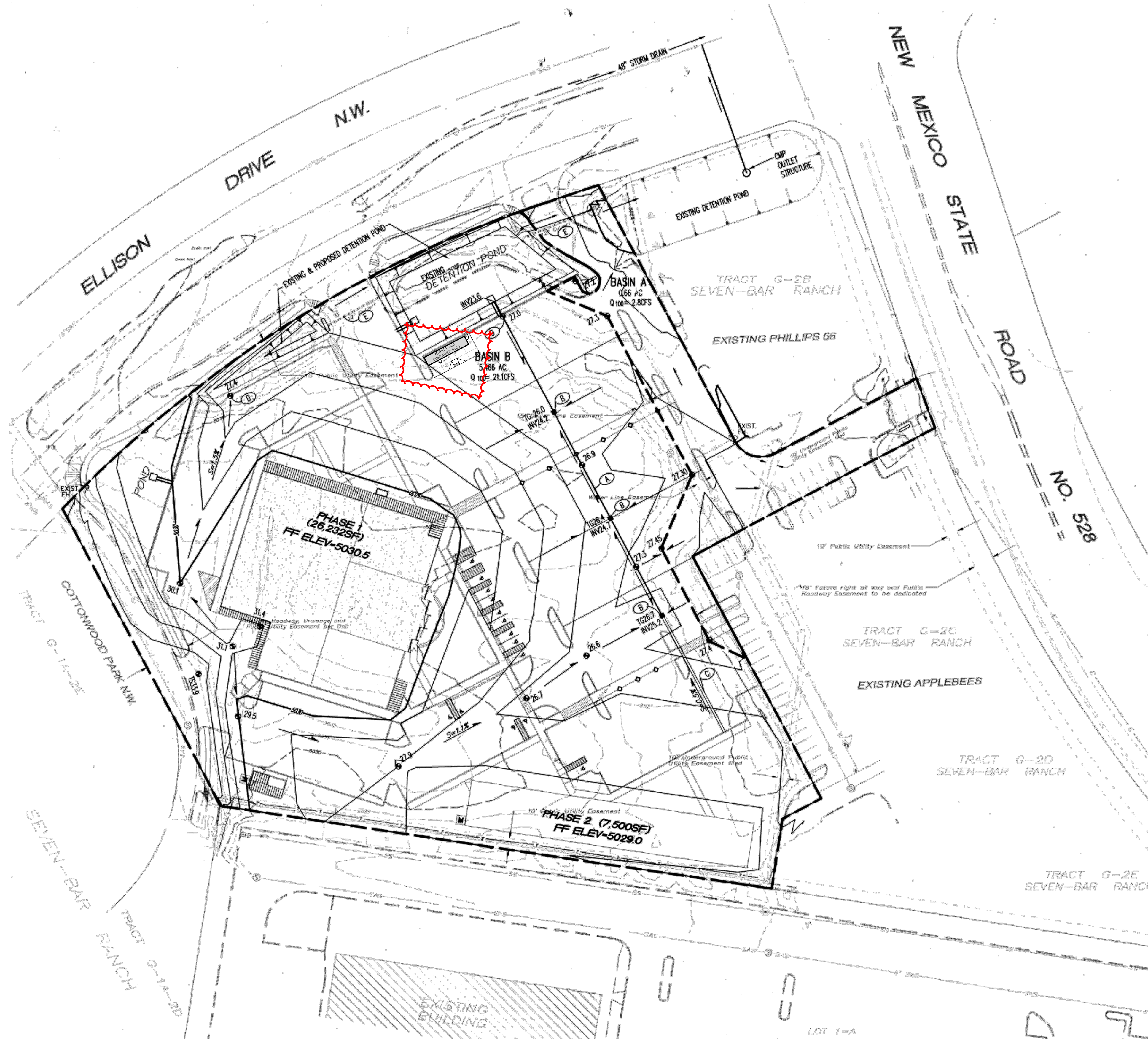


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

DATE



- KEYED NOTES**
- A. 12" STORM DRAIN PIPE
 - B. STORM DRAIN INLET SINGLE 'D'
 - C. CONCRETE VALLEY GUTTER
 - D. 12" CURB OPENING
 - E. EXISTING 12" CMP CULVERT PIPE

LEGAL DESCRIPTION
SEVEN BAR- RANCH TRACT G-2A-1

- LEGEND**
- PROPERTY LINE
 - - - - - EXISTING CONTOURS
 - 5.301.15 EXISTING GROUND SPOT ELEVATION
 - 65.23 EXISTING ELECTRICAL POLE
 - 1565.23 PROPOSED SPOT ELEVATION
 - TC=TOP OF CURB, FL=FLOW LINE, TW=TOP OF WALL, BW=BOTTOM OF WALL, EX=EXISTING, TD=TOP OF GRADE
 - PUBLIC SIDEWALK ELEVATIONS, SEE CITY WORKORDER PLANS
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED INDEX CONTOURS
 - PROPOSED INTER CONTOURS
 - PROPOSED CURB & GUTTER
 - PROPOSED STORM DRAIN LINE
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - EXISTING STORM DRAIN MANHOLE
 - SITE WALL (SEE ARCHITECTURAL)
 - BASIN BOUNDARY

Detention Pond Volume Calculations

ASSUMPTIONS:
1. Area less than 40 acres (simplified hydrograph method).
2. 100-year, 6-hour storm event

Peak Flow per Acre - DPM Section 22.2 Table A-9

Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.7
3	1.87	2.6	3.45	5.02
4	2.2	2.92	3.73	5.25

Basin Name: [REDACTED]
Choose Zone (1 - 4): [REDACTED]
Basin Area = (acres): [REDACTED]

Exist Conditions				Proposed Conditions			
Treatment	Percentage	Area	Q (cfs)	Treatment	Percentage	Area	Q (cfs)
A	[REDACTED]	3.55	4.58	A	[REDACTED]	0.00	0.00
B	[REDACTED]	0.00	0.00	B	[REDACTED]	1.04	2.11
C	[REDACTED]	1.75	5.01	C	[REDACTED]	0.82	2.35
D	[REDACTED]	0.16	0.72	D	[REDACTED]	3.60	15.75
Q Peak - exist = 10.31				Peak Q Developed = 20.20			

Use my calculated exist cond. flow as the peak controlled discharge (1 = yes, or N) ?? [REDACTED]
If No, what is the maximum allowable discharge? [REDACTED]

Excess Precipitation - DPM Section 22.2 Table A-8

Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.8	1.08	1.46	2.64

Determine Developed E (avg excess precipitation for the developed basin)

%A x E =	0.00
%B x E =	0.13
%C x E =	0.15
%D x E =	1.30
Avg E(in) =	1.58

Determine Tb (hours)
Tb = 0.732

Determine Tc (hours)
Tc = [REDACTED]

Determine Tp and Duration of Peak (hours)
Tp = 0.218333
Peak Duration = 0.165

Compute the required retention volume using the simple hydrograph, Figure A-3 in DPM Section 22.2

Time to Control Q (hrs) =	0.017
Time to end of Control Q (hrs) =	0.70473
Duration of Control Q (hrs) =	0.687
Required Detention Volume (CF) =	28546

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION AND PURPOSE

The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Quarters BBQ Restaurant. This site is approximately 6.1 acres. This project is being submitted for DRB review. The purpose of this drainage management plan is to support DRB approval of the site plan. A more detailed grading and drainage plan will be submitted to support building permit approval.

II. SITE LOCATION

The site is located within Tract G-2A-1 of Seven-Bar Ranch at the southeast corner of Ellison Drive and NM 528. The site is bounded on the north by Ellison Drive and NM 528 lies to the east. There are existing commercial developments surrounding the remainder of the project site. The existing legal description is Seven-Bar Ranch Tract G-2A-1, which is a replat of Seven-Bar Ranch Tract G-2A. See vicinity map on this sheet.

III. EXISTING HYDROLOGIC CONDITIONS

The site is vacant land consisting primarily of native shrub and grasses. The site currently drains northerly to a series of detention ponds adjacent to Ellison Drive that were constructed with Special Assessment District (SAD) No. 223. There are total of 3 detention ponds, 2 within this site and one that is located on the northwest corner of Ellison Drive and NM528 at the existing Phillips 66 gas station. The ponds are connected with 12" CMP culverts that cross the existing driveway entrances on Ellison Drive. This series of ponds drain east to the Phillips 66 detention pond. The Phillips 66 detention pond has a controlled outlet that connects to an existing 48" storm drain in Ellison Drive. The SAD No. 223 Drainage Management Plan Sheet 2 of 4 shows the pond discharge rate of 7.2 cfs to the 48" storm drain in Ellison Drive. Total area delineated on sheet 2 of 4 referenced above is 10 acres, which includes the existing Phillips 66 and Applebees'. This equates to a discharge of 0.72 cfs/acre. These detention ponds drain to a 48" storm drain in Ellison Drive.

IV. PROPOSED HYDROLOGIC CONDITIONS

This project consists of a restaurant with an office building proposed for a second phase. The approved master drainage plan for SAD 223 allows a discharge of 0.72 cfs per acre. This site is approximately 6.12 acres which equates to an allowable discharge of 4.4 cfs to the adjacent streets and existing storm drain in Ellison Drive. There are no offsite flows entering this site. Basin calculations show that Basin 'A' generates a peak flow of 2.8 cfs. This will free discharge to NM 528 and Ellison Drive. This leaves an allowable discharge for Basin 'B' of 4.4 cfs-2.8 cfs=1.6 cfs. Per the detention pond calculations a volume of 28,546 cfs is required to mitigate Basin 'B' from 20.2cfs to 1.6 cfs. Total volume of the existing ponds on this site will need to be increased to achieve the required volume. The existing 12" CMP culverts under the driveways will be utilized to convey drainage to the Phillips 66 detention pond and ultimately the 48" storm drain in Ellison Drive. Under proposed developed conditions the site will drain in a similar manner as it does under existing conditions. The developed condition for the site will conform to the allowable discharge rates specified in SAD 223.

V. CONCLUSION

This conceptual drainage management plan proposes concepts which are in compliance with the approved drainage report and which honor the city's drainage requirements. With this submittal we are seeking site plan approval.

ON-SITE PROPOSED CONDITIONS

Land Treatment Percentages - Zone 1

Basin 'A'

Area = 0.66 acres
A = 0%, B = 8%, C = 0%, D = 92%

Q100 = 0.08(0.66)2.03 + 0.92(0.66)4.37 = 2.8 CFS

Basin 'B'

Area = 5.46 acres
A = 0%, B = 19%, C = 15%, D = 66%

Q100 = 0.19(5.46)2.03 + 0.15(5.46)2.87 + 0.66(5.46)4.37 = 20.2 CFS

Detention Volume Requirements

28546 c.f.

1 CONCEPTUAL GRADING PLAN
SCALE: 1" = 50'

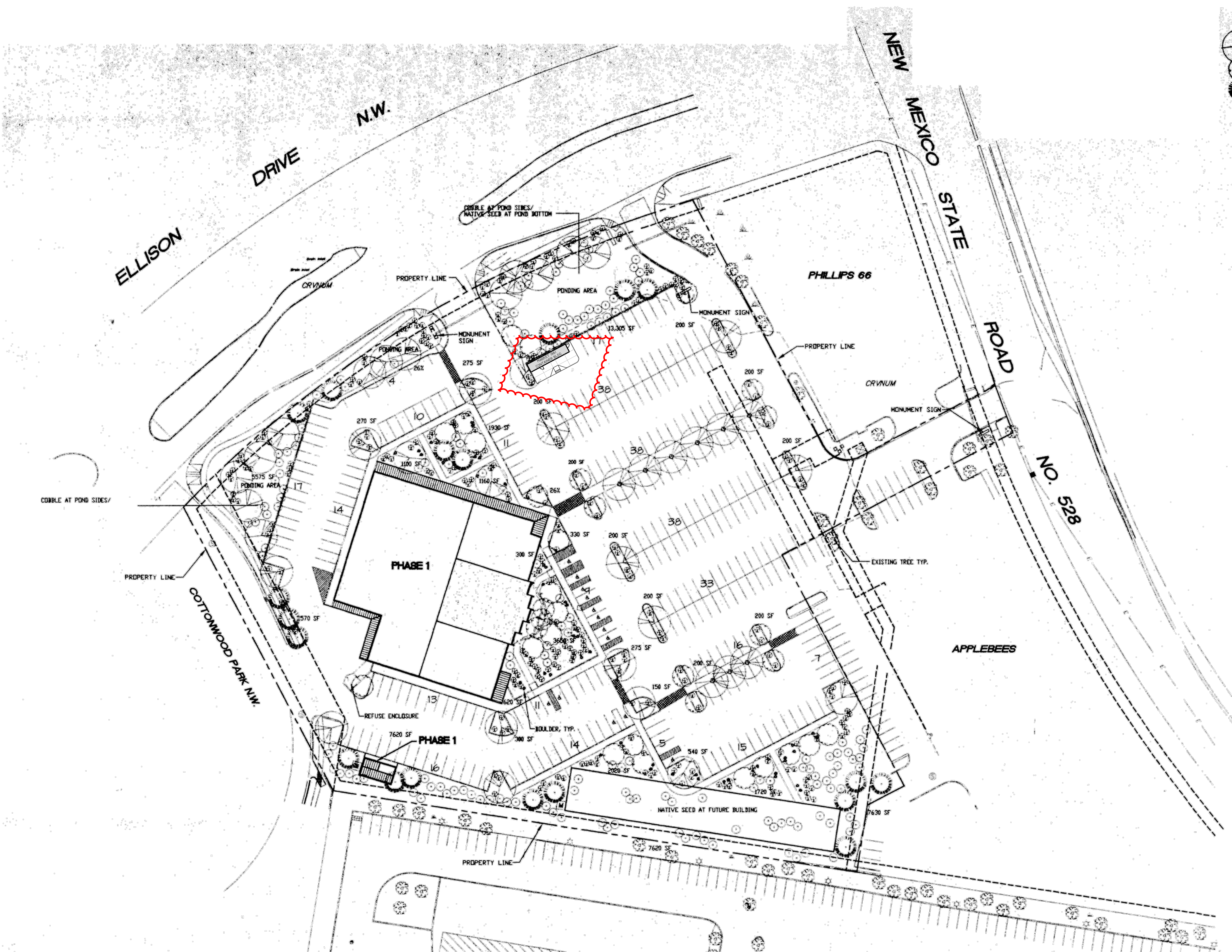
MODULUS ARCHITECTS
100 SUN AVENUE NE SUITE 305
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

AA FOR APPROVAL,
NOT FOR CONSTRUCTION

PROJECT TITLE: MARKET 1861
3100 ELLISON DR NW
ALBUQUERQUE, NT 87114
DRAWN BY: CDC
PROJECT MANAGER: STEPHEN DUNBAR, AIA
JOB NO.:
SHEET TITLE: CONCEPTUAL GRADING PLAN

DATE: 01/19/2022
SCALE: AS NOTED
CG-1

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



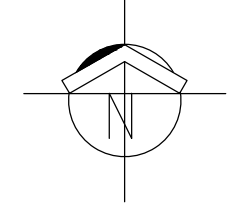
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
○		GLEDITSIA	HONEY LOCUST	2" CAL	H
○		PISTACHIA	PISTACHE	2" CAL	H
○		CRATAEGUS	HAWTHORN	15 GAL	M
○		CHILOPSIS	DESERT WILLOW	15 GAL	M
○		ELAEAGNUS PUNGENS	SILVERBERRY	1 GAL. MIN.	M
○		JUNIPERUS SABINA	BUFFALO JUNIPER	M	M
○		RAPHANIS INDICA	INDIA HAWTHORN	M	M
○		CHRYSOTHAMNUS MUSEOSUS	CHAMISA	L	M
○		BUDDLEIA DAVIDII	BUTTERFLY BUSH	M	M
○		CARYOPTERIS X CLADONENSIS	BLUE MIST	M	M
○		ROSMARINUS OFFICINALIS	ROSEMARY	M	M
○		MISCANTHUS SINENSIS	MAIDEN GRASS	M	M
○		HESPERALOE PARVIFLORA	RED YUCCA	M	M
○		LAVANDULA	LAVENDER	M	M

SITE DATA	
GROSS LOT AREA	267,062 SF
LESS BUILDING	39,920 SF
NET LOT AREA	227,142 SF
REQUIRED LANDSCAPE	34,071 SF
15% OF NET LOT AREA	59,840 SF
PROPOSED LANDSCAPE	28%
PERCENT OF NET LOT AREA	
REQUIRED PARKING LOT TREES	
ONE PER 10 SPACES	
316 SPACES / 10 = 32 REQUIRED	
PARKING LOT TREES PROVIDED MIN.	32

PLANTING RESTRICTIONS APPROACH
 A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTE
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
 THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
 TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.

1 LANDSCAPE PLAN
 SCALE: 1" = 50'

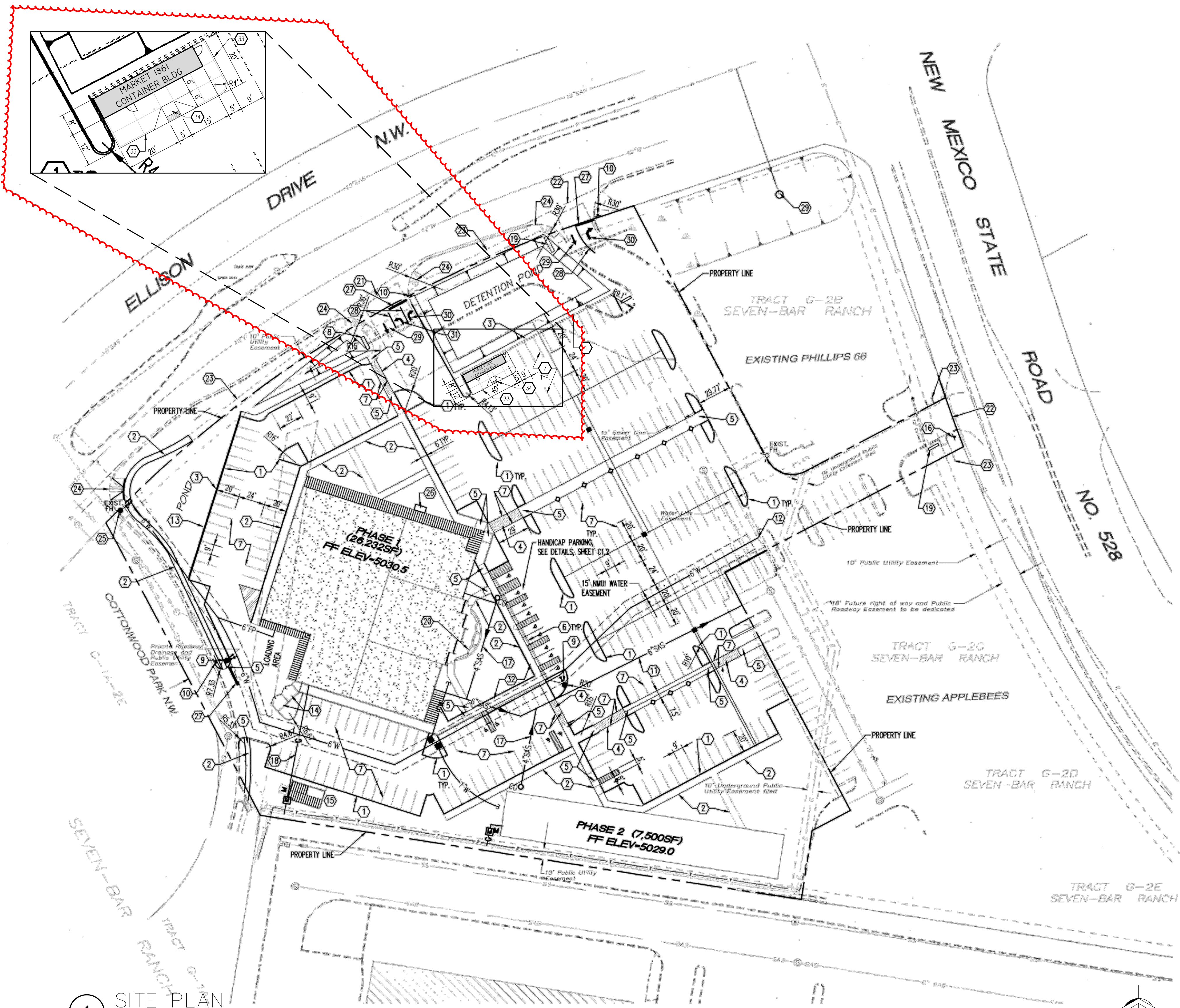


REV	DATE	BY	REVISION
1			
2			
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4			
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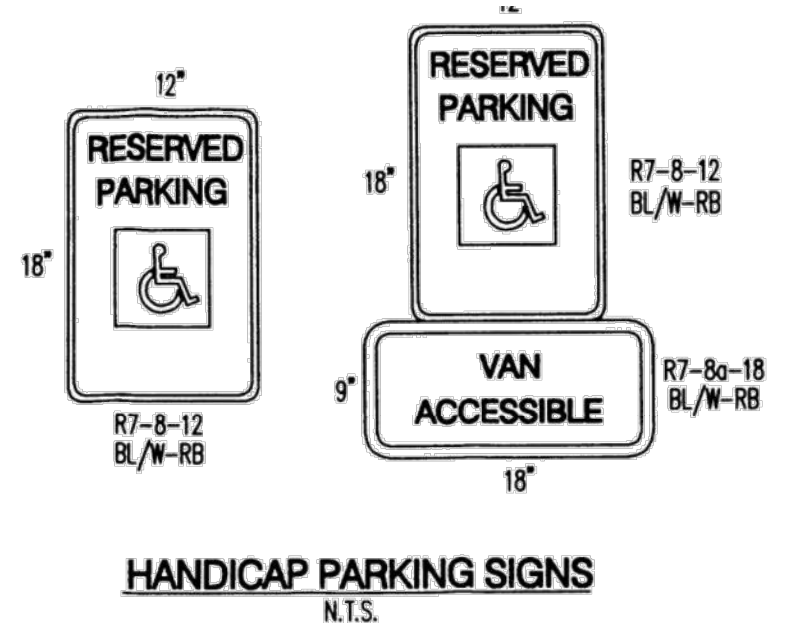
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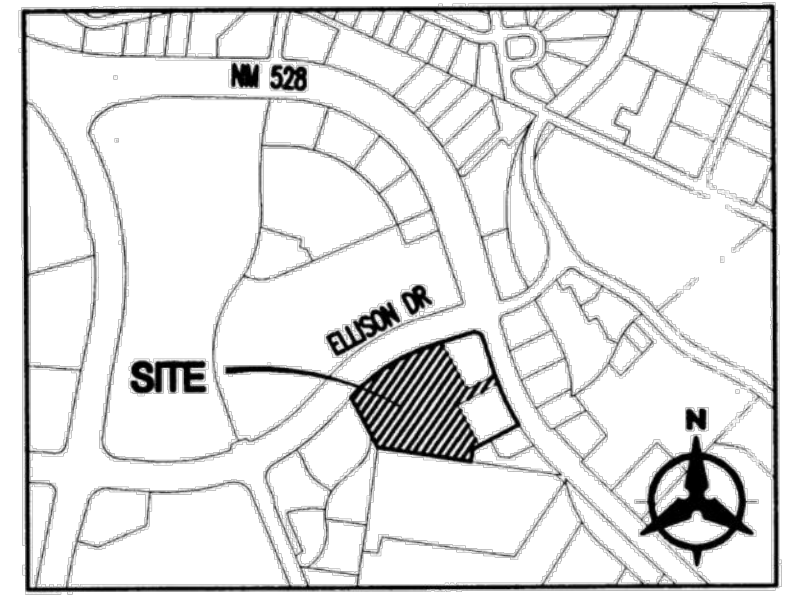
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SHEET TITLE LANDSCAPE PLAN			
DATE 01/19/2012	SCALE AS NOTED	Sheet: LS-1	



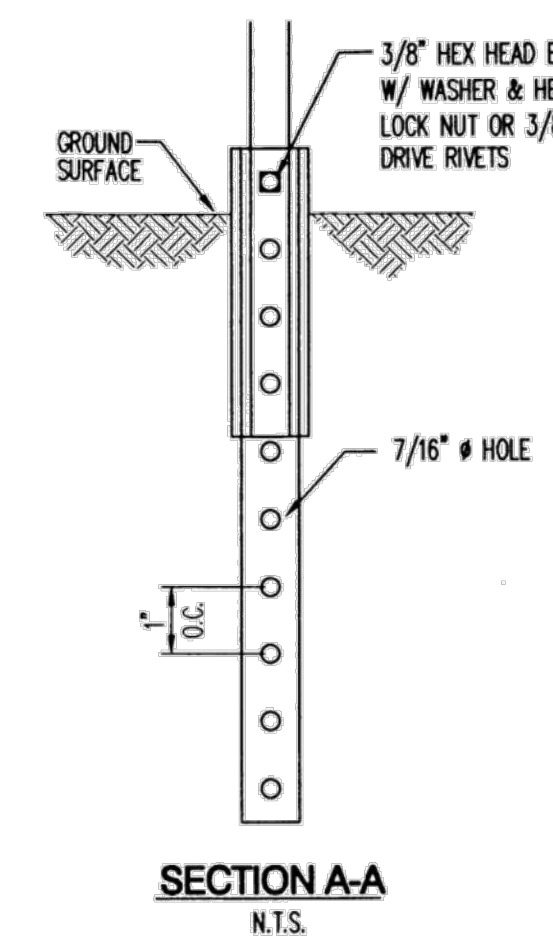
1 SITE PLAN
SCALE: 1" = 50'



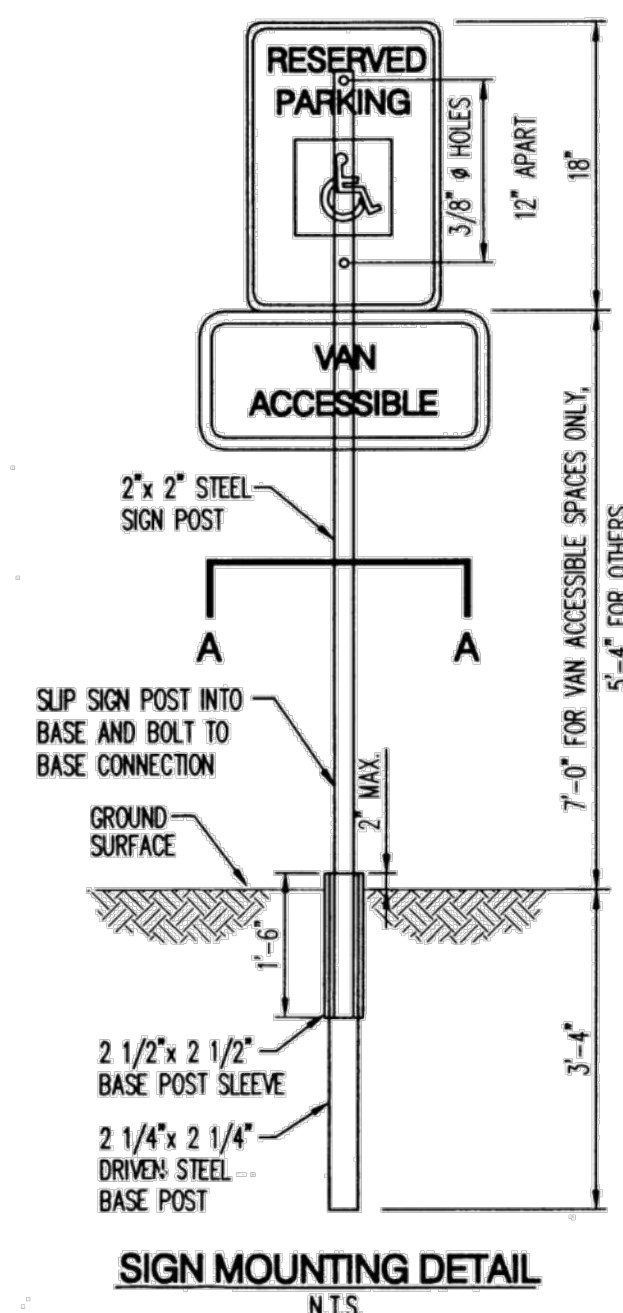
HANDICAP PARKING SIGNS
N.T.S.



VICINITY MAP
ZONE ATLAS A-14-Z



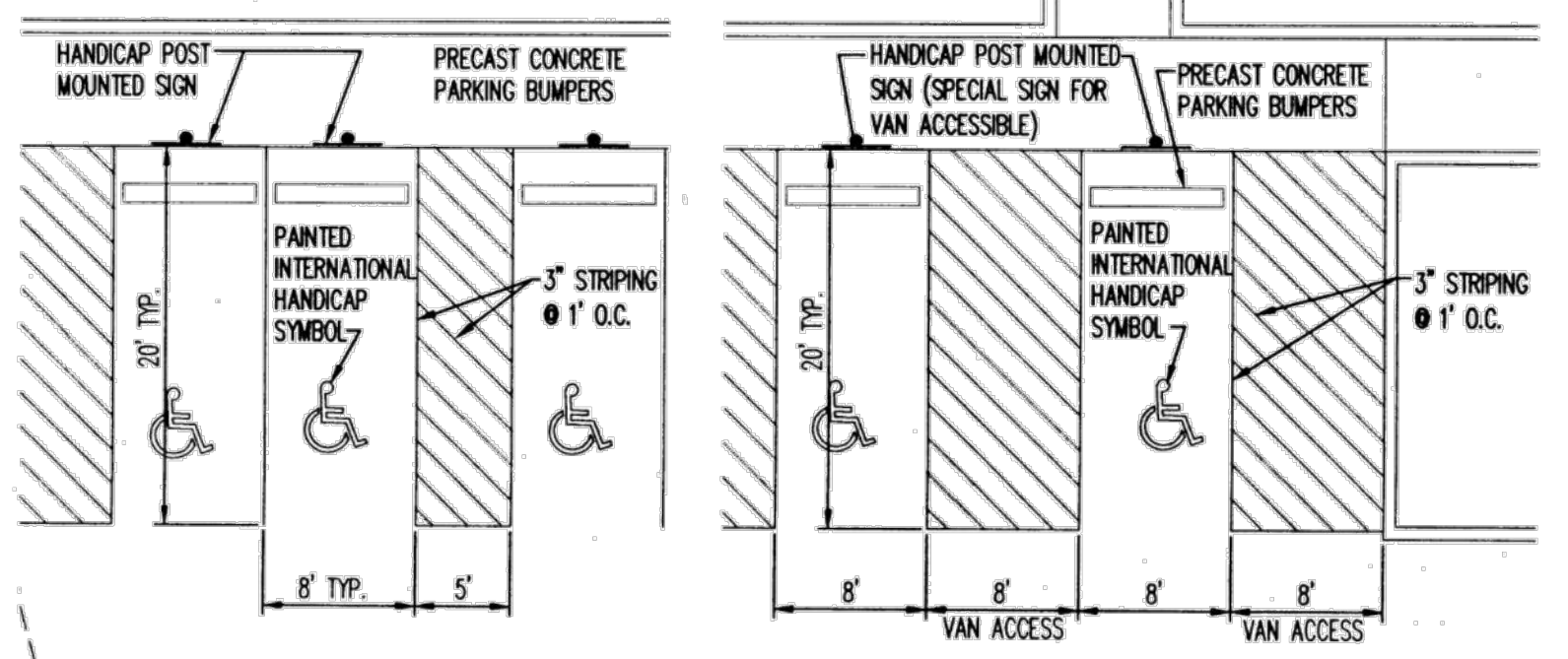
SECTION A-A
N.T.S.



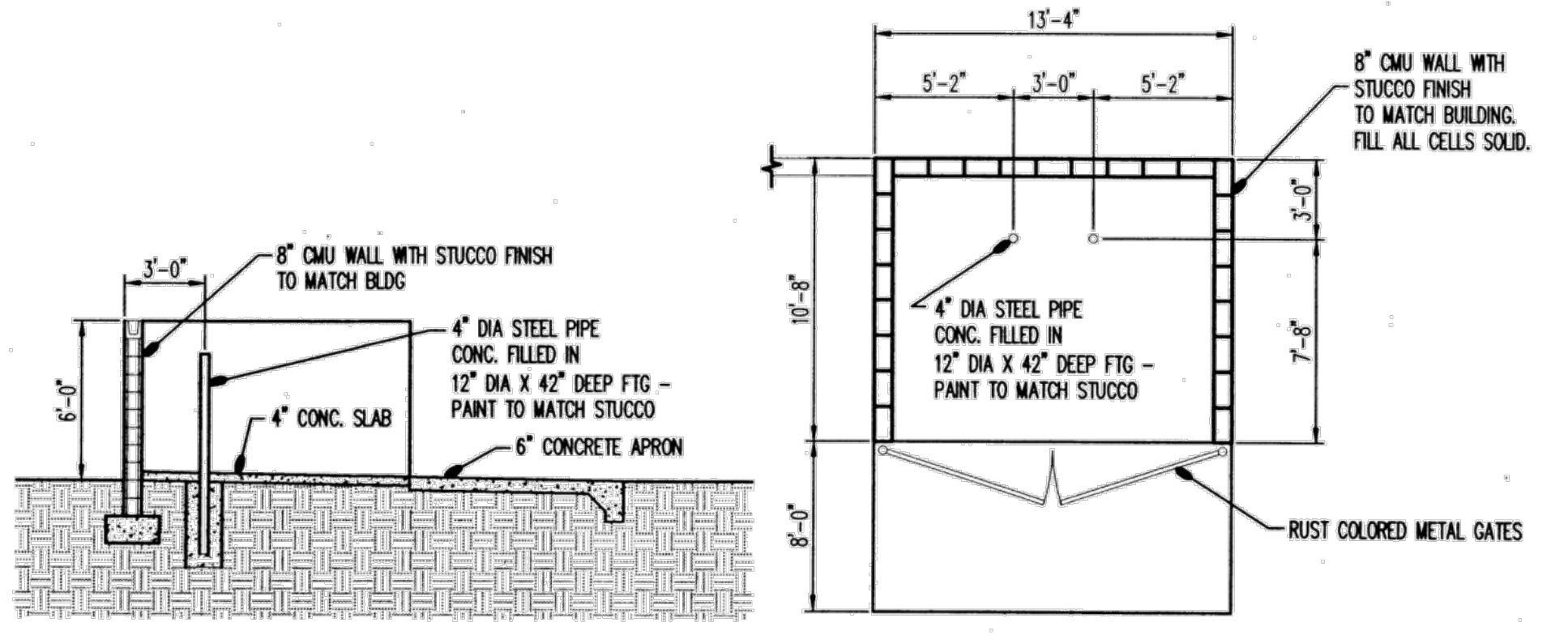
SIGN MOUNTING DETAIL
N.T.S.

KEYED NOTES

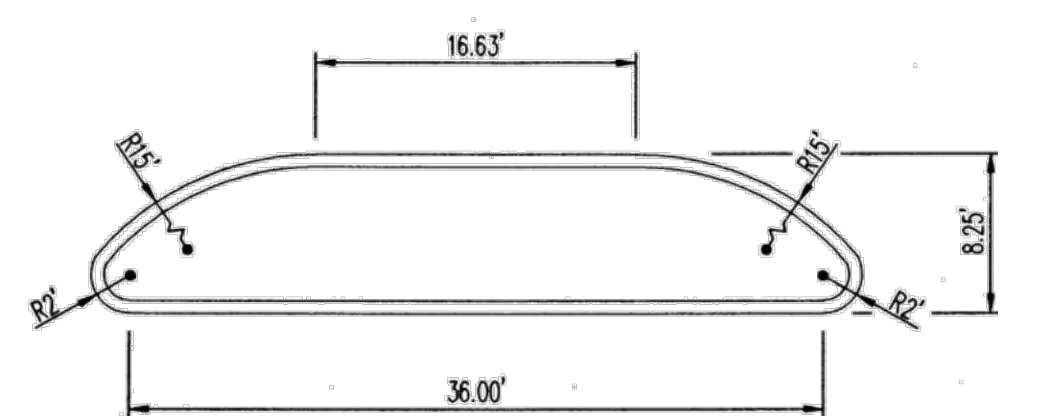
- 1 CONSTRUCT 6" MEDIAN CURB AND GUTTER PER COA STD. DWG 2415
- 2 CONSTRUCT 6' WIDE SIDEWALK PER COA STD. DWG 2430
- 3 CONSTRUCT 30" HIGH CMU SITE WALL WITH STUCCO FINISH TO MATCH COLOR OF BUILDING.
- 4 CONSTRUCT PEDESTRIAN CROSSING, TEXTURED CONCRETE PAVEMENT
- 5 CONSTRUCT UNIDIRECTIONAL HC RAMP.
- 6 INSTALL PARKING BUMPER, TYP 16 PLACES
- 7 PAINT 4" WHITE STRIPING.
- 8 MONUMENT SIGN INTERNALLY ILLUMINATED
- 9 INSTALL FIRE HYDRANT PER COA STD. DWG 2340
- 10 INSTALL STOP SIGN.
- 11 INSTALL 6" SANITARY SEWER LINE.
- 12 INSTALL 6" WATER LINE.
- 13 SIGN ON WALL.
- 14 CONSTRUCT REFUSE ENCLOSURE.
- 15 CONSTRUCT 15'x30' (450SF) CMU STORAGE AREA WITH METAL ROOF FOR WOOD AND MAINTENANCE EQUIPMENT. FENCE AT FRONT OF WOOD STORAGE AREA (PHASE 1)
- 16 EXISTING STOP SIGN.
- 17 INSTALL 4" SANITARY SEWER LINE.
- 18 INSTALL GAS LINE.
- 19 NON ILLUMINATED MONUMENT SIGN.
- 20 OUTDOOR PATIO AREA.
- 21 EXISTING 40" CURB CUT.
- 22 EXISTING 30" CURB CUT.
- 23 EXISTING 6' WIDE SIDEWALK.
- 24 EXISTING MULTI-DIRECTIONAL HC RAMP.
- 25 EXISTING FIRE HYDRANT TO BE REMOVED & RELATED.
- 26 5'x10' CONCRETE PAD FOR BICYCLE PARKING.
- 27 24" WHITE STOP BAR.
- 28 8" WHITE STRIPE.
- 29 THROUGH ARROW.
- 30 RIGHT TURN ARROW.
- 31 LEFT/RIGHT TURN ARROW.
- 32 SIDEWALK FLUSH W/ ASPHALT.
- 33 TURN DOWN CURB & SIDEWALK, SEE DETAIL 5/A-2.
- 34 FLARED ACCESSIBLE RAMP, SEE DETAIL 6/A-2.



HANDICAP PARKING DETAIL



REFUSE ENCLOSURE
M.T.C.



TYPICAL AISLE ISLAND

USES:	RETAIL	BAR/RESTAURANT/TAP ROOM	ALL USES
BUILDING SIZE:	320 SF	25,026.8 SF	
TOTAL PARKING REQ:	4 SPACES / 1,000 SQ. FT. GFA = 1	8 SPACES / 1,000 SQ. FT. GFA = 200	201
TOTAL PARKING PROV:			267
HC PROVIDED:	-	-	16 PROVIDED
HC REQUIRED:	-	-	7 REQUIRED
TOTAL SPACES			283 TOTAL SPACES

REVISION	BY	DATE

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 SHEET TITLE: SITE PLAN
 DATE: 01/19/2012
 SCALE: AS NOTED
 SHEET: 50-1

