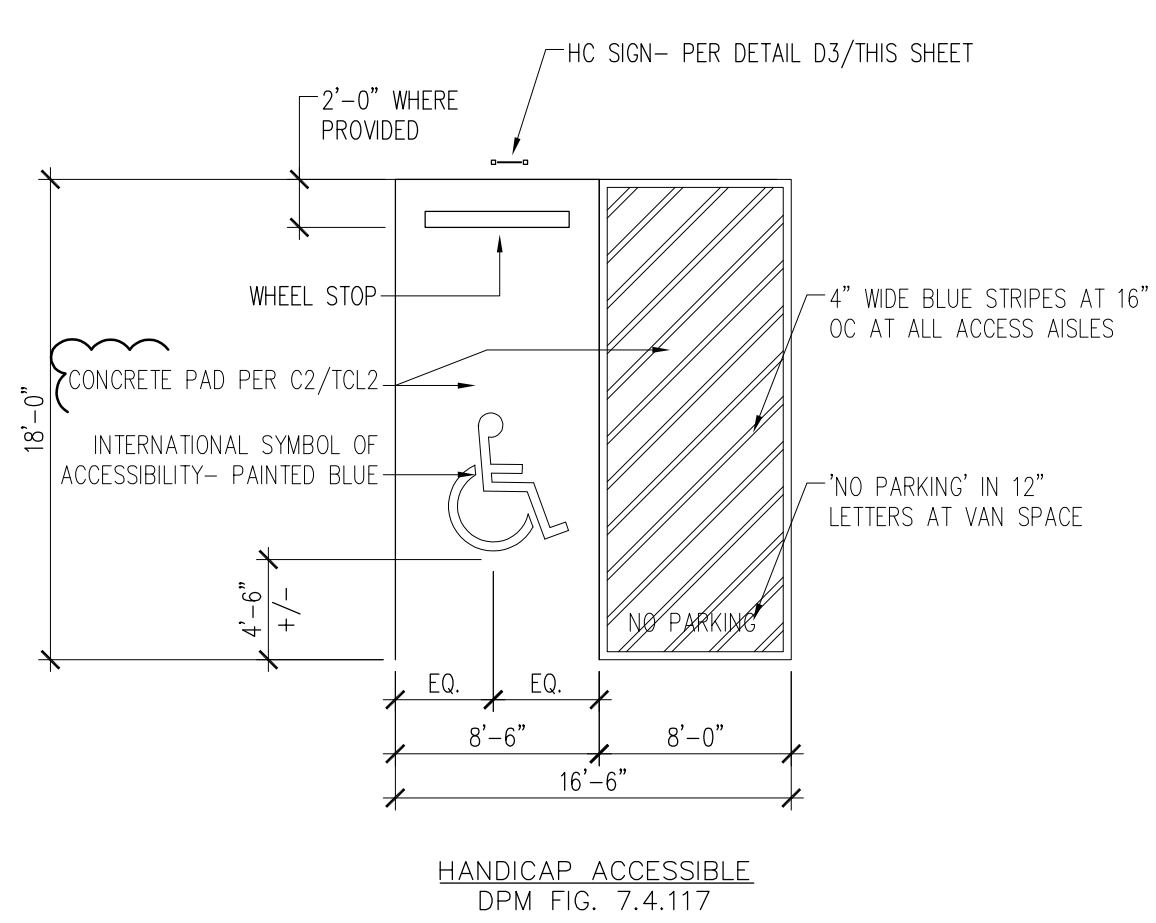
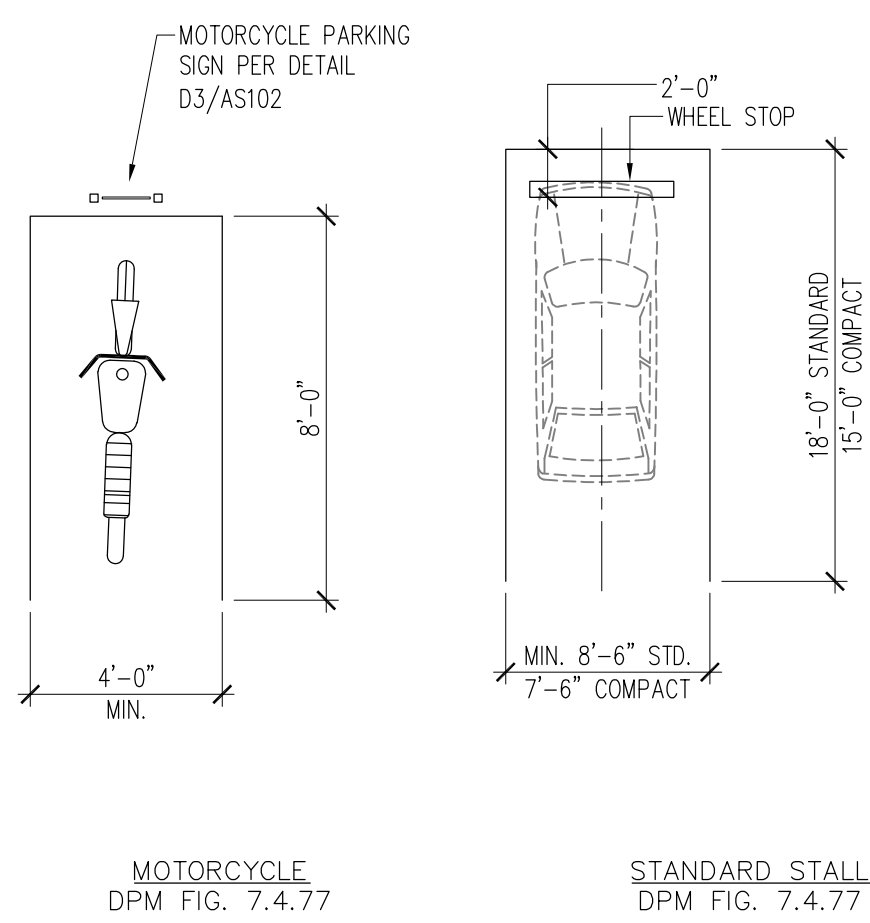
Project Number: **2102**

Sheet Number:
TCL1

A1 SITE PLAN
 1"=50'-0"



A4 VICINITY MAP-ZONE ATLAS MAP
 1"=50'-0"



D1 PARKING STALL DIMENSIONS AND DETAILS
1/4"=1'-0"

D3 POST SIGN DETAIL
1/4"=1'-0"

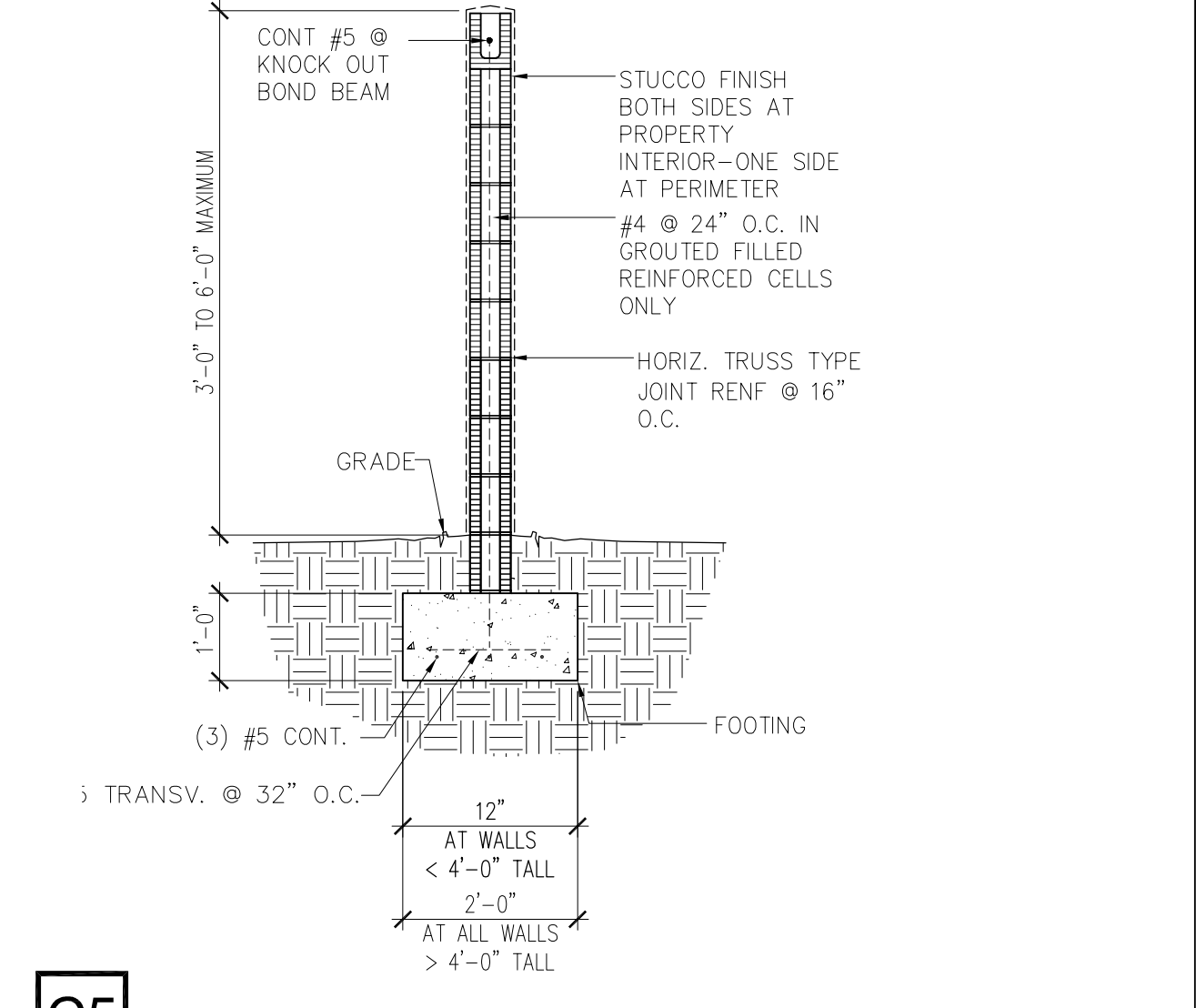
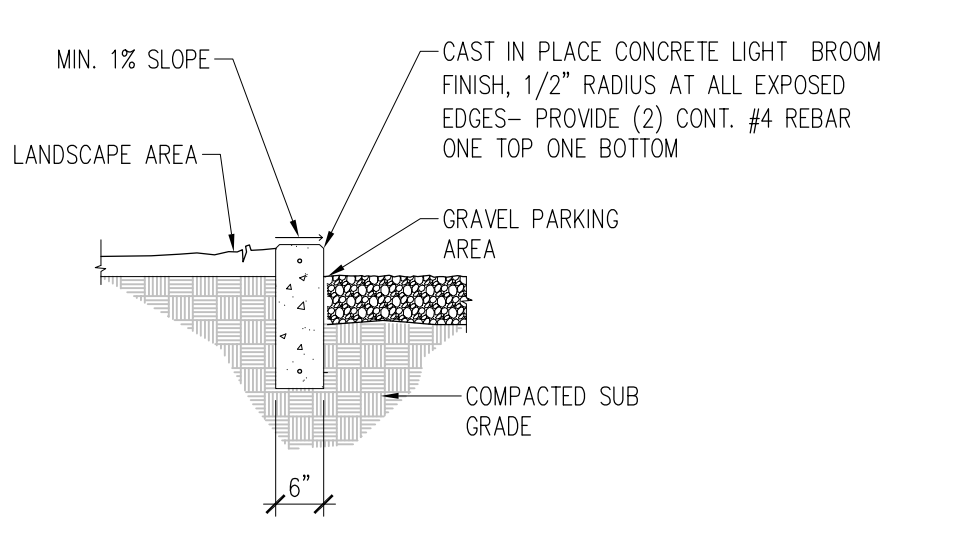
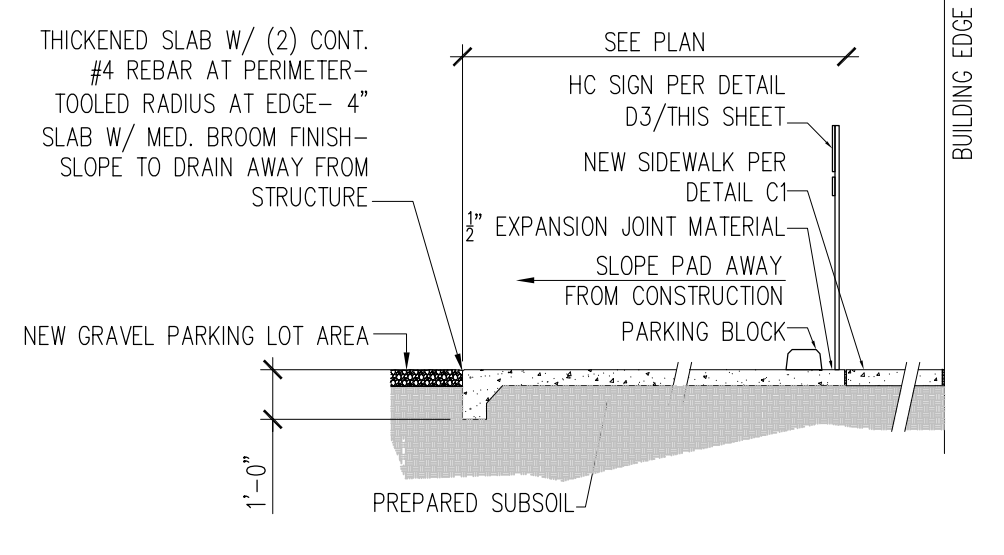
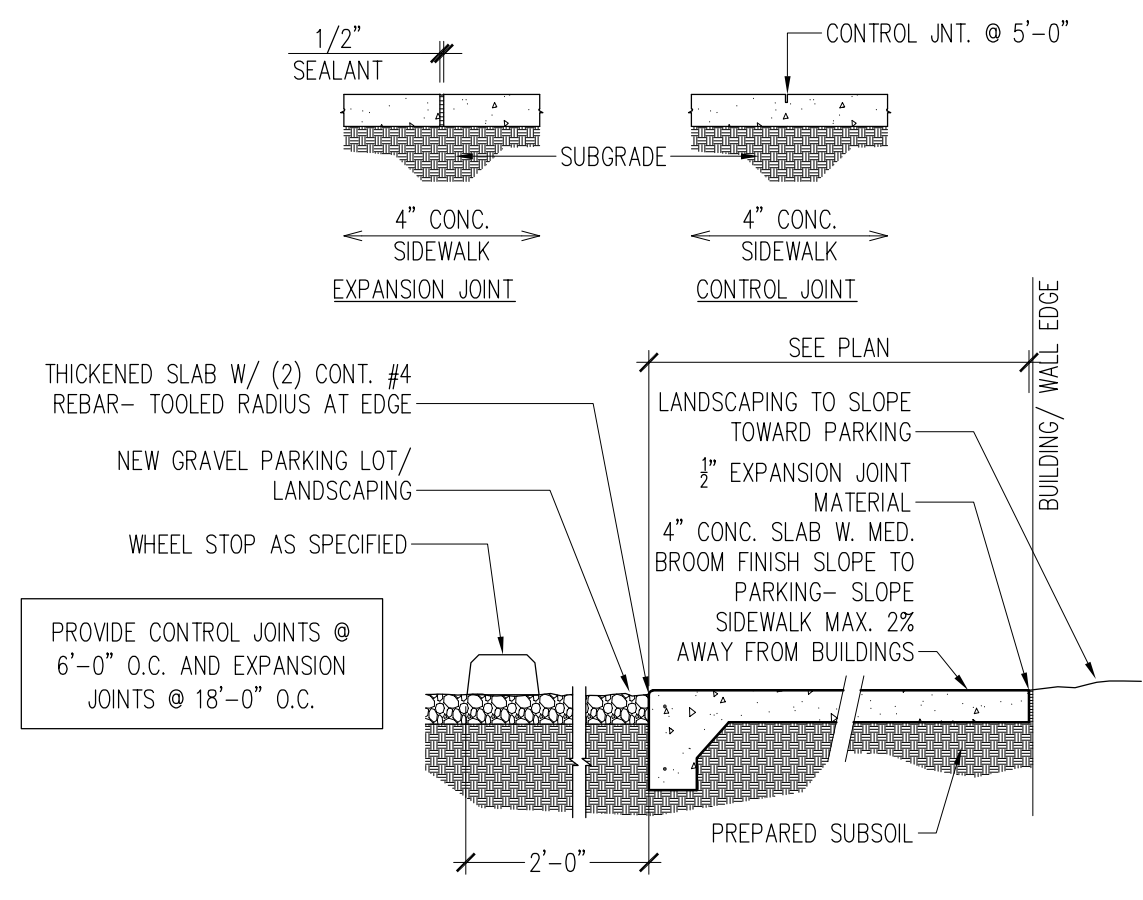
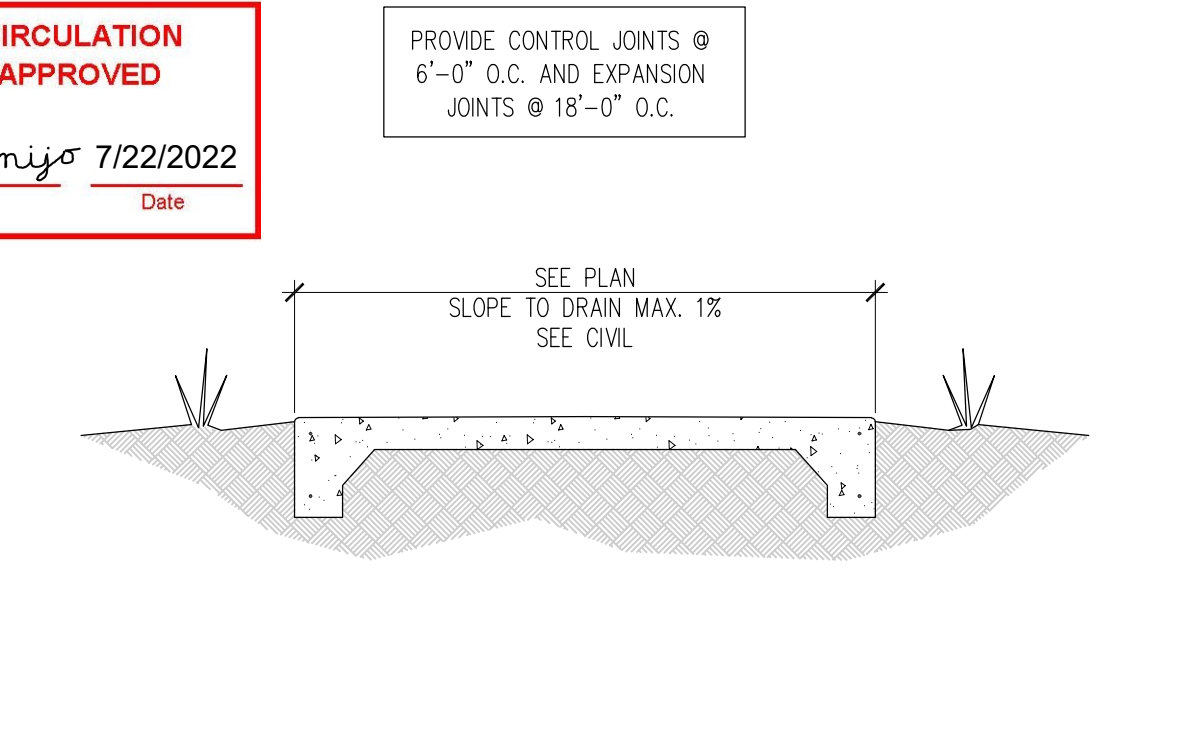
D4 BIKE RACK DETAIL
1/4"=1'-0"

1. CHANGES PER TCL COMMENT LETTER- SEE RESPONSE LETTER 06/29/2022

TRAFFIC CIRCULATION LAYOUT APPROVED

Ernest Armijo 7/22/2022

Signed Date



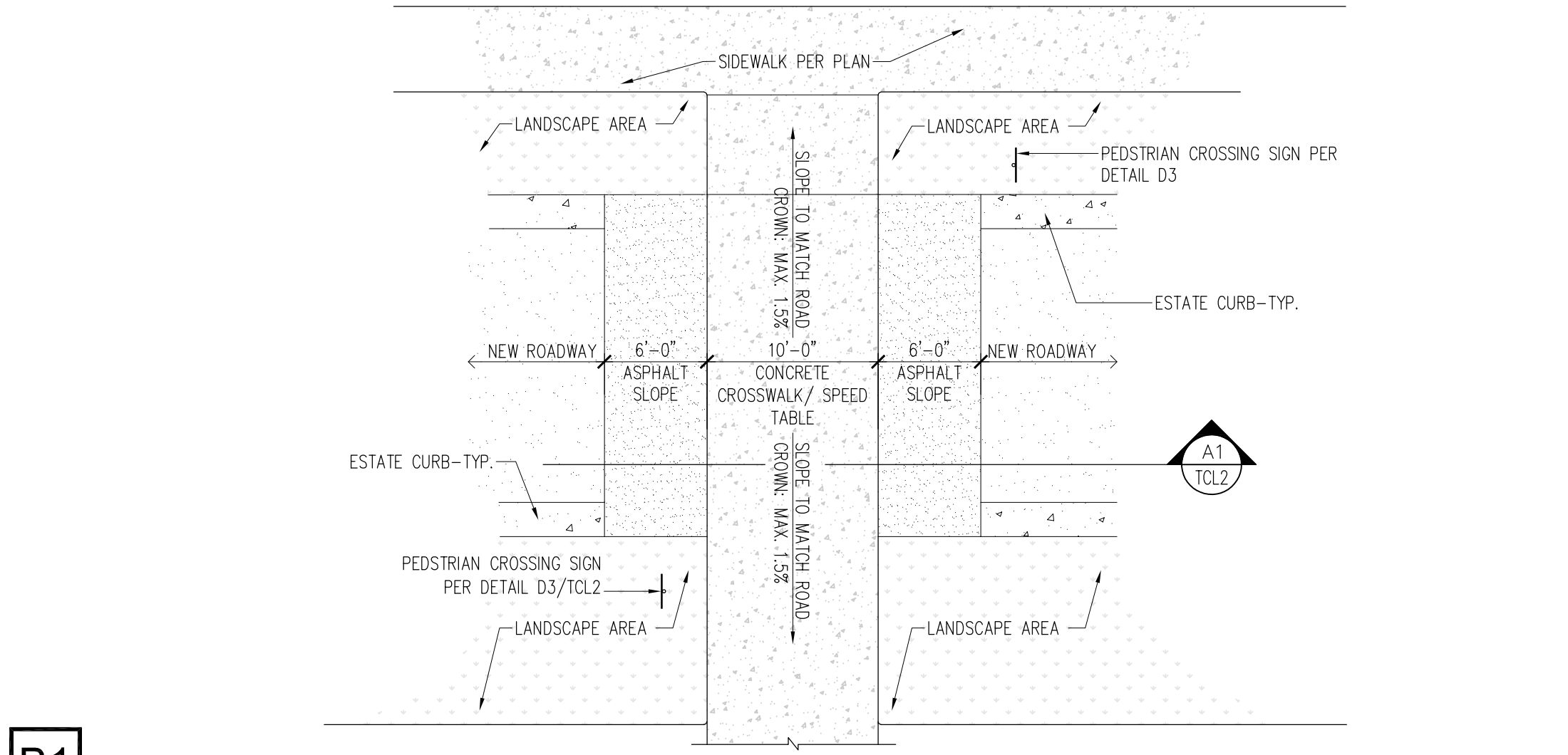
C1 PEDESTRIAN WALKWAY SECTION
1/2"=1'-0"

C2 SIDEWALK SECTION
1/2"=1'-0"

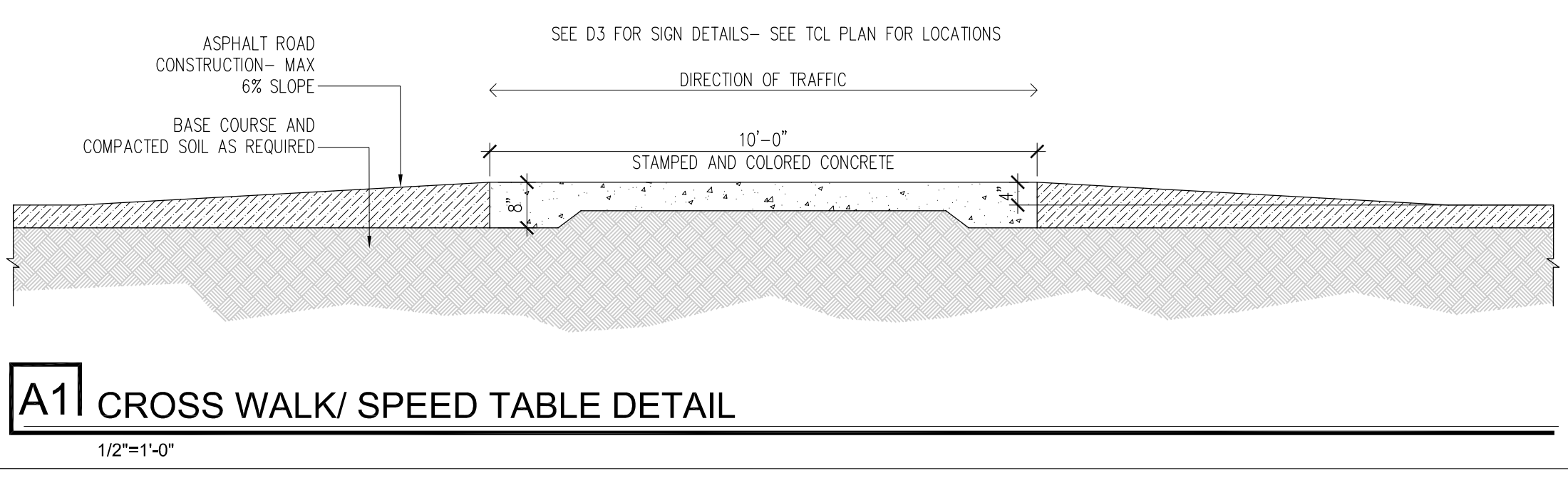
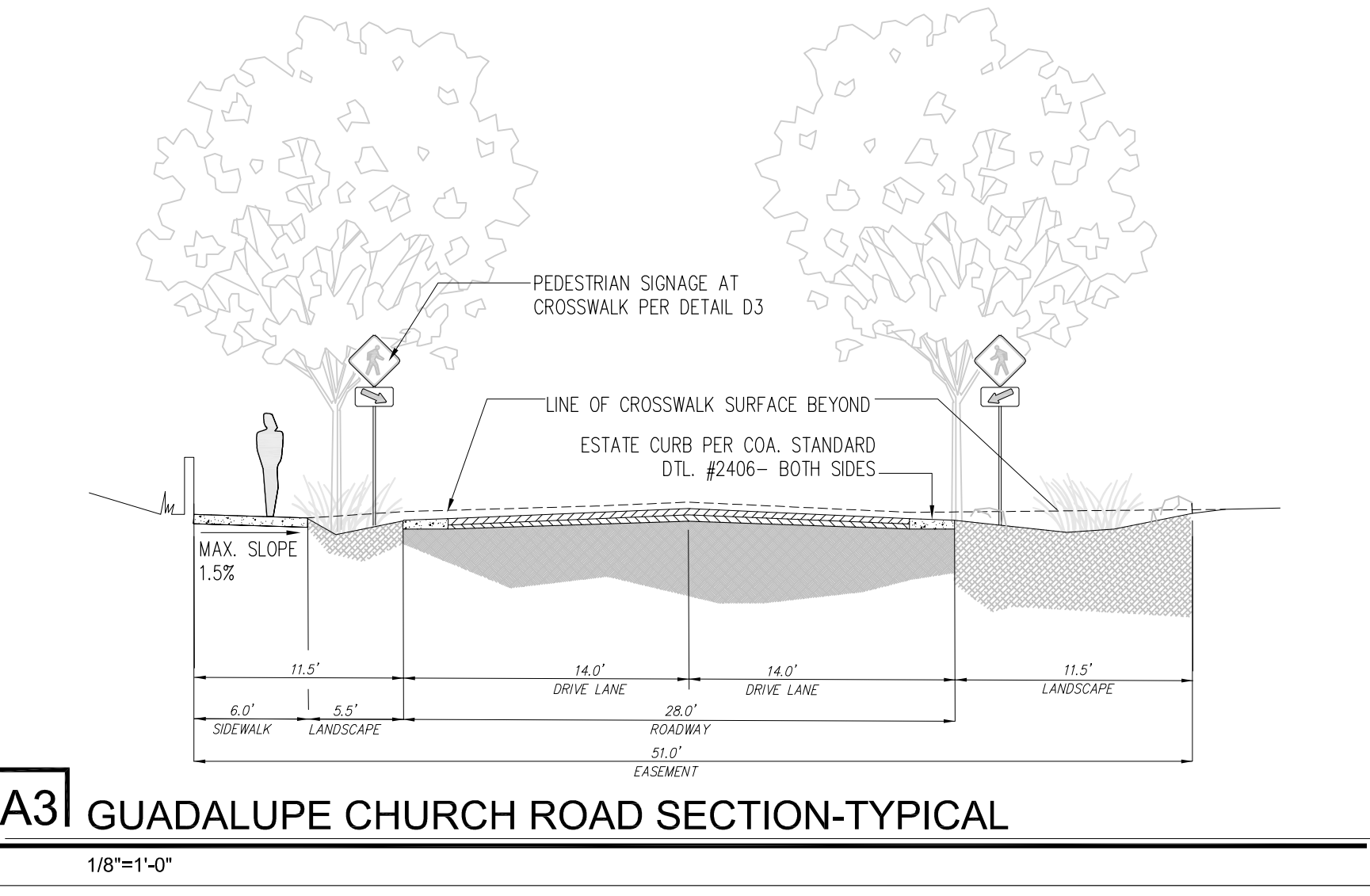
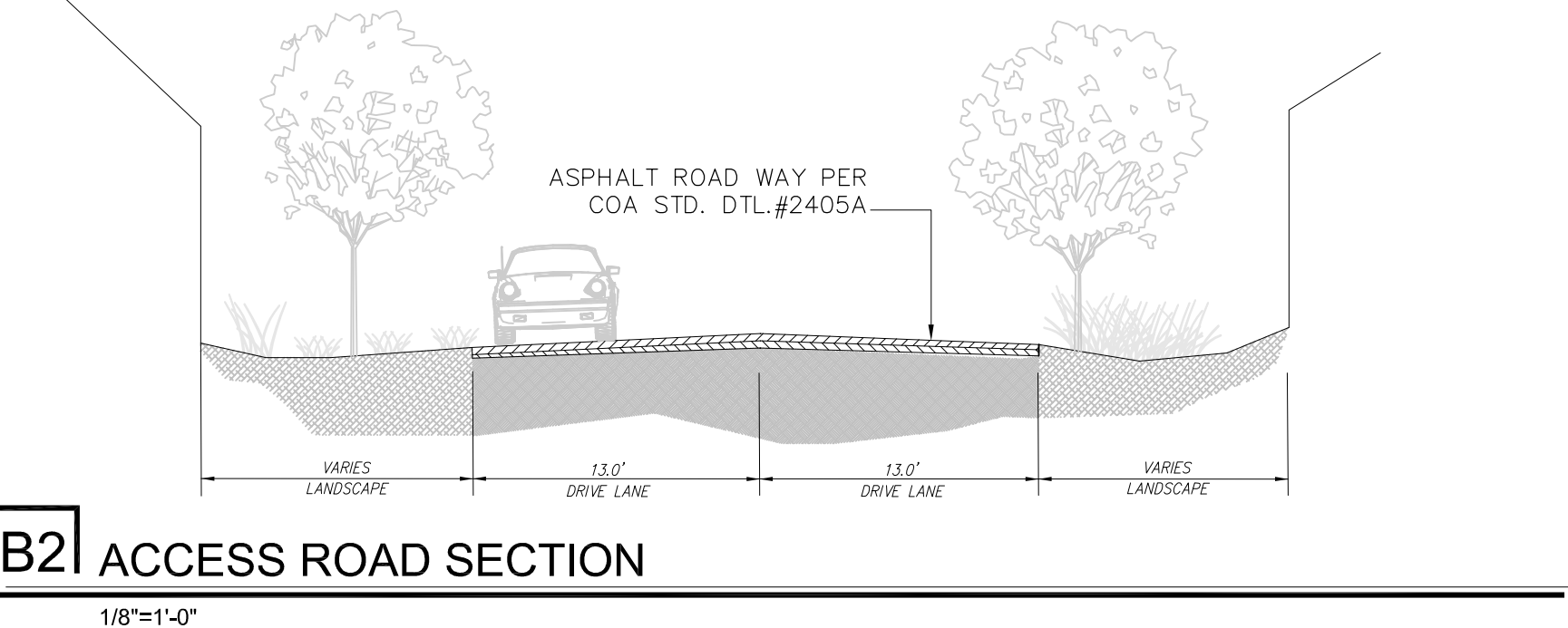
C3 HC PARKING SPACE SECTION
1/4"=1'-0"

C4 MOW CURB/ CURB STOP DETAIL
1/2"=1'-0"

C5 SITE WALL DETAIL
1/2"=1'-0"

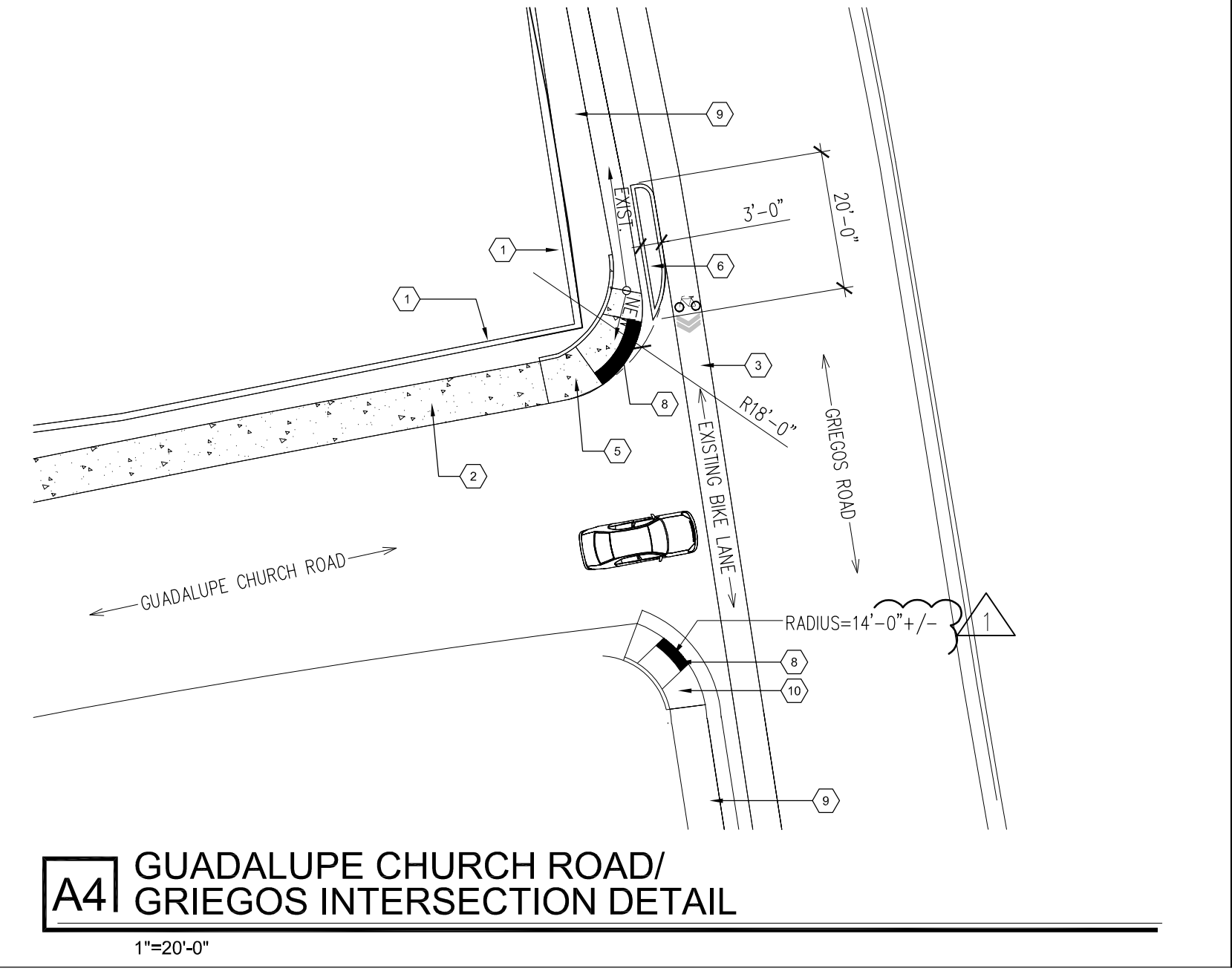


B1 TYPICAL CROSS WALK/ SPEED TABLE PLAN
1/2"=1'-0"



KEYED NOTES

- EXISTING ADOBE WALL +/-42" ABOVE SIDEWALK ASPHALT ROAD WAY
- NEW 6'-0" WIDE SIDEWALK PER DPM STANDARDS
- EXISTING BIKE LANE TO REMAIN
- NOT USED
- NEW RAMP COA STANDARD DRAWING #2443
- NEW CONCRETE CURB EXTENSION- PROVIDE MIN. 18" WIDE DRAINAGE WAY AT CURB
- EXISTING WALL- NOT IN SCOPE
- DETECTABLE WARNING SURFACE- TRUNCATED DOME OR OTHER APPROVED SURFACE- INSTALL PER COA
- EXISTING SIDEWALK TO REMAIN
- EXISTING CORNER ACCESS RAMP SIM. COA STD. DTL.#2441



1860 GRIEGOS RD. NW
ALBUQUERQUE, NM 87107

GRIEGOS FARMS

Architect Stamp:

STATE OF NEW MEXICO

KENNETH MYERS

No.005751

REGISTERED ARCHITECT

06/14/2022

REMBE

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1716 Central SW Suite A
Albuquerque, NM 87104
T. 505-243-0188

Project: **GRIEGOS FARMS**

Drawn By: **KMA** Checked By: **KMA**

Phase: **SD**

Date: ---

Drawing Title: **TCL- TRAFFIC CONTROL LAYOUT - SITE DETAILS**

Project Number: **2102**

Sheet Number: ---

TCL2

COMMUNITY BUILDING PROJECT INFORMATION

NEW 5,500 SF. 2 STORY COMMUNITY BUILDING
 CONSTRUCTION TYPE: VB NON-SPRINKLED
 OCCUPANCY: B
 OCCUPANCY LOAD: 125 OCC
 MAXIMUM HEIGHT: 29'-6" ABOVE FINISH GRADE
 FIRE FLOW: 2,000 FOR 2 HRS.
 TWO HYDRANTS REQUIRED 2 PROVIDED MAX. DISTANCE 450 LIN. FT.

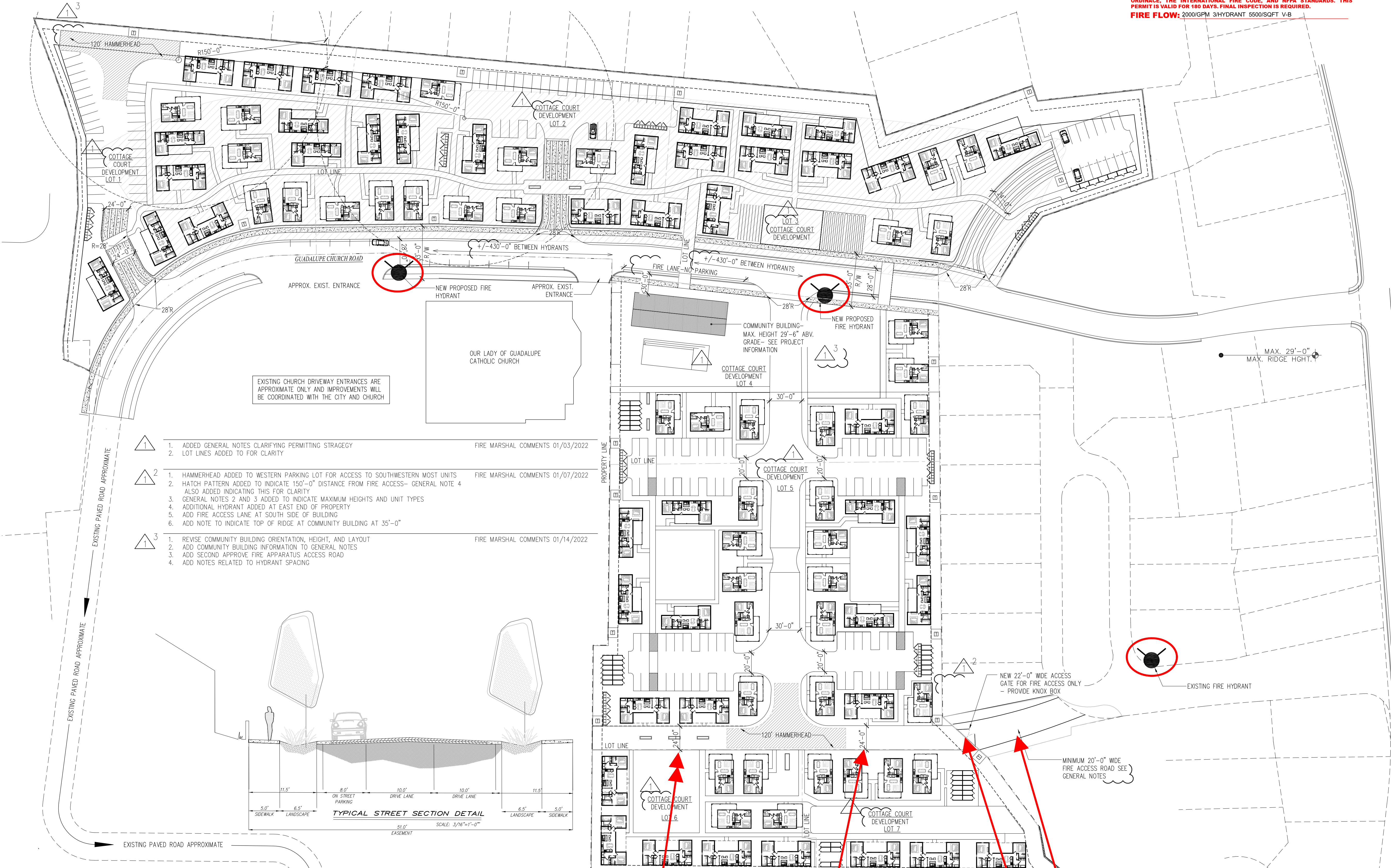
FIRE ONE GENERAL NOTES

- PROJECT IS TO BE COMMERCIAL PROJECT PERMITTED PER LOT NOT AS INDIVIDUAL BUILDINGS- SEE FIRE ONE PLAN FOR LOT LINES
- ALL RESIDENCES TO BE SINGLE FAMILY UNITS NO TALLER THAN 26'-0" TO TOP OF RIDGE.
- COMMUNITY BUILDING TO BE NO TALLER THAN 29'-6" TOP OF RIDGE 2 STORY.
- ALL STRUCTURES NO MORE THAN 150'-0" FROM FIRE ACCESS- SEE PLAN FOR HATCH PATTERN.

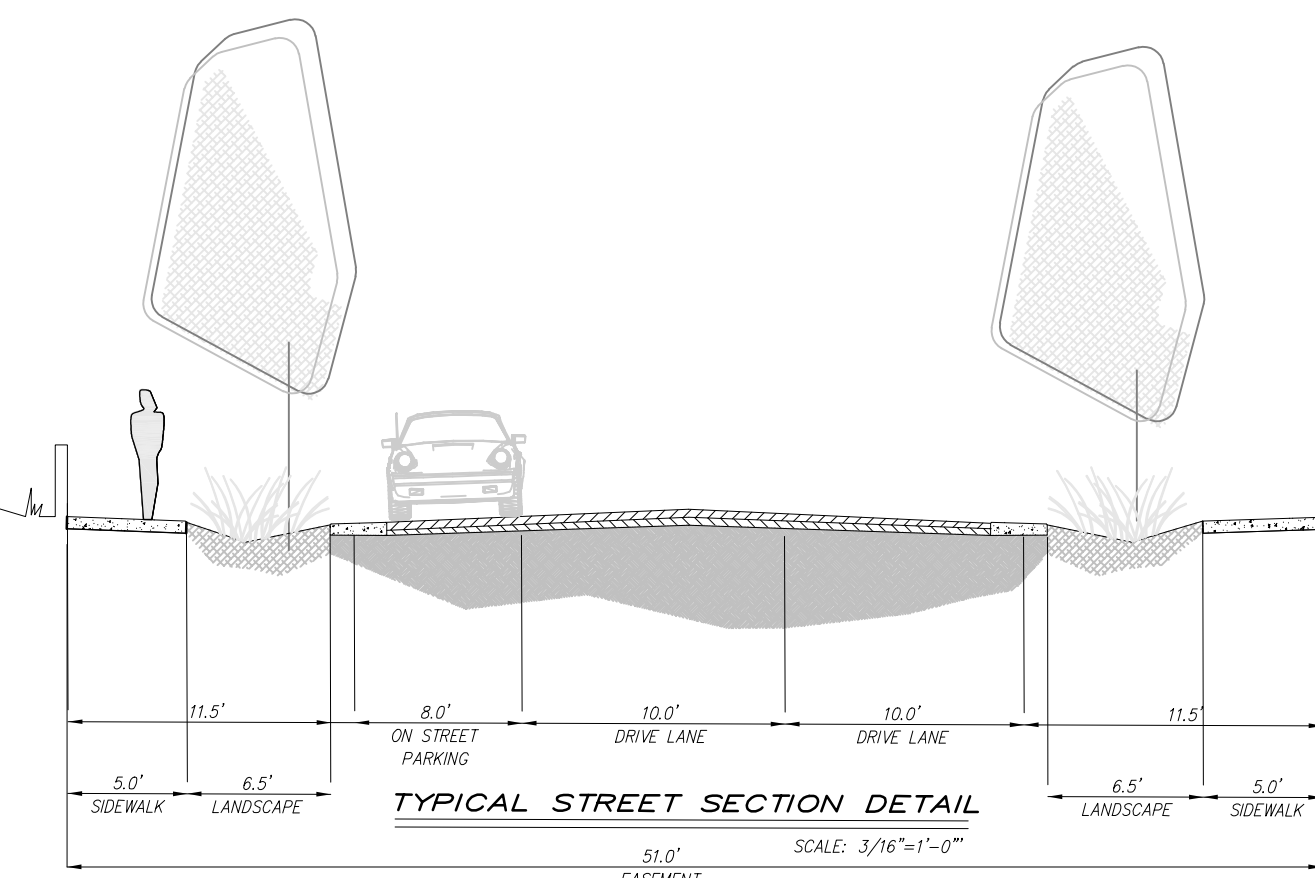
FIRE MARSHAL REQUIREMENTS



ALBUQUERQUE FIRE MARSHAL'S
 DIVISION OFFICE PLANS
 CHECKING DIVISION
PERMIT
 PERMIT NUMBER: 21027454
 APPROVED DATE: 01/26/22
APPROVED
 THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
 FIRE FLOW: 2000GPM 3HYDRANT 5500SQFT V.8



- | | |
|---|---|
| <p>1. ADDED GENERAL NOTES CLARIFYING PERMITTING STRATEGY</p> <p>2. LOT LINES ADDED TO FOR CLARITY</p> | <p>FIRE MARSHAL COMMENTS 01/03/2022</p> |
| <p>1. HAMMERHEAD ADDED TO WESTERN PARKING LOT FOR ACCESS TO SOUTHWESTERN MOST UNITS</p> <p>2. HATCH PATTERN ADDED TO INDICATE 150'-0" DISTANCE FROM FIRE ACCESS- GENERAL NOTE 4 ALSO ADDED INDICATING THIS FOR CLARITY</p> <p>3. GENERAL NOTES 2 AND 3 ADDED TO INDICATE MAXIMUM HEIGHTS AND UNIT TYPES</p> <p>4. ADDITIONAL HYDRANT ADDED AT EAST END OF PROPERTY</p> <p>5. ADD FIRE ACCESS LANE AT SOUTH SIDE OF BUILDING</p> <p>6. ADD NOTE TO INDICATE TOP OF RIDGE AT COMMUNITY BUILDING AT 35'-0"</p> | <p>FIRE MARSHAL COMMENTS 01/07/2022</p> |
| <p>1. REVISE COMMUNITY BUILDING ORIENTATION, HEIGHT, AND LAYOUT</p> <p>2. ADD COMMUNITY BUILDING INFORMATION TO GENERAL NOTES</p> <p>3. ADD SECOND APPROVE FIRE APPARATUS ACCESS ROAD</p> <p>4. ADD NOTES RELATED TO HYDRANT SPACING</p> | <p>FIRE MARSHAL COMMENTS 01/14/2022</p> |



FIRE ACCESS ROAD OVER 300' SHALL BE 26 IN WIDTH

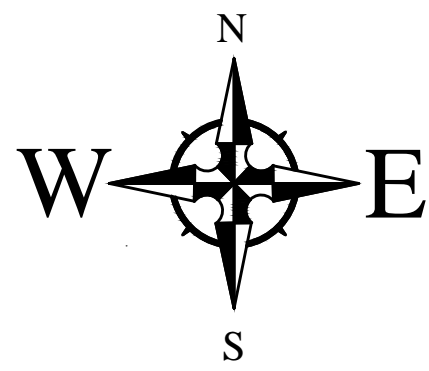
GUADALUPE CHURCH ROAD
 ALBUQUERQUE, NM 87107

Architect Stamp:
 STATE OF NEW MEXICO
 KENNETH MYERS
 No.005751
 REGISTERED ARCHITECT

REMBE
 urban design + development
 1718 Central SW, Suite A
 Albuquerque, NM 87104
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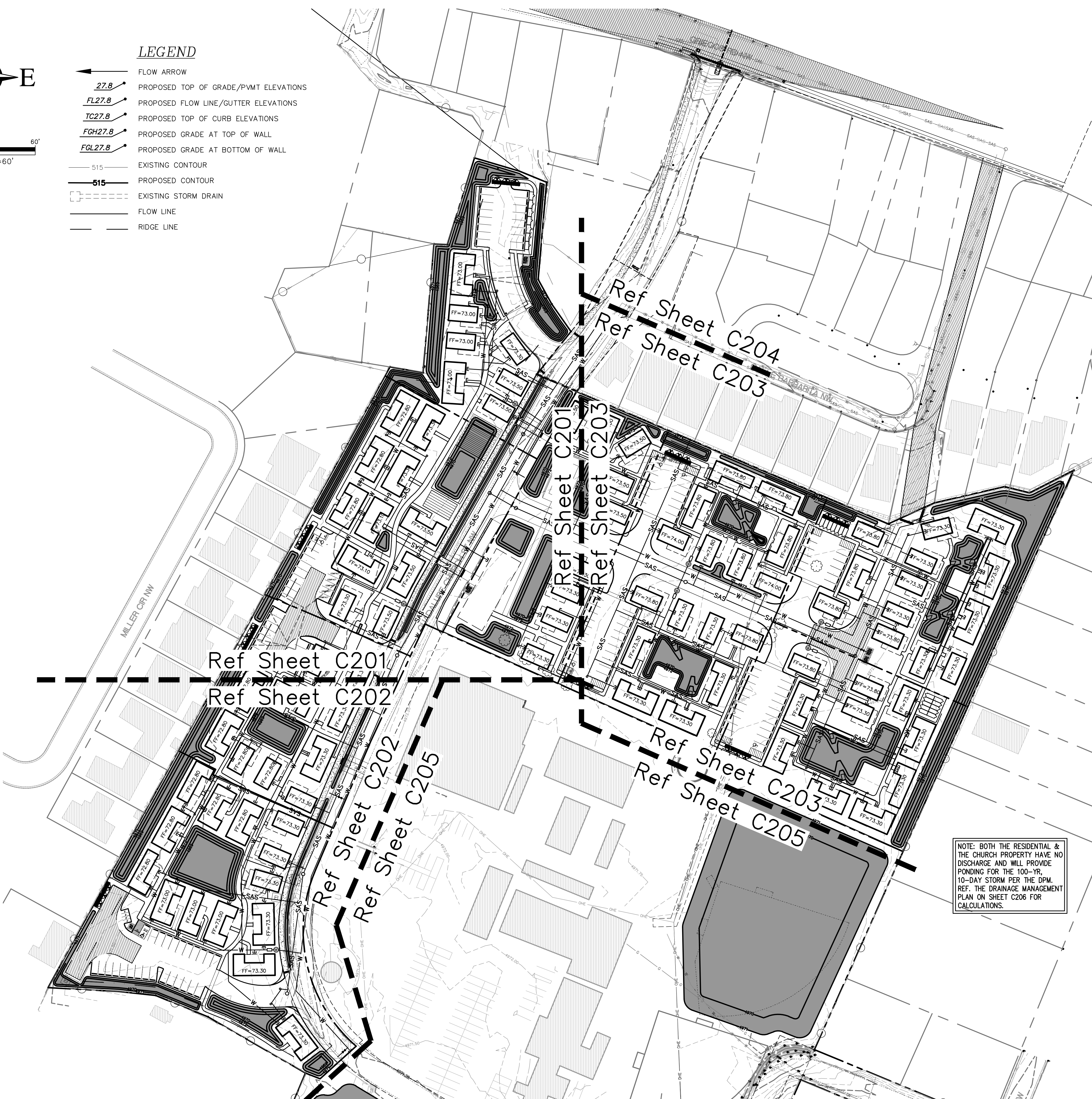
Project: GRIEGOS
 Drawn By: KMA Checked By: KMA
 Phase: SD
 Date: -
 Drawing Title: FIRE ONE

Project Number: 2102
 Sheet Number: F1

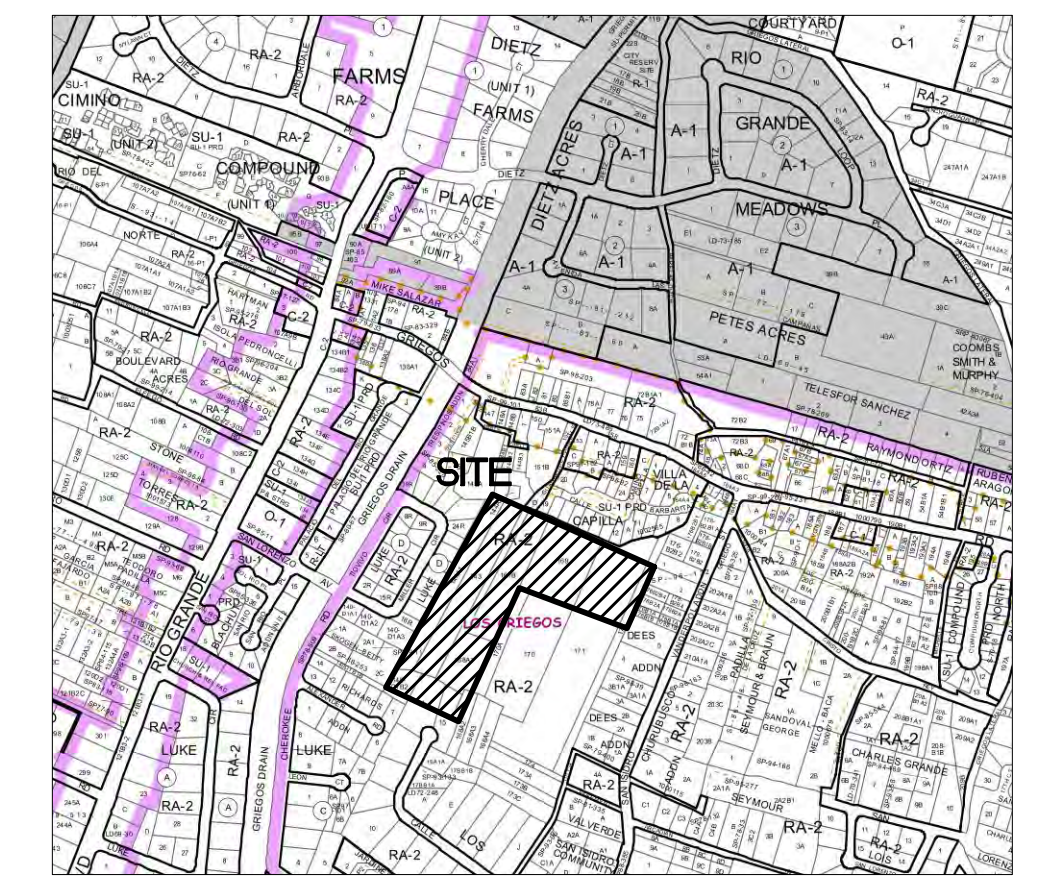


SCALE: 1"=60'

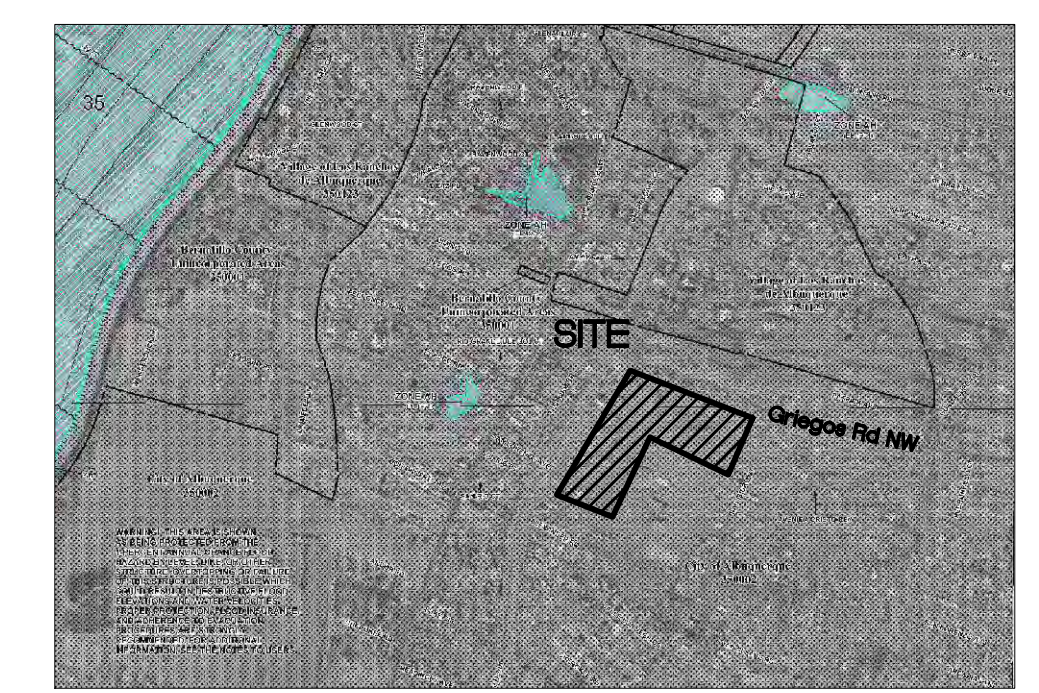
- LEGEND**
- ← FLOW ARROW
 - 27.8 PROPOSED TOP OF GRADE/PVMT ELEVATIONS
 - FL27.8 PROPOSED FLOW LINE/GUTTER ELEVATIONS
 - TC27.8 PROPOSED TOP OF CURB ELEVATIONS
 - FGH27.8 PROPOSED GRADE AT TOP OF WALL
 - FGL27.8 PROPOSED GRADE AT BOTTOM OF WALL
 - 515— EXISTING CONTOUR
 - 515** PROPOSED CONTOUR
 - - - EXISTING STORM DRAIN
 - - - FLOW LINE
 - - - RIDGE LINE



NOTE: BOTH THE RESIDENTIAL & THE CHURCH PROPERTY HAVE NO DISCHARGE AND WILL PROVIDE PONDING FOR THE 100-YR, 10-DAY STORM PER THE DPM. REF. THE DRAINAGE MANAGEMENT PLAN ON SHEET C206 FOR CALCULATIONS.



VICINITY MAP - Zone Map F-13-Z
 Legal Description: Tract 2, Our Lady of Guadalupe and Tract 144A1, Cordova's Subdivision City of Albuquerque, NM. 10.19 Acres.



FIRM MAP 35001C0118G
 Per FIRM Map 35001C0118G, dated September 26, 2008, the site is located in Zone X of the Floodplain and determined to be inside the 0.2% chance Annual Floodplain. Areas of 1% annual chance flood with average depths of less than 1 square mile; and areas protected by levees from 1% annual chance flood.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEO-TECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.



NOT FOR CONSTRUCTION

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY: JW DATE: Sept. 2022
 DRAWN BY: OC DATE: Sept. 2022
 CHECKED BY: JW DATE: Sept. 2022

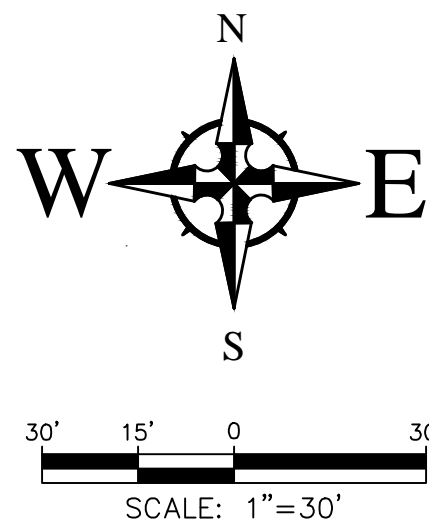


Wooten Engineering
 PO Box 15814
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 Phone: (505) 980-3560

Griegos Farms
 Griegos Rd & Guadalupe Church St NW
 Albuquerque, NM 87107

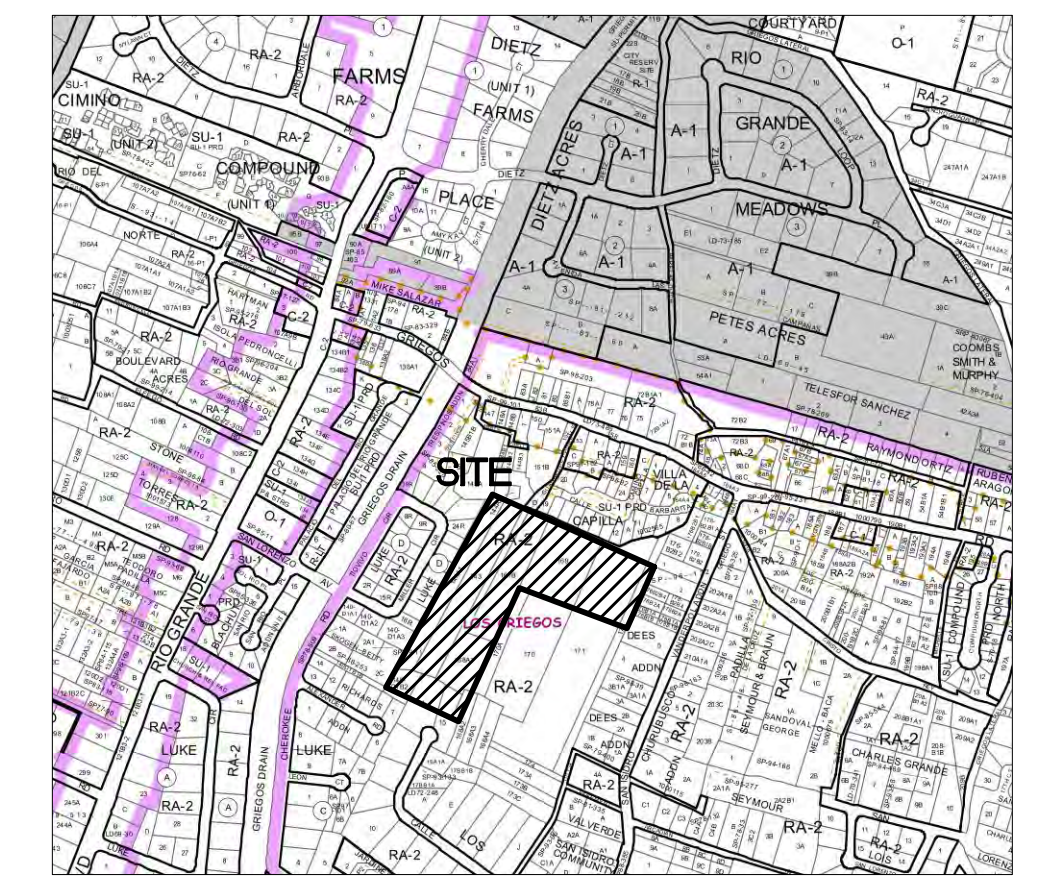
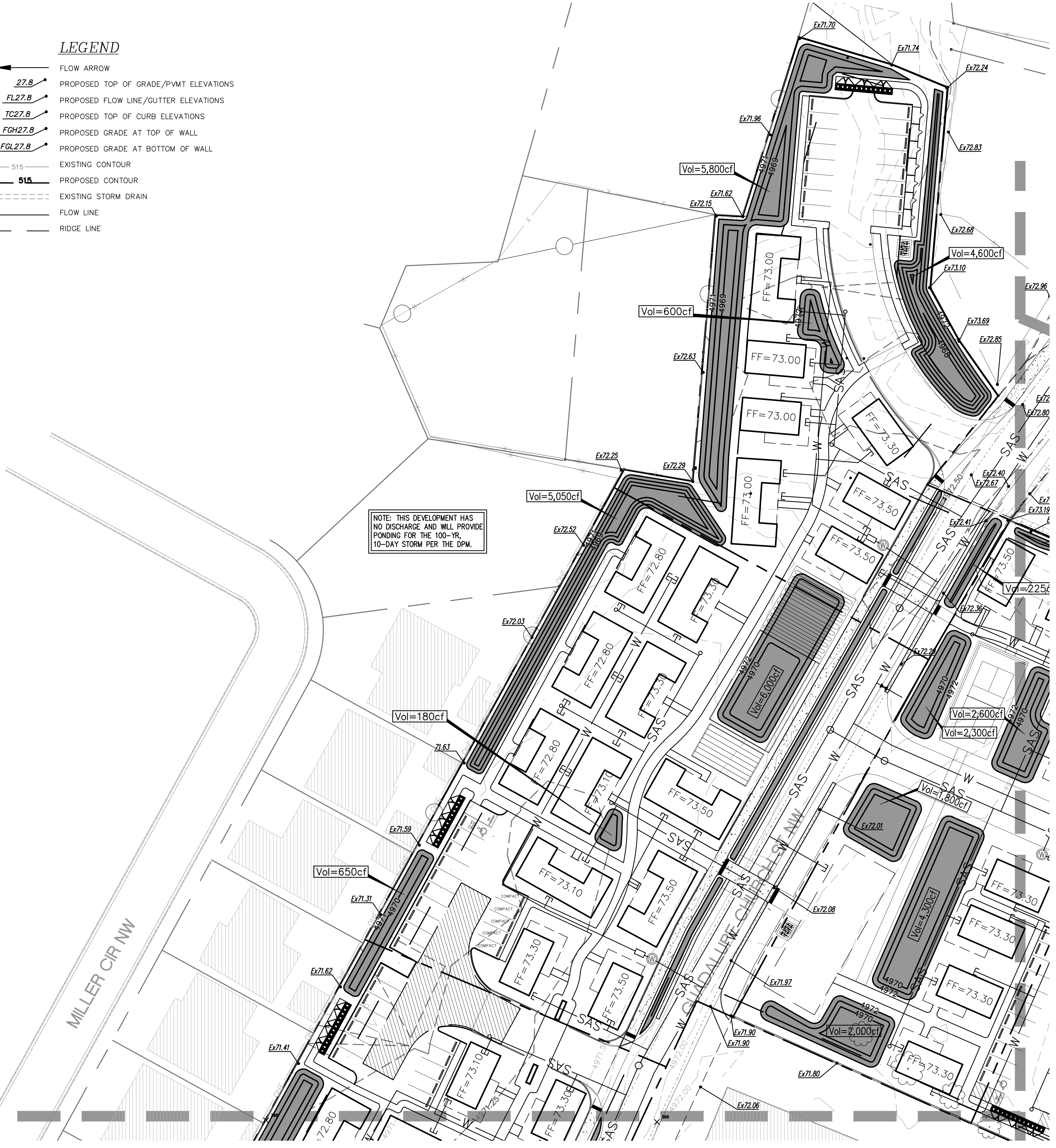
Overall Grading Plan / Index

C-200

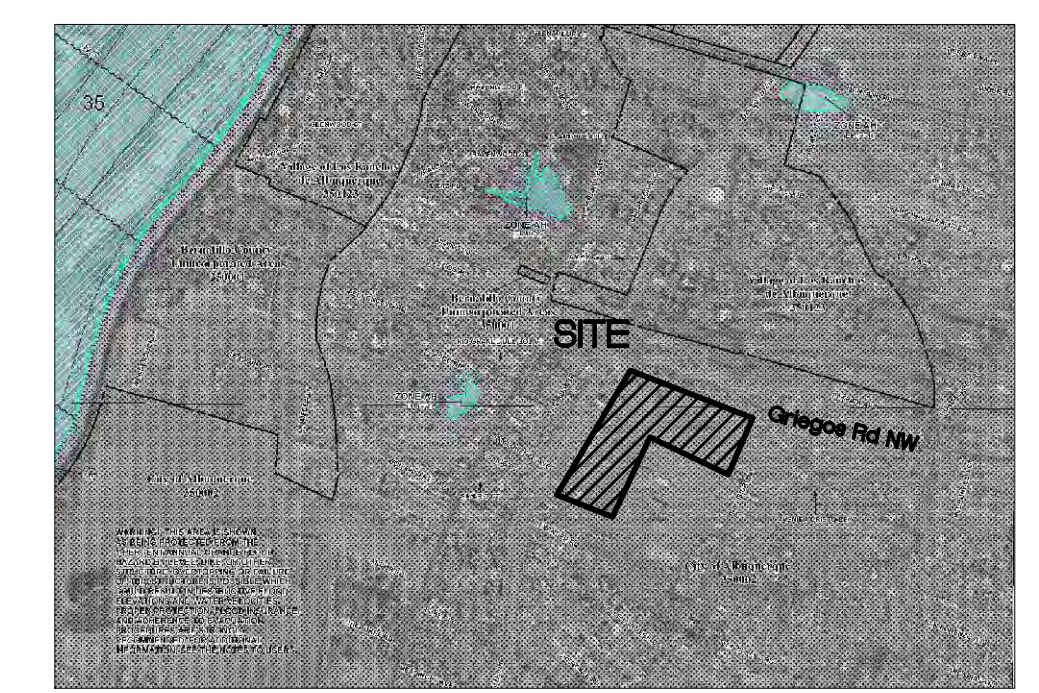


LEGEND

	FLOW ARROW
	PROPOSED TOP OF GRADE/PVMT ELEVATIONS
	PROPOSED FLOW LINE/GUTTER ELEVATIONS
	PROPOSED TOP OF CURB ELEVATIONS
	PROPOSED GRADE AT TOP OF WALL
	PROPOSED GRADE AT BOTTOM OF WALL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM DRAIN
	FLOW LINE
	RIDGE LINE



VICINITY MAP - Zone Map F-13-Z
 Legal Description: Tract 2, Our Lady of Guadalupe and Tract 144A1, Cordova's Subdivision City of Albuquerque, NM. 10.19 Acres.



FIRM MAP 35001C0118G
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 DRAWN BY: OC
 CHECKED BY: JW

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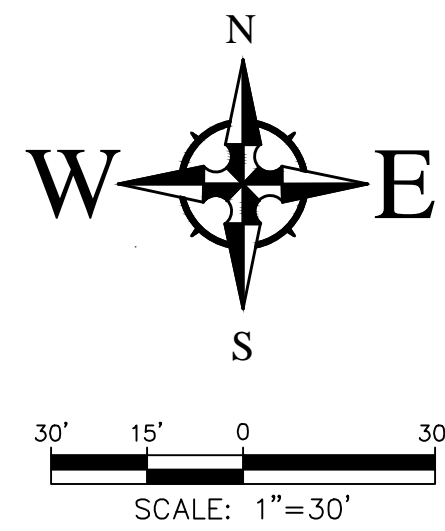


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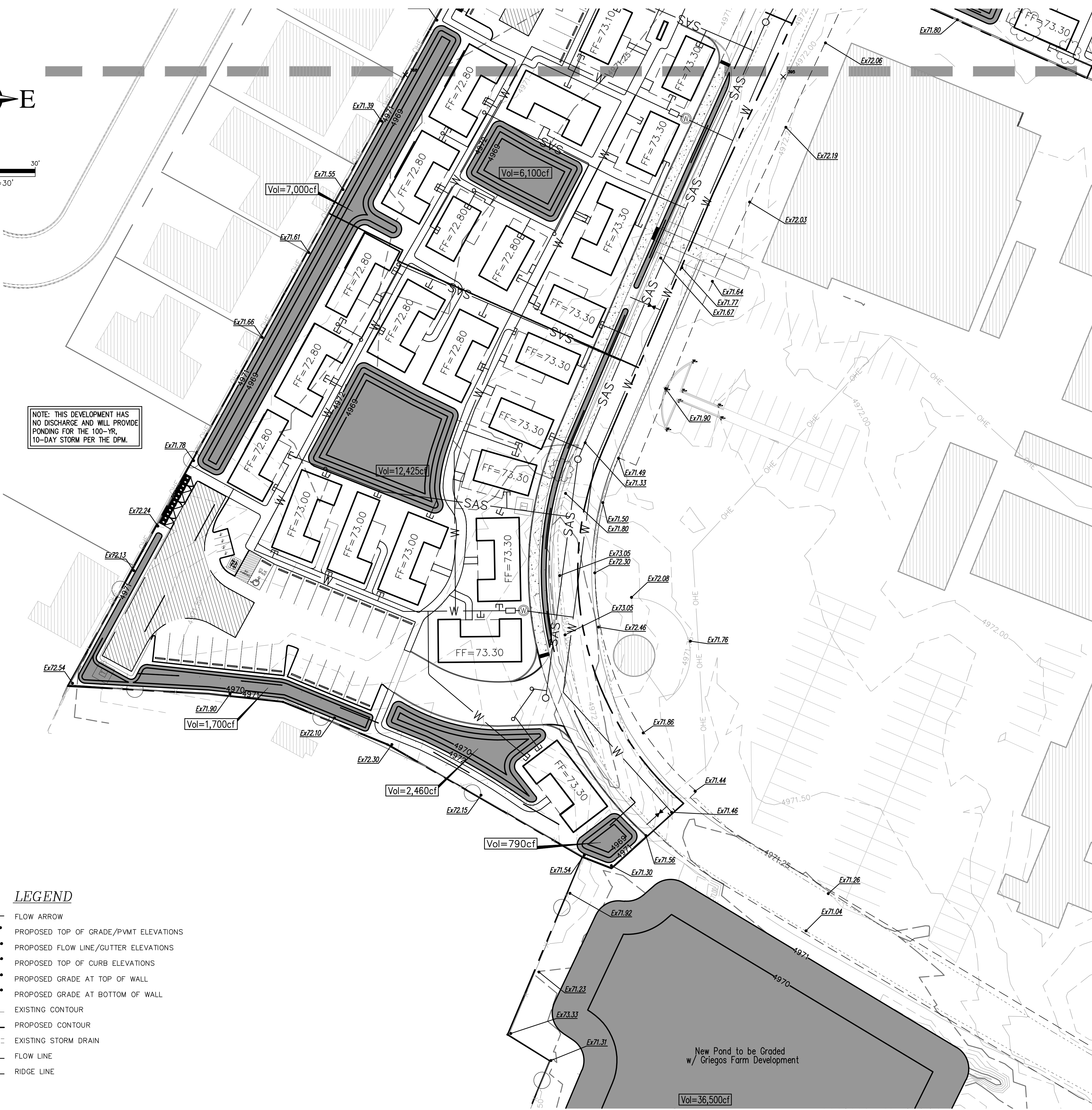
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 Grigios Rd & Guadalupe Church St NW
 Albuquerque, NM 87107

Grading Plan - North

C-201

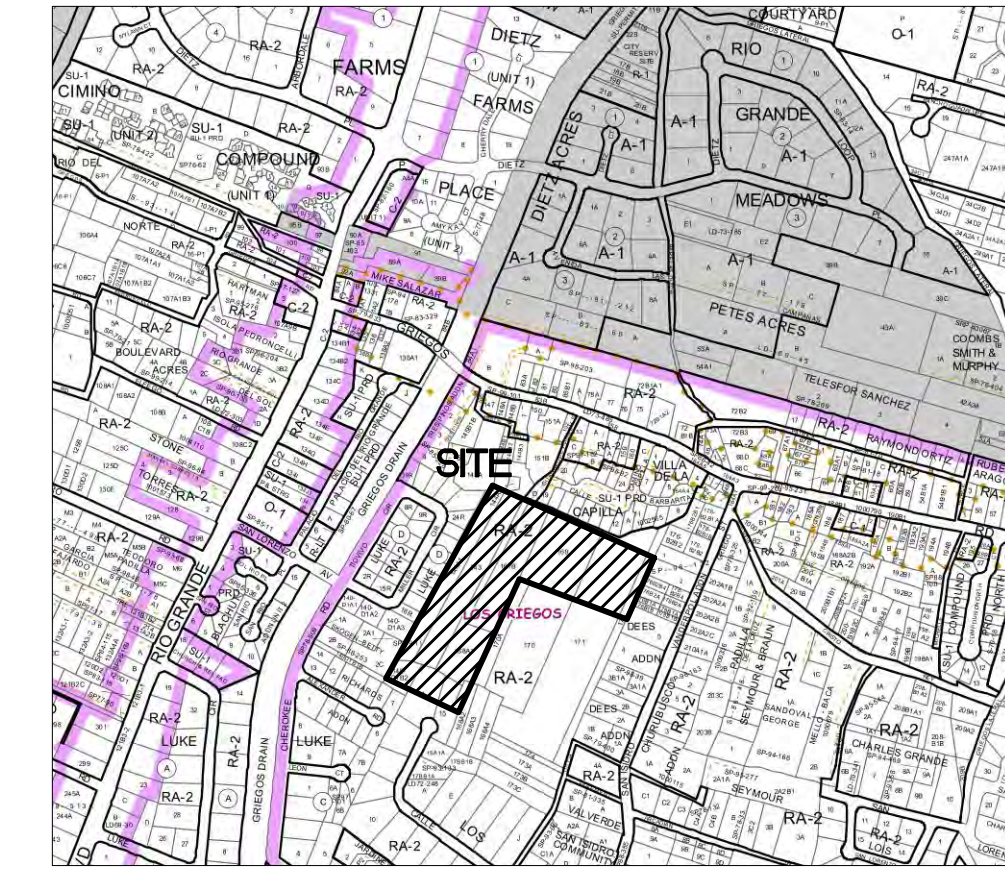


NOTE: THIS DEVELOPMENT HAS NO DISCHARGE AND WILL PROVIDE PONDING FOR THE 100-YR, 10-DAY STORM PER THE DPM.

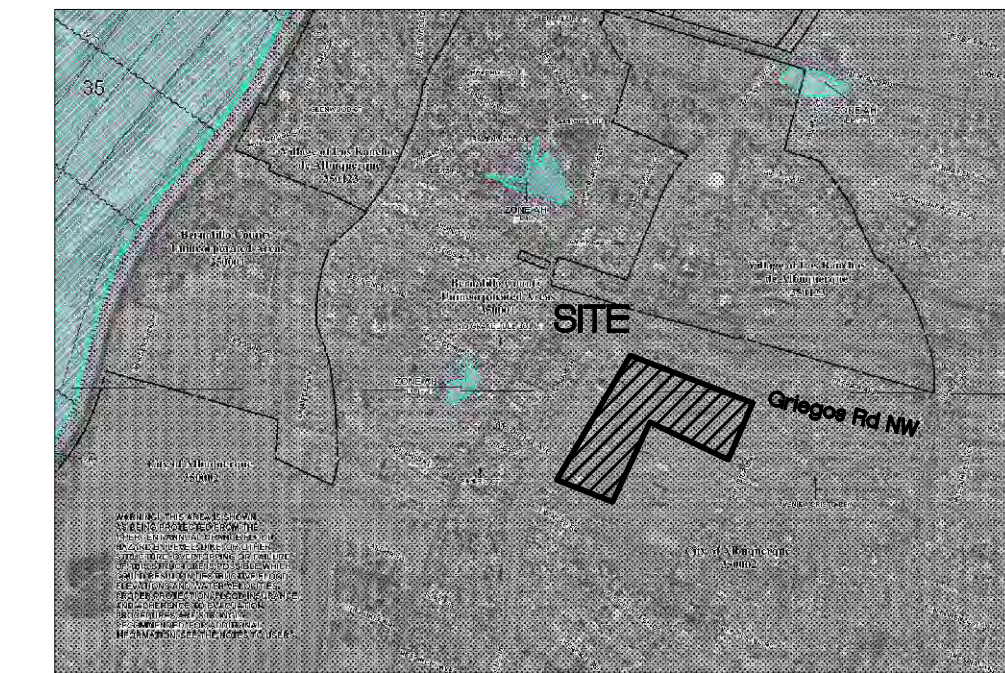


LEGEND

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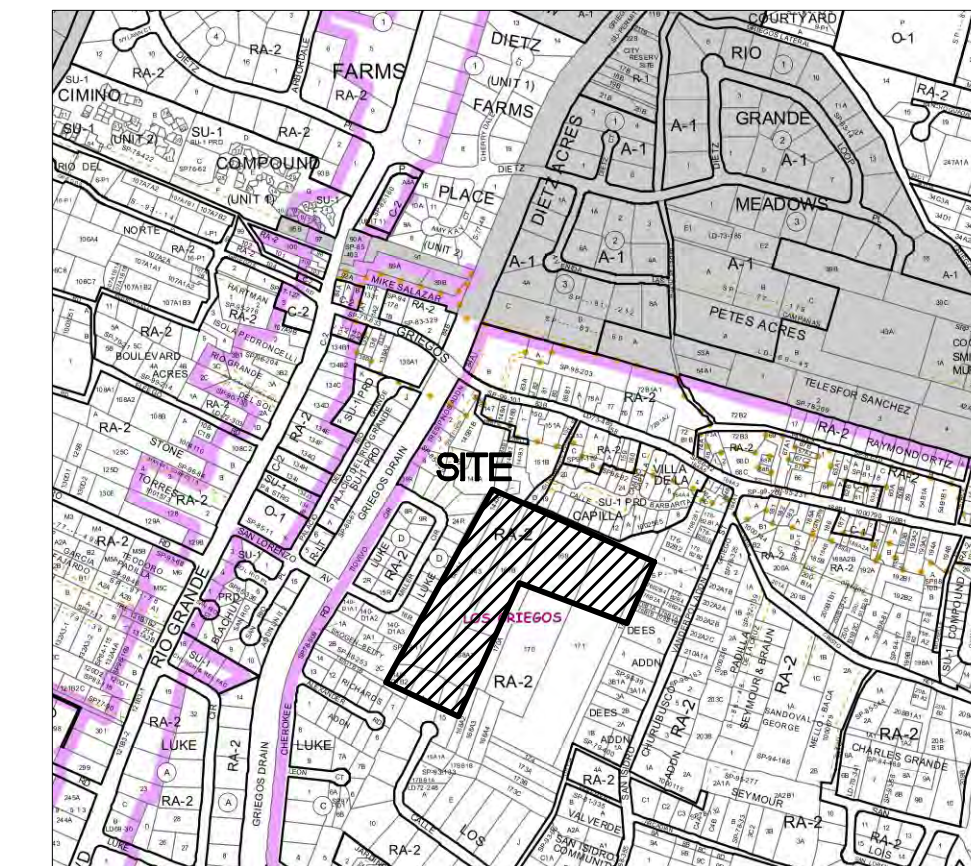
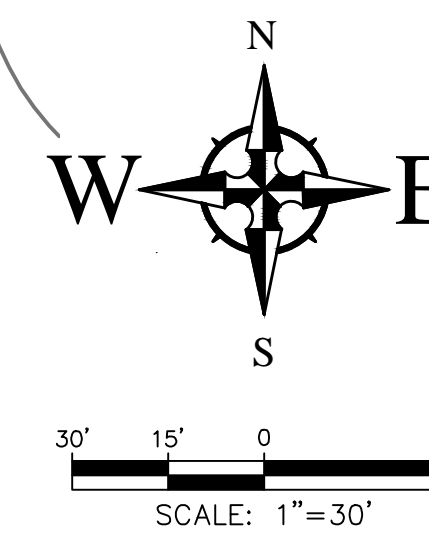
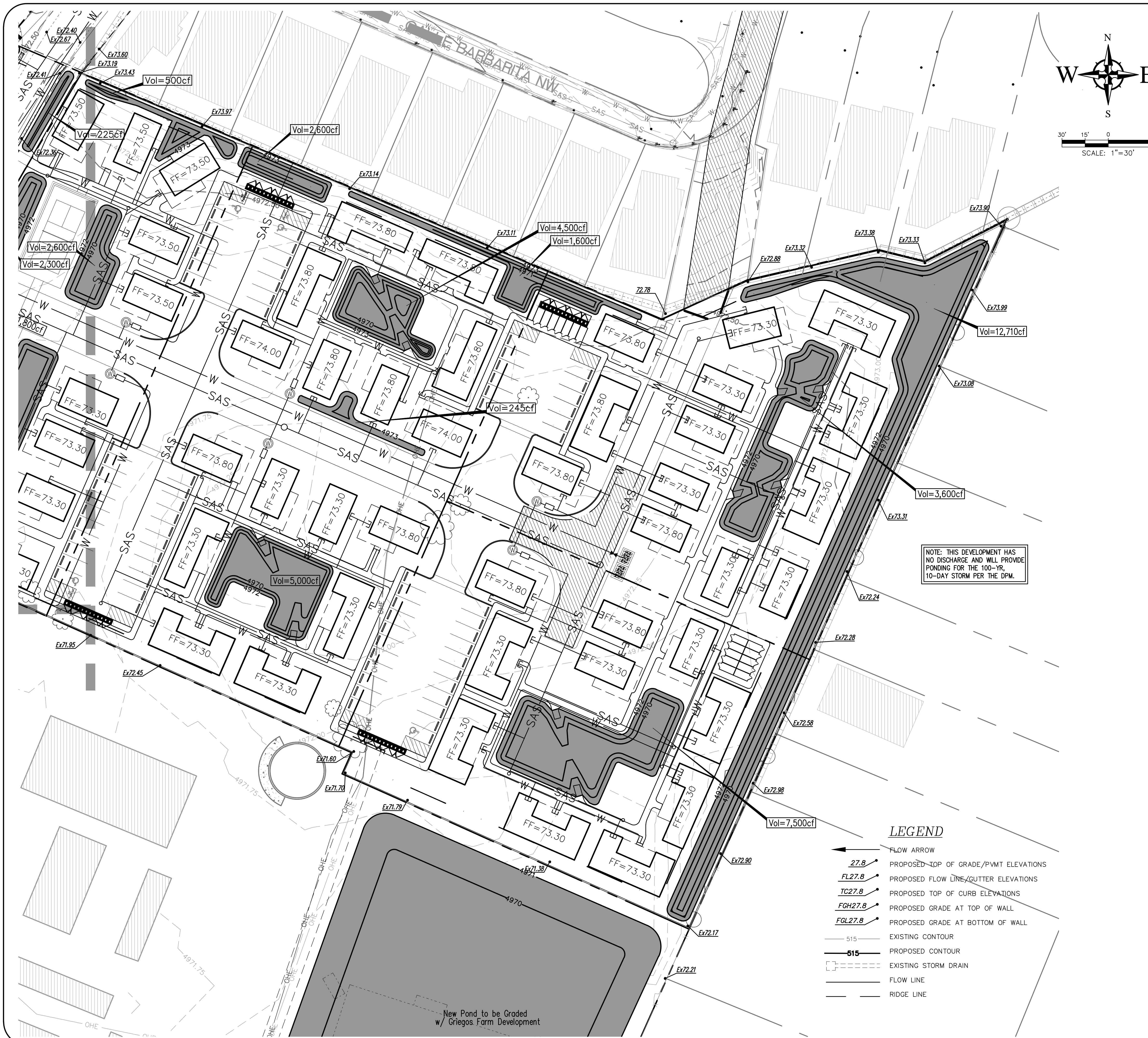


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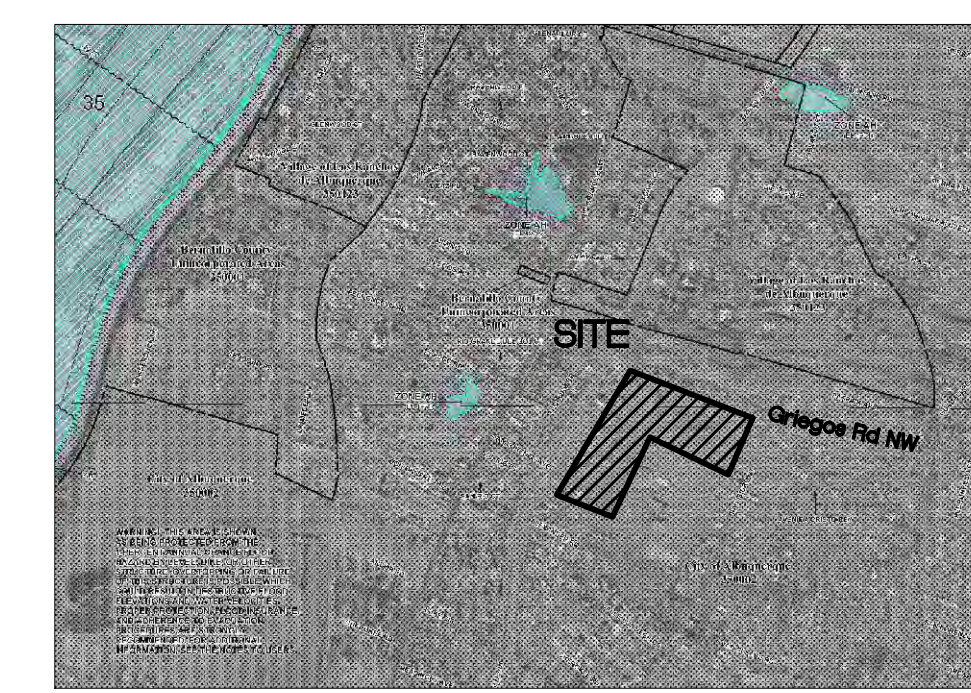
Grigores Farms
 Grigores Rd & Guadalupe Church St NW
 Albuquerque, NM 87107

Grading Plan - South

C-202



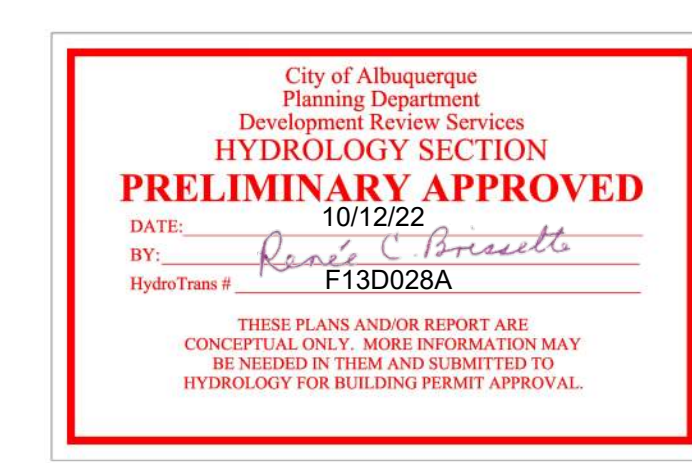
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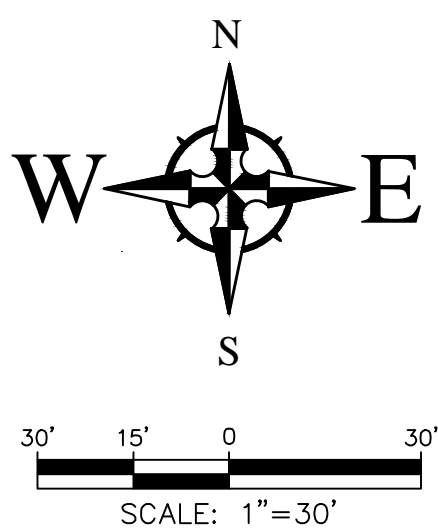


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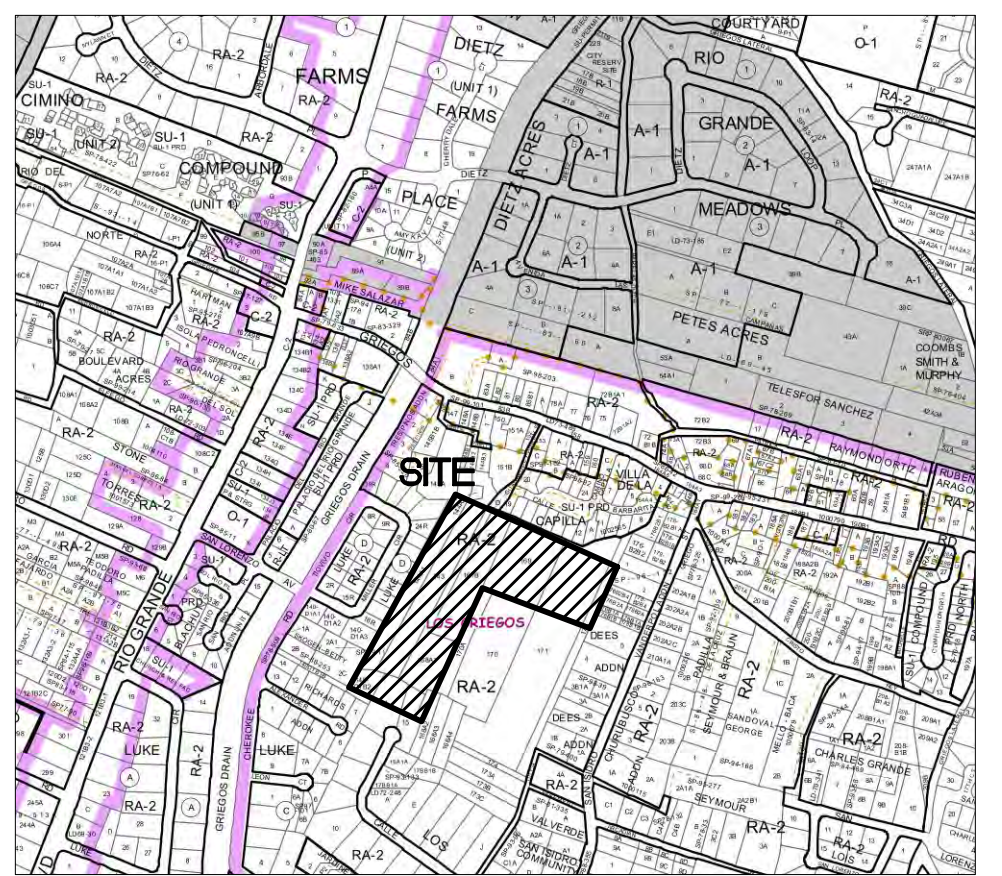
Grading Plan - East

C-203

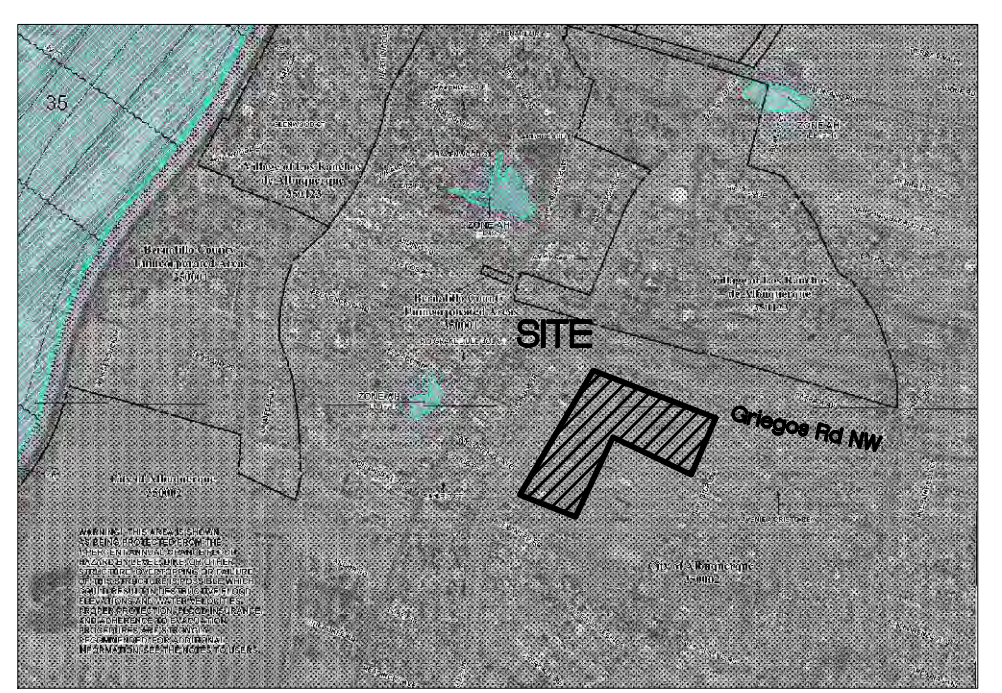


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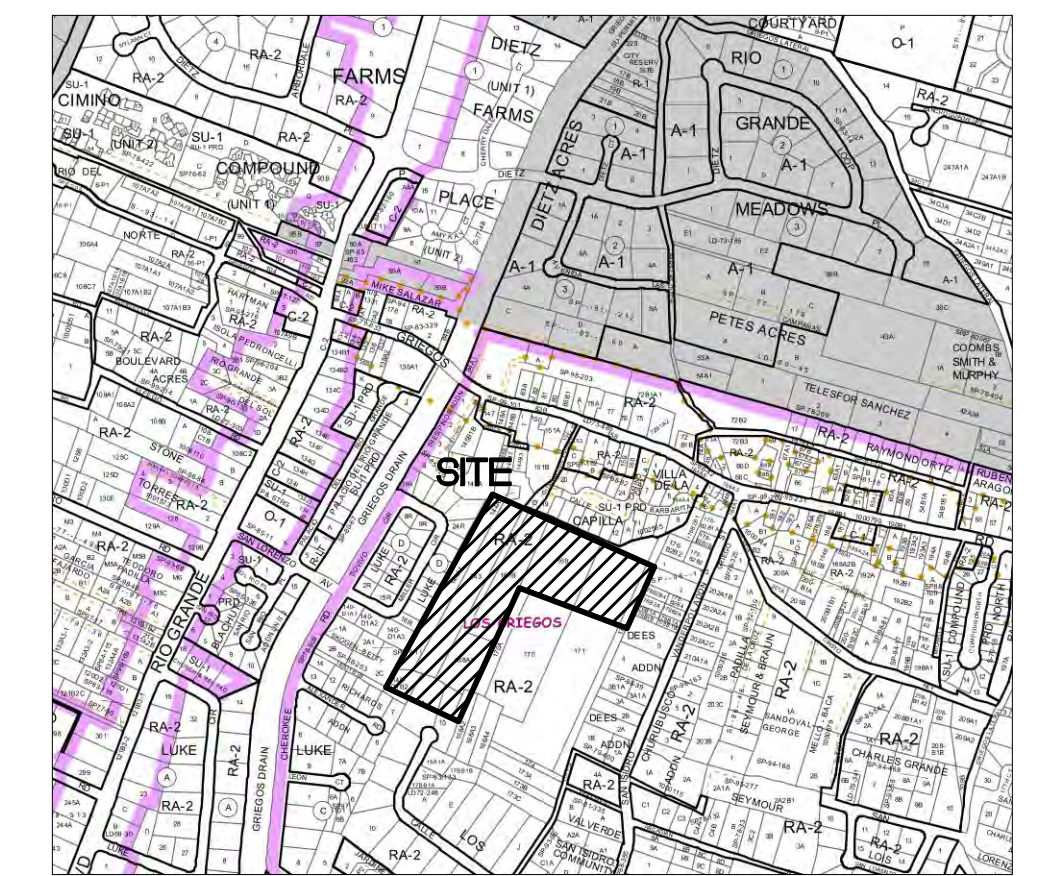
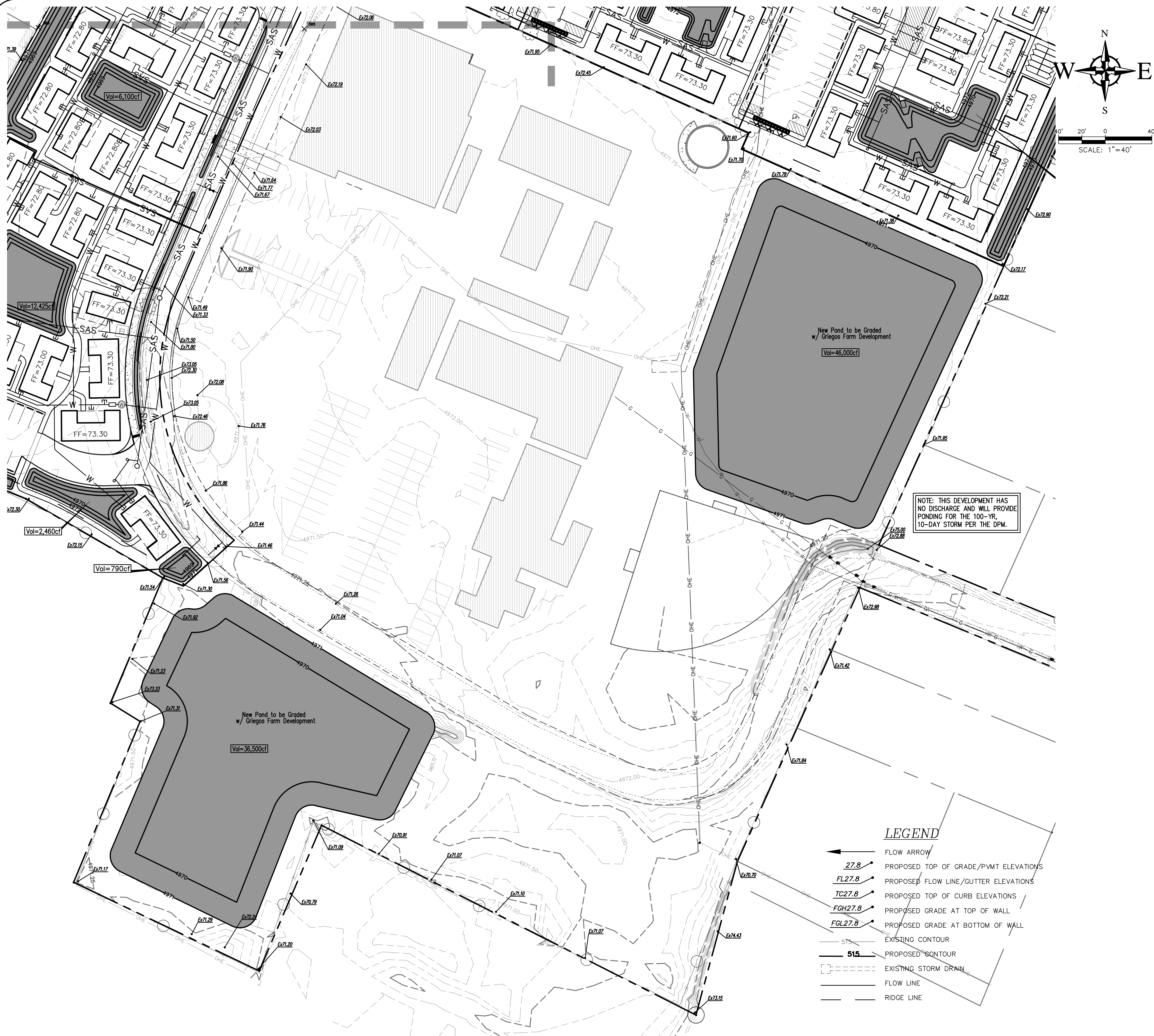


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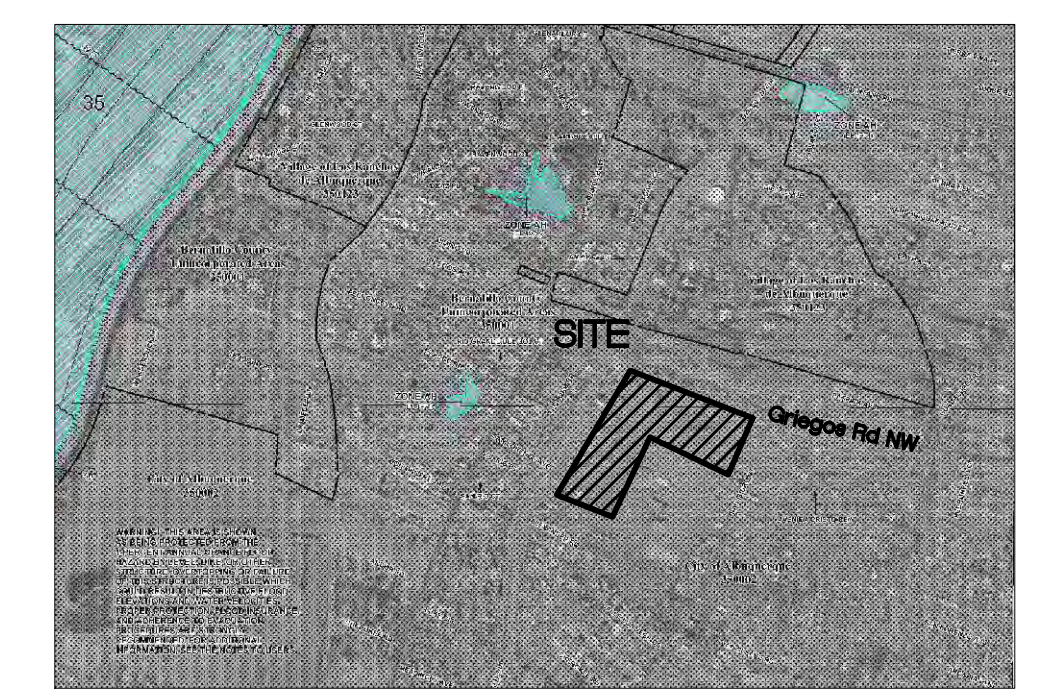
Griegos Farms
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 Albuquerque, NM 87107

Church Road Grading Plan

C-204



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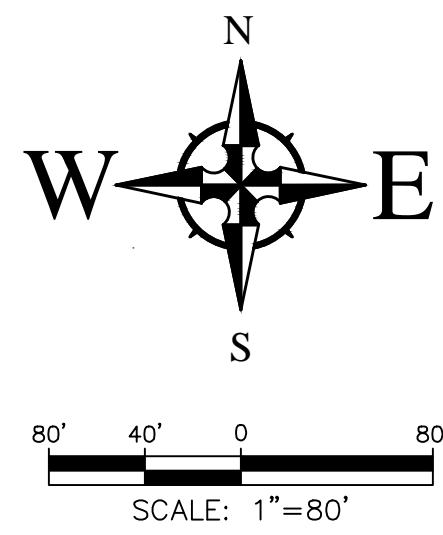
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WE

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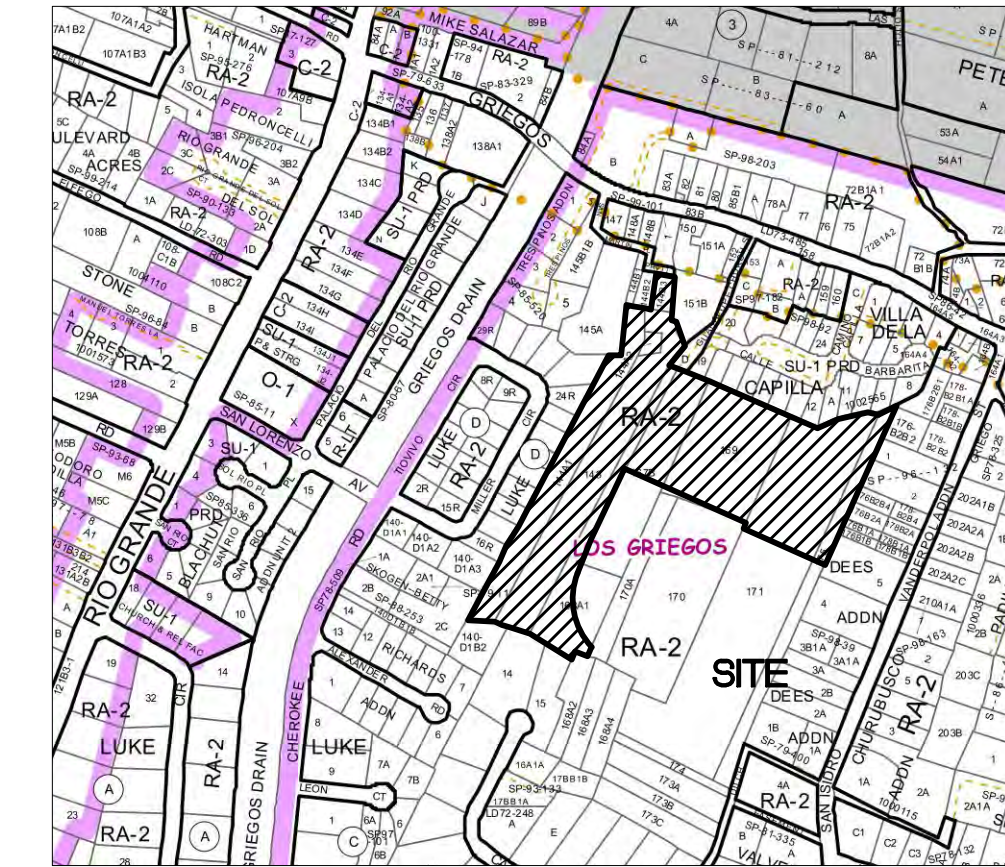
Grading Plan - Church

C-205



LEGEND

- RETENTION POND
- DRAINAGE DIVIDE
- FLOW ARROWS
- DRAINAGE AREA
1.10 ACRES



VICINITY MAP - Zone Map F-13-Z
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FIRM MAP 35001CXXXXXH

Per FIRM Map 35001C0555H, dated August 16, 2012, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION

The purpose of this submittal is to provide a conceptual grading and drainage plan for the subject site located on Tract 2, Our Lady of Guadalupe subdivision and Tract 144A-1, MRCOD Map No 51 in Albuquerque, NM. The overall development contains approximately 10.19 acres and is located in the southwest quadrant of Greigogs Rd NW and San Ysidro St NW. The site is being developed as a Single Family Cottage Court development. The City Drainage File Number is F13-D028. It is our understanding that the 100-Yr, 6-Hr storm must be retained on-site.

EXISTING HYDROLOGIC CONDITIONS

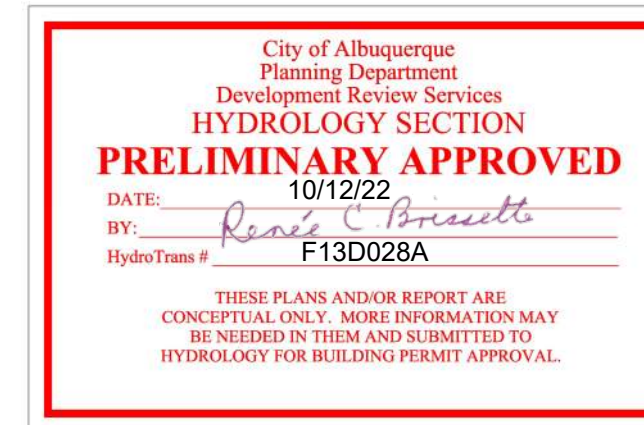
The site currently does not have a discharge point and drainage is retained on-site.

PROPOSED HYDROLOGIC CONDITIONS

Both the existing Our Lady of Guadalupe Church and the new Single Family Cottage Court development will retain the 100-Yr, 6-Hr storm within their own properties. The approximate locations of new ponds serving the Cottage Court development are shown on this plan. The Drainage Calculations table show that adequate ponding is being provided to retain the 100-Yr, 6-Hr runoff volume.

CONCLUSION

This Conceptual Grading and Drainage Plan conforms to the requirements of the City of Albuquerque DPM, Chapter 6.2. With this submittal, we are requesting Preliminary Plat and Site Plan for Building Permit approval.



For Internal Pond Volumes, Reference Detailed Grading Plans

NOTE: BOTH THE RESIDENTIAL & THE CHURCH PROPERTY HAVE NO DISCHARGE AND WILL PROVIDE PONDING FOR THE 100-YR, 10-DAY STORM PER THE DPM.

NOT FOR CONSTRUCTION

Existing Drainage Calculations														
This table is based on the COA DPM Chapter 6.2 (A), Zone: 2														
BASIN	Area (AC)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs)	Q(100) (cfs)	WTE (inches)	V(100)360 (CF)	V(100)360 (CF)	Comments
		A	B	C	D									
A-1	0.45	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.86	1.03	1683	1683	Retained within site
A-2	0.36	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.69	1.03	1346	1346	Retained within site
A-3	0.17	0.0	0.0	20.0	80.0	0.85	12.00	4.08	3.45	0.59	2.07	1277	2067	Retained within site
A-4	0.54	0.0	0.0	75.0	25.0	0.70	12.00	3.37	2.35	1.27	1.36	2656	3440	Retained within site
A-5	0.91	0.0	0.0	90.0	10.0	0.66	12.00	3.18	2.09	1.90	1.16	3832	4360	Retained within site
A-6	0.67	0.0	0.0	90.0	10.0	0.66	12.00	3.18	2.09	1.40	1.16	2821	3210	Retained within site
A-7	0.72	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	1.38	1.03	2692	2692	Retained within site
A-8	0.76	0.0	0.0	90.0	10.0	0.66	12.00	3.18	2.09	1.59	1.16	3200	3642	Retained within site
A-9	0.17	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.33	1.03	636	636	Retained within site
A-10	0.38	0.0	0.0	90.0	10.0	0.66	12.00	3.18	2.09	0.79	1.16	1600	1821	Retained within site
B-1	0.55	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	1.06	1.03	2056	2056	Retained within site
B-2	0.38	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	0.73	1.03	1421	1421	Retained within site
B-3	0.57	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	1.10	1.03	2131	2131	Retained within site
B-4	1.25	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	2.40	1.03	4674	4674	Retained within site
B-5	0.94	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	1.81	1.03	3515	3515	Retained within site
B-6	0.69	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	1.33	1.03	2580	2580	Retained within site
B-7	0.84	0.0	0.0	100.0	0.0	0.63	12.00	3.05	1.92	1.61	1.03	3141	3141	Retained within site
C	0.31	0.0	0.0	20.0	80.0	0.85	12.00	4.08	3.45	1.07	2.07	2329	3770	Sheet flows to Greigogs
D-1	4.47	0.0	0.0	60.0	40.0	0.74	12.00	3.57	2.63	11.76	1.55	25150	35535	Retained within site
D-2	5.62	0.0	0.0	60.0	40.0	0.74	12.00	3.57	2.63	14.79	1.55	31621	44677	Retained within site
TOTAL	20.75									48.46		100361	128396	

Proposed Drainage Calculations															
This table is based on the COA DPM Chapter 6.2 (A), Zone: 2															
BASIN	Area (AC)	Land Treatment Percentages (%)				Weighted C	Tc (min)	I (100) (in/hr)	Q(100) (cfs)	Q(100) (cfs)	WTE (inches)	V(100)360 (CF)	Pending Req'd V(100)360 (CF)	Pending Provided V(100)360 (CF)	Comments
		A	B	C	D										
A-1	0.45	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.81	2957	4525	6400	Retained within site	
A-2	0.36	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.09	1.81	2365	3620	4600	Retained within site
A-3	0.17	0.0	0.0	20.0	80.0	0.85	12.00	4.08	3.45	0.59	2.07	1277	2067	0	Drains to Basin A-2
A-4	0.54	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.64	1.81	3548	5430	6000	Retained within site
A-5	0.91	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.76	1.81	5979	9150	5700	Retained within site
A-6	0.67	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.03	1.81	4402	6737	6100	Retained within site
A-7	0.72	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.18	1.81	4731	7240	7000	Retained within site
A-8	0.76	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.39	1.81	4982	7642	7425	Retained within site
A-9	0.17	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	0.51	1.81	1117	1709	1700	Retained within site
A-10	0.38	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.15	1.81	2497	3821	3250	Retained within site
B-1	0.55	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.67	1.81	3614	5530	5625	Retained within site
B-2	0.38	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.15	1.81	2497	3821	4200	Retained within site
B-3	0.57	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	1.73	1.81	3745	5731	4745	Retained within site
B-4	1.25	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	3.79	1.81	8213	12569	16510	Retained within site
B-5	0.94	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.85	1.81	6176	9452	8100	Retained within site
B-6	0.69	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.09	1.81	4534	6938	5900	Retained within site
B-7	0.84	0.0	0.0	40.0	60.0	0.79	12.00	3.82	3.03	2.54	1.81	5519	8446	7500	Retained within site
C	0.31	0.0	0.0	20.0	80.0	0.85	12.00	4.08	3.45	1.07	2.07	2329	0	0	Sheet flows to Greigogs
D-1	4.47	0.0	0.0	60.0	40.0	0.87	12.00	3.57	3.11	13.92	1.55	26150	35535	36500	Retained within site
D-2	5.62	0.0	0.0	60.0	40.0	0.87	12.00	3.57	3.11	17.60	1.55	31621	44677	46000	Retained within site
TOTAL	20.75									63.90		127264	184641	187355	

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

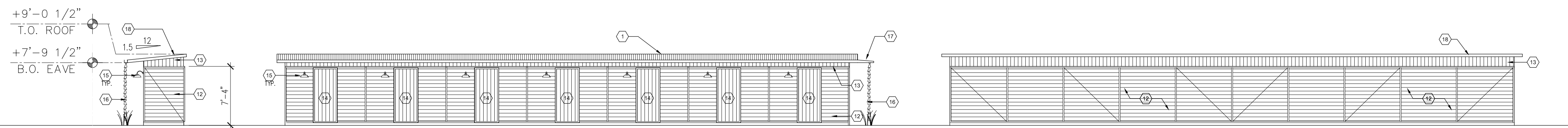
DESIGNED BY: JW DATE: Sept. 2022
DRAWN BY: RC DATE: Sept. 2022
JOB NO.: 2020016
CHECKED BY: JW DATE: Sept. 2022



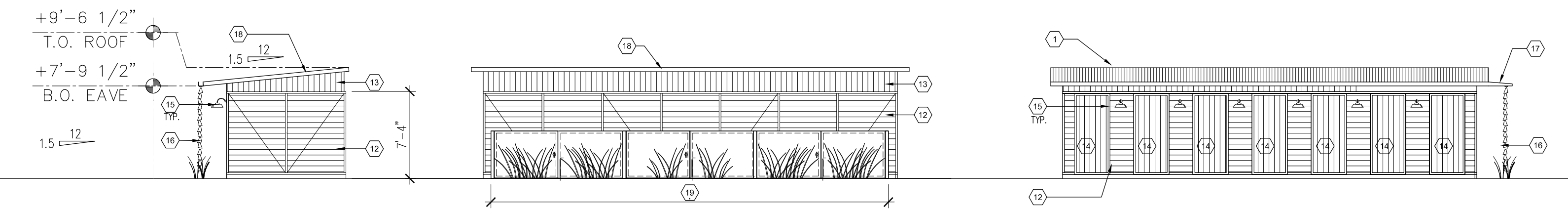
Wooten Engineering
PO Box 15814
Rio Rancho, N.M. 87174
Phone: (505) 980-3560

Greigogs Farms
Tract 2, Our lady of Guadalupe
Albuquerque, NM 87107

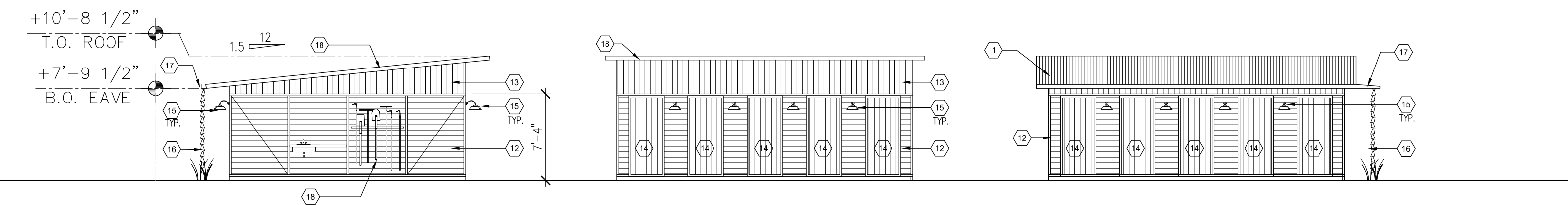
Drainage Management Plan



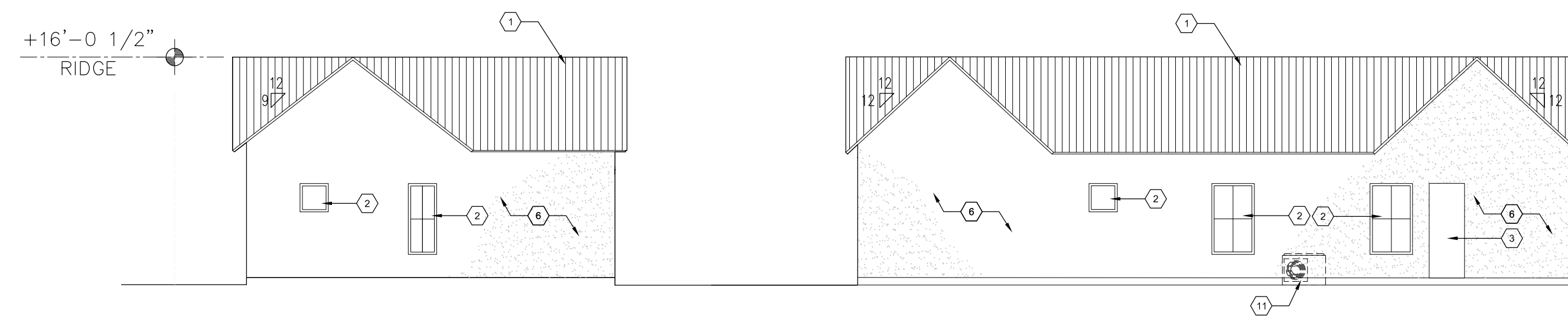
F1 Building Elevations-Single Bay Parallel Storage Building
1/8"=1'-0"



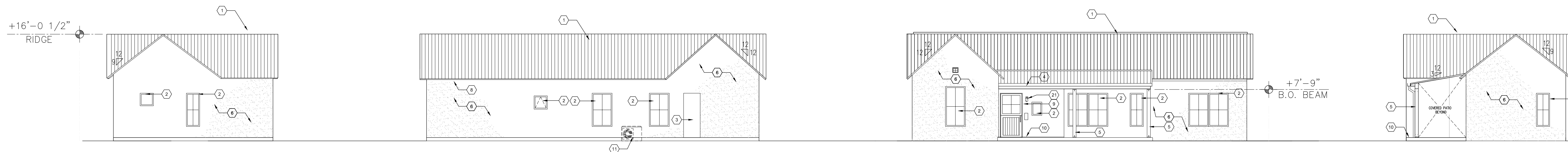
E1 Building Elevations-Single Bay Storage Building
1/8"=1'-0"



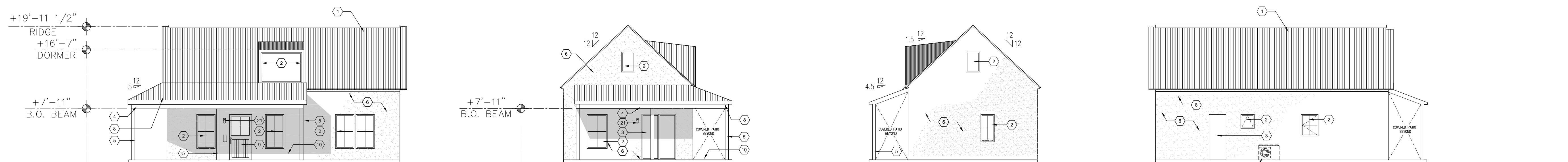
D1 Building Elevations-Double Bay Storage Building
1/8"=1'-0"



C1 Building Elevations- Unit C
1/8"=1'-0"



B1 Building Elevations- Unit B
1/8"=1'-0"



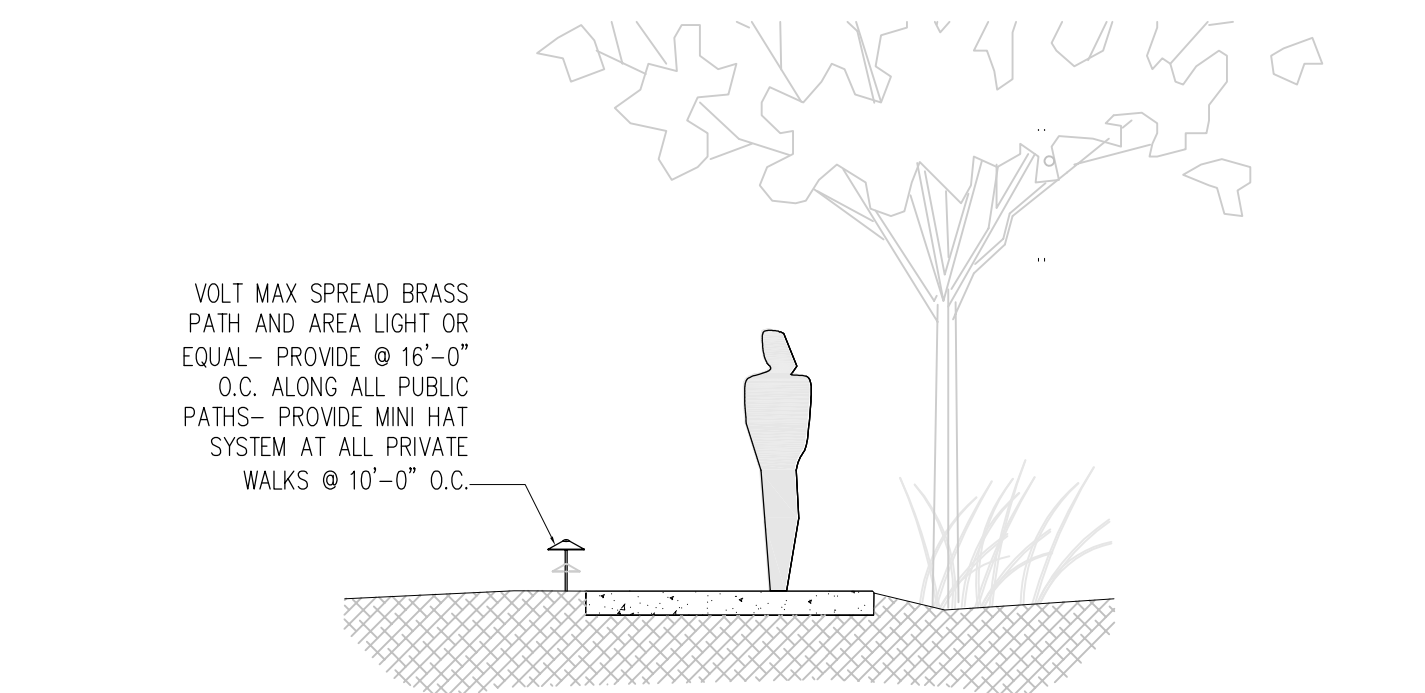
A1 Building Elevations- Unit A
1/8"=1'-0"

GENERAL NOTES- BUILDING ELEVATIONS

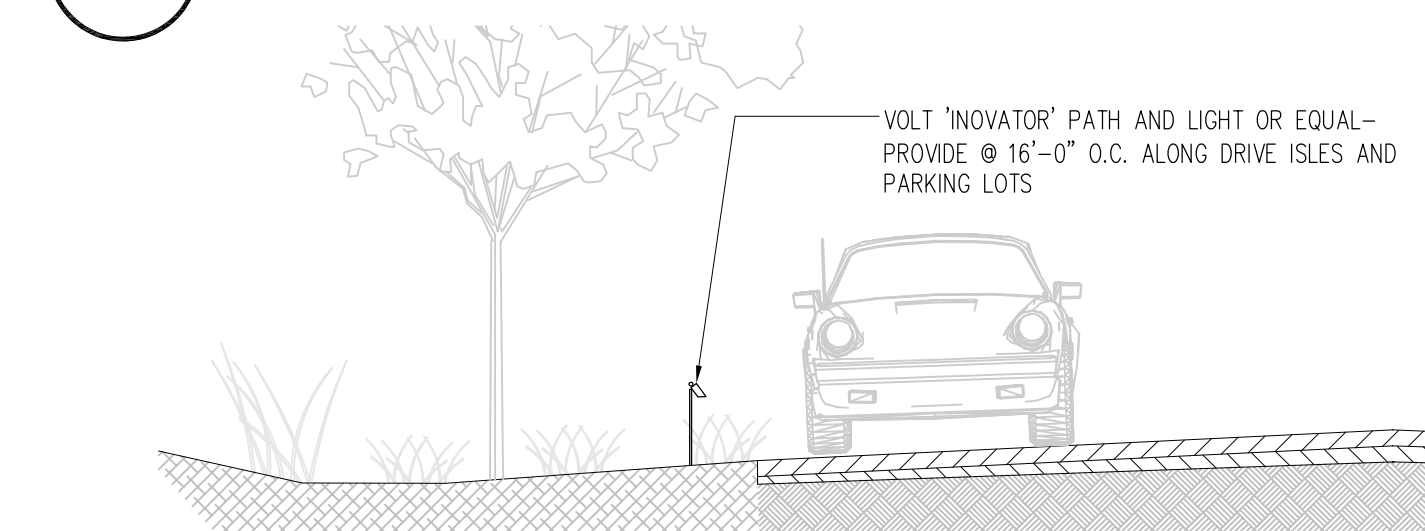
1. BUILDING ELEVATIONS ARE TYPICAL FOR EACH UNIT TYPE. BUILDING ORIENTATION VARIES PER SITE CONDITIONS- SEE SITE PLAN FOR UNIT TYPE DISTRIBUTION AND ORIENTATION.
2. ALL WINDOWS TO BE RECESSED A MINIMUM OF 2".
3. ALL VENTING AND MECHANICAL ELEMENTS ARE TO BE HIDDEN FROM VIEW WHERE FEASIBLE. MECHANICAL UNITS TO BE LOCATED AT REAR OF HOUSE IN ALL CASES- SEE ELEVATIONS.
4. ALL EXTERIOR LIGHTING TO CONFORM TO BOTH IDO LIGHTING AND NIGHT SKY ORDINANCES.

KEYED NOTES-SITE PLAN

1. CORRUGATED METAL ROOFING- 24 GA. INTEGRATED COLOR-COLOR: CHARCOAL GRAY- ALL TRIM TO MATCH
2. ANDERSON 100 SERIES WINDOW SYSTEM-COLOR: DARK BRONZE
3. ANDERSON DOOR SYSTEM SYSTEM-COLOR: DARK BRONZE
4. WOOD BEAM-COLOR: COLONIAL WHITE
5. 6X6 WOOD COLUMN W/ DECORATIVE BASE-COLOR: COLONIAL WHITE
6. STUCCO FINISH-COLOR: COLONIAL WHITE
7. CORRUGATED METAL DORMER- MATCH ADJACENT ROOFING MATERIAL
8. GUTTER SYSTEM-COLOR: MATCH ROOFING
9. FIBERGLASS ENTRY DOOR- PAINT TO MATCH WINDOW COLOR: DARK BRONZE
10. CONCRETE PORCH
11. HVAC CONDENSER- PAD MOUNT PROVIDE 4" THICK CONCRETE PAD AS REQUIRED BY MANUFACTURER.
12. CEDAR OR EQUAL WOOD SLAT FINISH-HORIZONTAL-COLOR: DISTRESSED WHITE
13. CEDAR OR EQUAL WOOD SLAT FINISH-VERTICAL-COLOR: DISTRESSED WHITE
14. CEDAR DOOR-COLOR: DISTRESSED WHITE
15. FARM STYLE LIGHT-COLOR: CHARCOAL- MUST MEET IDO AND NIGHT SKY REQUIREMENTS
16. RAIN CHAIN AND GRAVEL DRAINAGE WHERE APPLICABLE-COLOR: GALVANIZED
17. GUTTER SYSTEM WITH DECORATIVE CANALE- VERIFY WITH LANDSCAPE DIRECTION AND LENGTH
18. RAKE/ DRIP EDGE MATERIAL- MATCH ROOFING
19. TRASH ENCLOSURE- SEE ASI10 FOR DETAILS
20. TOOL STORAGE CLEAN UP AREA
21. PORCH LIGHT FIXTURE- PORCH LIGHTING TO BE CONTROLLED THROUGH PROJECT WIDE TIMER AND CONTROLS



E3 Path Lighting Detail
1/8"=1'-0"

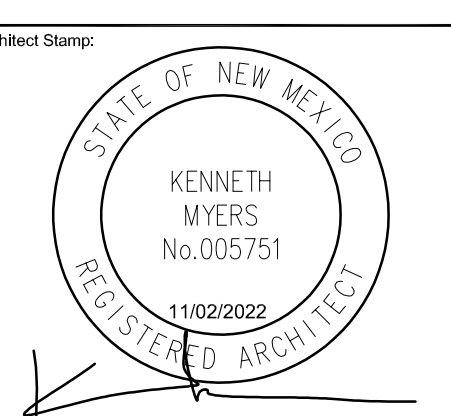


D3 Drive Isle Lighting Detail
1/8"=1'-0"



1860 GRIEGOS RD. NW
ALBUQUERQUE, NM 87107

GRIEGOS FARMS



REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
T. 505.243.0188

Project: **GRIEGOS FARMS**
Drawn By: **KMA** Checked By: **KMA**
Phase: **SD**
Date: **11/02/2022**
Drawing Title: **BUILDING ELEVATIONS**

Project Number: **2102**
Sheet Number:

A201



Cottage Court Style Complex- 718 Mountain

1858 Griegos- Chapel of San Isidro

1908 Griegos-Garaffolo House

3928a Rio Grande Blvd.- Candelaria House

C1 Precedent
NTS



Shared Courtyard

Private Drive Crosswalk

Our Lady of Guadalupe Road-Looking South

B1 Conceptual Renders-Public Spaces
NTS



Unit A

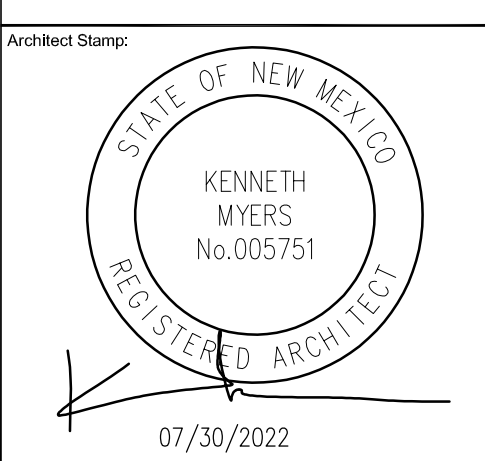
Unit B

Unit C

A1 Conceptual Renders- Unit Elevations
NTS

1860 GRIEGOS RD. NW
ALBUQUERQUE, NM 87107

GRIEGOS FARMS



REMBE
urban design + development
1716 Central SW, Suite A
Albuquerque, NM 87104
t. 505-243-0188

Project:	GRIEGOS FARMS	
Drawn By:	KMA	Checked By: KMA
Phase:	SD	
Date:	---	

Drawing Title:
**CONCEPTUAL
RENDERS +
PRECEDENT**

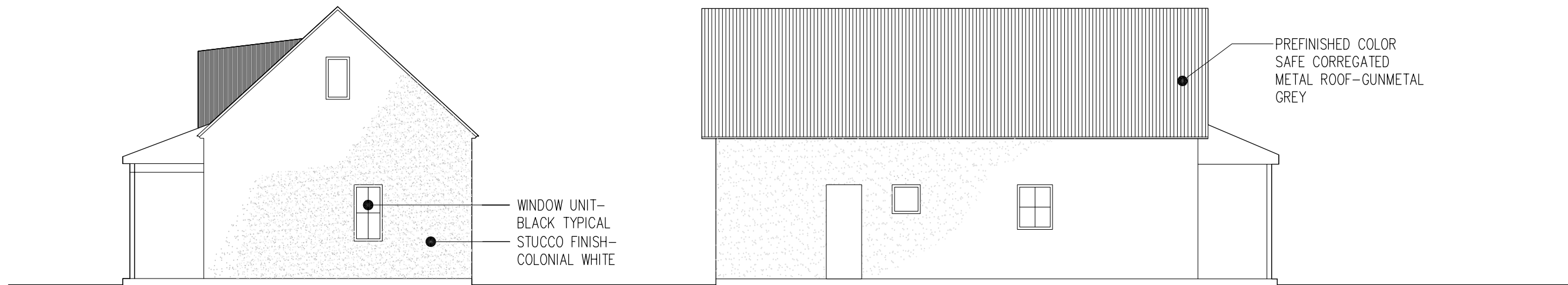
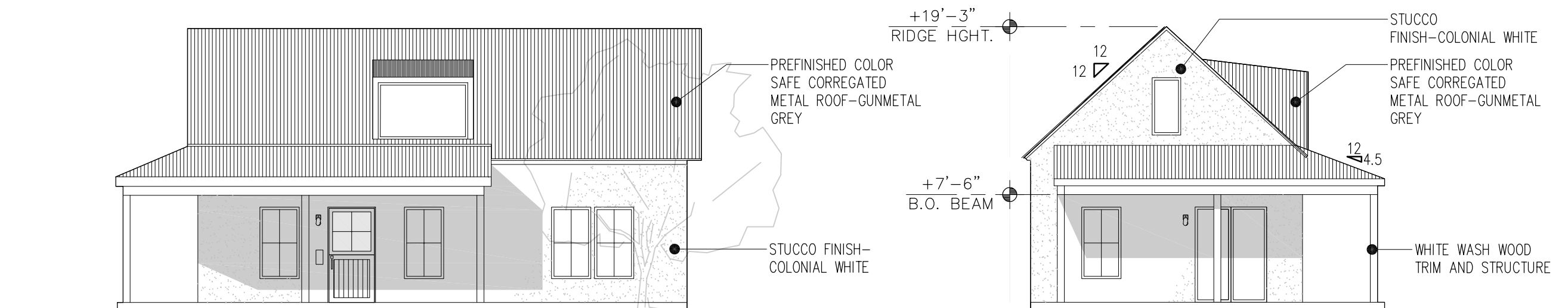
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Sheet Number:
A210



COMMUNITY FABRIC

GRIEGOS FARMS



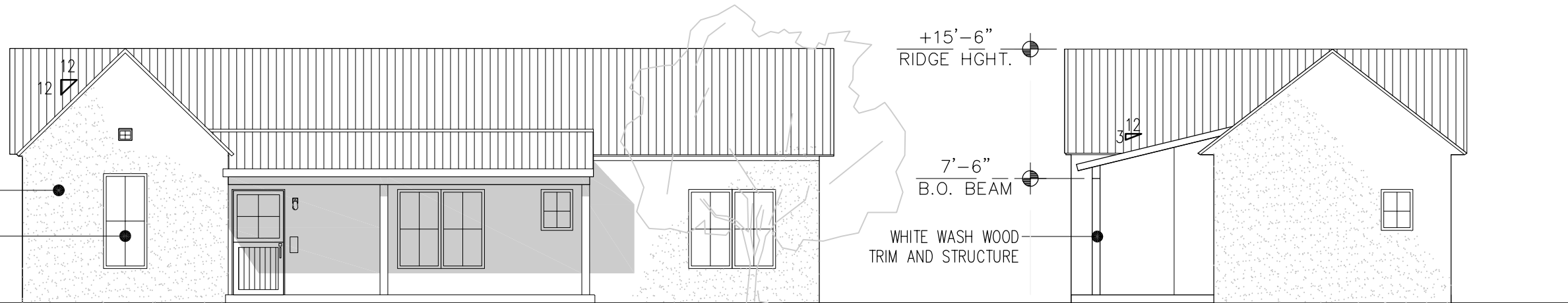
UNIT 'A'

GRIEGOS FARMS

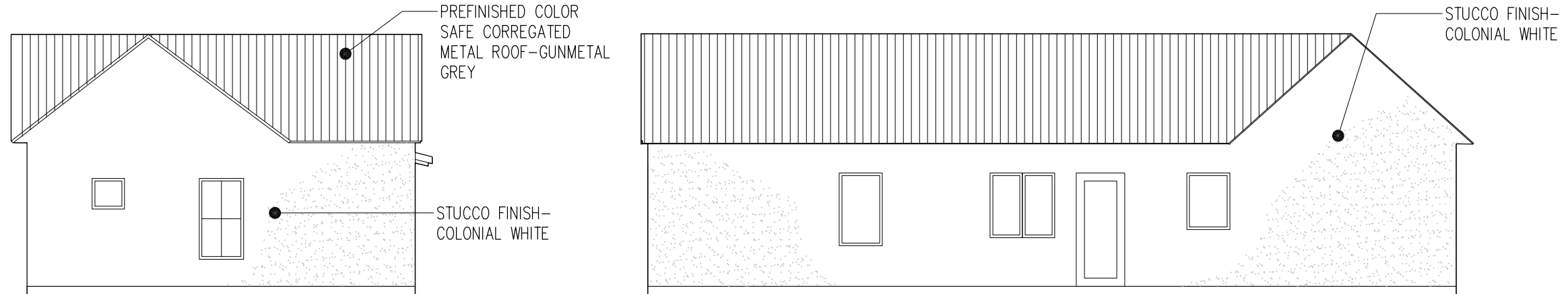


SEE SITE PLAN SHEET AS101 FOR UNIT DISTRIBUTION AND UNIT COUNT

STUCCO FINISH—
COLONIAL WHITE
WINDOW UNIT—
BLACK TYPICAL



PREFINISHED COLOR
SAFE CORRUGATED
METAL ROOF—GUNMETAL
GREY

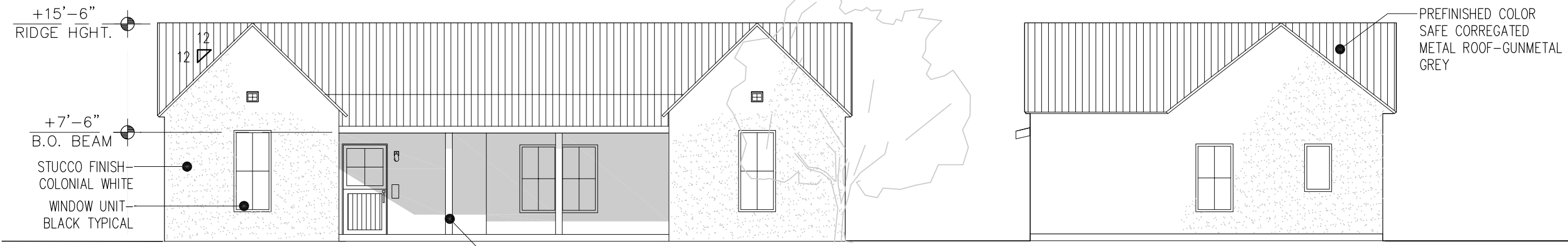


UNIT 'B'

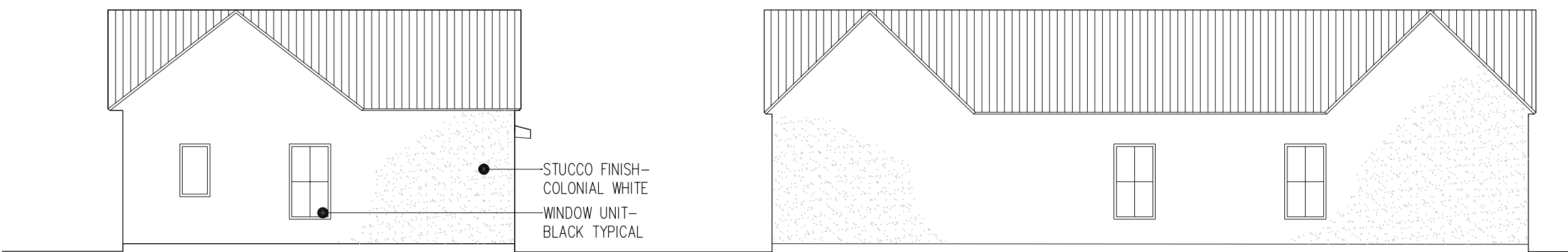
GRIEGOS FARMS



SEE SITE PLAN SHEET AS101 FOR UNIT DISTRIBUTION AND UNIT COUNT



PREFINISHED COLOR SAFE CORRUGATED METAL ROOF - GUNMETAL GREY



UNIT 'C'

GRIEGOS FARMS



SEE SITE PLAN SHEET AS101 FOR UNIT DISTRIBUTION AND UNIT COUNT











PR-2021-006261_SI-2022-02166_Site_Plan_Approved_12-14-22_Sheet_1

Final Audit Report

2023-09-21

Created:	2023-08-30
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAsT7G8ptK8uw7IJIZe-0uz-_7dSHaJBzO

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 Agreement completed.

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