



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Colin Skipworth, BOK Financial		Phone: 918-660-2997
Address: One Williams Center, Suite 1800		Email:
City: Tulsa	State: OK	Zip: 74172
Professional/Agent (if any): Jackson Emery, Wallace Structural Consultants		Phone: 918-584-5858
Address: 123 N. Martin Luther King Jr. Blvd.		Email: jackson.emery@wallace.design
City: Tulsa	State: OK	Zip: 74103
Proprietary Interest in Site: Civil Engineer	List all owners:	

BRIEF DESCRIPTION OF REQUEST

The site is a remodel of an existing commercial building. Adjustments to the exterior existing drive-thru and surrounding area will be made in order to convert the building from a fast food restaurant to a drive-thru bank while also maintaining accessibility.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A-3	Block: A	Unit: 1
Subdivision/Addition: Vista Grande Addn	MRGCD Map No.:	UPC Code: 101706050351711613
Zone Atlas Page(s): G-17-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.39

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 5000 Montgomery Blvd, NE	Between: San Mateo Blvd, NE	and: Jefferson St, NE
---	-----------------------------	-----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 11/24/2021
Printed Name: Jackson Emery	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-02006	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2021-006272

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- N/A Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

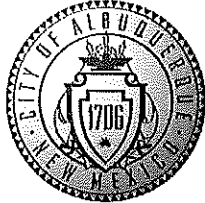
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 11/24/2021
Printed Name: Jackson Emery	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2021-006275	SI-2021-02006
	-
	-
Staff Signature:	
Date:	

October 22, 2021

Jolene Wolfley, Chair
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: 5000 Montgomery Blvd. NE – Administrative Amendment to Site Plan – DRB

Dear Chair Wolfley:

The purpose of this letter is to authorize Wallace Engineering – Structural Consultants, Inc. to act as our agent for a Site Development Plan – DRB approval for the property located at 5000 Montgomery Blvd. NE.

The property is legally described as Lot A3, Block A, Vista Grande Addition Unit 1.

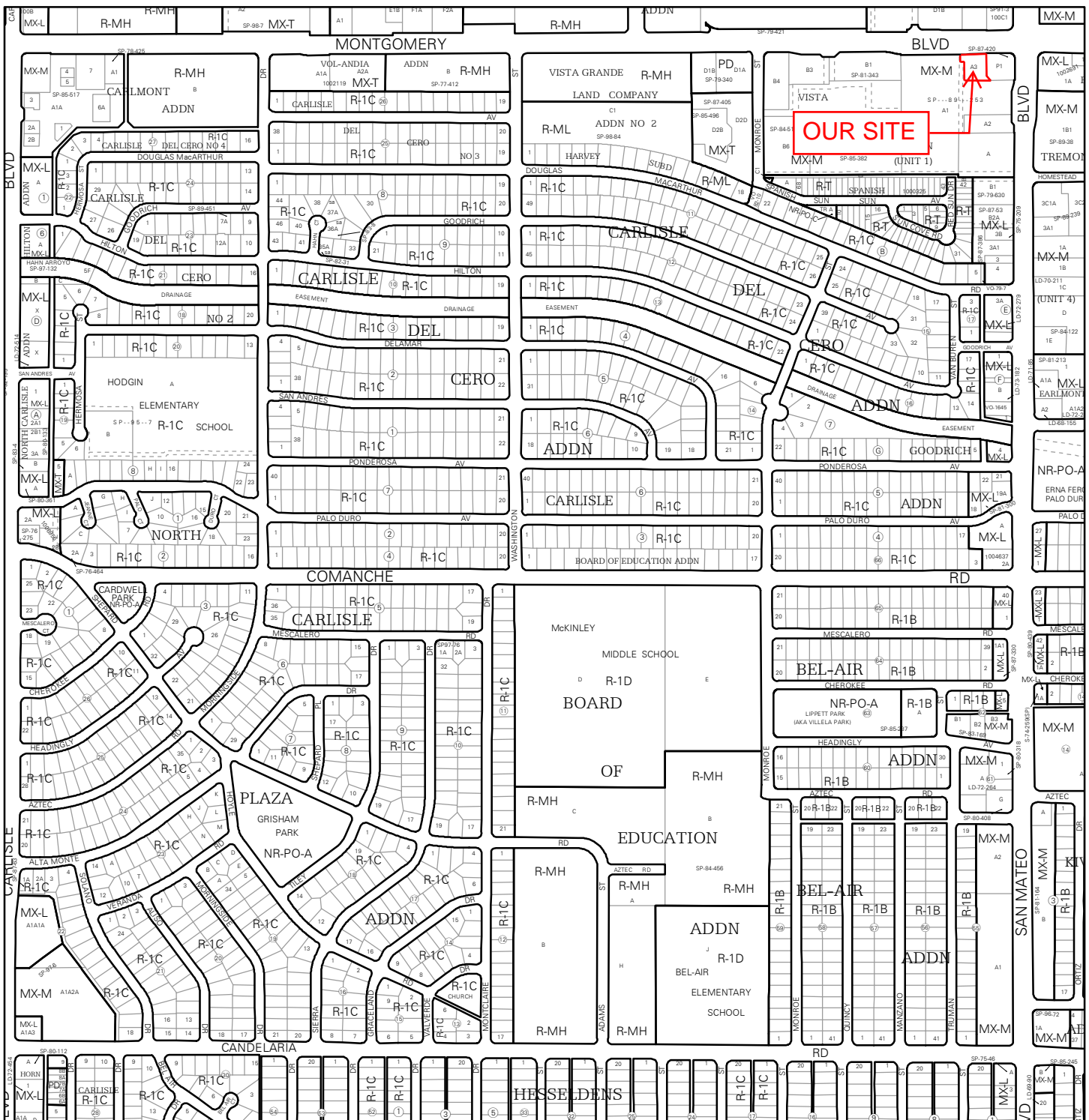
BOK Financial Corporation is the contract purchaser of the property. Thank you for your consideration.

Sincerely,

Colin Skipworth

Construction Manager, BOK Financial

11-10-2021



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
G-17-Z

- Easement
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Escarpment

Petroglyph National Monument

Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000 Feet

Administrative Amendment Justification Letter

Tim MacEachen, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

RE: 5000 Montgomery Blvd. NE – Administrative Amendment to Site Plan – DRB

Dear Chair MacEachen:

This letter is to request an Administrative Amendment to an approved Site Development Plan to the City of Albuquerque Planning Department for review and possible approval. The application will be submitted on or about 11/24/21 and I have been made to understand that The City's review process will take a minimum of 15 days from confirmed intake of the package, whereupon a final decision will be rendered.

The specifics of the project are as follows:

IDENTIFY THE LOCATION OF REQUEST & SIZE OF THE SITE

This is a request for an Administrative Amendment to an approved Site Development Plan. The site is approximately 0.39 acres and is located on Montgomery Boulevard between San Mateo Boulevard and Monroe Street. The site comprises Tract A-3, Block A, Vista Grande Addition, Unit 1. The applicant intends to build a 2,750 square foot restaurant with a drive-up lane and service window. This project is located at 5000 Montgomery Blvd. NE, Albuquerque, NM 87109 and is an existing commercial structure, formerly a Jack-In-the-Box fast-food restaurant, that is currently vacant. The proposed improvement will be less than \$500,000.

DESCRIBE THE REQUEST: WHAT IS BEING CHANGED OR EXPANDED AND WHY

This project consists of the remodel of an existing commercial building with some exterior improvements. All Life Safety devices, fixture counts to remain unchanged from the previously permitted space. The exterior of the building will consist of the removal and replacement of concrete pavement and sidewalk in order to widen the drive-thru to two lanes and make the new layout of the site accessible. The additional lane will not generate more trips due to the use of the site. A drive-thru bank is only expected to generate 101 trip per day while a fast food restaurant is expected to generate 471 trips per day. No new parking spaces will be added as the existing site has 13 parking spaces exceeding the 9 spaces required.

ADDRESS ANY ITEMS THAT MIGHT BE OF CONCERN TO NEARBY OWNERS / RESIDENTS

There are no concerns from nearby owners/residents that we have been made aware of.

PROVIDE A DRAWING OR SITE PLAN ILLUSTRATING THE REQUEST

Reference Civil Site Development Plans attached.

COPY OF OFFICIAL NOTICE OF DECISION

City of Albuquerque staff was unable to find a copy of the official notice of decision per Jay Rodenbeck. Reference attached email from Jay Rodenbeck.

JUSITIFICATION PER IDO 6-4(Z)(1)(a)

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
4. No deviations, Variances, or Waivers shall be granted for minor amendments.

This application can be reviewed at the City Planning Department offices in downtown Albuquerque at the Plaza del Sol building, located at 600 2nd Street NW. It is advised that you call the Planning Department at (505)924-3860 to schedule a visit so that the project file will be available upon your arrival. To arrange a visit to review this application, please contact the Current Planning Division at (505)924-3860.

If you have questions about this proposal, please contact me at (918)557-8788. If you have any concerns regarding this request, please contact the Current Planning Division at 924-3860 within the next 10 days to speak to the planner who will be reviewing the project.

Sincerely,



Chuck Hickl
Sr. Project Manager
Architects.INK



Danny Baldwin <danny.baldwin@wallace.design>

RE: Bank of Albuquerque Site Plan

1 message

Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Thu, Oct 21, 2021 at 1:51 PM

To: "Wolfenbarger, Jeanne" <jwolfenbarger@cabq.gov>, Danny Baldwin <danny.baldwin@wallace.design>

Cc: "Gould, Maggie S." <MGould@cabq.gov>

Good afternoon Danny,

Staff has determined that you can proceed with an Administrative Amendment (AA) application for the proposed Bank of Albuquerque development at 5000 Montgomery.

Attached are the application sheets for an AA, the Zone Atlas Map sheets, instructions for applying for an AA, and the original Site Plan approval, of which you need to include the pertinent sheets in your AA submittal.

The full submittal requirements for an AA are as follows:

1. Filled out and signed/dated application sheets (attached to this message).
2. Letter of authorization from the property owner if application is submitted by an agent.
3. Zone Atlas map with the entire site clearly outlined and labeled (attached to this message).
4. Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a).
5. A copy of all applicable sheets of the approved Site Plan being amended (attached to this message).
6. Copy of the Official Notice of Decision associated with the prior approval (I didn't find a Notice of Decision for the Site Plan, so just note in the justification letter that staff couldn't find one).
7. A copy of the proposed Site Plan, with changes circled and noted (you will need to circle and label the changes on copies of the pertinent original Site Plan sheets and include any additional sheets/elevations of your creation).
8. Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units (not necessary for the improvements you are proposing).
9. A PDF file of the complete application, including all plans and documents, emailed to PLNDRS@cabq.gov, and jrodenbeck@cabq.gov. For files larger than 9 MB in size, please send an email to PLNDRS@cabq.gov and request

that staff send you a link via Smartfile to upload the files to.

In your justification letter, please note that you will need to justify your AA as follows:

6-4(Z)(1)(a) Minor Amendments

The Planning Director may grant minor amendments that meet the following requirements:

1. The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.
2. The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.
3. The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.
4. No deviations, Variances, or Waivers shall be granted for minor amendments.

Please note that per 5-6(B)(4) of the IDO, if the renovation or redevelopment is going to be more than \$500,000 (which in your conversation with me you asserted it would almost certainly be), then the landscaping, buffering, and screening provisions of 5-6 of the IDO apply to your proposed development. **Either you will need to meet the requirements of the IDO for the landscaping, or you will need to meet the landscape requirements of the original Site Plan which is attached.** For questions about landscaping, you can reach out to Maggie Gould who is copied in this message.

For your reference, the following link is to the IDO:

[IDO - 2020 Annual Update \(cabq.gov\)](https://www.cabq.gov/ido/2020-annual-update)

The application fee is \$51. You can pay the fee online once you submit your application submittal and we accept it, after which our clerks will send you an invoice and help you with the online payment.

WeTransfer Instructions:

You will initially be directed to a page which gives you the option of going to the free version of the site (send up to 2 GB at a time), or the subscription-based version of the site (send up to 20 GB at a time). Click on the link to the free

version of the site, and you will be directed to the free version of the site (a screenshot of the WeTransfer webpage is attached). You just add the email address(es) to send files to, add your files and a message of what you're sending, then click the "Transfer" icon.

When you receive files from a sender on WeTransfer, you will receive an email from the sender. Within the email message is an icon labeled "Get your files" that you click on to download the files from the sender (a screenshot of an email from a sender is attached). Once you click on that icon, a webpage appears with a "Download" icon. Just click on the "Download" icon, and the files sent to you will then download onto your computer. Once you download the files, you can place them where you want. If the sender sends more than one file to you, you will be send a Zip file which you will have extract the individual files from.



Jay Rodenbeck

Senior Planner

o 505.924.3994

e jrodenbeck@cabq.gov

cabq.gov/planning

From: Rodenbeck, Jay B.

Sent: Thursday, October 21, 2021 12:04 PM

To: Wolfenbarger, Jeanne <jwolfenbarger@cabq.gov>; Danny Baldwin <danny.baldwin@wallace.design>

Subject: RE: Bank of Albuquerque Site Plan

Hi Jeanne,

We are having an internal (staff) discussion about the proper application process for Danny's project. Leroy Duarte in UD&D informed Danny they would have to go through a Major EPC Site Plan Amendment, and we (staff) are in the process of determining if Danny will in fact have to go through that process or be able to apply for an Administrative Amendment.

Project Team

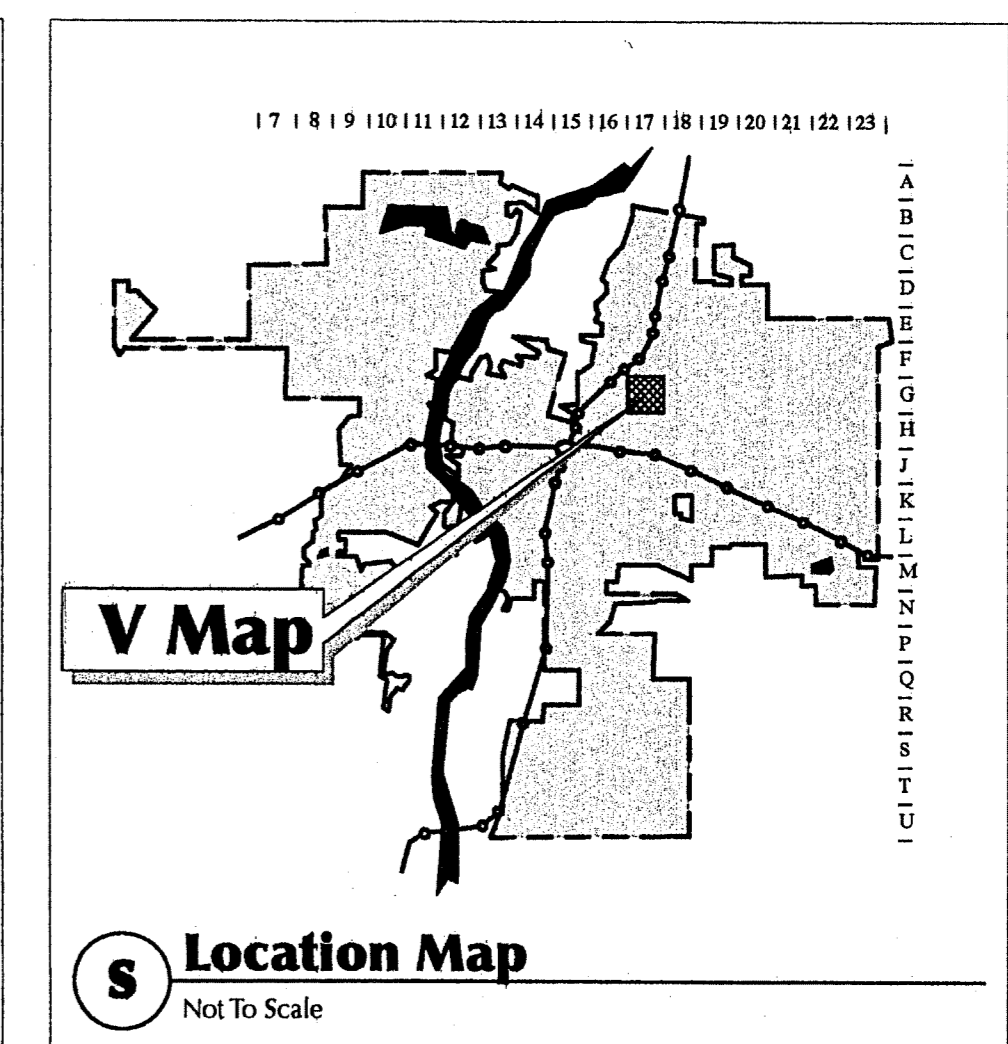
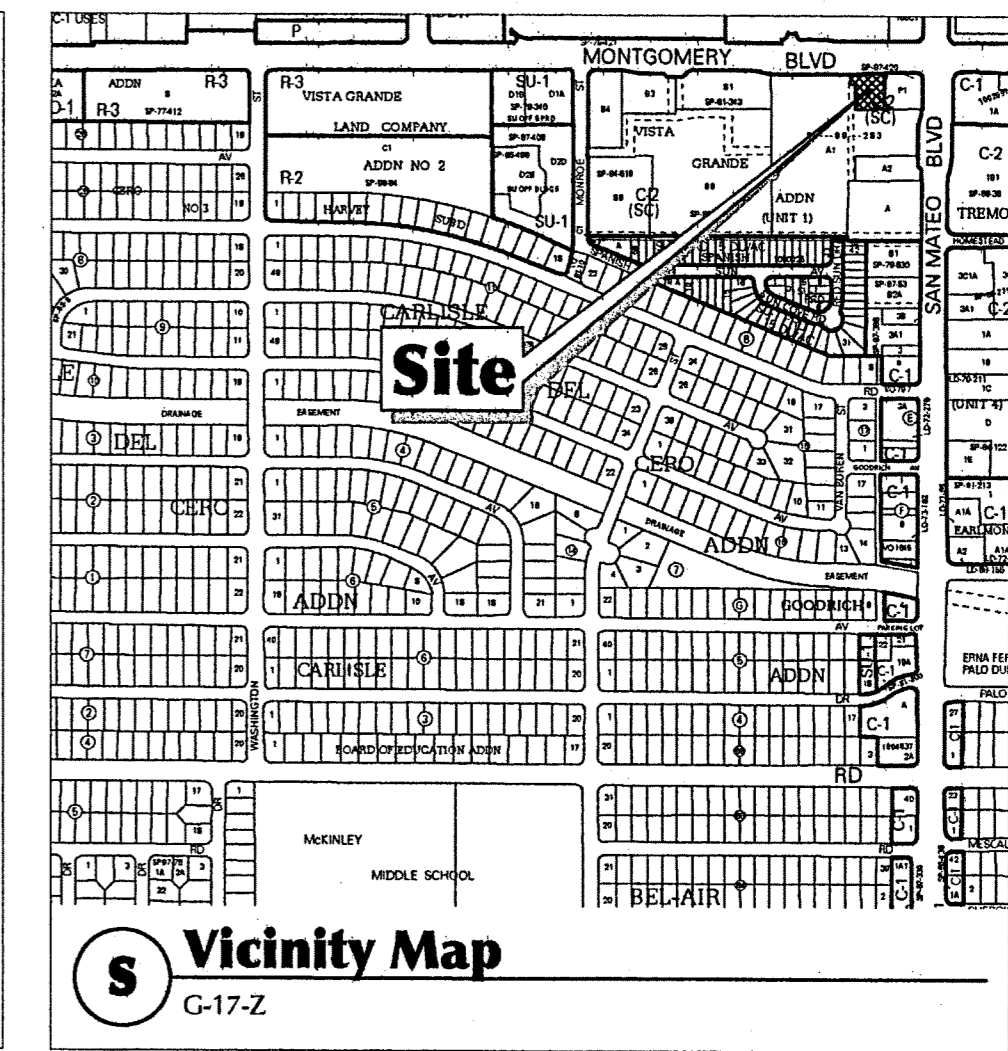
OWNER
 Estrella del Rio Grande, Inc.
 2715 Broadbent Parkway NE Unit A
 Albuquerque, NM 87107
 505-792-2752
 E-mail: edrgnm@aol.com
 Contact: Mr. Blaine Wiles

ARCHITECT
 James C Lewis Architect
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 247-1529
 Fax: (505) 243-6701
 E-mail: gdl@mac.com
 Contact: James C Lewis

PLANNING
 Consensus Planning
 302 Eight Street NW
 Albuquerque, NM 87106
 (505) 764-9801
 Fax: (505) 842-5495
 E-mail: cp@consensusplanning.com
 Contact: Jim Strozier

Site Development Plan for Building Permit Carl's Jr. Restaurant

5000 Montgomery Boulevard NE • Albuquerque, NM 87109



Project Summary

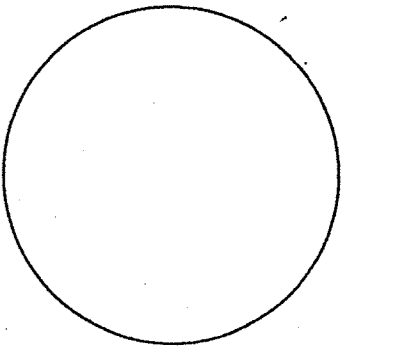
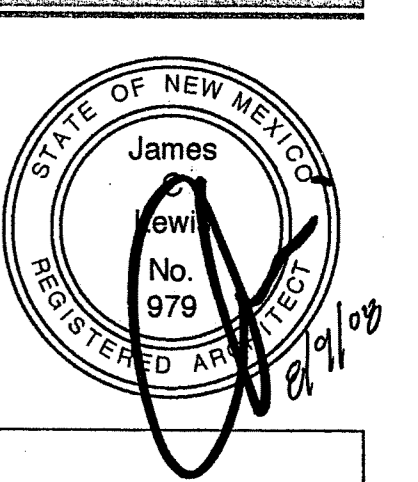
This project incorporates approximately 2,750 square feet quick serve type restaurant building including drive through window for a Carl's Jr. restaurant. The proposed development is less than a 2% increase in size from the existing development.

The project includes towers, and awnings. The service window is located under a covered canopy that acts to shield the window from the street. The site features the building located toward the street with a large landscape buffer that screens the drive through lane with the parking located toward the back of the site.

The building use is compatible with the surrounding development, as is the style which is single story retail and restaurant. The color scheme, building materials and landscaping is similar to the surrounding development.

Sheet Index

- SDP-1** Cover Sheet
- SDP-2** Conceptual Site Plan
- SDP-3** Landscape Plan
- SDP-4** Grading & Drainage Plan
- SDP-5** Exterior Elevations
- SDP-6** Utility Plan Site



James C Lewis Architect
 General Design, Inc.
 1620 Central Ave. SE
 Albuquerque, NM 87106
 (505) 247-1529 • gdl@mac.com
 Architecture & Planning

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Site Development Plan for Building Permit
Carl's Jr. Restaurant
 5000 Montgomery Boulevard NE
 Albuquerque, NM 87109

ISSUE DATE:
 30 June, 2008

REVISIONS:
 09 September, 2008

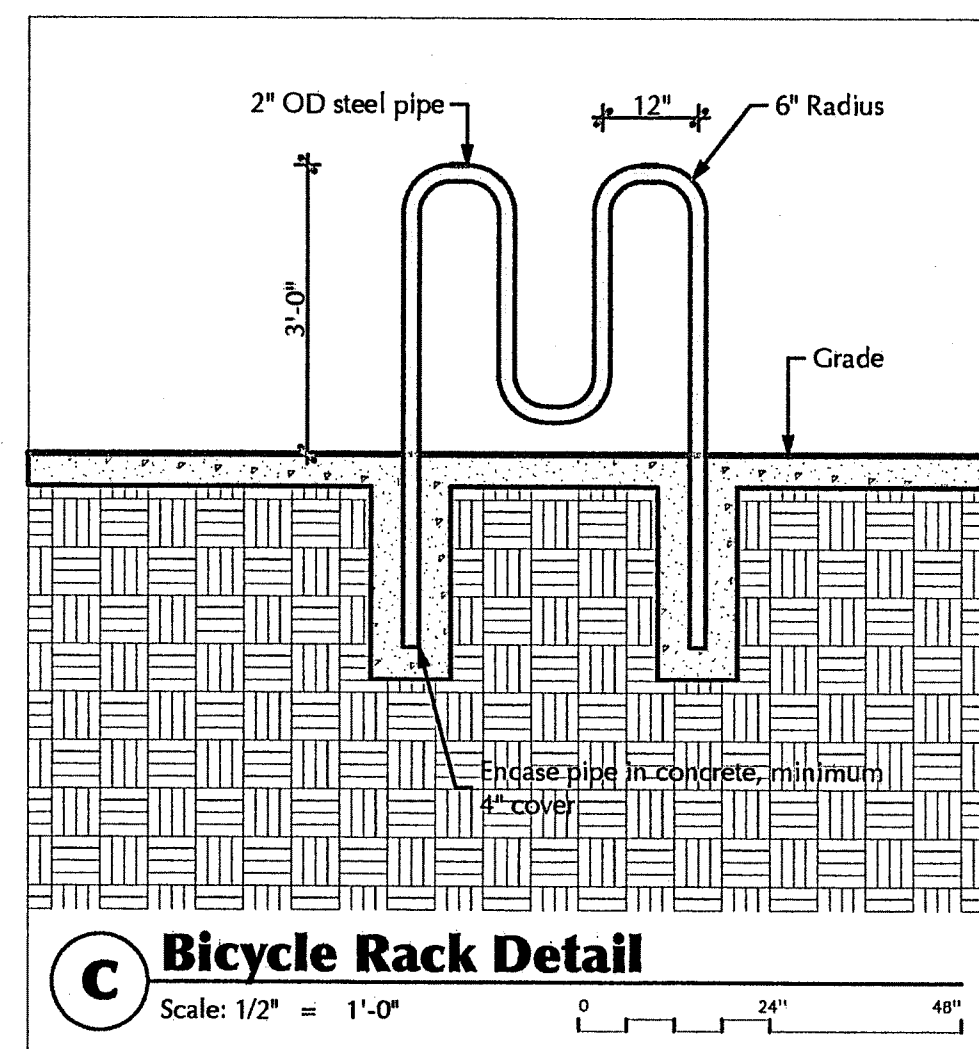
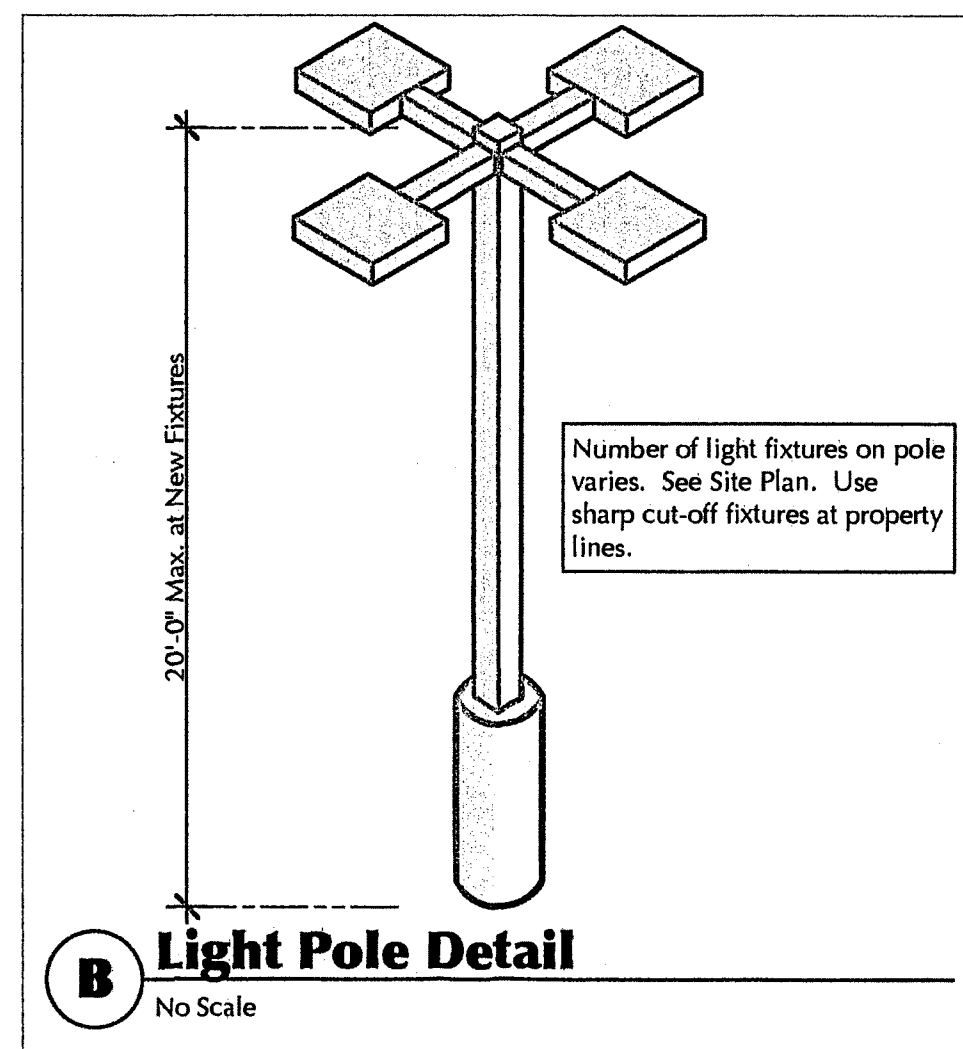
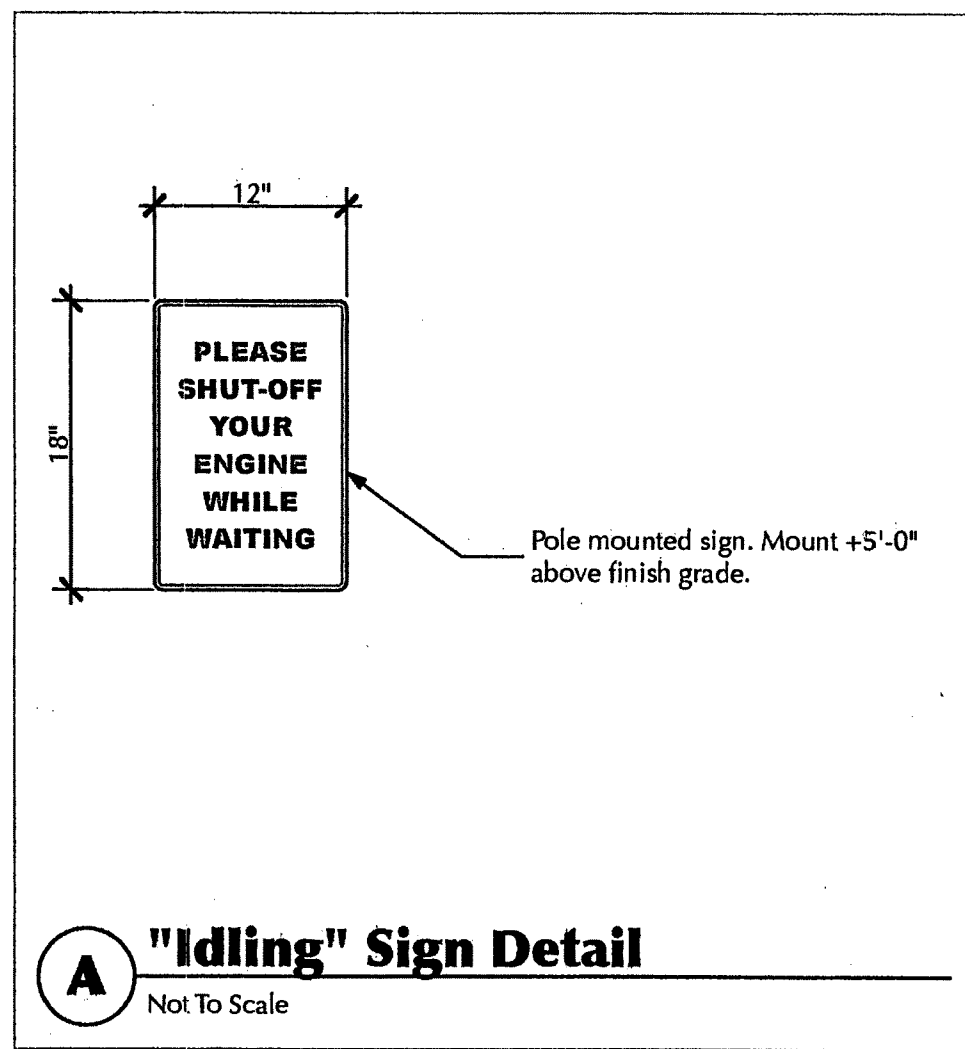
PROJECT # 2007-0733

Cover Sheet

SHEET
SDP-1

1 OF 6

ZONING



Project Info

ADDRESS
5000 Montgomery Boulevard NE
Albuquerque, NM 87109

LEGAL DESCRIPTION
Lot: A3, Block: A
Subdivision: Vista Grande Addition Unit One
UPC: 101706050351711613

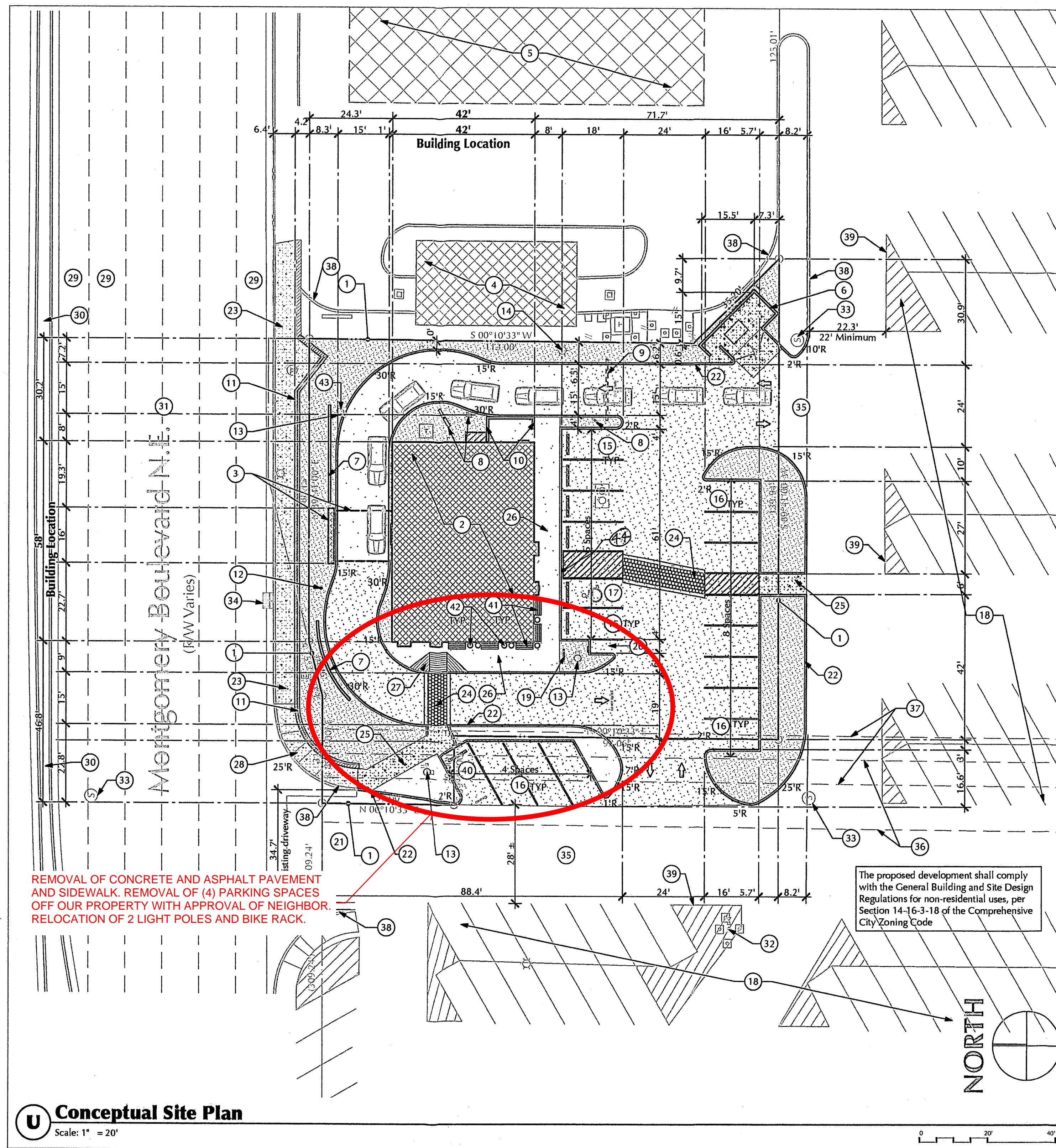
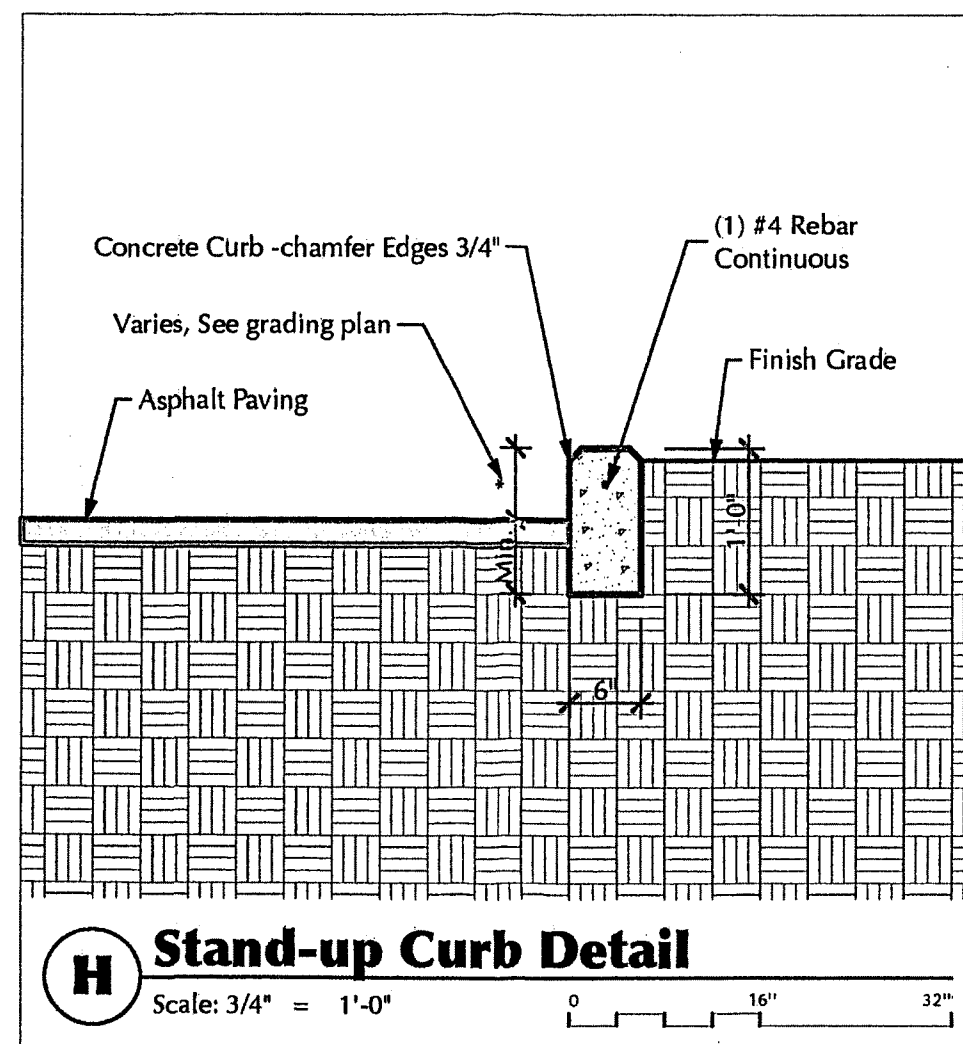
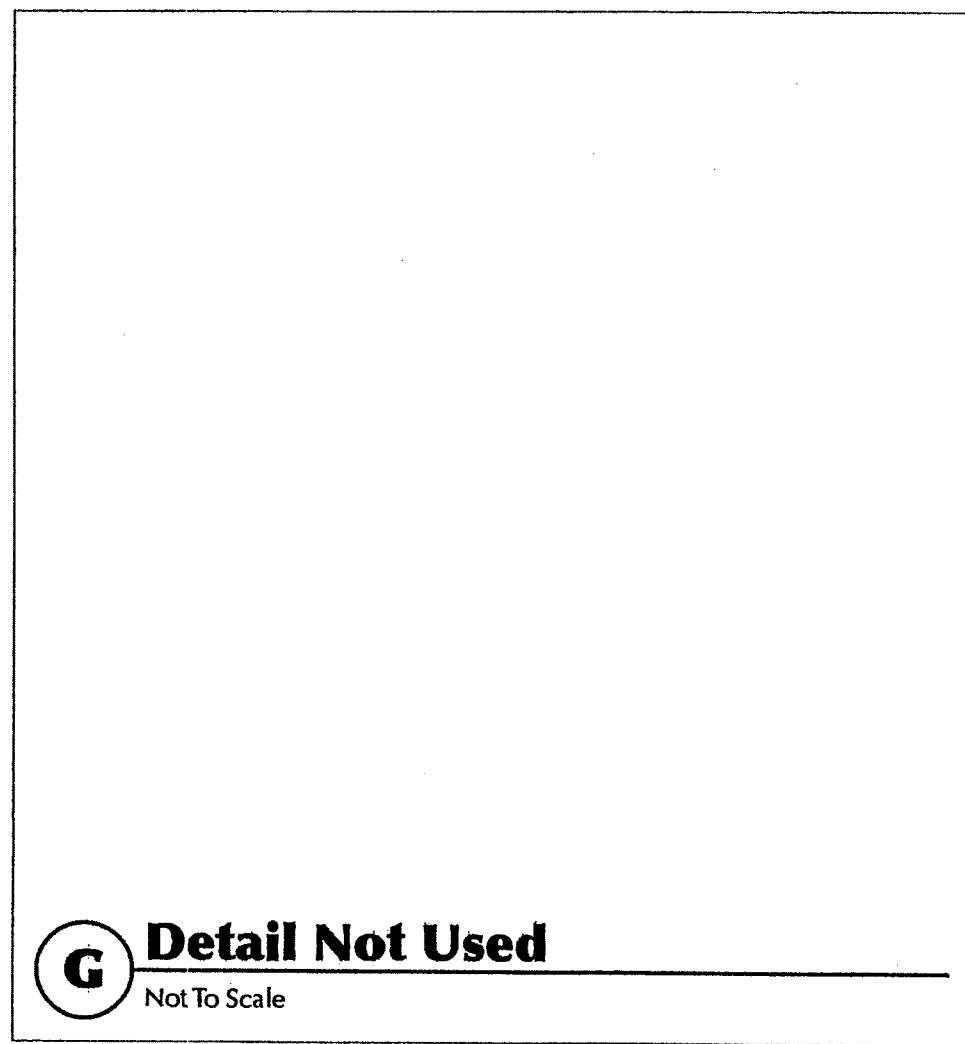
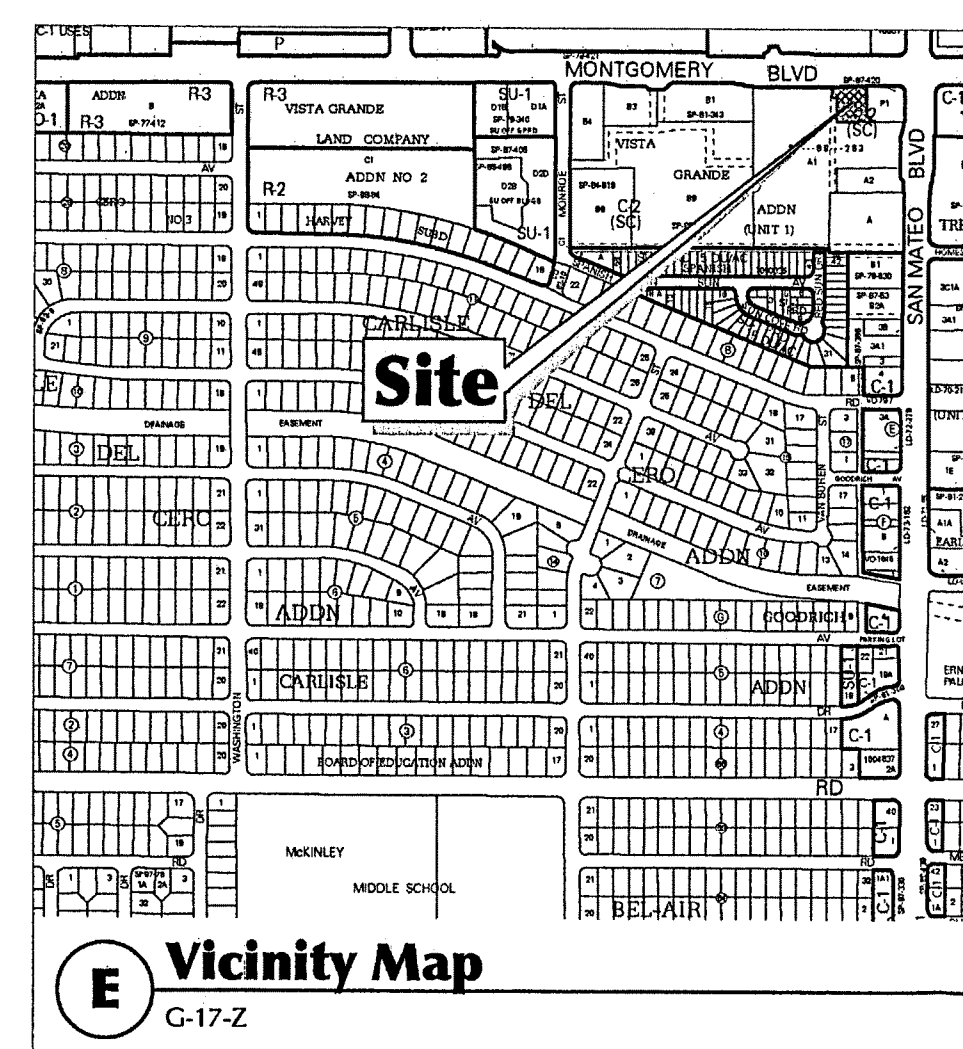
PLANNING INFORMATION
Zone Atlas Page: G-17-Z
Land Use Zoning: C2 (SC)

PARKING
Required:
Restaurant: (1 space per 4 seats) 62/4 = 15.5
Bus Discount 10% (15.5x0.1=1.5) 1.5
Total required 14 Spaces
Provided:
Standard Spaces 13 Spaces
HC Space 1 Space
Total 14 Spaces

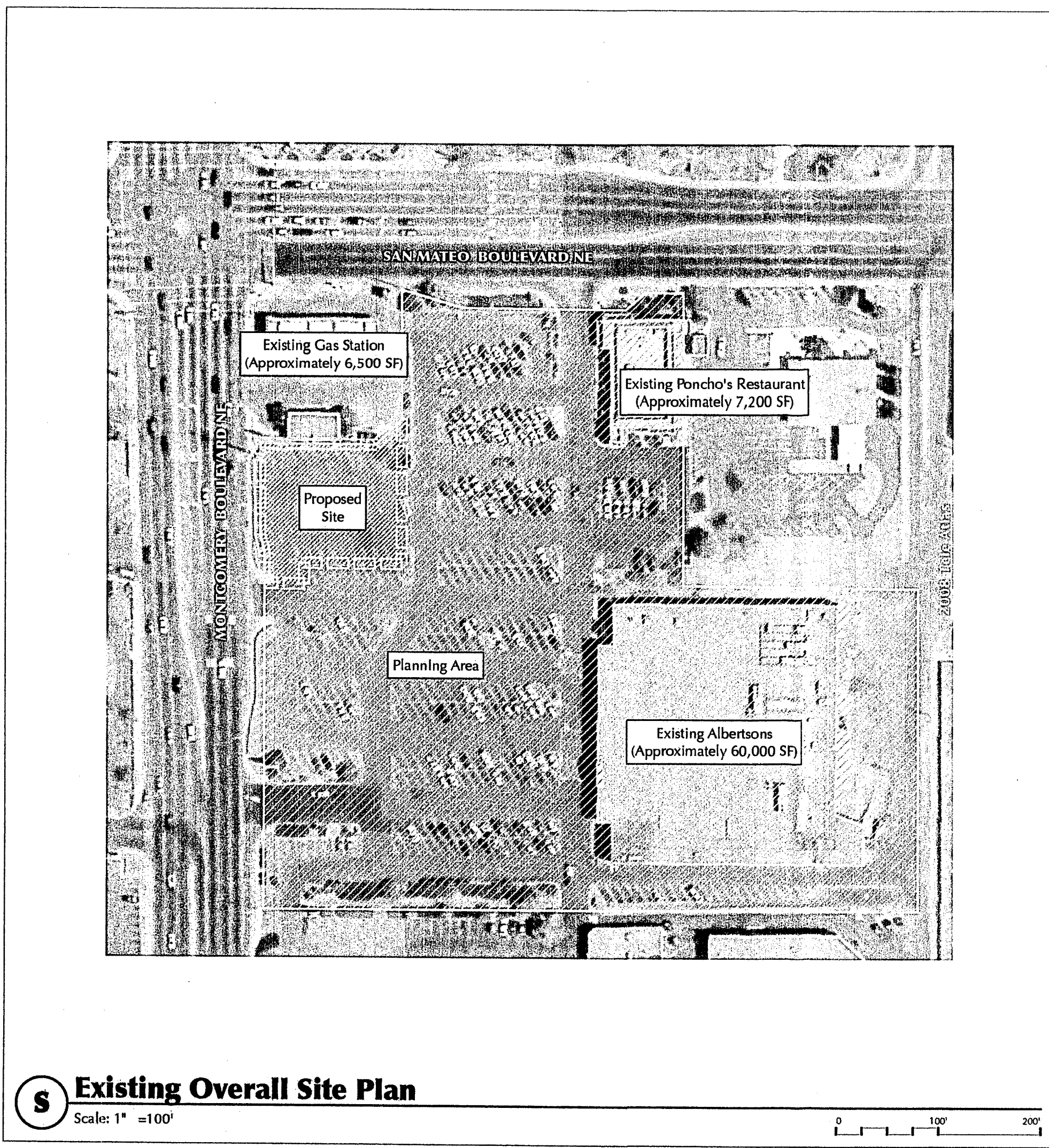
Note: Tract A-3 is subject to a reciprocal, non-exclusive easement over and through and across this parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, Page 575, AS document 77-74436)

BICYCLE PARKING (1 space per 20)
Required: 2 Provided: 2

MOTORCYCLE PARKING (1 space per 25)
Required: 1 Provided: 1



- Keyed Notes**
- Property line (typical)
 - Proposed Carl's Jr. restaurant building location (2,459 SF heated +291 SF Covered = 2,750± Total square feet)
 - Cover over drive-thru service window
 - Existing car wash building (part of adjacent development)
 - Existing gas filling canopy building (part of adjacent development)
 - Dumpster enclosure - see elevation, detail 'L' on sheet SDP-5
 - 3 foot high screen wall. See detail 'T' on sheet SDP-5.
 - Drive through menu sign and order station or preview menu sign
 - Drive through clearance bar
 - Garden screen wall with gate
 - Existing retaining wall with guard rail
 - 25 foot tall flag pole
 - Proposed 20'-0" tall site light fixture
 - Existing site 50±' tall lighting fixture to remain
 - Parking space 9'-0" wide x 18' with concrete wheel stop (along sidewalk)
 - Parking space 9'-0" wide x 16' (along landscaping)
 - Typical HC parking space 9'-0" x 18' with concrete wheel stop. Provide an 8' wide handicap aisle for van space. Slope asphalt so that the asphalt is flush with the sidewalk, thus requiring no ramp.
 - Existing shopping center parking
 - Bicycle rack (2 spaces minimum)
 - 6'x8' motorcycle parking space with upright sign
 - Existing entrance for shopping center
 - Typical concrete curb - see detail 'H' on this sheet
 - Existing 6± foot wide concrete sidewalk
 - Proposed 6 foot wide stamped concrete crosswalk with 11' wide painted markings on each side of crosswalk
 - Proposed 8 foot wide concrete sidewalk with 5% maximum grade
 - Proposed 8 foot wide minimum concrete sidewalk
 - Concrete curb ramp 1:12 SLOPE MAX
 - Existing concrete curb ramp
 - Existing turn lane
 - Existing street median
 - Bus route 157 runs along Montgomery and routes 140, and 141 run along San Mateo with a bus stop directly to the east on the site.
 - Existing fire hydrant
 - Existing manhole
 - Existing storm sewer inlet
 - Tract A-3 is subject to a reciprocal, non-exclusive easement over, through and across its parcel for parking, pedestrian traffic and pedestrian access. (Misc. 573, page 575, as document 77-74436)
 - 20' underground utility easement (10/12/89, C40-14)
 - 14' underground utility easement (10/12/89, C40-14)
 - Existing concrete curb
 - Existing parking striping
 - Compact parking space 9'-0" wide x 15' (paint "COMPACT" at front of space)
 - 5 foot long (minimum) bench with back
 - Potted plant in 18" diameter (minimum) planter
 - "Idling" sign. See detail 'A' on this sheet
 - FLUSH SIDEWALK IS FLUSH WITH ASPHALT



PROJECT NUMBER: 1007255
Application Number: 08EPC 40076
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 21 August, 2008 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

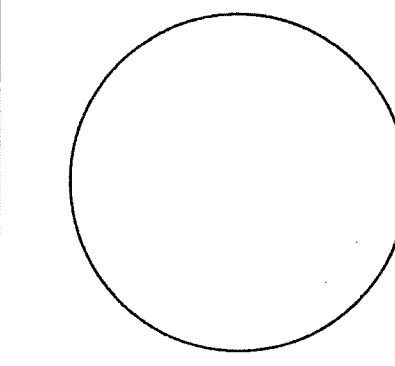
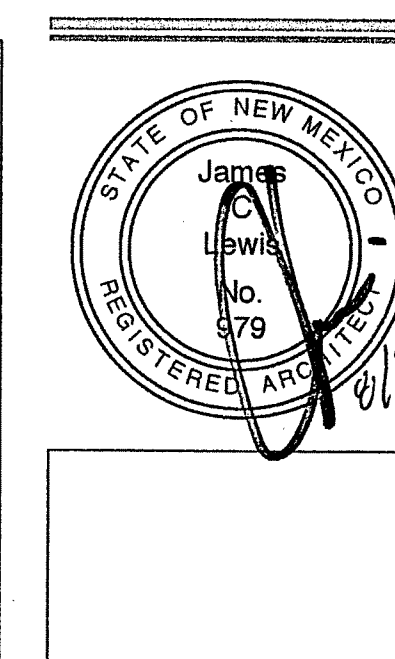
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<i>[Signature]</i>	Date: 9/24/08

PROJECT # 2007-0733

Conceptual Site Plan

SHEET SDP-2

2 OF 6



James C. Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529 • gdl@mac.com

Architecture & Planning

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Site Development Plan for Building Permit

Carl's Jr. Restaurant

5000 Montgomery Boulevard NE
Albuquerque, NM 87109

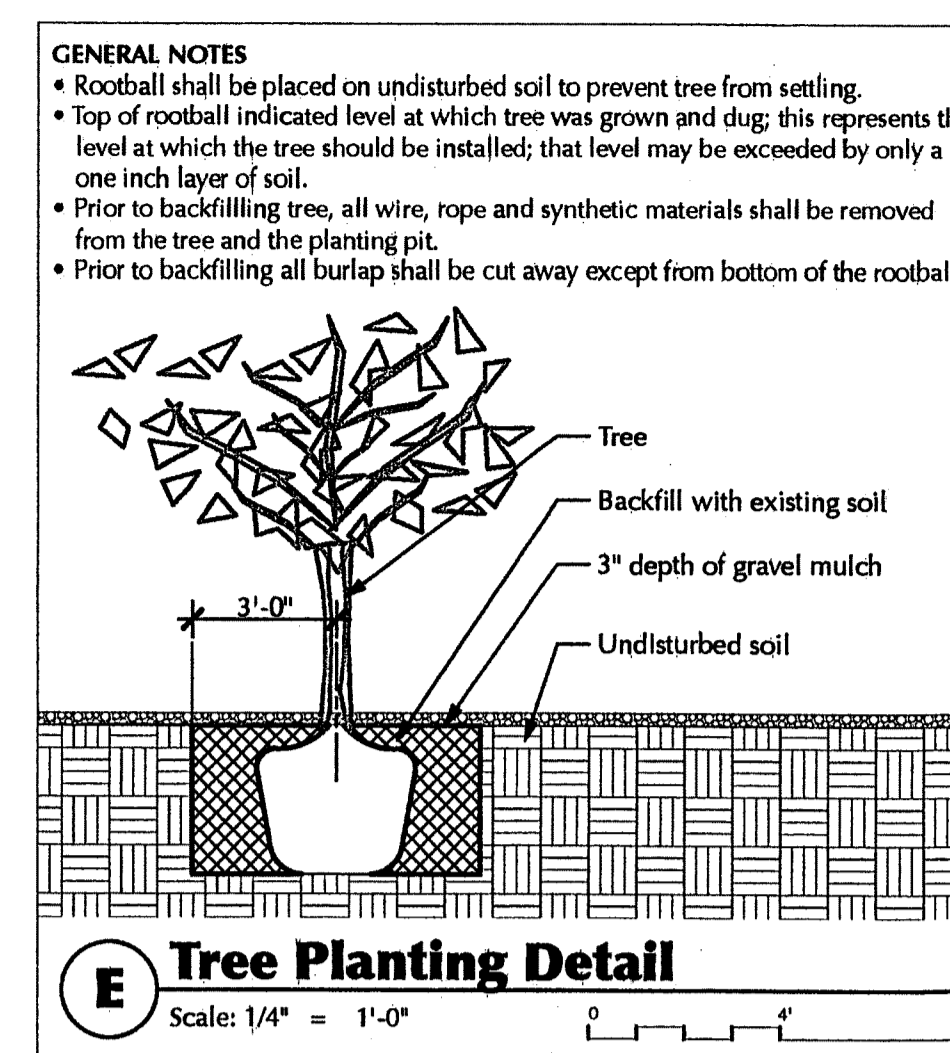
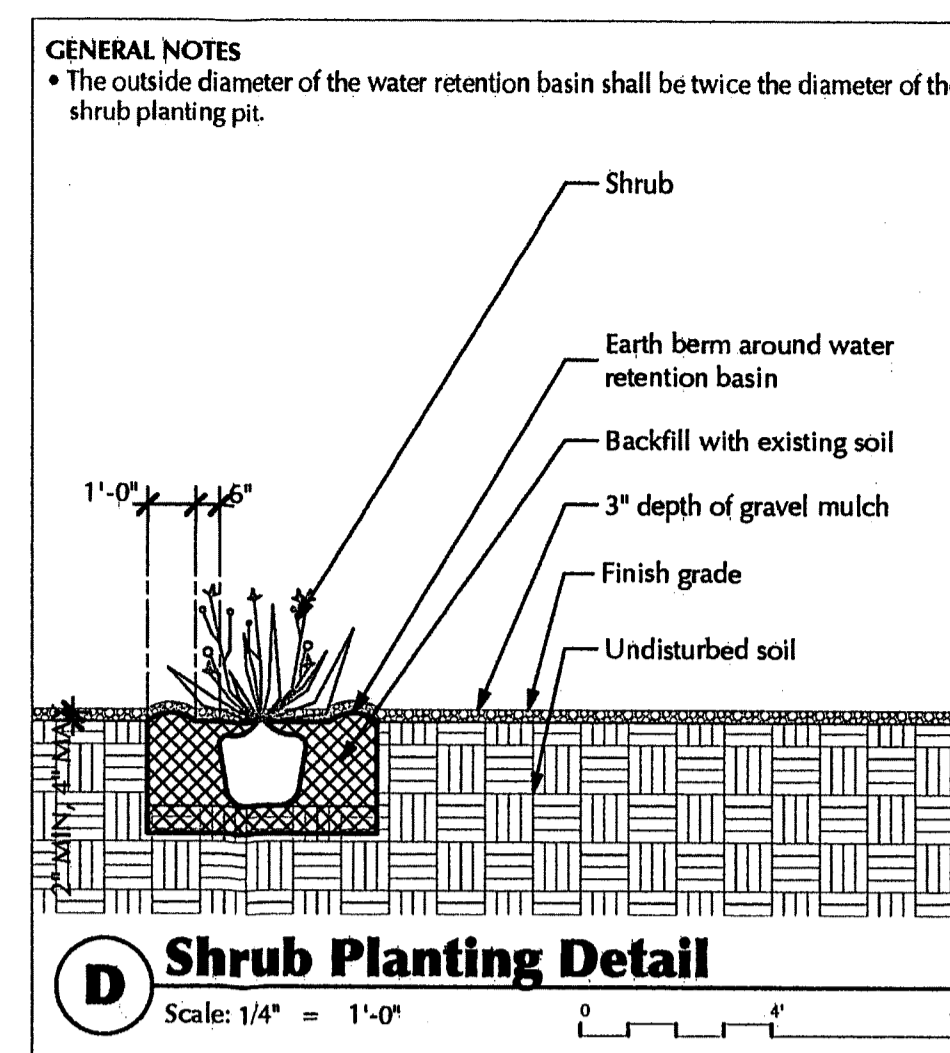
ISSUE DATE:
30 June, 2008

REVISIONS:
09 September, 2008

A Detail Not Used
Not To Scale

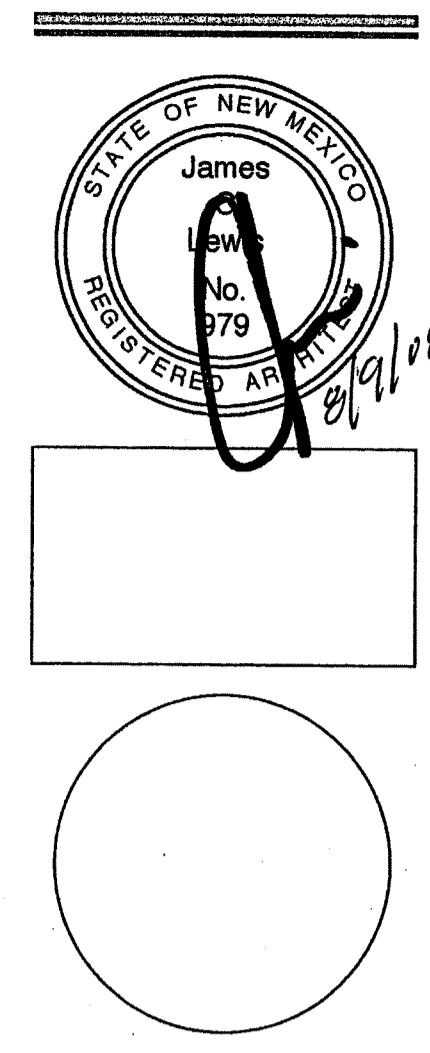
B Detail Not Used
Not To Scale

C Detail Not Used
Not To Scale



Landscaping Calculations

LANDSCAPE CALCULATIONS	
Total Lot Area	16,893 Square Feet
Total Building Area	2,750 Square Feet
Net Lot Area	14,143 Square Feet
Landscaping Requirement	15%
Total Landscape Requirement	2,121 Square Feet
Total Bed Provided	4,647 Square Feet
Groundcover Required	75%
Total Groundcover Required	3,400 Square Feet
Total Groundcover Provided	3,459 Square Feet (76%)
Total Ponding Area	0 Square Feet
Total Sod Area	0 Square Feet
Total Native Seed Area	0 Square Feet
Total Landscaping Provided	4,647 Square Feet (27%)
STREET TREE REQUIREMENTS	
Provided at 30' on center along street	3 large +1 accent=4
PARKING LOT TREE REQUIREMENTS	
1 Shade tree per 10 spaces	
(22 spaces/10=2.2 trees)	
Required 3	Provided 3



G Detail Not Used
Not To Scale

Landscaping Notes

GENERAL
The design and provision of landscaping for this project will be in conformance with the City of Albuquerque Zoning Code, Pollen Ordinance, and the Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally-sound landscape principles will be followed in design and installation. The landscape design focuses on strategies to achieve a sustainable site, water reduction, and landscape aesthetics. The design is to be constructed in keeping with sustainable practices of increasing the efficiency of landscape/open space and their use of energy, water and materials through better design, construction, operation, and maintenance.

MULCHES
All shrub planting areas shall be top dressed with a combination of Santa Fe Brown Crusher Fines, 7/8" Santa Fe Brown Rock Mulch, 2"-4" Santa Ana Tan Cobble. The cobble should be used in areas that require accenting. The cobble swales located within the site shall provide drainage and water harvesting opportunities. Mulches will suppress weed growth, isolate plant roots from both heat and cold temperatures, extending periods of active root growth, ultimately aiding plant growth and vigor.

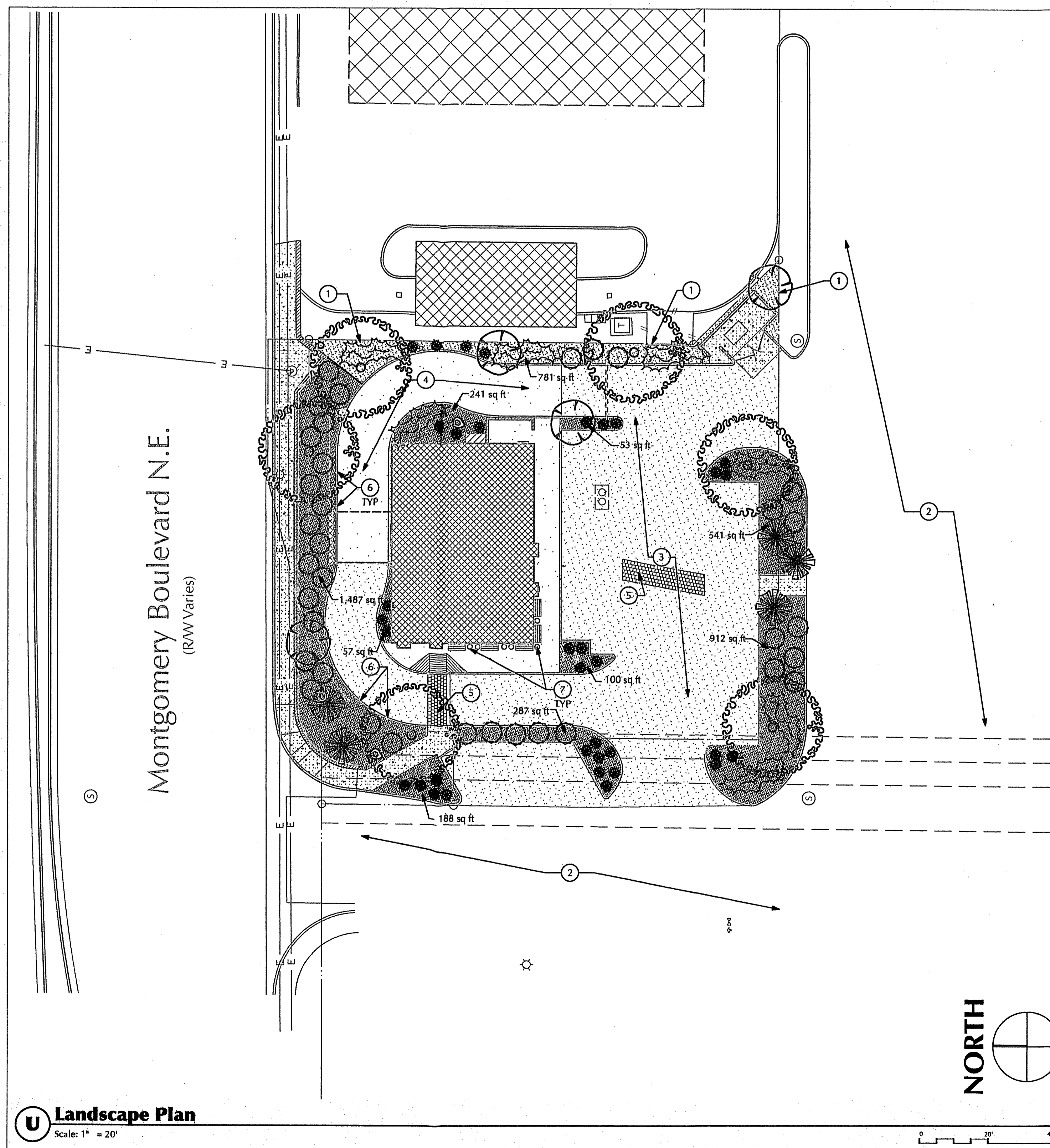
STATEMENT OF WATER WASTE
All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

IRRIGATION
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub, and groundcover planting areas. Irrigation system design shall consider the ability to easily provide additional emitters for the expanding root zone. Trees shall receive (5) 1.0 gph emitters and shrubs shall receive (2) 1.0 gph emitters. Irrigation system to consist of Rain Bird 1400 series bubblers and Rain Bird PERB series valves; and controlled by a Rain Bird ESP-LX series controller. Pop-up spray heads will be used as the turf irrigation methods, and are to be spaced evenly to reduce water waste. Trees shall be zoned separately from shrubs, perennials, and grasses. Plant beds shall achieve 75% live ground cover at maturity.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the owner. All plants and sod areas shall be guaranteed for one year from date of installation. Any plants that are not of satisfactory vigor shall be replaced at no additional expense to the owner. After two growing seasons, adjustments to plant watering will need to be made by reducing irrigation to established drought resistant plant material. Water management will vary from season to season and year to year to compensate for variations in rainfall, heat and wind. The irrigation and maintenance will need to be adjusted accordingly.

STREET TREES
The street trees along Montgomery Boulevard comply with the Street Tree Ordinance, in that there is clustering of street trees of which the number of trees planted equals the number of trees that would be required if the trees were evenly-spaced. Also, according to the ordinance, every third street tree along Montgomery Boulevard may be an accent tree to promote variety in color, texture, form and height along the street way.

LANDSCAPE COVERAGE
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area. The proposed plantings are to be established for general landscaping purposes for the site.



Plant Legend

TREES	Name/Size	Water Usage	Qty	Height/Spread
	ASH	(H)	6	25'/25'
	HONEY LOCLUST Gleditsia triacanthos 2" Cal.	(M+)	6	80'/80'
	PURPLE-LEAF PLUM Prunus spp. 2" Cal.	(M)	4	20'/20'
ACCENTS				
	PALM YUCCA Yucca faxoniana 2 Gal.	(L)	5	15'/6'
SHRUBS- 5 GALLON				
	RED TIP PHOTINIA Photinia fraseri 5 Gal.	(M)	36	8'/8'
	BLUE MIST SPIREA Caryopteris clandonensis 5 Gal.	(M)	38	3'/3'
	TAM JUNIPER Juniperus sabinia 5 Gal.	(L+)	14	6'/4'
	(Symbol indicates 2 plants)			
HARDSCAPES				
	Boulders		2	
	3/4" Gray gravel with filter fabric			
	Santa fe brown crusherfines with filter fabric			
	Commercial grade steel edging			

Keyed Notes

- Blend existing gravel into new landscaping
- Existing asphalt paving
- Proposed asphalt paving
- Proposed concrete paving
- Stamped concrete
- Cuts in curb for rain water
- Flowering plants in pot

M Detail Not Used
Not To Scale

S Detail Not Used
Not To Scale

James C Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-5225
jcl@jclarch.com

Architecture & Planning

Site Development Plan for Building Permit
Carl's Jr. Restaurant
5000 Montgomery Boulevard NE
Albuquerque, NM 87109

ISSUE DATE:
30 June, 2008

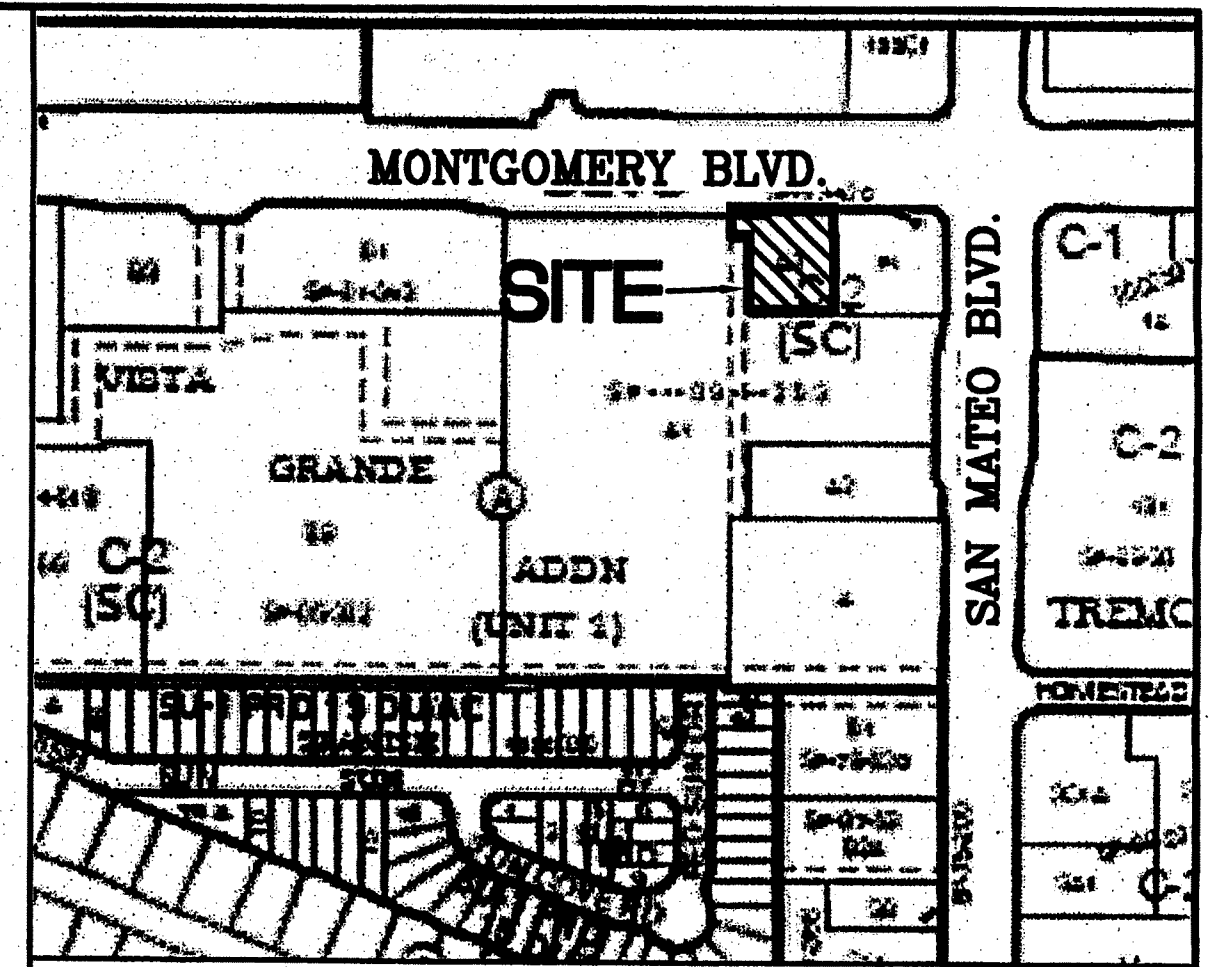
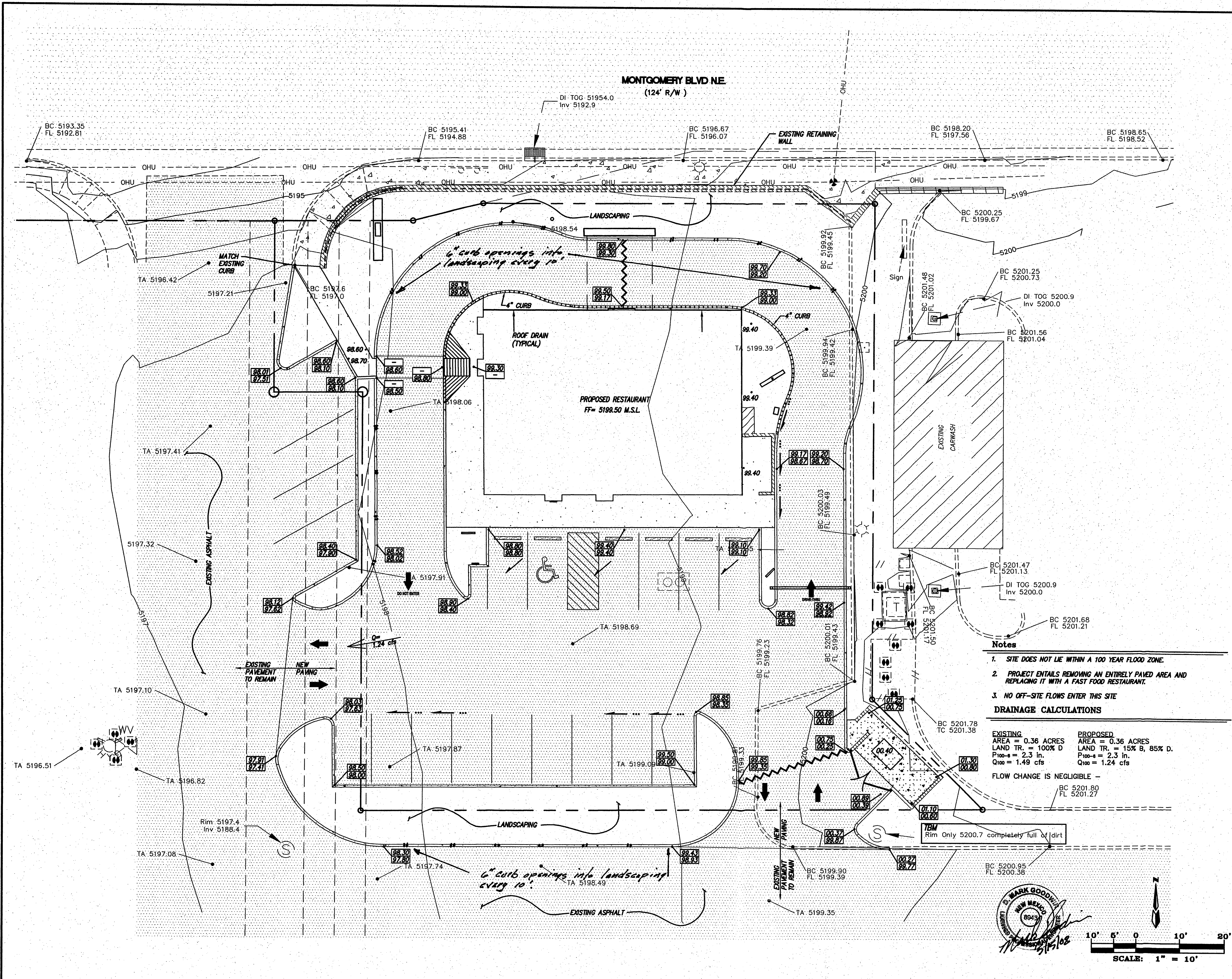
REVISIONS:

09	September, 2008

PROJECT # 2007-0733

Landscape Plan

SHEET
SDP-3
3 OF 6



VICINITY MAP ZONE MAP: G-17-Z

TBM (TEMPORARY BENCHMARK)

TOP OF MANHOLE COVER @ S.E. CORNER.
ELEVATION = 5200.70

ACS BENCHMARK

ACS BENCHMARK 10-F18. A City of Albuquerque 1 3/4" aluminum disk, stamped "ACS BM, 10-F18", applied to top of concrete drop inlet, ENE quadrant of Montgomery Blvd. & San Mateo Blvd. NE, centered on said drop inlet.

LEGAL DESCRIPTION

TRACT A-3, BLOCK A, VISTA GRANDE ADDITION, UNIT ONE, ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 12, 1989, IN PLAT BOOK C40, PAGE 14.

LEGEND

78.50	PROPOSED SPOT ELEVATION
FF= 78.50	FINISHED FLOOR ELEVATION
	PROPOSED DRAINAGE FLOW
	PROPOSED TOP OF CURB
	PROPOSED FLOWLINE
5135	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING TOP OF CURB
	EXISTING FLOWLINE
x 00.00	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER VALVE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING POWER POLE
	EXISTING TELEPHONE PEDESTAL
	EXISTING FIRE HYDRANT
	EXISTING STORM SEWER MANHOLE
	EXISTING DROP INLET
	EXISTING STORM DRAIN
	EXISTING GAS LINE
	NEW PROPERTY LINE
	NEW 6" CURB & GUTTER
	NEW 4" CURB & GUTTER
	NEW SIDEWALK
	NEW WALL
	NEW BUILDING
	NEW SIGNS
	EXISTING PAVEMENT
	NEW PAVEMENT

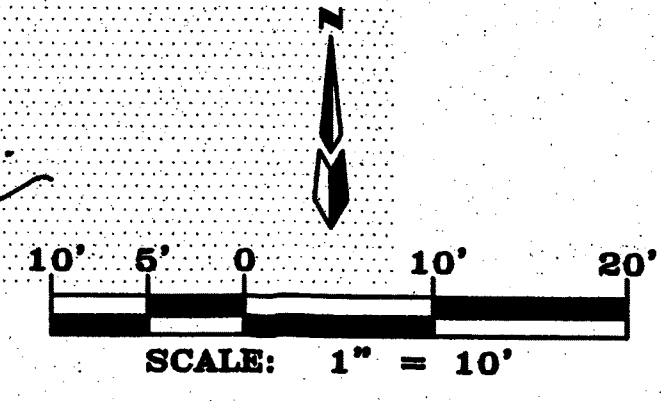
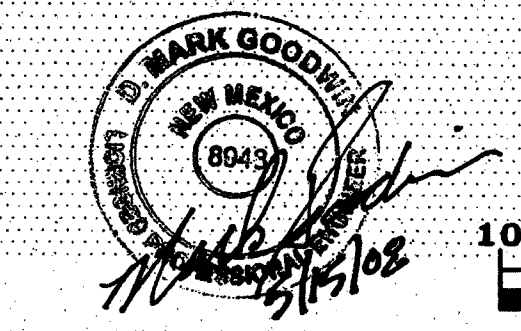
- Notes**
- SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
 - PROJECT ENTAILS REMOVING AN ENTIRELY PAVED AREA AND REPLACING IT WITH A FAST FOOD RESTAURANT.
 - NO OFF-SITE FLOWS ENTER THIS SITE

DRAINAGE CALCULATIONS

EXISTING AREA = 0.36 ACRES	PROPOSED AREA = 0.36 ACRES
LAND TR. = 100% D	LAND TR. = 15% B, 85% D.
P100-e = 2.3 in.	P100-e = 2.3 in.
Q100 = 1.49 cfs	Q100 = 1.24 cfs

FLOW CHANGE IS NEGLIGIBLE -

BC 5201.80 FL 5201.27
TBM Rim Only 5200.7 completely full of dirt

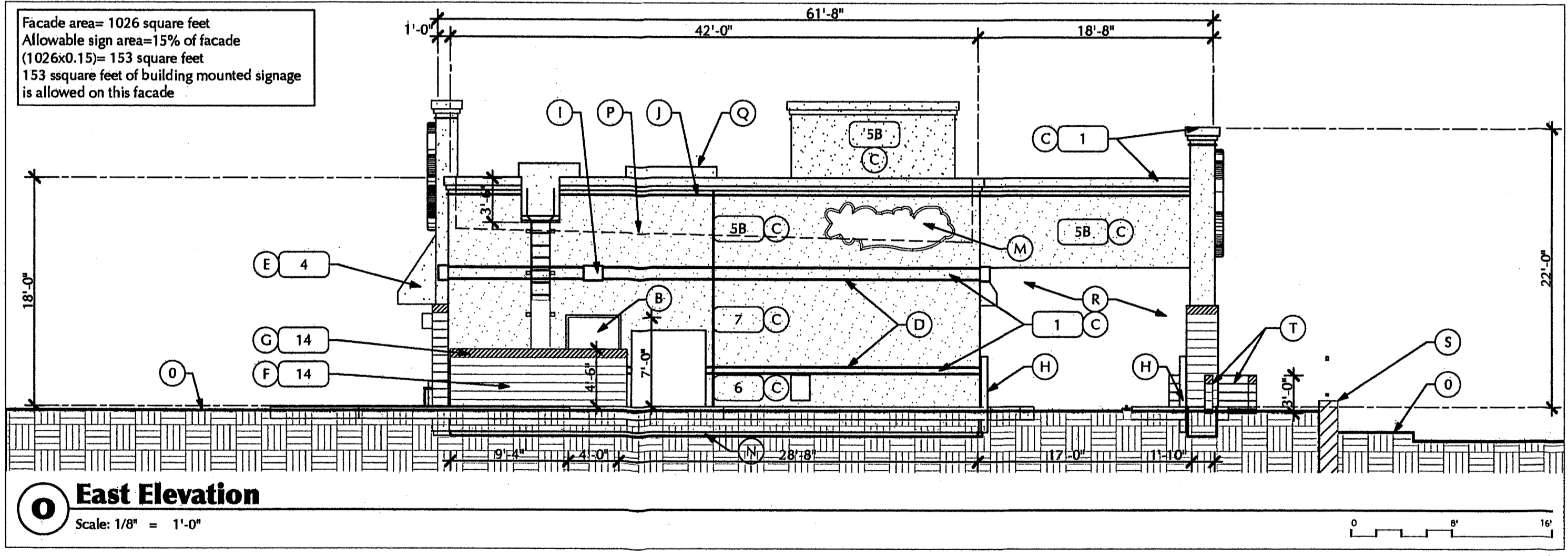
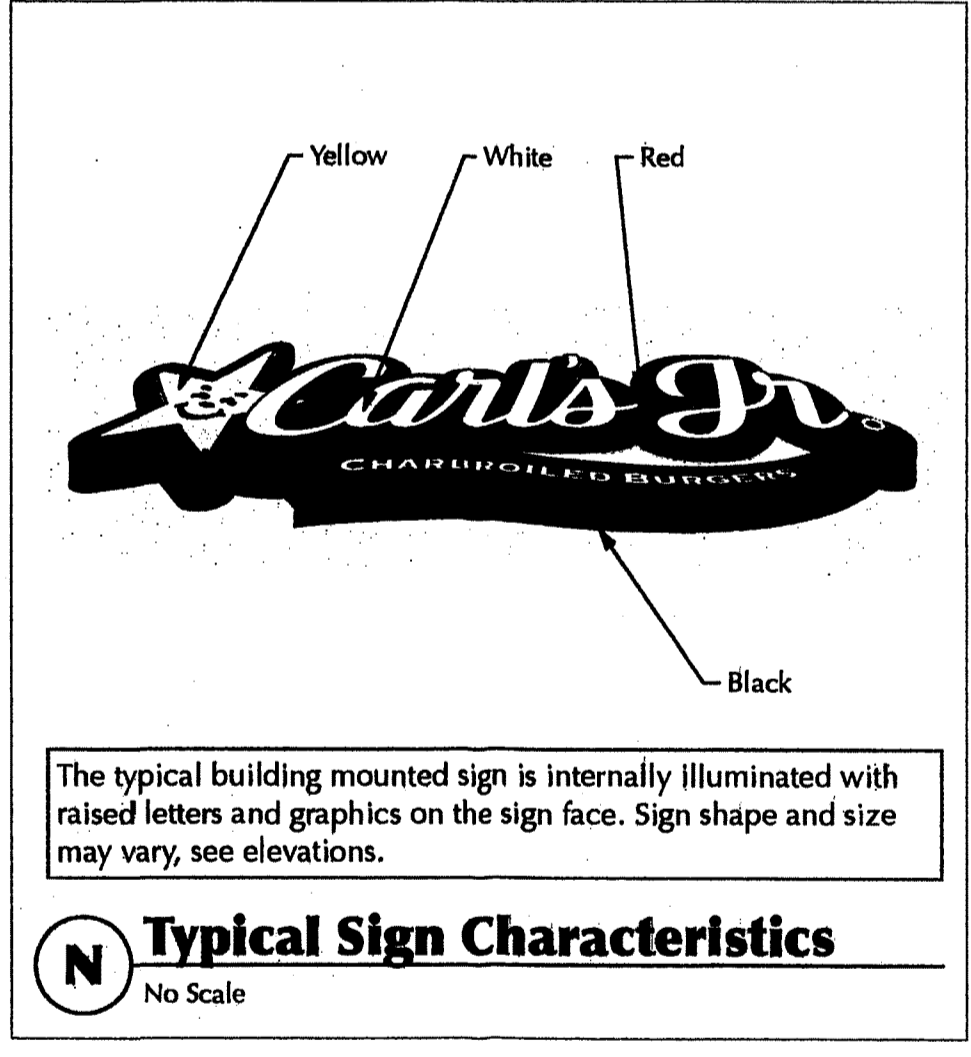
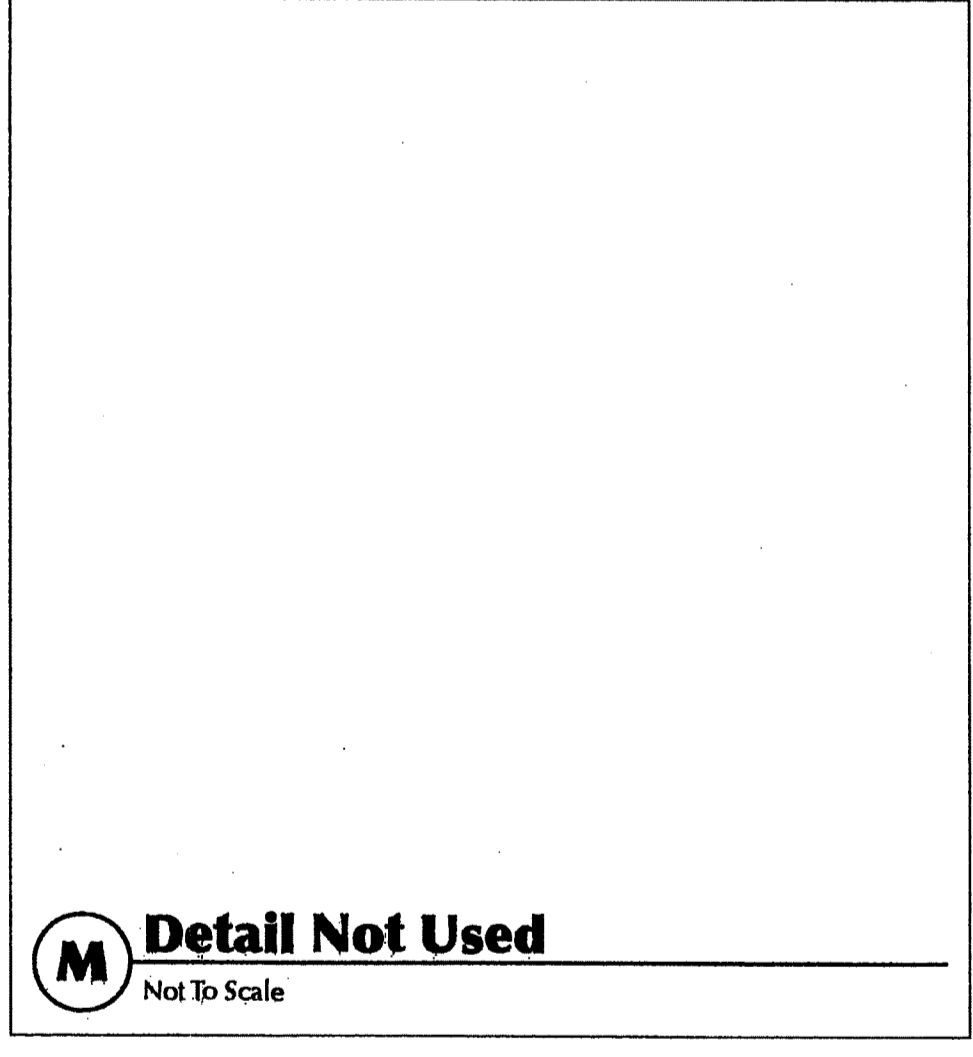
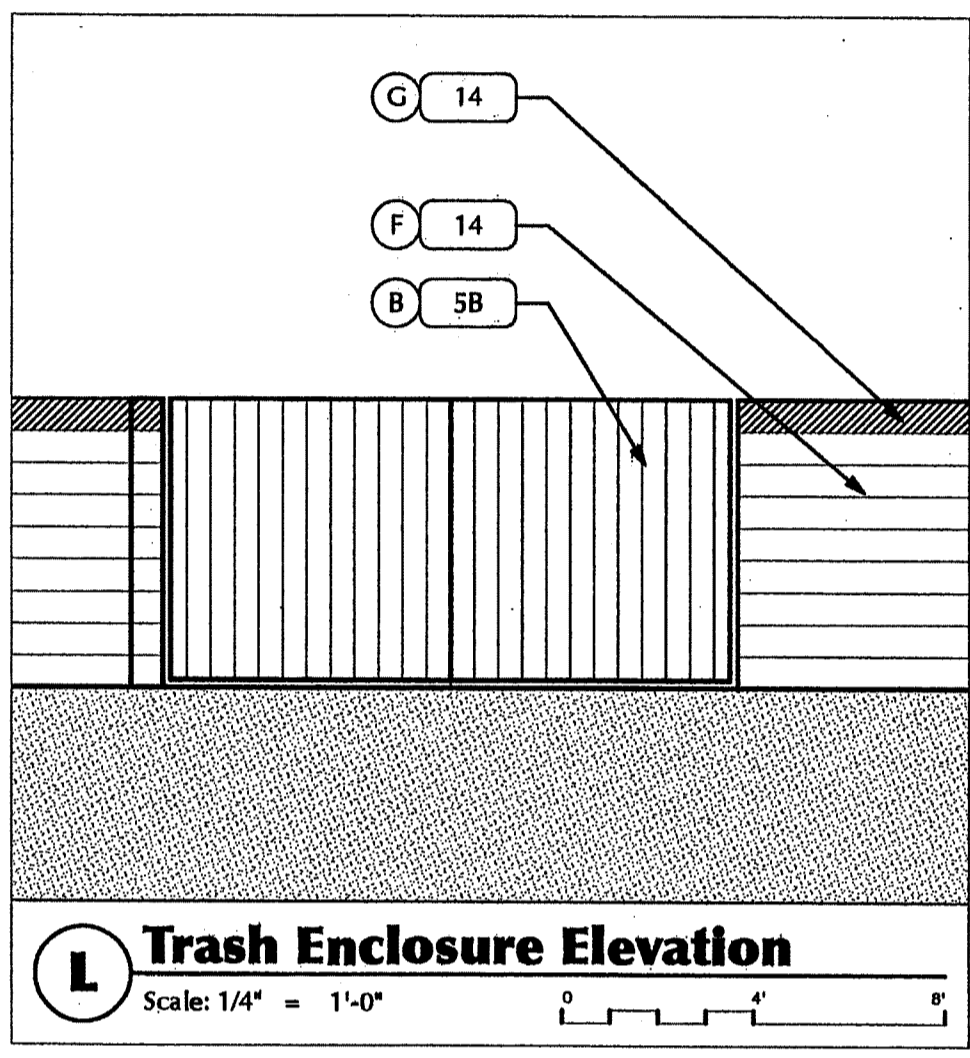
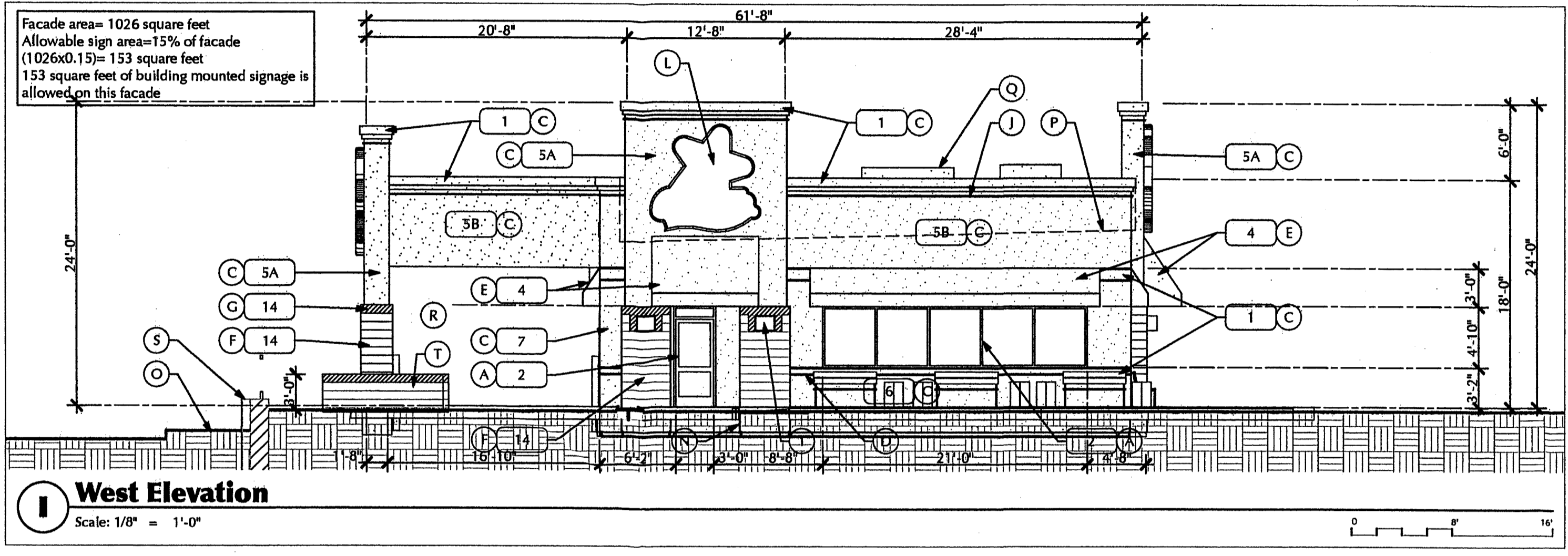
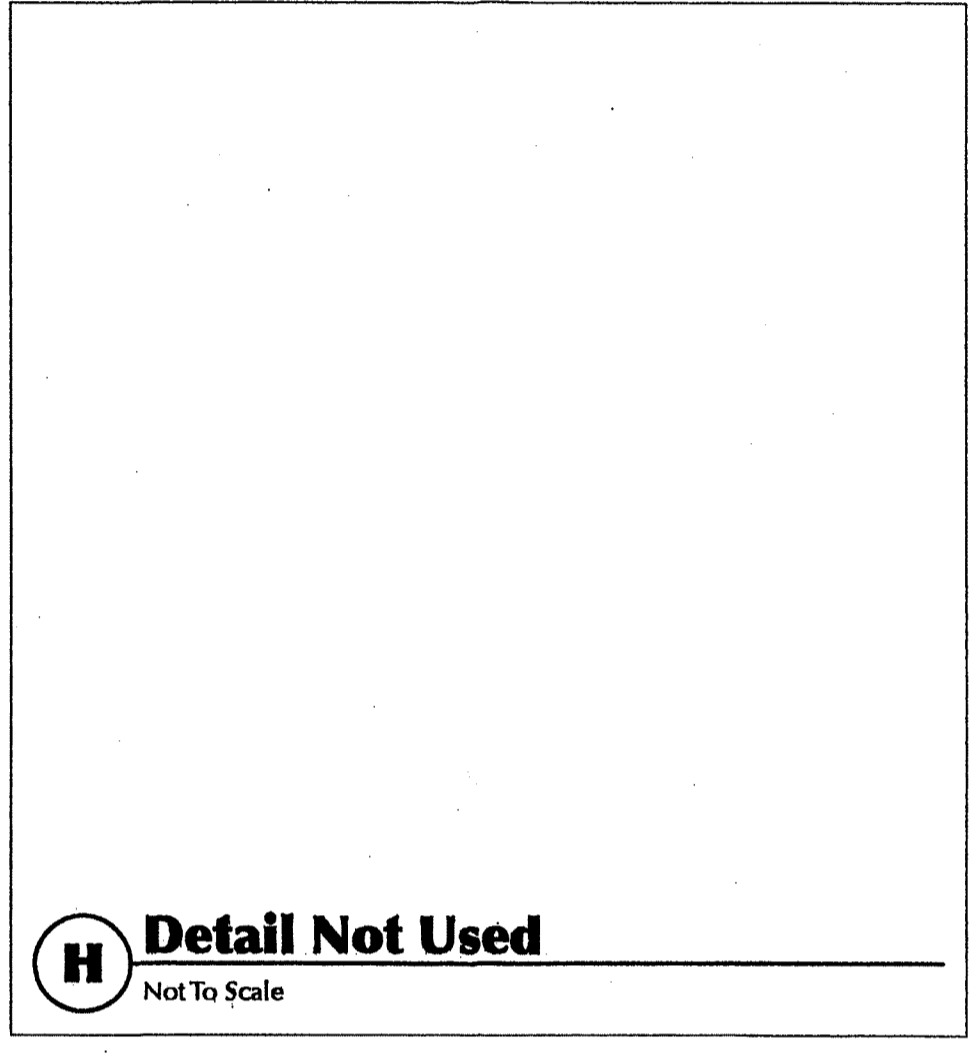
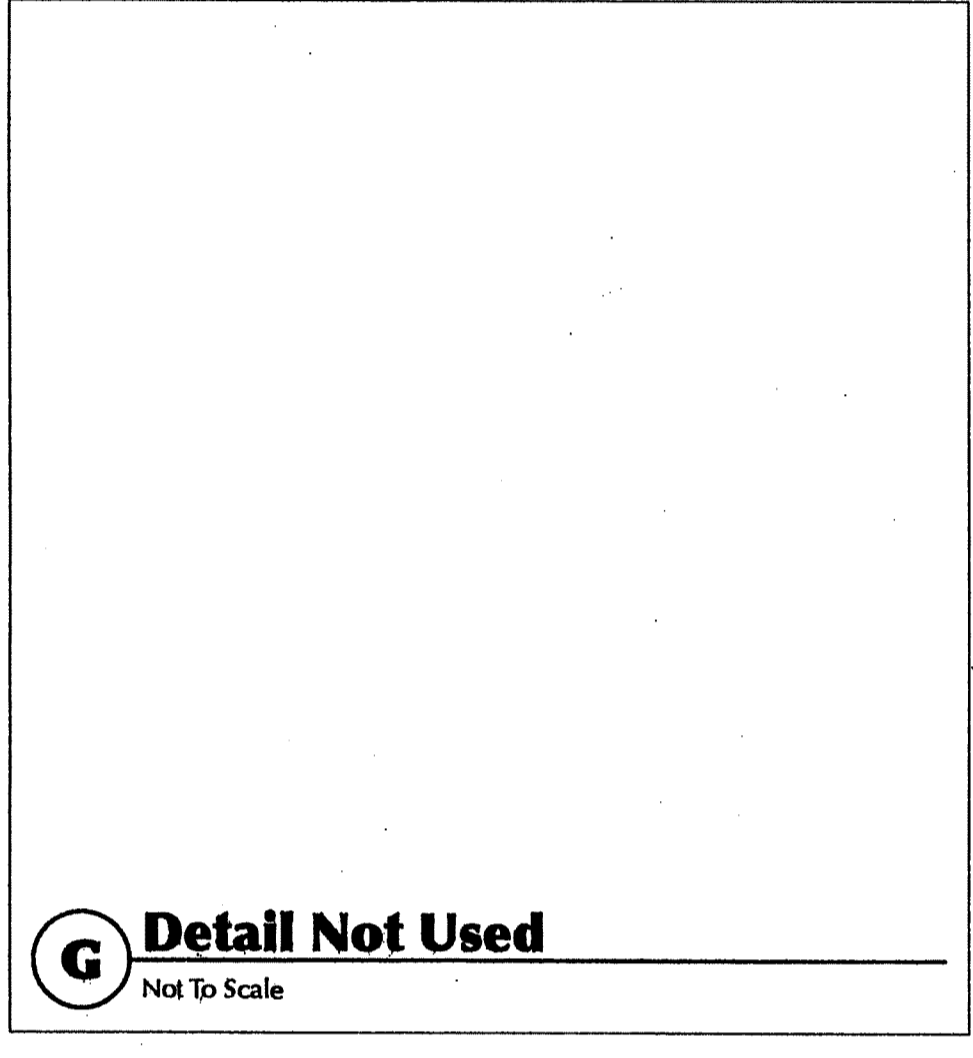
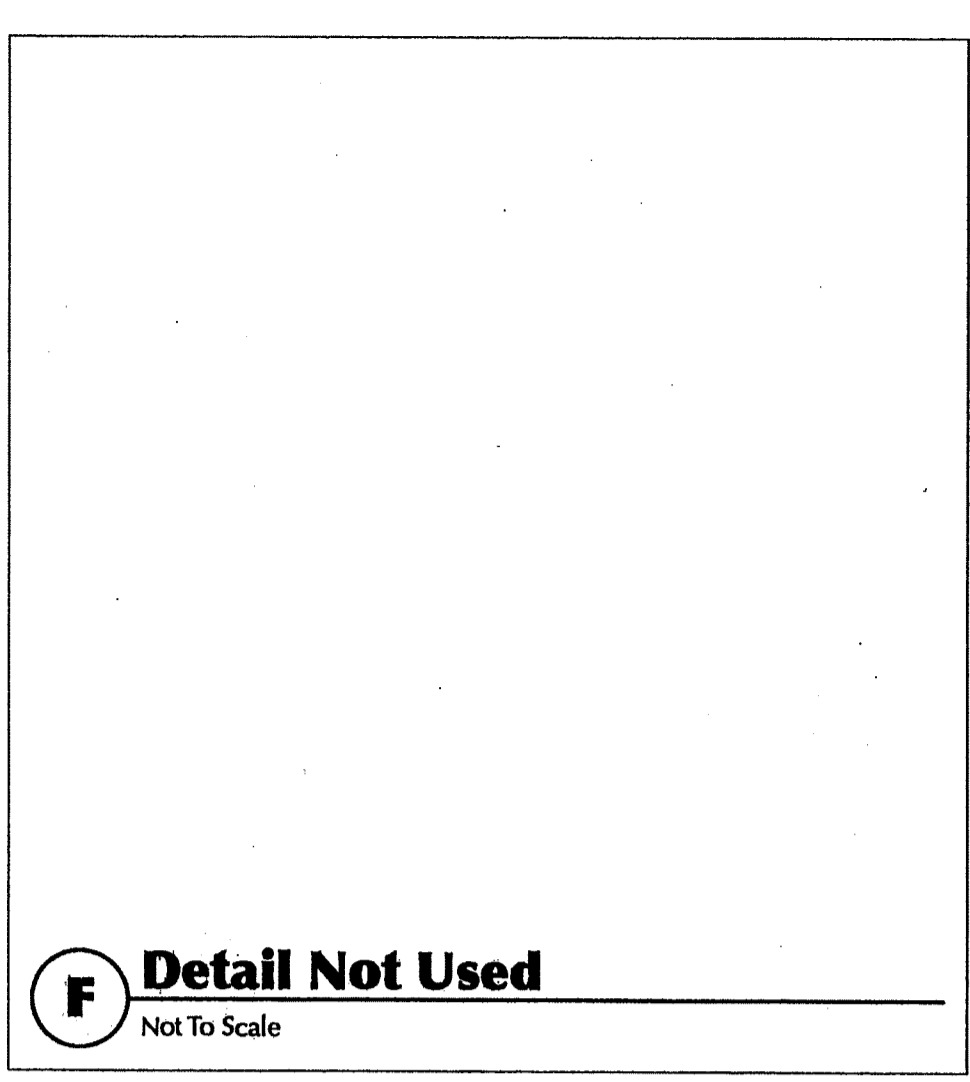
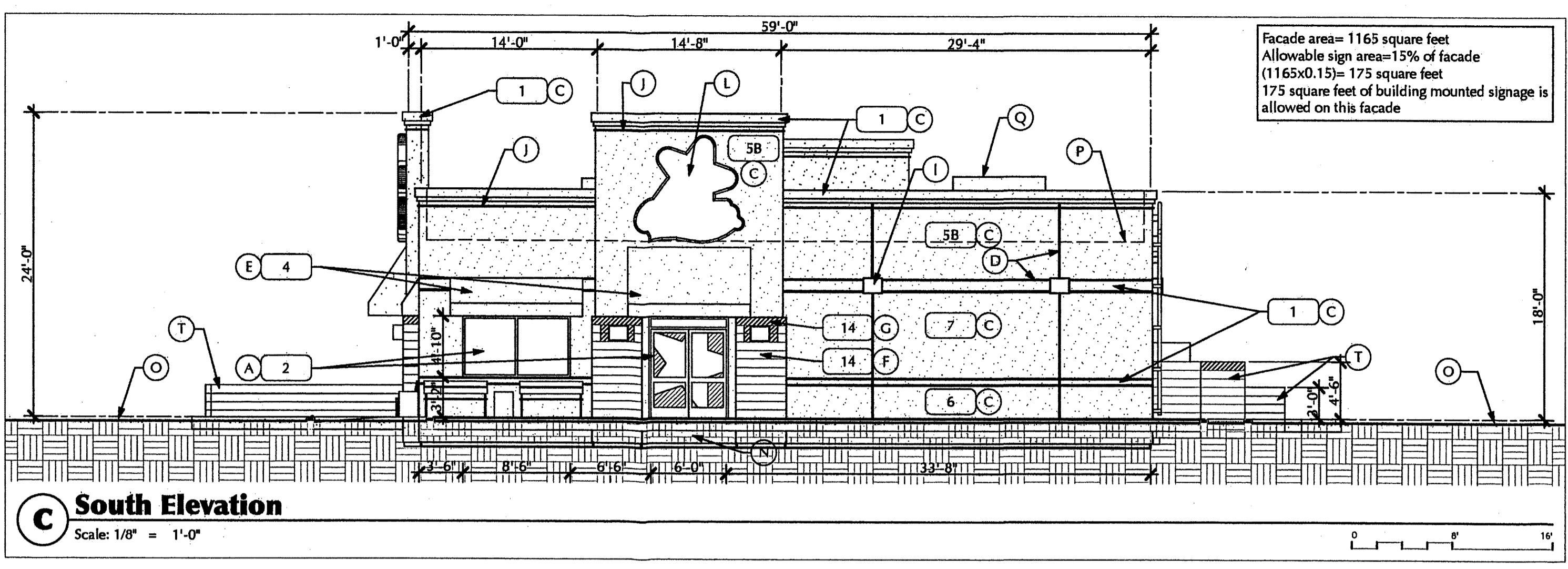
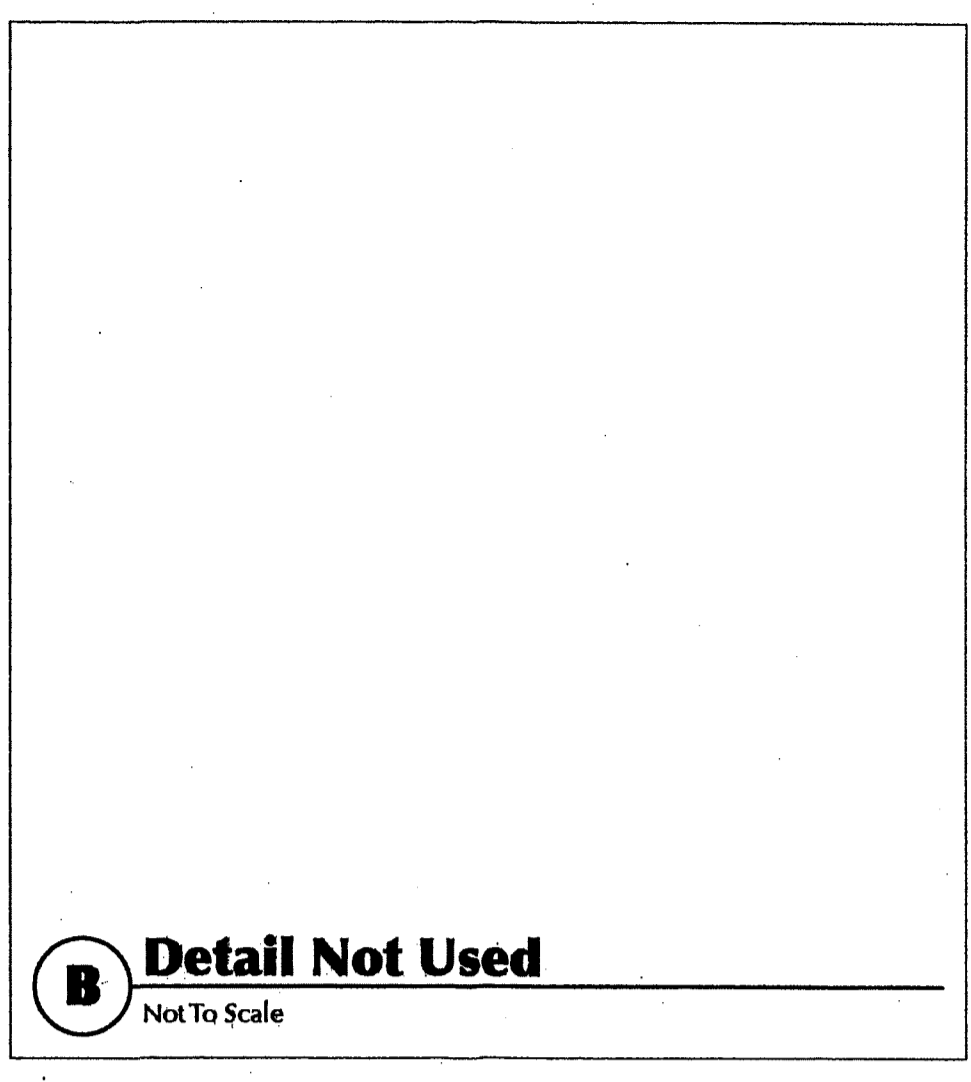
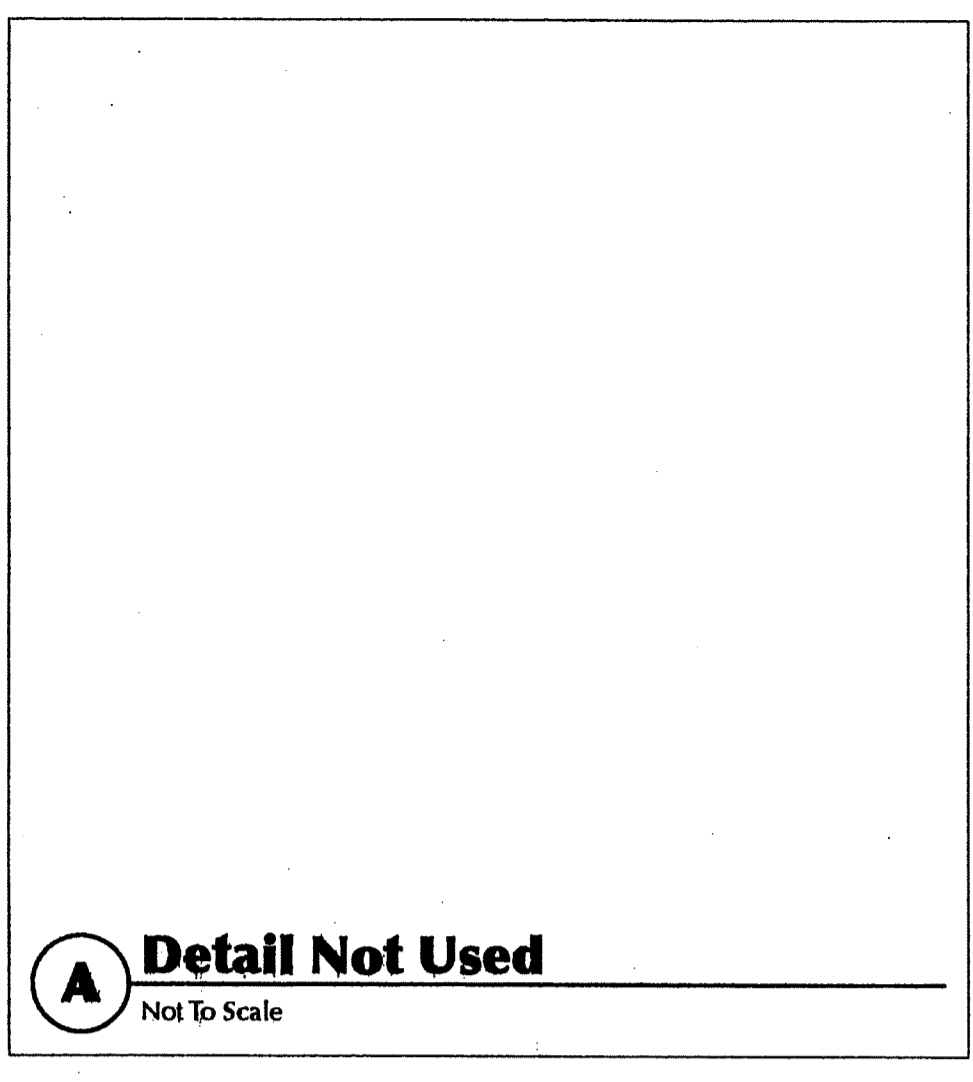


CARL'S JR. SAN MATEO & MONTGOMERY GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: RPH	Checked: DMG	Sheet 1 of 1
Scale: 1" = 10'	Date: 04-25-08	Job: A08011	

P:\A08011\GRADE & DRAIN\A08011_GD10.dwg, 5/15/2008, 11:05:31 AM, PLOTTED BY: RPH

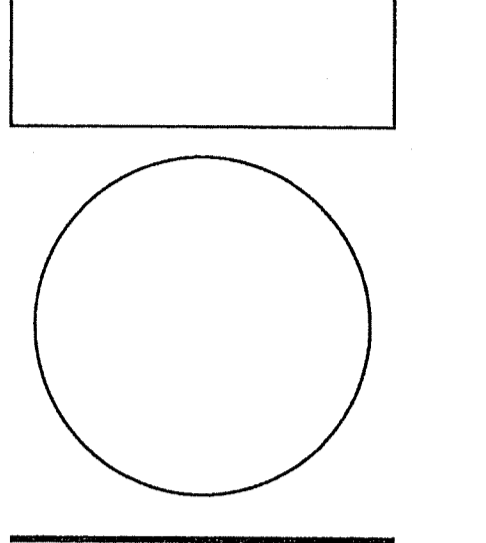
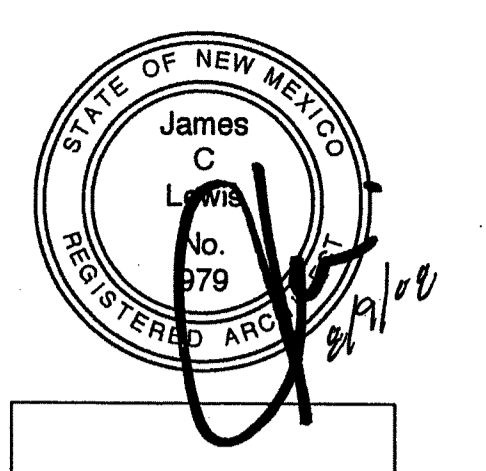
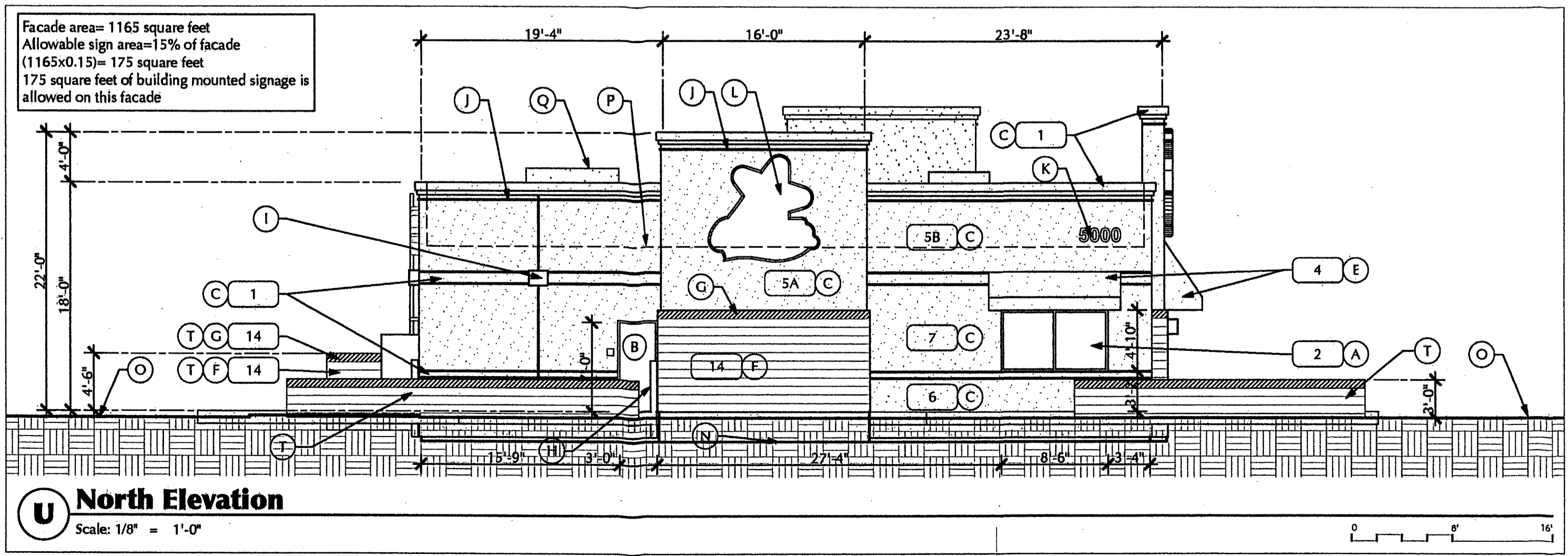
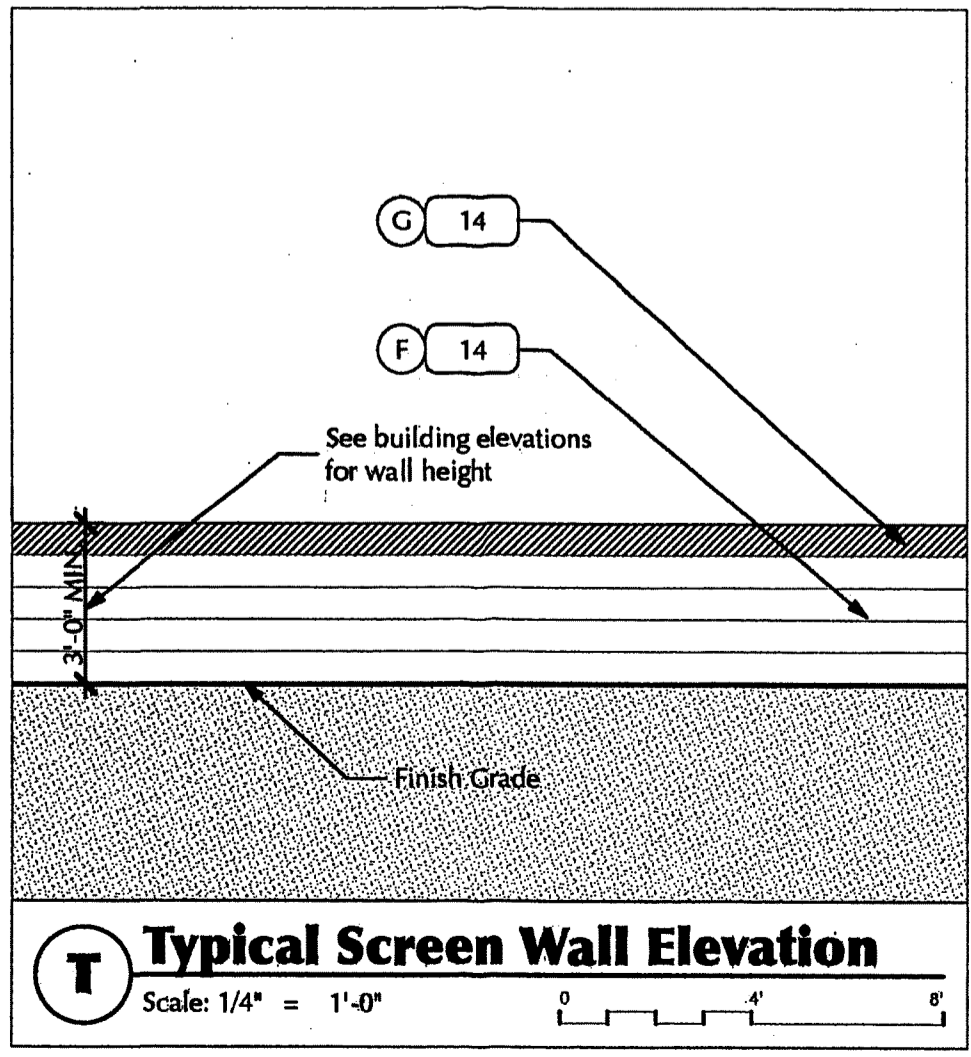
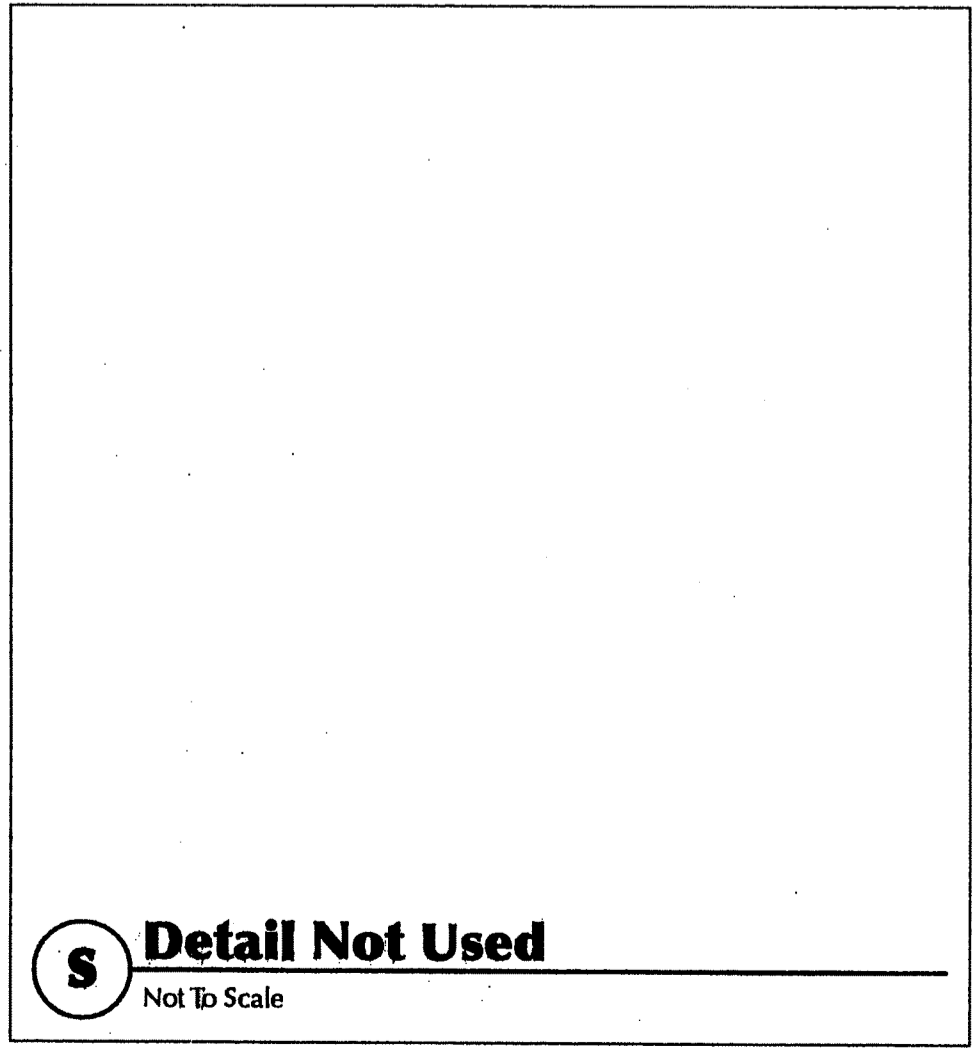


Notes

COLORS		
1	Hartthrob	SW 6866 (red)
2	Clear Aluminum with Clear Glass	
4	Scarlet Supreme	(red)
5A	Hopsack	SW 6109 (dark tan)
5B	Butternut	SW 6389 (dark mustard)
6	Steady Brown	SW 6110 (dark brownish tan)
7	Latte	SW 6108 (medium tan)
14	Domino	Utility 810 (dark grey)

KEYED NOTES/MATERIALS

- A Aluminum door/window and frame
- B Painted metal door and frame
- C Stucco
- D Stucco reveal
- E Fabric Awning
- F Split faced CMU
- G Burnished/smooth CMU
- H Bollard
- I Light fixture
- J LED lighting band (red)
- K 12" high address letters
- L Sign, internally illuminated, 75 square feet (9'-0"x8'-6")±
- M Sign, internally illuminated, 40 square feet (10'-6"x4'-0")±
- N Line of foundation
- O Line of finish grade
- P Line of roof
- Q Mechanical Unit, the parapet is greater than 42", therefore the mechanical unit is sufficiently screened per 14-16-3-18 (6)(a)
- R Open
- S Existing retaining wall and guardrail
- T Screen wall, see detail 'T' on this sheet



James C Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1828 • jcl@jclaw.com

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Site Development Plan for Building Permit
Carl's Jr. Restaurant
5000 Montgomery Boulevard NE
Albuquerque, NM 87109

ISSUE DATE:
30 June, 2008

REVISIONS:
09 September, 2008

PROJECT # 2007-0733

Exterior Elevations
SHEET
SDP-5
5 OF 6

A Detail Not Used
Not To Scale

B Detail Not Used
Not To Scale

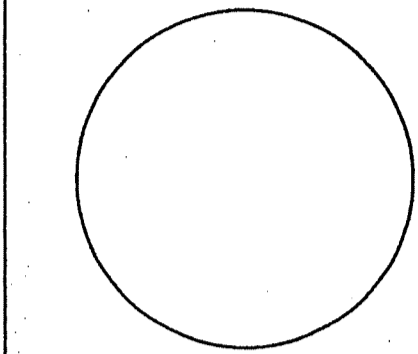
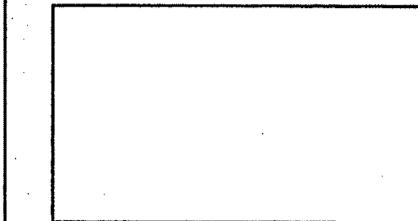
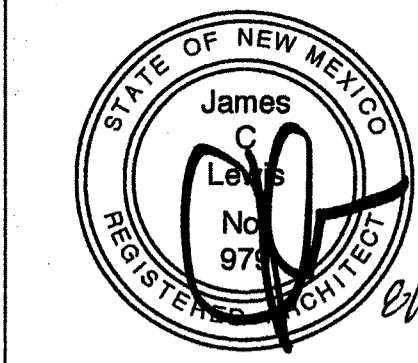
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D Detail Not Used
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E Detail Not Used
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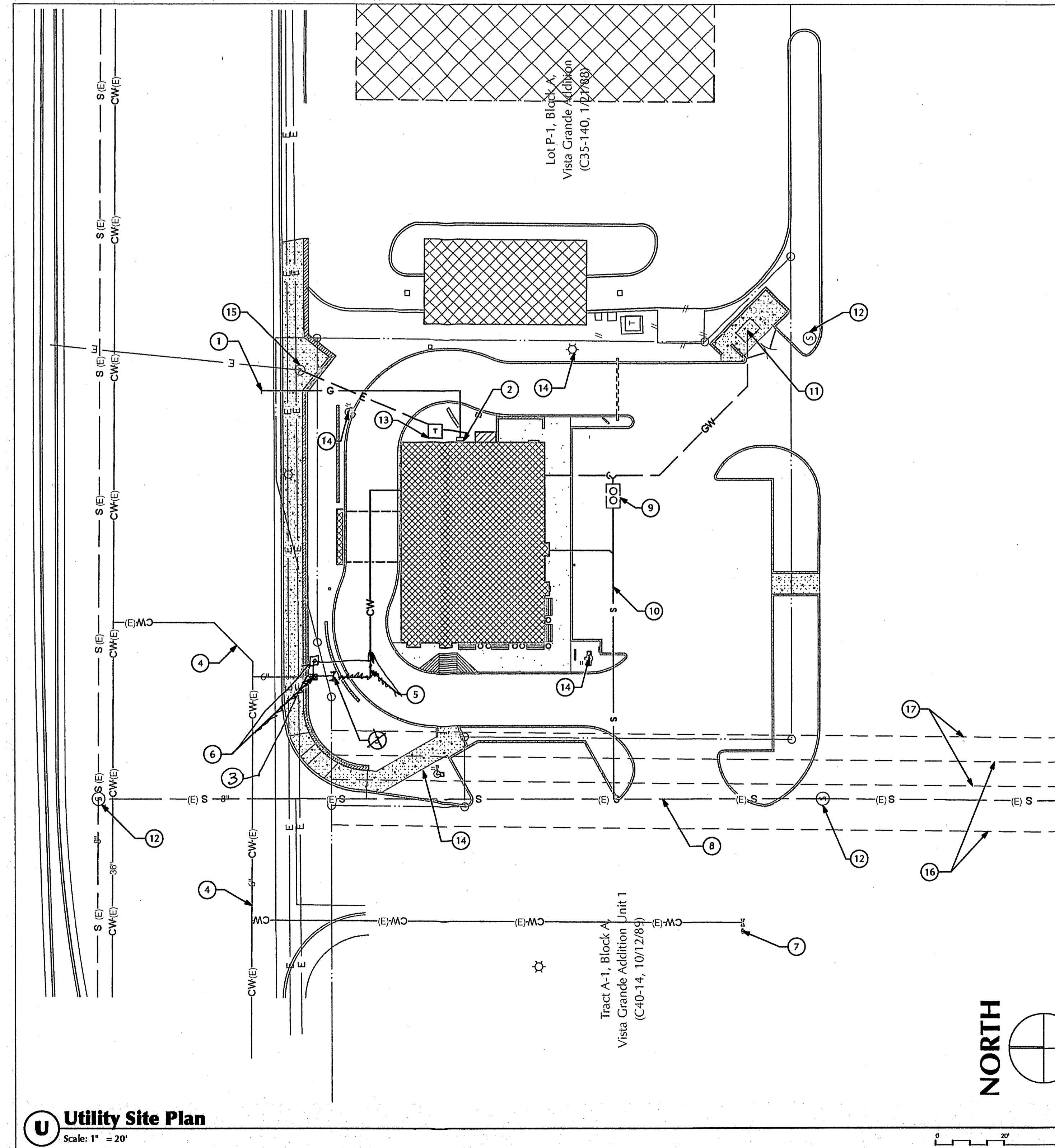
Legend

CW	Water line
HPG	High pressure gas line
HW	Hot water line
S	Sewer line
GW	Grease waste line
V	Vent line
⊕	Point of connection



G Detail Not Used
Not To Scale

H Detail Not Used
Not To Scale



- Keyed Notes**
- 1 Tie new gas line into existing gas line. Field verify with PNM exact location of existing high pressure gas line
 - 2 1,151.5 CHF gas meter and all high pressure gas piping to be paid for by contractor
 - 3 Existing 6" water line stub-out. FIELD VERIFY EXACT LOCATION
 - 4 Existing 6" waterline lateral
 - 5 New 2" water line
 - 6 New 1-1/2" water meter
 - 7 Existing fire hydrant - BY OTHERS - TAPPING PERMIT
 - 8 Existing 8" sanitary sewer line. FIELD VERIFY EXACT LOCATION
 - 9 Grease interceptor
 - 10 4" sewer line - BY OTHERS - TAPPING PERMIT
 - 11 Floor drain
 - 12 Existing manhole
 - 13 PNM-owned service transformer
 - 14 Parking lot lighting fixture
 - 15 Existing utility pole
 - 16 20' underground utility easement (10/12/89, C40-14)
 - 17 14' underground utility easement (10/12/89, C40-14)

M Detail Not Used
Not To Scale

N Detail Not Used
Not To Scale

S Detail Not Used
Not To Scale

T Detail Not Used
Not To Scale

U Utility Site Plan
Scale: 1" = 20'

James C. Lewis Architect
General Design, Inc.
1620 Central Avenue SE
Albuquerque, NM 87106
(505) 247-1529 • jcl@jclmac.com
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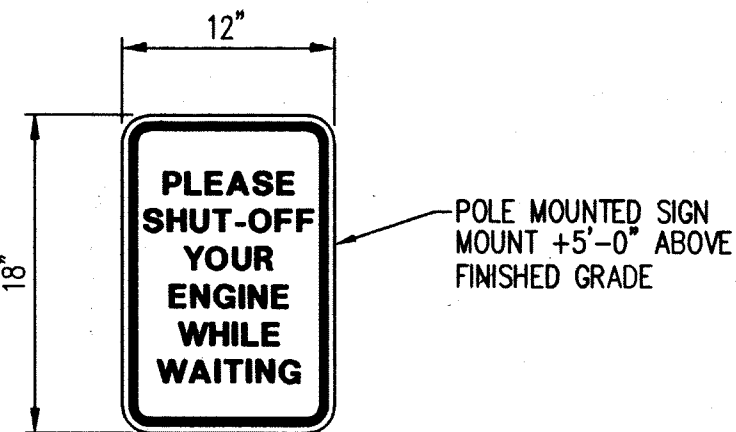
REVISIONS:

△09	September, 2008
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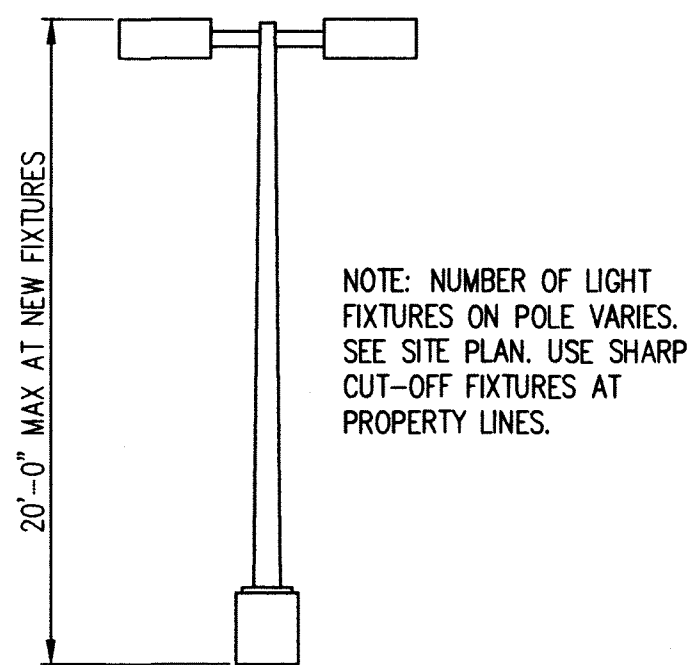
PROJECT # 2007-0733

Utility Plan Site

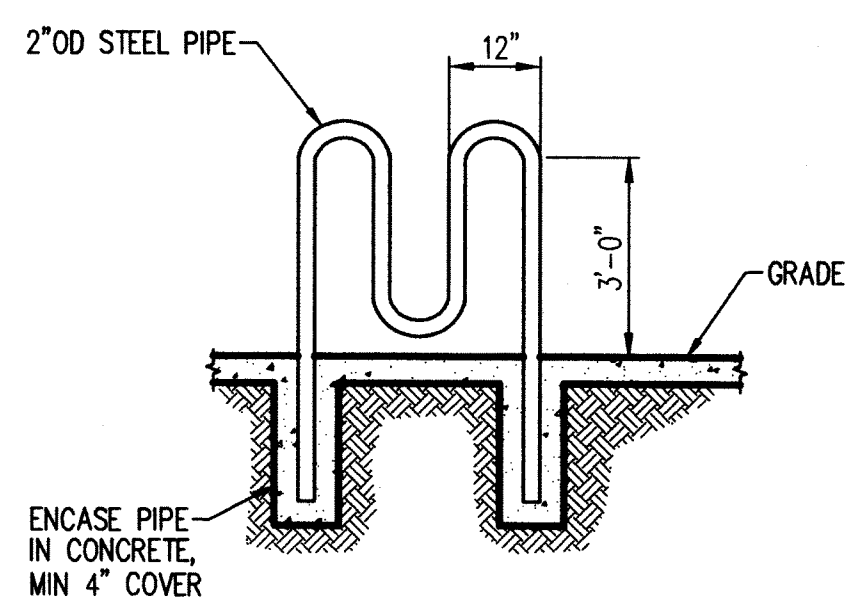
SDP-6
6 OF 6



A "IDLING" SIGN DETAIL
NTS



B LIGHT POLE DETAIL
NTS



C BICYCLE RACK DETAIL
NTS

PROJECT INFO

ADDRESS
5000 MONTGOMERY BOULEVARD NE
ALBUQUERQUE, NM 87109

LEGAL DESCRIPTION
LOT: A3, BLOCK: A
SUBDIVISION: VISTA GRANDE ADDITION UNIT ONE
UPC: 10170605035171613

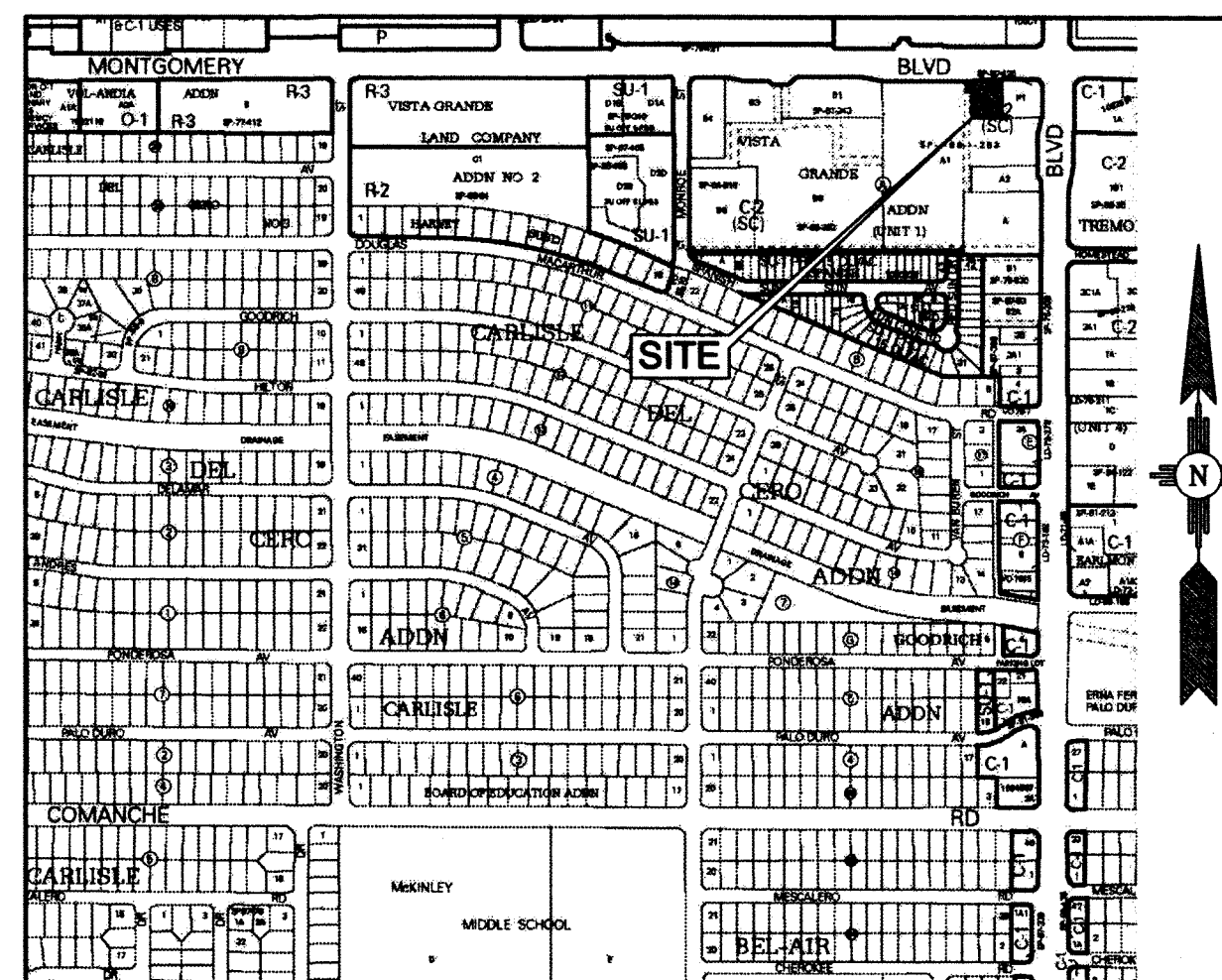
PLANNING INFORMATION
ZONE ATLAS PAGE: G-17-Z
LAND USE ZONING: C2 (SC)

PARKING
REQUIRED:
RESTAURANT: (1 SPACE PER 4 SEATS) 51/4 = 12.75
BUSS DISCOUNT 10% (12.75x.1= 1.275) - 1.275
TOTAL REQUIRED = 12 SPACES

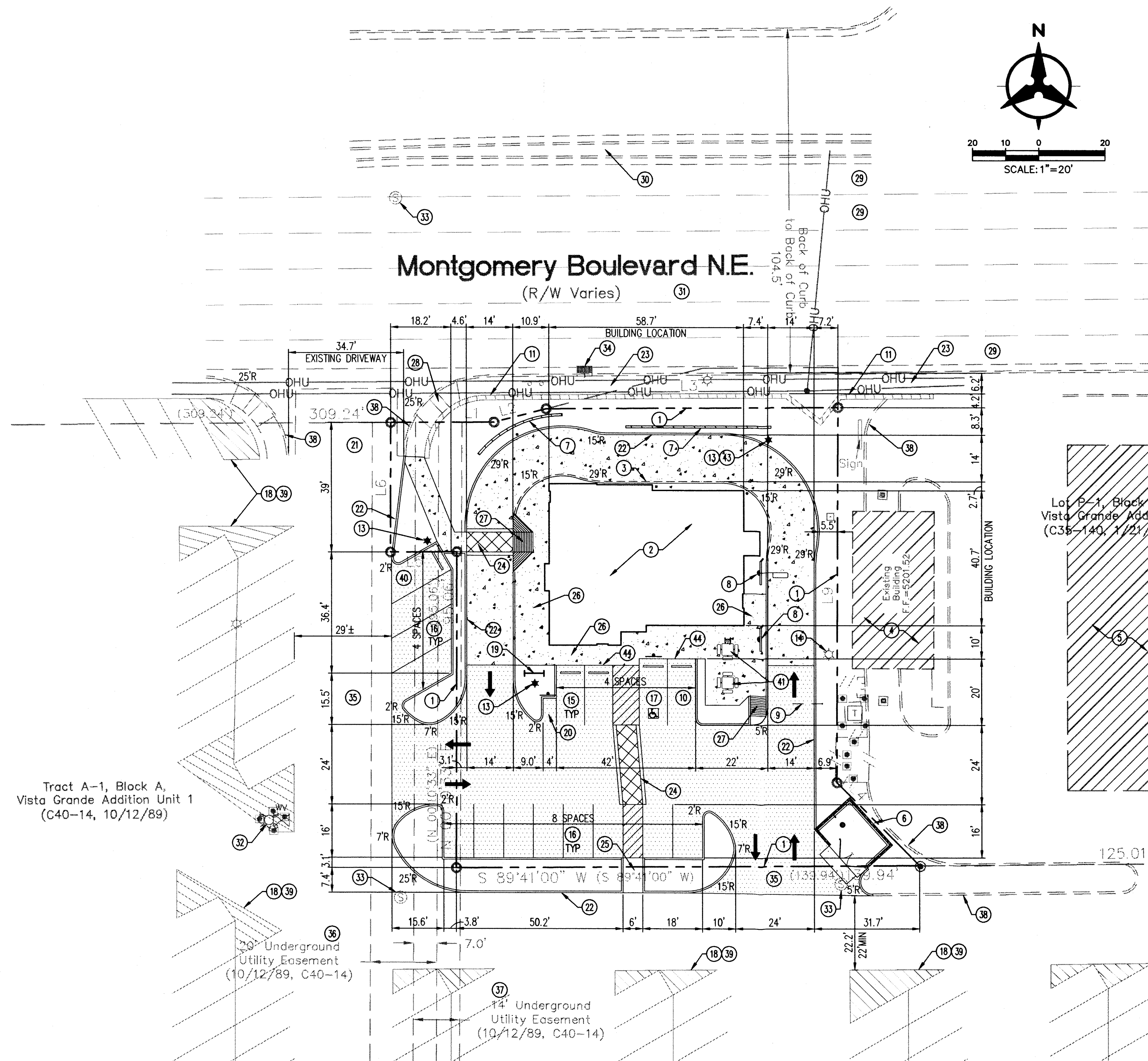
BICYCLE PARKING (1 SPACE PER 25)
REQUIRED: 2 PROVIDED: 2

MOTORCYCLE PARKING (1 SPACE PER 25)
REQUIRED: 1 PROVIDED: 1

ADA ACCESSIBLE PARKING (1 SPACE PER 14)
REQUIRED: 1 PROVIDED: 1



VICINITY MAP
ZONE ATLAS PAGE G-17-Z



Tract A-1, Block A,
Vista Grande Addition Unit 1
(C40-14, 10/12/89)

ADMINISTRATIVE AMENDMENT
File # 09AA10029 Project # 1007255
Site and building adjustments
as shown.
[Signature] 15 Apr 2009
APPROVED BY DATE

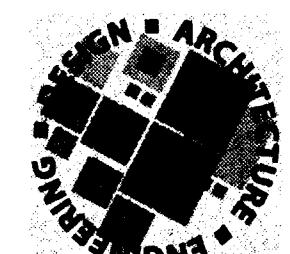
KEYED NOTES

- PROPERTY LINE (TYPICAL).
- PROPOSED JACK IN THE BOX RESTAURANT BUILDING LOCATION (2,663 SQUARE FEET).
- NEW 4" MEDIAN CURB AND GUTTER.
- EXISTING CAR WASH BUILDING (PART OF ADJACENT DEVELOPMENT).
- EXISTING GAS FUELING CANOPY BUILDING (PART OF ADJACENT DEVELOPMENT).
- DUMPSTER ENCLOSURE.
- 3' HIGH SCREEN WALL.
- DRIVE THROUGH MENU SIGN AND ORDER STATION OR PREVIEW MENU SIGN.
- DRIVE THROUGH CLEARANCE BAR.
- PARKING SPACE 9'-0" WIDE x 20' WITH CONCRETE WHEEL STOP (ALONG SIDEWALK).
- EXISTING RETAINING WALL WITH GUARDRAIL.
- 25' TALL FLAG POLE.
- PROPOSED 20'-0" TALL LIGHT FIXTURE.
- EXISTING SITE 50'± TALL LIGHTING FIXTURE TO REMAIN.
- PARKING SPACE 9'-0" WIDE x 18' WITH CONCRETE WHEEL STOP (ALONG SIDEWALK).
- PARKING SPACE 9'-0" WIDE x 16' (ALONG LANDSCAPING).
- TYPICAL HC PARKING SPACE 9'-0" WIDE x 20' WITH CONCRETE WHEEL STOP. PROVIDE AN 8' WIDE HANDICAP ASLE FOR VAN SPACE. SLOPE ASPHALT SO THAT THE ASPHALT IS FLUSH WITH THE SIDEWALK, THUS REQUIRING NO RAMP.
- EXISTING SHOPPING CENTER PARKING.
- BICYCLE RACK (2 SPACES MINIMUM), SEE DETAIL C THIS SHEET.
- 4'± MOTORCYCLE PARKING SPACE WITH UPRIGHT SIGN.
- EXISTING ENTRANCE FOR SHOPPING CENTER.
- NEW MEDIAN CURB AND GUTTER PER COA STD DWG 2415B.
- EXISTING 6'± WIDE CONCRETE SIDEWALK.
- PROPOSED 6'± WIDE PATTERNED CONCRETE CROSSWALK WITH 1' WIDE PAINTED MARKINGS ON EACH SIDE OF CROSSWALK.
- PROPOSED 6'± WIDE CONCRETE SIDEWALK WITH 5% MAXIMUM GRADE.
- PROPOSED 6'± WIDE MINIMUM CONCRETE SIDEWALK.
- CONCRETE CURB RAMP 1:12 SLOPE MAX.
- EXISTING CONCRETE CURB RAMP.
- EXISTING TURN LANE.
- EXISTING STREET MEDIAN.
- BUS ROUTE 157 RUNS ALONG MONTGOMERY AND ROUTES 140, AND 141 RUN ALONG SAN MATEO WITH A BUSS STOP DIRECTLY TO THE EAST OF THE SITE.
- EXISTING FIRE HYDRANT.
- EXISTING MANHOLE.
- EXISTING STORM SEWER INLET.
- TRACT A-3 IS SUBJECT TO A RECIPROCAL, NON-EXCLUSIVE EASEMENT OVER, THROUGH AND ACROSS ITS PARCEL FOR PARKING, PEDESTRIAN TRAFFIC AND PEDESTRIAN ACCESS. (MISC. 573, PAGE 575, AS DOCUMENT 77-74436)
- 20' UNDERGROUND UTILITY EASEMENT (10/12/89, C40-14)
- 14' UNDERGROUND UTILITY EASEMENT (10/12/89, C40-14)
- EXISTING CONCRETE CURB.
- EXISTING PARKING STRIPING.
- COMPACT PARKING SPACE 9'-0" WIDE x 15' (PAINT "COMPACT" AT FRONT OF SPACE).
- INSTALL TABLE.
- NOT USED.
- "IDLING" SIGN, SEE DETAIL A THIS SHEET.
- SIDEWALK IS FLUSH WITH ASPHALT.

THE PROPOSED DEVELOPMENT SHALL COMPLY WITH THE GENERAL BUILDING AND SITE DESIGN REGULATIONS FOR NON-RESIDENTIAL USES, PER SECTION 14-16-3-18 OF THE COMPREHENSIVE CITY ZONING CODE.

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- EXISTING EASEMENT
- PROPOSED LIGHTING



9330 BALBOA AVENUE
SAN DIEGO, CA 92123
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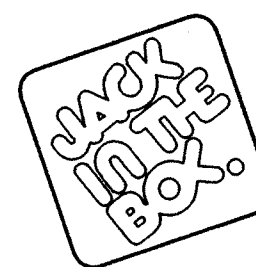
DATES

RELEASE: DEC. 23, 2008
P.M. UPDATES: _____
PERMIT: _____
BID: _____
CONSTRUCTION: _____

REVISIONS

- ▲ ADMINISTRATIVE AMENDMENT 3/27/09
- ▲ _____
- ▲ _____
- ▲ _____
- ▲ _____

JACK IN THE BOX #1266
MONTGOMERY
ALBUQUERQUE, NEW MEXICO



Boteman & Huston
ARCHITECTS
1700 Johnson St. NE
Albuquerque, NM 87102-2208
ENGINEERING - INITIAL DATA - ADVANCED TECHNOLOGIES

LARRY & CLUCK & ASSOCIATES
ARCHITECTS
Country Club Suite # 105
Tucson, Arizona 85716
(520) 327-6670/327-8816

5000 Montgomery Blvd NE

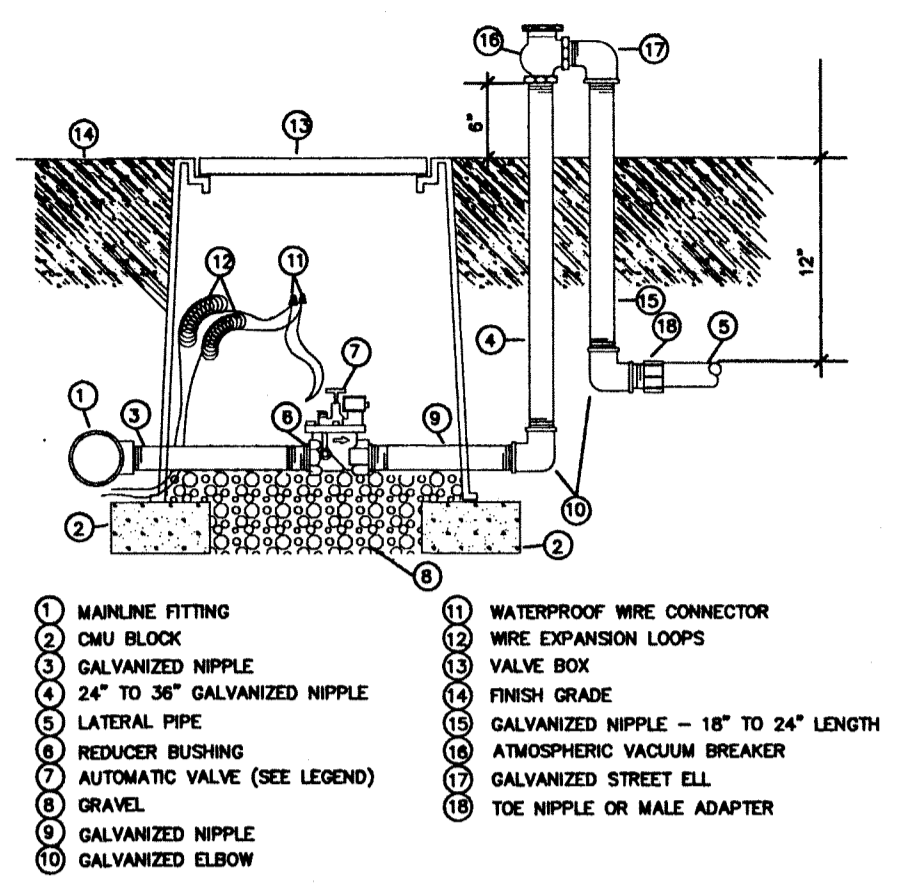
PRELIMINARY. NOT FOR CONSTRUCTION

SITE INFORMATION

MK TYPE: 9A_LG2
JOB #: 1266
ADDRESS: MONTGOMERY ALBUQUERQUE, NM
DRAWN BY: BO
SCALE: 1"=20'

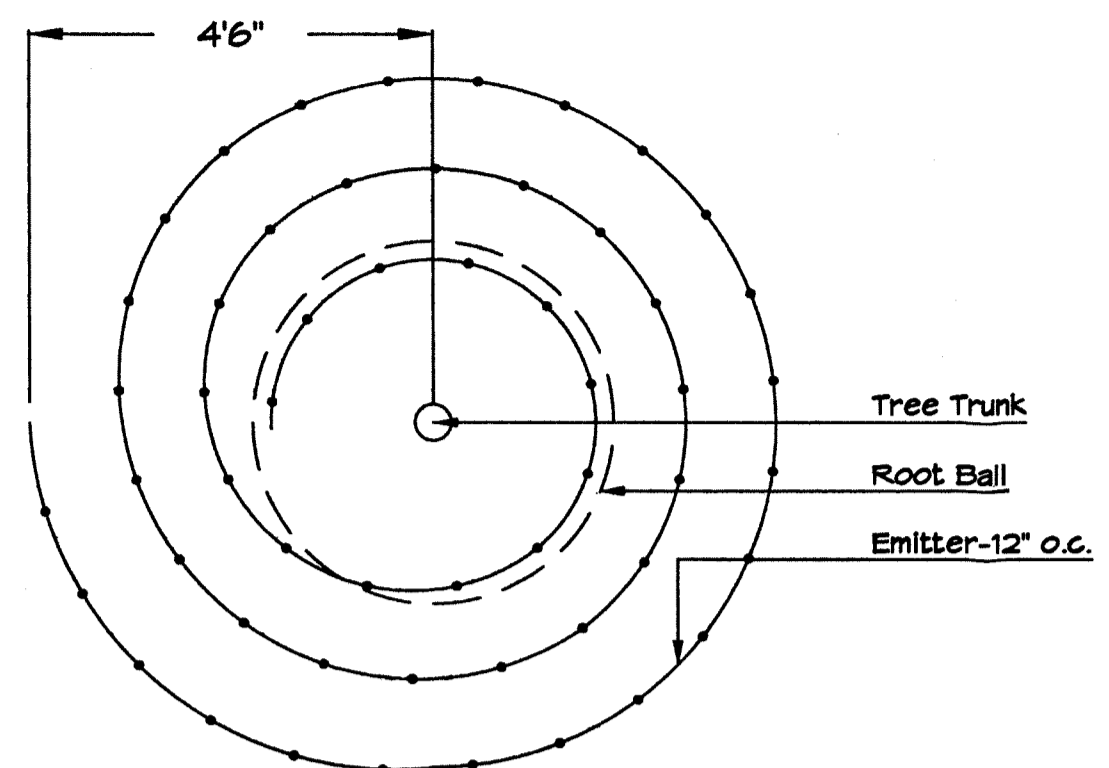
SITE PLAN

C1.0



- 1 MAINLINE FITTING
- 2 CMU BLOCK
- 3 GALVANIZED NIPPLE
- 4 LATERAL PIPE
- 5 REDUCER BUSHING
- 6 AUTOMATIC VALVE (SEE LEGEND)
- 7 GRAVEL
- 8 GALVANIZED NIPPLE
- 9 GALVANIZED ELBOW
- 10 WATERPROOF WIRE CONNECTOR
- 11 WIRE EXPANSION LOOPS
- 12 VALVE BOX
- 13 FINISH GRADE
- 14 GALVANIZED NIPPLE - 18" TO 24" LENGTH
- 15 ATMOSPHERIC VACUUM BREAKER
- 16 ATMOSPHERIC VACUUM BREAKER
- 17 GALVANIZED STREET ELL
- 18 TOE NIPPLE OR MALE ADAPTER

AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER



Netafim Spiral Detail

STREET TREE REQUIREMENTS - Minimum 2" Caliper

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Montgomery Blvd.
Required # 4 Provided # 3 large + 1 accent

PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper

Shade trees required under the City Of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces
Required # 3 Provided # 3

NOTE TO CLIENT:
Should The Hilltop not receive a grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	16894	square feet
TOTAL BUILDINGS AREA	2630	square feet
NET LOT AREA	14264	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	2140	square feet
TOTAL BED PROVIDED	4002	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	3002	square feet
TOTAL GROUNDCOVER PROVIDED	3332 (89%)	square feet
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	4002 (28%)	square feet

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- TREES**
- ASH OR HONEY LOCUST 6
Fraxinus spp./Gleditsia triacanthos
2" Cal., 12-14" Inst./60" x 60" maturity
Water (H/M+) Allergy (H/L) Osf
 - PURPLE-LEAF PLUM 4
Prunus cerasifera
1 1/2" Cal., 10-12" Inst./20" x 20" maturity
Water (M) Allergy (L) Osf

- DESERT ACCENTS**
- PALM YUCCA 5
Yucca faxoniana
4-8" Inst., 15' x 6' maturity
Water (L) Allergy (L) 36sf

- SHRUBS FIVE GAL.**
- PHOTINIA 20
Photinia Fraseri
5 Gal., 2-4" Inst./8' x 8' maturity
Water (M+) Allergy (L) 64sf
 - BLUE MIST SPIREA 48
Caryopteris clandestinis
5 Gal., 12-3" Inst./3' x 3' maturity
Water (M) Allergy (L) 48sf

- TAM JUNIPER 12**
- Juniperus sabina Tamariscifolia
1 Gal., 6-15" Inst./4' x 15' maturity
Water (L+) Allergy (L) 120sf
Symbol Indicates 2 plants

- HARDSCAPES**
- OVERSIZED GRAVEL & 2 BOULDERS
 - 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - SANTA FE BROWN CRUSHER FINES WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - COMMERCIAL GRADE STEEL EDGING

- DENOTES EVERGREEN PLANT MATERIAL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Crusher Fines over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

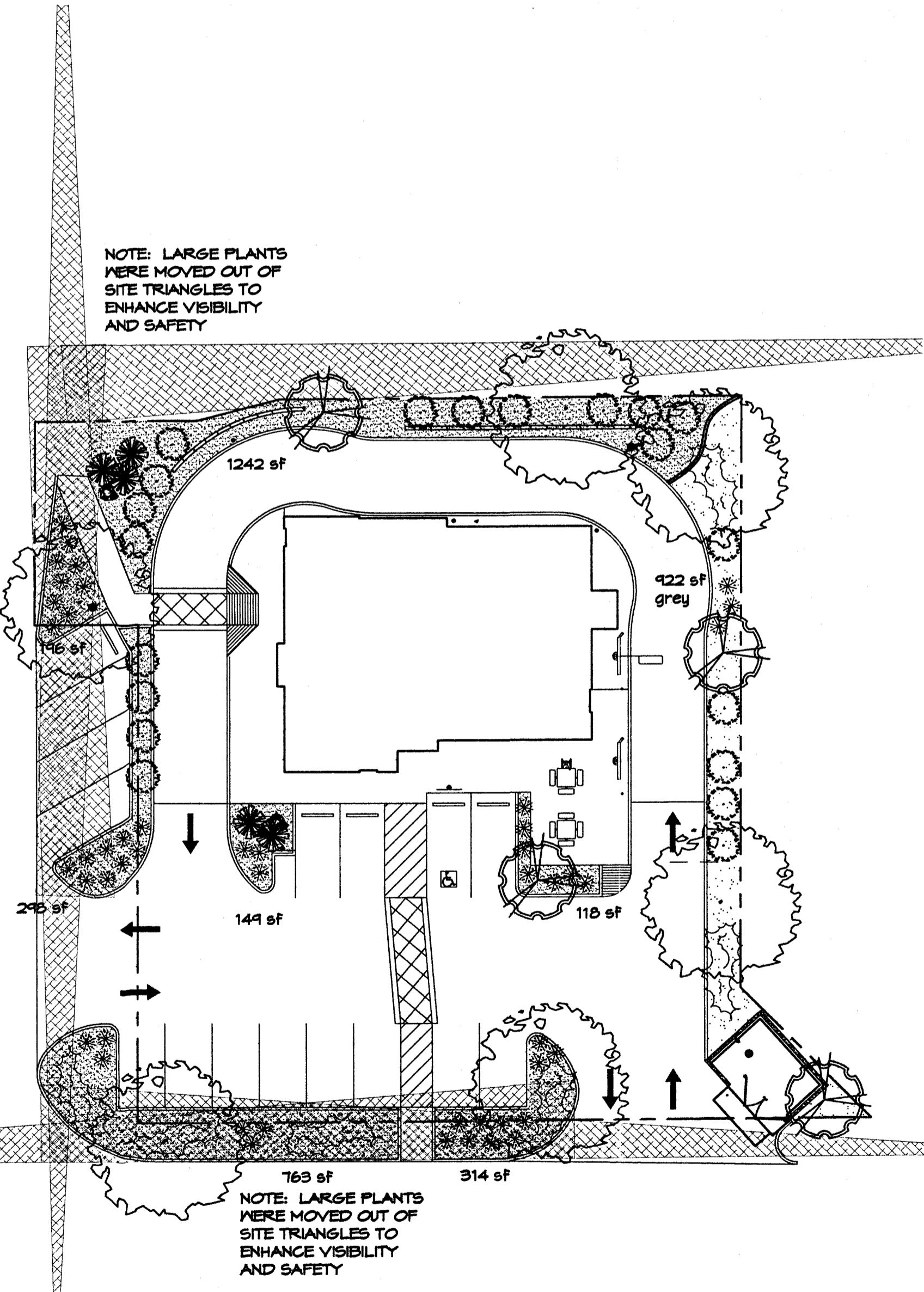
Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

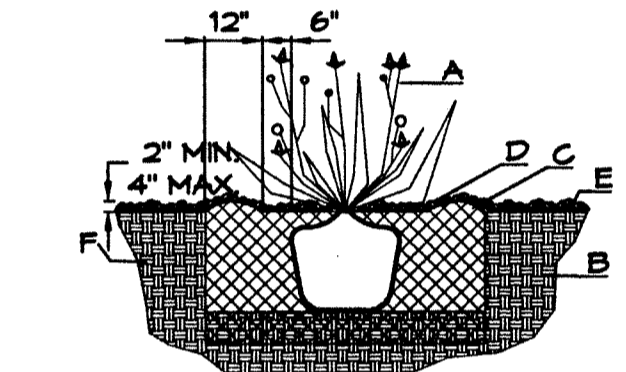
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



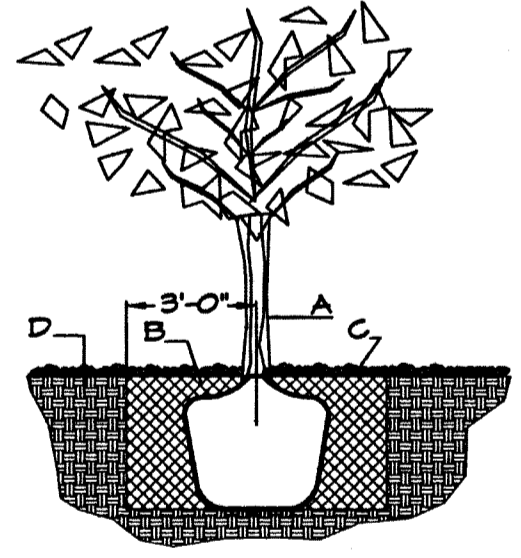
NOTE: LARGE PLANTS WERE MOVED OUT OF SITE TRIANGLES TO ENHANCE VISIBILITY AND SAFETY

NOTE: LARGE PLANTS WERE MOVED OUT OF SITE TRIANGLES TO ENHANCE VISIBILITY AND SAFETY



SHRUB PLANTING DETAIL

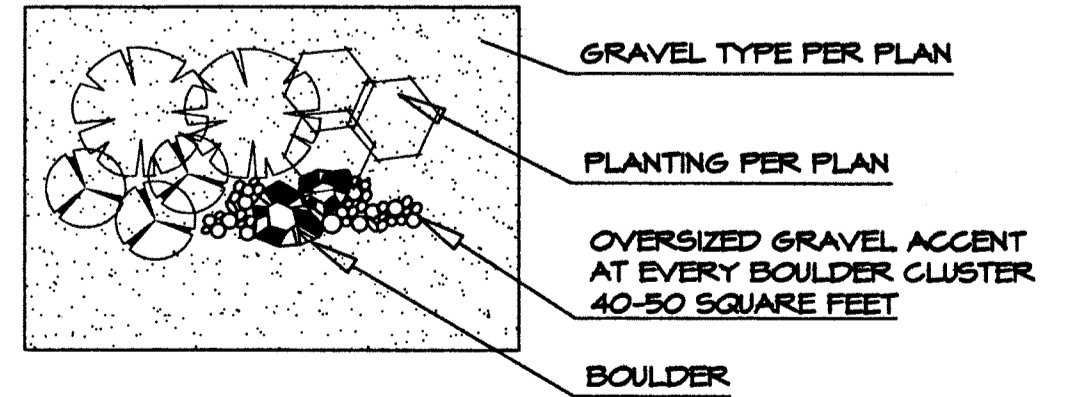
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
 - B. BACKFILL WITH EXISTING SOIL.
 - C. EARTH BERM AROUND WATER RETENTION BASIN.
 - D. 3" DEPTH OF GRAVEL MULCH.
 - E. FINISH GRADE.
 - F. UNDISTURBED SOIL.



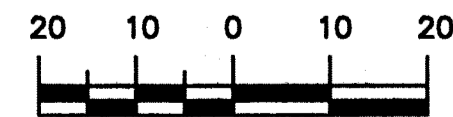
TREE PLANTING DETAIL

- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
 2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
 3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
 4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
 - B. BACKFILL WITH EXISTING SOIL.
 - C. 3" DEPTH OF GRAVEL MULCH.
 - D. UNDISTURBED SOIL.

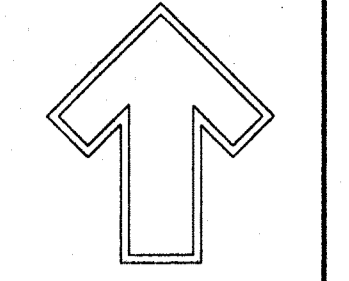
GRAVEL ACCENT DETAIL



GRAPHIC SCALE

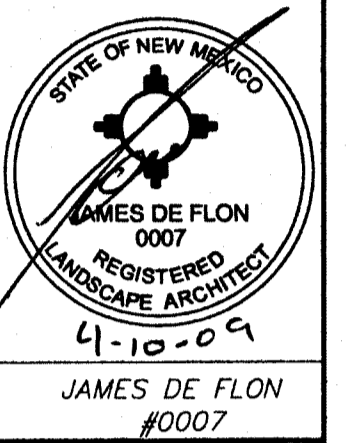


SCALE: 1"=20'



Cont. Lic. #26458
7309 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



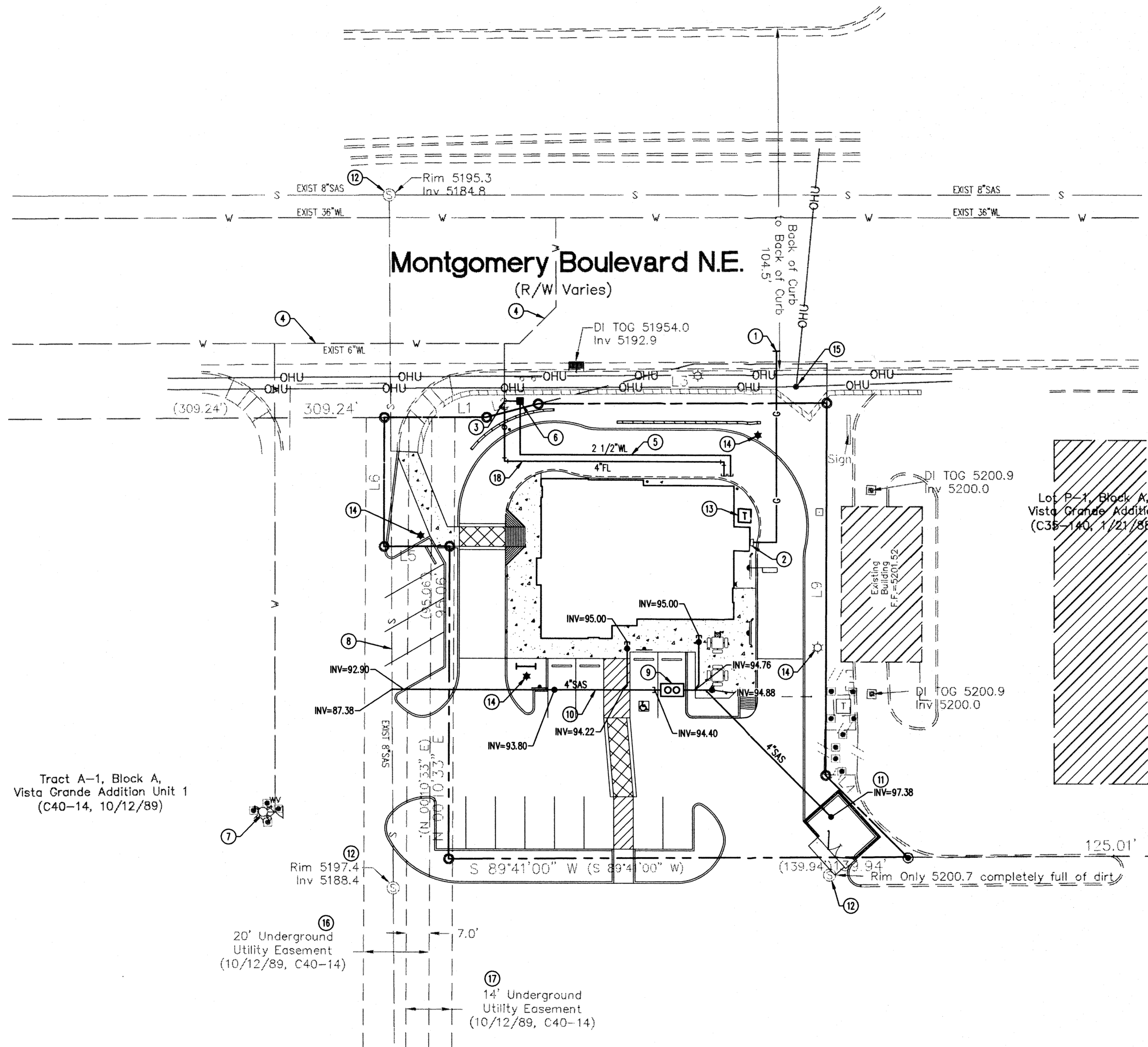
**JACK-IN-THE-BOX
SAN MATEO AND MONTGOMERY
ALBUQUERQUE, NM
LANDSCAPE PLAN**

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DRAWN BY RMC
REVISION # 1
DATE 3-27-09

SHEET #
L1 OF L1



Tract A-1, Block A,
Vista Grande Addition Unit 1
(C40-14, 10/12/89)

KEYED NOTES

1. THE NEW GAS LINE INTO EXISTING GAS LINE. FIELD VERIFY WITH NEW MEXICO GAS COMPANY EXACT LOCATION OF EXISTING HIGH PRESSURE GAS LINE.
2. 1,151.5 CHF GAS METER AND ALL HIGH PRESSURE GAS PIPING TO BE PAID FOR BY CONTRACTOR.
3. EXISTING 6" WATER LINE STUB-OUT. FIELD VERIFY EXACT LOCATION.
4. EXISTING 6" WATERLINE LATERAL.
5. NEW 2" WATER LINE.
6. NEW 1 1/2" WATER METER.
7. EXISTING FIRE HYDRANT BY OTHERS - TAPPING PERMIT.
8. EXISTING 8" SANITARY SEWER LINE. FIELD VERIFY EXACT LOCATION.
9. GREASE INTERCEPTOR.
10. 4" SANITARY SEWER LINE BY OTHERS - TAPPING PERMIT.
11. FLOOR DRAIN.
12. EXISTING MANHOLE.
13. PNM-OWNED SERVICE TRANSFORMER.
14. PARKING LOT LIGHTING FIXTURE.
15. EXISTING UTILITY POLE.
16. 20' UNDERGROUND UTILITY EASEMENT (10/12/89, C40-14).
17. 14' UNDERGROUND UTILITY EASEMENT (10/12/89, C40-14).
18. 4" FIRE LINE.

LEGEND

- PROPERTY LINE
- - - EXISTING EASEMENT
- - - SAS EXISTING SANITARY SEWER
- - - W EXISTING WATER LINE
- - - OHU OVERHEAD UTILITY LINES
- ⊗ EXISTING VALVE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING SANITARY SEWER MANHOLE
- - - SAS PROPOSED SANITARY SEWER LINE
- - - GW PROPOSED GREASE WASTE LINE
- - - G PROPOSED GAS LINE
- - - E PROPOSED ELECTRIC LINE
- - - WL PROPOSED WATER LINE
- - - FL PROPOSED FIRE LINE
- PROPOSED WATER METER



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SAN DIEGO, CA 92123
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REVISIONS	
△	ADMINISTRATIVE AMENDMENT 3/27/09
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JACK IN THE BOX #1266
MONTGOMERY
ALBUQUERQUE, NEW MEXICO



Behan & Associates, Inc.
Engineers & Architects
2444 N. Country Club, Suite # 105
Tucson, Arizona 85716
(520) 327-8670/327-8816

LARRY J. CLUCK & ASSOCIATES
2444 N. Country Club, Suite # 105
Tucson, Arizona 85716
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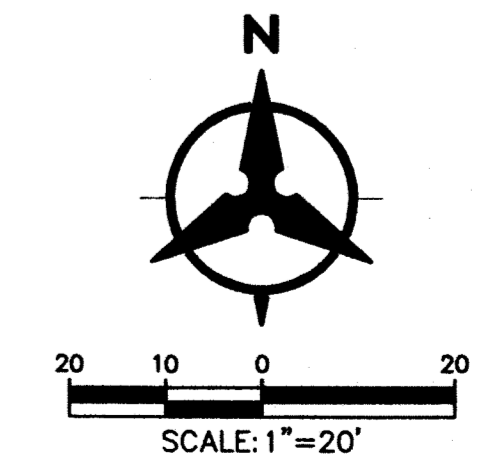
PRELIMINARY. NOT FOR CONSTRUCTION

SITE INFORMATION

MK TYPE: 9A_LG2
JOB #: 1266
ADDRESS:
MONTGOMERY
ALBUQUERQUE, NM
DRAWN BY: BO
SCALE: 1"=20'

UTILITY PLAN

C3.0



DATES

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P.M. UPDATES: _____

PERMIT: _____

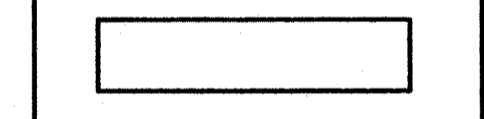
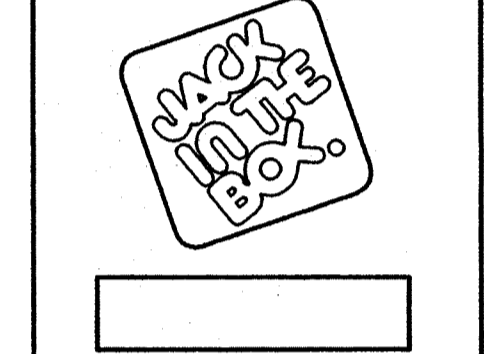
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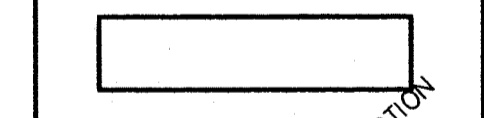
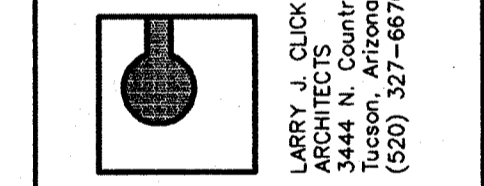
REVISIONS

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JACK IN THE BOX #1266
 MONTGOMERY
 ALBUQUERQUE, NEW MEXICO



LARRY J. CLUCK & ASSOCIATES
 ARCHITECTS
 3444 N. Country Club, Suite # 105
 ALBUQUERQUE, NM 87110
 (505) 327-6670 / 327-8816



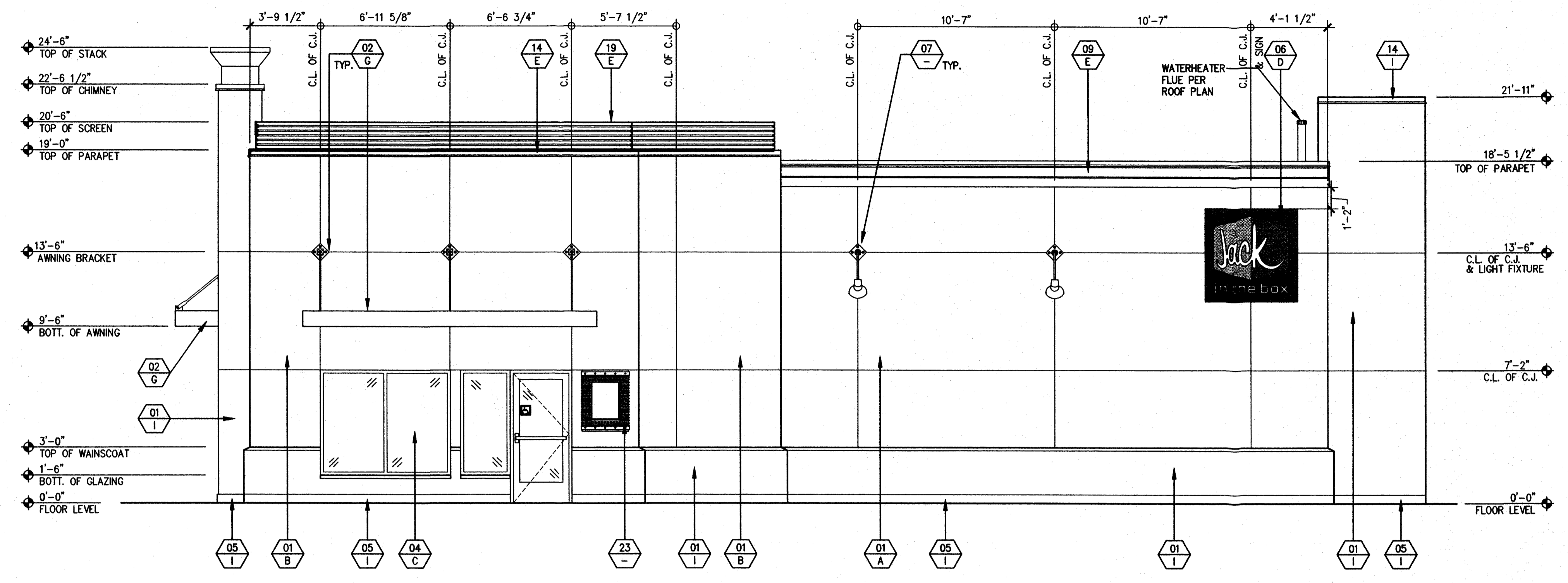
PRELIMINARY. NOT FOR CONSTRUCTION

SITE INFORMATION

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 JIB #: 1266
 ADDRESS: MONTGOMERY ALBUQUERQUE, NM
 DRAWN BY: L.JCA
 SCALE: AS NOTED

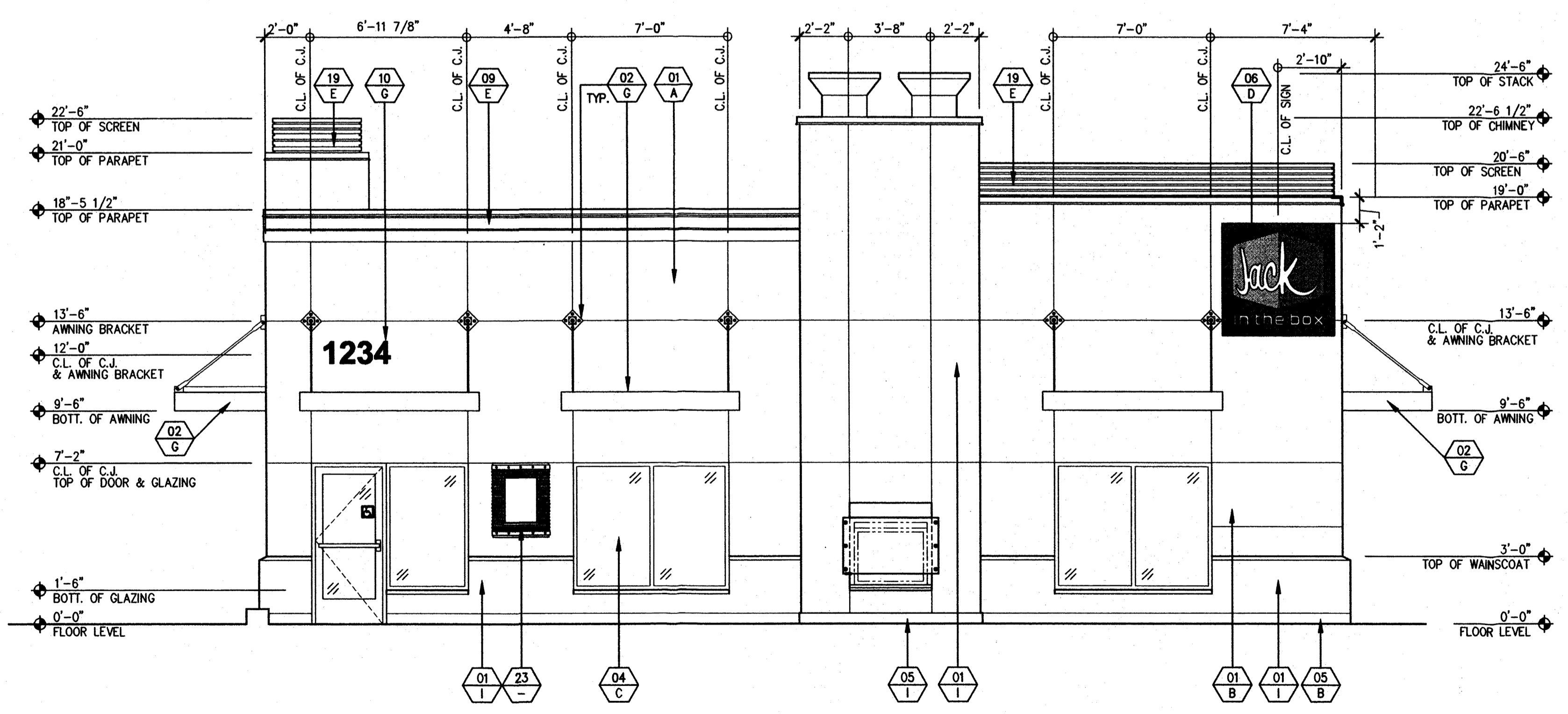
EXTERIOR ELEVATIONS

A4.0



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

USE CHECKED BOX ONLY

01 MATERIAL/FINISH
 A COLOR

MATERIAL/FINISH:

- 01 EXTERIOR CEMENT PLASTER- SAND FLOAT FINISH
- 02 METAL AWNING & SUPPORT (O.F.C.I.)
- 03 24" x 36" S.S. FLASHING AT GREASE RECOVERY TAP IN
- 04 ALUMINUM STOREFRONT SYSTEM (SEE SPECS FOR MORE INFORMATION)
 - 1" CLEAR INSULATED GLASS
 - 1/4" CLEAR GLASS
 - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
 - ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE W/ CORRUGATED PANEL (O.F.O.I.)
- 07 WALL MOUNTED LIGHTING FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
- 08 NOT USED
- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 BUILDING ADDRESS LETTERS
- 11 NOT USED
- 12 NOT USED
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 SERVICE DOOR BUZZER
- 17 NOT USED
- 18 NOT USED
- 19 PREFORMED GALVANIZED METAL SCREEN
- 20 GALVANIZED METAL TRIM
- 21 NOT USED
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 NOT USED

COLOR:

- A COLOR TO MATCH SHERWIN WILLIAMS: SW 7037 "BALANCED BEIGE"
- B SHERWIN WILLIAMS: SW 6328 "FIREWEED"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND WITH CORRUGATED SURROUND TRIM
- E DARK GRAY - GALV. FINISH
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVIAR".
- H MIL FINISH ALUMINUM
- I SHERWIN WILLIAMS: SW 7039 "VIRTUAL TAUPE"
- K SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVIAR"
- L NATURAL CONCRETE, GRAY
- M STAINLESS STEEL

NOTES:

1. C.J. = PLASTER CONTROL JOINT PER 9/A9.2
2. ALL PLASTER ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.)
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.

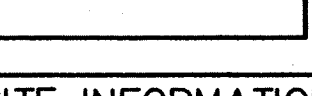
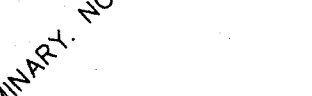
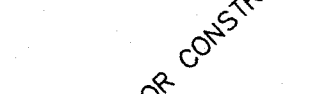
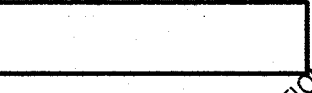
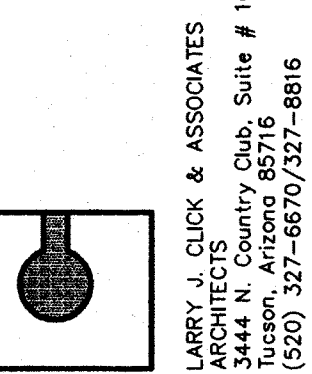
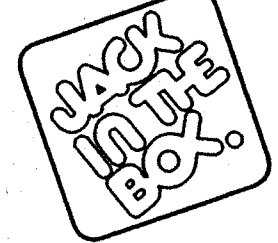
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REVISIONS

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JACK IN THE BOX #1266
 MONTGOMERY
 ALBUQUERQUE, NEW MEXICO

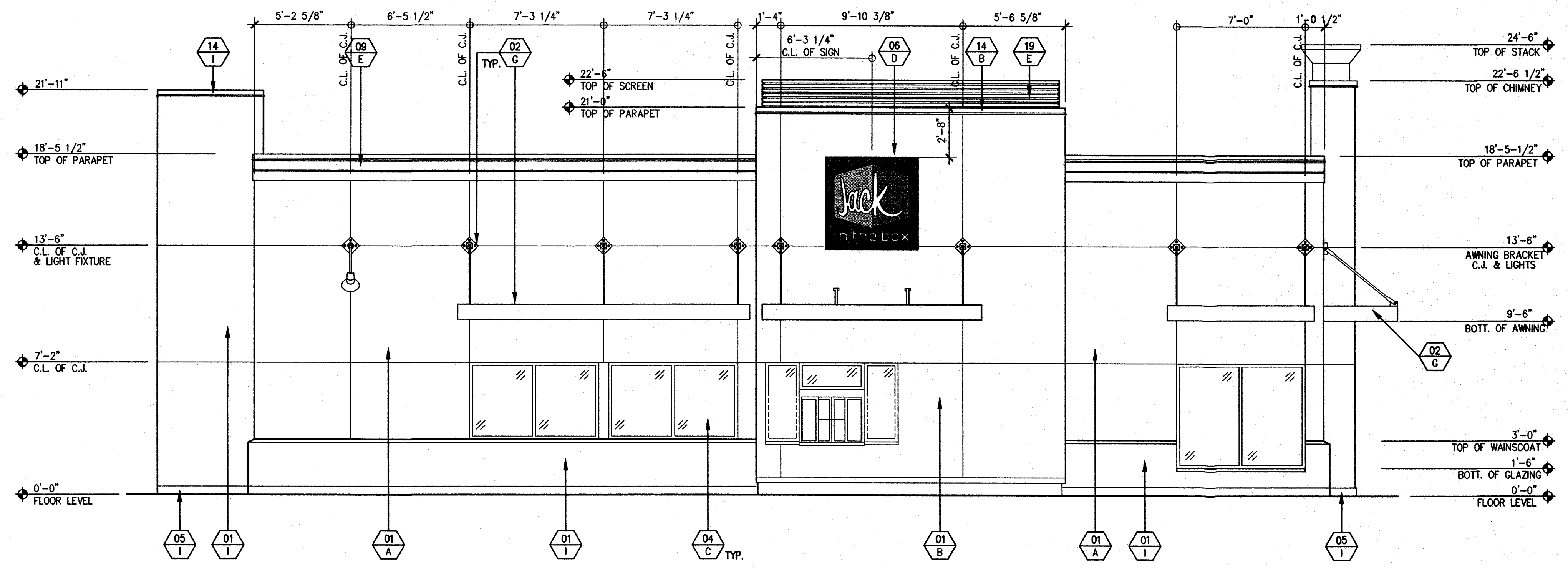


SITE INFORMATION

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 JIB #: 1266
 ADDRESS: MONTGOMERY ALBUQUERQUE, NM
 DRAWN BY: LJCA
 SCALE: AS NOTED

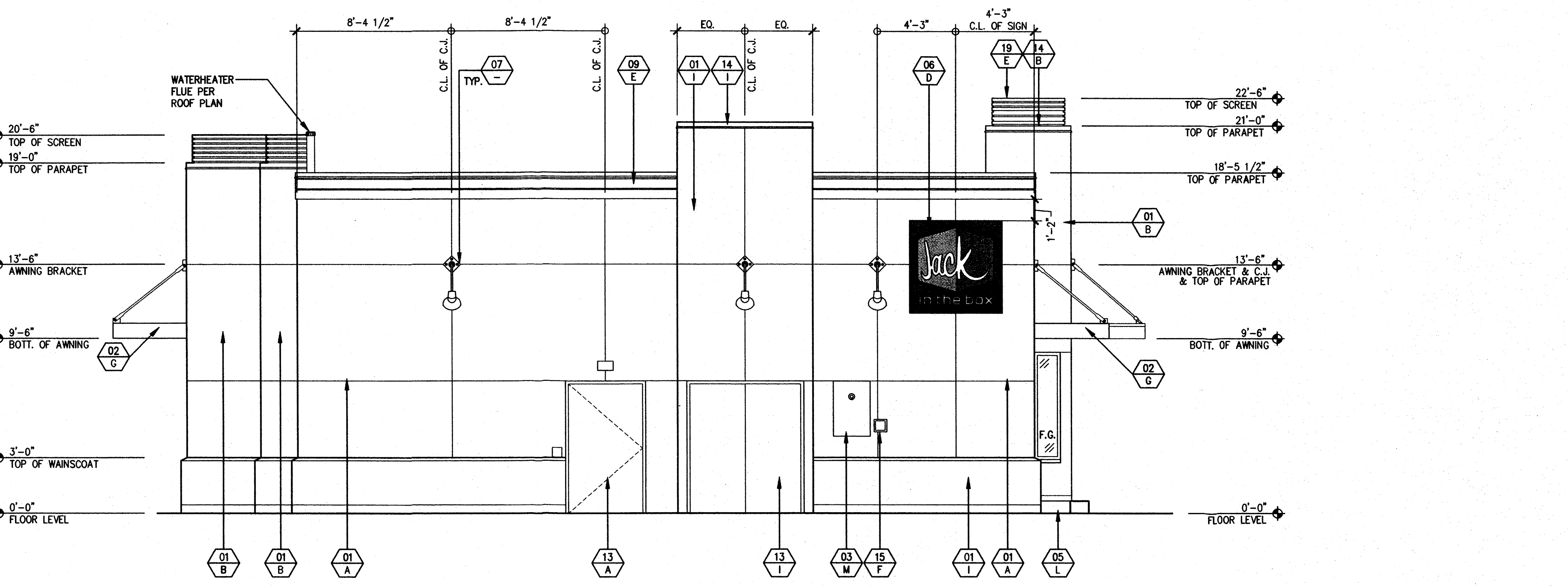
EXTERIOR ELEVATIONS

A4.1



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

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01 MATERIAL/FINISH
 A COLOR

MATERIAL/FINISH:

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- 07 WALL MOUNTED LIGHTING FIXTURE, SEE DETAIL 16/A9.3 FOR ATTACHMENT.
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- 09 PREFORMED GALVANIZED METAL FASCIA
- 10 BUILDING ADDRESS LETTERS
- 11 NOT USED
- 12 NOT USED
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
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- 20 GALVANIZED METAL TRIM
- 21 NOT USED
- 22 NOT USED
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 NOT USED

COLOR:

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- M STAINLESS STEEL

NOTES:

1. C.J. = PLASTER CONTROL JOINT PER 9/A9.2
2. ALL PLASTER ACCESSORIES, FLASHINGS ETC. SHALL BE PAINTED TO MATCH ADJACENT SURFACES. (U.N.O.).
3. ALL EXTERIOR WALL OPENINGS FOR RECEPTACLES, HOSE BIBS, ETC. SHALL BE SEALED. SEE FLOOR PLAN, GENERAL NOTES, AND SPECIFICATIONS FOR ADDITIONAL NOTES.

Montgomery Boulevard, N.E.

(PUBLIC ROW WIDTH VARIES)



Wallace Engineering
Structural Consultants, Inc.
Structural and Civil Consultants
123 N. Martin Luther King Jr. Blvd.
Tulsa, Oklahoma 74103
918.584.5858, 800.364.5858

BUILDING OWNER
BOK FINANCIAL
6242 E. 41st STREET
TULSA, OK 74135

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COLIN SKIPWORTH
BOK FINANCIAL
ONE WILLIAMS CENTER
SUITE 1800
TULSA, OK 74172
918.660.2997

ARCHITECT
ARCHITECTS INK, LLC
8811 S. YALE AVE
SUITE 150
TULSA, OK 74137
918.417.7847

CIVIL / STRUCTURAL ENGINEER
WALLACE ENGINEERING
123 N. M.L.K. JR BLVD
TULSA, OK 74103
918.584.5858

MECHANICAL / ELECTRICAL ENGINEER
MPW ENGINEERING, LLC
110 W 7TH ST
TULSA, OK 74119
918.582.4088

LANDSCAPE ARCHITECT
ALABACK DESIGN
3202 EAST 21ST STREET, SUITE 100
TULSA, OK 74114
918.742.1463



5000 MONTGOMERY

5000 MONTGOMERY BLVD NE
ALBUQUERQUE, NM 87109

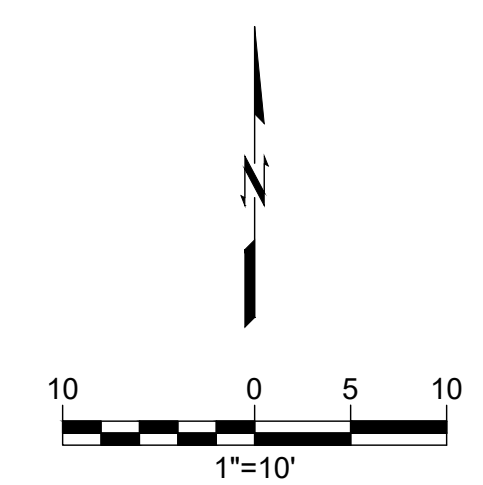
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1	PERMIT / BID	11/24/21

PROJECT NO: 21BOK068

GRADING & DRAINAGE PLAN

C-500



GENERAL GRADING NOTES

- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED & INSPECTED AND APPROVED BY LOCAL AUTHORITIES.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASSED AND PAVED AREAS.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
- CONTRACTOR IS RESPONSIBLE FOR TEMPORARY ACCESS ROADS AND SHALL MAINTAIN POSITIVE DRAINAGE OF ENTIRE SITE THROUGHOUT CONSTRUCTION AND AVOID PONDING OR RUTTING. TEMPORARY DEWATERING, INCLUDING PUMPING, MAY BE REQUIRED AND SHALL BE INCLUDED IN THE SCOPE OF WORK.
- ALL SIDEWALKS AND RAMPS TO HAVE MAXIMUM LONGITUDINAL SLOPE OF 5% AND MAXIMUM CROSS SLOPE OF 2%.

PROPERTY DESCRIPTION

LOT: A3, BLOCK: A
SUBDIVISION: VISTA GRANDE ADDITION UNIT ONE
UPC: 101708050351711613
ZONE ATLAS PAGING: G-17-Z
LAND USE ZONING: C2 (SC)

GRADING NARRATIVE

THE 2008 JACK IN THE BOX ON MONTGOMERY BLVD GRADING PLAN BY BOHANNAN HUSTON AS WELL AS THE GRADING AND DRAINAGE PLAN FOR THE CARL'S JUNIOR CREATED EARLIER BY MARK GOODWIN & ASSOCIATES SHOWS THAT THE SUBJECT PROPERTY DISCHARGES TO THE EXISTING PARKING LOT AND ON-DOWN TO AN AREA INLET IN THE STREET AND CONVEYED TO THE PUBLIC STORM MAIN RUNNING UNDER MONTGOMERY BLVD. THE SITE WILL CONTINUE TO FLOW TO THE INLET AT A SIMILAR RATE TO THE CALCULATED IN THE PREVIOUS REPORTS, AND, THEREFORE, WILL NOT RESULT IN ANY ADDITIONAL PUBLIC DRAINAGE INFRASTRUCTURE REQUIREMENTS TO ACCOMMODATE THE FLOW FROM THE PROPOSED CONSTRUCTION.

STORM WATER QUALITY

PER DPM 6-13, STORMWATER QUALITY AND LOW-IMPACT DEVELOPMENT, REDEVELOPMENT SITE.

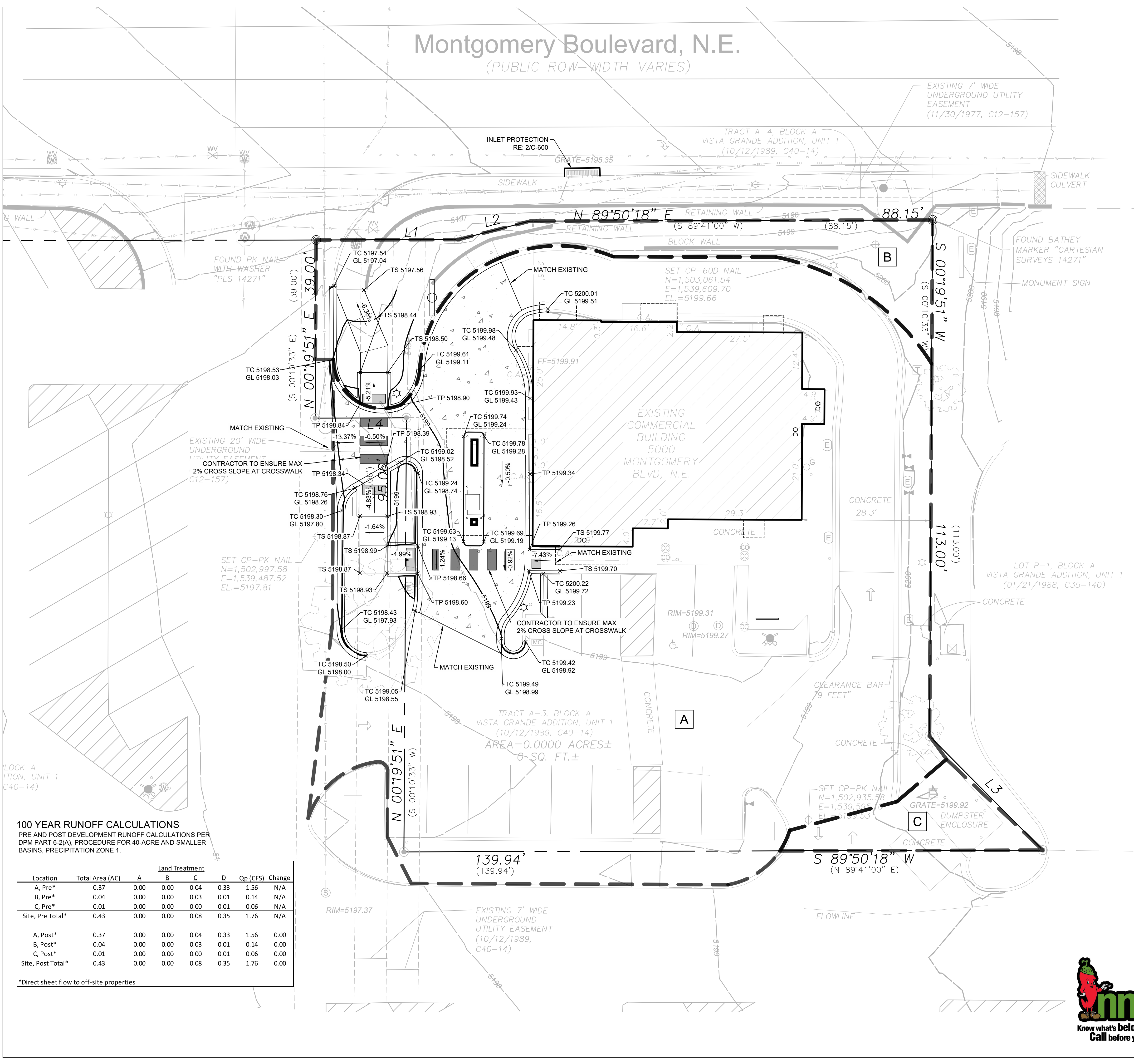
THE SITE AREA INCLUDES A TOTAL OF 16,882 SF (0.39 AC), WHICH HAS BEEN PREVIOUSLY DEVELOPED AND INCLUDES 15,292 SF (91%) OF EXISTING IMPERVIOUS COVER. THE REMAINING SITE IS GRAVEL/SAND COVER WITH NO VEGETATION OR ANY OTHER GREEN FEATURES. THE PROPOSED IMPROVEMENTS WILL ADD ZERO SF OF IMPERVIOUS COVER AND THE REMAINING 1,590 SF OF PERVIOUS AREA (9% OF THE SITE) WILL BE IMPROVED WITH NEW LANDSCAPING.

15,292 SF OF IMPERVIOUS COVER WILL DRAIN TO THE EXISTING STORM SYSTEM. FOR A REDEVELOPMENT SITE, THE WATER QUALITY VOLUME = 0.26 IN x 15,292 SF x (1 FT/12 IN) = 331.33 CF.

THE PREDEVELOPMENT PEAK FLOW RATES ARE NEARLY EQUAL TO THE POSTDEVELOPMENT PEAK FLOW RATES DISCHARGING DIRECTLY TO THE WEST OF THE SITE. NO FURTHER WATER QUALITY MEASURES ARE WARRANTED.

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100 YEAR RUNOFF CALCULATIONS

PRE AND POST DEVELOPMENT RUNOFF CALCULATIONS PER DPM PART 6-2(A), PROCEDURE FOR 40-ACRE AND SMALLER BASINS, PRECIPITATION ZONE 1.

Location	Total Area (AC)	Land Treatment				Op (CFS)	Change
		A	B	C	D		
A, Pre*	0.37	0.00	0.00	0.04	0.33	1.56	N/A
B, Pre*	0.04	0.00	0.00	0.03	0.01	0.14	N/A
C, Pre*	0.01	0.00	0.00	0.00	0.01	0.06	N/A
Site, Pre Total*	0.43	0.00	0.00	0.08	0.35	1.76	N/A
A, Post*	0.37	0.00	0.00	0.04	0.33	1.56	0.00
B, Post*	0.04	0.00	0.00	0.03	0.01	0.14	0.00
C, Post*	0.01	0.00	0.00	0.00	0.01	0.06	0.00
Site, Post Total*	0.43	0.00	0.00	0.08	0.35	1.76	0.00

*Direct sheet flow to off-site properties

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MONTGOMERY

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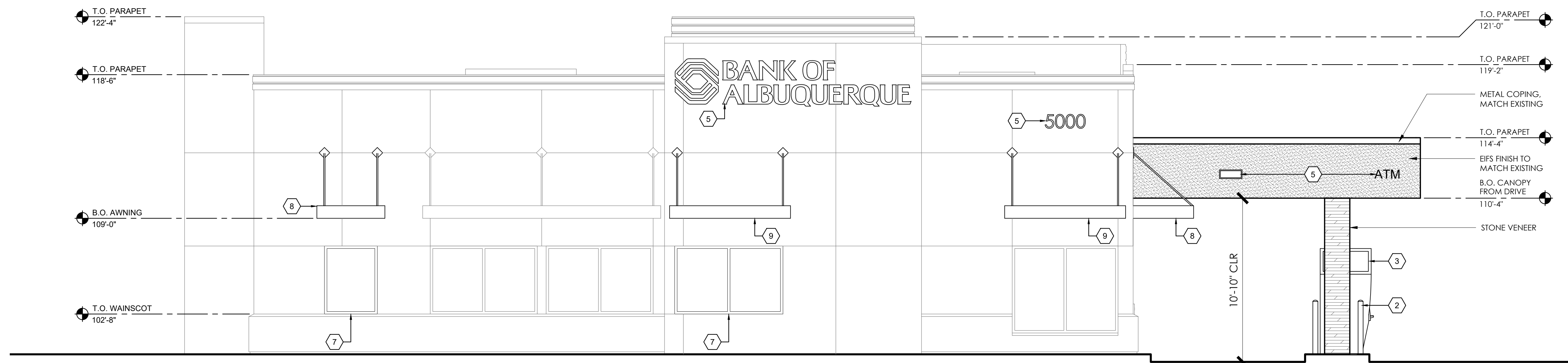
PROJECT NO: 21BOK068

EXTERIOR ELEVATIONS

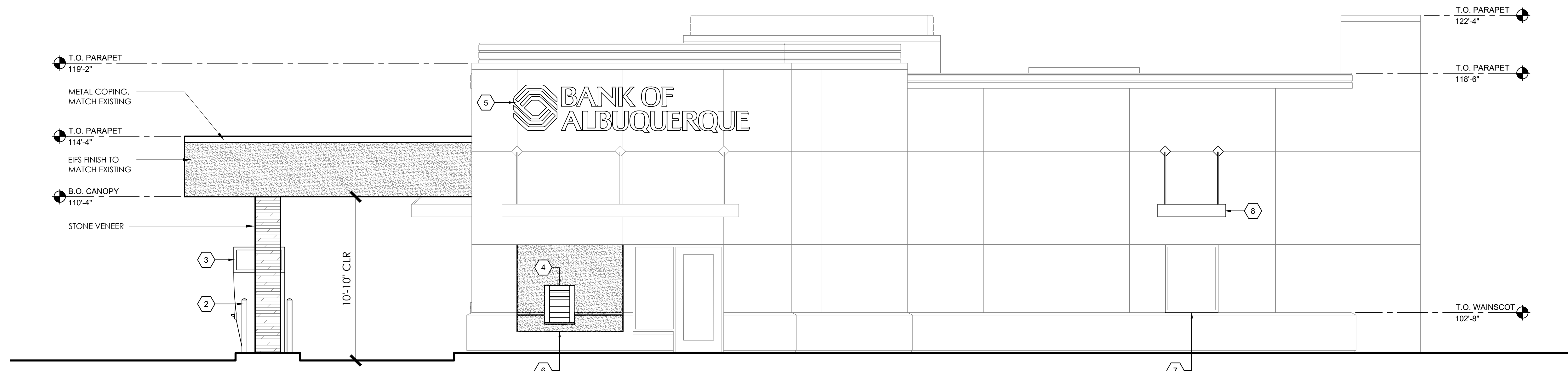
A-201

- ### GENERAL NOTES
- ALL DRAWINGS ARE GRAPHIC REPRESENTATIONS OF APPROXIMATE LOCATIONS OF EXISTING AND NEW MATERIALS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO WORK BEGINNING.
 - NEW OPENINGS IN BUILDING ENVELOPE ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS. CARE IS TO BE TAKEN WITH THE REMOVAL AND STORAGE OF ITEMS TO BE SALVAGED FOR REUSE.

- ### KEYNOTES
- RETAIL PNEUMATIC TUBE STATION - VERIFY DETAILS AND MOUNTING REQUIREMENTS WITH SMITH-HAMILTON REP AND COORDINATE MILLWORK AND MOUNTING. PAINT TUBE TO MATCH BASE. RE: CIVIL FOR SITE PREP DETAIL.
 - 3" CONCRETE FILLED PAINTED BOLLARDS. COLOR TO BE PMS 187 RED.
 - OWNER PROVIDED ATM WITH SURROUND. RE: CIVIL FOR SITE PREP DETAIL.
 - OWNER PROVIDED NIGHT DROP.
 - SIGNAGE TBD. SHOWN FOR REFERENCE ONLY.
 - INFILL OPENING. MATCH EXISTING CONSTRUCTION.
 - NEW GLAZING. MATCH EXISTING ALUMINUM STOREFRONT FINISH AND GLAZING.
 - NEW METAL AWNING AND SUPPORTS CENTERED OVER WINDOW. MATCH EXISTING.
 - REPURPOSED AWNINGS RELOCATED AS INDICATED. CENTER AWNINGS OVER WINDOWS AND INSTALL PER MANUFACTURER'S INSTRUCTIONS.

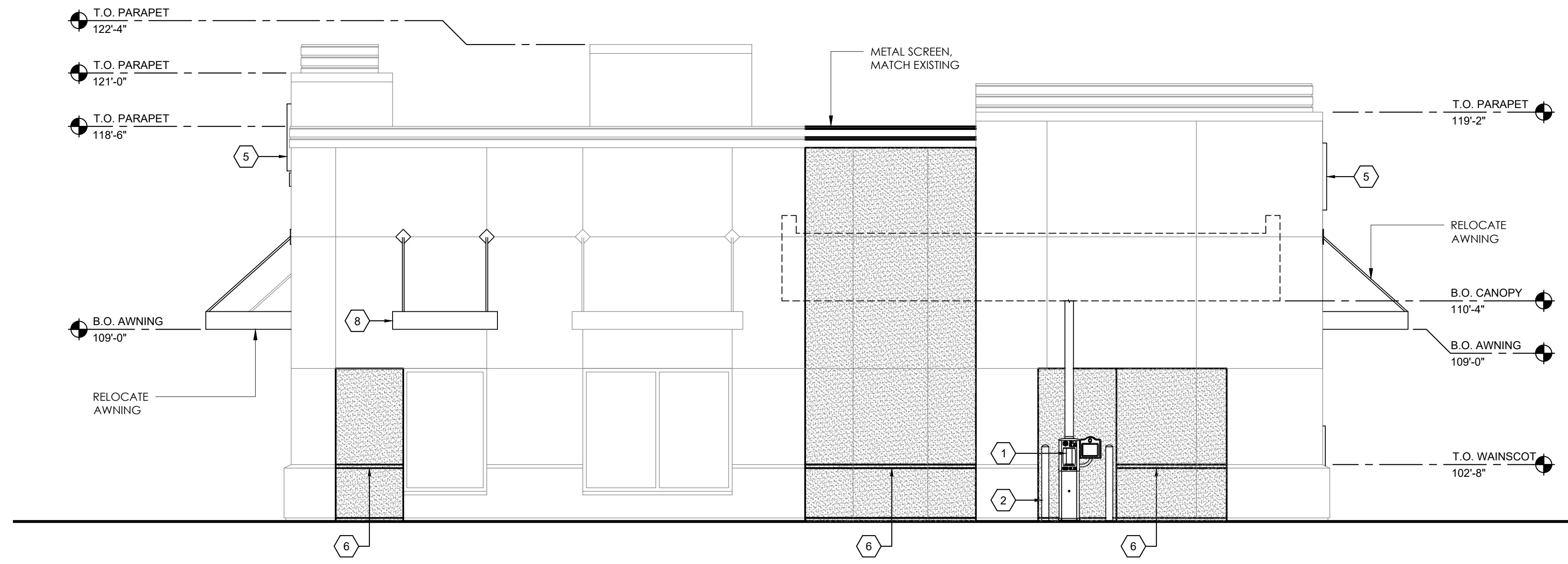


2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

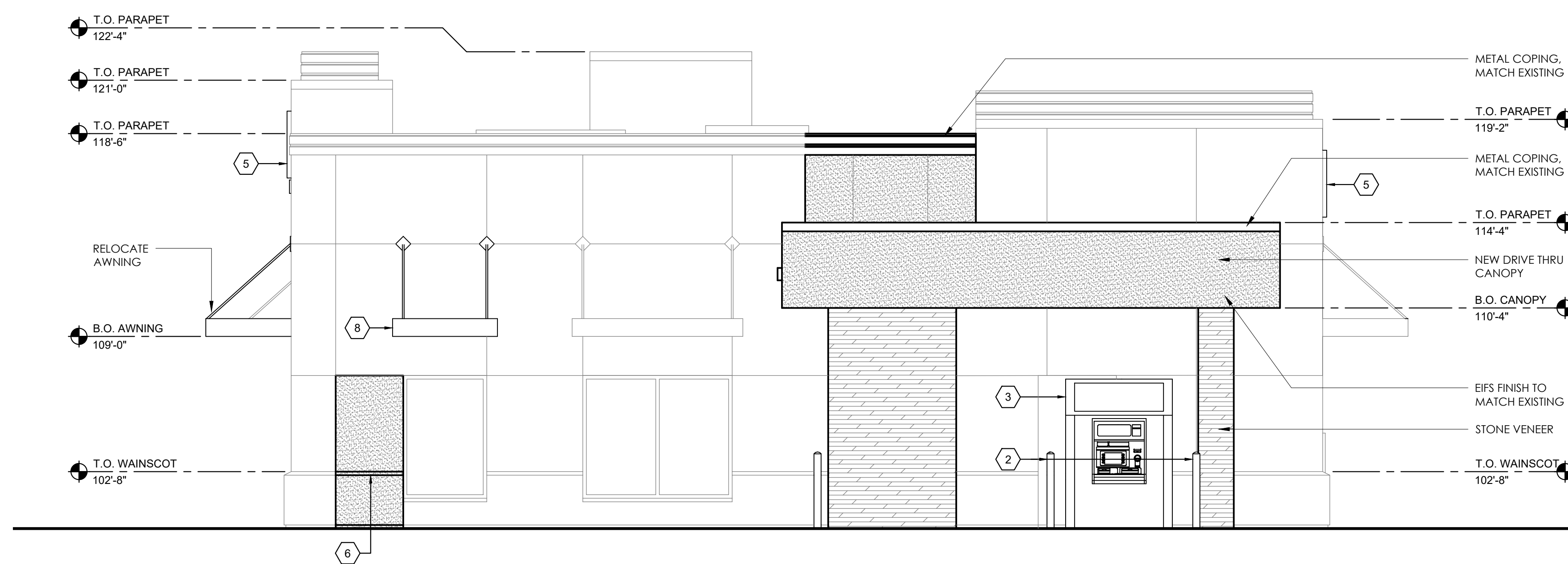


1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

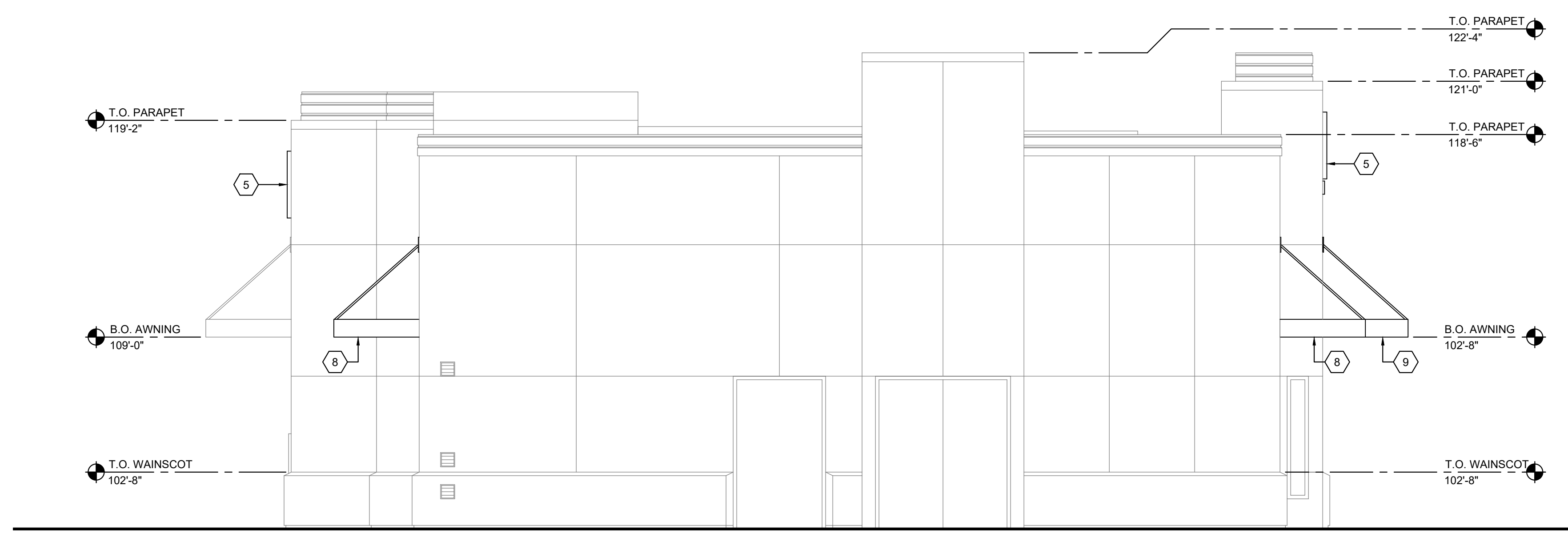
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3 WEST ELEVATION (WITHOUT CANOPY)
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION (WITH CANOPY)
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

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WALLACE DESIGN COLLECTIVE, PC
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TULSA, OK 74103
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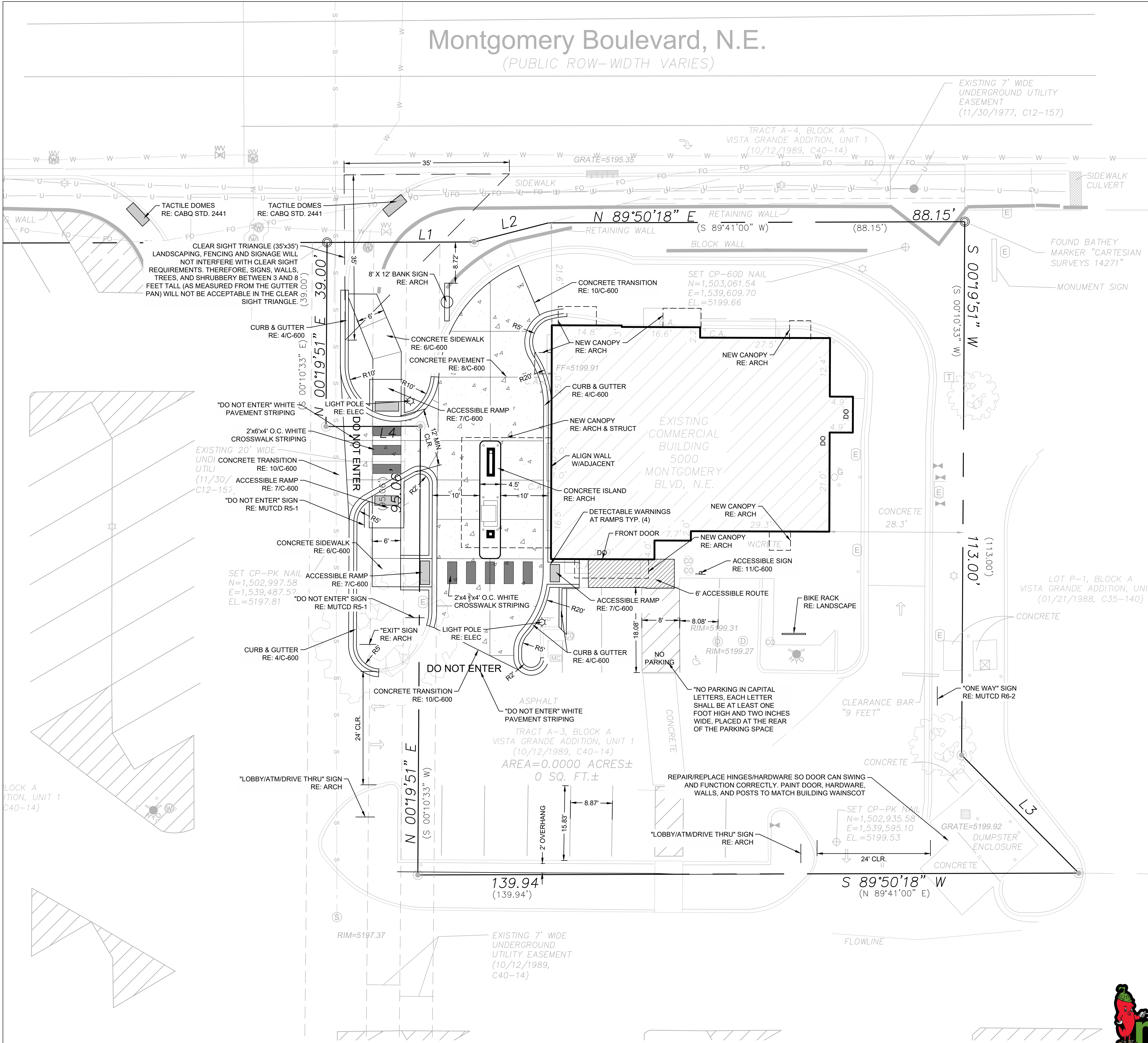
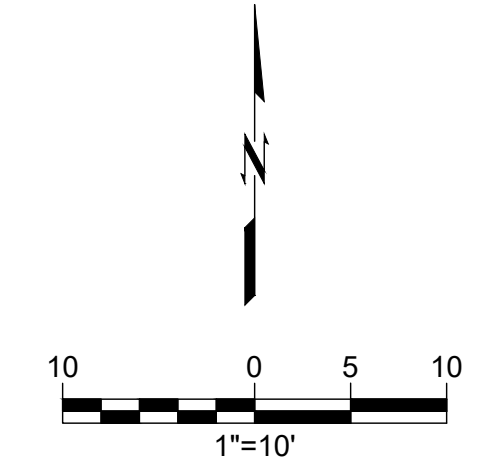
EXTERIOR ELEVATIONS

A-202

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Montgomery Boulevard, N.E.

(PUBLIC ROW-WIDTH VARIES)



- ### GENERAL SITE NOTES
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL REGULATIONS AND CODES, WHICHEVER IS MORE STRINGENT.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
 - REFER TO LANDSCAPE PLANS FOR GRASS, TREES AND PLANTED MATERIALS.
 - ALL DIMENSIONS AND COORDINATES ARE FROM BACK OF CURB UNLESS SHOWN OTHERWISE.
 - CONCRETE PAVING SECTIONS SHALL BE SAWCUT AT 12' MAXIMUM SPACING EACH.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER, RE: CABQ STDS. 2430 & 2415A

PARKING REQUIREMENTS	
BANK OF ALBUQUERQUE	
3 SPACES/1000 FT	
2,680 SF	
TOTAL SITE REQUIRED PARKING	9

PARKING SUMMARY	
MOTORCYCLE	1
VAN ACCESSIBLE	1
STANDARD PARKING	11
TOTAL PARKING	13

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1	PERMIT / BID	12/03/21
2	ASI #1	12/17/21
3	ADD#1	01/07/22

PROJECT NO: 21BOK068

SITE PLAN

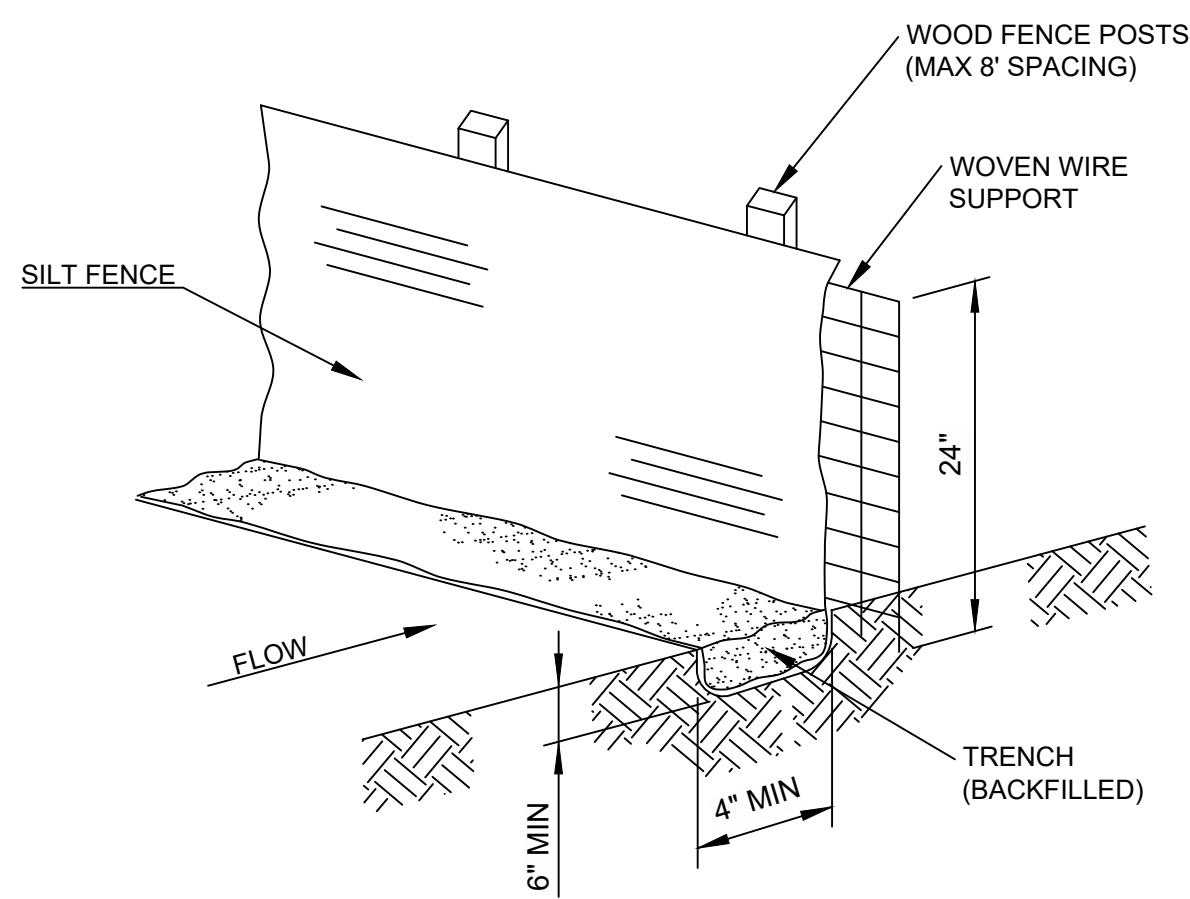
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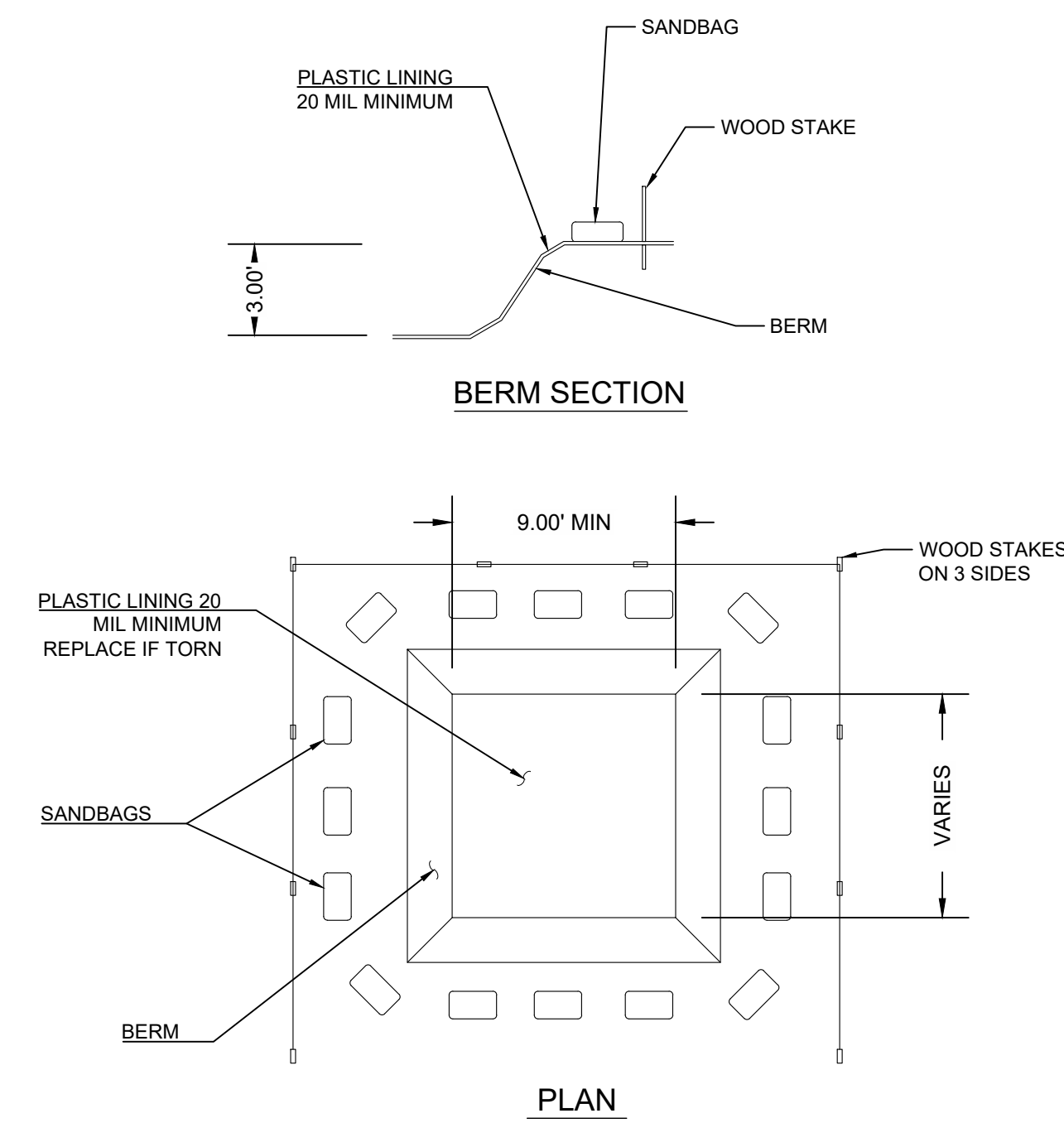
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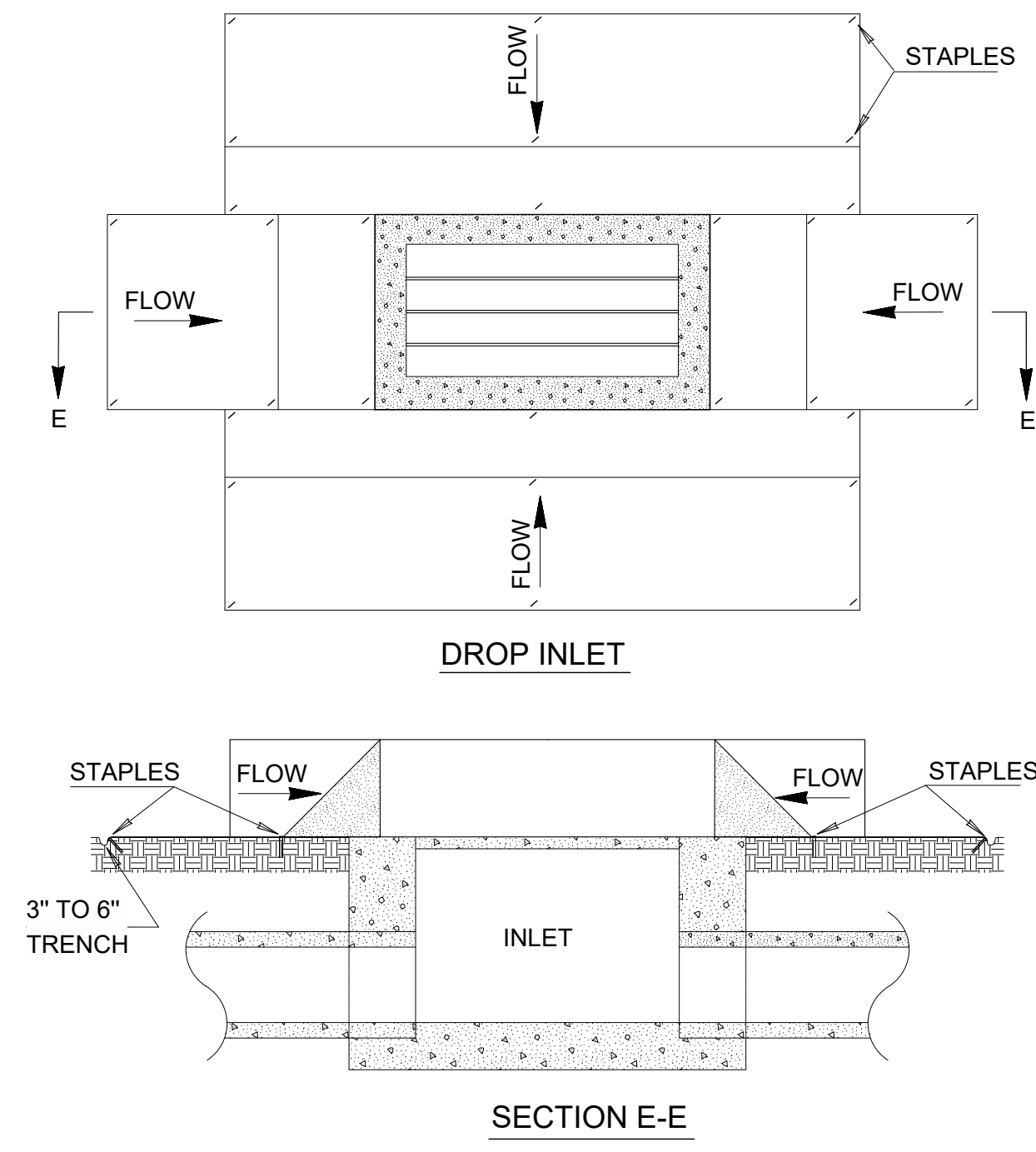
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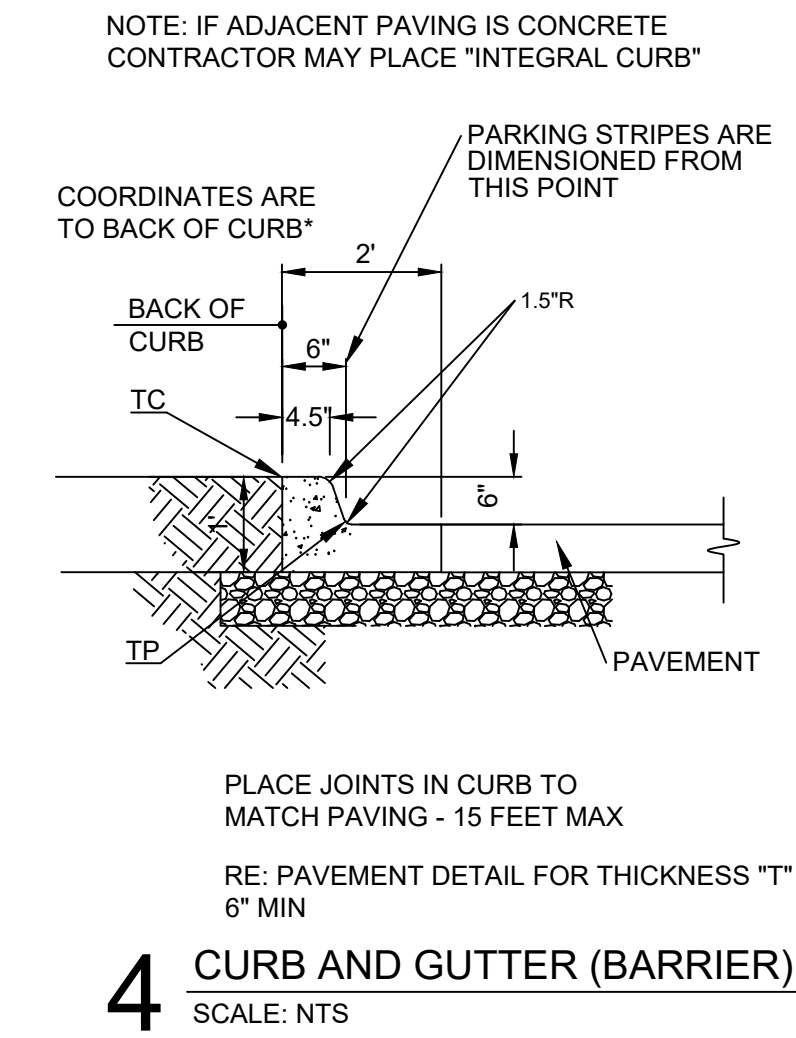
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SCALE: NTS



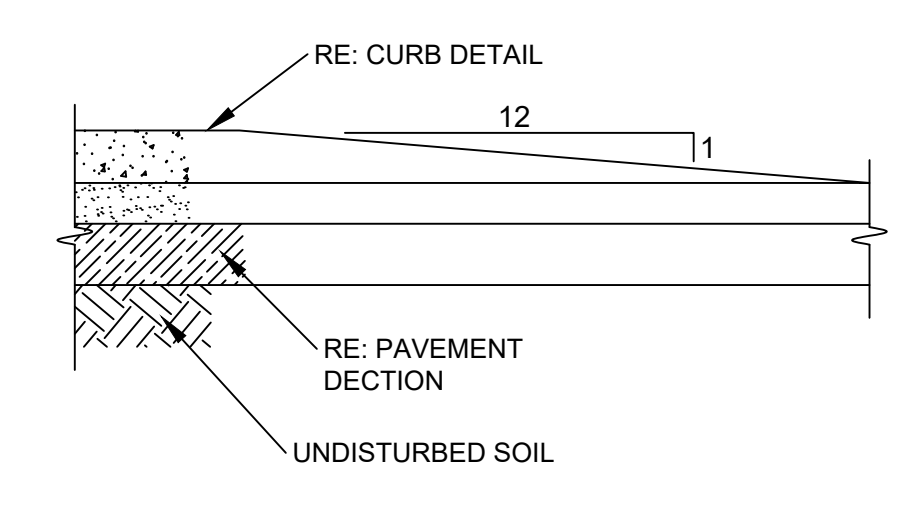
2 CONCRETE WASHOUT PIT
SCALE: NTS



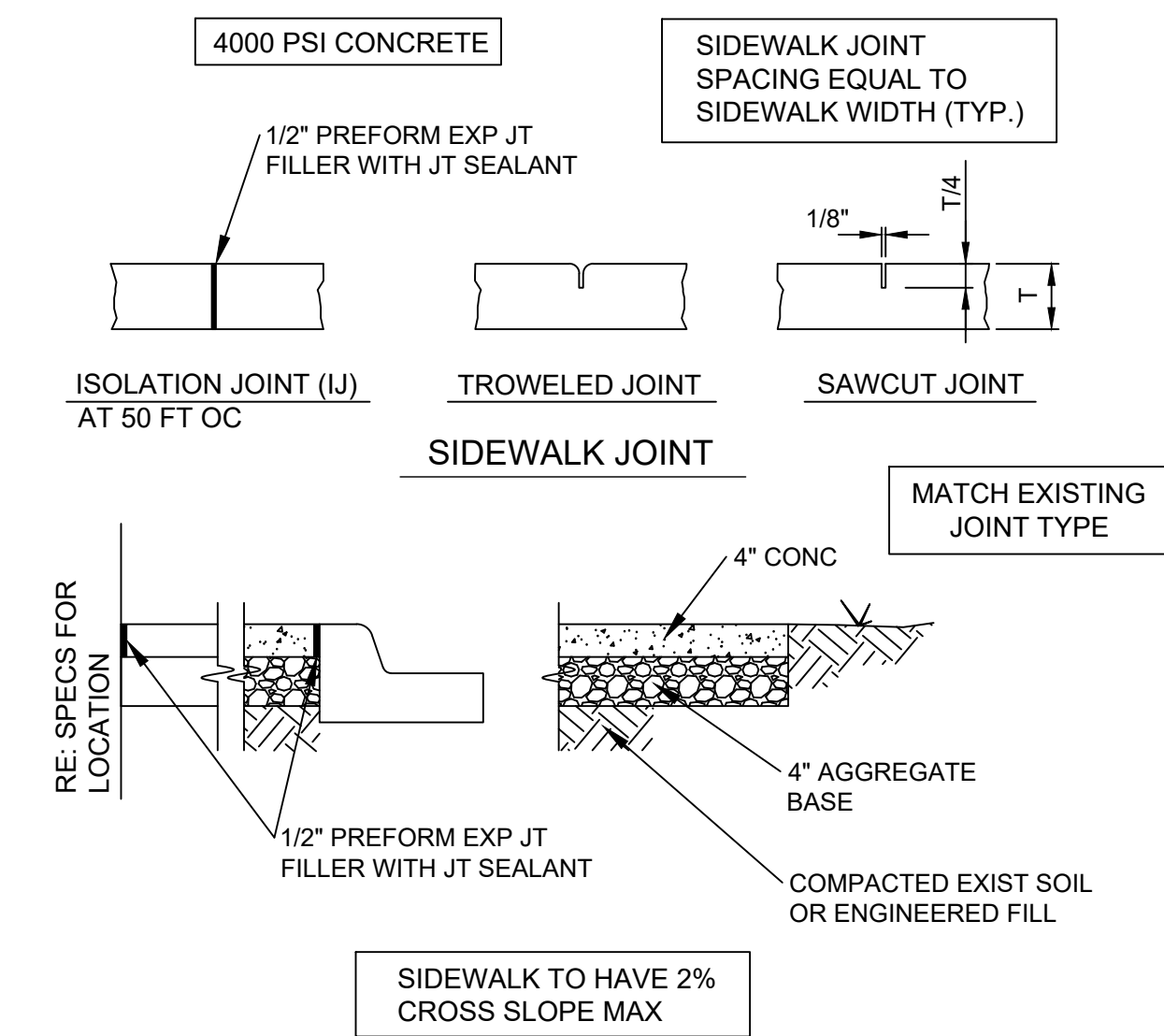
3 TEMPORARY SILT DIKE
SCALE: NTS



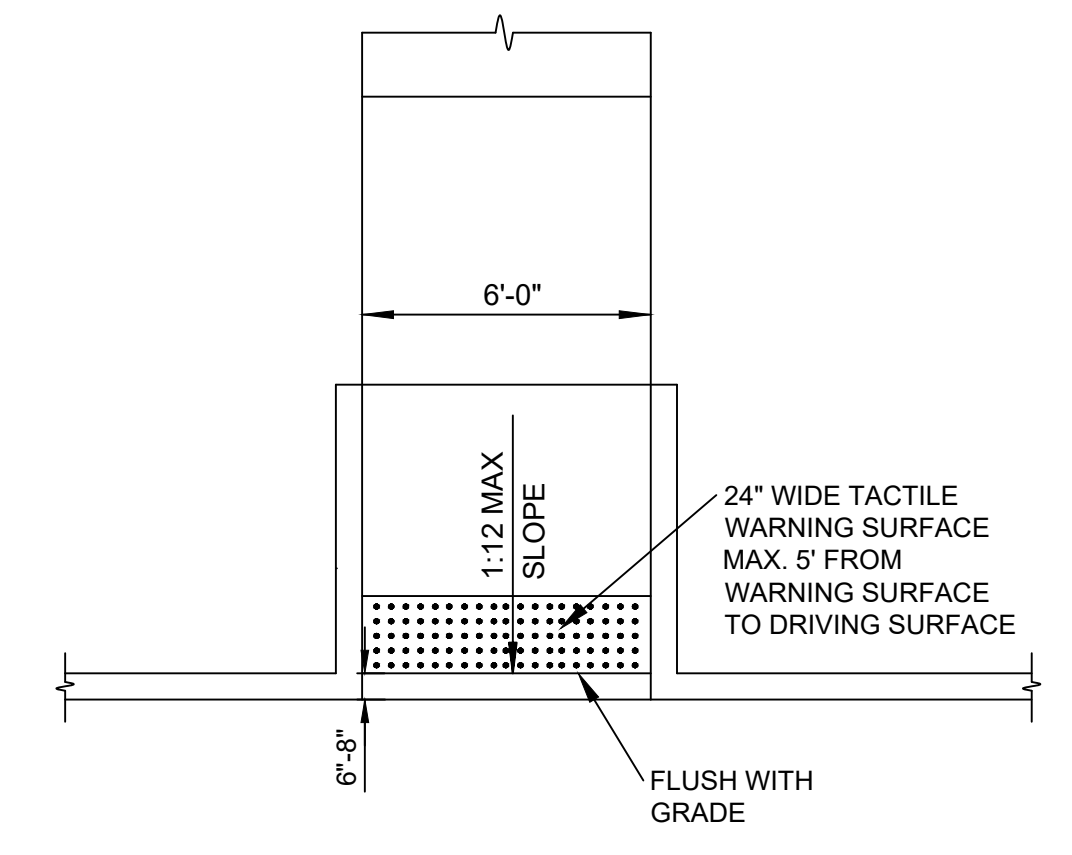
4 CURB AND GUTTER (BARRIER)
SCALE: NTS



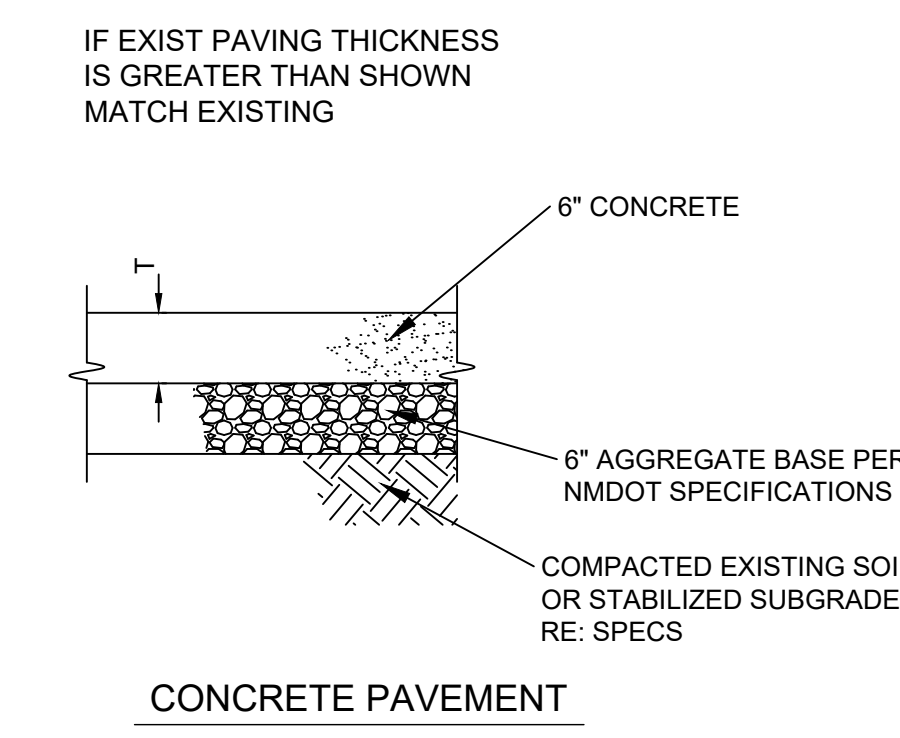
5 CURB TERMINATION
SCALE: NTS



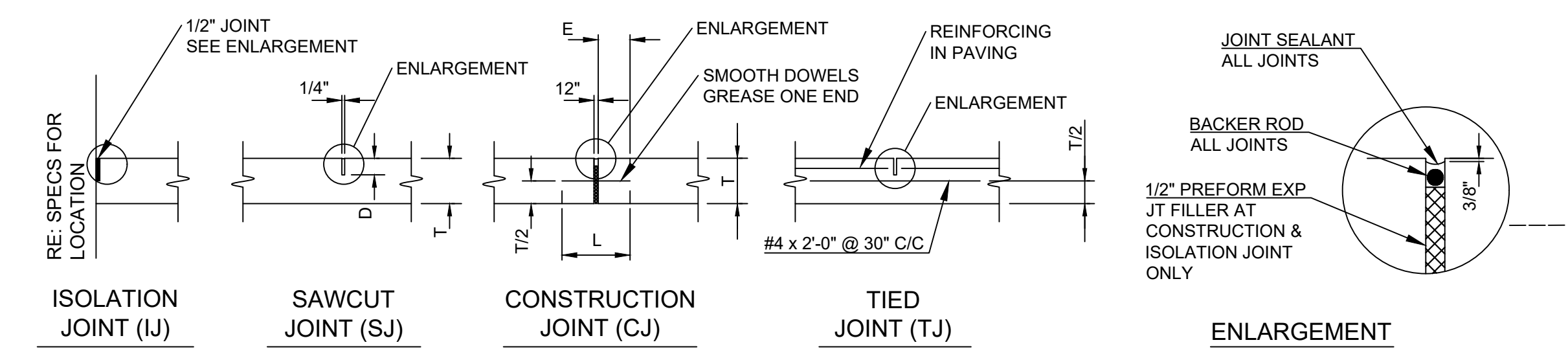
6 SIDEWALK
SCALE: NTS



7 CURB RAMPS
SCALE: NTS

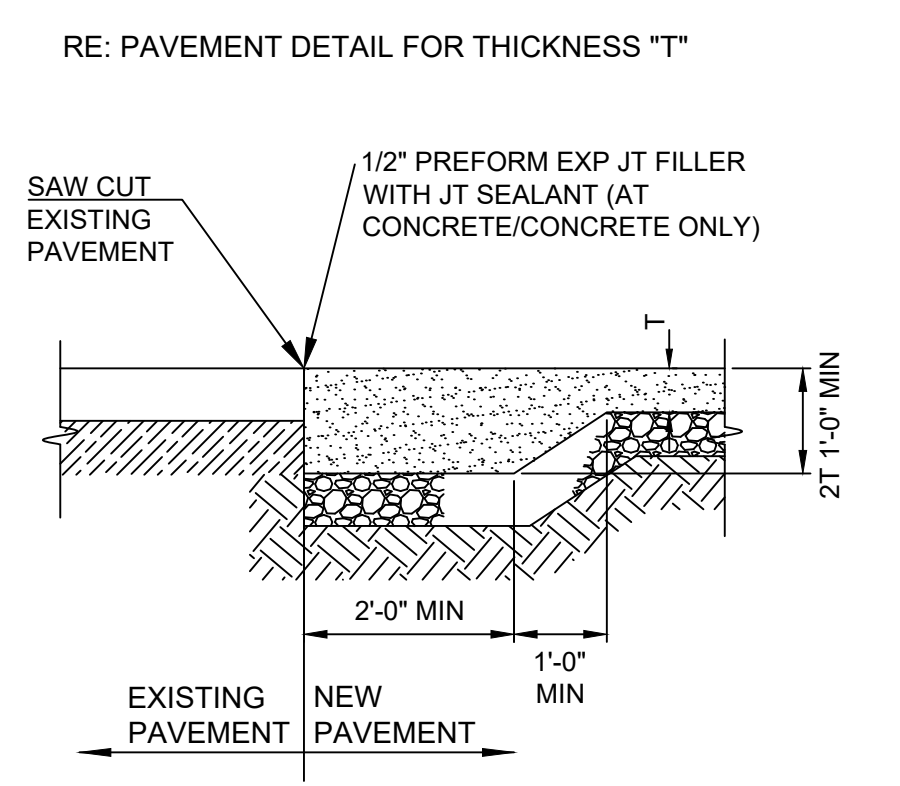


8 PAVEMENT DETAIL
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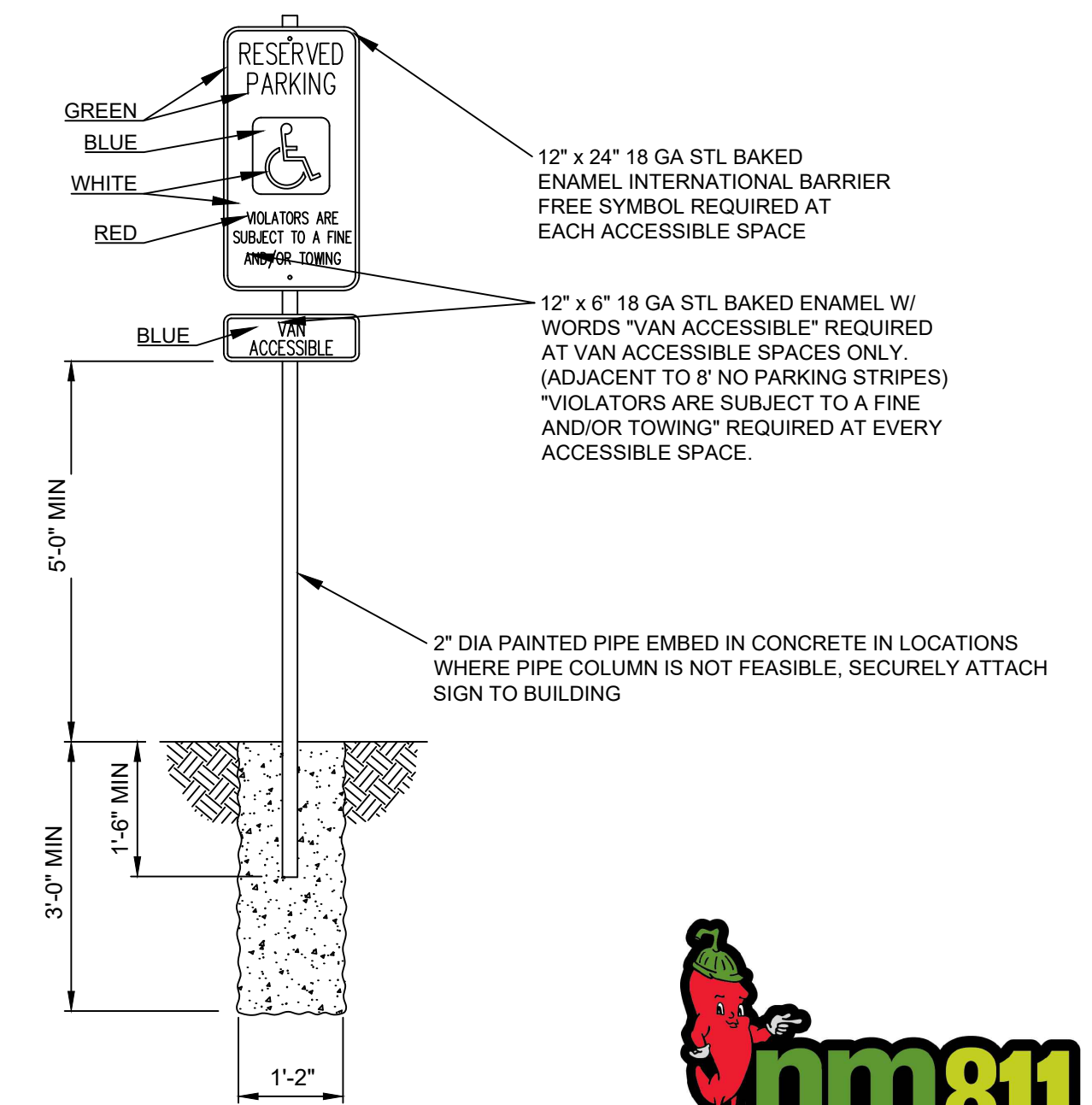


9 PAVING JOINT DETAIL
SCALE: NTS

"T" PAVEMENT THICKNESS	DOWEL DIAMETER @ 12" C/C	"L" LENGTH	"E" EMBEDMENT	"D" SAWCUT DEPTH	MAX JOINT SPACING
5"	---	---	---	1 1/4"	12.5'
6"	3/4"	14"	6"	1 1/2"	15'
7"	7/8"	14"	6"	1 3/4"	15'
8"	1"	14"	6"	2"	15'



10 CONCRETE TRANSITION
SCALE: NTS



11 ACCESSIBLE SIGNAGE
SCALE: NTS



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3	ADD#1	01/07/22

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DETAILS

C-600

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CITY OF ALBUQUERQUE INVOICE

**WALLACE STRUCTURAL CONSULTANTS JACKSIN
EMERY**

123 N MARTIN LUTHER KING

Reference NO: SI-2021-02006

Customer NO: CU-149335701

Date	Description	Amount
11/30/21	2% Technology Fee	\$1.00
11/30/21	Application Fee	\$50.00

Due Date: **11/30/21**

Total due for this invoice:

\$51.00

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 11/30/21
Amount Due: **\$51.00**
Reference NO: SI-2021-02006
Payment Code: 130
Customer NO: CU-149335701

WALLACE STRUCTURAL CONSULTANTS
JACKSIN EMERY
123 N MARTIN LUTHER KING
TILSA, OK 74103



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