



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. 2022-006547

Application No. SI-2022-00216

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: 03/02/2022 HEARING DATE OF DEFERRAL: 05/04/2022

SUBMITTAL

DESCRIPTION: DRB - Site planning 2nd resubmittal city comments response

CONTACT NAME: Rose Miranda

TELEPHONE: (281) 854-6152 EMAIL: rose.miranda@hva.cc

May 4, 2022

To: Development Review Board
Albuquerque, NM
Attn: All City Reviewers

RE: Panda Express – S8-22-D8582
10126 Coors Blvd. NW
Albuquerque, NM 87114
RE: DRB Planning Review – 2nd Resubmittal
DRB Project Number: 2022-006547
App. Number: SI-2022-00216

To the City Reviewers,

We are providing the response to your comments in the statement below. Our responses are in **RED**.

Water Utility Authority: (Reviewer: Blaine Carter, P.E.)

1. Availability Statement #220101 has been requested and is in review. This statement is in holding pending provision of an easement document. The statement will set the criteria for service. An executed statement must be obtained prior to approval.

Response: Description for updated easements attached.

2. An Availability Statement will be required with this project.

Response: Acknowledge.

3. Pro rata is not owed for this project.

Response: Acknowledge.

4. This project is outside of the adopted service area:
 - a. This property has had an existing service account for water and sewer. A Service Connection Agreement is not required for parcels that have service accounts.

Response: Acknowledge

5. Utility Plan:
 - a. No objections

6. Infrastructure List:
 - a. The improvements required in the Availability Statement, if any, shall be incorporated into the infrastructure list.

Response: Acknowledge, will update the included infrastructure list if improvements are required.



7. Easements.
 - a. Demonstrate sufficient easement for the connection to the manhole to the north.
 - b. Proper private water and/or private sanitary sewer service easements shall be granted for access to public waterline and/or public sanitary sewer for proposed lots which do not have direct access. The width of the private service easement shall be determined by the engineer or surveyor.

Response: Description for updated utility easements attached.

Planning Dept.- Major Case: (Reviewer: Robert Webb/Jay Rodenbeck)

- The Solid Waste signature must be obtained on the Site Plan.
Response: Solid Waste signature is included in DRB Signature Block. Refer to sheet C01.0 and A-100.

- The subject property is located within the CPO-2 and VPO-1 overlay districts. All requirements of the CPO-2 and VPO-1 overlay districts must be met, including color and signage requirements.
Response: Per our knowledge, CPO-2 and VPO-1 overlay district have been met see sheets A-100 for overlay information, sheet A-202 for color information see Exterior Finish Schedule and refer to proposed signage drawings for pylon information.

- Update 4/4/22 - The Building Design requirements of 5-11(E) are met with the exception of the requirement to provide ground-floor transparent windows along at least 30% of the length of the façade. A 10% Deviation from that requirement has been applied for to Code Enforcement.
Response: Refer to detail 2/A-202 for information. Total street facing surface area is 976 sq.ft. and 30% of the required transparent windows and/or door is 292 sq.ft. Panda is proposing 264 sq.ft. which is 27% of the required. Per IDO 6-4(P) Deviations Table 6-4-1: Allowable Deviations, Panda is requesting a deviation to the IDO standards on any other numerical standard of 10%. Per this deviation, the façade is 3% within the required 10% allowed on the "Any other numerical standard" per this table.

- The % of the façade taken up by the wall signage must be included.
Response: Refer to sheet A-202 for the percentage of façade the taken by the wall signage. See detail 2/A202 for the Northwest elevation signage is 3.4%, detail 4/A202 for Northeast elevation signage is 2.5% and detail 3/A-202 - Southwest elevation signage is 2.5%

- AMAFCA has identified the drainage system in this application has and continues to damage the downstream drainage facility maintained by AMAFCA and the Middle Rio Grande Conservancy District. **AMAFCA recommends that this case be deferred until such issues are addressed and additional information is provided to AMAFCA for review.**
Response: AMAFCA comments are being addressed. The updated drainage plan in progress.



- Updated 4/4/22 – The parcel lies within the Coors Boulevard View Protection Overlay. The construction of a new building in a new location triggers the View Protection Analysis requirements of 3-6(D)(5)(b) Building Structure height, Bulk and Massing (View Plan) wherein no more than 1/3 of the height of buildings and structures may penetrate the view plan. The second test is 5-6(D)(5)(c) Building and Structure Bulk (View Frame). No more than 50% of the area in the view frame can be obscured by the bulk of the building and no portion of the building shall extend above the ridgeline of the Sandia mountains (Full detail in the IDO is given for this analysis)

Response: Drawings have been updated refer detail 1, 3 and 13/A-100 for overlay analysis of overlay.

Hydrology Section: (Reviewer: David G. Gutierrez, P.E.)

- Hydrology needs an approved Grading and Drainage Plan prior to approval of Site Plan for Building Permit.
 - Hydrology received the first submittal on 1/3/22 (B14D003B). Comments were sent on 1/27/22. Please resubmit the plans with comments addresses to PLNDRS@CABQ.GOV
 - **Hydrology recommends a minimum 4-week deferral to allow sufficient time for all concerns to be addressed**
- The site will need to provide AMAFCA review and address the concerns with the outfall of this site prior to any approvals from Hydrology as well

Response: AMAFCA comments are being addressed. The updated drainage plan and hydrology report is progress.

Code Enforcement: (Reviewer: Jeff Palmer)

1. Drive-through vehicle stacking space #12 is not compliant with IDO 5-5(I)(1)(a), interfering with site access/access to parking and internal circulation aisle. Should be continuous queuing lane to pick up window, as per IDO 5-5(I)(1)(b), including all 12 spaces required per Table 5-5-8.

Response: Refer to sheet A-100 and civils drawings for revised site plan. Sheet A-100 shows the required continuous queuing 12 spaces for drive-through vehicle stacking.

2. Parking calculations exceed what is required in IDO table 5-5-1 for Restaurant (8 spaces per 1000 gross square ft = $2.5 \times 8 = 20$ spaces required. You are welcome to have more parking than needed, but should modify correct parking calculations to include what is actually required, and what is provided.

Response: Refer to sheet A-100 calculation have been updated parking calculations.

3. Notes on submittal indicate “Signage design is in process.” All new signage must meet all standards of CPO-2 and IDO 5-12

Response: Refer to proposed signage drawings. Panda is proposing to re-use the existing “Free-standing sign”

4. The existing Free-Standing sign is a “Nonconforming Structure” and if utilized in new signage, it must meet all requirements of IDO 6-8, Nonconformities, and IDO 6-8(D), Nonconforming Structures.



- Cannot remove existing sign structure or increase its height – you must utilize existing poles, but can modify shape of sign face, as long as you do not exceed the square foot size of the existing sign face.

Response: Panda is proposing to re-use the existing poles structure but is modifying the shape of the sign cabinet and maintaining the square footage of the existing sign.

- If remove entire structure, then must comply with CPO-2 limits 9 ft height and 75 sq ft size.

Response: Panda is proposing to utilized the existing sign structure. Refer to Proposed signage drawings.

Transportation Development: (Reviewer: Jeanne Wolfenbarger, P.E.)

1. The Traffic Impact Study ha been approved by the City of Albuquerque, but NMDOT has infrastructure requirements that they plan on requesting.

Response: Traffic Impact Study (TIS) and offsite improvements plans will be submitted directly to NMDOT.

2. An infrastructure list shall include all public right-of-way improvements, including Coors Blvd. sidewalk.

Response: Infrastructure list is included. (Seet attached)

3. All work within Coors Blvd. right-of-way shall be coordinated with the NMDOT and require a state permit. Add note to this effect on the plan. Coordinate this sidewalk construction with the NMDOT.

Response: Noted, see General Note #6 on sheet C01.0

4. Include the driving aisle width along the east side of the site. With additional information, the curb radii look acceptable.

Response: Noted, see updates on sheet C03.0 and C03.1

5. Along with the curb and curb ramp details provided, reference the exact details as part of the keyed notes on the site plan.

Response: Noted, see updates on sheet C03.0 and C03.1

6. For the drive-thru, one-way, “Do Not Enter” signage, and pavement arrows shall be called out on the site plan.

Response: Noted, see updates on sheet C03.0 and C03.1 and A-100.

7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 “**Violators Are Subject to a Fine and/or Towing.**” If that language is present it is not visible in the detail.

Response: Noted, see updated detail 5 on sheet C03.2

8. Motorcycle and bicycle parking details are needed. These shall include bike rack details and motorcycle parking signage details.

Response: Noted, see detail 4 on sheet C03.3 and detail 1 on sheet C03.4 SIGN



9. Provide clear intersection sight distance triangle at the entrance. Reflect these on the site plan and landscaping plan. Provide standard note on landscaping height requirements within this sight triangle. ("Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.")

Response: Noted, see sheet C03.0, A-100 and L-1 for sight triangles and note.

Middle Rio Grande Conservancy District: (Reviewer:)

1. We do review surveys and the original plat filed was not correct as the Corrales Acequia's right of way is defined by MRGCD drawing #163-518-4443 previously sent. We would like it referenced and correctly shown, if possible. If not, the site does not need our approval.

Response: Approval from MRGCD not needed.

Rose Miranda, Assoc. AIA
Associate

Heights Venture

Architecture + Design

1111 North Loop West, Suite 800
Houston, Texas 77008

D: 281.854.6152
O: 713.869.1103

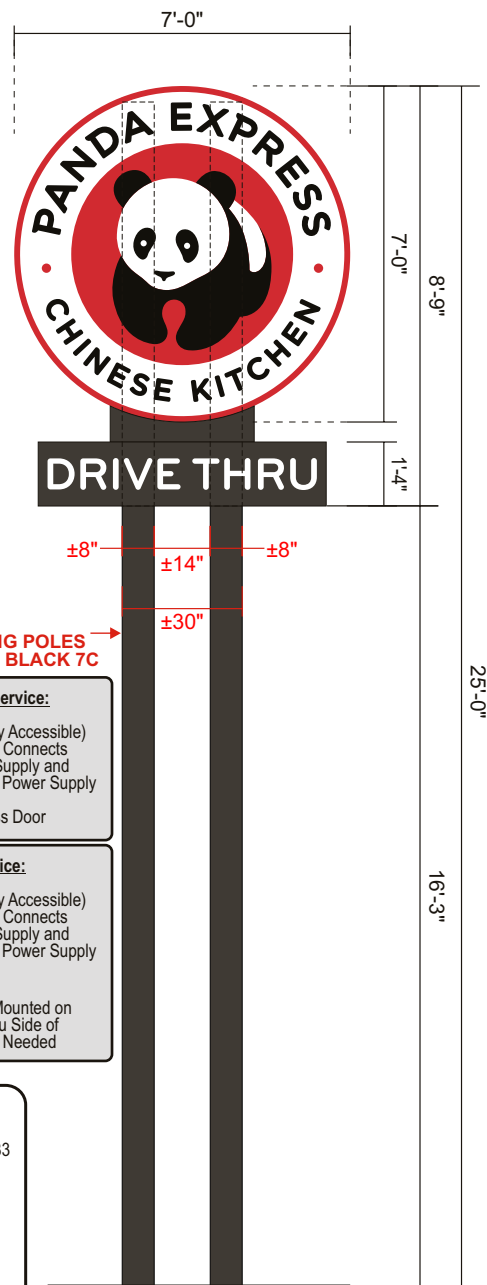
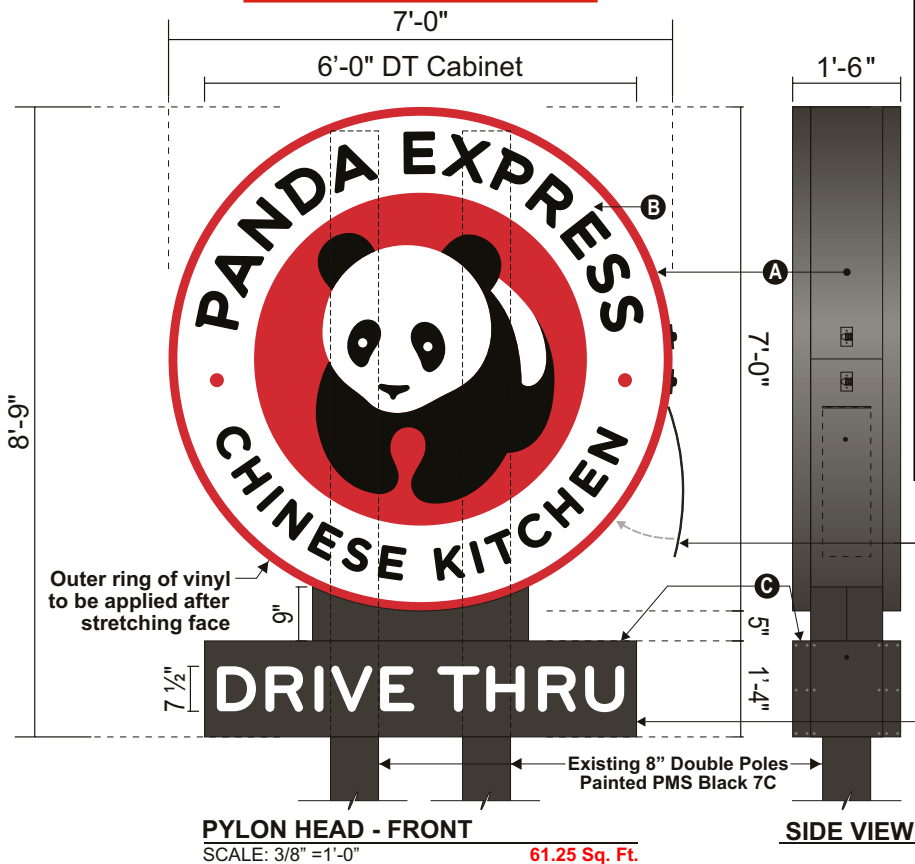


OPTION 1

P1 Illuminated D/F Pylon Head on Existing Poles (Qty. 1)

Install new D/F illuminated pylon head and DT cabinet on existing double poles. Specifications listed below.

CONCEPTUAL IMAGE ONLY



NOTE: USE EXISTING POLES PAINTED PMS BLACK 7C

Hinged Access Panel for Maintenance of Power Supplies.
All Upper Cabinet Power Supplies to be Mounted in this Immediate Location and Connected to LED Strips with Quick Connects

- Upper Cabinet Power Supply Service:**
- Open Hinged Access Panel (Power Supplies are Immediately Accessible)
 - Disconnect Power Supply Quick Connects
 - Remove Non-functional Power Supply and Replace with New, Functioning Power Supply
 - Reconnect Quick Connects
 - Close and Secure Hinged Access Door

End of Cabinets and Wrap Removable for Access to Power Supplies.
All Power Supplies to be Mounted in this Immediate Location and Connected to LED Strips with Quick Connects

- DT Cabinet Power Supply Service:**
- Remove End of Cabinet Wrap (Power Supplies are Immediately Accessible)
 - Disconnect Power Supply Quick Connects
 - Remove Non-functional Power Supply and Replace with New, Functioning Power Supply
 - Reconnect Quick Connects
 - Replace End of Cabinet Wrap
 - LEDs for DT Cabinet are to be Mounted on Slide Out Trays for Removal Thru Side of Cabinet in Case Replacement is Needed

A MAIN CABINET
FABRICATED CABINET WITH .090" CLADDING. LOGO DISC TO BE STANDARD CONST FLEX FACES WITH ZERO BLEED SIGNCOMP EXTRUSION; ILLUMINATED WITH D/F LED'S. ALL POWER SUPPLIES TO BE INSTALLED IN VICINITY OF HINGED ACCESS PANEL. ADDITIONAL ACCESS PANELS IN CABINET AS NECESSARY FOR INSTALL AND MAINTENANCE. EACH CABINET TO HAVE ELEC DISCONNECT SWITCH ON SAME SIDE FOR SERVICE.

B MAIN CABINET GRAPHICS
LOGO DISC: 3M LED PANAGRAPHIC FLEX FACE WITH SURFACE APPLIED VINYL DECALS. OUTER RED BORDER APPLIED AFTER STRETCHING FACE.
ILLUMINATION
DOUBLE-SIDED LED MODULES ON ALUM. RAILS SUSPENDED ON A CENTRAL RAIL

C DRIVE THRU CABINETS
.090" ALUMINUM FABRICATED CABINETS WITH .090" ALUM FACES; ROUTED AND BACKED GRAPHICS.
DRIVE THRU TEXT: .177" (B27) #7328 WHITE BAYER MAKROLON LD POLYCARBONATE
ILLUMINATION
SINGLE SIDED LED MODULES MOUNTED INSIDE CABINETS ON SLIDE OUT TRAYS W/ QUICK CONNECTS. POWER SUPPLIES TO BE LOCATED ON ONE END, ACCESSIBLE BY REMOVING END OF WRAP.

D FOOTING
INSTALLATION TO BE AS PER ENGINEERED COMPUTATIONS PER SIGN LOCATION TO MEET ALL LOCAL AND STATE BUILDING CODE REQUIREMENTS.
ELECTRICAL SERVICE AND CONNECTION TO SIGN TO BE PROVIDED BY OTHERS. ELEC SERVICE TO MEET ALL STATE AND LOCAL BUILDING CODES

COLORS
VINYL COLORS:
■ PMS 711C RED
■ 3M-SCOTCHCAL RED 3630-33
■ 3M 180C-22 Black
□ White (Panagraphics III)
CABINET COLORS:
■ PMS Black 7C

PYLON HEAD - FRONT
SCALE: 3/8" = 1'-0" 61.25 Sq. Ft.

SIDE VIEW

PROPOSED PYLON HEAD ON EXISTING POLES
SCALE: 1/4" = 1'-0"

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

PANDA EXPRESS - COORS BLVD AND OLD AIRPORT RD
(LT 2A-1 PLAT OF LTS 1A, 2A-1 & 2B-1 NE POR OF BLACK RANCH CONT 1.2490 AC M/L OR 54,406 SF M/L)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Engineers Certification	City Inspector	City Project Engineer
PUBLIC ROADWAY IMPROVEMENTS (ON-SITE)									
[]	[]		STREET WIDENING STREET RESTRIPING SIDEWALK	COORS BLVD NW	500' SOUTH OF OLD AIRPORT RD AND COORS BLVD INTERSECTION	200' NORTH OF OLD AIRPORT RD AND COORS BLVD INTERSECTION	/	/	/

EXHIBIT A

LEGAL DESCRIPTION
For
SANITARY SEWER EASEMENT
within LOT 2B-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2022

A CERTAIN STRIP OF LAND TO BE DESIGNATED AS A "SANITARY SEWER EASEMENT" SITUATE WITHIN LOT 2B-1, NORTHEAST PORTION OF BLACK RANCH AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULAR DESCRIBED BY NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

COMMENCING AT THE TRUE POINT OF BEGINNING, BEING A POINT ON THE SOUTHERLY LOT LINE OF SAID LOT 2B-1 AND THE SOUTHWEST CORNER OF THE EASEMENT HEREIN DESCRIBED FROM WHENCE ALBUQUERQUE CONTROL STATION "8-B14 2003" HAVING NAD 1983 STATE PLANE COORDINATE VALUES OF NORTHING: 1,528,602.961 FEET AND EASTING: 1,521,096.792 FEET BEARS S.70°58'47"W., A DISTANCE OF 271.26 FEET; THENCE,

N.32°57'28"E., A DISTANCE OF 45.00 FEET TO A POINT; THENCE,

S.57°01'39"E., A DISTANCE OF 30.00 FEET TO A POINT; THENCE,

S.32°57'28"W., A DISTANCE OF 45.00 FEET TO A POINT; THENCE,

N.57°01'39"W., A DISTANCE OF 30.00 FEET TO THE TRUE POINT OF BEGINNING;

SAID EASEMENT HEREIN DESCRIBED HAVING AN AREA OF 0.0310 ACRES (1,350.00 SQ. FT.), MORE OR LESS.

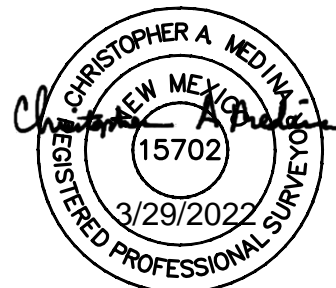
I, Christopher A. Medina, New Mexico Professional Surveyor No. 15702, do hereby certify that this Legal Description and Exhibit were prepared by me or under my direct supervision and direction, meets the Minimum Standards for Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Christopher A Medina

MARCH 29, 2022

Christopher A. Medina, New Mexico Professional Surveyor No. 15702

DATE



TERRA LAND SURVEYS, LLC

P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

SHEET 1 OF 2

EXHIBIT A

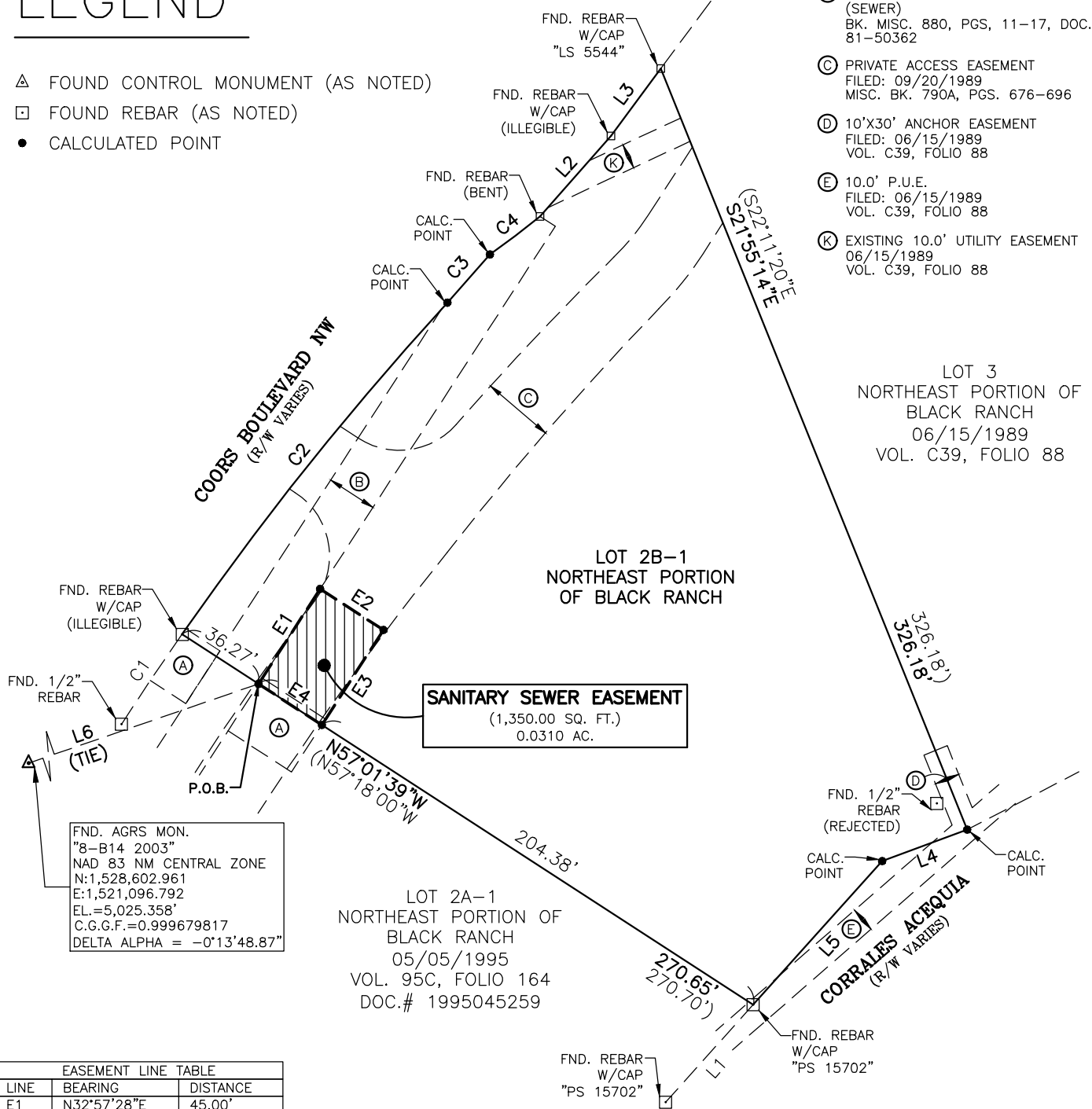
SKETCH showing
SANITARY SEWER EASEMENT
 within LOT 2B-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
 MARCH 2022

EASEMENT LEGEND:

- (A) NEW MEXICO UTILITY EASEMENT
FILED: 06/15/1989
VOL. C39, FOLIO 88
- (B) 20.0' NEW MEXICO UTILITY EASEMENT (SEWER)
BK. MISC. 880, PGS. 11-17, DOC.# 81-50362
- (C) PRIVATE ACCESS EASEMENT
FILED: 09/20/1989
MISC. BK. 790A, PGS. 676-696
- (D) 10'X30' ANCHOR EASEMENT
FILED: 06/15/1989
VOL. C39, FOLIO 88
- (E) 10.0' P.U.E.
FILED: 06/15/1989
VOL. C39, FOLIO 88
- (K) EXISTING 10.0' UTILITY EASEMENT
06/15/1989
VOL. C39, FOLIO 88

LEGEND

- △ FOUND CONTROL MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)
- CALCULATED POINT



FND. AGRS MON.
 "8-B14 2003"
 NAD 83 NM CENTRAL ZONE
 N:1,528,602.961
 E:1,521,096.792
 EL.=5,025.358'
 C.G.G.F.=0.999679817
 DELTA ALPHA = -0°13'48.87"

LOT 2A-1
 NORTHEAST PORTION OF
 BLACK RANCH
 05/05/1995
 VOL. 95C, FOLIO 164
 DOC.# 1995045259

LOT 3
 NORTHEAST PORTION OF
 BLACK RANCH
 06/15/1989
 VOL. C39, FOLIO 88

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E1	N32°57'28"E	45.00'
E2	S57°01'39"E	30.00'
E3	S32°57'28"W	45.00'
E4	N57°01'39"W	30.00'

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	1281.84'	43.18'	43.17'	N33°55'22"E	1°55'48"	21.59'
	(1281.84')	(43.21')	(43.21')	(N33°40'12"E)	(1°55'53")	
C2	1281.84'	168.95'	168.83'	N38°39'49"E	7°33'07"	84.69'
	(1281.84')	(168.92')	(168.80')	(N38°24'19"E)	(7°33'01")	
C3	954.93'	25.59'	25.59'	N41°33'17"E	1°32'08"	12.80'
	(954.93')	(25.59')	(25.59')	(N41°24'50"E)	(1°32'08")	
C4	497.96'	25.00'	24.99'	N52°38'24"E	2°52'34"	12.50'
	(497.96')	(25.21')	(25.24')	(N52°29'06"E)	(2°54'03")	

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S41°54'21"W	52.16'
	(S41°41'06"W)	(52.20')
L2	N41°25'10"E	42.60'
	(N41°06'05"E)	(42.49')
L3	N36°29'47"E	33.36'
	(N36°13'41"E)	(33.37")
L4	S69°42'37"W	36.03'
	(S69°29'19"W)	(36.06')
L5	S41°54'21"W	76.74'
	(S41°41'06"W)	(76.80')
L6	S70°58'47"W	271.26'

NOTES:

1. FIELD SURVEY PERFORMED ON MAY 2021.
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. BASIS OF BEARINGS IS STATE PLANE NAD 83 NM CENTRAL ZONE DATUM.
4. THIS SURVEY DOES NOT CREATE A LAND DIVISION OR SUBDIVISION AS DEFINED BY THE NEW MEXICO SUBDIVISION ACT. THIS SURVEY IS AN EASEMENT SURVEY.

TERRA LAND SURVEYS, LLC

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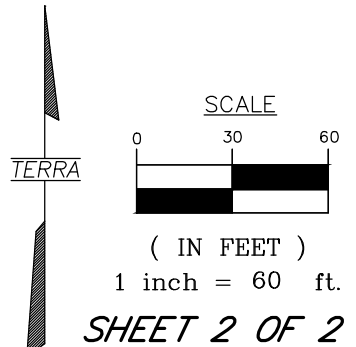


EXHIBIT A

LEGAL DESCRIPTION
For
WATER UTILITY EASEMENT
within LOT 2A-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2022

A CERTAIN STRIP OF LAND TO BE DESIGNATED AS A "WATER UTILITY EASEMENT" SITUATE WITHIN LOT 2A-1, NORTHEAST PORTION OF BLACK RANCH AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULAR DESCRIBED BY NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

COMMENCING AT THE TRUE POINT OF BEGINNING, BEING THE SOUTHWEST CORNER OF SAID EASEMENT HEREIN DESCRIBED FROM WHENCE ALBUQUERQUE CONTROL STATION "8-B14 2003" HAVING NAD 1983 STATE PLANE COORDINATE VALUES OF NORTHING: 1,528,602.961 FEET AND EASTING: 1,521,096.792 FEET BEARS N.67°14'07"W., A DISTANCE OF 200.25 FEET; THENCE,

N.32°57'28"E., A DISTANCE OF 20.00 FEET TO A POINT; THENCE,

S.57°02'32"E., A DISTANCE OF 5.00 FEET TO A POINT; THENCE,

S.32°57'28"W., A DISTANCE OF 20.00 FEET TO A POINT; THENCE,

N.57°02'32"W., A DISTANCE OF 5.00 FEET TO THE TRUE POINT OF BEGINNING;

SAID EASEMENT HEREIN DESCRIBED HAVING AN AREA OF 0.0023 ACRES (100.00 SQ. FT.), MORE OR LESS.

I, Christopher A. Medina, New Mexico Professional Surveyor No. 15702, do hereby certify that this Legal Description and Exhibit were prepared by me or under my direct supervision and direction, meets the Minimum Standards for Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Christopher A Medina

Christopher A. Medina, New Mexico Professional Surveyor No. 15702

MARCH 29, 2022

DATE



TERRA LAND SURVEYS, LLC

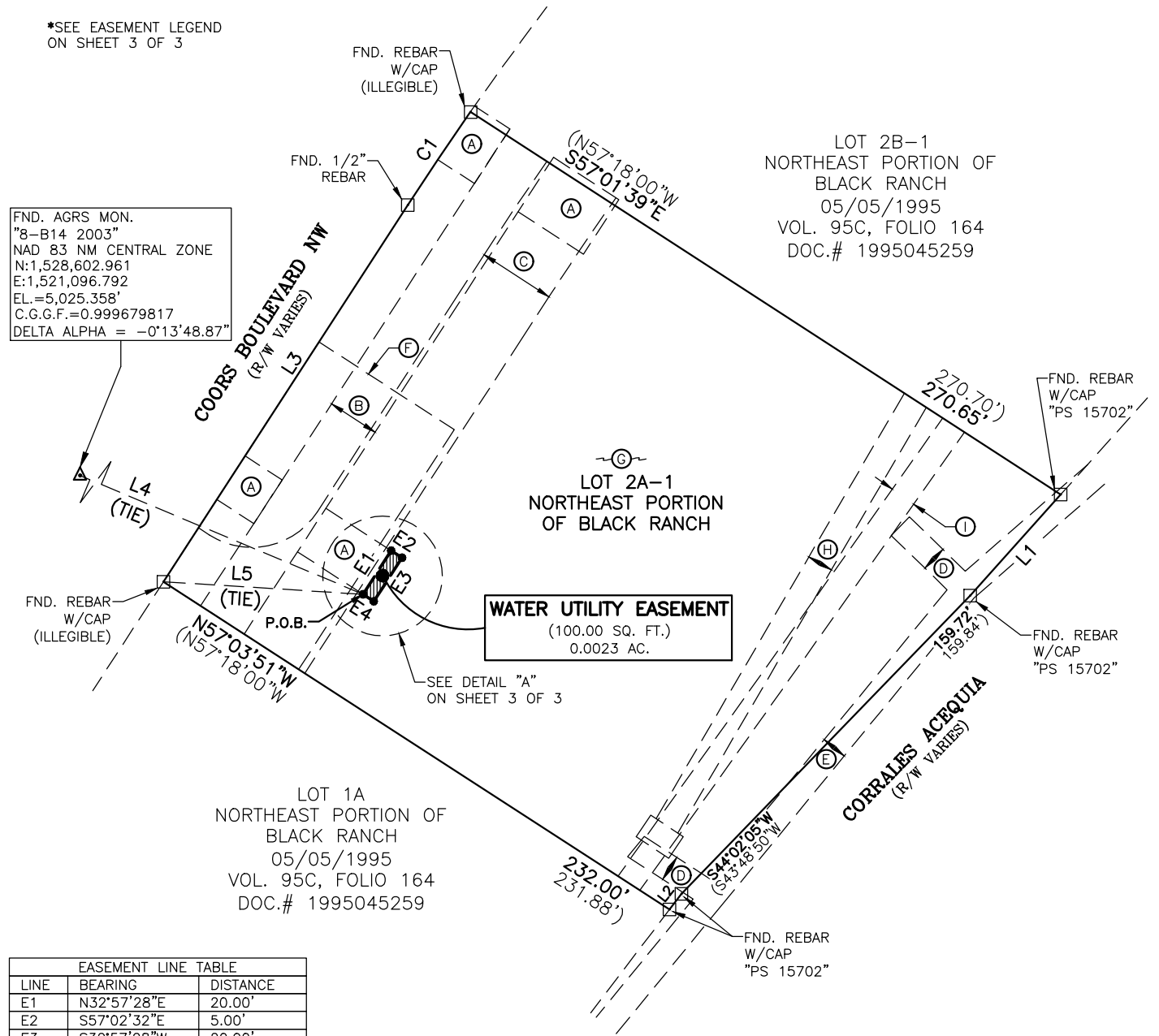
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

SHEET 1 OF 3

EXHIBIT A

SKETCH showing
 WATER UTILITY EASEMENT
 within LOT 2A-1
 NORTHEAST PORTION OF BLACK RANCH
 TOWN OF ALAMEDA GRANT
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2022

*SEE EASEMENT LEGEND
 ON SHEET 3 OF 3



FND. AGRS MON.
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 NAD 83 NM CENTRAL ZONE
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LOT 2B-1
 NORTHEAST PORTION OF
 BLACK RANCH
 05/05/1995
 VOL. 95C, FOLIO 164
 DOC.# 1995045259

WATER UTILITY EASEMENT
 (100.00 SQ. FT.)
 0.0023 AC.

LOT 1A
 NORTHEAST PORTION OF
 BLACK RANCH
 05/05/1995
 VOL. 95C, FOLIO 164
 DOC.# 1995045259

EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
E1	N32°57'28"E	20.00'
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E3	S32°57'28"W	20.00'
E4	N57°02'32"W	5.00'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S41°54'21"W	52.16'
	(S41°41'06"W)	(52.20')
L2	S37°20'54"W	7.58'
	(S37°07'39"W)	(7.59')
L3	N32°57'28"E	172.82'
	(N32°42'00"E)	(172.77')
L4	N67°14'07"W	200.25'
L5	N86°25'30"W	76.89'

CURVE TABLE						
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	1281.84'	43.18'	43.17'	N33°55'22"E	1°55'48"	21.59'
	(1281.84')	(43.21')	(43.21')	(N33°40'12"E)	(1°55'53")	

NOTES:

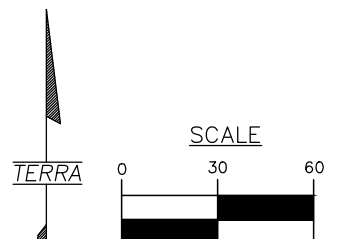
1. FIELD SURVEY PERFORMED ON MAY 2021.
2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
3. BASIS OF BEARINGS IS STATE PLANE NAD 83 NM CENTRAL ZONE DATUM.
4. THIS SURVEY DOES NOT CREATE A LAND DIVISION OR SUBDIVISION AS DEFINED BY THE NEW MEXICO SUBDIVISION ACT. THIS SURVEY IS AN EASEMENT SURVEY.

TERRA LAND SURVEYS, LLC

P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

LEGEND

- △ FOUND CONTROL MONUMENT (AS NOTED)
- FOUND REBAR (AS NOTED)



(IN FEET)
 1 inch = 60 ft.

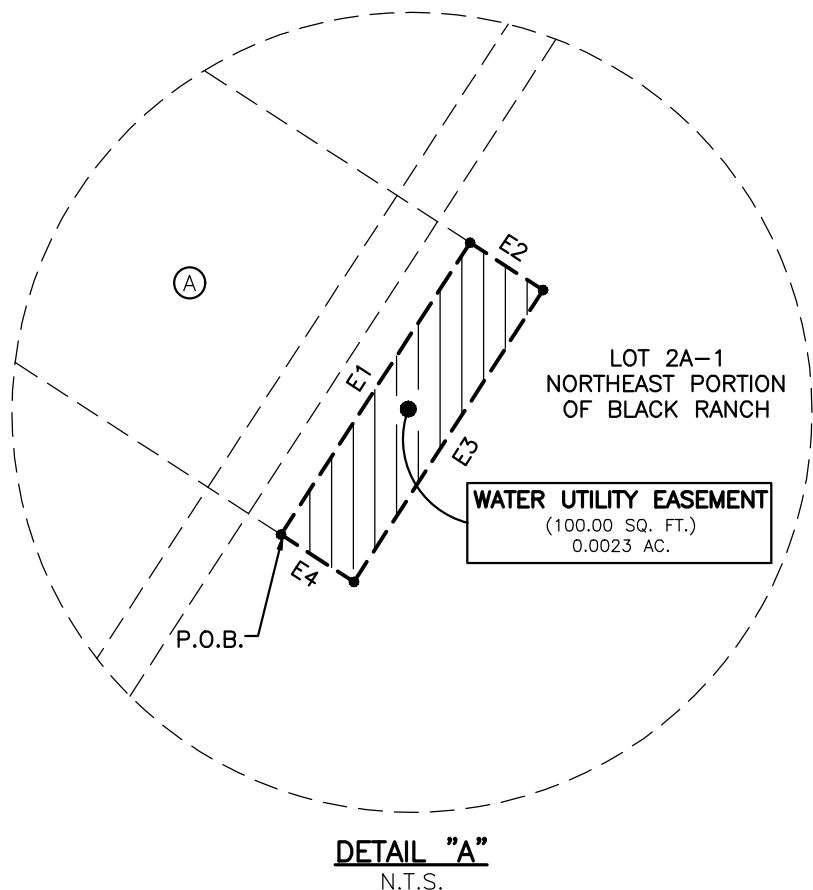
SHEET 2 OF 3

EXHIBIT A

SKETCH showing
WATER UTILITY EASEMENT
within LOT 2A-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2022

EASEMENT LEGEND:

- (A) NEW MEXICO UTILITY EASEMENT
FILED: 06/15/1989
VOL. C39, FOLIO 88
- (B) 20.0' NEW MEXICO UTILITY EASEMENT
(SEWER)
BK. MISC. 880, PGS. 11-17, DOC.#
81-50362
- (C) PRIVATE ACCESS EASEMENT
FILED: 09/20/1989
MISC. BK. 790A, PGS. 676-696
- (D) 10'X30' ANCHOR EASEMENT
FILED: 06/15/1989
VOL. C39, FOLIO 88
- (E) 10.0' P.U.E.
FILED: 06/15/1989
VOL. C39, FOLIO 88
- (F) TEMPORARY CONSTRUCTION EASEMENT
FILED: 12/12/2002
BK. A46, PG. 5682
- (G) A RECIPROCAL CROSS-LOT DRAINAGE,
PARKING AND ACCESS EASEMENT
SHALL ENCUMBER ALL LOTS.
FILED: 05/05/1995
VOL. 95C, FOLIO 164
- (H) 10.0' PUBLIC SERVICE COMPANY OF
NEW MEXICO UNDERGROUND EASEMENT
FILED: 02/27/1996
DOC.# 1996022290
(APPROXIMATE LOCATION DUE TO
VAGUE DESCRIPTION)
- (I) 10.0' PNM GAS SERVICES RIGHT OF
WAY & EASEMENT
FILED: 03/01/1996
DOC.# 1996023828
(APPROXIMATE LOCATION DUE TO
VAGUE DESCRIPTION)



TERRA LAND SURVEYS, LLC

P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

SHEET 3 OF 3

PANDA EXPRESS



S8-22-D8582

DRB SUBMITTAL SET

10126 COORS BLVD. NW.
ALBUQUERQUE, NM 87114

DRB - PR-2022-006547

SI-2022-00216

OWNER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE. ROSEMEAD, CA 91770 T: 626-799-9898 F: 626-372-8288 CONTACT: CLAY WORTHY	ARCHITECT HEIGHTS VENTURE ARCHITECTS LLP 1111 NORTH LOOP W. SUITE 800 HOUSTON, TX 77068 T: 281-854-6119 (ERIC ABELN) T: 281-854-6152 (ROSE MIRANDA) CONTACT: ERIC ABELN	STRUCTURAL JAMES F. TURNER ENGINEERS, LP 8340 MEADOW ROAD, SUITE 160 DALLAS, TX 75231 T: 214-750-2900 CONTACT: RON WHITTINGTON	CIVIL RTM ENGINEERING CONSULTANT 650 E. ALGOUNQUIN RD., SUITE 250 SCHAMBERG, IL 60173 T: 815-775-4180 CONTACT: TIM SHOEMAKER
--	---	---	---

TEAM DIRECTORY	
Scale= NTS G-001	

PLANNING/ZONING PLANNING ZONING DEPARTMENT 600 600 SECOND NW (PLAZA DEL SOL BUILDING) ALBUQUERQUE, NM 87102 T: 505-924-3860 CONTACT: RICK DE REYES	BUILDING DEPARTMENT BUILDING DEPARTMENT - COMMERCIAL PLAN 600 SECOND NW (PLAZA DEL SOL BUILDING) ALBUQUERQUE, NM 87102 T: 505-924-3860 CONTACT: DEAN KADELL	PUBLIC WORKS ENGINEERING DEPARTMENT 600 SECOND NW (PLAZA DEL SOL BUILDING) ALBUQUERQUE, NM 87102 EMAIL: MGRUSH@CABQ.GOV T: 505-924-3931 CONTACT: MATTHEW GRUSH	GAS / ELECTRIC 414 SILVER AVE. SW. ALBUQUERQUE, NM 87102 T: 888-245-3659 CONTACT: BUSINESS CUSTOMER
WATER / SEWER ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY ONE CIVIC PLAZA NW., ROOM 5027 ALBUQUERQUE, NM 87102 T: 505-289-3304 CONTACT: CHRIS GUSTAFSON	FIRE DEPARTMENT FIRE DEPARTMENT 11500 SUNSET GARDENS SW ALBUQUERQUE, NM 87121 CONTACT: LT. TOM RUIZ	HEALTH DEPARTMENT	TELEPHONE COMPANY CENTURY LINK COMMUNICATIONS 6TH STREET AND GOLD AVE. STATION ALBUQUERQUE, NM 87102 T: 505-398-4278 CONTACT: BUSINESS CUSTOMER

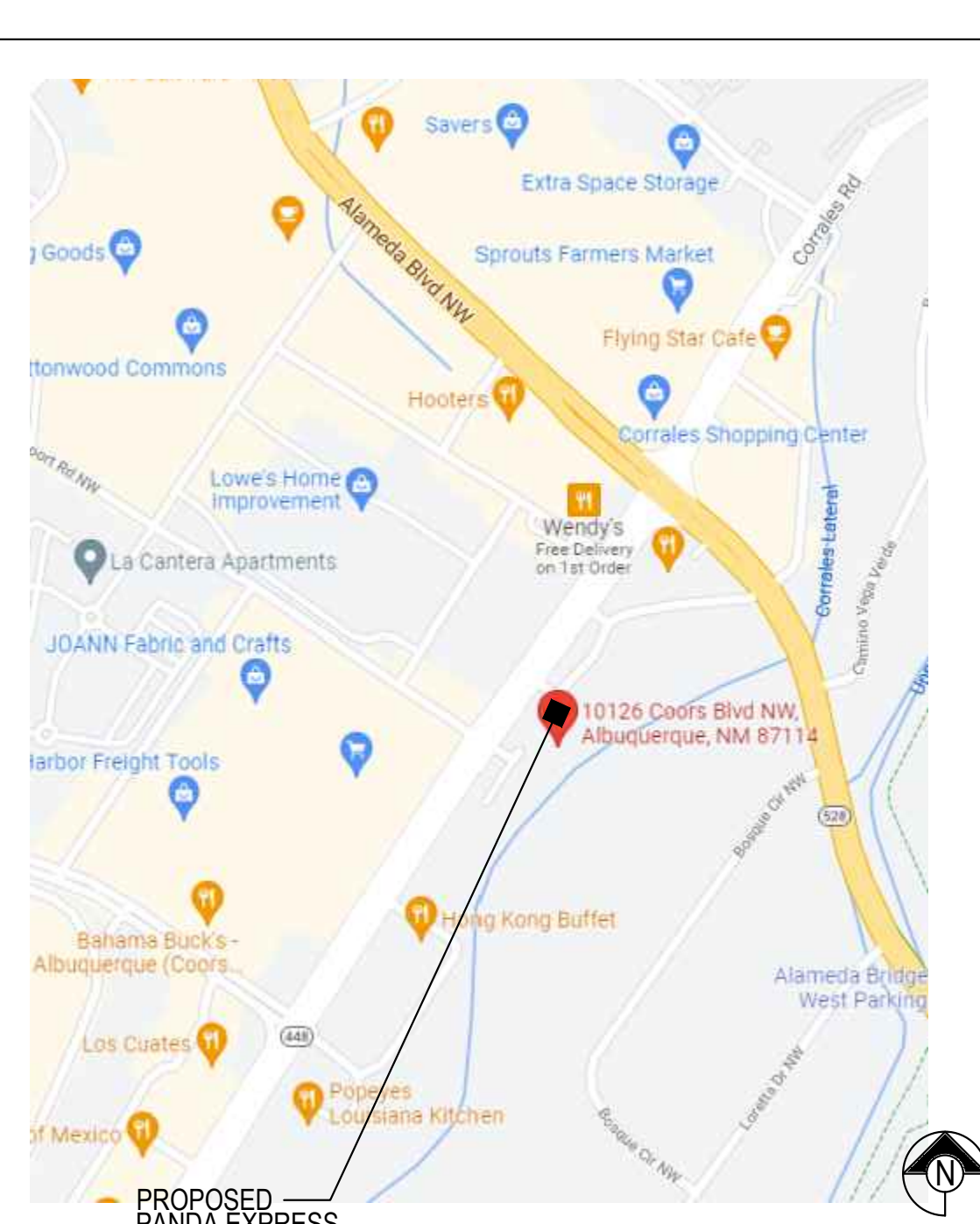
JURISDICTIONAL AUTHORITIES	
Scale= NTS G-001	

- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULLY EXAMINE THE SITE CONDITION, AND AVAILABLE UTILITIES AND TO NOTIFY THE OWNER'S REPRESENTATIVE, IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THESE DRAWINGS. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE MADE OR SHALL BE VALID UNLESS WRITTEN NOTIFICATION IS RECEIVED BY THE OWNER'S REPRESENTATIVE AND THE ADDITIONAL COMPENSATION IS APPROVED IN ADVANCE OF PROCEEDING WITH THE WORK.
- IN ADDITION TO THE GENERAL NOTES LISTED HEREIN, A.I.A. DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL APPLY.
- ALL WORK SHALL BE PERFORMED AS TO COMPLY WITH ALL GOVERNING STATUTES, ORDINANCES, REGULATIONS, CODES AND INSURANCE RATING BOARDS. NO WORK SHALL COMMENCE UNTIL ALL GOVERNMENTAL AND JURISDICTIONAL PERMITS AND APPROVALS ARE OBTAINED.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION THEREOF.
- UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR INSTALL OR PERMIT TO BE INSTALLED, ANY MATERIALS CONTAINING ASBESTOS.
- THE TERM "OWNER" OR "TENANT" SHALL REFER TO PANDA EXPRESS AND ITS AGENTS OR REPRESENTATIVES. THE TERM "GENERAL CONTRACTOR" AND "G.C." SHALL REFER TO THE PERSON AND/OR PERSONS WHO HAVE CONTRACTED OR SUBCONTRACTED FOR THE WORK.
- THE ABBREVIATION OF "N.I.C." INDICATES WORK AND OR MATERIAL THAT IS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR, HOWEVER THIS DOES NOT RELIEVE THE G.C. OF THE RESPONSIBILITY OF COORDINATION.
- NOT USED ADD TDLR # FOR TEXAS PROJECTS. KEEP, "NOT USED" FOR ALL OTHER LOCATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDIVIDUALLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- ALL WALL & CEILING CONSTRUCTION SHALL BE SUPPORTED BY STRUCTURE & NOT BY ROOF DECK IF APPLICABLE.
- IT IS THE G.C.'S RESPONSIBILITY TO MAKE SURE EACH SUB HAS THE FULL SET OF DRAWINGS FROM WHICH TO BASE THEIR ESTIMATE. IF CONFLICTS ARISE AFTER THE BID THE G.C. ACCEPTS FULL RESPONSIBILITY FOR COST INCREASES IF THE SUB WAS NOT GIVEN THE FULL SET OF DRAWINGS.

GENERAL NOTES	
Scale= NTS G-001	

<p>AFF ABOVE FINISHED FLOOR</p> <p>ALUM. ALUMINUM</p> <p>BV BALL VALVE (FULL PORT)</p> <p>B.O. BOTTOM OF</p> <p>C. CONDUIT</p> <p>CO CONDUIT ONLY</p> <p>CW COLD WATER</p> <p>(E) EXISTING</p> <p>EC ELECTRICAL CONTRACTOR</p> <p>EWH ELECTRICAL WATER HEATER</p> <p>EXT. EXTERIOR</p> <p>FOT FACE OF FINISH</p> <p>FOS FACE OF STUD</p> <p>F.S. FLOOR SINK</p> <p>G.C. OR GC GENERAL CONTRACTOR</p> <p>H.W. HOT WATER</p> <p>ID INDIRECT DRAIN</p> <p>INT. INTERIOR</p> <p>K.E.C. KITCHEN EQUIP. CONTRACTOR</p> <p>L.L. LANDLORD</p> <p>MC MECHANICAL CONTRACTOR</p> <p>(N) NEW</p> <p>NIC NOT IN CONTRACT</p> <p>NTS NOT TO SCALE</p> <p>OA OUTSIDE AIR</p> <p>O.C. ON CENTER</p> <p>PC PLUMBING CONTRACTOR</p> <p>RAR RETURN AIR REGISTER</p> <p>R.I.H. ROUGH-IN HEIGHT</p> <p>S.S. STAINLESS STEEL</p> <p>STL. STEEL</p> <p>STRUCT. STRUCTURE, STRUCTURAL</p> <p>T.O. TOP OF</p> <p>WCO WASTE CLEAN OUT</p>	<p>(D1) DOOR TYPE</p> <p>(W1) WINDOW TYPE</p> <p>TA FLOOR FINISH</p> <p>WA WALL TYPE</p> <p>1 STRUCTURAL GRID</p> <p>(E) EXISTING</p> <p>EC CEILING FINISH</p> <p>(P-C) WALL FINISH</p> <p>34 KITCHEN EQUIPMENT</p> <p>101 ROOM NUMBER</p> <p>MARK OF ELEVATION</p> <p>AA1.0 DETAIL</p> <p>1/A-2.0 INT. ELEVS</p> <p>A/A-2.0 SECTION</p> <p>NEW DOOR</p> <p>(T) TEMPERED GLAZING</p> <p>A/A-2.0 EXT. ELEVS</p>
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ABBREVIATIONS	
Scale= NTS G-001	



VICINITY MAP	
Scale= NTS G-001	



KEY PLAN	
Scale= NTS G-001	

GENERAL	DRB SUBMITTAL	DRB 1st RESUBMITTAL	DRB 2nd RESUBMITTAL
G-001			
G-002			
G-003			
G-004			
G-005			
G-006			
CIVIL			
C01.0			
C01.1			
C02.0			
C02.1			
C03.0			
C03.1			
C03.2			
C03.3			
C03.4			
C04.0			
C04.1			
C04.2			
C05.0			
C05.1			
C06.0			
EH.01			
EH.02			
F1			
LANDSCAPE			
L01.0			
L01.1			
ARCHITECTURAL			
A-100			
A-101			
A-102			
A-103			
A-104			
A-105			
A-106			
A-107			
A-108			
A-109			
A-200			
A-201			
A-202			
A-301			
A-302			
A-303			
A-304			
A-305			
A-400			
A-400.1			
A-400.2			
A-401			
A-402			
A-403			
A-404			
A-405			
A-406			
A-407			
A-500			
A-501			
A-502			
A-503			
A-600			
STRUCTURAL			
S-000			
S-100			
S-101			
S-200			
S-201			
S-300			
S-301			
PLUMBING			
P-100			
P-101			
P-400			
P-500			
MECHANICAL			
M-000			
M-100			
M-400			
M-401			
M-402			
M-403			
M-404			
M-500			
M-501			
ELECTRICAL			
E-000			
E-001			
E-100			
E-101			
E-101.1			
E-102			
E-104			
E-105			
E-106			
E-200			
E-400			
E-401			
E-601			



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

△ DRB RESUBMITTAL	04-06-22
△ DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY: RMKS

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: 21084



Heights Venture ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800
77008
713.869.1103 V

DALLAS 5741 Legacy Drive, Suite 320
75024
972.490.7292 V

PANDA EXPRESS
TRUE WARM & WELCOME
10126 COORS BLVD. NW
ALBUQUERQUE, NM 87114

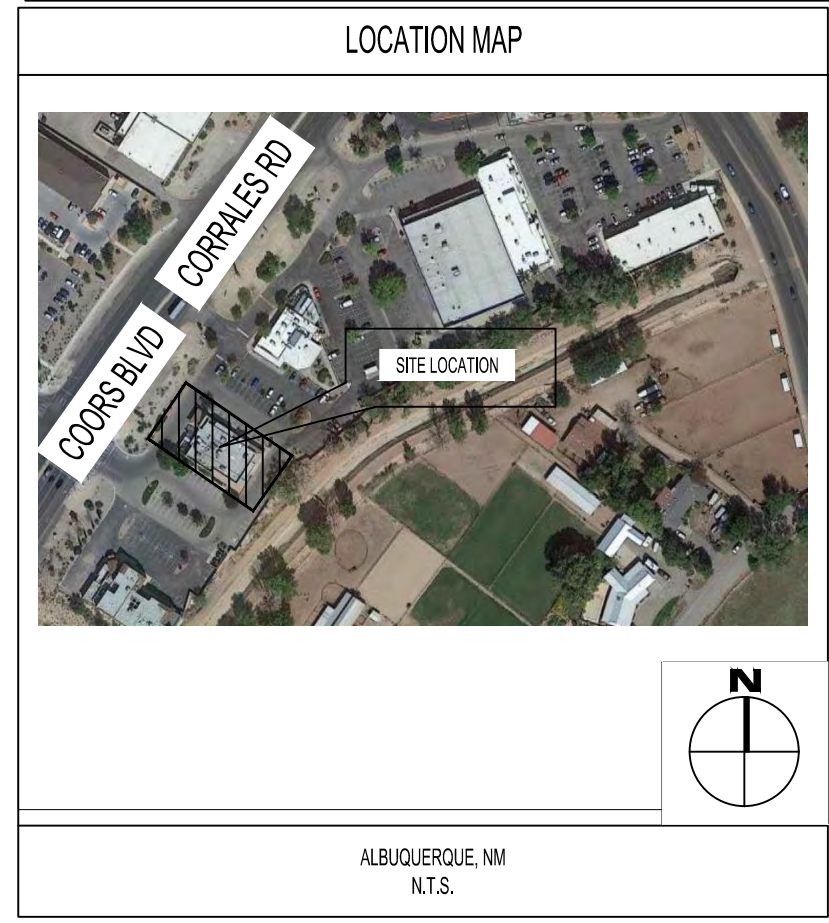
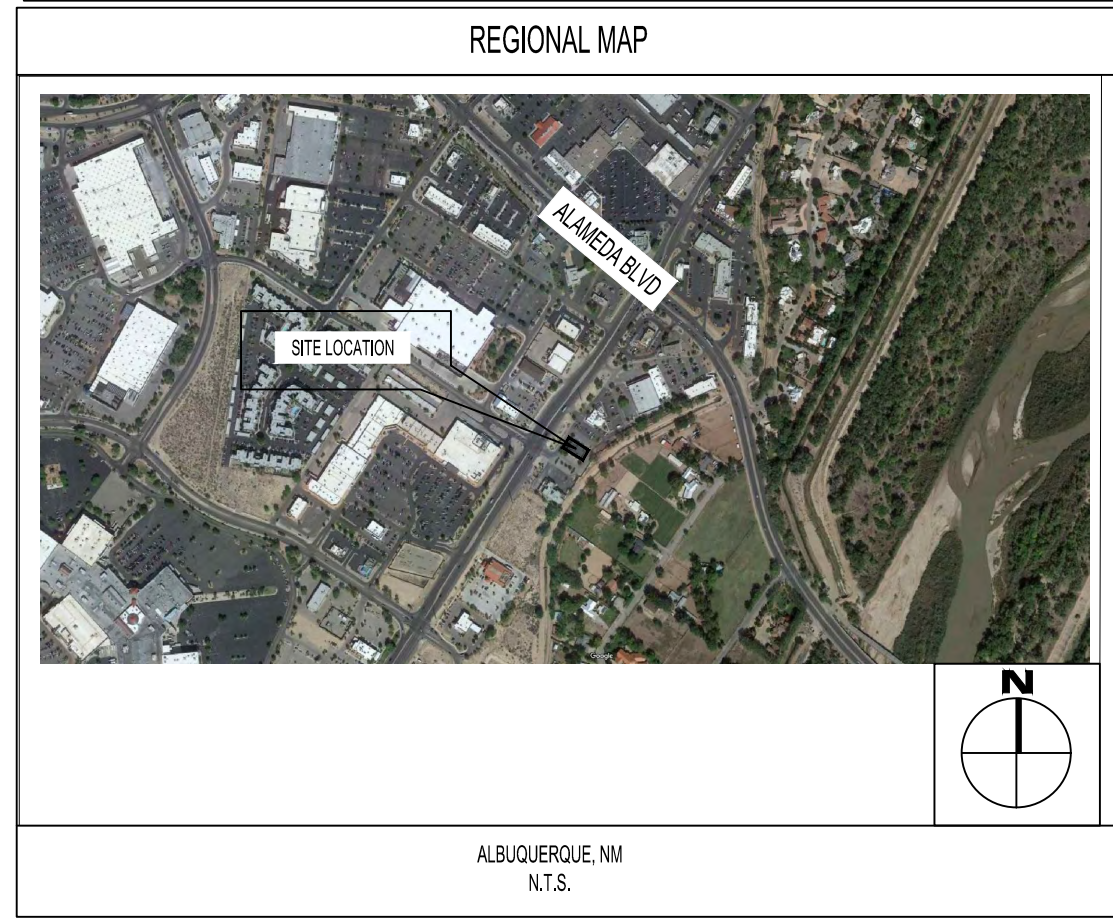
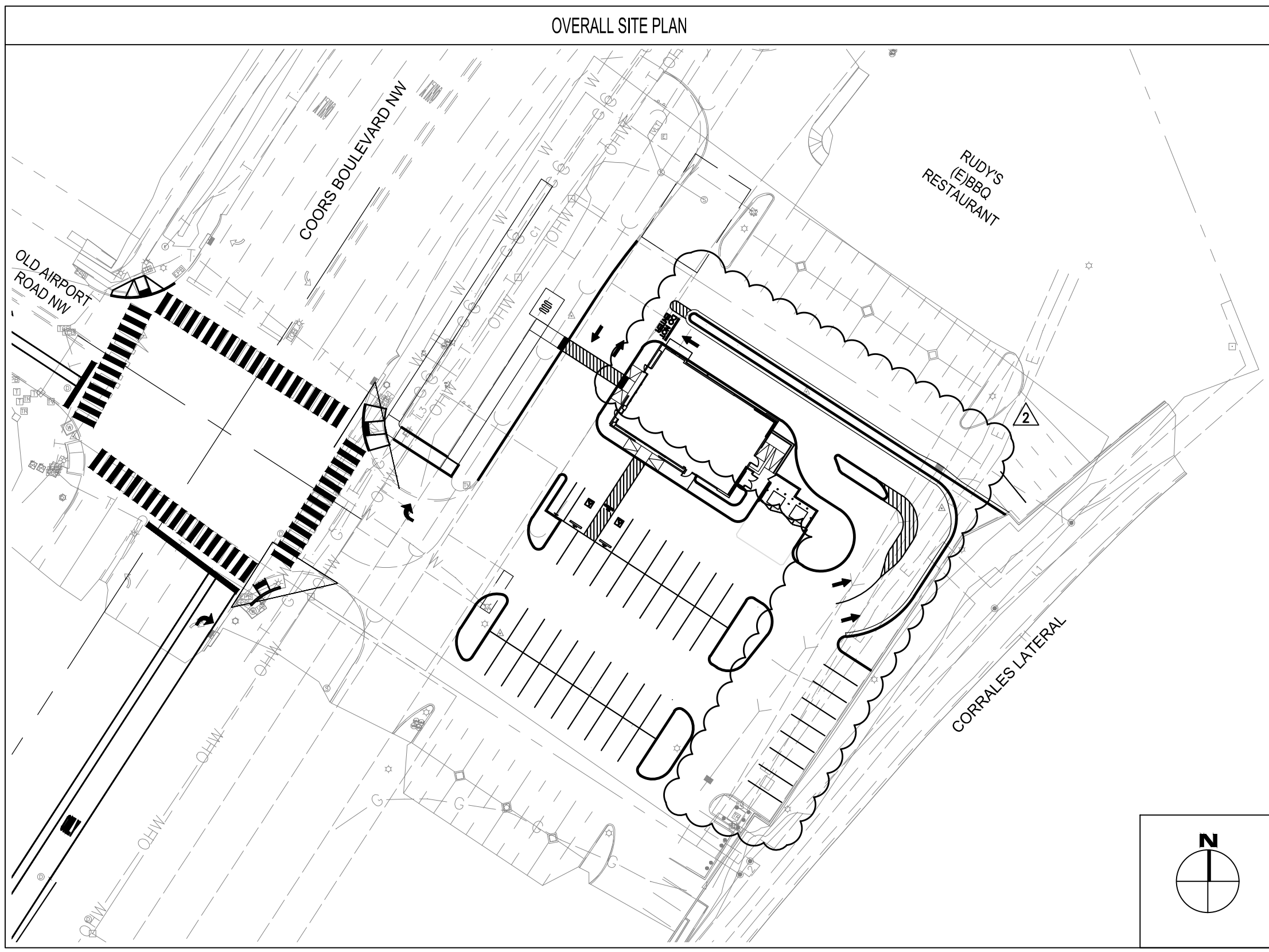
G-001

TITLE SHEET

SHEET INDEX	
Scale= NTS G-001	

TRUE WARM & WELCOME 2500 R1

DRB - PR-2022-006547 SI-2022-00216



LEGAL DESCRIPTION

LEGAL DESCRIPTION FOR LOT 24-1, NORTHEAST PORTION OF BLACK RANCH: (AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY) LOT 24-1 OF THE NORTHEAST PORTION OF BLACK RANCH, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" REBAR FOUND FOR THE NORTHWEST CORNER OF SAID LOT 24-1, A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W., THENCE SOUTH 57 DEG. 19'43" E. A MEASURED DISTANCE OF 270.47 FEET (SOUTH 57 DEG. 19'01" EAST 270.70 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE NORTHEAST CORNER OF SAID LOT 24-1, SAID POINT LYING ON THE WESTERLY RIGHT OF WAY LINE OF THE CORRALES ACEQUIA CANAL; THENCE SOUTH 41 DEG. 42'17" WEST ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 52.33 FEET (SOUTH 41 DEG. 41'08" WEST A DISTANCE OF 52.20 FEET OF RECORD) TO A FOUND 1/2" REBAR; THENCE SOUTH 43 DEG. 48'02" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 159.71 FEET (SOUTH 41 DEG. 41'08" WEST A DISTANCE OF 159.84 FEET OF RECORD) TO A FOUND 1/2" REBAR; THENCE SOUTH 37 DEG. 22'13" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 7.52 FEET (SOUTH 37 DEG. 07'39" WEST A DISTANCE OF 7.59 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE SOUTHEAST CORNER OF SAID LOT 24-1; THENCE NORTH 57 DEG. 16'46" WEST, A MEASURED DISTANCE OF 231.82 FEET (NORTH 57 DEG. 18'01" WEST A DISTANCE OF 231.68 FEET OF RECORD) TO A 5/8" REBAR WITH CAP SET FOR THE SOUTHWEST CORNER OF SAID LOT 24-1, SAID POINT LIES ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W. AND SAID POINT BEARS NORTH 32 DEG. 42'00" EAST A DISTANCE OF 182.23 FEET FROM A 1/2" REBAR FOUND FOR THE SOUTHWEST CORNER OF LOT 1A OF THE SAID NORTHEAST PORTION OF BLACK RANCH; THENCE NORTH 32 DEG. 42'00" EAST, ALONG SAID RIGHT OF WAY, A DISTANCE OF 172.77 FEET TO A FOUND 1/2" REBAR FOR A POINT OF CURVATURE; THENCE A DISTANCE OF 43.16 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 53'45" AND A CHORD BEARING OF NORTH 33 DEG. 54'17" EAST A DISTANCE OF 43.21 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 53'53" AND A CHORD BEARING OF NORTH 33 DEG. 40'12" EAST A DISTANCE OF 43.21 FEET OF RECORD) TO THE POINT OF BEGINNING.

BENCHMARKS

SITE BENCH MARK 1:
NEW MEXICO STATE HIGHWAY CONTROL STATION "NM448-N12" DATA
FOUND STANDARD BRASS DISC
NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
NORTHING: 1,528,973.229 US SURVEY FEET EASTING: 1,521,354.471 US SURVEY FEET
ELEV. = 5,026.132 US SURVEY FEET (NAVD 1988)

SITE BENCH MARK 2:
AGRS STATION "8-B14 2003" DATA
FOUND STANDARD 3 1/8" INCH ALUMINUM DISC
NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
NORTHING: 1,528,602.961 US SURVEY FEET EASTING: 1,521,096.792 US SURVEY FEET
ELEV. = 5,025.358 US SURVEY FEET (NAVD 1988)

FLOODPLAIN STATEMENT

AREA LIES WITHIN FLOOD ZONE X (OTHER AREAS). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAN ACCORDING TO THE FLOOD INSURANCE RATE MAP PER FIRM MAP PANEL 109 OR 825, MAP NO. 38001C0109H, MAP REVISED DATE 08/16/2021, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS.

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK BY ALL FEDERAL, STATE, LOCAL, ETC. AGENCIES OR JURISDICTIONS HAVING APPROVAL AUTHORITY OVER WORK. THIS WORK INCLUDES BUT IS NOT LIMITED TO RECORD DRAWINGS, CERTIFICATIONS, INSPECTIONS AND OR REPORTS.
- SURVEYOR TO OBTAIN CAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR SHALL VERIFY ALL BENCHMARK, BASIS OF BEARINGS AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY SHALL BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.
- CONTRACTOR SHALL COORDINATE WORK WITH UTILITY COMPANIES AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.
- PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS ARE BASED UPON THE PROPOSED IMPROVEMENTS BY OTHERS. PRIOR TO STAKING SURVEYOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL IMPROVEMENTS BY OTHERS AT THE IN LOCATIONS. VERIFICATION SHALL BE BY LOCATING THE IMPROVEMENTS IN THE FIELD AND/OR CONFIRMING THE HORIZONTAL AND VERTICAL CONTROL OF THE LATEST PLANS BY OTHERS MATCHES THE PROPOSED IMPROVEMENTS.
- SURVEY PREPARED BY TERRA LAND SURVEYS, LLC. DATED JUNE 2021.
- ALL WORK WITHIN COORS BLVD (SR448) RIGHT-OF-WAY SHALL BE COORDINATED WITH NMDOT AND REQUIRES A SEPARATE STATE PERMIT.

TOGETHER WITH

EASEMENTS FOR INGRESS/EGRESS AS SET FORTH IN THE CERTAIN RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK MISC. 736A, PAGE 676 AS DOCUMENT NUMBER 89-91278, RECORDS OF BERNALILLO COUNTY, NEW MEX.

BASIS OF ELEVATIONS

NAVD 88

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THE PREMISES SURVEYED ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE AGRS CONTROL STATIONS LISTED ABOVE BEARING = N34°50'06".



STORE D8582
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

PREPARED BY:
rtm
engineering consultants
650 E. ALGONQUIN ROAD SUITE 250
SCHAMBURG, IL 60173
T.847.756.4180 | www.rtmassociates.com

PREPARED FOR:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVE.
ROSEMEAD, CALIFORNIA 91770
PHONE: 626.799.9898
FAX: 626.372.8288

SHEET INDEX			
NO.	TITLE	DRG SUBMITTAL	DRG RESUBMITTAL
C01.0	CIVIL COVER SHEET	●	●
C01.1	GENERAL NOTES		
C01.2	SPECIFICATIONS		
ALTA / NSPS LAND TITLE SURVEY			
C02.0	DEMOLITION PLAN / EXISTING CONDITIONS		
C03.0	SITE PLAN	●	●
C03.1	STAKING PLAN	●	●
C03.2	HARDSCAPE DETAILS I	●	●
C03.3	HARDSCAPE DETAILS II	●	●
C03.4	HARDSCAPE DETAILS III	●	●
C04.0	UTILITY PLAN	●	●
C04.1	BLDG UTILITY DETAIL PLAN		
C04.2	UTILITY DETAILS I		
C04.3	UTILITY DETAILS II		
C05.0	GRADING PLAN	●	●
C05.1	BUILDING AREA GRADING DETAIL		
C06.0	EROSION & SEDIMENT CONTROL NOTES		
C06.1	EROSION & SEDIMENT CONTROL PLAN		
C06.2	EROSION & SEDIMENT CONTROL DETAILS		
C07.0	COORS BLVD - STREET IMPROVEMENT PLAN		
C07.1	COORS BLVD - CROSS SECTIONS		
C07.2	COORS BLVD - STRIPING PLAN		
C07.3	COORS BLVD - ADA RAMPS		
EH.01	EXISTING PERVIOUS AND IMPERVIOUS AREAS	●	●
EH.02	PROPOSED PERVIOUS AND IMPERVIOUS AREAS	●	●

PROJECT CONTACTS			
CURRENT OWNER RUTH MALASHOCK 1883 WALNUT GROVE AVE. ROSEMEAD, CALIFORNIA 91770 PHONE: (626) 799-9898 FAX: (626) 372-8288	DEVELOPER PANDA EXPRESS, INC. 1883 WALNUT GROVE AVE. ROSEMEAD, CALIFORNIA 91770 PHONE: (626) 799-9898 FAX: (626) 372-8288	CIVIL ENGINEER RTM ENGINEERING ASSOCIATES 650 E ALGONQUIN ROAD SUITE 250 SCHAMBURG, ILLINOIS 60173 PHONE: (847) 756-4180 ATTN: TIM SHOEMAKER, PE	ARCHITECT HEIGHTS VENTURE ARCHITECTURE DESIGN 1111 NORTH LOOP WEST, SUITE 800 HOUSTON, TEXAS 77008 PHONE: (281) 322-1403 ATTN: TIM SHOEMAKER, PE
MEP NEK POLCAR JAMES TURNER ENGINEERS 5340 MEADOW ROAD, SUITE 100 DALLAS, TX 75251 PHONE: (214) 795-2800	SITE LIGHTING RYAN ZINSLEBER VILLA LIGHTING PHONE: (974) 531-2890 RYAN.ZINSLEBER@VILLALIGHTING.COM	MUNICIPAL SANITARY SEWER AGENCY CHRIS GUSTAFSON ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY ONE CIVIC PLAZA N.W., ROOM 5027 ALBUQUERQUE, NM 87102 PHONE: (505) 842-8287 CGUSTAFSON@ABCWUA.ORG	LAND SURVEYOR TERRA LAND SURVEYS, LLC P.O. BOX 9292 CORRALES, NM 87048 PHONE: (505) 752-6513
GAS NEW MEXICO GAS COMPANY P.O. BOX 9700 ALBUQUERQUE, NM 87102 PHONE: (505) 897-4464	TELEDATA CENTURY LINK COMMUNICATIONS 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 398-4275	LANDSCAPE ARCHITECT BRENNON WILLIAMS 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3880 PLANNINGDEPARTMENT@C880.GOV	ELECTRIC PRM 414 SILVER AVE. SW ALBUQUERQUE, NM 87102 PHONE: (505) 245-3659
MUNICIPAL PLANNING & ZONING BRENNON WILLIAMS 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3880 PLANNINGDEPARTMENT@C880.GOV	MUNICIPAL BUILDING DEAN KADELL 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3881 DKADELL@C880.GOV	MUNICIPAL ENGINEERING MATTHEW GRUSH 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3880 MGRUSH@C880.GOV	MUNICIPAL DRAINAGE DEAN KADELL 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3881 DKADELL@C880.GOV
SEWERAGE CINDY - COAST SEIN INC. PHONE: (714) 999-1978 PANDAPRESS@COASTSEIN.COM	FIRE LT. TOM RUIZ 1500 SUNSET GARDENS SW ALBUQUERQUE, NM 87121 PHONE: (505) 934-1021 TRUIZ@C880.GOV		

PROJECT NUMBER: PR-2022-006547

Application Number: PR-2022-00216

This plan is consistent with the specific Site Development Plan approved by the Development Review Board Application (DRB), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



EXPIRES 12-31-2023



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

△	DRB 1st RESUBMITTAL	04-01-21
△	DRB Project No. PR-2022-006547	
△	SI-2022-00216-SITE PLAN	
△	DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:
DRB SUBMITTAL 12-28-21

DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: D8582



Heights Venture
ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800 713 869 1103 V
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 450 7292 V

PANDA EXPRESS

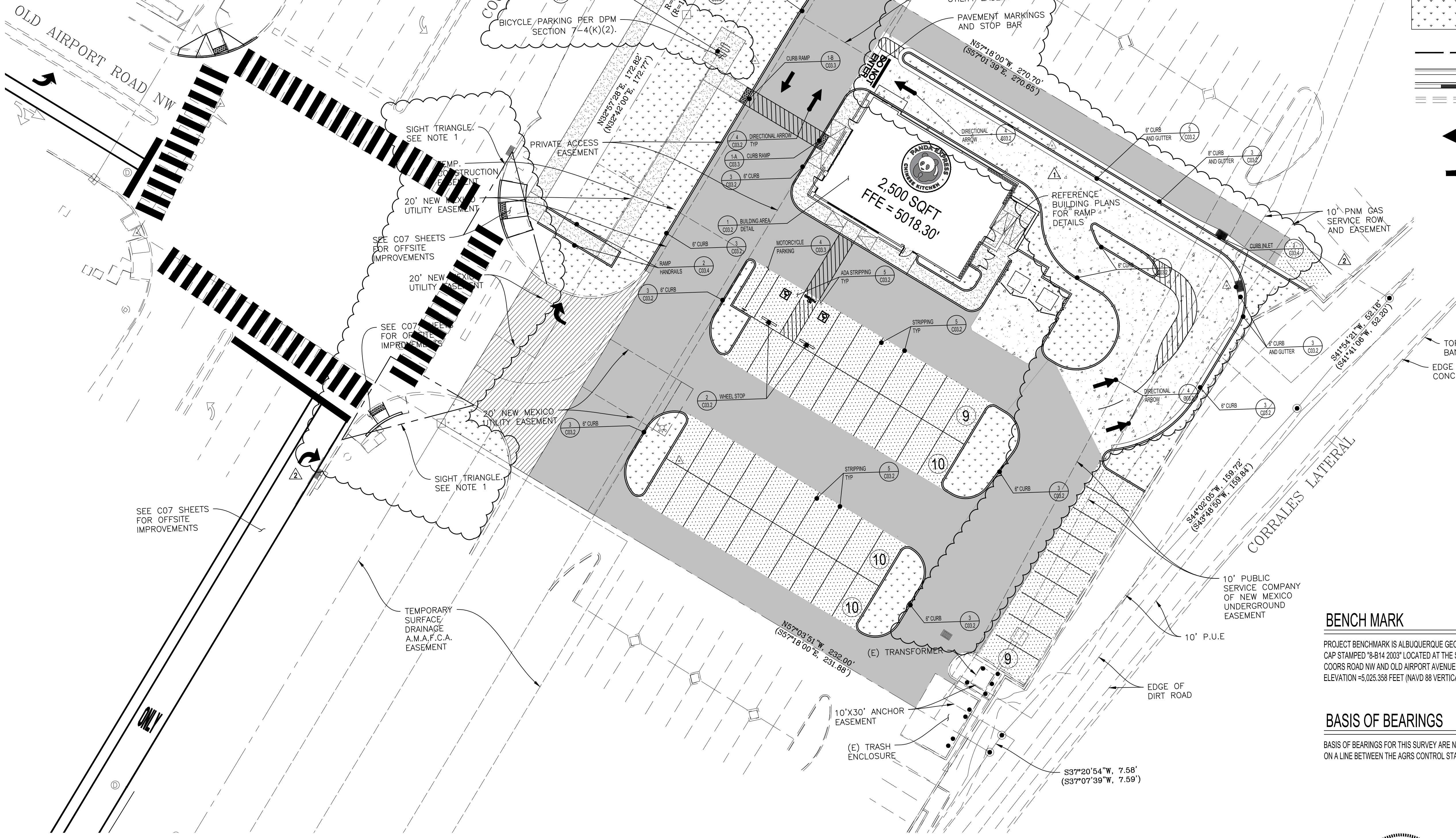
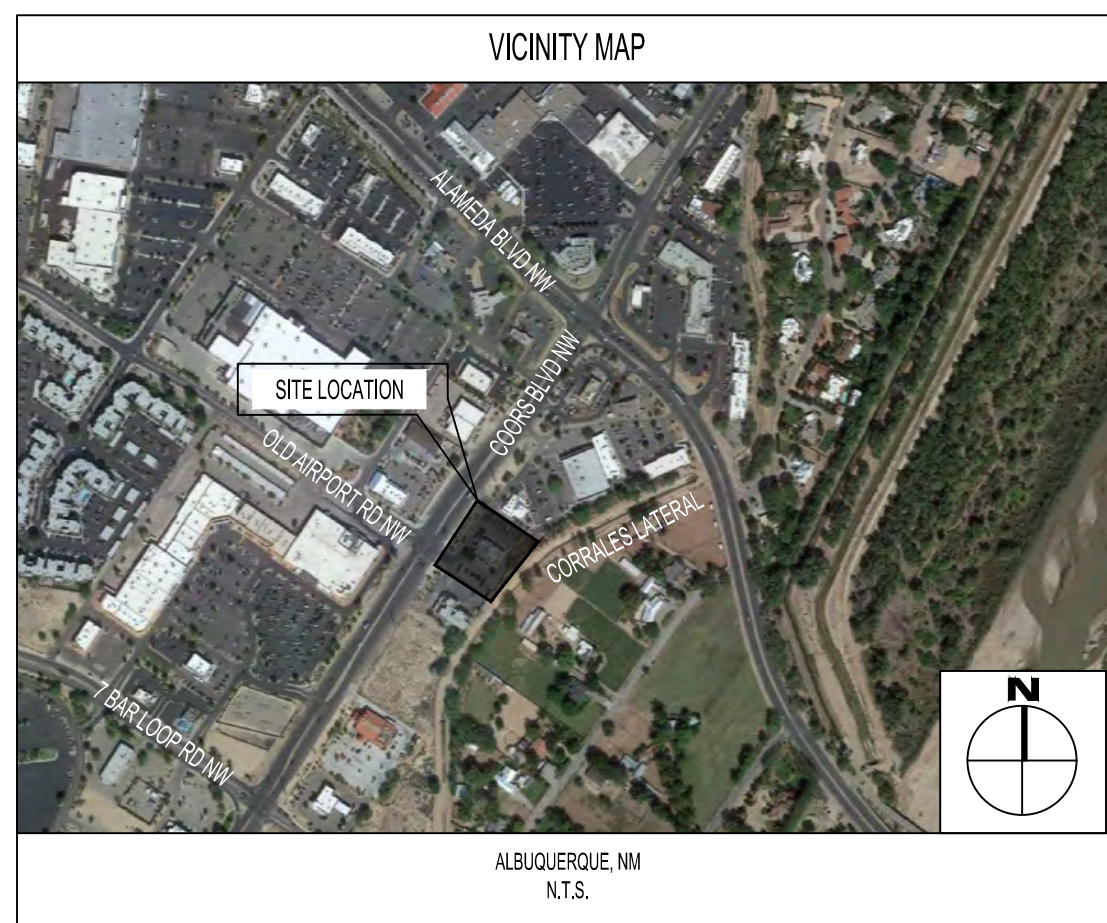
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

COVER SHEET

C01.0

10126 COORS BOULEVARD

DRB SUBMITTAL SET



- LEGEND:**
- PROPOSED HEAVY DUTY CONCRETE: 5.5" PCC (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
 - PROPOSED FULL DEPTH ASPHALT: 3.5" AC OVER 6" AB (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
 - PROPOSED FULL DEPTH ASPHALT: 4.5" AC OVER 6" AB (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
 - PROPOSED 2" OVERLAY
 - PROPOSED SIDEWALK (REFERENCE GEOTECHNICAL REPORT FOR SECTION)
 - PROPOSED LANDSCAPE
 - PROPERTY LINE
 - CURB AND GUTTER
 - CURB AND GUTTER DEPRESSED
 - EXISTING CURB & GUTTER
 - TRAFFIC FLOW DIRECTION/ STRIPING WHERE NOTED

PARKING SUMMARY:

QUANTITIES PER IDO 5-5, SIZING PER DPM PART 7-4

	PROP
REGULAR STALLS (9'x18')	46
HANDICAP STALLS (9'x18')	2
TOTAL	48
MOTORCYCLE STALLS (4.5'x18')	2
BICYCLE SPACES	6

BENCH MARK

PROJECT BENCHMARK IS ALBUQUERQUE GEODETIC REFERENCE STATION 8-814 BEING A FOUND ALUMINUM CAP STAMPED "8-814 2003" LOCATED AT THE SOUTHWEST QUADRANT OF THE STREET INTERSECTION OF COORS ROAD NW AND OLD AIRPORT AVENUE NW. ELEVATION = 5,025.358 FEET (NAVD 88 VERTICAL DATUM).

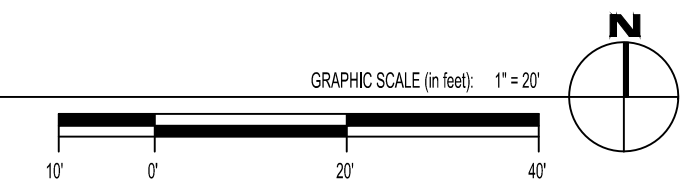
BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS SURVEY ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE AGRS CONTROL STATIONS LISTED ABOVE BEARING = N.34°50'06"E.

NOTES:

1. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

SITE PLAN



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
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Facsimile: 626.372.8288

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DRB Project No. PR-2022-006547		
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DRB 2nd RESUBMITTAL		05-04-22

ISSUE DATE:

NO.	DESCRIPTION	DATE
DRB SUBMITTAL		12-28-21

DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: D8582



Heights Venture
ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V

DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 450 7292 V

PANDA EXPRESS

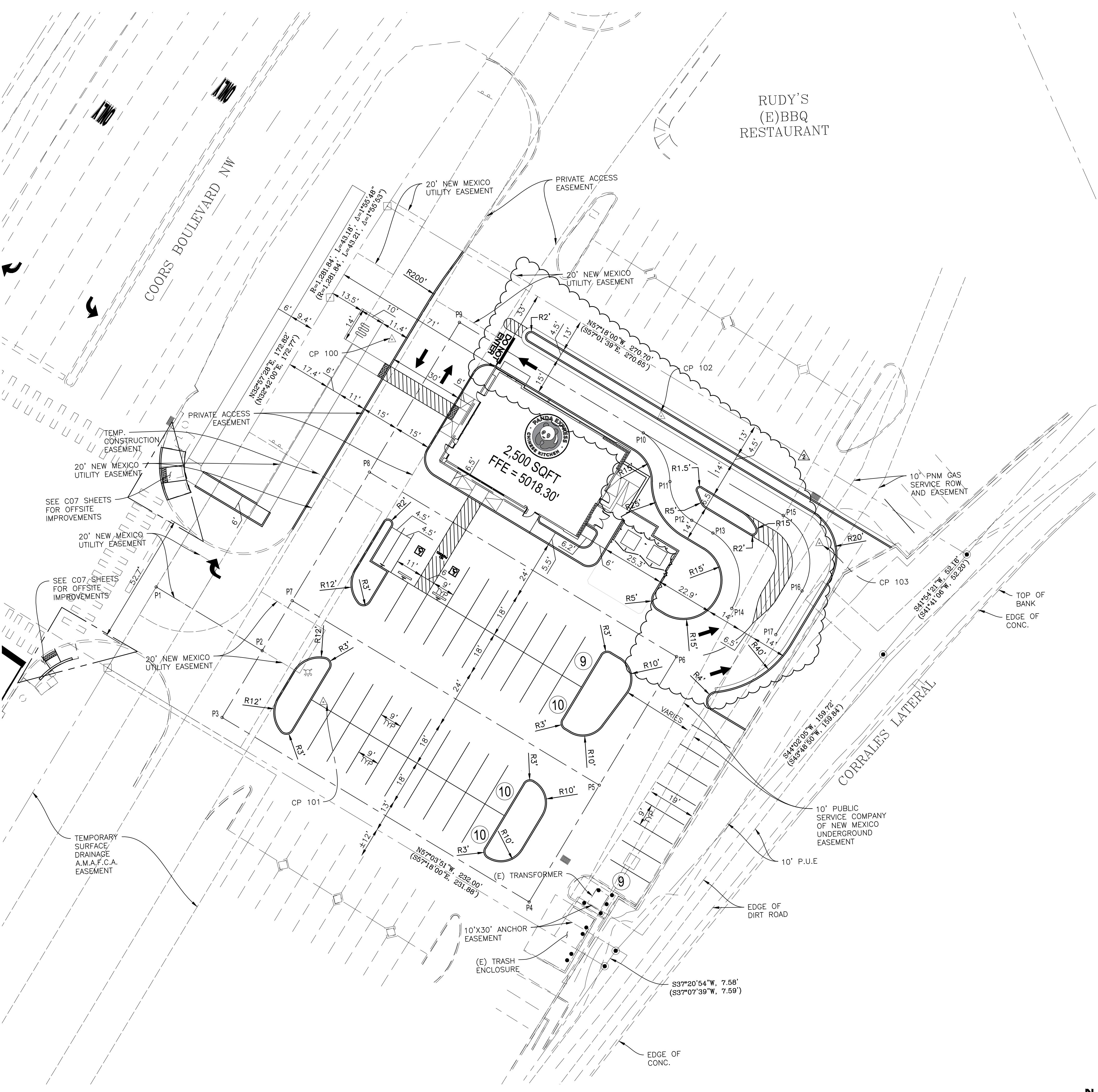
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

SITE PLAN

C03.0

10126 COORS BOULEVARD

DRB SUBMITTAL SET



RUDY'S
(E)BBQ
RESTAURANT

STAKING NOTES

1. ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. SEE SHEET C01.1 FOR GENERAL PROVISIONS.
3. SITE IS PARALLEL AND PERPENDICULAR TO WESTERN PROPERTY LINE.

CENTERLINE STAKING TABLE

POINT DESC.	NORTH (Y)	EAST (X)
P-1	1528561.91	1521225.15
P-2	1528534.98	1521266.69
P-3	1528508.82	1521249.73
P-4	1528430.84	1521370.01
P-5	1528476.57	1521399.65
P-6	1528526.92	1521432.30
P-7	1528554.55	1521279.38
P-8	1528604.90	1521312.02
P-9	1528663.56	1521350.06
P-10	1528616.87	1521422.07
P-11	1528597.01	1521432.07
P-12	1528581.24	1521440.26
P-13	1528575.87	1521448.54
P-14	1528545.44	1521455.03
P-15	1528581.92	1521476.90
P-16	1528551.49	1521483.39
P-17	1528534.36	1521472.28

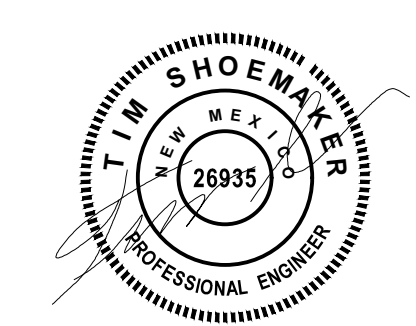
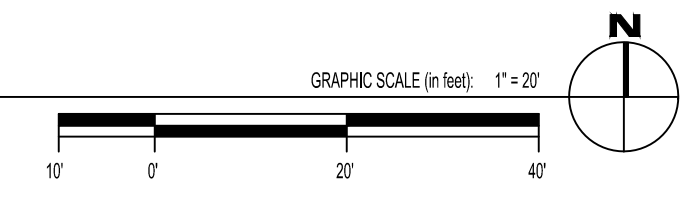
CP TABLE

POINT DESC.	NORTH	EAST	ELEVATION
CP 100	1528657.663	1521322.841	5,019.18'
CP 101	1528513.564	1521290.443	5017.86'
CP 102	1528623.271	1521429.445	5,015.53'
CP 103	1528570.343	1521490.965	5,013.60'
CP 104	1528513.564	1521290.443	5,017.86'

BENCHMARK NOTES

1. REFERENCE ALTANSPS LAND TITLE SURVEY BY TERRA LAND SURVEYS, LLC DATED 11/02/2021
2. BENCHMARK DESCRIPTION
PROJECT BENCHMARK IS ALBUQUERQUE GEODETIC REFERENCE STATION 8-B14 BEING A FOUND ALUMINUM CAP STAMPED "8-B14 2003" LOCATED AT THE SOUTHWEST QUADRANT OF THE STREET INTERSECTION OF COORS ROAD NW AND OLD AIRPORT AVENUE NW.
ELEVATION = 5,025.368 FEET (NAVD 88 VERTICAL DATUM).
3. BENCHMARKS WILL BE DISTURBED BY CONSTRUCTION TO BE REPLACED PER CITY REQUIREMENTS.

STAKING PLAN



EXPIRES 12-31-2023



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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NO.	DESCRIPTION	DATE
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DRB Project No. PR-2022-006547		
SI-2022-00216-SITE PLAN		
DRB 2nd RESUBMITTAL		05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY:

rtm

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582

ARCH PROJECT #: D8582



650 E. Algonquin Road
Suite 250
Schaumburg, IL 60173
Telephone: (847) 756-4380
www.rtmec.com
OH Certificate of Authority: 05046

Heights Venture
ARCHITECTURE DESIGN

HOUSTON 1111 North Loop West, Suite 800 77008
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024
713 869 1103 V 972 450 7292 V

PANDA EXPRESS

10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

STAKING PLAN

C03.1

10126 COORS BOULEVARD

DRB SUBMITTAL SET



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ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY:

rtm

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582

ARCH PROJECT #: D8582



Heights Venture
ARCHITECTURE DESIGN

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DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

PANDA EXPRESS

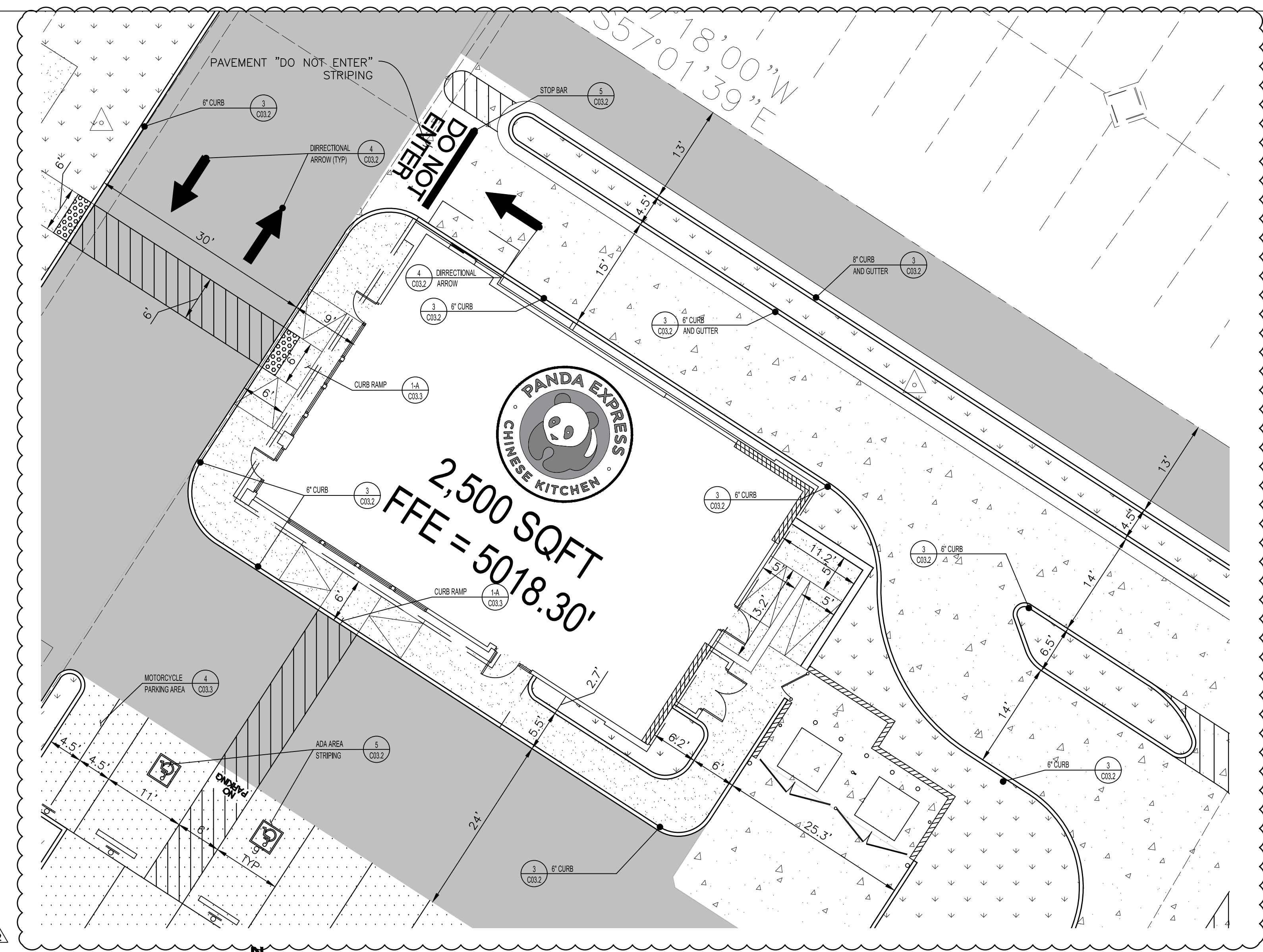
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

HARDSCAPE
DETAILS I

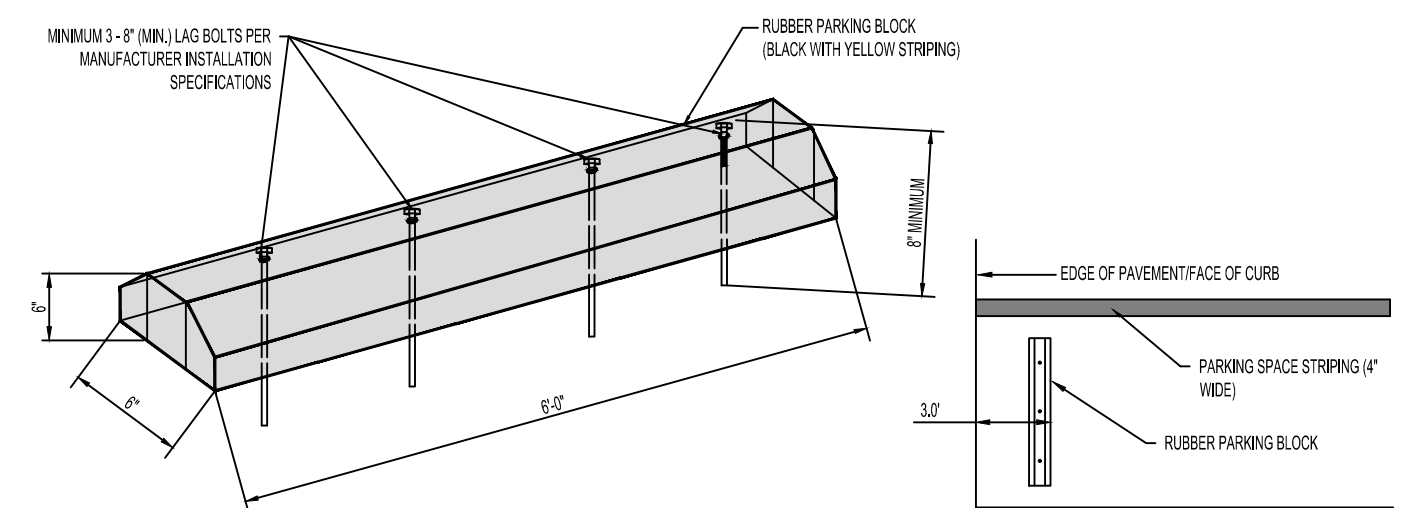
C03.2

10126 COORS BOULEVARD

DRB SUBMITTAL SET



1 BUILDING DETAIL

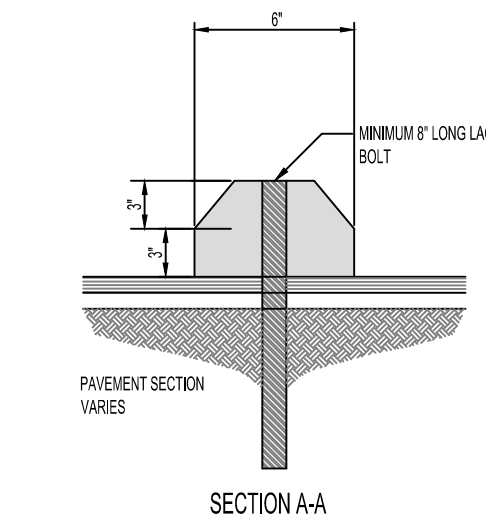


LAG BOLT METHOD, RECOMMENDED FOR ASPHALT OR CONCRETE ONLY

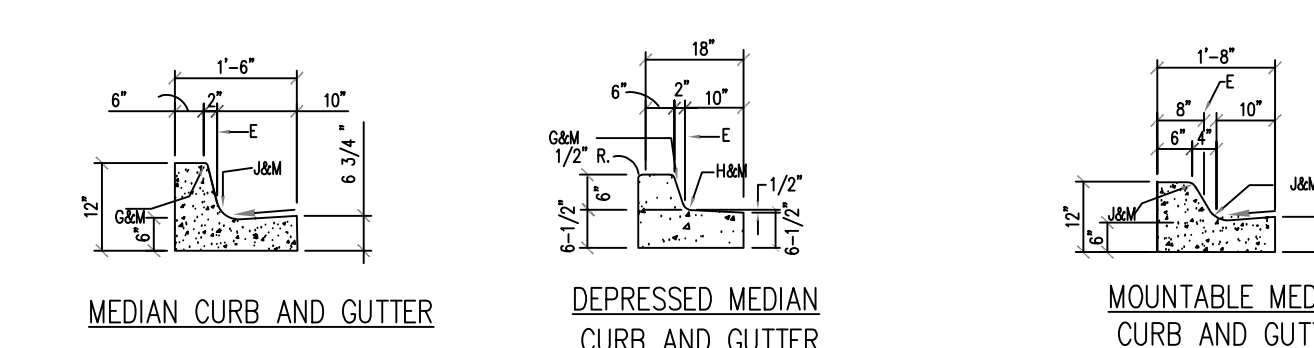
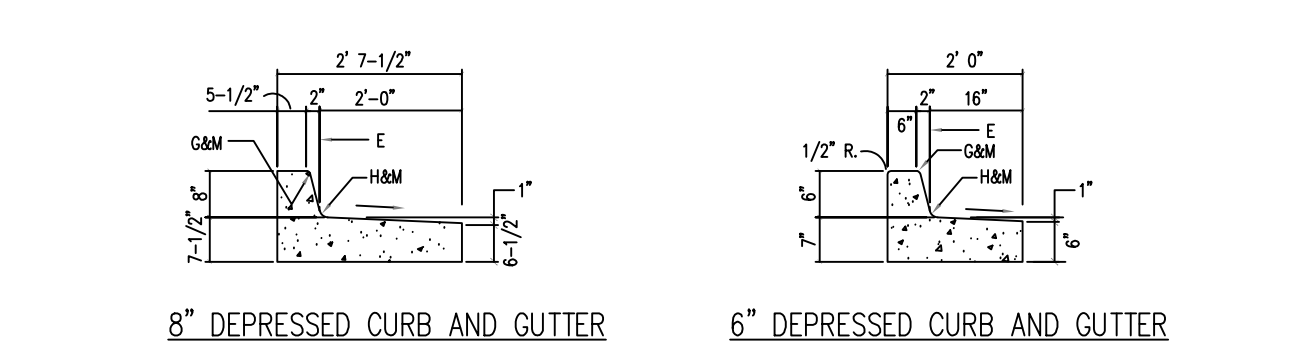
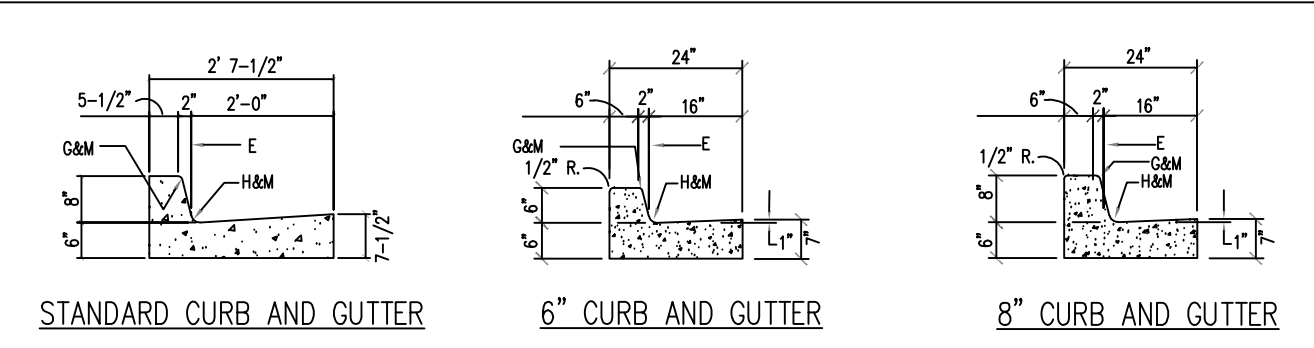
REFER TO MANUFACTURER'S INSTALLATION SPECIFICATIONS

TOOLS NEEDED:
-HIGH SPEED HAMMER DRILL WITH #2 MASONRY DRILL BIT
-IMPACT WRENCH OR HEAVY RATCHET WITH #2 SOCKET

1. POSITION THE PARKING BLOCK WHERE YOU WANT TO INSTALL IT, USING THE HOLES MOLDED IN THE PARKING BLOCK AS TEMPORARY MARK THE LOCATION OF EACH HOLE ON THE SURFACE.
2. REMOVE THE PARKING BLOCK, USING A HIGH-SPEED HAMMER DRILL WITH #2 MASONRY BIT, DRILL A 1/2" TO 3/4" DEEP HOLE AT EACH MARKED LOCATION.
3. NEST A LAG ANCHOR WITH THE LARGE ROUND HOLE IN THE ANCHOR FACING UP INTO EACH HOLE. TAP THE ANCHOR INTO THE HOLES WITH A HAMMER SO THAT THE MOLDED HOLES LINE UP VERTICALLY WITH THE PLOT HOLES YOU DRILLED. BEGINNING IN THE CENTER HOLE, APPLY FIRM HAND PRESSURE, SLIP A HAMMER ONTO A LAG BOLT, INSERT THE BOLT THROUGH THE HOLE IN THE PARKING BLOCK AND TIGHTEN THE BOLT ABOUT THREE QUARTERS OF THE WAY WITH A #2 SOCKET. REPEAT FOR EACH HOLE IN THE PARKING BLOCK. FINISH TIGHTENING EACH BOLT UNTIL, JUST SNUG. DO NOT OVERTIGHTEN! EXCESSIVE TIGHTENING MAY DAMAGE THE PARKING BLOCK AND VOID THE WARRANTY.



2 RUBBER WHEELSTOP



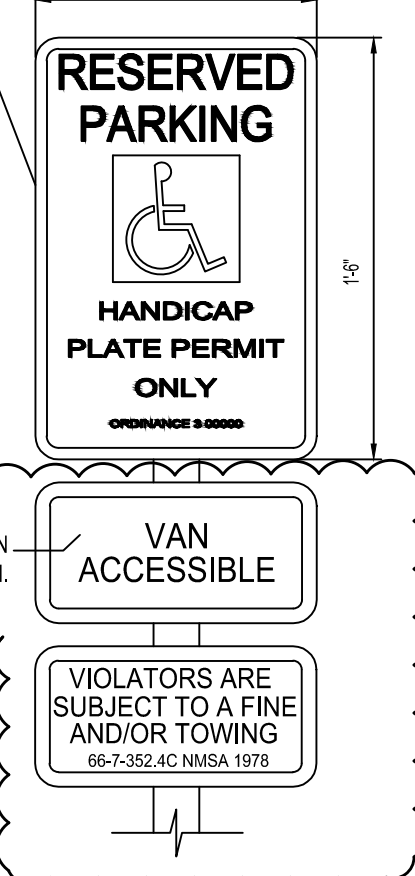
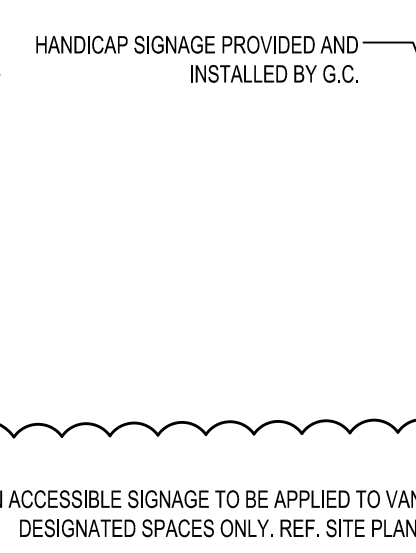
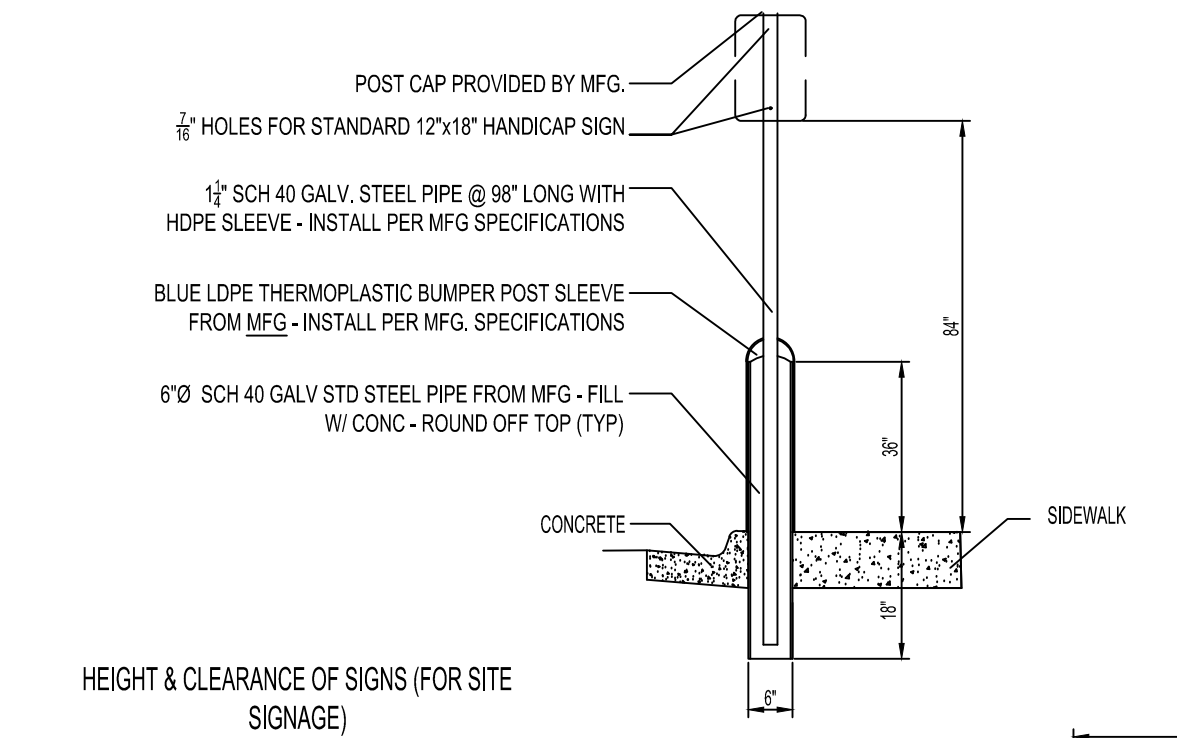
- GENERAL NOTES
1. CURB, GUTTER AND CUT-OFF WALL SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
 2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOoled A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
 3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOoled A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
 4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
 5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
 6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO TOP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING PAVEMENT.
 7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
 8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES

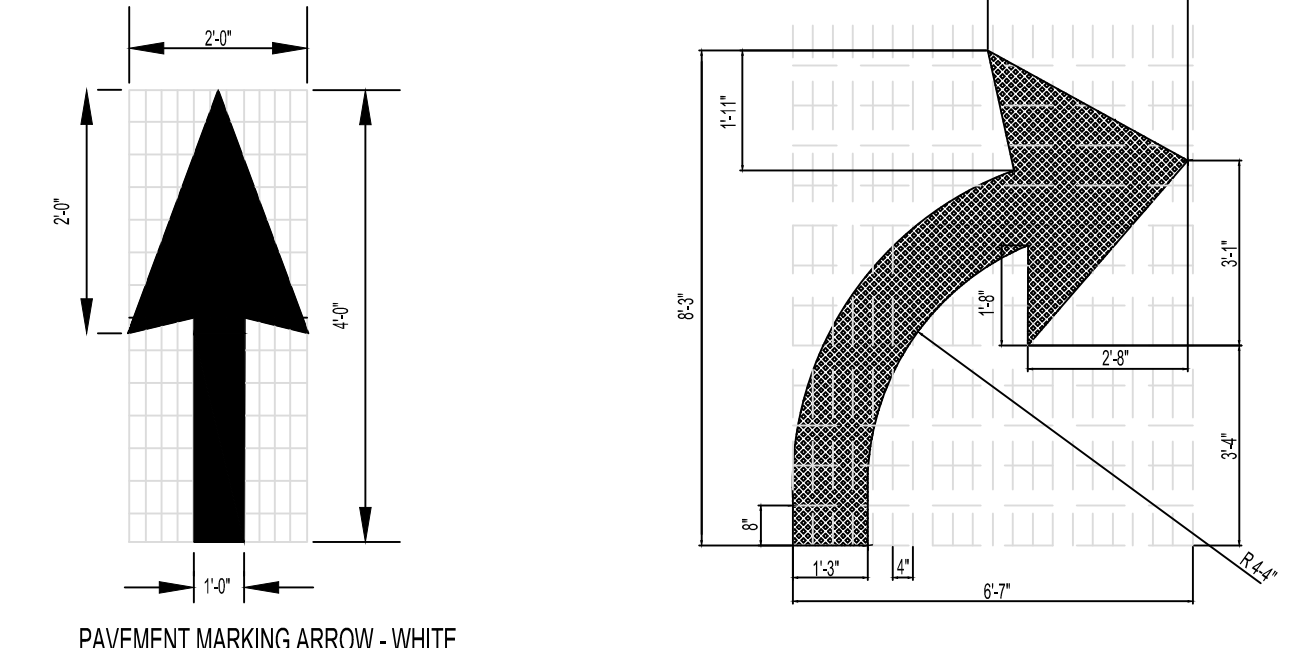
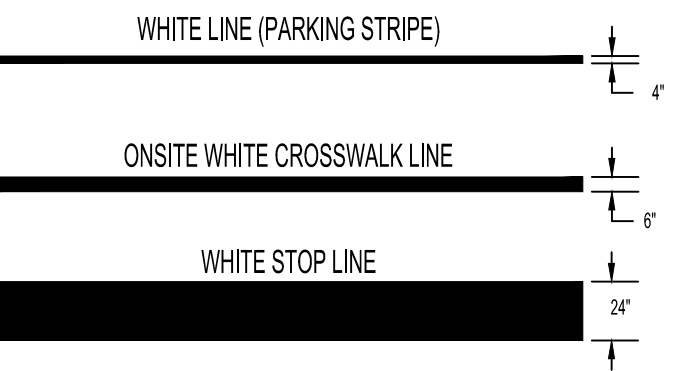
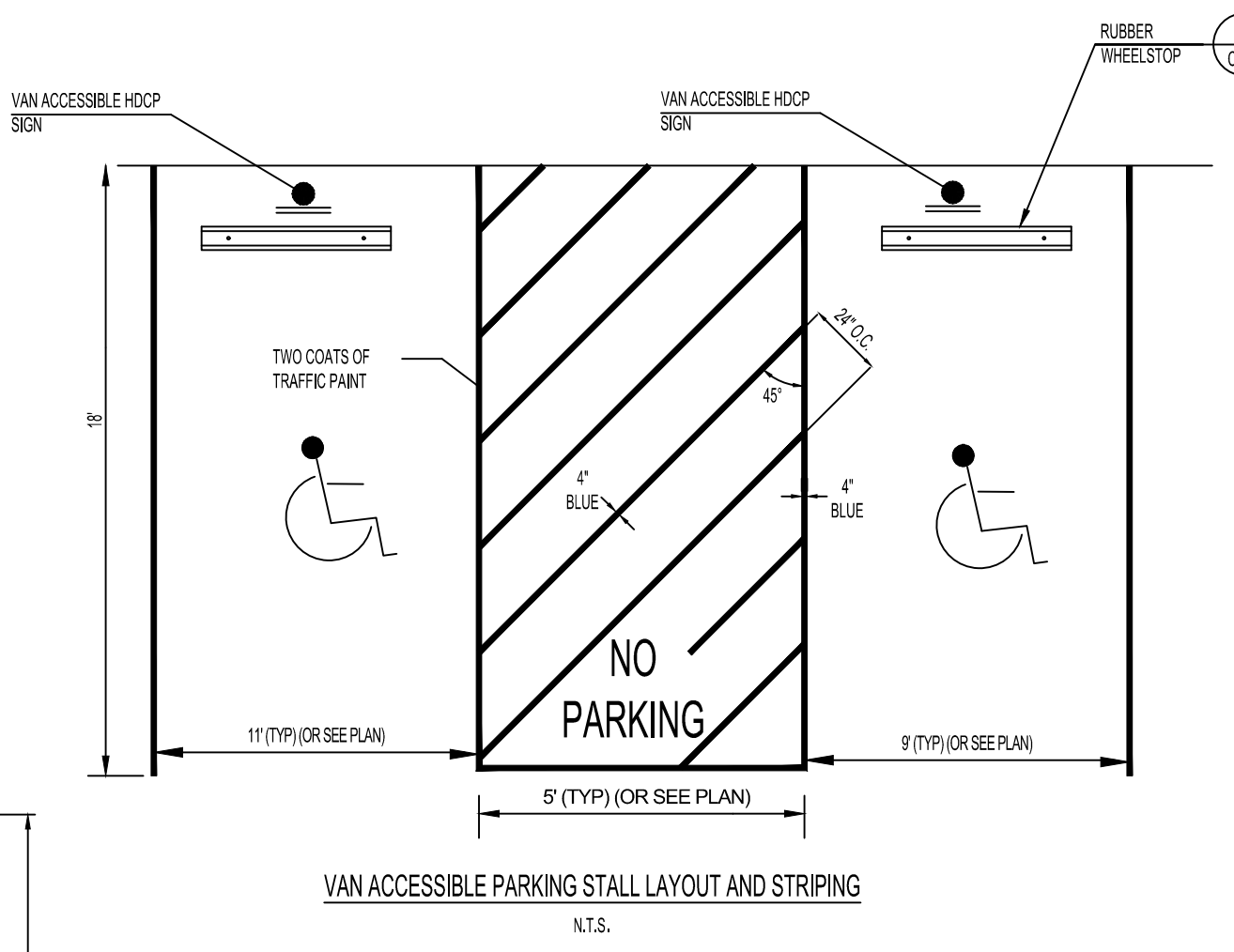
SEE C04 DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT DETAILS
	DWG. 2415A FEBRUARY 2021

3 CURB AND GUTTER DETAILS

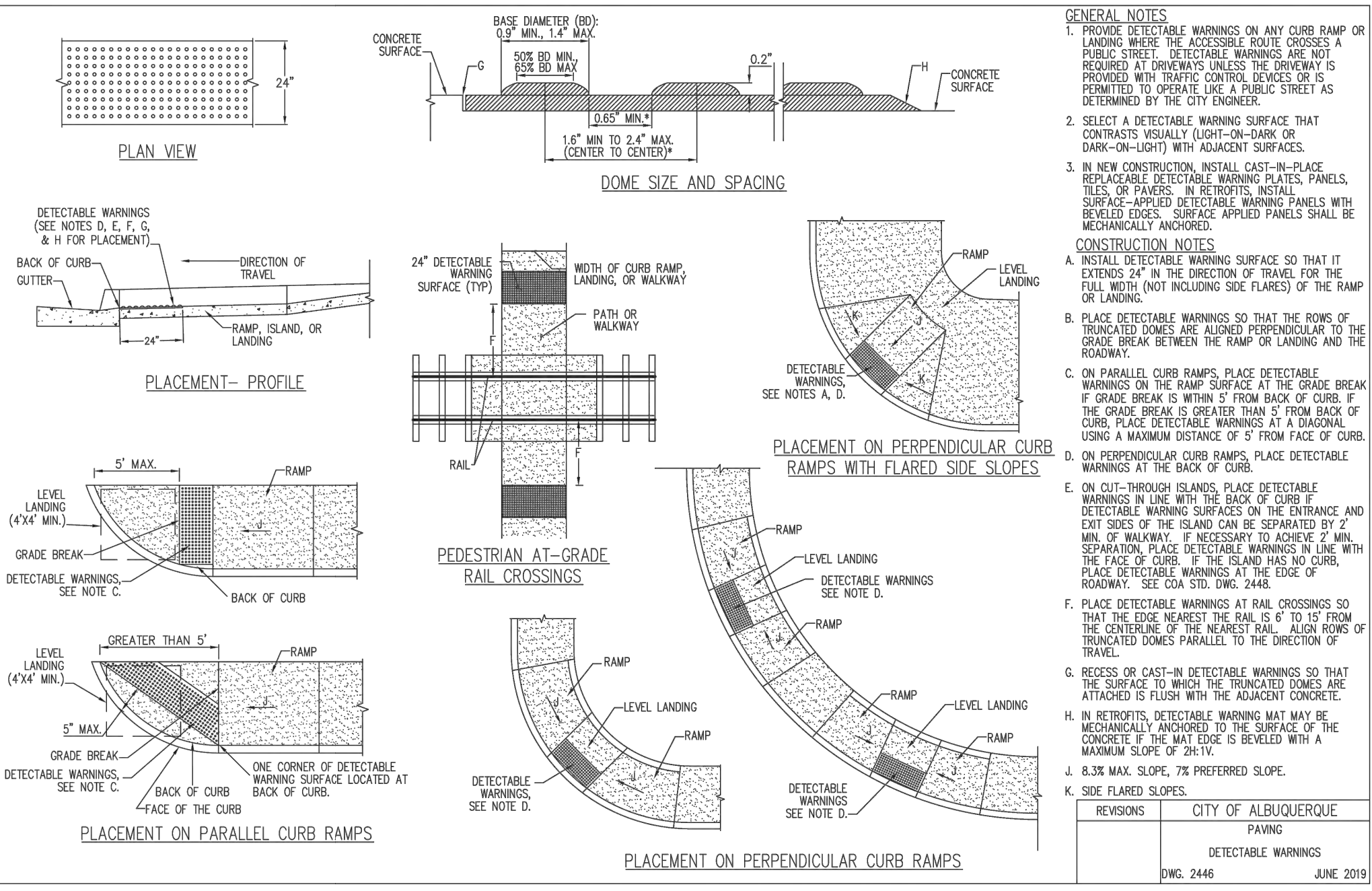


5 ACCESSIBLE AREA AND STRIPING

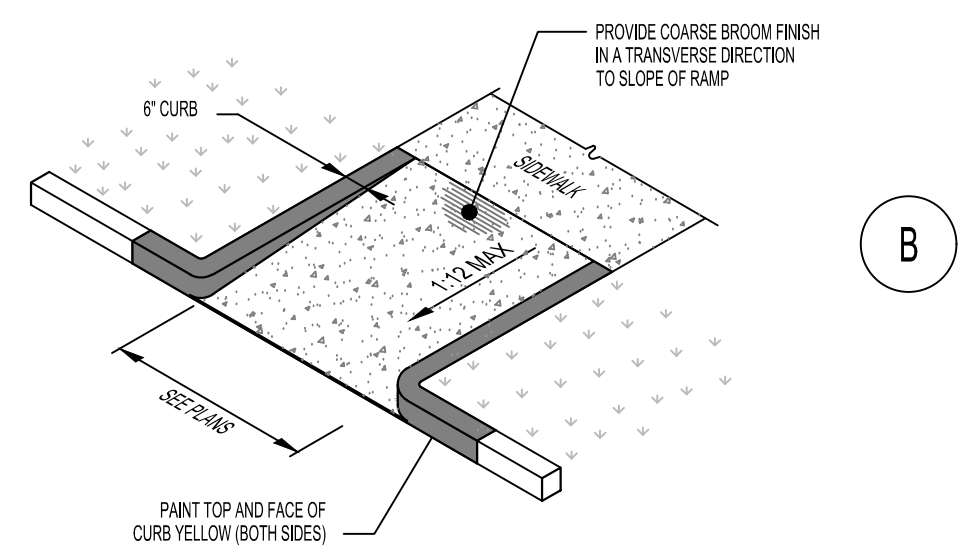
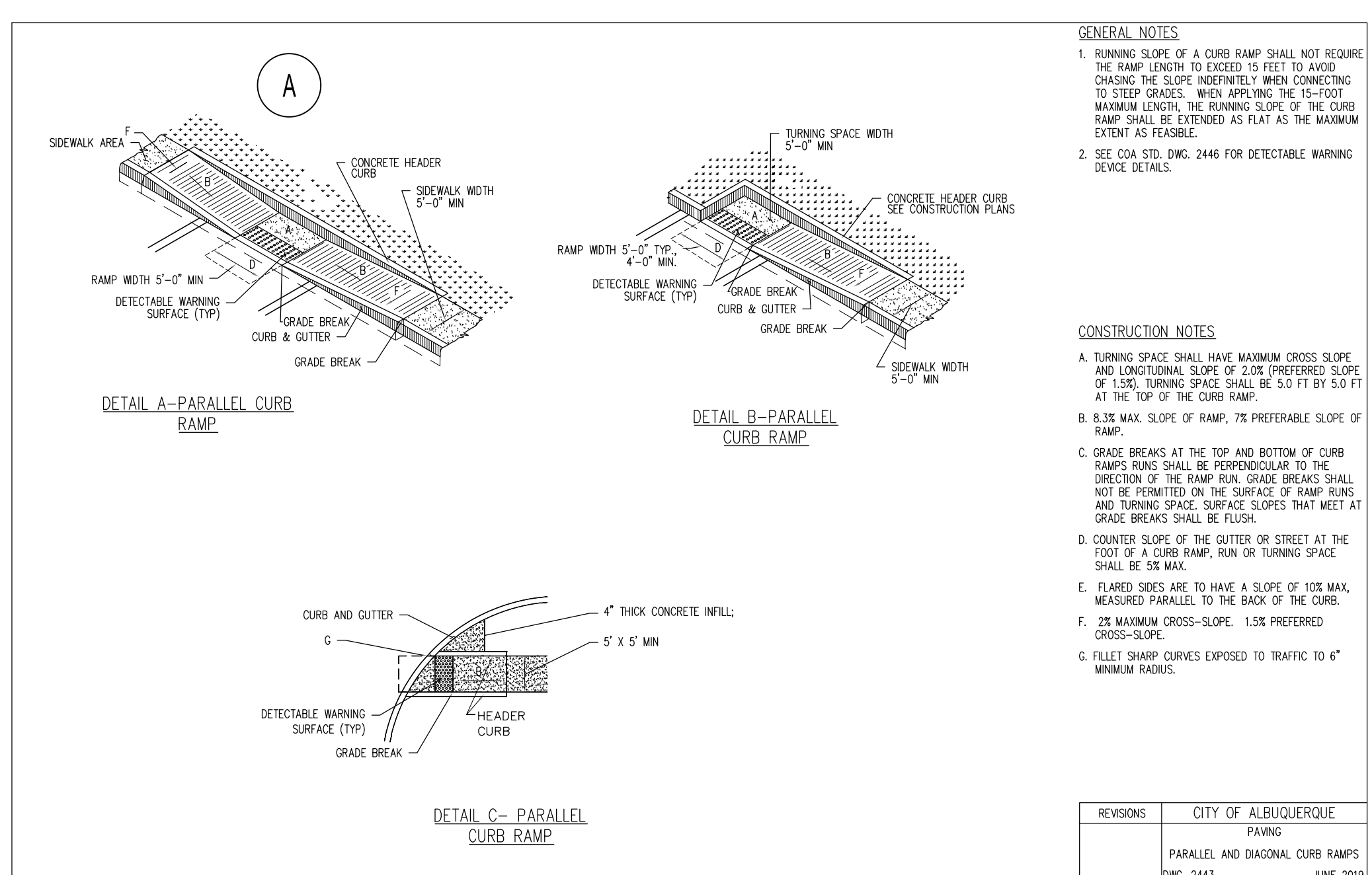


4 DIRECTIONAL ARROWS

ALL DIRECTIONAL ARROWS SHALL BE DOUBLE COATED.

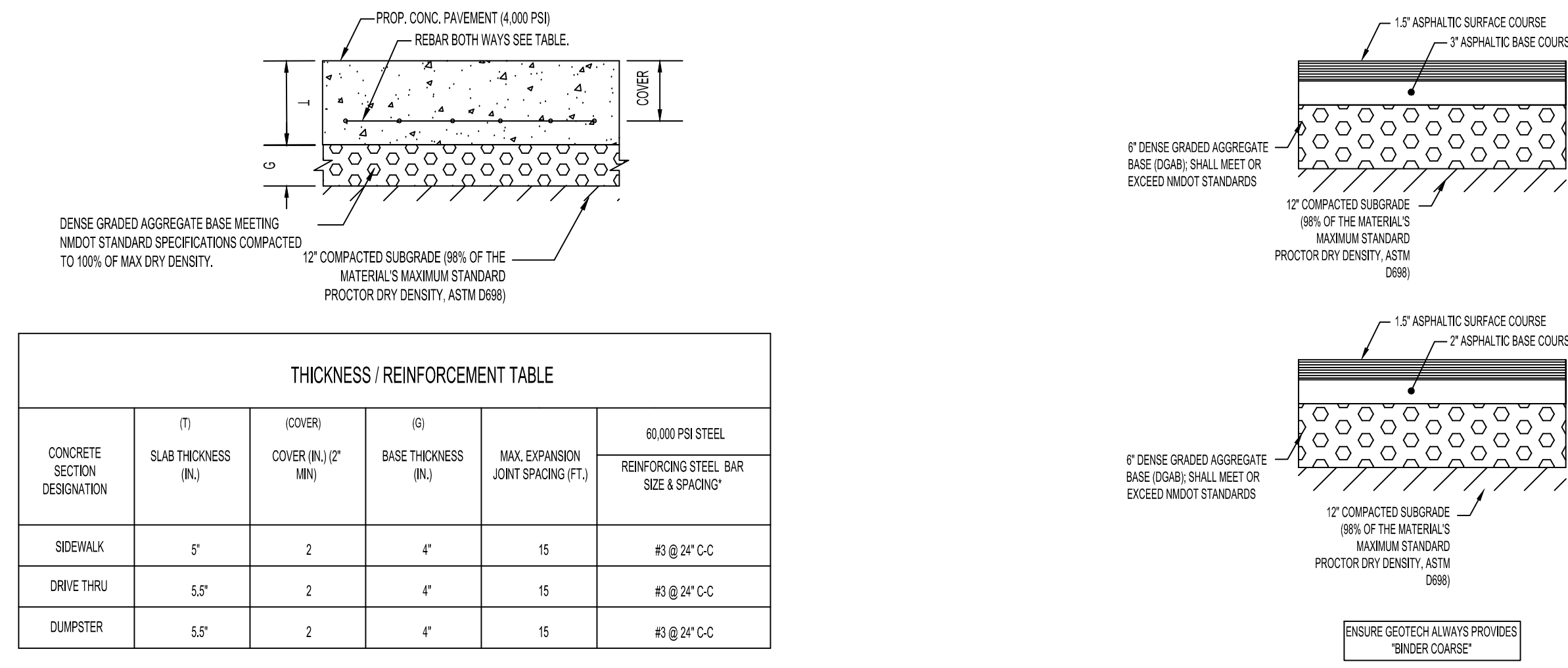


1 CURB RAMPS AND PAVING DETECTABLE WARNING NTS

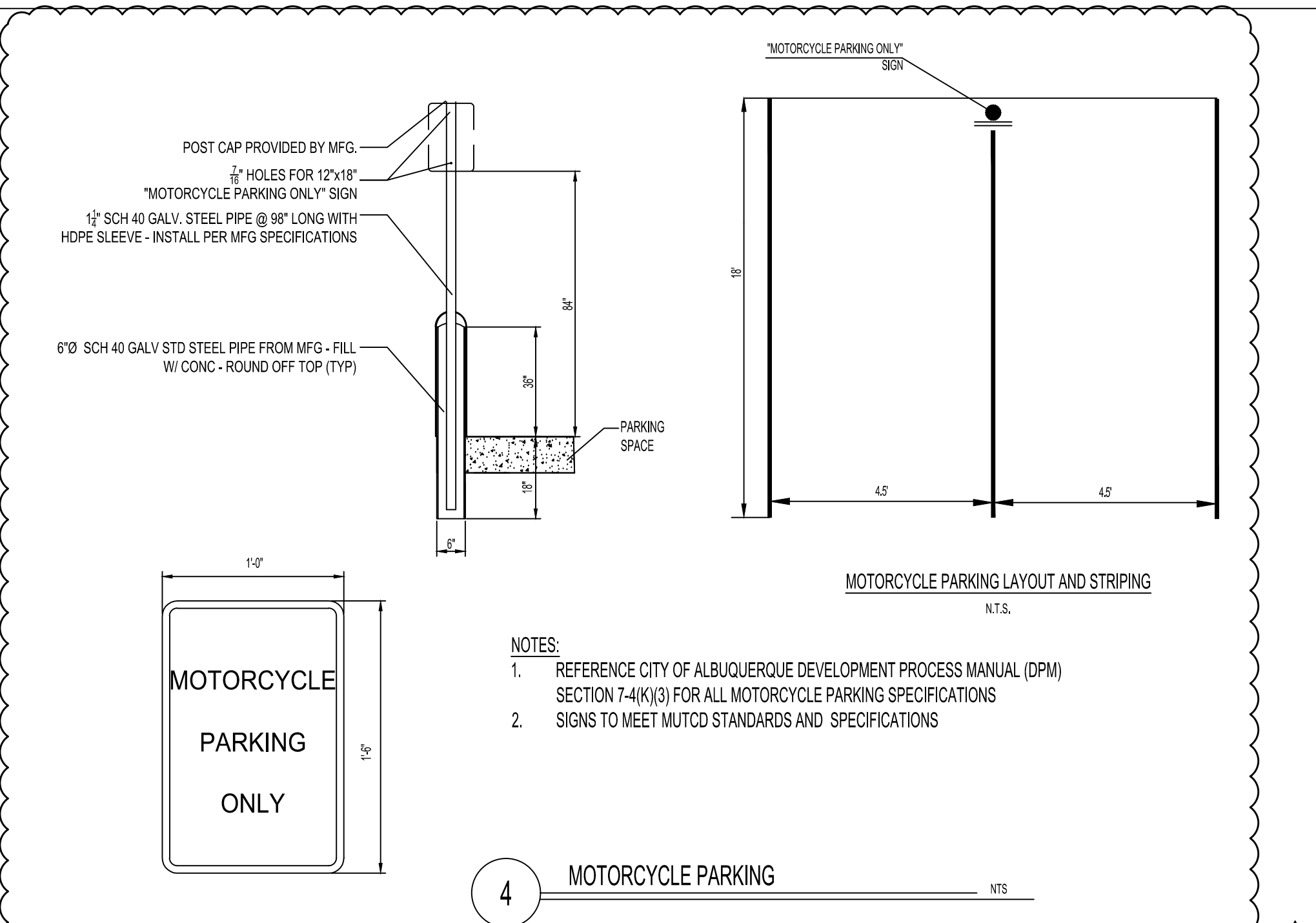


REVISIONS

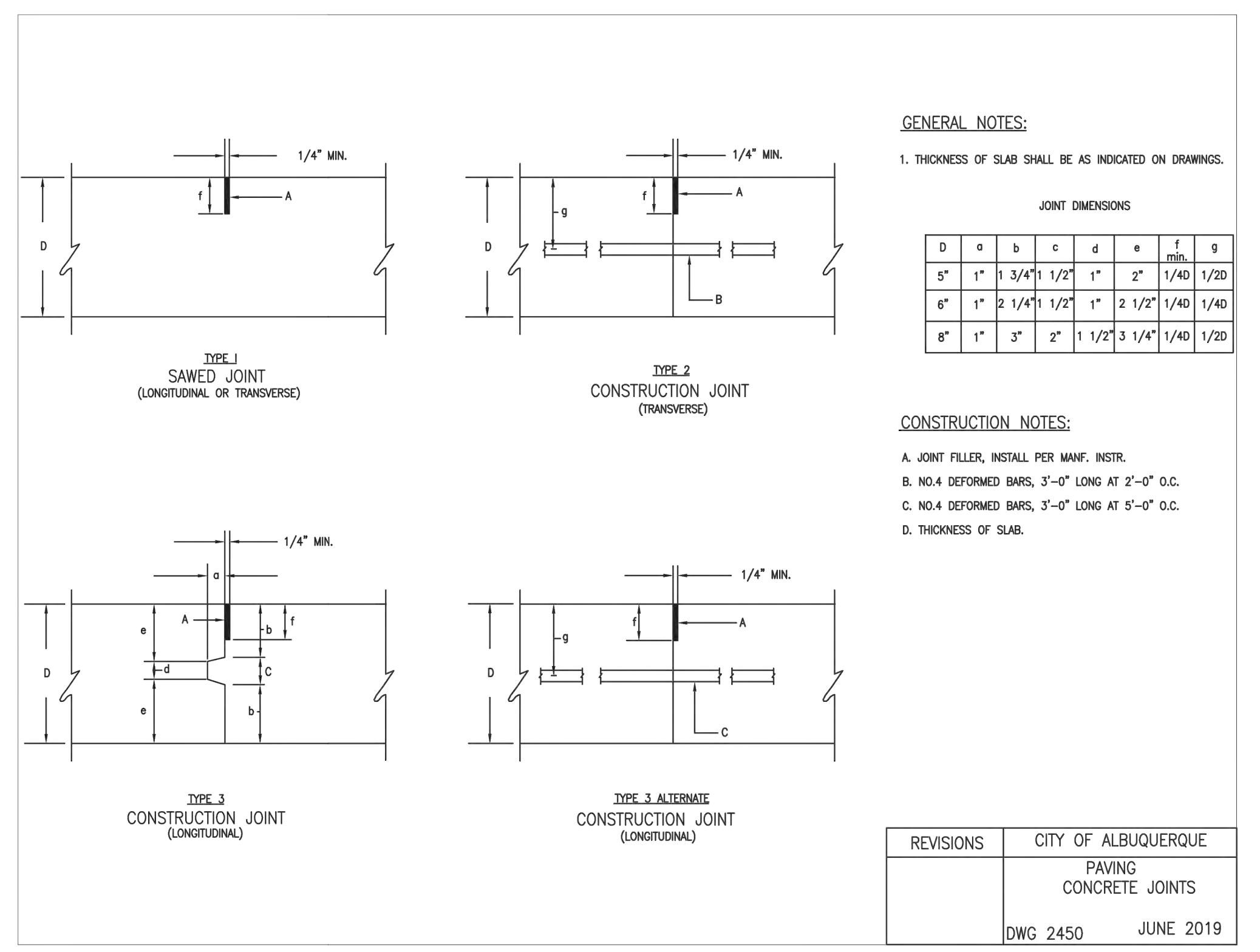
NO.	DESCRIPTION	DATE
1	AWING	JUNE 2019
2	PARALLEL AND DIAGONAL CURB RAMP	JUNE 2019



2 PAVEMENT SECTION NTS



4 MOTORCYCLE PARKING NTS



3 PAVING CONCRETE JOINT DETAILS NTS



PANDA EXPRESS, INC.
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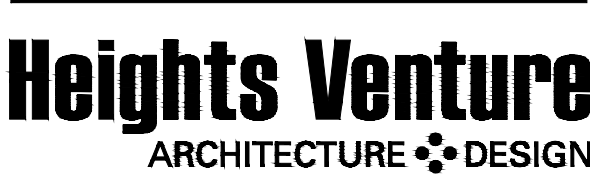
DRB 1st RESUBMITTAL	04-01-21
DRB Project No. PR-2022-006547	
SI-2022-00216-SITE PLAN	
DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
---------------	----------

DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: D8582



HOUSTON 1111 North Loop West, Suite 800
HOUSTON, TEXAS 77008
713 869 1103 V

DALLAS 5717 Legacy Drive, Suite 240
PLANO, TEXAS 75024
972 450 7292 V

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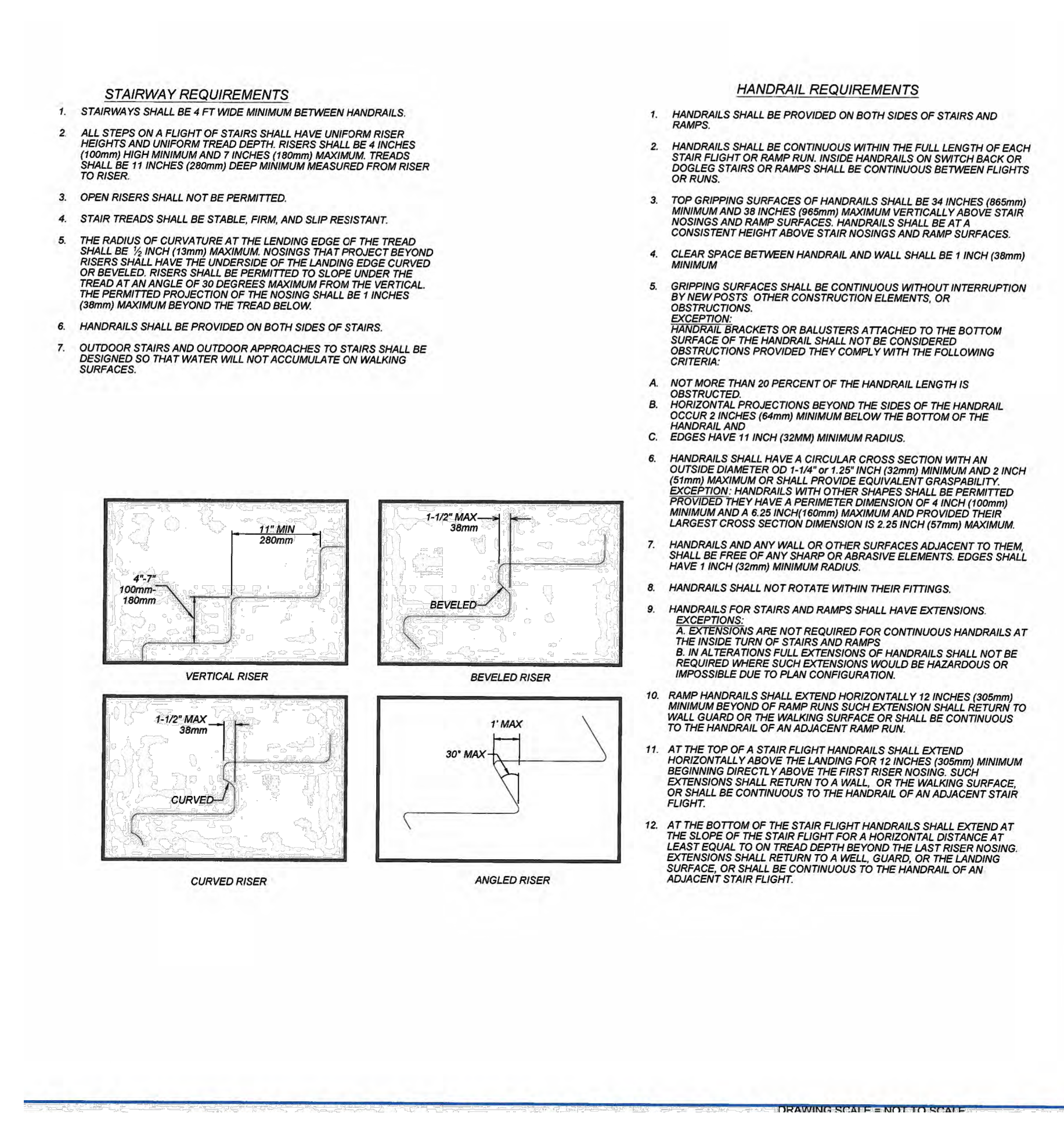
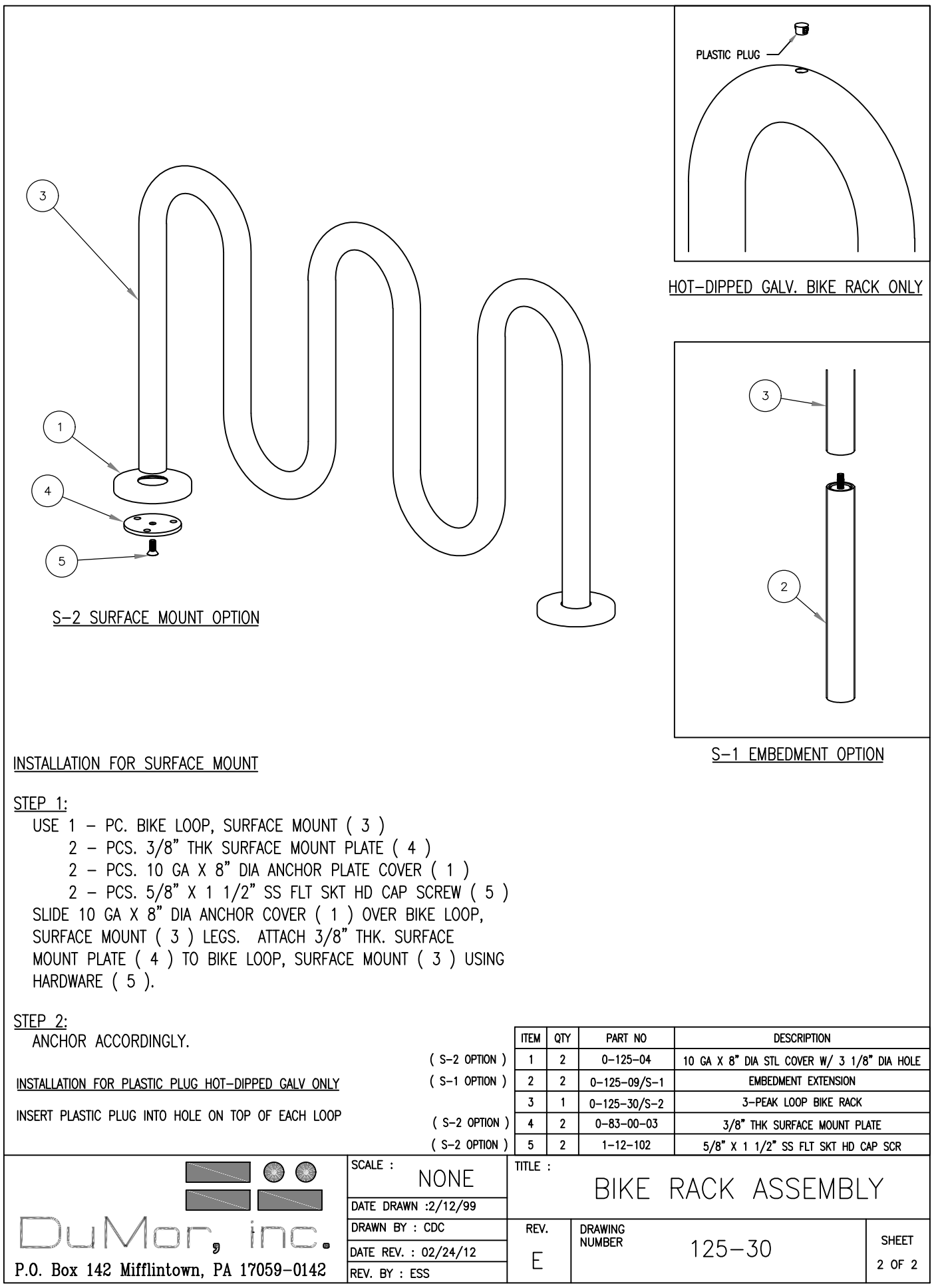
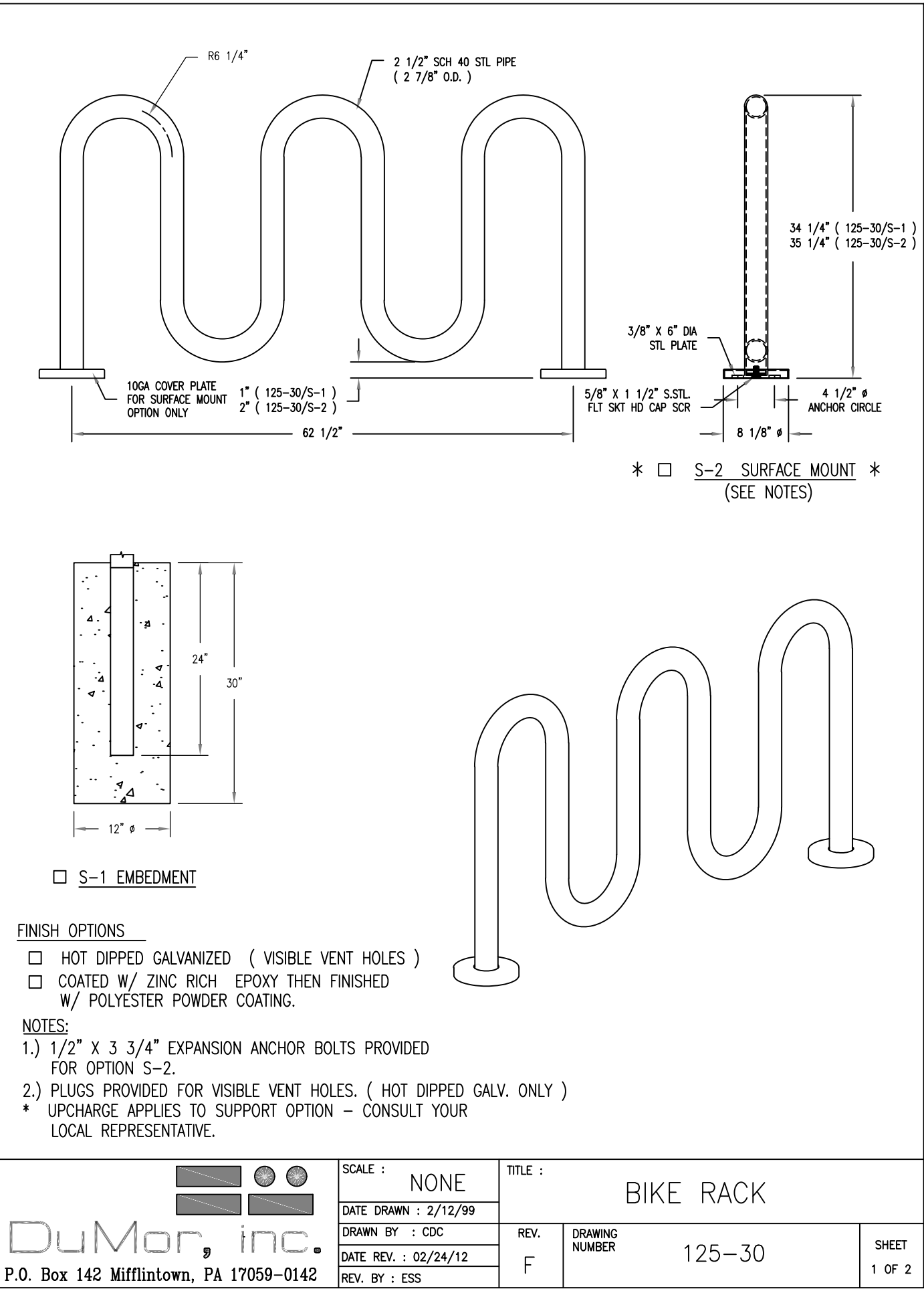
10126 COORS BOULEVARD
ALBUQUERQUE, NM 87114

HARDSCAPE DETAILS II

C03.3

10126 COORS BOULEVARD

DRB SUBMITTAL SET



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DRB 2nd RESUBMITTAL	05-04-22

NEW MEXICO
 DEPARTMENT OF TRANSPORTATION
 STANDARD DRAWING

PEDESTRIAN ACCESS DETAILS
 STAIRWAY AND HANDRAILS

APPROVED: [Signature]
 DATE: 608-001-11

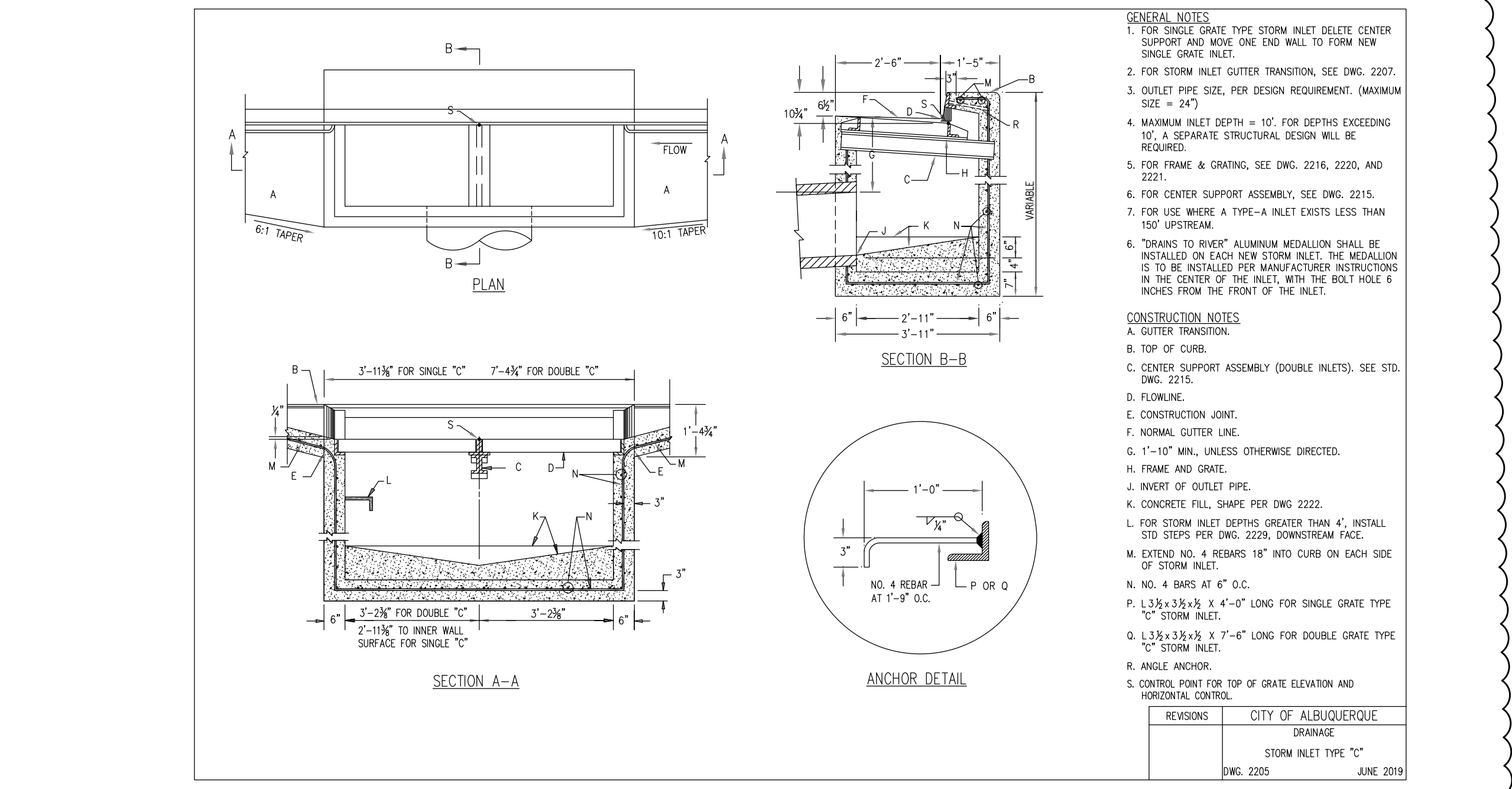
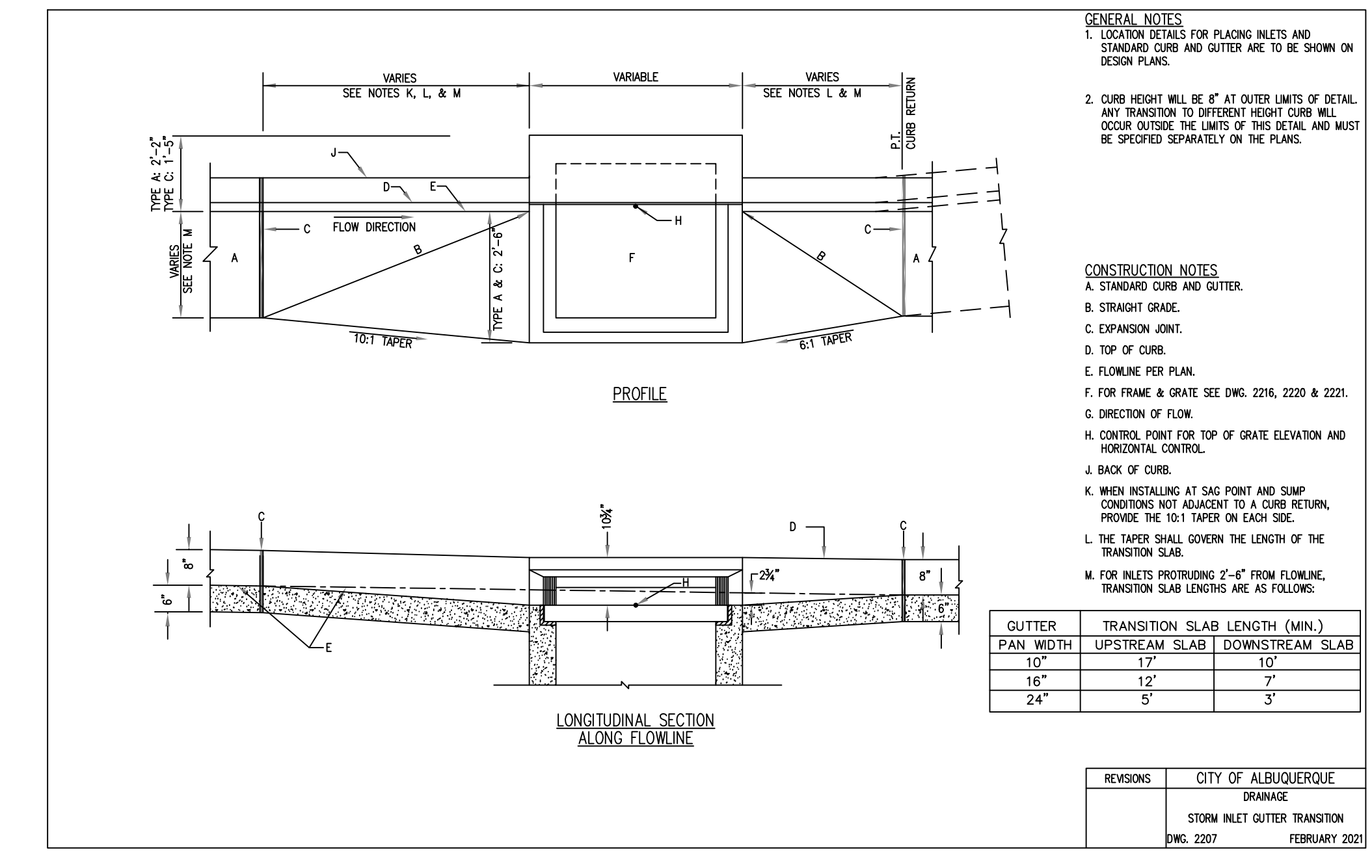
ISSUE DATE:
 DRB SUBMITTAL 12-28-21

DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
 PANDA STORE #: D8582
 ARCH PROJECT #: D8582

1 BIKE RACKS NTS

2 HAND RAILS NTS



3 CURB INLET NTS



EXPIRES 12-31-2023

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 Telephone: 626.799.9898
 Facsimile: 626.372.8288

REVISIONS:

DRB 1st RESUBMITTAL	04-01-21
DRB Project No. PR-2022-006547	
SI-2022-00216-SITE PLAN	
DRB 2nd RESUBMITTAL	05-04-22

NEW MEXICO
 DEPARTMENT OF TRANSPORTATION
 STANDARD DRAWING

PEDESTRIAN ACCESS DETAILS
 STAIRWAY AND HANDRAILS

APPROVED: [Signature]
 DATE: 608-001-11

ISSUE DATE:
 DRB SUBMITTAL 12-28-21

DRAWN BY: rtm

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 PANDA STORE #: D8582
 ARCH PROJECT #: D8582

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 OH Certificate of Authority: 05046

Heights Venture
 ARCHITECTURE DESIGN

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 DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 450 7292 V

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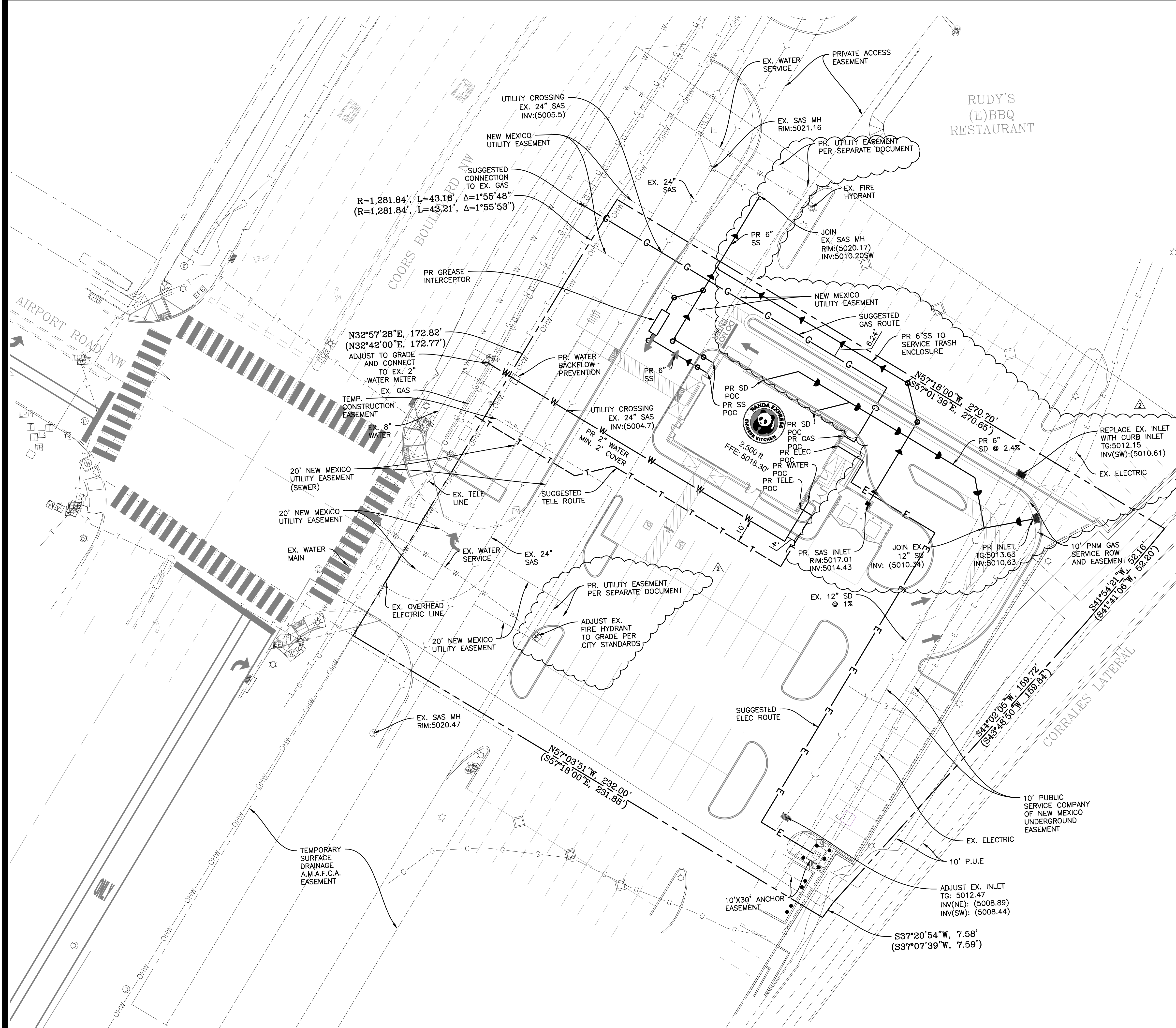
10126 COORS BOULEVARD
 ALBUQUERQUE, NM 87114

HARDSCAPE
 DETAILS III

C03.4

10126 COORS BOULEVARD

DRB SUBMITTAL SET



- NOTES:**
- EX. ITEMS SHALL BE FIELD VERIFIED. RELOCATION OR ADJUSTMENT MAY BE NEEDED. CONTRACTOR TO VERIFY.
 - CONTRACTOR SHALL VERIFY ALL WORK, INCLUDING BUT LIMITED TO, SIZES, MATERIALS AND LOCATION, WITH UTILITY COMPANIES PRIOR TO INSTALLATION.
 - VERIFY SERVICE LOCATIONS WITH BUILDING PLANS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - RIM GRADES ALONG CURBS ARE FLOW LINE ELEVATIONS.
 - SEE SPECIFICATIONS SHEETS FOR ALL STORM, SANITARY, AND WATER PIPE AND STRUCTURE SPECIFICATIONS.
 - ALL UTILITY TIE DIMENSIONS ARE FROM CENTER OF UTILITY AND TO BACK OF CURB WHEN TIED TO CURB LINES, UNLESS OTHERWISE NOTED.
 - CONTRACTOR TO INSPECT EXISTING SEWER AT POINT OF CONNECTION. CONTRACTOR TO VERIFY THAT EXISTING PIPE IS IN GOOD WORKING CONDITION. CONTRACTOR TO REPAIR AS REQUIRED.
 - CONTRACTOR TO NOTIFY OWNER/ENGINEER IF CONFLICTS OCCUR.
 - NEW OPENING/CONNECTIONS TO EXISTING MANHOLE/STRUCTURES SHALL BE CORE-DRILLED.
 - TEST PITS MUST BE EXCAVATED IN ADVANCE OF CONSTRUCTION IN ORDER TO CONFIRM DEPTH AND LOCATION OF EXISTING UTILITIES. NO ADDITIONAL PAYMENT WILL BE MADE FOR TEST PIT EXCAVATION.
 - ALL NEW STORM STRUCTURES SHALL HAVE ADA COMPATIBLE OPEN LIDS, PER JURISDICTION STANDARDS.
 - ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERKINS TOWNSHIP/ERIE COUNTY PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT ETC., THAT MAY BE REQUIRED.
 - CONTRACTOR SHALL COORDINATE GAS, ELECTRIC AND TELEPHONE CONDUIT, PIPING, AND CONDUCTOR REQUIREMENTS WITH MEP PLANS AND UTILITY PROVIDER PRIOR TO INSTALLATION.
 - STREET ASPHALT PAVEMENT SHALL BE RESTORED IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS AND STANDARDS.

UTILITY LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATERMAIN PIPE	— W —	— W —
STORM SEWER PIPE	— S —	— S —
SANITARY SEWER PIPE	— SS —	— SS —
ELECTRICAL DUCT BANK	— E —	— E —
NATURAL GAS LINE	— G —	— G —
COMMUNICATIONS LINE	— COM —	— COM —
OVERHEAD LINE	— OHW —	— OHW —
TELEVISION CABLE	— TV —	— TV —
UNDERGROUND WIRE	— UGW —	— UGW —
TELEPHONE CABLE	— T —	— T —
FIBER OPTIC CABLE	— FO —	— FO —
AERIAL WIRES	— A —	— A —
EASEMENT LINE	— —	— —
VENT LINE	— V —	— V —
VALVE VAULT	⊗	⊗
WATER B-BOX	⊗	⊗
WATER VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
WELL HEAD	⊗	⊗
FIRE DEPARTMENT CONNECTION	⊗	⊗
STORM INLET	⊗	⊗
STORM MANHOLE	⊗	⊗
CATCH BASIN	⊗	⊗
STORM CLEANOUT	⊗	⊗
DOWNSPOUT	⊗	⊗
FLARED END SECTION	⊗	⊗
SANITARY MANHOLE	⊗	⊗
SANITARY CLEANOUT	⊗	⊗
LIGHT POLE	⊗	⊗
TELEPHONE MANHOLE	⊗	⊗
POWER POLE	⊗	⊗
GAS VALVE	⊗	⊗
GAS METER	⊗	⊗
HAND HOLE	⊗	⊗
MAIL BOX	⊗	⊗
ELECTRICAL MANHOLE	⊗	⊗
CABLE TV PEDESTAL	⊗	⊗
TELEPHONE PEDESTAL	⊗	⊗

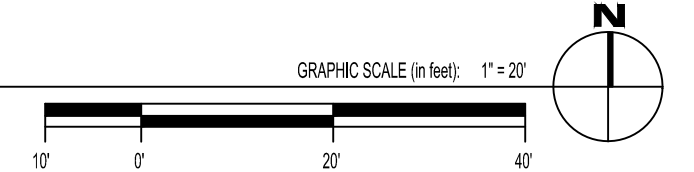
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AERIAL WIRES	— A —	— A —
EASEMENT LINE	— —	— —
VENT LINE	— V —	— V —
VALVE VAULT	⊗	⊗
WATER B-BOX	⊗	⊗
WATER VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
WELL HEAD	⊗	⊗
FIRE DEPARTMENT CONNECTION	⊗	⊗
STORM INLET	⊗	⊗
STORM MANHOLE	⊗	⊗
CATCH BASIN	⊗	⊗
STORM CLEANOUT	⊗	⊗
DOWNSPOUT	⊗	⊗
FLARED END SECTION	⊗	⊗
SANITARY MANHOLE	⊗	⊗
SANITARY CLEANOUT	⊗	⊗
LIGHT POLE	⊗	⊗
TELEPHONE MANHOLE	⊗	⊗
POWER POLE	⊗	⊗
GAS VALVE	⊗	⊗
GAS METER	⊗	⊗
HAND HOLE	⊗	⊗
MAIL BOX	⊗	⊗
ELECTRICAL MANHOLE	⊗	⊗
CABLE TV PEDESTAL	⊗	⊗
TELEPHONE PEDESTAL	⊗	⊗

UTILITY LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATERMAIN PIPE	— W —	— W —
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UTILITY PLAN



EXPIRES 12-31-2023



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REVISIONS:

NO.	DESCRIPTION	DATE
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DRB Project No. PR-2022-006547		
SI-2022-00216-SITE PLAN		
DRB 2nd RESUBMITTAL		05-04-22

ISSUE DATE:

ISSUE	DATE
DRB SUBMITTAL	12-28-21

DRAWN BY: rtm
PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: D8582



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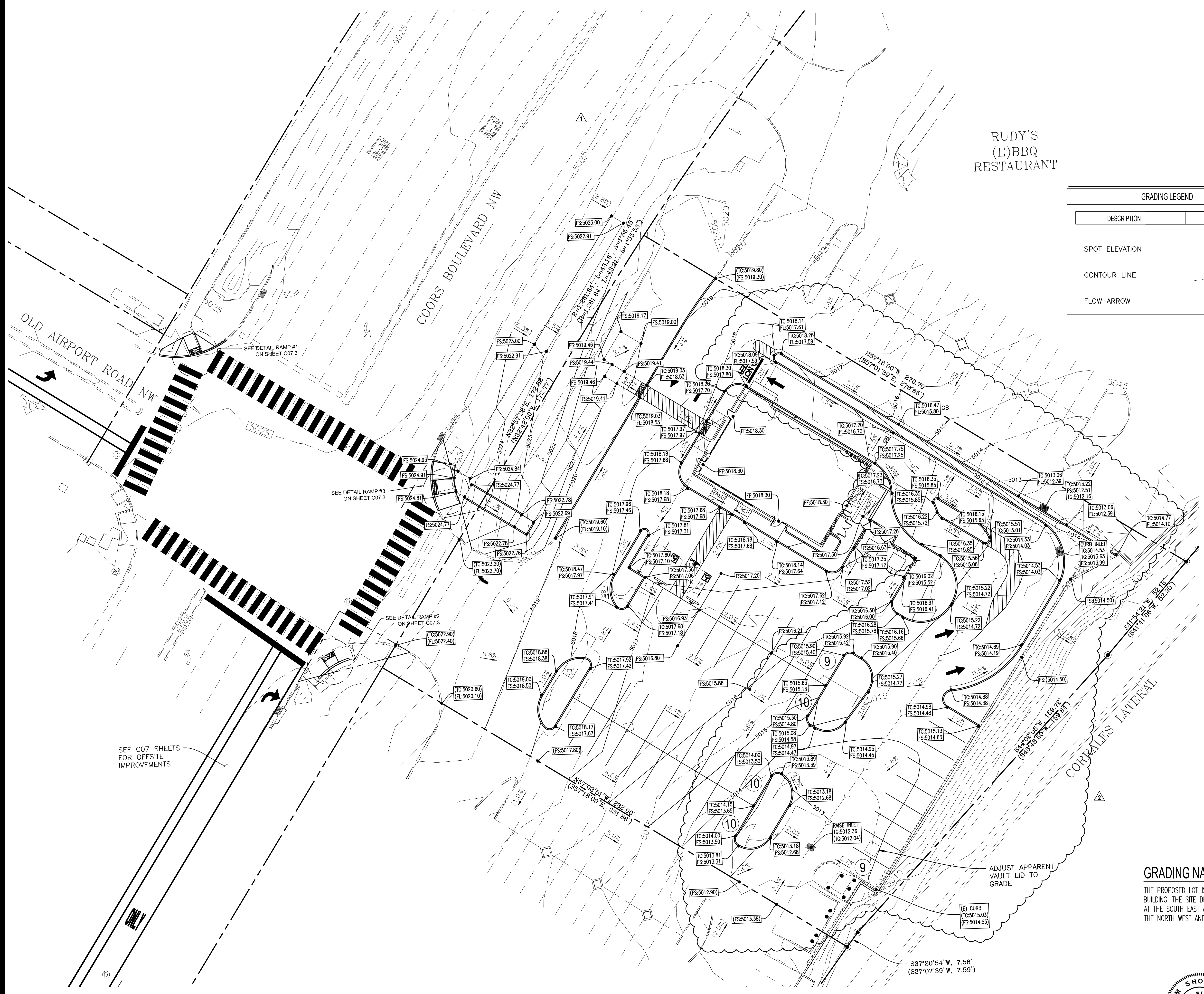
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ALBUQUERQUE, NM 87114

UTILITY PLAN

C04.0

10126 COORS BOULEVARD

DRB SUBMITTAL SET



RUDY'S
(E)BBQ
RESTAURANT

GRADING LEGEND			
DESCRIPTION	EXISTING	PROPOSED	BY OTHERS
SPOT ELEVATION	±0.00	TC:XX.XX FL:XX.XX	P:XX.XX
CONTOUR LINE	- 600 -	- 600 -	- 600 -
FLOW ARROW	→	→	→

NOTES:

- PERVIOUS/ IMPERVIOUS AREA:

EXISTING
PERVIOUS-0.28 AC (22.22%)
IMPERVIOUS-0.96 AC (77.78%)
PROPOSED
PERVIOUS-0.28 AC (22.62%)
IMPERVIOUS-0.97 AC (77.38%)

SEE SHEETS EH.01 AND EH.02 FOR FULL EXHIBIT



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4	DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY:

rtm

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582

ARCH PROJECT #: D8582



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OH Certificate of Authority: 05046

Heights Venture
ARCHITECTURE DESIGN

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DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 450 7292 V

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ALBUQUERQUE, NM 87114

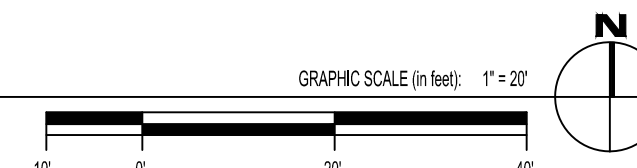
GRADING PLAN

C05.0



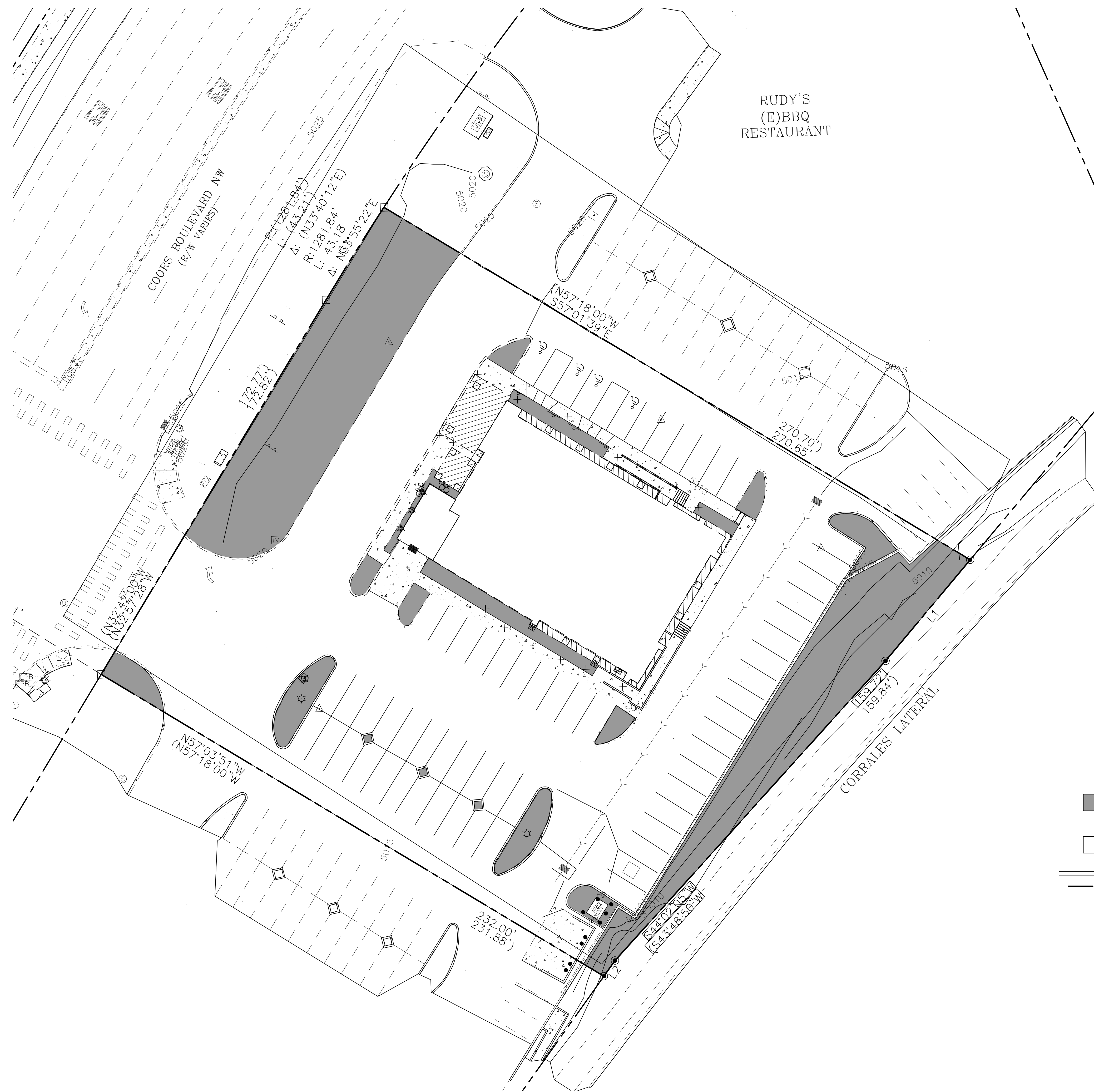
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GRADING PLAN



DRB SUBMITTAL SET

10126 COORS BOULEVARD



RUDY'S
(E)BBQ
RESTAURANT

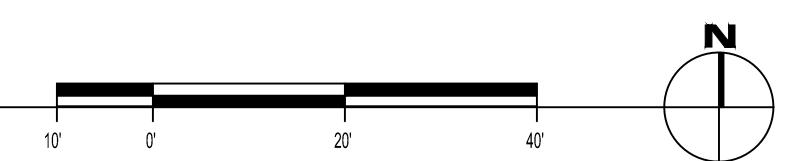
COORS BOULEVARD NW
(R/W VARIES)

CORRALES LATERAL

EXISTING AREAS:

- PERVIOUS = 12071.15 SF (22.22%)
= 0.28 AC
- IMPERVIOUS = 42261.54 SF (77.78%)
= 0.96 AC
- PROPERTY AREA = 54332.69 SF
= 1.25 AC

EXISTING PERVIOUS AND
IMPERVIOUS AREAS



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PANDA STORE #: D8582
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ARCHITECTURE + DESIGN

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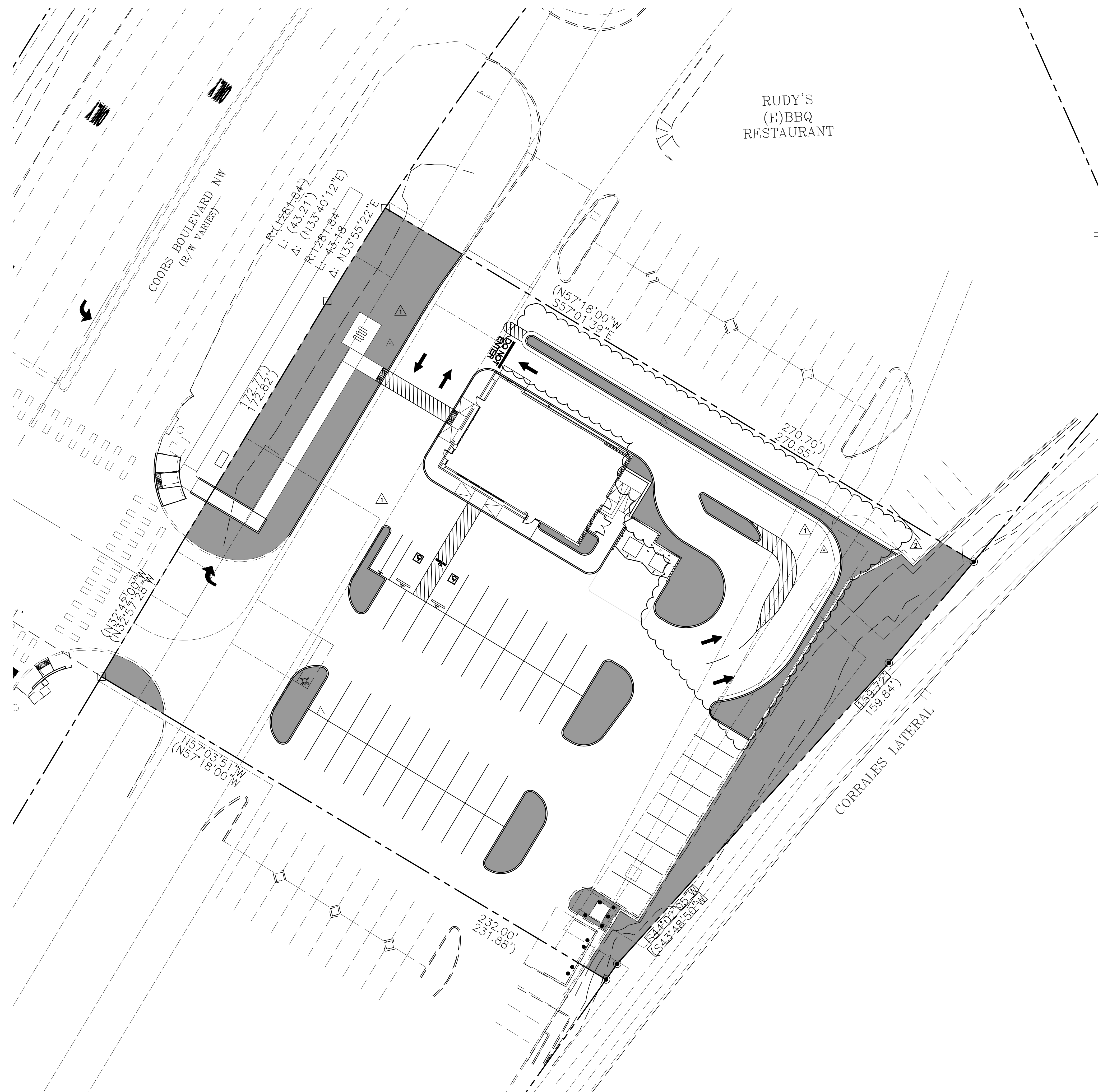
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EXISTING PERVIOUS
AND IMPERVIOUS
AREAS
EH.01

10126 COORS BOULEVARD

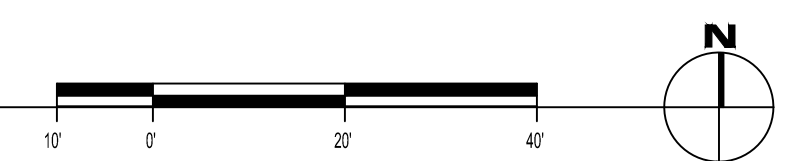
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PROPOSED AREAS:

	PERVIOUS = 12447.25 SF (22.91%)	= 0.29 AC
	IMPERVIOUS = 41885.44 SF (77.09%)	= 0.96 AC
	PROPERTY AREA = 54332.69 SF	= 1.25 AC

PROPOSED PERVIOUS AND IMPERVIOUS AREAS



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ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
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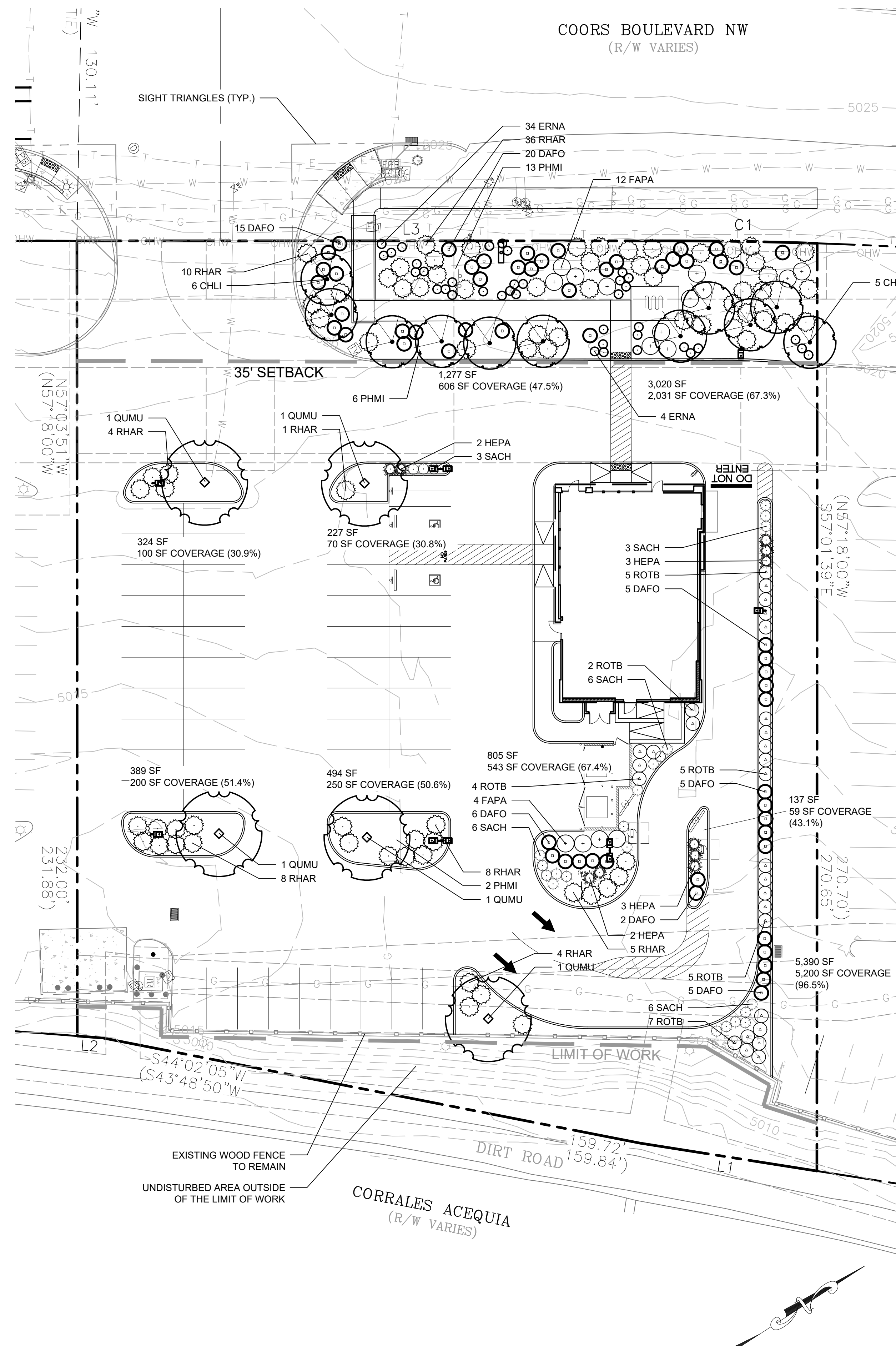
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ALBUQUERQUE, NM 87114

PROPOSED PERVIOUS AND IMPERVIOUS AREAS
EH.02

10126 COORS BOULEVARD

DRB SUBMITTAL SET



CITY NOTES

THIS PLAN IS IN COMPLIANCE WITH THE WATER CONSERVATION ORDINANCE, 6-1-1. THIS PLAN IS IN COMPLIANCE WITH 14-16-3-10 GENERAL LANDSCAPING REGULATIONS FOR THE CITY OF ALBUQUERQUE, NEW MEXICO. OWNER AGREES TO MAINTAIN THE LANDSCAPE IN THE PUBLIC RIGHT-OF-WAY PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CHLI	Chilopsis linearis 'Bubba'	Bubba Desert Willow	2" cal., 8'-10' high	Per plan	11	
QUMU	Quercus muehlenbergii	Chinquapin Oak	2" cal., 8'-10' high	Per plan	5	
SHRUBS AND ORNAMENTAL GRASSES						
DAFO	Dalea formosa	Indigobush	#3 cont.	4' o.c.	58	
ERNA	Ericameria nauseosa naus. var. nauseosa	Dwarf Rabbitbrush	#3 cont.	2.5' o.c.	38	
FAPA	Falugia paradoxa	Apache Plume	#3 cont.	5' o.c.	16	
HEPA	Hesperaloe parviflora	Red Yucca	#3 cont.	3' o.c.	10	
PHMI	Philadelphus microphyllus	Littleleaf Mockorange	#3 cont.	5' o.c.	21	
RHAR	Rhus aromatica 'Autumn Amber'	Autumn Amber Sumac	#3 cont.	5' o.c.	76	
ROTB	Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	#3 cont.	4' o.c.	28	
SACH	Salvia chamaedryoides	Germander Sage	#1 cont.	3' o.c.	24	

LANDSCAPE CALCULATIONS

NET SITE AREA:	54,333 SF
LANDSCAPE AREA REQUIRED:	8,150 SF (15% OF SITE AREA)
LANDSCAPE AREA PROVIDED:	12,045 SF (22.2% OF SITE AREA)
MINIMUM REQUIRED COVERAGE:	9,034 SF (75% OF LANDSCAPE AREA)
COVERAGE PROVIDED OVERALL:	9,059 SF (75.2%)
STREET FRONTAGE LANDSCAPING	
FRONTAGE LENGTH:	216 LF
STREET TREES REQUIRED:	11 TREES (1 PER 20 LF* OF FRONTAGE)
STREET TREES PROVIDED:	11 TREES
* OVERHEAD POWER LINES PRESENT	
PARKING LOT LANDSCAPING	
PARKING LOT AREA:	16,589 SF
LANDSCAPE AREA REQUIRED:	1,659 SF (10% OF PARKING AREA)
LANDSCAPE AREA PROVIDED:	1,700 SF (10.2% OF PARKING AREA)
TOTAL PARKING SPACES:	
TREES REQUIRED:	49 SPACES
TREES PROVIDED:	5 TREES (1 TREE PER 10 SPACES)
CPO-2 STANDARDS	
SETBACK LANDSCAPE AREA:	4,297 SF
REQUIRED COVERAGE:	2,149 SF (50%)
PROVIDED COVERAGE:	2,637 SF (61.4%)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1" RIVER ROCK, BEIGE COLOR. MULCH IN ALL NEWLY PLANTED AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS). DO NOT USE WEED BARRIERS OR LANDSCAPE FABRIC UNDER ANY MULCH.

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.** IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



4/25/2022



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REVISIONS:

DRB RESUBMITTAL	04-06-22
DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY: LML

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: 21084



Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024
713 869 1103 V 972 490 7292 V

PANDA EXPRESS

TRUE WARM & WELCOME
10126 COORS BLVD, NW
ALBUQUERQUE, NM 87114

L-1

PLANTING PLAN

TRUE WARM & WELCOME 2500 R1

DRB - PR-2022-006547 SI-2022-00216

DESIGN/BUILD IRRIGATION SPECIFICATIONS

GENERAL

- 1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION...

SCORE OF WORK

- 1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES...

PRODUCTS

- A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS...

PIPE

- 1. PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION: a. SCHEDULE 40 PVC FOR ALL PIPE 2" TO 12" O.C.

VALVES

- 1. BRASS BALL VALVES SHALL BE INSTALLED WHEREVER PRESSURIZED MAINLINE CROSSES VEHICULAR AREAS...

EMITTERS

- 1. PARALLEL TUBING RUNS SPACED AT 18" O.C. a. CLAY AND CLAY LOAM SOILS: 0.9 GPH EMITTERS SPACED AT 12" O.C.

METHODS

- A. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE...

BACKFILL

- 1. ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1" LARGE STONES...

PIPING

- 1. PIPE SIZE SHALL CONFORM TO THE STANDARD OF CARE FOR PIPE SIZES. THE IRRIGATION CONTRACTOR SHALL ENSURE THAT THE FLOW THROUGH ANY PIPE DOES NOT EXCEED 5 FPS...

VALVES

- 1. VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE...

DRIP IRRIGATION

- 1. DRIP LINES IN AREAS WITH ORGANIC MULCH, SUCH AS SHREDED WOOD, SHALL BE BURIED NO MORE THAN 2" BELOW FINISH GRADE...

CONTROL

- 1. INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE MANUFACTURER.

QUALITY CONTROL

- 1. PERFORM COVERAGE TESTS AFTER IRRIGATION SYSTEM IS COMPLETED, BUT PRIOR TO ANY PLANTING AND BEFORE TESTING IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE.

CLEAN UP

- 1. DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.

INSPECTION AND ACCEPTANCE

- 1. UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED.

WARRANTY

- 1. THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE.

REFER TO THE PLANTING SPECIFICATIONS

- A. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE...

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR 1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM...

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. CONTAINER AND BALLED-AND-BURLAPPED PLANTS: 1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014.

METHODS

- A. SOIL PREPARATION 1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE.

SUBMITTALS

- 1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.

GENERAL PLANTING

- 1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. PLANTS IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.

SHRUB AND PERENNIAL PLANTING

- 1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE.

WARRANTY PERIOD

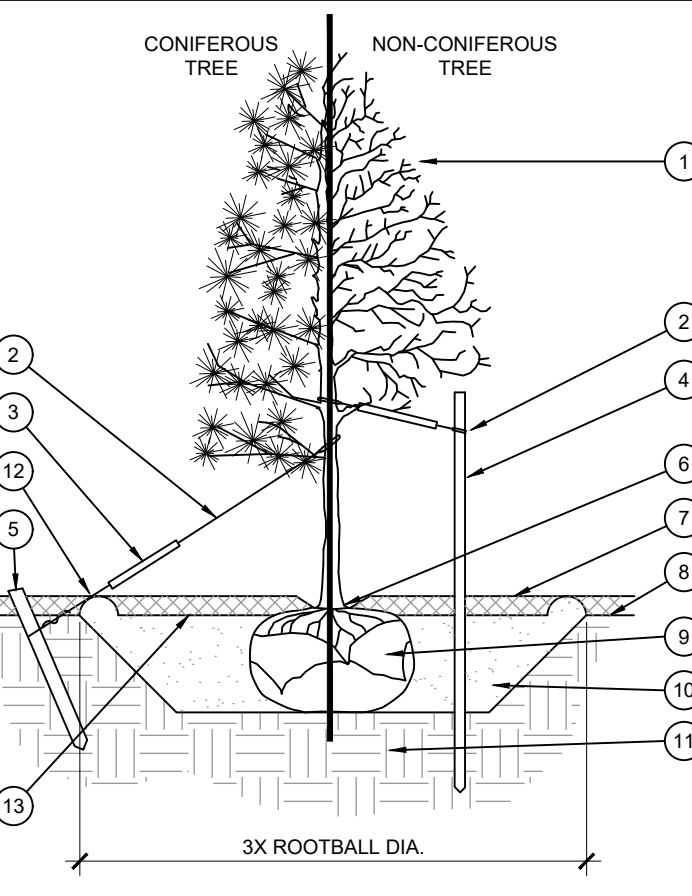
- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS).

INSPECTION AND ACCEPTANCE

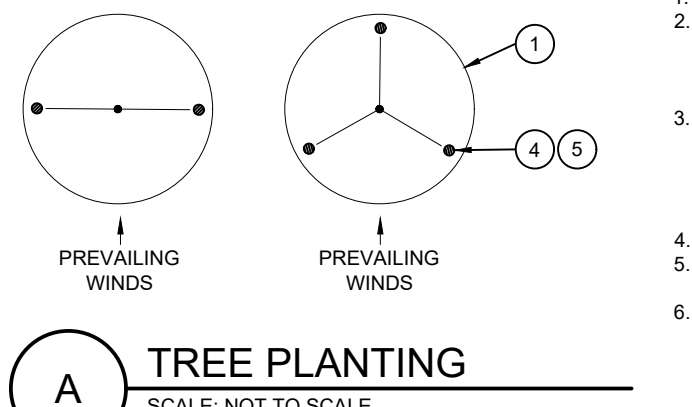
- 1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE.

REFER TO THE PLANTING SPECIFICATIONS

- A. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE...



STAKING EXAMPLES (PLAN VIEW)

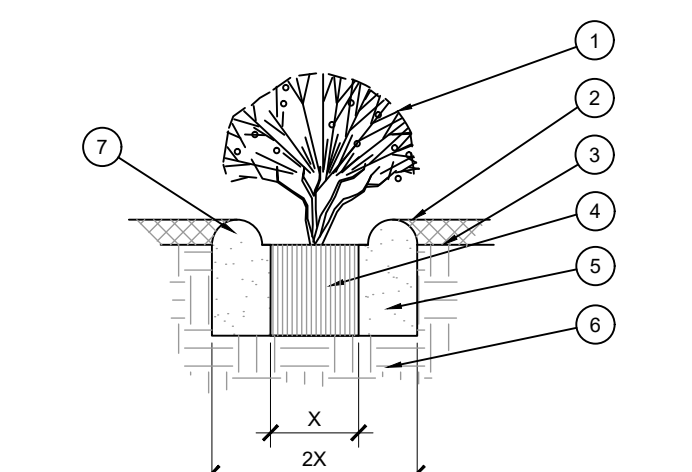


TREE PLANTING SCALE: NOT TO SCALE

- 1. TREE CANOPY 2. CINCH-TIES (24" BOXZ" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED STEEL WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOXZ" CAL. TREES AND LARGER)...

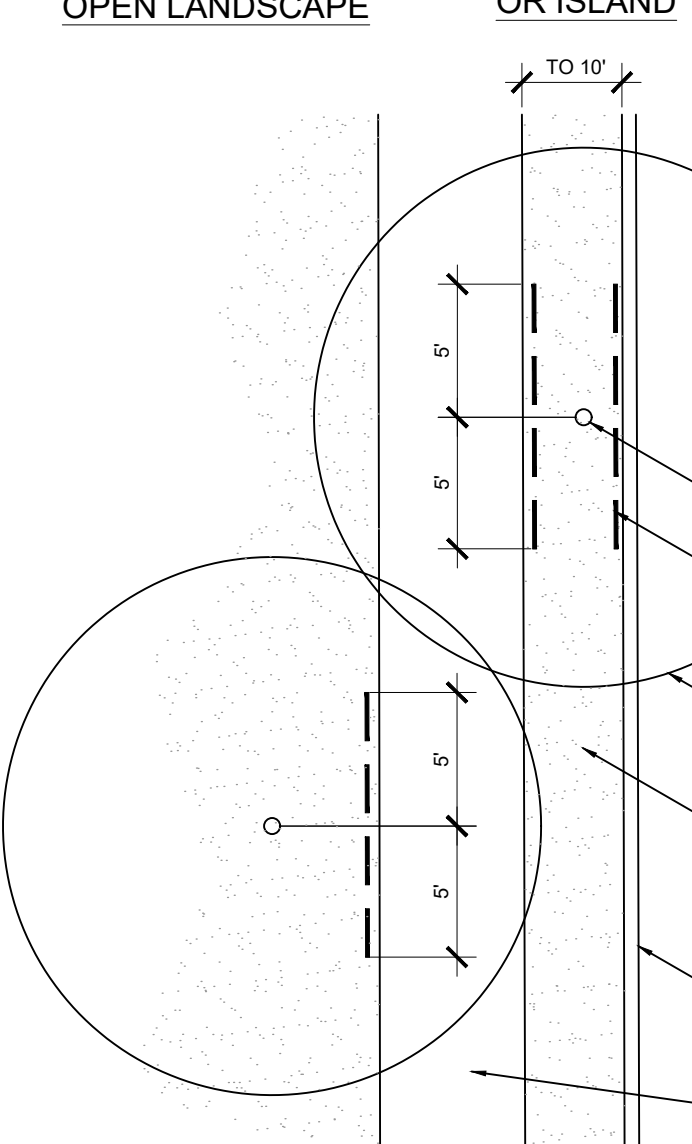
NOTES

- 1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE...



SHRUB AND PERENNIAL PLANTING SCALE: NTS

OPEN LANDSCAPE PARKWAY OR ISLAND



ROOT BARRIER - PLAN VIEW SCALE: NOT TO SCALE

- 1. SHRUB, PERENNIAL, OR ORNAMENTAL GRASS 2. MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.

ISSUE DATE:

- DRB SUBMITTAL 12-28-21

REVISIONS:

- DRB RESUBMITTAL 04-06-22
- DRB 2nd RESUBMITTAL 05-04-22

DRAWN BY:

LML

PANDA PROJECT #:

S8-22-D8582

PANDA STORE #:

D8582

ARCH PROJECT #:

21084



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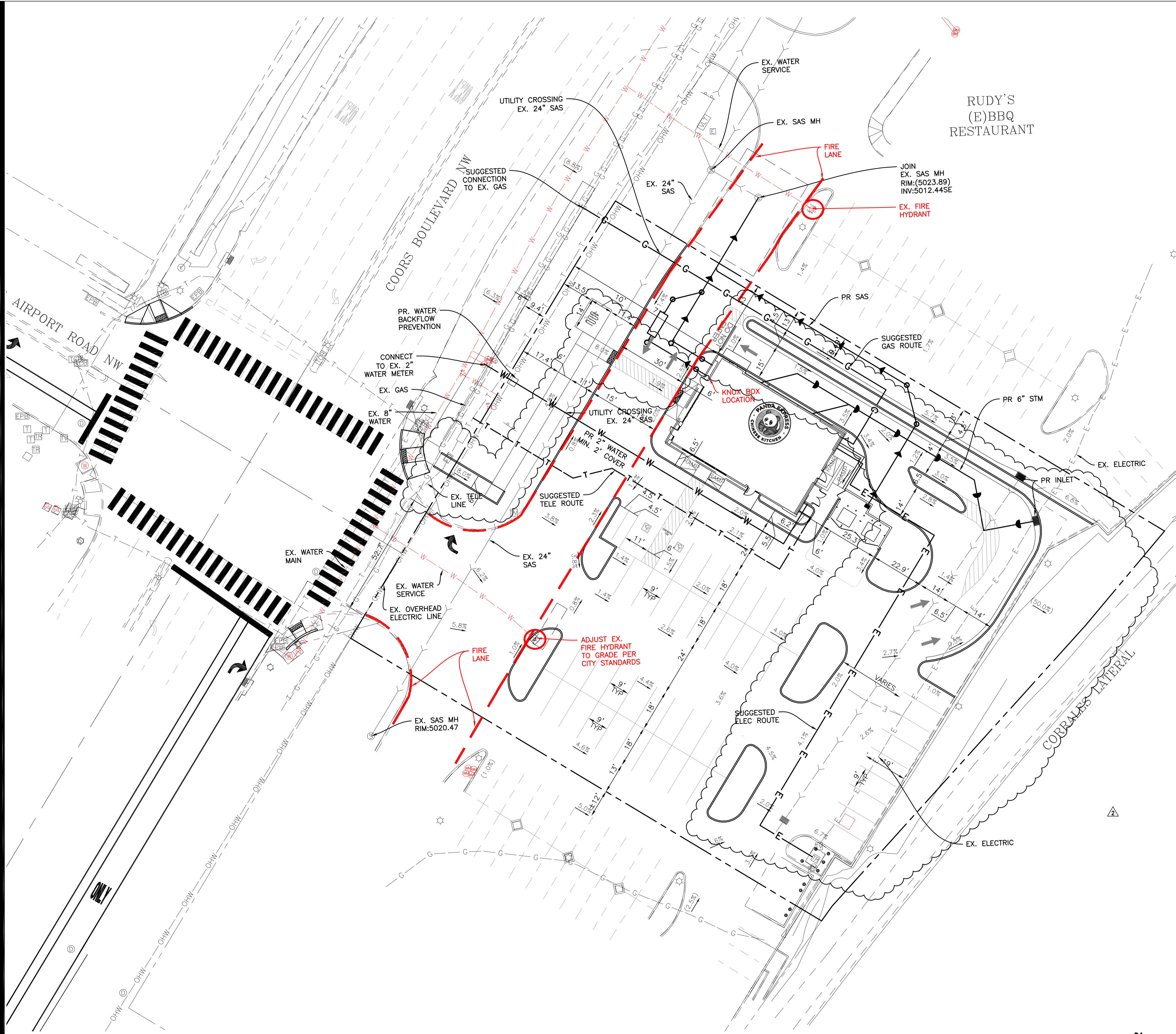
REVISIONS:

- DRB RESUBMITTAL 04-06-22
- DRB 2nd RESUBMITTAL 05-04-22

DRAWN BY:

LML

DRB - PR-2022-006547 SI-2022-002116



RUDY'S
(E)BBQ
RESTAURANT

GENERAL BUILDING NOTES:

BUILDING INFORMATION

BUILDING HEIGHT: 23'-6" AFF
 BUILDING SQ.FT.: 2,540 SQ. FT.
 FIRE SPRINKLER: NON-SPRINKLERED BUILDING
 TYPE OF CONSTRUCTION: TYPE V-B
 FIRE FLOW: 1,500 GPM
 OCCUPANCY CLASSIFICATION: GROUP A-2 (ASSEMBLY)

NUMBER OF FIRE HYDRANTS REQUIRED: AS REQUIRED BY FIRE MARSHAL

ACCESS AND LOADING

AN APPROVED FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF THE FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

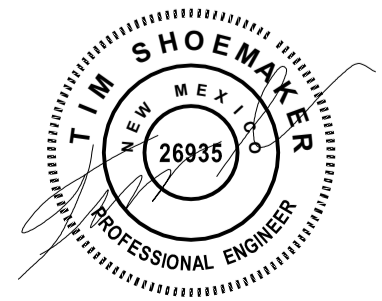
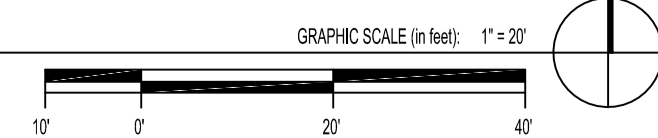
GRADE

FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.

UTILITY LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATERMAIN PIPE	— W —	— W —
STORM SEWER PIPE	— S —	— S —
SANITARY SEWER PIPE	— SS —	— SS —
ELECTRICAL DUCT BANK	— E —	— E —
NATURAL GAS LINE	— G —	— G —
COMMUNICATIONS LINE	— COM —	— COM —
OVERHEAD LINE	— OHW —	— OHW —
TELEVISION CABLE	— TV —	— TV —
UNDERGROUND WIRE	— UGW —	— UGW —
TELEPHONE CABLE	— T —	— T —
FIBER OPTIC CABLE	— FO —	— FO —
AERIAL WIRES	— A —	— A —
EASEMENT LINE	— — —	— — —
VENT LINE	— V —	— V —
VALVE VAULT	⊗	⊗
WATER B-BOX	⊗	⊗
WATER VALVE BOX	⊗	⊗
FIRE HYDRANT	⊗	⊗
WELL HEAD	⊗	⊗
FIRE DEPARTMENT CONNECTION	⊗	⊗
STORM INLET	⊗	⊗
STORM MANHOLE	⊗	⊗
CATCH BASIN	⊗	⊗
STORM CLEANOUT	⊗	⊗
DOWNSPOUT	⊗	⊗
FLARED END SECTION	⊗	⊗
SANITARY MANHOLE	⊗	⊗
SANITARY CLEANOUT	⊗	⊗
LIGHT POLE	⊗	⊗
TELEPHONE MANHOLE	⊗	⊗
POWER POLE	⊗	⊗
GAS VALVE	⊗	⊗
GAS METER	⊗	⊗
HAND HOLE	⊗	⊗
MAIL BOX	⊗	⊗
ELECTRICAL MANHOLE	⊗	⊗
CABLE TV PEDESTAL	⊗	⊗
TELEPHONE PEDESTAL	⊗	⊗

UTILITY PLAN



EXPIRES 12-31-2023



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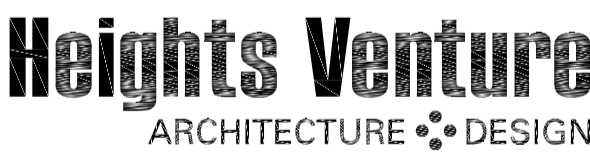
DRB 1st RESUBMITTAL	04-01-21
DRB Project No. PR-2022-006547	
SI-2022-00216-SITE PLAN	
DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY: rtm

PANDA PROJECT #: S8-22-D8582
 PANDA STORE #: D8582
 ARCH PROJECT #: D8582



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 DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

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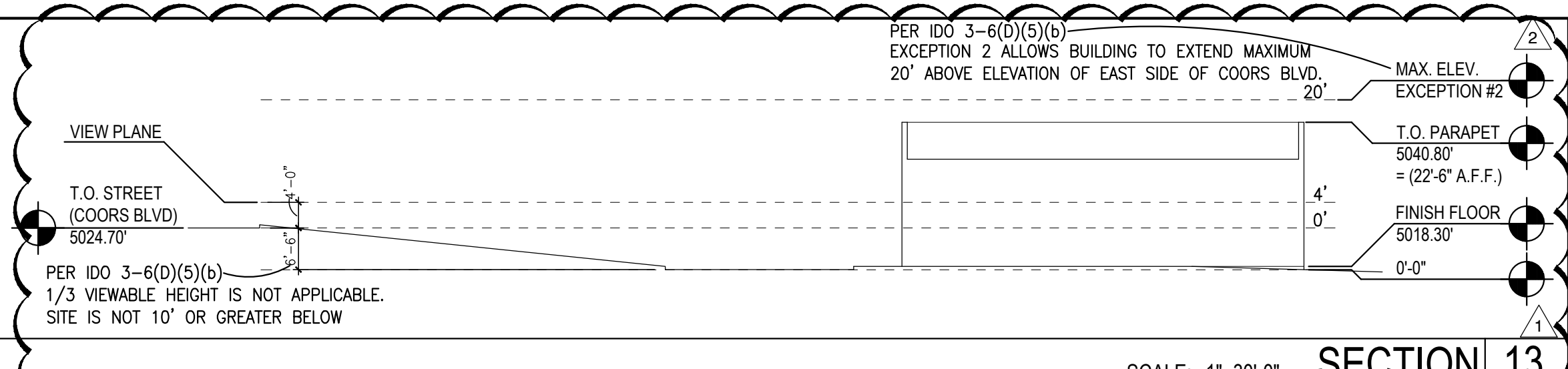
10126 COORS BOULEVARD
 ALBUQUERQUE, NM 87114

FIRE ONE PLAN

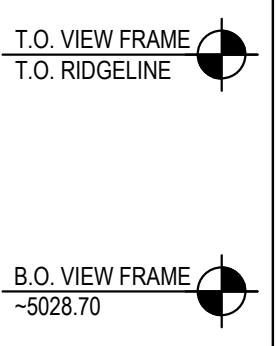
F1

10126 COORS BOULEVARD

DRB SUBMITTAL SET



BULK OF STRUCTURE IS 10% OF AREA WITHIN VIEW FRAME
BULK OF STRUCTURE <50% OF AREA WITHIN VIEW FRAME PER IDO 3-6(D)(5)(c) BUILDING AND STRUCTURE BULK



- DEMOLITION NOTE:**
G.C. TO REMOVE ALL EXISTING ABOVE/GROUND STRUCTURAL WALLS, FOUNDATION, ASPHALT, CONC. CURBS AND DEBRIS PRIOR TO NEW CONSTRUCTION.
- GENERAL NOTE:**
- G.C. TO VERIFY AND PROVIDE ALL UNDERGROUND WIRING AND CONDUIT (INSTALLED BY LOCAL UTILITY COMPANY) FROM TRANSFORMER TO ELECTRICAL MAIN SWITCHGEAR, DRIVE THRU MENU BOARD, BY G.C. VERIFY WITH PANDA PM.
 - WATER METER FOR IRRIGATION SHALL BE A SEPARATE METER THAN MAIN WATER METER. G.C. TO REFERENCE CIVIL UTILITY PLAN FOR SIZE AND LOCATION.
 - PROVIDE & INSTALL CAGE AND COVER FOR THE BACK-FLOW PREVENTER AT 4" CONCRETE CURB IN LANDSCAPE AREA. GORILLA CAGE, MANUFACTURED BY HOUSTON IRRIGATION SERVICES SPRING, TEXAS (281-705-9701). PROVIDE INSULATED COVER, 'AQUA SHIELD' MODEL # BFP1-S FOR COLDER REGIONS OF US. COORDINATE WITH PANDA PM. REFER TO DETAIL 11/A-407
 - FOR HORIZONTAL CONTROL PLAN REFER TO CIVIL DRAWINGS

SCALE: 1"=30'-0" SECTION 13

ESTIMATE VIEW FRAME 3

PANDA EXPRESS - SITE INFORMATION

SITE AREA: 54,333 SF / 1,247 AC
BUILDING AREA: 2,540 SF

PARKING CALCULATION:
PER IDO TABLE 5-5-1
REQUIRED: 8 SPACES PER 1000 GROSS SQ.FT
2.5 x 8 = 20 SPACES REQUIRED

PROVIDED:
46 REGULAR
+ 2 ACCESSIBLE
= 48 PARKS PROVIDED

MOTORCYCLE PROVIDED: 2 STALLS

LEGEND

- PROPERTY LINE
- BUILDING SETBACK
- SIGHT LINES
- VIEW FRAME

- | | |
|---|--|
| 1 BUILDING SETBACKS | 19 ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL. COLD CLIMATES WILL REQUIRE CONNECTION TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION. |
| 2 PROPERTY LINE | 20 STEEL PIPE BOLLARD - BOLLARDS TO BE PAINTED SAFETY YELLOW PRIOR TO APPLICATION OF LOPE SLEEVE. |
| 3 NEW SITE LIGHT POLE | 21 UNDERGROUND GREASE INTERCEPTOR - SEE PLUMBING/CIVIL DRAWINGS |
| 4 NEW SWITCHGEAR | 22 CONC. DRIVEWAY |
| 5 PAVING - SEE CIVIL PLAN | 23 EDGE OF SIDEWALK AT PLANTER |
| 6 IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS | 24 CONCRETE CURB AT LANDSCAPE AREA. |
| 7 HEAVY DUTY CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFERENCE CIVIL DRAWINGS FOR SPECIFICATIONS | 25 EXPANSION JOINT @ 20'-0" O.C. MAX. |
| 8 TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. | 26 TOOLED JOINTS @ 5'-0"X5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C. |
| 9 GC TO COORDINATE LOCATION OF THE FREESTANDING SIGN WITH SIGN CO. THE SQUARE FOOTAGE OF SIGN IS 45 SQFT | 27 ACCESSIBLE RAMP |
| 10 DRIVE THRU LANE SENSOR LOOP. INSTALL POSITION SO LOOP IS CENTERED ON ACTIVE PANEL OF DRIVE THROUGH WINDOW. SEE DETAIL. | 28 EXISTING TRANSFORMER PAD. REFER TO CIVIL AND ELECTRICAL DRAWINGS. |
| 11 DRIVE THROUGH MENU BOARD-INSTALLED BY SIGN COMPANY. VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE) | 29 ORDER CONFIRMATION BOARD |
| 12 DIRECTIONAL ARROW | 30 RUBBER WHEEL STOP, REF. CIVIL DRAWINGS |
| 13 ACCESSIBLE PATH OF TRAVEL | 31 MOTORCYCLE PARKING |
| 14 ACCESSIBLE PARKING POLE SIGN | 32 BIKE RACK - REFER TO CIVIL DWG'S MANUF: DUMOR, INC MODEL NUMBER: 125-30 SERIES |
| 15 INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE | 33 CLEARANCE BAR/BASE INSTALLED BY SIGN VENDOR. |
| 16 ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @ 3'-0" O.C. | 34 GC TO REPAIR EXISTING WOOD FENCE. |
| 17 PAINT 4" WIDE SOLID PARKING STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT | 35 PAINT 'DO NOT ENTER' SIGNAGE |
| 18 DESIGNATED HANDICAP PARKING SPACE | 35 *LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE. |

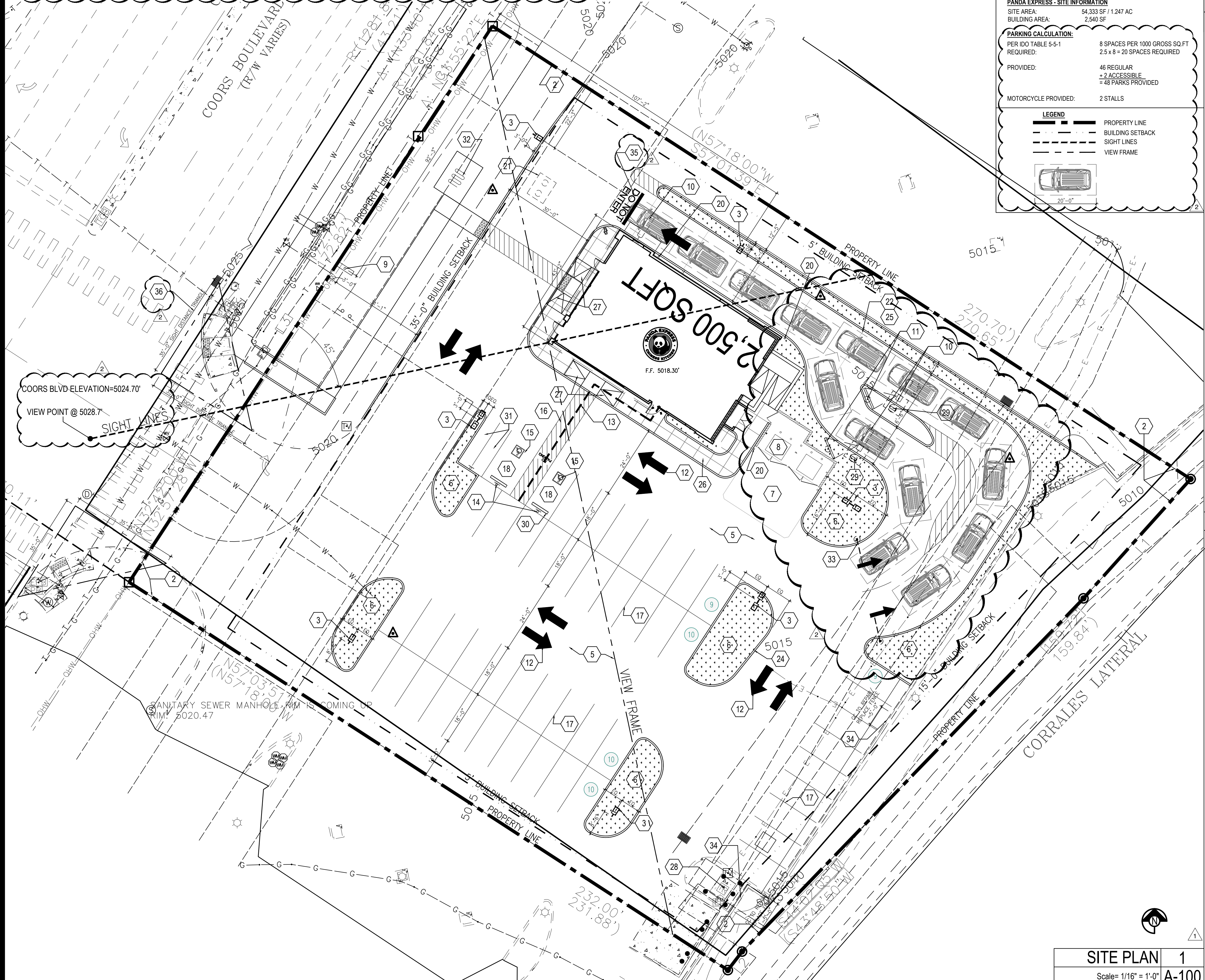
KEY NOTES A
Scale= NTS A-100

PROJECT NUMBER: PR-2022-006547

Application Number: SI-2022-00216

This plan is consistent with the specific Site Development Plan approved by the Development Review Board Application (DRB), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.
DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



SITE PLAN 1
Scale= 1/16" = 1'-0" A-100



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REVISIONS:

DRB RESUBMITTAL	04-06-22
DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY: RMKS

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: 21084



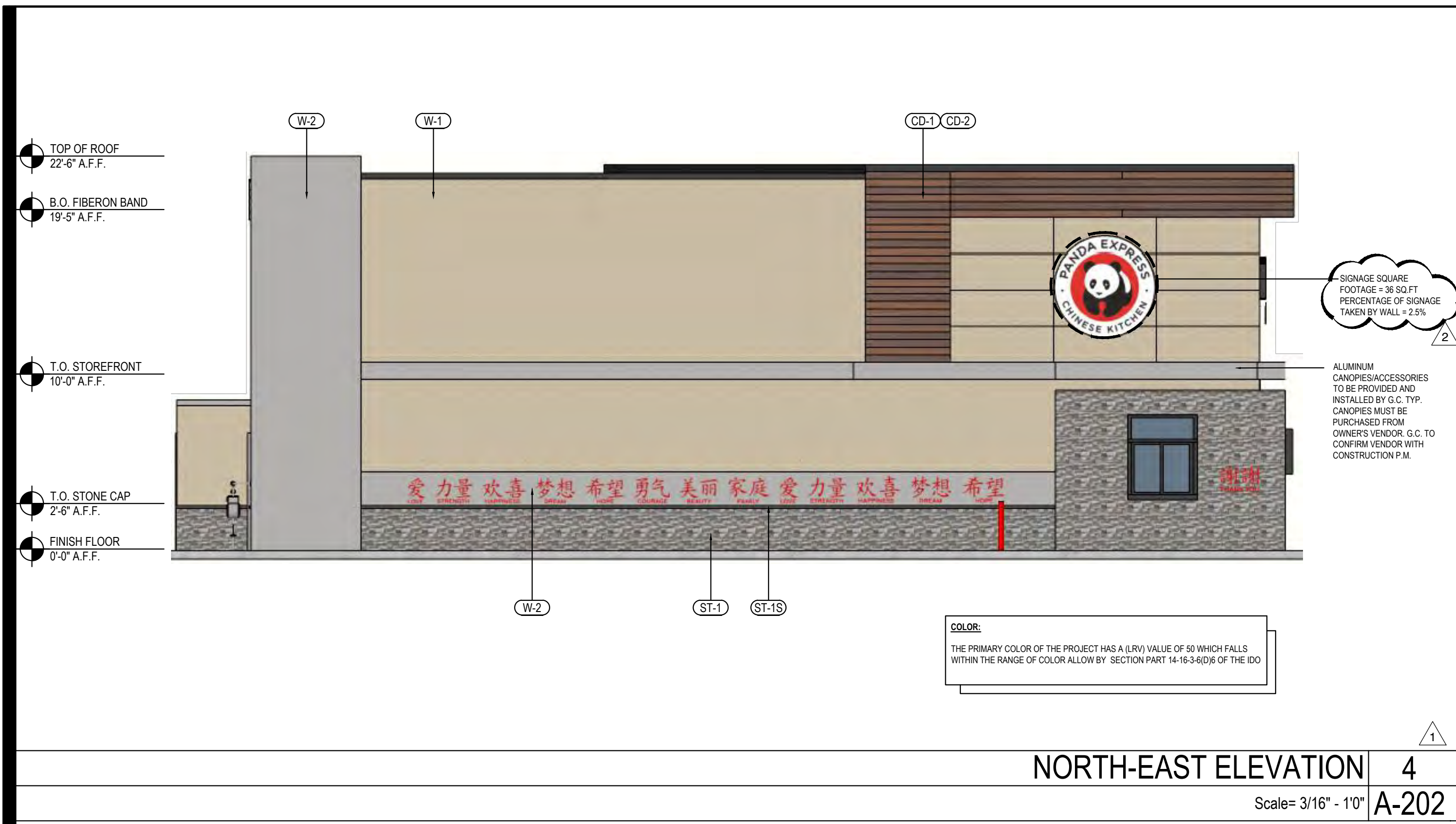
Heights Venture
ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 713.869.1103 V
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972.490.7292 V

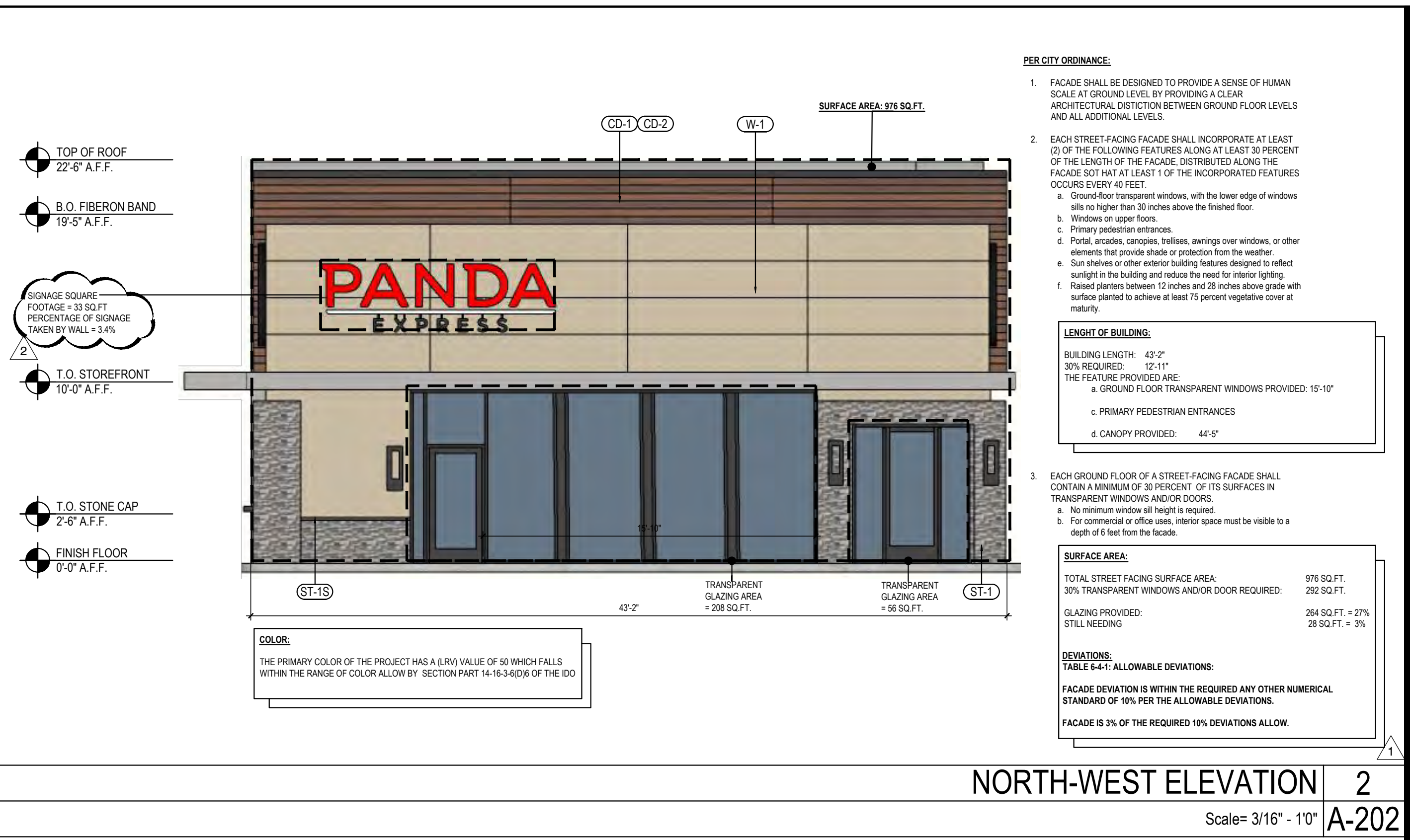
PANDA EXPRESS
TRUE WARM & WELCOME
10126 COORS BLVD. NW
ALBUQUERQUE, NM 87114

A-100
SITE PLAN
ARCHITECTURAL

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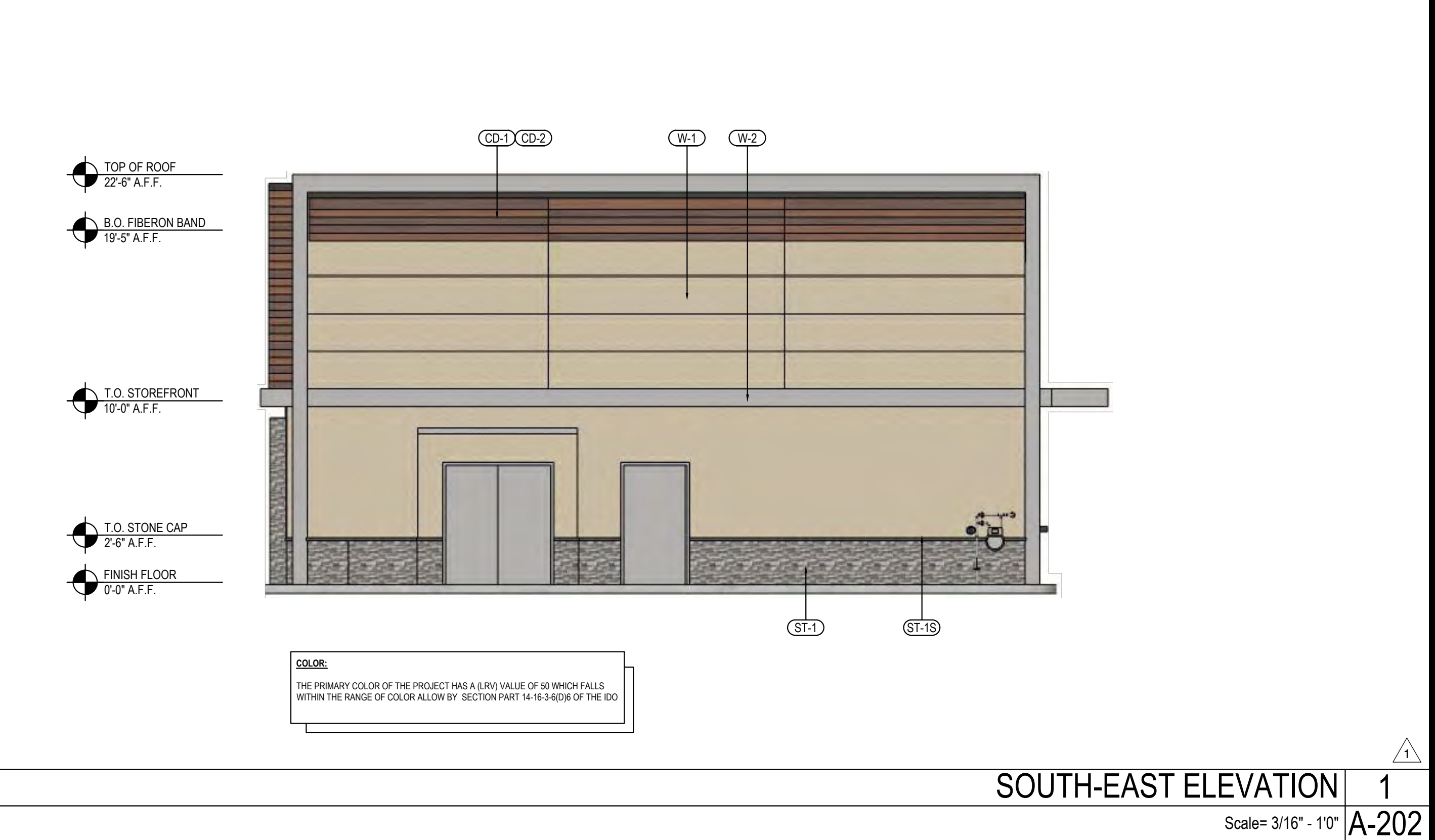
NORTH-EAST ELEVATION 4
Scale= 3/16" - 1/0" A-202



NORTH-WEST ELEVATION 2
Scale= 3/16" - 1/0" A-202



SOUTH-WEST ELEVATION 3
Scale= 3/16" - 1/0" A-202



SOUTH-EAST ELEVATION 1
Scale= 3/16" - 1/0" A-202

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
(W-1)	STO	3 PART STUCCO SYSTEM	SW 6149 - RELAXED KHAKI LRV: 50	FINE	BUILDING BODY
(W-2)	STO	3 PART STUCCO SYSTEM	SW 7670 - GRAY SHINGLE LRV: 29	FINE	ACCENT BAND
(ST-1S)	CORONADO STONE PRODUCTS	CHISELED STONE SILL	CHARCOAL	-	STONE CAP (3/8" VERTICAL JOINT - MORTAR TO MATCH STONE CAP)
(ST-1)	CORONADO STONE PRODUCTS	STRIP STONE	PRO-LEDGE - HURON	-	ENTRY PORTAL & WAINSCOT CONTACT: 864-962-1221 PROVIDE 3/8" MORTAR JOINTS MFG: ARGOS, COLOR: PUTTY
(CD-1)	FIBERON	WILDWOOD	MULGA	60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: ERIC ATKINS @ 770-910-0930 EMAIL: EricAtkins@fiberondecking.com
(CD-2)	FIBERON	WILDWOOD	SUMAC	40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: ERIC ATKINS @ 770-910-0930 EMAIL: EricAtkins@fiberondecking.com
(MTL-1)	EXCEPTIONAL METALS	-	"PANDA EXPRESS IRON ORE"	-	CAP FLASHING

MATERIALS



PER CITY ORDINANCE:

- FACADE SHALL BE DESIGNED TO PROVIDE A SENSE OF HUMAN SCALE AT GROUND LEVEL BY PROVIDING A CLEAR ARCHITECTURAL DISTINCTION BETWEEN GROUND FLOOR LEVELS AND ALL ADDITIONAL LEVELS.
- EACH STREET-FACING FACADE SHALL INCORPORATE AT LEAST (2) OF THE FOLLOWING FEATURES ALONG AT LEAST 30 PERCENT OF THE LENGTH OF THE FACADE, DISTRIBUTED ALONG THE FACADE SET BACK AT LEAST 1 OF THE INCORPORATED FEATURES OCCURS EVERY 40 FEET.
 - Ground-floor transparent windows, with the lower edge of windows sills no higher than 30 inches above the finished floor.
 - Windows on upper floors.
 - Primary pedestrian entrances.
 - Portals, canopies, awnings, trellises, awnings over windows, or other elements that provide shade or protection from the weather.
 - Sun shades or other exterior building features designed to reflect sunlight in the building and reduce the need for interior lighting.
 - Raised planters between 12 inches and 28 inches above grade with surface planted to achieve at least 75 percent vegetative cover at maturity.
- EACH GROUND FLOOR OF A STREET-FACING FACADE SHALL CONTAIN A MINIMUM OF 30 PERCENT OF ITS SURFACES IN TRANSPARENT WINDOWS AND/OR DOORS.
 - No minimum window sill height is required.
 - For commercial or office uses, interior space must be visible to a depth of 6 feet from the facade.

LENGTH OF BUILDING:

BUILDING LENGTH: 43'-2"
30% REQUIRED: 12'-11"
THE FEATURE PROVIDED ARE:

- GROUND FLOOR TRANSPARENT WINDOWS PROVIDED: 15'-10"
- PRIMARY PEDESTRIAN ENTRANCES
- CANOPY PROVIDED: 4'-5"

SURFACE AREA:

TOTAL STREET FACING SURFACE AREA: 976 SQ.FT.
30% TRANSPARENT WINDOWS AND/OR DOOR REQUIRED: 292 SQ.FT.

GLAZING PROVIDED: 264 SQ.FT. = 27%
STILL NEEDED: 28 SQ.FT. = 3%

DEVIATIONS:
TABLE 4-41: ALLOWABLE DEVIATIONS:
FACADE DEVIATION IS WITHIN THE REQUIRED ANY OTHER NUMERICAL STANDARD OF 10% PER THE ALLOWABLE DEVIATIONS.
FACADE IS 3% OF THE REQUIRED 10% DEVIATIONS ALLOW.



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REVISIONS:

DRB RESUBMITTAL	04-06-22
DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21
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DRAWN BY: RM/KS

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582
ARCH PROJECT #: 21084



Heights Venture
ARCHITECTURE + DESIGN

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A-202

EXTERIOR
COLOR ELEVATIONS

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