

PLANT LEGEND

SYMBOL	QTY - BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
(Circle with cross)	SHADE/STREET TREE	HONEY LOCUST	2" CAL	M
(Circle with dot)	ELDER	PISTACHE	2" CAL	H
(Circle with horizontal lines)	ORNAMENTAL TREE	HAWTHORN	15 GAL	M
(Circle with vertical lines)	CHAMPAGNE	DESERT WILLOW	15 GAL	H
(Circle with diagonal lines)	EVERGREEN TREE	AUSTRIAN PINE	5'-4" HT.	M
(Circle with wavy lines)	SHRUBS	SILVERBERRY	1 GAL	M
(Circle with solid fill)	ELAGARIS PUNGENS	HIGH HAWTHORN		M
(Circle with horizontal lines)	JUNIPERUS SABINA	CHAISIA		L
(Circle with vertical lines)	RAPIHOLDIS INDICA	BUTTERFLY BUSH		M
(Circle with diagonal lines)	CHRYSOTHAMUS MAUCROBUS	BLUE MIST		M
(Circle with wavy lines)	BUCCELIA DAVIDI	ROSEMARY		M
(Circle with solid fill)	CARYOPHTERIS X CLADONOMIS	MAIDEN GRASS		M
(Circle with horizontal lines)	ROSMARINUS OFFICINALIS	RED YUCCA		M
(Circle with vertical lines)	MISCANTHUS SINENSIS	LAVENDER		M
(Circle with diagonal lines)	HESPERALOE PARVIFLORA			
(Circle with wavy lines)	LAVANDULA			

SITE DATA

GRASS LOT AREA	267,063 SQ FT
LESS BUILDING	88,300 SQ FT
NET LOT AREA	227,142 SQ FT
REQUIRED LANDSCAPE	34,071 SF
LESS OF NET LOT AREA	58,840 SF
PERMITTED LANDSCAPE	745
REQUIRED PARKING LOT TREES	32
ONE PER 12 SPACES	
315 SPACES / 12 = 26.25 REQUIRED	
PARKING LOT TREES PROVIDED MAX.	32

PLANTING RESTRICTIONS APPROACH
 A MINIMUM OF 50% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS.
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF.

NOTE
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER.
 PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM.
 WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 THE PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH.
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 25% WATER DEFICIT/COVER OF LANDSCAPE AREAS AT MATURITY.
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC.
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH OR EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE. TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
 NO PARKING SPACE SHALL BE MORE THAN 100' FROM A TREE.



LANDSCAPE PLAN
 SCALE: 1"=50'-0"



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Nellos Brothers Inc. dba.
Quarters BBQ Restaurant
and Package Liquor

LANDSCAPE PLAN

PROJECT:

TITLE:

REVISIONS

DATE:

11/27/01

DRAWN BY:

KP/JULIAN

CHECKED BY:

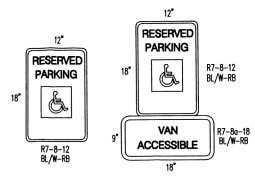
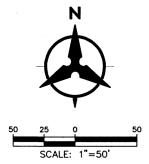
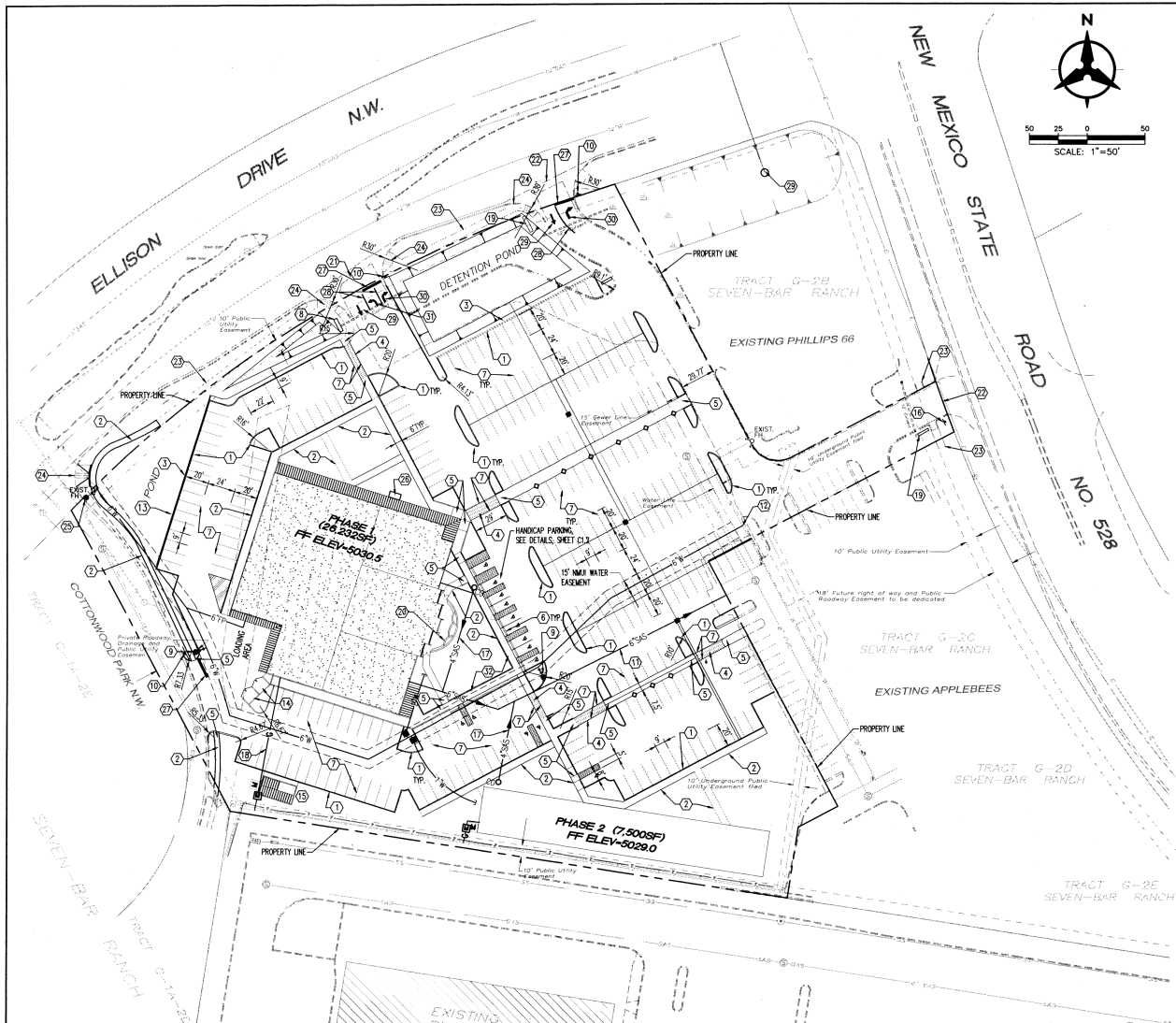
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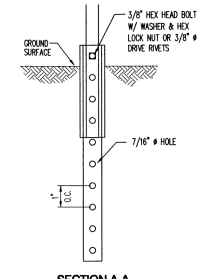
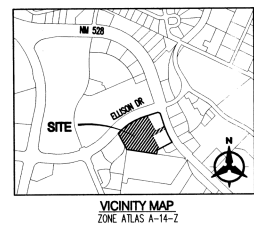
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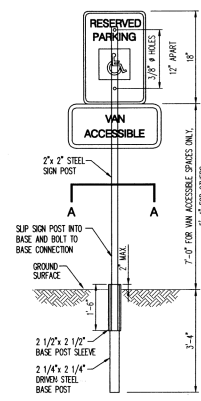
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HANDICAP PARKING SIGNS
N.T.S.

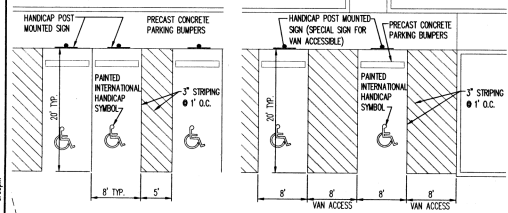


SECTION A-A
N.T.S.

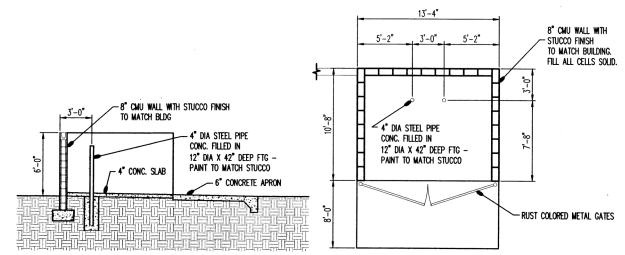


SIGN MOUNTING DETAIL
N.T.S.

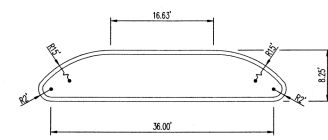
- KEYED NOTES**
- CONSTRUCT 6" MEDIAN CURB AND GUTTER PER COA STD. DWG 2415
 - CONSTRUCT 6" WIDE SIDEWALK PER COA STD. DWG 2430
 - CONSTRUCT 30" HIGH CMU SITE WALL WITH STUCCO FINISH TO MATCH COLOR OF BUILDING.
 - CONSTRUCT PEDESTRAW CROSSING, TEXTURED CONCRETE PAVEMENT
 - CONSTRUCT UNIDIRECTIONAL HC RAMP.
 - INSTALL PARKING BUMPER, TYP. 16 PLACES.
 - PAINT 4" WHITE STRIPING.
 - MONUMENT SIGN INTERNALLY ILLUMINATED.
 - INSTALL FIRE HYDRANT PER COA STD. DWG 2340
 - INSTALL STOP SIGN.
 - INSTALL 6" SANITARY SEWER LINE.
 - INSTALL 6" WATER LINE.
 - SIGN ON WALL.
 - CONSTRUCT REFUSE ENCLOSURE.
 - CONSTRUCT 15'x30' (400SF) CMU STORAGE AREA WITH METAL ROOF FOR WOOD AND MAINTENANCE EQUIPMENT. FENCE AT FRONT OF WOOD STORAGE AREA (PHASE 1)
 - EXISTING STOP SIGN.
 - INSTALL 4" SANITARY SEWER LINE.
 - INSTALL GAS LINE.
 - NON ILLUMINATED MONUMENT SIGN.
 - OUTDOOR PATIO AREA.
 - EXISTING 40" CURB CUT.
 - EXISTING 30" CURB CUT.
 - EXISTING 6" WIDE SIDEWALK.
 - EXISTING MULTI-DIRECTIONAL HC RAMP.
 - EXISTING FIRE HYDRANT TO BE REMOVED & RELAYED.
 - 5'x10' CONCRETE PAD FOR BICYCLE PARKING.
 - 24" WHITE STOP BAR.
 - 8" WHITE STRIPE.
 - THROUGH ARROW.
 - RIGHT TURN ARROW.
 - LEFT/RIGHT TURN ARROW.
 - SIDEWALK FLUSH W/ ASPHALT.



HANDICAP PARKING DETAIL
N.T.S.



REFUSE ENCLOSURE
N.T.S.



TYPICAL AISLE ISLAND
N.T.S.

- GENERAL NOTES**
- DRIVEWAYS, CURBS, & SIDEWALKS SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS AND DETAILS.
 - SEE CIVIL DRAWINGS FOR SITE GRADING AND DRAINAGE.



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PROJECT: Nellos Brothers Inc. dba
 Quarters BBQ Restaurant
 and Package Liquors
 TITLE: SITE PLAN FOR BUILDING PERMIT

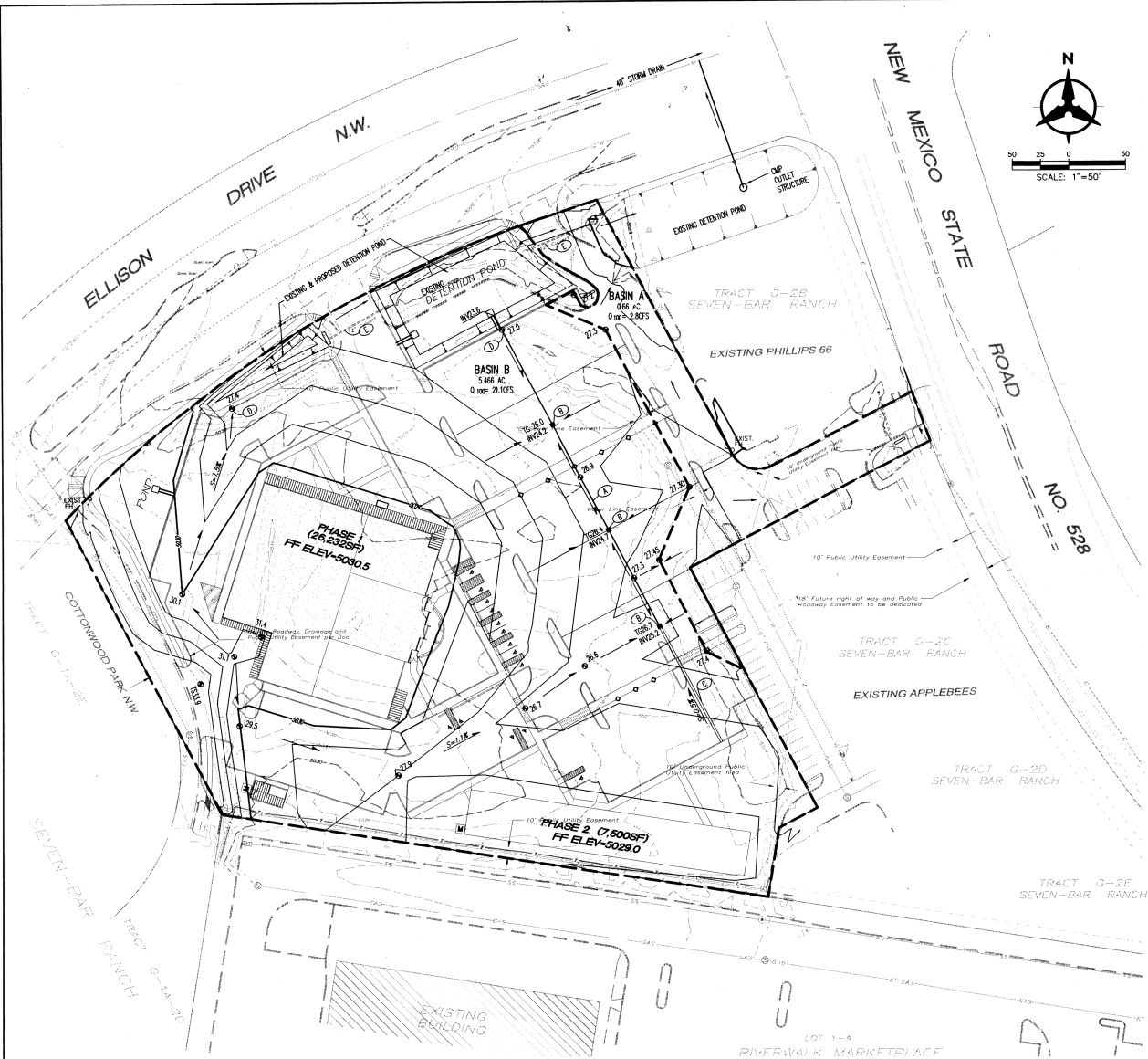
REVISIONS

NO.	DATE	DESCRIPTION

DATE: 03-12-02
 DRAWN BY: ED
 CHECKED BY: GB
 APPROVED BY: GB

SHEET NO:
 C1.1

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- KEY NOTES**
- A. 12" STORM DRAIN PIPE
 - B. STORM DRAIN INLET SINGLE 12"
 - C. CONCRETE VALLEY CUTTER
 - D. 12" CURB DRAINING
 - E. EXISTING 12" CMP OUTLET PIPE
- LEGEND**
- PROPERTY LINE
 - 5301 --- EXISTING GROUND SPOT ELEVATION
 - χ 5301.15 EXISTING ELECTRICAL POLE
 - ⊙ 65.23 PROPOSED SPOT ELEVATION
 - ⊙ 1765.13 TC-TOP OF CURB, FL-TOP LINE TW-TOP OF WALL, BW-BOTTOM OF WALL EX-EXISTING, TG-TOP OF GRATE
 - WOODRIDGE PLANS
 - PROPOSED DIRECTION OF FLOW
 - PROPOSED INDEX CONTOURS
 - PROPOSED INTER CONTOURS
 - PROPOSED CURB & CUTTER
 - SD --- PROPOSED STORM DRAIN LINE
 - --- PROPOSED STORM DRAIN MANHOLE
 - --- PROPOSED STORM DRAIN INLET
 - --- EXISTING STORM DRAIN MANHOLE
 - --- SITE WALL (SEE ARCHITECTURAL)
 - BASIN BOUNDARY
- LEGAL DESCRIPTION**
SEVEN BAR - RANCH TRACT G-2A-1

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Detention Pond Volume Calculations

ASSUMPTIONS:
1. Area less than 40 acres (simplified hydrograph method)
2. 100-year, 6-hour storm event

Peak Flow per Acre - DPM Section 22.2 Table A-9

Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.77
3	1.87	2.6	3.45	5.02
4	2.2	2.92	3.73	5.25

Basin Name: [REDACTED]
Choose Zone (1 - 4): [REDACTED]
Basin Area = (acres): [REDACTED]

Exist Conditions			Proposed Conditions				
Treatment	Percentage	Area	Q (cfs)	Treatment	Percentage	Area	Q (cfs)
A	[REDACTED]	3.55	4.58	A	0.00	0.00	0.00
B	[REDACTED]	0.00	0.00	B	1.04	2.11	2.11
C	[REDACTED]	1.75	5.01	C	0.82	2.35	2.35
D	[REDACTED]	0.16	0.72	D	3.60	15.75	15.75
Q Peak - exist =			10.31	Peak Q Developed =			20.20

Use my calculated exist cond. flow as the peak controlled discharge (1 = yes, or N) ?? [REDACTED]
If No, what is the maximum allowable discharge? [REDACTED]

Excess Precipitation - DPM Section 22.2 Table A-8

Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.8	1.08	1.46	2.64

Determine Developed E (avg excess precipitation for the developed basin)

%A x E = 0.00
%B x E = 0.13
%C x E = 0.15
%D x E = 1.30
Avg E(n) = 1.58

Determine Tb (hours)
Tb = 0.732

Determine Tc (hours)
Tc = [REDACTED]

Determine Tp and Duration of Peak (hrs)
Tp = 0.218333
Peak Duration = 0.165

Compute the required retention volume using the simple hydrograph, Figure A-3 in DPM Section 22.2

Time to Control Q (hrs) = 0.017
Time to end of Control Q (hrs) = 0.70473
Duration of Control Q (hrs) = 0.687

Required Detention Volume (CFR) = 28,546 cft

CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION AND PURPOSE
The purpose of this submittal is to present a conceptual drainage and grading plan for the proposed Quarters BBQ Restaurant. This site is approximately 6.1 acres. This project is being submitted for DRB review. The purpose of this drainage management plan is to support DRB approval of the site plan. A more detailed grading and drainage plan will be submitted to support building permit approval.

II. SITE LOCATION
The site is located within Tract G-2A-1 of Seven-Bar Ranch at the southeast corner of Ellison Drive and NM 528. The site is bounded on the north by Ellison Drive and NM 528 lies to the east. There are existing commercial developments surrounding the remainder of the project site. The existing legal description is Seven-Bar Ranch Tract G-2A-1, which is a part of Seven-Bar Ranch Tract G-2A. See vicinity map on this sheet.

III. EXISTING HYDROLOGIC CONDITIONS
The site is recent land consisting primarily of native shrub and grasses. The site currently drains northerly to a series of detention ponds adjacent to Ellison Drive that were constructed with Special Assessment District (SAD) No. 223. There are one total of 3 detention ponds, 2 within this site and one that is located on the northwest corner of Ellison Drive and NM 528 of the existing Phillips 66 gas station. The ponds are connected with 12" CMP culverts that cross the existing driveways entrances on Ellison Drive. This series of ponds drain east to the Phillips 66 detention pond. The Phillips 66 detention pond has a controlled outlet that connects to an existing 48" storm drain in Ellison Drive. The SAD No. 223 Drainage Management Plan Sheet 2 of 4 shows the pond discharge rate of 7.2 cfs to the 48" storm drain in Ellison Drive. Total area delineated on sheet 2 of 4 referenced above is 10 acres, which includes the existing Phillips 66 and Applebee's. This equates to a discharge of 0.72 cfs/acre. These detention ponds drain to a 48" storm drain in Ellison Drive.

IV. PROPOSED HYDROLOGIC CONDITIONS
This project consists of a restaurant with an office building proposed for a second phase. The approved master drainage plan for SAD 223 allows a discharge of 0.72 cfs per acre. This site is approximately 6.12 acres which equates to an allowable discharge of 4.4 cfs to the adjacent streets and existing storm drain in Ellison Drive. There are no offsite flows entering this site. Basin calculations show that Basin 'A' generates a peak flow of 2.8 cfs. This will flow discharge to NM 528 and Ellison Drive. This leaves an allowable discharge for Basin 'B' of 4.4 cfs - 2.8 cfs = 1.6 cfs. Per the detention pond calculations a volume of 28,546 cfs is required to mitigate Basin 'B' from 20.2cfs to 1.6 cfs. Total volume of the existing ponds on this site will need to be increased to achieve the required volume. The existing 12" CMP culverts under the driveways will be utilized to convey drainage to the Phillips 66 detention pond and ultimately the 48" storm drain in Ellison Drive. Under proposed developed conditions the site will drain in a similar manner as it does under existing conditions. The developed condition for the site will conform to the allowable discharge rates specified in SAD 223.

V. CONCLUSION
This conceptual drainage management plan proposes concepts which are in compliance with the approved drainage report and which honor the city's drainage requirements. With this submittal we are seeking site plan approval.

ON-SITE PROPOSED CONDITIONS
Land Treatment Percentages - Zone 1
Basin 'A'
Area = 0.66 acres
A = 0%, B = 8%, C = 0%, D = 92%
Q100 = 0.00(0.66)(2.03) + 0.92(6.4)(4.37) = 2.8 CFS
Basin 'B'
Area = 5.46 acres
A = 0%, B = 10%, C = 15%, D = 66%
Q100 = 0.19(5.46)(2.03) + 0.15(5.46)(2.87) + 0.66(5.46)(4.37) = 20.2 CFS
Detention Volume Requirements
28,546 cft

ENGINEER'S STAMP & SIGNATURE

APPROVALS

DRG Chairman	ENGINEER	DATE	*****
Transportation			
Water/Wastewater			
Hydrology			
Parks			
Constr. Mngmt.			
Constr. Coord.			

APPROVED FOR CONSTRUCTION

City Engineer Date

CHAVEZ - GRIEVES
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Coauthor One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

PROJECT: Nellos Brothers Inc. dba Quarters BBQ Restaurant and Package Liquors

TITLE: CONCEPTUAL GRADING / DRAINAGE

REVISIONS

DATE: 03-12-02

DRAWN BY: ED

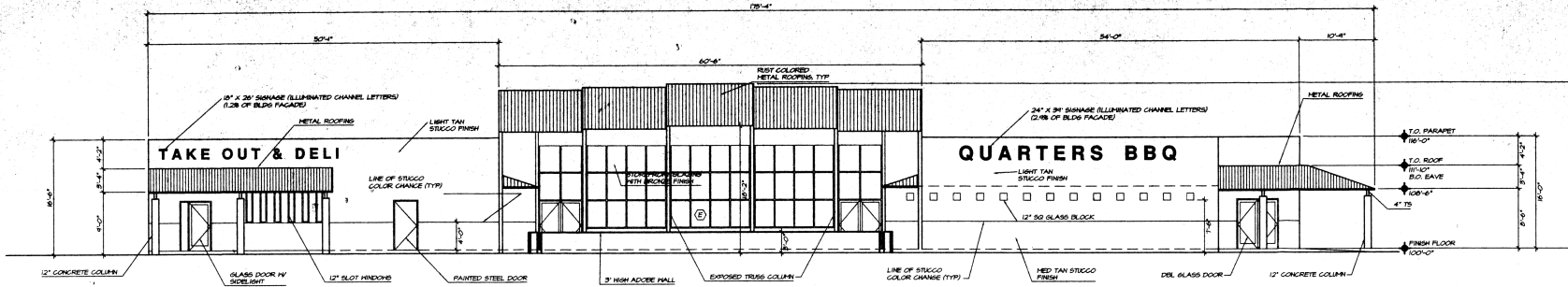
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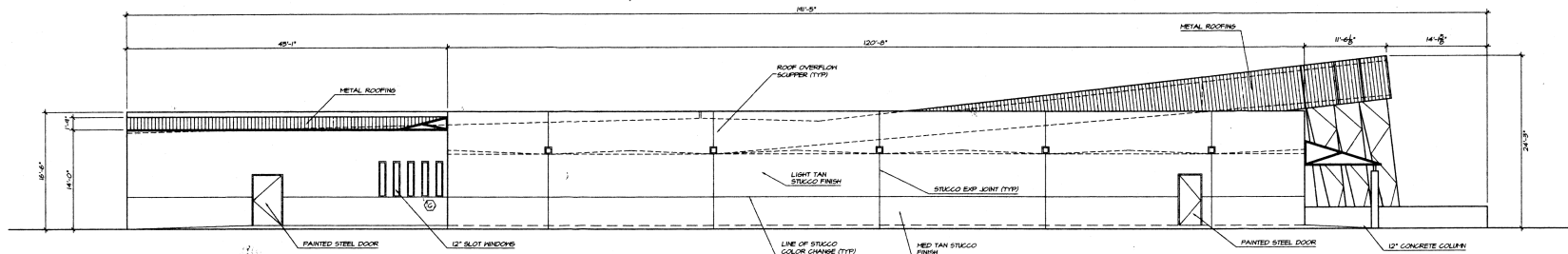
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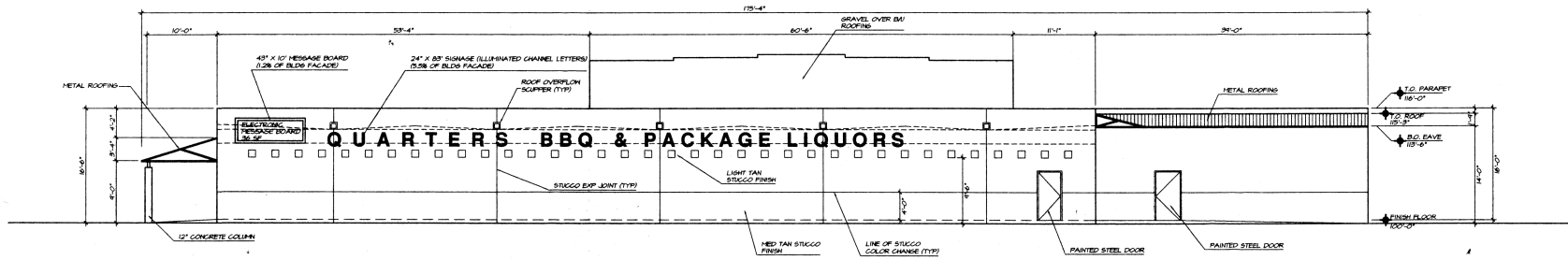
EAST ELEVATION

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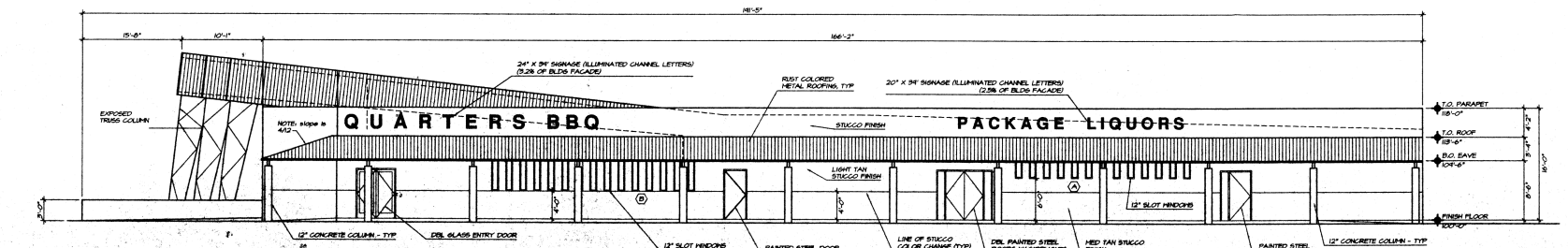
SOUTH ELEVATION

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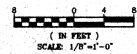
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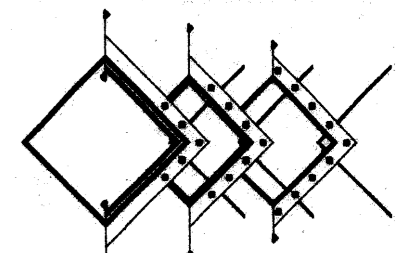
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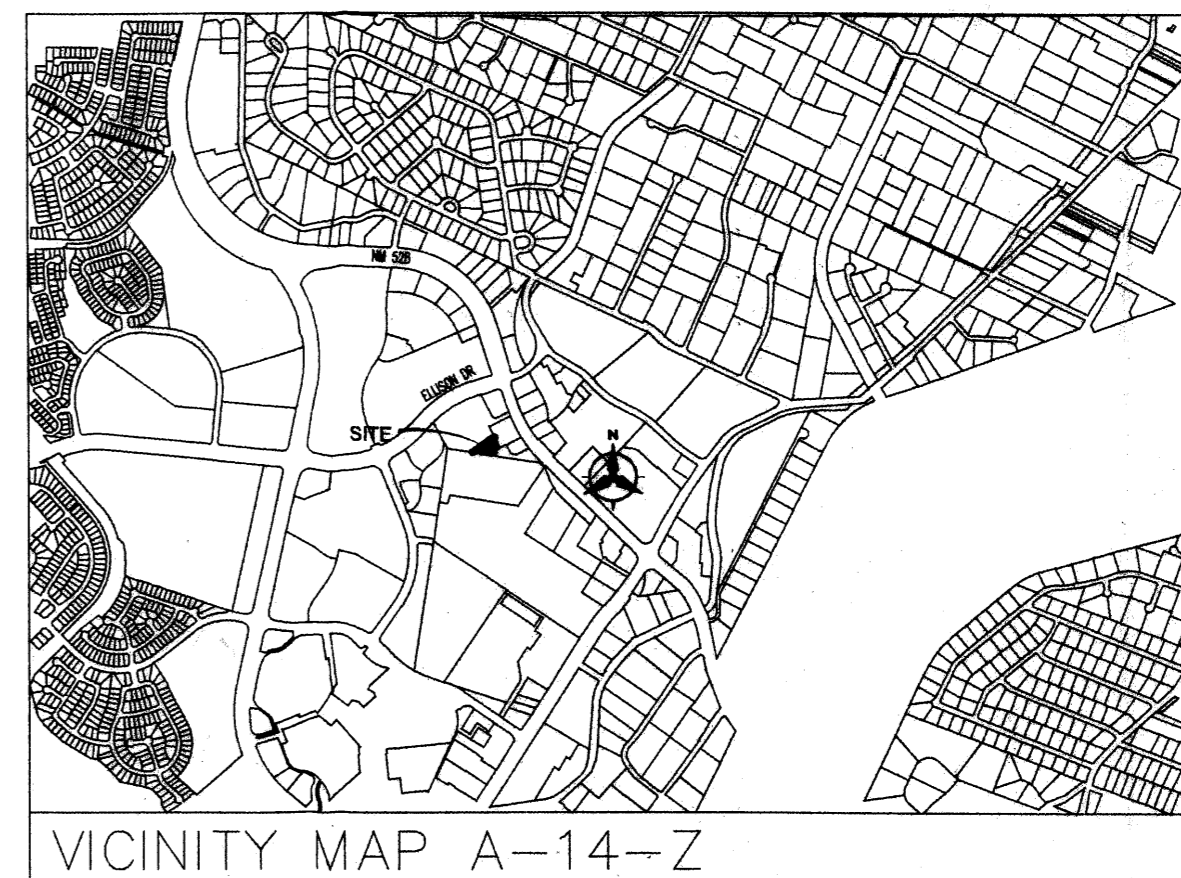
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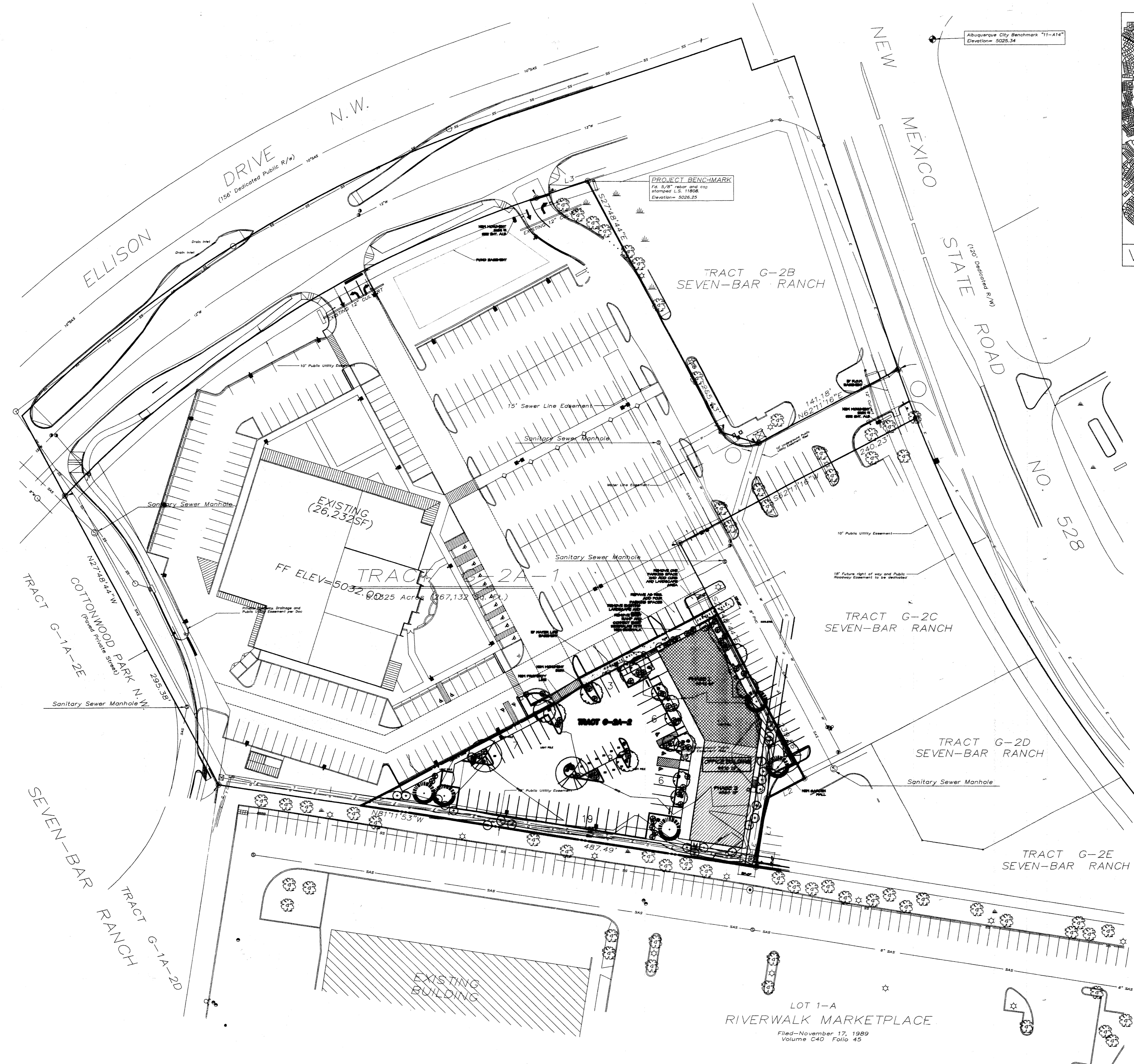




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VICINITY MAP A-14-Z



BUILDING DATA

MAXIMUM BUILDING HEIGHT	30 FT
MINIMUM BUILDING SETBACK	0 FT
BUILDING AREA	5,545 SF
PHASE 1	4,383 SF
PHASE 2	1,162 SF
TOTAL	4,978 SF
GROSS LOT AREA	45,726 SF
FLOOR AREA RATIO	0.218

PROJECT NUMBER: 1001623
APPLICATION NUMBER: 05 DRB - 01709

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED JAN 17, 2002 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	11/30/05 DATE
<i>[Signature]</i> WATER UTILITY DEPARTMENT	11/30/05 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	11/30/05 DATE
<i>[Signature]</i> CITY ENGINEER	11/30/05 DATE
N/A ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
N/A SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	12/13/05 DATE

QUARTER'S PLAZA
OFFICE BUILDING
SITE PLAN
FOR SUBDIVISION

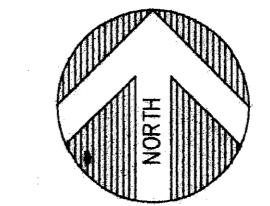
PROJECT: TITLE:

REVISIONS

DATE: 11/23/05
DRAWN BY: MFMG
CHECKED BY: MFMG
APPROVED BY: XXX

SITE PLAN

SCALE: 1"=50'-0"



50' 100'
(IN FEET)
1 inch = 50 ft.

SHEET NO:

A.I.I