



DEVELOPMENT REVIEW APPLICATION

Effective 4/17/19

Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.									
Administrative Decisions	De	ecisions Requiring a Pu	blic Meeting or Hearing	Policy	Policy Decisions				
☐ Archaeological Certificate (Form P3)		☐ Site Plan – EPC including any Variances – EPC (Form P1)			☐ Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)				
☐ Historic Certificate of Appropriateness – Min (Form L)	or	☐ Master Development Plan (Form P1)			☐ Adoption or Amendment of Historic Designation (Form L)				
☐ Alternative Signage Plan (Form P3)		Historic Certificate of Ap	propriateness – Major	☐ Amendment of IDO Text (Form Z)					
☑ Minor Amendment to Site Plan (Form P3)		Demolition Outside of H	PO (Form L)	□ Anr	☐ Annexation of Land (Form Z)				
☐ WTF Approval (Form W1)		☐ Historic Design Standards and Guidelines (Form L)			☐ Amendment to Zoning Map – EPC (Form Z)				
		☐ Wireless Telecommunications Facility Waiver (Form W2)		☐ Amendment to Zoning Map – Council (Form Z)					
				Appea	ıls				
				☐ Decision by EPC, LC, ZHE, or City Staff (Form A)					
APPLICATION INFORMATION	•			•					
Applicant: JENNIFER COBBS C/O CYNTERG	Y			Phone: 918-346-6818					
Address: 810 S. CINCINNATI, 2ND FLOOR				Em	Email: jcobbs@cyntergy.com				
City: TULSA				Zip: 74119					
Professional/Agent (if any): JAMES E., TURNER C/O CYNTERGY					Phone: 918-877-6000				
Address: 810 S. CINCINNATI, 2ND FLOOR				Email:					
City: TULSA			State: OK	Zip	Zip: 74119				
Proprietary Interest in Site: ARCHITECT FOR WALMART			List <u>all</u> owners: WALMAF	RT R.E. BUS. TRUST					
BRIEF DESCRIPTION OF REQUEST									
MINOR SITE AMENDMENT FOR EXTERIOR	PAINT	, EXTERIOR SIGN, AND	ONLINE GROCERY PICK	JP (OGF) DESIGNATED PARKI	NG CHANGES			
SITE INFORMATION (Accuracy of the existing	g lega	I description is crucial!	Attach a separate sheet if	necessa	ary.)				
Lot or Tract No.: 1			Block: 88	Unit:					
Subdivision/Addition: SNOW HEIGHTS ADDITION		l	MRGCD Map No.: UPC Code:		PC Code:				
Zone Atlas Page(s): H-21-Z Existing Zoning: MX-N		Proposed Zoning: MX-N		oposed Zoning: MX-M (EXISTING TO REMAIN				
# of Existing Lots: # of Proposed Lots:			Total Area of Site (acres): 8.0949						
LOCATION OF PROPERTY BY STREETS									
Site Address/Street: 11001 MENAUL BLVD. NE. Between: MORRIS ST. NE.			NE.	and: JUAN TABO BLVD. NE.					
CASE HISTORY (List any current or prior pr	oject a	nd case number(s) that	may be relevant to your re	equest.)					
1002445, 1008823, 1009075, 1009407, 1002445									
Signature:					Date:				
Printed Name: JENNIFER COBBS C/O CYNTERGY				☑ Applicant or ☐ Agent					
FOR OFFICIAL USE ONLY									
Case Numbers Action Fees Case Numbers			Action	Fees					
SI-2021-02084 AA									
Meeting/Hearing Date:					Fee Total:				
Staff Signature: Date			Date:	Project # PR-2021-006327					

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

		-	[1706]
		-	
	PR-2021-006327	SI-2021-02084	ALB U
-10	Project Number:	Case Numbers	44444
	OR OFFICIAL USE ONLY		- Approant of M Agent
	inted Name: JENNIFER L. COBBS		☐ Applicant or ☒ Agent
	gnature: Junify Loth yo Grangy	,	Date: 12-9-2021
	, the applicant or agent, acknowledge that if an scheduled for a public meeting or hearing, if red		
_	Zone Atlas map with the entire site clear		
	Landscape Plan Letter of authorization from the property	owner if application is submitted by an age	nt
	Justification letter describing, explaining	g, and justifying the request per the criteria i	n IDO Section 14-16-5-6(C)(16)
	Zone Atlas map with the entire site clear ALTERNATIVE LANDSCAPE PLAN		
	Sign Posting Agreement Letter of authorization from the property	owner if application is submitted by an age	nt
	Association representatives	and proof of entar	ned house to anested Neighborhood
	Required notices with content per IDO		
		g, and justifying the request per the criteria	in IDO Section 14-16-6-5(C)(3)(b)
	ALTERNATIVE SIGNAGE PLAN		
	 Letter of authorization from the propert Zone Atlas map with the entire site clear 	y owner if application is submitted by an ag arly outlined and labeled	eni
	Site Plan to be Expired		
	ACCELERATED EXPIRATION SITE PLAI Justification letter describing, explaining	N g, and justifying the request per the criteria i	n IDO Section 14-16-6-4(X)(2)(c)
_	the request.	-	n die onginal decision-making body fol
		ne thresholds established in IDO TABLE endment and must be processed through	
	X Zone Atlas map with the entire site clear		O. K.
		ormation needed on the proposed Site Plan. By owner if application is submitted by an ag	
i iAL)	X Copy of the Official Notice of Decision N/A Three (3) copies of the proposed Site I	Development Plan, with changes circled and	
RONIC	$\overline{\text{N/A}}$ Three (3) copies of all applicable sheet	ts of the approved Site Development Plan b	
	MINOR AMENDMENT TO SITE DEVELOR X Justification letter describing, explainin	PMENT PLAN APPROVED PRIOR TO THE g, and justifying the request per the criteria	
	the request.		
		ne thresholds established in IDO TABLE endment and must be processed through	
	Zone Atlas map with the entire site clea		, - · · ·
		ormation needed on the proposed Site Plan. ty owner if application is submitted by an ag	
	Copy of the Official Notice of DecisionThree (3) copies of the proposed Site I	Plan, with changes circled and noted	
	Three (3) copies of all applicable sheet	ts of the approved Site Plan being amended	d, folded
	MINOR AMENDMENT TO SITE PLAN – A Justification letter describing, explainin	DMIN, EPC, or DRB g, and justifying the request per the criteria	in IDO Section 14-16-6-4(Y)(2)
	Zone Atlas map with the entire site clea	•	
		y owner if application is submitted by an ag	ent
	archeological impacts of the proposed	development must be submitted and review	
		unless the City Archaeologist determines the a treatment plan prepared by a qualified arc	



October 26, 2021

City of Albuquerque Planning Department 600 2nd NW Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

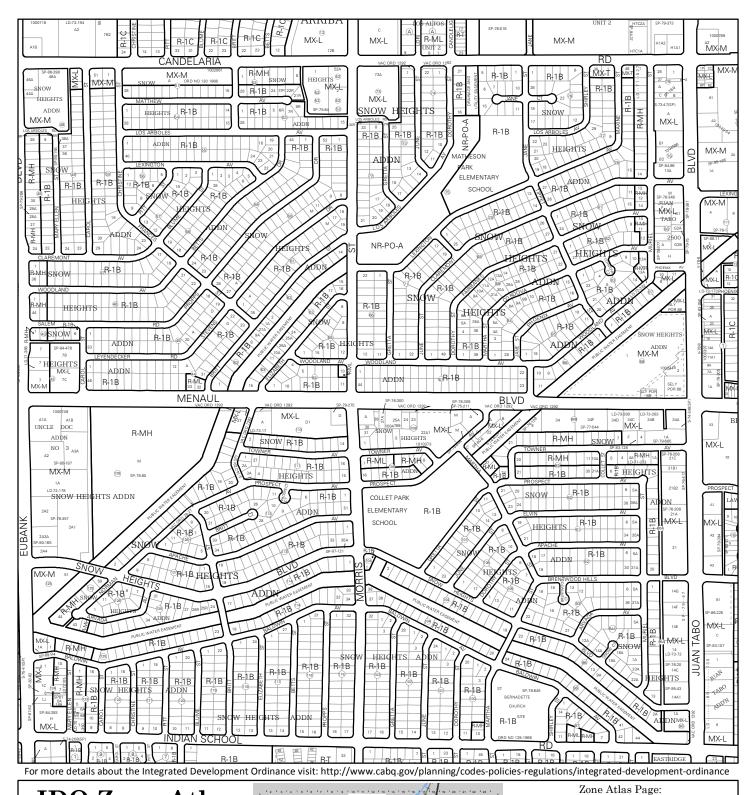
Please receive this as authorization for Cyntergy, on behalf FPA Foothills, LLC, (Property Owner) and Red Tail Acquisitions, LLC (Managing Agent) and Walmart (Tenant), to submit this letter of intent and supporting documentation to the City of Albuquerque. The indicated submittal will be for review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) for property Walmart #5675 located at 11001 Menaul Boulevard NE. We anticipate the submittal will be reviewed by the City of Albuquerque Planning Department and hereby authorize Cyntergy to represent FPA Foothills, LLC and Red Tail Acquisitions, LLC, along with Walmart in responding to the City of Albuquerque's recommendations, as well as participating in any public Committee meetings as necessary.

Sincerely,

Curt Lorenz

Regional Commercial Property Manager Red Tail Acquisitions, LLC Managing Agent of FPA Foothills, LLC

707 W. Main Ave., Suite B-1 Spokane, WA 99201 509-624-4627 clorenz@rtacq.com



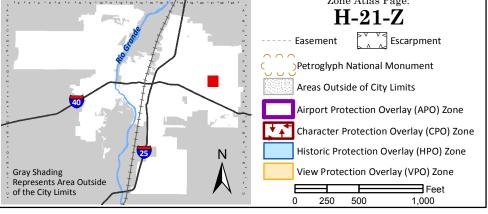




IDO Zoning information as of May 17, 2018

The Zone Districts and Overlay Zones

are established by the Integrated Development Ordinance (IDO).



December 9, 2021

City of Albuquerque Planning Department 600 2nd NW Albuquerque, NM 87102

Dear City of Albuquerque Planning Department,

We are requesting a review of a Minor Amendment to Site Plan-DRB (Administrative Amendment-AA) of a Pre-IDO Site Development Plan for property Walmart #5675 located at 11001 Menaul Boulevard NE. The requested Minor Amendment scope of work includes pavement striping, Online Grocery Pickup (OGP) designated parking (with stall designation signs), directional signs within parking lot, exterior paint updates, and exterior wall sign updates. Please review the Justification per line item listed below.

Per 14-16-6-4 (Z) (1) Minor Amendments 14-16-6-4 (Z) (1) (a)

1) The existing site development plan specifies the requirements in place at the time of approval, and the requested change still meets the original requirements.

The changes included in the request for minor amendment are for updates to the exterior paint, wall attached signs, re-facing site signs, and converting existing parking stalls to become designated Online Grocery Pickup (OGP). There are no exterior color restrictions for this location and the exterior signs meet the Sign Ordinance for Zoning MX-M.

(2) The requested change is within the thresholds for minor amendments established in Table 6-4-4, cumulative of prior deviations or minor amendments.

The requested change is within the Site Plan-Administrative and Sign Permit approval thresholds, the developed site area total is not changing and the signs fall within the existing sign code applicable to the zoning of the site.

(3) The requested change does not require major public infrastructure or significant changes to access or circulation patterns on the site, which would warrant additional review by the original decision-making body.

The requested amendment does not affect major public infrastructure or change access or circulation patterns on the property.

(4) No deviations, Variance, or Waivers shall be granted for minor amendments.

There are no requests for deviations, variances, or waivers to ordinances within this request.

We appreciate your consideration for the Minor Site Amendment.

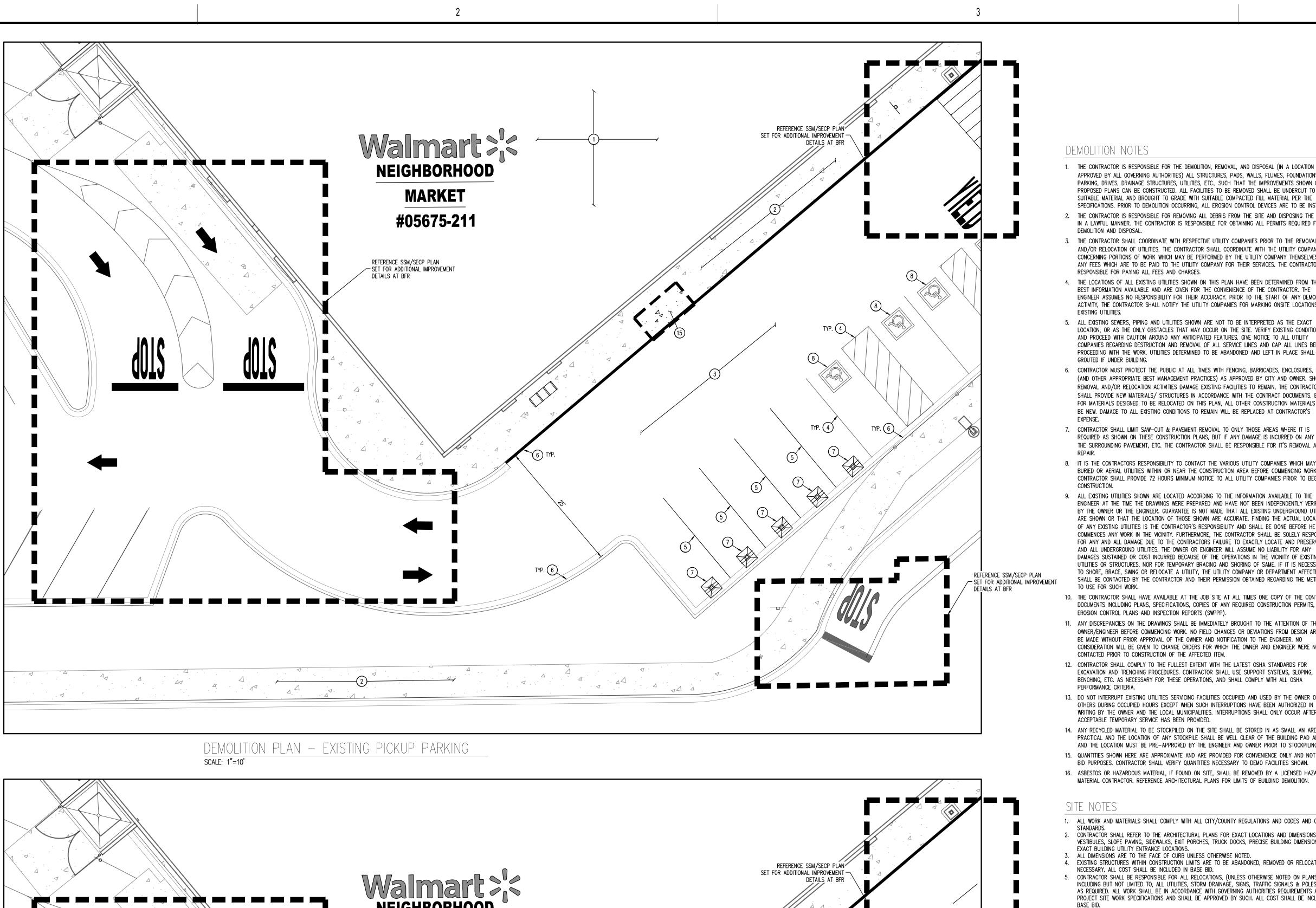
Sincerely,

Jennifer Cobbs

C/O Cyntergy

810 S. Cincinnati, 2nd Floor

Tulsa, OK 74119



MARKET #05675-211 REFERENCE SSM/SECP PLAN — SET FOR ADDITIONAL IMPROVEMENT DETAILS AT BFR \Rightarrow REFERENCE SSM/SECP PLAN
SET FOR ADDITIONAL IMPROVEMENT
DETAILS AT BFR

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE

2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.

3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ONSITE LOCATIONS OF EXISTING UTILITIES.

LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.

(AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S

REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND

8. IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING

ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY

TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK. 10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT

EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP). OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.

13. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER

14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA

15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.

CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND

PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN



SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.

4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE

5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT

6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.,

7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS

9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE

DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND 11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE

12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.

ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.

AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.

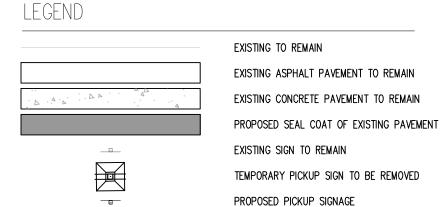
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A.

EXACT BUILDING UTILITY ENTRANCE LOCATIONS. 6. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND

6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".





SITE & DEMOLITION SCHEDULE

EXISTING WALMART BUILDING TO REMAIN.

2) EXISTING CONCRETE SIDEWALK TO REMAIN.

3) EXISTING ASPHALT PAVEMENT TO REMAIN. (4) EXISTING STRIPING TO REMAIN.

EXISTING PARKING LOT STRIPING TO BE REMOVED.

(6) EXISTING CURB AND GUTTER TO REMAIN. (7) EXISTING TEMPORARY PICKUP SIGNAGE TO BE REMOVED.

(8) EXISTING ADA PAVEMENT MARKING TO REMAIN.

9 PROPOSED LIMITS OF SEAL COAT OVER EXISTING PAVEMENT.

(10) PROPOSED PICKUP SIGNAGE TO BE MOUNTED TO NEW SIGN POST (REF. SITE DETAILS).

PROPOSED SIGN MOUNTING AND BASE WITH BREAKAWAY POST (REF. SITE DETAILS). PROPOSED PICKUP STALL STRIPING AND NUMBER PAVEMENT MARKING (REF. SITE

PROPOSED SAFETY YELLOW STRIPING, 2' O.C. @ 45*.

(14) PROPOSED PICKUP DOOR.

(15) EXISTING CONCRETE SIDEWALK TO BE REMOVED.

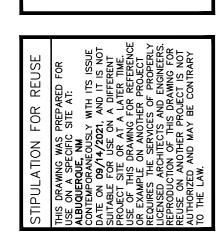
PROPOSED CONCRETE SIDEWALK AND RAMP (REF. SITE DETAILS). (17) PROPOSED PEDESTRIAN CROSSING SIGN W/ BOLLARD POST (RE. SITE DETAILS).

NEW CROSSWALK MARKINGS - 7.33" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE RE-STRIPED.

> PROTO CYCLE: DOCUMENT DATE: 09/14/20.

2021 MAJOR PROJECT

ISSUE BLOCK



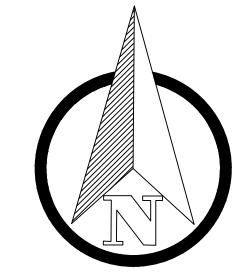
DEMOLITION AND SITE PLAN

CS1

CAUTION - NOTICE TO CONTRACTOR 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER

THE ENGINEER PRIOR TO CONSTRUCTION. 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO



1 inch = 10 ft.

SITE PLAN — PROPOSED PICKUP PARKING SCALE: 1"=10'





- 1) PROPOSED PICKUP SIGNAGE, LEFT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 2 PROPSOSED PICKUP SIGNAGE, RIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.
- 3) PROPSOSED PICKUP SIGNAGE, STRAIGHT. SEE DETAIL SHEET CS3 FOR SIGNAGE AND LOCATION DETAILS.4) PROPOSED SIGN MOUTNING AND BASE ON BREAKAWAY POST (REF. SITE DETAILS).
- PROPOSED SIGN MOUNTING AND BASE ON BOLLARD POST (REF. SITE DETAILS).
 PROPOSED SIGN MOUNTING AND BASE ON BOLLARD POST (REF. SITE DETAILS).

SITE SIGNAGE LEGEND

PROPERTY LINE

PROPOSED PATH OF TRAVEL FOR PICKUP CUSTOMER.

PRO

PROPOSED PICKUP AREA

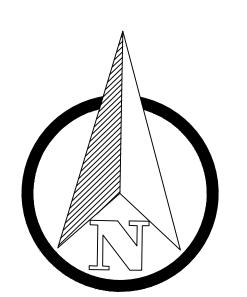
SITE SIGNAGE NOTES

 THIS PLAN WAS PREPARED BASED ON AN AERIAL CAPTURED 10/04/2020. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL FIELD CONDITIONS MAY VARY SIGNIFICANTLY FROM THIS DRAWING.

2. REFERENCE SITE DETAILS FOR SIGN LOCATION.

PICKUP EXTERIOR SIGN S	CHEDULE	
DESCRIPTION	DIMENSIONS	QUANTITY
WAITING SPACES LEFT	18 X 24	_
WAITING SPACES RIGHT	18 X 24	_
WAITING SPACES AHEAD	18 X 24	_
RESERVED WAITING	18 X 24	_
PICKUP LEFT PHARMACY RIGHT	18 X 24	_
PICKUP RIGHT PHARMACY LEFT	18 X 24	_
STOP THANKS FOR ORDERING	18 X 36	_
PICKUP HOURS	18 X 36	_
RESERVED	18 X 18	3
PHONE NUMBER	8 X 18	3
VERTICAL PICKUP	18 X 36	3
PICKUP LEFT	18 X 24	3
PICKUP AHEAD	18 X 24	1
PICKUP RIGHT	18 X 24	1

ALL PICKUP WAYFINDING AND STALL SIGNS ARE WALMART SUPPLIED AND CONTRACTOR INSTALLED. CONTRACTOR TO PLACE SIGN ORDER AT LEAST 3 WEEKS IN ADVANCE. ORDER SHALL BE SENT VIA EMAIL TO GETTY THOMAS (Getty.Thomas@walmart.com) AND BRAD KEENER (Bradley.Keener@walmart.com). REQUEST SHALL CONTAIN A DELIVERY ADDRESS, DESIRED DELIVERY DATE, AND ANY SITE SPECIFIC SIGN SIZE AND/OR COLORS BASED ON APPROVED PLANS.



GRAPHIC SCALE

0 0 20 40 80 160

(IN FEET)
1 inch = 40 ft.



Walmaree NM ALBUQUERQUE, NM 11001 MENAUL BLVD NE STORE NO: 05675-211

2021 MAJOR PROJECT

ISSUE BLOCK

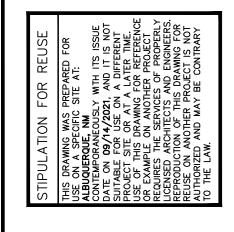
CHECKED BY: JSB

DRAWN BY: DMH

PROTO CYCLE:

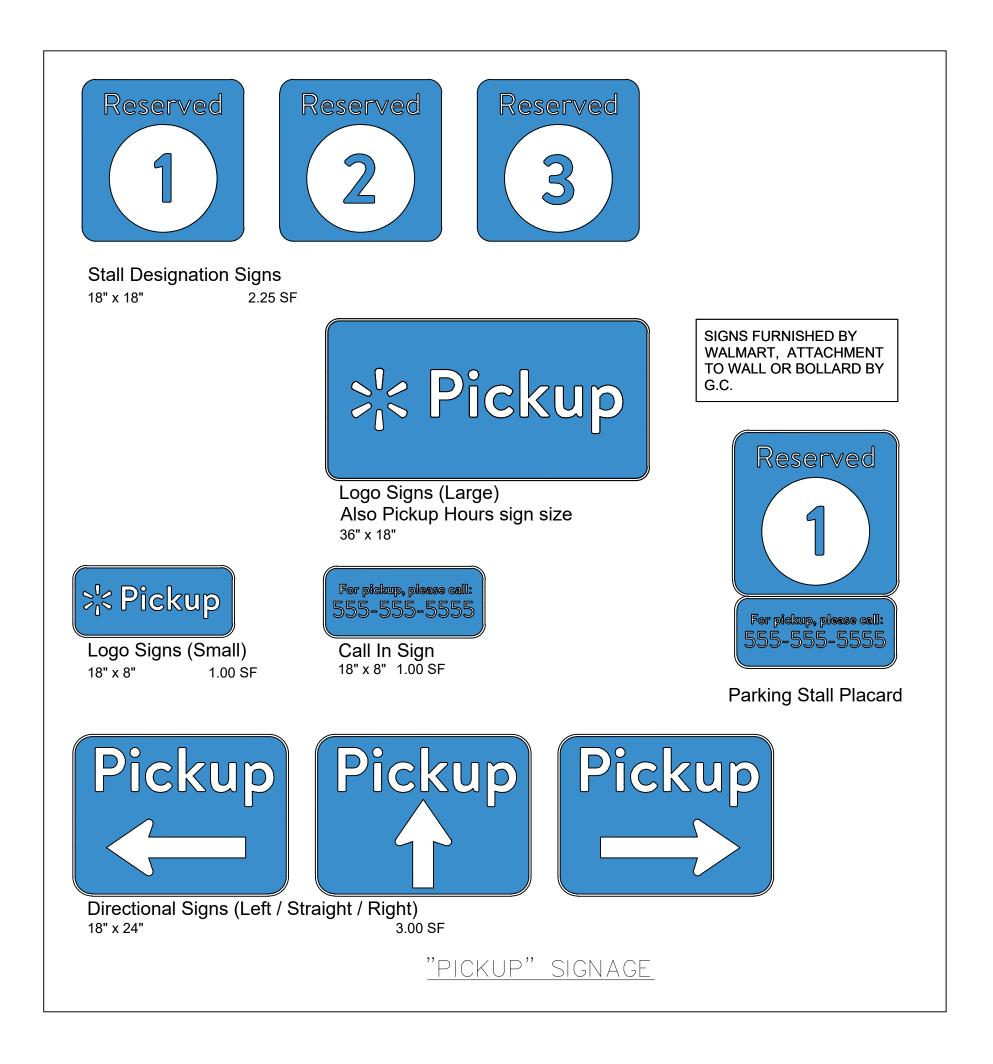
DOCUMENT DATE: 09/14/2021

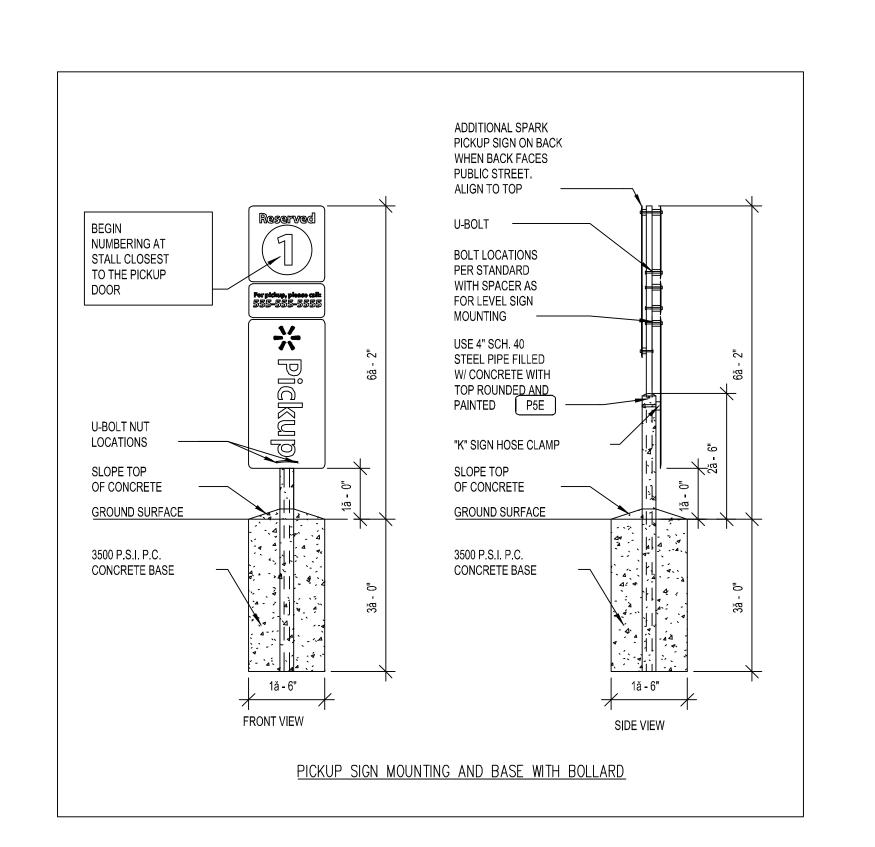
6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111 303.770.8884 GallowayUS.com

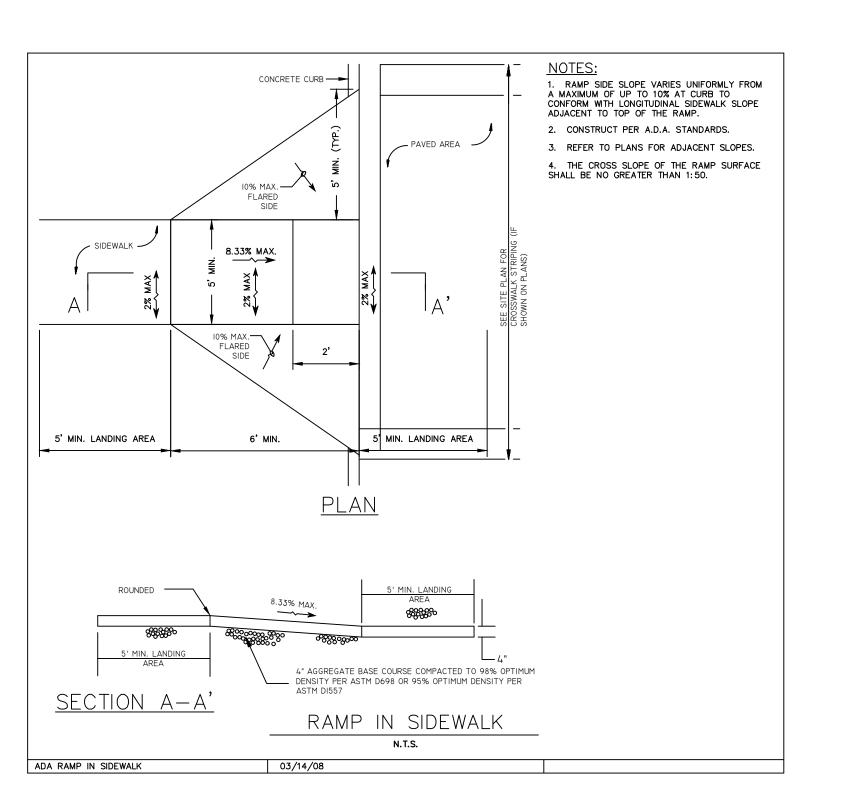


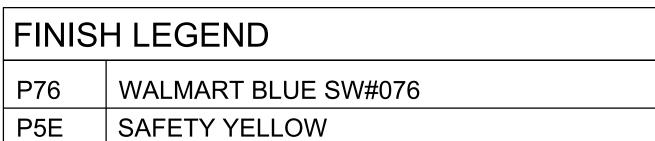
SITE SIGNAGE PLAN

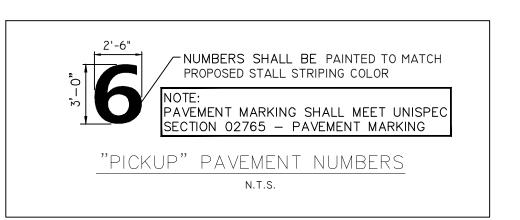
SHEET: CS2

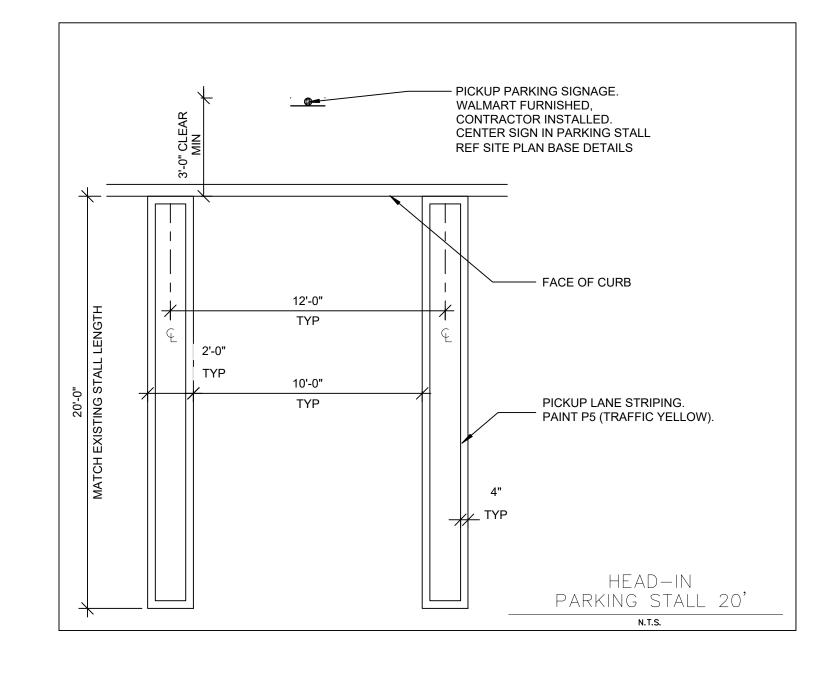






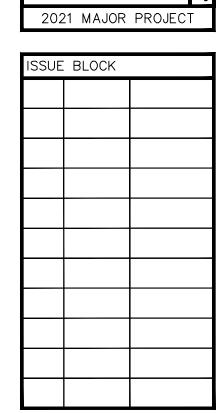


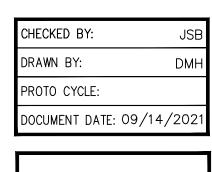


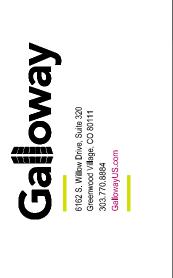


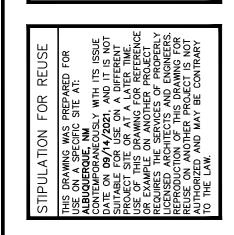














CS3



SITE AND DEMOLITION LEGEND

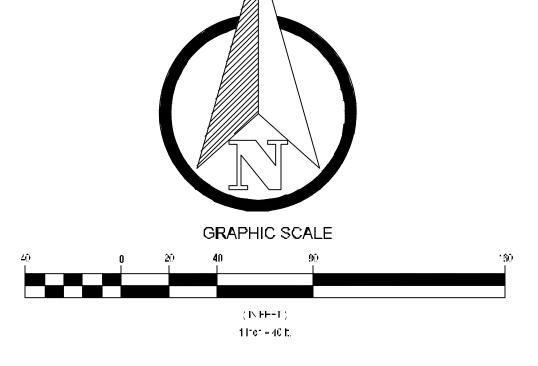
- REFERENCE DE LAIL SHEET
- A EXISTING PEDESTRIAN CROSSING SICN TO BE RENDVED.
- B EXISTING STOP SIGN TO BE REMOVED.
- EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE RENGIVED.
- D) EXISTING SICN POST AND BASE TO REMAIN BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- E) EXISTING CROSSWALK STRIPING TO BE RENOVED.
- F EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- H EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES.
- J EXISTING SCUID DOUBLE YELLOW STRIPING TO BE REMOVED
- (K) EXISTING STOP SIGN TO REMAIN.
- EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN.
- (N) EXISTING STOP BAR AND STOP TEXT PAVENENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- P EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE—PAINTED
- Q EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- R NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SICN
- S NEW 30"X30" STOP SIGN.

- T NEW 36"X36" STOP SIGN
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD
- (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS
- W NEW 4" NIDE PAINTED YELLOW STRIPES AT 45' @ 2"-0" 0 C
- NEW CROSSWALK MARKINGS 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDIKULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE
- LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL
- Z) NEW 4" MIDE PAINTED YELLOW STRIPES 6' LONG MITH 18' GAPS.
- (AA) NEW DPEN ARROW PAVEMENT MARKINGS
- NEW SÖLLD ARRÖW PAVENENT MARKINGS
- (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (DD) NEW SIGN INDUNTING AND BASE WITH BREAK AWAY POST (EE) NEW SIGN INDUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (FF) NEW FIRE LANE STRIPING.
- EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT
- EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIN LANDSCAPING AS REQUIRED TO CREATE UNDESTRUCTED VIEW OF SIGNAGE.
- NEW "ONCONING TRAFFIC DOES NOT STOP" PLAQUE

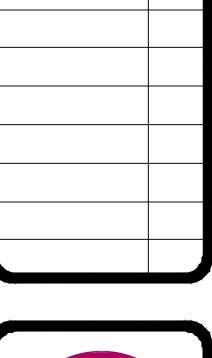
- (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLADUE.
- (LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- MN) NEW "ALL WAY" PLAQUE.
- EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
 - (PP) EXISTING ISLAND STRIPING TO BE REMOVED.
 - QQ NEW OCP CROSSWALK MARKINGS.
 - RR NEW CHANNELIZATION AT OGP DOOR SEE DETAIL
 - (SS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/CUIDELINES
 - TT NEW 4" SÖLID WHITE LINE
 - (UU) PROPOSED "DO NOT ENTER" SIGNAGE SEE DETAILS
 - (VV) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).
 - (WW) EXISTING FIRE LINE STRIPING TO BE REMOVED.
 - EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE. (YY) INSTALL SALVAGED STOP SICN
 - RE-STRIPE EXISTING ROVI CROSSWALK STRIPING TO NEET CURRENT DETAILS/GUIDELINES.

NOTES TO CONTRACTOR

- BFR (BUILDING FRONTAGE ROAD) OCR (OUTER CIRCULATION ROAD)
- CONTRACTOR SHALL INSTALL 'NEW' STOP BARS, SIGNS, AND TEXT TO MATCH CURRENT DETAILS AT THE LOCATIONS SHOWN ON THESE PLANS.
 - ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST.



STOP SIGNS AND MARKINGS PLAN



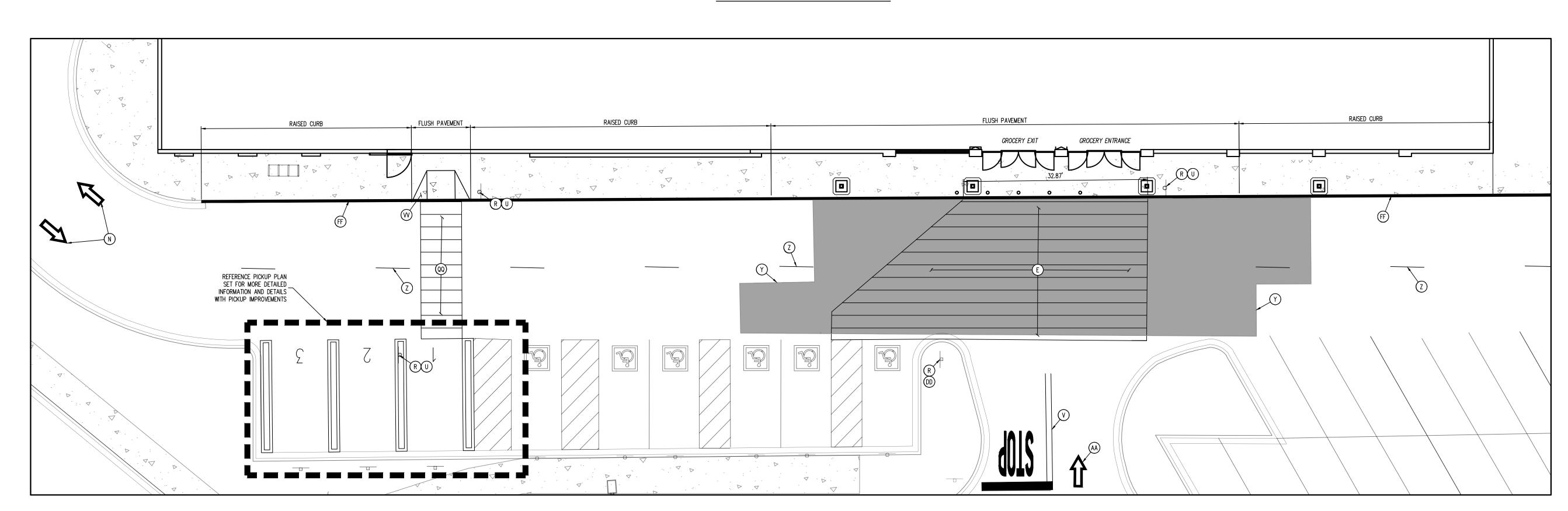




ROL 09/14/2021 AS NOTED JCB No. CYN005675.20

SSM-1

DEMOLITION PLAN



SITE CONSTRUCTION PLAN

NOTES TO CONTRACTOR:

1 inch = 10 ft.

- REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
- PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
- ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
- ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.

SITE AND DEMOLITION LEGEND

- (A) EXISTING PEDESTRIAN CROSSING SIGN TO BE REMOVED.
- (B) EXISTING STOP SIGN TO BE REMOVED.
- (C) EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
- (D) EXISTING SIGN POST AND BASE TO REMAIN. BOLLARD (WHERE APPLICABLE) TO BE RE-PAINTED.
- (E) EXISTING CROSSWALK STRIPING TO BE REMOVED.
- (F) EXISTING YIELD PAVEMENT MARKING TO BE REMOVED.
- G EXISTING CENTERLINE STRIPING TO BE REMOVED
- (H) EXISTING CENTERLINE STRIPING TO REMAIN AND BE RE-PAINTED. J EXISTING SOLID DOUBLE YELLOW STRIPING TO BE REMOVED.
- (K) EXISTING STOP SIGN TO REMAIN.
- M EXISTING STOP BAR AND STOP TEXT PAVEMENT MARKING TO BE REMOVED.
- (N) EXISTING ARROW PAVEMENT MARKINGS TO BE REMOVED.
- (P) EXISTING FIRE LANE STRIPING TO REMAIN AND BE RE-PAINTED.
- Q EXISTING STOP SIGN TO BE RAISED TO MATCH CURRENT DETAILS/GUIDELINES.
- (R) NEW "STOP HERE FOR PEDESTRIANS" (R1-5B) SIGN.
- S NEW 30"X30" STOP SIGN.
- (T) NEW 36"X36" STOP SIGN.
- (U) NEW SIGN MOUNTING AND BASE WITH BOLLARD.
- (V) NEW STOP TEXT AND STOP BAR PAVEMENT MARKINGS.
- (W) NEW 4" WIDE PAINTED YELLOW STRIPES AT 45" @ 2'-0" O.C.

- NEW CROSSWALK MARKINGS -6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. ENTIRE CROSSWALK SHALL BE
- LIMITS OF SEAL COAT. APPLY SEAL COAT OVER WHERE STRIPING AND PAVEMENT MARKINGS WERE REMOVED AND WHERE NEW STRIPING AND PAVEMENT MARKINGS WILL BE APPLIED. APPLY NEW STRIPING AND PAVEMENT MARKINGS OVER SEAL
- (Z) NEW 4" WIDE PAINTED YELLOW STRIPES 6' LONG WITH 18' GAPS.
- (AA) NEW OPEN ARROW PAVEMENT MARKINGS.
- (BB) NEW SOLID ARROW PAVEMENT MARKINGS.
- (CC) NEW 4" WIDE DOUBLE SOLID YELLOW STRIPE.
- (DD) NEW SIGN MOUNTING AND BASE WITH BREAK AWAY POST. (EE) NEW SIGN MOUNTING AND BASE WITH DOUBLE BREAK AWAY POSTS.
- (FF) NEW FIRE LANE STRIPING.
- EXISTING PAVEMENT MARKINGS/STRIPING TO BE INSPECTED AND REVISED/REFRESHED TO MATCH CURRENT
- EXISTING VISIBILITY CONFLICT WITH SIGNAGE. CONTRACTOR SHALL TRIM LANDSCAPING AS REQUIRED TO CREATE UNOBSTRUCTED VIEW OF SIGNAGE.
- (JJ) NEW "ONCOMING TRAFFIC DOES NOT STOP" PLAQUE.
- (KK) NEW "TRAFFIC FROM LEFT DOES NOT STOP" PLAQUE.
- (LL) NEW "TRAFFIC FROM RIGHT DOES NOT STOP" PLAQUE.
- (MM) NEW "CROSS TRAFFIC DOES NOT STOP" PLAQUE.
- (NN) EXISTING "PICK-UP" PAVEMENT MARKINGS TO BE REMOVED.
- (QQ) NEW OGP CROSSWALK MARKINGS.
- (PP) EXISTING ISLAND STRIPING TO BE REMOVED.

(RR) NEW CHANNELIZATION AT OGP DOOR. SEE DETAIL.

(WW) EXISTING FIRE LINE STRIPING TO BE REMOVED.

(XX) EXISTING STOP SIGN TO BE SALVAGED FOR RE-USE.

(UU) PROPOSED "DO NOT ENTER" SIGNAGE. SEE DETAILS.

(VV) PROPOSED CONCRETE SIDEWALK AND RAMP (REF. PICKUP PLANS).

(TT) NEW 4" SOLID WHITE LINE

(YY) INSTALL SALVAGED STOP SIGN. (ZZ) RE-STRIPE EXISTING ROW CROSSWALK STRIPING TO MEET CURRENT DETAILS/GUIDELINES.

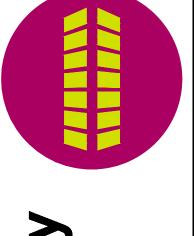
(SS) EXISTING DOUBLE SOLID YELLOW STRIPING TO BE RE-PAINTED TO MEET CURRENT DETAILS/GUIDELINES



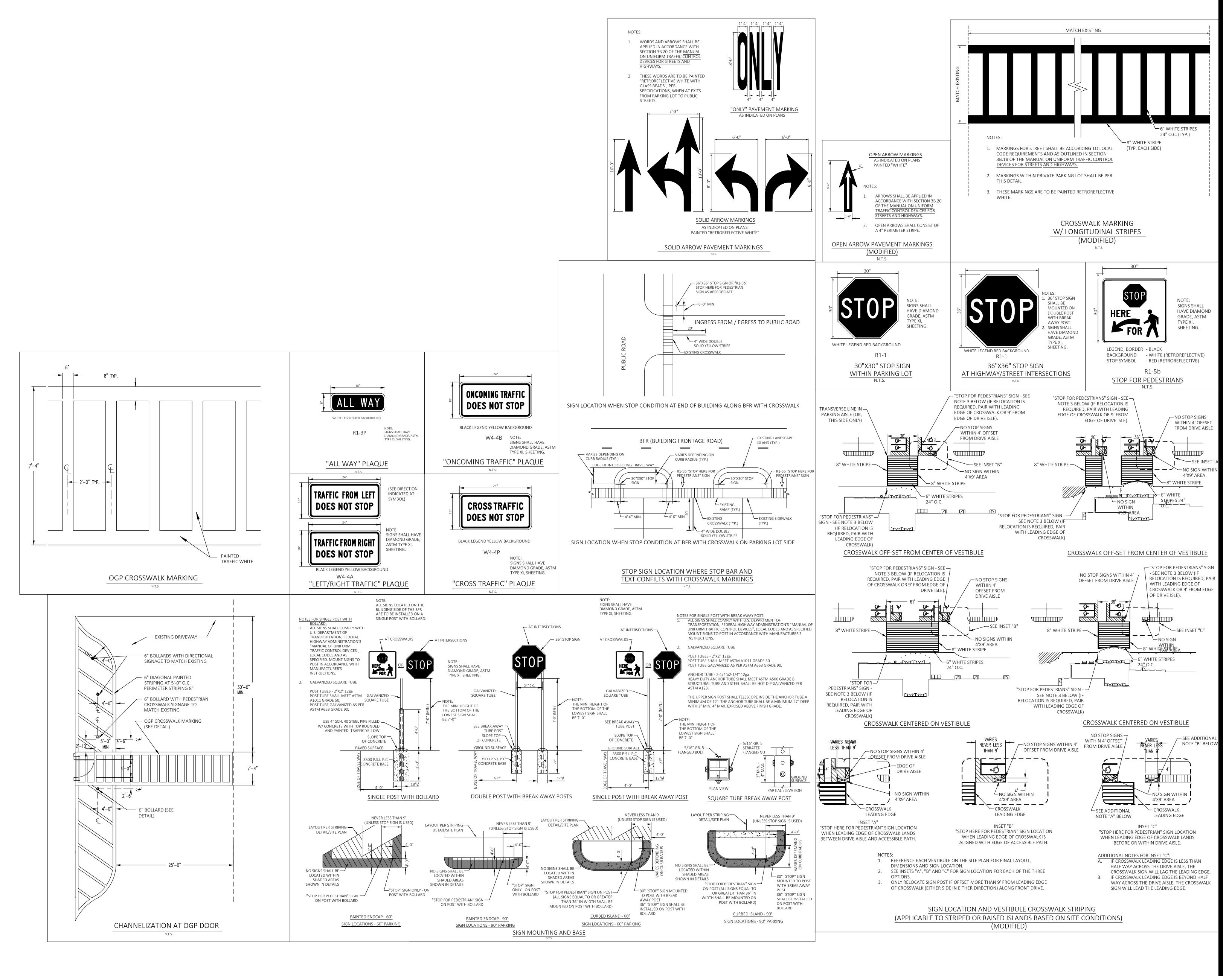
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SECP-1

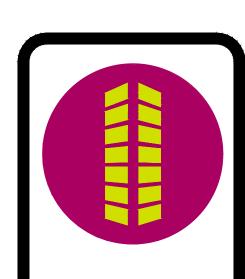
DEMOLITION AND SITE CONSTRUCTION PLAN







SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET



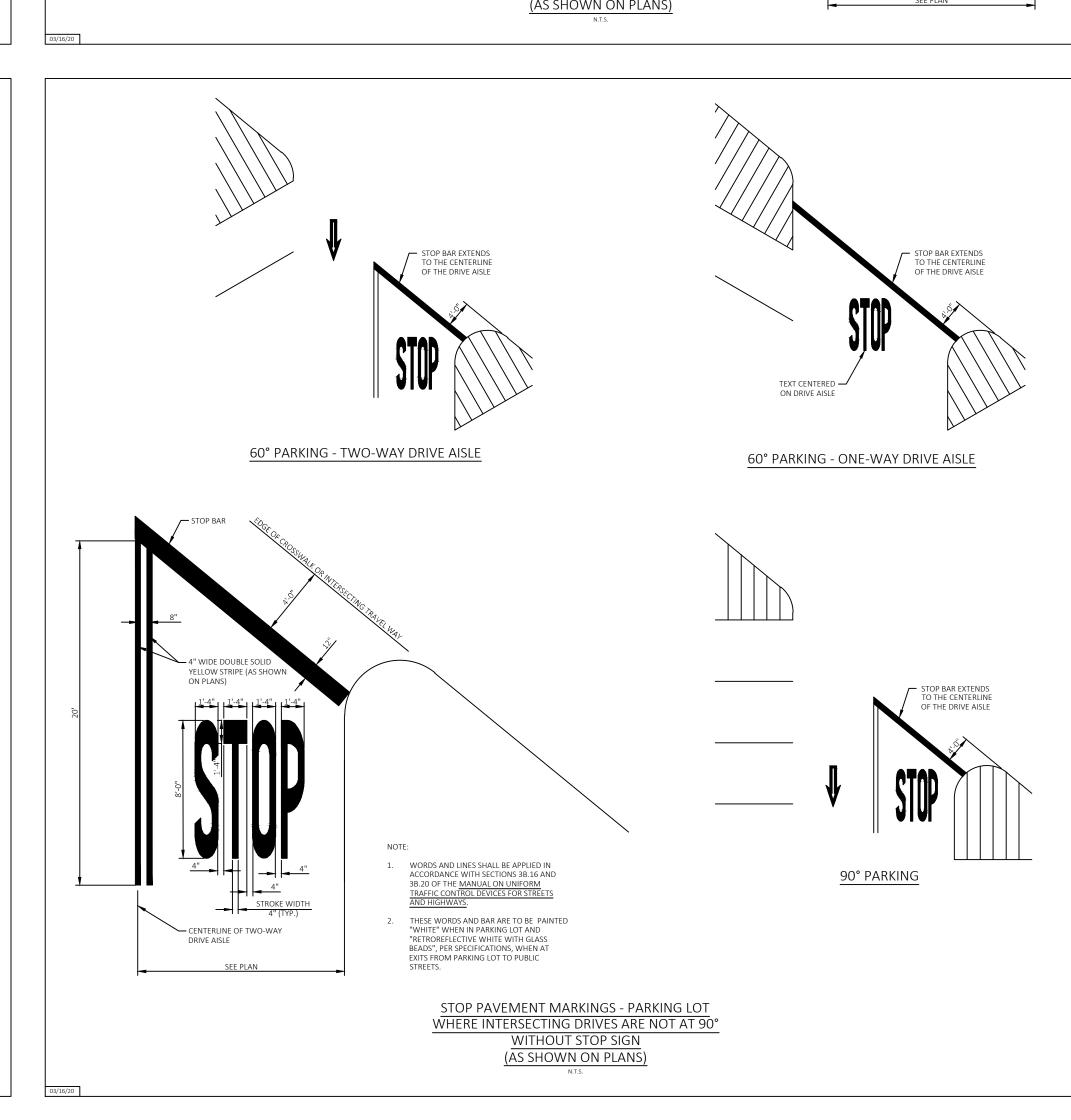
6162 S. Willow Drive, Suite 320 Greenwood Village, CO 80111 303.770.8884 GallowayUS.com



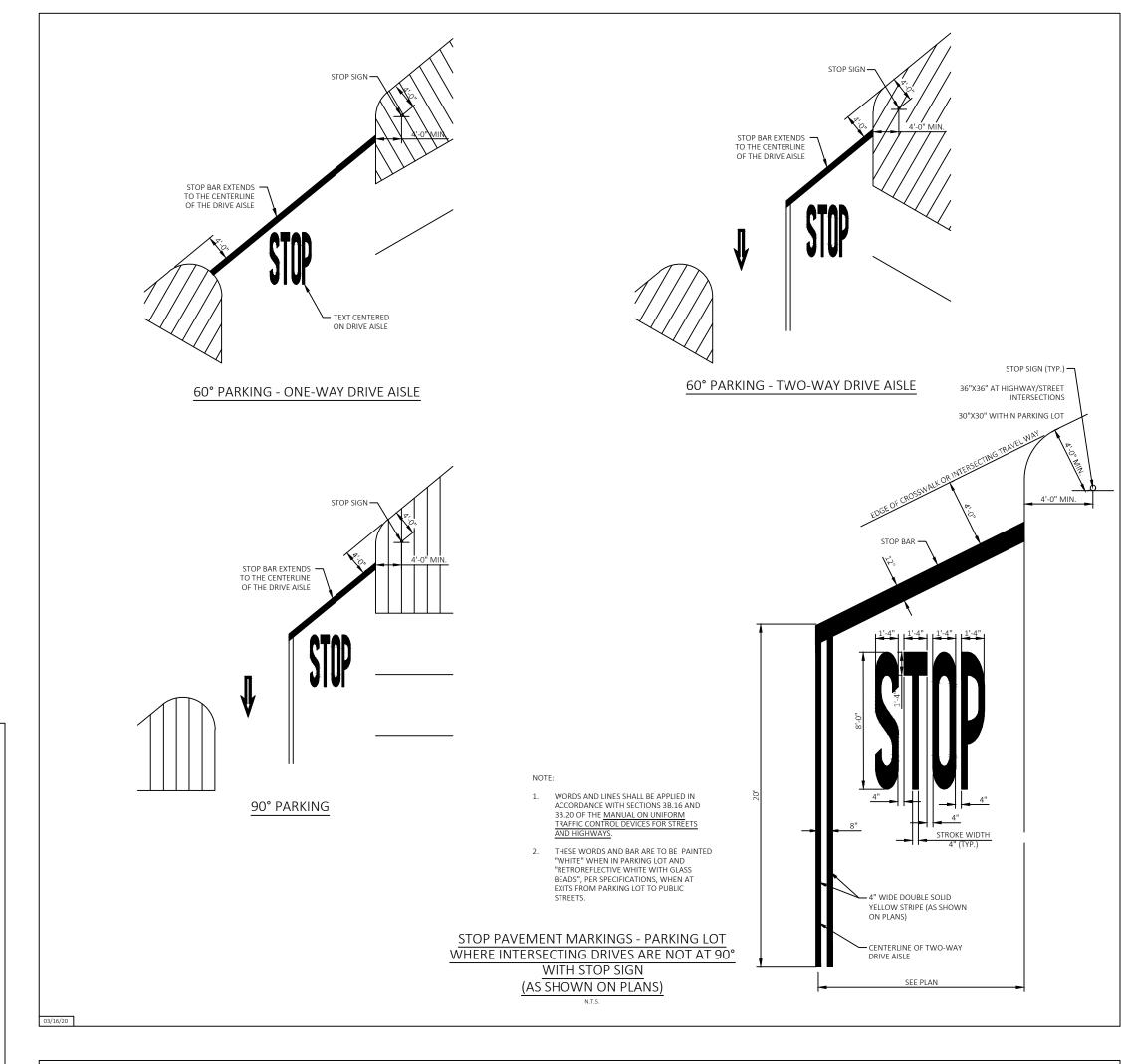
11001 MENAUL BLVD NE
ALBUQUERQUE, BERNALILLO CO
WAL-MART STORES, INC.

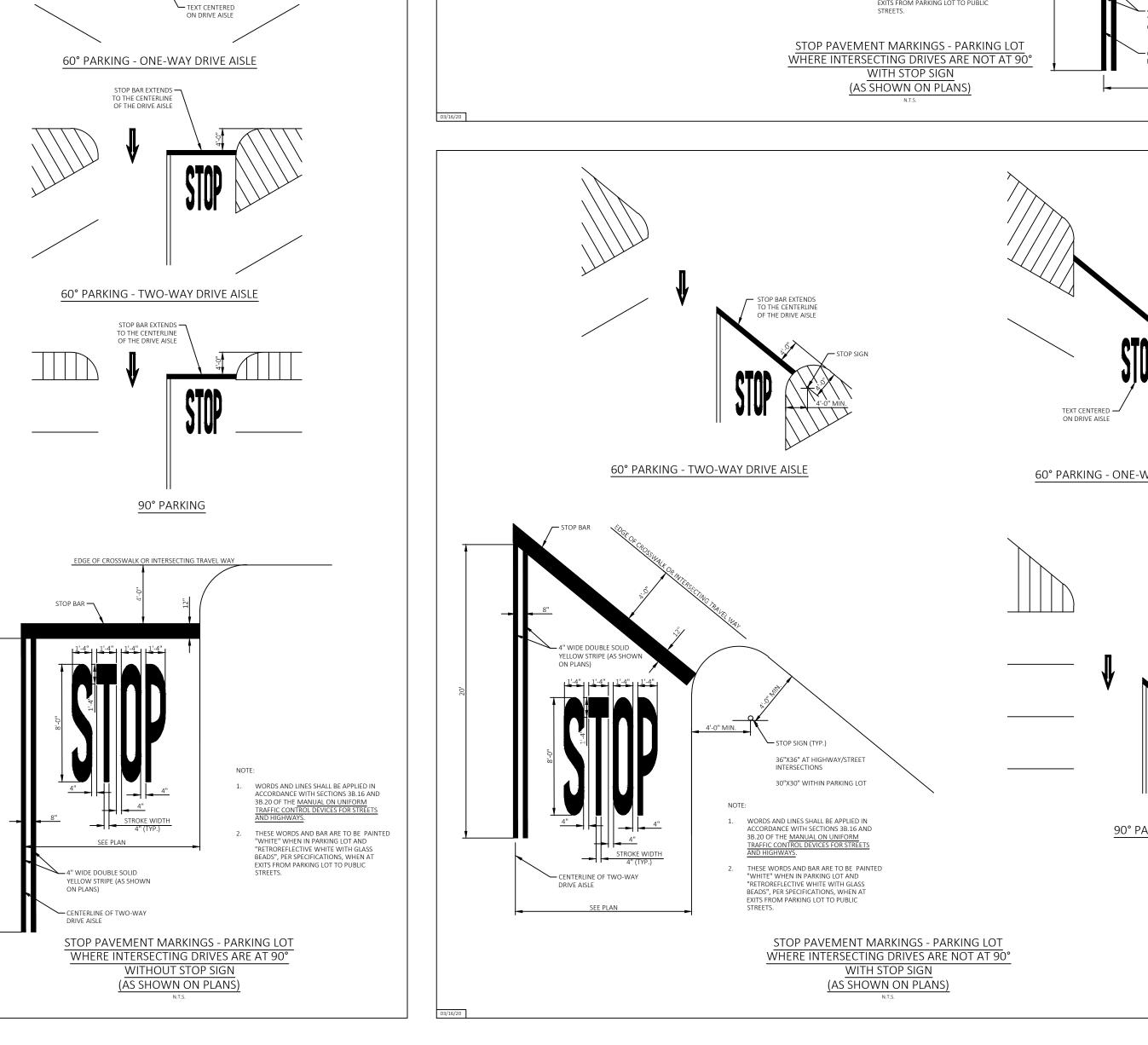
Walmart

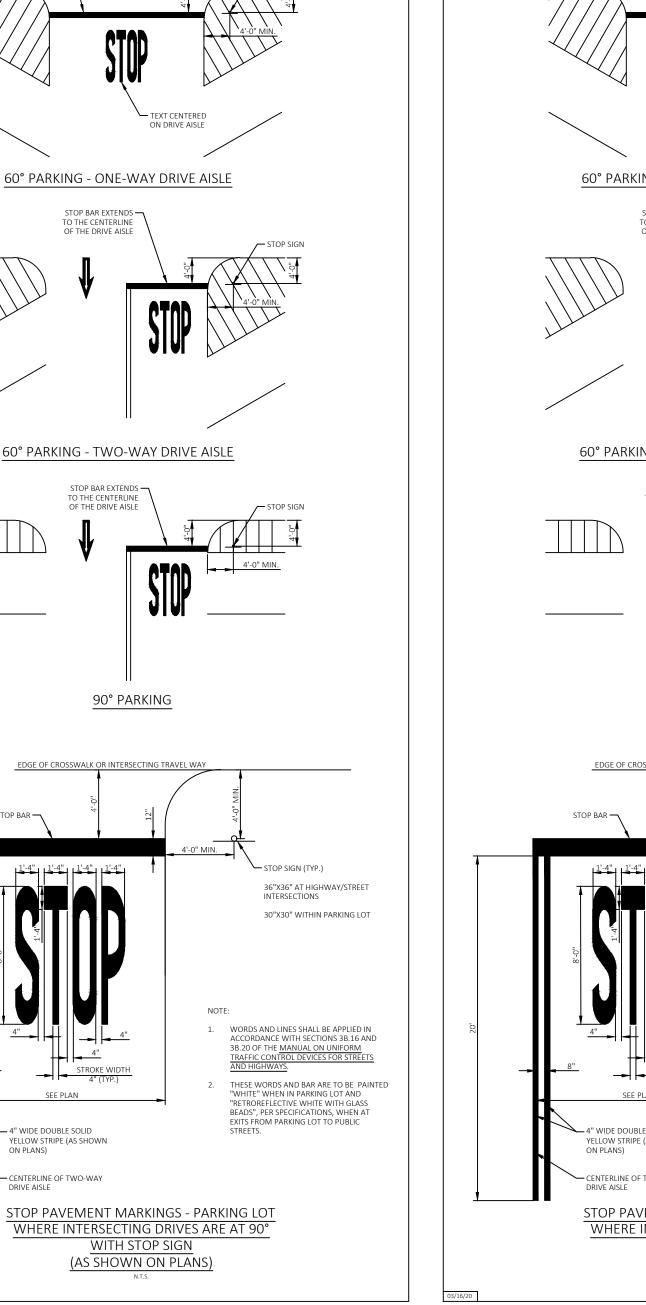
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STOP PAVEMENT MARKINGS - PARKING LOT







TEXT CENTERED ON DRIVE AISLE

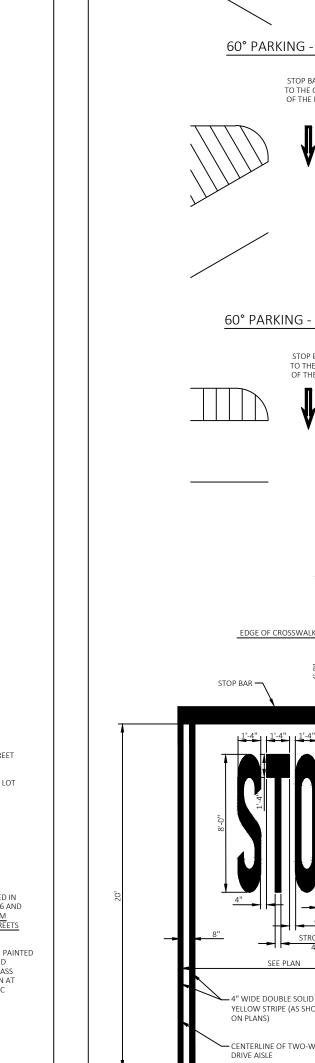
60° PARKING - ONE-WAY DRIVE AISLE

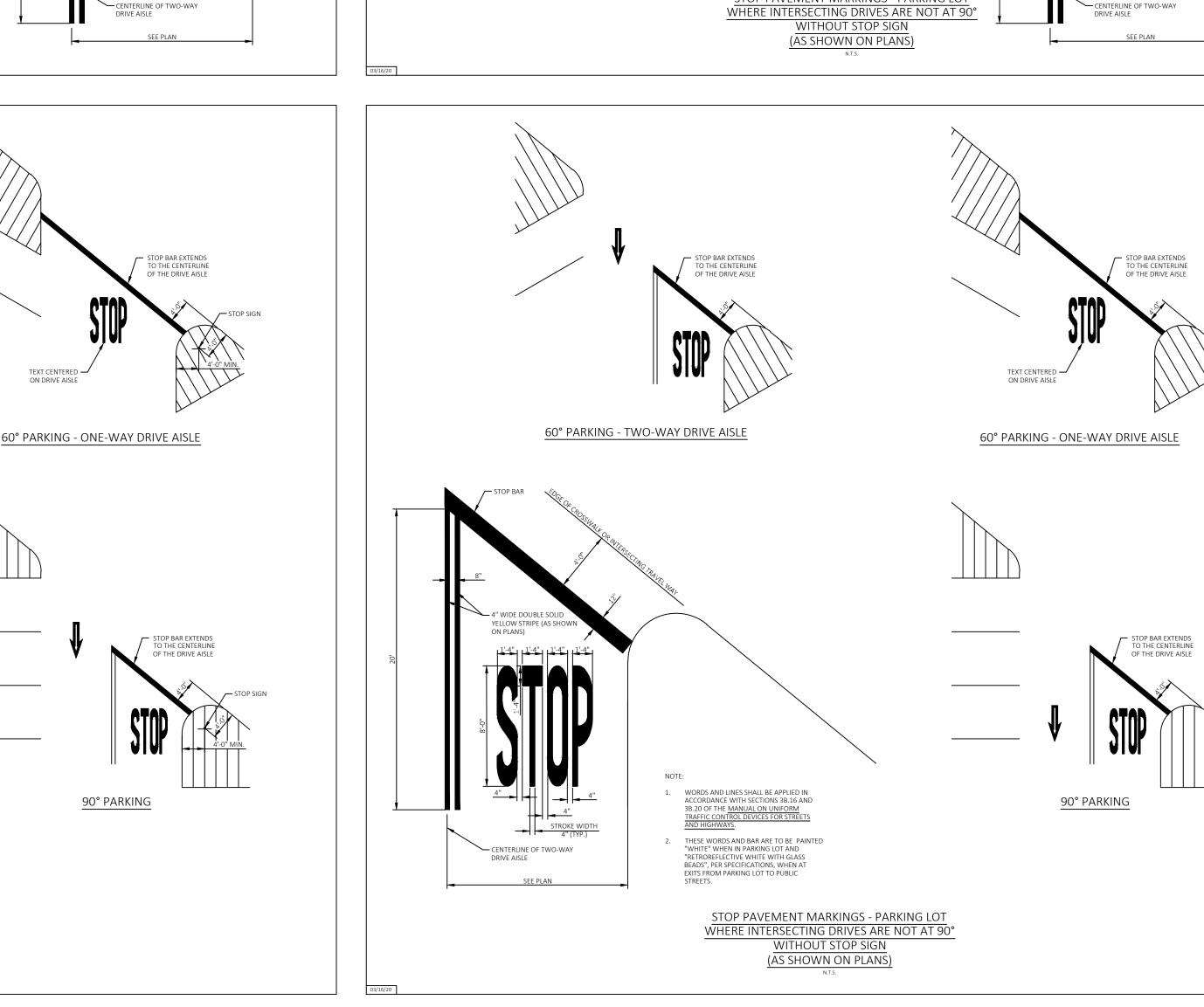
60° PARKING - TWO-WAY DRIVE AISLE

| 1'-4" | 1'-4" | 1'-4" | 1'-4" |

YELLOW STRIPE (AS SHOWN ON PLANS)

WITH STOP SIGN (AS SHOWN ON PLANS)

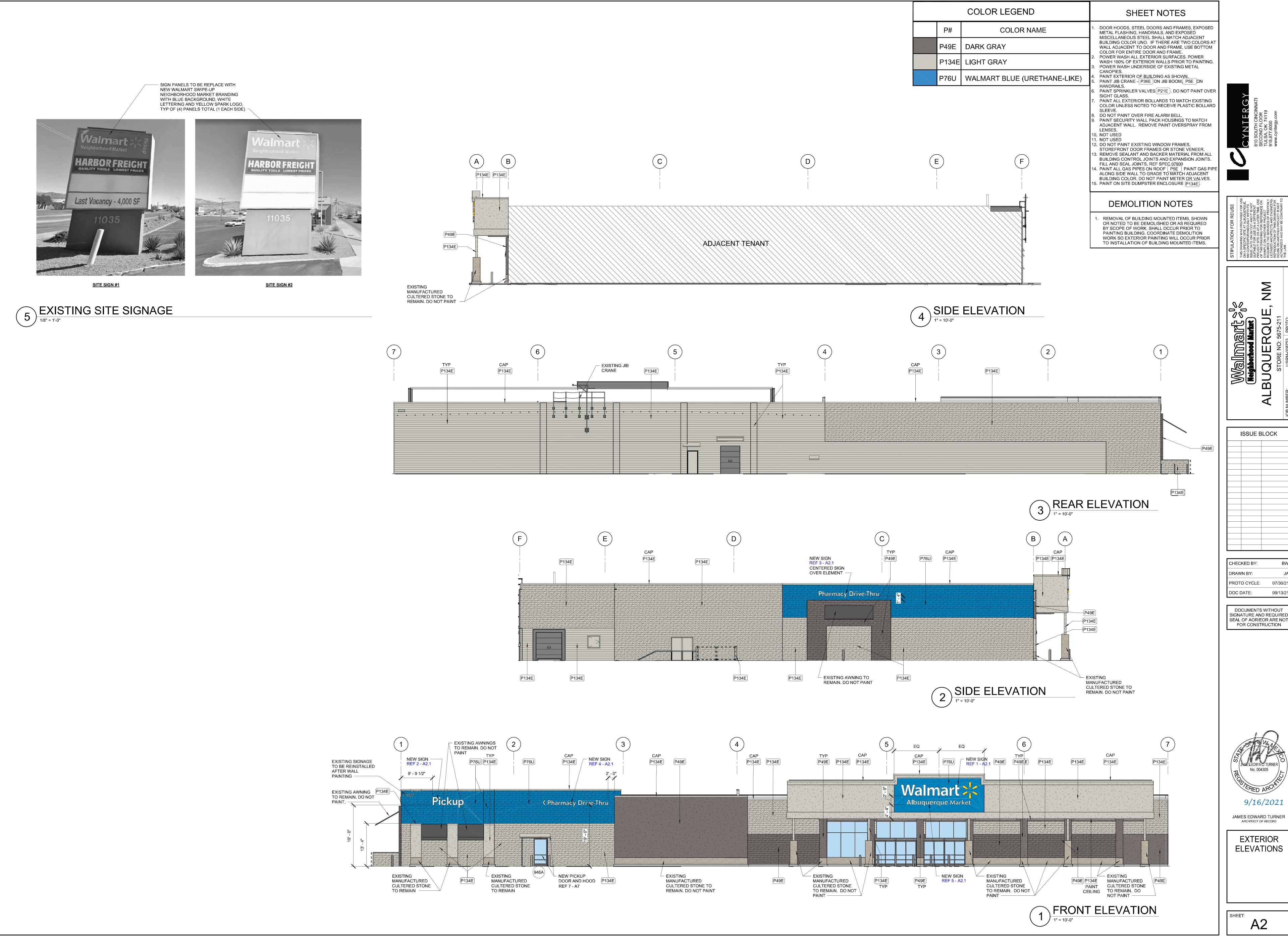






4" WIDE DOUBLE SOLID YELLOW STRIPE (AS SHOWN ON PLANS)

CENTERLINE OF TWO-WAY DRIVE AISLE



ISSUE BLOCK

CHECKED BY: DRAWN BY: PROTO CYCLE: DOC DATE: DOCUMENTS WITHOUT

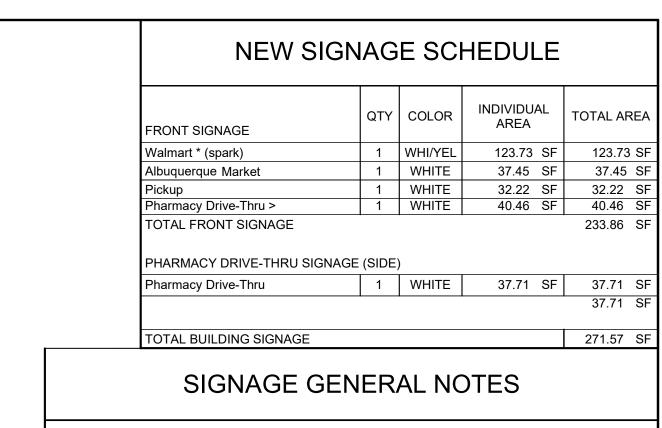
SEAL OF AOR/EOR ARE NOT FOR CONSTRUCTION



9/16/2021 JAMES EDWARD TURNER ARCHITECT OF RECORD

EXTERIOR ELEVATIONS

A2



- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY GC. ALL EXISTING WALMART EXTERIOR SIGNAGE IS TO REMAIN IN PLACE ON THE BUILDING UNTIL THE GC SIGN COMPANY IS ONSITE. THE EXISTING SIGNAGE WILL THEN BE REMOVED, PATCH AND REPAIR WORK WILL BE COMPLETED AT SIGN LOCATIONS, AND NEW SIGNAGE WILL BE INSTALLED PER PLANS. A. A TEMPORARY BANNER WILL BE INSTALLED PRIOR TO REMOVAL OF EXISTING
- AND/OR REPAIRS HAVE BEEN COMPLETED AND NEW SIGNAGE IS INSTALLED. B. TEMPORARY BANNER WILL BE APPROXIMATELY 125 SF (5'X25'). C. EXTERIOR SIGN WORK NEEDS TO BE SCHEDULED, COORDINATED, AND COMPLETED DURING WEEK 6 OF THE CONSTRUCTION SCHEDULE.

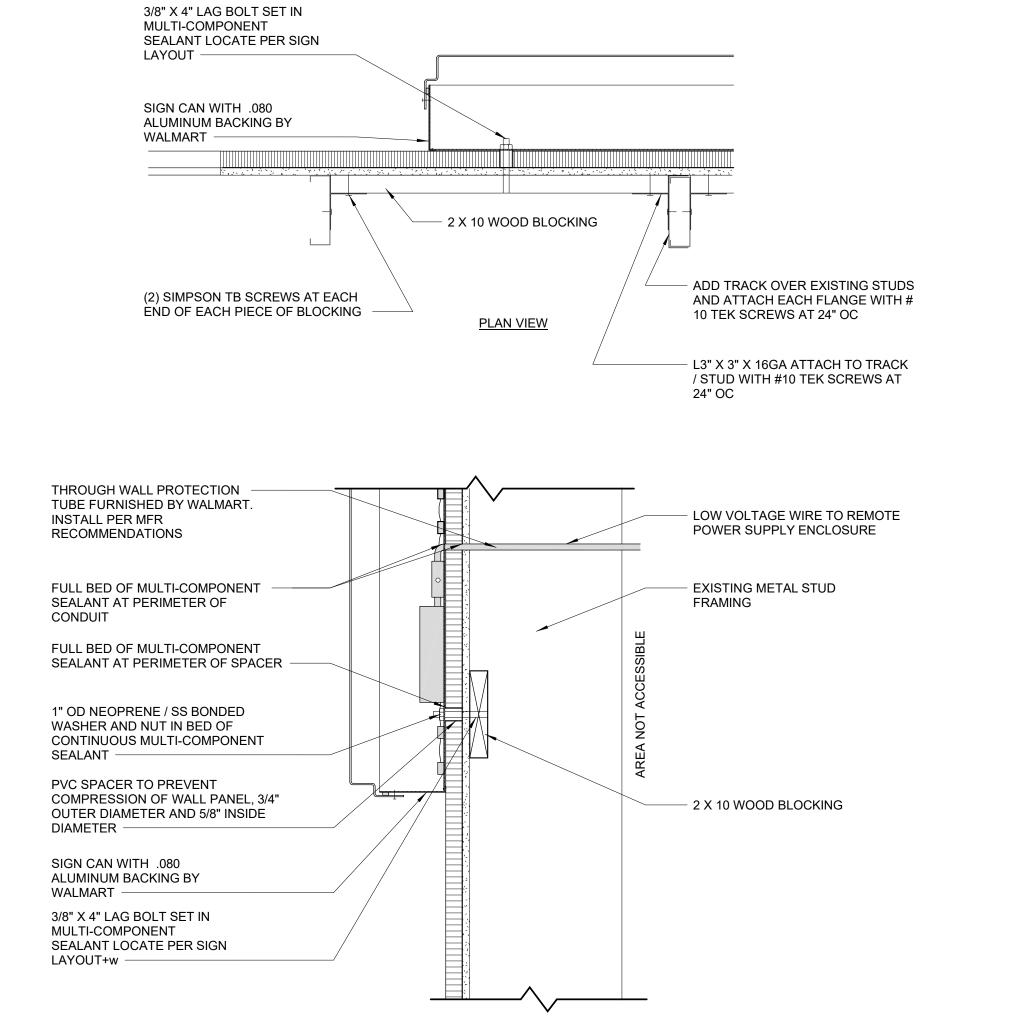
GENERAL CONTRACTOR RESPONSIBILITIES

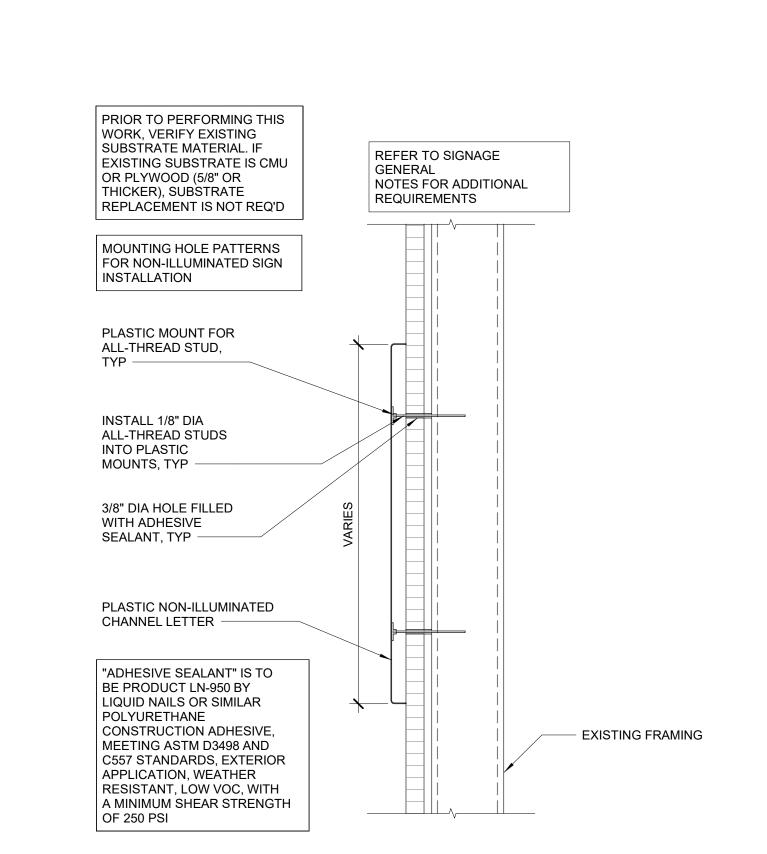
A. BY END OF FIRST WEEK OF CONSTRUCTION, REVIEW EXISTING CONSTRUCTION WHERE SIGN(S) WILL BE INSTALLED. IF EXISTING CONDITIONS DO NOT MATCH SIGN ATTACHMENT DETAILS SHOWN, REQUEST APPROVAL FROM CONSTRUCTION MANAGER TO SUBMIT RFI IN ACCORDANCE WITH SECTION 01255. NOTE DIFFERENCES IN CONSTRUCTION, INCLUDING DIMENSIONS, AND INCLUDE

EXTERIOR SIGNAGE. BANNER WILL REMAIN IN PLACE UNTIL ALL MODIFICATIONS

- PHOTOGRAPHS FOR CLARIFICATION. B. PROVIDE SUBSTRATE SUITABLE FOR INSTALLATION OF SIGNAGE. REFER TO SIGN
- DETAILS FOR LIGHTED ID/LOGO SIGNS. C. PROVIDE JUNCTION BOXES AND CIRCUITRY TO NEW "Walmart" and "spark" SIGNAGE. EXISTING (8) BOXES FROM "WAL«MART" SIGNAGE MAY BE REUSED.
- E. NOT USED F. VERIFY VOLTAGE AT CIRCUITS FEEDING LIGHTED SIGNAGE. REFER TO
- ELECTRICAL G. MAKE FINAL TERMINATIONS ON LIGHTED SIGNAGE.
- H. REMOVE ALL LIT ID/LOGO SIGNS AND UNLIT EXTERIOR STUD MOUNTED BUILDING SIGNS. UNLESS NOTED OTHERWISE MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL
- PENETRATIONS PER SPECIFICATION SECTION 07900. J. INSTALL SIGNAGE PER DETAILS.

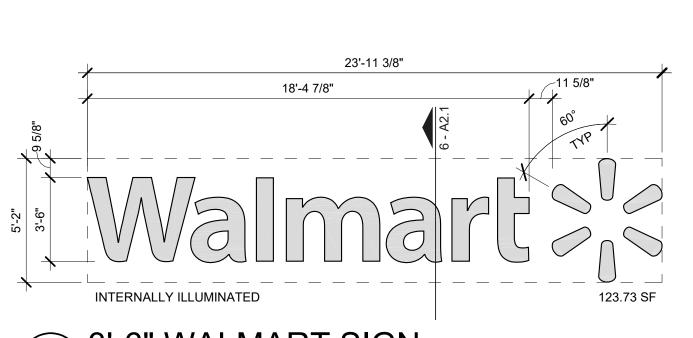
D. NOT USED



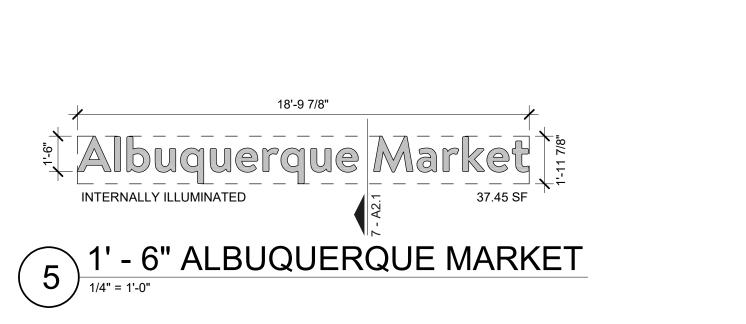


7 AND METAL STUD WALL

SIGN ATTACHMENT AT EIFS



3'-6" WALMART SIGN



MOUNTING HOLE PATTERNS FOR

THREAD STUD TYP BY WALMART -

INSTALL 1/8" DIA ALL-THREAD

STUDS INTO PLASTIC

INSTALLATION TYP -

MOUNTS PRIOR TO SIGN

3/8" DIA HOLE FILLED WITH

ADHESIVE SEALANT. COAT

ADHESIVE SEALANT PRIOR

TO WALL ATTACHMENT TYP

PLASTIC NON-ILLUMINATED

"ADHESIVE SEALANT" IS TO

BE PRODUCT LN-950 BY

LIQUID NAILS OR SIMILAR

CONSTRUCTION ADHESIVE,

MEETING ASTM D3498 AND

LOW VOC, WITH A MINIMUM

SHEAR STRENGTH OF 250

8 SIGN ATTACHMENT AT CMU WALL

EXTERIOR APPLICATION,

WEATHER RESISTANT,

CHANNEL LETTER BY

WALMART —

POLYURETHANE

C557 STANDARDS,

ALL-THREAD STUD WITH

PROVIDED BY WALMART

PLASTIC MOUNT FOR ALL-

NON-ILLUMINATED SIGN INSTALLATION

WATERPROOFING MEMBRANE

THROUGH WALL

PROTECTION TUBE

FULL BED OF MULTI-

FURNISHED BY WALMART

MFR RECOMMENDATIONS

COMPONENT SEALANT AT

INSTALL LETTER BACK

HILTI HPS 1/4" X 1 5/8"

PROVIDED BY WALMART

SLEEVE ANCHOR

CONNECTION POINT

INDIVIDUAL PLASTIC

ILLUMINATED CHANNEL

INSTALL LETTER FACES

W/ SET SCREWS, TYP ——

INSTALLED BY GC

AT EACH SIGN

LETTERS —

PRIOR TO INSTALLATION -

PERIMETER OF CONDUIT -

INSTALLED BY GC PER

REMOTE POWER SUPPLY ENCLOSURE

- 3/4" LIQUID TIGHT FLEXIBLE METAL

CONDUIT TO PANEL BOARD

PENETRATIONS AND SEALANT

AT LOW VOLTAGE WIRE

EXISTING ROOFING SYSTEM -

LOCATE ANCHORS AND

PROVIDED BY WALMART

WIRING/CONDUIT PENETRATIONS PER SIGN ATTACHMENT TEMPLATE

REF ELECTRICAL -

LOW VOLTAGE WIRE

CONT SEALANT

PRE MOLDED PIPE FLASHING ATTACHED

PER ROOFING MFR RECOMMENDATIONS -

LOCATE CONDUIT PENETRATION

4'-0" MAX FROM UNISTRUT.

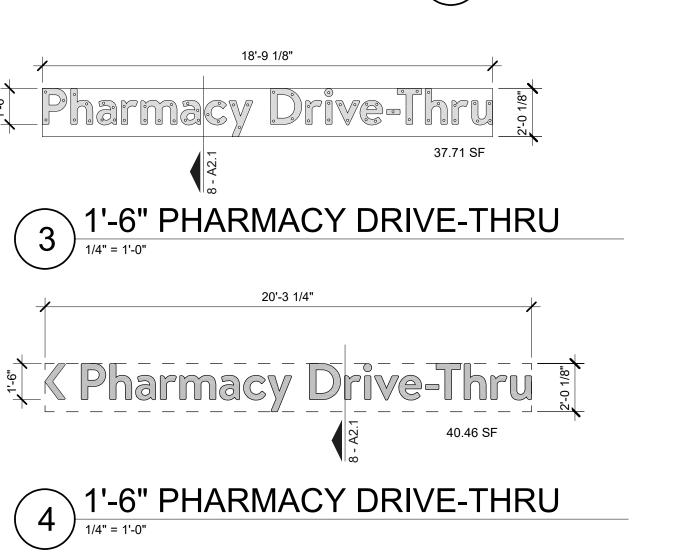
PROVIDE ONLY ONE ROOF PENETRATION FOR ALL WHIPS.

SEALANT AT PERIMETER AND ANCHORS OF REMOTE POWER SUPPLY ENCLOSURE

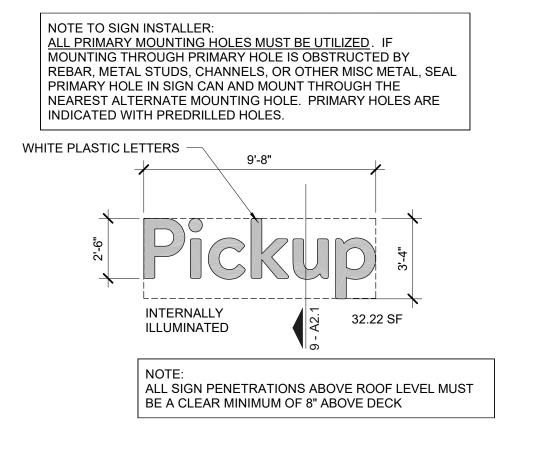
SIGNAGE CONDUIT FLASHING AT LOW VOLTAGE

WIRE PENETRATIONS FURNISHED BY WALMART

INSTALLED BY GC PER MFR RECOMMENDATIONS



EXISTING CMU



2'-6" PICKUP

Σ Z

ISSUE BLOCK

CHECKED BY: DRAWN BY: PROTO CYCLE: 07/30/21 DOC DATE: 09/13/21

DOCUMENTS WITHOUT SIGNATURE AND REQUIRED SEAL OF AOR/EOR ARE NOT FOR CONSTRUCTION



ARCHITECT OF RECORD **EXTERIOR**

DETAILS

A2.1