



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: JENNIFER COBBS C/O CYNTERGY		Phone: 918-346-6818
Address: 810 S. CINCINNATI, 2ND FLOOR		Email: jcobbs@cyntergy.com
City: TULSA	State: OK	Zip: 74119
Professional/Agent (if any): JAMES E., TURNER C/O CYNTERGY		Phone: 918-877-6000
Address: 810 S. CINCINNATI, 2ND FLOOR		Email:
City: TULSA	State: OK	Zip: 74119
Proprietary Interest in Site: ARCHITECT FOR WALMART		List all owners: WALMART R.E. BUS. TRUST

BRIEF DESCRIPTION OF REQUEST

MINOR SITE AMENDMENT FOR EXTERIOR PAINT, EXTERIOR SIGN, AND ONLINE GROCERY PICKUP (OGP) DESIGNATED PARKING CHANGES

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: 1	Block: 88	Unit:
Subdivision/Addition: SNOW HEIGHTS ADDITION	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s): H-21-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M (EXISTING TO REMAIN)
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres): 8.0949

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 11001 MENAUL BLVD. NE. Between: MORRIS ST. NE. and: JUAN TABO BLVD. NE.

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

1002445, 1008823, 1009075, 1009407, 1002445

Signature:	Date:
Printed Name: JENNIFER COBBS C/O CYNTERGY	<input checked="" type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-02084	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: Project # PR-2021-006327

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

☐ ARCHEOLOGICAL CERTIFICATE

- ☐ Archaeological Compliance Documentation Form with property information section completed
- ☐ Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- ☐ Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- ☐ Copy of the Official Notice of Decision associated with the prior approval
- ☐ Three (3) copies of the proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☒ MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- ☒ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- ☒ Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- ☒ Copy of the Official Notice of Decision associated with the prior approval
- ☒ Three (3) copies of the proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- ☒ Letter of authorization from the property owner if application is submitted by an agent
- ☒ Zone Atlas map with the entire site clearly outlined and labeled

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

☐ ACCELERATED EXPIRATION SITE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- ☐ Site Plan to be Expired
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

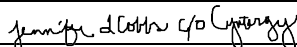
☐ ALTERNATIVE SIGNAGE PLAN

- ☐ Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- ☐ Required notices with content per IDO Section 14-16-6-4(K)
 - ☐ Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
 - ☐ Sign Posting Agreement
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

☐ ALTERNATIVE LANDSCAPE PLAN

- ☐ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- ☐ Landscape Plan
- ☐ Letter of authorization from the property owner if application is submitted by an agent
- ☐ Zone Atlas map with the entire site clearly outlined and labeled

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 

Date: 12-9-2021

Printed Name: JENNIFER L. COBBS

☐ Applicant or ☒ Agent

FOR OFFICIAL USE ONLY

Project Number:	Case Numbers
PR-2021-006327	SI-2021-02084
	-
	-
Staff Signature:	
Date:	





RED TAIL ACQUISITIONS, LLC
COMMERCIAL REAL ESTATE INVESTMENTS

October 26, 2021

City of Albuquerque Planning Department
600 2nd NW
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

Please receive this as authorization for Cyntergy, on behalf FPA Foothills, LLC, (Property Owner) and Red Tail Acquisitions, LLC (Managing Agent) and Walmart (Tenant), to submit this letter of intent and supporting documentation to the City of Albuquerque. The indicated submittal will be for review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) for property Walmart #5675 located at 11001 Menaul Boulevard NE. We anticipate the submittal will be reviewed by the City of Albuquerque Planning Department and hereby authorize Cyntergy to represent FPA Foothills, LLC and Red Tail Acquisitions, LLC, along with Walmart in responding to the City of Albuquerque's recommendations, as well as participating in any public Committee meetings as necessary.

Sincerely,

Curt Lorenz

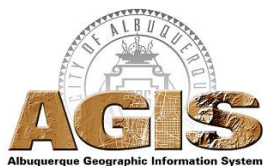
Regional Commercial Property Manager
Red Tail Acquisitions, LLC
Managing Agent of
FPA Foothills, LLC

707 W. Main Ave., Suite B-1
Spokane, WA 99201
509-624-4627
clorenz@rtacq.com

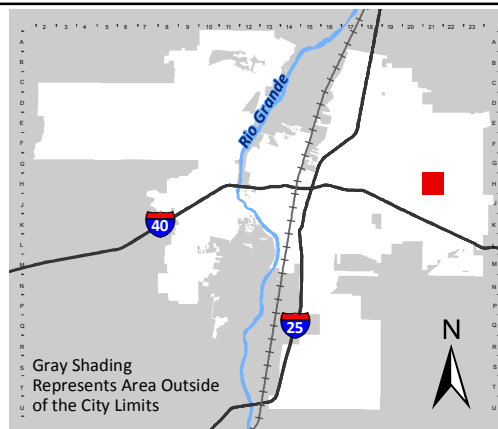


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018



IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



Zone Atlas Page:
H-21-Z

- Easement
 - Escarpment
 - Petroglyph National Monument
 - Areas Outside of City Limits
 - Airport Protection Overlay (APO) Zone
 - Character Protection Overlay (CPO) Zone
 - Historic Protection Overlay (HPO) Zone
 - View Protection Overlay (VPO) Zone
- 0 250 500 1,000 Feet

December 9, 2021

City of Albuquerque Planning Department
600 2nd NW
Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

We are requesting a review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) of a Pre-IDO Site Development Plan for property Walmart #5675 located at 11001 Menaul Boulevard NE. The requested Minor Amendment scope of work includes pavement striping, Online Grocery Pickup (OGP) designated parking (with stall designation signs), directional signs within parking lot, exterior paint updates, and exterior wall sign updates. Please review the Justification per line item listed below.

Per 14-16-6-4 (Z) (1) Minor Amendments

14-16-6-4 (Z) (1) (a)

1) The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

The changes included in the request for minor amendment are for updates to the exterior paint, wall attached signs, re-facing site signs, and converting existing parking stalls to become designated Online Grocery Pickup (OGP). There are no exterior color restrictions for this location and the exterior signs meet the Sign Ordinance for Zoning MX-M.

(2) The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

The requested change is within the Site Plan-Administrative and Sign Permit approval thresholds, the developed site area total is not changing and the signs fall within the existing sign code applicable to the zoning of the site.

(3) The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.


The requested amendment does not affect major public infrastructure or change access or circulation patterns on the property.

(4) No deviations, Variance, or Waivers shall be granted for minor amendments.

There are no requests for deviations, variances, or waivers to ordinances within this request.

We appreciate your consideration for the Minor Site Amendment.

Sincerely,


C/O Cyntergy

Jennifer Cobbs

C/O Cyntergy

810 S. Cincinnati, 2nd Floor

Tulsa, OK 74119



SIGNAGE & STRIPING SCHEDULE NOTES

- 1. PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 2. PROPOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 3. PROPOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 4. PROPOSED SIGN MOUNTING AND BASE ON BREAKAWAY POST (REF. SITE DETAILS).
- 5. PROPOSED SIGN MOUNTING AND BASE ON BOLLARD POST (REF. SITE DETAILS).

SITE SIGNAGE LEGEND

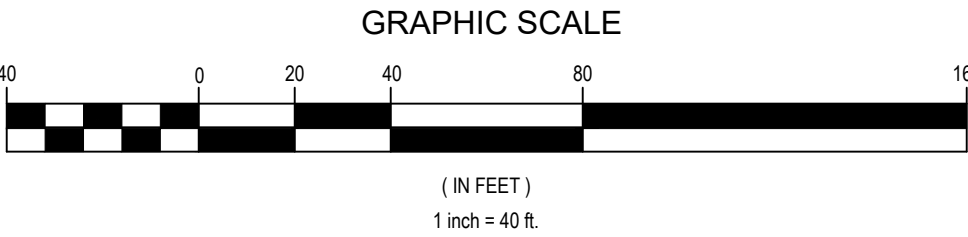
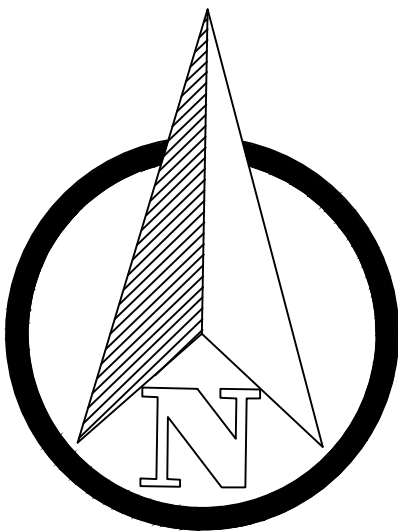
- PROPERTY LINE
- PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.
- PROPOSED PICKUP AREA

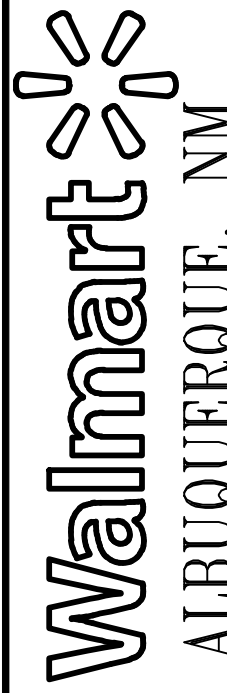
SITE SIGNAGE NOTES

- 1. THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/04/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.
- 2. REFERENCE SITE DETAILS FOR SIGN LOCATION.

PICKUP EXTERIOR SIGN SCHEDULE		
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	--
WAITING SPACES RIGHT	18 X 24	--
WAITING SPACES AHEAD	18 X 24	--
RESERVED WAITING	18 X 24	--
PICKUP LEFT PHARMACY RIGHT	18 X 24	--
PICKUP RIGHT PHARMACY LEFT	18 X 24	--
STOP THANKS FOR ORDERING	18 X 36	--
PICKUP HOURS	18 X 36	--
RESERVED	18 X 18	3
PHONE NUMBER	8 X 18	3
VERTICAL PICKUP	18 X 36	3
PICKUP LEFT	18 X 24	3
PICKUP AHEAD	18 X 24	1
PICKUP RIGHT	18 X 24	1

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (getty.thomas@walmart.com) AND BRAD KEENER (brad.keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.






ALBUQUERQUE, NM
11001 MENAUL BLVD NE
STORE NO: 05675-211
JOB NUMBER: CYN05675-211 PHOTO: PICKUP 2.0

2021 MAJOR PROJECT

ISSUE BLOCK		

CHECKED BY: JSB
DRAWN BY: DMH
PROTO CYCLE:
DOCUMENT DATE: 09/14/2021



6025 S. Wilshire Drive, Suite 300
Albuquerque, NM 87106
313.773.8884
Galloway.com

STIPULATION FOR REUSE:
THIS DRAWING WAS PREPARED FOR THE PROJECT OF ALBUQUERQUE, NM. IT IS THE PROPERTY OF GALLOWAY & ASSOCIATES, INC. AND IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GALLOWAY & ASSOCIATES, INC. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GALLOWAY & ASSOCIATES, INC. SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO GALLOWAY & ASSOCIATES, INC.

SITE SIGNAGE PLAN

SHEET: CS2

SHEET:
CS3



SITE AND DEMOLITION LEGEND

SEE SHEET SECP-1

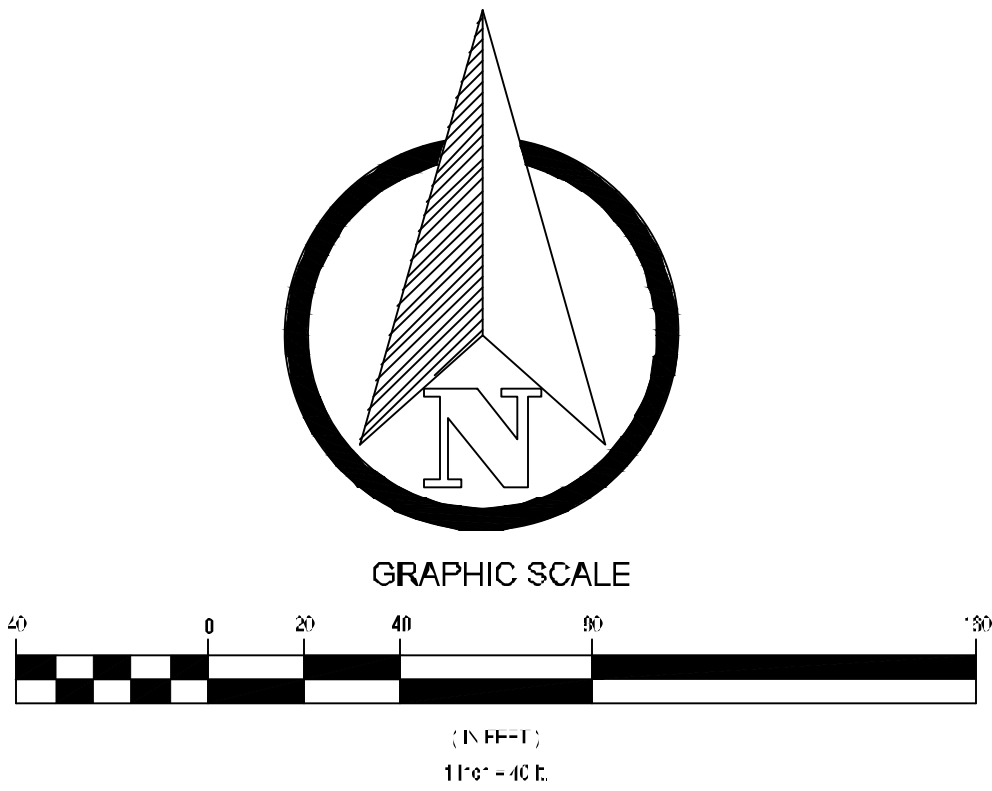
- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- (G) EXISTING CENTERLINE STRIPING TO BE REMOVED.
- (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (I) EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (J) EXISTING STOP SIGN TO REMAIN.
- (K) EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (L) EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (M) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (N) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (O) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (P) NEW "STOP HERE FOR PEDESTRIANS" (R1-S8) SIGN.
- (Q) NEW 30"x30" STOP SIGN.

- (R) NEW 36"x36" STOP SIGN.
- (S) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (T) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (U) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45° @ 2'-0" O.C.
- (V) NEW CROSSWALK MARKINGS - 8" WIDE PAINTED WHITE STRIPES PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-4" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.
- (W) UNITS OF SEAL COAT, APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL COAT.
- (X) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' GAPS.
- (Y) NEW OPEN ARROW PAVEMENT MARKINGS.
- (Z) NEW SOLID ARROW PAVEMENT MARKINGS.
- (AA) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (AB) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
- (AC) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (AD) NEW FIRE LANE STRIPING.
- (AE) EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT DETAILS/GUIDELINES.
- (AF) EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- (AG) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.

- (AH) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (AI) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (AJ) NEW "ALL WAY" PLAQUE.
- (AK) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (AL) EXISTING ISLAND STRIPING TO BE REMOVED.
- (AM) NEW OSP CROSSWALK MARKINGS.
- (AN) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.
- (AO) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (AP) NEW 4" SOLID WHITE LINE.
- (AQ) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- (AR) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (AS) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (AT) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.
- (AU) INSTALL SALVAGED STOP SIGN.
- (AV) RE-STRIP EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.

NOTES TO CONTRACTOR

- BFR (BUILDING FRONTAGE ROAD)
OCR (OUTER CIRCULATION ROAD)
- CONTRACTOR SHALL INSTALL NEW STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.



STOP SIGNS AND MARKINGS PLAN

REVISIONS	BY

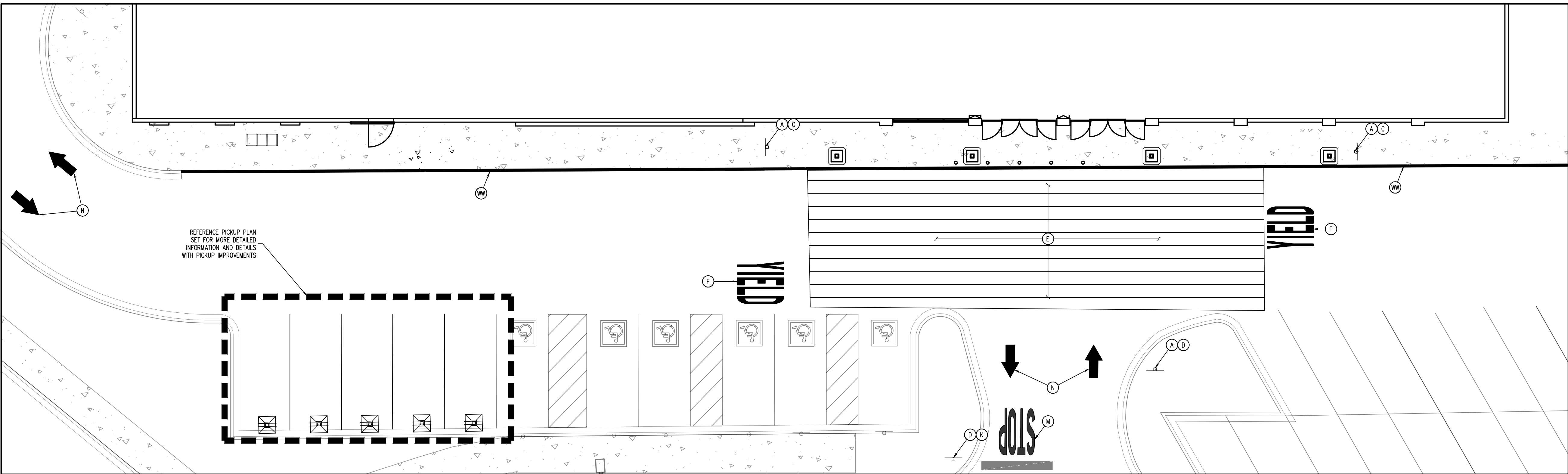


SUPERCENTER #05675-211
11001 MENAUL BLVD NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR

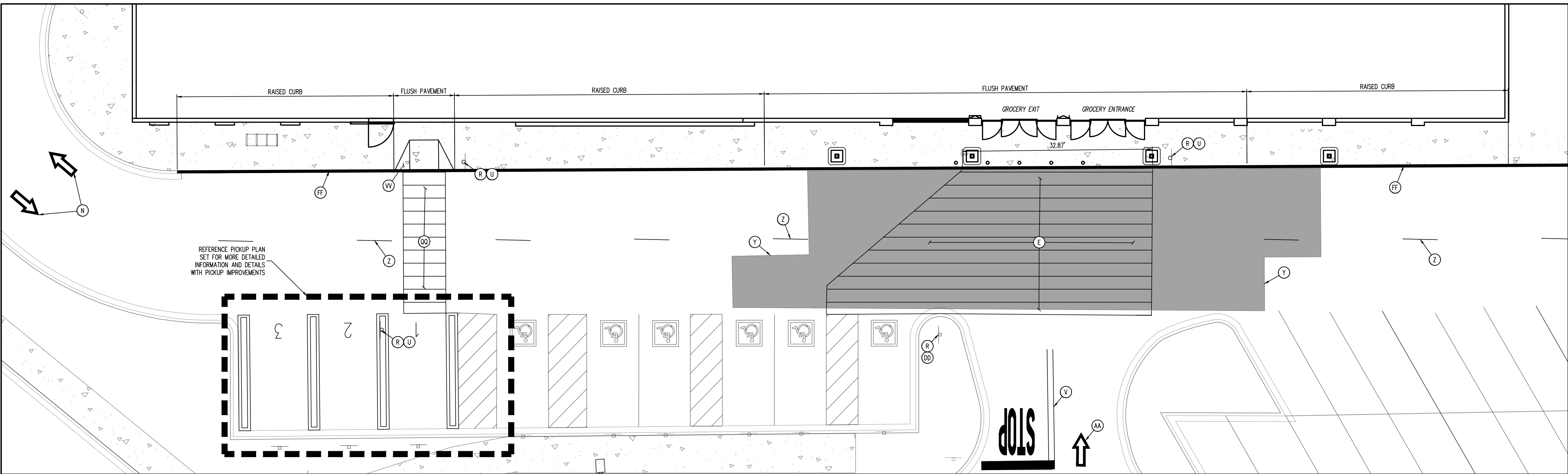


0' 10" 20' 30' 40' 50' 60' 70'
DATE
05/14/2021
BY
AS NOTED
FOR NO.
05/30/21 5.30
SHEET

SSM-1



DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

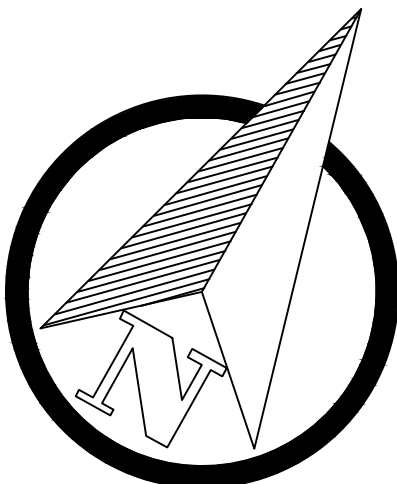
SITE AND DEMOLITION LEGEND

REFERENCE DETAIL SHEET

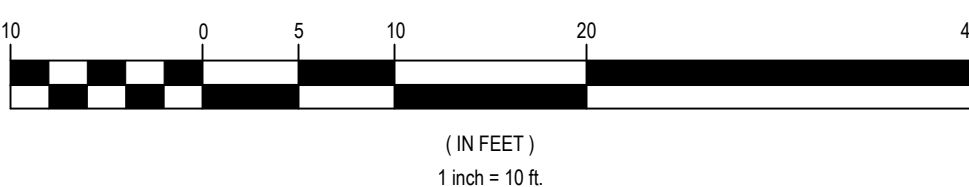
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- (K) EXISTING STOP SIGN TO REMAIN.
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- (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- (Q) EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (R) NEW "STOP HERE FOR PEDESTRIANS" (R1-38) SIGN.
- (S) NEW 30"x30" STOP SIGN.
- (T) NEW 36"x36" STOP SIGN.
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
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- (Z) NEW 4" WIDE PAINTED YELLOW STRIPES - 6' LONG WITH 18' CAPS.
- (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
- (AB) NEW SOLID ARROW PAVEMENT MARKINGS.
- (AC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (AD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST.
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- (AL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (AM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
- (AN) EXISTING "POCK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (AP) EXISTING ISLAND STRIPING TO BE REMOVED.
- (AQ) NEW OSP CROSSWALK MARKINGS.
- (AR) NEW CHANNELIZATION AT OSP DOOR. SEE DETAIL.

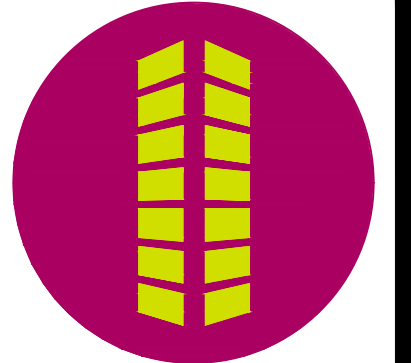
- (AS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- (AT) NEW 4" SOLID WHITE LINE.
- (AU) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.
- (AV) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
- (AW) EXISTING FIRE LANE STRIPING TO BE REMOVED.
- (AX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.
- (AY) INSTALL SALVAGED STOP SIGN.
- (AZ) RE-STRIPED EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.



GRAPHIC SCALE



DEMOLITION AND SITE CONSTRUCTION PLAN



Galloway

6162 S. Willow Drive, Suite 320
Albuquerque, NM 87111
360.770.8884
GallowayUS.com

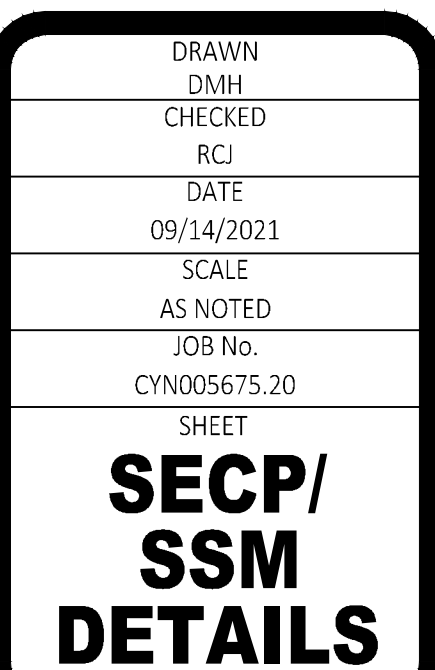


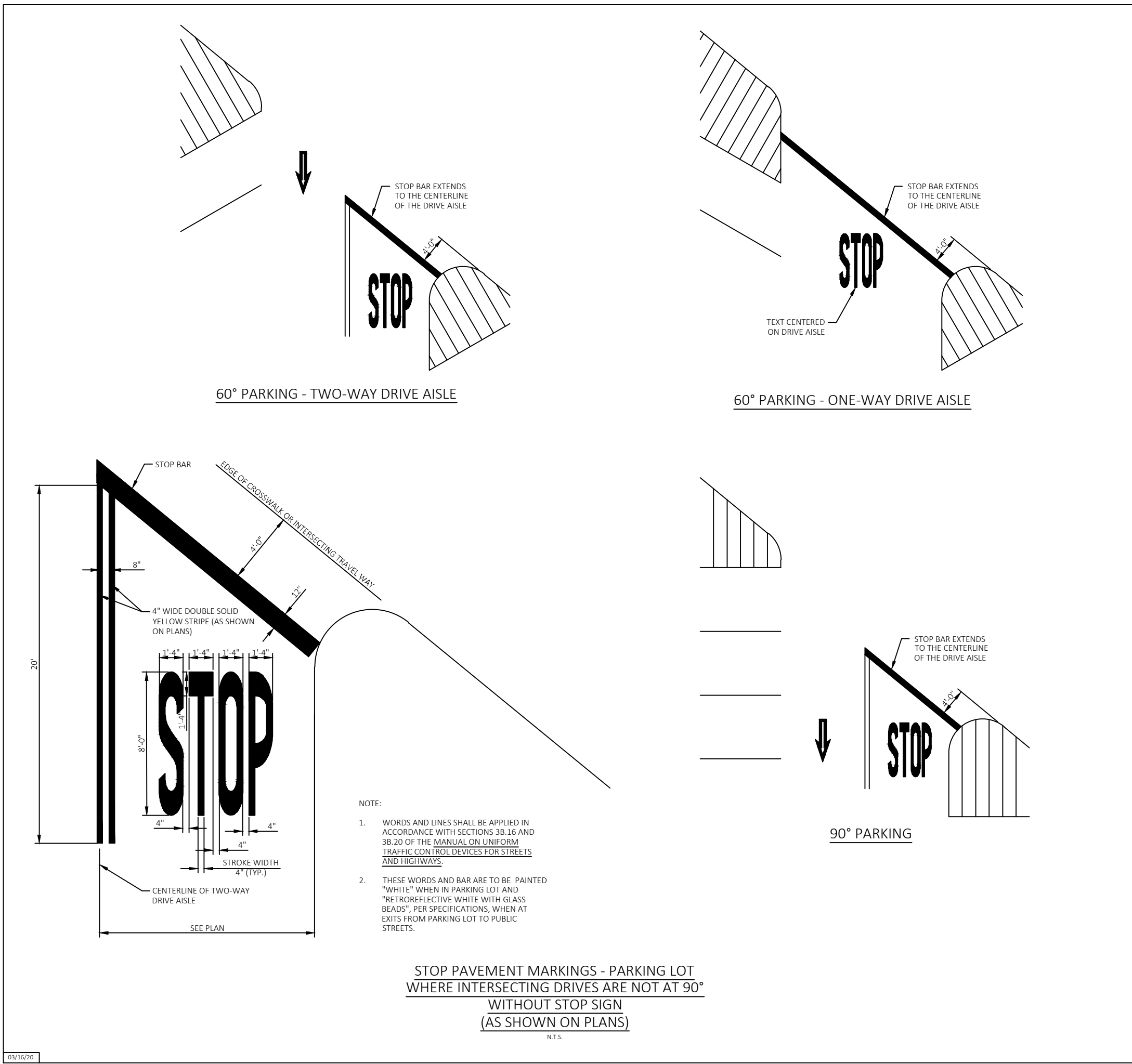
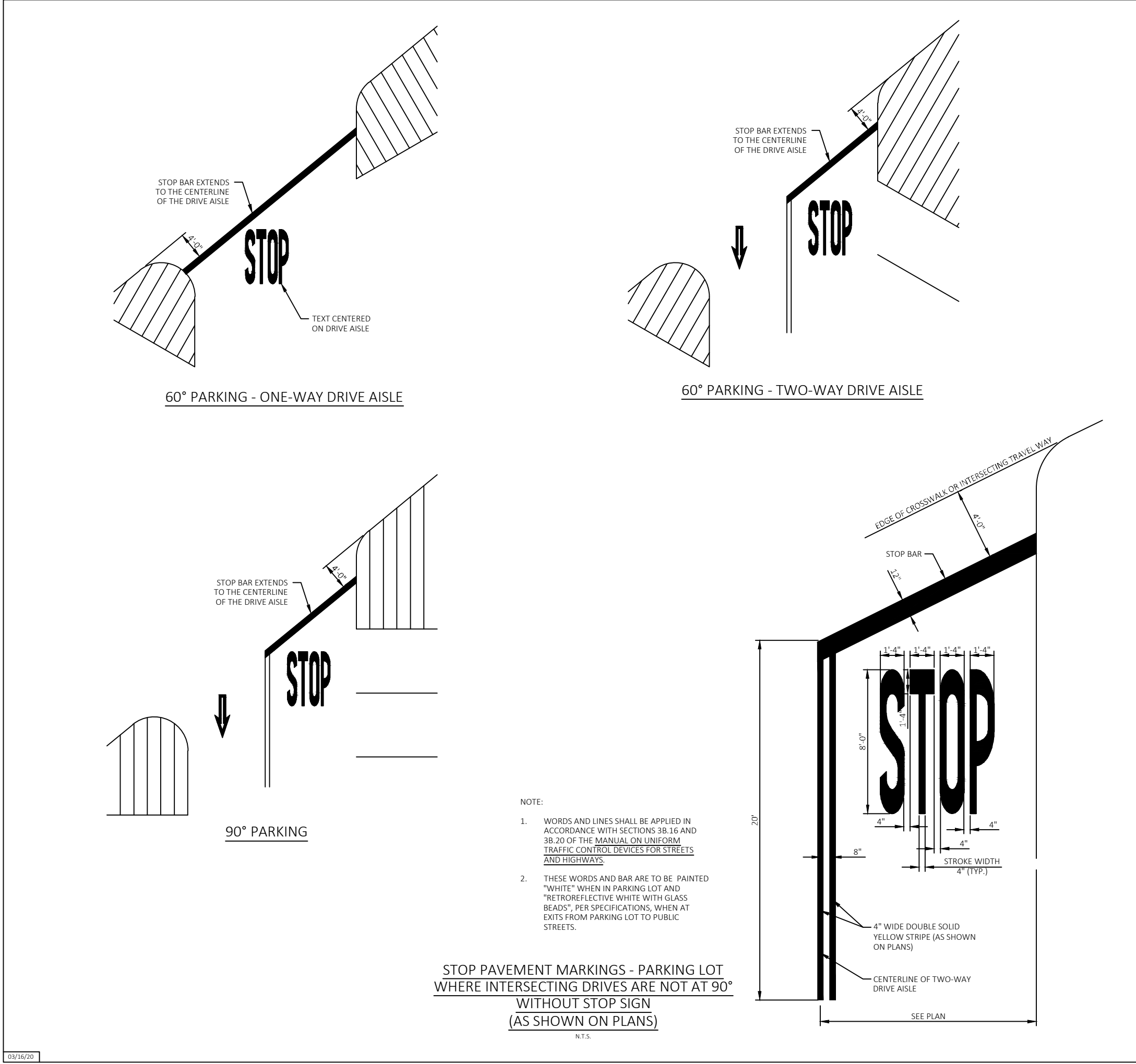
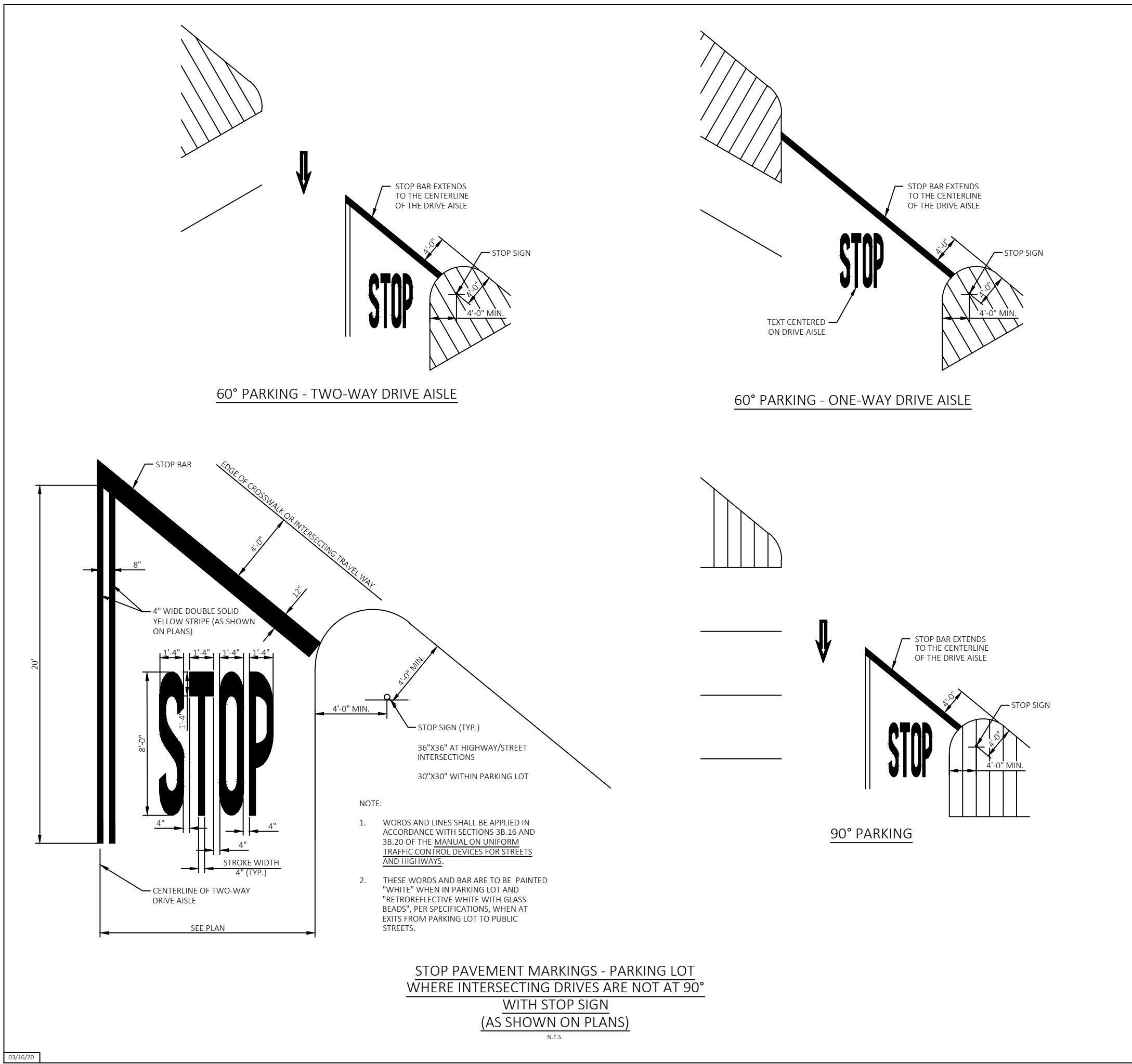
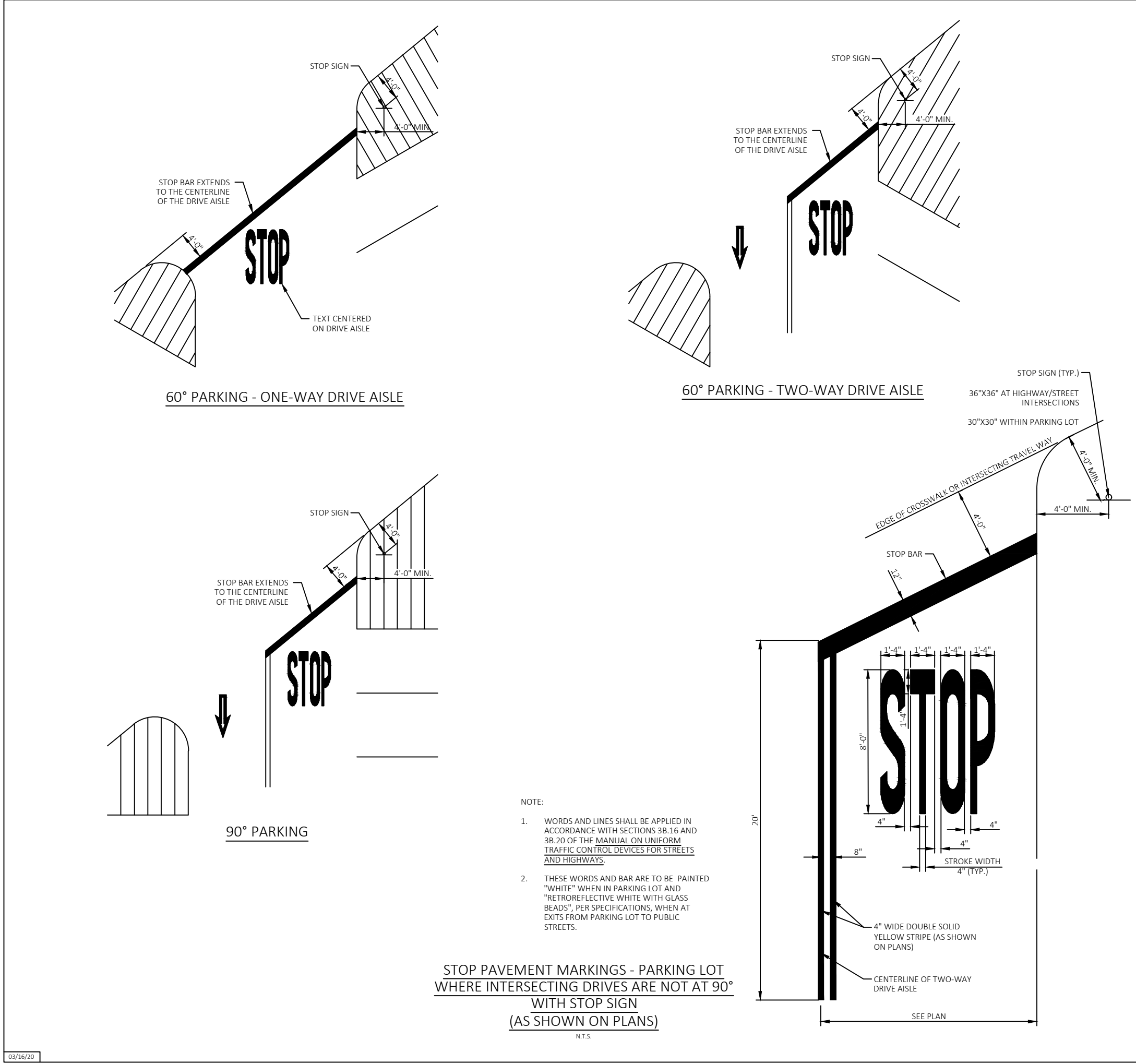
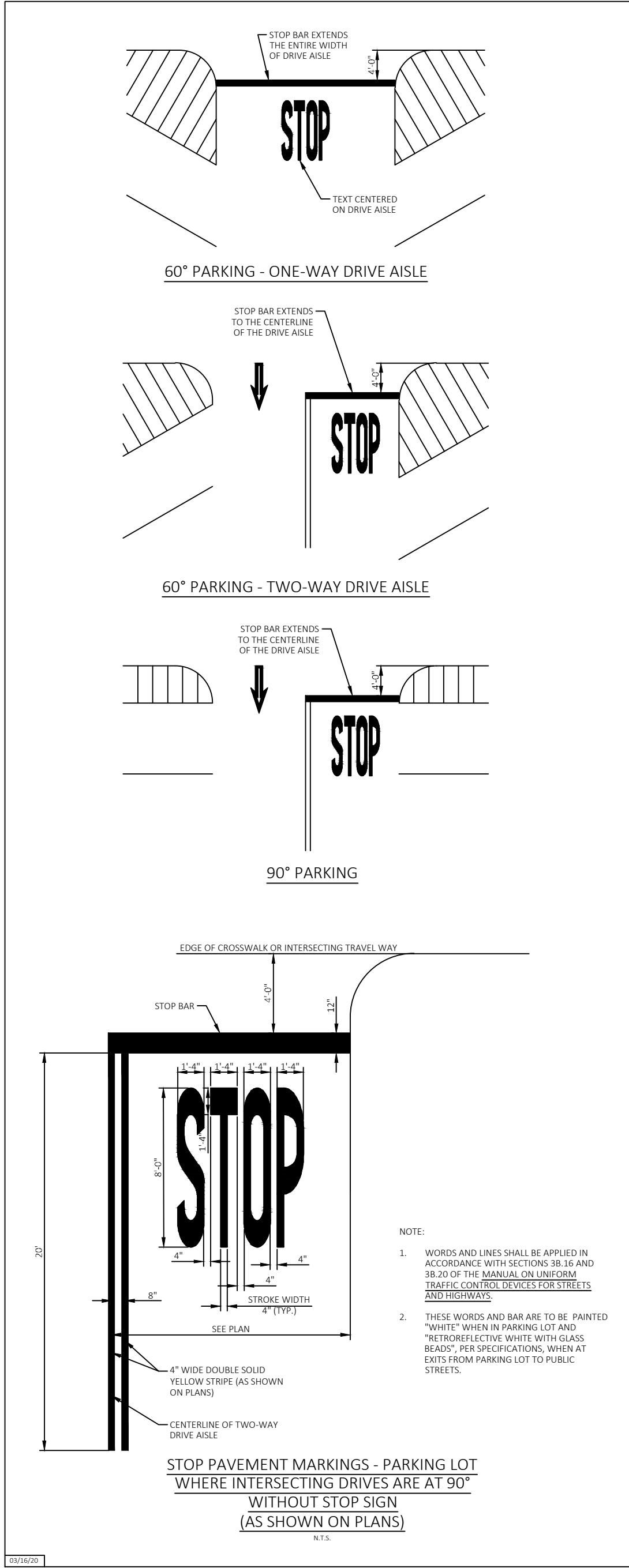
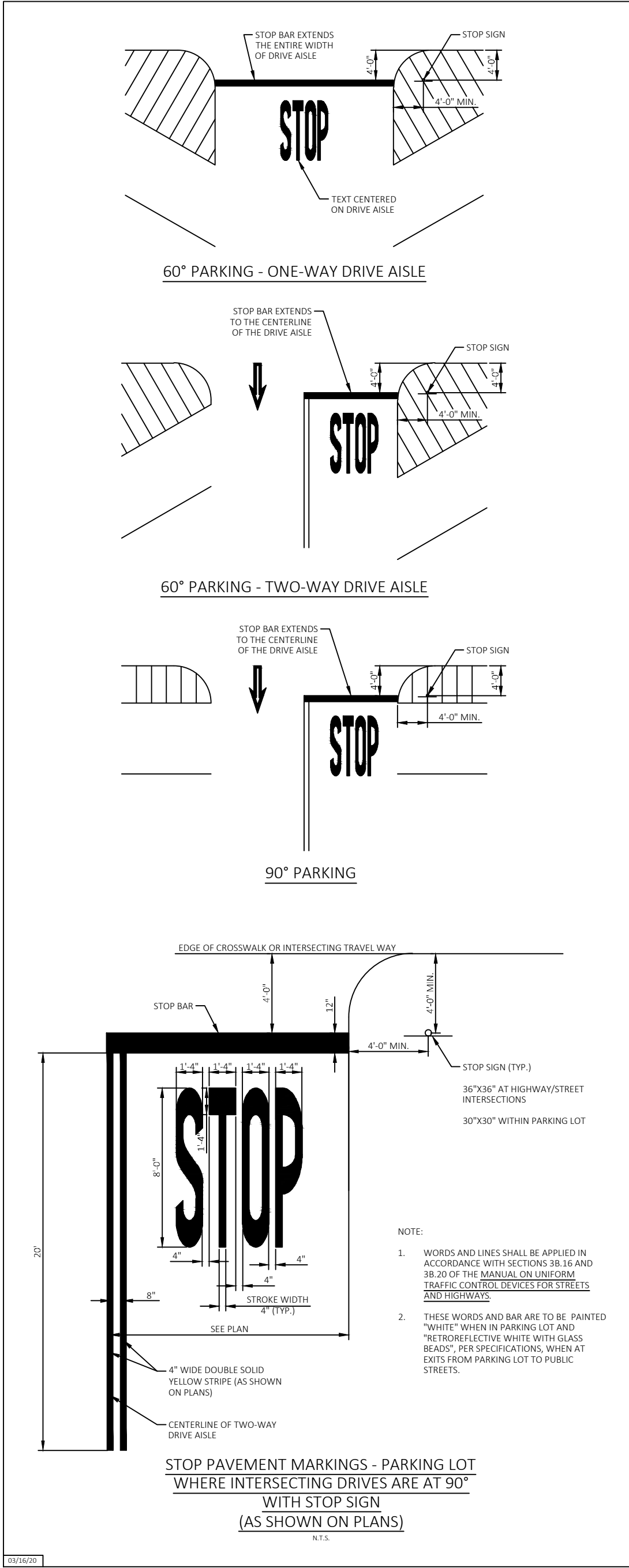
SUPERCENTER #05675-211
11001 MENAUL BLVD NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR



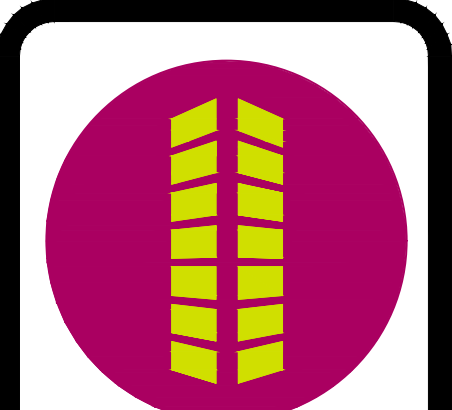
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CHECKED	RCJ
DATE	09/14/2021
SCALE	AS NOTED
JOB NO.	CYN005675.20
SHEET	

SECP-1






SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET

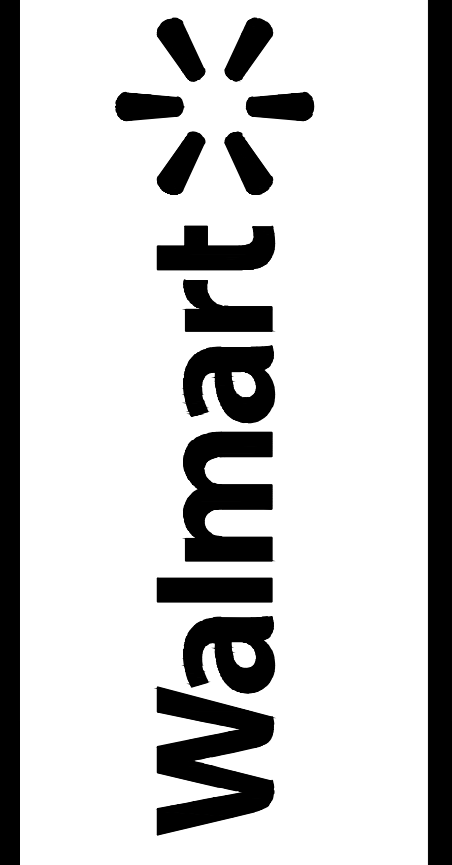


Galloway
6162 S. Willow Drive, Suite 320
Bentonville, AR 72716
501.770.8884
gallowayus.com



BRANDON ALLET
25037
PROFESSIONAL ENGINEER
09/15/2021

SUPERCENTER #05675-211
11001 MENAUL BLVD NE
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR

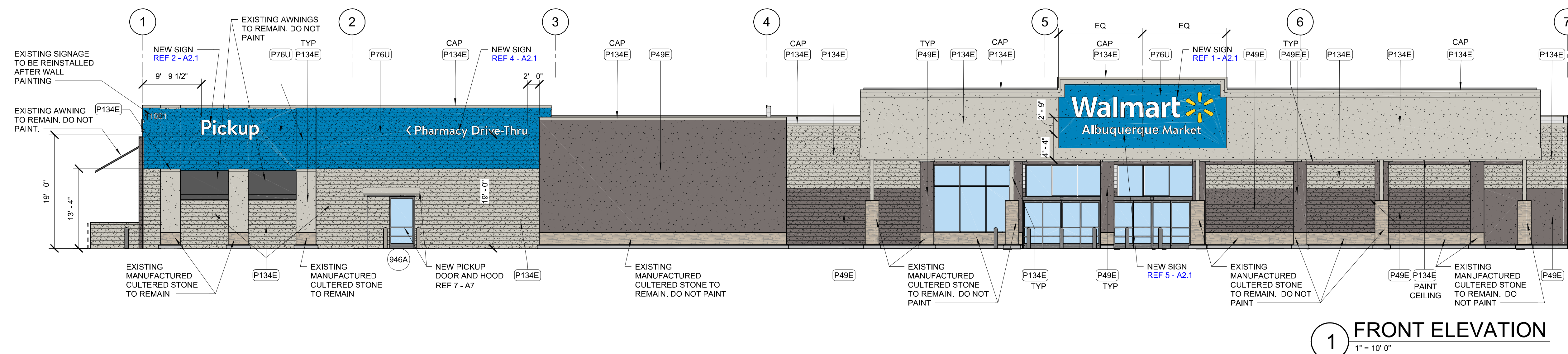
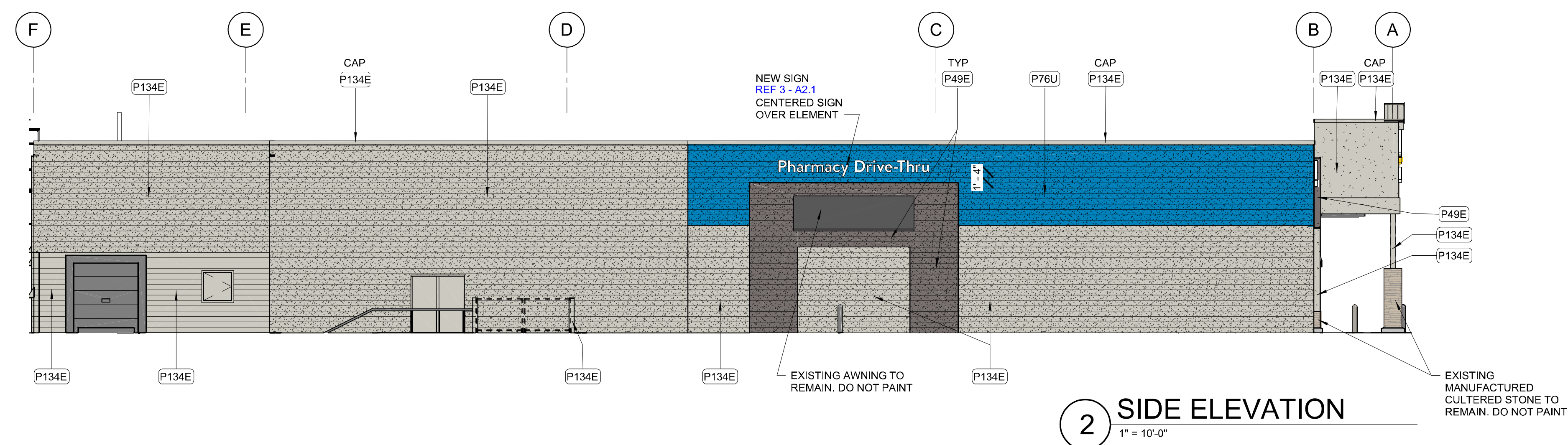
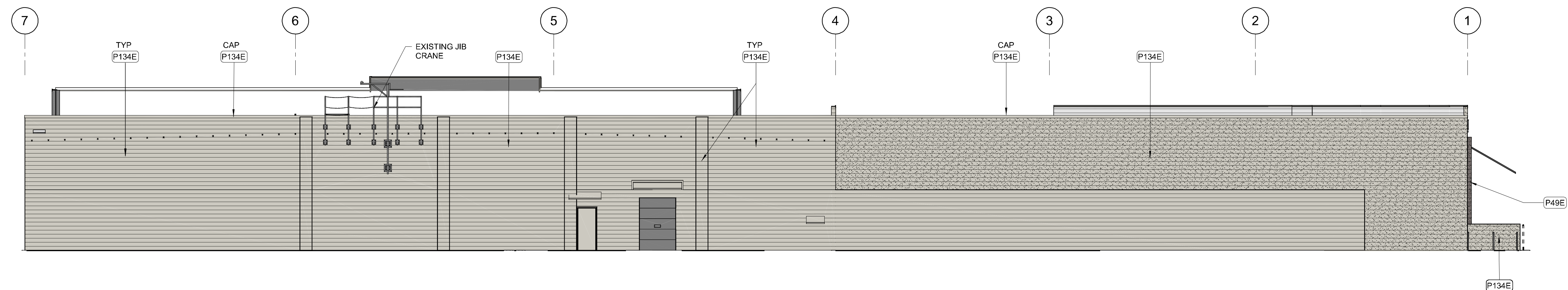
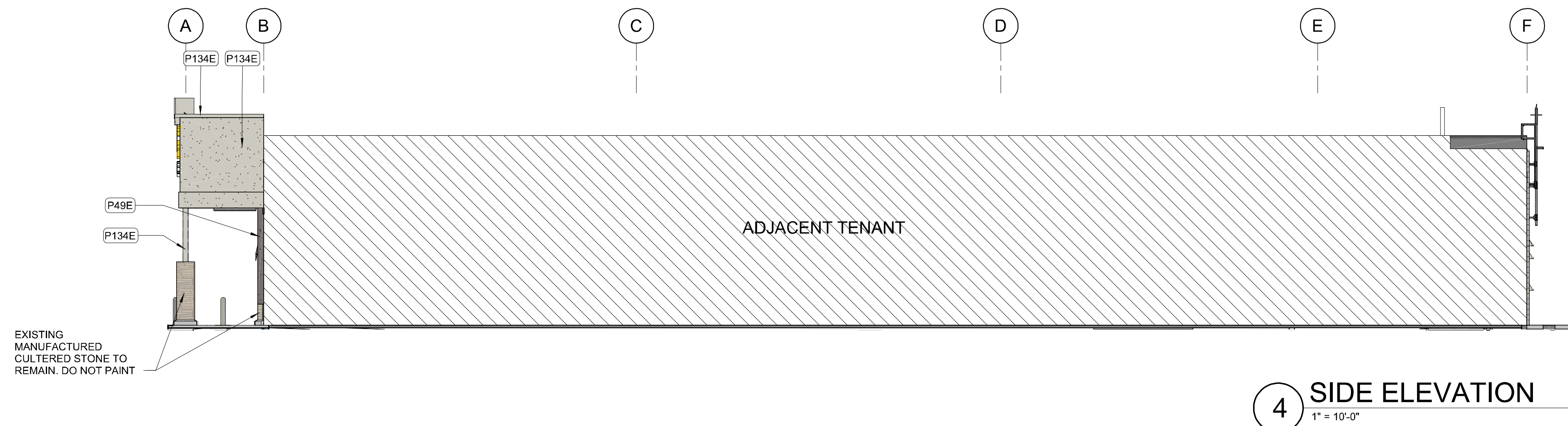
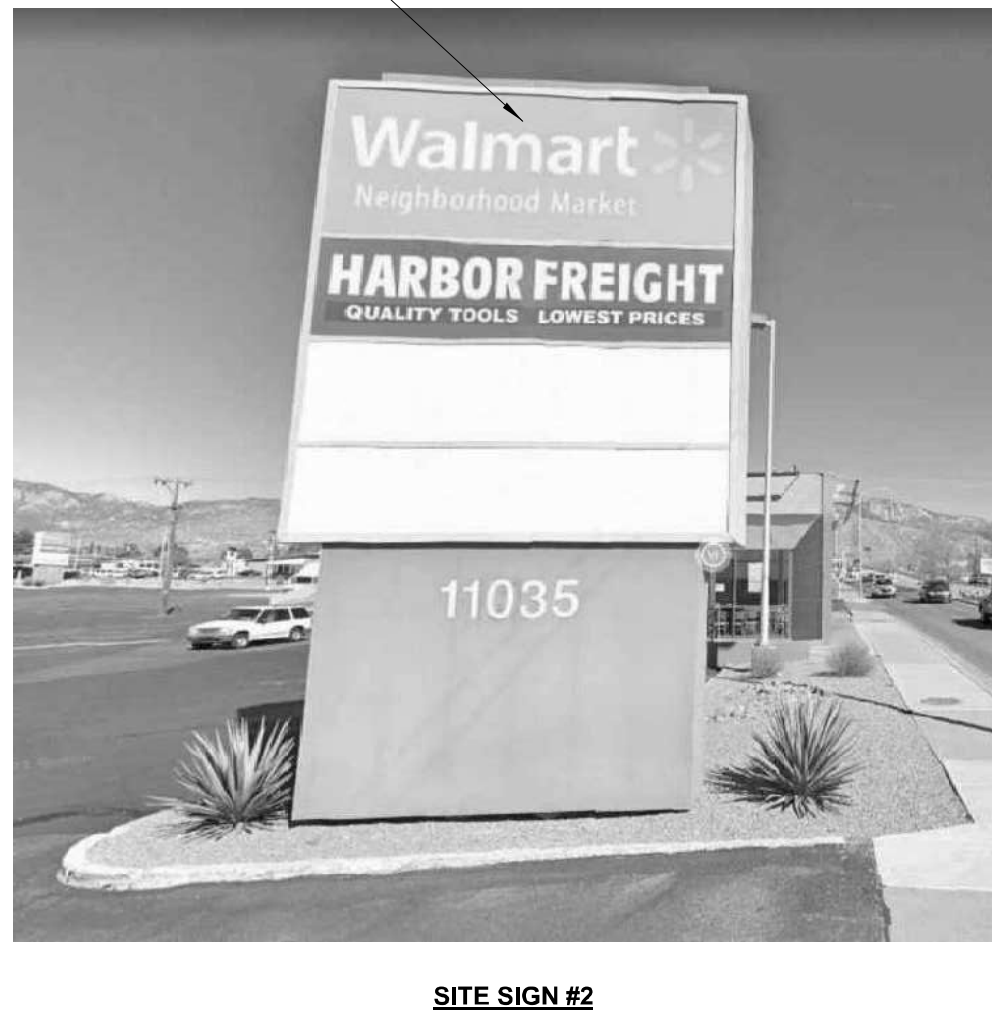


Walmart

DRAWN	DNH
CHECKED	RCJ
DATE	09/14/2021
SCALE	AS NOTED
JOB No.	CYN005675-20
SHEET	
SECP/SSM	
DETAILS	

COLOR LEGEND		
	P#	COLOR NAME
	P49E	DARK GRAY
	P134E	LIGHT GRAY
	P76U	WALMART BLUE (URETHANE-LIKE)

SHEET NOTES	
1.	DOOR WOODS, STEEL DOORS AND FRAMES, EXPOSED METAL FLASHING, HANDRAILS, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR AND FINISH. IF THERE ARE TWO COLORS AT WALL ADJACENT TO DOOR AND FRAME, USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
2.	POWER WASH ALL EXTERIOR SURFACES. POWER WASH 100% OF EXTERIOR WALLS PRIOR TO PAINTING. POWER WASH UNDERSIDE OF EXISTING METAL CANOPIES.
3.	PAINT EXTERIOR OF BUILDING AS SHOWN.
4.	PAINT JIB CRANE - [P38] ON JIB BOOM. [PSE] ON HANDRAILS.
5.	PAINT SPRINKLER VALVES [P21E] TO MATCH NOT OVER SIGHT GLASS.
6.	PAINT EXTERIOR BOLLARDS TO COLOR EXISTING COLOR UNLESS NOTED TO RECEIVE PLASTIC BOLLARD SLEEVE.
7.	DO NOT PAINT OVER FIRE ALARM BELL.
8.	PAINT SECURITY WALL PACE HOOKINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LIGHT FIXTURES.
9.	NOT USED.
10.	NOT USED.
11.	DO NOT PAINT EXISTING WINDOW FRAMES, STOREFRONT DOOR FRAMES OR STONE VENEER. REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTACTS. PAINT AND EXTERIOR JOINTS, FILL AND SEAL JOINTS, REF SPEC 07900
12.	PAINT ALL GAS PIPES ON ROOF [PSE] JOINTS GAS PIPE AND SUBMITTALS TO MATCH EXISTING ADJACENT BUILDING COLOR. DO NOT PAINT METER OR VALVES.
13.	PAINT ON SITE DUMPER ENCLOSURE [P134E]
DEMOLITION NOTES	
1.	REMOVAL OF BUILDING MOUNTED ITEMS, SHOWN OR NOTED TO BE DEMOLISHED OR AS REQUIRED BY SCOPE OF WORK, SHALL OCCUR PRIOR TO PAINTING BUILDING. COORDINATE DEMOLITION WORK SO EXTERIOR PAINTING WILL OCCUR PRIOR TO INSTALLATION OF BUILDING MOUNTED ITEMS.



STIPULATION FOR REUSE

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Walmart*
Neighborhood Market

ALBUQUERQUE, NM

STORE NO: 5675-211

JOB NUMBER: USRM-008753 PROTO:

[illegible]

CHECKED BY:	BW
DRAWN BY:	JA
PROTO CYCLE:	07/30/21
DOC DATE:	09/13/21

DOCUMENTS WITHOUT
SIGNATURE AND REQUIRED
SEAL OF AOR/EOR ARE NOT
FOR CONSTRUCTION



 9/16/2021

 JAMES EDWARD TURNER

 ARCHITECT OF RECORD

EXTERIOR ELEVATIONS

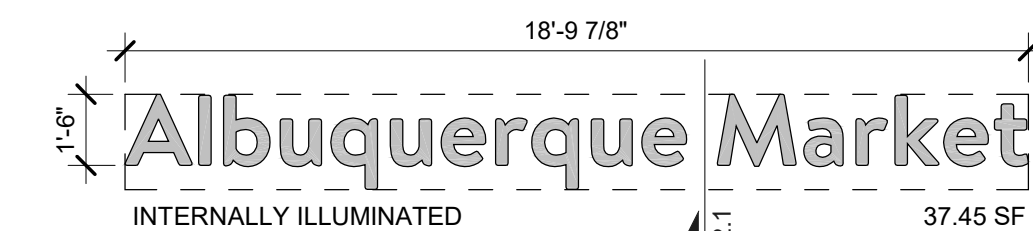
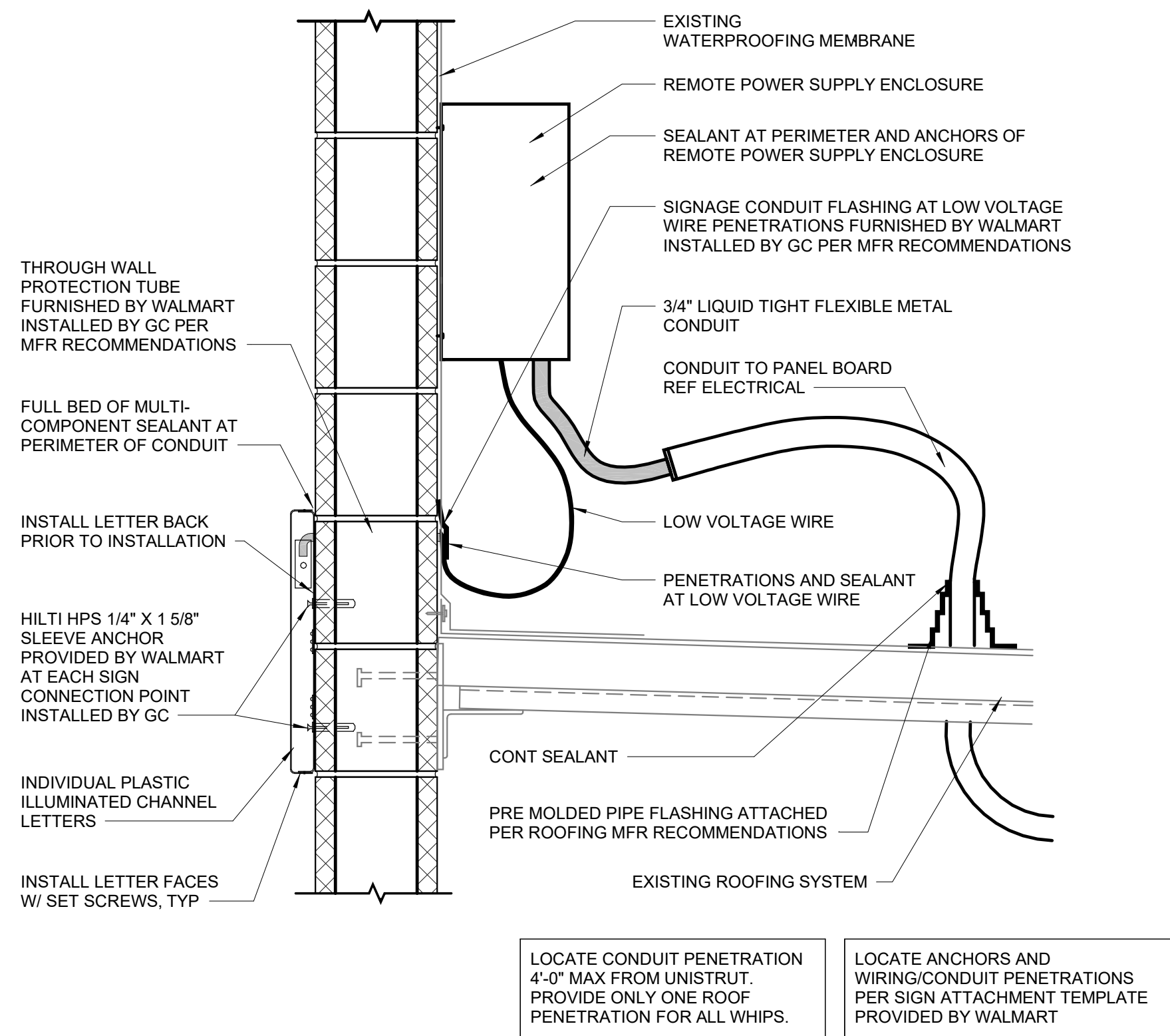
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9 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

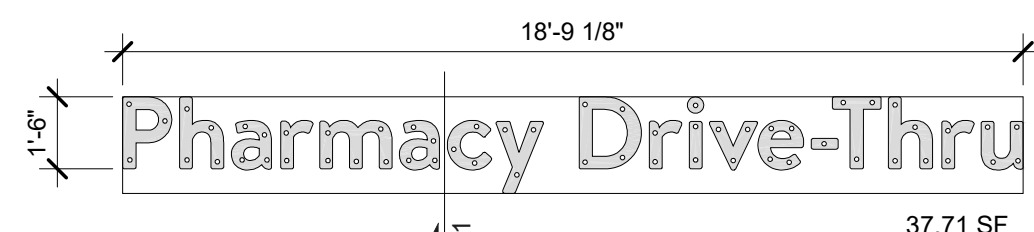
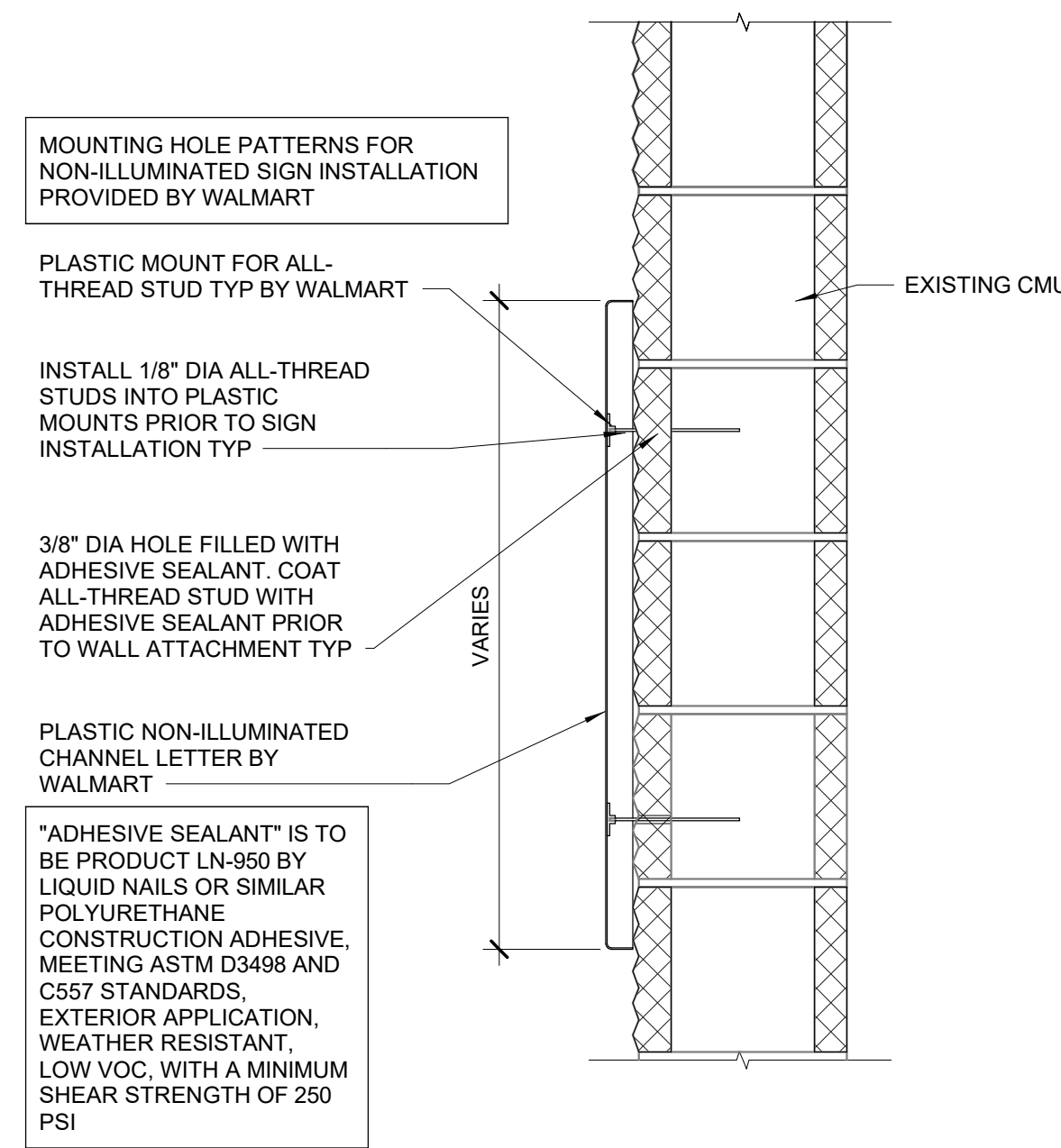


5 1' - 6\"/>

1/4\"/>

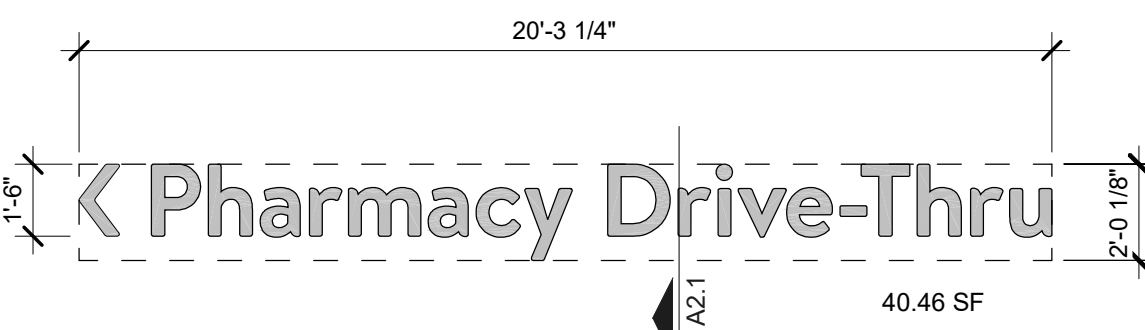
8 SIGN ATTACHMENT AT CMU WALL

1 1/2" = 1'-0"



3 1'-6\"/>

1/4\"/>

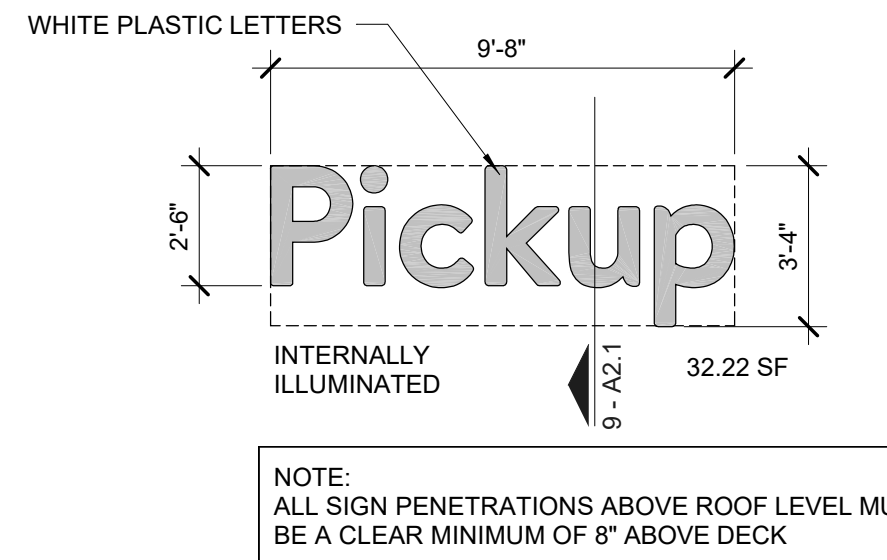
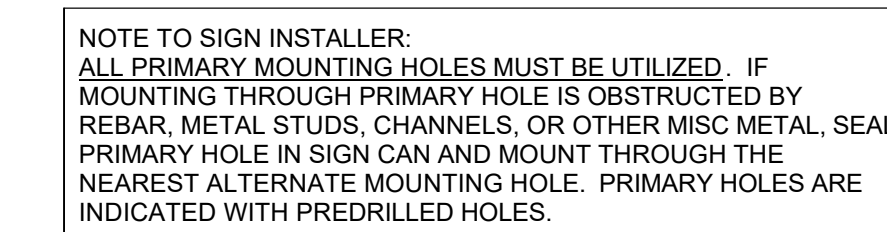
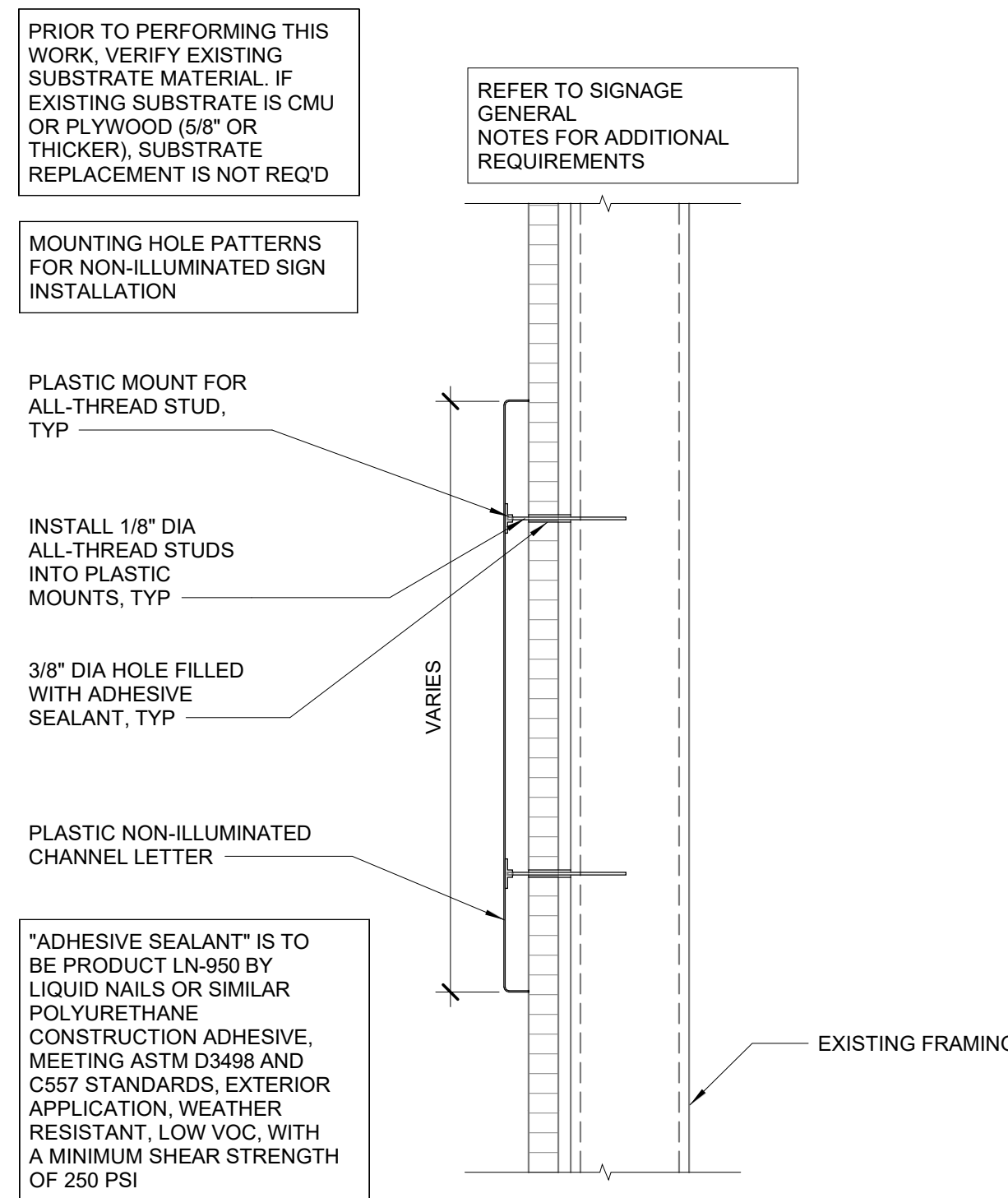


4 1'-6\"/>

1/4\"/>

7 SIGN ATTACHMENT AT CMU WALL AND METAL STUD WALL

1 1/2" = 1'-0"

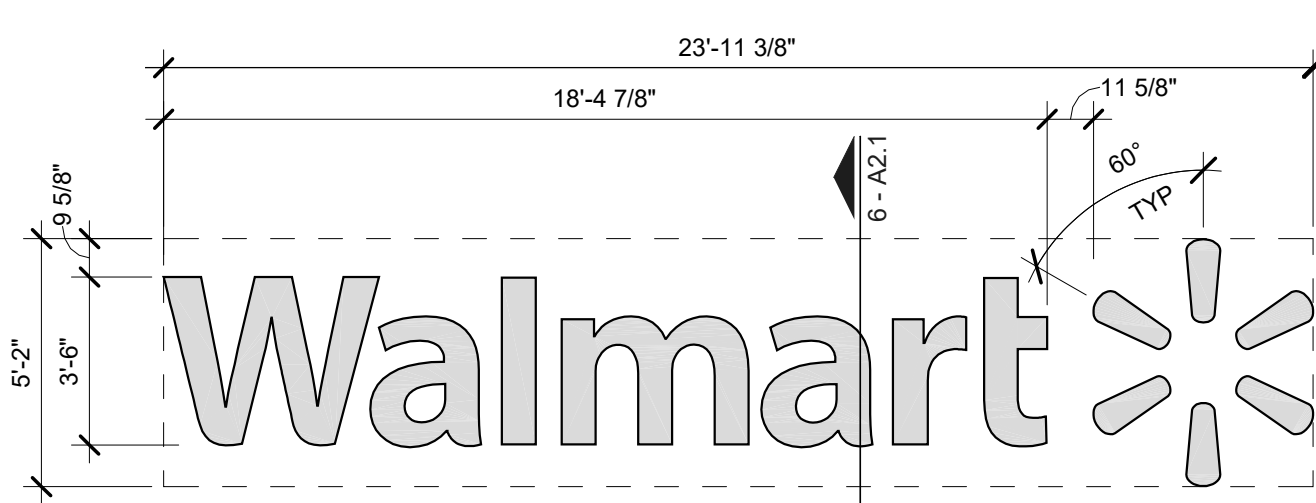
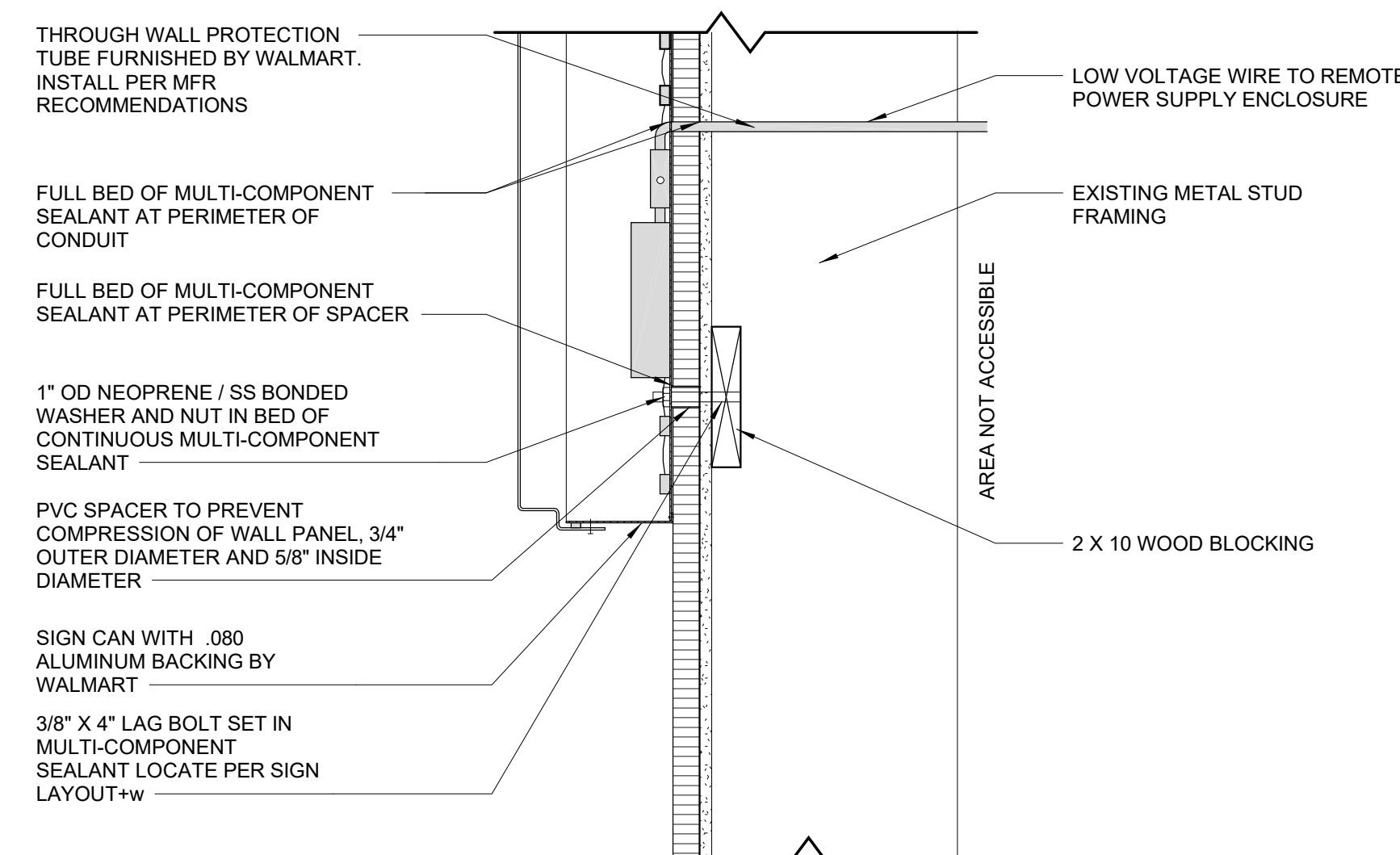


2 2'-6\"/>

1/4\"/>

6 SIGN ATTACHMENT

1 1/2" = 1'-0"



1 3'-6\"/>

1/4\"/>

NEW SIGNAGE SCHEDULE

	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA
FRONT SIGNAGE				
Walmart * (spark)	1	WH/YEL	123.73 SF	123.73 SF
Albuquerque Market	1	WHITE	37.45 SF	37.45 SF
Pickup	1	WHITE	32.22 SF	32.22 SF
Pharmacy Drive-Thru >	1	WHITE	40.46 SF	40.46 SF
TOTAL FRONT SIGNAGE				233.86 SF
PHARMACY DRIVE-THRU SIGNAGE (SIDE)				
Pharmacy Drive-Thru	1	WHITE	37.71 SF	37.71 SF
TOTAL BUILDING SIGNAGE				271.57 SF

SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC.
- ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ON SITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED. PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND NEW SIGNAGE WILL BE INSTALLED PER PLANS.
 - A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED.
 - TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25').
 - EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.
- GENERAL CONTRACTOR RESPONSIBILITIES
 - BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE PHOTOGRAPHS FOR CLARIFICATION.
 - PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN DETAILS FOR LIGHTED ID/LOGO SIGNS.
 - PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL-MART" SIGNAGE MAY BE REUSED.
 - NOT USED
 - NOT USED
 - VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO ELECTRICAL.
 - MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
 - REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS, UNLESS NOTED OTHERWISE.
 - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS PER SPECIFICATION SECTION 07900.
 - INSTALL SIGNAGE PER DETAILS.

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Walmart
Neighborhood Market
ALBUQUERQUE, NM
STORE NO. 5675-211
JOB NUMBER: USRM-008753 | PHOTO:

ISSUE BLOCK

CHECKED BY: BW
DRAWN BY: JA
PROTO CYCLE: 07/30/21
DOC DATE: 09/13/21

DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF ARCHITECT ARE NOT FOR CONSTRUCTION

STATE OF NEW MEXICO
JAMES EDWARD TURNER
No. 004309
REGISTERED ARCHITECT
9/16/2021

JAMES EDWARD TURNER
ARCHITECT OF RECORD

EXTERIOR
DETAILS

SHEET:
A2.1