



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Form P2A)	<input type="checkbox"/> Extension of IIA: Temp. Def. of SW (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Form S1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Form P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Form S1)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Form S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Minor - Final Plat (Form S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Form S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Form P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**

The approved DRB dated 07/27/16 anticipated 60 parking spots for building A2. Due to building footprint shrinking, in the Minor Site Plan Amendment dated 07/28/20, building A2 only needs a required 47 spots. Final stripping has the lot at 51 spots.

**APPLICATION INFORMATION**

Applicant: Sawmill, LLC		Phone:
Address: 4528 Carlisle Blvd NE		Email:
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Design Plus, LLC		Phone: 505-228-7426
Address: 2415 Princeton Dr. NE Ste. E		Email:
City: Albuquerque	State: NM	Zip: 87107
Proprietary Interest in Site: Developer	List <u>all</u> owners: Sawmill Community Landtrust	

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: 2-D-1B	Block:	Unit: 2B
Subdivision/Addition: Plat of Arbolera de Vita	MRGCD Map No.:	UPC Code: 101305934900440211
Zone Atlas Page(s): H-13-Z and J-13-Z	Existing Zoning: PD	Proposed Zoning No Change
# of Existing Lots: 2	# of Proposed Lots:	Total Area of Site (Acres):

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 1781 Bellamah Ave.	Between: Nineteenth St. NW	and: Eighteenth St. NW
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**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

1005354 / 16 EPC-40059 / 16EP-40060
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I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date: 12/20/21
Printed Name: RUFAL ENGINEER	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

**FOR OFFICIAL USE ONLY**

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2021-02146	AA				

Meeting Date:	Fee Total:
Staff Signature:	Date:
	Project # PR-2021-006365

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted

*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

*No MODIFICATION TO SITE OR BUILDING DESIGN WITH RESPECT TO THE REQUIREMENTS OF IDO SECTION 5-2(C)*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ACCELERATED EXPIRATION SITE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

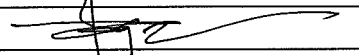
**ALTERNATIVE SIGNAGE PLAN**

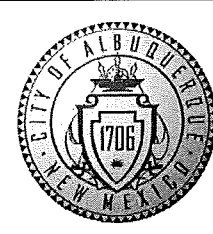
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

**ALTERNATIVE LANDSCAPE PLAN**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

**I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.**

Signature: 	Date: 12/20/21
Printed Name: RUPAL ENGINEER	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2021-006365	SI-2021-02146
	-
	-
Staff Signature:	
Date:	

Application to:

City of Albuquerque Development Review Board

Submitted on: December 20, 2021

Project No. 1005354

16EPC-40059 – Administrative Amendment of Site Development Plan for Building Permit

16EPC-40060 – Administrative Amendment of Site Development Plan for Subdivision

**Final Sign-off for EPC-approved  
Amended Site Development Plan for Subdivision and Building Permit**

Sawmill Village Redevelopment – Phase 2

Tract 2-D-1 of ARBOLERA DE VIDA, Unit 2B

(To subdivide into Tract 2-D-1A and 2-D-1B)

**Applicant:**

Sawmill, LLC

4528 Carlisle Blvd. NE

Albuquerque, New Mexico 87109

**Agent:**

Design Plus, LLC (Rupal S. Engineer)

2415 Princeton Drive NE Suite E

Albuquerque, New Mexico 87107

(505) 843-7587 or (505) 228-7418

This letter is in support of Applicant's Application for an Administrative Amendment of the existing approved Site Development Plan for Subdivision and Building Permit.

**Conditions of Approval – 16EPC-40060**

**Site Development Plan for Subdivision Amendment:**

The approved SDP for subdivision and Building Permit and subsequent approval from DRB dated 07/27/2016 (see included in the Drawing Attachment).

Although provided parking for lot 1, Building A2 is indicated as 60 spaces, the actual required number of parking spaces for this building, which is a non-residential, middle and high school occupancy, is 47 spaces. (10 Middle School Classrooms x 2/CR + 9 High School Classrooms x 3/CR = 47). Due to a survey discrepancy for the site, we were only able to accommodate 51 spaces (46 standard spaces and 5 compact spaces)

We request that this amendment be approved as the project still meets the required number of parking spaces for the intended use of Building A2 per IDO 2020.

We are including the original approved DRB coversheet V-3 SDP-3.0 with sign off date of 1/27/2017, along with proposed documents with updated parking lot layout. The grading and drainage design remains the same since the overall site plan remains the same.

We appreciate your consideration for this administrative amendment request. Please let us know if you have any questions.

Submitted by:               Rupal S. Engineer  
                                      Design Plus, LLC, Agent for Applicant

# PROJECT DATA

ADDRESS: 18TH STREET AND BELLAMAH AVE NW  
 ZONE ATLAS PAGE: H & J-13-Z

THE SITE  
 PHASE 1 (TOTAL) EXISTING DEVELOPMENT

LEGAL DESCRIPTION:  
 LOTS 1-10 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO  
 PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS: 1701 BELLAMAH AVE NW  
 ZONING: SU-2/SU-1 FOR PRD  
 ACREAGE: 7.4628

PARCEL #2 LEGAL DESCRIPTION:  
 LOT 2 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO  
 PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ACREAGE: 1.2630

PHASE 2 - CURRENT REQUEST FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT  
 ZONING: SU-2/SU-1 FOR PRD  
 PARCEL #1 LEGAL DESCRIPTION: TRACT 2-D-1A OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO  
 ACREAGE: 0.64 11  
 PARCEL #2 LEGAL DESCRIPTION: TRACT 2-D-1B OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO  
 ACREAGE: 1.87  
 TOTAL ACREAGE FOR BOTH SITES: 2.5132

CROSS ACCESS AND DRAINAGE EASEMENTS PROVIDED

EXISTING AND PROPOSED USES:  
 SITE WAS DEVELOPED IN TWO PHASES AS MIXED-USE WITH HOUSING, RETAIL, AND ACTIVE SPACE (SMALL RENTAL SPACES FOR ARTISAN AND INCUBATOR OFFICE SPACE). PROPOSED PHASE 2 HAS BUILDING A1 WITH 3 STORY MIXED USE BUILDING WITH HOUSING, RETAIL, AND ACTIVE SPACES. BUILDING A2 IS PROPOSED AS A TWO STORY BUILDING WITH AN ARTS AND ACADEMICS FOCUSED CHARTER SCHOOL, TIERRA ADENTRO NEW MEXICO.

C1 AND O1 PERMISSIVE USE ALLOWED IN PRD UP TO 25% OF TOTAL GROSS FLOOR AREA OF DEVELOPMENT (25% OF 434,554 SF = 108,638 SF, THEREFORE WITHIN ALLOWABLE MAXIMUM).

## LEGEND

- EXISTING PROPERTY LINE
- NEW PROPERTY LINE
- EASEMENT

PEDESTRIAN INGRESS & EGRESS  
 THE EXISTING PUBLIC SIDEWALK AT ALONG 18TH STREET IS EXTENDED INTO THE SITE AND CONTINUES THE LENGTH OF THE PROPERTY ALONG BELLAMAH. AT THE EAST SIDE OF THE SITE IS AN OPENING FOR A POTENTIAL CONNECTION WITH THE ADJACENT DEVELOPMENT. A PEDESTRIAN TRAIL IS CONNECTED TO THIS DEVELOPMENT. SIDEWALKS AND PLAZA AREAS PROVIDE FOR ON SITE CONNECTIVITY AND SEPARATION FORM VEHICULAR TRAFFIC.

FUTURE BIKE PATH  
 AS PER THE PARKS AND RECREATION PLANNING AND DESIGN COMMENT FOR CONSIDERATION OF PEDESTRIAN AND BICYCLE ACCESS AND CONNECTIVITY WITHIN THE SITE FOR FUTURE TRAIL USE HAS BEEN IDENTIFIED ALONG THE WESTERN LANDSCAPE BOUNDARY WITH 8' WIDE LANDSCAPE AREA.

VEHICULAR INGRESS & EGRESS  
 PRIMARY ACCESS IS FROM 18TH AND BELLAMAH. A POTENTIAL CONNECTION TO BELLAMAH IS PROVIDED ON THE EAST SIDE OF THE PROPERTY. REFER TO KEYED NOTE 5.

INTERNAL CIRCULATION REQUIREMENTS  
 ACCESS IS VIA DRIVE AISLES, 26' AND 24' WIDE. RADII AND PARKING SPACES ARE SHOWN ON THE SITE PLAN IN COMPLIANCE WITH THE CITY D.P.M. AN EMERGENCY VEHICLE PATH IS SHOWN FROM THE NORTH PARKING AREA ACROSS A ROLL-DOWN CURB AND THE PAVED PLAZA. THIS PLAN MEETS THE CRITERIA OF CITY TRAFFIC, FIRE MARSHALL, AND SOLID WASTE DEPARTMENT.

OPEN SPACE (AS DEFINED IN ZONING CODE 14-16-1-5 AND PER R2 ZONE 14-16-2-11-H)  
 EXISTING PHASE 1

REQUIRED: (49 UNITS @ 400 SF/UNIT) + (62 UNITS @ 500 SF/UNITS) + (63 UNITS @ 600 SF/UNITS) = 88,400 SF  
 PROVIDED: 125,326 SF (DOES NOT INCLUDE BALCONIES)

PROPOSED FOR PHASE 2  
 REQUIRED: (11 UNITS @ 500SF/UNIT)+(2 UNITS @ 400 SF/UNITS) = 63,000 SF  
 PROVIDED: 45,500 SF (41% OF THE SITE AREA)

MAXIMUM BUILDING HEIGHTS  
 BUILDING A1: 40' MAXIMUM - PROPOSED  
 BUILDING A2: 45' MAXIMUM - PROPOSED  
 BUILDING B: 48' MAXIMUM (EXISTING)  
 BUILDING C: NOT USED  
 BUILDINGS D1, D2, E1, E2, E3: 45' MAXIMUM (EXISTING)  
 TOWNHOMES F: 28' MAXIMUM (EXISTING)

MINIMUM BUILDING SETBACKS (EXCLUDES INTERNAL PROPERTY LINES):  
 SOUTH: 5'; EAST: VARIES; INTERNAL PROPERTY LINE; NORTH: 30'; WEST: 30'  
 ACCESSORY BUILDINGS ALLOWED MINIMUM SETBACK OF 0' LOT LINE (14-16-3-3)  
 RESIDENTIAL DEVELOPMENT DENSITY:  
 DENSITY SHALL NOT EXCEED 20 DUS PER ACRE (PHASE 2 IS IN COMPLIANCE)

## Parking Calculation for Site Development Plan for Subdivision and for Building Permit

PHASE 1 - EXISTING	UNITS	ACCESS/MOTOR-IBLE	CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
<b>Residential</b>								
Lot 2 Condominiums	20				30	1.5/unit	1.5 or > 1000sf = 2	30
Lots 1A, 1B & 1C Apartments	146				146	1.0/unit	1.5 or > 1000sf = 2	219
Lot 3 to 10 Townhomes (with garage)	8				2/unit (private)	1 per bath		16
<b>Total Residential</b>	<b>174</b>				<b>176</b>			<b>265</b>
<b>Non Residential</b>								
Lot 2 Retail					25	1/200 sq ft	1/200 sq ft	25
Microbrewery/Restaurant					40	160 Seats	1/4 seats	40
Lot 1A Active Spaces	16				32	1/200 sq ft	1/200 sq ft	52
<b>Total Non Residential</b>	<b>16</b>				<b>97</b>			<b>117</b>
<b>Visitor</b>								<b>10</b>
<b>TOTAL PHASE 1 PARKING</b>	<b>10</b>	<b>6</b>	<b>88</b>		<b>283</b>			<b>382</b>

PHASE 2 - PROPOSED	UNITS	ACCESS/MOTOR-IBLE	CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
<b>Residential</b>								
Lot 1 Building A1								
Apartment	12				15	1.25/unit	1.5 or > 1000sf = 2	18
<b>Total Residential</b>	<b>12</b>				<b>15</b>			<b>18</b>
<b>Non Residential</b>								
Lot 1 Building A2								
Retail					4	3/1000 sq ft	1/200 sq ft	2
Active Spaces	10				10	1/unit	1/200 sq ft	21
Lot 1 Mid and High School					18			60
<b>Total Non Residential</b>	<b>10</b>				<b>22</b>			<b>83</b>
<b>TOTAL PHASE 2 PARKING</b>	<b>6</b>	<b>4</b>	<b>26</b>		<b>37</b>			<b>101</b>

**TOTAL PARKING BOTH PHASES**  
 16 10 114 372 483

NOTES: All of the total spaces required for Phase 2, 87 are on-site. Of the 87 on-site, 6 are compact spaces and 4 are motorcycle parking spaces.

\* Calculations under "Provided" column (calculated at the "Proposed Ratio") establish the total parking needed and provided for the project and do not establish the parking required for any specific lot. The required parking for each lot is established by the number of spaces shown on the site plan.

\*\* Calculations under "Required" column (calculated at the "Required Ratio") are standard City of Albuquerque zoning code parking requirements and are included only for comparison. They do not establish parking required for this project.

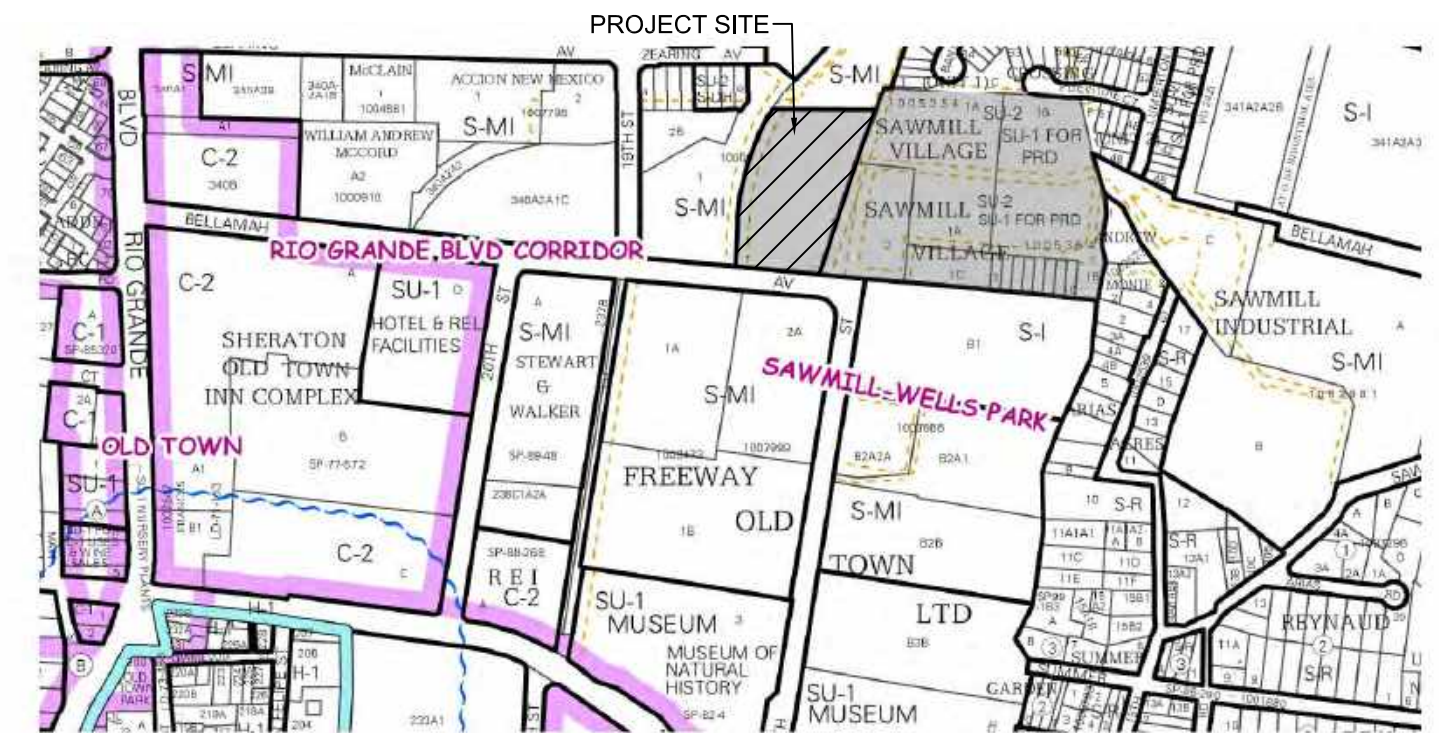
EASEMENT LEGEND RECORDED UNDER DOC# 2010084680

- REMAINING PORTION OF 20' CITY OF ALBUQUERQUE EASEMENT FILED SEPT. 24, 1969, BK. MISC. 151, PG. 32 AND 20' SOUTHERN UNION GAS CO. EASEMENT FILED FEB. 6, 1970 IN BOOK MS 163, PAGE 779
- 25' PUBLIC DRAINAGE EASEMENT PER PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106
- 30' EASEMENT TO THE CITY OF ALBUQUERQUE FILED APRIL 9, 1968, BK. MISC. 99, PG. 776 JUDGEMENT COURT CASE NO. A 19745 RECORDED APRIL 9, 1968 BOOK MISC. 99 PAGE 776
- 5' EASEMENT TO THE PUBLIC SERVICE COMPANY OF NM FILED MARCH 18, 1950, BK. D135, PG.547 AND THE ALBUQUERQUE GAS AND ELECTRIC COMPANY FILED SEPT. 4, 1950, BK. 144, PG. 218
- 30' EASEMENT TO B.N.A.S.F. RAILWAY COMPANY PER PLAT FILED 4-11-2005 IN VOL. 2005C, FOLIO 106 AND PER DOCUMENT FILED 4-14-2005, IN BK. A80, PAGE 1598
- PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106 AND PER DOCUMENT FILED 4-14-2005, IN BK. A80, PAGE 1598
- ADDITIONAL PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT FILED APRIL 14, 2008 IN PLAT BOOK 2008C, PAGE 70

Building Data	PHASE 1	LOT SIZE	BUILDING FOOTPRINT	DESIGNATED SF	ACTIVE SPACE SF	TOTAL BUILDING SF
LOT 2	BUILDING B FL 1: Retail FL 2 & 3: Condos - 20	55,016	8,694	4,891	0	28,273
LOT 1	BUILDING D1 FL 1: Active Spaces - 10 FL 1, 2, & 3: Apartments - 35	248,336	13,774	0	5,463	42,392
	BUILDING D2 FL 1: Active Spaces - 6 FL 1, 2, & 3: Apartments - 27		9,031	0	3,299	27,449
	BUILDING E1 FL 1, 2, & 3: Apartments - 27		8,860	0	0	28,159
	BUILDING E2 FL 1, 2, & 3: Apartments - 24		9,434	0	0	30,595
	BUILDING E3 FL 1, 2, & 3: Apartments - 33		12,257	0	0	39,197
LOTS 3 - 10	BUILDING F Total of 8 lots = approx 2,700 SF Each	21,732	8,647	0	0	17,294
<b>TOTAL PHASE 1 BUILDINGS</b>		<b>325,084</b>	<b>70,697</b>	<b>7,891</b>	<b>8,762</b>	<b>213,359</b>

PHASE 2	LOT SIZE	BUILDING FOOTPRINT	DESIGNATED SF	ACTIVE SPACE SF	TOTAL BUILDING SF
BUILDING A1 FL 1: Retail FL 1: Active Spaces	109,475	6,500	8,500	10	19,500
BUILDING A2 FL 2 & 3: Apartments - (11 - 2 Bed, 2 - 1 Bed) FL 1 & 2: Charter School (mid-high)		24,000	400	5,200	38,300
<b>TOTAL PHASE 2 BUILDINGS</b>	<b>109,475</b>	<b>30,500</b>	<b>8,900</b>	<b>5,210</b>	<b>57,800</b>
<b>TOTAL PHASE 1 AND PHASE 2 BUILDINGS</b>	<b>434,559</b>	<b>101,197</b>	<b>16,791</b>	<b>13,972</b>	<b>271,159</b>

Notes:  
 1. Dwelling units not to exceed maximum of 190 units (Total dwelling units = 178)



**1 VICINITY MAP**  
 ZONE ATLAS PAGES H&J-13-Z

## SHEET INDEX:

- |         |   |
|---------|---|
| SDP 1.0 | SITE DEVELOPMENT PLAN FOR BUILDING PERMIT |
| SDP 1.1 | ENLARGED SITE PLAN                        |
| SDP 1.2 | SITE DETAILS                              |
| SDP 2.0 | LANDSCAPE PLAN                            |
| SDP 3.0 | CONCEPTUAL GRADING & DRAINAGE             |
| SDP 4.0 | UTILITY PLAN                              |
| SDP 5.0 | BUILDING A1 ELEVATIONS                    |
| SDP 5.1 | BUILDING A1 ELEVATIONS                    |
| SDP 5.2 | BUILDING A2 ELEVATIONS                    |
| SDP 5.3 | BUILDING A2 ELEVATIONS                    |

## GENERAL NOTES

- PHASE II WILL BE CONSTRUCTED IN TWO STAGES:  
 - PHASE II-A: BUILDING A1 AND RELATED SITE WORK  
 - PHASE II-B: BUILDING A2 AND RELATED SITE WORK
- PHASE 1: ALL DEVELOPMENT ON LOTS 1-10
- SEE PLAT FOR ALL EASEMENTS

PROJECT NUMBER: \_\_\_\_\_

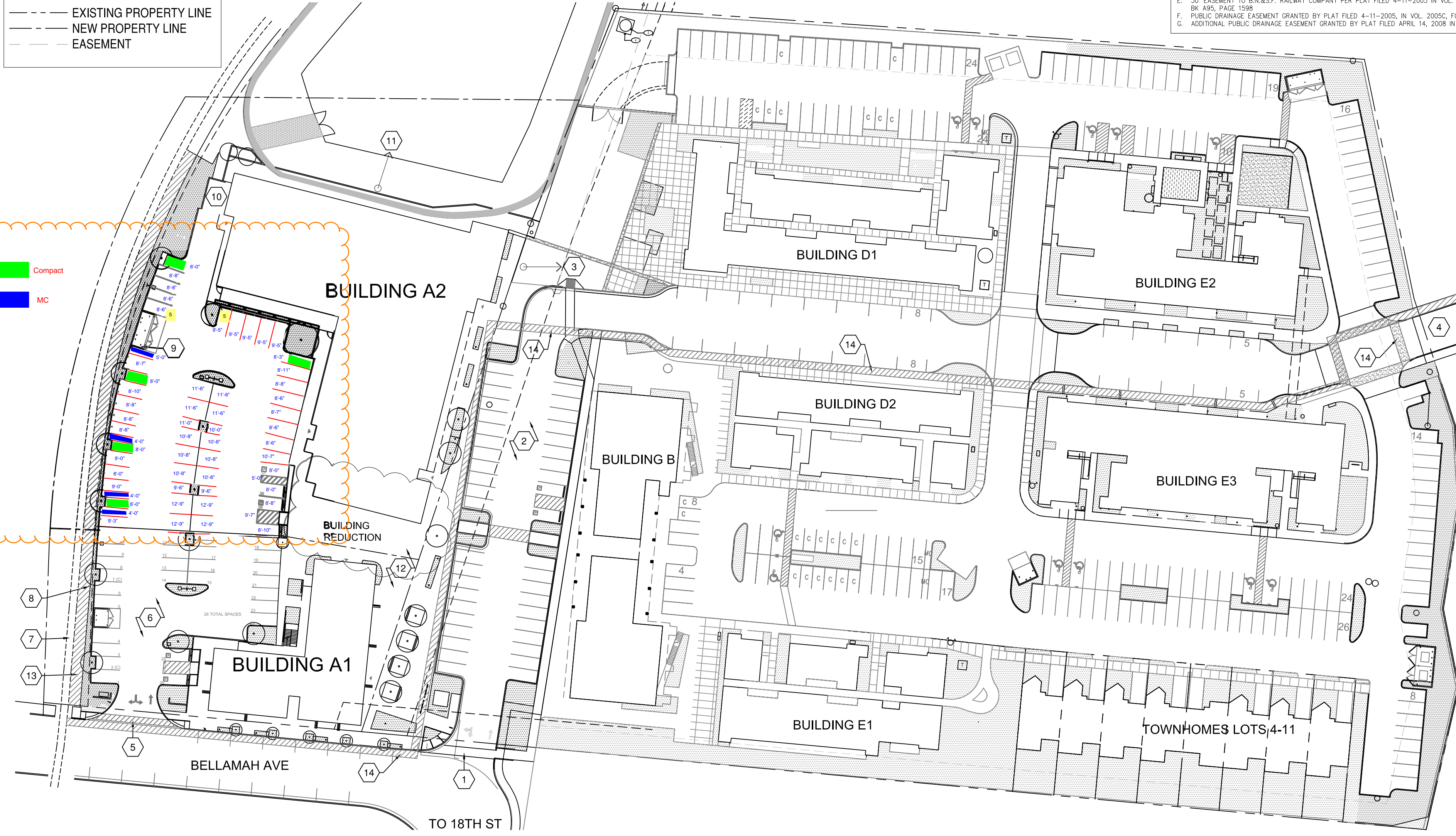
APPLICATION NUMBER: \_\_\_\_\_

DRB SITE DEVELOPMENT PLAN APPROVAL:

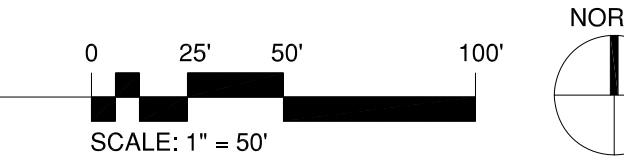
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
CITY ENGINEER	DATE _____
* ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE _____
SOLID WASTE MANAGEMENT	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

## KEYED NOTES

- EXISTING ENTRANCE DRIVEWAY COMPLETED AS PART OF PHASE 1 DEVELOPMENT
- EXISTING PARKING LOT TO REMAIN
- EXISTING PLAZA AND LANDSCAPING TO REMAIN
- POTENTIAL FUTURE CONNECTION TO BELLAMAH
- NEW ENTRANCE DRIVEWAY FOR PHASE 2 SITE
- NEW PARKING LOT, REFER TO SHEETS SDP 1.1 AND SDP 3.0
- EXISTING RAILROAD TRACKS
- NEW 6' HIGH "GREEN FENCE" ALONG RAILROAD TRACK AND EAST OF POTENTIAL FUTURE BIKE TRAIL. REFER TO SDP 2.0
- NEW REFUSE ENCLOSURE, REFER TO SHEET SDP 1.1 AND SDP 1.2
- EXTERIOR WALLED COURTYARD FOR BUILDING A2 USE
- "DRAINAGE POND" CONSTRUCTION: LANDSCAPE IS COMPLETED CURRENTLY BY A SEPARATE CONTRACT
- NEW PEDESTRIAN PLAZAS, WALKWAYS, AND LANDSCAPE PLAN. REFER TO SDP 1.1
- PER MRGOC'S 2040 LONG RANGE BIKEWAY SYSTEM MAP, A NEW PROPOSED UNPAVED BIKE ROUTE RUNS ALONG THE WEST PROPERTY LINE OF THE SITE. REFER TO SDP 1.1 FOR AREA SET ASIDE FOR THIS PROPOSED TRAIL. APPROPRIATE SIGNAGE WILL BE INCORPORATED IN DISCUSSION WITH THE AUTHORITY HAVING JURISDICTION.
- MRGOC'S 2040 LONG RANGE BIKEWAY SYSTEM MAP, BELLAMAH AVE HAS BEEN DESIGNATED AS A BICYCLE ROUTE FROM RIO GRANDE BLVD. TO 12TH ST., THROUGH THIS. REFER TO SHADED AREA. ARROWS AND/OR SIGNAGE TO INDICATE SHARED BICYCLE USE ON THE ROADWAY WILL BE INCORPORATED AS IN DISCUSSION WITH THE AUTHORITIES HAVING JURISDICTION.



**1 SITE PLAN: FULL DEVELOPMENT**  
 1" = 50'



2415 PRINCETON DR. NE, SUITE G-2  
 ALBUQUERQUE, NM 87107  
 505.843.7587  
 www.designplusllc.com  
**DESIGN PLUS LLC**

SITE DEVELOPMENT PLAN  
 FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
 SAWMILL VILLAGE  
 BELLAMAH AVE NW AND 18TH ST  
 ALBUQUERQUE, NM

DATE: 9/29/16

REVISIONS


CAD DWG FILE:  
 DRAWN BY: LS  
 CHECKED BY: RSE  
 COPYRIGHT:  
 DESIGN PLUS, LLC  
 SHEET TITLE  
 SITE DEVELOPMENT  
 PLAN FOR BUILDING  
 PERMIT AND  
 SUBDIVISION  
**V.3**  
**SDP 1.0**  
 SHEET 0F 00

# PROJECT DATA

ADDRESS: 18TH STREET AND BELLAMAH AVE NW  
 ZONE ATLAS PAGE: H & J-13-Z

PHASE 1 (TOTAL) EXISTING DEVELOPMENT  
 LEGAL DESCRIPTION:  
 LOTS 1-10 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO  
 PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ADDRESS: 1701 BELLAMAH AVE NW  
 ZONING: SU-2/SU-1 FOR PRD  
 ACREAGE: 7.4628

PARCEL #2 LEGAL DESCRIPTION:  
 LOT 2 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO  
 PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 ACREAGE: 1.2630

PHASE 2 - CURRENT REQUEST FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT  
 ZONING: SU-2/SU-1 FOR PRD  
 PARCEL #1 LEGAL DESCRIPTION: TRACT 2-D-1A OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO  
 ACREAGE: 0.6411  
 PARCEL #2 LEGAL DESCRIPTION: TRACT 2-D-1B OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO  
 ACREAGE: 1.87  
 TOTAL ACREAGE FOR BOTH SITES: 2.5132

CROSS ACCESS AND DRAINAGE EASEMENTS PROVIDED

EXISTING AND PROPOSED USES:  
 SITE WAS DEVELOPED IN TWO PHASES AS MIXED-USE WITH HOUSING, RETAIL, AND ACTIVE SPACE (SMALL RENTAL SPACES FOR ARTISAN AND INCUBATOR OFFICE SPACE). PROPOSED PHASE 2 HAS BUILDING A1 WITH 3 STORY MIXED USE BUILDING WITH HOUSING, RETAIL, AND ACTIVE SPACES. BUILDING A2 IS PROPOSED AS A TWO STORY BUILDING WITH AN ARTS AND ACADEMICS FOCUSED CHARTER SCHOOL, TIERRA ADENTRO NEW MEXICO.

C1 AND O1 PERMISSIVE USE ALLOWED IN PRD UP TO 25% OF TOTAL GROSS FLOOR AREA OF DEVELOPMENT (25% OF 434,554 SF = 108,638 SF, THEREFORE WITHIN ALLOWABLE MAXIMUM).

## LEGEND

- EXISTING PROPERTY LINE
- NEW PROPERTY LINE
- EASEMENT

PEDESTRIAN INGRESS & EGRESS  
 THE EXISTING PUBLIC SIDEWALK AT ALONG 18TH STREET IS EXTENDED INTO THE SITE AND CONTINUES THE LENGTH OF THE PROPERTY ALONG BELLAMAH. AT THE EAST SIDE OF THE SITE IS AN OPENING FOR A POTENTIAL CONNECTION WITH THE ADJACENT DEVELOPMENT. A PEDESTRIAN TRAIL IS CONNECTED TO THIS DEVELOPMENT. SIDEWALKS AND PLAZA AREAS PROVIDE FOR ON SITE CONNECTIVITY AND SEPARATION FORM VEHICULAR TRAFFIC.

FUTURE BIKE PATH  
 AS PER THE PARKS AND RECREATION PLANNING AND DESIGN COMMENT FOR CONSIDERATION OF PEDESTRIAN AND BICYCLE ACCESS AND CONNECTIVITY WITHIN THE SITE FOR FUTURE TRAIL USE HAS BEEN IDENTIFIED ALONG THE WESTERN LANDSCAPE BOUNDARY WITH 8' WIDE LANDSCAPE AREA.

VEHICULAR INGRESS & EGRESS  
 PRIMARY ACCESS IS FROM 18TH AND BELLAMAH. A POTENTIAL CONNECTION TO BELLAMAH IS PROVIDED ON THE EAST SIDE OF THE PROPERTY. REFER TO KEYED NOTE 5.

INTERNAL CIRCULATION REQUIREMENTS  
 ACCESS IS VIA DRIVE AISLES, 26' AND 24' WIDE. RADII AND PARKING SPACES ARE SHOWN ON THE SITE PLAN IN COMPLIANCE WITH THE CITY D.P.M. AN EMERGENCY VEHICLE PATH IS SHOWN FROM THE NORTH PARKING AREA ACROSS A ROLL-DOWN CURB AND THE PAVED PLAZA. THIS PLAN MEETS THE CRITERIA OF CITY TRAFFIC, FIRE MARSHALL, AND SOLID WASTE DEPARTMENT.

OPEN SPACE (AS DEFINED IN ZONING CODE 14-16-1-5 AND PER R2 ZONE 14-16-11-H)  
 EXISTING PHASE 1  
 REQUIRED: (49 UNITS @ 400 SF/UNIT) + (62 UNITS @ 500 SF/UNITS) + (63 UNITS @ 600 SF/UNITS) = 88,400 SF  
 PROVIDED: 125,326 SF (DOES NOT INCLUDE BALCONIES)  
 PROPOSED FOR PHASE 2  
 REQUIRED: (11 UNITS @ 500SF/UNIT)+(2 UNITS @ 400 SF/UNITS) = 63,000 SF  
 PROVIDED: 45,500 SF (41% OF THE SITE AREA)

MAXIMUM BUILDING HEIGHTS  
 BUILDING A1: 40' MAXIMUM - PROPOSED  
 BUILDING A2: 45' MAXIMUM - PROPOSED  
 BUILDING B: 48' MAXIMUM (EXISTING)  
 BUILDING C: NOT USED  
 BUILDINGS D1, D2, E1, E2, E3: 45' MAXIMUM (EXISTING)  
 TOWNHOMES F: 28' MAXIMUM (EXISTING)

MINIMUM BUILDING SETBACKS (EXCLUDES INTERNAL PROPERTY LINES):  
 SOUTH: 5'; EAST: VARIES; INTERNAL PROPERTY LINE; NORTH: 30'; WEST: 30'  
 ACCESSORY BUILDINGS ALLOWED MINIMUM SETBACK OF 0' LOT LINE (14-16-3-3)  
 RESIDENTIAL DEVELOPMENT DENSITY:  
 DENSITY SHALL NOT EXCEED 20 DUS PER ACRE (PHASE 2 IS IN COMPLIANCE)

### Parking Calculation for Site Development Plan for Subdivision and for Building Permit

PHASE 1 - EXISTING	UNITS	ACCESS/MOTOR-IBLE	CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
<b>Residential</b>								
Lot 2 Condominiums	20				30	1.5/unit	1.5 or > 1000sf = 2	30
Lots 1A, 1B & 1C Apartments	146				146	1.0/unit	1.5 or > 1000sf = 2	219
Lot 3 to 10 Townhomes (private garage)	8				2/unit (private)		1 per bath	16
<b>Total Residential</b>	<b>174</b>				<b>176</b>			<b>265</b>
<b>Non Residential</b>								
Lot 2 Retail					25	1/200 sq ft	1/200 sq ft	25
Microbrewery/Restaurant					40	160 Seats	1/4 seats	40
Lot 1A Active Spaces	16				32	1/200 sq ft	1/200 sq ft	52
<b>Total Non Residential</b>	<b>16</b>				<b>97</b>			<b>117</b>
<b>Visitor</b>								<b>10</b>
<b>TOTAL PHASE 1 PARKING</b>	<b>10</b>	<b>6</b>	<b>88</b>	<b>283</b>	<b>382</b>			<b>382</b>

PHASE 2 - PROPOSED	UNITS	ACCESS/MOTOR-IBLE	CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
<b>Residential</b>								
Lot 1 Building A1								
Apartments	12				15	1.25/unit	1.5 or > 1000sf = 2	18
<b>Total Residential</b>	<b>12</b>				<b>6</b>			<b>18</b>
<b>Non Residential</b>								
Lot 1 Building A2								
Retail					4	3/1000 sq ft	1/200 sq ft	2
Active Spaces	10				10	1/unit	1/200 sq ft	21
Lot 1 Building A2								
Mid- and High School					51			60
<b>Total Non Residential</b>	<b>10</b>				<b>65</b>			<b>83</b>
<b>TOTAL PHASE 2 PARKING</b>	<b>6</b>	<b>4</b>	<b>26</b>	<b>78 provided</b>				<b>101</b>

TOTAL PARKING BOTH PHASES	UNITS	ACCESS/MOTOR-IBLE	CYCLE	BICYCLE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
<b>TOTAL PARKING BOTH PHASES</b>	<b>16</b>	<b>10</b>	<b>114</b>	<b>372</b>	<b>361</b>			<b>483</b>

NOTES: All of the total spaces required for Phase 2, 87 are on-site. Of the 87 on-site, 6 are compact spaces and 4 are motorcycle parking spaces.

\* Calculations under "Provided" column (calculated at the "Proposed Ratio") establish the total parking needed and provided for the project and do not establish the parking required for any specific lot. The required parking for each lot is established by the number of spaces shown on the site plan.

\*\* Calculations under "Required" column (calculated at the "Required Ratio") are standard City of Albuquerque zoning code parking requirements and are included only for comparison. They do not establish parking required for this project.

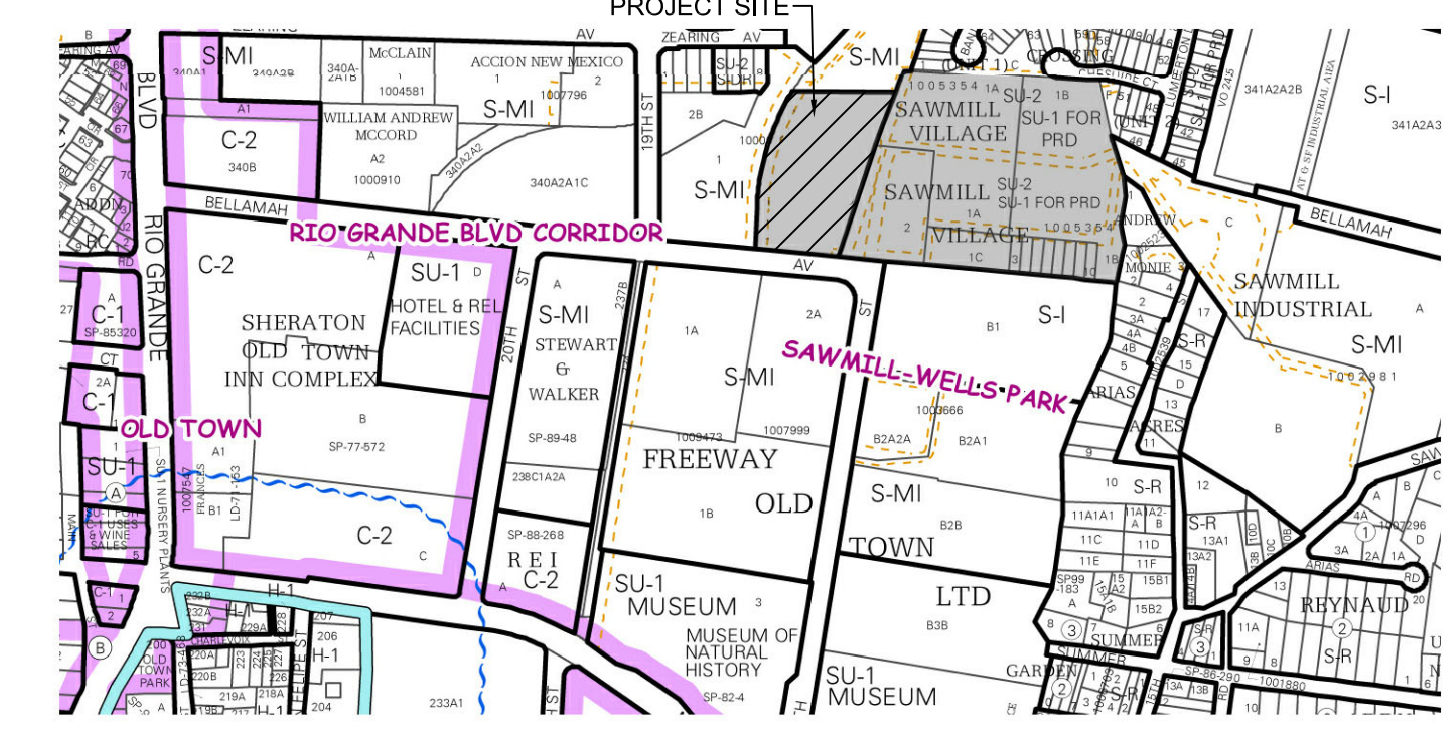
EASEMENT LEGEND RECORDED UNDER DOC# 2010084680

- REMAINING PORTION OF 20' CITY OF ALBUQUERQUE EASEMENT FILED SEPT. 24, 1968, BK. MISC. 151, PG. 32 AND 20' SOUTHERN UNION GAS CO. EASEMENT FILED FEB. 6, 1970 IN BOOK MS 163, PAGE 779
- 25' PUBLIC DRAINAGE EASEMENT PER PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106
- 30' EASEMENT TO THE CITY OF ALBUQUERQUE FILED APRIL 9, 1968, BK. MISC. 99, PG. 776 JUDGEMENT COURT CASE NO A 19745 RECORDED APRIL 9, 1968 BOOK MISC. 99 PAGE 779
- 5' EASEMENT TO THE PUBLIC SERVICE COMPANY OF NM FILED MARCH 18, 1950, BK. D135, PG.547 AND THE ALBUQUERQUE GAS AND ELECTRIC COMPANY FILED SEPT. 4, 1950, BK. 144, PG. 218
- 30' EASEMENT TO B.N.A.S.F. RAILWAY COMPANY PER PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106 AND PER DOCUMENT FILED 4-14-2005, IN BK. A80, PAGE 1598
- PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106 AND PER DOCUMENT FILED 4-14-2005, IN BK. A80, PAGE 1598
- ADDITIONAL PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT FILED APRIL 14, 2008 IN PLAT BOOK 2008C, PAGE 70

Building Data	LOT SIZE	BUILDING FOOTPRINT	DESIGNATED SF	ACTIVE SPACE SF	TOTAL BUILDING SF
<b>PHASE 1</b>					
LOT 2					
BUILDING B	55,016	8,694	4,891	0	28,273
FL 1: Retail			3,000		
FL 2 & 3: Condos - 20					
LOT 1					
BUILDING D1	248,336	13,774	0	5,463	42,392
FL 1: Active Spaces - 10					
FL 1, 2, & 3: Apartments - 35					
BUILDING D2		9,031	0	3,299	27,449
FL 1: Active Spaces - 6					
FL 1, 2, & 3: Apartments - 27					
BUILDING E1		8,860	0	0	28,159
FL 1, 2, & 3: Apartments - 27					
BUILDING E2		9,434	0	0	30,595
FL 1, 2, & 3: Apartments - 24					
BUILDING E3		12,257	0	0	39,197
FL 1, 2, & 3: Apartments - 33					
LOTS 3 - 10					
BUILDING F	21,732	8,647	0	0	17,294
Total of 8 lots = approx 2,700 SF Each					
<b>TOTAL PHASE 1 BUILDINGS</b>	<b>325,084</b>	<b>70,697</b>	<b>7,891</b>	<b>8,762</b>	<b>213,359</b>

PHASE 2	LOT SIZE	BUILDING FOOTPRINT	DESIGNATED SF	ACTIVE SPACE SF	TOTAL BUILDING SF
<b>PHASE 2</b>					
BUILDING A1	109,475	6,500	8,500	10	19,500
FL 1: Retail			400		
FL 1: Active Spaces				5,200	
FL 2 & 3: Apartments - (11 - 2 Bed, 2 - 1 Bed)		24,000			
BUILDING A2					
FL 1 & 2: Charter School (mid-high)					
BUILDING C (NOT USED)					
<b>TOTAL PHASE 2 BUILDINGS</b>	<b>109,475</b>	<b>30,500</b>	<b>8,900</b>	<b>5,210</b>	<b>57,800</b>
<b>TOTAL PHASE 1 AND PHASE 2 BUILDINGS</b>	<b>434,559</b>	<b>101,197</b>	<b>16,791</b>	<b>13,972</b>	<b>271,159</b>

Notes:  
 1. Dwelling units not to exceed maximum of 190 units (Total dwelling units = 178)



**VICINITY MAP**  
 ZONE ATLAS PAGES H&J-13-Z

### SHEET INDEX:

SDP 1.0	SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
SDP 1.1	ENLARGED SITE PLAN
SDP 1.2	SITE DETAILS
SDP 2.0	LANDSCAPE PLAN
SDP 3.0	CONCEPTUAL GRADING & DRAINAGE
SDP 4.0	UTILITY PLAN
SDP 5.0	BUILDING A1 ELEVATIONS
SDP 5.1	BUILDING A1 ELEVATIONS
SDP 5.2	BUILDING A2 ELEVATIONS
SDP 5.3	BUILDING A2 ELEVATIONS

### GENERAL NOTES

A. PHASE II WILL BE CONSTRUCTED IN TWO STAGES:  
 - PHASE II-A: BUILDING A1 AND RELATED SITE WORK  
 - PHASE II-B: BUILDING A2 AND RELATED SITE WORK

B. PHASE 1: ALL DEVELOPMENT ON LOTS 1-10

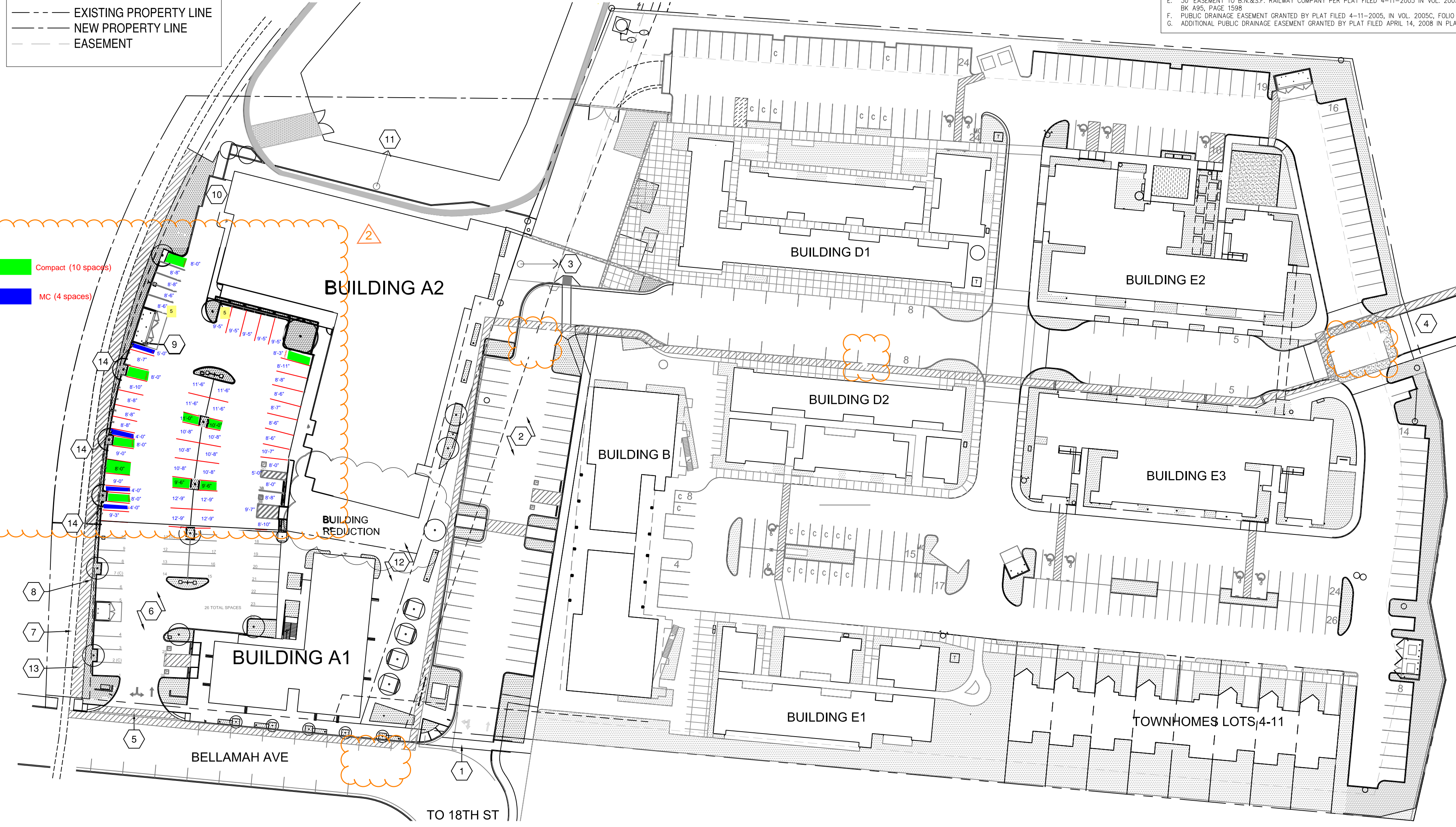
C. SEE PLAT FOR ALL EASEMENTS

### KEYED NOTES

- EXISTING ENTRANCE DRIVEWAY COMPLETED AS PART OF PHASE 1 DEVELOPMENT
- EXISTING PARKING LOT TO REMAIN
- EXISTING PLAZA AND LANDSCAPING TO REMAIN
- POTENTIAL FUTURE CONNECTION TO BELLAMAH
- NEW ENTRANCE DRIVEWAY FOR PHASE 2 SITE
- NEW PARKING LOT, REFER TO SHEETS SDP 1.1 AND SDP 3.0
- EXISTING RAILROAD TRACKS
- NEW 6' HIGH "GREEN FENCE" ALONG RAILROAD TRACK AND EAST OF POTENTIAL FUTURE BIKE TRAIL. REFER TO SDP 2.0
- NEW REFUSE ENCLOSURE, REFER TO SHEET SDP 1.1 AND SDP 1.2
- EXTERIOR WALLED COURTYARD FOR BUILDING A2 USE
- "DRAINAGE POND" CONSTRUCTION: LANDSCAPE IS COMPLETED CURRENTLY BY A SEPARATE CONTRACT
- NEW PEDESTRIAN PLAZAS, WALKWAYS, AND LANDSCAPE PLAN. REFER TO SDP 1.1
- PER MRGOC'S 2040 LONG RANGE BIKEWAY SYSTEM MAP, A NEW PROPOSED UNPAVED BIKE ROUTE RUNS ALONG THE WEST PROPERTY LINE OF THE SITE. REFER TO SDP 1.1 FOR AREA SET ASIDE FOR THIS PROPOSED TRAIL. APPROPRIATE SIGNAGE WILL BE INCORPORATED IN DISCUSSION WITH THE AUTHORITY HAVING JURISDICTION.
- PROVIDE POSTED UPRIGHT SIGN CONSPICUOUSLY PLACED TO INDICATE MOTORCYCLE PARKING.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_  
 DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



**SITE PLAN: FULL DEVELOPMENT**  
 1" = 50'

2415 PRINCETON DR. NE, SUITE G-2  
 ALBUQUERQUE, NM 87107  
 505.843.7587  
 www.designplusllc.com  
**DESIGN PLUS LLC**

SITE DEVELOPMENT PLAN  
 FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT  
 SAWMILL VILLAGE  
 BELLAMAH AVE NW AND 18TH ST  
 ALBUQUERQUE, NM

DATE: 9/29/16

REVISIONS	
1	7/28/2021
2	12/20/2021

CAD DWG FILE:  
 DRAWN BY: LS  
 CHECKED BY: RSE  
 COPYRIGHT:  
 DESIGN PLUS, LLC  
 SHEET TITLE  
 SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND SUBDIVISION  
 V.3  
 SDP 1.0  
 SHEET 0F 00