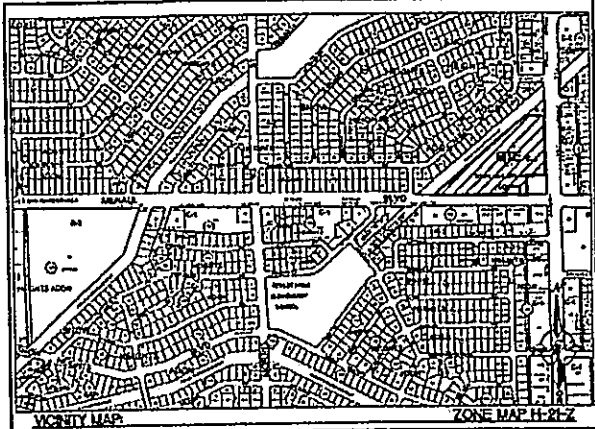




**LEGAL DESCRIPTION**  
REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-11112 PROJECT # 1022445  
10' high pallet enclosure  
445 sq ft  
APPROVED BY: [Signature] DATE: 7/11/12

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-11112 PROJECT # 1022445  
10' high pallet enclosure  
445 sq ft  
APPROVED BY: [Signature] DATE: 9/11/12

**ADMINISTRATIVE AMENDMENT**  
FILE # 12-11112 PROJECT # 1022445  
NEW EXTERIOR PAINT COLOPS, REPLACE  
PHARMACY DRIVE THRU BUS AND SIGNAGE  
NEW PHARMACY PICK-UP SIGN  
APPROVED BY: [Signature] DATE: 10-31-17

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM  
WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND  
WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE  
RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT  
FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT-OFF  
SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND  
THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH  
HORIZONTAL LAMPS.
  - PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE-  
ABLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER  
THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR  
THERMOPLASTIC.
  - 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM  
UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

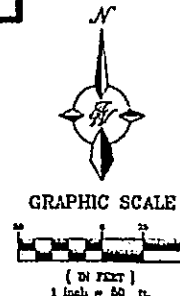
**ADMINISTRATIVE AMENDMENT**  
FILE # 12-11112 PROJECT # 1022445  
10' high pallet enclosure  
445 sq ft  
APPROVED BY: [Signature] DATE: 9/23/11

**LEGEND**

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING STREET LIGHTS
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SAWCUT
- STANDARD DUTY ASPHALT
- ADA ACCESSIBLE ROUTE
- PROPOSED PARKING SPACES
- CART CORRAL
- SITE LIGHTING (SEE LIGHTING PLAN)

| NO. | DATE     | REVISIONS                               | BY  |
|-----|----------|-----------------------------------------|-----|
| 1   | 08-09-12 | ADD BALF AND PALLET RECYCLING ENCLOSURE | JCH |
| 2   | 05-23-12 | REVISION CENTER SIGN                    | JCH |
| 3   |          | REVISIONS                               |     |

- INDEX TO DRAWINGS**
- SITE PLAN FOR BUILDING PERMIT
  - SITE PLAN
  - L1-LANDSCAPING PLAN
  - GRADING PLAN
  - MASTER UTILITY PLAN
  - DETAILS
  - BUILDING ELEVATIONS
  - BUILDING ELEVATIONS
  - AA SITE PLAN (PREVIOUSLY APPROVED)
  11. FROM SAN ELEVATION



**SITE DATA**  
LEGAL DESCRIPTION: PORTION OF BLOCK 88 SNOW HEIGHTS  
ZONING: C-2 (SC)  
SITE AREA: 8.61 ACRES

**PROPOSED USE/EXISTING USE:**  
COMMERCIAL, RETAIL

**PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:**  
EXISTING INGRESS AND EGRESS IS PROVIDED DIRECTLY TO MENAUL BLVD AT FOUR  
DRIVEWAY APRONS AND DIRECTLY TO JUAN TABO BLVD AT THREE DRIVEWAY APRONS.

THE PROPOSED BUILDING ADDITION WILL REQUIRE THE TWO MOST SOUTHWESTERLY  
DRIVEWAY APRONS RECONFIGURED AS SHOWN TO CONTINUE TO MAINTAIN INGRESS AND  
EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND  
EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MENAUL  
BLVD WHICH IS ADA COMPLIANT.

**INTERNAL CIRCULATION REQUIREMENTS:**  
AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE  
ACCESS TO THE TWO SEPARATE RESTAURANT PADS ALONG MENAUL BOULEVARD  
WHICH ARE "NOT A PART" OF THIS SITE DEVELOPMENT PLAN.

**MAXIMUM BUILDING HEIGHT ALLOWED:**  
28 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER  
28 FEET SHALL FALL WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT  
THE MEAN GRADE ALONG EACH INTERNAL BOUNDARY OF THE PREMISES AND EACH  
ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, OR DRAINAGEWAY RIGHT-OF-WAY  
CENTERLINE TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 28 FEET MAY NOT  
EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN  
ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME  
BOUNDARIES OR CENTER LINE.

**PROPOSED BUILDING HEIGHT:** 32' MAXIMUM

**MINIMUM BUILDING SETBACK:**  
THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN  
FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR  
ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

**MAXIMUM TOTAL DWELLING UNITS:**  
N/A. RESIDENTIAL USE NOT PERMITTED PER ZONING

**NON-RESIDENTIAL USES' MAXIMUM FLOOR AREA RATIO:**  
NO REQUIREMENT, (0.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED)

**PHASING:**  
NONE

**STRUCTURE LOCATIONS:**  
EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY  
TENT SPACE TO BE DEMOLISHED AND REBUILT AS INDICATED ON THE PLAN.

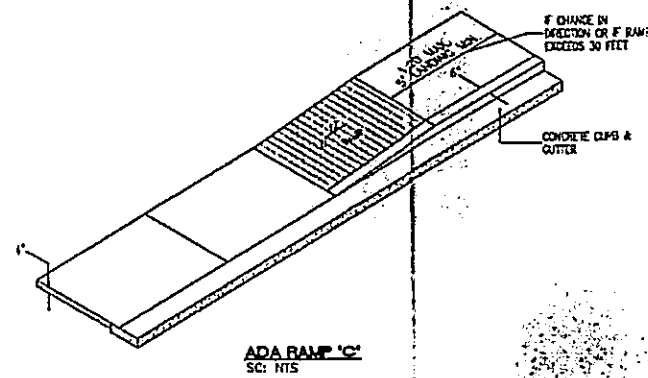
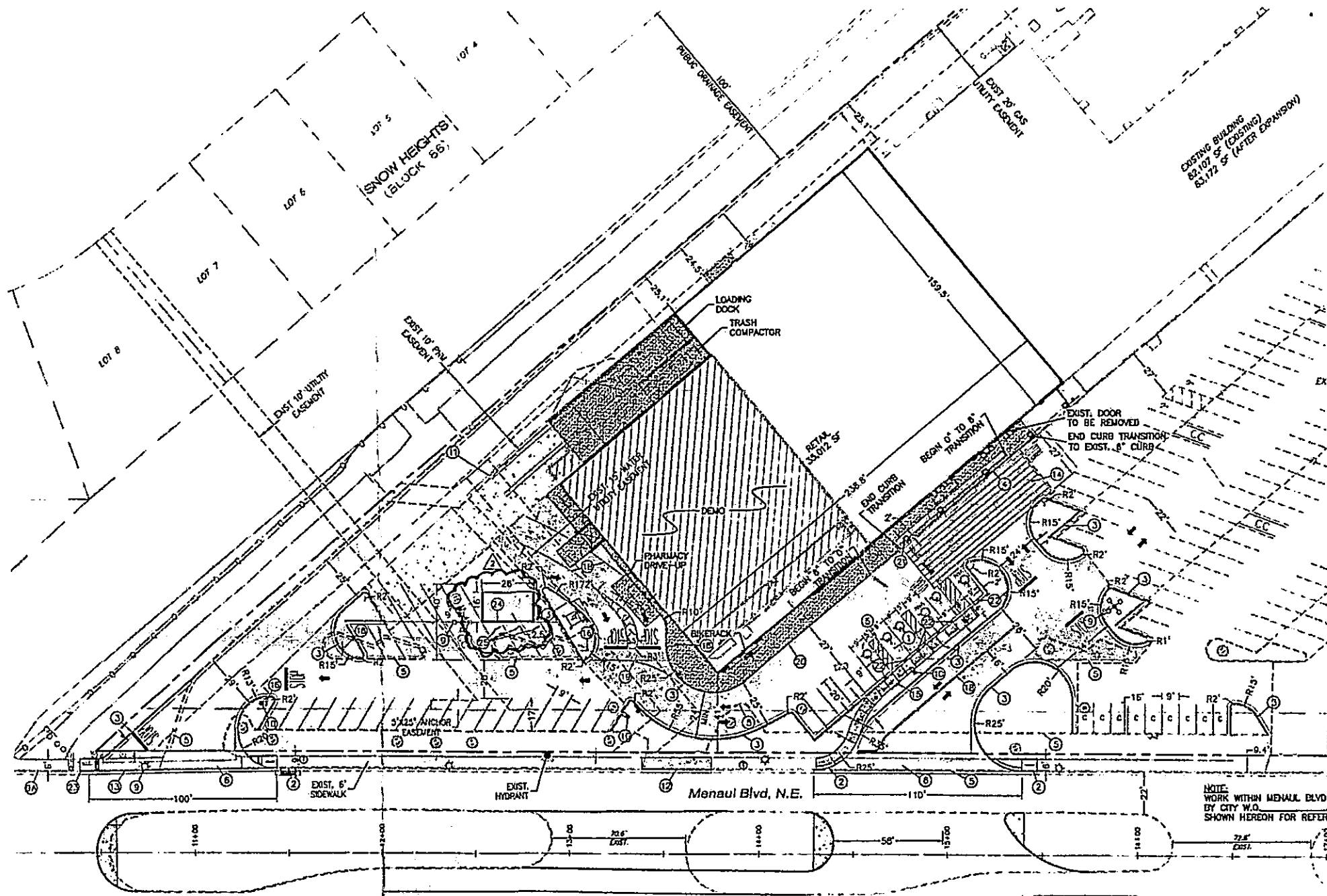
**STRUCTURE ELEVATIONS AND FINISHES:**  
BUILDING AREA:  
WEST BLDG: 82,107 SF (EXISTING) + 1,065 SF (PROPOSED EXPANSION)  
83,172 SF (AFTER EXPANSION)  
EXISTING EAST BLDG: 10,516 SF  
TOTAL: 93,688 SF (AFTER EXPANSION)  
SEE SHEETS B THROUGH G FOR STRUCTURE ELEVATIONS

**PARKING FACILITIES:**  
PARKING CALCULATIONS:  
SPACE/200 SF (FIRST 15,000 SF): 75 SPACES  
SPACE/250 SF (15,000 TO 60,000 SF): 160 SPACES  
SPACE/300 SF (> 60,000 SF): 112 SPACES  
REQUIRED (GROSS): 347 SPACES  
10% TRANSIT REDUCTION: -37 SPACES  
TOTAL REQUIRED: 330 SPACES  
TOTAL PROVIDED: 341 SPACES  
CART CORRALS PROVIDED: 8 SPACES  
HC PARKING REQUIRED: 12 SPACES (2 VAN ACCESSIBLE)  
NOTE: BUILDING ADDITION DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE  
ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING  
REGULATIONS APPLY.

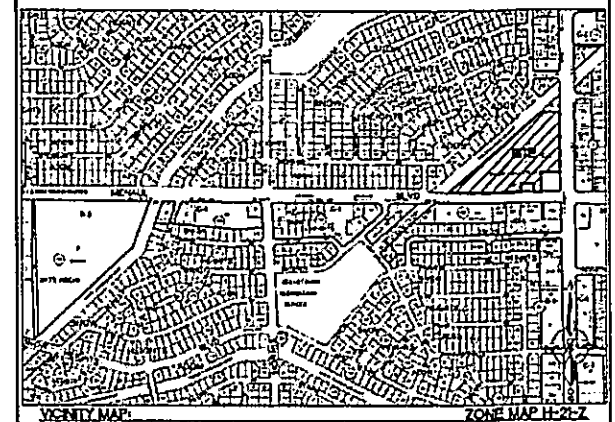
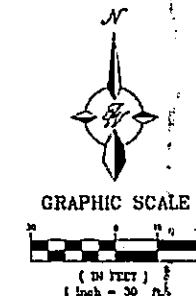
**LOADING FACILITIES:**  
DELIVERY DOCK IS LOCATED AT THE REAR (NORTH SIDE) OF BUILDING.

**NON-AUTO TRANSPORTATION:**  
PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRANSIT STOPS AT THE SITE  
SERVED WITH ROUTES 1 AND 8.

|                                                                                                   |                                                     |                    |
|---------------------------------------------------------------------------------------------------|-----------------------------------------------------|--------------------|
| <b>FIRE MARSHAL APPROVAL</b>                                                                      |                                                     | DATE               |
| <b>ENGINEER'S SEAL</b>                                                                            | <b>FOOTHILLS, S.C.</b>                              | <b>DRAWN BY</b>    |
|                                                                                                   | <b>MENAU AND JUAN TABO</b>                          | <b>DATE</b>        |
|                                                                                                   | <b>AA - SITE PLAN FOR BUILDING PERMIT (OVERALL)</b> | <b>2010077-SPB</b> |
| <b>TERRA WEST, LLC</b>                                                                            |                                                     | <b>SHEET #</b>     |
| 5371 MIDWAY PARK PL NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 855-3100<br>www.terrawestllc.com |                                                     | <b>1</b>           |
| <b>RONALD R. BHOWM</b><br>P.E. #7888                                                              |                                                     | <b>JOB #</b>       |
|                                                                                                   |                                                     | <b>2010077</b>     |



- LEGEND**
- PROPOSED CURB & GUTTER
  - BOUNDARY LINE
  - - - EASEMENT
  - - - EXISTING SIDEWALK
  - - - EXISTING CURB & GUTTER
  - - - EXISTING STREET LIGHTS
  - HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - SAWCUT
  - STANDARD DUTY ASPHALT
  - ADA ACCESSIBLE ROUTE
  - PROPOSED PARKING SPACES
  - CART CORRAL
  - SITE LIGHTING (SEE LIGHTING PLAN)



**LEGAL DESCRIPTION**  
 REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
 VACATED PORTIONS OF MENAUL AND JUAN TABO BOULEVARD

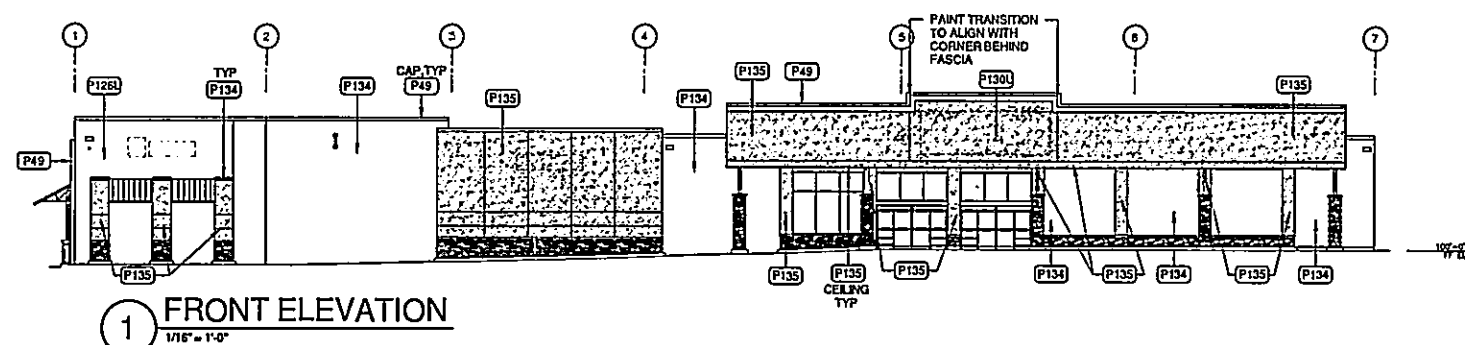
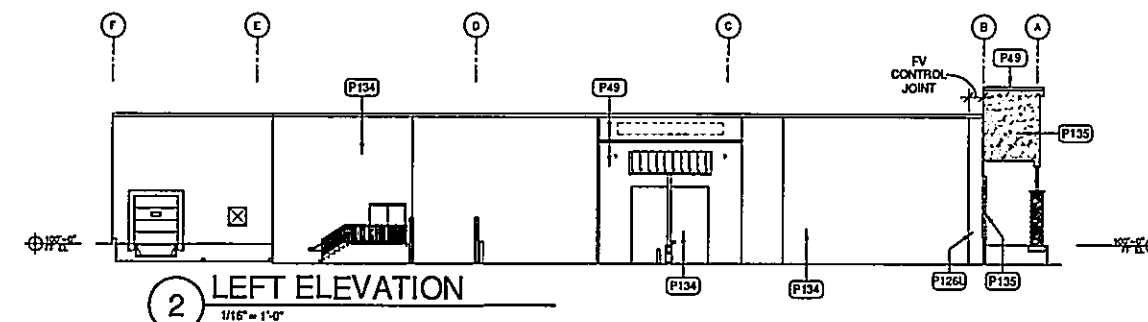
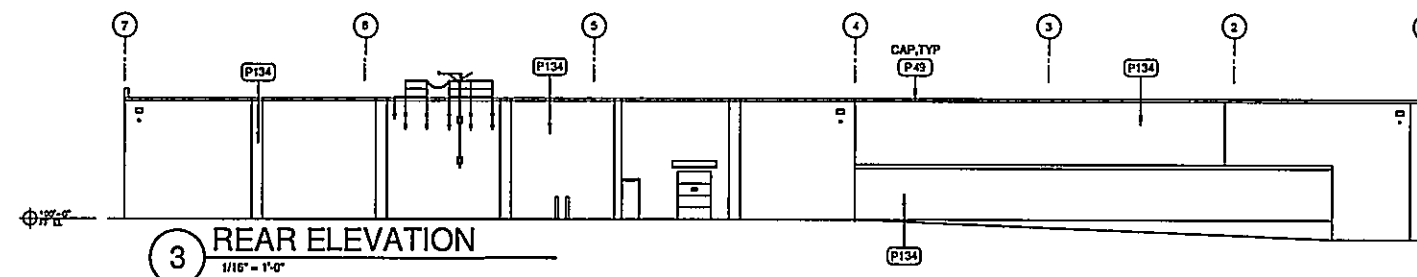
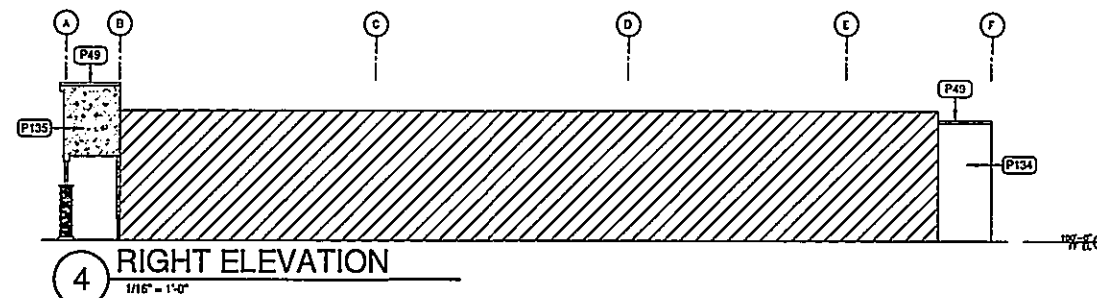
**KEYED NOTES**

- 1 ACCESSIBLE PARKING SEE DETAIL SHEET 8
- 2 ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2426
- 3 6" CURB AND GUTTER PER COA STD DWG 24158
- 4 SIDEWALK FLUSH WITH ASPHALT
- 5 REMOVE AND DISPOSE EXIST CURB
- 6 6" VALLEY GUTTER PER COA STD DWG 2420
- 7 6" MH CROSSWALK
- 8 NEW MEDIAN CURB PER COA STD DWG 24158
- 9 REMOVE & RELOCATE POLE AND LAMP BY CONTRACTOR (SEE LIGHTING PLAN)
- 10 REMOVE & RELOCATE POLE AND LAMP BY PHM (SEE LIGHTING PLAN)
- 11 NEW POLE AND LAMP (SEE LIGHTING PLAN)
- 12 4" WIDE X 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL
- 13 REMOVE EXIST. DRIVEWAY ACCESS. CONSTRUCT 37' LF OF CURB, GUTTER, & 6" SIDEWALK PER COA STD DWG #2415A & #2430
- 14 ENTRANCE TO BE WIDENED
- 15 PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE
- 16 ACCESSIBLE RAMP "B" SEE DETAIL SHEET 9
- 17 R5-1 30"x30" ("DO NOT ENTER") SIGN
- 18 PAINT MEDIAN NOSE YELLOW
- 19 4" SOLID YELLOW STRIPE
- 20 4" SOLID WHITE STRIPE
- 21 6" CURB
- 22 SIDEWALK FLUSH WITH PAVEMENT. SEE ARCHITECTURAL PLAN FOR DETECTABLE WARNING DETAILS.
- 23 BOLLARD MOUNTED SIGN PER DETAIL ON SHEET 7
- 24 DRIVEPAD PER COA STD DWG #2425
- 25 BALE/PALLET RECYCLING ENCLOSURE SEE SHEET 11 FOR DETAILS
- 26 WHEEL STOP

| NO. | DATE     | REVISIONS                               |
|-----|----------|-----------------------------------------|
| 1   | 08-08-12 | ADD BALE AND PALLET RECYCLING ENCLOSURE |

|                                  |                                                                                                                      |                 |
|----------------------------------|----------------------------------------------------------------------------------------------------------------------|-----------------|
| ENGINEER'S SEAL                  | FOOTHILLS, S.C.                                                                                                      | DRAWN BY        |
|                                  | MENAU AND JUAN TABO                                                                                                  | BY              |
|                                  | AA - SITE PLAN FOR BUILDING PERMIT                                                                                   | DATE            |
|                                  |                                                                                                                      | 9-02-11         |
| RONALD R. BOHANNAN<br>P.E. #7668 | TERRA WEST, LLC<br>5571 MIDWAY PARK PL NE<br>ALBUQUERQUE, NEW MEXICO 87109<br>(505) 858-3100<br>www.terrawestllc.com | DATE            |
|                                  |                                                                                                                      | 2010077-SFB-30' |
|                                  |                                                                                                                      | DELTA2          |
|                                  |                                                                                                                      | SHEET #         |
|                                  |                                                                                                                      | 2               |
|                                  |                                                                                                                      | JOB #           |
|                                  |                                                                                                                      | 2010077         |

| COLOR LEGEND |                                       |
|--------------|---------------------------------------|
| P#           | COLOR NAME                            |
| P49          | SW# 7019 "GAUNTLET GRAY"              |
| P126U        | SW# 6885 "KNOCKOUT ORANGE" (URETHANE) |
| P135         | SW# 7017 "DORIAN GRAY"                |
| P130U        | SW# 6922 "OUTRAGEOUS GREEN"           |
| P134         | SW# 7015 "REPOSE GRAY"                |



## SHEET NOTES

- POWER WASH 100% OF EXTERIOR WALLS PRIOR TO PAINTING.
- PATCH AND REPAIR EXTERIOR WALL SURFACES, DAMAGED OR EXPOSED DUE TO REMOVAL OF BUILDING MOUNTED ITEMS, TO MATCH ADJACENT AS REQUIRED.
- REMOVE SEALANT AND BACKER MATERIAL FROM ALL BUILDING CONTROL JOINTS AND EXPANSION JOINTS. FILL AND SEAL JOINTS.
- PAINT EXTERIOR OF BUILDING AS SHOWN. AT WALL(S) SIGN(S) MASK AND PAINT AROUND LIT SIGN CHARACTERS.
- PAINT DOOR HOODS, HOLLOW METAL STEEL DOORS AND FRAMES, GUTTERS AND DOWNSPOUTS, EXPOSED METAL FLASHING, HANDRAILS, GAS LINES, AND EXPOSED MISCELLANEOUS STEEL TO MATCH ADJACENT BUILDING COLOR UNO.
- PAINT CANOPY STRUCTURAL STEEL AND FLASHING TO MATCH ADJACENT WALL.
- WHERE CANOPIES ARE VISIBLE TO AND ACCESSED BY CUSTOMERS, PAINT UNDERSIDE OF CANOPY DECK P148. DO NOT PAINT CANOPY DECK IF NOT PREVIOUSLY PAINTED.
- PAINT JIB CRANE - P36 ON JIB BOOM, P5 ON HANDRAILS.
- PAINT ALL GAS PIPE ON SIDE WALLS TO MATCH ADJACENT WALL COLOR. DO NOT PAINT METER OR VALVES.
- PAINT SPRINKLER VALVES P21. DO NOT PAINT OVER SIGHT GLASS OR FIRE ALARM BELL.
- PAINT SECURITY WALL PACK HOUSINGS TO MATCH ADJACENT WALL. REMOVE PAINT OVERSPRAY FROM LENSES.
- DO NOT PAINT LED WALL PACK HOUSINGS.
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES TO MATCH ADJACENT BUILDING WALL. IF THERE ARE TWO COLORS AT ADJACENT WALL USE BOTTOM COLOR FOR ENTIRE DOOR AND FRAME.
- PAINT GARDEN CENTER STEEL DOORS AND FRAMES P81 WHEN ADJACENT TO ORNAMENTAL FENCE.
- SIGNAGE OMITTED FOR CLARITY.
- REMOVE ANY BANNERS OR TEMPORARY SIGNS PRIOR TO PAINTING.
- PAINT ALL REMOTE BUILDINGS, FENCES, OR STRUCTURES NOT SHOWN ON A2, THAT WERE PREVIOUSLY PAINTED, P134.

B|R|R  
architecture

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR  
ALBUQUERQUE, NM. IT IS THE  
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CAUSE FOR LEGAL ACTION.

CONSULTANTS

Walmart  
ALBUQUERQUE, NM  
STORE NO: 5675  
JOB NUMBER: 96542672  
ELEVATIONS

ISSUE BLOCK

CHECKED BY:  
DRAWN BY: TF  
PROTO:  
DOCUMENT DATE: 07/12/17

ELEVATIONS

SHEET:  
A2

## SIGNAGE GENERAL NOTES

- SIGNAGE FURNISHED BY WAL-MART AND INSTALLED BY OTHERS.
- SIGNAGE CONTRACTOR RESPONSIBILITIES
  - FURNISH SPECIFIED CONDUIT FOR LIGHTED SIGNAGE.
  - MAKE REQUIRED EXTERIOR WALL PENETRATIONS, INSTALL CONDUIT, AND SEAL PENETRATIONS.
  - INSTALL SIGNAGE PER DETAILS ON SHEET A2.1

## ELECTRICAL GENERAL NOTES

- FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR, FOR A COMPLETE INSTALLATION IN ALL RESPECTS, READY FOR INTENDED USE AND IN STRICT ACCORDANCE WITH NEC, NESC, STATE, AND LOCAL CODES, AND MANUFACTURER'S RECOMMENDATIONS. PAY ALL NECESSARY FEES AND PERMITS.
  - NO CIRCUITRY SHALL BE ALLOWED TO BE ROUTED ACROSS THE ROOF OR THE EXTERIOR SIDE OF THE EXTERIOR WALLS.
  - ALL EQUIPMENT SHALL BE UL LISTED WHERE APPLICABLE.
  - ARRANGE ALL WORK TO MINIMIZE DISRUPTIONS TO STORE OPERATIONS. COORDINATE ALL DISRUPTIONS WITH WALMART CONSTRUCTION MANAGER AND STORE MANAGER.
  - CONTRACTORS SHALL VERIFY ALL WALL FINISH THICKNESSES BEFORE INSTALLING BOXES. FURNISH AND INSTALL EXTENDED BOXES OR BOX EXTENDERS WHERE REQUIRED.
- WHERE ELECTRICAL CONNECTIONS FOR SIGNAGE OCCUR BELOW ROOF LINE, MOUNT JUNCTION BOXES TO WALL AT SIGN CONNECTION POINT AND PROVIDE 3/4" CONDUIT TO CONTROL BOX FOR LOW VOLTAGE WIRING (INSTALLED BY OTHERS). REFER TO ARCHITECTURAL DETAILS FOR EXACT SIGN LOCATION(S) AND SIGN INSTALLER FOR CONTROL BOX LOCATION PRIOR TO INSTALLATION. WHERE ELECTRICAL CONNECTIONS FOR SIGNAGE OCCUR ABOVE ROOF LINE, PROVIDE UNISTRUT TO MOUNT JUNCTION BOXES TO BACK SIDE OF PARAPET AND PROVIDE 3/4" CONDUIT TO CONTROL BOX FOR LOW VOLTAGE WIRING (INSTALLED BY OTHERS). PROVIDE ONLY ONE PENETRATION THROUGH THE ROOF. REF ARCHITECTURAL WALL SECTIONS AND SIGN ATTACHMENT FOR ROOF AND PARAPET PENETRATION REQUIREMENTS.

## EXISTING SIGNAGE SCHEDULE

| SIGNAGE                     | QTY | COLOR              | SIZE  | AREA (SF) | TOTAL AREA (SF) |
|-----------------------------|-----|--------------------|-------|-----------|-----------------|
| SIDE                        |     |                    |       |           |                 |
| Pharmacy Drive-Thru         | 1   | WHITE              | 1'-6" | 39.90     | 39.90           |
| TOTAL SIDE SIGNAGE          |     |                    |       |           | 39.90           |
| FRONT                       |     |                    |       |           |                 |
| Walmart Neighborhood Market | 1   | WHITE/YELLOW/GREEN | 3'-6" | 187.67    | 187.67          |
| Pharmacy Drive-Thru         | 1   | WHITE              | 2'-0" | 62.68     | 62.68           |
| TOTAL FRONT SIGNAGE         |     |                    |       |           | 250.35          |
| TOTAL EXISTING SIGNAGE      |     |                    |       |           | 290.25          |

## NEW SIGNAGE SCHEDULE

| SIGNAGE                                | QTY | COLOR        | SIZE  | AREA (SF) | TOTAL AREA (SF) |
|----------------------------------------|-----|--------------|-------|-----------|-----------------|
| SIDE                                   |     |              |       |           |                 |
| Pharmacy Drive-Thru (Existing)         | 1   | WHITE        | 1'-6" | 39.90     | 39.90           |
| TOTAL SIDE SIGNAGE                     |     |              |       |           | 39.90           |
| FRONT                                  |     |              |       |           |                 |
| Walmart Neighborhood Market (Existing) | 1   | WHITE/YELLOW | 3'-6" | 187.67    | 187.67          |
| Pharmacy                               | 1   | WHITE        | 2'-0" | 33.44     | 33.44           |
| * (Spark) Pickup                       | 1   | WHITE/YELLOW | 2'-6" | 51.86     | 51.86           |
| TOTAL FRONT SIGNAGE                    |     |              |       |           | 272.97          |
| TOTAL BUILDING SIGNAGE                 |     |              |       |           | 312.87          |

REFER TO SIGNAGE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS

MOUNTING HOLE PATTERNS FOR NON-ILLUMINATED SIGN INSTALLATION

PLASTIC MOUNT FOR ALL-THREAD STUD, TYP

INSTALL 1/8" DIA ALL-THREAD STUDS INTO PLASTIC MOUNTS PRIOR TO SIGN INSTALLATION, TYP

3/8" DIA HOLE FILLED WITH ADHESIVE SEALANT. COAT ALL-THREAD STUD WITH ADHESIVE SEALANT PRIOR TO WALL ATTACHMENT, TYP

PLASTIC NON-ILLUMINATED CHANNEL LETTER

"ADHESIVE SEALANT" IS TO BE PRODUCT LN-950 BY LIQUID NAILS OR SIMILAR POLYURETHANE CONSTRUCTION ADHESIVE, MEETING ASTM C648 AND C577 STANDARDS, EXTERIOR APPLICATION, WEATHER RESISTANT, LOW VOC, WITH A MINIMUM SHEAR STRENGTH OF 250 PSI

EXISTING CMU

NO EIFS AT SIGN CONDITION

FLEX CONDUIT SUPPLIED WITH LETTERS CONTINUOUS THROUGH ENTIRE PARAPET BY SIGN INSTALLER

FULL BEG OF MULTI-COMPONENT SEALANT AT PERIMETER OF CONDUIT BY SIGN INSTALLER

INSTALL LETTER BACK PRIOR TO INSTALLATION BY SIGN INSTALLER

HELTHIPS 1/4" X 1 5/8" SLEEVE ANCHOR PROVIDED BY WALMART AT EACH SIGN CONNECTION POINT INSTALLED BY SIGN CONTRACTOR

INDIVIDUAL PLASTIC ILLUMINATED CHANNEL LETTERS BY SIGN SUPPLIER

INSTALL LETTER FACES W/ SET SCREWS, TYP BY SIGN INSTALLER

LOCATE CONDUIT PENETRATION 4'-0" MAX FROM UNISTRUT. PROVIDE ONLY ONE ROOF PENETRATION FOR ALL WHIPS.

LOCATE IMPACT ANCHORS AND WIRING CONDUIT PENETRATIONS PER SIGN ATTACHMENT TEMPLATE PROVIDED BY WALMART

SEALANT ALL AROUND BY BUILDING GENERAL CONTRACTOR

CONTINUOUS UNISTRUT. ATTACH AT 48" OC WITH #48 STEEL PLATE WITH (4) 1/2" MASONRY EXPANSION ANCHORS. SET PLATE IN FULL BEG OF SEALANT. NOTE, UNISTRUT MAY BE ABOVE OR BELOW WIRE PENETRATION BY BUILDING GENERAL CONTRACTOR

4" X 4" JUNCTION BOX ATTACH TO UNISTRUT BY BUILDING GENERAL CONTRACTOR

SIGN MOUNTING LOCATION (TYP) FIELD VERIFY EXACT LOCATIONS

ROOF LINE

JOIST BEARING ELEVATION LINE

NOTE TO SIGN INSTALLER: ALL PRIMARY MOUNTING HOLES MUST BE UTILIZED. IF MOUNTING THROUGH PRIMARY HOLE IS OBSTRUCTED BY REBAR, METAL STUDS, CHANNELS, OR OTHER MISC METAL, SEAL PRIMARY HOLE IN SIGN CAN AND MOUNT THROUGH THE NEAREST ALTERNATE MOUNTING HOLE. PRIMARY HOLES ARE INDICATED WITH PREDRILLED HOLES THROUGH WASHERS. ALTERNATE HOLES ARE INDICATED WITH WASHERS ONLY OR ARE OTHERWISE MARKED.

ELECTRICAL PENETRATIONS (TYP) FIELD VERIFY EXACT LOCATIONS

REF BLDG ELEVATIONS TO SIGN

NOTE: ALL SIGN PENETRATIONS ABOVE ROOF LEVEL MUST BE A CLEAR MINIMUM OF 8" ABOVE DECK

12'-1 3/8"

Pharmacy

33.44 SQ. FT.

3 SIGNAGE

1/4" = 1'-0"

15'-4"

3'-10 1/2"

10'-7 1/2"

WHITE PLASTIC LETTERS

Pickup

16.86 SF

35.00 SF

PLASTIC LETTERS MATCH SW #6904 "GUSTO GOLD"

5 A2.1 INTERNALLY ILLUMINATED

2 SIGNAGE

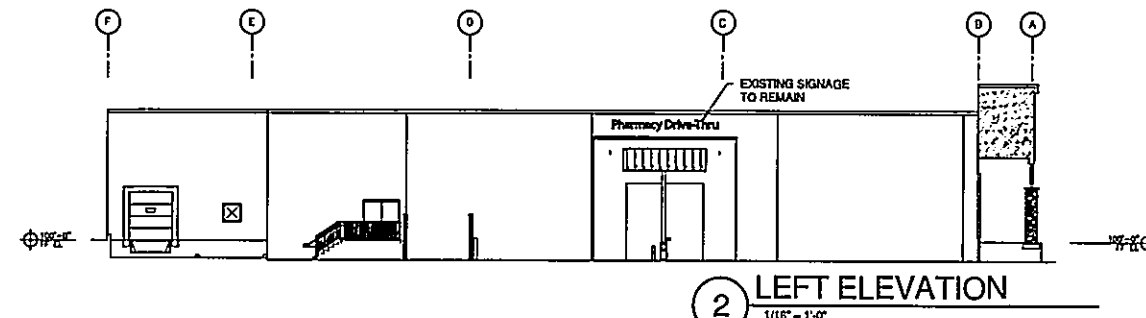
1/4" = 1'-0"

5 SIGNAGE ATTACHMENT

1 1/2" = 1'-0"

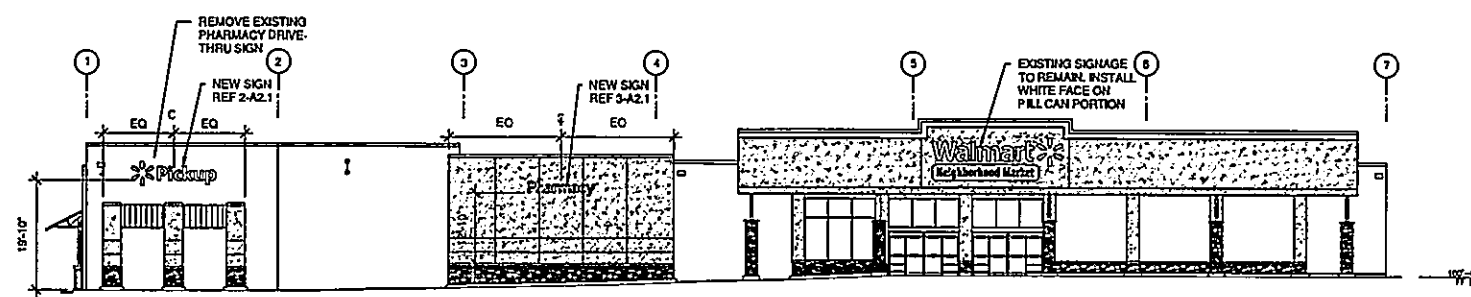
4 PICKUP SIGN MOUNTING DIAGRAM

1/4" = 1'-0"



2 LEFT ELEVATION

1/16" = 1'-0"



1 FRONT ELEVATION

1/16" = 1'-0"

B|R|R  
Architecture

STIPULATION FOR REUSE  
THIS DRAWING WAS PREPARED FOR THE PROJECT AND SITE SPECIFIC CONDITIONS. IT IS NOT TO BE REUSED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF B|R|R Architecture. ANY REUSE OF THIS DRAWING FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF B|R|R Architecture IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING AGREES TO HOLD B|R|R Architecture HARMLESS FROM ANY AND ALL CLAIMS, DAMAGES, LOSSES, OR EXPENSES, INCLUDING ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY B|R|R Architecture AS A RESULT OF SUCH REUSE.

CONSULTANTS

Walmart  
ALBUQUERQUE, NM  
STORE NO: 5675  
JOB NUMBER: 96542672 EXTERIOR PAINT

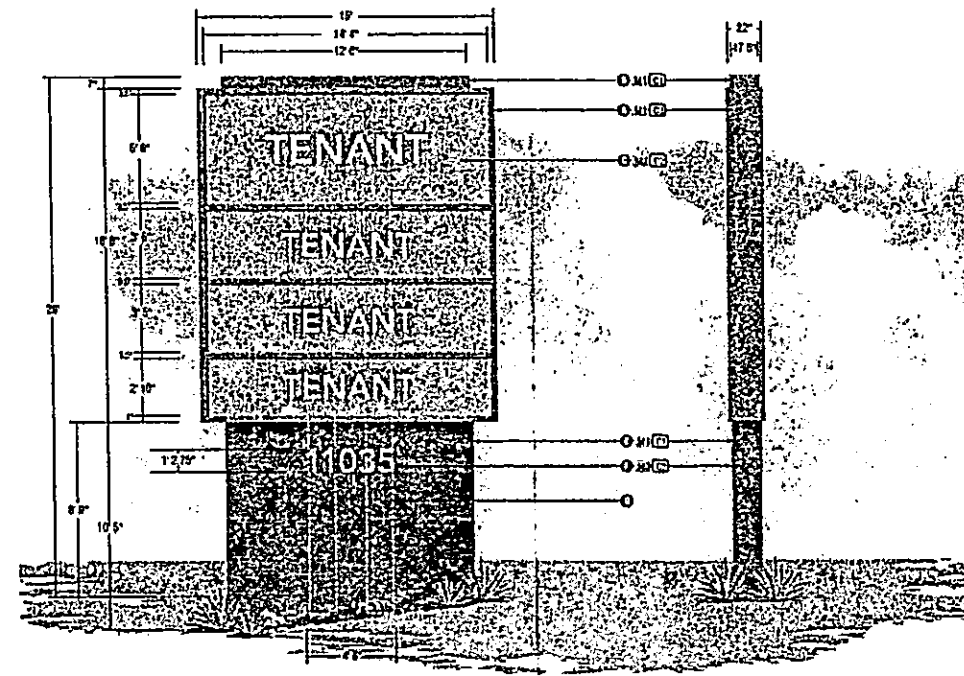
ISSUE BLOCK

CHECKED BY:  
DRAWN BY: TF  
PRD TO:  
DOCUMENT DATE: 8/7/2017

SIGNAGE AND DETAILS

SHEET  
A2.1

2 Refurbished Monument Signs - East Elevation



11 Elevation View  
SCALE 3/8" = 1'-0"

12 Side View  
SCALE 3/8" = 1'-0"

TRADEMARK

FOOTHILLS, S.C.  
MENAUL AND JUAN TABO  
Pylon Sign Elevations  
and Bale/Pallet Enclosure

Project: 2010077-FOOTHILLS-SCH  
Date: 04/19/12  
Scale: 3/8" = 1'-0"

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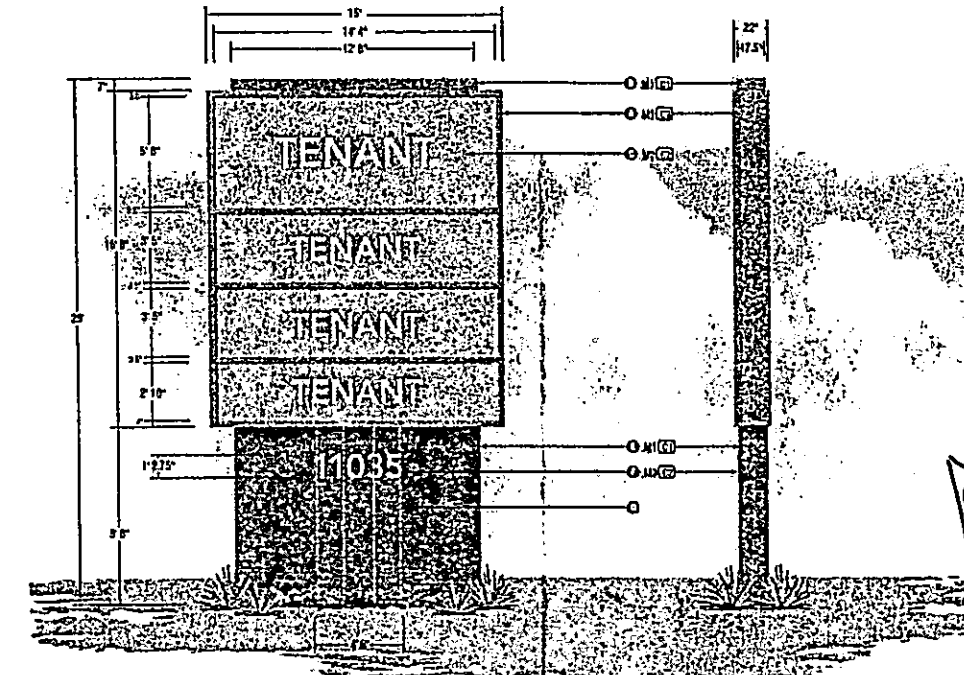
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1 Refurbished Monument Signs - South Elevation



11 Elevation View  
SCALE 3/8" = 1'-0"

12 Side View  
SCALE 3/8" = 1'-0"

TRADEMARK

FOOTHILLS, S.C.  
MENAUL AND JUAN TABO  
Pylon Sign Elevations  
and Bale/Pallet Enclosure

Project: 2010077-FOOTHILLS-SCH  
Date: 04/19/12  
Scale: 3/8" = 1'-0"

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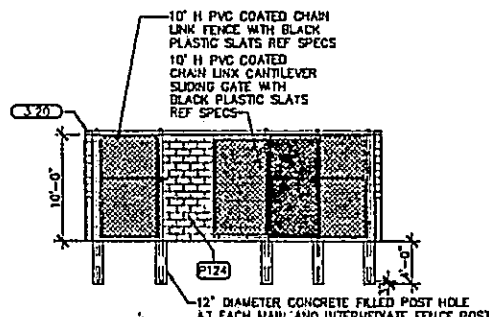
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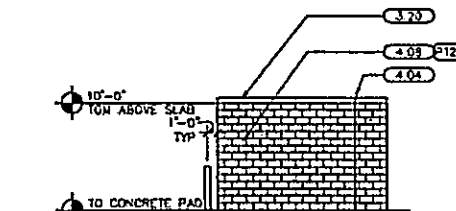
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BALE AND PALLET STORAGE  
1/8" = 1'-0"



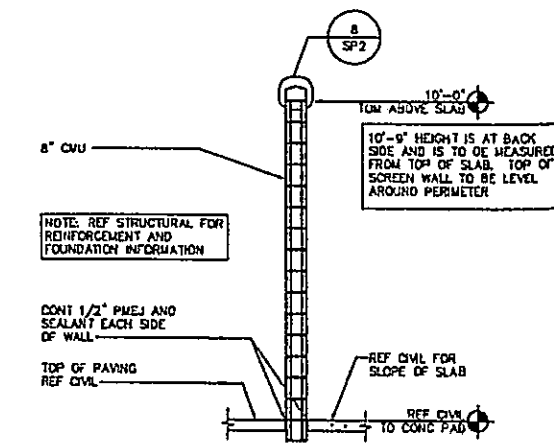
CHAIN LINK GATE  
1/8" = 1'-0"



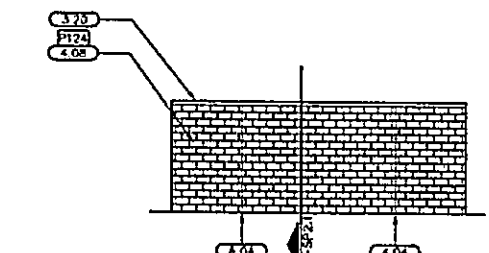
SIDE ELEVATION  
1/8" = 1'-0"

KEYNOTES

- 3.03 CONCRETE CURB
- 3.20 4" PRECAST CONCRETE CAP
- 4.04 CONTROL JOINT, TYPICAL REF STRUCTURAL
- 4.05 SPLIT FACE CMU
- 5.02 PAINTED 6" PIPE BOLLARD
- P124 MEADOWMARK 5W #7522 (BROWN)



BALE AND PALLET RECYCLING AREA SCREEN WALL SECTION  
3/8" = 1'-0"



REAR ELEVATION  
1/8" = 1'-0"

| NO. | DATE     | REVISIONS                               | BY  |
|-----|----------|-----------------------------------------|-----|
| 1   | 04-09-12 | ADD BALE AND PALLET RECYCLING ENCLOSURE | JCH |

|                 |                                                    |                                   |
|-----------------|----------------------------------------------------|-----------------------------------|
| ENGINEER'S SEAL | FOOTHILLS, S.C.<br>MENAUL AND JUAN TABO            | DRAWN BY<br>DY                    |
|                 | PYLON SIGN ELEVATIONS<br>AND BALE/PALLET ENCLOSURE | DATE<br>7-11-12                   |
|                 |                                                    | DRAWN BY<br>2010077-FOOTHILLS-SCH |
|                 |                                                    | SHEET #<br>11                     |
|                 |                                                    | JOB #<br>2010077                  |

ROJAND R. BOHANNAN  
P.E. #7858

TIERRA WEST, LLC  
5571 MIDWAY PARK PL. NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com



1. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
2. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
3. LIGHT POLES SHALL BE A MAXIMUM OF 20 FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' W/ FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
4. PEDESTRIAN CROSSWALKS, INCLUDING PEDESTRIAN PATHWAYS AND DRIVE AISLE CROSSINGS SHALL BE CONSTRUCTED OF A MATERIAL OTHER THAN ASPHALT, SUCH AS TEXTURED (SCORED) COLORED CONCRETE OR THERMOPLASTIC.
5. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PHN UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

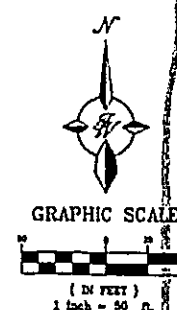
ADMINISTRATIVE/AMENDMENT  
FILE # 11-0016 PROJECT # 10023015  
att Kelly Chapman - 1/15/11  
add table - top of plan sheet  
9/13/11  
DATE  
APPROVED BY

## LEGEND

-  PROPOSED CURB & GUTTER  
 BOUNDARY LINE  
 EASEMENT  
 EXISTING SIDEWALK  
 EXISTING CURB & GUTTER  
 EXISTING STREET LIGHTS  
 HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT  
 HEAVY DUTY CONCRETE PAVEMENT  
 SAWCUT  
 STANDARD DUTY ASPHALT  
 ADA ACCESSIBLE ROUTE  
 PROPOSED PARKING SPACES  
 CART CORRAL  
 SITE LIGHTING (SEE LIGHTING PLAN)

## INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. SITE PLAN
3. L1-LANDSCAPING PLAN
4. GRADING PLAN
5. MASTER UTILITY PLAN
6. DETAILS
7. DETAILS
8. BUILDING ELEVATIONS
9. BUILDING ELEVATIONS
10. AA SITE PLAN (PREVIOUSLY APPROVED)



### SITE DATA

SITE DATA  
LEGAL DESCRIPTION: PORTION OF BLOCK 88 SNOW HEIGHTS

**ZONING: C-2 (SC)**

**SITE AREA: 8.61 ACRES**

PROPOSED USE/EXISTING USE:  
COMMERCIAL RETAIL

## PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS-

EXISTING INGRESS AND EGRESS IS PROVIDED DIRECTLY TO MENAUL BLVD AT FOUR DRIVEWAY APRONS AND DIRECTLY TO JUABO BLVD AT THREE DRIVEWAY APRONS.

THE PROPOSED BUILDING ADDITION WILL REQUIRE THE TWO MOST SOUTHWESTERLY DRIVEWAY APPROXS RECONFIGURED AS SHOWN TO CONTINUE TO MAINTAIN INGRESS AND EGRESS FOR VEHICULAR TRAFFIC AT THESE LOCATIONS. PEDESTRIAN INGRESS AND EGRESS WILL BE ENHANCED WITH A DIRECT PEDESTRIAN CONNECTION TO MENAUL BLVD WHICH IS ADA COMPLIANT.

INTERNAL CIRCULATION REQUIREMENTS:

AN EXISTING NON-EXCLUSIVE RIGHT OF WAY EASEMENT IS IN PLACE TO PROVIDE ACCESS TO THE TWO SEPARATE RESTAURANT PADS ALONG MENAUL BOULEVARD WHICH ARE "NOT A PART" OF THIS SITE DEVELOPMENT PLAN.

MAXIMUM BUILDING HEIGHT ALLOWED:

20 FEET AT ANY LEGAL LOCATION. THE HEIGHT AND WIDTH OF THE STRUCTURE OVER  
20 FEET SHALL BE DRAWN WITHIN 45° ANGLE PLANES DRAWN FROM THE HORIZONTAL AT  
THE MEAN GRADE ALONG EACH INSIDE BOUNDARY OF THE PREMISES AND EACH  
ADJACENT PUBLIC RIGHT-OF-WAY CENTERLINE, FOR DRAMAWAY RIGHT-OF-WAY  
CENTERLINE, TO PROTECT SOLAR ACCESS. A STRUCTURE OVER 28 FEET MAY NOT  
EXCEED THE NORTHERN BOUNDARY OF THESE 45° PLANES, BUT MAY BE SITED IN  
ANY OTHER DIRECTION WITHIN PLANES DRAWN AT A 60° ANGLE FROM THE SAME  
BOUNDARIES OR CENTER LINE.

PROPOSED BUILDING HEIGHT: 32' MAXIMUM

MINIMUM BUILDING SETBACK:  
THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OR PLANNED PUBLIC SIDEWALK LOCATION.

MAXIMUM TOTAL DWELLING UNITS :

N/A. RESIDENTIAL USE NOT PERMITTED PER ZONING

NONRESIDENTIAL USES: MAXIMUM FLOOR AREA RATIO:

NO REQUIREMENT. (0.247 F.A.R. EXISTING/0.250 F.A.R. PROPOSED)

## PHASING

NOLE

STRUCTURE LOCATIONS:

EXISTING STRUCTURES WILL REMAIN IN PLACE, EXCEPT FOR THE SOUTHWESTERLY TENANT SPACE TO BE DEMOLISHED AND REBUILT AS INDICATED ON THE PLAN.

STRUCTURE ELEVATIONS AND DIMENSIONS:

**BUILDING AREA:**

WEST BLDG; 82,107 SF (EXISTING) + 1,045 SF (PROPOSED EXPANSION)  
83,172 SF (AFTER EXPANSION)

EXISTING EAST BLDG: 10,516 SF

**TOTAL:** 93.688 SF (AFTER EXPANSION)

SEE SHEETS 8 THROUGH 9 FOR STRUCTURE ELEVATIONS

### **PARKING FACILITIES**

### PARKING CALCULATIONS

|                                        |            |
|----------------------------------------|------------|
| SPACING CALCULATIONS:                  |            |
| 1 SPACE/200' SF (FIRST 15,000 SF):     | 75 SPACES  |
| 1 SPACE/250' SF (15,000 TO 60,000 SF): | 180 SPACES |
| 1 SPACE/300' SF (> 60,000 SF):         | 112 SPACES |
| REQUIRED (GROSS):                      | 367 SPACES |
| 10% TRANSIT REDUCTION:                 | -37 SPACES |
| TOTAL REQUIRED:                        | 330 SPACES |
| TOTAL PROVIDED:                        | 334 SPACES |
| CART CORRALS PROVIDED:                 | 6 SPACES   |

HC PARKING REQUIRED: 12 SPACES (2 VAN ACCESSIBLE)

NOTE: BUILDING ADDITION DOES NOT EXCEED 2500 SQUARE FEET, THEREFORE ONLY GENERAL REQUIREMENTS OF § 14-16-3-1 OFF-STREET PARKING REGULATIONS APPLY.

### LOADING FACILITIES

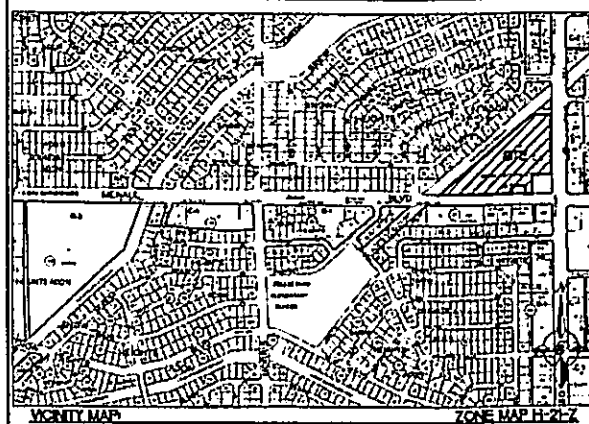
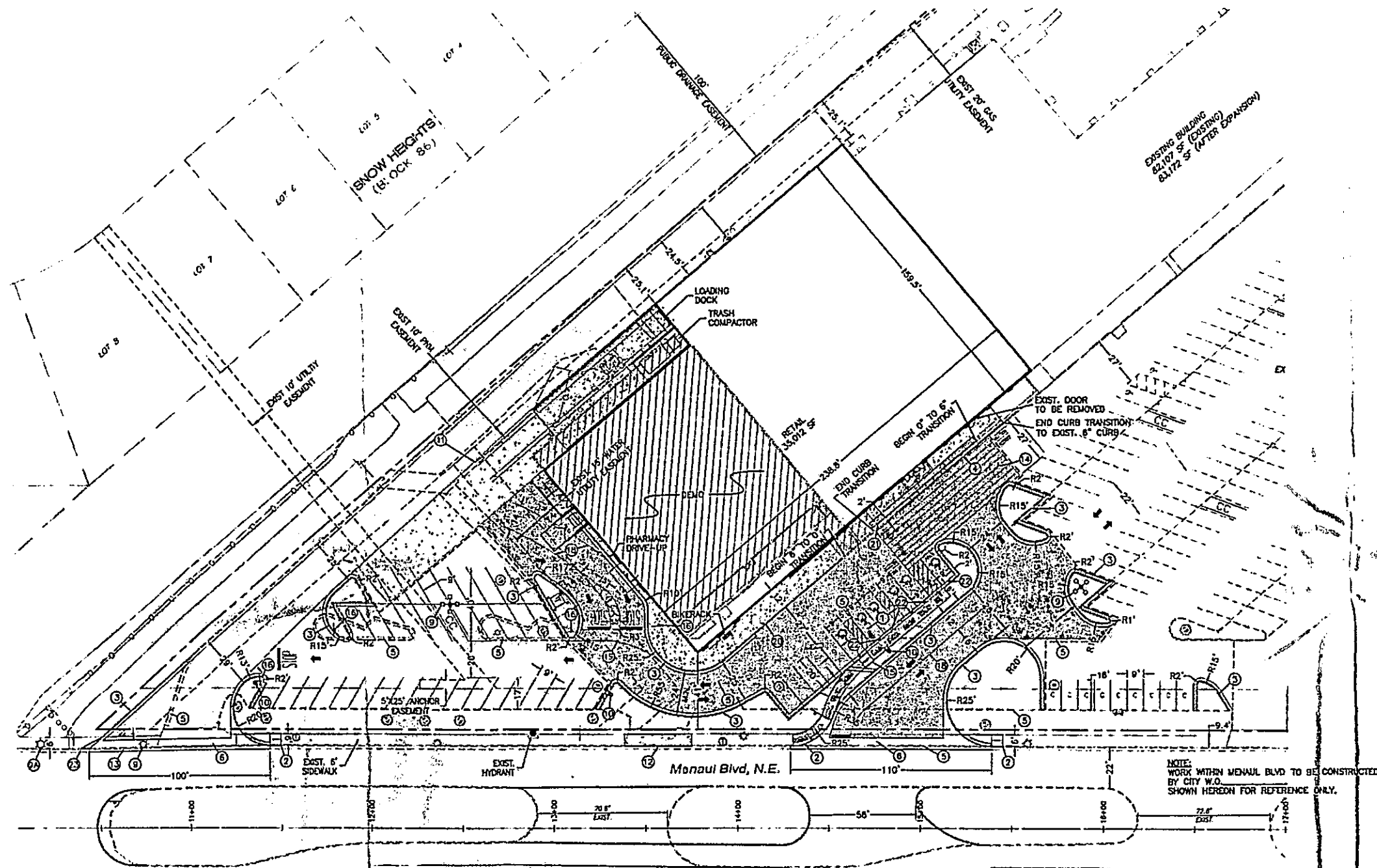
DELIVERY DOCK IS LOCATED AT THE REAR (NORTH SIDE) OF BUILDING

**NON AUTO TRANSPORTATION**

PUBLIC TRANSPORTATION IS AVAILABLE TO AN EXISTING TRANSIT STOPS AT THE SITE SERVICED WITH ROUTES 1 AND 8.

**FIRE MARSHALL APPROVAL**

|                                  |                                                                                       |                                                                                                                                                                                                                                                             |                       |
|----------------------------------|---------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------|
| ENGINEER'S<br>SEAL               |  | FOOTHILLS, S.C.<br>MENAUL AND JUAN TABO                                                                                                                                                                                                                     | DRAWN BY<br>DY        |
|                                  |                                                                                       | AA - SITE PLAN FOR<br>BUILDING PERMIT (OVERALL)                                                                                                                                                                                                             | DATE<br>9-02-11       |
| RONALD B. BOHANNAN<br>P.E. #7868 |  |  <b>TERRA WEST, LLC</b><br>5571 MIDWAY PARK PL NE<br>ALBUQUERQUE, NEW MEXICO 87102<br>(505) 858-3100<br><a href="http://www.terrawestllc.com">www.terrawestllc.com</a> | DRAWING<br>2010077-SF |
|                                  |                                                                                       |                                                                                                                                                                                                                                                             | SHEET #<br>1          |
|                                  |                                                                                       |                                                                                                                                                                                                                                                             | JOB #<br>2010077      |



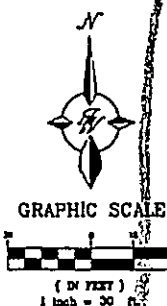
**LEGAL DESCRIPTION**  
REMAINING PORTION BLOCK 88 SNOW HEIGHTS TOGETHER WITH  
VACATED PORTIONS OF MENAU AND JUAN TABO BOULEVARD

#### KEYED NOTES

- ① ACCESSIBLE PARKING SEE DETAIL SHEET 8
- ② ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2428
- ③ 8" CURB AND GUTTER PER COA STD DWG 2415B
- ④ SIDEWALK FLUSH WITH ASPHALT
- ⑤ REMOVE AND DISPOSE EXIST CURB
- ⑥ 6" VALLEY CUTTER PER COA STD DWG 2420
- ⑦ 6" HIGH CROSSWALK
- ⑧ NEW MEDIAN CURB PER COA STD DWG 2415B
- ⑨ REMOVE & RELOCATE POLE AND LAMP BY CONTRACTOR (SEE LIGHTING PLAN)
- ⑩ REMOVE & RELOCATE POLE AND LAMP BY PHM (SEE LIGHTING PLAN)
- ⑪ NEW POLE AND LAMP (SEE LIGHTING PLAN)
- ⑫ 4" WIDE X 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES TYPICAL
- ⑬ REMOVE EXIST. DRIVEWAY ACCESS. CONSTRUCT 37 LF OF CURB, CUTTER, & 6" SIDEWALK PER COA STD DWG #2415A & #2430
- ⑭ ENTRANCE TO BE WIDENED
- ⑮ PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-6" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE
- ⑯ ACCESSIBLE RAMP "B" SEE DETAIL SHEET X 7
- ⑰ R5-1 30"x30" ("DO NOT ENTER") SIGN
- ⑱ PAINT MEDIAN NOSE YELLOW
- ⑲ 4" SOLID YELLOW STRIPE
- ⑳ 4" SOLID WHITE STRIPE
- ㉑ 6" CURB
- ㉒ SIDEWALK FLUSH WITH PAVEMENT. SEE ARCHITECTURAL PLAN FOR DETECTABLE WARNING DETAILS.
- ㉓ BOLLARD MOUNTED SIGN PER DETAIL ON SHEET 7
- ㉔ DRIVEPAD PER COA STD DWG #2425

#### LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - EXISTING SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING STREET LIGHTS
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- SAWCUT
- STANDARD DUTY ASPHALT
- ADA ACCESSIBLE ROUTE
- ② PROPOSED PARKING SPACES
- ② CART CORRAL
- ② SITE LIGHTING (SEE LIGHTING PLAN)



### EXTERIOR COLOR SCHEDULE

- (P83) COBBLE BROWN SW #6002  
(P10) EXTERIOR BROWEDARY CAMEL SW #7694(EXT)  
(P124) MEADOWLARK SW #7522  
(52) TAN MANUFACTURED STONE VENEER  
REF SPECIFICATIONS

## KEYNOTES

- 1.01 SIGNAGE  
8.09 AUTOMATIC SLIDING ENTRANCE DOORS

### STIPULATION FOR REUSE

## CONSULTANTS

**GENERAL REMODEL**  
**ALBUQUERQUE, NM**  
**STORE NO.5675**

**ISSUE BLOCK**

[illegible]

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| RECEIVED BY:   | XXX      |
| WRITTEN BY:    | ZSM      |
| DOCUMENT DATE: | 08-25-88 |
| PROTO TYPE:    | 41       |
| PROTO CYCLE:   | 04-29-11 |

## EXTERIOR ELEVATIONS

SHEET: **A2**

