



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: Maverik, Inc		Phone: 801-335-3851
Address: 185S State St Suite 800		Email: kara.knighton@maverik.com
City: Salt Lake City	State: UT	Zip: 84111
Professional/Agent (if any): Tierra West, LLC		Phone: 505-858-3100
Address: 5571 MIDWAY PARK PLACE NE,		Email: LNORIEGA@TIERRAWESTLLC.COM
City: Albuquerque	State: NM	Zip: 87109
Proprietary Interest in Site: Owner	List <u>all</u> owners:	

BRIEF DESCRIPTION OF REQUEST

MINOR AMENDMENT TO SITE PLAN

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: A 8 Redivision	Block: 8	Unit:
Subdivision/Addition: La Cuesta Subdivision	MRGCD Map No.:	UPC Code: 102205701124833611
Zone Atlas Page(s): K-22-Z	Existing Zoning: MX-M	Proposed Zoning: MX-M
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (acres): 0.7448

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 650 Juan Tabo NE	Between: Copper	and: Juan Tabo
--	------------------------	-----------------------

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature:	Date: 02.08.2022
Printed Name: Ronald R. Bohannon	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees
SI-2022-00326	AA				

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date: PR-2022-006612

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archaeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted

N/A

Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.*
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired


ALTERNATIVE SIGNAGE PLAN


- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.

Signature: 	Date: 02/08/2022
Printed Name: Ronald R. Bohannan	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY	
Project Number:	Case Numbers
PR-2022-006612	SI-2022-00326
	-
	-
Staff Signature:	
Date:	

April 17, 2019

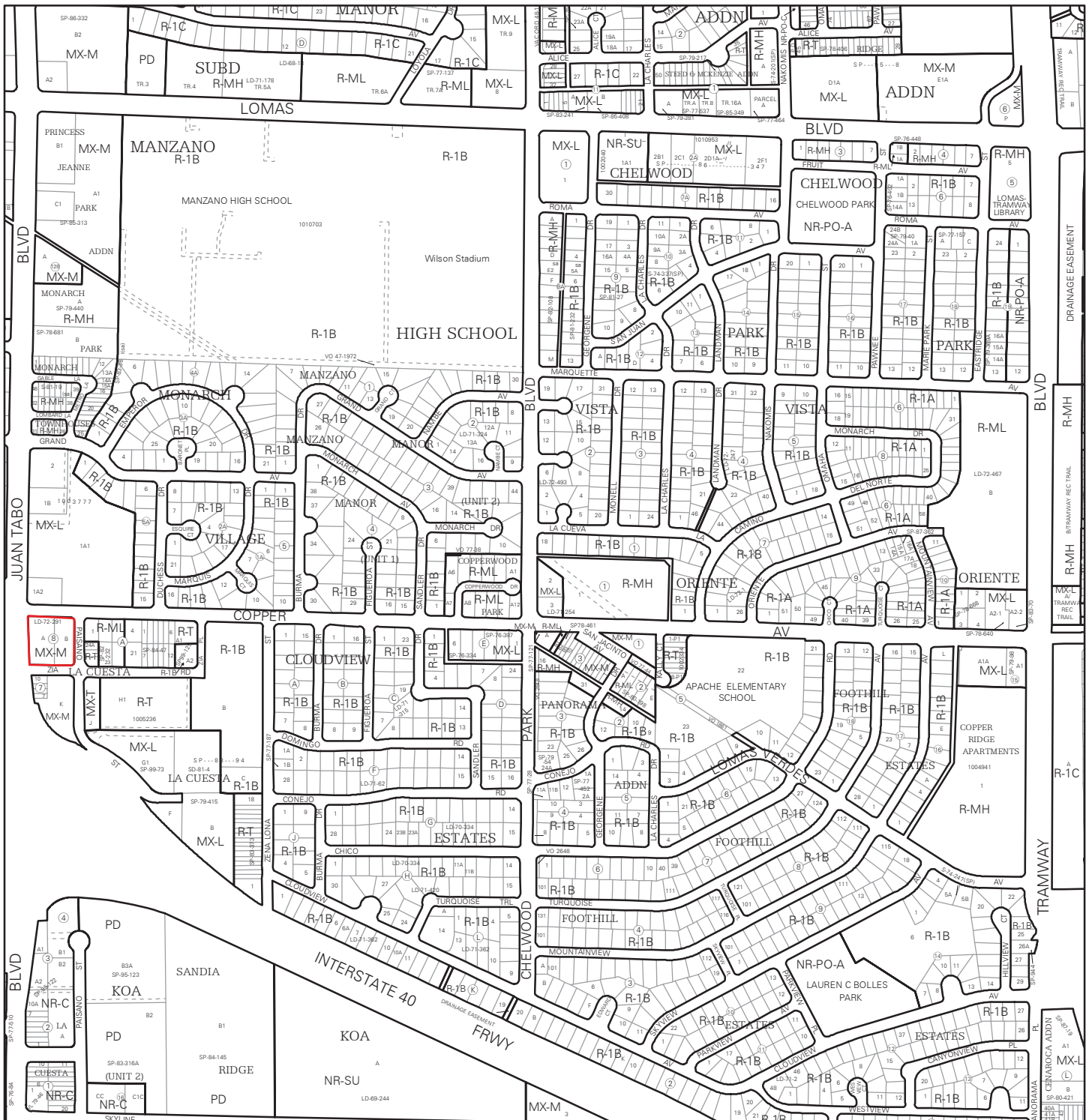
Ms. Kym Dicome, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: MAJOR DRB SITE PLAN APPROVAL
MAVERIK- JUAN TABO/COPPER
650 JUAN TABO NE ALBUQUERQUE NM 87123
670 JUAN TABO NE ALBUQUERQUE NM 87123
PR-2018-001411**

Dear Chairwoman Dicome:

The purpose of this letter is to authorize Tierra West, LLC, to act as agent on behalf of Maverik, Inc. pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Elizabeth Sorenson
Print Name
Elizabeth Sorenson
Signature
Permitting Manager
Title
04/17/2019
Date



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
K-22-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

N

0 250 500 1,000 Feet



TIERRA WEST, LLC

February 4, 2022

Ms. Jolene Wolfley, Chairwoman
Development Review Board
600 2nd Street NW 3rd Floor
Albuquerque, NM 87102

**RE: REQUEST FOR ADMINISTRATIVE AMENDMENT TO THE SITE
MAVERIK 650 JUAN TABO BLVD NW ALBUQUERQUE, NM 87123
DEVELOPMENT PLAN FOR BUILDING PERMIT PR-2018-001411**

Dear Ms. Wolfley;

Tierra West, on behalf of MAVERIK, requests approval for an Administrative Amendment to the DRB-Site Plan for Building Permit. This project PR-2018-001411 was approved as a Site Development Plan for Building Permit on 05/08/2019 at DRB with conditions. This amendment is a result of modifications to the proposed site access. The original approval had a "right in only" lane off of Juan Tabo Blvd that was approved by the NMDOT. Maverik has indicated the proposed driveway and right turn lane on Juan Tabo Blvd are not needed for the store and we are removing them from the site plan. The proposed driveway along Juan Tabo Blvd. was intended to provide easier access to the site, bringing in more potential business. It was determined that the additional business would not justify the cost of the driveway and related infrastructure, therefore it was removed. As part of the amendment we have updated the Traffic Impact Study (TIS), which has removed this access and obtained approval from Traffic Engineering and the NMDOT.

The site has been completed and the offsite improvements were separated into two phases. Phase 1 has been fully built and closed out. Phase 2 included the proposed right in only driveway along Juan Tabo Blvd and right turn lane, which is what is being deleted. As mentioned the Traffic Impact Study has been amended and approved as of 01/26/2022. This amendment is also requesting to update the Infrastructure List (removing the right turn lane from the list) as well as updating the site development plans. We are proceeding in two steps the first is to process an Administrative Amendment application, removing the right turn lane, and then second we'll update the infrastructure list. If we can do those items concurrently we would appreciate it.

Attached are the previous approved plans as well as the proposed new DRB-Site Plan with the changes clouded. We have also included copies of the approved IIA list and the amended list in the event we can do this with the AA process. If we are missing anything else please let us know.

If you have any questions or require additional information regarding this matter, please feel free to contact me at 505-858-3100.

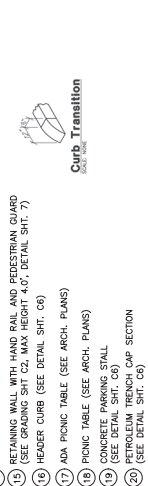
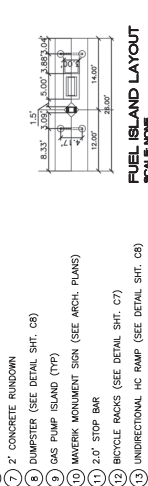
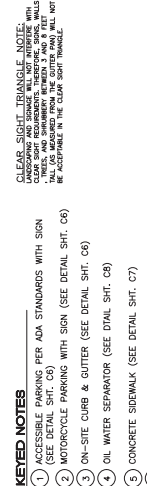
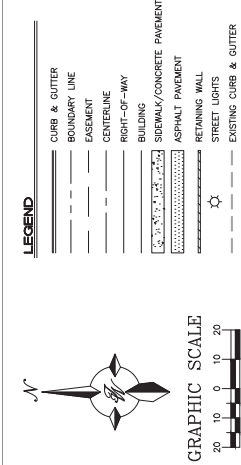
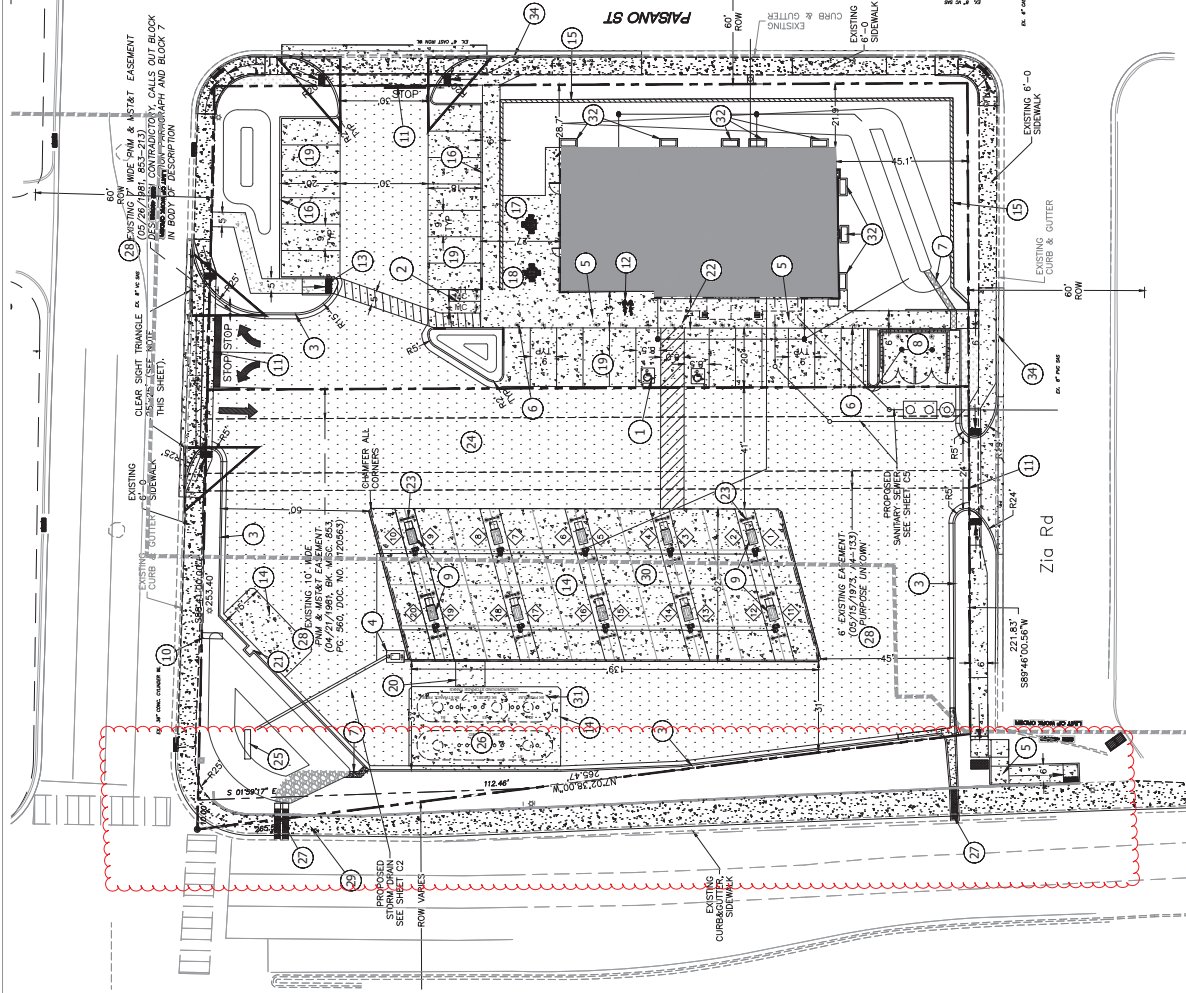
Sincerely,

Ronald R. Bohannon, P.E

JN: 2018046
RRB/ln

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100
fax (505) 858-1118
tierrawestllc.com
1-800-245-3102

PROPOSED SITE PLAN



KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHIT. C6)
- MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHIT. C6)
- ON-SITE CURB & GUTTER (SEE DETAIL SHIT. C6)
- OIL WATER SEPARATOR (SEE DETAIL SHIT. C6)
- CONCRETE SIDEWALK (SEE DETAIL SHIT. C7)
- BOLLARDS (SEE DETAIL SHIT. C7)
- 2" CONCRETE RAINDOWN
- DUMPSITER (SEE DETAIL SHIT. C8)
- GAS PUMP ISLAND (TYP)
- MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
- 2.0' STOP BAR
- BICYCLE RACKS (SEE DETAIL SHIT. C7)
- UNIDIRECTIONAL HC RAMP (SEE DETAIL SHIT. C8)
- CONCRETE SLAB W/CHAMFERED CORNERS
- RETAINING WALL WITH HAND RAIL AND PEDESTRIAN GUARD (SEE GRADING SHIT C2, MAX HEIGHT 4.0', DETAIL SHIT. 7)
- HEADER CURB (SEE DETAIL SHIT. C6)
- ADA PICNIC TABLE (SEE ARCH. PLANS)
- PICNIC TABLE (SEE ARCH. PLANS)
- CONCRETE PARKING STALL (SEE ARCH. PLANS)
- SEMI-CIRCULAR TRUNK GAP SECTION (SEE DETAIL SHIT. C6)
- XACTAR AIR STATION (SEE DETAIL SHIT. C6)
- TRUNCATED DOMES (SEE DETAIL SHIT. C8)
- "HOOP" BOLLARD (SEE DETAIL SHIT. C7)
- ASPHALT PAVING (SEE GEOTECH)
- MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
- UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
- SIDEWALK CULVERT COA STD DWG 2236
- PAN EXEMPTIONS TO BE VACATED BY DOCUMENT AND/OR PLATING ACTION
- EXISTING 6" PUBLIC SIDEWALK
- ALL UNDER CANOPY LIGHTING TO BE RECESSED PER DO 4-30(17)(K)
- TANK PIT WALL TO BE LINED WITH TANK SPEC. FILTER FABRIC PER PERKES
- 3'-0" by 6'-0", 28" HIGH LANDSCAPE PLANTER BOXES
- NOT USED
- OFFSITE CURB, GUTTERS & SIDEWALK PER COA DWG 2415A, 2430

INDEX TO DRAWINGS

- SITE PLAN FOR BUILDING PERMIT
- GRADING PLAN
- DEVELOPED DRAINAGE PLAN
- ASPHALT PAVING PLAN
- MASTER UTILITY PLAN
- CONSTRUCTION DETAILS
- CONSTRUCTION DETAILS
- DEMOLITION PLAN
- LANDSCAPING PLAN
- BUILDING ELEVATION & SIGN PLANS
- PROPOSED CONSTRUCTION DETAILS
- EROSION CONTROL DETAILS
- EROSION CONTROL DETAILS



LEGAL DESCRIPTION
 LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

SITE DATA
 PROPOSED USAGE: GAS CONVENIENCE STORE
 IDO CLASSIFICATION: LIGHT VEHICLE FUELING STATION
 LOT AREA: 61,753.72 SF (1.41 ACRES)
 BUILDING AREA: 4,300 SF
 STACK ASPHALT AREA: 2X5 (20 UNITS)
 PARKING REQUIRED: 17 SPACES (4 SPACES PER 1,000 SF)
 PARKING PROVIDED: 26 SPACES
 HC PARKING REQUIRED: 2 SPACES
 HC PARKING PROVIDED: (1 SPACE VAN ACCESSIBLE)
 MC PARKING REQUIRED: 2 SPACES
 MC PARKING PROVIDED: 2 SPACES
 BICYCLE PARKING REQUIRED: 2 SPACES
 BICYCLE PARKING PROVIDED: 2 SPACES
 LANDSCAPE AREA REQUIRED: 6,618 SF
 LANDSCAPE AREA PROVIDED: 12,125 SF

PROJECT NUMBER: PR-2018-001411
APPLICATION NUMBER: SI-2018-00065
 Public Right-of-Way for the construction of public improvements.

DIB SITE DEVELOPMENT PLAN APPROVAL

City Engineer	Date
Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date
* Environmental Health, if necessary	Date

MAVERIK
 690 JUAN TABO BLVD. NE
 SITE PLAN FOR BUILDING PERMIT

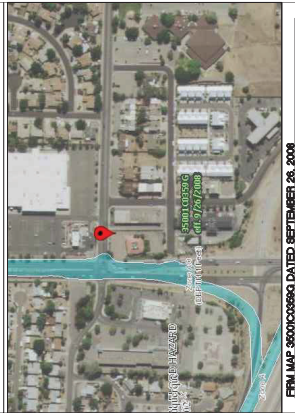
DATE: 10-29-2021
 DRAWING: 201806-SP
 SHEET # C1
 OF 8
 2018050

02/03/2022
 TESSERA WEST, LLC
 8574 MIDWAY PARK PL. NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tesserawest.com

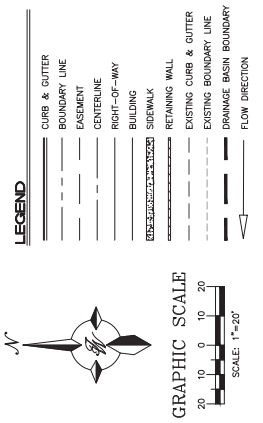
PROFESSIONAL SEAL
 TESSERA WEST, LLC
 TESSERA WEST, LLC
 02/03/2022
 TESSERA WEST, LLC
 8574 MIDWAY PARK PL. NE
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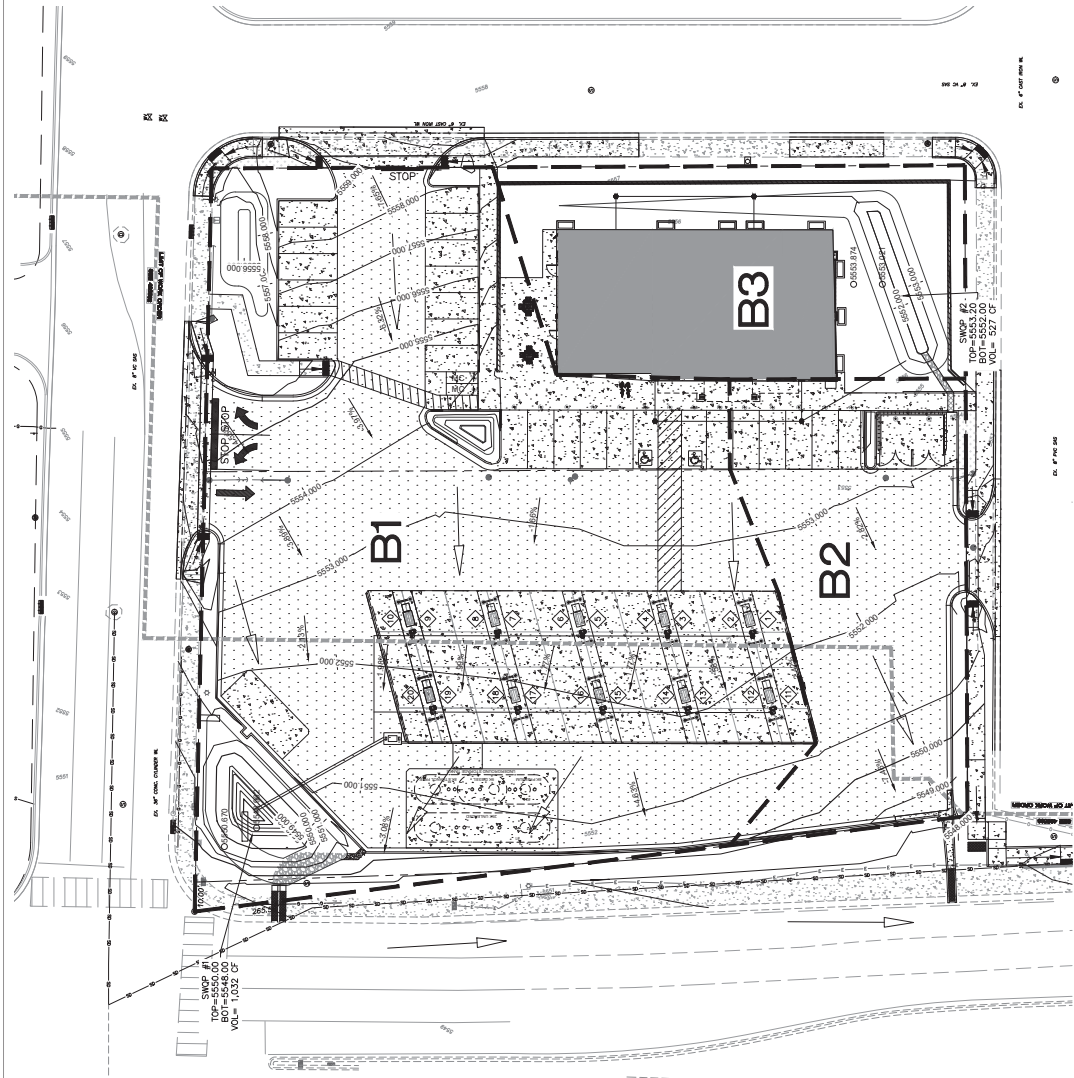
INDEX TO DRAWINGS
 C1. SITE PLAN FOR BUILDING PERMIT
 C2. GRADING PLAN
 C3. DEVELOPED DRAINAGE PLAN
 C4. ASPHALT PAVING PLAN
 C5. MASTER UTILITY PLAN
 C6. CONSTRUCTION DETAILS
 C7. CONSTRUCTION DETAILS
 C8. DEMOLITION PLAN
 L1. LANDSCAPING PLAN
 B1. BUILDING ELEVATION & SIGN PLANS
 P1. PROPOSED CONSTRUCTION DETAILS
 SW2. EROSION CONTROL DETAILS
 SW3. EROSION CONTROL DETAILS



FM MAP 3600603896 DATED SEPTEMBER 24, 2008



MAINTENANCE OF BMPs
 MAINTENANCE REQUIREMENTS AND FREQUENCY: REFER TABLE THIS PAGE.
 ACCESS TO BMPs: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWOY
 ACCESS TO BMPs: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWOY
 CERTIFIED LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE MAINTENANCE
 SPECIFICATION. NO DEBRIS SHALL REMAIN ON SITE AFTER TRIMMING. TRIMMING SHALL BE SLIT
 ACCUMULATION EXCEEDS 1 INCHES ON THE SWOY POND GARGE THEN THE POND BOTTOM
 SHALL BE EXCAVATED AND STACKED WITHIN 2 FEET OF THE SWOY POND BERM.
 VISUAL INSPECT FOLLOWING STORM EVENTS SHALL BE COMPLETED AS REQUIRED TO ENSURE
 THE SWOY POND IS OPERATING AS INTENDED. VISUAL INSPECT SHALL BE COMPLETED AT THE
 MAXIMUM 24 HOURS AFTER THE EVENT.
VECTOR CONTROL NOTES:
 AVOIDING CONDITIONS WHICH PROMOTE THE ACCUMULATION OF STANDING WATER THAT CAN
 CONTRIBUTE TO THE BREEDING OF MOSQUITOES IS A VIOLATION OF THE CITY OF
 ALBUQUERQUE'S INSECT AND RODENT CONTROL ORDINANCE. MAINTENANCE OF THE ON
 SITE SWOY POND AND OTHER STANDING WATER AREAS SHALL BE MAINTAINED THROUGHOUT THE
 YEAR IN ORDER TO PREVENT MOSQUITO BREEDING. VEGETATION SHOULD BE MAINTAINED
 FROM THE BASIN AND EDGES OF PONDS. THE SITE SHOULD BE MAINTAINED THROUGHOUT THE
 YEAR IN ORDER TO PREVENT MOSQUITO BREEDING. VEGETATION SHOULD BE MAINTAINED
 THROUGHOUT THE YEAR IN ORDER TO PREVENT MOSQUITO BREEDING. VEGETATION SHOULD
 BE MAINTAINED THROUGHOUT THE YEAR IN ORDER TO PREVENT MOSQUITO BREEDING. WHEN
 STANDING WATER DOES EXIST IT SHOULD BE TREATED WITH PUBLICLY AVAILABLE MOSQUITO
 PRODUCES (E.G. MOSQUITO DUMPS) AT THE TREATMENT RATE DESIGNATED BY THE PRODUCT
 (G/M/G/SA) CAN BE OBTAINED FROM THE CITY OF ALBUQUERQUE'S ENVIRONMENTAL HEALTH
 DEPARTMENT FREE OF CHARGE.



Basin ID	Area (sq ft)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year 6-Hr		10-Year 6-Hr		SWOY					
			%	(acres)	%	(acres)	%	(acres)	Volume (ac-ft)	Flow (cfs)	Volume (ac-ft)	Flow (cfs)	Required (cf)	Provided (cf)						
1	40,521	0.930	0.00145	0%	0.000	10%	0.093	0%	0.000	80%	0.837	2.484	0.193	4.67	1.587	0.121	3.12	796	1,032 (40)	
2	10,390	0.239	0.00337	0%	0.000	0%	0.000	100%	0.239	2.640	0.052	1.25	1.690	0.034	0.85	0.225	0.57	225	1,032 (40)	
3	10,390	0.239	0.00337	0%	0.000	50%	0.120	0%	0.000	50%	1.860	0.284	6.936	1.075	0.177	4.600	1.133	1,559	1,559 (62)	
Total	61,294	1.418	0.00222	0%	0.000	0.117	1.120	0%	0.000	0.284	6.936	0.284	6.936	0.284	6.936	0.284	6.936	0.284	6.936	1,559

Excess Precipitation, E (in.)				Peak Discharge, Q (cfs)				Water Quality Volume - First Flush Port - Redevelopment Site			
Zone 4 - 100-Year 10-Year				Zone 4 - 100-Year 10-Year				Zone 4 - 100-Year 10-Year			
Basin	E	Q	Retention Volume	Basin	Q	Retention Volume	Retention Volume	Retention Volume	Retention Volume	Retention Volume	Retention Volume
B1	1.08	0.46	0.000	B1	2.92	1.455	0.0333 x area CF	0.0333 x area CF	0.0333 x area CF	0.0333 x area CF	0.0333 x area CF
B2	1.46	0.73	2.26	B2	3.73	2.26					
B3	2.64	1.69	3.57	B3	5.25	3.57					

TASK	FREQUENCY
REGULAR MAINTENANCE	
Inspect and maintain landscape areas and remove from site	As required
INLETS AND OUTLETS	
Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlets and outlets.	Monthly
Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required
OCCASIONAL TASKS	
INSPECTION AND INLETS AND CONTROL CHAMBERS	
Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed.	Yearly
POND VEGETATION	
Ensure pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
SILT MANAGEMENT	
Inspect swales and water quality ponds for silt accumulation. Excavate silt, stack and dry within 2 feet of the water quality feature. Silt should be placed in a lined, covered, protected area from erosion and storage ponds. Silt should be placed in a lined, covered, protected area of basin for design function or appearance.	Yearly
REMEDIATION WORK	
Inspect structural water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly

CAUTION
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RECORD DRAWINGS AND FIELD SURVEY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO AND INCLUDING ANY EXCAVATION. INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND DEPTHS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

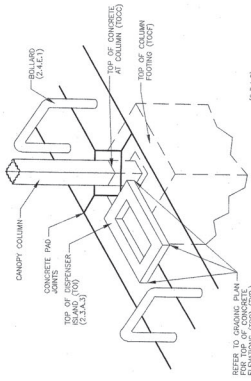
MAVERIK
 650 JUAN TABO BLVD. NE
 DRAINAGE PLAN

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO
 No. 1786

02/03/2022
 P. J. FARR
 EPHAWAN

MAVERIK WEST, LLC
 5571 MEDWAY PARK, P.L. NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.maverikwest.com

MAVERIK
 2019050



REFER TO GRADING PLAN ELEVATIONS (TOC) (TP)

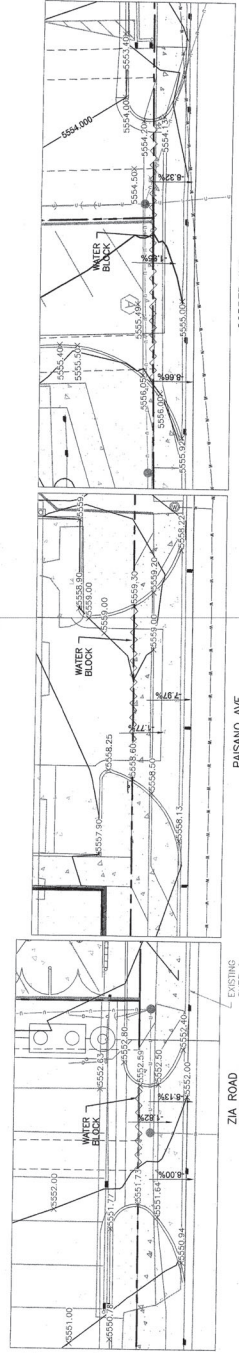
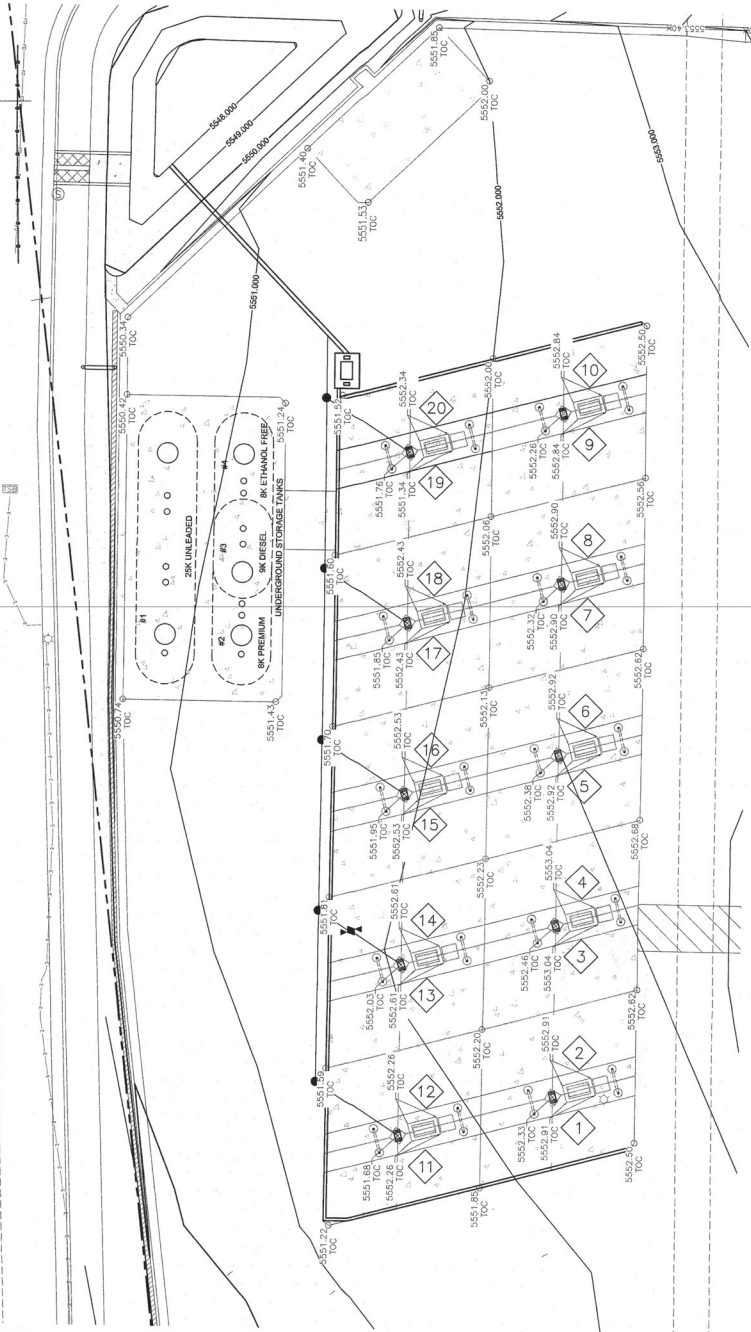
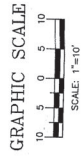
NOTE: TOP OF CONCRETE ISLAND WITH SPREAD FOOTING SEPARATION IS "4".

IF RAISED VERTICAL CONCRETE ISLAND WITH SPREAD FOOTING IS REQUIRED TO BE 5'-0" FROM ADJACENT DRIVEWAYS TO BE ADJUSTED TO THE 5'-0" FROM DRIVEWAY (SEE DISCREPANCY) AFTER THE 5'-0" - 3'-0" FUEL ISLAND AREA FROM ISLAND IN ALL (O) DIRECTIONS.

DISCREPANCIES TO BE CLARIFIED WITH AN ENGINEER.

Fuel Dispenser Elevations

FUEL DISPENSER	TOP OF I.O.C. @ ISLAND	TOP OF COLUMN COIL	TOP OF FTP
1-2	5552.31	5552.33	5552.33
3-4	5552.04	5552.40	5552.40
5-6	5552.00	5552.30	5552.30
7-8	5552.84	5552.26	5552.32
9-10	5552.26	5551.68	5552.26
11-12	5552.81	5552.03	5552.03
13-14	5552.81	5551.96	5551.96
15-16	5552.43	5551.85	5551.85
17-18	5552.43	5551.85	5551.85
19-20	5552.34	5551.76	5551.76



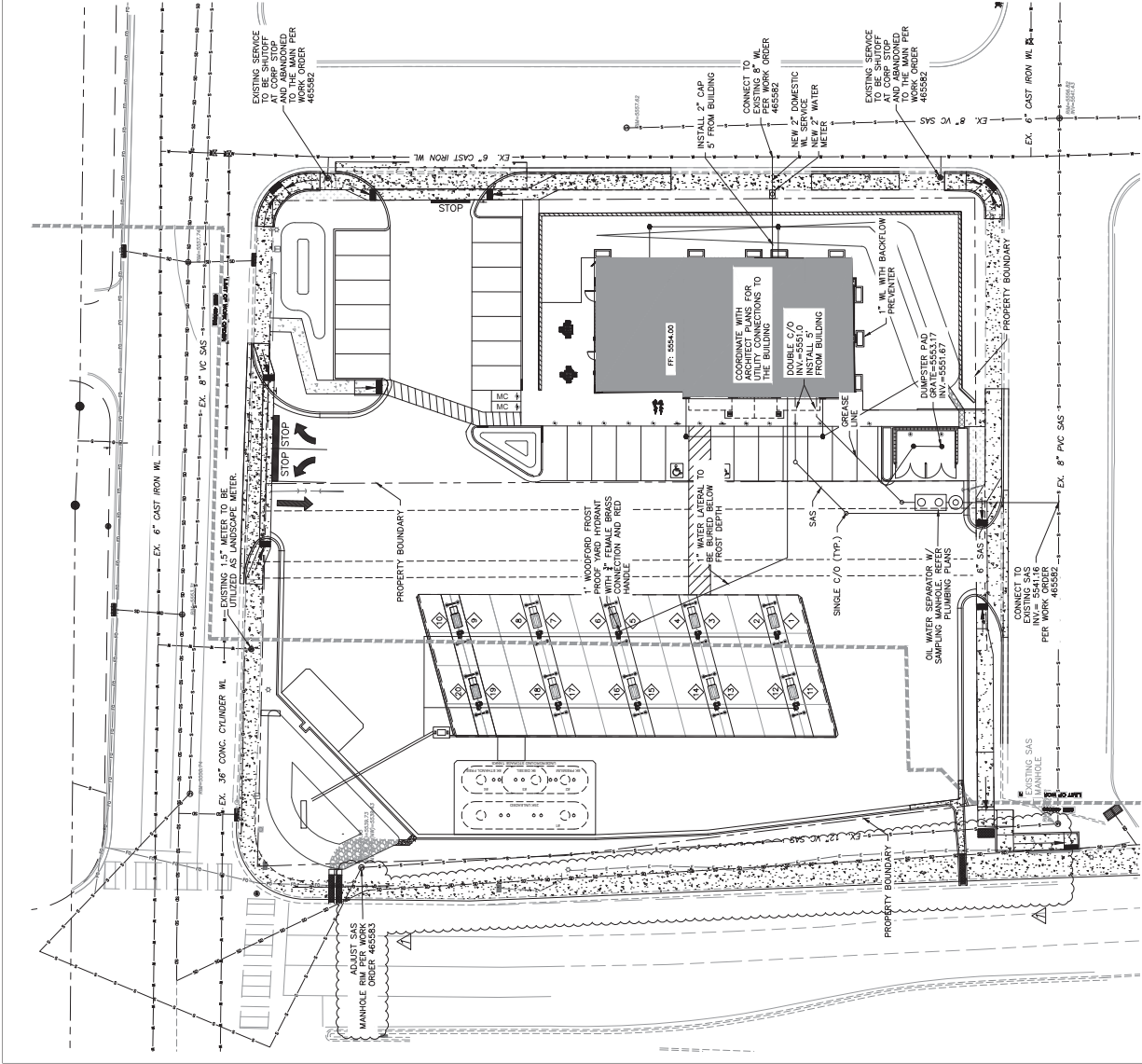
MAVERIK
650 JUAN TABO BLVD. NE
GRADING DETAILS

DRAWN BY: pm
DATE: 4-19-19
DESIGNED BY: RMAW
201804E-00-CETALS

SHEET # **C4**

JOB #
201804E

MAVERIK
TERRA CONSULTING LLC
5571 MENWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
www.terracoreinc.com



LEGEND

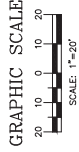
---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	EXISTING SIDEWALK
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING SAS LINE
---	EXISTING SAS MANHOLE
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING POWER POLE
---	EXISTING ELECTRIC LINE
---	EXISTING WALL
---	EXISTING ELECTRICAL BOX
---	EXISTING TRANSFORMER
---	EXISTING LIGHT STANDARD
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING SIDEWALK
---	RETAINING WALL
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	SPOT ELEVATION (FLOWLINE)
---	SPOT ELEVATION (MAJOR)
---	EXISTING BOUNDARY LINE
---	EXISTING CONTOUR MAJOR
---	EXISTING CONTOUR MINOR
---	EXISTING SPOT ELEVATION

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF THE WATER SHUTOFF FOR THE WATER SHUTOFF OF THE SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES SHALL BE COMPLETED AND THE WATER AUTHORITY SHALL BE ADVISED IN ADVANCE OF THE WATER SHUTOFF. THE WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES, SHUTOFF VALVES, AND TO TAKE ANY OTHER NECESSARY ACTIONS TO ENSURE THE SAFETY OF THE PUBLIC. FOR MORE INFORMATION, PLEASE CONTACT THE WATER AUTHORITY AT (505) 241-3100 OR VISIT www.waterauthority.org.

CAUTION:
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNEXPECTED UTILITIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CGA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN CUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODES STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SI INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE. ALL EX. SI INLETS SHALL BE IN ACCORDANCE WITH 609A.29 CFR 1926.650 SUBPART P.
8. ALL EX. SI INLETS SHALL BE IN ACCORDANCE WITH 609A.29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. P.M. HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH P.M. REGARDING THESE EXISTING FACILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNEXPECTED UTILITIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE APPROVED BY THE ENGINEER.
11. P.M. WILL REVIEW ALL TECHNICAL ISSUES AND ANY CONFLICTS BETWEEN EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY UNEXPECTED UTILITIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. ANY CHANGES TO THE ORIGINAL DESIGN SHALL BE APPROVED BY THE ENGINEER.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS I-B
14. CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITS, OR REGULATIONS THAT MAY APPLY TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTING IMPROVEMENTS.



TRAVIS A. BRANNAN
 P.E. # 177379

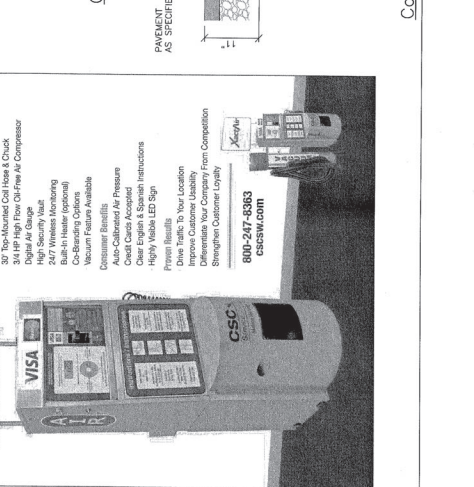
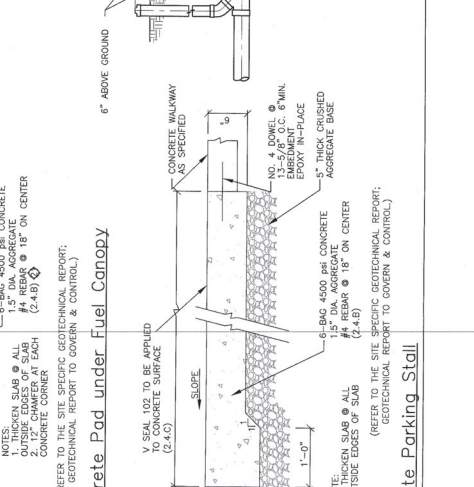
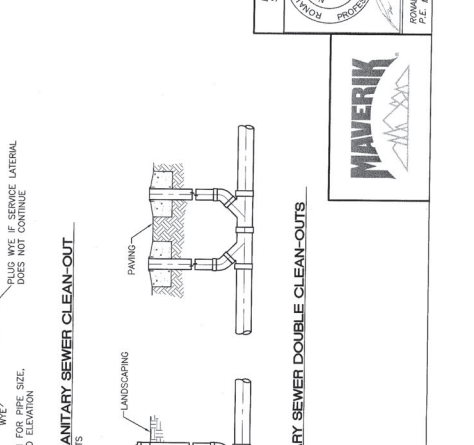
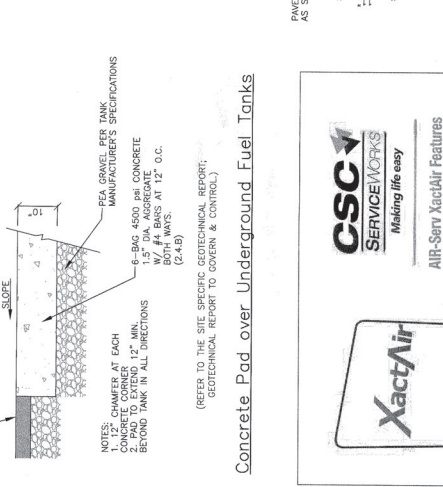
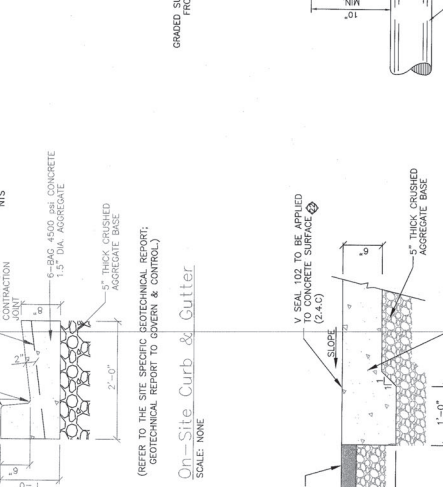
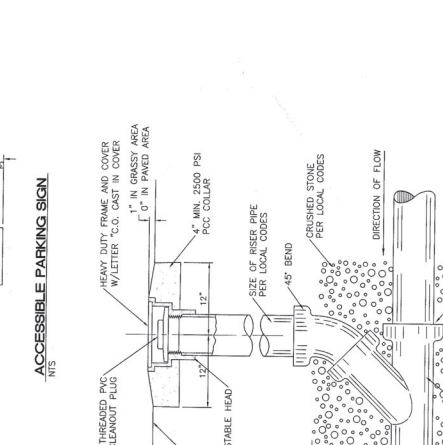
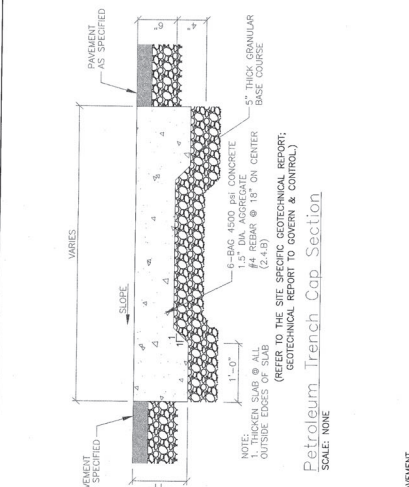
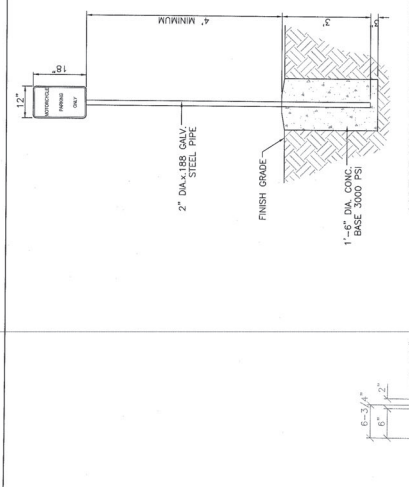
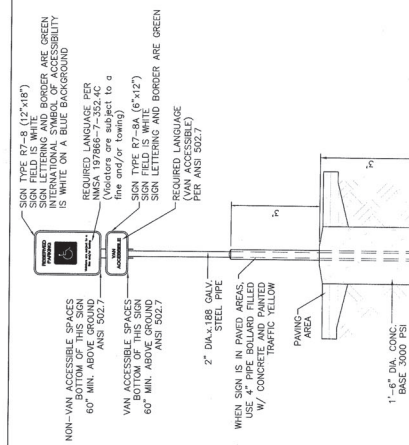
TEERRA WEST, LLC
 5571 MINWAY PARK PL. NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
www.terrawest.com

MAVERIK
 650 JUAN TABO BLVD. NE
 UTILITY PLAN

ENGINEER'S SEAL
 DRAWN BY: JRM
 DATE: 10-29-2021
 DRAWING: 201804E-MU
 SHEET #

C5
 JOB # 2019050

REVISIONS	
NO.	DATE
1	11/23/21
2	12/03/21



MAVERIK
650 JUAN TABO BLVD. NE
CONSTRUCTION DETAIL 1

ENGINEER'S SEAL
MAVERIK ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
NO. 12400
DATE: 5/27/2019
DRAWING: 201904-LET
SHEET # C6
SCALE: AS SHOWN
DATE: 05-03-2019
DRAWN BY: J. BOWMAN
P.E. #7189

TERRA WEST, LLC
3571 MIDWAY PARK PL. NE
ALBUQUERQUE, NM 87109
(505) 854-3100
www.terrawestllc.com

NOTES:
1) Accessibility Symbol of Accessibility shall be printed on the pavement at rear of accessible parking space.
2) Parking space lines and diagonal striping to be painted blue.
3) All lettering shall be in blue and "NO PARKING" in capital letters, each of which shall be at least 4 inches high and at least two inches wide, placed at the rear of the parking space.
4) ADA parking areas - not to exceed a slope greater than 4% in any direction

HC PARKING DETAIL
N/S

MAVERIK

SANITARY SEWER DOUBLE CLEAN-OUTS
N/S

Concrete Pad under Fuel Canopy

NOTE: REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL

Concrete Pad over Underground Fuel Tanks

NOTE: REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL

Petroleum Trench Cap Section
SCALE: NONE

NOTE: REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL

On-Site Curb & Gutter
SCALE: NONE

NOTE: REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL

Concrete Pad over Underground Fuel Tanks

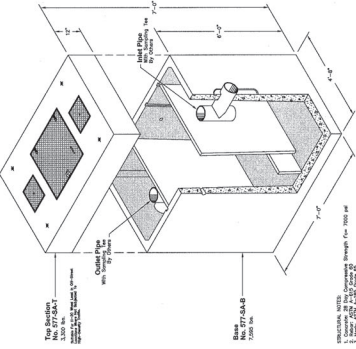
NOTE: REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL

Concrete Pad over Underground Fuel Tanks

NOTE: REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL

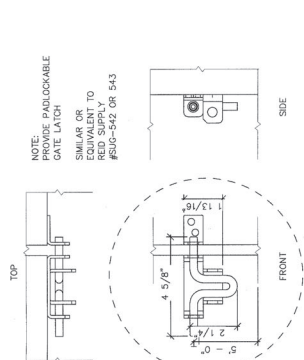
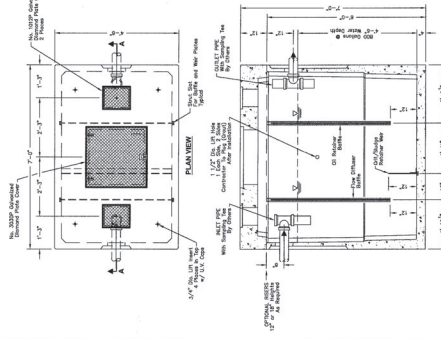
12/01/2019 10:45 AM: maverik_juan (10) & Copy: 4x9 (10) 201904-LET.dwg May 03, 2019 - 10:45 AM

577-SA OIL WATER SEPARATOR
800 Gallon capacity

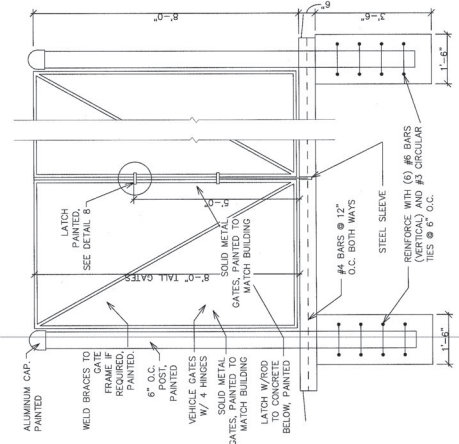


STRUCTURAL NOTES:
1. See Section 05100 for details of all steel connections.
2. All steel shall be A36 steel unless otherwise noted.
3. All steel shall be galvanized steel unless otherwise noted.
4. All steel shall be painted with a minimum of two coats of a high quality, rust-inhibiting paint.
5. All steel shall be protected from corrosion by a minimum of two coats of a high quality, rust-inhibiting paint.
6. All steel shall be protected from corrosion by a minimum of two coats of a high quality, rust-inhibiting paint.
7. All steel shall be protected from corrosion by a minimum of two coats of a high quality, rust-inhibiting paint.
8. All steel shall be protected from corrosion by a minimum of two coats of a high quality, rust-inhibiting paint.
9. All steel shall be protected from corrosion by a minimum of two coats of a high quality, rust-inhibiting paint.
10. All steel shall be protected from corrosion by a minimum of two coats of a high quality, rust-inhibiting paint.

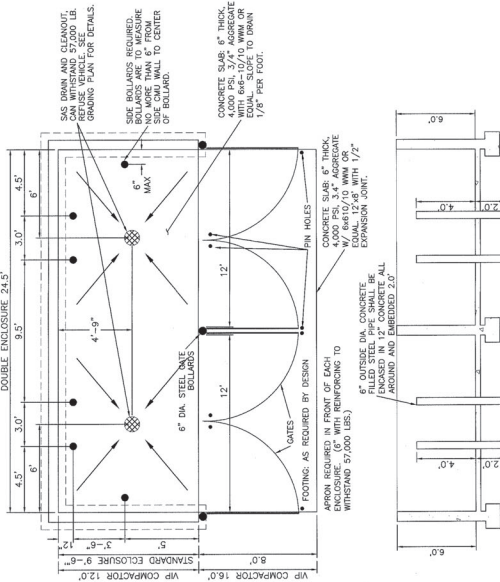
577-SA



Dumpster Enclosure Gate Latch Detail
SCALE: NONE

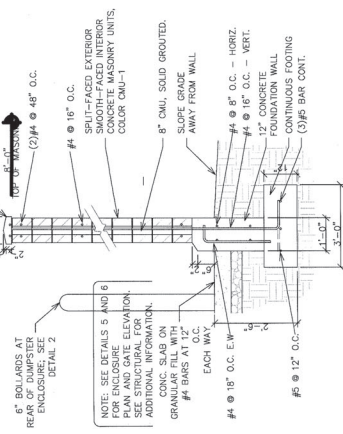


Dumpster Enclosure Gate Detail
SCALE: NONE

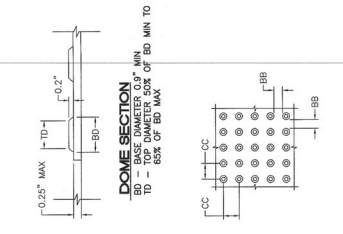


DUMPSTER W/SAS DRAIN - ENCLOSURE DETAIL
SCALE: NONE

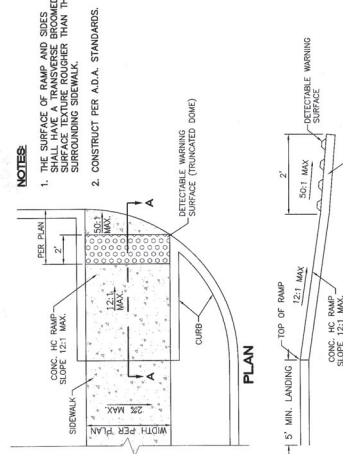
NOTE: CHECK FOR THE MINIMUM REQUIREMENTS FOR EACH ENCLOSURE.
1. ENCLOSURES' DESIGNERS MAY WANT TO THE SELECTED ENCLOSURE.
2. SOLID WASTE IS TO PROVIDE ALL INFORMATION ON THE APPROPRIATE FORMS, BOLLS, AND FINAL INSPECTION WILL BE CONDUCTED FOR SOLID WASTE SET OFF FOR 1042, 43.



Dumpster Enclosure Wall Section
SCALE: NONE



DOME SECTION
OC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN



SECTION A-A
UNIDIRECTIONAL HC RAMP
NOT TO SCALE

	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 3	DRAWING BY: [Name] DATE: 05-03-2019 DRAWING: 20180801.DWG SHEET # C8
	TERRA WEST, LLC 5571 MONROE PARK, P.L. NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	P.E. / P.R. [Name] [Address] [Phone] [Website]

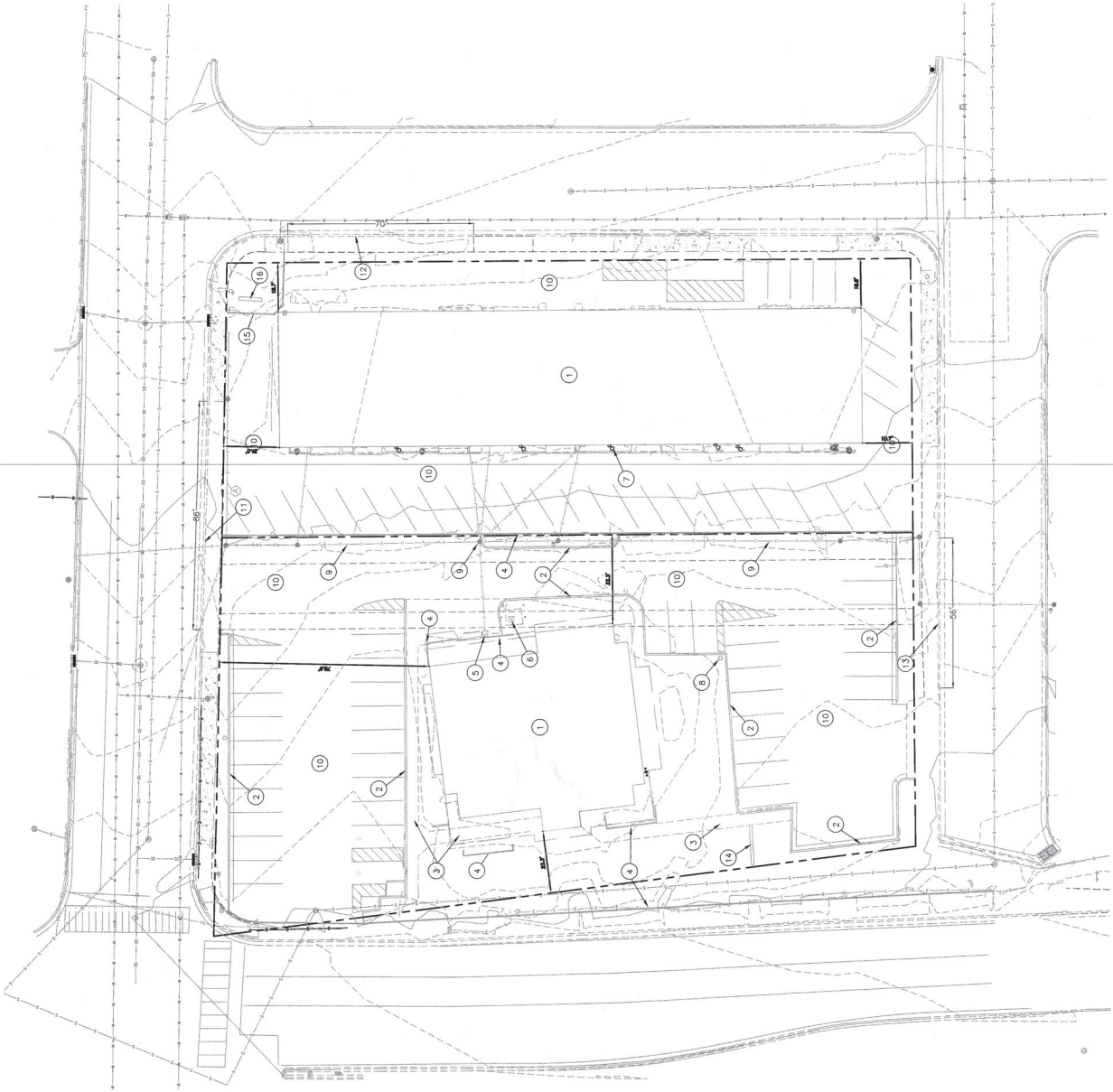


LEGEND

---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	EXISTING SIDEWALK
---	EXISTING WATER LINE
---	EXISTING STORM LINE
---	EXISTING STORM MANHOLE
---	EXISTING STORM INLET
---	EXISTING GAS LINE
---	EXISTING GAS MANHOLE
---	EXISTING WATER LINE
---	EXISTING WATER VALVE
---	EXISTING OVERHEAD POWER LINE
---	EXISTING POWER POLE
---	EXISTING ELECTRIC LINE
---	EXISTING WALL
---	EXISTING ELECTRICAL BOX
---	EXISTING TRANSFORMER
---	EXISTING LIGHT STANDARD
---	EXISTING TELEPHONE PEDESTAL

KEYED NOTES

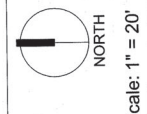
- 1 REMOVE AND DISPOSE EXISTING BUILDING AND FOUNDATION
- 2 REMOVE AND DISPOSE EXISTING CURB AND GUTTER
- 3 REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK
- 4 REMOVE AND DISPOSE EXISTING WALL
- 5 REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
- 6 REMOVE EXISTING TRANSFORMER, RETURN TO PHM
- 7 REMOVE AND DISPOSE EXISTING GAS METER (TYP)
- 8 REMOVE AND DISPOSE EXISTING LIGHT STANDARD (BY OTHERS)
- 9 EXISTING POWER LINE AND POLES TO BE RELOCATED
- 10 REMOVE AND DISPOSE ALL EXISTING ASPHALT AND SIDEWALK
- 11 REMOVE AND DISPOSE 86 LF EXISTING CURB AND GUTTER AND SIDEWALK
- 12 REMOVE AND DISPOSE 70 LF EXISTING CURB AND GUTTER AND SIDEWALK
- 13 REMOVE AND DISPOSE 56 LF EXISTING CURB AND GUTTER AND SIDEWALK
- 14 REMOVE AND DISPOSE EXISTING SIGN
- 15 EXISTING WALL TO REMAIN
- 16 EXISTING SIGN TO REMAIN



	MAVERIK 650 JUAN TABO BLVD. NE DEMOLITION PLAN	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046-1040 SHEET # C9 JOB # 2018046
ENGINEER'S SEAL 	TERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	RONALD R. BOHNANN P.E. #7469



Date: 01/21/19
Revisions:
2/20/19
2/27/19
4/3/19
11/13/19
12/14/19
Drawn by: JC
Reviewed by: JB



PLANT LEGEND

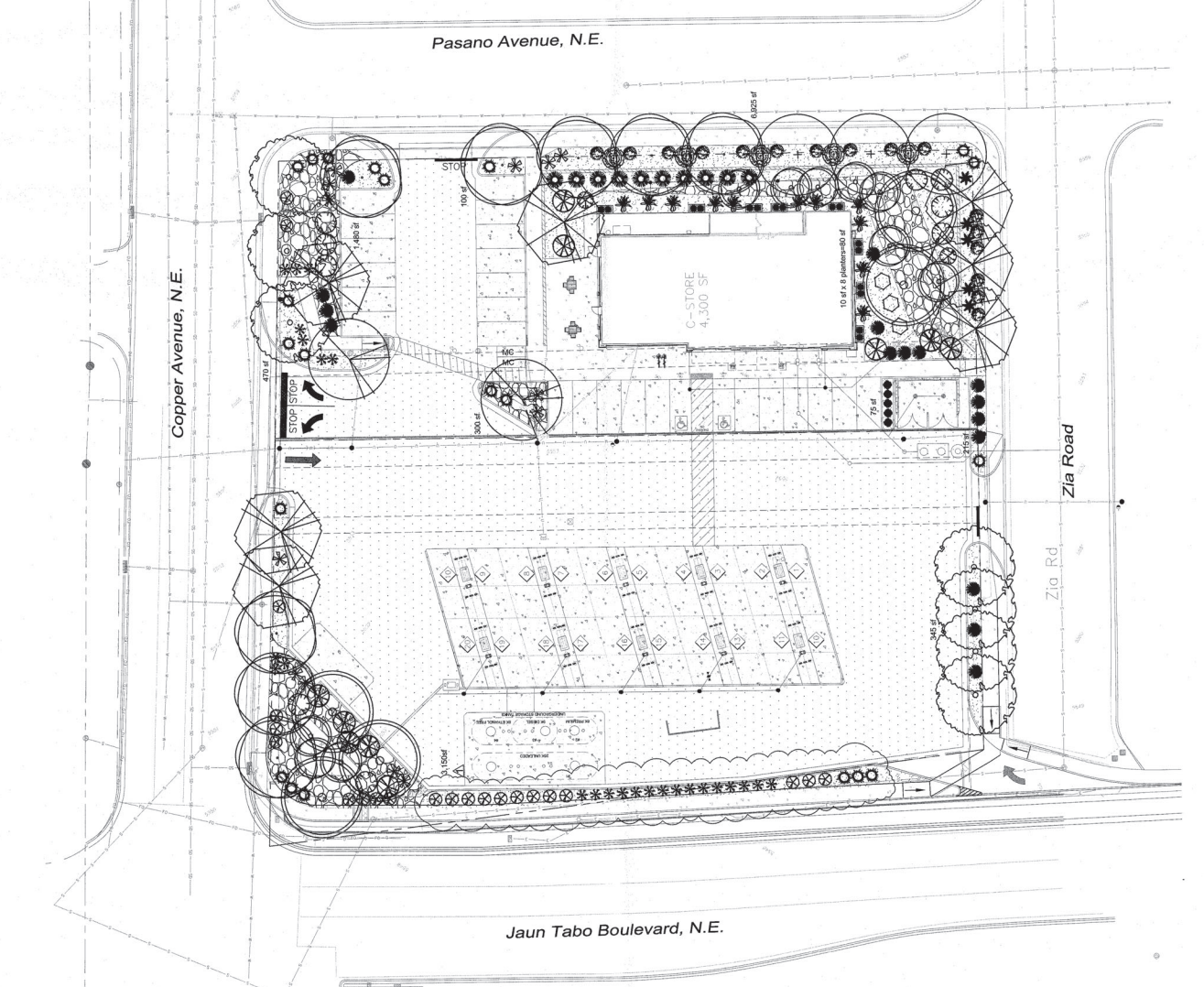
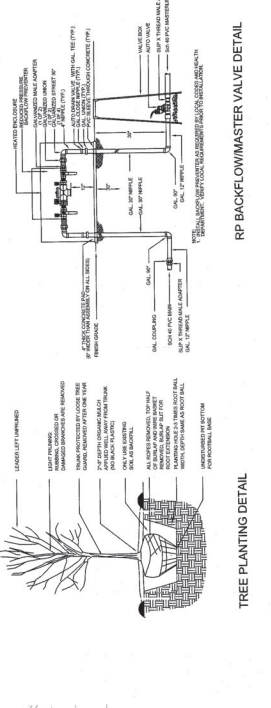
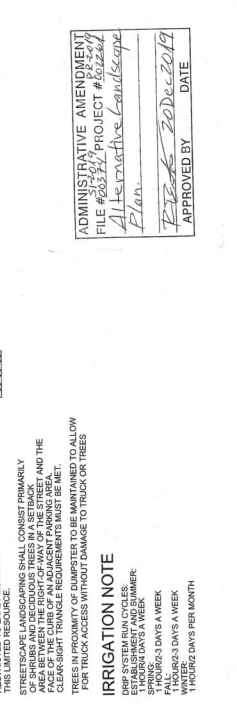
Qty.	Symbol	Scientific Name	Common Name	Size	Height/Spread	Installed	Mature	Landscaping	Water	Drip
								Coverage	Use	Emitters
7		Quercus	White Oak	2" BAB	50/45'	2" BAB	50/45'	40 ft x 20 ft of	Medium	6-2 gph
3		Tilia	Small Tree Oak	2" BAB	50/20'	2" BAB	50/20'	40 ft x 20 ft of	Medium	6-2 gph
3		Lonicera	Landmark Elm	2" BAB	40/40'	2" BAB	40/40'	35 ft x 17.5 ft of	Medium	6-2 gph
5		Celtis occidentalis	Common Hackberry	2" BAB	50/45'	2" BAB	50/45'	30 ft x 20 ft of	Medium	6-2 gph
8		Gleditsia triacanthos	Black Locust	2" BAB	30/35'	2" BAB	30/35'	45 ft x 21.5 ft of	Medium	6-2 gph
7		Prunella	Chinese Prunella	2" BAB	20/20'	2" BAB	20/20'	35 ft x 17.5 ft of	Medium	6-2 gph
2		Prunus	Prunus	2" BAB	20/20'	2" BAB	20/20'	100 ft x 100 ft of	Medium	6-2 gph
2		Picea	Purple Leaf Pines	15-Cal	20/20'	15-Cal	20/20'	100 ft x 100 ft of	Medium	6-2 gph
2		Picea	Prostrata	15-Cal	20/20'	15-Cal	20/20'	100 ft x 100 ft of	Medium	6-2 gph
2		Picea	Mill Bluffs	15-Cal	20/20'	15-Cal	20/20'	100 ft x 100 ft of	Medium	6-2 gph
2		Picea	Mill Bluffs	15-Cal	20/20'	15-Cal	20/20'	100 ft x 100 ft of	Medium	6-2 gph

SITE DATA
 GROSS LOT AREA: 11,411 SF
 GROSS BUILDING AREA: 4,300 SF
 NET LOT AREA: 57,453 SF
 REQUIRED LANDSCAPE: 18,810 SF
 10% PROPOSED LANDSCAPE: 13,145 SF
 PERCENT OF NET LOT AREA: 23%
 HIGH WATER USE TURF AREA: 0 SF
 PROPOSED HIGH WATER USE TURF: 0 SF
 PERCENT OF LANDSCAPE AREA: 0%
 REQUIRED STREET TREES: 29
 PROVIDED STREET TREES: 29
 REQUIRED PARKING LOT TREES: 3
 PROVIDED PARKING LOT TREES: 3
 TOTAL TREES REQUIRED/PROVIDED: 32/32
 75% LIVE VEGETATIVE MATERIAL (13,145 SF PROPOSED LANDSCAPE X 75%)
 10% PROPOSED LANDSCAPE COVERED PERCENT GROUND COVER COVERAGE OF REQUIRED LANDSCAPE AREAS

NOTE
 MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER.
 PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE.
 THE PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE).
 LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2" DEPTH.
 APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE A GUARANTEE OF THE SURVIVAL OF THE PLANTS.
 C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.
 NO PARKING SPACE SHALL BE MORE THAN 180'
 STREET TREES TO CONFORM TO STREET TREE ORDINANCE ORDINANCE 14-16-3-10 AND I.D.O.
 LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS.
 LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH TREES AND SHRUBBERY BETWEEN 2 AND 8 FEET TALL ALLOWED IN THIS AREA.
 IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND WATER USE WASTE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE LIMITED TO THE AREAS DESIGNATED FOR IRRIGATION IN THIS LIMITED RESOURCE.
 STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF TREES AND SHRUBBERY. THE FACE OF THE CURB AND THE CURB REQUIREMENTS MUST BE MET.
 TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES.
IRRIGATION NOTE
 DUMP SYSTEM RUN CYCLES:
 ESTABLISHMENT AND SUMMER: 15 MIN
 FALL: 10 MIN
 WINTER: 5 MIN
 1 HOUR DAVIS PER MONTH

MATERIALS LEGEND

	1/4" CRUSHED GRAVEL AT 2" DEPTH
	2-4" COBBLESTONE AT 4" DEPTH
	Switch Grass
	Calluna
	Manisotensis
	Dieris
	Nolina
	Borers



RP BACKFLOW MASTER VALVE DETAIL
 TREE PLANTING DETAIL

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The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

UL
This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
01	02/02/2016
02	02/02/2016
03	02/02/2016
04	02/02/2016
05	02/02/2016
06	02/02/2016
07	02/02/2016
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49	02/02/2016
50	02/02/2016

Approvals

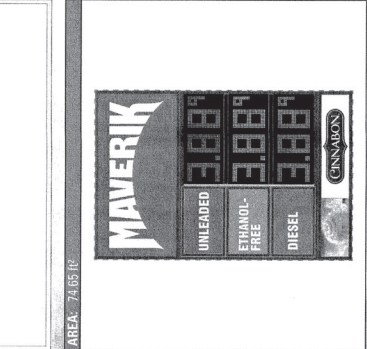
YESCO AE Signature / Date
Client Signature / Date
Landlord Signature / Date

Maverik
Juan Tabo & Copper
Albuquerque, NM
Acct. Exec: Matt Wren
Designer: Justin Raymond
Date: 04.29.2019
Monument Sign

17594 R2
JO #

scale: as noted
ART 2.0

SCOPE OF WORK
MANUFACTURE & INSTALL ONE (1) MONUMENT SIGN.



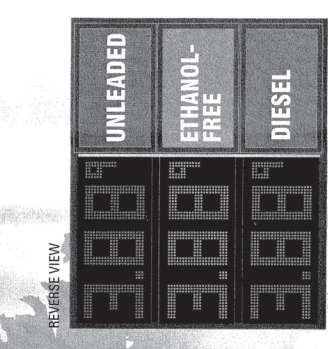
ELECTRICAL
POWER TO DISPLAY LOCATION: BY OTHERS OR EXISTING
HOOKUP AT DISPLAY: BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1. PAINT SHERWIN WILLIAMS® 7020 "BLACK FOX"
VINYL 3M 3630-69 DURANODIC
2. PMS PANTONE® 786c
VINYL 3M 3630-33 "RED"
3. PAINT MATCH PMS 348c/SW4LV5-5074886-389504-A
VINYL 3M 3630-26 "GREEN"
4. PAINT DUPONT #K 9441
VINYL 3M 3630-26 "LT EUROPEAN BLUE"

PAINT SHERWIN WILLIAMS® 6 MATCH "PMS 427"
VINYL AVERY LC 509-811-T "PANTONE 427c"
PMS PANTONE® 7906c
VINYL 3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS SHOWN ON THIS DRAWING ARE APPROXIMATIONS. THE CONTRACTOR SHALL OBTAIN AND TEST APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS.



Sign Area: 24.5ft²
Internally illuminated aluminum cabinet w/ painted finish (see color key). Retainer size as req. Clear formed face w/ 2st surface decoration (see color key) (only copy is raised). White LED illumination.

Sign Area: 40.2ft²
price changer aluminum cabinet w/ painted finish (see color key). Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl (see color key). White LED illumination.

Sign Area: 8.3ft²
Internally illuminated aluminum cabinets w/ painted finish (see color key). 1" 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics (see color key). White LED illumination. Painted aluminum cap.

YESCO to provide duraseck base. Contractor to provide stone veneer.

Concrete mow-pad.

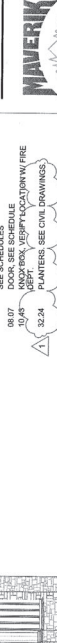
2 D/F ILLUMINATED MONUMENT SIGN
SCALE: 1/2" = 1'-0"

2.1 SIDE VIEW

This design does not constitute production ready artwork and is to be used exclusively for proofing and review purposes only.

REFERENCE NOTES

- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS SEE STRUCTURAL DRAWINGS
- 04.01 FINISH FLOOR SEE SCHEDULE
- 04.02 GUIDELINES
- 05.05 WEAPONS CABINETS (SEE SCHEDULE)
- 05.06 WEAPONS CABINETS (SEE SCHEDULE)
- 05.08 WEAPONS CABINETS (SEE SCHEDULE)
- 05.12 PRE-FINISHED METAL COPING, COLOR C-4
- 05.14 FIBER CEMENT BOARD & BATTEN SIDING, COLOR P-8. SEE SCHEDULE
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, COLOR P-8. SEE SCHEDULE
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, COLOR P-8. SEE SCHEDULE
- 06.06 ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULE
- 08.03 ROOFING: SEE SCHEDULE
- 10.05 ROOFING: SEE SCHEDULE
- 32.24 PLANTERS. SEE CIVIL DRAWINGS.



730 Pacific Avenue - Salt Lake City, Utah 84104
 O 801.521.6186 • FFR.COM

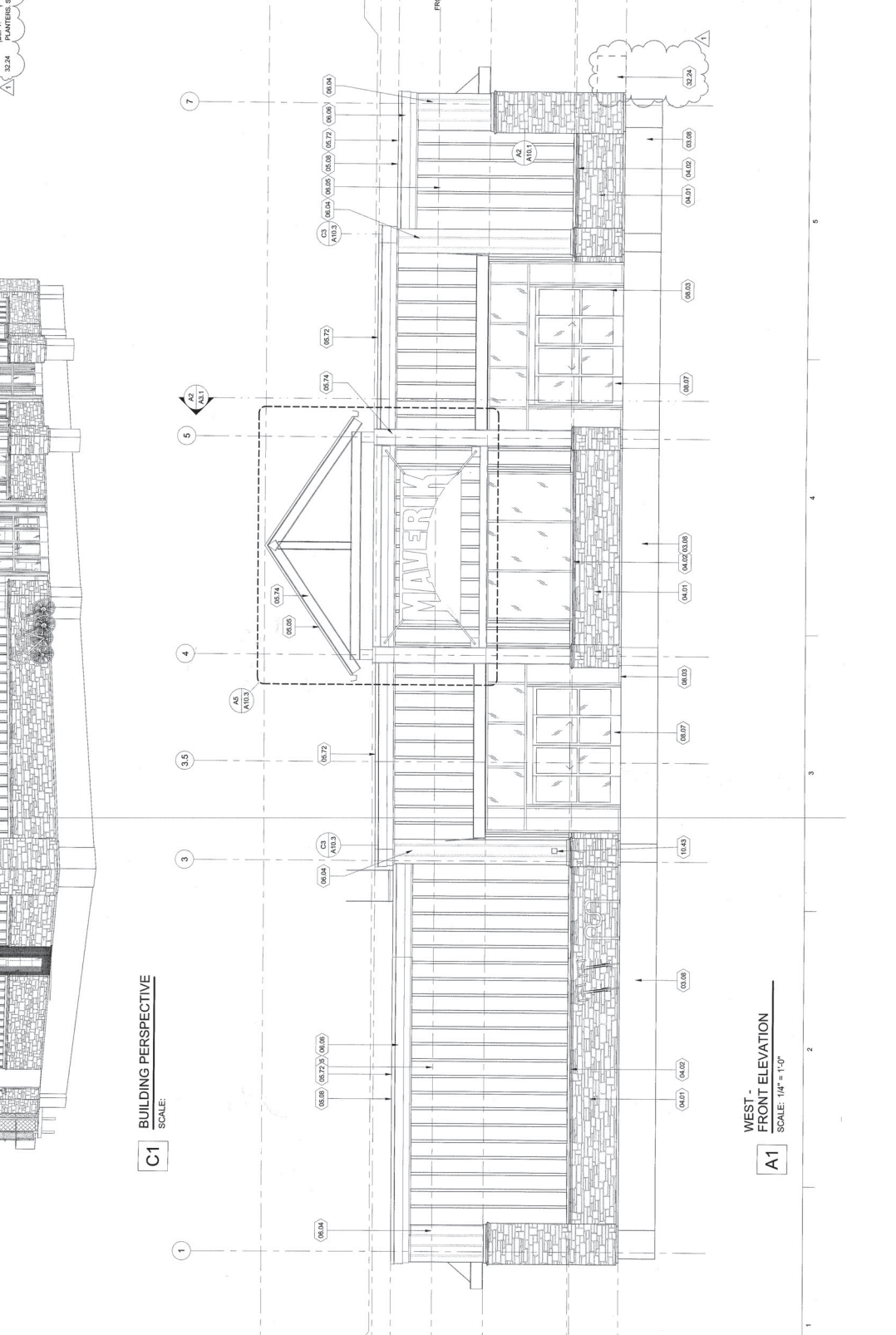
ALBUQUERQUE, NM 87123
 PERMIT SET 01/16/19

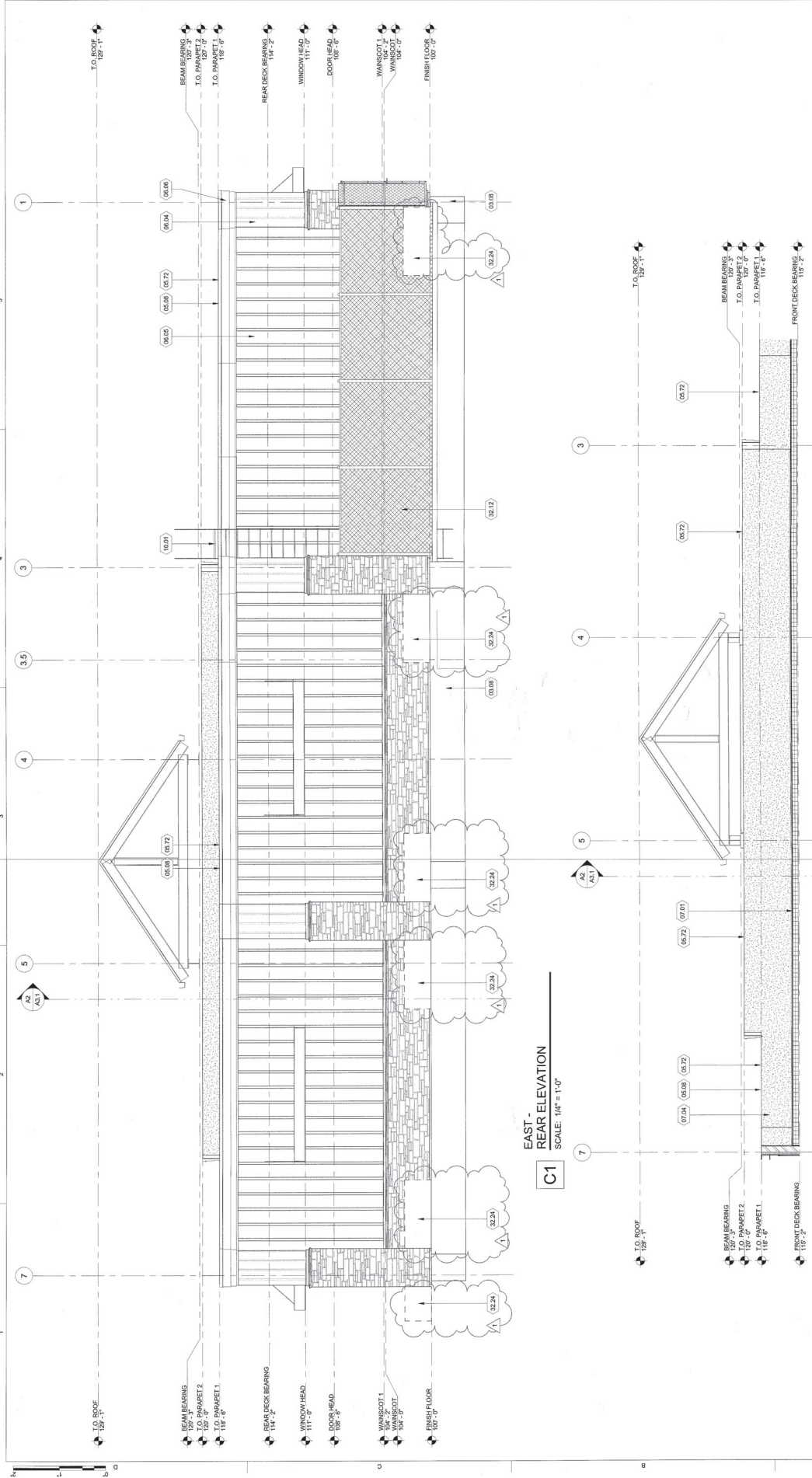
MAVERIK 4300
 JUAN TABO & COPPER

PROJECT NUMBER: 81289
 EXTERIOR ELEVATIONS
 DATE: 1/31/19
 REVISION: CITY REVIEW

C1 BUILDING PERSPECTIVE
 SCALE:

A1 WEST - FRONT ELEVATION
 SCALE: 1/4" = 1'-0"





EAST-REAR ELEVATION
SCALE: 1/4" = 1'-0"

PARTIAL FRONT WALL REAR VIEW ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- 07.01 UNLESS NOTED OTHERWISE, USE FINISH INSULATION, INSULATION, OVERLAP JOINTS, SEE SPECIFICATIONS AND CHECK CALCS.
- 07.04 ROOFING MEMBRANE IS UNDER CAP, OTHER WALL AND UNDER THE METAL ROOFING.
- 10.01 ACCESS LADDER W/ SECURITY GATE, COLOR TO MATCH SIDING.
- 32.24 PLANTERS, SEE CIVIL DRAWINGS.

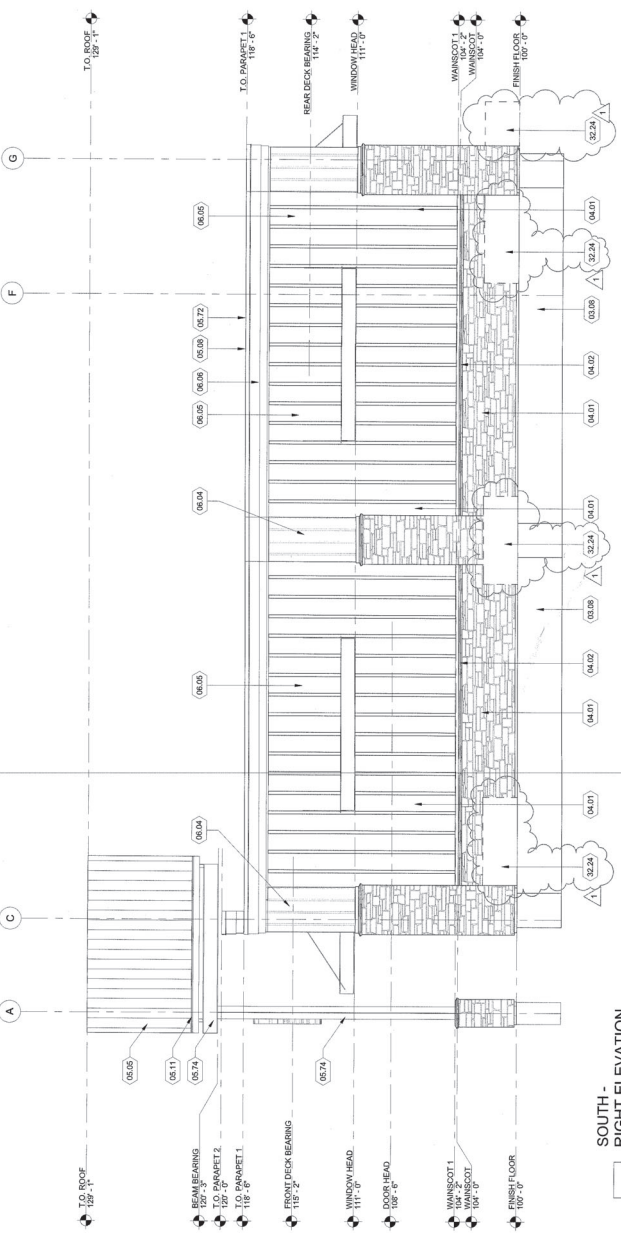
REFERENCE NOTES

- 03.08 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL.
- 04.08 24 GAUGE PINE FINISHED CORNING SECURED TO 24 GAUGE PURLIN.
- 06.08 PARAPET - PASTEN CLEAR ON OUTSIDE OF PARAPET W/ GALVANIZED STEEL BRACKETS TO ATTACH TO WALL. ALL SEAMS TO BE STANDING.
- 06.74 SEAM JOINTS ALLOWED. FINISH COLOR: CO. 08-C4.
- 06.84 FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE.
- 06.94 FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE.
- 06.96 FIBER CEMENT TRIM BOARDS, SEE SCHEDULE.

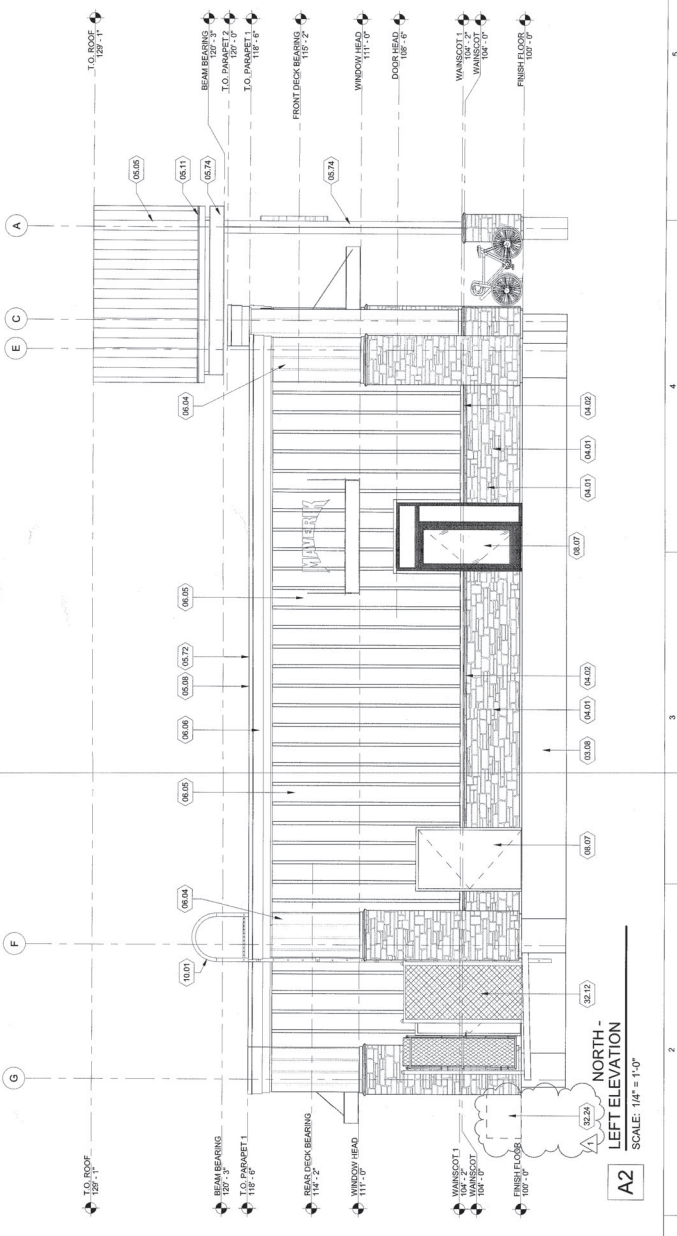


REFERENCE NOTES

- 03.08 CONCRETE FINISHES AND FOUNDATIONS: SEE STRUCTURAL DRAWINGS.
- 04.01 INSTALL PER MANUFACTURER'S INSTRUCTIONS. SEE SCHEDULES.
- 04.02 STONE VENEER: SEE CAP (BB-1).
- 05.05 MFC PRE-FINISHED ROOF, 1/4" 24 GAUGE PRE-FINISHED COPING.
- 05.06 ROOFING SHALL BE 1/2" O.C. FASTEN INSIDE OUTSIDE OF PARAPET. FASTENERS SHALL BE STANDING SEAM, NO LAPS ALLOWED.
- 05.11 PRE-FINISHED METAL FLASHING BY NEOPRENE GASKETED FASTENERS. ALL ALLOWED.
- 05.72 PRE-FINISHED METAL COPING, COLOR C-4.
- 05.74 STRUCTURAL WANSKOT, COLOR P-8. SEE SCHEDULE.
- 06.04 FIBER CEMENT BOARD & BATTEN SIDING, SEE SCHEDULE.
- 06.05 FIBER CEMENT BOARD & BATTEN SIDING, SEE SCHEDULE.
- 06.06 DOOR, SEE SCHEDULE.
- 06.07 DOOR, SEE SCHEDULE.
- 10.01 8" HIGH CHARLIMK TRIM W/ PRIVACY GLASS. COLOR TO MATCH WANSKOT. SEE ELEVATIONS.
- 32.12 PLANTERS. SEE CIVIL DRAWINGS.



C2
 SOUTH - RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



A2
 NORTH - LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: PR-2018-0071411
DRB Application No.: SI-2019-00095

INFRASTRUCTURE LIST

(Rev. 7-16-18)
EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Maverik inc. Gas & C-Store Development at 650 Juan Tabo Blvd. - SITE PLAN FOR BUILDING PERMIT
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lot A & B, Block 8 La Cuesta Subdivision, Albuquerque, Bernalillo County, New Mexico
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

ORIGINAL

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. The Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that applicant items and/or infrastructure items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that applicant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and applicant/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unincorporated items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	City Chat Engineer	
		11'-0"	Northbound right turn lane on Juan Tabo Blvd. at Copper Ave		650' on Juan Tabo Blvd	140' Off Ramp	Copper Ave.	/	/
		Right-in Driveway	15' wide right-in only driveway on Juan Tabo Blvd		290' south of Juan Tabo Blvd.	/ Copper Ave. intersection		/	/
		4'-6"	Multiple east leg of Copper Ave. at Juan Tabo Blvd. for dual west bound left turn lanes plus dual right turn lanes.				/	/	
		6'-0"	350' of PCC Sidewalk		Juan Tabo Blvd	Zia Rd	Copper Ave.	/	/
		2'-0"	2x Sidewalk Culvert COA DWG 2236		on Juan Tabo Blvd., 35' south of Copper Ave.	intersection		/	/
			Storm inlet relocations, extension of RCP pipe to new inlet		on Juan Tabo Blvd., 350' and 520' south of Copper Ave.	intersection		/	/
		6'-0"	Sidewalk, curbs and gutter replacement of existing driveway cuts		Along Palisado St, Copper Ave., and Zia Rd			/	/
		4'-0"	Sewer MH lid adjustment (new eccentric lid for existing MH)		on Juan Tabo Blvd., 417' south of Copper Ave.	intersection		/	/
		6"	Sewer service connection		Zia Rd			/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification	
							Inspector	City Crst Engineer
		2'	Waterline service connection & meter	Paisano St.			/	/
		ADA Ramps	New ADA ramps at corners of	Juan Tabo Blvd / Paisano St / Copper Ave / Zia Rd			/	/
		-	Remove existing water meters and shutoff at corp stop, abandoned to the main				/	/
		-	Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee				/	/
		SE	Relocate sanitary sewer along Juan Tabo to be under new right-of-way lane 285' and install two Type 2' Manholes	Juan Tabo Blvd - Zia Rd - Copper Ave			/	/
		-	Shipping modification for left turn lane	Copper Ave	185-ft to 235-ft from Juan Tabo/Copper		/	/

Approval of Creditable Items: _____ Date: _____
 Impact Fee Administrator Signature _____ Date: _____
 City User Dept. Signature _____ Date: _____

NOTES

If the site is located in a floodplain, then the Financial guarantee will not be released until the LOMR is approved by FEMA. Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

Richard Stevenson
 NAME (print) _____
 Tierra West LLC
 FIRM _____
 Signature _____ 12/4/19
 SIGNATURE - date

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date 12/4/19
 Signature _____
 PARKS & RECREATION - date 12-4-19
 Signature _____

TRANSPORTATION DEVELOPMENT - date 12/4/19
 Signature _____

UTILITY DEVELOPMENT - date 12/4/19
 Signature _____

AMAFCA - date _____
 Signature _____

CODE ENFORCEMENT - date 12-4-19
 Signature _____

CITY ENGINEER - date _____
 Signature _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER