

ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE

PROJECT DATA

ADDRESS: 18TH STREET AND BELLAMAH AVE NW
 ZONE ATLAS PAGE: H & J-13-Z
 THE SITE

PHASE 1 (TOTAL) EXISTING DEVELOPMENT

LEGAL DESCRIPTION:
 LOTS 1-10 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO
 PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 ADDRESS: 1701 BELLAMAH AVE NW
 ZONING: SU-2/SU-1 FOR PRD
 ACREAGE: 7.4628

PARCEL #2 LEGAL DESCRIPTION:
 LOT 2 WITHIN THE TOWN OF ALBUQUERQUE GRANT IN PROJECTED SECTIONS 7 AND 18, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO
 PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 ACREAGE: 1.2630

PHASE 2 - CURRENT REQUEST FOR SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT
 ZONING: SU-2/SU-1 FOR PRD
 PARCEL #1 LEGAL DESCRIPTION: TRACT 2-D-1A OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO
 ACREAGE: 0.6411
 PARCEL #2 LEGAL DESCRIPTION: TRACT 2-D-1B OF THE ARBOLERA DE VIDA SUBDIVISION, UNIT 2B, ALBUQUERQUE, NEW MEXICO
 ACREAGE: 1.87
 TOTAL ACREAGE FOR BOTH SITES: 2.5132

CROSS ACCESS AND DRAINAGE EASEMENTS PROVIDED

EXISTING AND PROPOSED USES:
 SITE WAS DEVELOPED IN TWO PHASES AS MIXED-USE WITH HOUSING, RETAIL, AND ACTIVE SPACE (SMALL RENTAL SPACES FOR ARTISAN AND INCUBATOR OFFICE SPACE). PROPOSED PHASE 2 HAS BUILDING A1 WITH 3 STORY MIXED USE BUILDING WITH HOUSING, RETAIL, AND ACTIVE SPACES. BUILDING A2 IS PROPOSED AS A TWO STORY BUILDING WITH AN ARTS AND ACADEMICS FOCUSED CHARTER SCHOOL, TIERRA ADENTRO NEW MEXICO.

C1 AND O1 PERMISSIVE USE ALLOWED IN PRD UP TO 25% OF TOTAL GROSS FLOOR AREA OF DEVELOPMENT (25% OF 434,554 SF = 108,638 SF, THEREFORE WITHIN ALLOWABLE MAXIMUM).

LEGEND

- EXISTING PROPERTY LINE
- NEW PROPERTY LINE
- EASEMENT

PEDESTRIAN INGRESS & EGRESS
 THE EXISTING PUBLIC SIDEWALK AT ALONG 18TH STREET IS EXTENDED INTO THE SITE AND CONTINUES THE LENGTH OF THE PROPERTY ALONG BELLAMAH. AT THE EAST SIDE OF THE SITE IS AN OPENING FOR A POTENTIAL CONNECTION WITH THE ADJACENT DEVELOPMENT. A PEDESTRIAN TRAIL IS CONNECTED TO THIS DEVELOPMENT. SIDEWALKS AND PLAZA AREAS PROVIDE FOR ON SITE CONNECTIVITY AND SEPARATION FORM VEHICULAR TRAFFIC.

FUTURE BIKE PATH
 AS PER THE PARKS AND RECREATION PLANNING AND DESIGN COMMENT FOR CONSIDERATION OF PEDESTRIAN AND BICYCLE ACCESS AND CONNECTIVITY WITHIN THE SITE FOR FUTURE TRAIL USE HAS BEEN IDENTIFIED ALONG THE WESTERN LANDSCAPE BOUNDARY WITH 8' WIDE LANDSCAPE AREA.

VEHICULAR INGRESS & EGRESS
 PRIMARY ACCESS IS FROM 18TH AND BELLAMAH. A POTENTIAL CONNECTION TO BELLAMAH IS PROVIDED ON THE EAST SIDE OF THE PROPERTY. REFER TO KEYED NOTE 5.

INTERNAL CIRCULATION REQUIREMENTS
 ACCESS IS VIA DRIVE AISLES, 26' AND 24' WIDE. RADII AND PARKING SPACES ARE SHOWN ON THE SITE PLAN IN COMPLIANCE WITH THE CITY D.P.M. AN EMERGENCY VEHICLE PATH IS SHOWN FROM THE NORTH PARKING AREA ACROSS A ROLL-DOWN CURB AND THE PAVED PLAZA. THIS PLAN MEETS THE CRITERIA OF CITY TRAFFIC, FIRE MARSHALL, AND SOLID WASTE DEPARTMENT.

OPEN SPACE (AS DEFINED IN ZONING CODE 14-16-1-5 AND PER R2 ZONE 14-16-2-11-H)
 EXISTING PHASE 1
 REQUIRED: (49 UNITS @ 400 SF/UNIT) + (62 UNITS @ 500 SF/UNITS) + (63 UNITS @ 600 SF/UNITS) = 88,400 SF
 PROVIDED: 125,326 SF (DOES NOT INCLUDE BALCONIES)
 PROPOSED FOR PHASE 2
 REQUIRED: (11 UNITS @ 500SF/UNIT)+(2 UNITS @ 400 SF/UNITS) = 63,000 SF
 PROVIDED: 45,500 SF (41% OF THE SITE AREA)

MAXIMUM BUILDING HEIGHTS
 BUILDING A1: 40' MAXIMUM - PROPOSED
 BUILDING A2: 45' MAXIMUM - PROPOSED
 BUILDING B: 48' MAXIMUM (EXISTING)
 BUILDING C: NOT USED
 BUILDINGS D1, D2, E1, E2, E3: 45' MAXIMUM (EXISTING)
 TOWNHOMES F: 28' MAXIMUM (EXISTING)

MINIMUM BUILDING SETBACKS (EXCLUDES INTERNAL PROPERTY LINES):
 SOUTH: 5'; EAST: VARIES; INTERNAL PROPERTY LINE; NORTH: 30'; WEST: 30'
 ACCESSORY BUILDINGS ALLOWED MINIMUM SETBACK OF 0' LOT LINE (14-16-3-3)
 RESIDENTIAL DEVELOPMENT DENSITY:
 DENSITY SHALL NOT EXCEED 20 DUS PER ACRE (PHASE 2 IS IN COMPLIANCE)

Parking Calculation for Site Development Plan for Subdivision and for Building Permit

PHASE 1 - EXISTING		UNITS	ACCESS/MOTOR-IBLE	BIKE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
Residential								
Lot 2	Condominiums	20			30	1.5/unit	1.5 or > 1000sf = 2	30
Lots 1A, 1B & 1C	Apartments	146			146	1.0/unit	1.5 or > 1000sf = 2	219
Lot 3 to 10	Townhomes (private garage)	8			2/unit (private)		1 per bath	16
Total Residential		174			176			265
Non Residential								
Lot 2	Retail				25	1/200 sq ft	1/200 sq ft	25
	Microbrewery/Restaurant				40	160 Seats	1/4 seats	40
Lot 1A	Active Spaces	16			32	1/200 sq ft	1/200 sq ft	52
	Total Non Residential				97			117
Visitor					10			
TOTAL PHASE 1 PARKING		10	6	88	283			382

PHASE 2 - PROPOSED		UNITS	ACCESS/MOTOR-IBLE	BIKE	PROVIDED*	PROPOSED RATIO	REQUIRED RATIO	REQUIRED**
Residential								
Lot 1	Building A1							
	Apartments	12			15	1.25/unit	1.5 or > 1000sf = 2	18
	Total Residential	12			6	15		18
Non Residential								
Lot 1	Building A1				2			
	Retail				4	3/1000 sq ft	1/200 sq ft	2
	Active Spaces	10			10	1/unit	1/200 sq ft	21
Lot 1	Building A2				18			
	Mid- and High School				51			60
	Total Non Residential	10			65			83
TOTAL PHASE 2 PARKING		6	4	26	78			101
TOTAL PARKING BOTH PHASES		16	10	114	372			483

NOTES: All of the total spaces required for Phase 2, 87 are on-site. Of the 87 on-site, 6 are compact spaces and 4 are motorcycle parking spaces.

* Calculations under "Provided" column (calculated at the "Proposed Ratio") establish the total parking needed and provided for the project and do not establish the parking required for any specific lot. The required parking for each lot is established by the number of spaces shown on the site plan.

** Calculations under "Required" column (calculated at the "Required Ratio") are standard City of Albuquerque zoning code parking requirements and are included only for comparison. They do not establish parking required for this project.

EASEMENT LEGEND RECORDED UNDER DOC# 2010084680

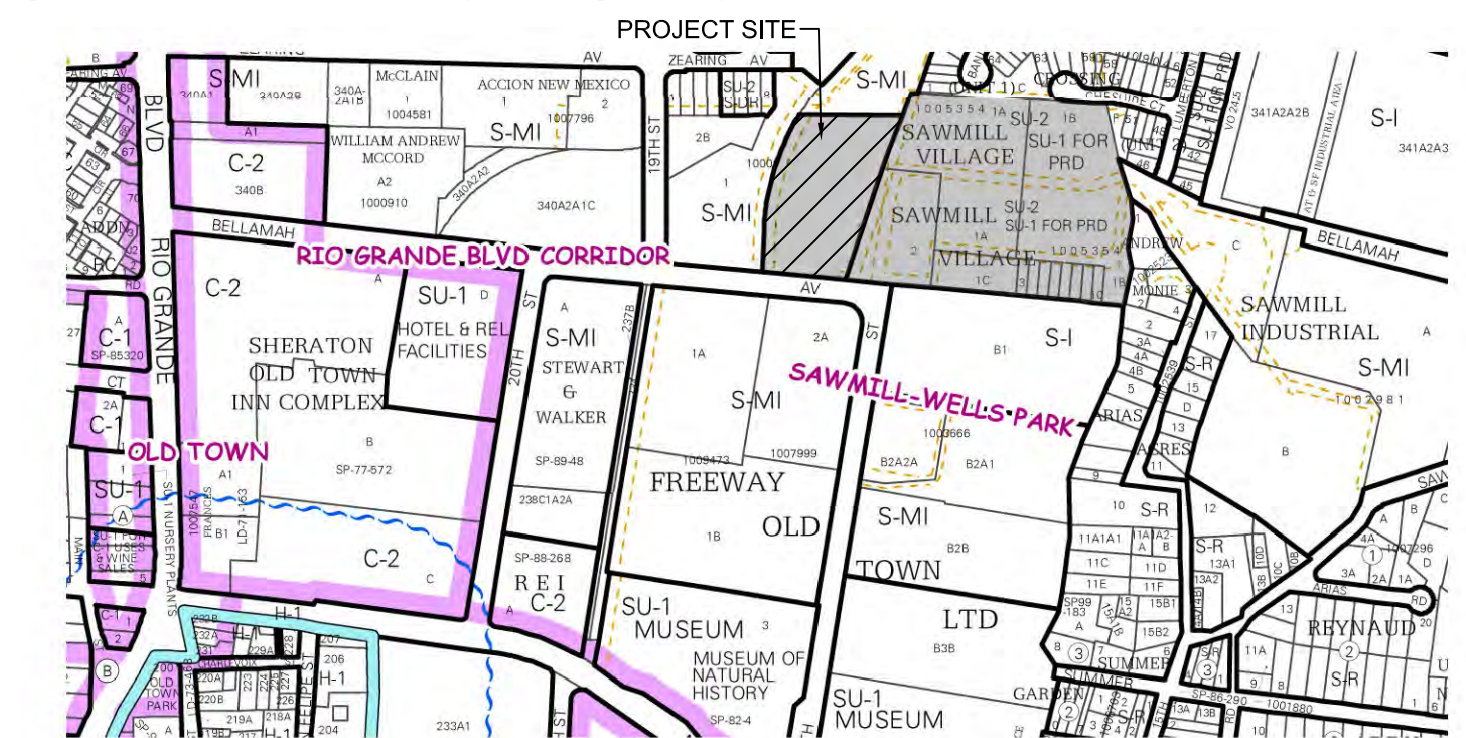
- REMAINING PORTION OF 20' CITY OF ALBUQUERQUE EASEMENT FILED SEPT. 24, 1968, BK. MISC. 151, PG. 32 AND 20' SOUTHERN UNION GAS CO. EASEMENT FILED FEB. 6, 1970 IN BOOK MS 163, PAGE 779
- 25' PUBLIC DRAINAGE EASEMENT PER PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106
- 30' EASEMENT TO THE CITY OF ALBUQUERQUE FILED APRIL 9, 1968, BK. MISC. 99, PG. 776 JUDGEMENT COURT CASE NO. A 19745 RECORDED APRIL 9, 1968 BOOK MISC. 99 PAGE 776
- 5' EASEMENT TO THE PUBLIC SERVICE COMPANY OF NM FILED MARCH 18, 1950, BK. D135, PG.547 AND THE ALBUQUERQUE GAS AND ELECTRIC COMPANY FILED SEPT. 4, 1950, BK. 144, PG. 218
- 30' EASEMENT TO B.N.A.S.F. RAILWAY COMPANY PER PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106 AND PER DOCUMENT FILED 4-14-2005, IN BK. A80, PAGE 1598
- PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT FILED 4-11-2005, IN VOL. 2005C, FOLIO 106
- ADDITIONAL PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT FILED APRIL 14, 2008 IN PLAT BOOK 2008C, PAGE 70

Building Data

PHASE	LOT SIZE	BUILDING FOOTPRINT	DESIGNATED SF	ACTIVE SPACE SF	TOTAL BUILDING SF
PHASE 1					
LOT 2		55,016	8,694	0	28,273
	BUILDING B				
	FL 1: Retail		4,891		
	FL 2 & 3: Condos - 20		3,000		
LOT 1		248,336	13,774	0	42,392
	BUILDING D1				
	FL 1: Active Spaces - 10			5,463	
	FL 1, 2, & 3: Apartments - 35				
	BUILDING D2		9,031	0	3,299
	FL 1: Active Spaces - 6				
	FL 1, 2, & 3: Apartments - 27				
	BUILDING E1		8,860	0	28,159
	FL 1, 2, & 3: Apartments - 27				
	BUILDING E2		9,434	0	30,595
	FL 1, 2, & 3: Apartments - 24				
	BUILDING E3		12,257	0	39,197
	FL 1, 2, & 3: Apartments - 33				
LOTS 3 - 10			21,732	0	17,294
	BUILDING F		8,647	0	
	Total of 8 lots = approx 2,700 SF Each				
TOTAL PHASE 1 BUILDINGS	325,084	70,697	7,891	8,762	213,359
PHASE 2					
	LOT SIZE	BUILDING FOOTPRINT	DESIGNATED SF	ACTIVE SPACE SF	TOTAL BUILDING SF
	109,475	6,500	8,500	10	19,500
	BUILDING A1				
	FL 1: Retail		8,500		
	FL 1: Active Spaces		400	5,200	
	FL 2 & 3: Apartments - (11 - 2 Bed, 2 - 1 Bed)				
	BUILDING A2		24,000		
	FL 1 & 2: Charter School (mid-high)				
	BUILDING C (NOT USED)				
TOTAL PHASE 2 BUILDINGS	109,475	30,500	8,900	5,210	57,800
TOTAL PHASE 1 AND PHASE 2 BUILDINGS	434,559	101,197	16,791	13,972	271,159

Notes:

1. Dwelling units not to exceed maximum of 190 units (Total dwelling units = 178)



VICINITY MAP

ZONE ATLAS PAGES H&J-13-Z

SHEET INDEX:

- | | |
|---------|---|
| SDP 1.0 | SITE DEVELOPMENT PLAN FOR BUILDING PERMIT |
| SDP 1.1 | ENLARGED SITE PLAN |
| SDP 1.2 | SITE DETAILS |
| SDP 2.0 | LANDSCAPE PLAN |
| SDP 3.0 | CONCEPTUAL GRADING & DRAINAGE |
| SDP 4.0 | UTILITY PLAN |
| SDP 5.0 | BUILDING A1 ELEVATIONS |
| SDP 5.1 | BUILDING A1 ELEVATIONS |
| SDP 5.2 | BUILDING A2 ELEVATIONS |
| SDP 5.3 | BUILDING A2 ELEVATIONS |

GENERAL NOTES

- PHASE II WILL BE CONSTRUCTED IN TWO STAGES:
 - PHASE II-A: BUILDING A1 AND RELATED SITE WORK
 - PHASE II-B: BUILDING A2 AND RELATED SITE WORK
- PHASE 1: ALL DEVELOPMENT ON LOTS 1-10
- SEE PLAT FOR ALL EASEMENTS

KEYED NOTES

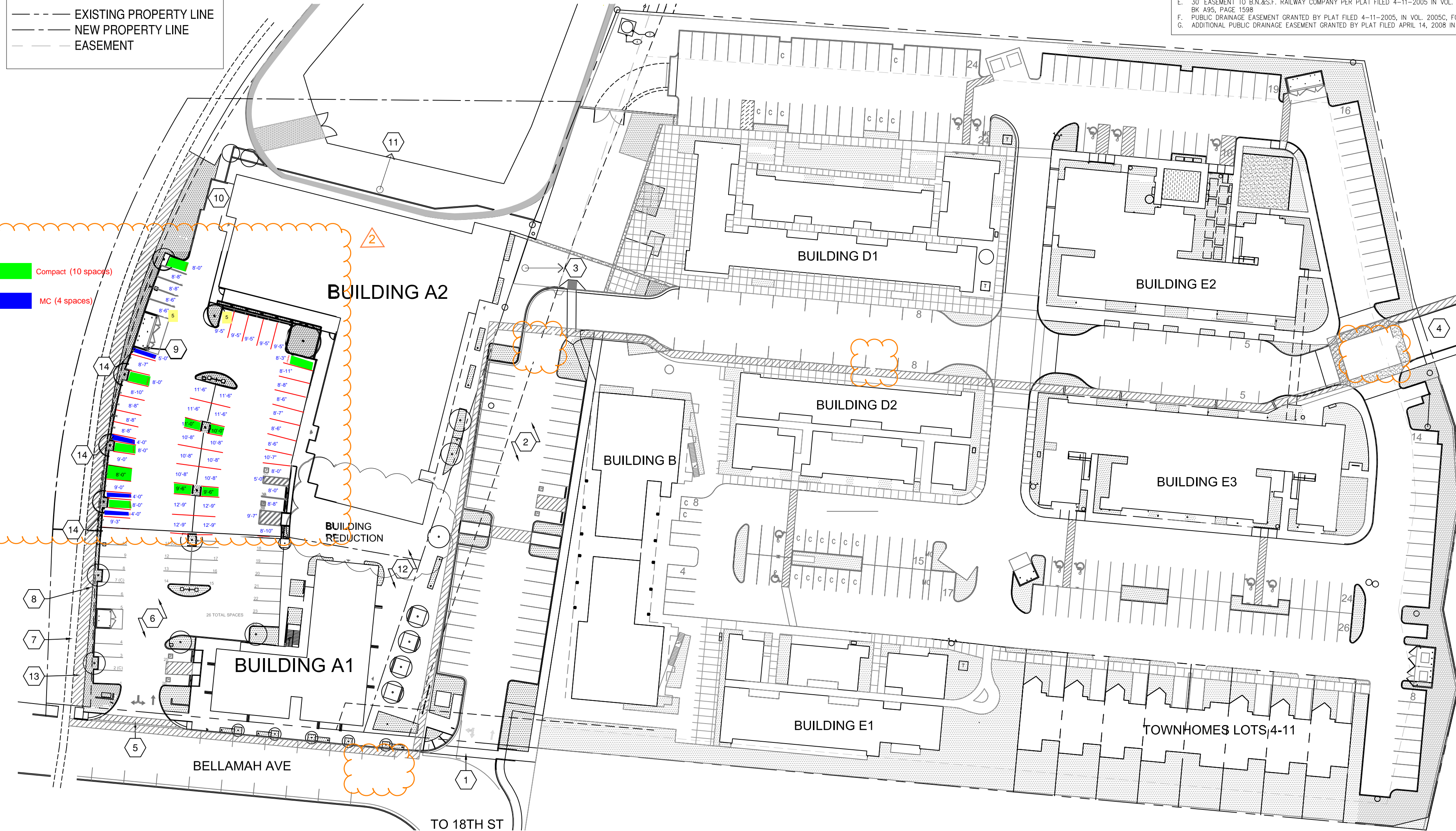
- EXISTING ENTRANCE DRIVEWAY COMPLETED AS PART OF PHASE 1 DEVELOPMENT
- EXISTING PARKING LOT TO REMAIN
- EXISTING PLAZA AND LANDSCAPING TO REMAIN
- POTENTIAL FUTURE CONNECTION TO BELLAMAH
- NEW ENTRANCE DRIVEWAY FOR PHASE 2 SITE
- NEW PARKING LOT, REFER TO SHEETS SDP 1.1 AND SDP 3.0
- EXISTING RAILROAD TRACKS
- NEW 6' HIGH "GREEN FENCE" ALONG RAILROAD TRACK AND EAST OF POTENTIAL FUTURE BIKE TRAIL. REFER TO SDP 2.0
- NEW REFUSE ENCLOSURE, REFER TO SHEET SDP 1.1 AND SDP 1.2
- EXTERIOR WALLED COURTYARD FOR BUILDING A2 USE
- "DRAINAGE POND" CONSTRUCTION: LANDSCAPE IS COMPLETED CURRENTLY BY A SEPARATE CONTRACT
- NEW PEDESTRIAN PLAZAS, WALKWAYS, AND LANDSCAPE PLAN. REFER TO SDP 1.1
- PER MRGOC'S 2040 LONG RANGE BIKEWAY SYSTEM MAP, A NEW PROPOSED UNPAVED BIKE ROUTE RUNS ALONG THE WEST PROPERTY LINE OF THE SITE. REFER TO SDP 1.1 FOR AREA SET ASIDE FOR THIS PROPOSED TRAIL. APPROPRIATE SIGNAGE WILL BE INCORPORATED IN DISCUSSION WITH THE AUTHORITY HAVING JURISDICTION.
- PROVIDE POSTED UPRIGHT SIGN CONSPICUOUSLY PLACED TO INDICATE MOTORCYCLE PARKING.

PROJECT NUMBER:

APPLICATION NUMBER:

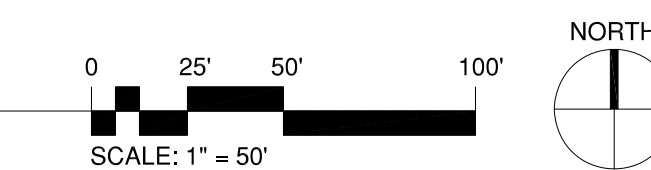
DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SITE PLAN: FULL DEVELOPMENT

1" = 50'



2415 PRINCETON DR. NE, SUITE G-2
 ALBUQUERQUE, NM 87107
 505.843.7587
 www.designplusllc.com
DESIGN PLUS LLC

SITE DEVELOPMENT PLAN
 FOR BUILDING PERMIT AND SUBDIVISION AMENDMENT
 SAWMILL VILLAGE
 BELLAMAH AVE NW AND 18TH ST
 ALBUQUERQUE, NM

DATE: 9/29/16
REVISIONS
1 7/28/2021
2 12/20/2021
CAD DWG FILE:
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CHECKED BY: RSE
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SHEET TITLE
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT AND SUBDIVISION
V.3 SDP 1.0 SHEET 0F 00