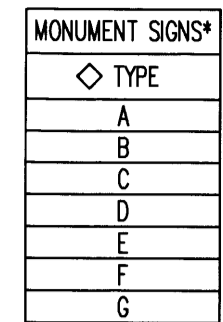


| Building #   | Use              | Building SF    | Parking Calculations |            |              |              |              |           |           |            |            |           | Plaza Requirements |              |                   |       |
|--------------|------------------|----------------|----------------------|------------|--------------|--------------|--------------|-----------|-----------|------------|------------|-----------|--------------------|--------------|-------------------|-------|
|              |                  |                | Required             | Transit    | Required     | Required     | Provided     | Disabled  | Disabled  | Motorcycle | Motorcycle | Bike Pkg  | Bike Pkg           | Plaza SF     | Plaza SF          |       |
|              |                  |                | Parking              | Discount   | Parking      | Parking      | Parking      | Required  | Provided  | Required   | Provided   | Required  | Provided           | Required     | Shown             |       |
| 1            | Retail           | 6,500          | 33                   | 5          | 28           | 56           | 72           | 2         | 4         | 3          | 4          | 2         | 5                  | 130          | 2,243             |       |
| 2            | Retail           | 6,500          | 33                   | 5          | 28           | 56           | 72           | 2         | 4         | 3          | 4          | 2         | 5                  | 130          | 5,422             |       |
| 3            | Retail           | 6,500          | 33                   | 5          | 28           | 56           | 72           | 2         | 4         | 3          | 4          | 2         | 5                  | 130          | 1,489             |       |
| 4            | Retail           | 5,200          | 26                   | 4          | 22           | 50           | 70           | 1         | 2         | 4          | 2          | 2         | 1                  | 5            | 234               | 2,001 |
| 5            | Retail           | 6,500          | 33                   | 5          | 28           | 56           | 72           | 2         | 4         | 3          | 4          | 2         | 5                  | 130          | 800               | 3,773 |
| 6            | Health Club      | 40,000         | 267                  | 41         | 226          | 226          | 347          | 8         | 8         | 5          | 6          | 14        | 15                 | 800          | 3,773             |       |
| 7A           | Retail           | 30,000         | 135                  | 21         | 114          |              |              | 8         |           |            |            | 7         |                    |              |                   |       |
| 7B           | Retail           | 20,000         | 95                   | 15         | 80           |              |              | 4         | 13        | 5          | 6          | 5         | 15                 |              |                   |       |
| 7C1          | Retail           | 4,800          | 24                   | 4          | 20           |              |              | 1         |           |            |            | 2         |                    |              |                   |       |
| 7C2          | Retail           | 4,800          | 24                   | 4          | 20           |              |              | 1         |           |            |            | 2         |                    |              |                   |       |
| 7D           | Retail           | 18,000         | 87                   | 14         | 73           |              |              | 4         | 18        | 6          | 6          | 5         | 25                 |              |                   |       |
| 7E           | Retail           | 97,942         | 382                  | 58         | 324          |              |              | 12        |           |            |            | 20        |                    |              |                   |       |
| 8            | Home Improvement | 125,601        | 474                  | 72         | 402          |              |              | 12        | 12        | 6          | 6          | 24        | 25                 | 2,513        | Share with Bldg 6 |       |
| <b>Total</b> |                  | <b>372,343</b> | <b>1,646</b>         | <b>253</b> | <b>1,393</b> | <b>1,393</b> | <b>1,648</b> | <b>59</b> | <b>61</b> | <b>29</b>  | <b>32</b>  | <b>86</b> | <b>95</b>          | <b>7,448</b> | <b>22,838</b>     |       |

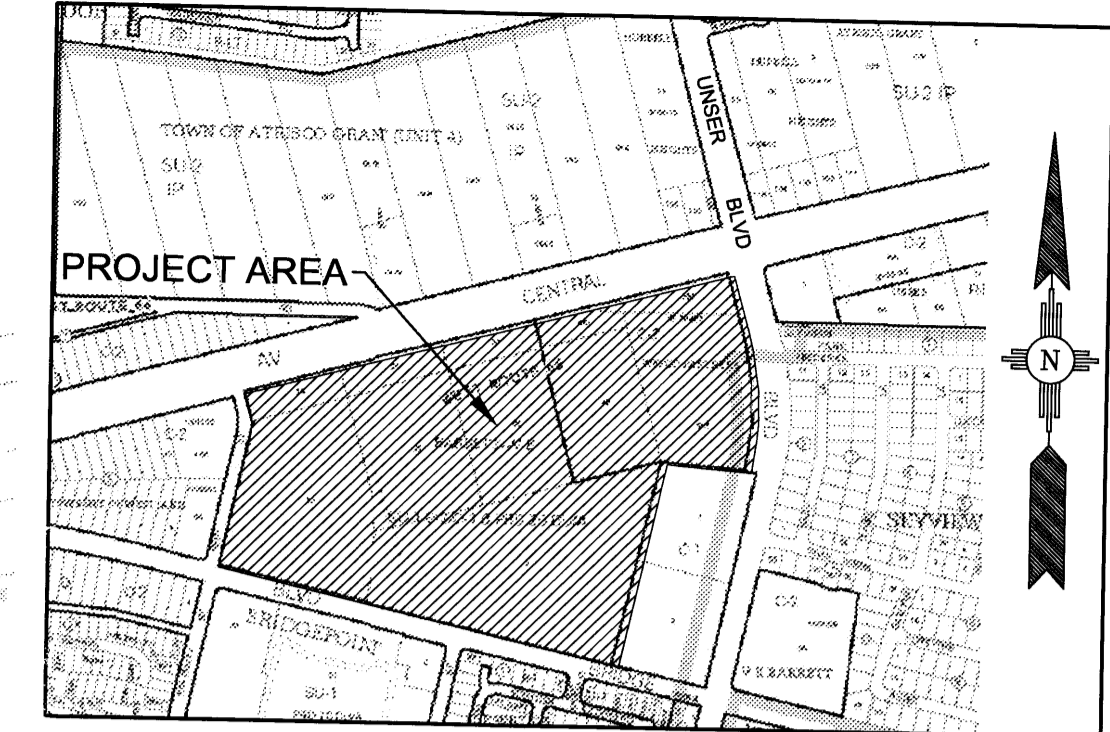
**Parking Calculation Notes:**

- Parking provided includes disabled parking spaces.
- Required parking for Building 6 (Health Club/Gym) calculated using 1 space per 150 SF. All other buildings follow section 14-16-3-1-A-27 of the City of Albuquerque zoning code.
- Transit discount of 15% taken due to the fact that the site is adjacent to a regular Albuquerque Transit system route and two transit rider shelters will be built with this project.
- First column of required parking is without transit discount.
- Provided parking is divided into logical grouping of buildings to allow users to park once and visit multiple retailers.



\*ALL ON-SITE SIGNAGE HAS BEEN SUBMITTED TO EPC (OBEP-4063) AND WILL RETURN SEPARATELY TO DRB.

**TRANSIT DEPARTMENT NOTE:**  
 1. THE SW MESA PARK & RIDE IS LOCATED NEAR THE NW CORNER OF CENTRAL & UNSER.  
 2. AS OF 3/15/08, BUS ROUTES 766, 162, 66, AND 54 HAVE A STOP NEAR OR ADJACENT TO THE SITE.  
 3. PARTICIPATION IN TRANSIT DEMAND MANAGEMENT PROGRAM IS ENCOURAGED FOR USERS OF THE SITE.



VICINITY MAP  
 ZONE ATLAS PAGES K-09-Z & K-10-Z

**SHEET INDEX**

|  |                                 |
|--|---------------------------------|
| C-001 SITE PLAN FOR BUILDING PERMIT      | A-107B ELEVATIONS BUILDING 7    |
| C-002 SITE PLAN DETAILS                  | A-107C ELEVATIONS BUILDING 7    |
| LS-101 LANDSCAPE PLAN                    | A-107D ELEVATIONS BUILDING 7    |
| LS-102 LANDSCAPE DETAILS                 | A-107E-1 ELEVATIONS BUILDING 7  |
| C-101 CONCEPTUAL GRADING & DRAINAGE PLAN | A-107E-2 ELEVATIONS BUILDING 7  |
| C-201 CONCEPTUAL UTILITY PLAN            | A-108A ELEVATIONS BUILDING 8    |
| A-101 ELEVATIONS BUILDING 1              | A-108B ELEVATIONS BUILDING 8    |
| A-102 ELEVATIONS BUILDING 2              | A-108C ELEVATIONS BUILDING 8    |
| A-103 ELEVATIONS BUILDING 3              |                                 |
| A-104 ELEVATIONS BUILDING 4              | C-003 SITE PLAN FOR SUBDIVISION |
| A-105 ELEVATIONS BUILDING 5              | C-101 DESIGN STANDARDS          |
| A-106A ELEVATIONS BUILDING 6             | C-102 DESIGN STANDARDS          |
| A-106B ELEVATIONS BUILDING 6             | C-103 DESIGN STANDARDS          |
| A-107A ELEVATIONS BUILDING 7             |                                 |

**KEYED NOTES**

- 6" CONCRETE CURB.
- COA STANDARD CURB & GUTTER.
- 6" TEMPORARY ASPHALT CURB.
- 14" WIDE CONCRETE SIDEWALK.
- 6" WIDE CONCRETE SIDEWALK.
- 8" WIDE CONCRETE SIDEWALK.
- 10" WIDE CONCRETE SIDEWALK. SLOPE TO LANDSCAPE AREA IF POSSIBLE.
- 6"x8" LANDSCAPE PLANTER.
- BIKE RACK PER 3/C-002.
- LIGHT POLE PER 5/C-002.
- 6" HIGH SCREEN WALL PER 9/C-002.
- HANDICAP PARKING SPACE PER 4/C-002.
- TRANSIT STOP WITH SHELTER PER COA STD DWS 2535. PEDESTRIAN AMENITIES SHALL BE PER SECTION M OF THE SITE PLAN FOR SUBDIVISION.
- COLORLED, TEXTURED, CONCRETE CROSSWALK.
- LOADING DOCK.
- END ISLAND PLANTER PER 1/C-002.
- 10' WIDE CONTRACTOR PARKING SPACES. TOTAL OF 24.
- TRASH COMPACTOR.
- NEW DRIVEWAY, FULL ACCESS, NEW SIGNAL RECOMMENDED BY TIA.
- NEW RIGHT IN/RIGHT OUT DRIVEWAY.
- NEW FULL ACCESS DRIVEWAY.
- NEW RIGHT IN, RIGHT OUT, LEFT IN DRIVEWAY.
- CART CORRAL, WELDED METAL PIPE, PAINTED TO MATCH BUILDING.
- MOTORCYCLE PARKING WITH SIGN PER 8/C-002.
- WALL MOUNTED LIGHT.
- PROPOSED DECEL LANE/TURN LANE TO BE COMPLETED WITH PUBLIC INFRASTRUCTURE PLANS.
- APPLIANCE AND PALLET RECYCLING STORAGE UNIT.
- CROSS ACCESS EASEMENT TO BE CREATED BY PLATTING ACTION WITH THIS PROJECT.
- COLUMN, SEE ARCHITECTURAL ELEVATION.
- 8' HIGH SCREEN WALL BEHIND LOADING DOCKS PER 9/C-002.
- PROPOSED FIRE HYDRANT LOCATION.
- EXISTING BUS STOP LOCATION.
- FUTURE PEDESTRIAN CONNECTION TO ADJACENT PAD SITES.
- ADA ACCESSIBLE RAMP AND STEPS FOR PEDESTRIAN CONNECTION.

PROJECT NUMBER: \_\_\_\_\_  
 Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

|  |            |
|--|------------|
| Traffic Engineering, Transportation Division | Date _____ |
| Water Utility Department                     | Date _____ |
| Parks and Recreation Department              | Date _____ |
| City Engineer                                | Date _____ |
| Solid Waste Management                       | Date _____ |
| DRB Chairperson, Planning Department         | Date _____ |

**Unser Crossing  
 DRB Submittal  
 Site Plan for Building Permit  
 Central Avenue and Unser Boulevard  
 Albuquerque, New Mexico 87121**

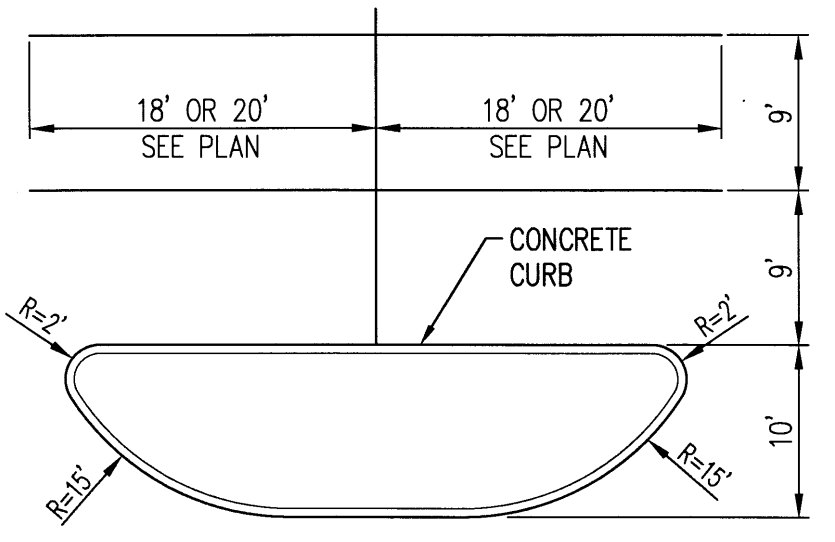
Job Number \_\_\_\_\_  
 Drawn By BO  
 Checked RM/BJJ  
 Issue Date June 17, 2008

**SITE PLAN FOR BUILDING PERMIT**

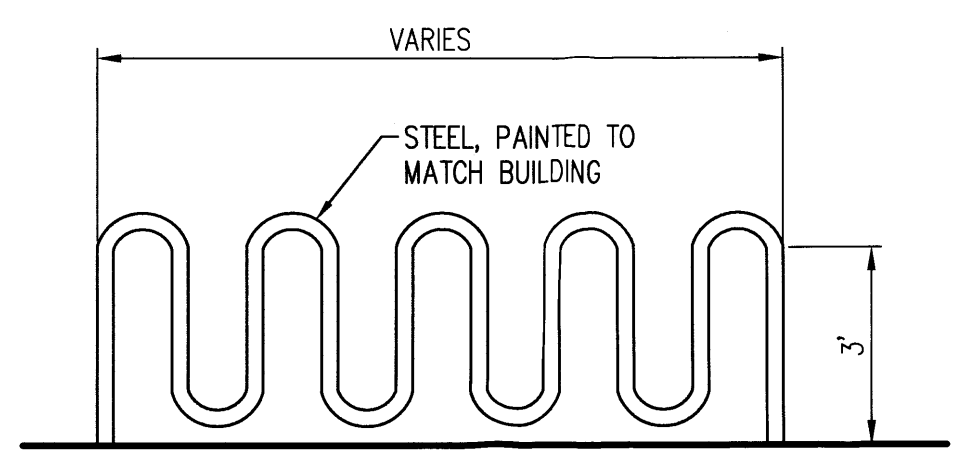
Scale \_\_\_\_\_

**C-001**





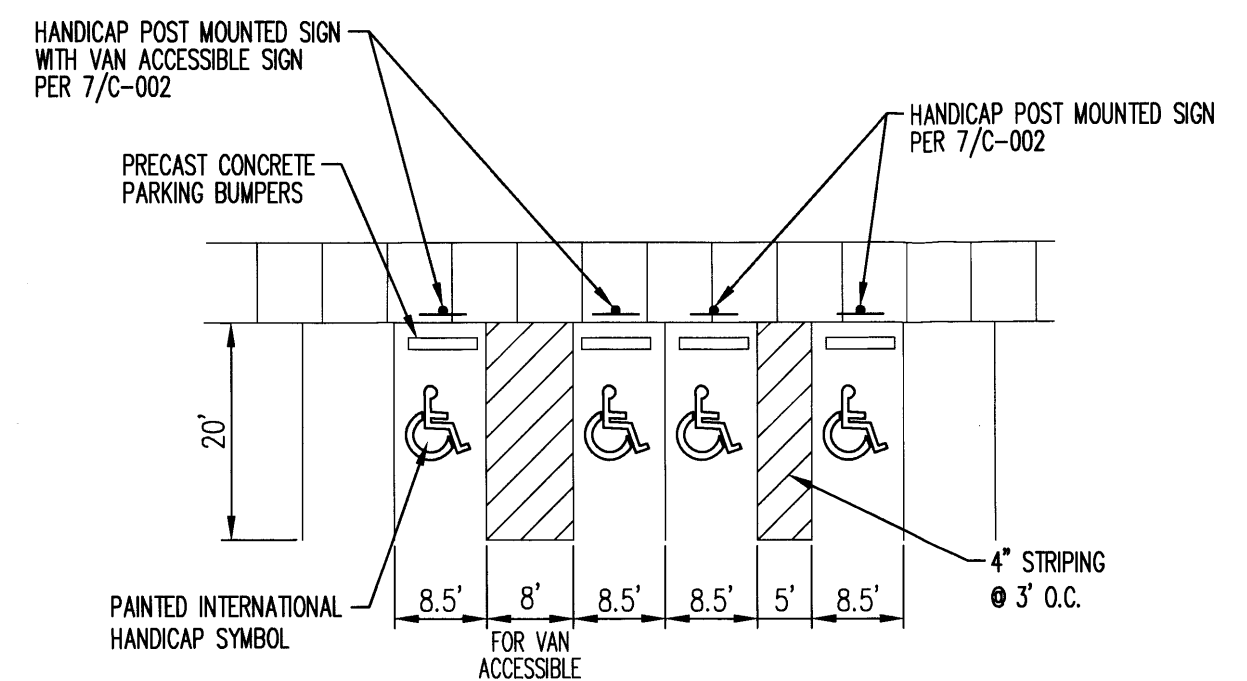
1 TYPICAL END PLANTER ISLAND & PARKING LOT STRIPING  
NTS



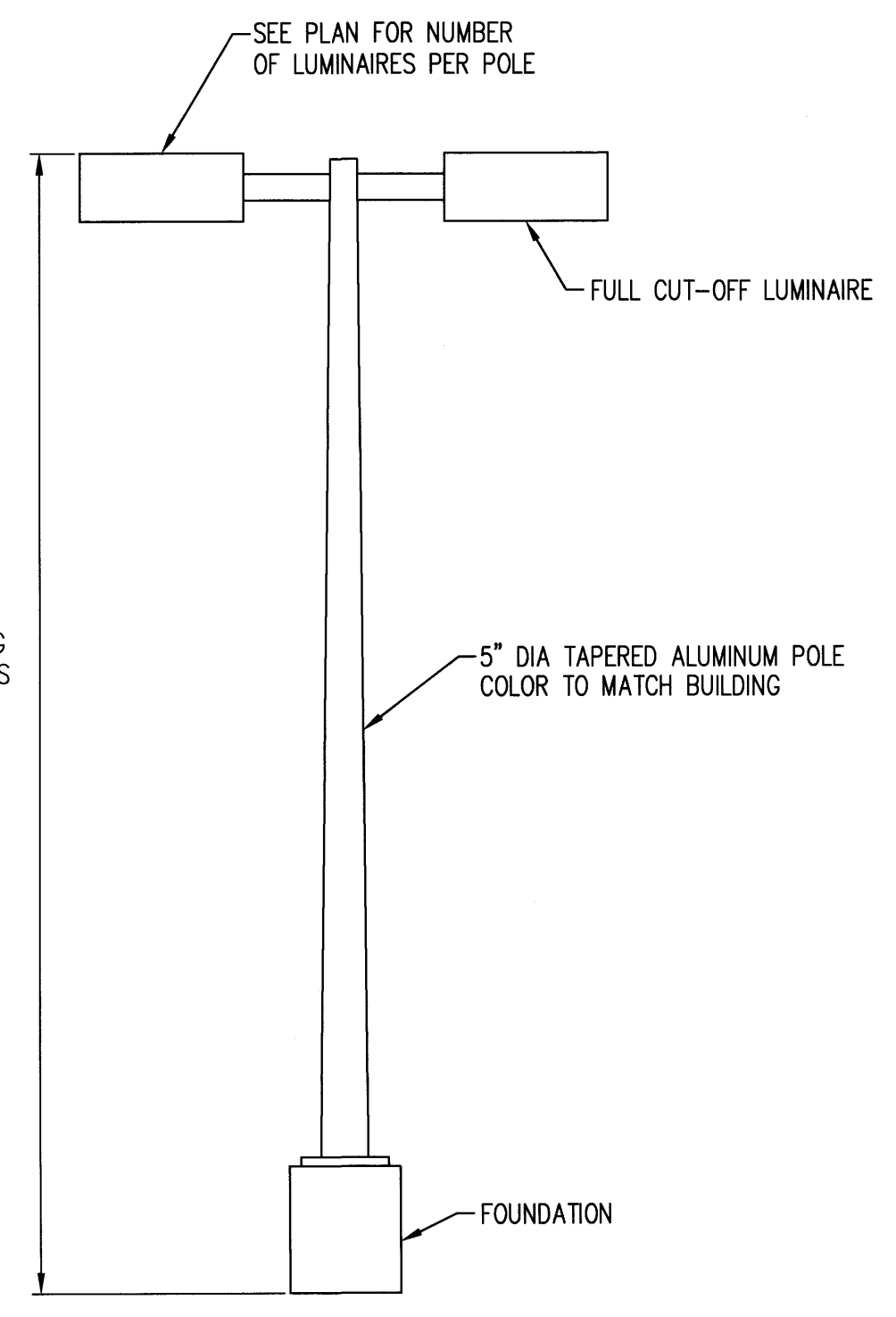
2 SINGLE & DOUBLE REFUSE ENCLOSURE  
NTS



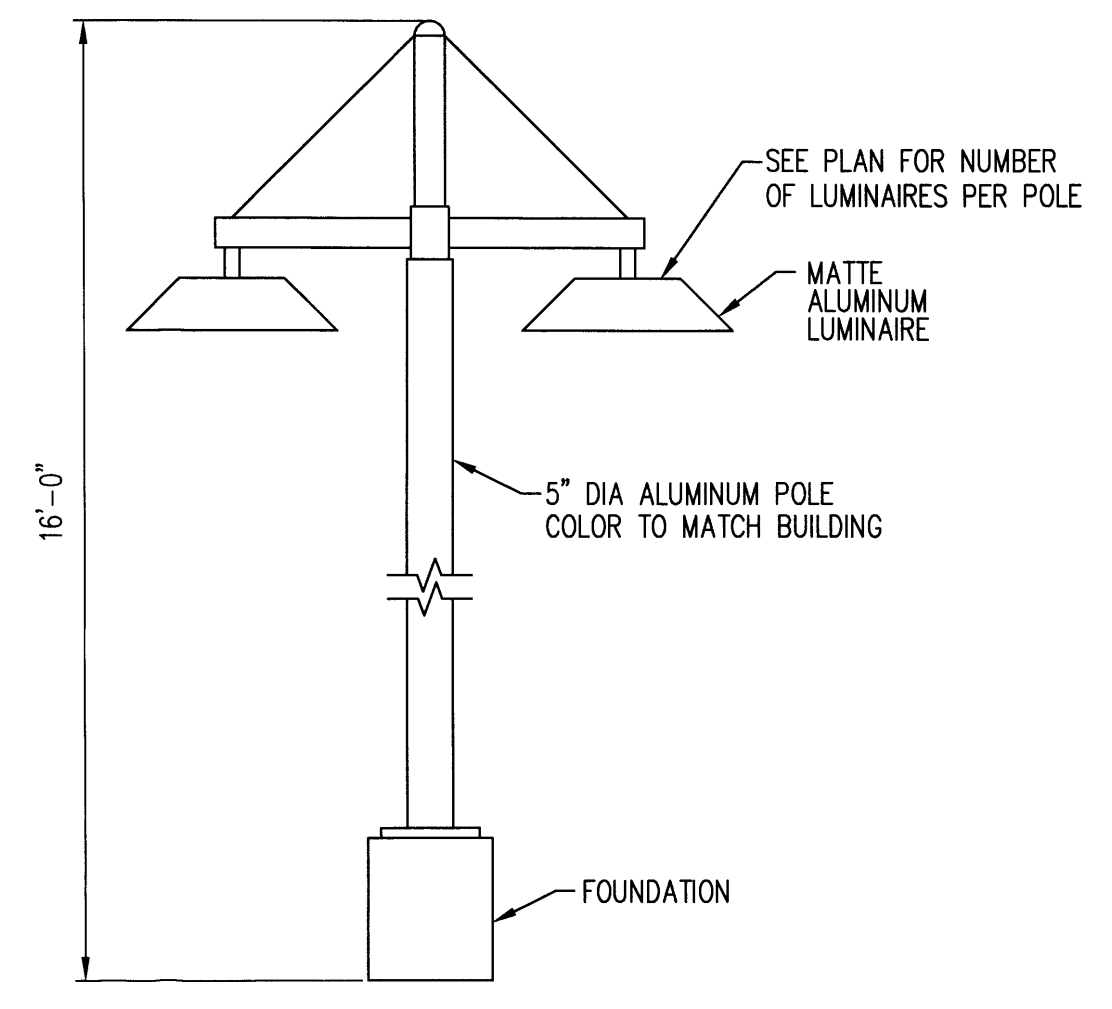
3 BIKE RACK  
NTS



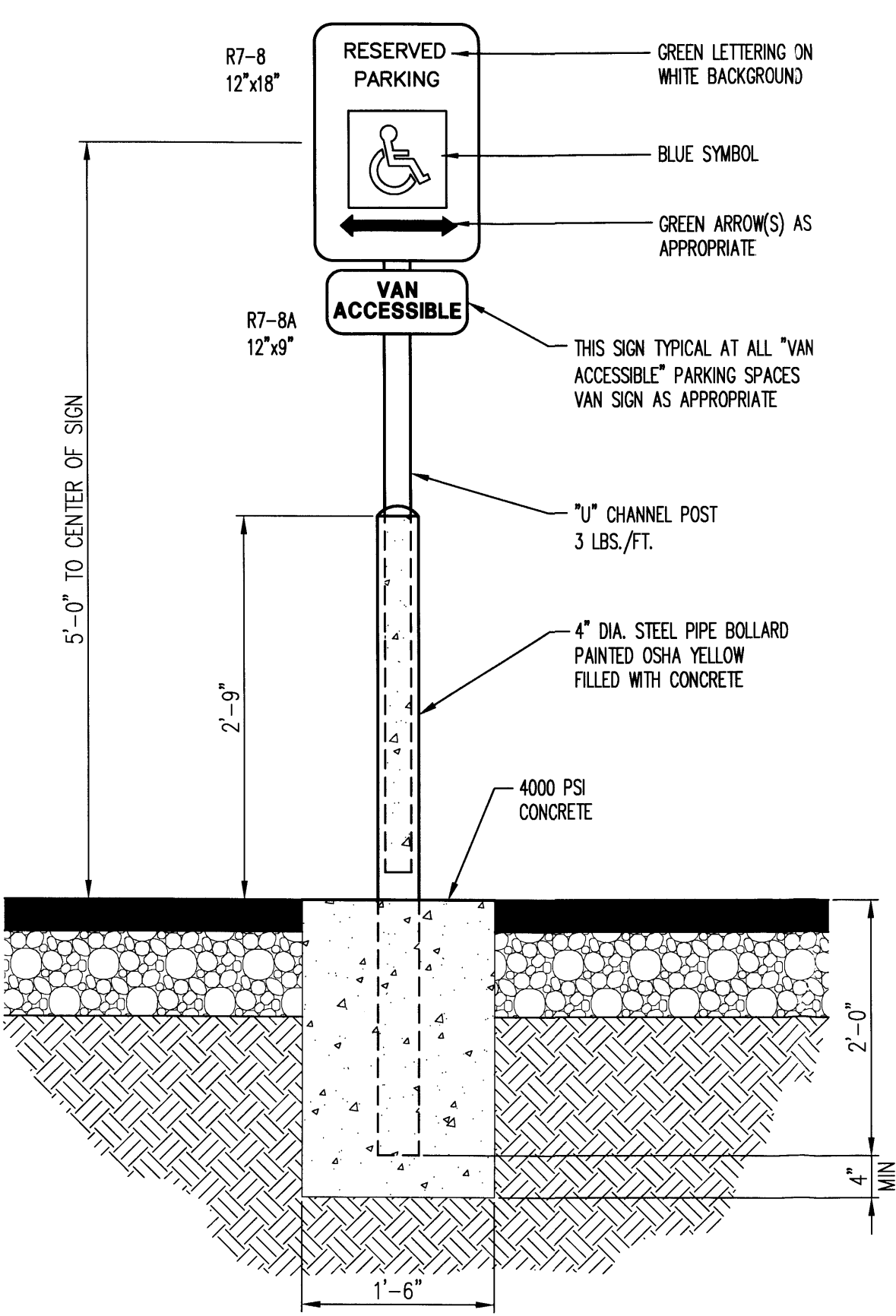
4 TYPICAL HANDICAP PARKING DETAIL  
NTS



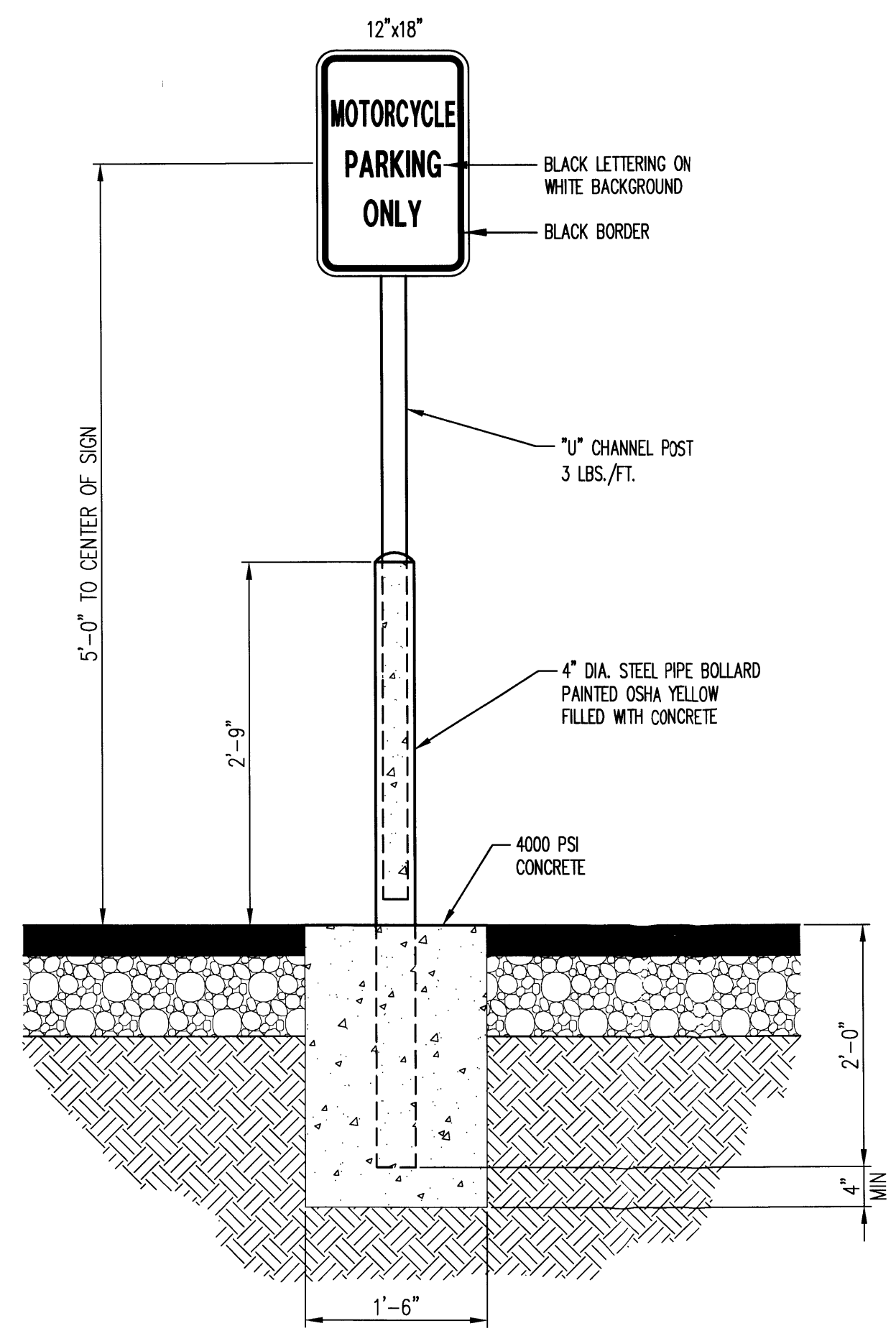
5 TYPICAL POLE MOUNTED LIGHT  
NTS



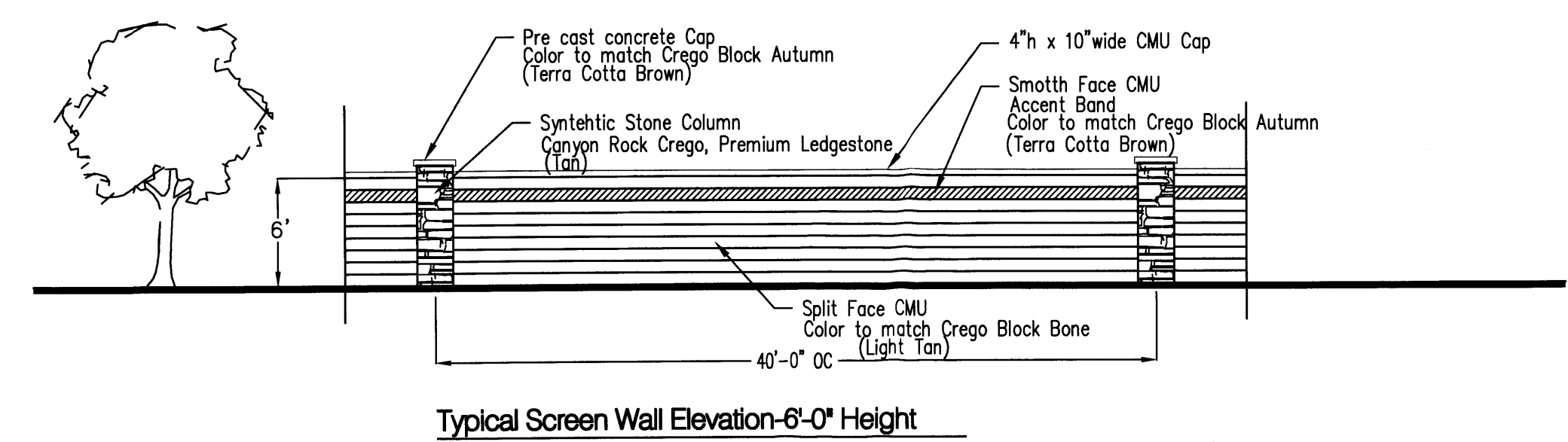
6 DECORATIVE POLE MOUNTED LIGHT  
NTS



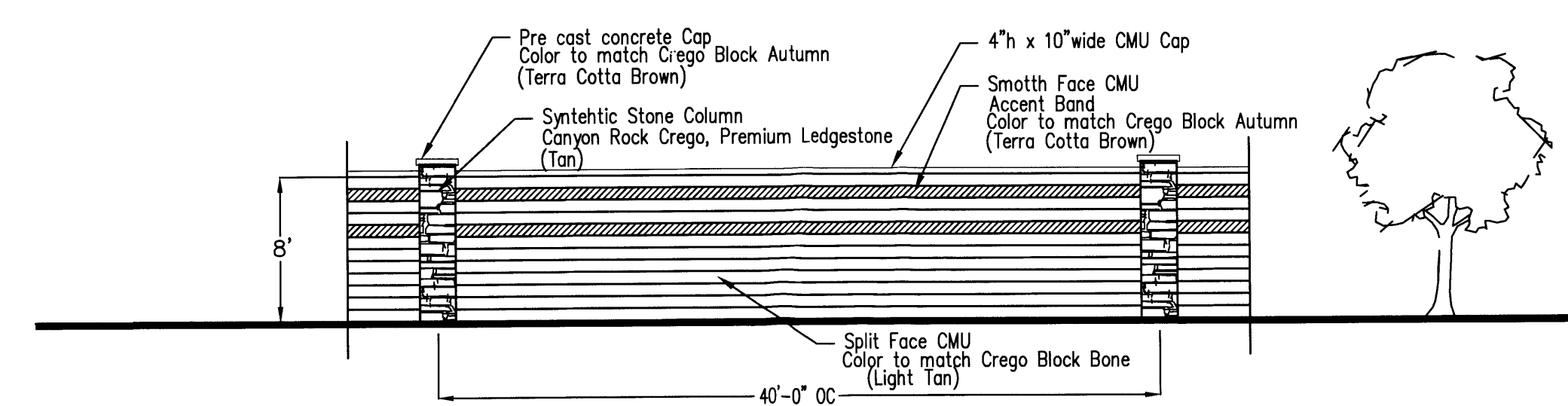
7 HANDICAP PARKING SIGN MOUNTING DETAIL  
NTS



8 MOTORCYCLE PARKING SIGN  
NTS



Typical Screen Wall Elevation-6'-0" Height



Screen Wall Elevation at Loading Areas-8'-0" Height

9 SCREEN WALL ELEVATIONS  
NTS

NOTE: REFUSE ENCLOSURE SCREEN WALL DOES NOT INCLUDE PILASTERS.

Unser Crossing  
 DRB Submittal  
 Site Plan for Building Permit  
 Central Avenue and Unser Boulevard  
 Albuquerque, New Mexico 87121

|            |               |
|------------|---------------|
| Job Number |               |
| Drawn By   | BO            |
| Checked    | RM/BJS        |
| Issue Date | June 17, 2008 |

**SITE PLAN  
DETAIL SHEET**

Scale \_\_\_\_\_  
**C-002**  
00 OF 00





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 (505) 830-6096  
 danny@mitchellassociatesllc.com



**Unser Crossing**  
**Site Plan for Building Permit**  
 Central Avenue and Unser Boulevard  
 Albuquerque, New Mexico 87121



**LANDSCAPE LEGEND**

| QTY | SIZE    | COMMON / BOTANICAL   | AV. SPREAD | H2O USE |
|-----|---------|--|------------|---------|
| 131 | 2" cal  | Ash<br><i>Fraxinus pennsylvanica</i><br>"Patmore", "Summit", or "Marshall" | 35-40'     | M+      |
| 127 | 2" cal  | Honey Locust<br><i>Gleditsia triacanthos</i>                               | 40-45'     | M       |
| 6   | 2" cal  | Cottonwood, Rio Grande<br><i>Populus wislizeni</i>                         | 50-60'     | M       |
| 54  | 2" cal  | Chinese Pistache<br><i>Pistacia chinensis</i>                              | 40-45'     | M       |
| 26  | 15 Gal. | Japanese Pagoda<br><i>Sophora japonica</i>                                 | 35'        | M       |
| 213 | 15 Gal. | Chitalpa<br><i>Chitalpa x tashkensis</i>                                   | 30'        | M       |
| 9   | 15 Gal. | Washington Hawthorne<br><i>Crataegus phaeoopyrum</i>                       | 25'        | M       |
| 103 | 15 Gal. | Desert Willow<br><i>Chilopsis linearis "Lucretia Hamilton"</i>             | 25'        | L       |
| 21  | 6 - 8'  | Australian Pine<br><i>Pinus nigra</i>                                      | 25'        | M       |
| 30  | 6 - 8'  | Alghem Pine<br><i>Pinus eldarica</i>                                       | 25'        | H       |
| na  | 15 Gal. | Spartan Juniper (female species)<br><i>Juniperus chinensis "Spartan"</i>   | 10'        | L       |
| na  | 5 Gal.  | Wintergreen Barbery<br><i>Berberis julifoliae</i>                          | 5'         | M       |
| na  | 5 Gal.  | India Hawthorne<br><i>Raphiolepis indica</i>                               | 4'         | M       |
| na  | 5 Gal.  | Honeysuckle<br><i>Lonicera japonica</i>                                    | 12'        | M       |
| na  | 5 Gal.  | Dwarf Butterfly Bush<br><i>Buddleia davidii nanhoensis</i>                 | 5'         | M       |
| na  | 5 Gal.  | Dwarf Feathertop<br><i>Pennisetum villosum</i>                             | 2'         | M       |
| na  | 5 Gal.  | Cherry Sage<br><i>Salvia greggii</i>                                       | 3'         | M       |
| na  | 5 Gal.  | Rosemary<br><i>Rosemary officinalis</i>                                    | 6'         | L+      |
| na  | 5 Gal.  | English Lavender<br><i>Lavendula angustifolia</i>                          | 8'         | M       |
| na  | 5 Gal.  | Apache Plume<br><i>Fallugia paradoxa</i>                                   | 5'         | L       |
|     |         | Landscape Gravel, to be determined by Owner                                |            |         |
|     |         | Parking lot light poles,   |            |         |

Note: Shrub's are not shown due to scale of drawing, 80% Live Cover # Maturity  
 High water use turf is not used on this project.  
 Easement locations, Ref. Site Plan for Subdivision.

**LANDSCAPE NOTES**

Owner is responsible for maintenance of Irrigation System, Landscape Plantings, and Landscape Mulch.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of Connection for irrigation system shall be coordinated between the Landscapes Contractor and the General Contractor of the project prior to construction.

All landscape areas shall be covered in 2-3" of landscape gravel, fines, bark mulch or other landscape mulch and commercial grade weed barrier fabric approved by the Owner's representative.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Landscaping shall be installed according to the approved plan.

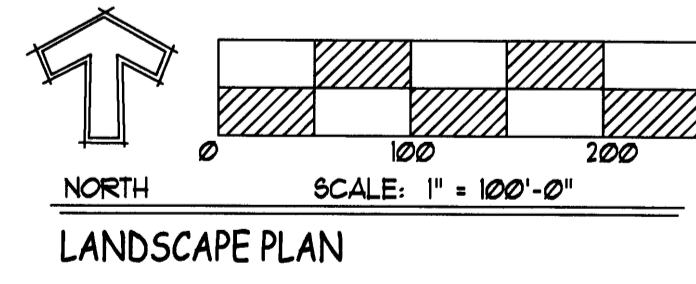
Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

This plan shall comply with the Street Tree requirement's as defined in the Street Tree Ordinance 6-2-2-1.

**LANDSCAPE CALCULATIONS**

|                                       |          |
|---------------------------------------|----------|
| PHASE ONE DEVELOPMENT                 | 1694,266 |
| TOTAL BUILDING AREA (sf)              | 311,243  |
| NET LOT AREA (sf)                     | 1323,023 |
| LANDSCAPE REQUIREMENT (%)             | .15      |
| TOTAL LANDSCAPE REQUIRED (sf)         | 198,455  |
| TOTAL LANDSCAPE PROVIDED (sf), 25.32% | 334,963  |

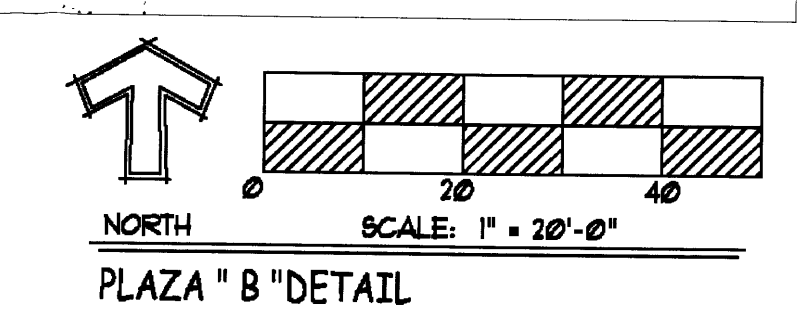
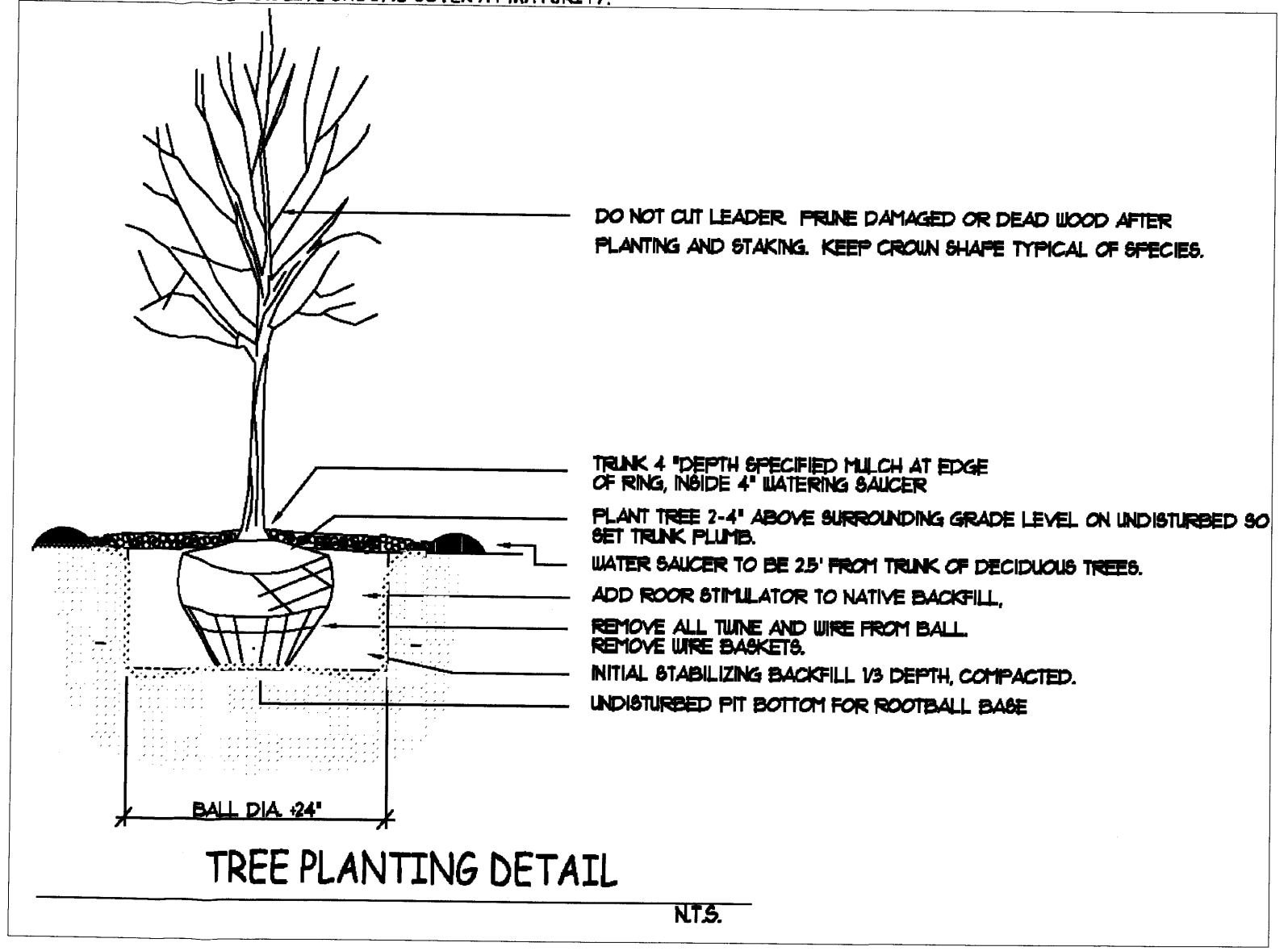
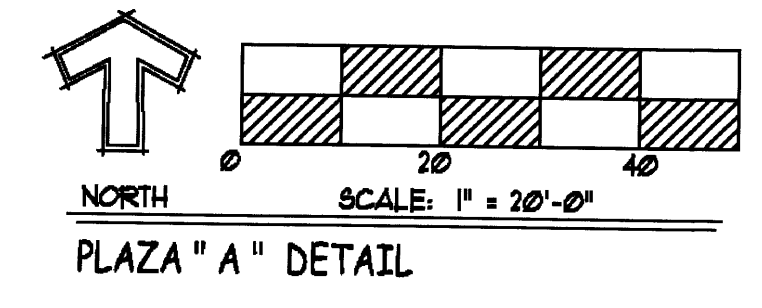
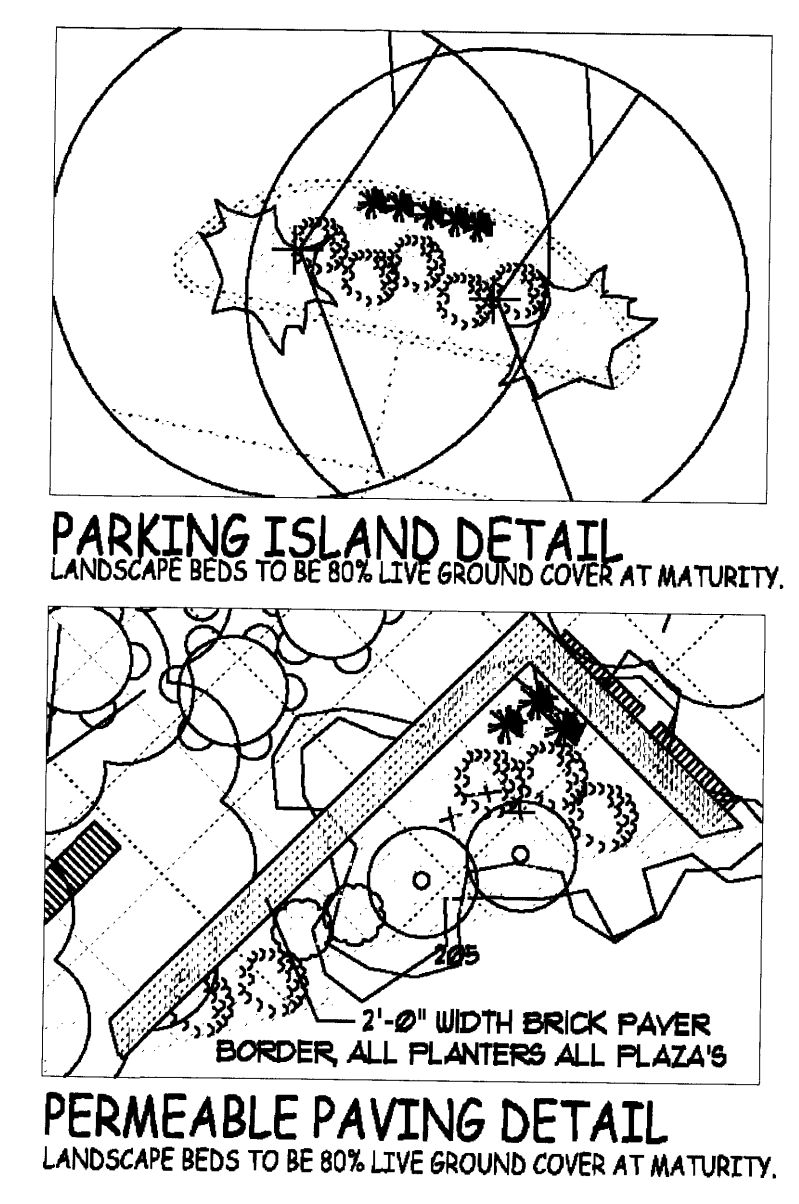
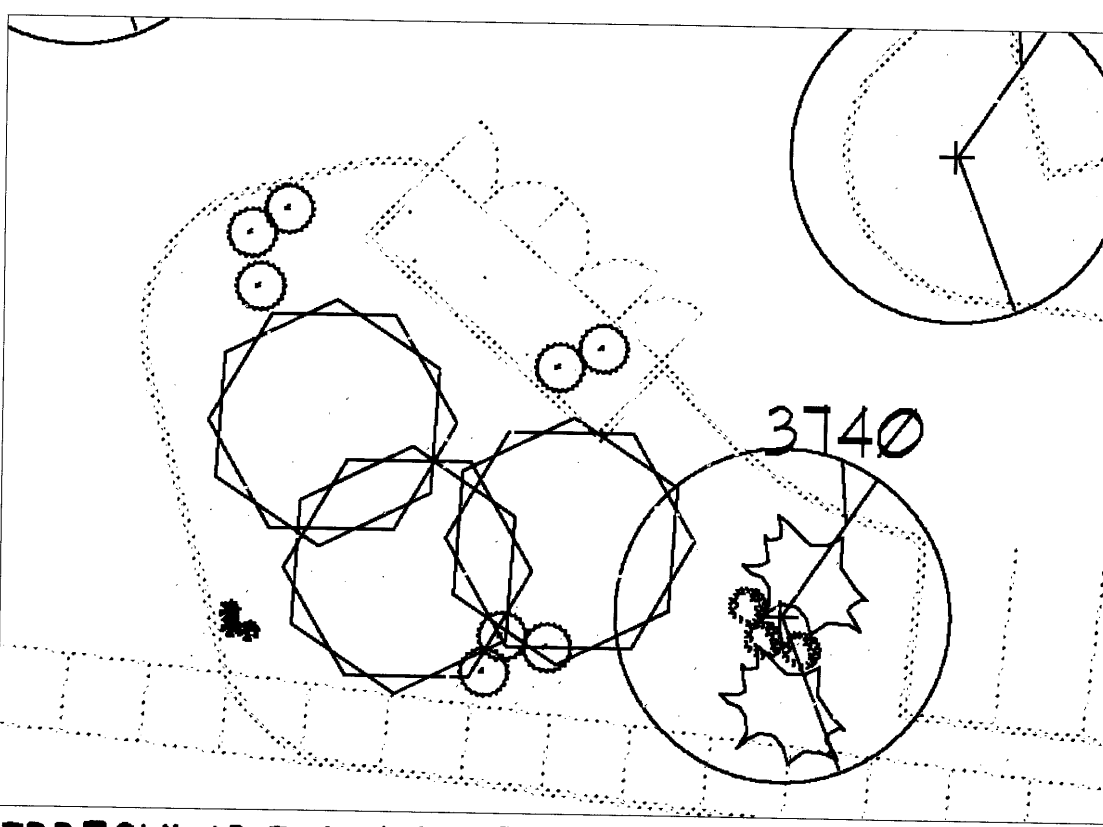
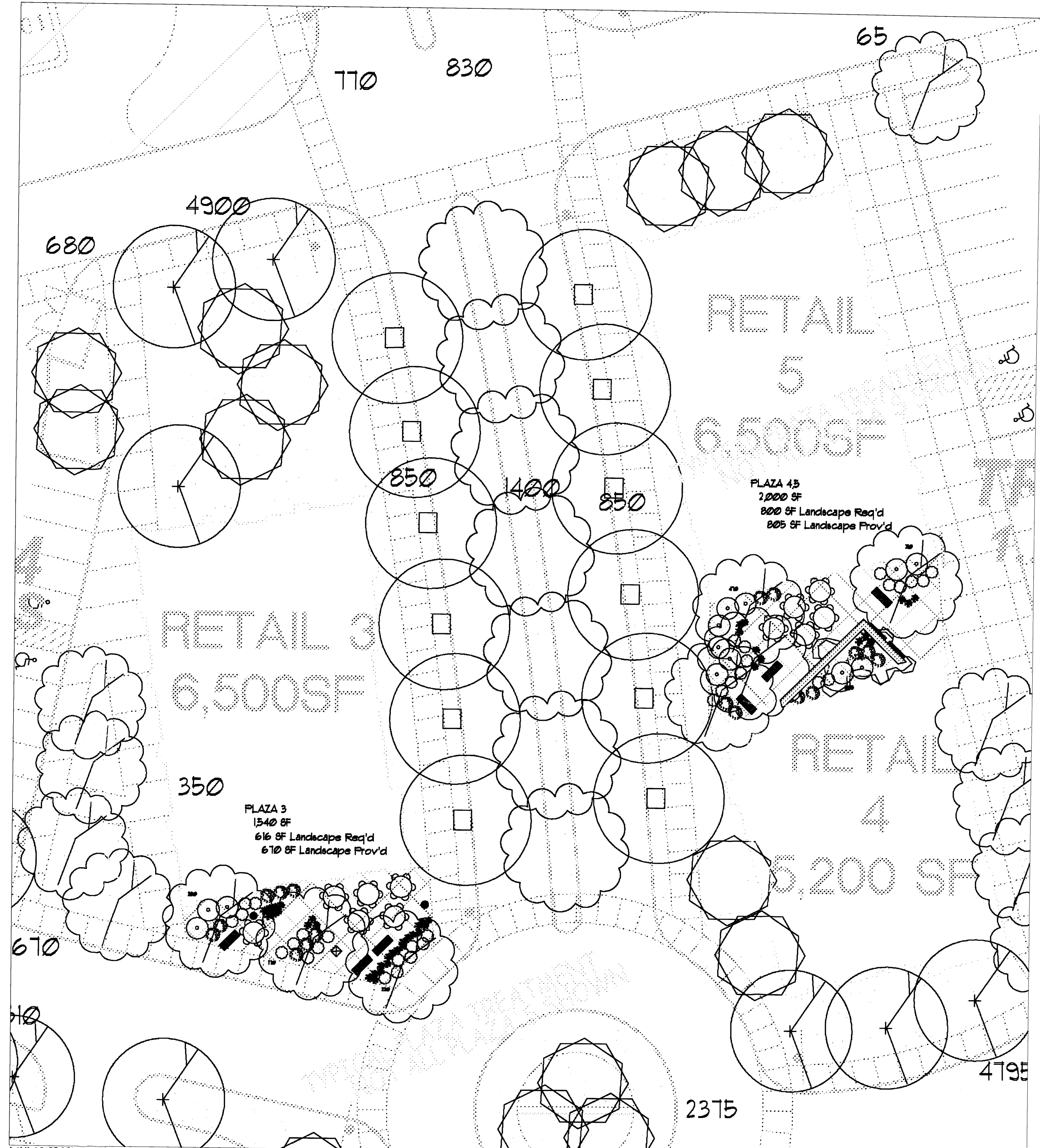
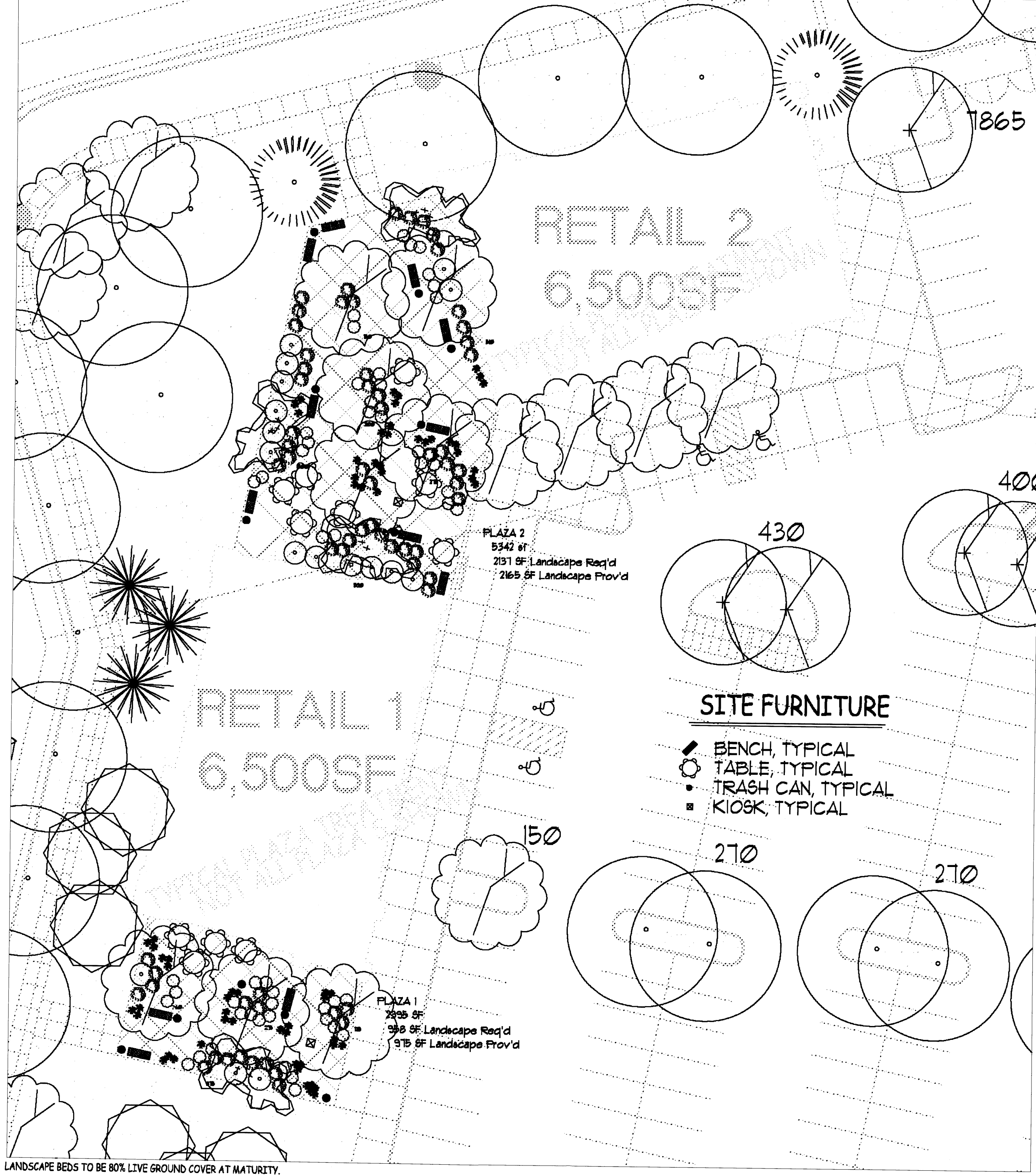


LANDSCAPE PLAN  
 Scale 1" = 100'-0"

LS-101  
 OF

06/11/2008 REVISION  
 05/01/2008 REVISION  
 Job Number  
 Drawn By DM  
 Checked By DS  
 Issue Date April 3, 2008





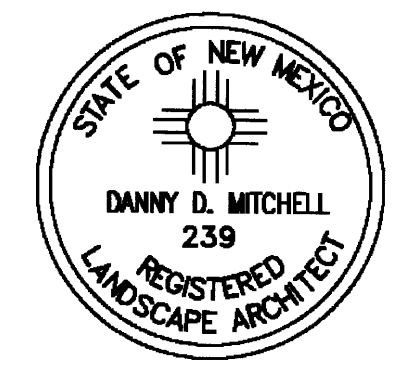
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clery@mitchellassociatesllc.com

**ARMSTRONG DEVELOPMENT**

**Unser Crossing**  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
Albuquerque, New Mexico 87121

06/17/2008 REVISION  
05/01/2008 REVISION  
Job Number  
Drawn By DM  
Checked DS  
Issue Date April 3, 2008

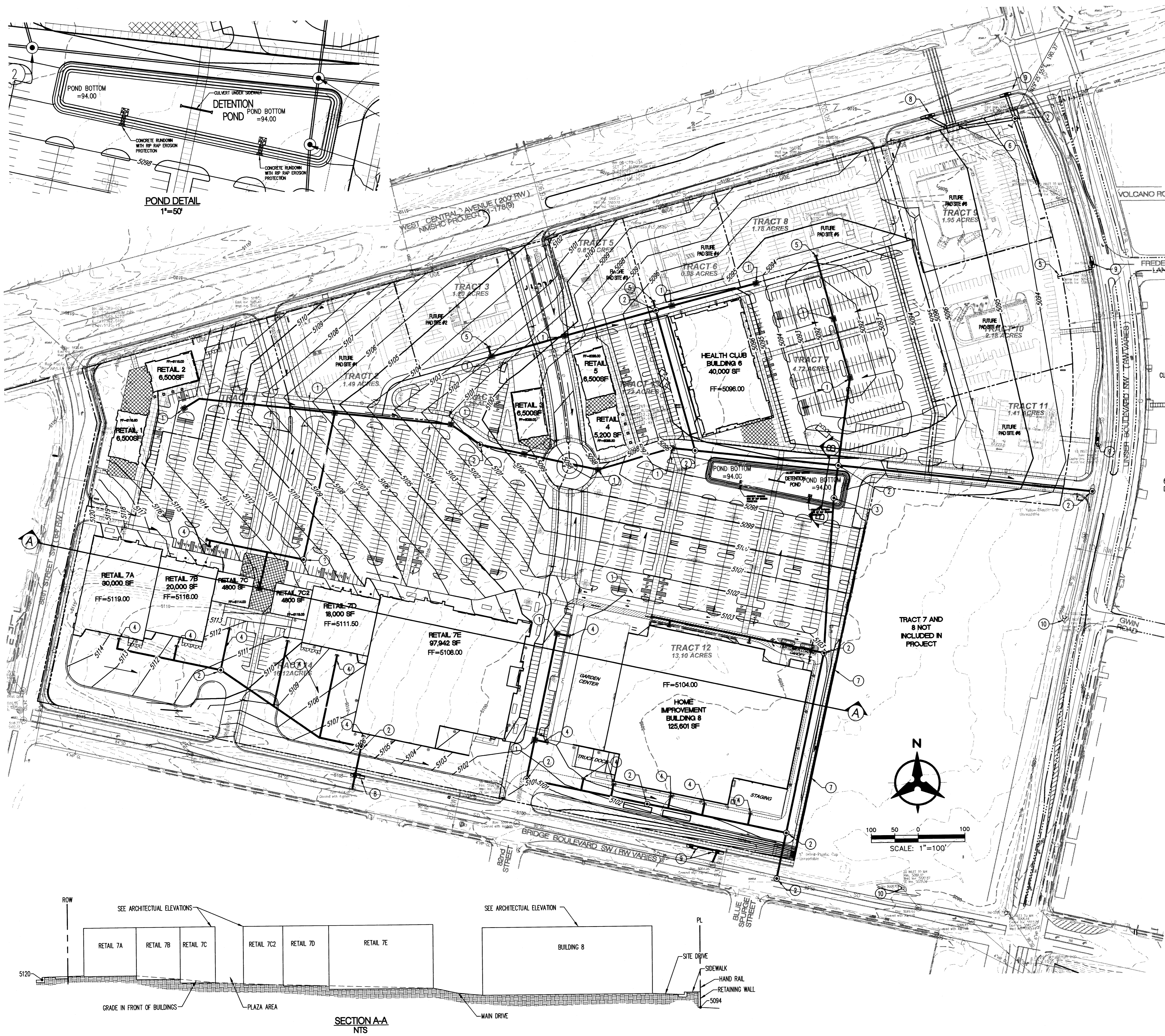


**LANDSCAPE PLAN**  
Scale 1" = 20'-0"

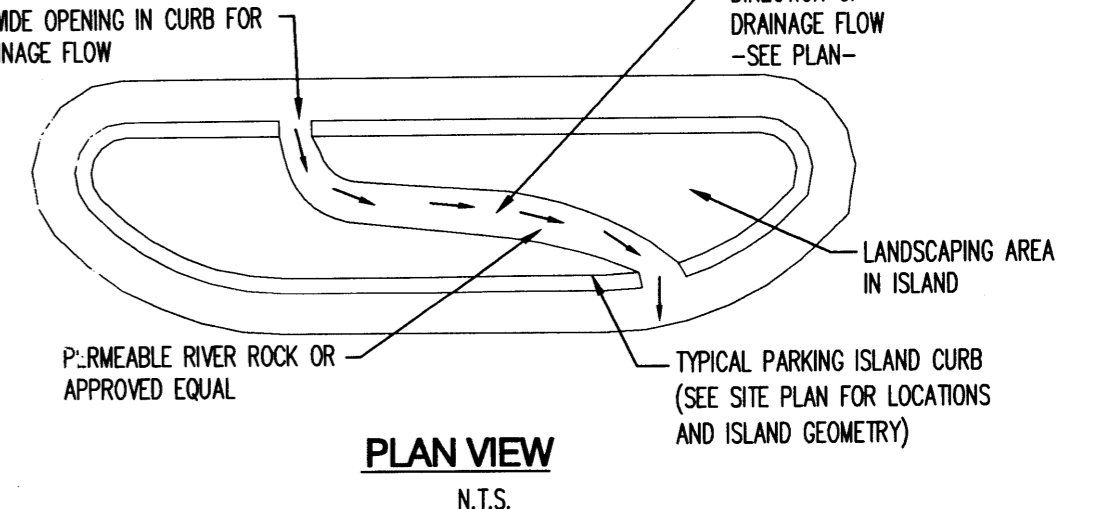
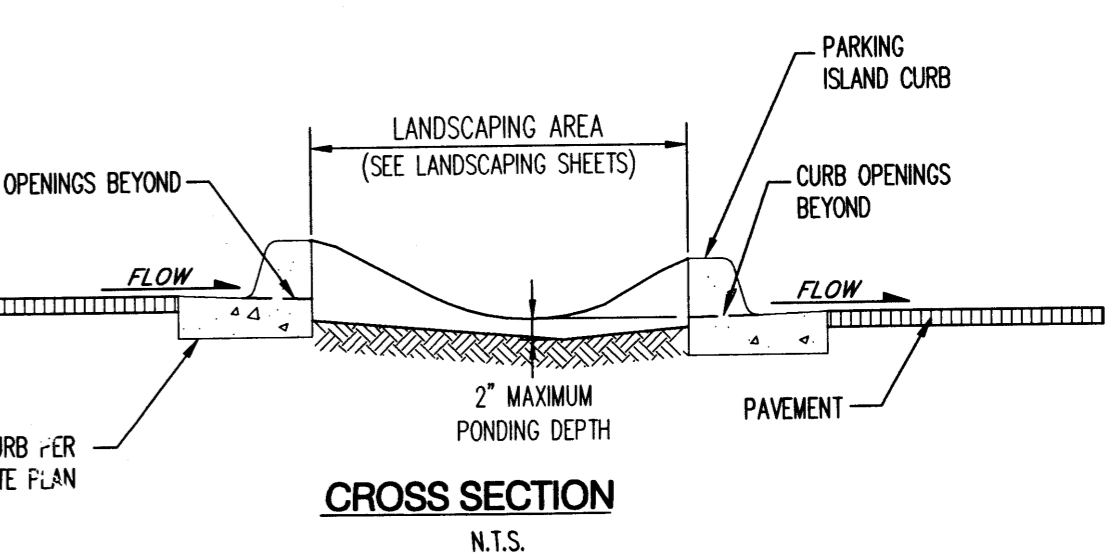
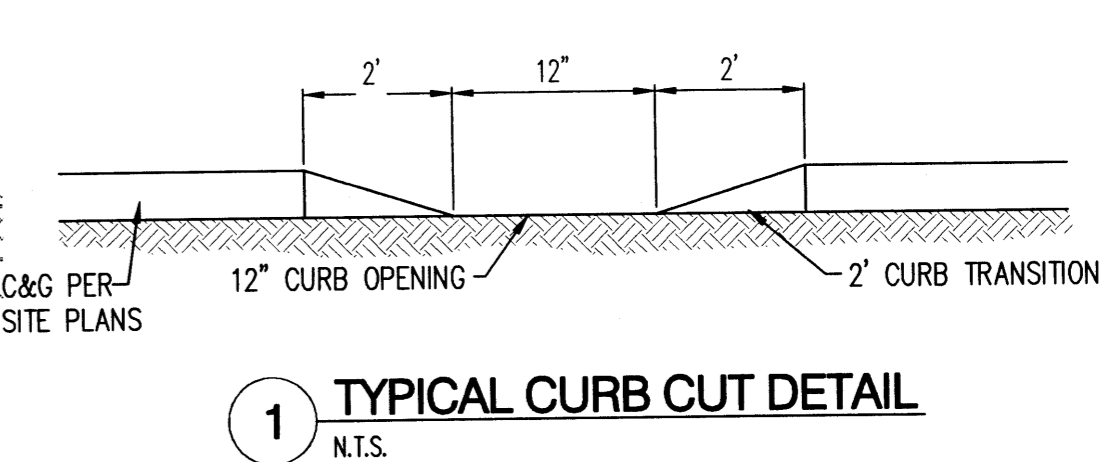
**LS-102**

OF





- KEYED NOTES**
- STORM DRAIN INLET.
  - STORM DRAIN MANHOLE.
  - STORM DRAIN MANHOLE WITH SLOTTED COVER.
  - STUB ROOF DRAIN TO WITHIN 5' OF BUILDING.
  - STUB STORM DRAIN TO 10' BEYOND PROPERTY LINE.
  - CONNECT EXISTING STORM DRAIN CULVERTS TO NEW JUNCTION BOX. CONNECT JUNCTION BOX TO EXISTING STORM DRAIN IN UNSER BLVD. THIS WORK SHALL BE COMPLETED WITH PUBLIC INFRASTRUCTURE PLANS.
  - RETAINING WALL.
  - TYPE DOUBLE A INLET
  - TYPE C INLET
  - EXISTING DROP INLET TO REMAIN



**1 TYPICAL CURB CUT DETAIL**  
N.T.S.

**2 TYPICAL WATER HARVESTING DETAIL**  
N.T.S.

**LEGEND**

|     |                                   |
|-----|-----------------------------------|
| --- | PROPERTY LINE                     |
| --- | EXISTING CONTOURS                 |
| X   | EXISTING GROUND SPOT ELEVATION    |
| ⊕   | EXISTING ELECTRICAL POLE          |
| ●   | PROPOSED SPOT ELEVATION           |
| —   | TC=TOP OF CURB, FL=FLOW LINE      |
| —   | TW=TOP OF WALL, BW=BOTTOM OF WALL |
| --- | EX=EXISTING, TO=TOP OF GRADE      |
| →   | PROPOSED DIRECTION OF FLOW        |
| —   | WATER BLOCK                       |
| —   | PROPOSED RETAINING WALL           |
| --- | PROPOSED INDEX CONTOURS           |
| --- | PROPOSED INTER CONTOURS           |
| --- | PROPOSED CURB & GUTTER            |
| --- | EASEMENT                          |
| ⊕   | EXISTING TREE                     |
| —   | PROPOSED STORM DRAIN LINE         |
| ○   | PROPOSED STORM DRAIN MANHOLE      |
| ●   | PROPOSED STORM DRAIN INLET        |
| ⊕   | EXISTING STORM DRAIN MANHOLE      |

**DSA ARCHITECTS**  
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**Bohannon & Huston**  
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ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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cmv@mitchellassociates.com

**ARMSTRONG DEVELOPMENT PROPERTIES, INC.**



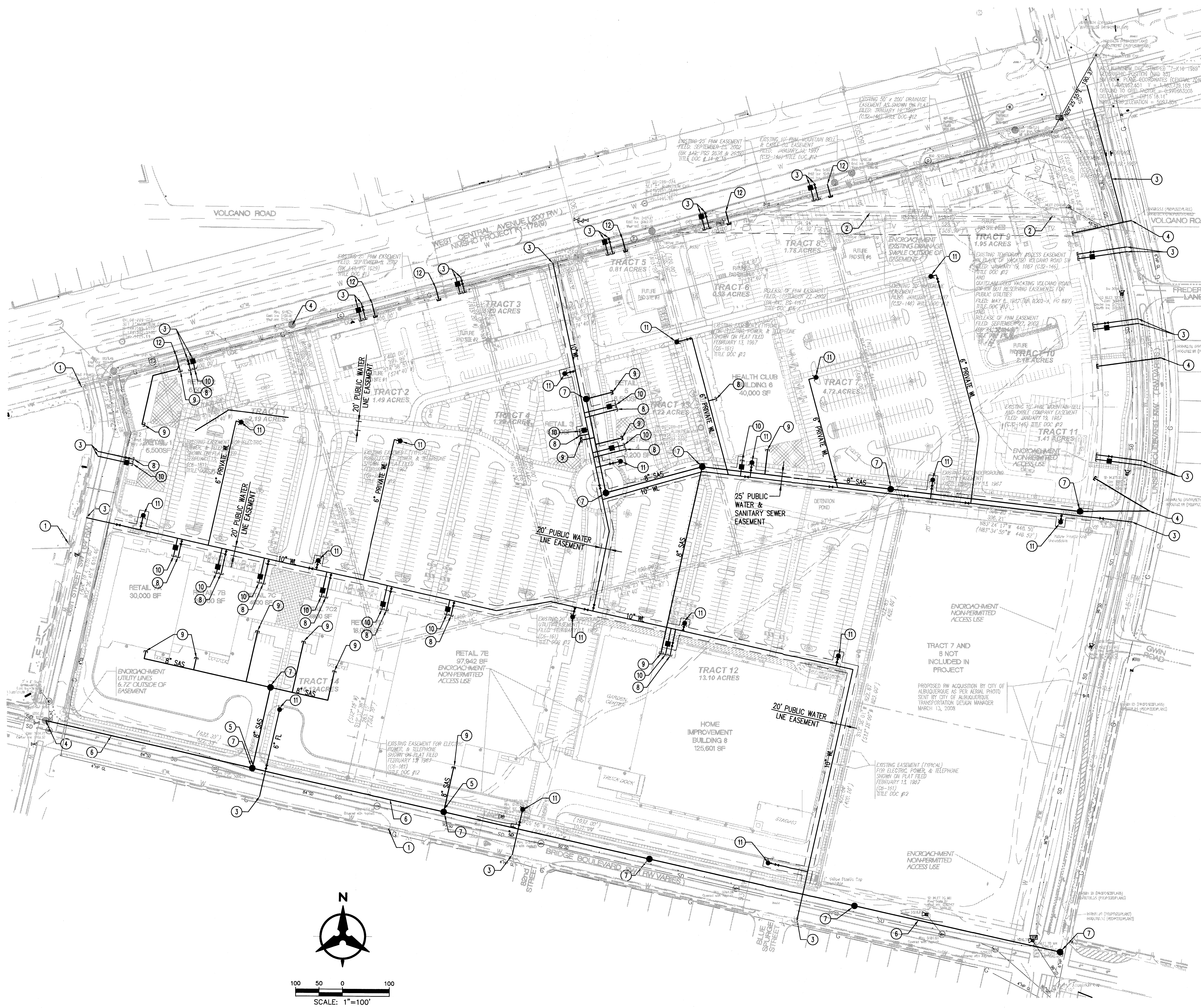
**Unser Crossing DRB Submittal Site Plan for Building Permit Central Avenue and Unser Boulevard Albuquerque, New Mexico 87121**

Job Number  
Drawn By BO  
Checked RM/BJS  
Issue Date June 17, 2008

**CONCEPTUAL GRADING PLAN**

Scale





KEYED NOTES

1. EXISTING FIRE HYDRANT
2. DEMO EXISTING WATERLINE
3. CONNECT WATER SERVICE TO EXISTING WATERLINE.
4. CONNECT SEWER LINE TO EXISTING MANHOLE AT INVERT ELEVATION SHOWN.
5. CONNECT SEWER SERVICE TO NEW MANHOLE AT INVERT ELEVATION SHOWN.
6. NEW PUBLIC SEWER LINE.
7. NEW SAS MANHOLE.
8. CONNECT FIRE LINE TO WITHIN 5' OF BUILDING.
9. CONNECT SAS LINE TO WITHIN 5' OF BUILDING.
10. CONNECT WATER LINE TO WITHIN 5' OF BUILDING.
11. NEW FIRE HYDRANT.
12. CONNECT SEWER LINE TO EXISTING LINE.
13. CONNECT EXISTING WATERLINE IN CENTRAL TO EXISTING WATERLINE IN UNSER



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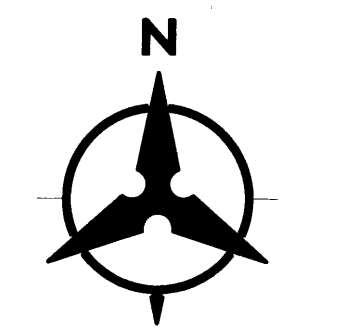
**Mitchell Associates, LLC**  
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 Albuquerque, NM 87110  
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 danny@mitchellassociates.com



**Unser Crossing**  
**DRB Submittal**  
**Site Plan for Building Permit**  
**Central Avenue and Unser Boulevard**  
**Albuquerque, New Mexico 87121**

LEGEND

|     |                                 |
|-----|---------------------------------|
| --- | PROPERTY LINE                   |
| --- | EXISTING EASEMENT               |
| --- | EXISTING SANITARY SEWER         |
| --- | EXISTING WATER LINE             |
| ○   | EXISTING WATER METER            |
| ○   | EXISTING CAP                    |
| ○   | EXISTING FIRE HYDRANT           |
| ○   | EXISTING SANITARY SEWER MANHOLE |
| ○   | EXISTING STORM DRAIN MANHOLE    |
| ○   | EXISTING INLET                  |
| --- | PROPOSED EASEMENT               |
| --- | PROPOSED SANITARY SEWER LINE    |
| ●   | PROPOSED SANITARY SEWER MANHOLE |
| ●   | PROPOSED CLEANOUT               |
| WL  | PROPOSED WATER LINE             |
| V   | PROPOSED VALVE                  |
| FL  | PROPOSED FIRE LINE              |
| ●   | PROPOSED HYDRANT                |
| ○   | PROPOSED CAP                    |
| ■   | PROPOSED WATER METER            |



SCALE: 1"=100'

Job Number \_\_\_\_\_  
 Drawn By BO  
 Checked RM/BJS  
 Issue Date June 17, 2008

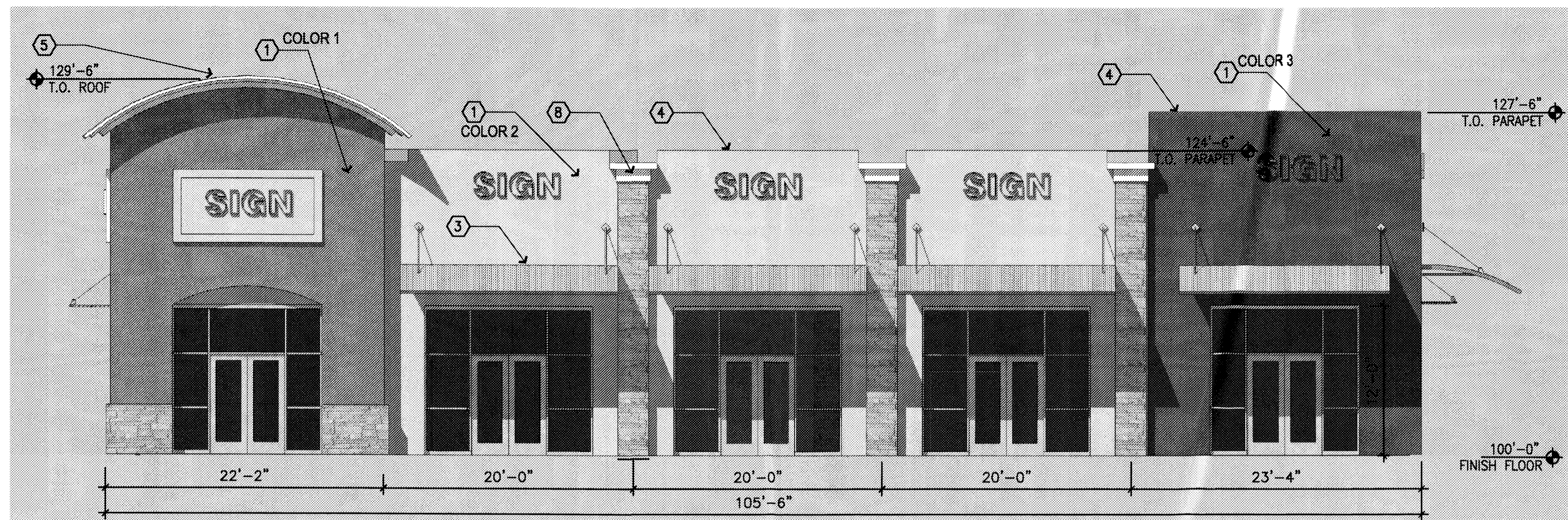
CONCEPTUAL UTILITY PLAN

Scale \_\_\_\_\_

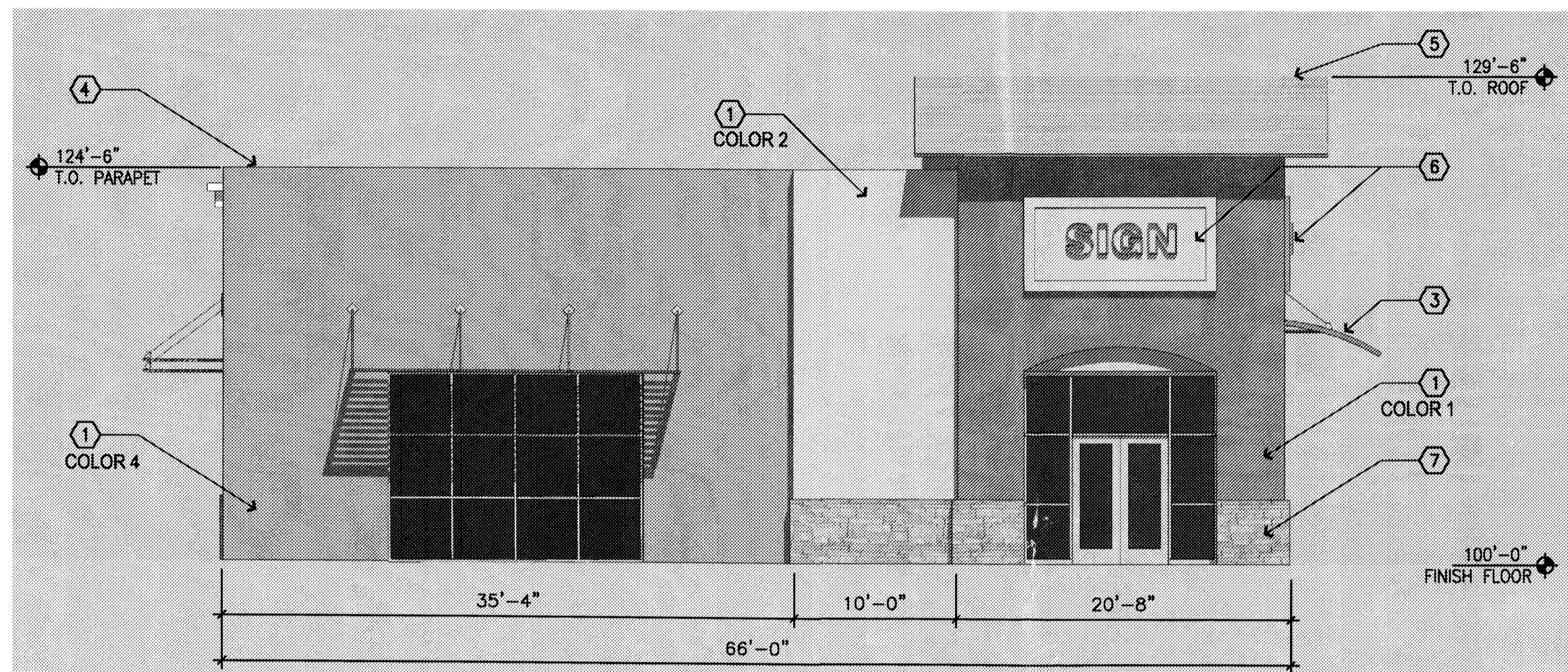
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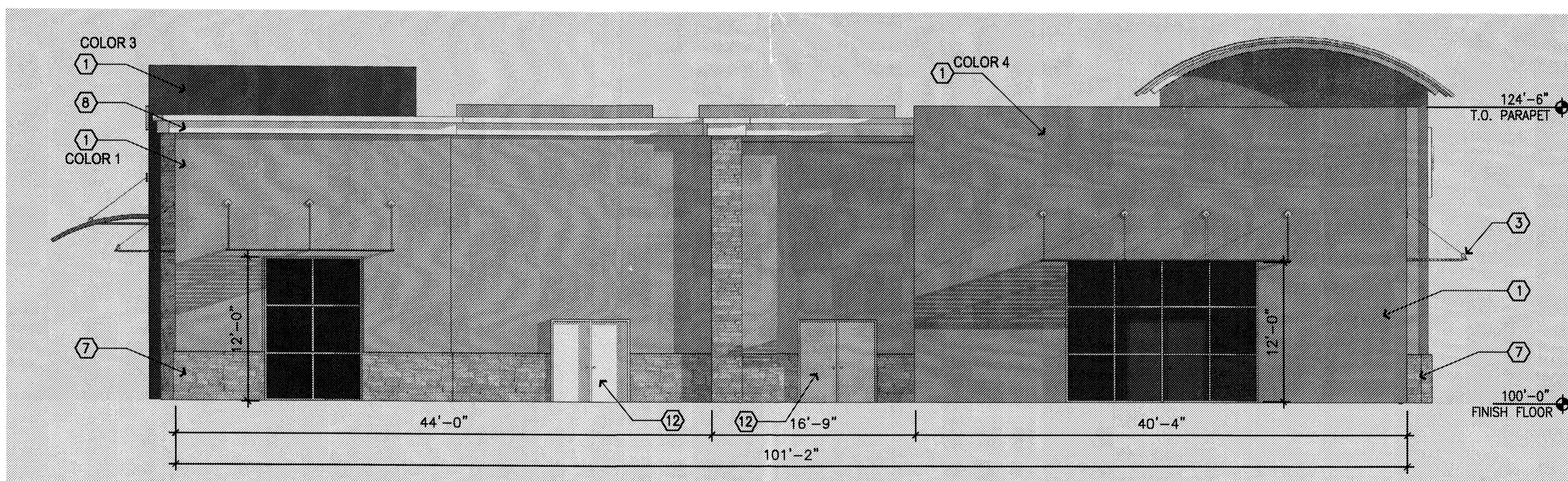




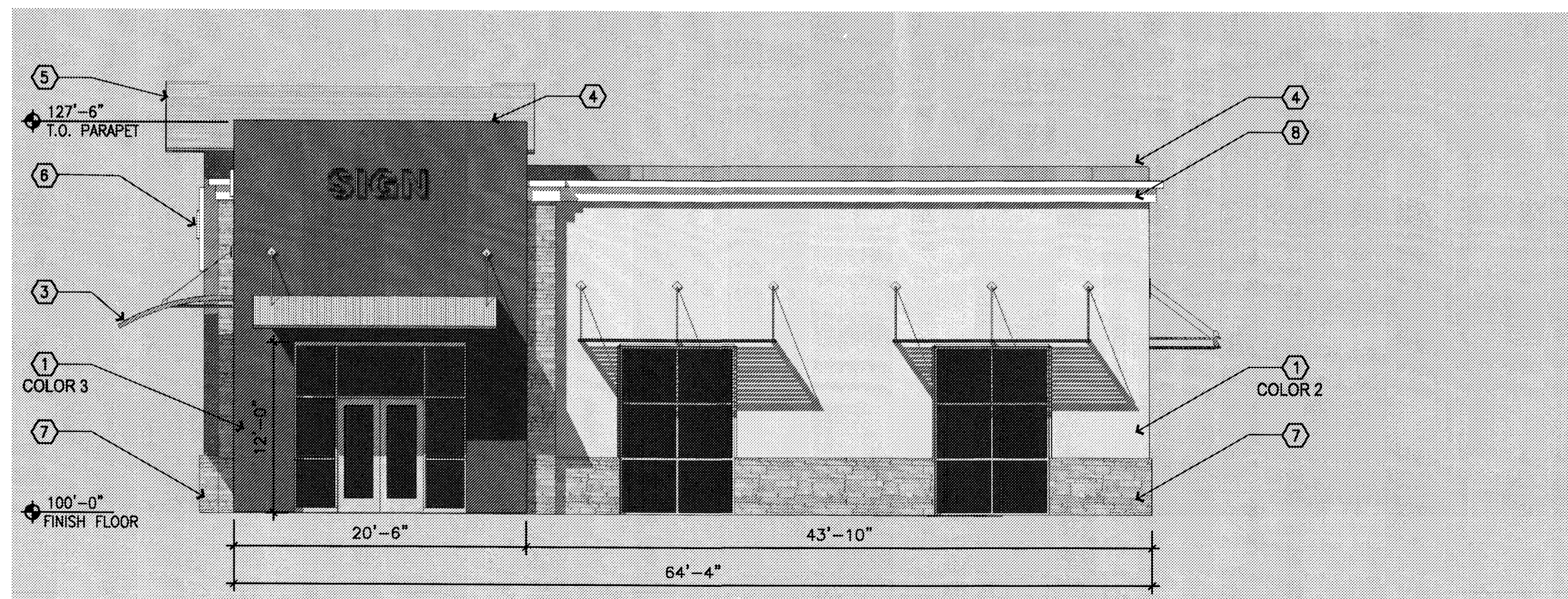
1 BUILDING ELEVATION - EAST  
1/8" = 1'-0"



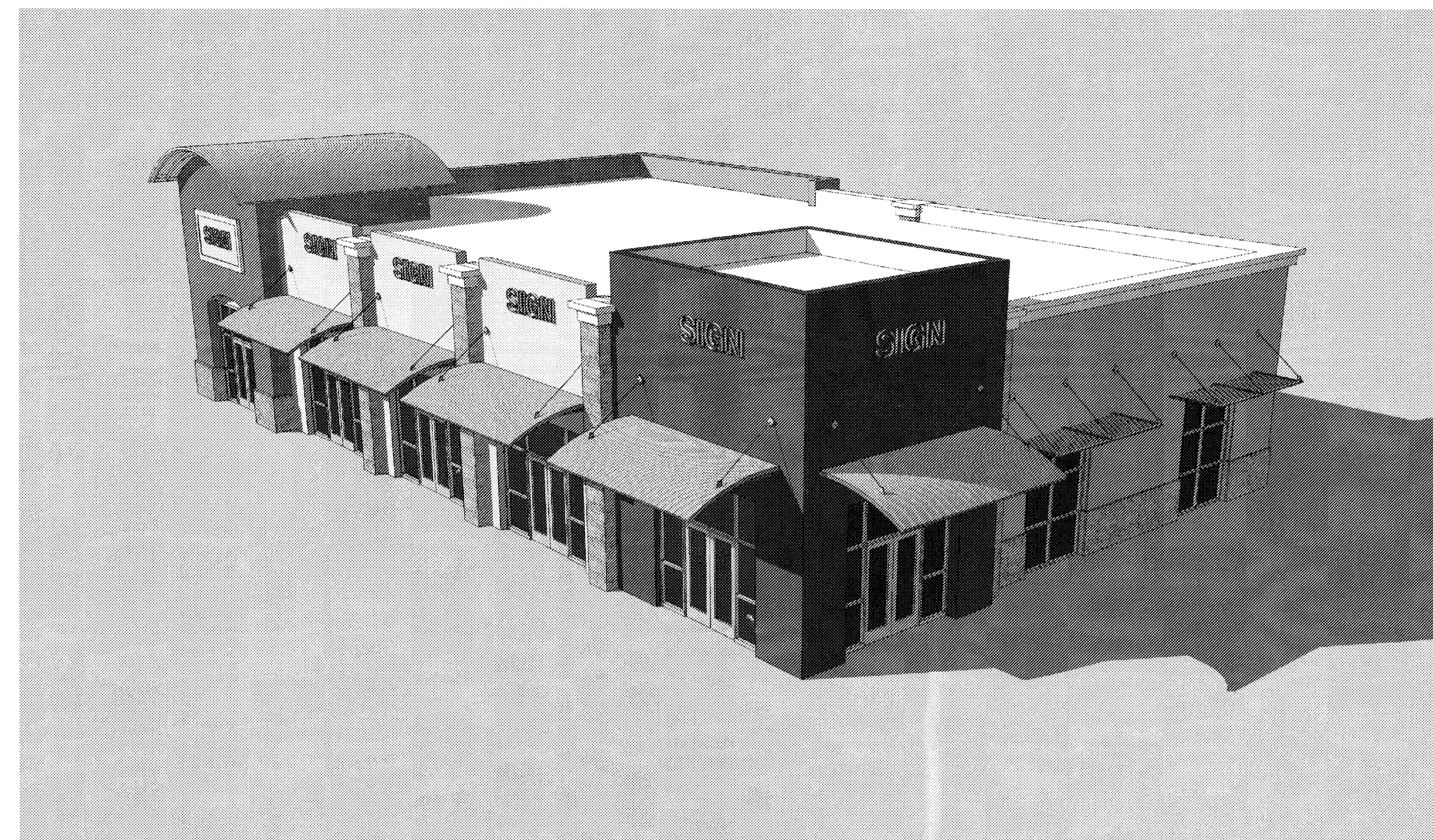
2 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



3 BUILDING ELEVATION - WEST  
1/8" = 1'-0"



4 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



5 BIRDSEYE VIEW- NORTH EAST



6 EYE LEVEL VIEW- SOUTH EAST

### STUCCO COLORS

ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC  
 COLOR 1 - 1565 RIVER ROCK (light brown)  
 COLOR 2 - 827 CASA (light tan)  
 COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 62T2 PLUM BROWN  
 COLOR 4 - 814 CACTUS FLOWER (light terra cotta)  
 COLOR 5 - 1614 MIST (off-white)

### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL ANNING, PAINT S.Y. KEY STONE GREY
- 4 METAL COPING, PAINT, S.Y. 1008 ALBASTER
- 5 METAL ROOF, Satin Aluminum Finish.
- 6 BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 7.5% OF FACADE AREA PER O-1 ZONING STANDARDS, SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
- 7 STONE VENEER - Canyon Rock LedgeStone manufactured stone veneer
- 8 STUCCO CORNICE, COLOR 5
- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 3698
- 10 CANVAS ANNING, TO MATCH S.Y. 6648 KUMQUAT
- 11 PAINTED STEEL TRELLIS, S.Y. 11171 ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S.Y. KEY STONE GREY



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**Bohannon & Huston**

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**Unser Crossing**  
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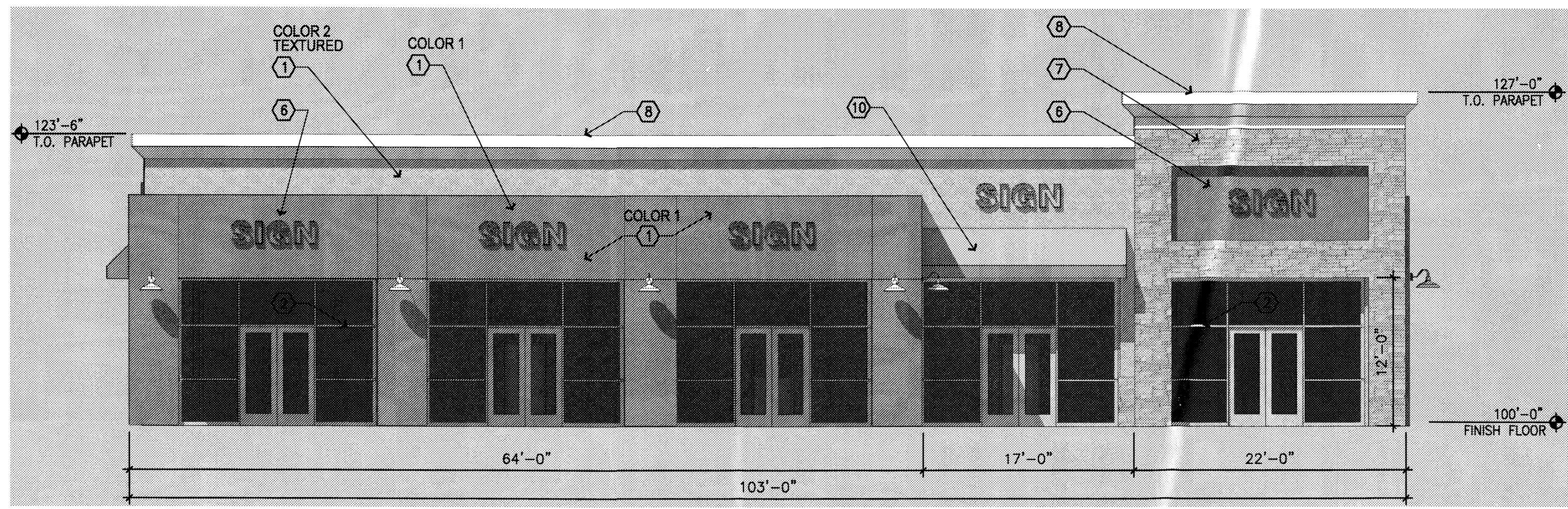
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 Drawn By \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Issue Date April 3, 2008

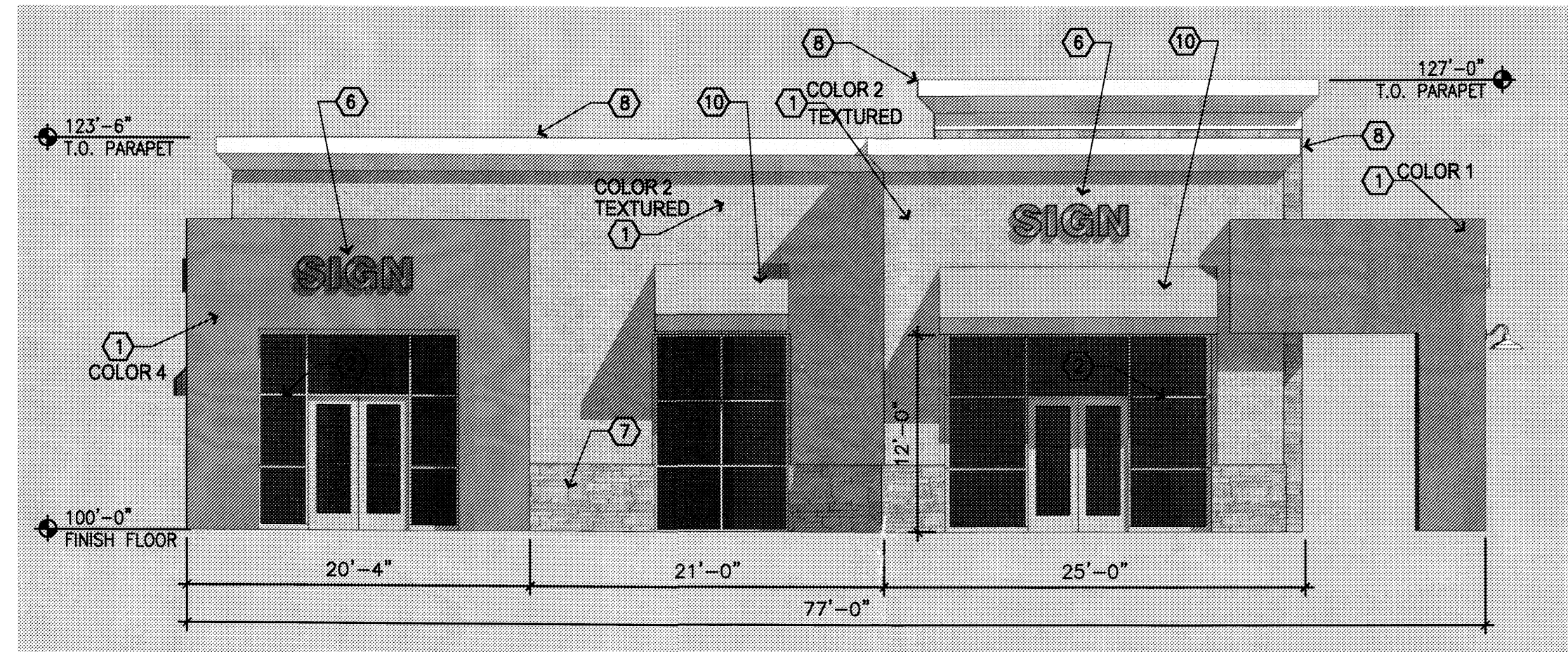
RETAIL BUILDING 1  
 ELEVATIONS

Scale \_\_\_\_\_

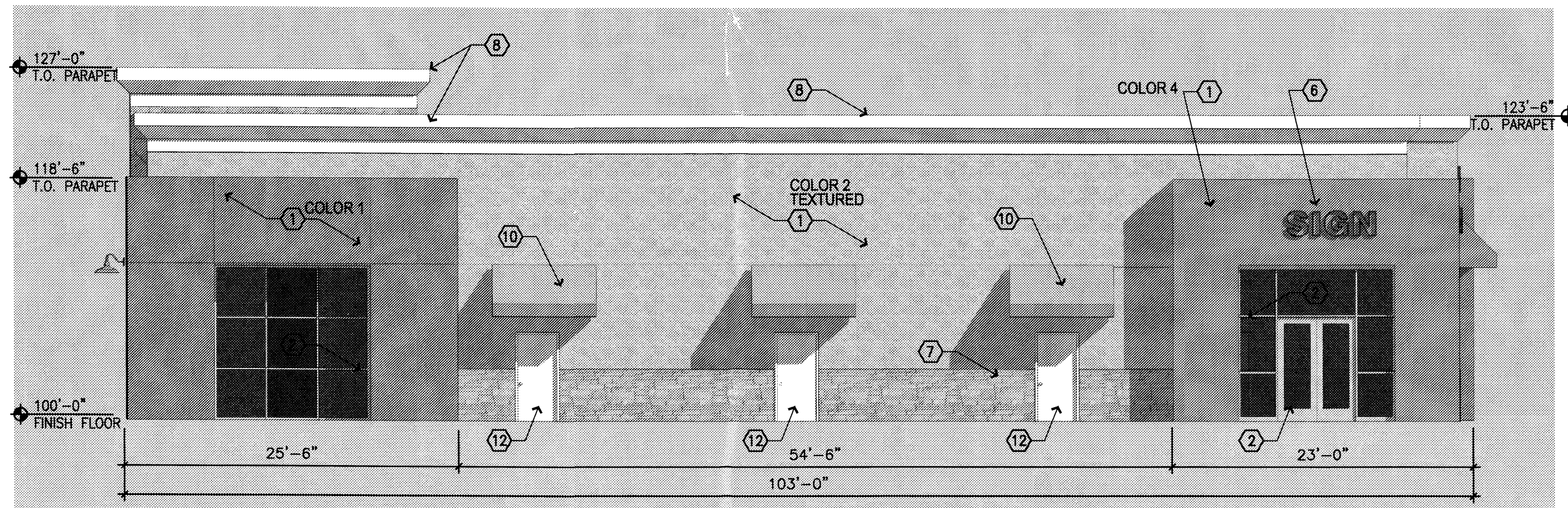




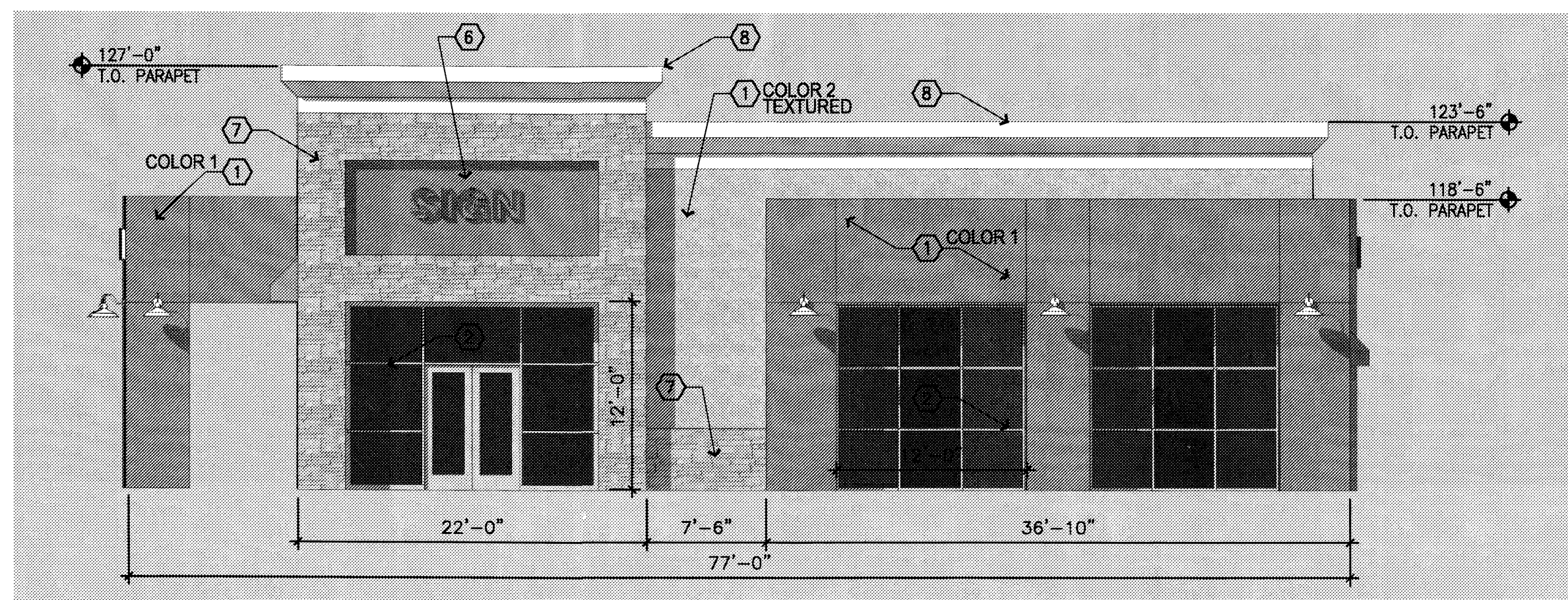
1 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



2 BUILDING ELEVATION - WEST  
1/8" = 1'-0"



3 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



4 BUILDING ELEVATION - EAST  
1/8" = 1'-0"



5 BIRDSEYE VIEW- SOUTH WEST



6 EYE LEVEL VIEW- SOUTH EAST

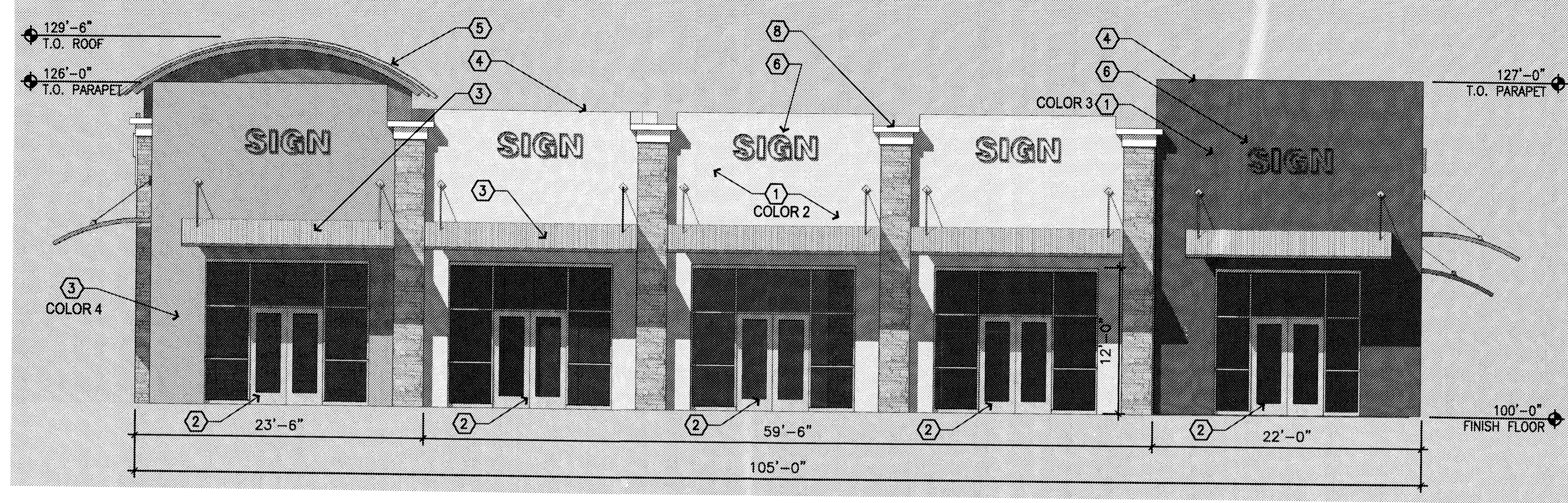
### STUCCO COLORS

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- COLOR 1 - 1565 RIVER ROCK (light brown)
- COLOR 2 - 827 CASA (light tan)
- COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 6212 PLUM BROWN
- COLOR 4 - 814 CACTUS FLOWER (light terra cotta)
- COLOR 5 - 1614 MIST (off-white)

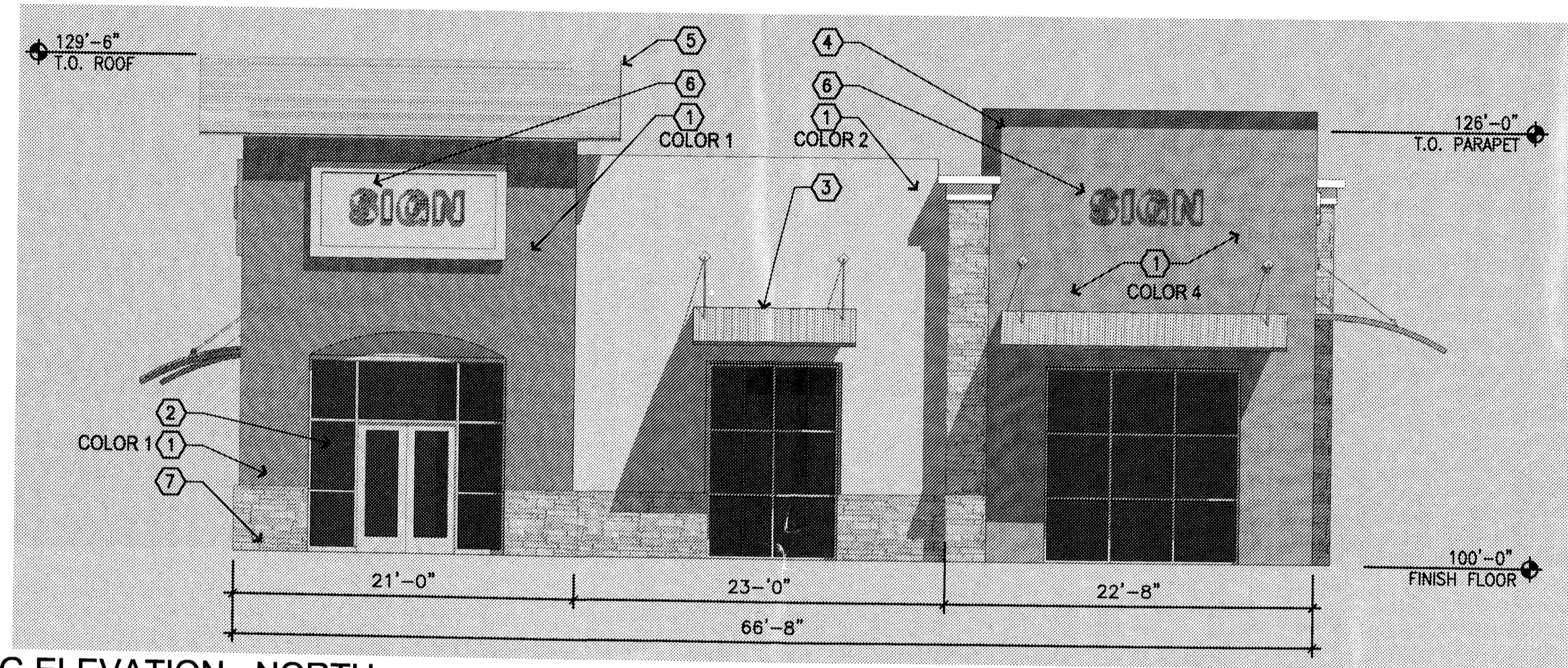
### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING, PAINT S.W. Key Stone Grey
- 4 METAL COPING, PAINT, S.W. 100B Alabaster
- 5 METAL ROOF, Satin Aluminum Finish.
- 6 BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 1.5% OF FACADE AREA PER O-1 ZONING STANDARDS, SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
- 7 STONE VENEER - Canyon Rock LedgeStone manufactured stone veneer
- 8 STUCCO CORNICE, COLOR 5
- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 364B
- 10 CANVAS AWNING, TO MATCH S.W. 664B KUMQUAT
- 11 PAINTED STEEL TRELLIS, S.W. 1111 ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S.W. KEY STONE GREY

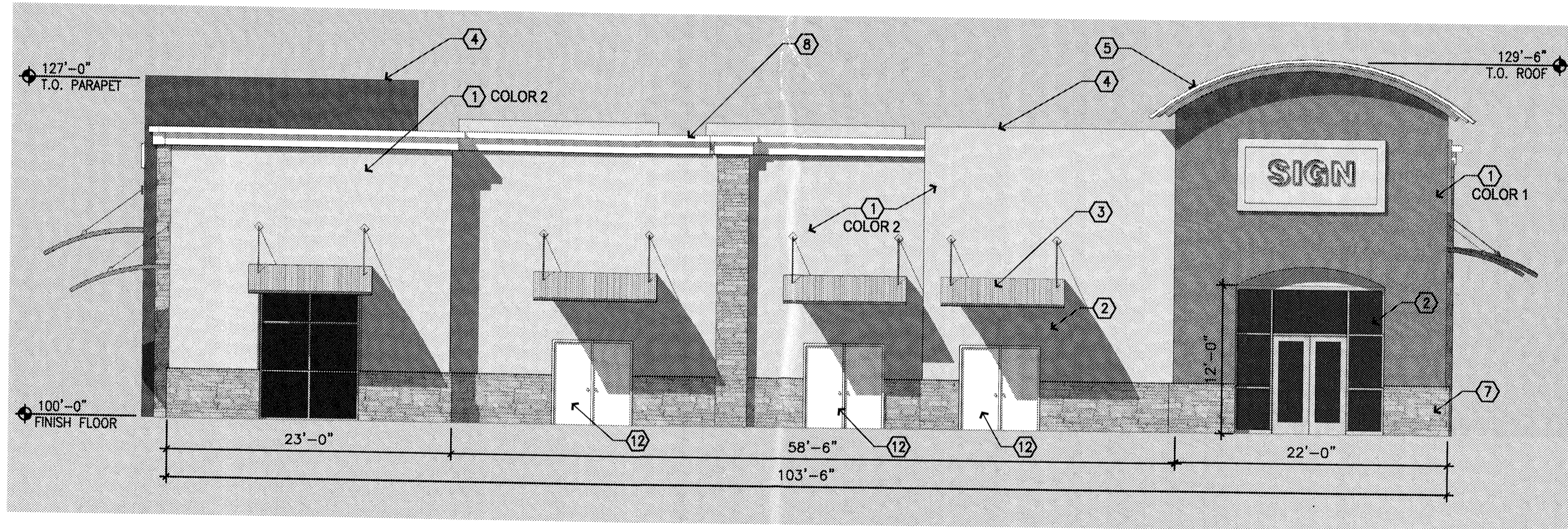




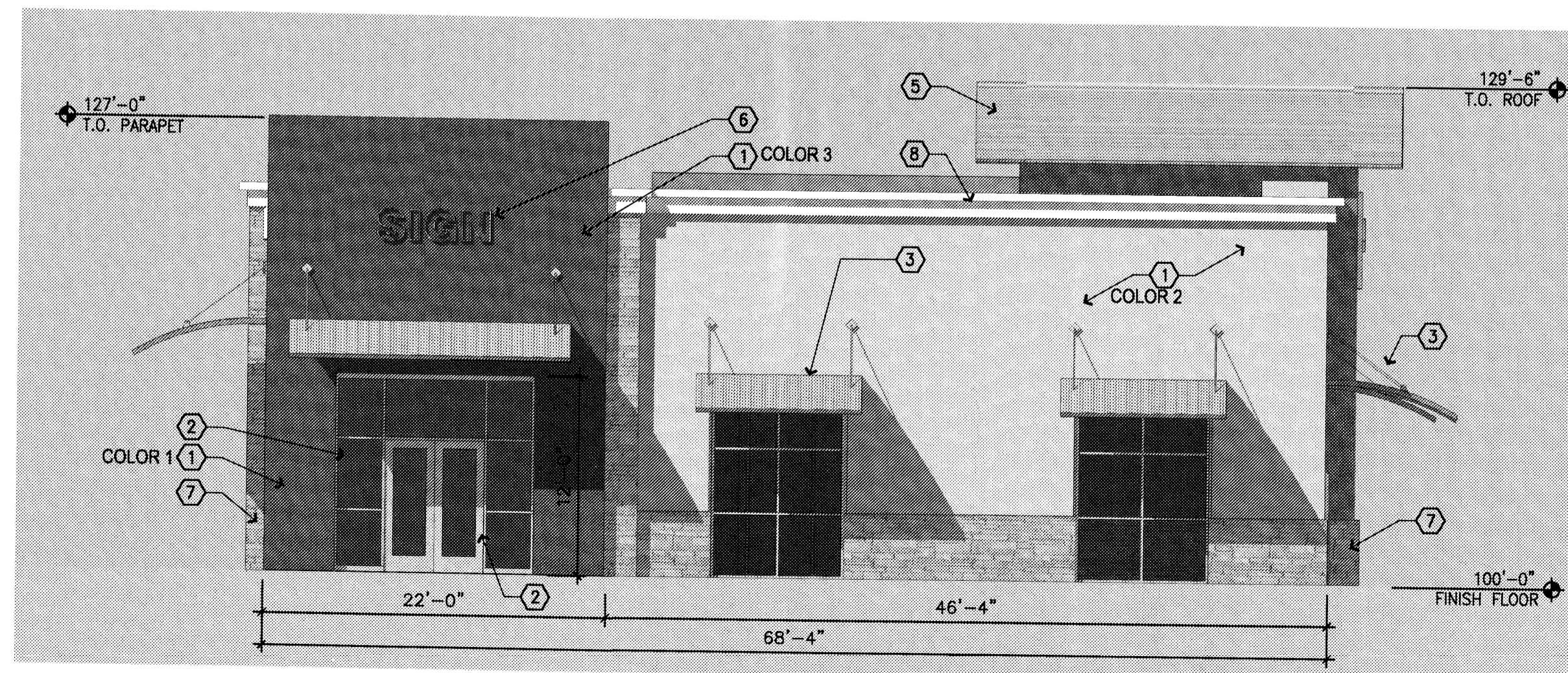
1 BUILDING ELEVATION - WEST  
1/8" = 1'-0"



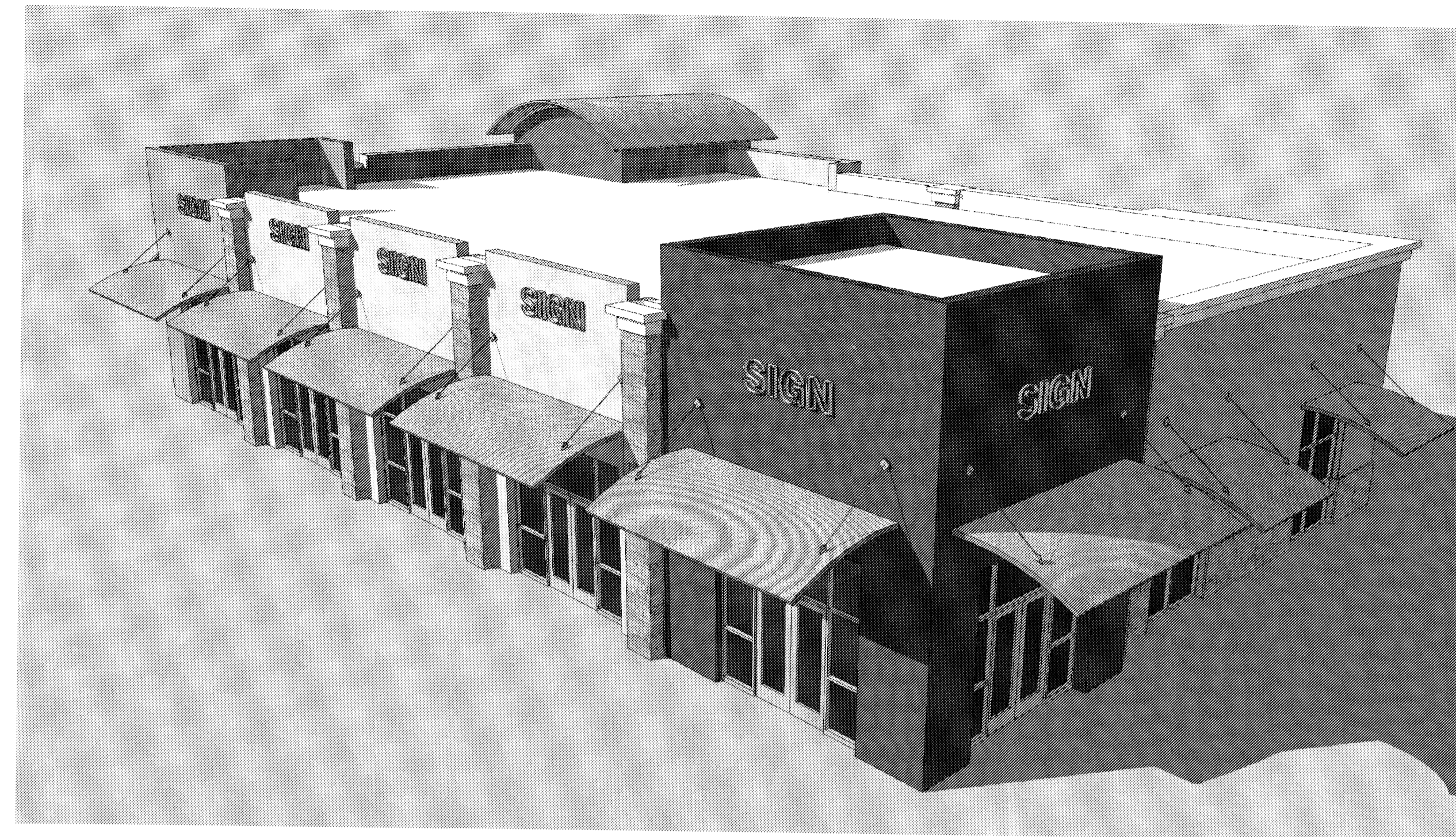
2 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



3 BUILDING ELEVATION - EAST  
1/8" = 1'-0"



4 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



5 BIRDSEYE VIEW - SOUTHWEST

### STUCCO COLORS

ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC  
 COLOR 1 - 1565 RIVER ROCK (light brown)  
 COLOR 2 - 821 CASA (light tan)  
 COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 6212 PLUM BROWN  
 COLOR 4 - 814 CACTUS FLOWER (light terra cotta)  
 COLOR 5 - 1614 MIST (off-white)

### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
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- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 369B
- 10 CANVAS AWNING, TO MATCH S.V. 664B KUMQUAT
- 11 PAINTED STEEL TRELIS, S.V. TITI ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S.V. KEY STONE GREY



6 EYE LEVEL VIEW - NORTHWEST



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Unser Crossing  
 Site Plan for Building Permit  
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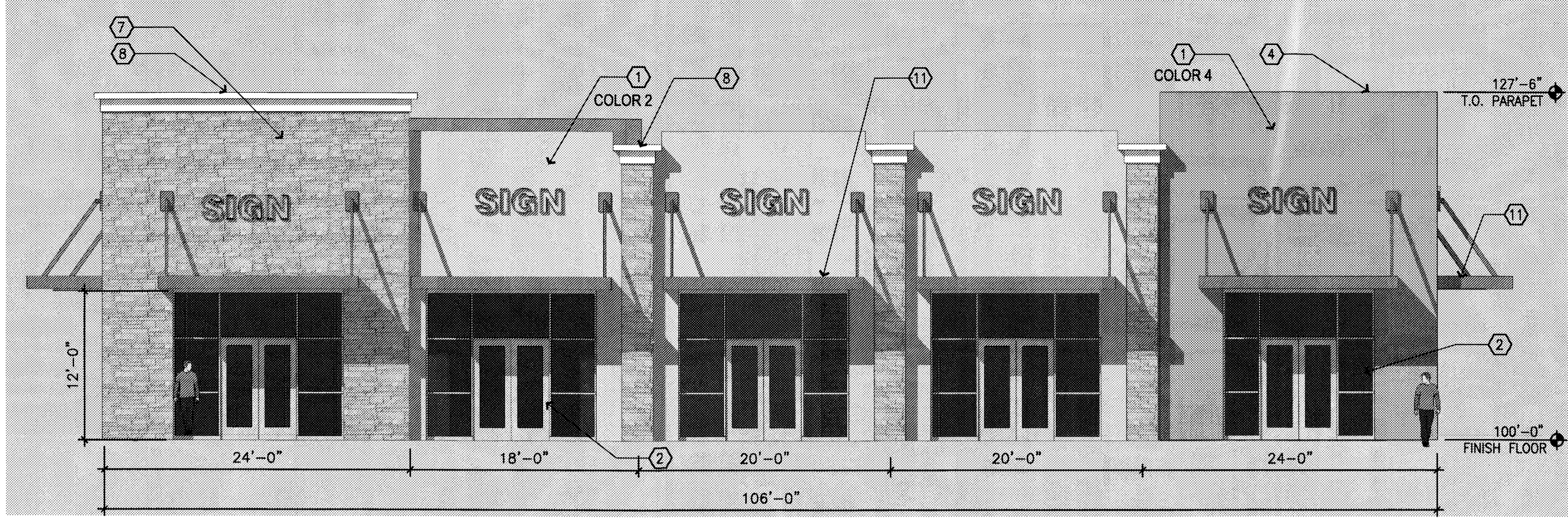
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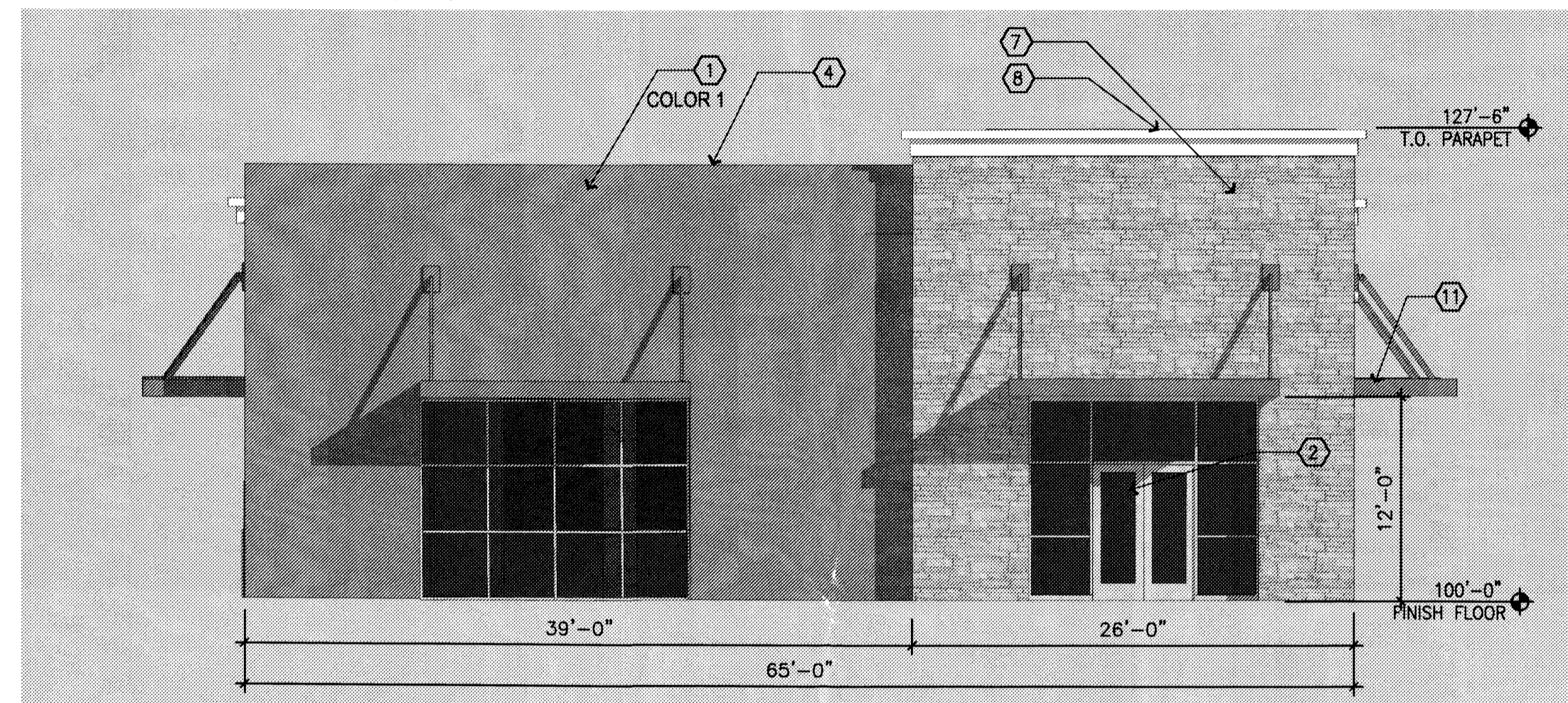
RETAIL BUILDING 3  
ELEVATIONS

Scale \_\_\_\_\_

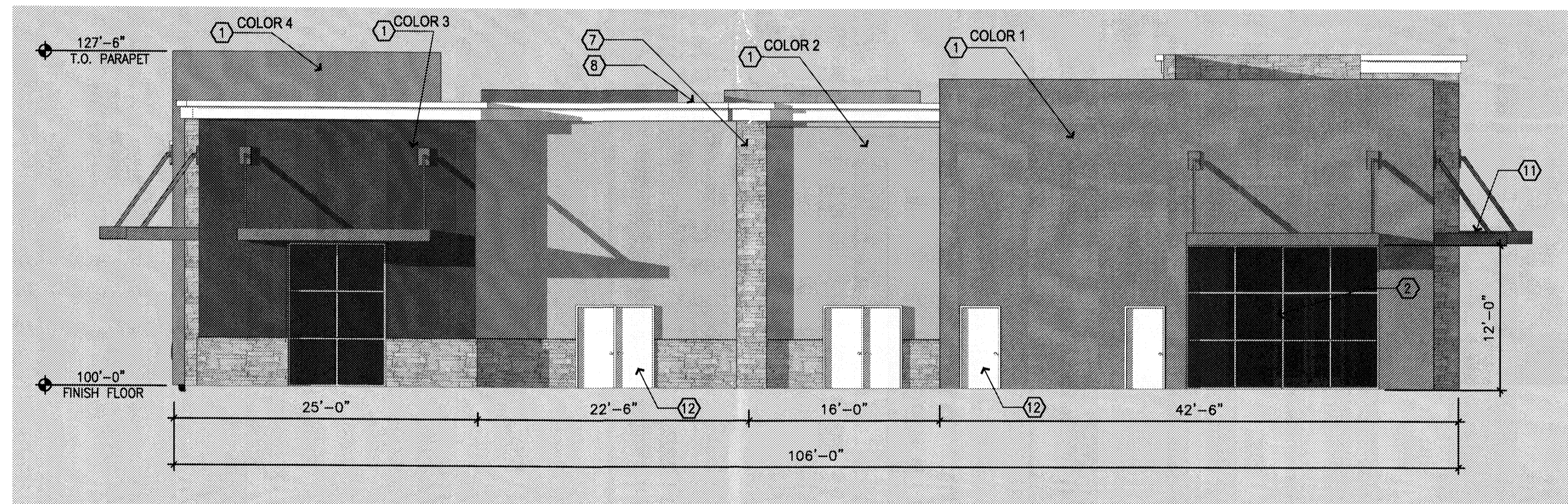




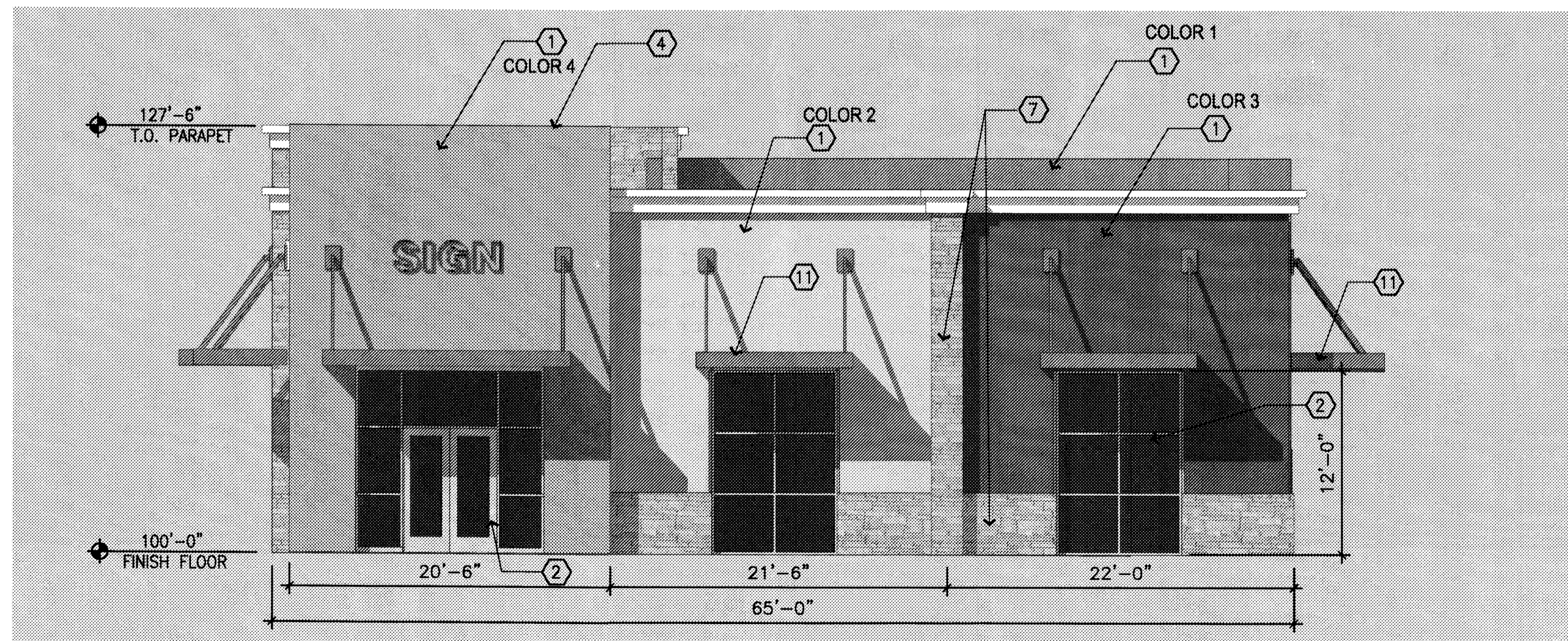
1 BUILDING ELEVATION - EAST  
1/8" = 1'-0"



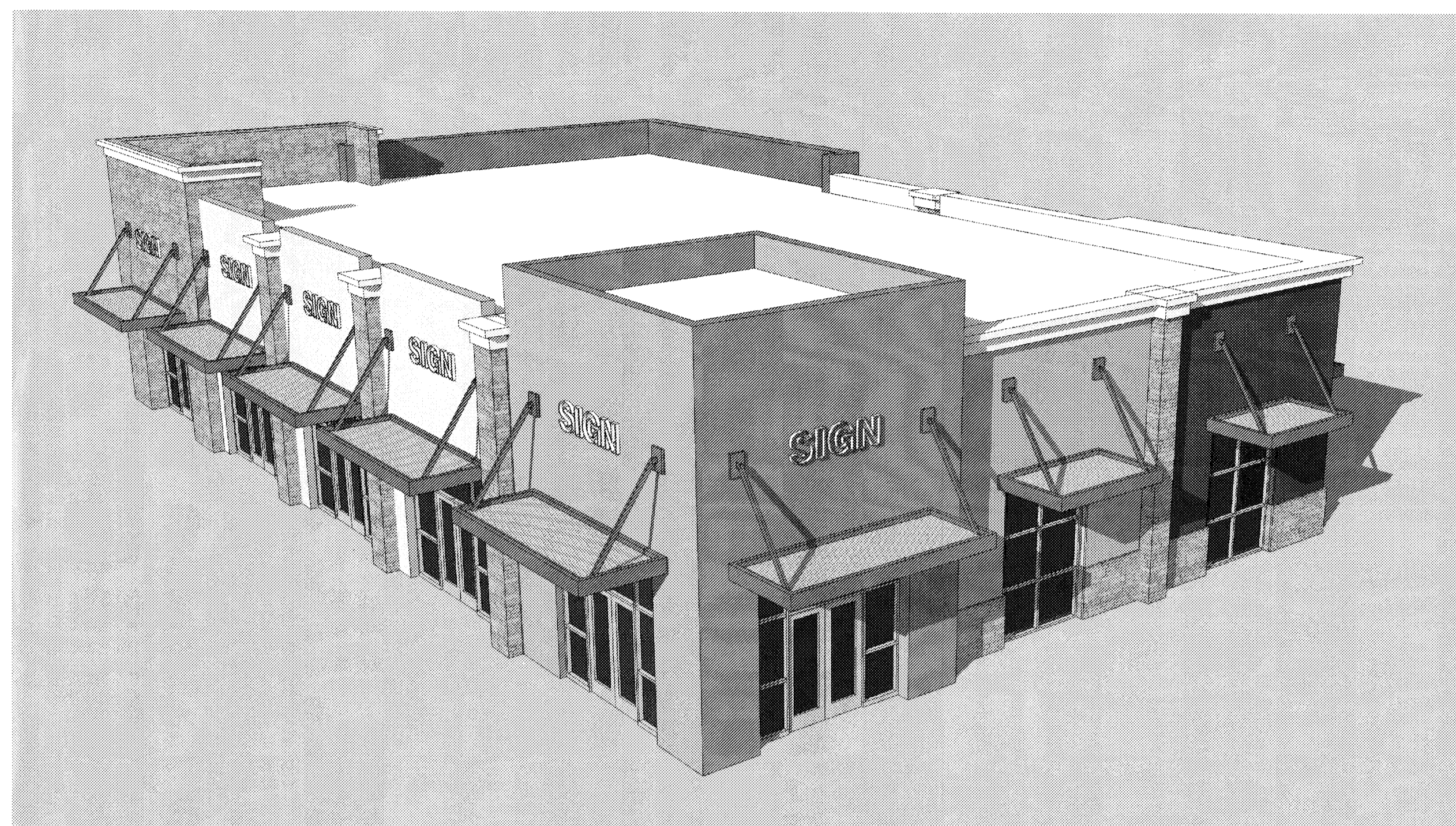
2 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



3 BUILDING ELEVATION - WEST  
1/8" = 1'-0"



4 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



5 BIRDSEYE VIEW - NORTHWEST

**STUCCO COLORS**

ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC  
 COLOR 1 - 1565 RIVER ROCK (light brown)  
 COLOR 2 - 827 CASA (light tan)  
 COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 6272 PLUM BROWN  
 COLOR 4 - 814 CACTUS FLOWER (light terra cotta)  
 COLOR 5 - 1614 MIST (off-white)

**ELEVATION NOTES**

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING, PAINT S/L Key Stone Grey
- 4 METAL COPING, PAINT, S/L 100B Alabaster
- 5 METAL ROOF, Satin Aluminum Finish.
- 6 BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 15% OF FACADE AREA PER O-1 ZONING STANDARDS. SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
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- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 369B
- 10 CANVAS AWNING, TO MATCH S/L 664B KUMQUAT
- 11 PAINTED STEEL TRELLIS, S/L TITI ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S/L KEY STONE GREY



6 EYE LEVEL VIEW - SOUTHWEST



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**Unser Crossing**  
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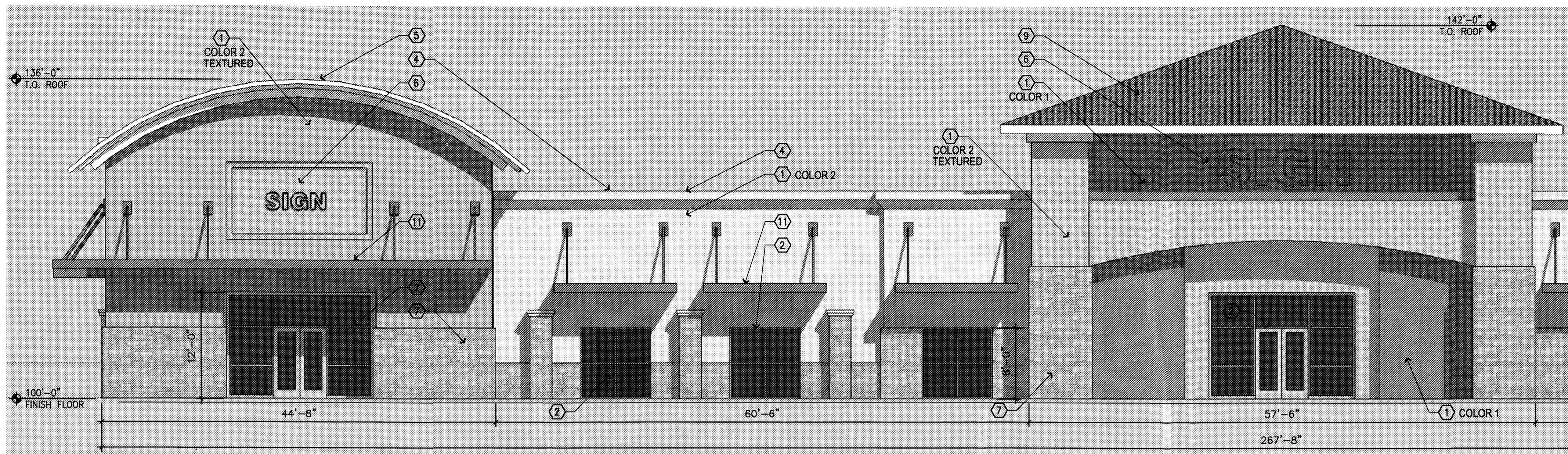
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Job Number \_\_\_\_\_  
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RETAIL BUILDING 5  
 ELEVATIONS

Scale \_\_\_\_\_





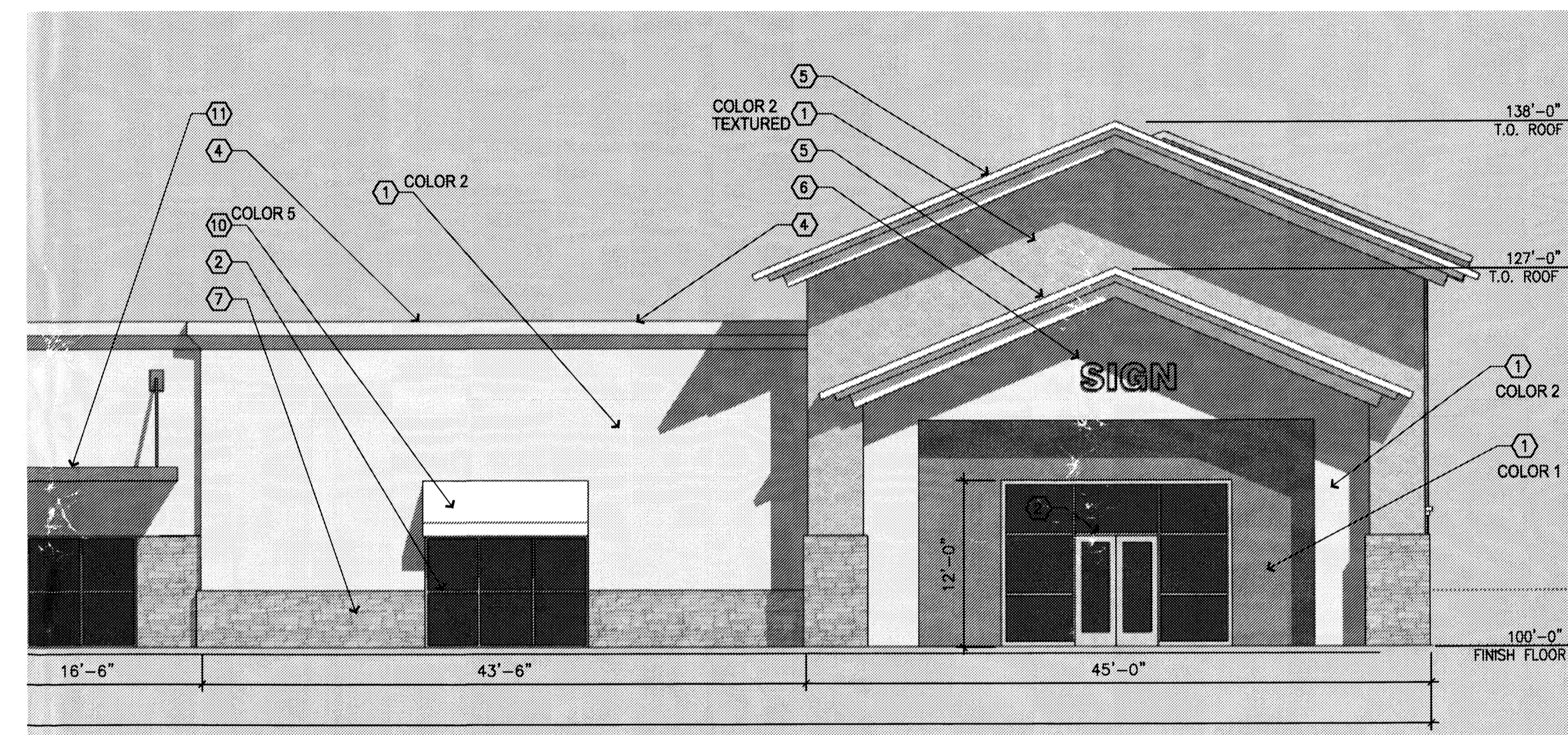
1 BUILDING ELEVATION - PARTIAL EAST  
1/8" = 1'-0"

### STUCCO COLORS

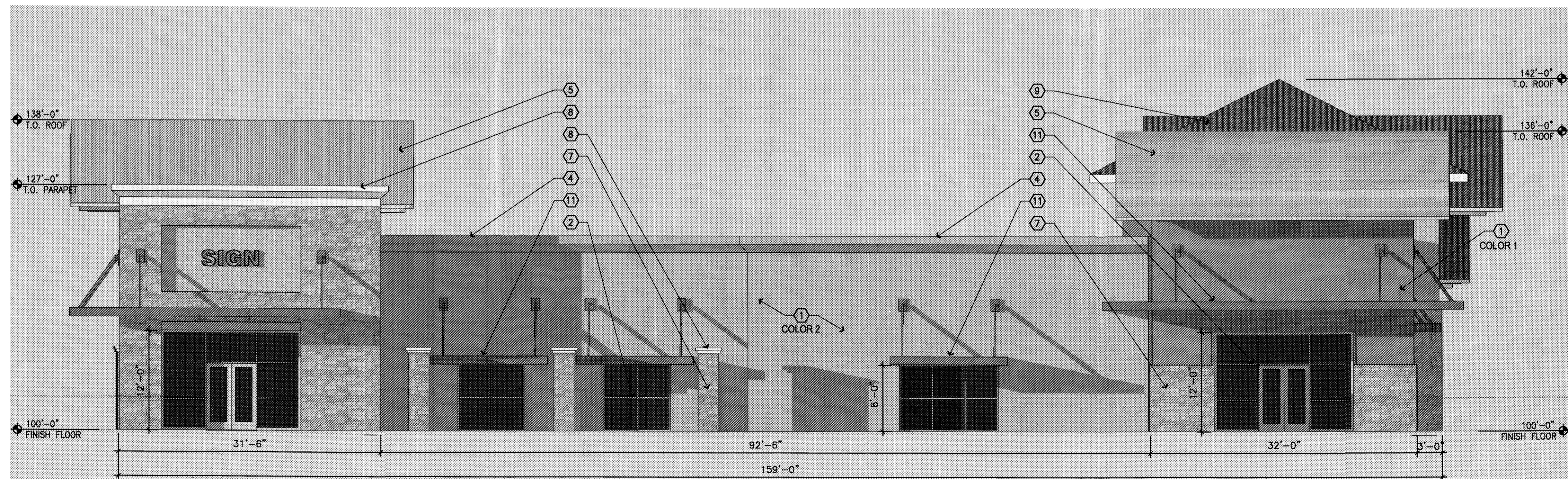
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 COLOR 4 - 814 CACTUS FLOYER (light terra cotta)  
 COLOR 5 - 1614 MIST (off-white)

### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING, PAINT S.V. Key Stone Grey
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- 8 STUCCO GORNICE, COLOR 5
- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 3648
- 10 CANVAS AWNING, TO MATCH S.V. 6648 KUMQUAT
- 11 PAINTED STEEL TRELLIS, S.V. TITTI ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S.V. KEY STONE GREY



2 BUILDING ELEVATION - PARTIAL EAST  
1/8" = 1'-0"



3 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"

Unser Crossing  
 Site Plan for Building Permit  
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Revised: June 17, 2008

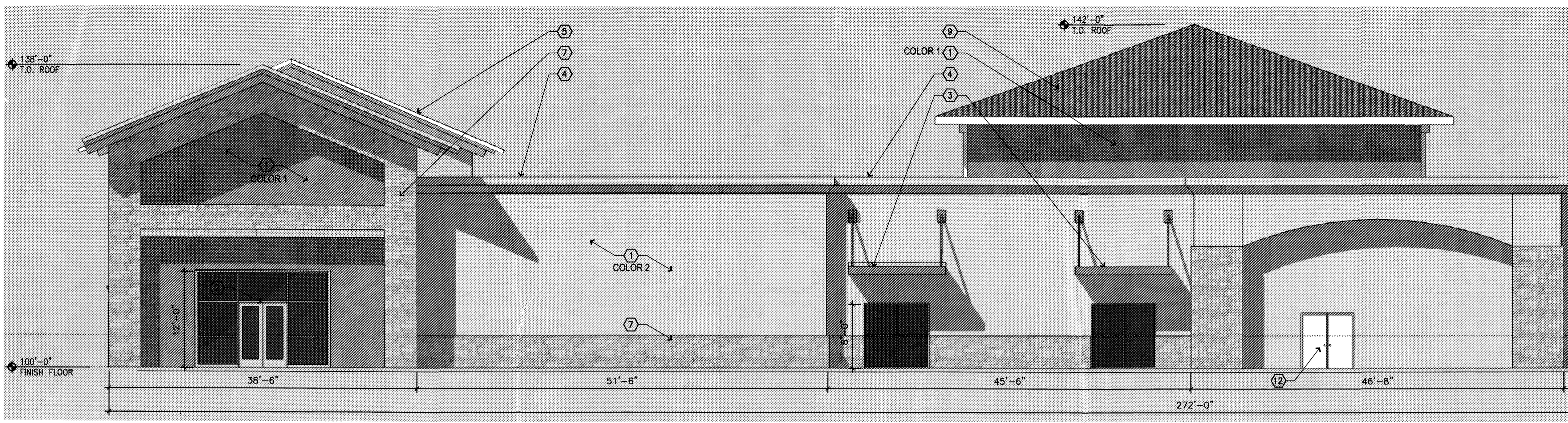
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 Checked \_\_\_\_\_  
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RETAIL BUILDING 6  
 ELEVATIONS

Scale \_\_\_\_\_



**Unser Crossing**  
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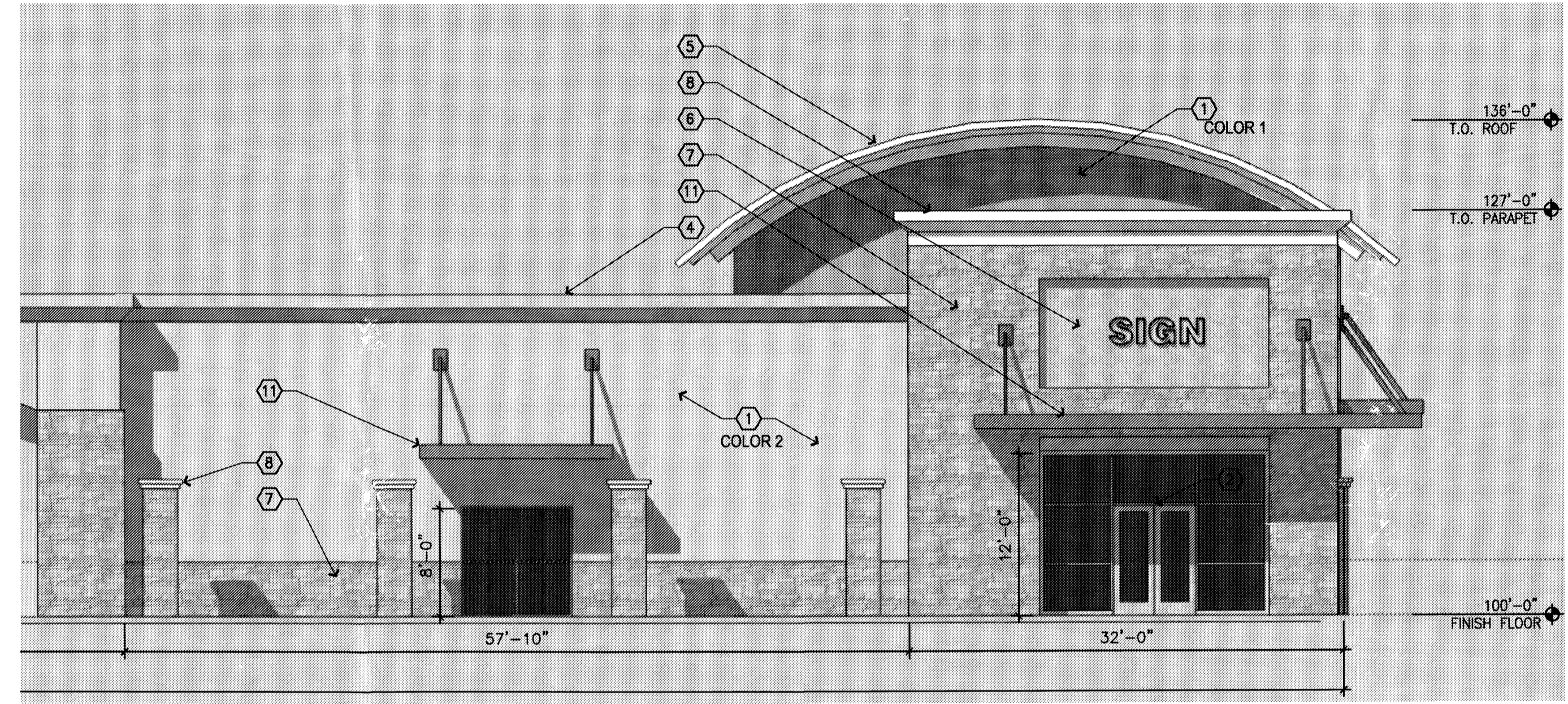
**1 BUILDING ELEVATION - PARTIAL WEST**  
 1/8" = 1'-0"

**STUCCO COLORS**

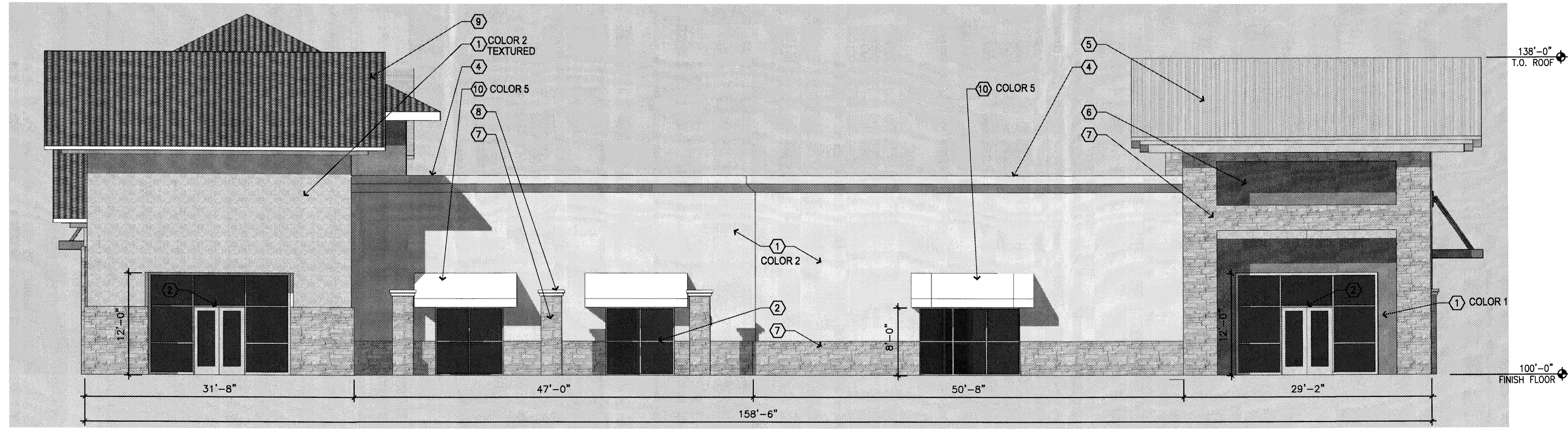
- ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC
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  - COLOR 2 - 827 CASA (light tan)
  - COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 6272 PLUM BROWN
  - COLOR 4 - 814 CACTUS FLOWER (light terra cotta)
  - COLOR 5 - 1614 MIST (off-white)

**ELEVATION NOTES**

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- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING, PAINT S.V. KEY STONE GREY
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- 12 PAINTED METAL DOOR AND FRAME, S.V. KEY STONE GREY



**2 BUILDING ELEVATION - PARTIAL WEST**  
 1/8" = 1'-0"



**3 BUILDING ELEVATION - NORTH**  
 1/8" = 1'-0"

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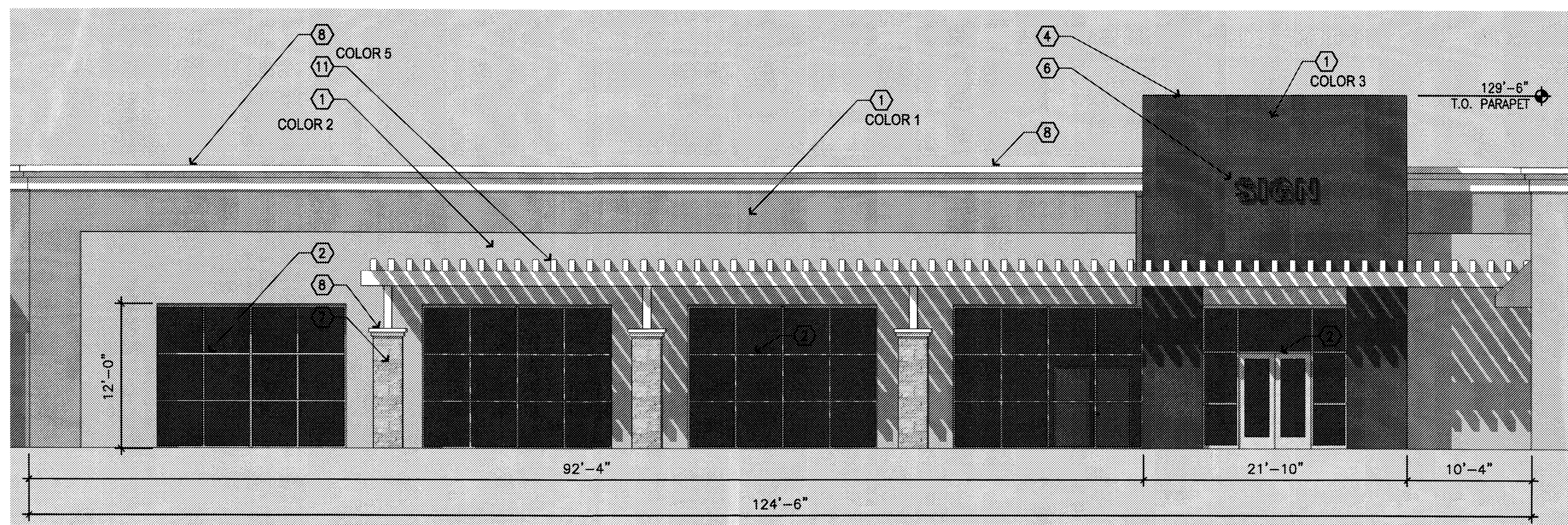
RETAIL BUILDING 6  
 ELEVATIONS

Scale \_\_\_\_\_









1 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"

### STUCCO COLORS

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 COLOR 1 - 1565 RIVER ROCK (light brown)  
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### ELEVATION NOTES

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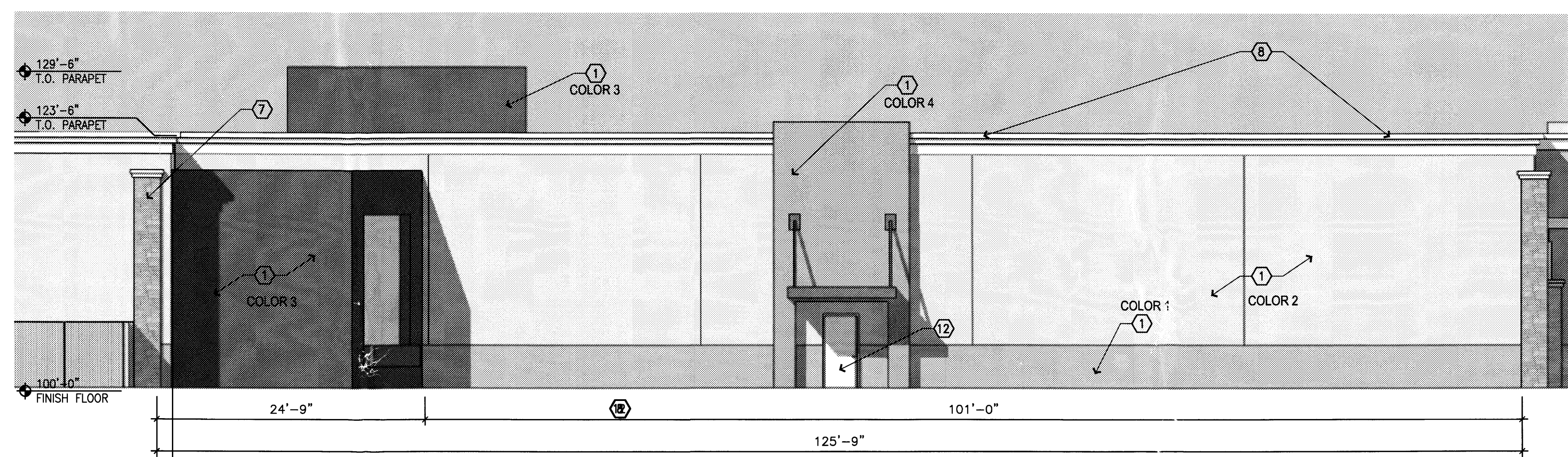
**DISA**  
 Darren Sowell  
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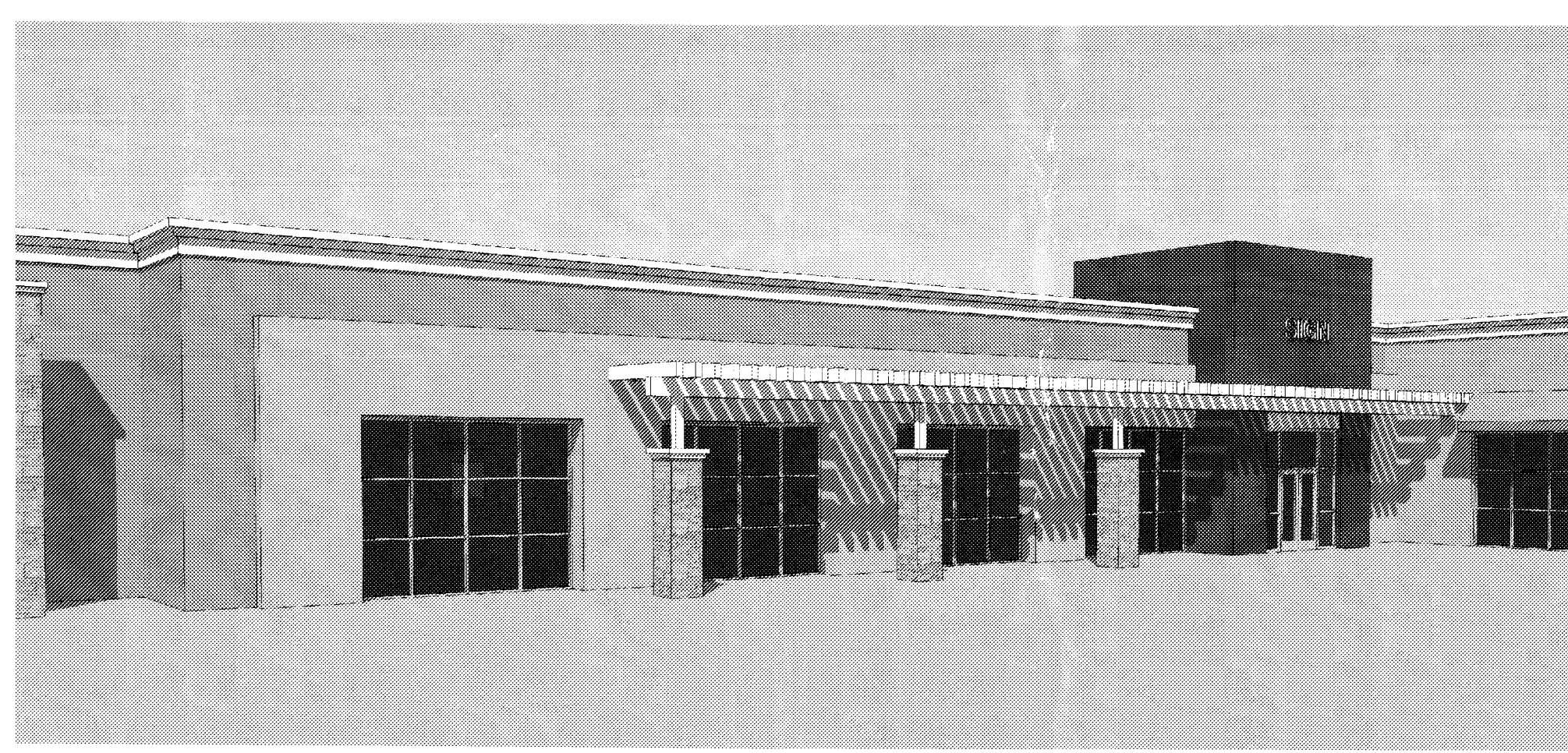
**Mitchell Associates, LLC**  
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 Albuquerque, NM 87110  
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 cary@mitchassociatesllc.com

**ARMSTRONG DEVELOPMENT**  
 PROPERTIES, INC.

**Unser Crossing**  
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 Albuquerque, New Mexico 87121



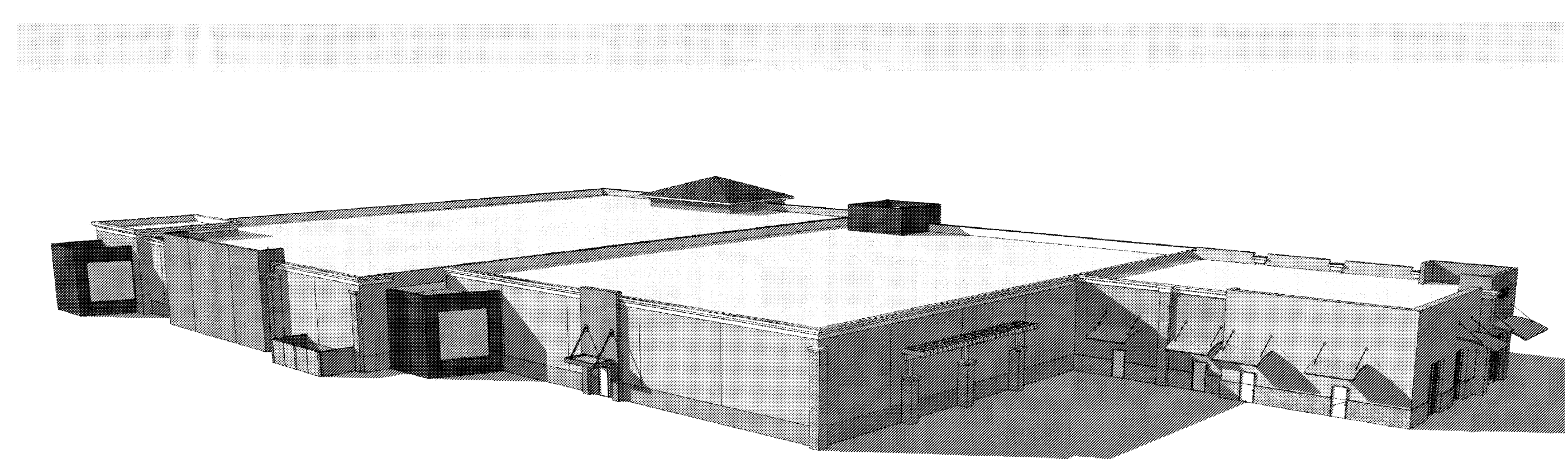
2 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



3 EYE LEVEL VIEW - NORTH



4 BIRDSEYE VIEW - NORTH (INCLUDING BUILDING C1)



5 BIRDSEYE VIEW - SOUTH (INCLUDING BUILDING C)

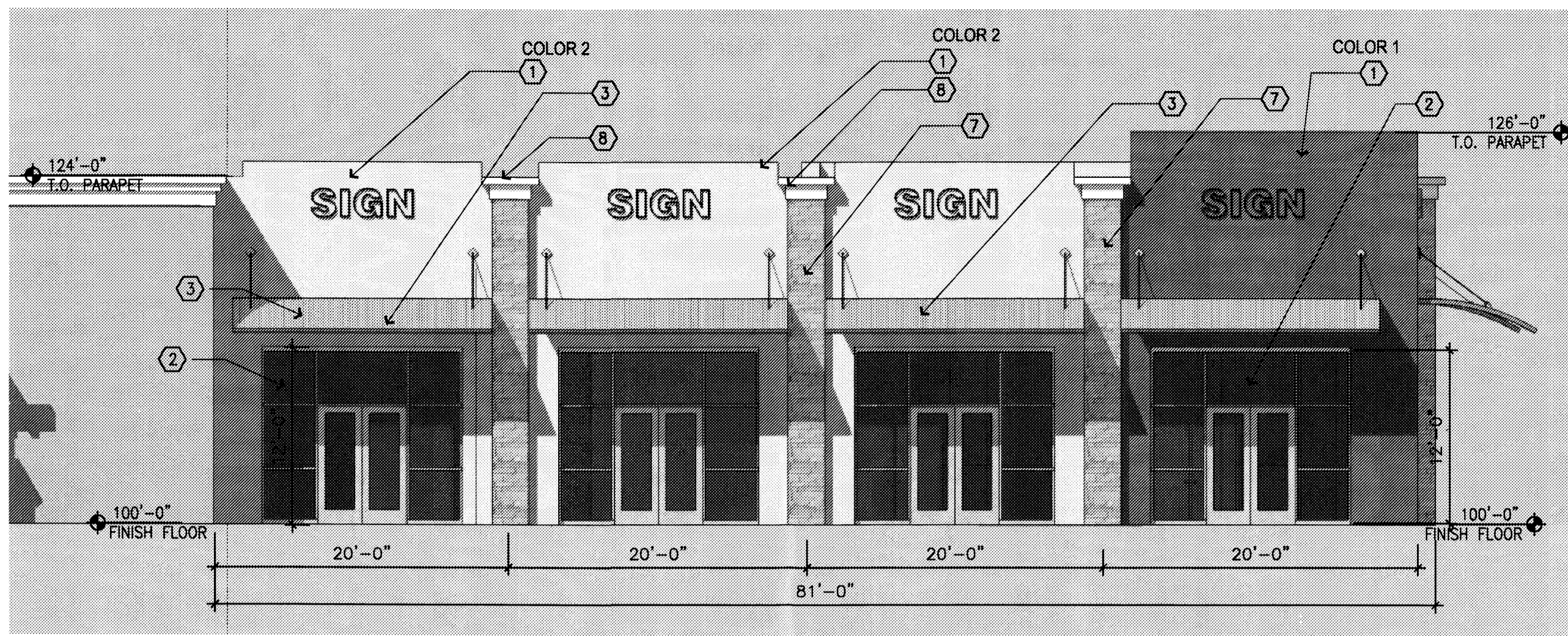
Revised: June 17, 2008

Job Number \_\_\_\_\_  
 Drawn By \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Issue Date April 3, 2008

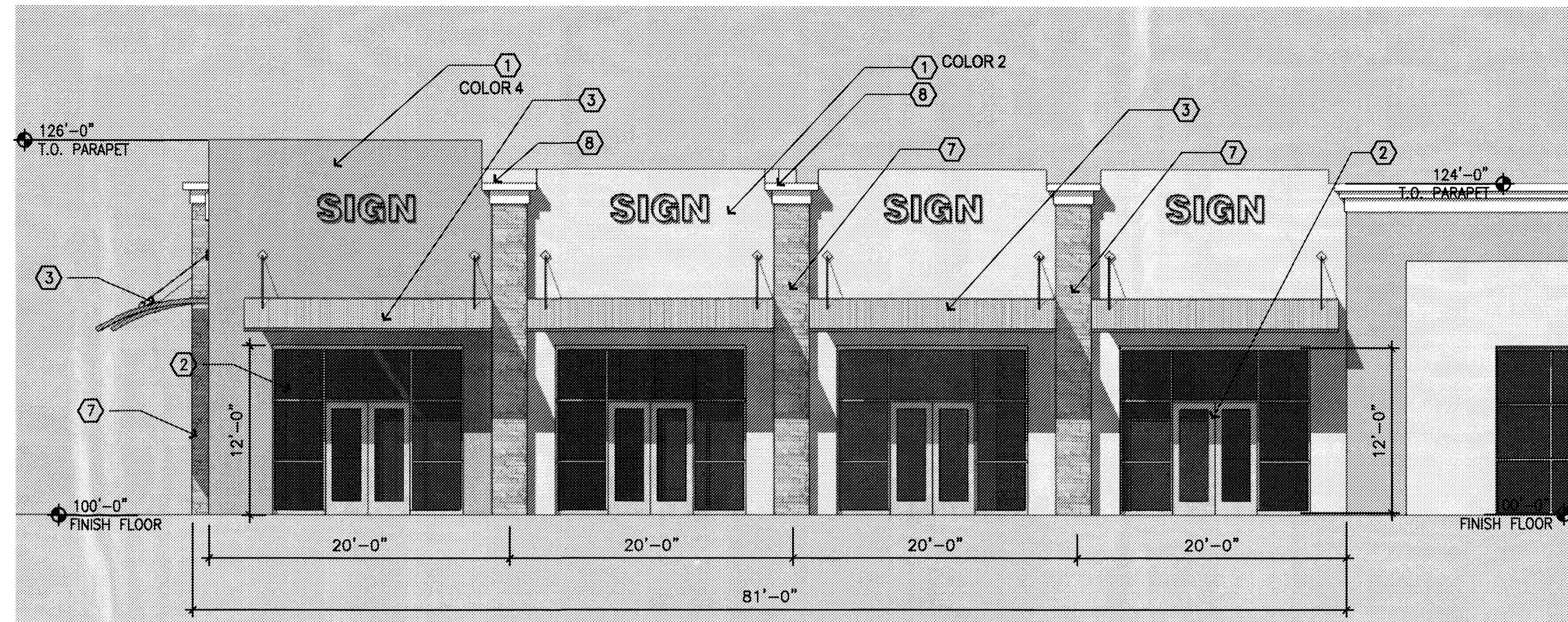
RETAIL BUILDING 7  
 ELEVATIONS

Scale \_\_\_\_\_

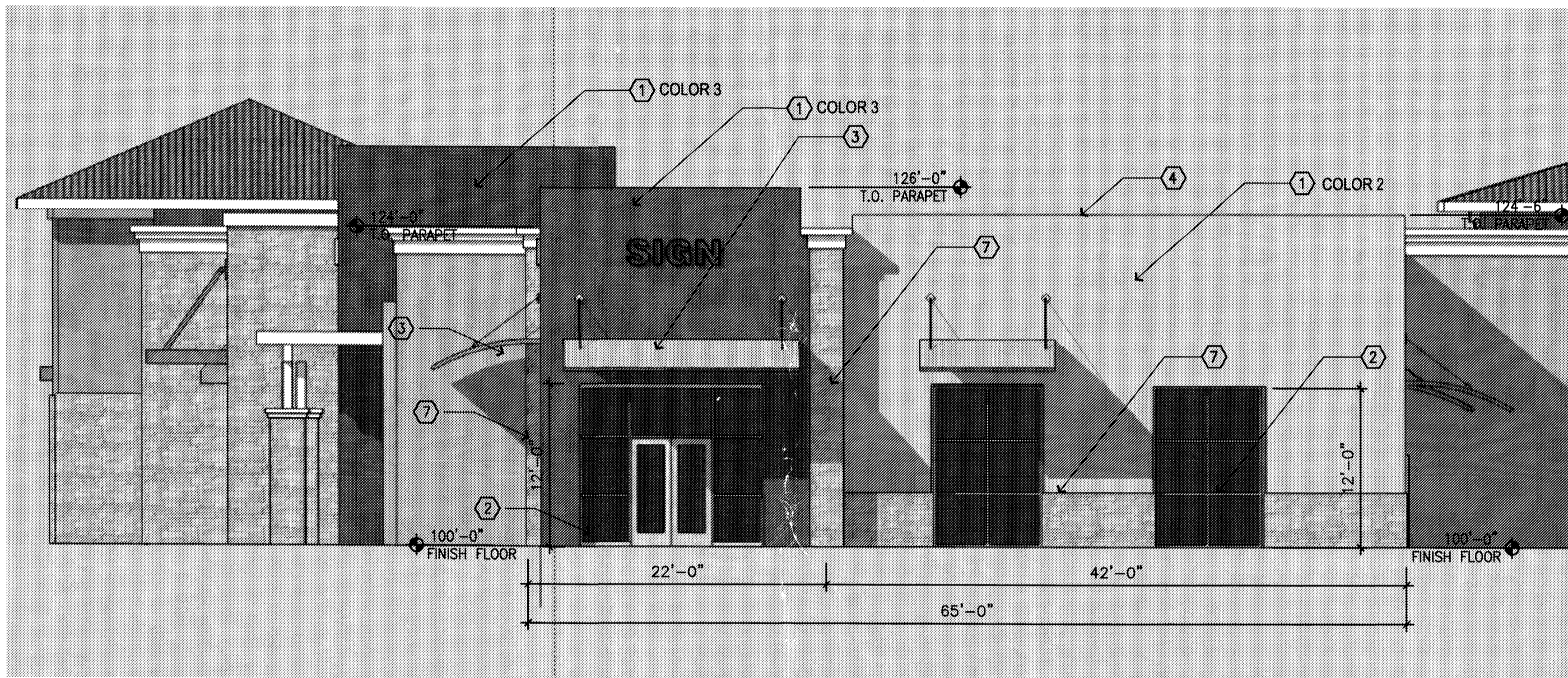




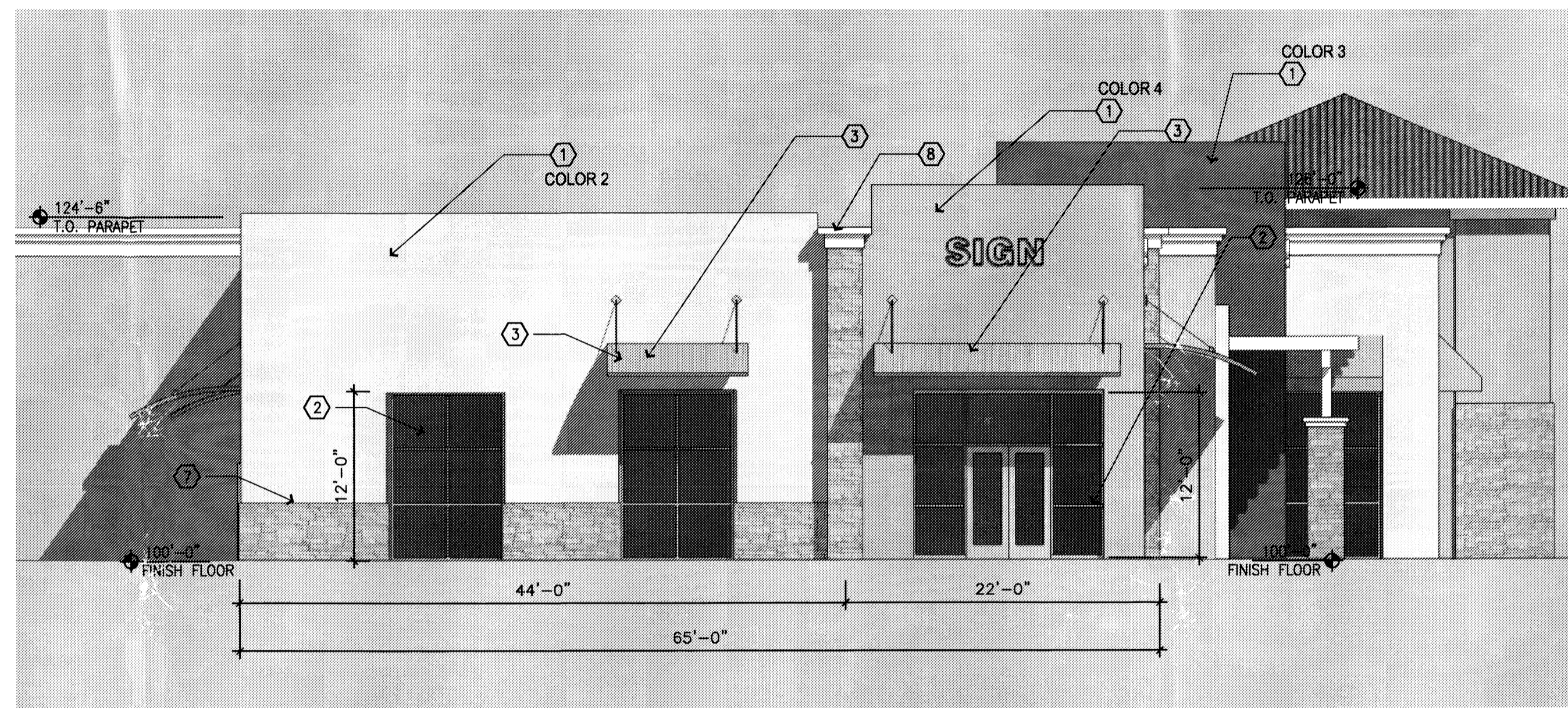
1 BUILDING ELEVATION - NORTH (BUILDING 7C-2)  
1/8" = 1'-0"



2 BUILDING ELEVATION - NORTH (BUILDING 7C)  
1/8" = 1'-0"



3 BUILDING ELEVATION - WEST (BUILDING 7C-2)  
1/8" = 1'-0"



4 BUILDING ELEVATION - EAST (BUILDING 7C)  
1/8" = 1'-0"



5 EYE LEVEL VIEW - NORTH (BUILDING 7C)

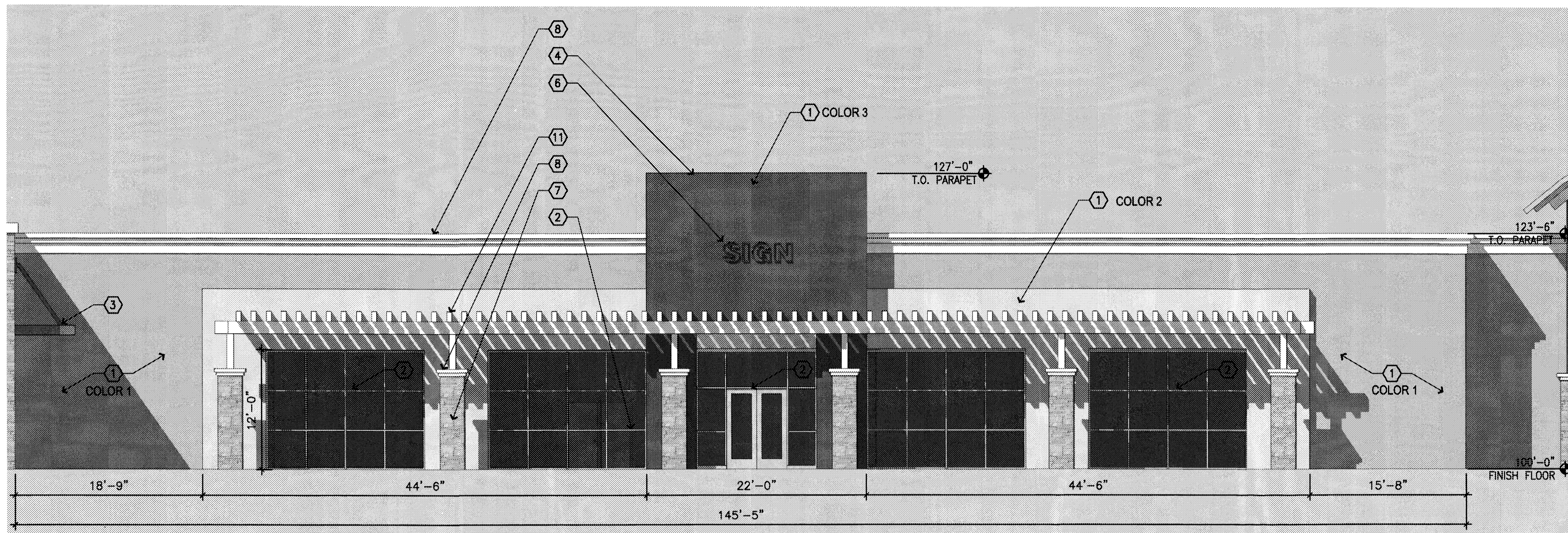
### STUCCO COLORS

- ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC
- COLOR 1 - 1565 RIVER ROCK (light brown)
  - COLOR 2 - 8271 CASA (light tan)
  - COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 6272 PLUM BROWN
  - COLOR 4 - 814 CACTUS FLOWER (light terra cotta)
  - COLOR 5 - 1614 MIST (off-white)

### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING, PAINT S.M. Key Stone Grey
- 4 METAL COPING, PAINT, S.M. 1008 Alabaster
- 5 METAL ROOF, Satin Aluminum finish.
- 6 BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 1.5% OF FACADE AREA PER O-1 ZONING STANDARDS, SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
- 7 STONE VENEER - Canyon Rock LedgeStone manufactured stone veneer
- 8 STUCCO CORNICE, COLOR 5
- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 3648
- 10 CANVAS AWNING, TO MATCH S.M. 6648 KUMQUAT
- 11 PAINTED STEEL TRELLIS, S.M. 1111 ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S.M. KEY STONE GREY





1 BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



2 BIRDSEYE VIEW - NORTH (INCLUDING BUILDINGS 7C-2 AND D)



3 EYE LEVEL VIEW - NORTH (INCLUDING BUILDINGS 7C-2 AND D)

### STUCCO COLORS

ALL COLORS ARE AS MANUFACTURED BY EL REY ACRYLIC  
 COLOR 1 - 1565 RIVER ROCK (light brown)  
 COLOR 2 - 8271 CASA (light tan)  
 COLOR 3 - CUSTOM COLOR TO MATCH SHERWIN WILLIAMS 6212 FLUM BROWN  
 COLOR 4 - 814 CACTUS FLOWER (light terra cotta)  
 COLOR 5 - 1614 MST (off-white)

### ELEVATION NOTES

- 1 STUCCO FINISH
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING, PAINT S.M. Key Stone Grey
- 4 METAL COPING, PAINT, S.M. TOOB Alabaster
- 5 METAL ROOF, Satin Aluminum Finish.
- 6 BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 1.5% OF FACADE AREA PER C-1 ZONING STANDARDS, SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
- 7 STONE VENEER - Canyon Rock Ledgestone manufactured stone veneer
- 8 STUCCO CORNICE, COLOR 5
- 9 CONCRETE TILE ROOF - EAGLE ROOFING, CAPISTRANO 364B
- 10 CANVAS AWNINGS, TO MATCH S.M. 664B KUMQUAT
- 11 PAINTED STEEL TRELLIS, S.M. TITTI ROOT BEER FLOAT
- 12 PAINTED METAL DOOR AND FRAME, S.M. KEY STONE GREY



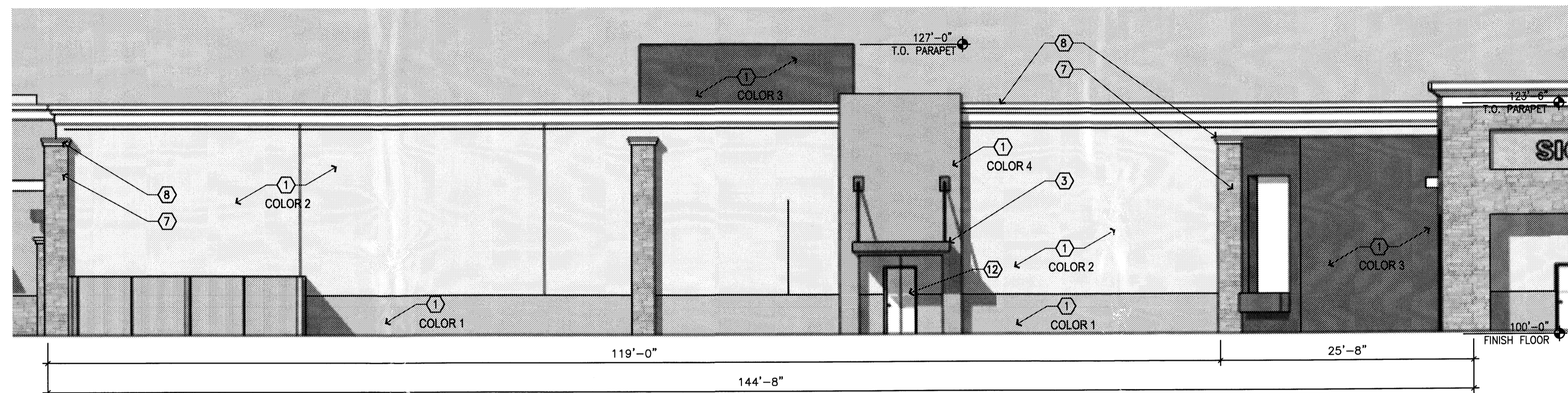
Darren Sowell  
 ARCHITECTS  
 4700 Lincoln N.E., Suite 111  
 Albuquerque, N.M. 87109  
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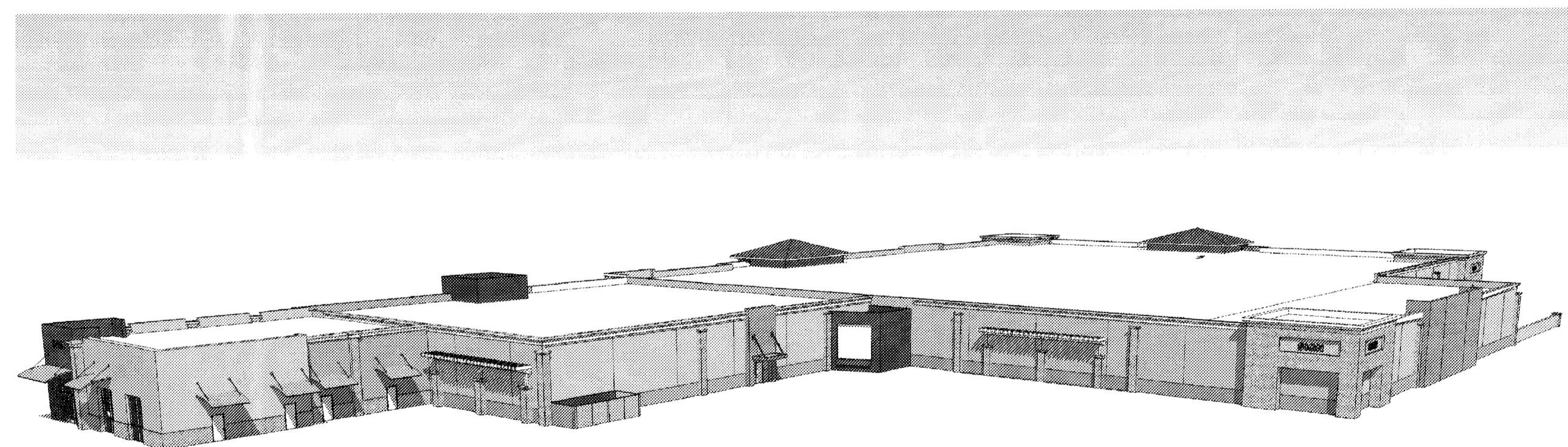
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 Albuquerque, NM 87110  
 Phone: (505) 836-6086  
 cary@mitchellassociatesllc.com



4 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



5 BIRDSEYE VIEW - SOUTH (INCLUDING BUILDINGS 7C-2 AND D)

Unser Crossing  
 Site Plan for Building Permit  
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Revised: June 17, 2008

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 Drawn By \_\_\_\_\_  
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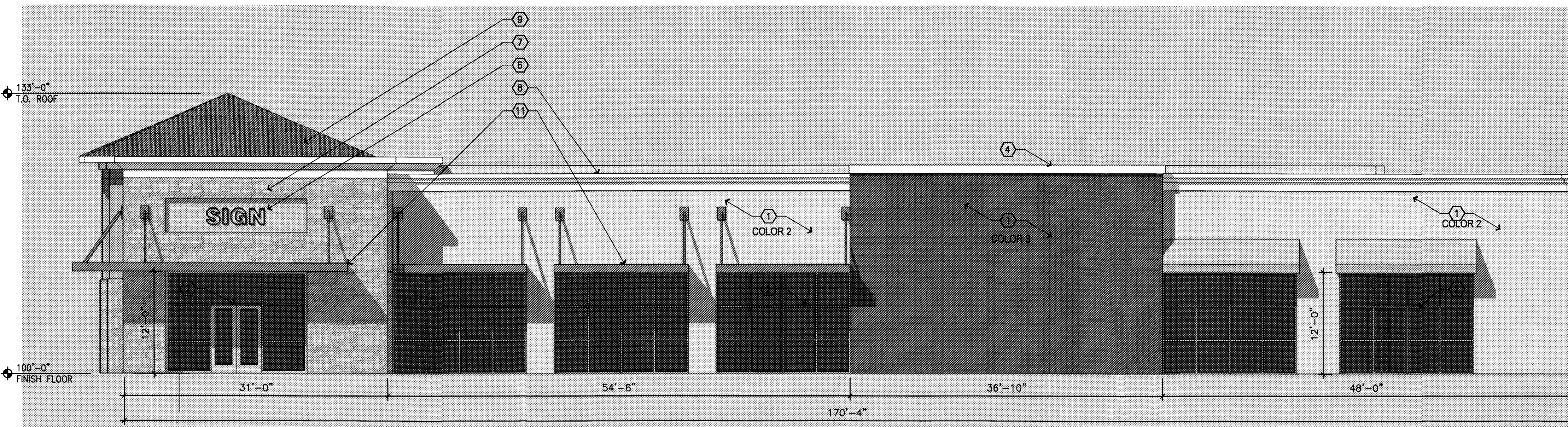
RETAIL BUILDING 7  
 ELEVATIONS

Scale \_\_\_\_\_

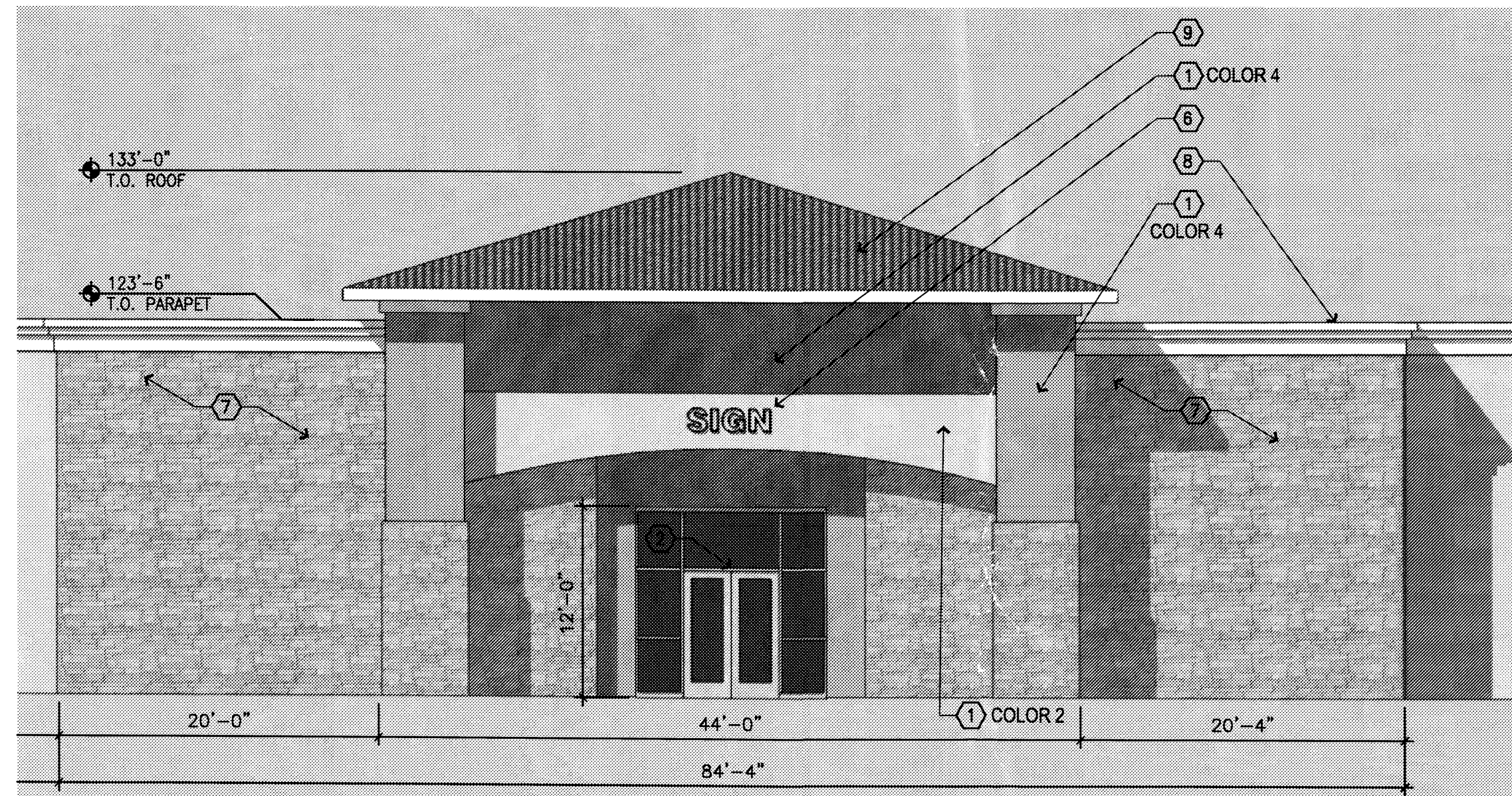
A-107D

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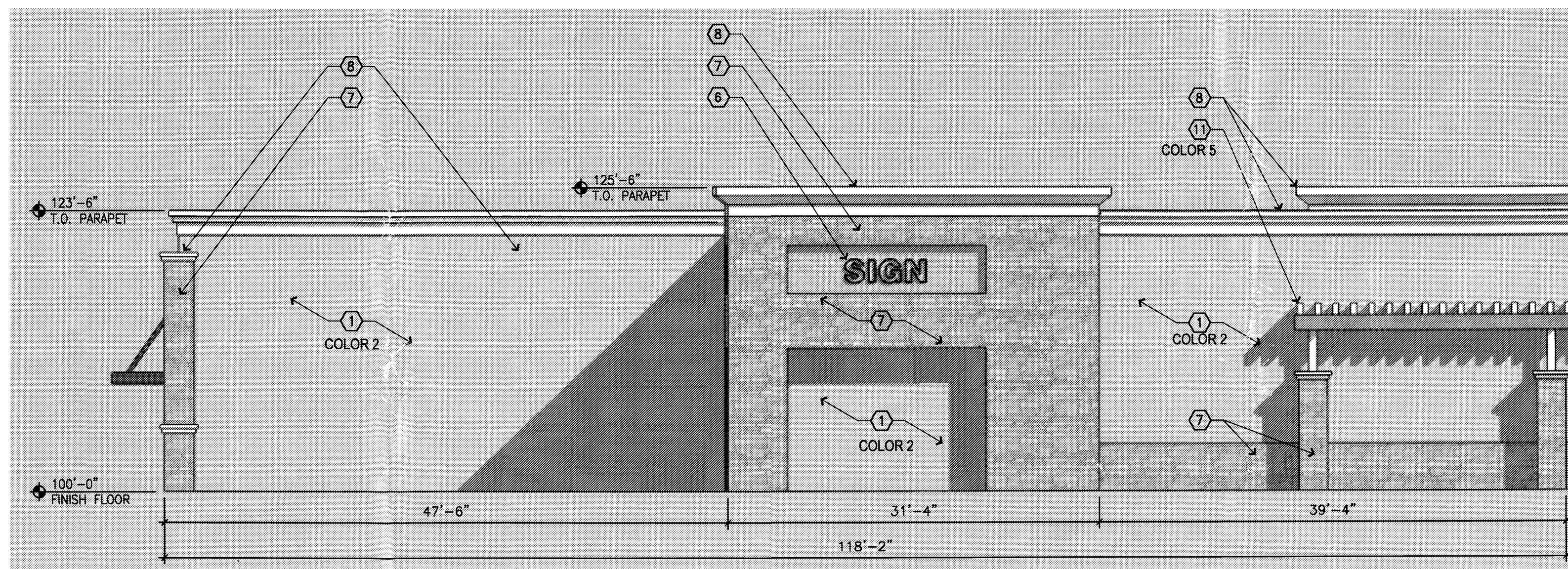




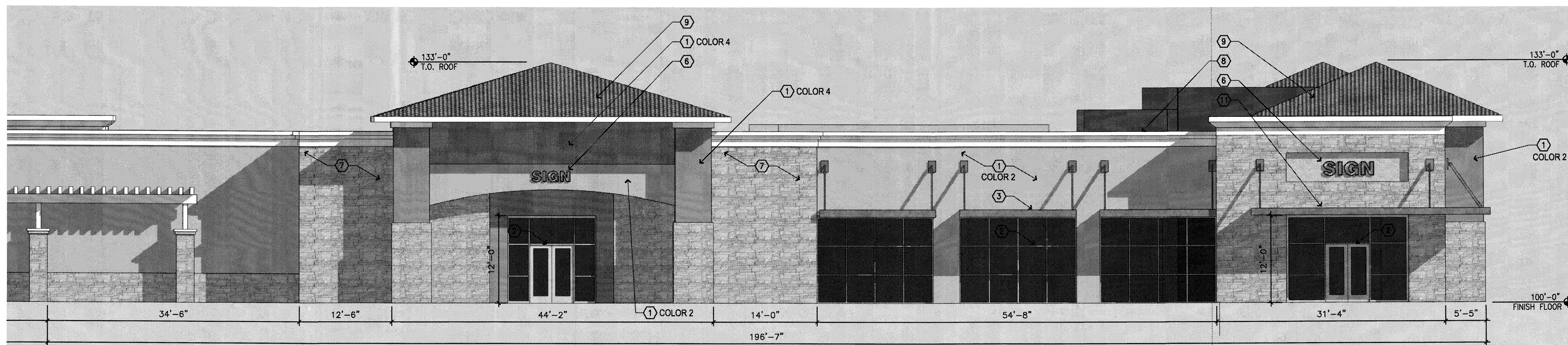
1 BUILDING ELEVATION - PARTIAL NORTH  
1/8" = 1'-0"



2 BUILDING ELEVATION - PARTIAL NORTH  
1/8" = 1'-0"



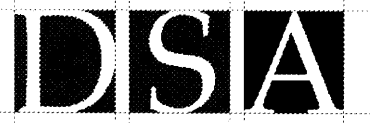
4 BUILDING ELEVATION - PARTIAL EAST  
1/8" = 1'-0"



3 BUILDING ELEVATION - PARTIAL EAST  
1/8" = 1'-0"

## ELEVATION NOTES

SEE SHEET A-106A FOR KEYED NOTES



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Site Plan for Building Permit  
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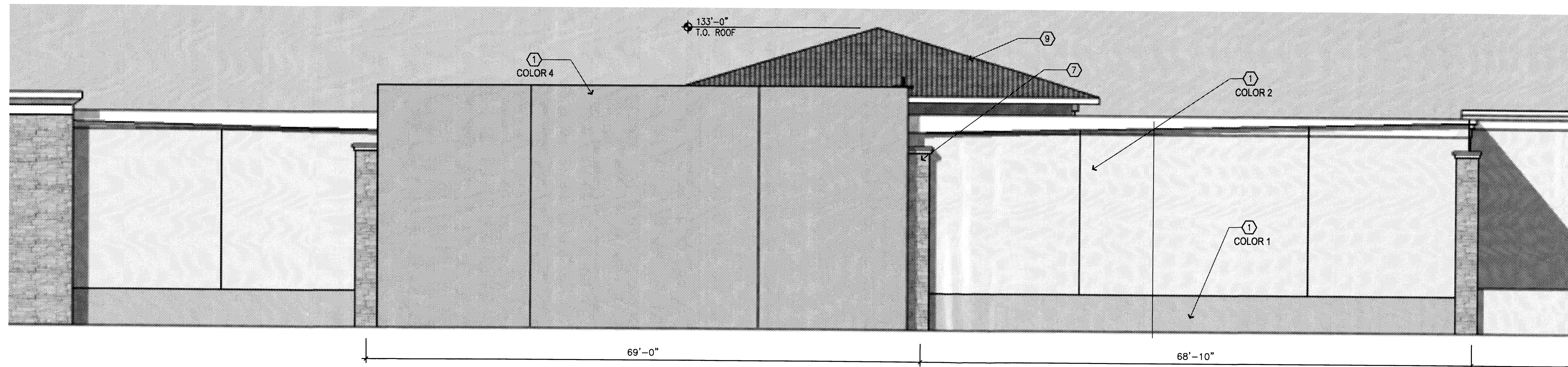
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Drawn By \_\_\_\_\_  
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Issue Date April 3, 2008

RETAIL BUILDING 7  
ELEVATIONS

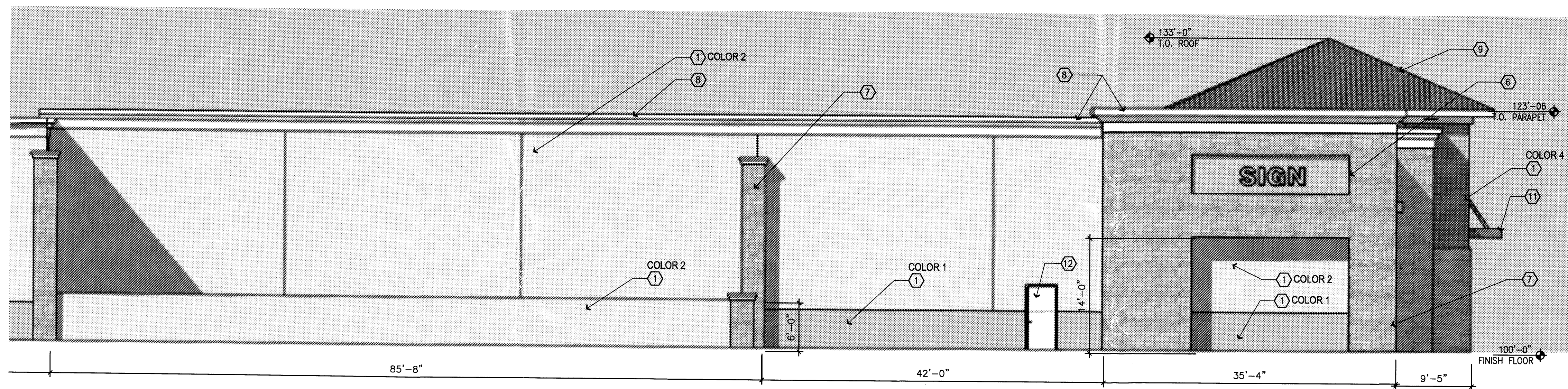
Scale \_\_\_\_\_

A-107E-1  
∞ OF ∞





1 BUILDING ELEVATION - PARTIAL SOUTH  
1/8" = 1'-0"



2 BUILDING ELEVATION - PARTIAL SOUTH  
1/8" = 1'-0"

ELEVATION NOTES

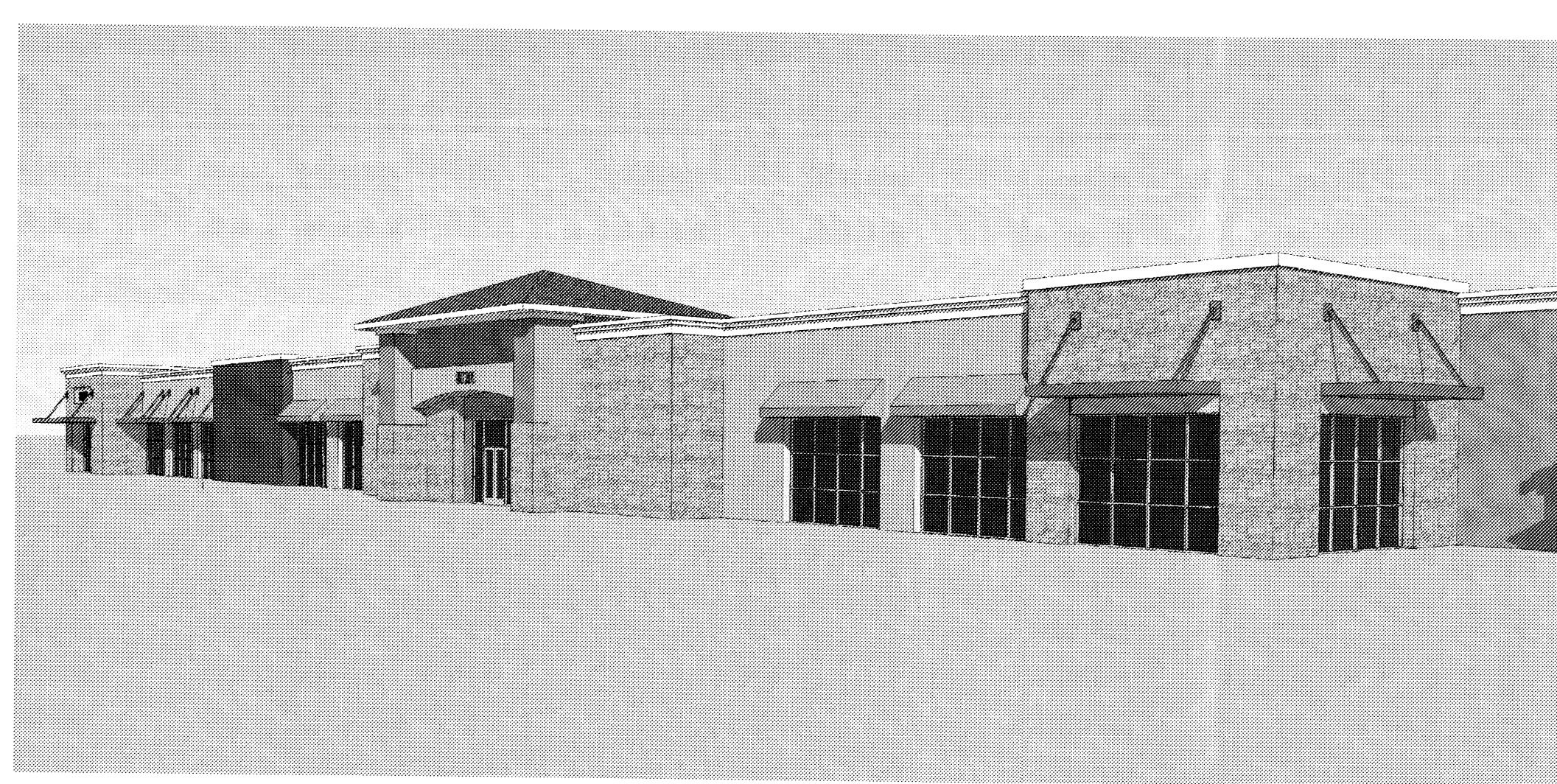
SEE SHEET A-106A FOR KEYED NOTES

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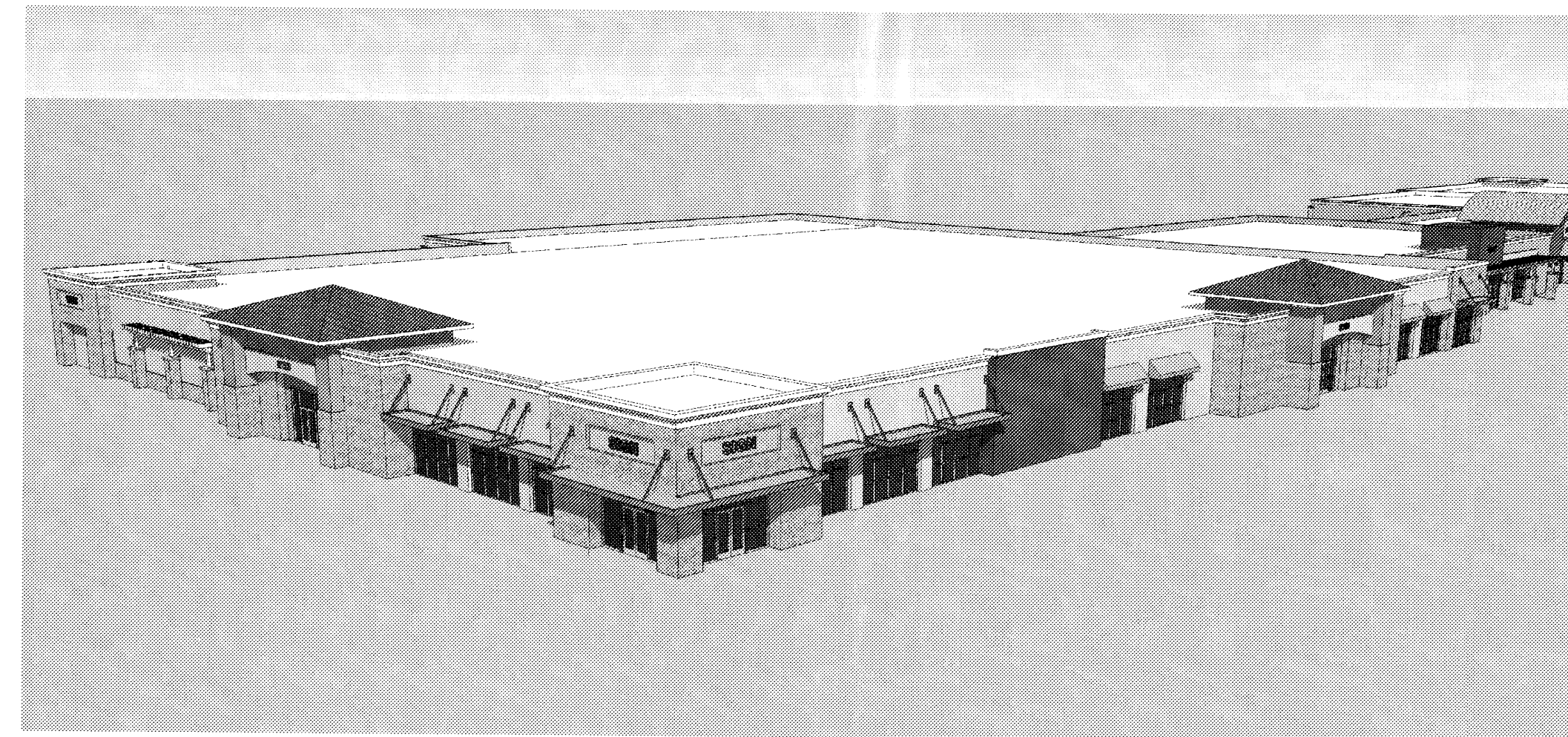
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PROPERTIES, INC.

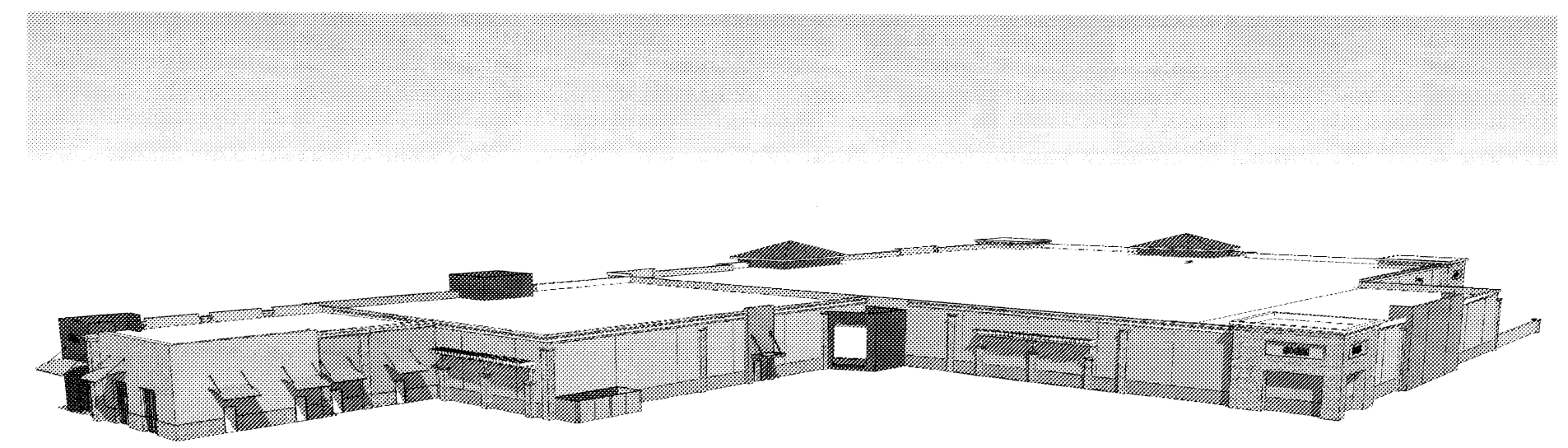
Unser Crossing  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
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3 EYE LEVEL VIEW - NORTH



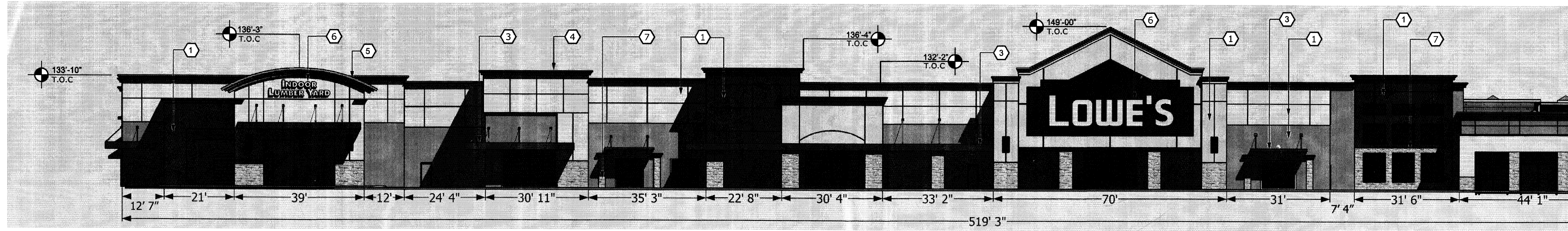
4 BIRDSEYE VIEW - NORTH



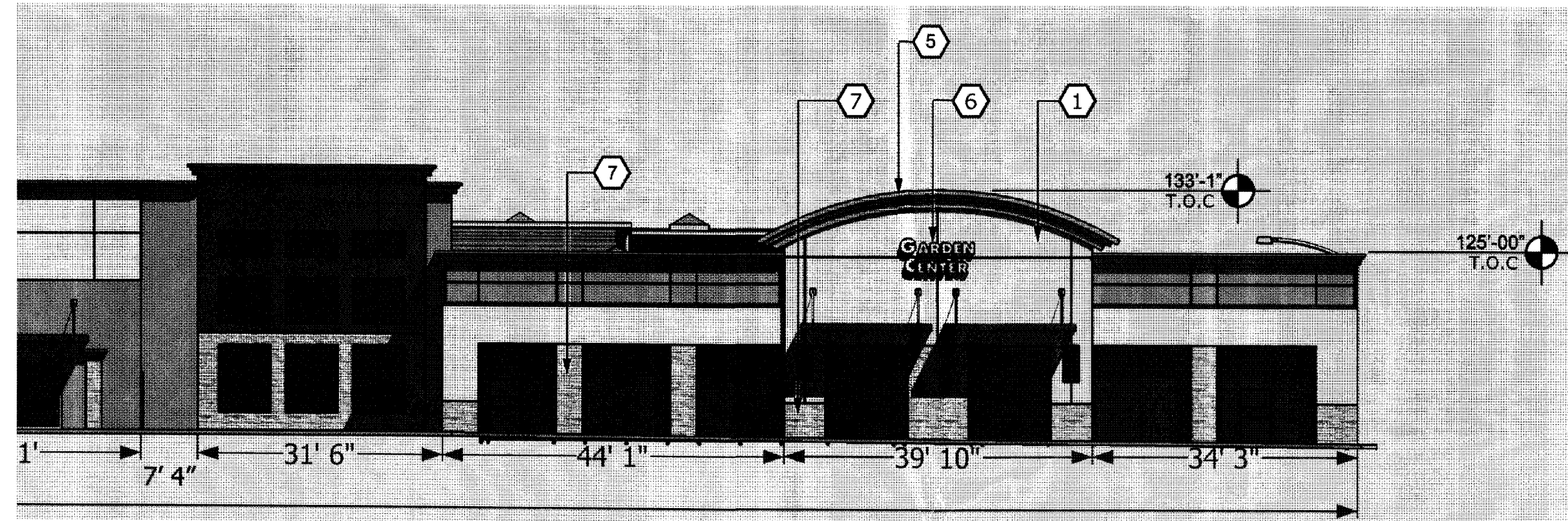
5 BIRDSEYE VIEW - SOUTH

Revised: June 17, 2008  
\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_  
Job Number \_\_\_\_\_  
Drawn By \_\_\_\_\_  
Checked \_\_\_\_\_  
Issue Date April 3, 2008  
RETAIL BUILDING 7  
ELEVATIONS  
Scale \_\_\_\_\_

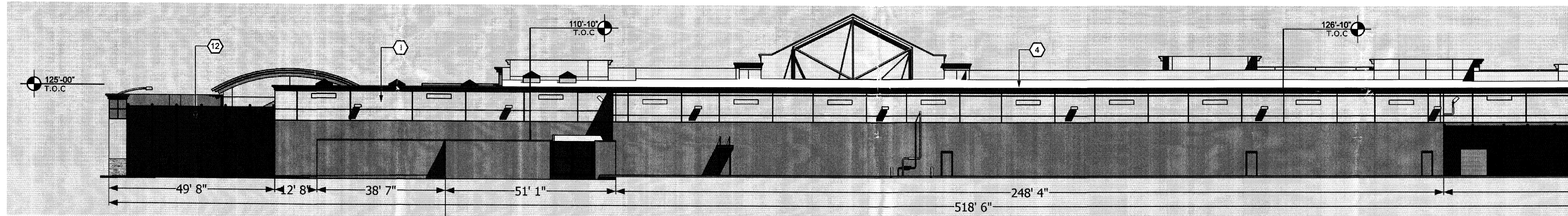




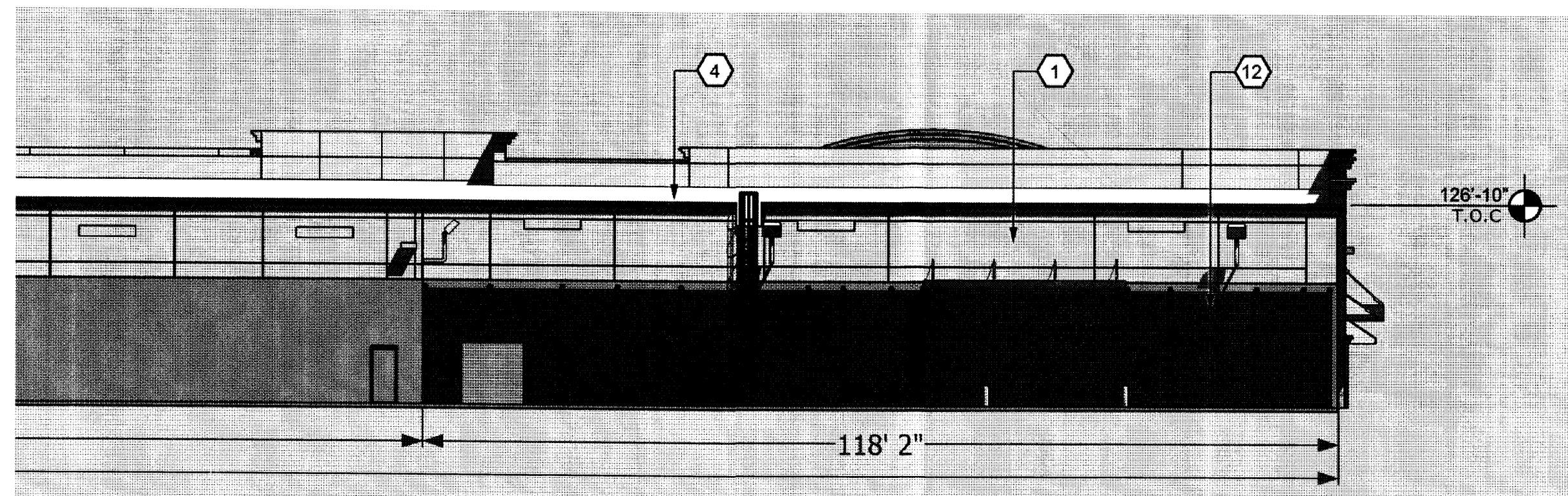
1 Building Elevation - Front  
1/16" = 1'-0"



1 Building Elevation - Front  
1/16" = 1'-0"



2 Building Elevation - Rear  
1/16" = 1'-0"



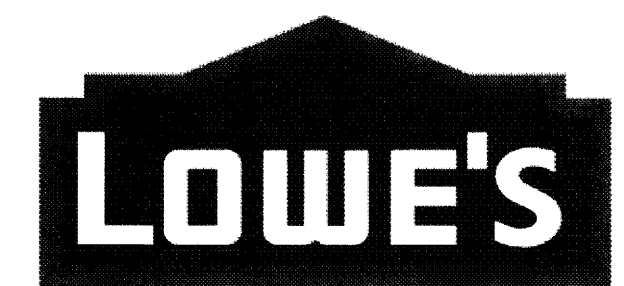
2 Building Elevation - Rear  
1/16" = 1'-0"

### ELEVATION NOTES

- ① STUCCO FINISH - COLOR SIMILAR TO THAT SHOWN
- ② CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- ③ METAL AWNING
- ④ METAL COPING
- ⑤ METAL ROOF
- ⑥ BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 7.5% OF FACADE AREA PER 0-1 ZONING STANDARDS, SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
- ⑦ STONE VENEER - COLOR AND TEXTURE SIMILAR TO THAT SHOWN
- ⑩ CANVAS AWNING
- ⑪ PAINTED STEEL TRELLIS
- ⑫ TUBE STEEL FENCE - COLOR SIMILAR TO THAT SHOWN

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PROPERTIES, INC.

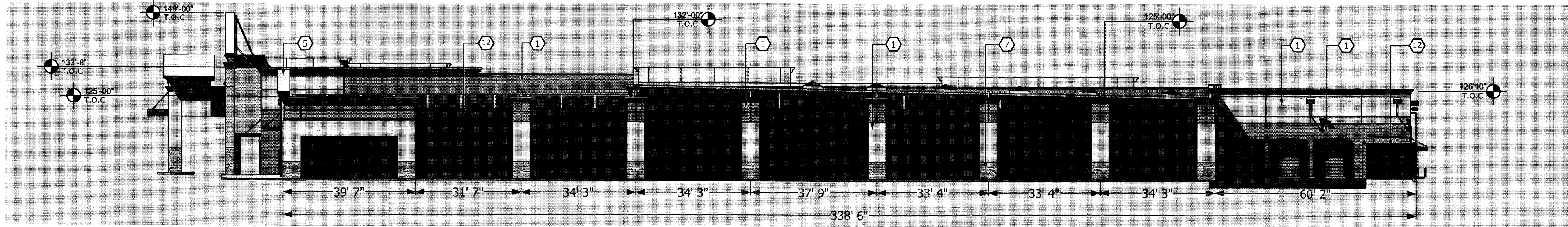
**Unser Crossing**  
**Site Plan for Building Permit**  
 Central Avenue and Unser Boulevard  
 Albuquerque, New Mexico 87121

Job Number \_\_\_\_\_  
 Drawn By \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Issue Date April 3, 2008

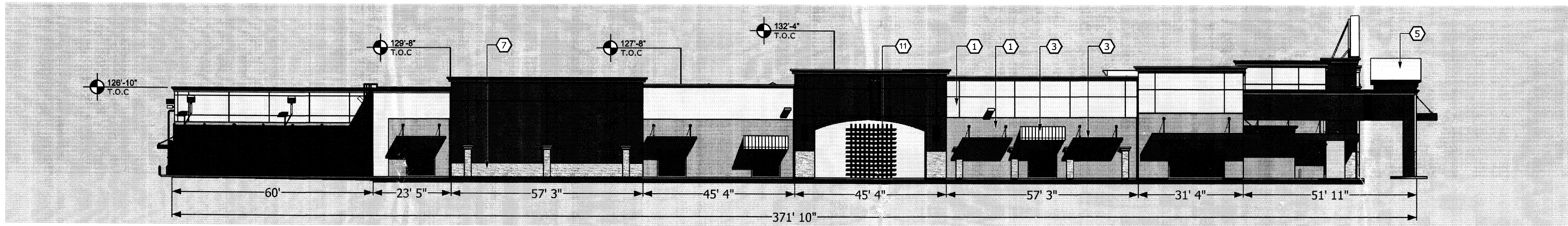
Scale \_\_\_\_\_

**A-108A**  
OF \_\_\_\_\_





3 Building Elevation - Right  
1/16" = 1'-0"



4 Building Elevation - Left  
1/16" = 1'-0"

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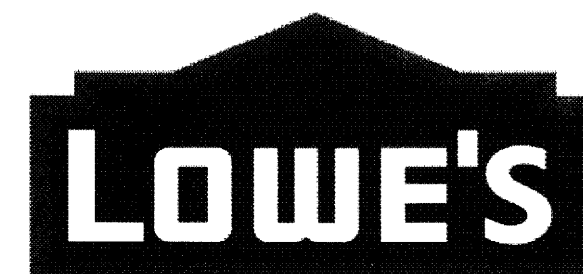
**ARMSTRONG DEVELOPMENT**  
PROPERTIES, INC.

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**ELEVATION NOTES**

- 1 STUCCO FINISH - COLOR SIMILAR TO THAT SHOWN
- 2 CLEAR ANODIZED ALUMINUM STOREFRONT, TYPICAL
- 3 METAL AWNING
- 4 METAL COPING
- 5 METAL ROOF
- 6 BUILDING SIGN - SIGNAGE AREA NOT TO EXCEED 7.5% OF FACADE AREA PER 0-1 ZONING STANDARDS. SIGN DIMENSION WILL BE SIMILAR TO THAT SHOWN.
- 7 STONE VENEER - COLOR AND TEXTURE SIMILAR TO THAT SHOWN
- 10 CANVAS AWNING
- 11 PAINTED STEEL TRELIS
- 12 TUBE STEEL FENCE - COLOR SIMILAR TO THAT SHOWN

Job Number \_\_\_\_\_  
 Drawn By \_\_\_\_\_  
 Checked \_\_\_\_\_  
 Issue Date April 3, 2008

Scale \_\_\_\_\_

**A-108B**

OF





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ARCHITECTS

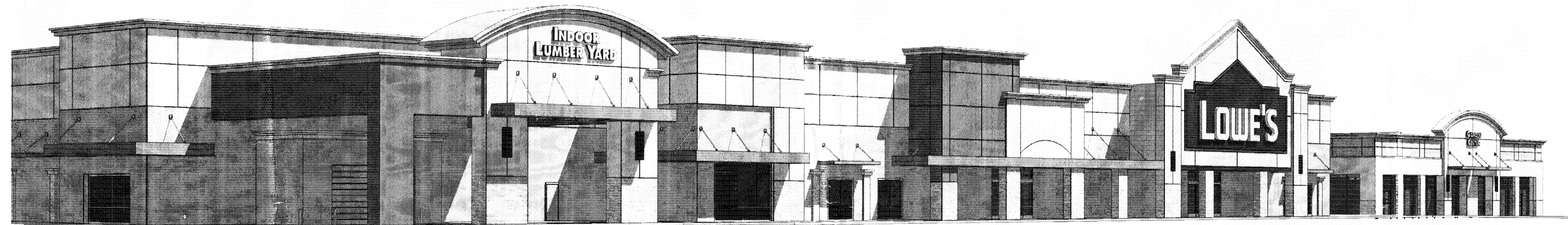
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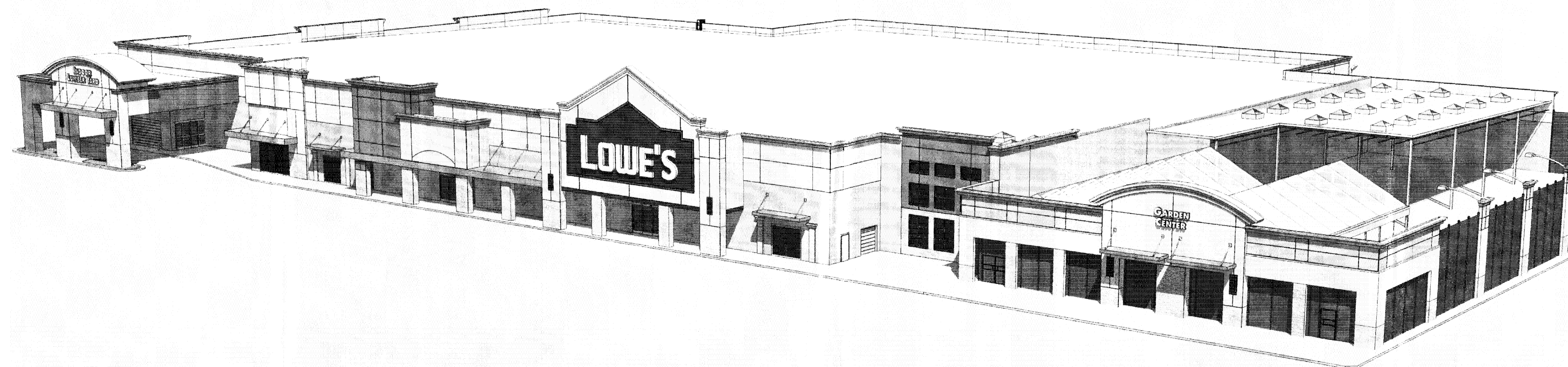
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5 Eye Level View

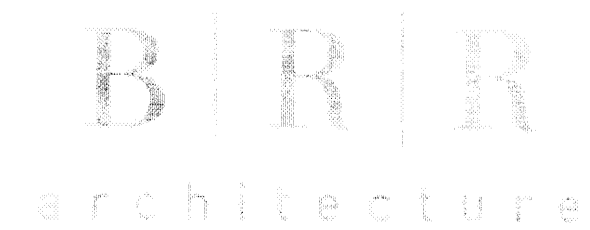


6 Birdeye View

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Site Plan for Building Permit  
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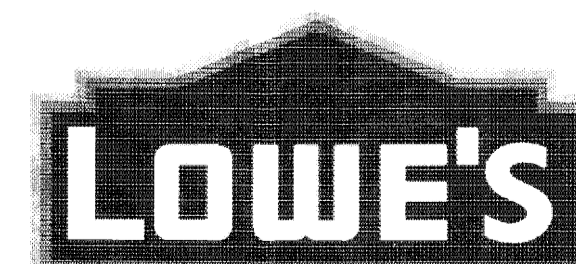
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Scale \_\_\_\_\_



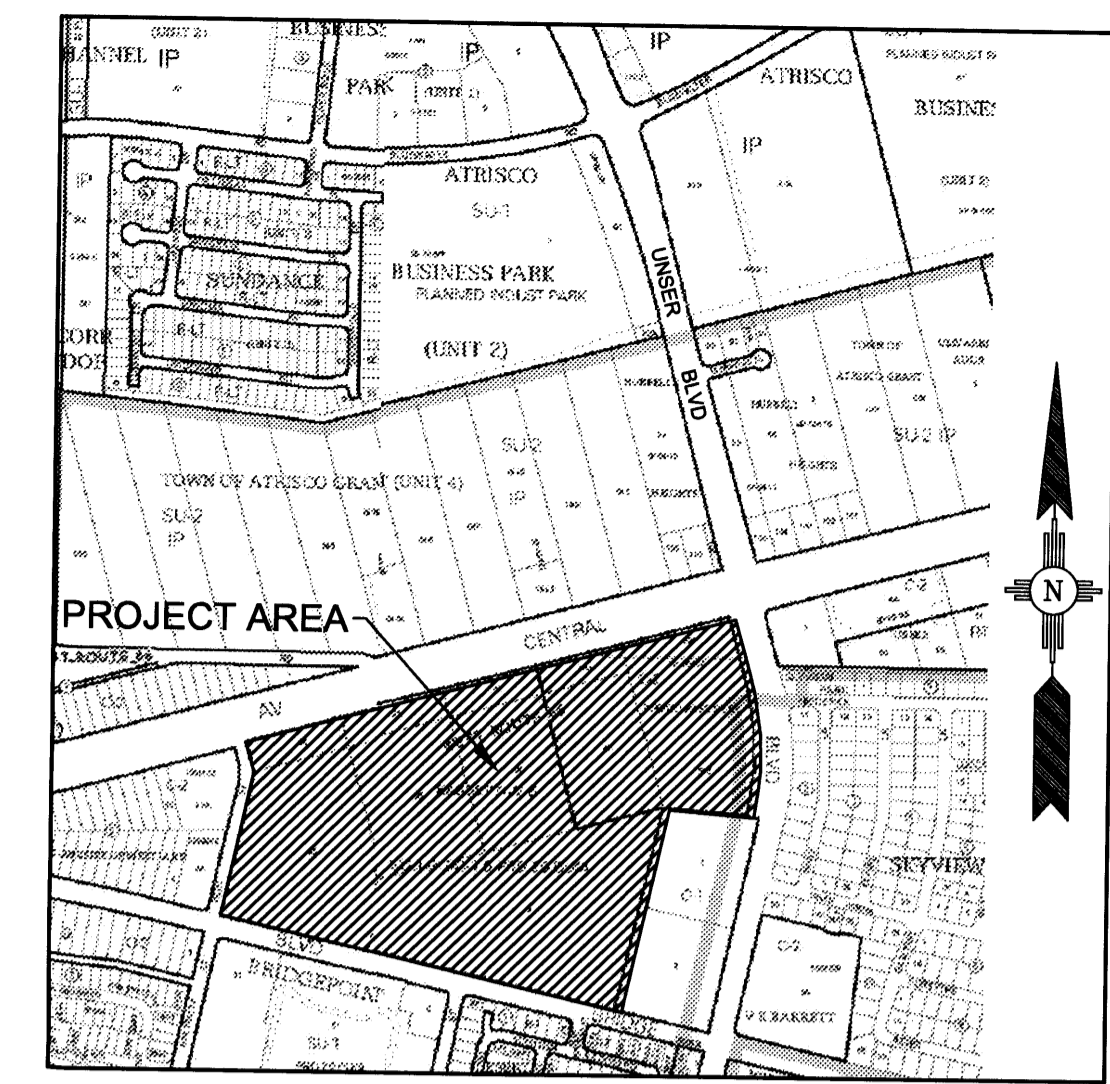
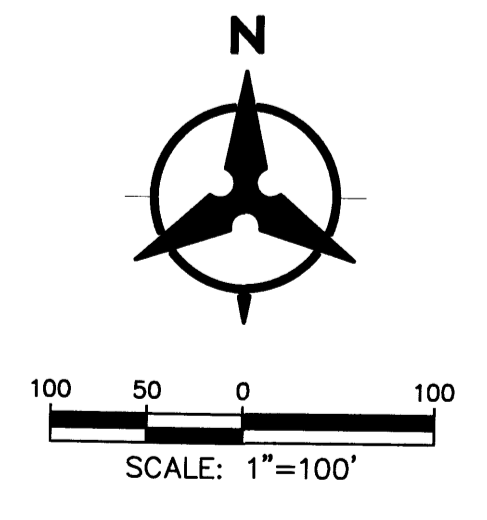
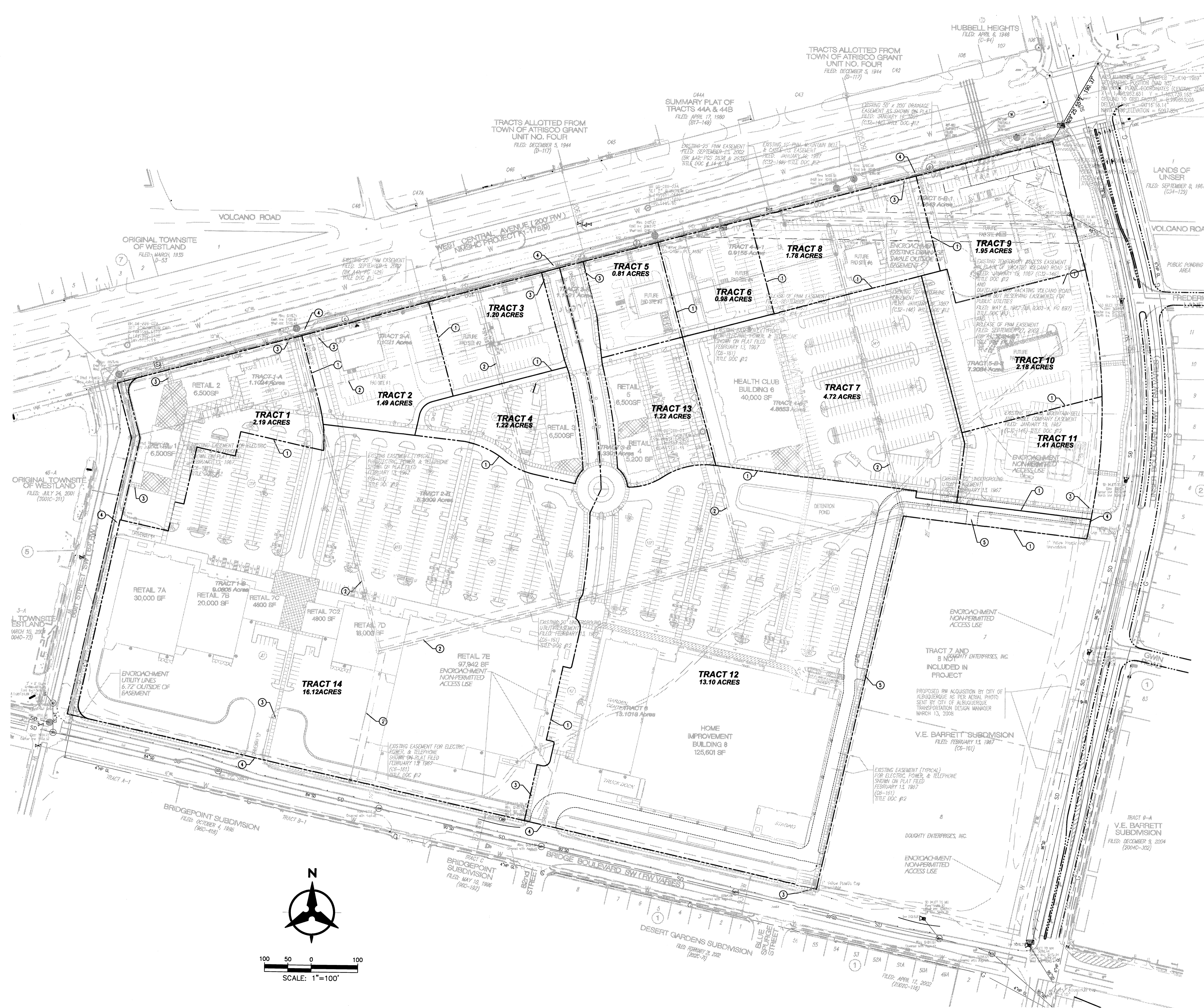
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A-108C





VICINITY MAP  
ZONE ATLAS PAGES K-09-Z & K-10-Z

**SHEET INDEX**

- C-003 SITE PLAN FOR SUBDIVISION
- C-101 DESIGN STANDARDS
- C-102 DESIGN STANDARDS
- C-103 DESIGN STANDARDS

\* SEE SITE PLAN FOR BUILDING PERMIT PACKAGE FOR UTILITY PLAN

**KEYED NOTES**

1. NEW PROPERTY LINE.
2. EXISTING PROPERTY LINE TO BE ELIMINATED BY PLATING ACTION WITH THIS PROJECT.
3. LOCATION OF PEDESTRIAN INGRESS OR EGRESS.
4. LOCATION OF VEHICULAR INGRESS OR EGRESS.
5. CROSS ACCESS EASEMENT TO BE CREATED BY PLATING ACTION WITH THIS PROJECT.

**NOTE**

1. SEE DESIGN STANDARDS FOR BUILDING HEIGHT, SETBACK, AND FAR REQUIREMENTS.
2. FUTURE PHASES SHALL FOLLOW DESIGN GUIDELINES INCLUDED IN THE SITE PLAN FOR SUBDIVISION TO ENSURE A CONSISTENT LEVEL OF DEVELOPMENT THROUGHOUT UNSER CROSSING. SITE PLANS FOR BUILDING PERMIT WHICH ARE IN COMPLIANCE WITH THE DESIGN GUIDELINES MAY BE DELEGATED TO THE DEVELOPMENT REVIEW BOARD AFTER EPC APPROVES THE FIRST PAD SITE.

PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

|  |       |      |       |
|--|-------|------|-------|
| Traffic Engineering, Transportation Division | _____ | Date | _____ |
| Water Utility Department                     | _____ | Date | _____ |
| Parks and Recreation Department              | _____ | Date | _____ |
| City Engineer                                | _____ | Date | _____ |
| Solid Waste Management                       | _____ | Date | _____ |
| DRB Chairperson, Planning Department         | _____ | Date | _____ |



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**Unser Crossing  
DRB Submittal  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
Albuquerque, New Mexico 87121**

**SITE PLAN  
FOR SUBDIVISION**

Scale \_\_\_\_\_

**C-003**



## INTRODUCTION

The following Design Standards for Unser Crossing are attached to and made part of the Site Plan for Subdivision. These Design Standards are intended to address areas of the site shown for illustrative purposes, and are provided to ensure a consistent level of development throughout Unser Crossing.

Future phases of the development may be delegated to the DRB after EPC review of the first pad site.

All development on the site must comply with the Zoning Code and West Route 66 Sector Development Plan Design overlay Zone regulations. If conflict exist, the most restrictive shall apply.

because of its proximity to the Enhanced Transit Corridor. The goal of this project is to combine the requirements of all of the City's Sector Plans and Overlay Zones affecting this property to create a place where residents from surrounding neighborhoods will frequent for their everyday purchasing needs in a convenient sustainable environment.

## 2. PERMITTED USES

### EXISTING USES: C-2

The Unser Crossing development will be a commercial center complying with all plans zones affecting this property. Any C-2 conditional uses proposed for the site will require a Conditional Use Permit.

## 3. DESIGN STANDARDS

### A. INTRODUCTION

These Design Standards are established to provide assurance that future design and construction will meet the cohesive standards of quality established by which these original structures are produced. These standards will assist in creating an attractive environment that promotes desirable opportunities for commercial activities and will define a unified image for architectural and landscape design that creates a distinctive visual identity.

### B. STREETScape

The development of a bold, dynamic entry and streetscape is essential in defining an image for Unser Crossing that places it at the forefront of Albuquerque's Community Activity Centers. The streetscape will provide a pedestrian friendly environment that will encourage users to park once and walk to more than one destination in Unser Crossing as well as encouraging nearby residents to walk rather than drive to Unser Crossing.

- Landscape buffers shall be provided to ensure flexibility for entry monumentation, landscaping, sidewalk development and other pedestrian amenities, as well as opportunities for visual screening and environmental amenities, such as storm water infiltration, and heat island effect reduction. Buffers shall be provided as follows:
  - 25 foot minimum from the right-of-way at Central Avenue.
  - 20 foot minimum from right-of-way at Unser Boulevard, Bridge Boulevard and 86<sup>th</sup> Street.
- Trees shall be provided at an average spacing of 25 feet on-center along the four (4) public right-of-ways surrounding Unser Crossing, and at an average spacing of 30 feet on-center along the building facades. Trees shall be provided in the landscaped strips of inward facing facades at an average spacing of 50 feet on-center.
- Living plant materials shall cover a minimum of 75 percent of the required landscape area.
- Low water use turf may be provided at a maximum of 40 percent of the required landscape area.
- High water use turf is not allowed.
- Materials for the separation of turf and planting beds may be concrete, brick, or similar quality material.
- Streetscape will encourage nearby residents to walk rather than drive to Unser Crossing.

### C. PARKING

The intent of the standards for the development of parking areas is to: mitigate heat/glare through the provision of landscaping; minimize the visual impact of parking areas; and provide accessible, safe circulation within and adjacent to the parking areas.

- Parking shall be placed on at least two sides of a building within a particular lot and, if possible, shall not dominate the building or street frontage.

- Parking space standards shall be in accordance with the City of Albuquerque's Comprehensive Zoning Code.
- Parking shall be distributed on the site to minimize visual impact from the adjoining street, shall not dominate the street frontage, and shall be adequately screened with landscape walls and plantings.

- Clear pedestrian connections shall be provided through parking areas at a minimum width of 6 feet and shall be clearly demarcated with slightly raised and textured paving where they cross vehicular entrances and drive aisles. Shade trees shall be provided along pedestrian walks at an average spacing of 25 feet on center.
- ADA-compliant parking shall be located adjacent to main building entries.
- Sidewalks and/or pedestrian paths that are perpendicular to and at the front of parking spaces shall be protected from overlapping cars by permanently anchored tire stops, bollards, or raising the walkway to provide for a 6-foot wide, clear pedestrian area.

- Landscaped islands shall be distributed throughout parking areas. Parking areas visible from the public street shall include at least one tree for every six parking spaces, and the maximum distance from any parking space to a tree shall be 50 feet. Trees located within 8 feet of the perimeter of the parking area may be counted toward this requirement, but may not be used to fulfill street tree requirements.

- Trees shall be provided in parking areas per the requirements of the West Route 66 Development Plan Design Overlay Zone

- A minimum of 75 percent of parking lot trees shall be large canopied deciduous trees to provide shade during the summer months.

- Parking screening shall be in compliance with requirements in the Zoning Code §14-16-3-1 (F) (4).
- Motorcycle, moped, and motor scooter parking shall be provided close to building entrances per City Regulation §14-16-3-1 and shall be visible from building entrances.

### D. BICYCLE FACILITIES

Providing convenient bicycle facilities to encourage non-vehicular travel to Unser Crossing is an integral part of the City of Albuquerque's goal of supporting alternative modes of transportation and sustainability. Safe and convenient connections to the surrounding city bicycle routes will be provided to all of the Unser Crossing's occupants.

- Bicycle parking for employees shall be provided to promote alternative vehicle use. One bicycle rack space per 20 parking spaces is required, and shall be conveniently located near building entrances, but not within pedestrian pathways or landscape areas.

### E. SITE LANDSCAPE

Landscaped areas serve to enhance the visual dynamic of the development and aid in reinforcing the street edge and pedestrian environment, as well as providing environmental benefits such as storm water infiltration opportunities and heat island effect reduction. The primary focus for site landscape shall be the common areas and major pedestrian pathways.

The plant palette for Unser Crossing shall provide year-round color and interest and shall consist of regionally appropriate, low and moderate water use plants. Elements such as street furniture, lighting, bollards, and graphic pylons shall be used to reinforce the street and pathway edge. These elements shall be consistent throughout the entire site to reinforce the unified aesthetic. A palette of hardscape materials will also be selected for the entire site to further contribute to the sense of visual entity. Please see the plant pallet in the Landscape drawings included in this package.

- All landscape plans shall comply with the City's Water Conservation Ordinance, Pollen Ordinance, Zoning Code, and West Route 66 Sector Development Plan Design Overlay Zone .

- Water harvesting techniques, including some combination of curb cuts for drainage to landscaped areas, bioswales to slow and treat storm water runoff, and pervious paving or other innovative technologies, are encouraged.

- The total landscaped area required for each site shall equal not less than 15% of the net lot area as defined in the Zoning Code §14-16-3-10 (E) (1).

- Future development areas within the site shall be revegetated with native seed mix appropriate for this region and maintained appropriately to discourage erosion and blowing dust.
- The hard-scape palette shall be selected by the Developer at the time of building permit drawings submittal.

- Trees shall be provided at an average density of 1 tree per 1500 square feet of landscaped area.

- Live plant materials shall cover a minimum of 75 percent of all required and provided landscaped areas.

- Landscape headers shall be used to separate turf and planting beds. Headers may be concrete, brick, stone or other similar quality material.

- Gravel mulch, cobble, and similar materials are acceptable as a top dressing for landscaped areas, but organic mulches shall be encouraged where the grade allows.

- An automatic underground irrigation system is required to support all site landscaping. The system shall be designed to maximize efficiency and avoid over-spraying onto walks, buildings, fences, walls, etc.

- All plant material shall be maintained by the Owner or Tenant in a living, attractive condition. This includes proper maintenance of the irrigation system and removal of weeds, trash, or debris, as well as repair of any areas exhibiting erosion damage.

- Minimum plant material sizes at the time of installation shall be as follows:

- Canopy trees - 2" caliper B&B or boxed
- Evergreen trees - 8 foot minimum height
- Accent trees - 1 1/2" caliper B&B or boxed
- Multitrunk trees – 15-gallon minimum
- Shrubs, ornamental grasses and groundcovers - 1 gallon minimum

### F. SITE PLANNING

The intent of the following standards is to create pedestrian-friendly environments for Unser Crossing customers.

- Pedestrian Plazas shall be provided in the amount of 400 square feet for every 20,000 square feet of building space. If the development of future phases produce a deficiency in this requirement additional plaza areas shall be provided.

- A minimum of 50% of the required public space shall be provided in the form of aggregate space that encourages its use and that serves as the focal point for the development.

- Pedestrian Plazas shall be linked to the main entrance of the principal structure and the public sidewalk or internal driveway, shall include seating, 40% of the area of the plaza shall be landscaped including shade trees. Plazas shall be safe and visible from the public right-of-way as much as possible, and shall have pedestrian scale lighting and other amenities such as trash receptacles.

- A sidewalk with a minimum width of 8 feet shall be provided along the front of buildings that are less than or equal to 10,000 square feet. A sidewalk with a minimum of 10 feet in width shall be provided along the front of buildings that are 10,000 to 30,000 square feet. A sidewalk with a minimum width of 15 feet shall be provided along the front of buildings that are greater than 30,000 square feet. These sidewalks shall be shaded with architecturally integrated awnings, portals, or canopies, or by trees planted at intervals of 25 feet in planters with a minimum interior dimension of 6' x 6'.

- Pedestrian connections with a 8-foot minimum clear path shall be provided from each building to the internal circulation system and to adjacent roadways. Shade trees shall be provided along the pedestrian connection at an interval of 25 feet in planters that have a minimum interior dimension of 6' x 6'.

- A continuous sidewalk with a minimum width of 6 feet shall be located around the perimeter of buildings that are greater than 4,000 square feet.



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Unser Crossing  
Site Plan for Building Permit  
Central Avenue and Unser Boulevard  
Albuquerque, New Mexico 87121

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DESIGN STANDARDS

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G-101  
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**Plan Arrangement Opportunities**

Open courtyard designs shall be employed in order to form transitions between parking areas and building facades. Building access and entries shall be visible from the street through open passages (such as garden courts).

**J. LIGHTING**

A consistent theme for the lighting fixtures within the streetscape and common areas of Unser Crossing will contribute significantly to Unser Crossing’s overall aesthetic character. Safety and security shall be the primary design consideration, as well as the daytime appearance of the light fixtures.

- Lighting shall be fully shielded horizontal lamps so that no fugitive light may escape beyond the property line and no light source shall be visible from the site perimeter.
  
- Height standards for light fixtures are as follows:
  - Small parking area light fixtures shall not exceed 20 feet
  - Main parking area light fixtures shall not exceed 20 feet unless the Zoning Hearing Examiner approves variance.
  - Lighting fixtures for walkways, entry plazas, and within 100 feet of a residential zone shall not exceed 16 feet.
  
- Controlled, directional lighting shall be used to highlight public spaces and walkways. The use of walkway level lighting, such as wall pockets or bollard lights, is encouraged to accent pedestrian areas.
  
- Fixture style and design shall be compatible and consistent with the lighting design of other projects within Unser Crossing.
  
- The pattern of light pooling from each fixture shall avoid glare or reflection on adjacent properties, buildings, or roadways.
  
- Exterior lighting fixtures shall relate stylistically to the architecture of the adjacent buildings.
  
- Uplighting fixtures to highlight trees, walls and architectural features shall be limited to 100 maximum wattage per fixture, and shall be designed to comply with the New Mexico Night Sky Protection Act.
- The use of energy efficient lighting is required.

**K. SCREENING/BUFFERING**

Each development site design shall incorporate certain criteria in order to provide proper site screening from public roadways.

- Mechanical equipment whether on roof areas or at street level, shall be fully screened from pedestrians or motorists. Screening shall be compatible with materials and design of the building.
  
- Loading areas shall be screened from public view by walls, trellises, or landscaping. Passenger loading areas do not require screening.
  
- The use of barbed wire, wood fencing, or plastic vinyl fencing is not permitted.
  
- Refuse enclosures shall be adjacent to the building and screened with walls of the same material as the building itself.
  
- Walls or landscaped berms 2 1/2 to 3 feet in height shall be provided to screen parking areas adjacent to public streets. Walls, if used, shall be designed to integrate with building materials and colors.

**L. SIGNAGE**

Refer to the Sign Package on sheets S-101, S-102, and S103.

**M. TRANSIT FACILITIES**

Bus Route 66 Central currently serves the Unser Crossing site. Credit for the bus route will be used in parking calculations. Existing bus stops will be incorporated into the site design by providing seating, trash cans, and shade structures using the same materials and design as those provided in the Unser Crossing buildings. Future development (phase 2) shall meet the guidelines of the Comprehensive Plan for buildings adjacent to Enhanced Transit Corridors including siting buildings close to the street with parking on the side or rear providing entrances facing the street.

Currently, the following bus routes service this location as of March 15, 2008: Route 54, Route 162, Route 766, and Route 66.

**N. DRIVE-UP SERVICE WINDOWS**

Drive-up windows will be located on or adjacent to the side or rear walls of service or retail structures and the window shall not face a public right-of-way or pedestrian areas, residentially zoned areas, and public streets where possible. In cases where drive-up windows face these areas, screening shall be provided. Screening may be in the form of walls, earth berms, or evergreen landscaping, or a combination thereof and shall be a minimum of three feet in height.

Drive-up service windows shall be limited to 4, with the number of adjacent drive-up service window uses limited to two. Drive-up window uses may include bank, pharmacy, and a maximum of two “quick-serve-restaurants.”

**O. WIRELESS TELECOMMUNICATIONS FACILITIES**

Any allowance for wireless telecommunications facilities shall require architectural integration.



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**Site Plan for Building Permit**  
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