



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

<b>Administrative Decisions</b>	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<b>Policy Decisions</b>
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Site Plan – DRB (Form P2)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Subdivision of Land – Minor (Form S2)	<input type="checkbox"/> Annexation of Land (Form Z)
<b>Decisions Requiring a Public Meeting or Hearing</b>	<input type="checkbox"/> Subdivision of Land – Major (Form S1)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
<input type="checkbox"/> Conditional Use Approval (Form ZHE)	<input type="checkbox"/> Vacation of Easement or Right-of-way (Form V)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Variance – DRB (Form V)	<b>Appeals</b>
<input type="checkbox"/> Expansion of Nonconforming Use or Structure (Form ZHE)	<input type="checkbox"/> Variance – ZHE (Form ZHE)	<input type="checkbox"/> Decision by EPC, LC, DRB, ZHE, or City Staff (Form A)

<b>APPLICATION INFORMATION</b>		
Applicant: Market 1861		Phone: (505) 480-5800
Address: 100 Sun Avenue NE, #650		Email: abrown@native-ly.com
City: Albuquerque	State: NM	Zip: 87109
Professional/Agent (if any): Modulus Architects, Inc.		Phone: (505) 338-1499
Address: 100 Sun Ave. NE Suite 600		Email: rokoye@modulusarchitects.com
City: Albuquerque	State: NM	Zip: 87019
Proprietary Interest in Site: Agent	List all owners: 3700 ELLISON LLC	

<b>BRIEF DESCRIPTION OF REQUEST</b>
Amend approved Site Plan for Building Permit to add in a retail kiosk.

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.: G2A1A1, G2A1A2, G2A1A3	Block:	Unit:
Subdivision/Addition: SEVEN BAR RANCH	MRGCD Map No.:	UPC Code: 101406608811030121, 101406611611530125, 101406610613330124
Zone Atlas Page(s): A-14-Z	Existing Zoning: NR-BP	Proposed Zoning: N/A
# of Existing Lots: 3	# of Proposed Lots: 3	Total Area of Site (acres): +/- 5

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street: 3700 ELLISON DR NW	Between: ELLISON	and: NM 528 BLVD NE

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>
1001623, EPC 01128-01743, DRB-02500-00353

Signature: Regina Okoye	Date: 1/21/22
Printed Name: Regina Okoye	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

<b>FOR OFFICIAL USE ONLY</b>		
Case Numbers	Action	Fees
SI-2022-00226	AA	
-		
-		
Meeting/Hearing Date:	Fee Total:	
Staff Signature:	Date:	Project #PR-2022-006580

**FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS**

A single PDF file of the complete application including all plans and documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

**INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS**

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

**ARCHEOLOGICAL CERTIFICATE**

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

**MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)
- Three (3) copies of all applicable sheets of the approved Site Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**


**MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO**

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(1)(a)
- Three (3) copies of all applicable sheets of the approved Site Development Plan being amended, folded
- Copy of the Official Notice of Decision associated with the prior approval
- Three (3) copies of the proposed Site Development Plan, with changes circled and noted  
*Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*

**Minor Amendments must be within the thresholds established in IDO TABLE 6-4-5. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.**

**ALTERNATIVE SIGNAGE PLAN**

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(F)(4)(c)
- Required notices with content per IDO Section 14-16-6-4(K)(6)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

<b><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></b>	
Signature: <i>Regina Okoye</i>	Date: 1/21/2021
Printed Name: <b>Regina Okoye</b>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
<b>FOR OFFICIAL USE ONLY</b>	
Project Number:	Case Numbers
PR-2022-006580	SI-2022-00226
	-
	-
Staff Signature:	
Date:	

City of Albuquerque  
600 2<sup>nd</sup> Street NW Albuquerque, NM 87102  
P.O. Box 1293  
Albuquerque, New Mexico 87103  
Office (505) 924.3894

**RE: AGENT AUTHORIZATION NOTICE (SWC OF NM 528 & ELLISON – ALBUQUERQUE, NM. 87114)**

3700 Ellison LLC., hereby authorizes Modulus Architects & Land Use Planning, Inc. to perform as the Agent of Record in pursuing an Administrative Amendment with the City of Albuquerque Planning Department for the property legally described as:

**Lot: G2A1A1**

TR G-2A-1-A-1 PLAT OF TRACTS G-2A-1-A-1, G-2A-1-A-2 &G-2A-1-A-3, SEVEN-BAR RANCH (A REPLAT OF TRACTS G-2A-1-A,SEVEN BAR RANCH) CONT 2.8511 AC

**Lot: G2A1A2**

TR G-2A-1-A-2 PLAT OF TRACTS G-2A-1-A-1, G-2A-1-A-2 &G-2A-1-A-3, SEVEN-BAR RANCH (A REPLAT OF TRACT G-2A-1-A,SEVEN BAR RANCH) CONT .9262 AC

**Lot: G2A1A3**

TR G-2A-1-A-3 PLAT OF TRACTS G-2A-1-A-1, G-2A-1-A-2 &G-2A-1-A-3, SEVEN-BAR RANCH (A REPLAT OF TRACT G-2A-1-A,SEVEN BAR RANCH) CONT 1.3076 AC

This authorization is valid until further written notice from the land owner, 3700 Ellison LLC., Please direct any and all correspondence and communication to our Agent for these development services and provide a copy for our records.

Sincerely,



3700 ELLISON LLC  
7001 MENAUL BLVD NE  
ALBUQUERQUE NM 87110-3695

City of Albuquerque  
600 2<sup>nd</sup> Street NW Albuquerque, NM 87102  
P.O. Box 1293  
Albuquerque, New Mexico 87103  
Office (505) 924.3894

**RE: AGENT AUTHORIZATION NOTICE (SWC OF NM 528 & ELLISON – ALBUQUERQUE, NM. 87114)**

Market 1861, hereby authorizes Modulus Architects & Land Use Planning, Inc. to perform as the Agent of Record in pursuing an Administrative Amendment with the City of Albuquerque Planning Department for the property legally described as:

**Lot: G2A1A1**

TR G-2A-1-A-1 PLAT OF TRACTS G-2A-1-A-1, G-2A-1-A-2 &G-2A-1-A-3, SEVEN-BAR RANCH (A REPLAT OF TRACTS G-2A-1-A,SEVEN BAR RANCH) CONT 2.8511 AC

**Lot: G2A1A2**

TR G-2A-1-A-2 PLAT OF TRACTS G-2A-1-A-1, G-2A-1-A-2 &G-2A-1-A-3, SEVEN-BAR RANCH (A REPLAT OF TRACT G-2A-1-A,SEVEN BAR RANCH) CONT .9262 AC

**Lot: G2A1A3**

TR G-2A-1-A-3 PLAT OF TRACTS G-2A-1-A-1, G-2A-1-A-2 &G-2A-1-A-3, SEVEN-BAR RANCH (A REPLAT OF TRACT G-2A-1-A,SEVEN BAR RANCH) CONT 1.3076 AC

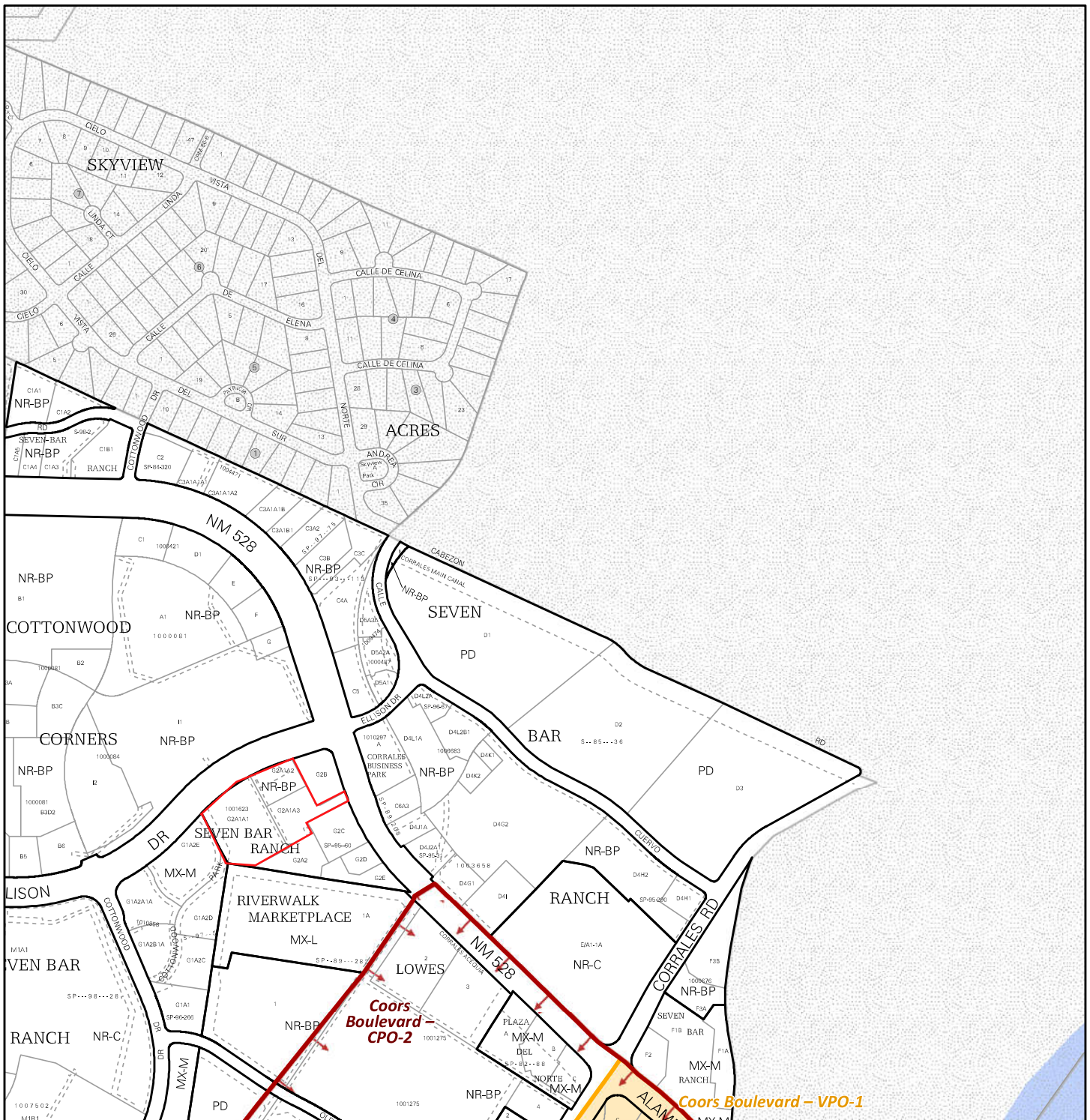
This authorization is valid until further written notice from Market 1861. Please direct any and all correspondence and communication to our Agent for these development services and provide a copy for our records.

Sincerely,

*Robert Aranda*

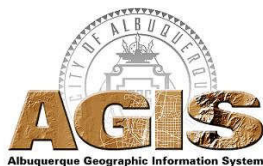
Market 1861  
100 Sun Avenue NE, #650  
Albuquerque, NM 87109



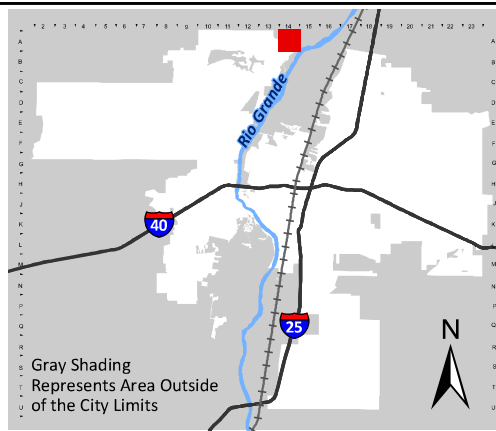


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

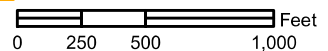


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**A-14-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



January 21, 2022

James Aranda  
Current Planning Department Director  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW,  
Albuquerque, NM 87102

**RE: PROJECT ADDRESS – SWC OF NM 528 & ELLISON – ALBUQUERQUE, NM.  
87114**

**PROJECT NUMBER: 1001623**

**ADMINISTRATIVE AMENDMENT TO OVERALL SITE PLAN FOR BUILDING PERMIT**

Dear Mr. Aranda,

Modulus Architects & Land Use Planning, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Market 1861, hereafter referred to as “Applicant.” We, “Agent” are requesting approval for this submittal to amend the approved Site Plan for Building Permit to add in a new retail kiosk. The site is located 3700 Ellison, Albuquerque NM 87114. The parcel (the “subject site”) is approximately 5 acres in size, zoned NR-BP and is located on the southwest corner of NM 528 & Ellison.

The subject site is currently developed. We are proposing to add in a 320SF retail kiosk on site. The overall Site Plan for Building Permit for the project (1001623, EPC 01128-01743, DRB-02500-00353) was approved and signed by the EPC in 2002. The proposed changes to the site have been outlined below. All changes meet the IDO and the DPM standards. This minor amendment request falls within the thresholds established in IDO Table 6-4-5.

This retail use will bring more convenient businesses to the community, while responding to market demands.

Our submittal includes the original approved EPC plans, the amended Site Plan for Building Permit, the amended Landscape Plan, the amended G&D Plan, and the amended Elevation Plan. The minor changes are listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

**Site Plan for Building Permit**

1. Parking Calculation – We have not created a deficiency in the parking requirements and that is demonstrated on the Site Plan (Site Data Table).

2. The overall squarefootage of the development went from 25,026 SF to 25,346 SF which is below the 10% threshold.
3. The proposed retail kiosk is showed on the site plan.

**Site Plan and Elevations:**

1. The proposed retail kiosk is showed on the site plan.
2. The elevations have been modified from new users.

**G&D Plan:**

1. The G&D plans shows the new kiosk. The kiosk is only 320sf and per the DPM it is well below the threshold for a G&D submittal. The kiosk will not be changing the existing flow. The small area that the kiosk is occupying is going from impervious to impervious land.

**Landscape Plan:**

1. A landscaping shows the new kiosk location. The existing landscaping will not change with the kiosk location.

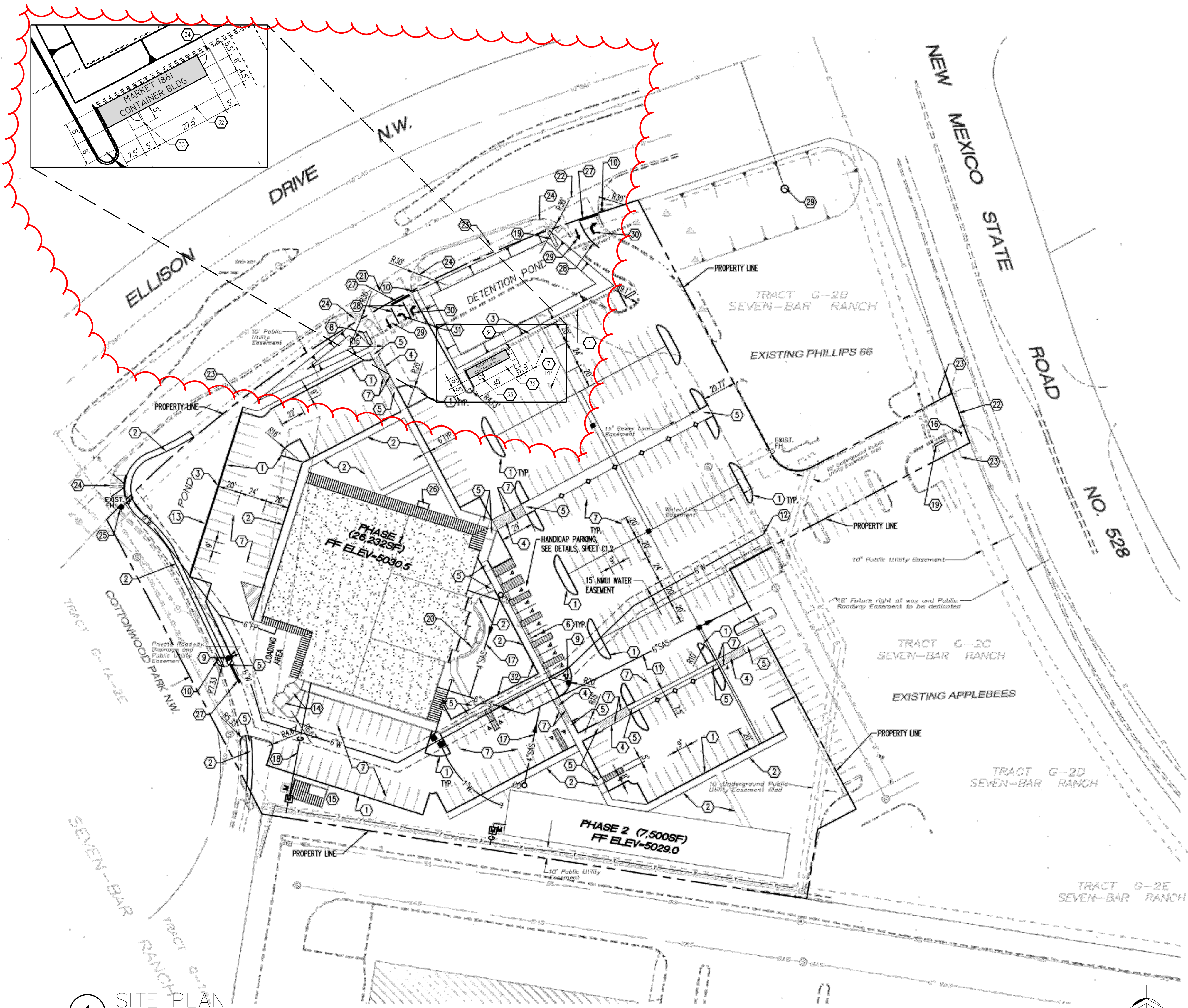
I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: [rokoye@modulusarchitects.com](mailto:rokoye@modulusarchitects.com)

Best Regards,

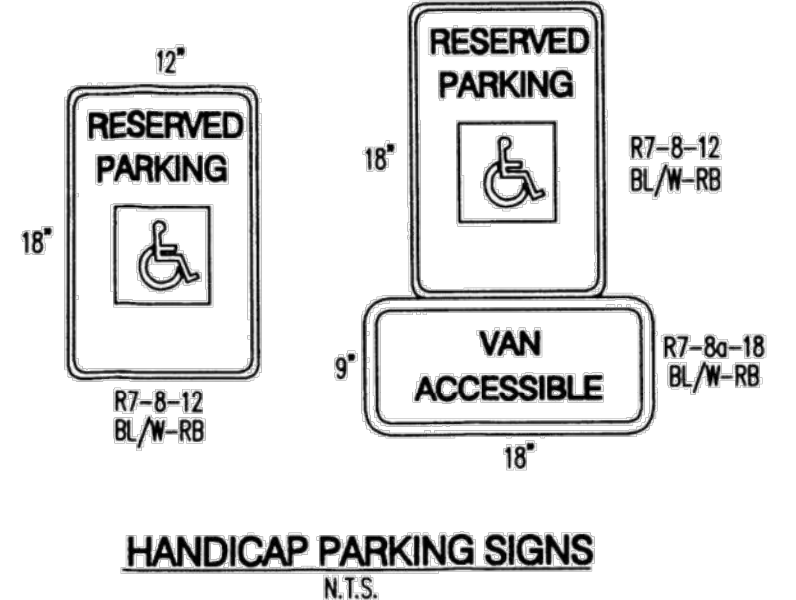
**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER  
MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600  
Albuquerque, NM 87109  
Office 505.338.1499 (Ext. 1003)  
Mobile + Text 505.267.7686

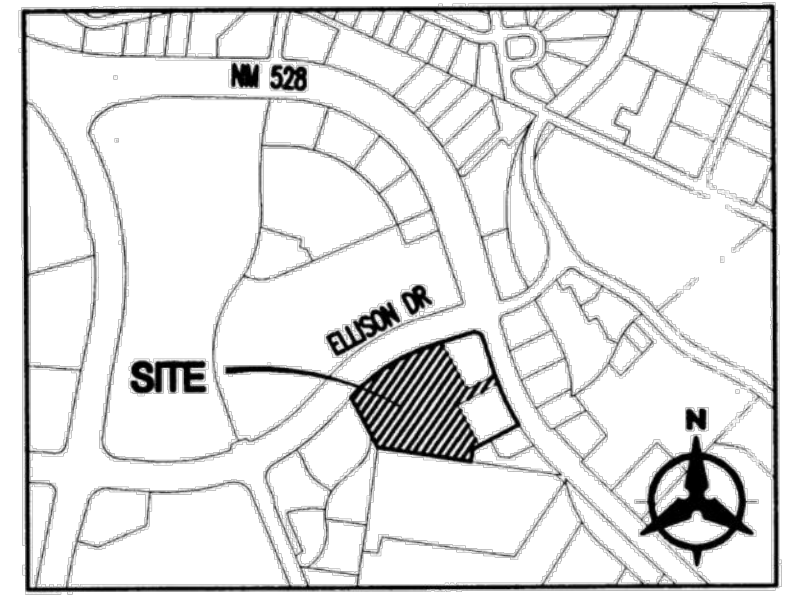




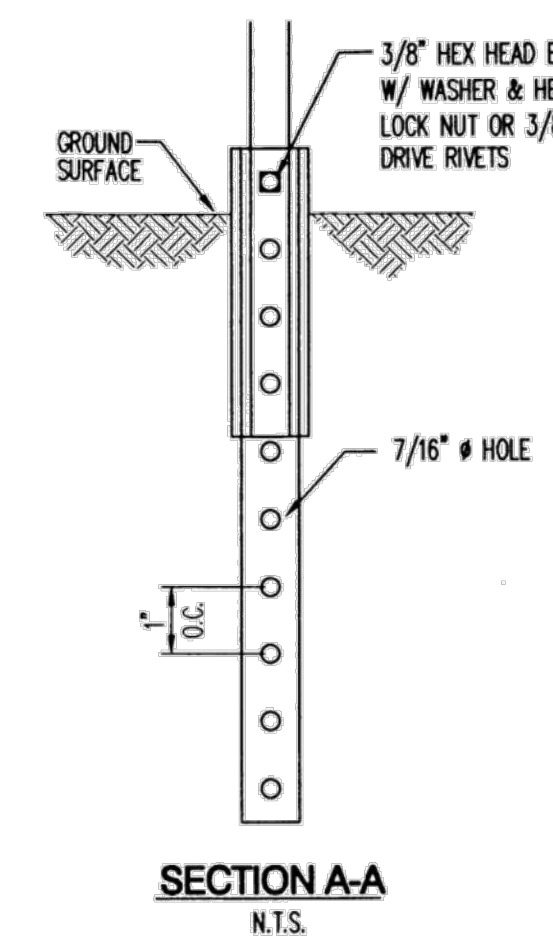
1 SITE PLAN  
SCALE: 1" = 50'



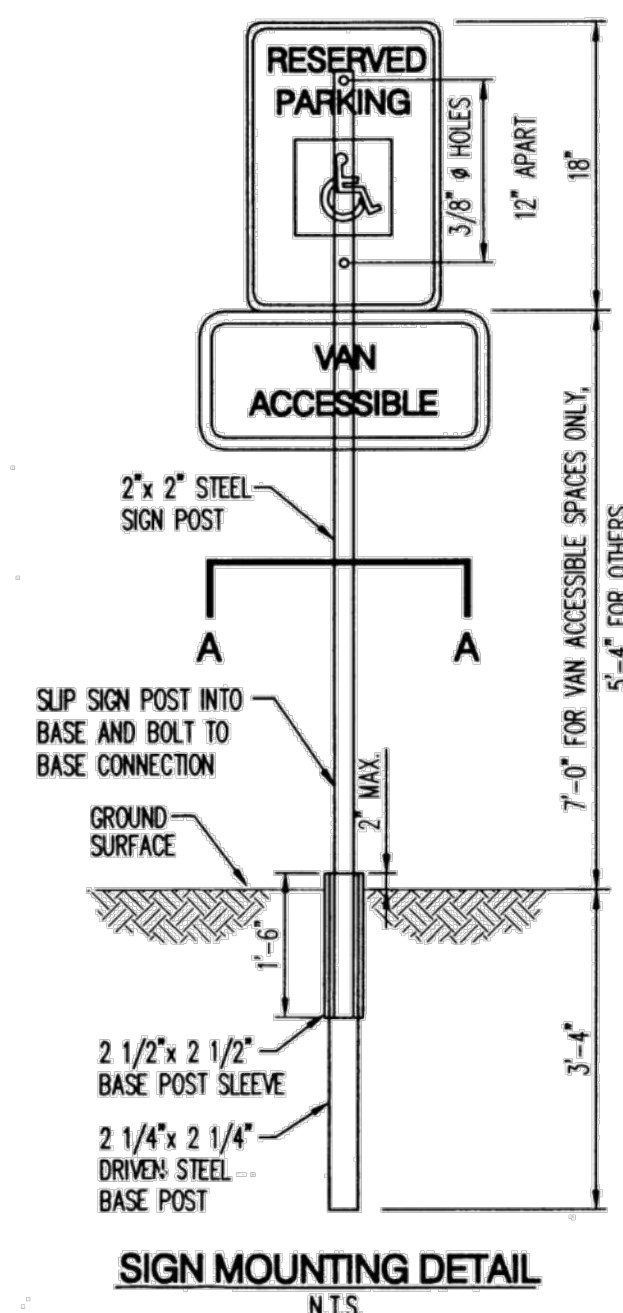
HANDICAP PARKING SIGNS  
N.T.S.



VICINITY MAP  
ZONE ATLAS A-14-Z



SECTION A-A  
N.T.S.

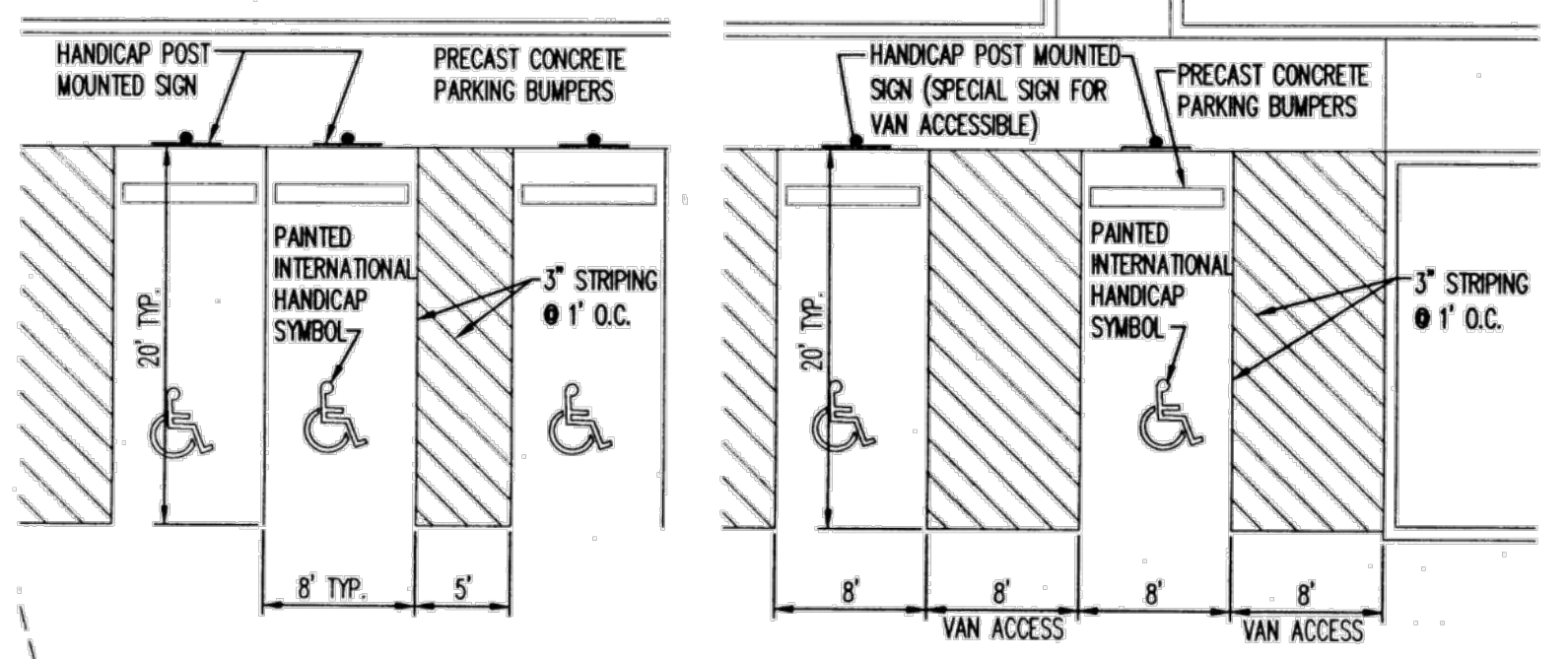


SIGN MOUNTING DETAIL  
N.T.S.

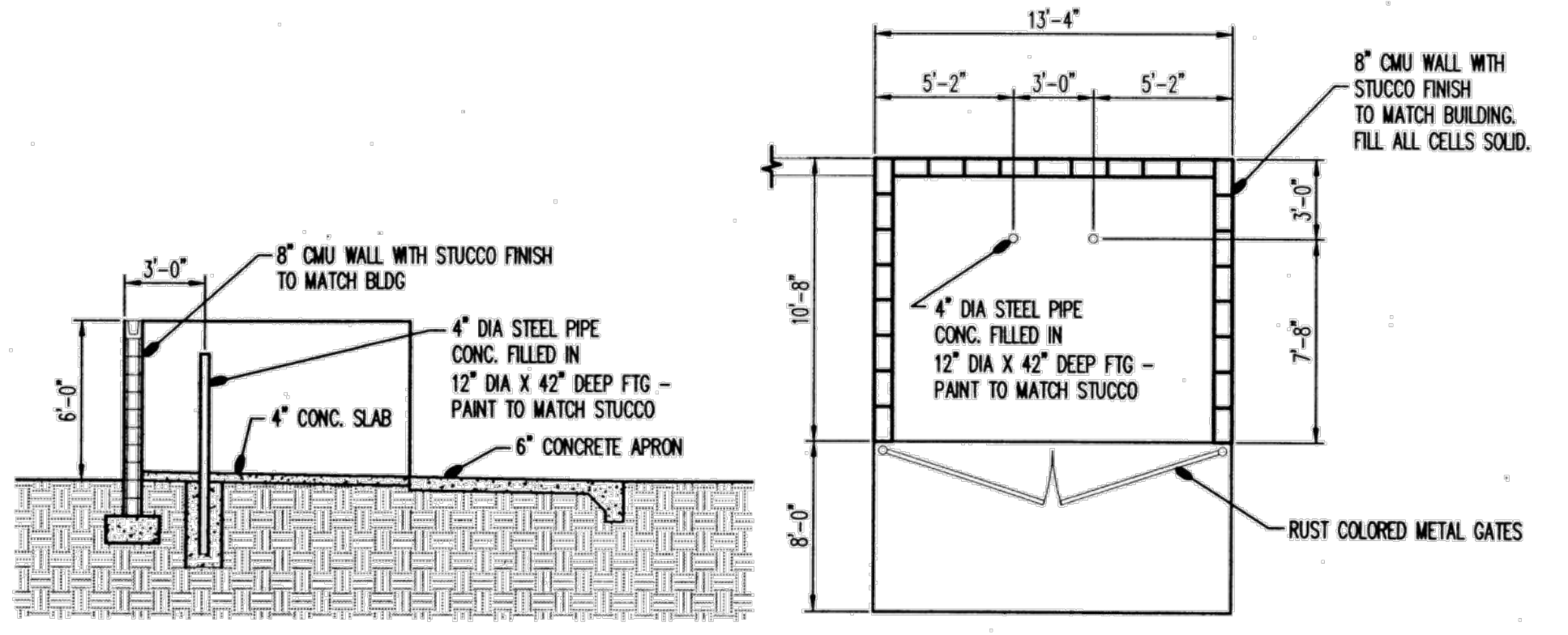
KEYED NOTES

- CONSTRUCT 6" MEDIAN CURB AND GUTTER PER COA STD. DWG 2415
- CONSTRUCT 6' WIDE SIDEWALK PER COA STD. DWG 2430
- CONSTRUCT 30" HIGH CMU SITE WALL WITH STUCCO FINISH TO MATCH COLOR OF BUILDING.
- CONSTRUCT PEDESTRIAN CROSSING, TEXTURED CONCRETE PAVEMENT
- CONSTRUCT UNIDIRECTIONAL HC RAMP.
- INSTALL PARKING BUMPER, TYP 16 PLACES
- PAINT 4" WHITE STRIPING.
- MONUMENT SIGN INTERNALLY ILLUMINATED
- INSTALL FIRE HYDRANT PER COA STD. DWG 2340
- INSTALL STOP SIGN.
- INSTALL 6" SANITARY SEWER LINE.
- INSTALL 6" WATER LINE.
- SIGN ON WALL.
- CONSTRUCT REFUSE ENCLOSURE.
- CONSTRUCT 15'x30' (450SF) CMU STORAGE AREA WITH METAL ROOF FOR WOOD AND MAINTENANCE EQUIPMENT. FENCE AT FRONT OF WOOD STORAGE AREA (PHASE 1)
- EXISTING STOP SIGN.
- INSTALL 4" SANITARY SEWER LINE.
- INSTALL GAS LINE.
- NON ILLUMINATED MONUMENT SIGN.
- OUTDOOR PATIO AREA.
- EXISTING 40" CURB CUT.
- EXISTING 30" CURB CUT.
- EXISTING 6' WIDE SIDEWALK.
- EXISTING MULTI-DIRECTIONAL HC RAMP.
- EXISTING FIRE HYDRANT TO BE REMOVED & RELATED.
- 5'x10' CONCRETE PAD FOR BICYCLE PARKING.
- 24" WHITE STOP BAR.
- 8" WHITE STRIPE.
- THROUGH ARROW.
- RIGHT TURN ARROW.
- LEFT/RIGHT TURN ARROW.
- SIDEWALK FLUSH W/ ASPHALT.
- INSTALL CONCRETE STOOP.
- INSTALL CONCRETE LANDING.

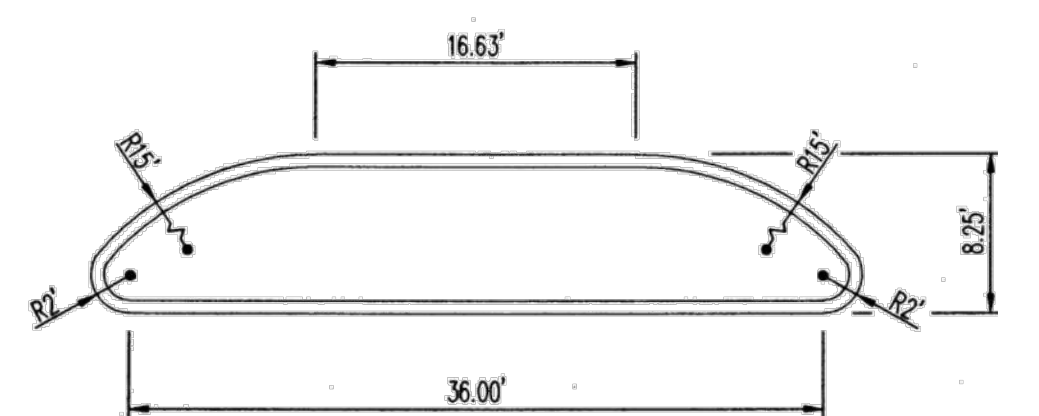
USES:	RETAIL	BAR/RESTAURANT/TAP ROOM	ALL USES
BUILDING SIZE:	320 SF	25,026.8 SF	
TOTAL PARKING REQ:	4 SPACES / 1,000 SQ. FT. GFA = 1	8 SPACES / 1,000 SQ. FT. GFA = 200	201
TOTAL PARKING PROV:			267
HC PROVIDED:	-	-	16 PROVIDED
HC REQUIRED:	-	-	7 REQUIRED
TOTAL SPACES			283 TOTAL SPACES



HANDICAP PARKING DETAIL



REFUSE ENCLOSURE  
M.T.C.



TYPICAL AISLE ISLAND

REVISION	BY	DATE

**MODULUS ARCHITECTS**  
100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

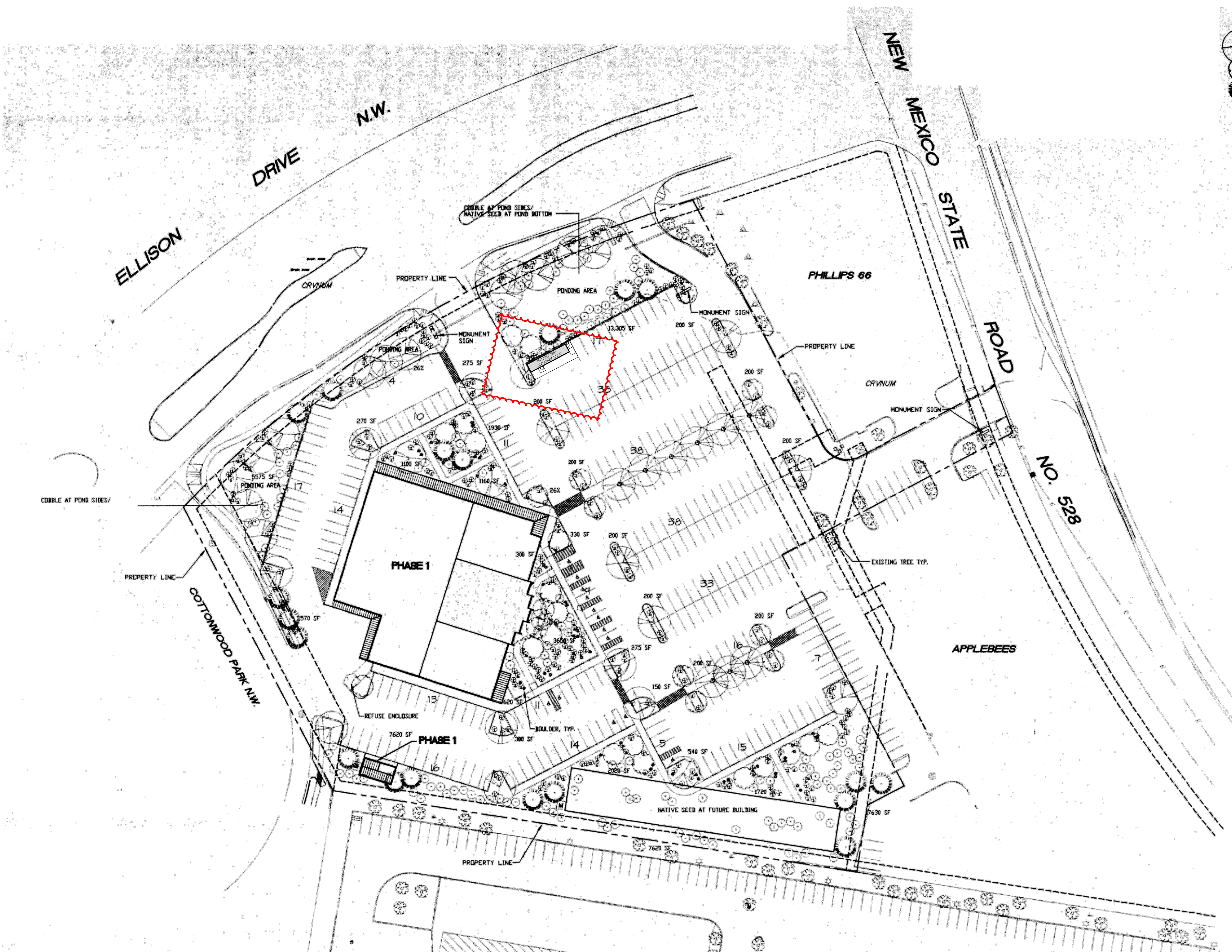
AA FOR APPROVAL,  
NOT FOR CONSTRUCTION

PROJECT TITLE: MARKET 1861  
3100 ELLISON DR NW  
ALBUQUERQUE, NT 87114

PROJECT MANAGER: STEPHEN DUNBAR, AIA  
DRAWN BY: CDC  
JOB NO.: ..  
SHEET TITLE: SITE PLAN

DATE: 01/19/2012  
SCALE: AS NOTED  
SHEET: 1





**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
○		GLEDITSIA	HONEY LOCUST	2" CAL	H
○		PISTACHIA	PISTACHE	2" CAL	H
○		CRATAEGUS	HAWTHORN	15 GAL	M
○		CHILOPSIS	DESERT WILLOW	15 GAL	M
○		PRUNUS NIGRA	AUSTRIAN PINE	5'-6' HT.	M
○		ELAEAGNUS PUNGENS	SILVERBERRY	1 GAL. MIN.	M
○		JUNIPERUS SABINA	BUFFALO JUNIPER	M	M
○		RAPHANISTRIS INDICA	INDIA HAWTHORN	M	M
○		CHRYSOTHAMNUS MUSEOSUS	CHAMISA	L	M
○		BUDDLEIA DAVIDII	BUTTERFLY BUSH	M	M
○		CARYOPTERIS X CLADONENSIS	BLUE MIST	M	M
○		ROSMARINUS OFFICINALIS	ROSEMARY	M	M
○		MISCANTHUS SINENSIS	MAIDEN GRASS	M	M
○		HESPERALOE PARVIFLORA	RED YUCCA	M	M
○		LAVANDULA	LAVENDER	M	M

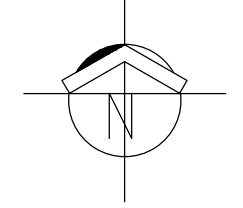
**SITE DATA**

GROSS LOT AREA	267,062 SF
LESS BUILDING	39,920 SF
NET LOT AREA	227,142 SF
REQUIRED LANDSCAPE	34,071 SF
15% OF NET LOT AREA	59,840 SF
PROPOSED LANDSCAPE	28%
PERCENT OF NET LOT AREA	
REQUIRED PARKING LOT TREES	32
ONE PER 10 SPACES	
316 SPACES / 10 = 32 REQUIRED	
PARKING LOT TREES PROVIDED MIN.	

**PLANTING RESTRICTIONS APPROACH**  
 A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

**NOTE**  
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY  
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

**1 LANDSCAPE PLAN**  
 SCALE: 1" = 50'



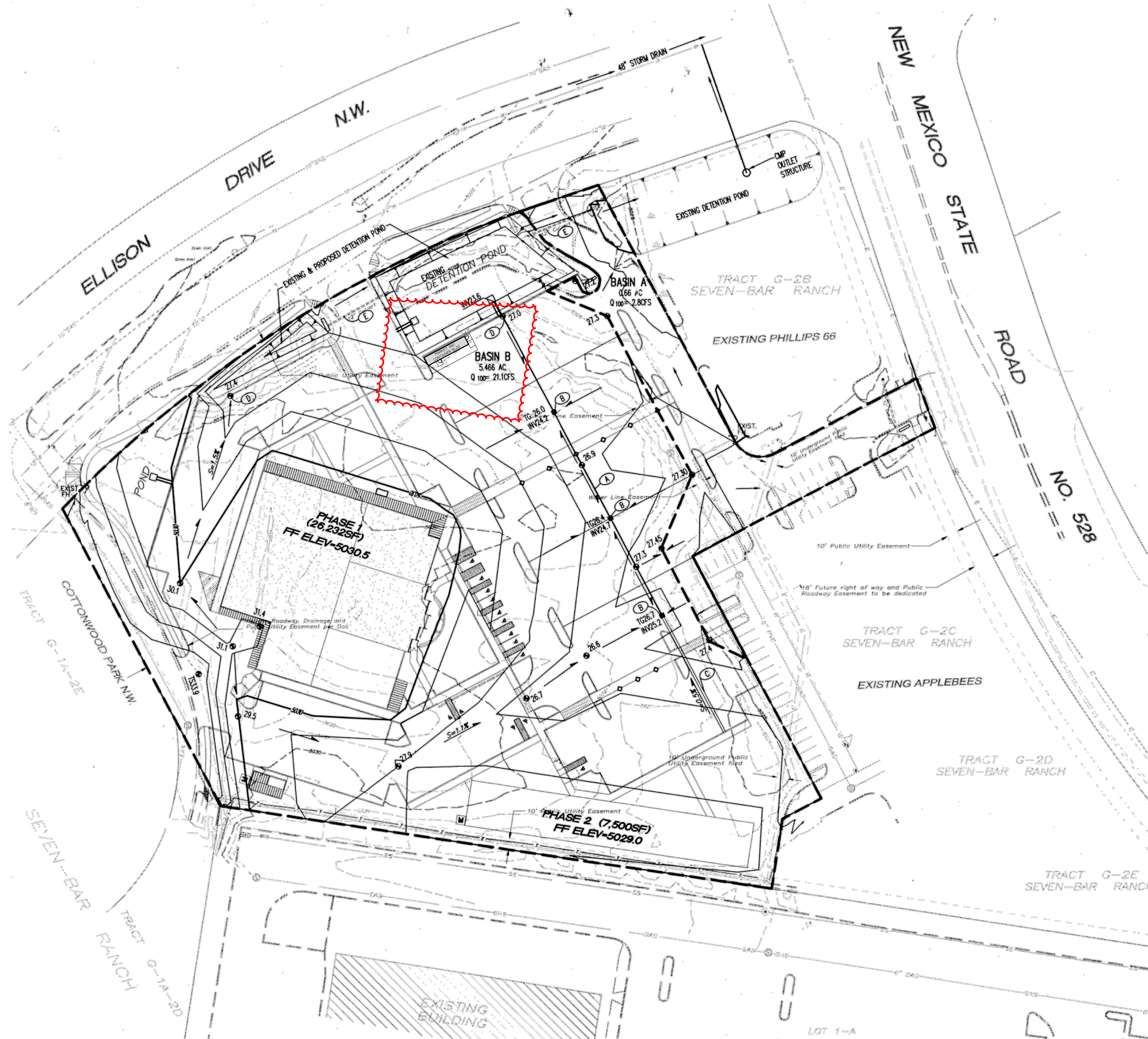
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

AA FOR APPROVAL,  
 NOT FOR CONSTRUCTION

PROJECT TITLE <b>MARKET 1861</b> 3100 ELLISON DR NW ALBUQUERQUE, NT 87114	PROJECT MANAGER <b>STEPHEN DUNBAR, AIA</b>	JOB NO. ..	DRAWN BY: CDC
SHEET TITLE <b>LANDSCAPE PLAN</b>			
DATE 01/19/2012	SCALE AS NOTED	SHEET NO. <b>15-1</b>	





- KEYED NOTES**
- A. 12" STORM DRAIN PIPE
  - B. STORM DRAIN INLET SINGLE 'D'
  - C. CONCRETE VALLEY GUTTER
  - D. 12" CURB OPENING
  - E. EXISTING 12" CMP CULVERT PIPE

**LEGAL DESCRIPTION**  
SEVEN BAR- RANCH TRACT G-2A-1

- LEGEND**
- PROPERTY LINE
  - - - - - EXISTING CONTOURS
  - 5.301.15 EXISTING GROUND SPOT ELEVATION
  - 65.23 EXISTING ELECTRICAL POLE
  - 1565.23 PROPOSED SPOT ELEVATION
  - TC=TOP OF CURB, FL=FLOW LINE, TW=TOP OF WALL, BW=BOTTOM OF WALL, EX=EXISTING, TD=TOP OF GRADE
  - PUBLIC SIDEWALK ELEVATIONS, SEE CITY WORKORDER PLANS
  - PROPOSED DIRECTION OF FLOW
  - PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED CURB & GUTTER
  - PROPOSED STORM DRAIN LINE
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED STORM DRAIN INLET
  - EXISTING STORM DRAIN MANHOLE
  - SITE WALL (SEE ARCHITECTURAL)
  - BASIN BOUNDARY

**Detention Pond Volume Calculations**

ASSUMPTIONS:  
1. Area less than 40 acres (simplified hydrograph method).  
2. 100-year, 6-hour storm event

**Peak Flow per Acre - DPM Section 22.2 Table A-9**

Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.7
3	1.87	2.6	3.45	5.02
4	2.2	2.92	3.73	5.25

Basin Name :  
Choose Zone (1 - 4)  
Basin Area = (acres)

Exist Conditions				Proposed Conditions			
Treatment	Percentage	Area	Q (cfs)	Treatment	Percentage	Area	Q (cfs)
A		3.55	4.58	A		0.00	0.00
B		0.00	0.00	B		1.04	2.11
C		1.75	5.01	C		0.82	2.35
D		0.16	0.72	D		3.60	15.75
Q Peak - exist = 10.31				Peak Q Developed = 20.20			

Use my calculated exist cond. flow as the peak controlled discharge (1 = yes, or N) ??  
If No, what is the maximum allowable discharge ?

**Excess Precipitation - DPM Section 22.2 Table A-8**

Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.8	1.08	1.46	2.64

**Determine Developed E (avg excess precipitation for the developed basin)**

%A x E =	0.00
%B x E =	0.13
%C x E =	0.15
%D x E =	1.30
Avg E(in) =	1.58

**Determine Tb (hours)**  
Tb = 0.732

**Determine Tc (hours)**  
Tc =

**Determine Tp and Duration of Peak (hours)**  
Tp = 0.218333  
Peak Duration = 0.165

**Compute the required retention volume using the simple hydrograph, Figure A-3 in DPM Section 22.2**

Time to Control Q (hrs) = 0.017  
Time to end of Control Q (hrs) = 0.70473  
Duration of Control Q (hrs) = 0.687

**Required Detention Volume (CF) = 28546**

**CONCEPTUAL DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION AND PURPOSE**

The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Quarters 880 Restaurant. This site is approximately 6.1 acres. This project is being submitted for DRB review. The purpose of this drainage management plan is to support DRB approval of the site plan. A more detailed grading and drainage plan will be submitted to support building permit approval.

**II. SITE LOCATION**

The site is located within Tract G-2A-1 of Seven-Bar Ranch at the southeast corner of Ellison Drive and NM 528. The site is bounded on the north by Ellison Drive and NM 528 lies to the east. There are existing commercial developments surrounding the remainder of the project site. The existing legal description is Seven-Bar Ranch Tract G-2A-1, which is a replat of Seven-Bar Ranch Tract G-2A. See vicinity map on this sheet.

**III. EXISTING HYDROLOGIC CONDITIONS**

The site is vacant land consisting primarily of native shrub and grasses. The site currently drains northerly to a series of detention ponds adjacent to Ellison Drive that were constructed with Special Assessment District (SAD) No. 223. There are total of 3 detention ponds, 2 within this site and one that is located on the northwest corner of Ellison Drive and NM528 at the existing Phillips 66 gas station. The ponds are connected with 12" CMP culverts that cross the existing driveways entrances on Ellison Drive. This series of ponds drain east to the Phillips 66 detention pond. The Phillips 66 detention pond has a controlled outlet that connects to an existing 48" storm drain in Ellison Drive. The SAD No. 223 Drainage Management Plan Sheet 2 of 4 shows the pond discharge rate of 7.2 cfs to the 48" storm drain in Ellison Drive. Total area delineated on sheet 2 of 4 referenced above is 10 acres, which includes the existing Phillips 66 and Applebees'. This equates to a discharge of 0.72 cfs/acre. These detention ponds drain to a 48" storm drain in Ellison Drive.

**IV. PROPOSED HYDROLOGIC CONDITIONS**

This project consists of a restaurant with an office building proposed for a second phase. The approved master drainage plan for SAD 223 allows a discharge of 0.72 cfs per acre. This site is approximately 6.12 acres which equates to an allowable discharge of 4.4 cfs to the adjacent streets and existing storm drain in Ellison Drive. There are no offsite flows entering this site. Basin calculations show that Basin 'A' generates a peak flow of 2.8 cfs. This will free discharge to NM 528 and Ellison Drive. This leaves an allowable discharge for Basin 'B' of 4.4 cfs-2.8 cfs=1.6 cfs. Per the detention pond calculations a volume of 28,546 cfs is required to mitigate Basin 'B' from 20.2cfs to 1.6 cfs. Total volume of the existing ponds on this site will need to be increased to achieve the required volume. The existing 12" CMP culverts under the driveways will be utilized to convey drainage to the Phillips 66 detention pond and ultimately the 48" storm drain in Ellison Drive. Under proposed developed conditions the site will drain in a similar manner as it does under existing conditions. The developed condition for the site will conform to the allowable discharge rates specified in SAD 223.

**V. CONCLUSION**

This conceptual drainage management plan proposes concepts which are in compliance with the approved drainage report and which honor the city's drainage requirements. With this submittal we are seeking site plan approval.

**ON-SITE PROPOSED CONDITIONS**

Land Treatment Percentages - Zone 1

Basin 'A'

Area = 0.66 acres  
A = 0%, B = 8%, C = 0%, D = 92%

Q100 = 0.08(0.66)2.03 + 0.92(0.66)4.37 = 2.8 CFS

Basin 'B'

Area = 5.46 acres  
A = 0%, B = 19%, C = 15%, D = 66%

Q100 = 0.19(5.46)2.03 + 0.15(5.46)2.87 + 0.66(5.46)4.37 = 20.2 CFS

Detention Volume Requirements

28546 c.f.

**MODULUS ARCHITECTS**  
100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

AA FOR APPROVAL,  
NOT FOR CONSTRUCTION

PROJECT TITLE: MARKET 1861  
3100 ELLISON DR NW  
ALBUQUERQUE, NT 87114

DATE: 01/19/2022

SCALE: AS NOTED

DRAWN BY: CDC

PROJECT MANAGER: STEPHEN DUNBAR, AIA

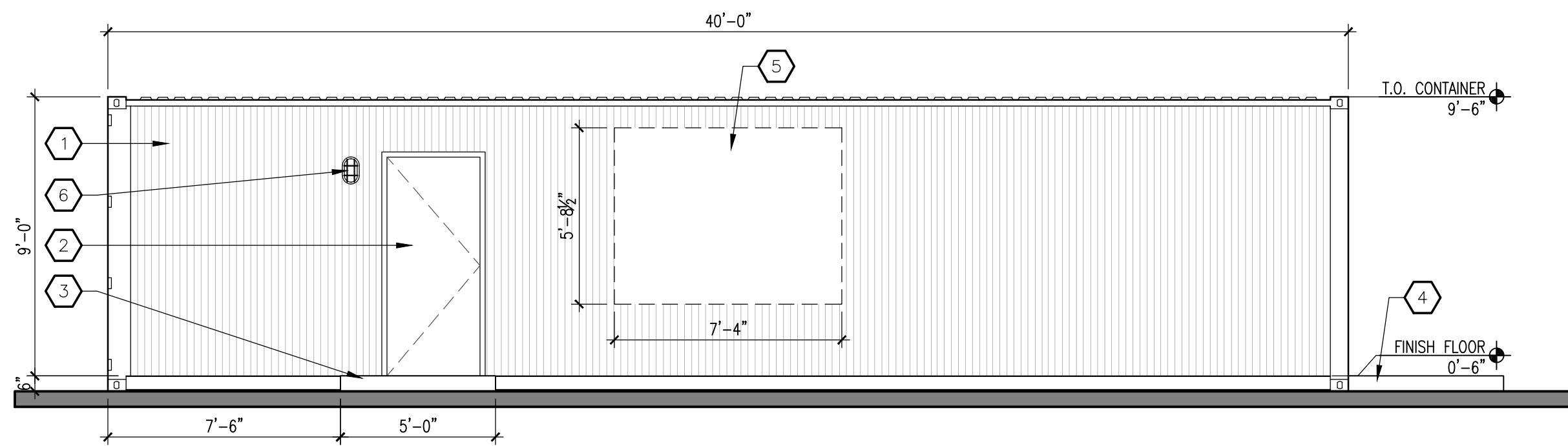
JOB NO.:

SHEET TITLE: CONCEPTUAL GRADING PLAN

CG-1

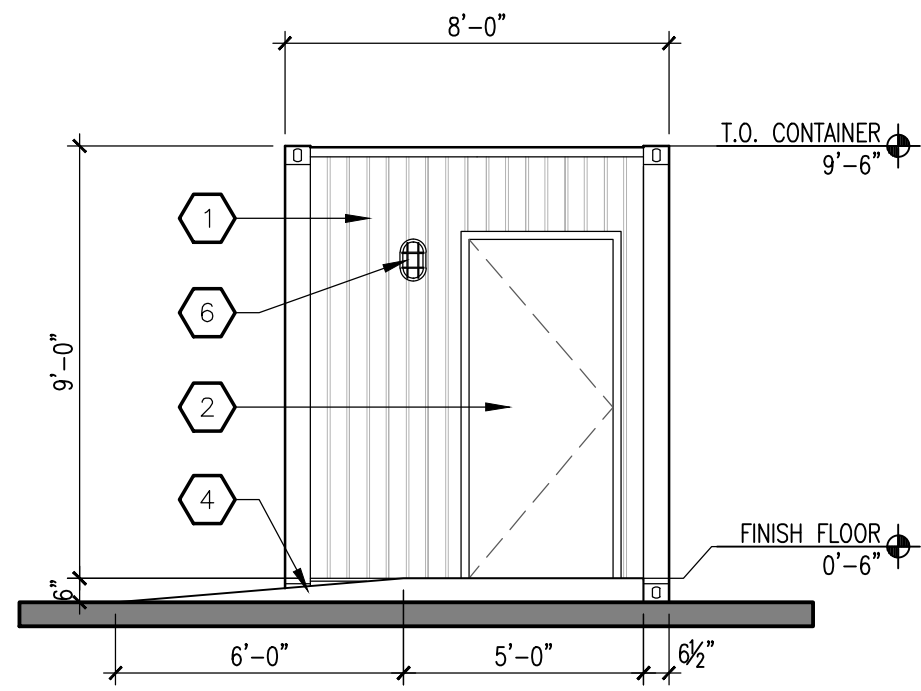
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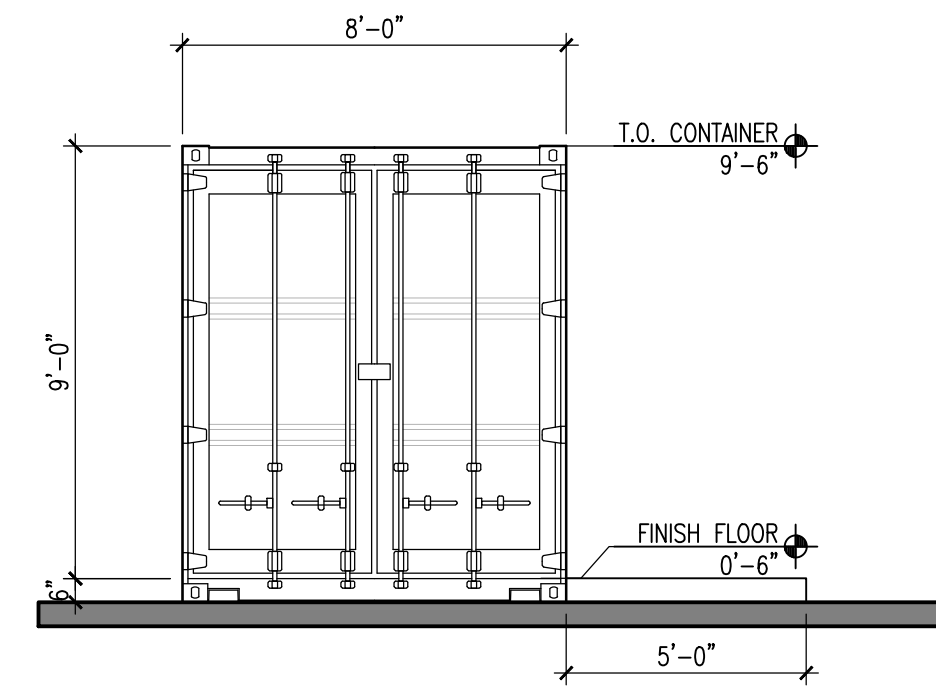


**1** SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

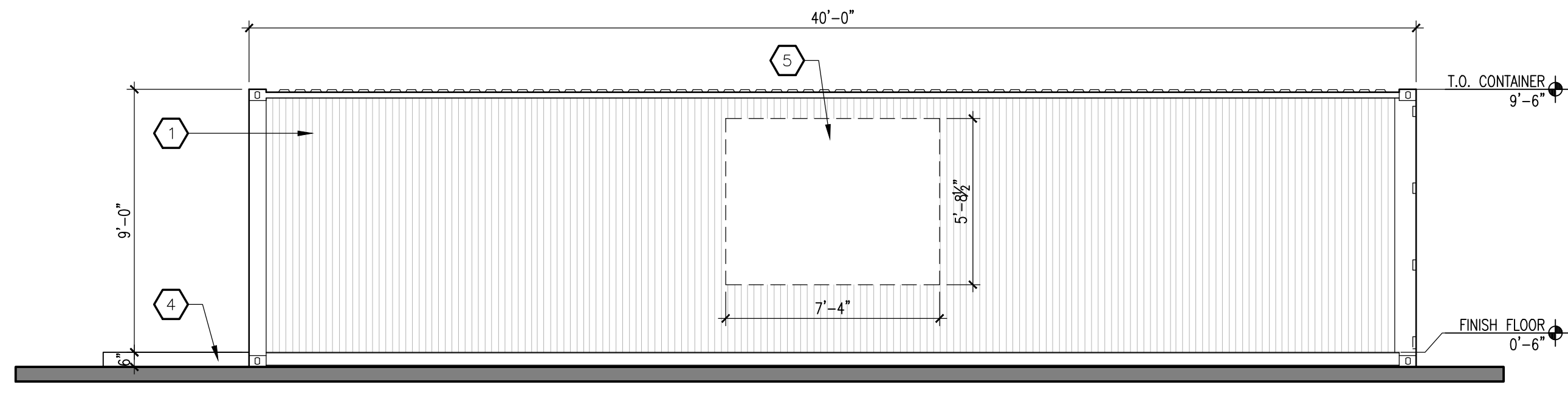
- KEYED NOTES:**
1. METAL PANEL FINISH BY SHIPPING CONTAINER SUPPLIER.
  2. HOLLOW METAL DOOR AND FRAME.
  3. CONCRETE STOOP.
  4. CONCRETE RAMP.
  5. BUILDING MOUNTED SIGN TO BE PERMITTED SEPARATELY.
  6. WALL MOUNTED EXTERIOR LIGHT FIXTURE.



**2** EAST ELEVATION  
SCALE: 1/4" = 1'-0"



**2** WEST ELEVATION  
SCALE: 1/4" = 1'-0"



**1** NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

AA FOR APPROVAL,  
NOT FOR CONSTRUCTION

PROJECT TITLE <b>MARKET 1861</b> 3100 ELLISON DR NW ALBUQUERQUE, NT 87114	DRAWN BY: CDC
PROJECT MANAGER <b>STEPHEN DUNBAR, AIA</b>	JOB NO. ..
SHEET TITLE <b>EXTERIOR ELEVATIONS</b>	

DATE 01/19/2012	Sheet: <b>A-2</b>
SCALE: AS NOTED	of.

REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			
▲			

February 17, 2022

James Aranda  
Current Planning Department Director  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW,  
Albuquerque, NM 87102

**RE: PROJECT ADDRESS – SWC OF NM 528 & ELLISON – ALBUQUERQUE, NM.  
87114**

**PROJECT NUMBER: 1001623**

**ADMINISTRATIVE AMENDMENT TO OVERALL SITE PLAN FOR BUILDING PERMIT**

Dear Mr. Aranda,

Modulus Architects & Land Use Planning, Inc., hereafter referred to as “Agent” for the purpose of this request, represents Market 1861, hereafter referred to as “Applicant.” We, “Agent” are requesting approval for this submittal to amend the approved Site Plan for Building Permit to add in a new retail kiosk. The site is located 3700 Ellison, Albuquerque NM 87114. The parcel (the “subject site”) is approximately 5 acres in size, zoned NR-BP and is located on the southwest corner of NM 528 & Ellison.

The subject site is currently developed. We are proposing to add in a 320SF retail kiosk on site. The overall Site Plan for Building Permit for the project (1001623, EPC 01128-01743, DRB-02500-00353) was approved and signed by the EPC in 2002. The proposed changes to the site have been outlined below. All changes meet the IDO and the DPM standards. This minor amendment request falls within the thresholds established in IDO Table 6-4-5.

This retail use will bring more convenient businesses to the community, while responding to market demands.

Our submittal includes the original approved EPC plans, the amended Site Plan for Building Permit, the amended Landscape Plan, the amended G&D Plan, and the amended Elevation Plan. The minor changes are listed below. Changes to the overall Site Development Plan package are identified in the AA drawings via bubbled areas.

**Site Plan for Building Permit**

1. Parking Calculation – We have not created a deficiency in the parking requirements and that is demonstrated on the Site Plan (Site Data Table).



2. The overall squarefootage of the development is currently 26,232 SF. The EPC approved and additional 9,974 SF for a total of 36,206 SF.
3. 320SF is being added with this amendment which is below the 10% threshold.
4. The proposed retail kiosk is showed on the site plan.

#### Site Plan and Elevations:

1. The proposed retail kiosk is showed on the site plan.
2. The elevations have been modified from new users.

#### G&D Plan:

1. The G&D plans shows the new kiosk. The kiosk is only 320sf and per the DPM it is well below the threshold for a G&D submittal. The kiosk will not be changing the existing flow. The small area that the kiosk is occupying is going from impervious to impervious land.

#### Landscape Plan:

1. A landscaping shows the new kiosk location. The existing landscaping will not change with the kiosk location.

I look forward to reviewing our submittal with you. If you have any additional questions regarding this submittal please feel free to contact me directly at (505) 338-1499 or email at: [rokoye@modulusarchitects.com](mailto:rokoye@modulusarchitects.com)

Best Regards,

**REGINA OKOYE, ENTITLEMENTS PROJECT MANAGER  
MODULUS ARCHITECTS & LAND USE PLANNING, INC.**

100 Sun Avenue NE, Suite 600  
Albuquerque, NM 87109  
Office 505.338.1499 (Ext. 1003)  
Mobile + Text 505.267.7686

# 3700 Ellison Dr. NW

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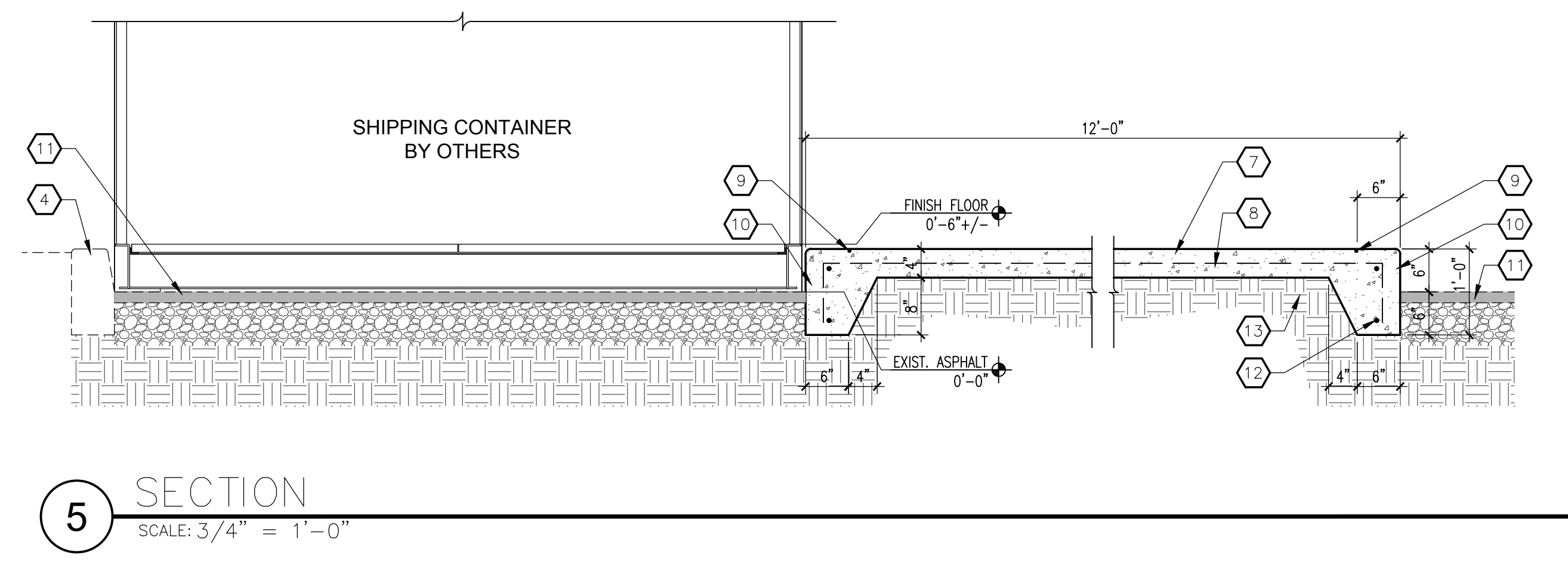
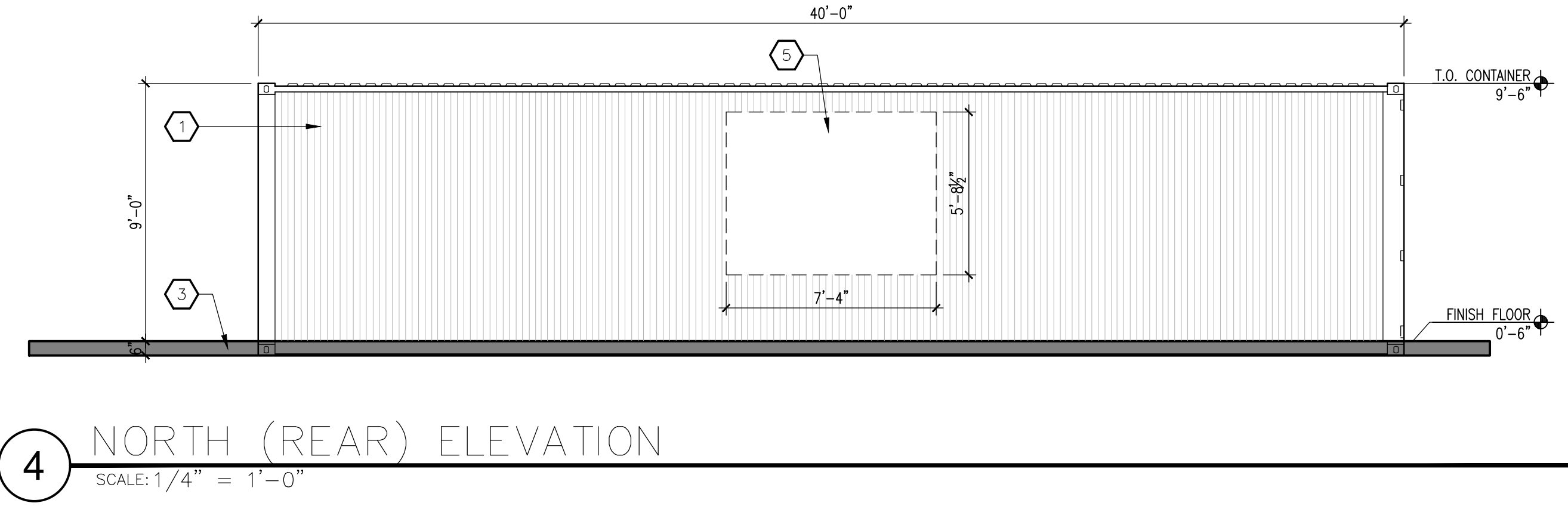
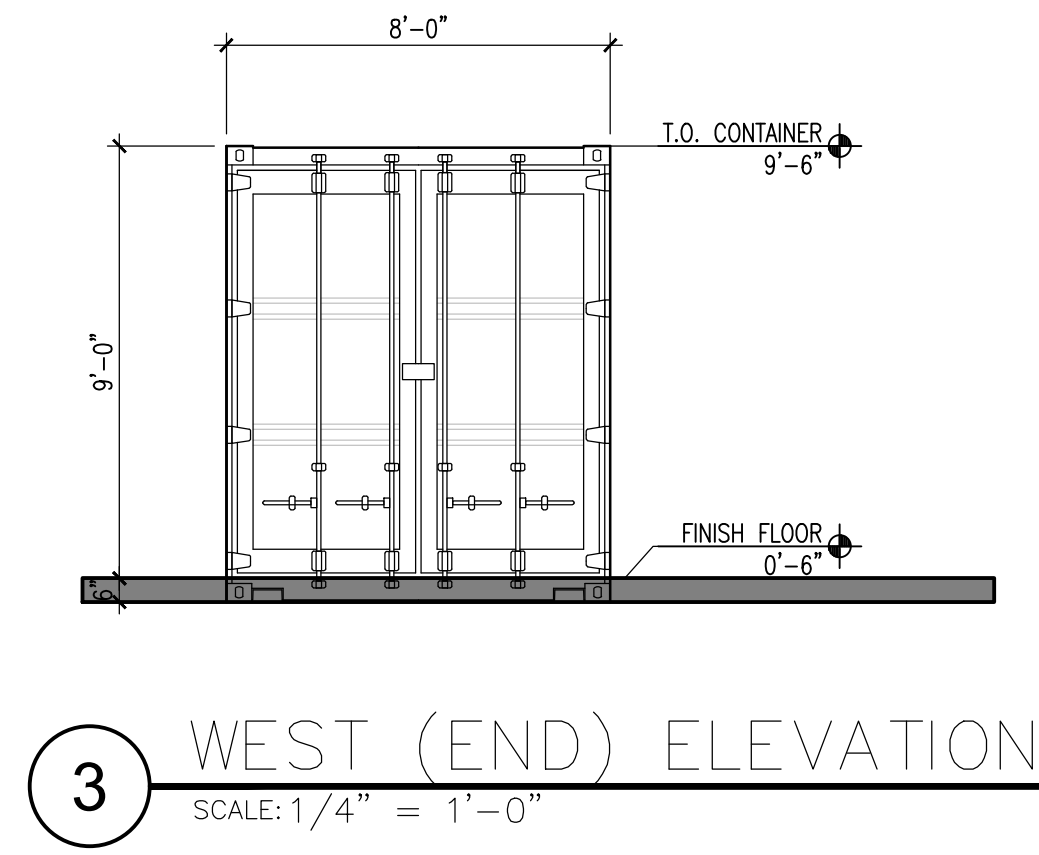
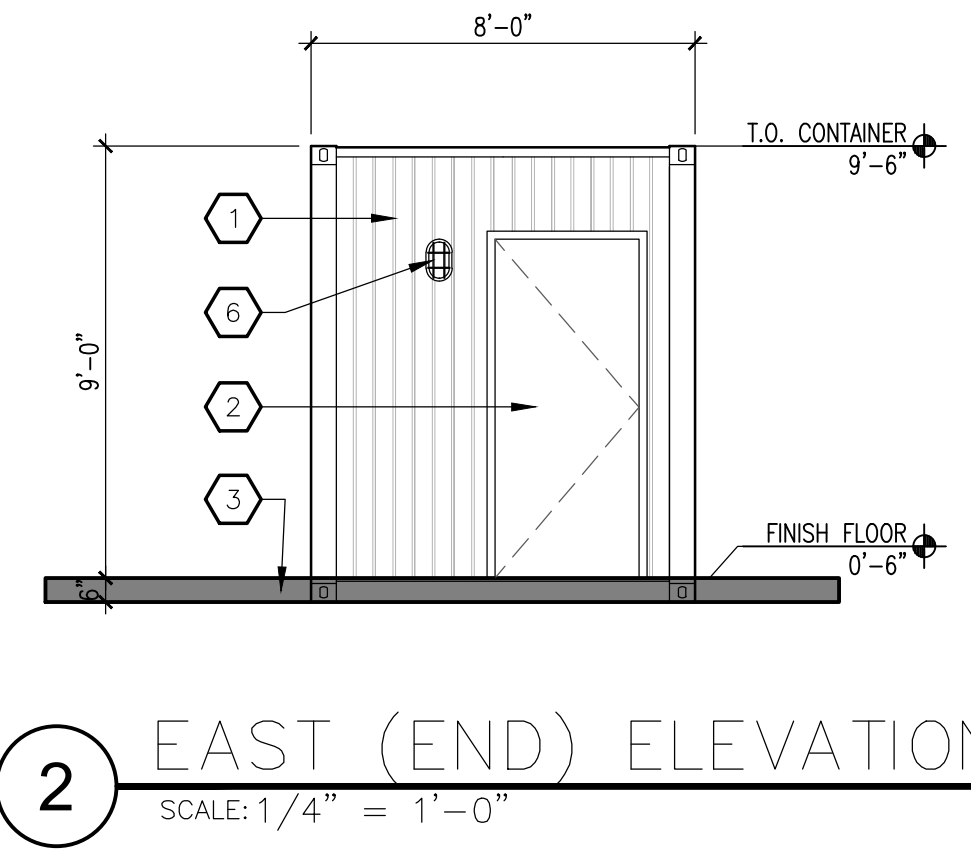
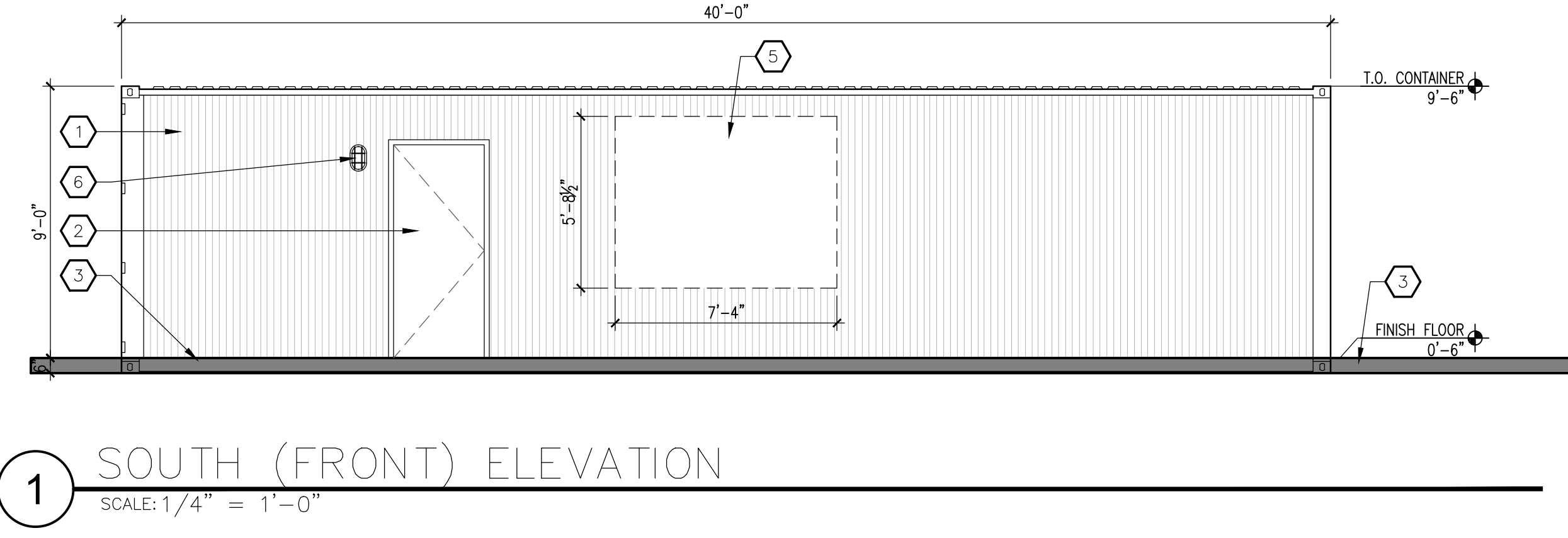
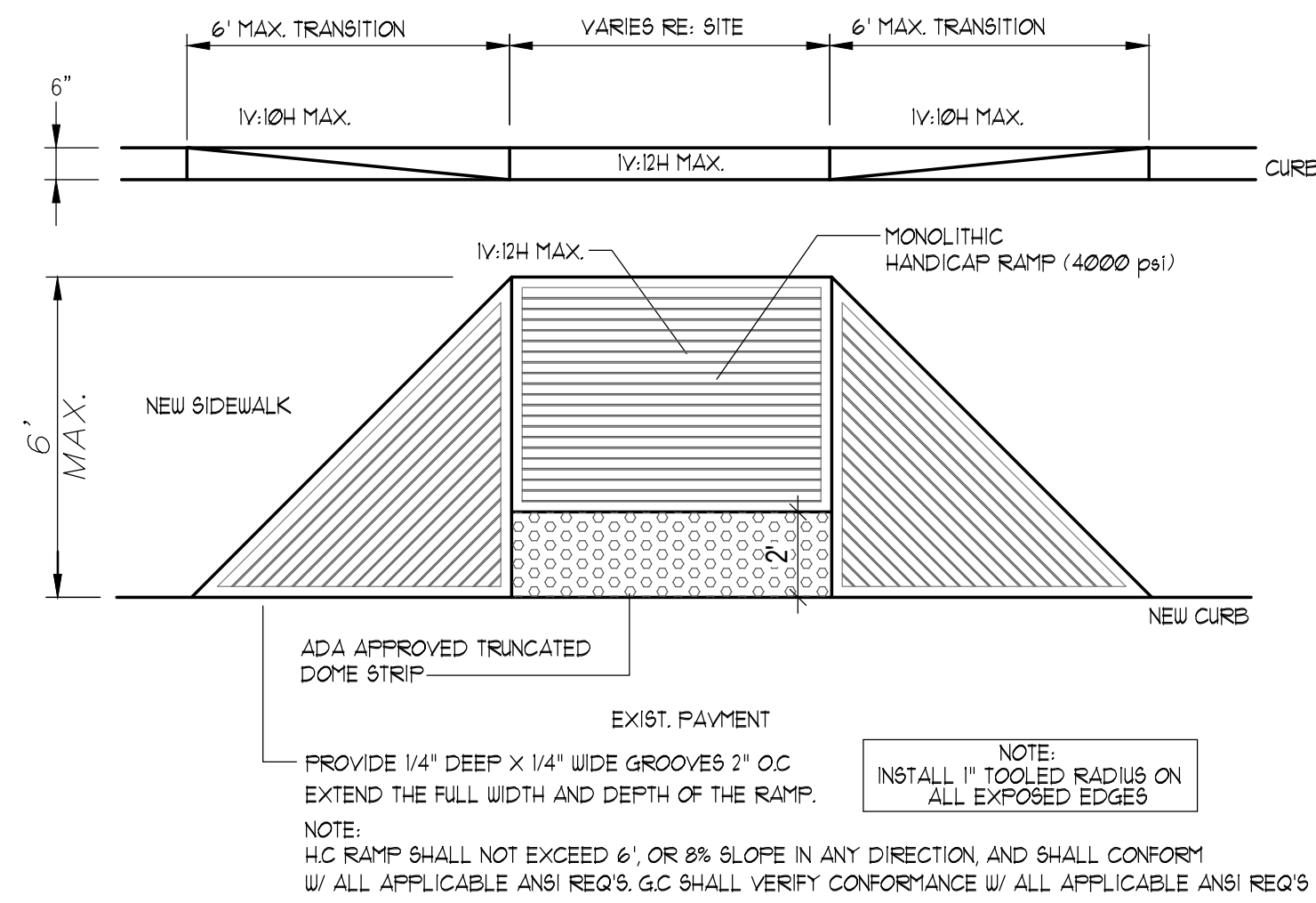
## Administrative Amendment Request

### Project #PR-

Transportation Development Comments:

Contact: Marwa Al-najjar 924-3675, [malnajjar@cabq.gov](mailto:malnajjar@cabq.gov)

- Please explain why you are proposing concrete stoop and concrete landing.
  - Addressed:
    - The concrete around the kiosk is used to level the asphalt with the kiosk. The kiosk does not fit level on the asphalt.
- Provide details for the proposed concrete landing and concrete stoop.
  - Addressed:
    - Please see details on A-2.



**GENERAL NOTES:**

- CONCRETE CONTRACTION JOINTS AT 5'-0" O.C. TOOLED, EXPANSION JOINTS AT 20' O.C. MAX. & ALL P.C.s, UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN. ALIGN CURB AND SIDEWALK JOINTS AT ALL TIMES

**KEYED NOTES:**

- METAL PANEL FINISH BY SHIPPING CONTAINER SUPPLIER.
- HOLLOW METAL DOOR AND FRAME.
- TURN DOWN CONCRETE SIDEWALK, SEE SECTION #6.
- EXISTING CONCRETE CURB TO REMAIN.
- BUILDING MOUNTED SIGN TO BE PERMITTED SEPARATELY.
- WALL MOUNTED EXTERIOR LIGHT FIXTURE.
- 4" THICK 4000 PSI CONCRETE. SLOPE 1:50 AWAY FROM BUILDING.
- 6x6-W1.4xW1.4 WELDING WIRE FABRIC REINFORCING @ MID DEPTH.
- 1/2" CONTROL JOINT
- CONCRETE TURNDOWN CURB.
- EXISTING ASPHALT PAVEMENT TO REMAIN.
- (2) #3 BARS CONTINUOUS.
- COMPACTED SUBGRADE.

REVISION	BY	DATE	REV

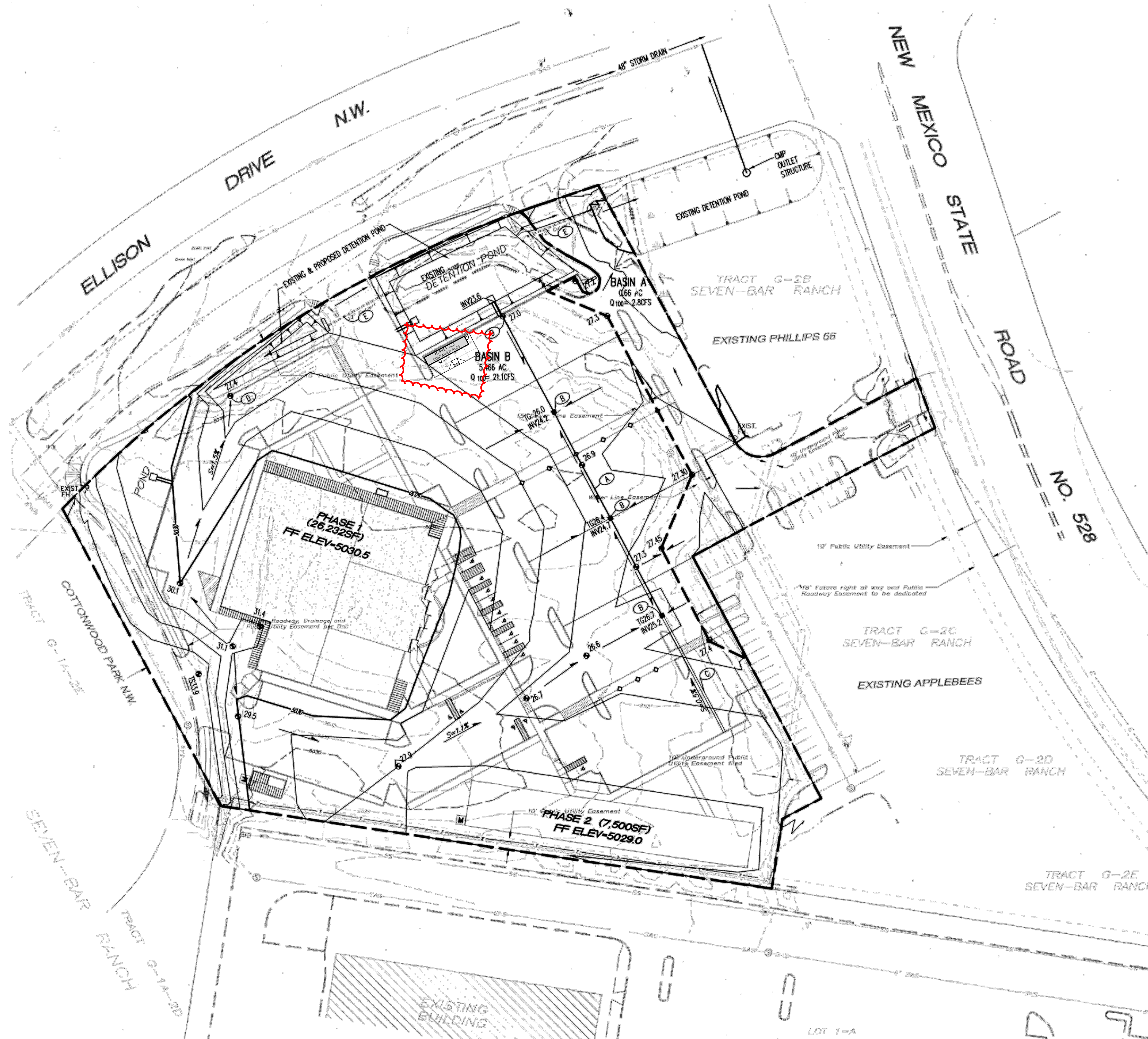
**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498



AA FOR APPROVAL,  
NOT FOR CONSTRUCTION

PROJECT TITLE MARKET 1861 3700 ELLISON DR NW ALBUQUERQUE, NT 87114	DRAWN BY: CDC
PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. ..
SHEET TITLE EXTERIOR ELEVATIONS	
DATE 01/19/2012	Sheet A-2
SCALE AS NOTED	et.





- KEYED NOTES**
- A. 12" STORM DRAIN PIPE
  - B. STORM DRAIN INLET SINGLE 'D'
  - C. CONCRETE VALLEY GUTTER
  - D. 12" CURB OPENING
  - E. EXISTING 12" CMP CULVERT PIPE

**LEGAL DESCRIPTION**  
SEVEN BAR- RANCH TRACT G-2A-1

- LEGEND**
- PROPERTY LINE
  - - - - - EXISTING CONTOURS
  - o 5.301.15 EXISTING GROUND SPOT ELEVATION
  - o 65.23 EXISTING ELECTRICAL POLE
  - o 1565.23 PROPOSED SPOT ELEVATION
  - TC=TOP OF CURB, FL=FLOW LINE, TW=TOP OF WALL, BW=BOTTOM OF WALL, EX=EXISTING, TD=TOP OF GRADE
  - PUBLIC SIDEWALK ELEVATIONS, SEE CITY WORKORDER PLANS
  - PROPOSED DIRECTION OF FLOW
  - PROPOSED INDEX CONTOURS
  - PROPOSED INTER CONTOURS
  - PROPOSED CURB & GUTTER
  - PROPOSED STORM DRAIN LINE
  - o PROPOSED STORM DRAIN MANHOLE
  - o PROPOSED STORM DRAIN INLET
  - o EXISTING STORM DRAIN MANHOLE
  - SITE WALL (SEE ARCHITECTURAL)
  - BASIN BOUNDARY

**Detention Pond Volume Calculations**

ASSUMPTIONS:  
1. Area less than 40 acres (simplified hydrograph method).  
2. 100-year, 6-hour storm event

**Peak Flow per Acre - DPM Section 22.2 Table A-9**

Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.7
3	1.87	2.6	3.45	5.02
4	2.2	2.92	3.73	5.25

Basin Name: [REDACTED]  
Choose Zone (1 - 4): [REDACTED]  
Basin Area = (acres): [REDACTED]

Exist Conditions				Proposed Conditions			
Treatment	Percentage	Area	Q (cfs)	Treatment	Percentage	Area	Q (cfs)
A	[REDACTED]	3.55	4.58	A	[REDACTED]	0.00	0.00
B	[REDACTED]	0.00	0.00	B	[REDACTED]	1.04	2.11
C	[REDACTED]	1.75	5.01	C	[REDACTED]	0.82	2.35
D	[REDACTED]	0.16	0.72	D	[REDACTED]	3.60	15.75
Q Peak - exist = 10.31				Peak Q Developed = 20.20			

Use my calculated exist cond. flow as the peak controlled discharge (1 = yes, or N) ?? [REDACTED]  
If No, what is the maximum allowable discharge? [REDACTED]

**Excess Precipitation - DPM Section 22.2 Table A-8**

Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.8	1.08	1.46	2.64

**Determine Developed E (avg excess precipitation for the developed basin)**

%A x E =	0.00
%B x E =	0.13
%C x E =	0.15
%D x E =	1.30
Avg E(in) =	1.58

**Determine Tb (hours)**  
Tb = 0.732

**Determine Tc (hours)**  
Tc = [REDACTED]

**Determine Tp and Duration of Peak (hours)**  
Tp = 0.218333  
Peak Duration = 0.165

**Compute the required retention volume using the simple hydrograph, Figure A-3 in DPM Section 22.2**

Time to Control Q (hrs) =	0.017
Time to end of Control Q (hrs) =	0.70473
Duration of Control Q (hrs) =	0.687
<b>Required Detention Volume (CF) =</b>	<b>2854.1</b>

**CONCEPTUAL DRAINAGE MANAGEMENT PLAN**

**I. INTRODUCTION AND PURPOSE**  
The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Quarters B80 Restaurant. This site is approximately 6.1 acres. This project is being submitted for DRB review. The purpose of this drainage management plan is to support DRB approval of the site plan. A more detailed grading and drainage plan will be submitted to support building permit approval.

**II. SITE LOCATION**  
The site is located within Tract G-2A-1 of Seven-Bar Ranch at the southeast corner of Ellison Drive and NM 528. The site is bounded on the north by Ellison Drive and NM 528 lies to the east. There are existing commercial developments surrounding the remainder of the project site. The existing legal description is Seven-Bar Ranch Tract G-2A-1, which is a replat of Seven-Bar Ranch Tract G-2A. See vicinity map on this sheet.

**III. EXISTING HYDROLOGIC CONDITIONS**  
The site is vacant land consisting primarily of native shrub and grasses. The site currently drains northerly to a series of detention ponds adjacent to Ellison Drive that were constructed with Special Assessment District (SAD) No. 223. There are total of 3 detention ponds, 2 within this site and one that is located on the northwest corner of Ellison Drive and NM528 at the existing Phillips 66 gas station. The ponds are connected with 12" CMP culverts that cross the existing driveways entrances on Ellison Drive. This series of ponds drain east to the Phillips 66 detention pond. The Phillips 66 detention pond has a controlled outlet that connects to an existing 48" storm drain in Ellison Drive. The SAD No. 223 Drainage Management Plan Sheet 2 of 4 shows the pond discharge rate of 7.2 cfs to the 48" storm drain in Ellison Drive. Total area delineated on sheet 2 of 4 referenced above is 10 acres, which includes the existing Phillips 66 and Applebees'. This equates to a discharge of 0.72 cfs/acre. These detention ponds drain to a 48" storm drain in Ellison Drive.

**IV. PROPOSED HYDROLOGIC CONDITIONS**  
This project consists of a restaurant with an office building proposed for a second phase. The approved master drainage plan for SAD 223 allows a discharge of 0.72 cfs per acre. This site is approximately 6.12 acres which equates to an allowable discharge of 4.4 cfs to the adjacent streets and existing storm drain in Ellison Drive. There are no offsite flows entering this site. Basin calculations show that Basin 'A' generates a peak flow of 2.8 cfs. This will free discharge to NM 528 and Ellison Drive. This leaves an allowable discharge for Basin 'B' of 4.4 cfs-2.8 cfs=1.6 cfs. Per the detention pond calculations a volume of 28,546 cfs is required to mitigate Basin 'B' from 20.2cfs to 1.6 cfs. Total volume of the existing ponds on this site will need to be increased to achieve the required volume. The existing 12" CMP culverts under the driveways will be utilized to convey drainage to the Phillips 66 detention pond and ultimately the 48" storm drain in Ellison Drive. Under proposed developed conditions the site will drain in a similar manner as it does under existing conditions. The developed condition for the site will conform to the allowable discharge rates specified in SAD 223.

**V. CONCLUSION**  
This conceptual drainage management plan proposes concepts which are in compliance with the approved drainage report and which honor the city's drainage requirements. With this submittal we are seeking site plan approval.

**ON-SITE PROPOSED CONDITIONS**

**Land Treatment Percentages - Zone 1**

Basin 'A'  
Area = 0.66 acres  
A = 0%, B = 8%, C = 0%, D = 92%  
Q100 = 0.08(0.66)2.03 + 0.92(0.66)4.37 = 2.8 CFS

Basin 'B'  
Area = 5.46 acres  
A = 0%, B = 19%, C = 15%, D = 66%  
Q100 = 0.19(5.46)2.03 + 0.15(5.46)2.87 + 0.66(5.46)4.37 = 20.2 CFS

**Detention Volume Requirements**  
28546 c.f.

1 CONCEPTUAL GRADING PLAN  
SCALE: 1" = 50'

**MODULUS ARCHITECTS**  
100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498

AA FOR APPROVAL, NOT FOR CONSTRUCTION

PROJECT TITLE: MARKET 1861  
3100 ELLISON DR NW  
ALBUQUERQUE, NT 87114

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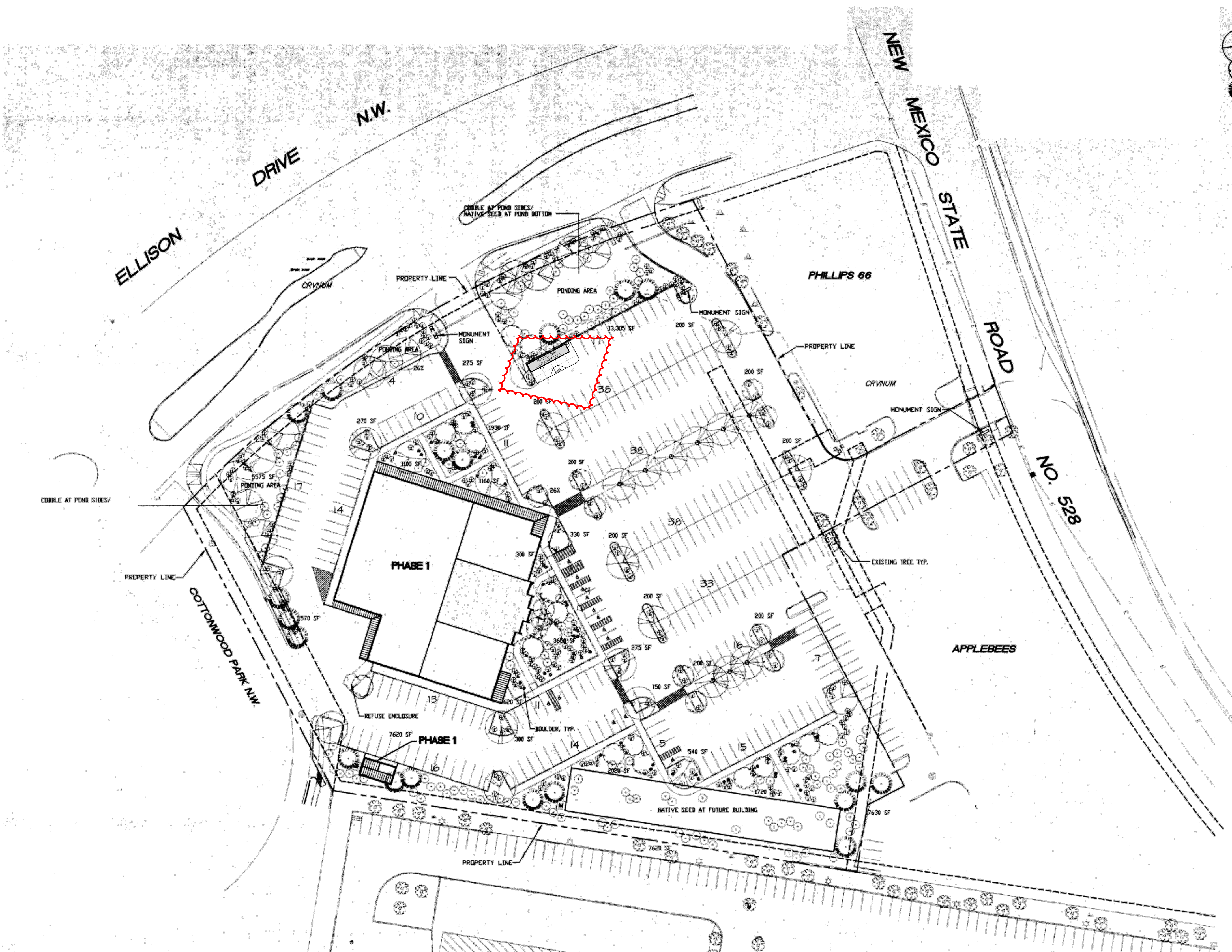
PROJECT MANAGER: STEPHEN DUNBAR, AIA

JOB NO.:

SHEET TITLE: CONCEPTUAL GRADING PLAN

CG-1





**PLANT LEGEND**

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
○		SHADE/STREET TREE GLEDTISIA PISTACHIA	HONEY LOCUST PISTACHE	2" CAL 2" CAL	H H
○		ORNAMENTAL TREE CRATAEGUS CHILOPSIS	HAWTHORN DESERT WILLOW	15 GAL 15 GAL	M M
○		EVERGREEN TREE PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.	M
○		SHRUBS ELAEAGNUS PUNGENS JUNIPERUS SABINA RAPHANIS INDICA CHRYSOTHAMNUS MUSEOSUS BUDDLEIA DAVIDII CARYOPTERIS X CLADONENSIS ROSMARINUS OFFICINALIS MISCANTHUS SINENSIS HESPERALOE PARVIFLORA LAVANDULA	SILVERBERRY BUFFALO JUNIPER INDIA HAWTHORN CHAMISA BUTTERFLY BUSH BLUE MIST ROSEMARY MAIDEN GRASS RED YUCCA LAVENDER	1 GAL. MIN. M M L M M M M M M	

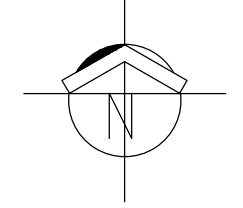
**SITE DATA**

GROSS LOT AREA	267,062 SF
LESS BUILDING	39,920 SF
NET LOT AREA	227,142 SF
REQUIRED LANDSCAPE	34,071 SF
15% OF NET LOT AREA	59,840 SF
PROPOSED LANDSCAPE	28%
PERCENT OF NET LOT AREA	
REQUIRED PARKING LOT TREES	
ONE PER 10 SPACES	
316 SPACES / 10 = 32 REQUIRED	
PARKING LOT TREES PROVIDED MIN.	32

**PLANTING RESTRICTIONS APPROACH**  
 A MINIMUM OF 80% OF THE PLANTINGS TO BE  
 LOW OR MEDIUM WATER USE PLANTS  
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE  
 HIGH WATER USE TURF

**NOTE**  
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 PLANTINGS TO BE WATERED BY AUTO. DRIP  
 IRRIGATION SYSTEM  
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY  
 OF THE PROPERTY OWNER  
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE  
 AND WATER WASTE ORDINANCE PLANTING  
 RESTRICTIONS APPROACH  
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.  
 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS  
 AT MATURITY  
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL  
 MULCH AT 2"-3" DEPTH OVER FILTER FABRIC  
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE  
 OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE  
 C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE  
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS  
 NO PARKING SPACE SHALL BE MORE THAN 100'  
 FROM A TREE.

**1** LANDSCAPE PLAN  
 SCALE: 1" = 50'



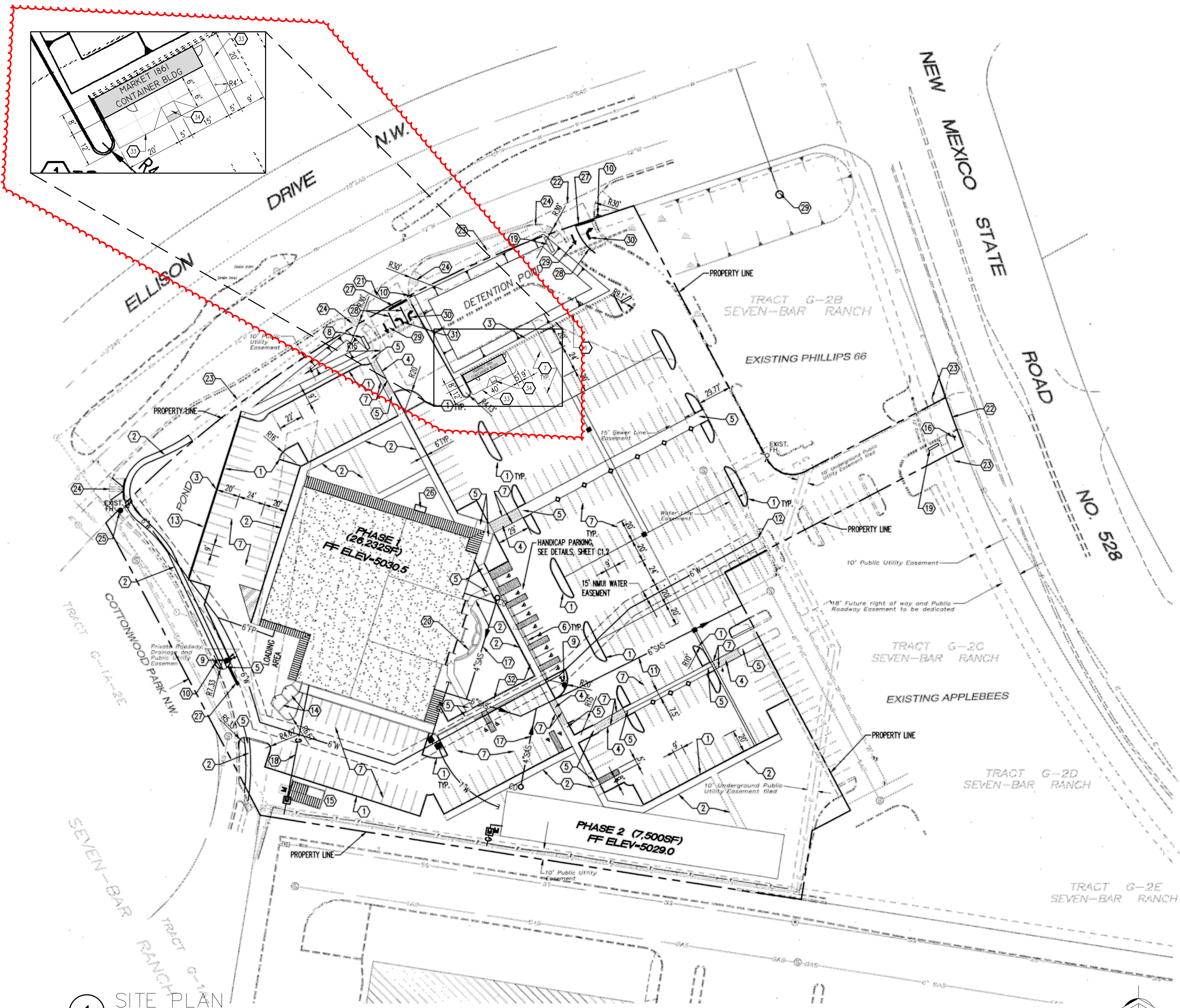
REV	DATE	BY	REVISION
▲			
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▲			

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
 PHONE (505) 338-1499 FAX (505) 338-1498

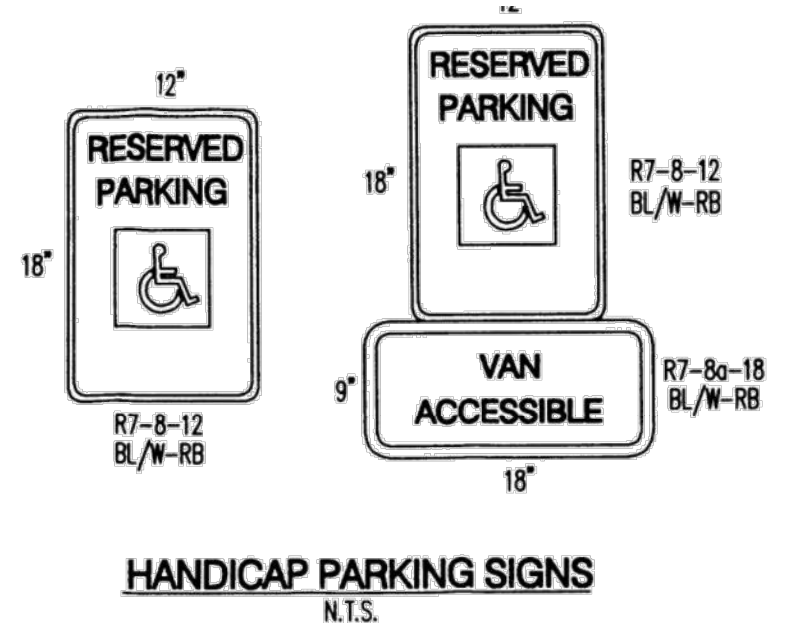
AA FOR  
 APPROVAL,  
 NOT FOR  
 CONSTRUCTION

PROJECT TITLE MARKET 1861 3100 ELLISON DR NW ALBUQUERQUE, NT 87114	PROJECT MANAGER STEPHEN DUNBAR, AIA	JOB NO. ..	DRAWN BY: CDC
SHEET TITLE LANDSCAPE PLAN			
DATE 01/19/2012	SCALE AS NOTED	Sheet: LS-1	

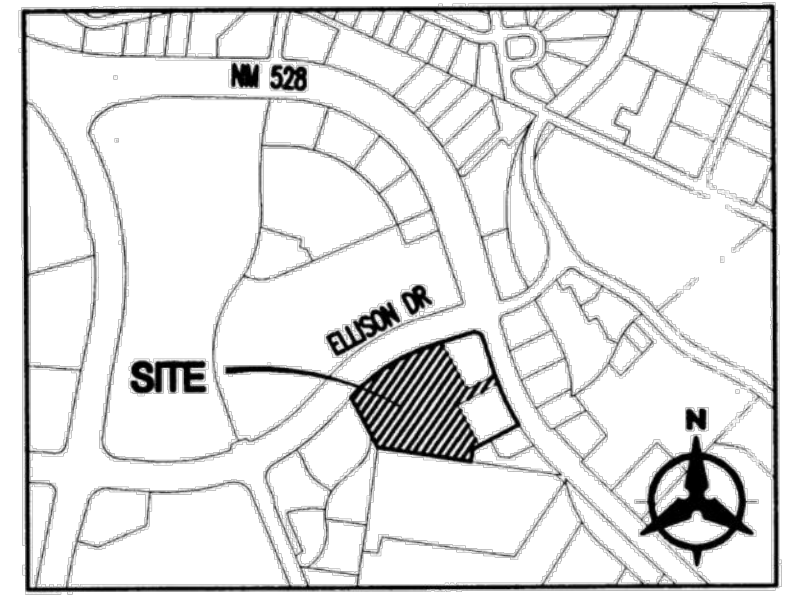




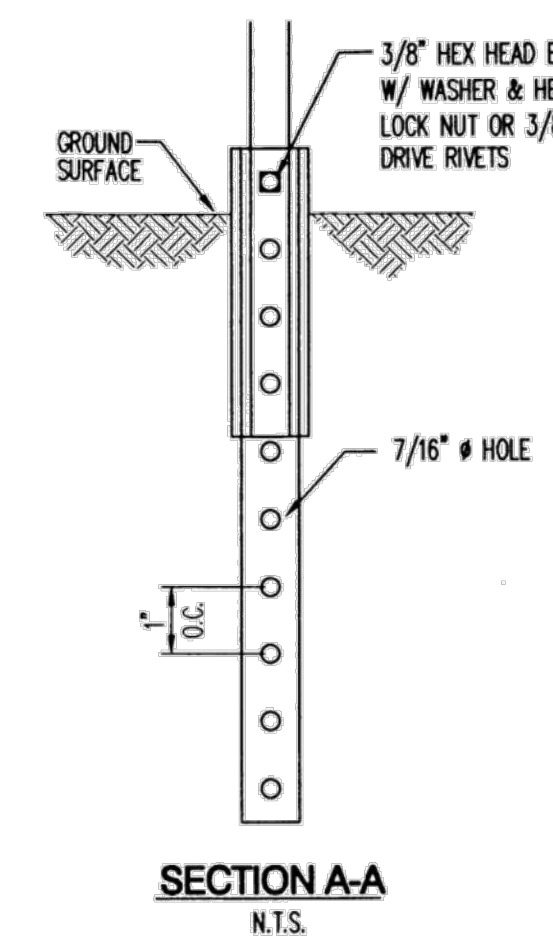
1 SITE PLAN  
SCALE: 1" = 50'



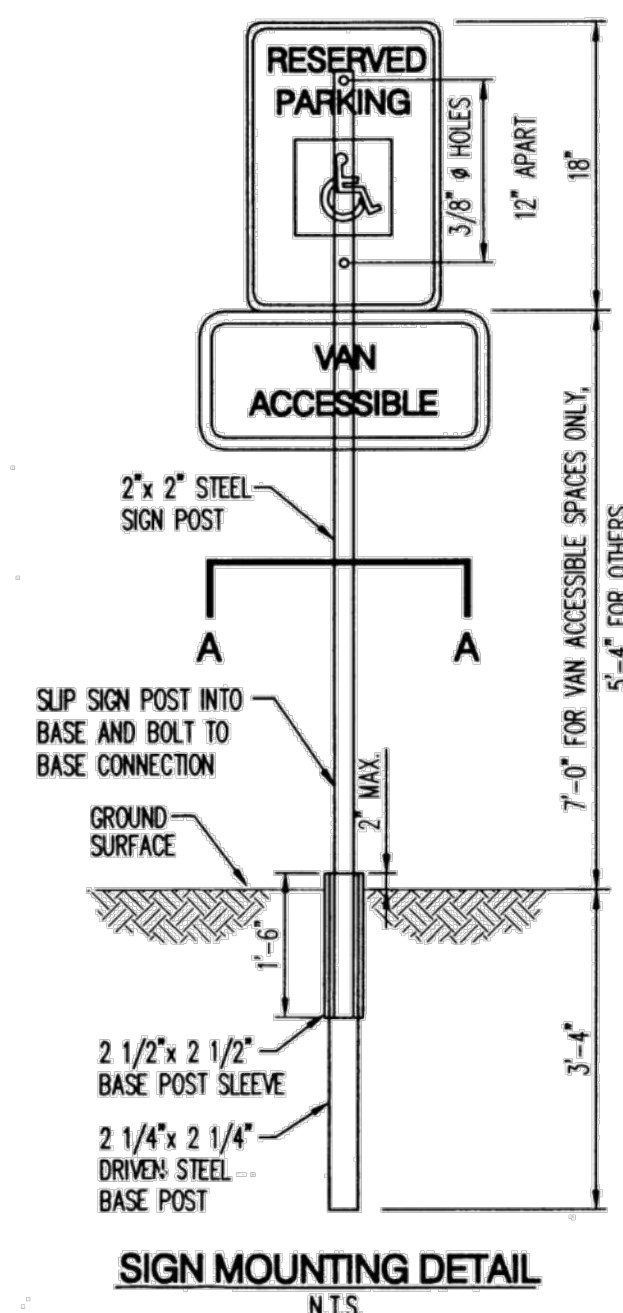
HANDICAP PARKING SIGNS  
N.T.S.



VICINITY MAP  
ZONE ATLAS A-14-Z



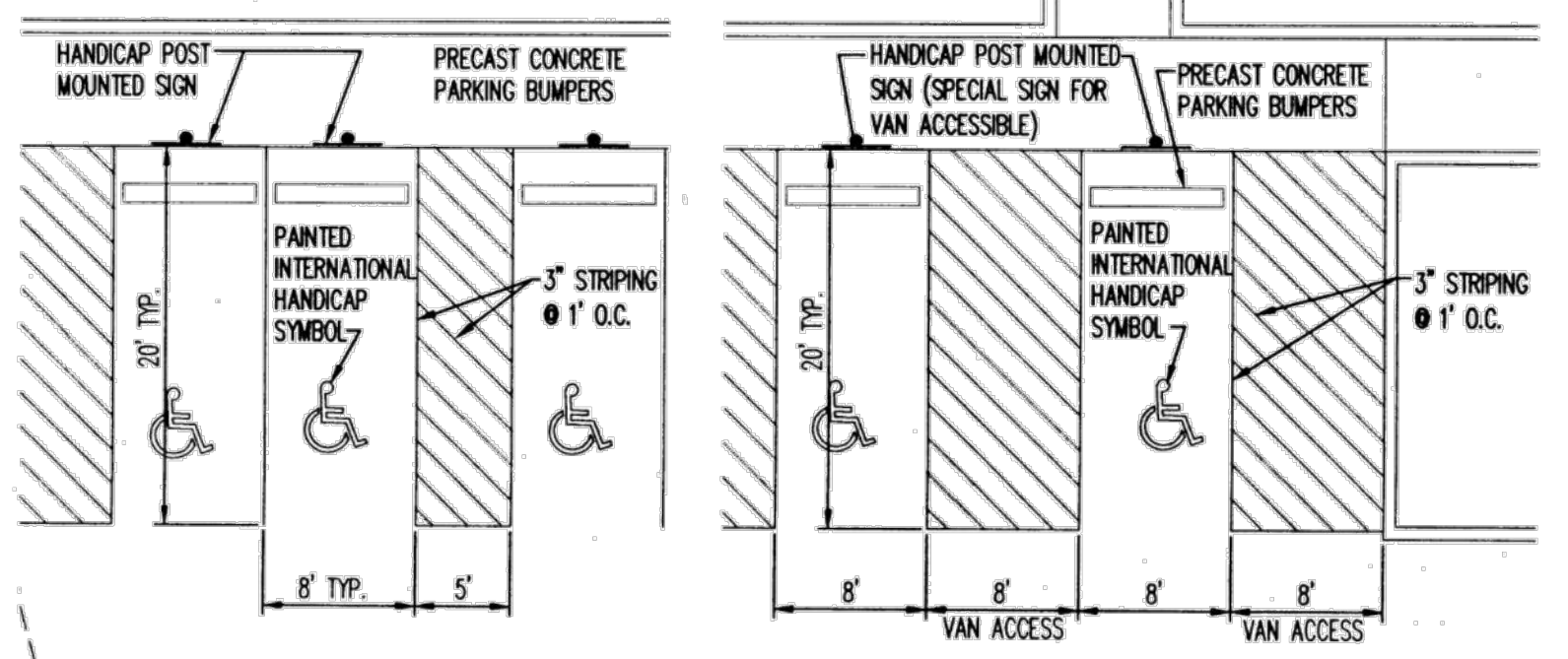
SECTION A-A  
N.T.S.



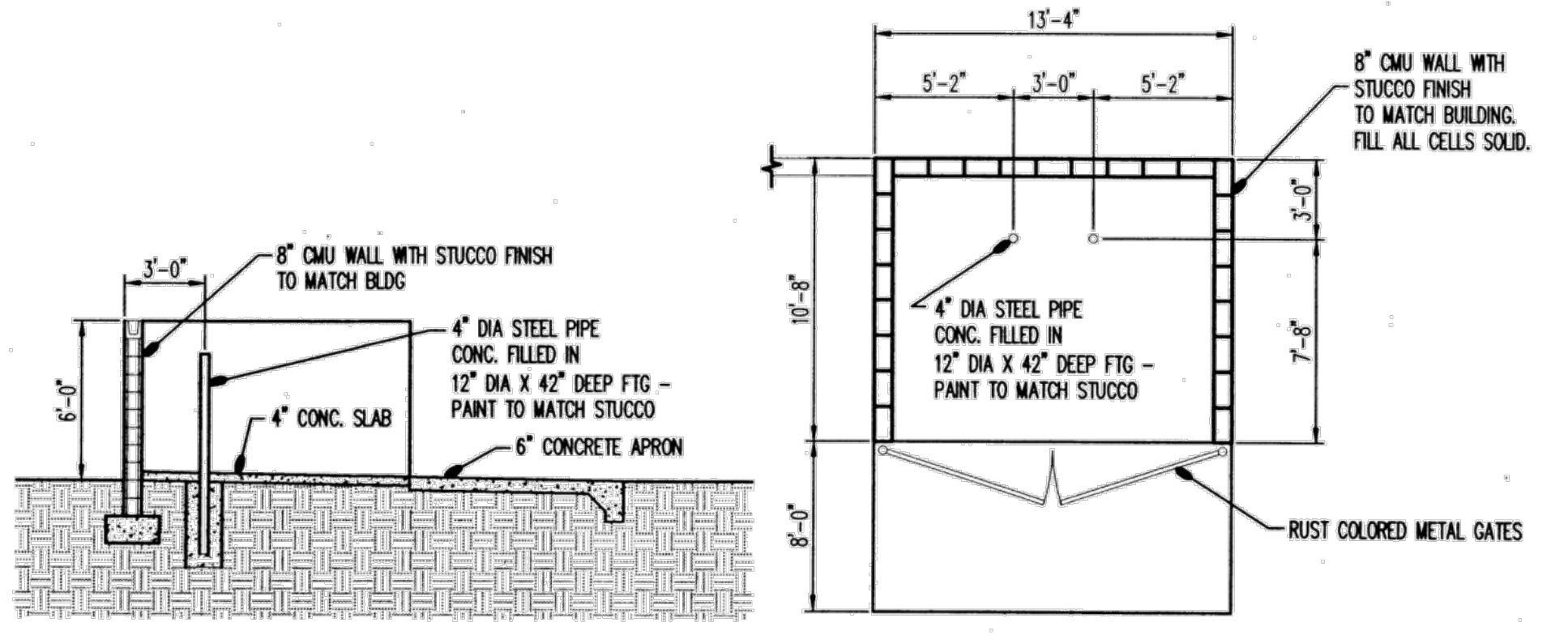
SIGN MOUNTING DETAIL  
N.T.S.

KEYED NOTES

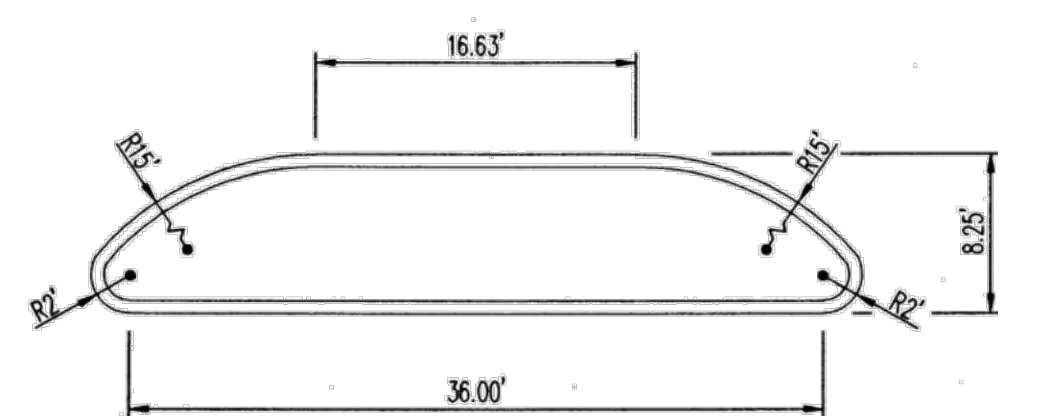
- CONSTRUCT 6" MEDIAN CURB AND GUTTER PER COA STD. DWG 2415
- CONSTRUCT 6' WIDE SIDEWALK PER COA STD. DWG 2430
- CONSTRUCT 30" HIGH CMU SITE WALL WITH STUCCO FINISH TO MATCH COLOR OF BUILDING.
- CONSTRUCT PEDESTRIAN CROSSING, TEXTURED CONCRETE PAVEMENT
- CONSTRUCT UNIDIRECTIONAL HC RAMP.
- INSTALL PARKING BUMPER, TYP 16 PLACES
- PAINT 4" WHITE STRIPING.
- MONUMENT SIGN INTERNALLY ILLUMINATED
- INSTALL FIRE HYDRANT PER COA STD. DWG 2340
- INSTALL STOP SIGN.
- INSTALL 6" SANITARY SEWER LINE.
- INSTALL 6" WATER LINE.
- SIGN ON WALL.
- CONSTRUCT REFUSE ENCLOSURE.
- CONSTRUCT 15'x30' (450SF) CMU STORAGE AREA WITH METAL ROOF FOR WOOD AND MAINTENANCE EQUIPMENT. FENCE AT FRONT OF WOOD STORAGE AREA (PHASE 1)
- EXISTING STOP SIGN.
- INSTALL 4" SANITARY SEWER LINE.
- INSTALL GAS LINE.
- NON ILLUMINATED MONUMENT SIGN.
- OUTDOOR PATIO AREA.
- EXISTING 40" CURB CUT.
- EXISTING 30" CURB CUT.
- EXISTING 6' WIDE SIDEWALK.
- EXISTING MULTI-DIRECTIONAL HC RAMP.
- EXISTING FIRE HYDRANT TO BE REMOVED & RELATED.
- 5'x10' CONCRETE PAD FOR BICYCLE PARKING.
- 24" WHITE STOP BAR.
- 8" WHITE STRIPE.
- THROUGH ARROW.
- RIGHT TURN ARROW.
- LEFT/RIGHT TURN ARROW.
- SIDEWALK FLUSH W/ ASPHALT.
- TURN DOWN CURB & SIDEWALK, SEE DETAIL 5/A-2.
- FLARED ACCESSIBLE RAMP, SEE DETAIL 6/A-2.



HANDICAP PARKING DETAIL



REFUSE ENCLOSURE  
M.T.C.



TYPICAL AISLE ISLAND

USES:	RETAIL	BAR/RESTAURANT/TAP ROOM	ALL USES
BUILDING SIZE:	320 SF	25,026.8 SF	
TOTAL PARKING REQ:	4 SPACES / 1,000 SQ. FT. GFA = 1	8 SPACES / 1,000 SQ. FT. GFA = 200	201
TOTAL PARKING PROV:			267
HC PROVIDED:	-	-	16 PROVIDED
HC REQUIRED:	-	-	7 REQUIRED
TOTAL SPACES			283 TOTAL SPACES

REVISION	BY	DATE

**MODULUS ARCHITECTS**  
 100 SUN AVENUE NE SUITE 305  
 ALBUQUERQUE, NEW MEXICO 87109  
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AA FOR APPROVAL,  
NOT FOR CONSTRUCTION

PROJECT TITLE: MARKET 1861  
 3100 ELLISON DR NW  
 ALBUQUERQUE, NT 87114

PROJECT MANAGER: STEPHEN DUNBAR, AIA  
 SHEET TITLE: SITE PLAN

DATE: 01/19/2022  
 SCALE: AS NOTED

DRAWN BY: CDC  
 JOB NO.:

SHEET: 50-1