

DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. <u>2022-006547</u>

Application No. SI-2022-00216

TO:
Planning Department/Chair
√ Hydrology
Transportation Development
✓ ABCWUA ✓ Code Enforcement
Parks & Rec
*(Please attach this sheet with each collated set for each board member)
NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.
DRB SCHEDULED HEARING DATE: 03/02/2022 HEARING DATE OF DEFERRAL: 05/04/2022
TIEARING DATE. 10. 10. 10. 10. 10. 10. 10. 10. 10. 10
SUBMITTAL DESCRIPTION: DRB - Site planning 2nd resubmittal city comments response
CONTACT NAME: Rose Miranda
TELEPHONE: (281) 854-6152 EMAIL: rose.miranda@hva.cc
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May 4, 2022

To: Development Review Board

Albuquerque, NM Attn: All City Reviewers

RE: Panda Express – S8-22-D8582

10126 Coors Blvd. NW Albuquerque, NM 87114

RE: DRB Planning Review – 2nd Resubmittal

DRB Project Number: 2022-006547 App. Number: SI-2022-00216

To the City Reviewers,

We are providing the response to your comments in the statement below. Our responses are in RED.

Water Utility Authority: (Reviewer: Blaine Carter, P.E.)

1. Availability Statement #220101 has been requested and is in review. This statement is in holding pending provision of an easement document. The statement will set the criteria for service. An executed statement must be obtained prior to approval.

Response: Description for updated easements attached.

2. An Availability Statement will be required with this project.

Response: Acknowledge.

3. Pro rata is not owed for this project.

Response: Acknowledge.

- 4. This project is outside of the adopted service area:
 - a. This property has had an existing service account for water and sewer. A Service Connection Agreement is not required for parcels that have service accounts.

Response: Acknowledge

- 5. Utility Plan:
 - a. No objections
- 6. Infrastructure List:
 - a. The improvements required in the Availability Statement, if any, shall be incorporated into the infrastructure list.

Response: Acknowledge, will update the included infrastructure list if improvements are required.



7. Easements.

- a. Demonstrate sufficient easement for the connection to the manhole to the north.
- b. Proper private water and/or private sanitary sewer service easements shall be granted for access to public waterline and/or public sanitary sewer for proposed lots which do not have direct access. The width of the private service easement shall be determined by the engineer or surveyor.

Response: Description for updated utility easements attached.

Planning Dept.- Major Case: (Reviewer: Robert Webb/Jay Rodenbeck)

The Solid Waste signature must be obtained on the Site Plan.

Response: Solid Waste signature is included in DRB Signature Block. Refer to sheet C01.0 and A-100.

The subject property is located within the CPO-2 and VPO-1 overlay districts. All
requirements of the CPO-2 and VPO-1 overlay districts must be met, including color and
signage requirements.

Response: Per our knowledge, CPO-2 and VPO-1 overlay district have been met see sheets A-100 for overlay information, sheet A-202 for color information see Exterior Finish Schedule and refer to proposed signage drawings for pylon information.

 Update 4/4/22 - The Building Design requirements of 5-11(E) are met with the exception of the requirement to provide ground-floor transparent windows along at least 30% of the length of the façade. A 10% Deviation from that requirement has been applied for to Code Enforcement.

Response: Refer to detail 2/A-202 for information. Total street facing surface area is 976 sq.ft. and 30% of the required transparent windows and/or door is 292 sq.ft. Panda is proposing 264 sq.ft. which is 27% of the required. Per IDO 6-4(P) Deviations Table 6-4-1: Allowable Deviations, Panda is requesting a deviation to the IDO standards on any other numerical standard of 10%. Per this deviation, the façade is 3% within the required 10% allowed on the "Any other numerical standard" per this table.

The % of the façade taken up by the wall signage must be included.

Response: Refer to sheet A-202 for the percentage of façade the taken by the wall signage. See detail 2/A202 for the Northwest elevation signage is 3.4%, detail 4/A202 for Northeast elevation signage is 2.5% and detail 3/A-202 - Southwest elevation signage is 2.5%

AMAFCA has identified the drainage system in this application has and continues to damage
the downstream drainage facility maintained by AMAFCA and the Middle Rio Grande
Conservancy District. AMAFCA recommends that this case be deferred until such issues
are addressed and additional information is provided to AMAFCA for review.

Response: AMAFCA comments are being addressed. The updated drainage plan in progress.

2



• Updated 4/4/22 – The parcel lies within the Coors Boulevard View Protection Overlay. The construction of a new building in a new location triggers the View Protection Analysis requirements of 3-6(D)(5)(b) Building Structure height, Bulk and Massing (View Plan) wherein no more than 1/3 of the height of buildings and structures may penetrate the view plan. The second test is 5-6(D)(5)(c) Building and Structure Bulk (View Frame). No more than 50% of the area in the view frame can be obscured by the bulk of the building and no portion of the building shall extend above the ridgeline of the Sandia mountains (Full detail in the IDO is given for this analysis)

Response: Drawings have been updated refer detail 1, 3 and 13/A-100 for overlay analysis of overlay.

Hydrology Section: (Reviewer: David G. Gutierrez, P.E.)

- Hydrology needs an approved Grading and Drainage Plan prior to approval of Site Plan for Building Permit.
 - Hydrology received the first submittal on 1/3/22 (B14D003B). Comments were sent on 1/27/22. Please resubmit the plans with comments addresses to PLNDRS@CABQ.GOV
 - Hydrology recommends a minimum 4-week deferral to allow sufficient time for all concerns to be addressed
- The site will need to provide AMAFCA review and address the concerns with the outfall of this site prior to any approvals from Hydrology as well

Response: AMAFCA comments are being addressed. The updated drainage plan and hydrology report is progress.

Code Enforcement: (Reviewer: Jeff Palmer)

 Drive-through vehicle stacking space #12 is not compliant with IDO 5-5(I)(1)(a), interfering with site access/access to parking and internal circulation aisle. Should be continuous queuing lane to pick up window, as per IDO 5-5(I)(1)(b), including all 12 spaces required per Table 5-5-8.

Response: Refer to sheet A-100 and civils drawings for revised site plan. Sheet A-100 shows the required continuous queuing 12 spaces for drive-through vehicle stacking.

2. Parking calculations exceed what is required in IDO table 5-5-1 for Restaurant (8 spaces per 1000 gross square ft = 2.5X8 = 20 spaces required. You are welcome to have more parking than needed, but should modify correct parking calculations to include what is actually required, and what is provided.

Response: Refer to sheet A-100 calculation have been updated parking calculations.

Notes on submittal indicate "Signage design is in process." All new signage must meet all standards of CPO-2 and IDO 5-12

Response: Refer to proposed signage drawings. Panda is proposing to re-use the existing "Free-standing sign"

4. The existing Free-Standing sign is a "Nonconforming Structure" and if utilized in new signage, it must meet all requirements of IDO 6-8, Nonconformities, and IDO 6-8(D), Nonconforming Structures.



Cannot remove existing sign structure or increase its height – you must utilize existing
poles, but can modify shape of sign face, as long as you do not exceed the square
foot size of the existing sign face.

Response: Panda is proposing to re-use the existing poles structure but is modifying the shape of the sign cabinet and maintaining the square footage of the existing sign.

 If remove entire structure, then must comply with CPO-2 limits 9 ft height and 75 sq ft size.

Response: Panda is proposing to utilized the existing sign structure. Refer to Proposed signage drawings.

Transportation Development: (Reviewer: Jeanne Wolfenbarger, P.E.)

1. The Traffic Impact Study ha been approved by the City of Albuquerque, but NMDOT has infrastructure requirements that they plan on requesting.

Response: Traffic Impact Study (TIS) and offsite improvements plans will be submitted directly to NMDOT.

2. An infrastructure list shall include all public right-of-way improvements, including Coors Blvd. sidewalk.

Response: Infrastructure list is included. (Seet attached)

All work within Coors Blvd. right-of-way shall be coordinated with the NMDOT and require a state permit. Add note to this effect on the plan. Coordinate this sidewalk construction with the NMDOT.

Response: Noted, see General Note #6 on sheet C01.0

4. Include the driving aisle width along the east side of the site. With additional information, the curb radii look acceptable.

Response: Noted, see updates on sheet C03.0 and C03.1

5. Along with the curb and curb ramp details provided, reference the exact details as part of the keyed notes on the site plan.

Response: Noted, see updates on sheet C03.0 and C03.1

6. For the drive-thru, one-way, "Do Not Enter" signage, and pavement arrows shall be called out on the site plan.

Response: Noted, see updates on sheet C03.0 and C03.1 and A-100.

7. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 "Violators Are Subject to a Fine and/or Towing." If that language is present it is not visible in the detail.

Response: Noted, see updated detail 5 on sheet C03.2

8. Motorcycle and bicycle parking details are needed. These shall include bike rack details and motorcycle parking signage details.

Response: Noted, see detail 4 on sheet C03.3 and detail 1 on sheet C03.4 SIGN





9. Provide clear intersection sight distance triangle at the entrance. Reflect these on the site plan and landscaping plan. Provide standard note on landscaping height requirements within this sight triangle. ("Landscaping, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."

Response: Noted, see sheet C03.0, A-100 and L-1 for sight triangles and note.

Middle Rio Grande Conservancy District: (Reviewer:)

1. We do review surveys and the original plat filed was not correct as the Corrales Acequia's right of way is defined by MRGCD drawing #163-518-4443 previously sent. We would like it referenced and correctly shown, if possible. If not, the site does not need our approval.

Response: Approval from MRGCD not needed.

Rose Miranda, Assoc. AIA Associate

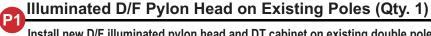
Heights Venture

Architecture + Design 1111 North Loop West, Suite 800 Houston, Texas 77008

D: 281.854.6152 O: 713.869.1103

OPTION 1

EXISTING



Install new D/F illuminated pylon head and DT cabinet on existing double poles. Specifications listed below.

CONCEPTUAL IMAGE ONLY



LOGO DISC: 3M LED PANAGRAPHIC FLEX

VINYL DECALS. OUTER RED BORDER

APPLIED AFTER STRETCHING FACE.

PYLON HEAD - FRONT

SCALE: 3/8" =1'-0" 61.25 Sq. Ft.

FACE WITH SURFACE APPLIED

ALUM. RAILS SUSPENDED ON A

ILLUMINATION

CENTRAL RAIL

SIDE VIEW

DRIVE THRU CABINETS MAIN CABINET GRAPHICS

С

.090" ALUMINUM FABRICATED CABINETS WITH .090" ALUM FACES; ROUTED AND BACKED GRAPHICS. DRIVE THRU TEXT: .177" (B27) #7328 WHITE BAYER MAKROLON LD POLYCARBONATE

DOUBLE-SIDED LED MODULES ON ILLUMINATION

SINGLE SIDED LED MODULES MOUNTED INSIDE CABINETS ON SLIDE OUT TRAYS W/ QUICK CONNECTS. POWER SUPPLIES TO BE LOCATED ON ONE END. ACCESSIBLE BY REMOVING END OF WRAP.

FOOTING

INSTALLATION TO BE AS PER ENGINEERED COMPUTATIONS PER SIGN LOCATION TO MEET ALL LOCAL AND STATE BUILDING CODE REQUIREMENTS.

Location and Connected to LED Strips with Quick Connects

All Power Supplies to be Mounted

in this Immediate Location and Connected to LED Strips with

End of Cabinets and Wrap

Removable for Access to

Power Supplies.

Quick Connects

ELECTRICAL SERVICE AND CONNECTION TO SIGN TO BE PROVIDED BY OTHERS, ELEC SERVICE TO MEET ALL STATE AND LOCAL BUILDING CODES



 Disconnect Power Supply Quick Connects
 Remove Non-functional Power Supply and Replace with New, Functioning Power Supply Reconnect Quick Connects

•Close and Secure Hinged Access Door

DT Cabinet Power Supply Service:
•Remove End of Cabinet Wrap
(Power Supplies are Immediately Accessible) Disconnect Power Supply Quick Connects
Remove Non-functional Power Supply and

Replace with New, Functioning Power Supply Reconnect Quick Connects •Replace End of Cabinet Wrap

•LEDs for DT Cabinet are to be Mounted on Slide Out Trays for Removal Thru Side of Cabinet in Case Replacement is Needed

COLORS

VINYL COLORS:

PMS 711C RED

3M-SCOTCHCAL RED 3630-33 3M 180C-22 Black

White (Panagraphics III)

CABINET COLORS:

PMS Black 7C

PROPOSED PYLON HEAD ON EXISTING POLES

7'-0"

±30"

MAIN CABINET

FABRICATED CABINET WITH .090"

STANDARD CONST FLEX FACES WITH

ZERO BLEED SIGNCOMP EXTRUSION;

POWER SUPPLIES TO BE INSTALLED IN

VICINITY OF HINGED ACCESS PANEL

CABINET AS NECESSARY FOR INSTALL

AND MAINTENANCE, EACH CABINET TO

HAVE ELEC DISCONNECT SWITCH ON

ILLUMINATED WITH D/F LED'S. ALL

ADDITIONAL ACCESS PANELS IN

SAME SIDE FOR SERVICE.

CLADDING, LOGO DISC TO BE

TOVISIONS.	
R2-Changed Elevations	JU
R3-Changed Site Plan & Elevations	JU
R4-Refer to Pathfinder	JU
R5-Refer to Pathfinder	JU

CUSTOMER APPROVAL

Customer Signature Date

Date: 05-24-2021

Designer:JU PM: CM City/State: Albuquerque, NM 87114

Address: 10126 Coors Blvd. NW

Drawing #

PRJ-PADA-163361 Site Name | Albuquerque, NM

7'-0"

8'-9"

25'-0"

DRB Project No.	PR-2022-006547
DRC Project No.	
Preliminary Plat Approved:	
DRB Project No.	PR-2022-006547

PR-2022-006547	
- N-ZUZZ-UUUU341	

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A" TO SUBDIVISION IMPROVEMENTS AGREEMENT DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

PANDA EXPRESS - COORS BLVD AND OLD AIRPORT RD (LT 2A-1 PLAT OF LTS 1A, 2A-1 & 2B-1 NE POR OF BLACK RANCH CONT 1.2490 AC M/L OR 54,406 SF M/L)

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	То	Engineers Certification	City Inspector	City Project Engineer
		PUBLIC RO	ADWAY IMPROVEMENTS (ON-SITE)						
			STREET WIDENING STREET RESTRIPING SIDEWALK	COORS BLVD NW	500' SOUTH OF OLD AIRPORT RD AND COORS BLVD INTERSECTION	200' NORTH OF OLD AIRPORT RE AND COORS BLV INTERSECTION			1

LEGAL DESCRIPTION
For
SANITARY SEWER EASEMENT
within LOT 2B-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2022

A CERTAIN STRIP OF LAND TO BE DESIGNATED AS A "SANITARY SEWER EASEMENT" SITUATE WITHIN LOT 2B-1, NORTHEAST PORTION OF BLACK RANCH AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULAR DESCRIBED BY NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

COMMENCING AT THE TRUE POINT OF BEGINNING, BEING A POINT ON THE SOUTHERLY LOT LINE OF SAID LOT 2B-1 AND THE SOUTHWEST CORNER OF THE EASEMENT HEREIN DESCRIBED FROM WHENCE ALBUQUERQUE CONTROL STATION "8-B14 2003" HAVING NAD 1983 STATE PLANE COORDINATE VALUES OF NORTHING: 1,528,602.961 FEET AND EASTING: 1,521,096.792 FEET BEARS S.70°58'47"W., A DISTANCE OF 271.26 FEET; THENCE,

N.32°57'28"E., A DISTANCE OF 45.00 FEET TO A POINT; THENCE,

S.57°01'39"E., A DISTANCE OF 30.00 FEET TO A POINT; THENCE,

S.32°57'28"W., A DISTANCE OF 45.00 FEET TO A POINT; THENCE,

N.57°01'39"W., A DISTANCE OF 30.00 FEET TO THE TRUE POINT OF BEGINNING;

SAID EASEMENT HEREIN DESCRIBED HAVING AN AREA OF 0.0310 ACRES (1,350.00 SQ. FT.), MORE OR LESS.

I, Christopher A. Medina, New Mexico Professional Surveyor No. 15702, do hereby certify that this Legal Description and Exhibit were prepared by me or under my direct supervision and direction, meets the Minimum Standards for Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Christophen A Medin

MARCH 29, 2022

Christopher A. Medina, New Mexico Professional Surveyor No. 15702

DATE



TERRA LAND SURVEYS, LLC

P.O. BOX 2532 ● CORRALES, NM 87048 ● (505) 792-0513

SHEET 1 OF 2

SKETCH showing SANITARY SEWER EASEMENT within LOT 2B-1

NORTHEAST PORTION OF BLACK RANCH TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE

> FND. REBAR W/CAP "LS 5544"

BERNALILLO COUNTY, NEW MEXICO MARCH 2022

FND. REBAR (BENT)

CALC.

CALC.

FND. REBAR W/CAP

EASEMENT LEGEND:

- (A) NEW MEXICO UTILITY EASEMENT FILED: 06/15/1989 VOL. C39, FOLIO 88
- (B) 20.0' NEW MEXICO UTILITY EASEMENT (SEWER)
 BK. MISC. 880, PGS, 11-17, DOC.#
 81-50362
- © PRIVATE ACCESS EASEMENT FILED: 09/20/1989 MISC. BK. 790A, PGS. 676-696
- 10'X30' ANCHOR EASEMENT FILED: 06/15/1989 VOL. C39, FOLIO 88
- E 10.0' P.U.E. FILED: 06/15/1989 VOL. C39, FOLIO 88
- (K) EXISTING 10.0' UTILITY EASEMENT 06/15/1989 VOL. C39, FOLIO 88

LOT 3
NORTHEAST PORTION OF
BLACK RANCH
06/15/1989
VOL. C39, FOLIO 88

LOT 2B-1 NORTHEAST PORTION OF BLACK RANCH

(1,350.00 SQ. FT.) 0.0310 AC.

SANITARY SEWER EASEMENT

²⁰4.38, LOT 2A-1 NORTHEAST PORTION OF BLACK RANCH 05/05/1995 VOL. 95C, FOLIO 164 DOC.# 1995045259

> FND. REBAR W/CAP "PS 15702"

		LINE
	LINE	BEARING
	L1	S41°54'21"W
		(S41°41'06"
ENT 9'	L2	N41°25'10"E
9'		(N41°06'05"
	L3	N36*29'47"E
9'		(N36°13'41"
	L4	S69*42'37"V
)'		(S69°29'19"
	L5	S41°54'21"V
)'		(S41°41'06"

FND. 1/2"-REBAR (REJECTED)

CORRALES (E)

-FND. REBAR W/CAP "PS 15702"

ACEQUIA

		BEARING	DISTANCE
E1 N32*57'28"E		√32*57'28"E	45.00'
E2	(557°01'39"E	30.00'
E3	E3 S32*57'28"W		45.00'
E4 1		N57°01'39"W	30.00'
CURVE		RADIUS	ARC LENGTH
C1		1281 84'	43 18'

EASEMENT LINE TABLE

LEGEND

□ FOUND REBAR (AS NOTED)

CALCULATED POINT

FND. REBAR W/CAF (ILLEGIBLE)

16

1

(TIE)

FND. REBAR **(A)**

//

//

AGRS MON.

EL.=5,025.358' C.G.G.F.=0.999679817

"8-B14 2003" NAD 83 NM CENTRAL ZONE N:1,528,602.961 E:1,521,096.792

DELTA ALPHA = $-0^{\circ}13'48.87''$

P.O.B.

FOUND CONTROL MONUMENT (AS NOTED)

September 1988

(A)

CURVE TABLE									
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT			
C1	1281.84'	43.18'	43.17'	N33°55'22"E	1*55'48"	21.59'			
	(1281.84')	(43.21')	(43.21')	(N33°40'12"E)	(1*55'53")				
C2	1281.84'	168.95'	168.83'	N38°39'49"E	7*33'07"	84.69'			
	(1281.84')	(168.92')	(168.80')	(N38°24'19"E)	(7°33'01")				
C3	954.93'	25.59'	25.59'	N41°33'17"E	1*32'08"	12.80'			
	(954.93')	(25.59')	(25.59')	(N41°24'50"E)	(1°32'08")				
C4	497.96'	25.00'	24.99'	N52°38'24"E	2*52'34"	12.50'			
	(497.96')	(25.21')	(25.24')	(N52°29'06"E)	(2°54'03")				

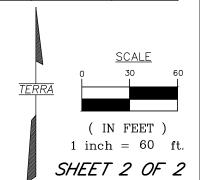
NOTES:

- 1. FIELD SURVEY PERFORMED ON MAY 2021.

- 2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
 3. BASIS OF BEARINGS IS STATE PLANE NAD 83 NM CENTRAL ZONE DATUM.
 4. THIS SURVEY DOES NOT CREATE A LAND DIVISION OR SUBDIVISION AS DEFINED BY THE NEW MEXICO SUBDIVISION ACT. THIS SURVEY IS AN EASEMENT SURVEY.

TERRA LAND SURVEYS, LLC

P.O. BOX 2532 ● CORRALES, NM 87048 ● (505) 792-0513



DISTANCE 52.16' (52.20') 42.60

(33.37 36.03

\2021 PROJECTS\2021-058\S\2021-058-SANITARY SEWER EASEMENT.dwg

LEGAL DESCRIPTION
For
WATER UTILITY EASEMENT
within LOT 2A-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2022

A CERTAIN STRIP OF LAND TO BE DESIGNATED AS A "WATER UTILITY EASEMENT" SITUATE WITHIN LOT 2A-1, NORTHEAST PORTION OF BLACK RANCH AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, RECORDED WITH THE BERNALILLO COUNTY CLERK'S OFFICE ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULAR DESCRIBED BY NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS AND GROUND DISTANCES AS FOLLOWS:

COMMENCING AT THE TRUE POINT OF BEGINNING, BEING THE SOUTHWEST CORNER OF SAID EASEMENT HEREIN DESCRIBED FROM WHENCE ALBUQUERQUE CONTROL STATION "8-B14 2003" HAVING NAD 1983 STATE PLANE COORDINATE VALUES OF NORTHING: 1,528,602.961 FEET AND EASTING: 1,521,096.792 FEET BEARS N.67°14'07"W., A DISTANCE OF 200.25 FEET; THENCE,

N.32°57'28"E., A DISTANCE OF 20.00 FEET TO A POINT; THENCE,

S.57°02'32"E., A DISTANCE OF 5.00 FEET TO A POINT; THENCE,

S.32°57'28"W., A DISTANCE OF 20.00 FEET TO A POINT; THENCE,

N.57°02'32"W., A DISTANCE OF 5.00 FEET TO THE TRUE POINT OF BEGINNING;

SAID EASEMENT HEREIN DESCRIBED HAVING AN AREA OF 0.0023 ACRES (100.00 SQ. FT.), MORE OR LESS.

I, Christopher A. Medina, New Mexico Professional Surveyor No. 15702, do hereby certify that this Legal Description and Exhibit were prepared by me or under my direct supervision and direction, meets the Minimum Standards for Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Christophen A Medin

MARCH 29, 2022

Christopher A. Medina, New Mexico Professional Surveyor No. 15702

DATE

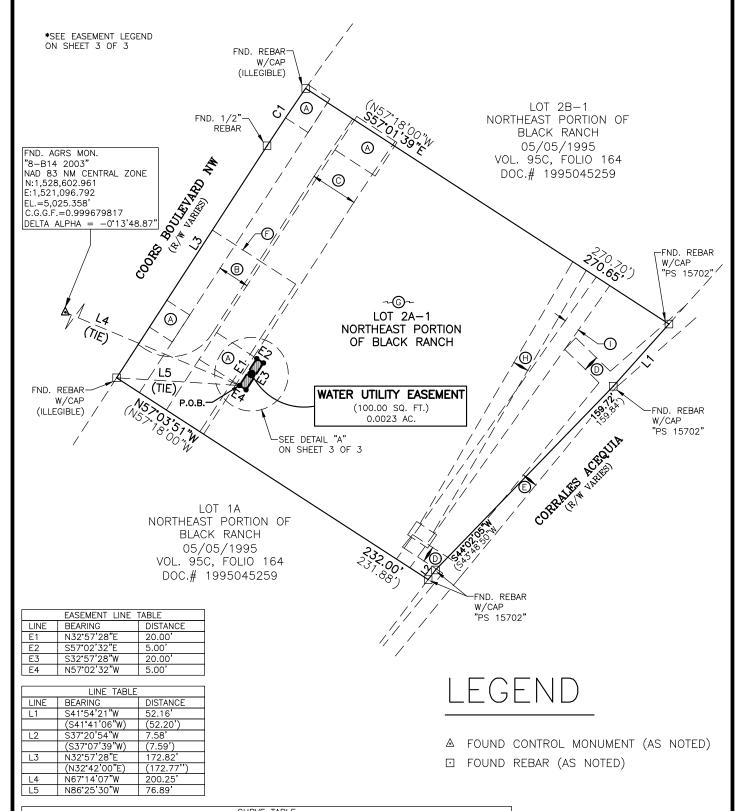


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P.O. BOX 2532 ● CORRALES, NM 87048 ● (505) 792-0513

SHEET 1 OF 3

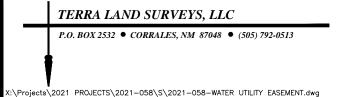
SKETCH showing WATER UTILITY EASEMENT within LOT 2A-1 NORTHEAST PORTION OF BLACK RANCH TOWN OF ALAMEDA GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO **MARCH 2022**

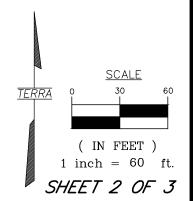


CHORD LENGTH CHORD BEARING 43.17' N33*55'22"E ARC LENGTH 43.18' TANGEN⁻ 1281.84 C1 21.59 (1281.84') (43.21') (43.21') (N33°40'12"E)

NOTES:

- 1. FIELD SURVEY PERFORMED ON MAY 2021.
 2. ALL DISTANCES SHOWN ARE GROUND DISTANCES.
 3. BASIS OF BEARINGS IS STATE PLANE NAD 83 NM CENTRAL ZONE DATUM.
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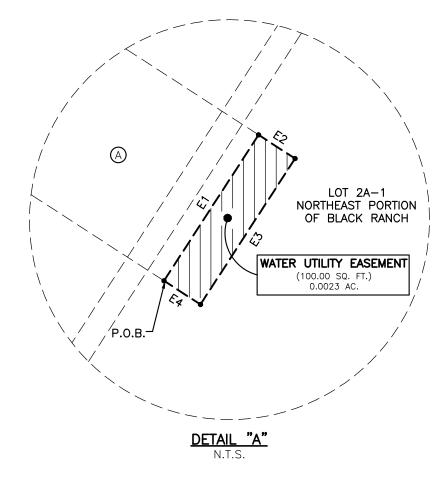




SKETCH showing
WATER UTILITY EASEMENT
within LOT 2A-1
NORTHEAST PORTION OF BLACK RANCH
TOWN OF ALAMEDA GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH 2022

EASEMENT LEGEND:

- (A) NEW MEXICO UTILITY EASEMENT FILED: 06/15/1989 VOL. C39, FOLIO 88
- (B) 20.0' NEW MEXICO UTILITY EASEMENT (SEWER)
 BK. MISC. 880, PGS, 11-17, DOC.#
- © PRIVATE ACCESS EASEMENT FILED: 09/20/1989 MISC. BK. 790A, PGS. 676-696
- ① 10'X30' ANCHOR EASEMENT FILED: 06/15/1989 VOL. C39, FOLIO 88
- E 10.0' P.U.E. FILED: 06/15/1989 VOL. C39, FOLIO 88
- F TEMPORARY CONSTRUCTION EASEMENT FILED: 12/12/2002 BK. A46, PG. 5682
- A RECIPROCAL CROSS—LOT DRAINAGE, PARKING AND ACCESS EASEMENT SHALL ENCUMBER ALL LOTS. FILED: 05/05/1995 VOL. 95C, FOLIO 164
- H 10.0' PUBLIC SERVICE COMPANY OF NEW MEXICO UNDERGROUND EASEMENT FILED: 02/27/1996 DOC.# 1996022290 (APPROXIMATE LOCATION DUE TO VAGUE DESCRIPTION)
- 10.0' PNM GAS SERVICES RIGHT OF WAY & EASEMENT FILED: 03/01/1996 DOC.# 1996023828 (APPROXIMATE LOCATION DUE TO VAGUE DESCRIPTION)



OWNER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE. T: 626-799-9898 F: 626-372-8288 CONTACT: CLAY WORTHY

PLANNING/ZONING

(PLAZA DEL SOL BUILDING)

ALBUQUERQUE, NM 87102

CONTACT: RICK DE REYES

ALBUQUERQUE BERNALILLO

ONE CIVIC PLAZA NW., ROOM 5027

COUNTY WATER UTILITY

ALBUQUERQUE. NM 87102

CONTACT: CHRIS GUSTAFSON

600 SECOND NW

WATER / SEWER

PLANNING ZONNING DEPARTMENT 600

ARCHITECT HEIGHTS VENTURE ARCHITECTS LLP 1111 NORTH LOOP W. SUITE 800 T: 281-854-6119 (ERIC ABELN) T: 281-854-6152 (ROSE MIRANDA)

CONTACT: ERIC ABELN

LANDSCAPE EVERGREEN DESIGN GROUP 2375 E. CAMELBACK RD., SUITE 600 PHOENIX, AZ 85016 T: 800-680-6630 CONTACT: RODNEY McNABB

PUBLIC WORKS

600 SECOND NW

ENGINEERING DEPARTMENT

(PLAZA DEL SOL BUILDING)

STRUCTURAL

T:214-750-2900

JAMES F. TURNER ENGINEERS, LP

8340 MEADOW ROAD, SUITE 160

CONTACT: RON WHITTINGTON

MECHANICAL, PLUMBING, ELECTRICAL JAMES F. TURNER ENGINEERS, LP 8340 MEADOW ROAD, SUITE 160 DALLAS, TX 75231 T: 214-750-2900 CONTACT: NICK POLCARI, P.E.

TEAM DIRECTORY

CIVIL

RTM ENGINEERING CONSULTANT 650 E. ALGONQUIN RD.. SUITE 250

SCHAUMBURG, IL 60173

CONTACT: TIM SHOEMAKER

T: 857-756-4180

GAS / ELECTRIC

T: 888-245-3659

414 SILVER AVE. SW.

ALBUQUERQUE, NM 87102

CONTACT: BUSINESS CUSTOMER

BUILDING DEPARTMENT BUILDING DEPARTMENT -COMMERCIAL PLAN 600 SECOND NW (PLAZA DEL SOL BUILDING) ALBUQUERQUE, NM 87102

CONTACT: LT. TOM RUIZ

T: 505-924-3931 CONTACT: DEAN KADELL

FIRE DEPARTMENT FIRE DEPARTMENT 11500 SUNSET GARDENS SW ALBUQUERQUE, NW 87121 T: 505-934-1021

ALBUQUERQUE, NM 87102 EMAIL: MGRUSH@CABQ.GOV CONTACT: MATTHEW GRUSH HEALTH DEPARTMENT

TELEPHONE COMPANY CENTURY LINK COMMUNICATIONS 6TH STREET AND GOLD AVE. STATION ALBUQUERQUE, NM 87102 T: 505-398-4278 CONTACT: BUSINESS CUSTOMER

JURISDICTIONAL AUTHORITIES

Scale= NTS G-001

- I. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FULLY EXAMINE THE SITE CONDITION, AND AVAILABLE UTILITIES AND TO NOTIFY THE OWNER'S REPRESENTATIVE. IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN THE SAID EXISTING CONDITIONS AND THESE DRAWINGS. NO CLAIMS FOR ADDITIONAL COMPENSATION SHALL BE MADE OR SHALL BE VALID UNLESS WRITTEN NOTIFICATION IS RECEIVED BY THE OWNER'S REPRESENTATIVE AND THE ADDITIONAL COMPENSATION IS APPROVED IN ADVANCE OF PROCEEDING WITH THE WORK.
- 2. IN ADDITION TO THE GENERAL NOTES LISTED HEREIN, A.I.A. DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION SHALL APPLY.
- 3. ALL WORK SHALL BE PERFORMED AS TO COMPLY WITH ALL GOVERNING STATUTES, ORDINANCES, REGULATIONS, CODES AND INSURANCE RATING BOARDS. NO WORK SHALL COMMENCE UNTIL ALL GOVERNMENTAL AND JURISDICTIONAL PERMITS AND APPROVALS ARE OBTAINED
- 4. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER AND SHALL BE IN GOOD AND USABLE CONDITION AT THE DATE OF COMPLETION THEREOF.
- 5. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR INSTALL OR PERMIT TO BE INSTALLED, ANY MATERIALS CONTAINING ASBESTOS
- 6. THE TERM "OWNER" OR "TENANT" SHALL REFER TO PANDA EXPRESS AND ITS AGENTS OR REPRESENTATIVES. THE TERM "GENERAL CONTRACTOR" AND "G.C." SHALL REFER TO THE PERSON AND/OR PERSONS WHO HAVE CONTRACTED OR SUBCONTRACTED FOR THE WORK.
- THE ABBREVIATION OF "N.I.C." INDICATES WORK AND OR MATERIAL THAT IS NOT IN THE CONTRACT OF THE GENERAL CONTRACTOR, HOWEVER THIS DOES NOT RELIEVE THE G.C. OF THE RESPONSIBILITY OF COORDINATION.
- 8. NOT USED ADD TDLR # FOR TEXAS PROJECTS. KEEP, "NOT USED" FOR ALL OTHER LOCATIONS.

WASTE CLEAN OUT

ABBREVIATIONS

Scale= NTS G-001

- 9. THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDIVIDUALLY VERIFIED BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL
- 10. ALL WALL & CEILING CONSTRUCTION SHALL BE SUPPORTED BY STRUCTURE & NOT BY ROOF DECK IF APPLICABLE.
- 11. IT IS THE G.C.'S RESPONSIBILITY TO MAKE SURE EACH SUB HAS THE FULL SET OF DRAWINGS FROM WHICH TO BASE THEIR ESTIMATE. IF CONFLICTS ARISE AFTER THE BID THE G.C. ACCEPTS FULL RESPONSIBILITY FOR COST INCREASES IF THE SUB WAS NOT GIVEN THE FULL SET OF DRAWINGS.

PANDA EXPRES



S8-22-D8582

DRB SUBMITTAL SET

10126 COORS BLVD. NW. ALBUQUERQUE, NM 87114 DRB - PR-2022-006547 SI-2022-00216

G-001 TITLE SHEET G-002 SPECIFICATIONS G-003 SPECIFICATIONS G-004 SPECIFICATIONS G-005 SCHEDULES G-006 LIFE SAFETY PLAN • • • C01.0 CIVIL COVER SHEET C01.1 GENERAL NOTES C02.0 ALTA/ACSM SURVEY (BY OTHERS) C02.1 DEMOLITION PLAN (IF NEEDED) C03.0 SITE PLAN C03.1 STAKING PLAN 03.2 HARDSCAPE DETAILS I C03.3 HARDSCAPE DETAILS II C03.4 HARDSCAPE DETAILS III C04.0 UTILITY PLAN C04.1 BUILDING UTILITY DETAIL PLAN (IF NEEDED) C04.2 PROFILES C05.0 GRADING AND DRAINAGE PLAN • • • C05.1 BUILDING DRAINAGE DETAIL PLAN (IF NEEDED) 0.06.0 SWPPP PLAN (IF REQUIRED) EH.01 EXISTING PERVIOUS AND IMPERVIOUS AREAS EH.02 PROPOSED PERVIOUS AND IMPERVIOUS ARFAS F1 FIRE ONE PLAN L01.0 LANDSCAPE PLAN L01.1 LANDSCAPE DETAILS ARCHITECTURAL A -100 SITE PLAN ARCHITECTURAL • | • | • A -101 KITCHEN PLAN A -102 ROUGH - IN PLUMBING PLAN A -103 FLOOR PLAN A -104 FINISH PLAN AND SCHEDULE A - 105 REFLECTED CEILING PLAN A - 106 REFLECTED CEILING PLAN - FRETWORK PLAN A - 107 ROOF PLAN A - 108 CONDENSER RACK DETAIL A - 109 FURNITURE PLAN A - 200 EXTERIOR ELEVATIONS A - 201 EXTERIOR ELEVATIONS A - 202 EXTERIOR COLOR ELEVATIONS A - 301 WALL SECTIONS A - 302 WALL SECTIONS A - 302 WALL SECTIONS A - 304 WALL SECTIONS A - 305 WALL SECTIONS A - 400 ARCHITECTURAL DETAILS A - 400.1 ARCHITECTURAL DETAILS A - 400.2 ARCHITECTURAL DETAILS A - 401 ARCHITECTURAL DETAILS A - 402 ARCHITECTURAL DETAILS A - 403 ARCHITECTURAL DETAILS A - 405 ARCHITECTURAL DETAILS - DRIVE THRU A - 407 PATIO & TRASH ENCLOSURE DETAILS A - 500 INTERIOR ELEVATIONS A - 501 INTERIOR ELEVATIONS A - 502 KITCHEN ELEVATIONS A - 503 ENLARGED RESTROOM PLANS AND ELEVATIONS A - 600 SUN STUDY ANALYSIS S - 000 STRUCTURAL NOTES & SPECIAL INSPECTIONS S - 100 FOUNDATION PLAN S - 101 ROOF FRAMING PLAN S - 200 FOUNDATION DETAILS S - 201 TYPICAL FOUNDATION DETAILS S - 300 FRAMING SECTIONS S - 301 TYPICAL FRAMING DETAILS & SECTIONS P - 100 WATER AND GAS PLAN P - 101 WASTE & VENT PLAN M-000 MECHANICAL NOTES, SPECIFICATIONS & SCHEDULES M-100 HVAC FLOOR PLAN & HVAC ROOF PLAN M-400 HOOD DETAIL PLAN M-401 HOOD DETAIL PLAN M-402 HOOD DETAIL PLAN M-403 HOOD DETAIL PLAN M-404 HOOD DETAIL PLAN M-500 KITCHEN HOOD DETAILS M-501 MECHANICAL DETAILS ELECTRICAL E-000 ELECTRICAL SYMBOLS, SPECIFICATIONS, NOTES E-001 ELECTRICAL SCHEDULES E-100 POWER FLOOR PLAN E-101 LIGHTING FLOOR PLAN E-101.1 CANOPY LIGHTING PLAN E-102 SECURITY CAMERA PLAN E-104 ROOF POWER PLAN E-106 SITE PHOTOMETRIC PLAN E-200 ELECTRICAL ELEVATIONS E-400 ELECTRICAL DETAILS, DIAGRAMS -401 ELECTRICAL DETAILS, DIAGRAMS -601 PANELS, SINGLE LINE, LOAD CALC'S



PANDA EXPRESS, INC 1683 Walnut Grove Ave Rosemead, California

> Telephone: 626.799.9898 Facsimile: 626.372.8288

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REVISIONS:

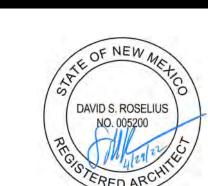
1	DRB RESUBMITTAL	04-06-22
2	DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE

1000	DE DATE.	
	DRB SUBMITTAL	12-28-21

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582 ARCH PROJECT #: 21084



1111 North Loop West, Suite 800 5741 Legacy Drive, Suite 320

Houston, Texas 77008

Plano, Texas. 75024 972 490 7292 V

PR-2022-0065

PANDA EXPRESS

TRUE WARM & WELCOME 10126 COORS BLVD. NW ALBUQUERQUE, NM 87114

G-00′

TITLE SHEET

GENERAL NOTES Scale= NTS G-001

SYMBOLS

DOOR TYPE WINDOW TYPE ALUMINUM BALL VALVE (FULL PORT) FLOOR FINISH CONDUIT WALL TYPE CONDUIT ONLY COLD WATER STRUCTURAL GRID **EXISTING ELECTRICAL CONTRACTOR** CEILING FINISH **ELECTRICAL WATER HEATER EXTERIOR** WALL FINISH FACE OF FINISH FACE OF STUD KITCHEN EQUIPMENT FLOOR SINK **GENERAL CONTRACTOR** 101 ROOM NUMBER HOT WATER INDIRECT DRAIN MARK OF ELEVATION INTERIOR KITCHEN EQUIP. CONTRACTOR LANDLORD MECHANICAL CONTRACTOR NEW NOT IN CONTRACT NOT TO SCALE OUTSIDE AIR ON CENTER PLUMBING CONTRACTOR RETURN AIR REGISTER **NEW DOOR** ROUGH-IN HEIGHT STAINLESS STEEL TEMPERED GLAZING STRUCT STRUCTURE, STRUCTURAL EXT. ELEVS





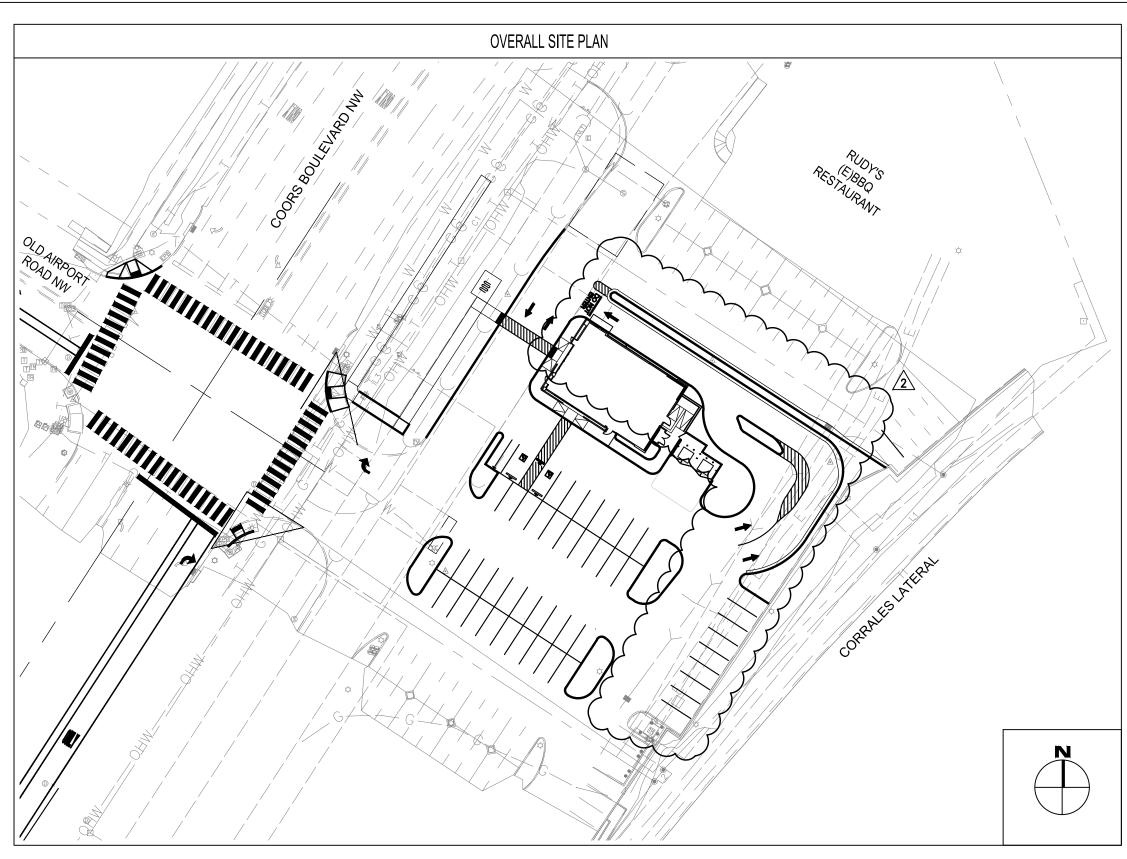
KEY PLAN

Scale= NTS G-001

Scale= NTS G-00

SHEET INDEX

TRUE WARM & WELCOME 2500 R1





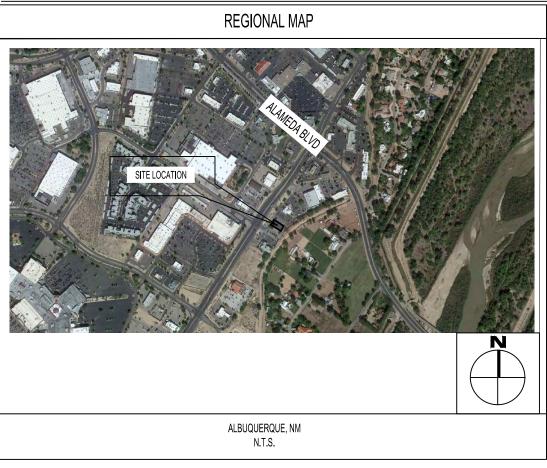
STORE D8582 10126 COORS BOULEVARD ALBUQUERQUE, NM 87114



T.847.756.4180 | www.rtmassociates.com

PREPARED FOR: PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE. ROSEMEAD, CALIFORNIA 91770 PHONE: 626.799.9898 FAX: 626.372.8288

	SHEET INDEX		1			1	1	T
NO.	TITLE	DRB SUBMITTAL.	DRB RE-SUBMITTAL 04-01-2022	DRB 2nd SUBMITTAL 05-04-2022				
C01.0	CIVIL COVER SHEET		•	•				
C01.1	GENERAL NOTES							
C01.2	SPECIFICATIONS							
	ALTA / NSPS LAND TITLE SURVEY							
C02.0	DEMOLITION PLAN / EXISTING CONDITIONS							
C03.0	SITE PLAN	•	•	•				
C03.1	STAKING PLAN		•	•				
C03.2	HARDSCAPE DETAILS I		•	•				
C03.3	HARDSCAPE DETAILS II		•	•				
C03.4	HARDSCAPE DETAILS III		•	•				
C04.0	UTILITY PLAN	•	•	•				
C04.1	BLDG UTILITY DETAIL PLAN							
C04.2	UTILITY DETAILS I							
C04.3	UTILITY DETAILS II							
C05.0	GRADING PLAN	•	•	•				
C05.1	BUILDING AREA GRADING DETAIL							
C06.0	EROSION & SEDIMENT CONTROL NOTES		<u> </u>					
C06.1	EROSION & SEDIMENT CONTROL PLAN							
C06.2	EROSION & SEDIMENT CONTROL DETAILS							
C07.0	COORS BLVD - STREET IMPROVEMENT PLAN							L
C07.1	COORS BLVD - CROSS SECTIONS							
C07.2	COORS BLVD - STRIPING PLAN							
C07.3	COORS BLVD - ADA RAMPS							
EH.01	EXISTING PERVIOUS AND IMPERVIOUS AREAS		•	•				
EH.02	PROPOSED PERVIOUS AND IMPERVIOUS AREAS		•					



LOCATION MAP ALBUQUERQUE, NM

LEGAL DESCRIPTION LEGAL DESCRIPTION FOR LOT 2A-1. NORTHEAST PORTION OF BLACK RANCH: (AS PROVIDED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY) LOT 2A-1 OF THE NORTHEAST PORTION OF BLACK RANCH, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 5, 1995, IN VOLUME 95C, FOLIO 164 AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" REBAR FOUND FOR THE NORTHWEST CORNER OF SAID LOT 2A-1. A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W.; THENCE SOUTH 57 DEG. 19'43" E, A MEASURED DISTANCE OF 270.47 FEET (SOUTH 57 DEG. 18'00" EAST 270.70 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE NORTHEAST CORNER OF SAID LOT 2A-1, SAID POINT LYING ON THE WESTERLY RIGHT OF WAY LINE OF THE CORRALES ACEQUIA CANAL; THENCE SOUTH 41 DEG. 42'17" WEST ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 52.33 FEET (SOUTH 41 DEG. 41'06" WEST A DISTANCE OF 52.20 FEET OF RECORD) TO A FOUND 1/2" REBAR; THENCE SOUTH 43 DEG. 48'02" WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 159.71 FEET (SOUTH 41 DEG. 41'06" WEST A DISTANCE OF 159.84 FEET OF RECORD) TO A FOUND 1/2" REBAR; THENCE SOUTH 37 DEG. 22'13"WEST, CONTINUING ALONG SAID RIGHT OF WAY, A MEASURED DISTANCE OF 7.62 FEET (SOUTH 37 DEG. 07'39" WEST A DISTANCE OF 7.59 FEET OF RECORD) TO A 1/2" REBAR FOUND FOR THE SOUTHEAST CORNER OF SAID LOT 2A-1; THENCE NORTH 57 DEG. 18'46"WEST, A MEASURED DISTANCE OF 231.82 FEET (NORTH 57 DEG. 18'00" WEST A DISTANCE OF 231.68 FEET OF RECORD) TO A 5/8" REBAR WITH CAP SET FOR THE SOUTHWEST CORNER OF SAID LOT 2A-1, SAID POINT LIES ON THE EASTERLY RIGHT OF WAY LINE OF COORS BOULEVARD N.W. AND SAID POINT BEARS NORTH 32 DEG. 42'00" EAST A DISTANCE OF 182.23 FEET FROM A 1/2" REBAR FOUND FOR THE SOUTHWEST CORNER OF LOT 1A OF THE SAID NORTHEAST PORTION OF BLACK RANCH; THENCE NORTH 32 DEG. 42'00" EAST, ALONG SAID RIGHT OF WAY, A DISTANCE OF 172.77 FEET TO A FOUND 1/2" REBAR FOR A POINT OF CURVATURE, THENCE A DISTANCE OF 43.16 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 55'45" AND A CHORD BEARING OF NORTH 33 DEG. 54'17" EAST A DISTANCE OF 43.16 FEET (A DISTANCE OF 43.21 FEET ALONG THE ARC OF A

TOGETHER WITH

EASEMENTS FOR INGRESS/EGRESS AS SET FORTH IN THE CERTAIN RECIPROCAL EASEMENT AGREEMENT RECORDED IN BOOK MISC. 790A, PAGE 676 AS DOCUMENT NUMBER 89-81278, RECORDS OF BERNALILLO COUNTY, NEW MEX

CURVE TO THE RIGHT HAVING A RADIUS OF 1281.84 FEET, A CENTRAL ANGLE OF 1 DEG. 55'53" AND A CHORD BEARING OF NORTH 33 DEG. 40'12" EAST A DISTANCE OF 43.21 FEET OF

BASIS OF ELEVATIONS

RECORD) TO THE POINT OF BEGINNING.

BASIS OF BEARING

THE BASIS OF BEARINGS FOR THE PREMISES SURVEYED ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE AGRS CONTROL STATIONS LISTED ABOVE BEARING = N34°50'06"E.

BENCHMARKS

SITE BENCH MARK 1 NEW MEXICO STATE HIGHWAY CONTROL STATION "NM448-N12" DATA FOUND STANDARD BRASS DISC NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES NORTHING: 1,528,973.229 US SURVEY FEET EASTING: 1,521,354.471 US SURVEY FEET ELEV. = 5,026.132 US SURVEY FEET (NAVD 1988) SITE BENCH MARK 2: AGRS STATION "8-B14 2003" DATA

FOUND STANDARD 3 1/4 INCH ALUMINUM DISC NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES NORTHING: 1,528,602.961 US SURVEY FEET EASTING: 1,521,096.792 US SURVEY FEET ELEV. = 5,025.358 US SURVEY FEET (NAVD 1988)

FLOODPLAIN STATEMENT

AREA LIES WITHIN FLOOD ZONE X (OTHER AREAS). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP PER FIRM MARP PANEL 109 OR 825, MAP NO. 35001C0109H, MAP REVISED DATE 08/16/2021, BERNILILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS.

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK BY ALL FEDERAL, STATE, LOCAL, ETC. AGENCIES OR JURISDICTIONS HAVING APPROVAL AUTHORITY OVER WORK. THIS WORK INCLUDES BUT IS NOT LIMITED TO RECORD DRAWINGS, CERTIFICATIONS, INSPECTIONS AND OR REPORTS.

2. SURVEYOR TO OBTAIN CAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR SHALL VERIFY ALL BENCHMARK, 4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS BASIS OF BEARINGS AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY SHALL BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION

3. CONTRACTOR SHALL COORDINATE WORK WITH UTILITY COMPANIES AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK 4. PROPOSED IMPROVEMENTS SHOWN ON THESE PLAN ARE BASED UPON THE PROPOSED IMPROVEMENTS BY OTHERS. PRIOR TO STAKING SURVEYOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL IMPROVEMENTS BY OTHERS AT TIE IN LOCATIONS. VERIFICATION SHALL BE BY LOCATING THE IMPROVEMENTS IN THE FIELD AND / OR CONFIRMING THE HORIZONTAL AND VERTICAL CONTROL OF THE LATEST PLANS BY OTHERS MATCHES THE PROPOSED IMPROVEMENTS. 5. SURVEY PREPARED BY TERRA LAND SURVEYS, LLC. DATED JUNE 2021.

6. ALL WORK WITHIN COORS BLVD (SR448) RIGHT-OF-WAY SHALL BE COORDINATED WITH NMDOT AND REQUIRES A SEPARATE STATE PERMIT.

SITE ACCESS CONTROL INCLUDING SAFETY FENCES AND TRAFFIC CONTROL, ALL CONSTRUCTION

MEANS AND METHODS, AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 2. THE CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES FOR FIELD LOCATIONS OF THEIR FACILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. ALL UTILITIES SHOWN IN THE PLANS ARE FROM RECORDS OR FIELD OBSERVABLE IN FORMATION LOCATED BY SURVEYOR, ANY

3. PLANS BASED UPON GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED AUGUST 18, 2021.

UTILITY LOCATIONS SHOWN SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD.

PANDA EXPRESS STANDARD NOTES

1. THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC DATED AUGUST 18, 2021 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.

CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS

TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION. WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

CAUTION NOTICE

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND / OR FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO INCURRING ANY CONSTRUCTION RELATED COSTS.

WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING, OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO

CONSTRUCTION. ADDITIONAL OR FEWER UTILITIES MAY EXIST THAN SHOWN.

		PROJECT CONTACTS		
CURRENT OWNER MARTHA MALASHOCK TRUSTEE B OF MALASHOCK 1981 AND CONNIE KRALL TRUSTEE OF THE SMITH 1982 C/O JOHN MALASHOCK 3663 JACKDAQ ST. SAN DIEGO, CALIFORNIA 92103 PHONE: (619) 920-2950	DEVELOPER PANDA EXPRESS, INC. 1683 WALNUT GROVE AVE. ROSEMEAD, CALIFORNIA 91770 PHONE: (626) 799-9898 FAX: (626) 372-8288	CIVIL ENGINEER RTM ENGINEERING ASSOCIATES 9225 INDIAN CREEK PARKWAY, SUITE 1075 OVERLAND PARK, KS 66210 PHONE: (913) 322-1400 ATTN: TIM SHOEMAKER, PE	ARCHITECT HEIGHTS VENTURE ARCHITECTURE DESIGN 1111 NORTH LOOP WEST, SUITE 800 HOUSTON, TEXAS 77008 PHONE 713.869.1103 ATTN: ERIC J. ABELN, AIA, NCARB	LAND SURVEYOR TERRA LAND SURVEYS, LLC P.O. BOX 2532 CORRALES, NM 87048 PHONE: (505) 792-0513
MEP NICK POLCARI JAMES TURNER ENGINEERS 8340 MEADOW ROAD, SUITE 160 DALLAS, TX 72531 PHONE: (214) 750-2900	SITE LIGHTING RYAN ZINSELMEIER VILLA LIGHTING PHONE: (314) 531-2600 RYAN.ZINSELMEIER@VILLALIGHTING.COM	MUNICIPAL SANITARY SEWER AGENCY CHRIS GUSTAFSON ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY ONE CIVIC PLAZA N.W., ROOM 5027 ALBUQUERQUE, NM 87102 PHONE: (505) 842-9287 CGUSTAFSON@ABCWUA.ORG	MUNICIPAL WATER AGENCY CHRIS GUSTAFON ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY ONE CIVIC PLAZA N.W., ROOM 5027 ALBUQUERQUE, NM 87102 PHONE: (505) 842-9287 CGUSTAFSON@ABCWUA.ORG	ELECTRIC PNM 414 SILVER AVE. SW. ALBUQUERQUE, NM 87102 PHONE: (888) 245-3659
GAS NEW MEXICO GAS COMPANY P.O. BOX 97500 ALBUQUERQUE, NM 87199 PHONE: (505) 697-4494	TELE/DATA CENTURY LINK COMMUNICATIONS 6TH STREET AND GOLD AVENUE STATION ALBUQUERQUE, NM 87102 PHONE: (505) 398-4278	LANDSCAPE ARCHITECT BRENNON WILLIAMS 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3860 PLANNINGDEPARTMENT@CABQ.GOV	SIGNAGE CINDY - COAST SIGN INC. PHONE: (714) 999-1978 PANDAEXPRESS@COASTSIGN.COM	FIRE LT. TOM RUIZ 11500 SUNSET GARDENS SW ALBUQUERQUE, NM 87121 PHONE: (505) 934-1021 TRUIZ@CABQ.GOV
MUNICIPAL PLANNING & ZONING BRENNON WILLIAMS 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3860 PLANNINGDEPARTMENT@CABQ.GOV	MUNICIPAL BUILDING DEAN KADELL 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3931 DKADELL@CABQ.GOV	MUNICIPAL ENGINEERING MATTHEW GRUSH 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 MGRUSH@CABQ.GOV	MUNICIPAL DRAINAGE DEAN KADELL 600 SECOND NW (PLAZA DEL SO BUILDING) ALBUQUERQUE, NM 87102 PHONE: (505) 924-3931 DKADELL@CABQ.GOV	

OJECT NUMBER: PR-2022-006547		
cation Number: PR-2022-00216		
s plan is consistent with the specific Site Developmen elopment Review Board Application (DRB), dated Findings and Conditions in the Official Notification of B SITE DEVELOPMENT PLAN APPROVAL:		
Traffic Engineering, Transportation Division	 Date	
ABCWUA	 Date	
Parks and Recreation Department	 Date	
City Engineer/Hydrology	Date	
Code Enforcement	Date	STUTE ME A STUTE
* Environmental Health Department (conditional)	 Date	26935 RA
Solid Waste Management	 Date	THE SONAL ENGINEER THE
DRB Chairperson Planning Department	 Date	EXPIRES 12-31-2023





PANDA EXPRESS, INC. 1683 Walnut Grove Ave. Rosemead, California

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REVISIONS:

	DRB 1st RESUBMITTAL	04-01-21
/1 I	DRB Project No. PR-2022-0	06547
	SI-2022-00216-SITE PLAN	
2	DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DSC	E DATE.	
	DRB SUBMITTAL	12-28-21

PANDA PROJECT #: S8-22-D8582

ARCH PROJECT #: D8582

PANDA STORE #: D8582



650 E. Algonquin Road Suite 250 Schaumburg, IL 60173 Telephone: (847) 756 - 4180 www.rtmec.com OH Certificate of Authority: 05046

HOUSTON 1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Houston, Texas 77008

972 490 7292 V

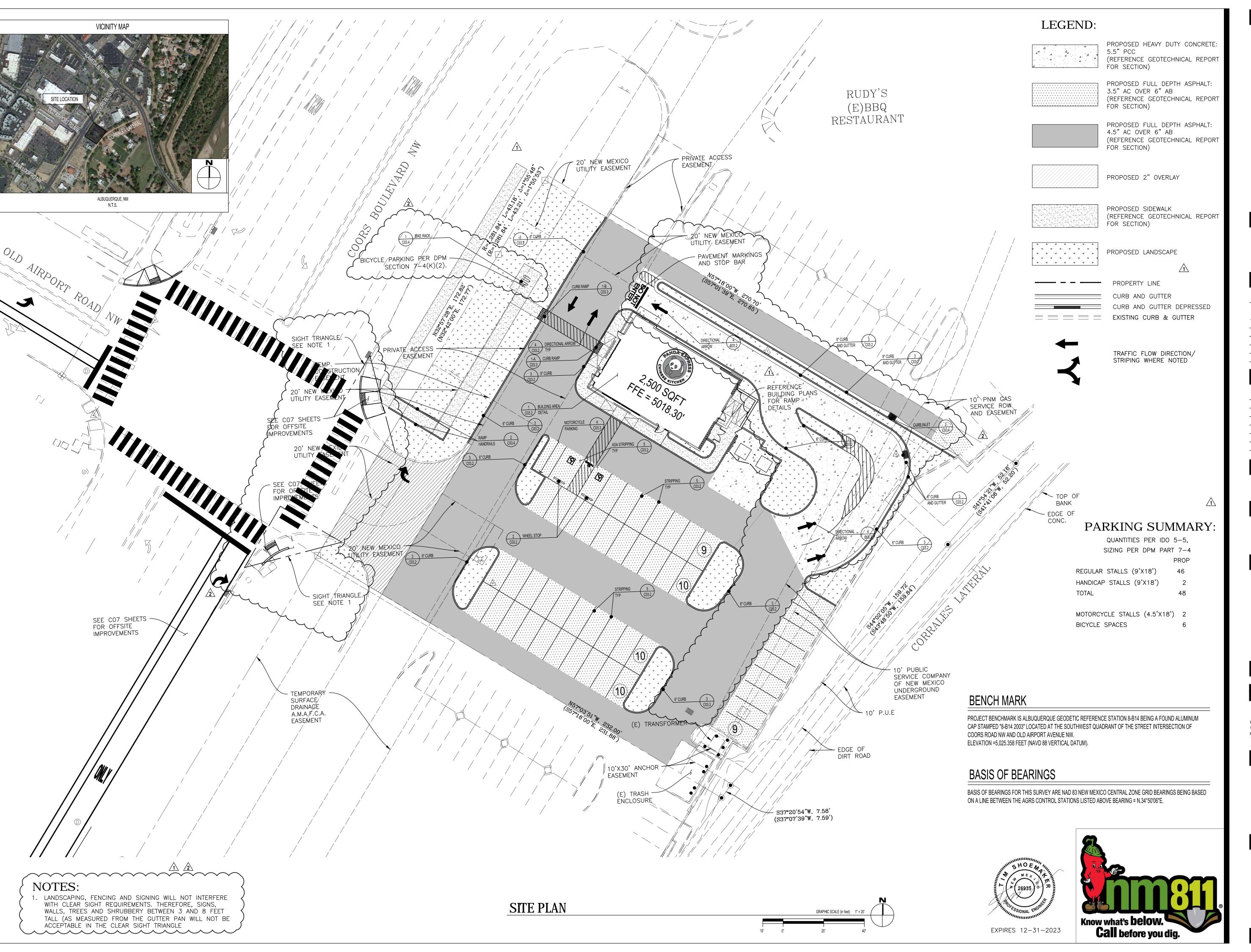
SUBMITTAL

713 869 1103 V

PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

COVER SHEET





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REVISIONS:

DRB 1st RESUBMITTAL /\ | DRB Project No. PR-2022-006547 SI-2022-00216-SITE PLAN DRB 2nd RESUBMITTAL 05-04-22

ISSUE DATE:

DRB SUBMITTAL 12-28-21

DRAWN BY:

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582 ARCH PROJECT #: D8582



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Heights Venture ARCHITECTURE & DESIGN

1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Houston, Texas 77008 972 490 7292 V 713 869 1103 V

PANDA EXPRESS

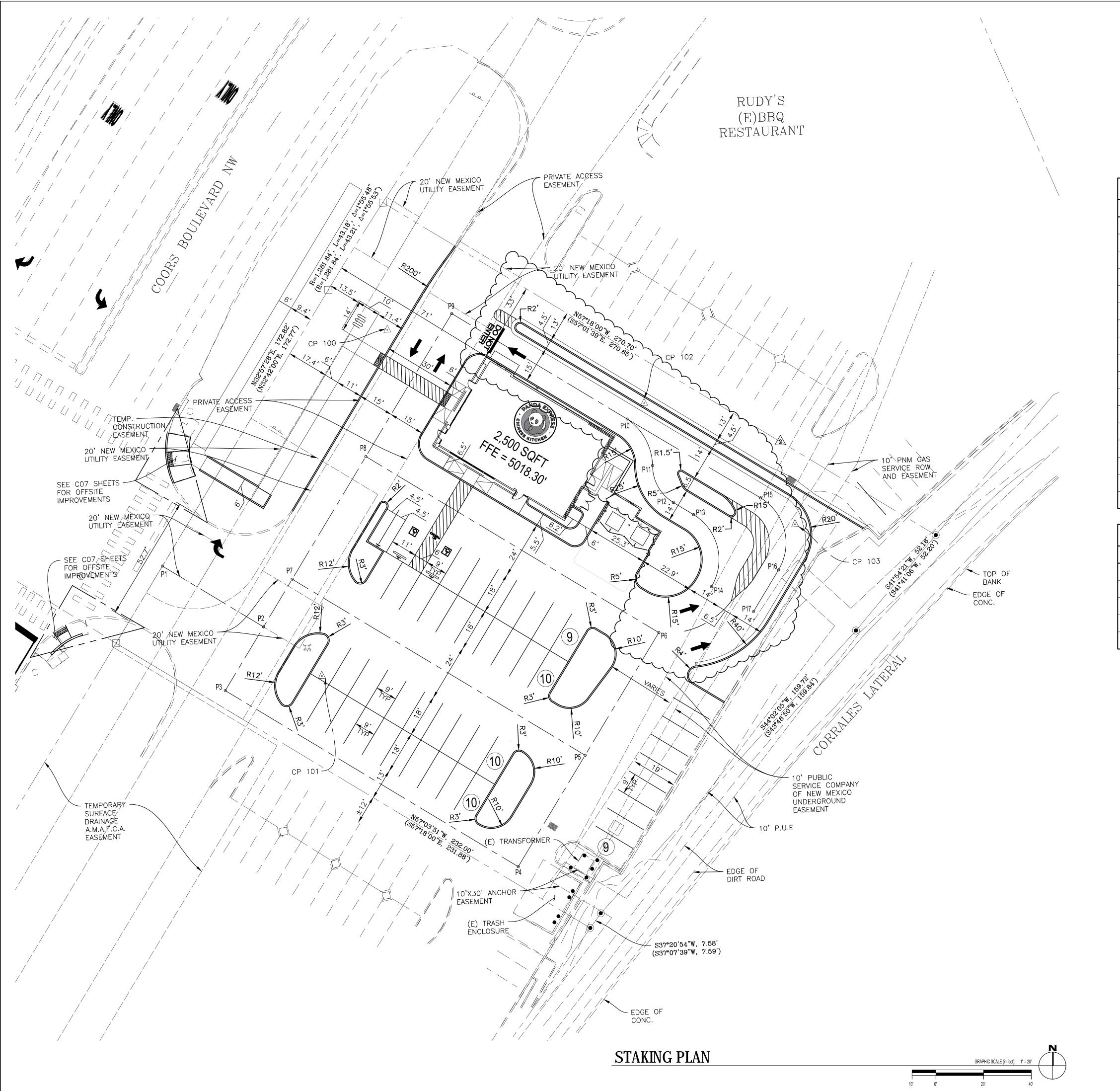
10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

SUBMITTAL

DRB

SITE PLAN

C03.0





1. ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. 2. SEE SHEET C01.1 FOR GENERAL PROVISIONS. 3. SITE IS PARALLEL AND PERPENDICULAR TO WESTERN PROPERTY LINE.

CENTERLINE STAKING TABLE				
POINT DESC.	NORTH (Y)	EAST (X)		
P-1	1528561.91	1521225.15		
P-2	1528534.98	1521266.69		
P-3	1528508.82	1521249.73		
P-4	1528430.84	1521370.01		
P-5	1528476.57	1521399.65		
P-6	1528526.92	1521432.30		
P-7	1528554.55	1521279.38		
P-8	1528604.90	1521312.02		
P-9	1528663.56	1521350.06		
P-10	1528616.87	1521422.07		
P-11	1528597.01	1521432.07		
P-12	1528581.24	1521440.26		
P-13	1528575.87	1521448.54		
P-14	1528545.44	1521455.03		
P-15	1528581.92	1521476.90		
P-16	1528551.49	1521483.39		
P-17	1528534.36	1521472.28		

	CP TABLE			
POINT DESC.	NORTH	EAST	ELEVATION	
CP 100	1528657.663	1521322.841	5,019.18'	
CP 101	1528513.564	1521290.443	5017.86'	
CP 102	1528623.271	1521429.445	5,015.53'	
CP 103	1528570.343	1521490.965	5,013.60'	
CP 104	1528513.564	1521290.443	5,017.86'	

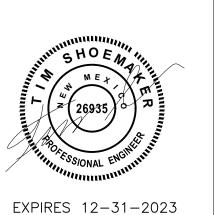
BENCHMARK NOTES

1. REFERENCE ALTA/NSPS LAND TITLE SURVEY BY TERRA LAND SURVEYS, LLC DATED 11/02/2021

2. BENCHMARK DESCRIPTION

PROJECT BENCHMARK IS ALBUQUERQUE GEODETIC REFERENCE STATION 8-B14 BEING A FOUND ALUMINUM CAP STAMPED "8-B14 2003" LOCATED AT THE SOUTHWEST QUADRANT OF THE STREET INTERSECTION OF COORS ROAD NW AND OLD AIRPORT AVENUE NW. ELEVATION =5,025.358 FEET (NAVD 88 VERTICAL DATUM).

3. BENCHMARKS WILL BE DISTURBED BY CONSTRUCTION TO BE REPLACED PER CITY REQUIREMENTS.







PANDA EXPRESS, INC. 1683 Walnut Grove Ave. Rosemead, California 91770

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	DRB Project No. PR-2022-00	06547
	SI-2022-00216-SITE PLAN	
2\	DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DRB SUBMITTAL	12-28-21

DRAWN BY:

PANDA PROJECT #: S8-22-D8582

D8582 PANDA STORE #: ARCH PROJECT #: D8582



engineering consultants 650 E. Algonquin Road Suite 250 Schaumburg, IL 60173 Telephone: (847) 756 - 4180 www.rtmec.com

OH Certificate of Authority: 05046

Heights Venture ARCHITECTURE & DESIGN

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1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Houston, Texas 77008 972 490 7292 V 713 869 1103 V

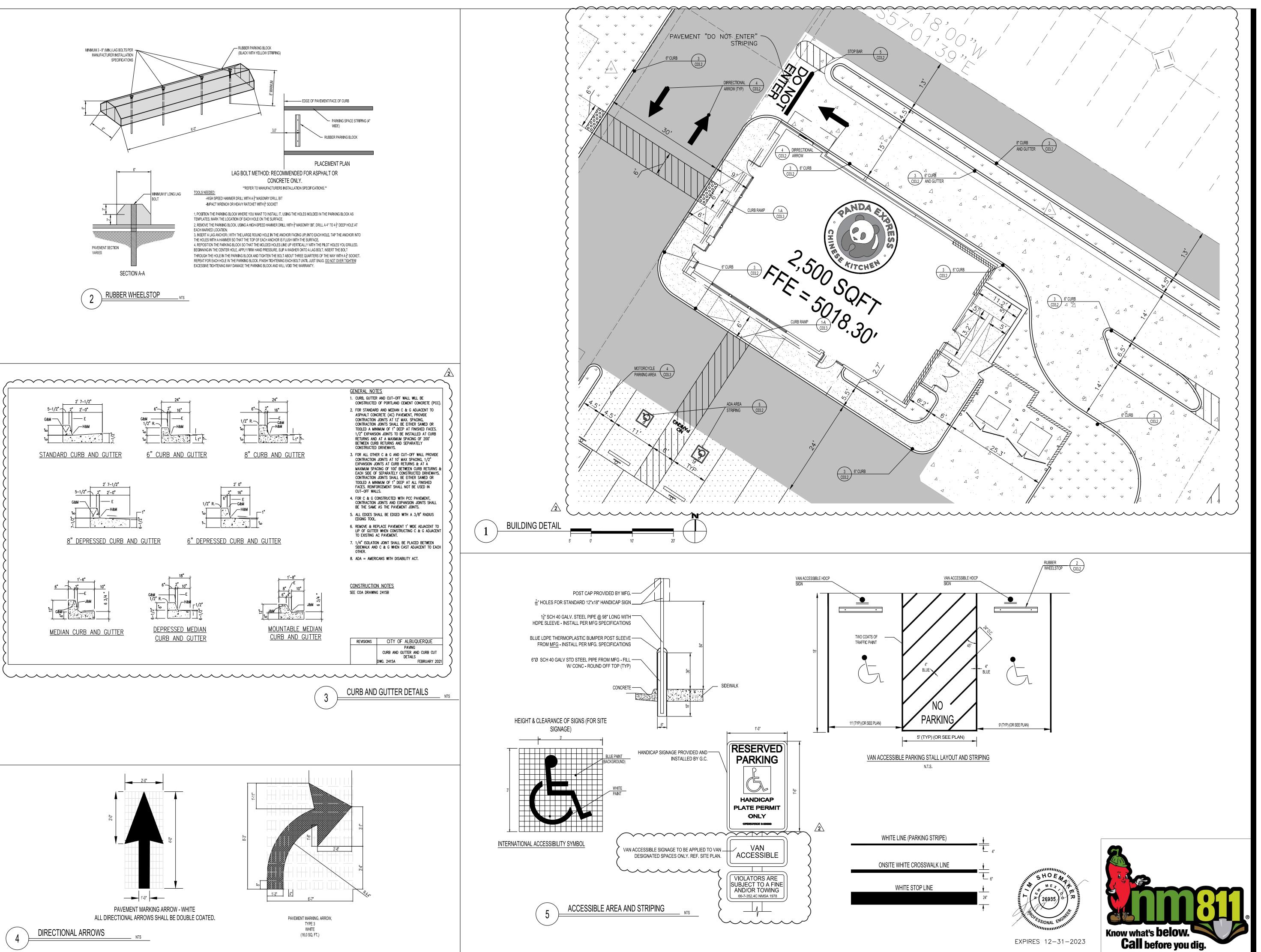
PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

STAKING PLAN

C03.1

DRB SUBMITTAL





> Telephone: 626.799.9898 Facsimile: 626.372.8288

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DRB 2nd RESUBMITTAL	05-04-22
	DRB Project No. PR-2022-00 SI-2022-00216-SITE PLAN

ISSUE DATE:

 DRB SUBMITTAL	12-28-2

DRAWN BY:

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582 ARCH PROJECT #: D8582



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Heights Venture

ARCHITECTURE - DESIGN

HOUSTON 1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Plano, Texas. 75024 Houston, Texas 77008 972 490 7292 V 713 869 1103 V

PANDA EXPRESS

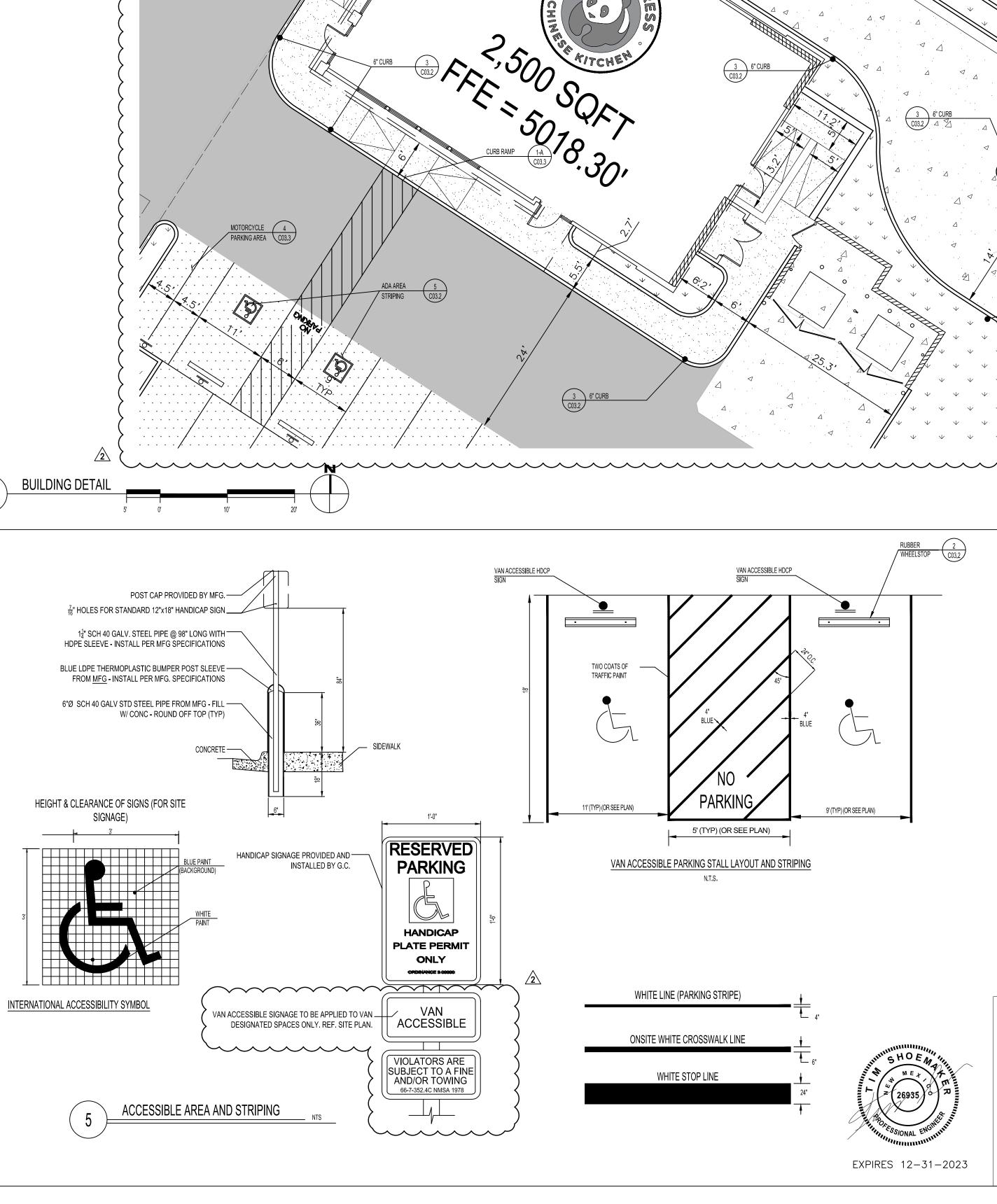
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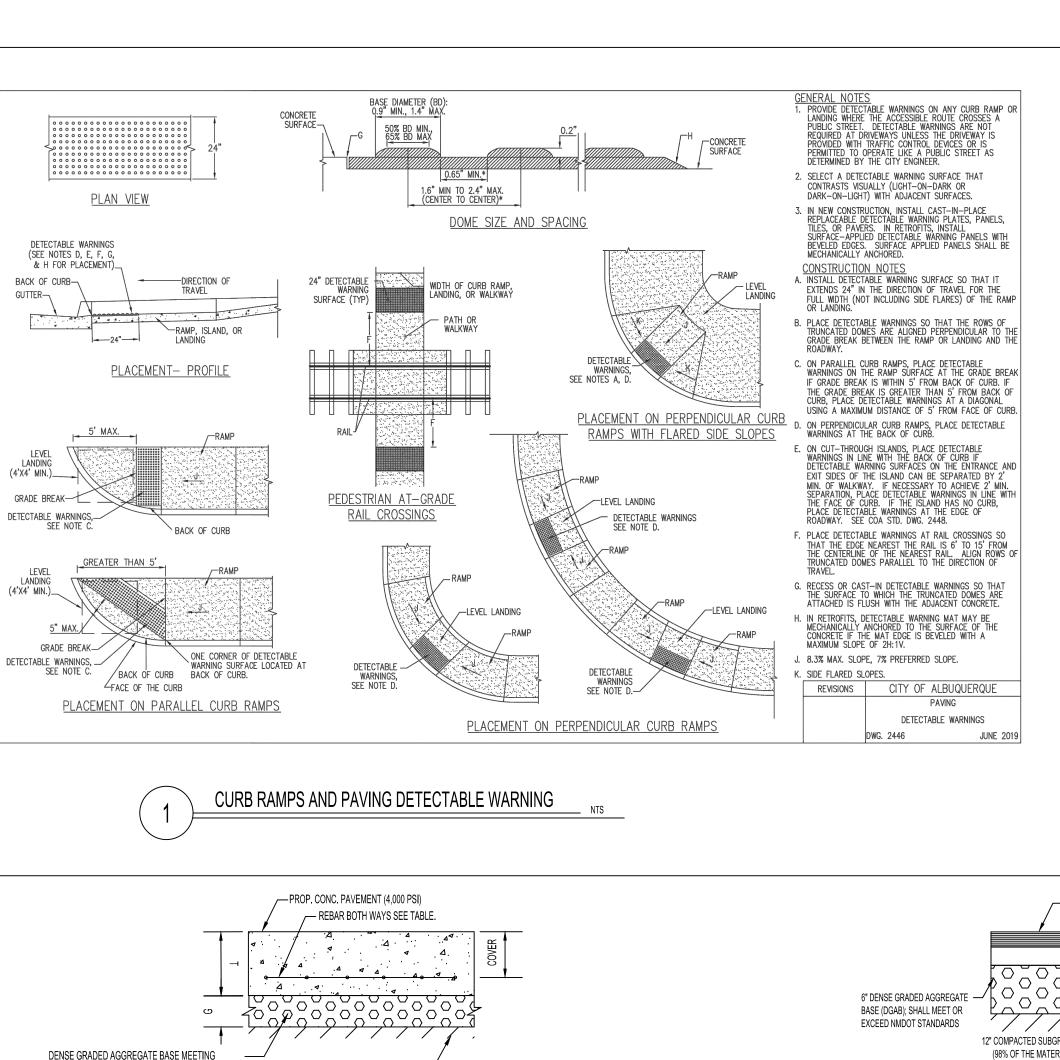
HARDSCAPE **DETAILS I**

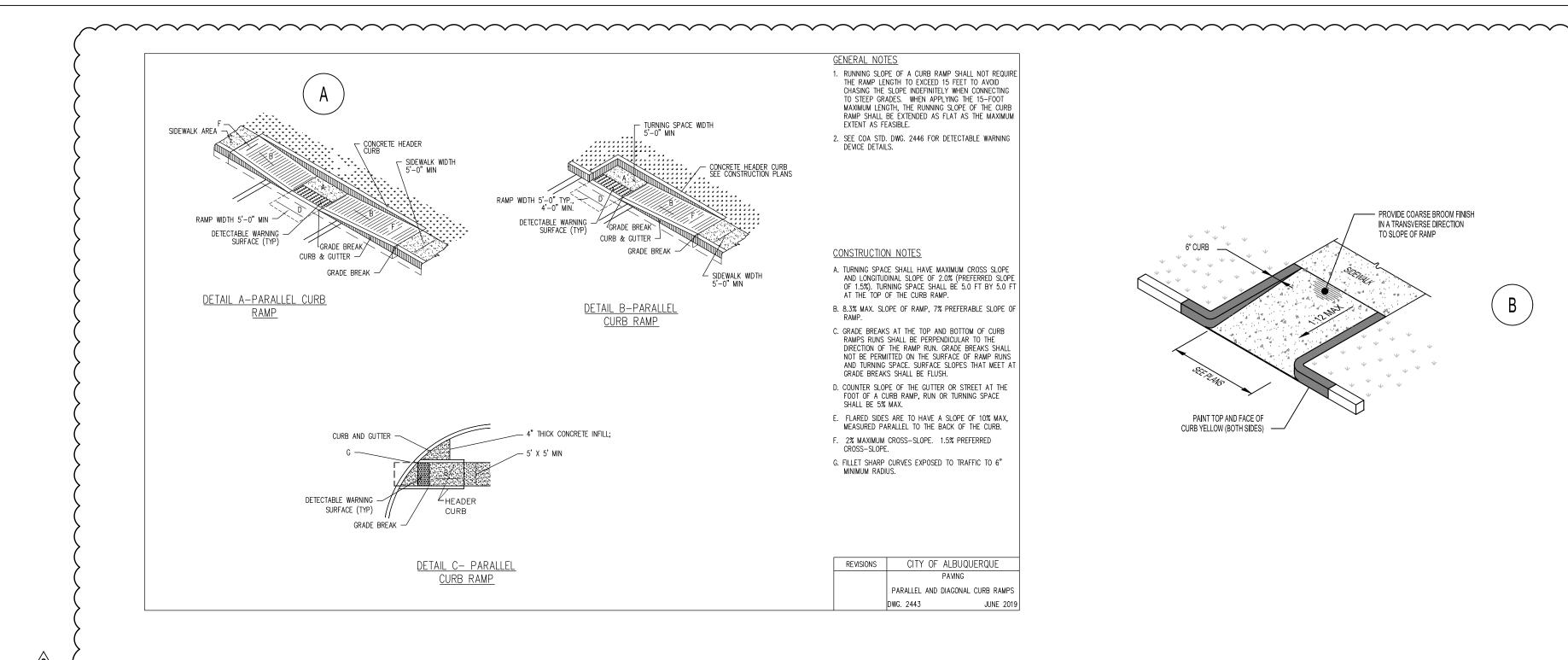
SUBMITTAL

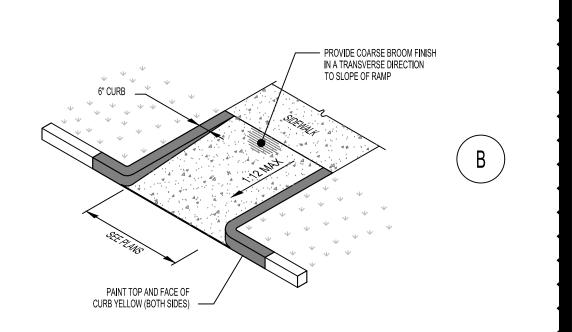
DRB

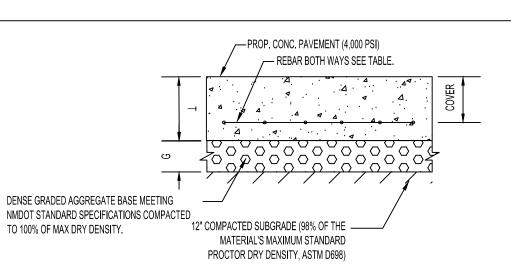
C03.2





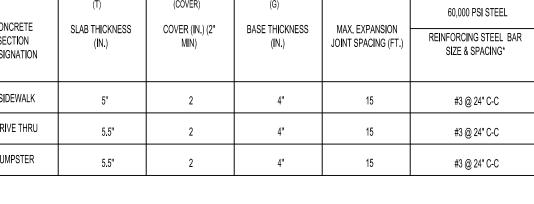


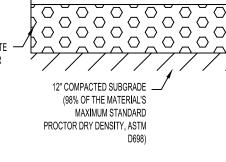


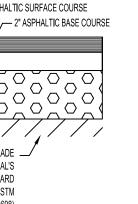


THICKNESS / REINFORCEMENT TABLE					
CONCRETE	(T)	(COVER)	(G)	MAY EVRANGION	60,000 PSI STEEL
SECTION DESIGNATION	SLAB THICKNESS (IN.)	S COVER (IN.) (2" BASE THICKNESS (IN.)		MAX. EXPANSION JOINT SPACING (FT.)	REINFORCING STEEL BAR SIZE & SPACING*
SIDEWALK	5"	2	4"	15	#3 @ 24" C-C
DRIVE THRU	5.5"	2	4"	15	#3 @ 24" C-C
DUMPSTER	5.5"	2	4"	15	#3 @ 24" C-C

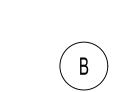
PAVEMENT SECTION



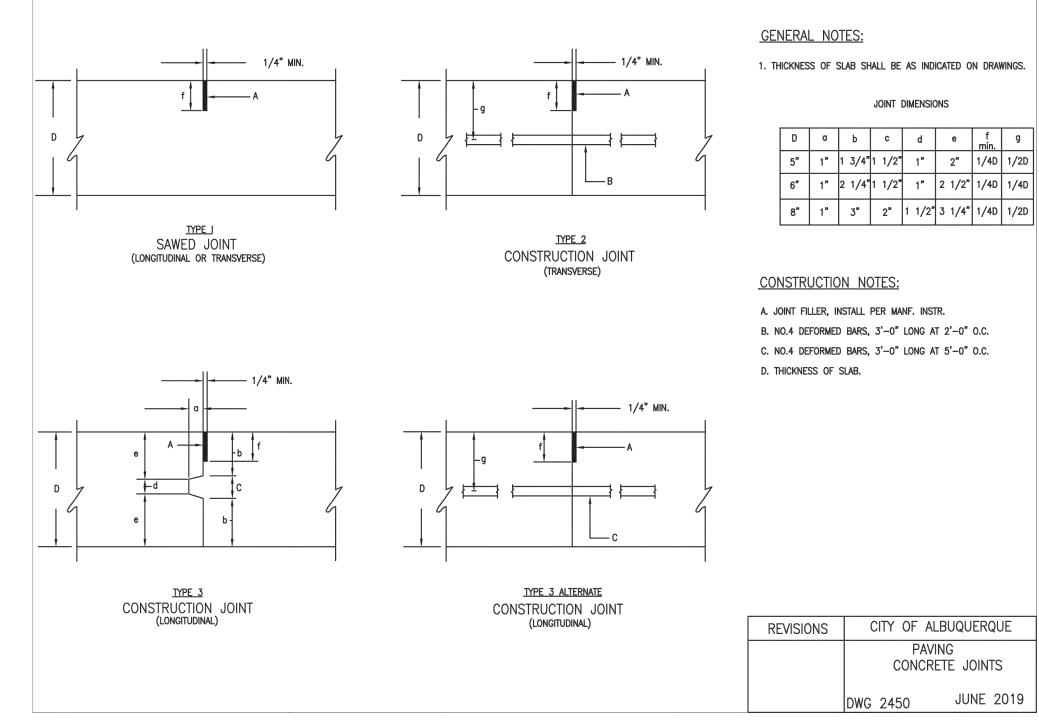




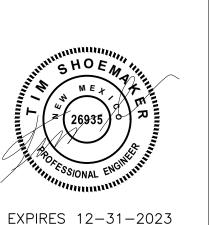




 THE ASPHALT SURFACE COURSE SHOULD CONFORM TO THE MOST RECENT EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, FOR HOT MIX ASPHALTIC CONCRETE SURFACE COURSE.



PAVING CONCRETE JOINT DETAILS







PANDA EXPRESS, INC. 1683 Walnut Grove Ave. Rosemead, California 91770

Telephone: 626.799.9898 Facsimile: 626.372.8288

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	DRB Project No. PR-2022-00	06547
	SI-2022-00216-SITE PLAN	
$\sqrt{2}$	DRB 2nd RESUBMITTAL	05-04-22

ISSUE DATE:

DSC	DE DATE.	
	DRB SUBMITTAL	12-28-21

DRAWN BY:

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582 ARCH PROJECT #: D8582



650 E. Algonquin Road Suite 250 Schaumburg, IL 60173 Telephone: (847) 756 - 4180 www.rtmec.com OH Certificate of Authority: 05046

Heights Venture

ARCHITECTURE : DESIGN

HOUSTON 1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Plano, Texas. 75024 Houston, Texas 77008 972 490 7292 V 713 869 1103 V

PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

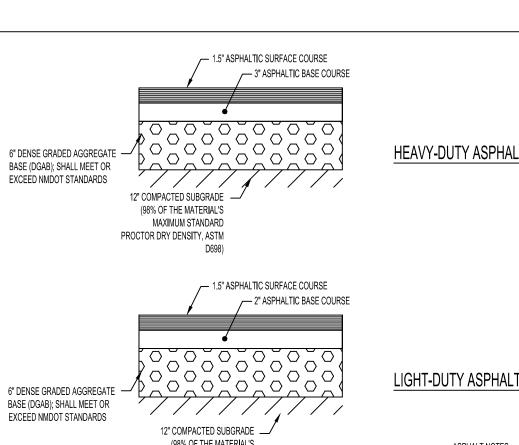
HARDSCAPE **DETAILS II**

SUBMITTAL

DRB

C03.3

10126 COORS BOULEVARD

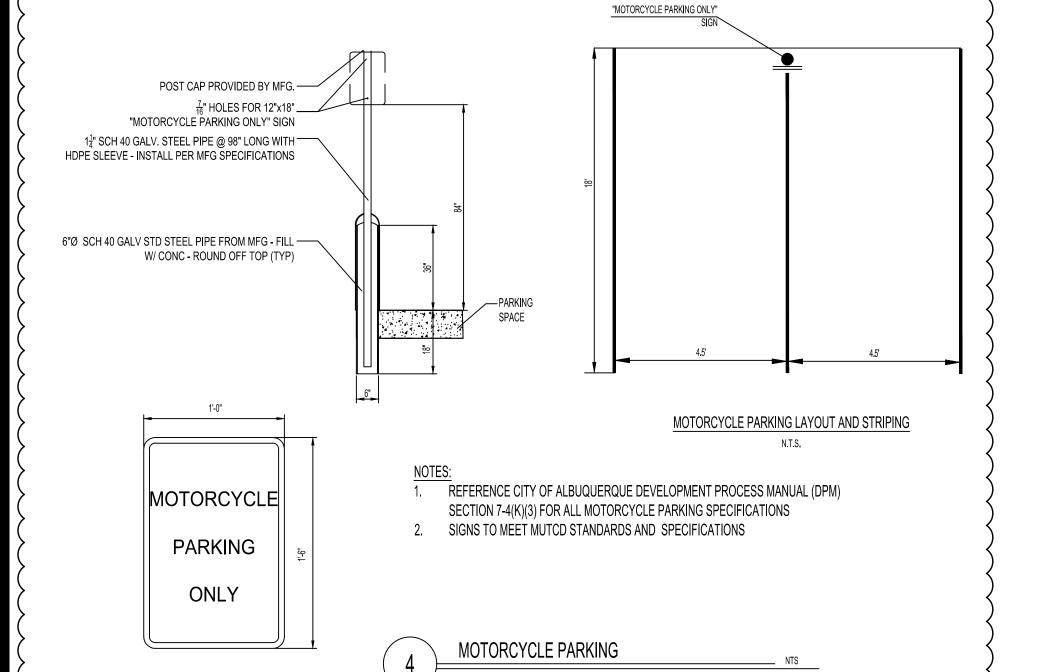


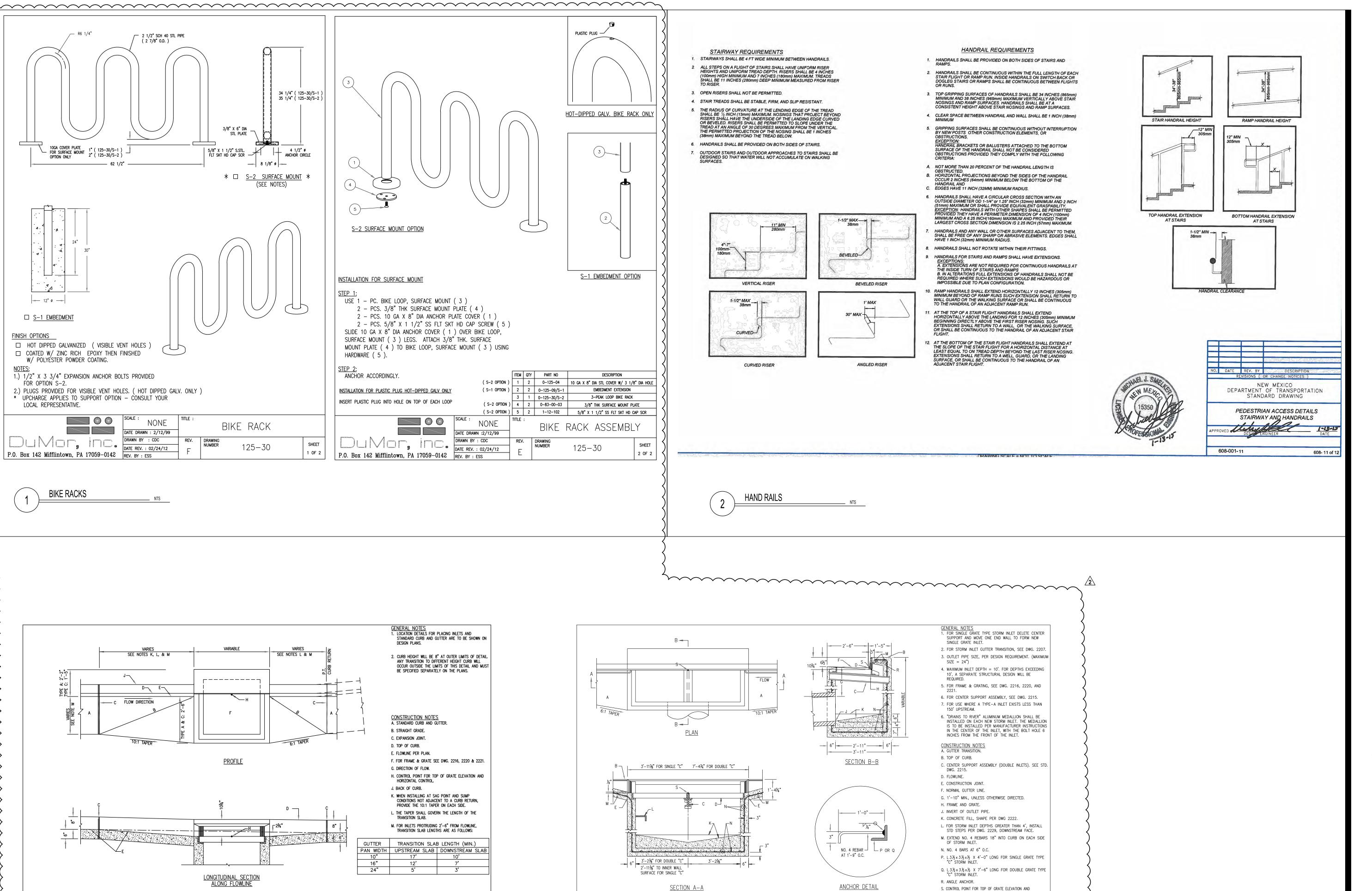
ENSURE GEOTECH ALWAYS PROVIDES

ASPHALT NOTES:

 THE BASE COURSE SHOULD CONFORM TO THE NMDOT STANDARDS FOR BASE COURSE COMPACTED TO 100 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.

"BINDER COARSE" TACK COAT SHOULD BE PROVIDED ATOP EACH PAVEMENT SECTION.





REVISIONS | CITY OF ALBUQUERQUE

STORM INLET GUTTER TRANSITION

FEBRUARY 202

HORIZONTAL CONTROL.

REVISIONS

CITY OF ALBUQUERQUE

STORM INLET TYPE "C"

26935

EXPIRES 12-31-2023

Know what's **below**.

Call before you dig.

PANDA EXPRESS, INC. 1683 Walnut Grove Ave. Rosemead, California 91770

Telephone: 626.799.9898 Facsimile: 626.372.8288

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DRB SUBMITTAL 12-28-21

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PANDA STORE #: D8582

ARCH PROJECT #: D8582



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ARCHITECTURE - DESIGN

HOUSTON 1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Plano, Texas. 75024 Houston, Texas 77008 713 869 1103 V 972 490 7292 V

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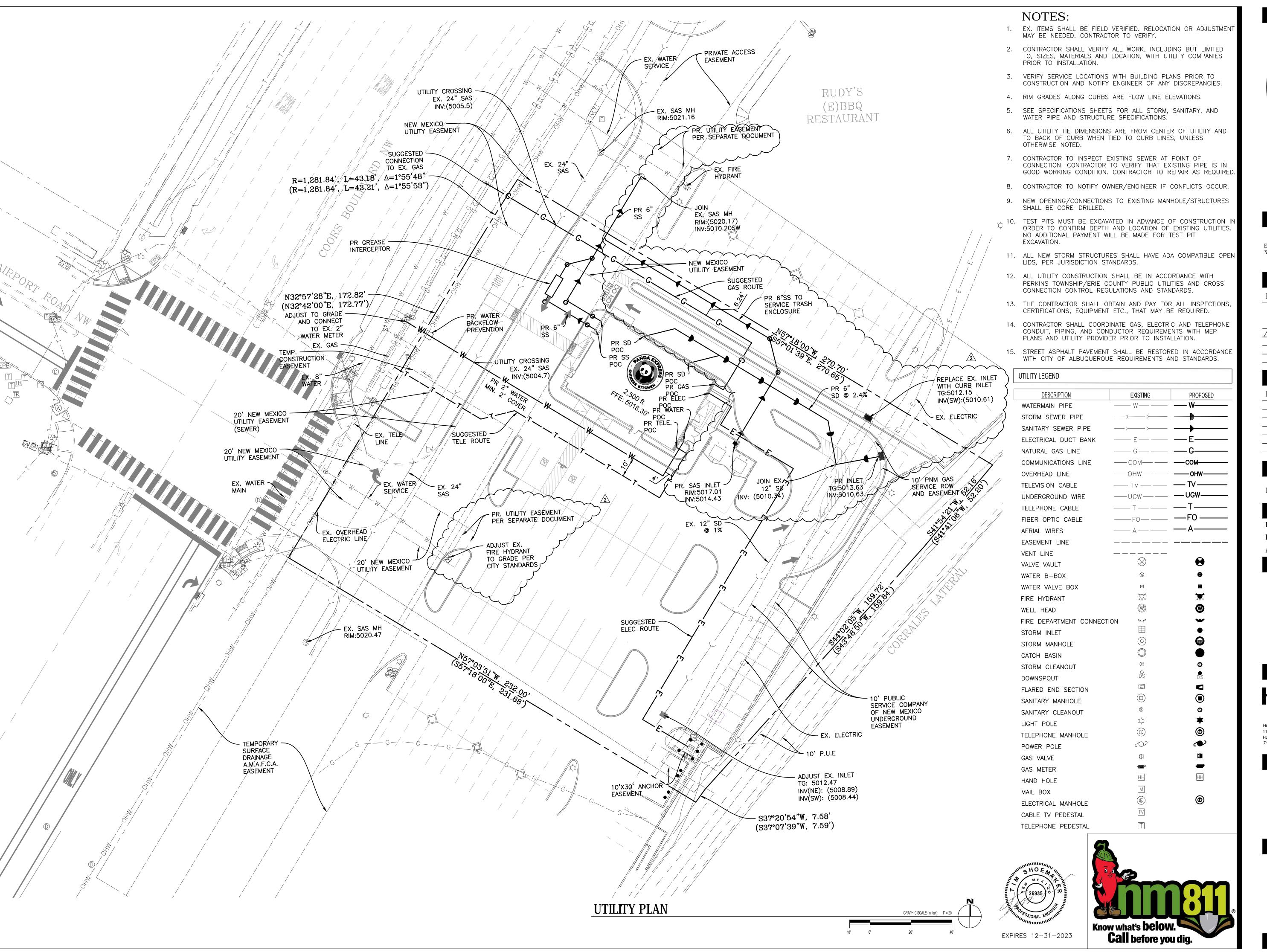
10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

HARDSCAPE **DETAILS III**

SUBMITTAL

DRB

C03.4





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2\	DRB 2nd RESUBMITTAL	05-04-22		
•				

ISS	SUE DATE:	
	DRB SUBMITTAL	12-28-2
-		

DRAWN BY:

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582

ARCH PROJECT #: D8582



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OH Certificate of Authority: 05046

Heights Venture

ARCHITECTURE : DESIGN

1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Houston, Texas 77008 972 490 7292 V

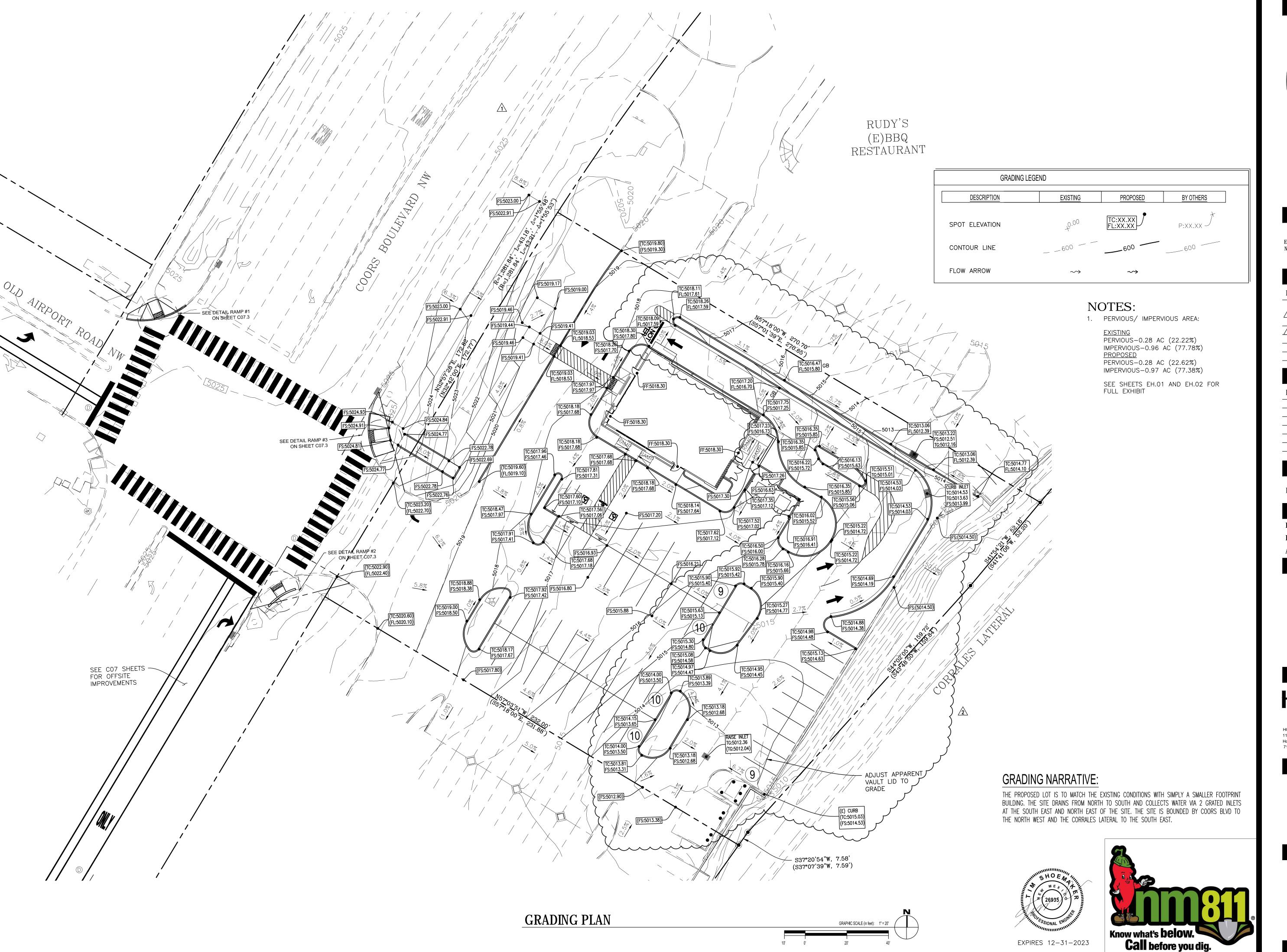
PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

UTILITY PLAN

C04.0

DRB





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ISSUE DATE:

 DRB SUBMITTAL	12-28-21

DRAWN BY:

PANDA PROJECT #: S8-22-D8582

D8582 PANDA STORE #: ARCH PROJECT #: D8582



engineering consultants
650 E. Algonquin Road
Suite 250
Schaumburg, IL 60173
Telephone: (847) 756 - 4180 www.rtmec.com OH Certificate of Authority: 05046

Heights Venture ARCHITECTURE : DESIGN

1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Houston, Texas 77008 972 490 7292 V 713 869 1103 V

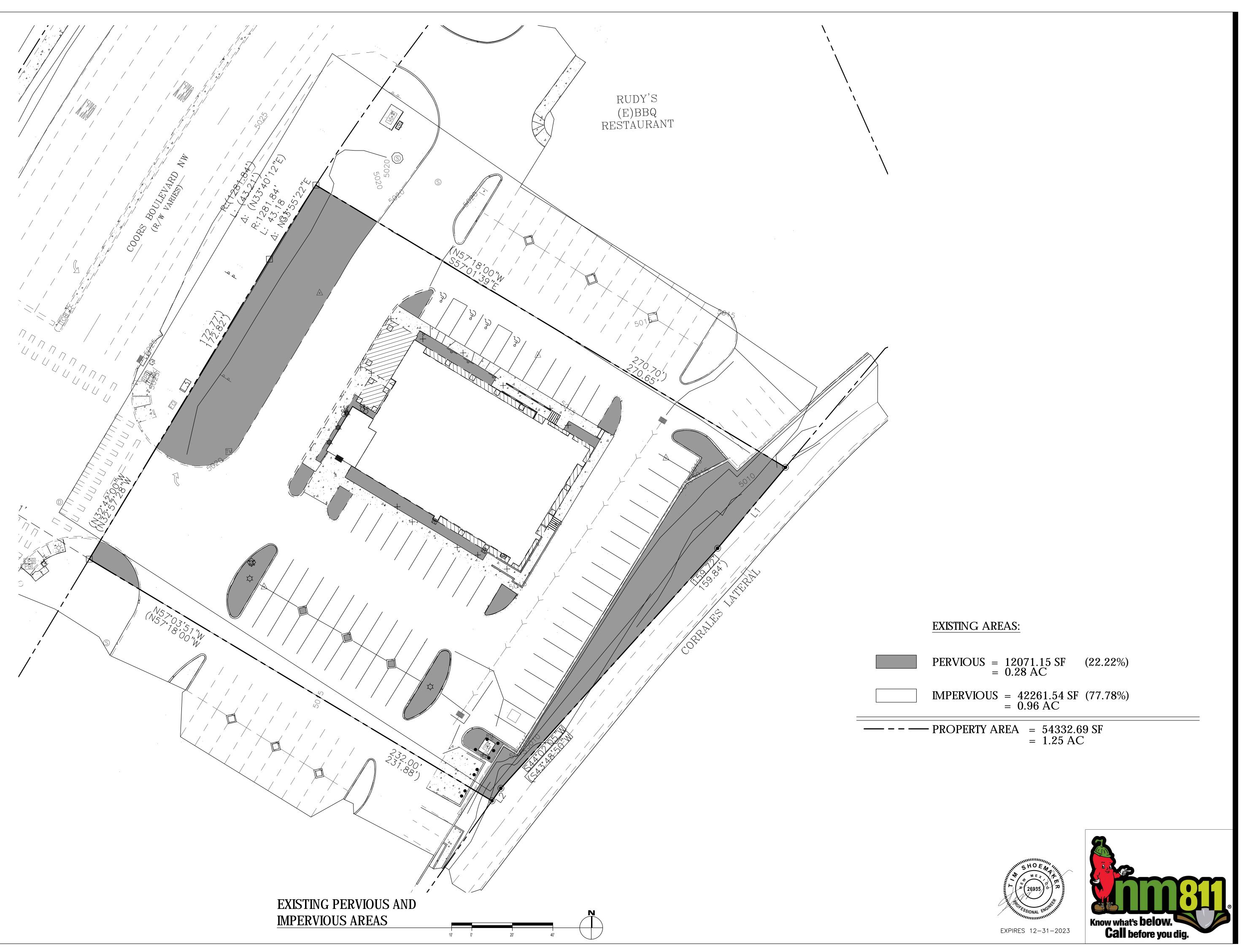
PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

GRADING PLAN

C05.0

DRB SUBMITTAL





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DRB 2nd RESUBMITTAL	05-04-22

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DRB SUBMITTAL	12-28-21
	_

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engineering consultants
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Suite 250
Schaumburg, IL 60173
Telephone: (847) 756 - 4180
www.rtmec.com
OH Certificate of Authority: 05046

Heights Venture ARCHITECTURE & DESIGN

HOUSTON DALLAS

1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240

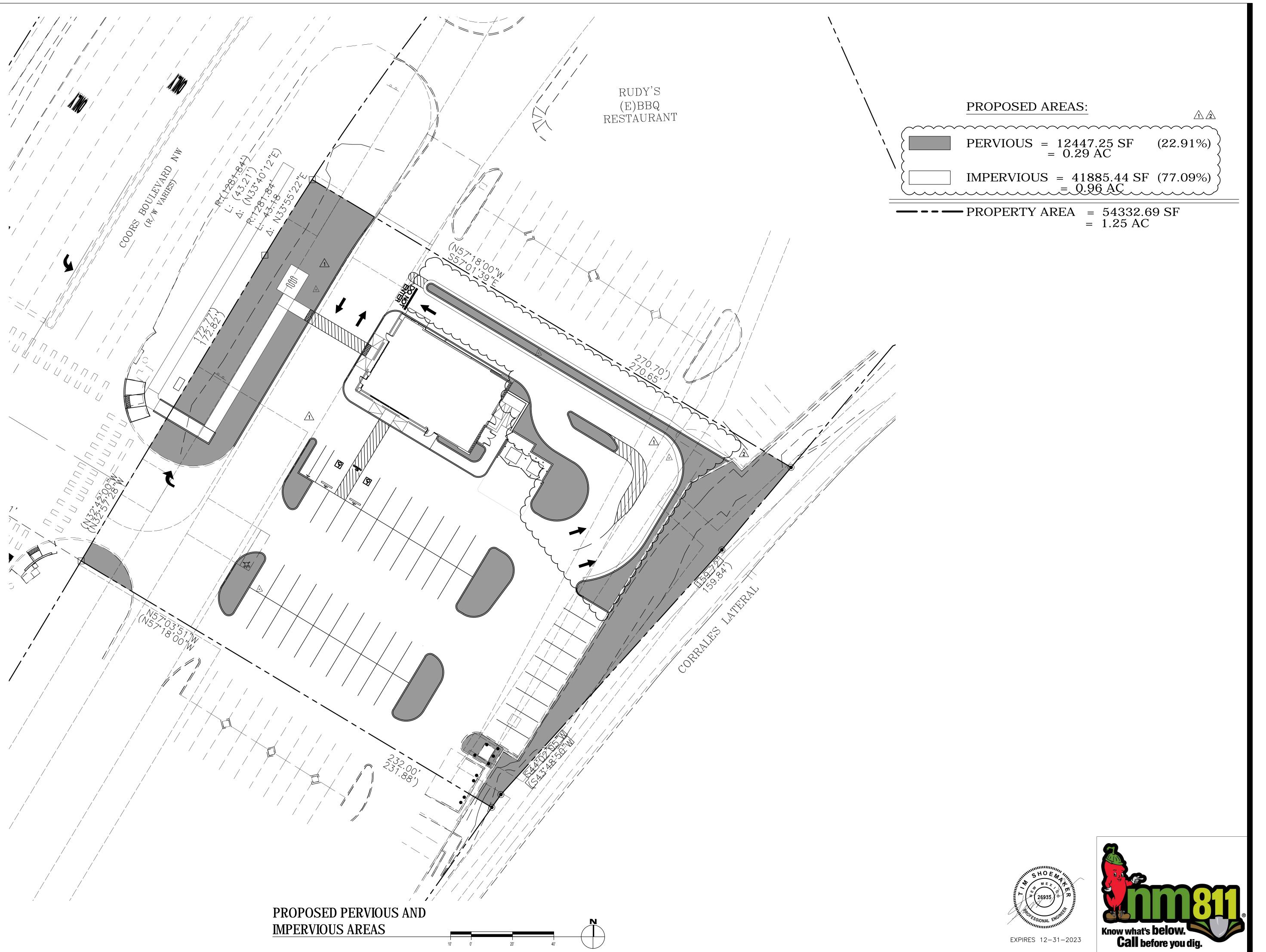
Houston, Texas 77008 Plano, Texas. 75024

713 869 1103 V 972 490 7292 V

PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

EXISTING PERVIOUS
AND IMPERVIOUS
AREAS
EH.01





Telephone: 626.799.9898 Facsimile: 626.372.8288

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DRB SUBMITTAL 12-28-21

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ARCH PROJECT #: D8582



engineering consultants
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Schaumburg, IL 60173
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www.rtmec.com
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Heights Venture ARCHITECTURE & DESIGN

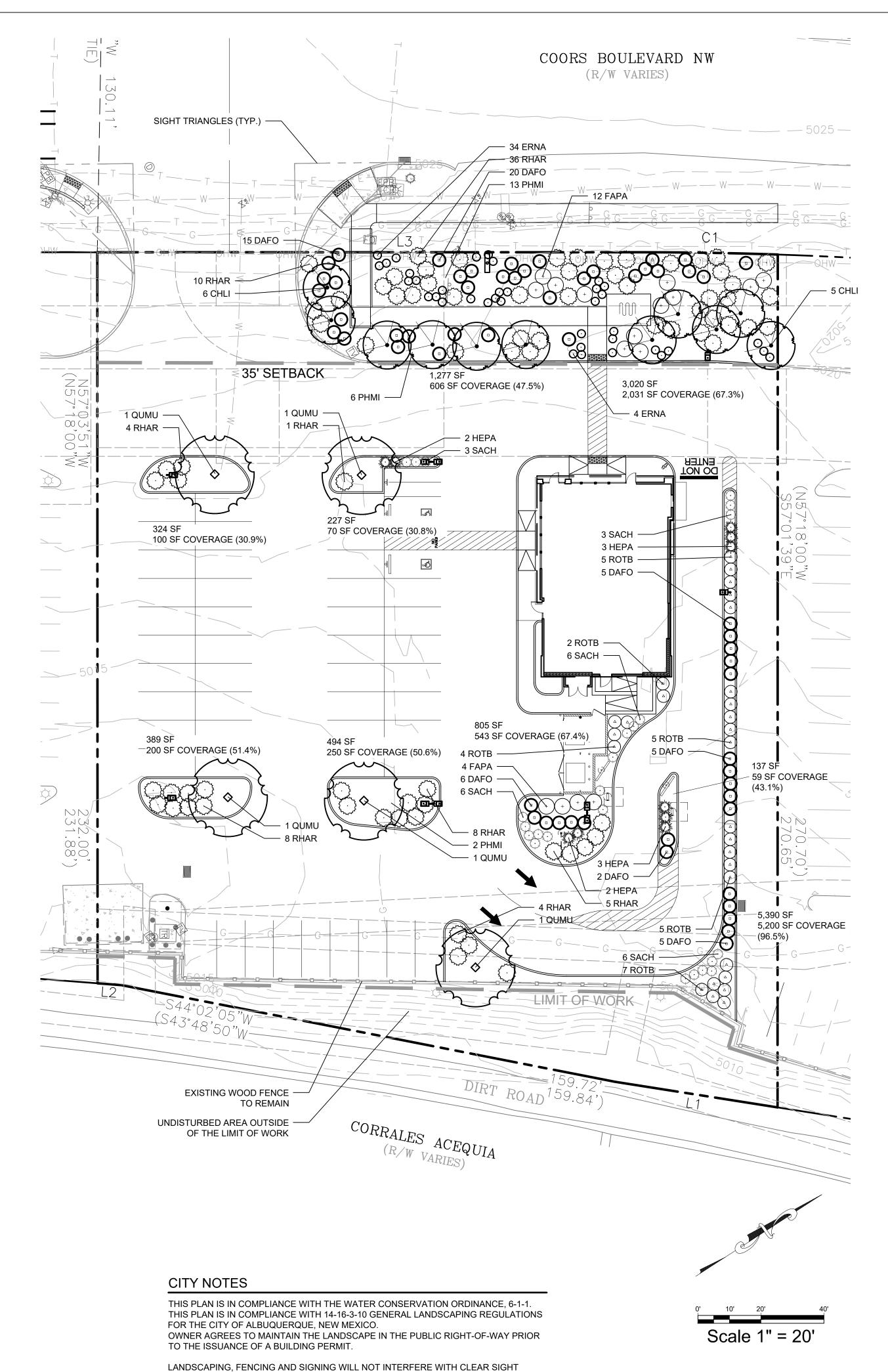
HOUSTON DALLAS
1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240
Houston, Texas 77008 Plano, Texas. 75024 972 490 7292 V

PANDA EXPRESS

10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

PROPOSED PERVIOUS
AND IMPERVIOUS
AREAS
EH.02

10126 COORS BOULEVARD



REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3

AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE

IN THE CLEAR SIGHT TRIANGLE.

PLANTING LEGEND

SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	REMARKS
TREES						
CHLI	Chilopsis linearis 'Bubba'	Bubba Desert Willow	2" cal., 8'-10' high	Per plan	11	
QUMU	Quercus muehlenbergii	Chinquapin Oak	2" cal., 8'-10' high	Per plan	5	
NOTE: ALL TREES SHALL BE CONTAINER-GROWN, CONTAINER SIZE AS APPROPRIATE FOR THE CALIPER SPECIFIED. SEE SPECIFICATIONS FOR PROPER ROOT QUALITY.						

SHRUBS AND ORNAMENTAL GRASSES

JI II ODO A	IND ORNAMENTAL GRASSES					
DAFO	Dalea formosa	Indigobush	#3 cont.	4' o.c.	58	
ERNA	Ericameria nauseosa naus. var. nauseosa	Dwarf Rabbitbrush	#3 cont.	2.5' o.c.	38	
FAPA	Fallugia paradoxa	Apache Plume	#3 cont.	5' o.c.	16	
HEPA	Hesperaloe parviflora	Red Yucca	#3 cont.	3' o.c.	10	
PHMI	Philadelphus microphyllus	Littleleaf Mockorange	#3 cont.	5' o.c.	21	
RHAR	Rhus aromatica 'Autumn Amber'	Autumn Amber Sumac	#3 cont.	5' o.c.	76	
ROTB	Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	#3 cont.	4' o.c.	28	
SACH	Salvia chamaedryoides	Germander Sage	#1 cont.	3' o.c.	24	

LANDSCAPE CALCULATIONS

54,333 SF **NET SITE AREA:** 8,150 SF (15% OF SITE AREA) LANDSCAPE AREA REQUIRED: 12,045 SF (22.2% OF SITE AREA) LANDSCAPE AREA PROVIDED: MINIMUM REQUIRED COVERAGE 9,034 SF (75% OF LANDSCAPE AREA) COVERAGE PROVIDED OVERALL: 9,059 SF (75.2%)

STREET FRONTAGE LANDSCAPING FRONTAGE LENGTH: 11 TREES (1 PER 20 LF* OF FRONTAGE) STREET TREES REQUIRED: STREET TREES PROVIDED: 11 TREES * OVERHEAD POWER LINES PRESENT

PARKING LOT LANDSCAPING PARKING LOT AREA: LANDSCAPE AREA REQUIRED: 1,659 SF (10% OF PARKING AREA) LANDSCAPE AREA PROVIDED: 1,700 SF (10.2% OF PARKING AREA)

TOTAL PARKING SPACES: 49 SPACES TREES REQUIRED: 5 TREES (1 TREE PER 10 SPACES) TREES PROVIDED: 5 TREES

CPO-2 STANDARDS SETBACK LANDSCAPE AREA: 4,297 SF REQUIRED COVERAGE: 2,149 SF (50%) PROVIDED COVERAGE: 2,637 SF (61.4%)

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1" RIVER ROCK, BEIGE COLOR, MULCH IN ALL NEWLY PLANTED AREAS. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS). DO NOT USE WEED BARRIERS OR LANDSCAPE FABRIC UNDER ANY MULCH.

GENERAL GRADING AND PLANTING NOTES

- 1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED
- CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
- THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
- ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER
- INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE
- LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE
- MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.). a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS
- AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND. THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE
- ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS). THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT.
- THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
- 5. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
- 6. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.



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PLANTING PLAN

TRUE WARM & WELCOME 2500 R1

GENERAL

A. GENERAL AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE

- INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM SHALL HAVE A REDUCED-PRESSURE BACKFLOW PREVENTION DEVICE INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE. THE BACKFLOW DEVICE SHALL BE ENCLOSED IN A VANDAL-RESISTANT ENCLOSURE
- ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS (WATER NEEDS, SUN EXPOSURE, ETC.) SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE. THE PLANTING PLAN SHALL BE THE BASIS OF IRRIGATION DESIGN, AND THE IRRIGATION CONTRACTOR SHALL OBTAIN AND THOROUGHLY REVIEW A COPY OF THE PLANTING PLAN PRIOR TO SUBMITTING A BID FOR IRRIGATION DESIGN/BUILD SERVICES. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: RAIN SENSORS, MULTI-PROGRAM COMPUTERIZED IRRIGATION
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND/OR SHOWN ON THE IRRIGATION PLANS, NOTES, AND DETAILS.

CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES, CODES SHALL PREVAIL
- THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC: COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF CONTROLLER BACKELOW DEVICE PIPING VALVES DRIP IRRIGATION. AND RELATED EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS
- QUALIFICATIONS OF IRRIGATION CONTRACTOR ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS. SEE THE IRRIGATION PLAN FOR SPECIFIC EQUIPMENT AND SYSTEM LAYOUT.
- THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A CONTRACTOR LICENSED IN THE APPROPRIATE LOCAL JURISDICTION. A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER SHALL BE PRESENT AT THE PROJECT SITE AT ALL TIMES AS WORK IS IN PROGRESS. THE OWNER MAY DEMAND THAT WORK STOP UNTIL THE CONTRACTOR PROVIDES FOR A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER TO BE PRESENT AT THE PROJECT SITE AND SUPERVISING
- A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE. SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.

- ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL HAVE A MINIMUM GUARANTEE OF ONE YEAR AGAINST MATERIAL DEFECTS OR DEFECTIVE WORKMANSHIP. ALL MATERIALS SHALL BE OF THE FOLLOWING BRANDS: RAINBIRD, TORO, NETAFIM. OTHER MANUFACTURERS MAY BE PROPOSED TO THE OWNER, AS MAY BE APPROPRIATE. THE BACKFLOW PREVENTION DEVICE SHALL BE REDUCED-PRESSURE TYPE, SIZED TO MEET IRRIGATION DEMAND AND MINIMIZE PRESSURE LOSSES. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH IRRIGATION CONSTRUCTION DETAILS AND ALL
- PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION: SCHEDULE 40 PVC FOR ALL PIPE 1-1/2" OR LESS CLASS 315 PVC FOR ALL PIPE 2" TO 2-1/2"
- CLASS 200 PVC_GASKETED_FOR ALL PIPE 3" AND LARGER NON-PRESSURE LATERAL LINES (DOWNSTREAM FROM VALVES): CLASS 200 PVC SLEEVES: SCHEDULE 40 PVC
- FITTINGS: SCH 40 PVC EXCEPT AS NOTED OTHERWISE VALVES AND DRIP VALVE ASSEMBLIES: EACH VALVE SHALL BEAR A PRE-MANUFACTURED.

APPLICABLE STATE AND LOCAL CODES AND ORDINANCES

- NUMBERED WATERPROOF TAG BEARING A NUMBER CORRESPONDING TO ITS VALVE SEQUENCE OF OPERATION ON THE CONTROLLER VALVES FOR SPRAY AND ROTOR CIRCUITS SHALL BE COMMERCIAL-GRADE, GLOBE-TYPE NORMALLY CLOSED
- VALVES SHALL HAVE A ONE-PIECE SOLENOID DESIGN AND FLOW CONTROL HANDLE. QUICK COUPLERS: $\frac{3}{4}$ ", TWO-PIECE BODY, WITH LATCHING COVER.
- BALL VALVES: BRASS BALL VALVES SHALL BE INSTALLED WHEREVER PRESSURIZED MAINLINE CROSSES VEHICULAR AREAS, AND INSTALLED ON THE UPSTREAM SIDE OF THE
- MAINLINE. PVC BALL VALVES SHALL BE INSTALLED AT THE ENDS OR DRIP RUNS, FOR FLUSHING DRIP LINES
- ALL BALL VALVES SHALL BE FULL-PORT, LINE SIZE, AND INSTALLED IN THEIR OWN 9" ROUND VALVE BOXES VALVE BOXES: ALL VALVES BOXES SHALL BE LOCKING BOLT-DOWN TYPE. FURNISHED
- WITH LIDS AND BOLTS. BOXES SHALL BE OF A SIZE TO CONTAIN THE ENTIRE VALVE AND/OR VALVE ASSEMBLY. THE VALVE BOX LID SHALL HAVE THE VALVE STATION NUMBER HEAT-BRANDED INTO THE LID WITH 2" HIGH LETTERS. ONLY ONE VALVE SHALL BE INSTALLED PER VALVE BOX. INTEGRAL EMITTER DRIP TUBING: TUBING WITH INTEGRAL EMITTERS WELDED TO THE
- INSIDE WALL OF THE TUBING AS AN INTEGRAL PART OF THE TUBING ASSEMBLY. IN GENERAL, THE FOLLOWING EMITTER FLOW RATES AND SPACING SHALL BE USED: CLAY AND CLAY LOAM SOILS: 0.6 GPH, EMITTERS SPACED AT 12" O.C.,
- PARALLEL TUBING RUNS SPACED AT 18" O.C. MEDIUM-TEXTURE LOAM SOILS: 0.9 GPH, EMITTERS SPACED AT 12" O.C.
- PARALLEL TUBING RUNS SPACED AT 18" O.C SANDY AND SANDY LOAM SOILS: 0.9 GPH, EMITTERS SPACED AT 12" O.C.,
- PARALLEL TUBING RUNS SPACED AT 12" O.C. CONTRACTOR SHALL GUARANTEE A MINIMUM OF TWO EMITTERS PER #1 OR #5 AUTOMATIC CONTROLLER: COMMERCIAL-GRADE MODULAR CONTROLLER, SIZE AS
- APPROPRIATE FOR THE NUMBER OF PERMANENT VALVES, PLUS ADDITIONAL MODULES AS NEEDED FOR ANY TEMPORARY IRRIGATED AREAS (SUCH AS NATIVE SEED). PROVIDE VANDAL-PROOF ENCLOSURE FOR ALL EXTERIOR INSTALLATIONS. PROVIDE LINE-VOLTAGE DISCONNECT SWITCH WITH GROUND FAULT PROTECTION.
- 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR IRRIGATION WIRE. EACH CONTROLLER SHALL HAVE A DIFFERENT COLOR STATION AND COMMON WIRE. STATION WIRE - RED COMMON WIRE - WHITE
- EXTRA COMMON WIRES BLUE WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF COMPOUND OR GEL. ALL FIELD SPLICES SHALL BE LOCATED IN A 6 INCH ROUND VALVE BOX. RAIN SENSOR: WIRELESS RAIN/FREEZE SENSOR.

<u>METHODS</u>

- A. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQURED TO MOVE SUCH ITEMS AT HIS OWN COST. ENSURE FIELD COORDINATION IS MADE EARLY ON IN THE
- CONSTRUCTION PHASE SO PLACEMENT LOCATION IS CORRECT. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE IRRIGATION CONTRACTOR SHALL NOT WILFULLY INSTALL ANY PORTION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS EXIST. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND NECESSARY COSTS.
- SEE UTILITY PLANS FOR IRRIGATION POINTS OF CONNECTION (TAP) AND DOMESTIC
- THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM. AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 55 PSI AND LESS THAN 70 PSI. IF STATIC WATER PRESSURE IS OUTSIDE OF THE STATED RANGE, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE OWNER IN WRITING, AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION. THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN SUCH
- CIRCUMSTANCES. SHOULD STATIC WATER PRESSURE BE BELOW 55 PSI, A PUMP MAY BE REQUIRED FOR PROPER OPERATION OF THE IRRIGATION SYSTEM. THE IRRIGATION CONTRACTOR SHALL DISCUSS THE NEED FOR A PUMP WITH THE OWNER, AND

PROPOSE OPTIONS FOR THE PROPER FUNCTIONING OF THE IRRIGATION SYSTEM

THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES AND UTILITIES. COORDINATE WITH THE OWNER THE PROPOSED LOCATIONS OF THE AUTOMATIC CONTROLLER AND ANY REQUIRED SLEEVES THROUGH THE BUILDING FOR CONTROL

- - ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1" LARGE STONES BRUSH SOD FROZEN MATERIAL OR OTHER UNSUITABLE SUBSTANCES THAT MAY DAMAGE PIPE DURING THE BACKFILLING OPERATIONS. SEPARATE OUT ROCKS LARGER THAN 1 INCH IN ANY DIRECTION FROM EXCAVATED MATERIAL AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING. COVER FOR BOTH TOP AND SIDES OF PIPE SHALL BE A MINIMUM OF 2 INCHES OF ROCK-FREE SOIL, SAND, OR OTHER APPROVED MATERIAL
- IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCHING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL. IT SHALL BE REMOVED FROM THE SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN PURCHASE AND AND FURNISH SUITABLE BACKFILL MATERIAL CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS FREE OF DEBRIS.
- BACKFLOW PREVENTER INSTALLATION: CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER SOURCES AT LOCATION SHOWN ON PLANS AND AS APPROVED BY THE OWNER, AND SHALL MAKE ANY MINOR CHANGES IN LOCATION AS MAY BE NECESSARY DUE TO ACTUAL SITE CONDITIONS. BACKFLOW PREVENTER HEIGHT SHALL BE AS PER LOCAL CODES AND MANUFACTURER'S INSTRUCTIONS. INSTALL A BRASS BALL VALVE IMMEDIATELY UPSTREAM OF THE BACKFLOW DEVICE TO SERVE AS AN ISOLATION VALVE TO EVERY EXTENT POSSIBLE, INSTALL BACKFLOW PREVENTER IN A LOCATION SCREENED FROM PUBLIC VIEW (SUCH AS BEHIND A SHRUB ROW).
- 1. PIPE SIZE SHALL CONFORM TO THE STANDARD OF CARE FOR PIPE SIZES. THE IRRIGATION CONTRACTOR SHALL ENSURE THAT THE FLOW THROUGH ANY PIPE DOES NOT EXCEED 5 FPS.
- MAINLINE PIPE AND WIRES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18 INCHES. LATERAL PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 12 ASSEMBLE ALL THREADED FITTINGS WITH TEFLON TAPE, WHICH SHALL BE APPLIED
- TO MALE THREADS ONLY. 4. ALL SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH APPROVED SOLVENT-WELD PRIMER AND GLUE
- PIPE SHALL BE INSTALLED WITH A MINIMUM OF 4" HORIZONTAL CLEARANCE FROM ANY OTHER PIPE AND 2" VERTICAL CLEARANCE FROM ANY PIPES THAT CROSS OVER OR UNDER M. VALVES
- VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE. WITH CI FAN PFA GRAVEL LOCATED BELOW THE VALVE. LOCATE BOXES WITHIN 12 TO 24" OF SIDEWALKS OR LANDSCAPE EDGES, WITH TOPS OF BOXES 1" ABOVE FINISH GRADE IN TURF, AND 3" ABOVE FINISH GRADE IN SHRUB AREAS (TO AVOID BEING COVERED BY MULCH).
- EACH VALVE BOX COVER SHALL BE HEAT-BRANDED WITH THE CONTROLLER STATION NUMBER.
- N. DRIP IRRIGATION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS DRIP LINES IN AREAS WITH ORGANIC MULCH, SUCH AS SHREDDED WOOD, SHALL BE BURIED, NO MORE THAN 2" BELOW FINISH GRADE.
- DRIP LINES IN AREAS WITH ROCK MULCH SHALL BE MOUNTED ON GRADE AND BENEATH LANDSCAPE FABRIC, AND SECURED IN PLACE WITH WIRE STAPLES AT A MAXIMUM OF 48" ON CENTER O. AUTOMATIC CONTROLLER:
- INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE

MANUFACTURER.

THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 V.A.C. ELECTRICAL POWER TO CONTROLLER AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY NO WIRE SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3M'S "DBY-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH

WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS. AND

- SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION. PROVIDE #10 COMMON WIRE, DIRECT BURIAL, TO ALL REMOTE CONTROL VALVES. CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING 3M'S "DBY-DIRECT BURIAL
- SPLICE KIT" (UNLESS OTHERWISE SPECIFIED). PROVIDE THREE ADDITIONAL IRRIGATION CONTROL WIRES ALONG EACH BRANCH OF MAINLINE FOR FUTURE EXPANSION. STUB ADDITIONAL CONTROL WIRES INTO
- BACK OF IRRIGATION CONTROLLERS. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING - SEE SLEEVING NOTES.
- P. INSTALL THE RAIN SENSOR IN THE VICINITY OF THE CONTROLLER, AND COORDINATE LOCATION WITH THE OWNER. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THE RAIN SENSOR IS PLACED IN A LOCATION WHERE IT CAN RECEIVE ADEQUATE RAINFALL WITHOUT OBSTRUCTIONS. IF IT IS PLACED IN AN INADEQUATE LOCATION, THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO RELOCATE
- IT AT NO ADDITIONAL COST TO THE OWNER. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- PERFORM COVERAGE TESTS AFTER IRRIGATION SYSTEM IS COMPLETED, BUT PRIOR TO ANY PLANTING AND PERFORM TESTING IN THE PRESENCE OF THE WNER'S REPRESENTATIVE
- 2. TEST SYSTEM TO ASSURE THAT ALL PLANTING AREAS ARE WATERED COMPLETELY AND UNIFORMLY. MAKE ALL NECESSARY ADJUSTMENTS TO PROVIDE COMPLETE COVERAGE.
- INCLUDING REALIGNMENT OF HEADS AND REPLACEMENT OF NOZZLES. DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT ORDERLY CONDITION
- 2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. INSPECTION AND ACCEPTANCE 1. UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE IRRIGATION CONTRACTOR SHALL THEN REQUEST AN INSPECTION
- BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY. WHEN THE INSPECTED WORK DOES NOT COMPLY WITH THESE REQUIREMENTS, THE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE
- OWNER'S SATISFACTION WITHIN 24 HOURS THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE
- MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE. CONTROLLER CHART: THE IRRIGATION CONTRACTOR SHALL PROVIDE A 11" X 17" COLOR-CODED, LAMINATED COPY OF THE IRRIGATION LAYOUT AND PLACE IT IN THE
- CONTROLLER'S COVER. THE CONTROLLER CHART SHALL CLEARLY DELINEATE THE AREAS COVERED BY EACH VALVE, USING A SEPARATE COLOR FOR EACH ZONE. TURN THE FOLLOWING ITEMS IN TO THE OWNER UPON COMPLETION OF THE
- a. QUICK COUPLER KEYS (2) CONTROLLER MANUAL (1
- CONTROLLER KEYS (2) A MINIMUM OF (2) COPIES OF RECORD DRAWINGS. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
- U. REFER TO THE PLANTING SPECIFICATIONS FOR ADDITIONAL CONDITIONS OF FINAL ACCEPTANCE AND START OF THE MAINTENANCE PERIOD, AS MAY BE APPROPRIATE
- V. WARRANTY THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE CONTRACTOR SHALL
- ALSO REPAIR ANY SETTLEMENT OF THE IRRIGATION TRENCHES. BY THE END OF THE WARRANTY PERIOD, ANY IRRIGATION PART THAT IS EITHER NON-OPERATIONAL OR THAT IS OPERATING BELOW STANDARDS AS DETERMINED BY THE OWNER. SHALL BE REMOVED FROM THE SITE AND SHALL BE REPLACED REPLACEMENTS SHALL BE OF THE SAME KIND AS SPECIFIED IN THE IRRIGATION
- LEGEND. AND SHALL BE INSTALLED AS ORIGINALLY SPECIFIED. IRRIGATION PARTS DAMAGED OR IMPAIRED DUE TO ACTS OF GOD. VANDALISM. AND/OR THE OWNER'S IMPROPER MAINTENANCE SHALL NOT BE COVERED BY THIS WARRANTY
- SHOULD THE PERMITTING JURISDICTION REQUIRE AN IRRIGATION AUDIT, THE IRRIGATION CONTRACTOR SHALL RETAIN THE SERVICES OF A THIRD-PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR, AT NO ADDITIONAL COST TO THE OWNER.

PLANTING SPECIFICATIONS

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A
- SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION
- B. SCOPE OF WORK WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND
- COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE ANDSCAPE PLANS, NOTES, AND DETAILS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS. CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION
 - INSTALLATION OF MATERIALS THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY

FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW. B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
 - FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMACTIC CONDITIONS
- ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS) TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B) UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE
- ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTBLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE ANY PLANTS APPEARING TO BE UNHEALTHY EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT
- ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREÉS UP TO AND INCLUDING FOUR INCHES IN CALIPER. AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER
- FROM THE TOP OF THE ROOT BALL. WHERE CALIPER MEASUREMENTS ARE USED, THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE

MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED

- REJECTED. C. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN ½ INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- D. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8: MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT: 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE: SOLUBLE SALT CONTENT OF 5 TO 10 DECISIEMENS/M: NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN PHOSPHORUS POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE F. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS
- AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS. TREE STAKING AND GUYING STAKES: 6' LONG GREEN METAL T-POSTS.
- GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER. STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

- A. SOIL PREPARATION BEFORE STARTING WORK. THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- SOIL TESTING: a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS. THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING. b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE
- RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
- THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE
- SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE
- a. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU.
- iii. "CLAY BUSTER" OR EQUAL USE MANUFACTURER'S RECOMMENDED RATE IRON SULPHATE - 2 LBS. PER CU. YD. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE"
- REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON
- TURE AREA AND PLANTING BED PREPARATION CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS. AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL
- EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL

THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE

AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY e. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND

ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH

ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT. AND RECEIVE APPROVAL IN WRITING FOR SUCH
- SUBMITTALS BEFORE WORK COMMENCES SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE
- APPROPRIATE) SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY
- PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE. TRENCHING NEAR EXISTING TREES a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE
- AVERAGE GRADE AT THE TRUNK). b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
- DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS. d ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND

c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN

TREE PLANTING TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.

PAINTS

- SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
- FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL. INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE
- ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
- TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES) REQUIRE STAKES TO KEEP TREES UPRIGHT. SHOULD STAKING BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TRFF OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
- TWO STAKES PER TREE a. 1"-2" TREES 2-1/2"-4" TRFFS THREE STAKES PER TREE TREES OVER 4" CALIPER GUY AS NEEDED
- THREE STAKES PER TREE MINIMUM, QUANTITY MUI TI-TRUNK TREES AND POSITIONS AS NEEDED TO STABILIZE THE TREE UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH MULCH (TYPE AND DEPTH PER PLANS).
- SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS)
- OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE
- THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE. G. INSPECTION AND ACCEPTANCE UPON COMPLETION OF THE WORK THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY

WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT

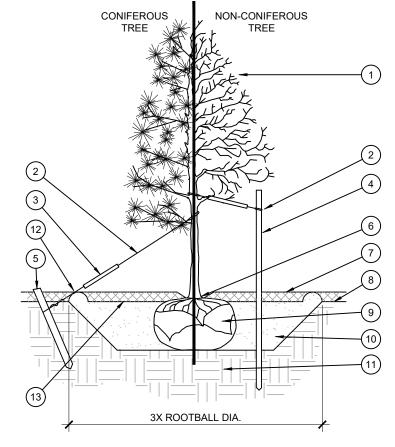
- DOCUMENTS. THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- LANDSCAPE MAINTENANCE THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO
- OF THE FOLLOWING CONDITIONS MUST OCCUR: THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE. b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

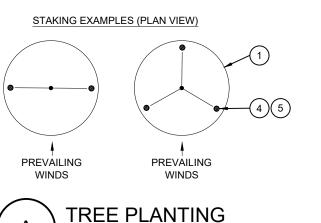
TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL

MAXIMIZE WATER CONSERVATION.

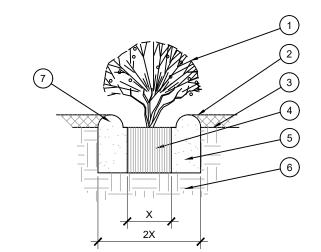
- 1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS PERENNIALS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE. AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD
- OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT





(1) TREE CANOPY. (2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES. (3) 24" X 3/4" P.V.C. MARKERS OVER WIRES. (4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO (5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL (6) TRUNK FLARE. (7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK. (8) FINISH GRADE. (9) ROOT BALL. 10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. (11) UNDISTURBED NATIVE SOIL. (12) 4" HIGH EARTHEN WATERING BASIN. (13) FINISH GRADE. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE



1) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.) MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

ROOT FLARE IS 2"-4" ABOVE FINISH GRADE

FOR B&B TREES CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE

BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES.

TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH.

FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR

BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM

PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF

BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.

REMOVE ALL NURSERY STAKES AFTER PLANTING.

- 3) FINISH GRADE (4) ROOT BALL.
- (5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS

(7) 3" HIGH EARTHEN WATERING BASIN

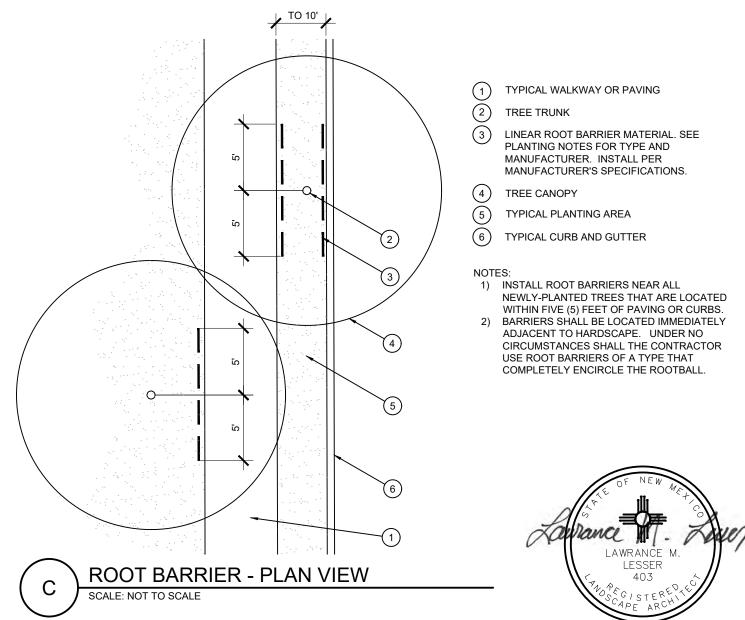
(6) UNDISTURBED NATIVE SOIL

PARKWAY

OR ISLAND



OPEN LANDSCAPE

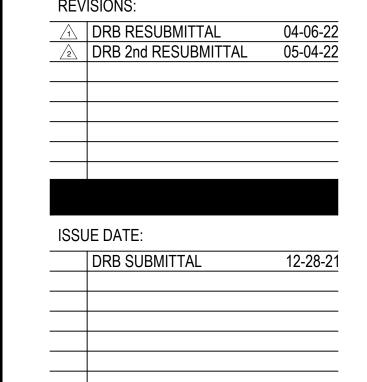




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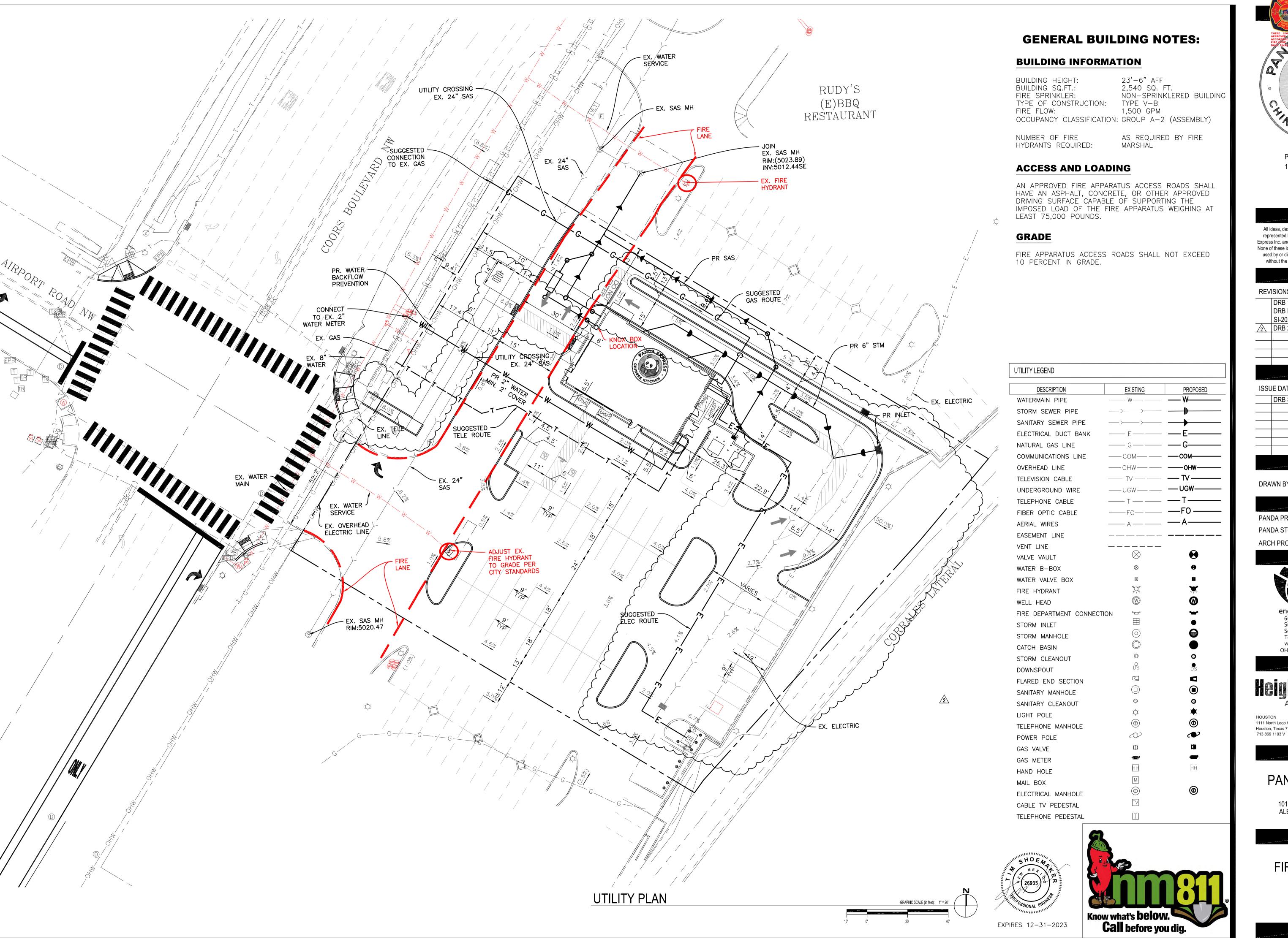
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4/25/2022

PLANTING DETAILS AND **SPECIFICATIONS**

-2022

TRUE WARM & WELCOME 2500 R1





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REVISIONS:

	DRB 1st RESUBMITTAL	04-01-21
	DRB Project No. PR-2022-0	06547
	SI-2022-00216-SITE PLAN	
2\	DRB 2nd RESUBMITTAL	05-04-22

ŝί	JE DATE:	
	DRB SUBMITTAL	12-28-21
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DRAWN BY:

PANDA PROJECT #: S8-22-D8582

PANDA STORE #: D8582 ARCH PROJECT #: D8582



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www.rtmec.com OH Certificate of Authority: 05046

ARCHITECTURE • DESIGN

972 490 7292 V

SUBMITTAL

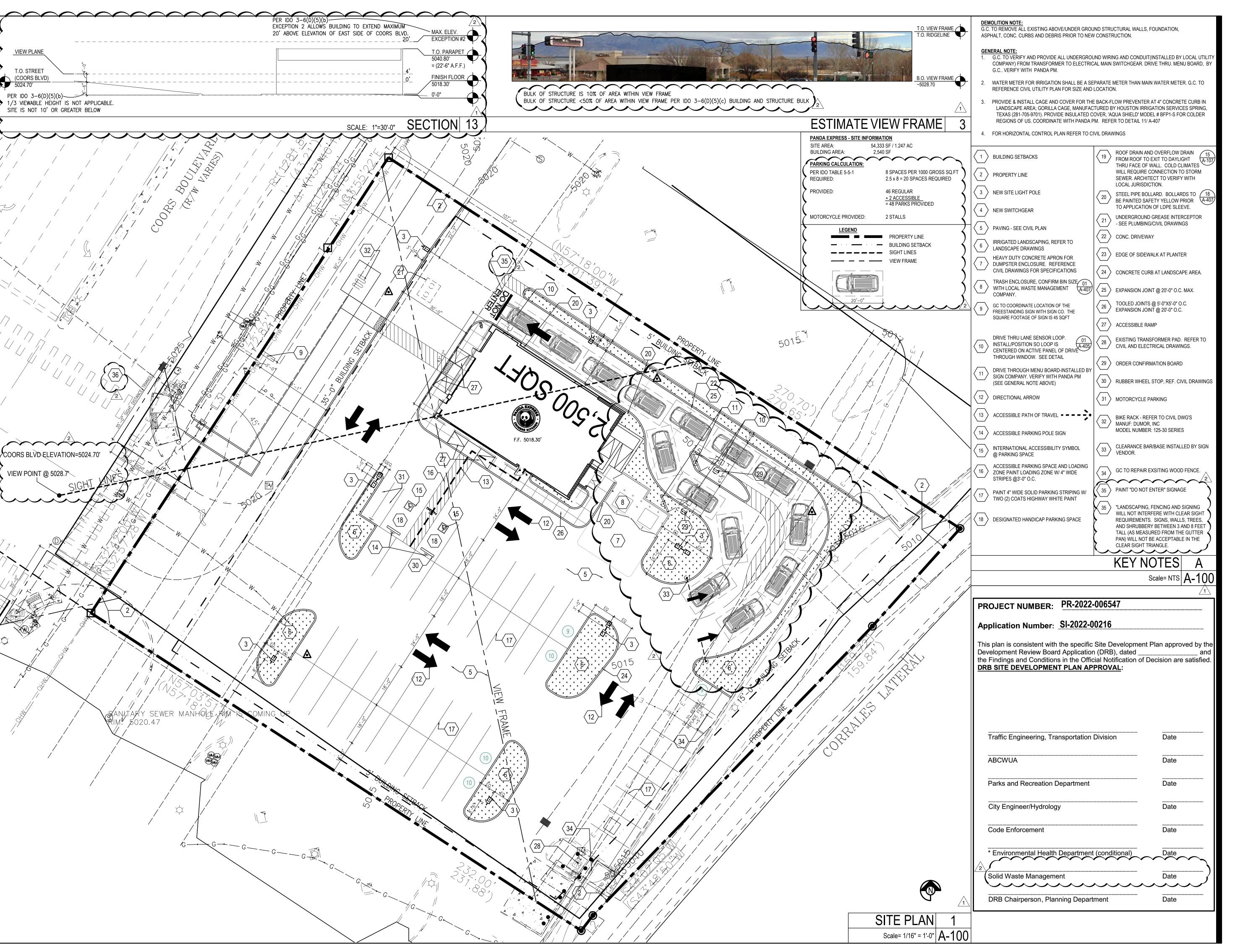
1111 North Loop West, Suite 800 5717 Legacy Drive, Suite 240 Houston, Texas 77008

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10126 COORS BOULEVARD ALBUQUERQUE, NM 87114

FIRE ONE PLAN

F1





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REVISIONS:

DRB RESUBMITTAL 04-06-2

DRB 2nd RESUBMITTAL 05-04-2

ISSUE DATE:

DRB SUBMITTAL 12-28-2

DRAWN BY: RM/KS

PANDA PROJECT:

PANDA PROJECT #: S8-22-D8582
PANDA STORE #: D8582

ARCH PROJECT #: 21084

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NO. 005200

REGISTERED ARCHIT

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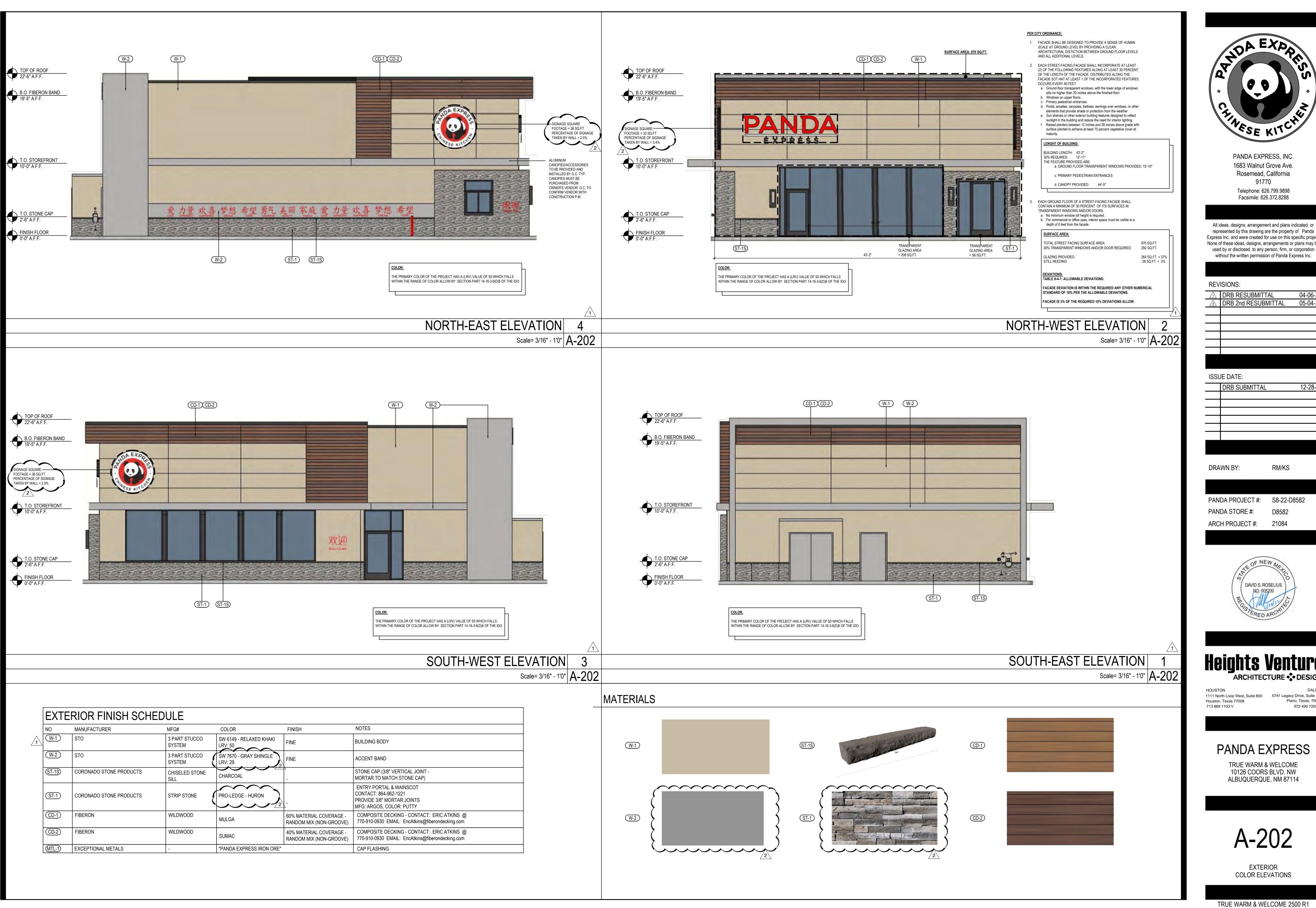
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A-100

SITE PLAN ARCHITECTURAL

TRUE WARM & WELCOME 2500 R1





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REVISIONS: N DRB RESUBMITTAL DRB 2nd RESUBMITTAL 05-04-22

ISSUE DATE: DRB SUBMITTAL

RM/KS

PANDA PROJECT #: S8-22-D8582 PANDA STORE #: D8582

ARCH PROJECT #: 21084



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EXTERIOR COLOR ELEVATIONS

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