

# ADMINISTRATIVE AMENDMENT

FILE #: \_\_\_\_\_ PROJECT #: \_\_\_\_\_

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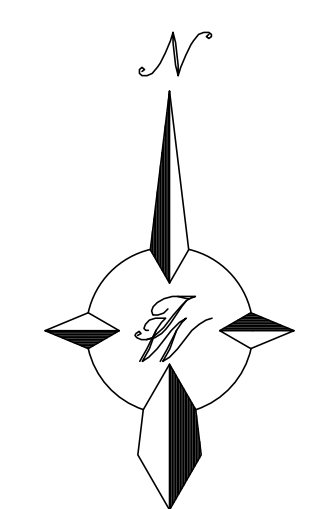
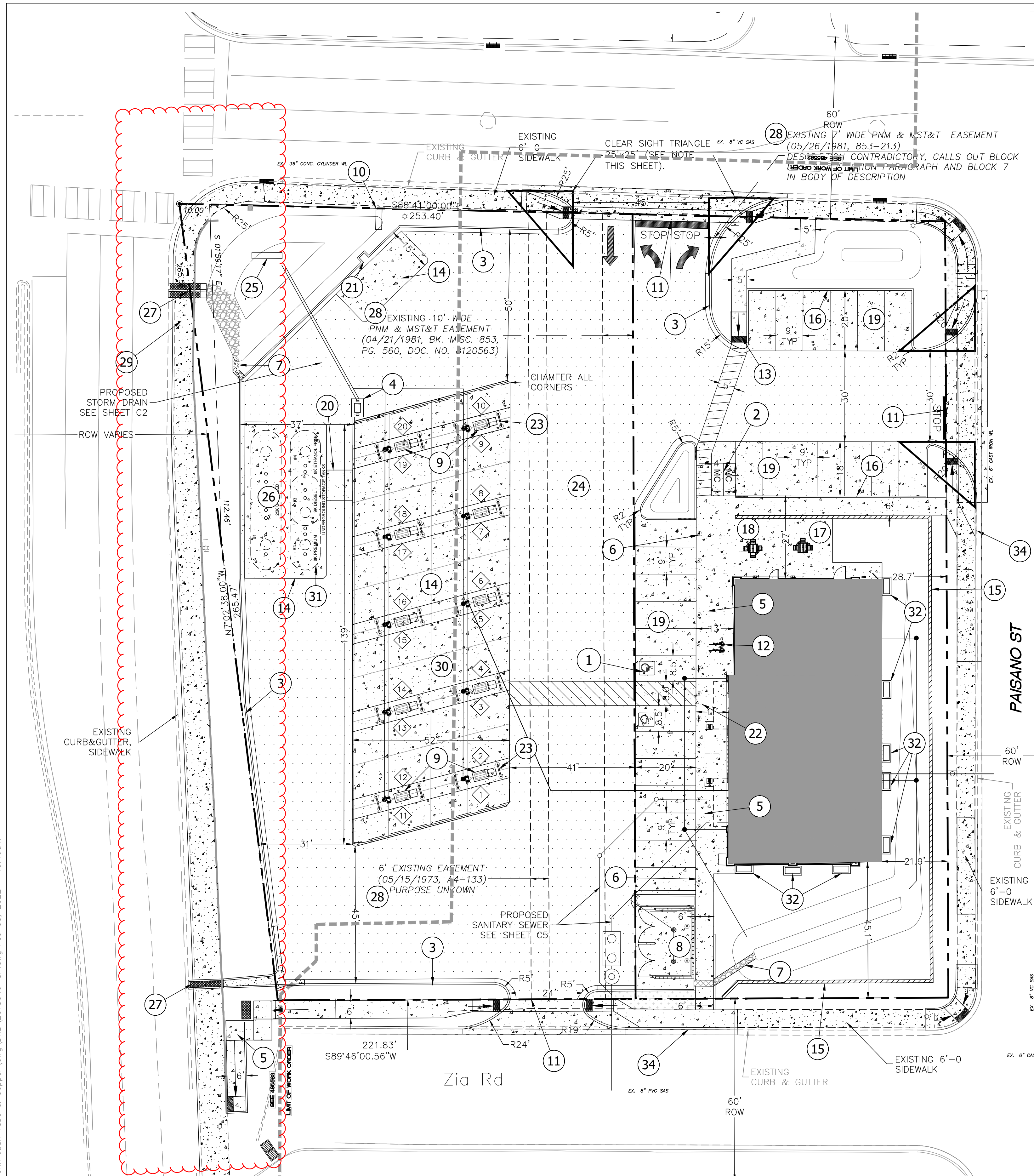
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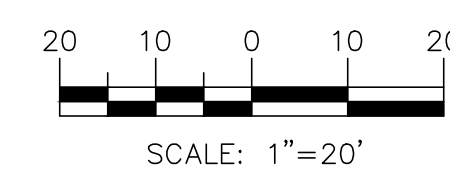
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**APPROVED BY**

\_\_\_\_\_  
**DATE**

PROPOSED SITE PLAN



GRAPHIC SCALE



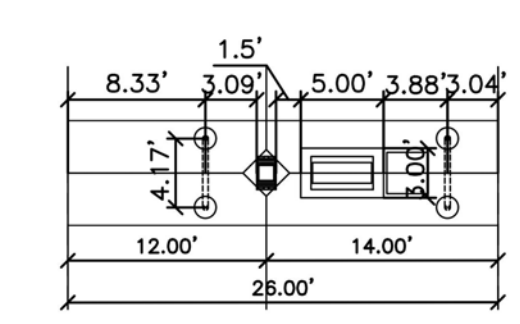
**LEGEND**

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK/CONCRETE PAVEMENT
	ASPHALT PAVEMENT
	RETAINING WALL
	STREET LIGHTS
	EXISTING CURB & GUTTER

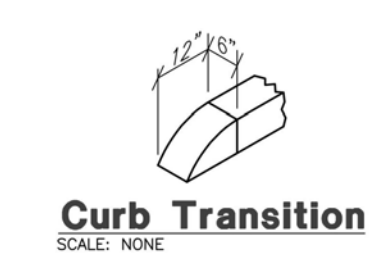
**KEYED NOTES**

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
- 2 MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C6)
- 3 ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6)
- 4 OIL WATER SEPARATOR (SEE DETAIL SHT. C8)
- 5 CONCRETE SIDEWALK (SEE DETAIL SHT. C7)
- 6 BOLLARDS (SEE DETAIL SHT. C7)
- 7 2' CONCRETE RUNDOWN
- 8 DUMPSTER (SEE DETAIL SHT. C8)
- 9 GAS PUMP ISLAND (TYP)
- 10 MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
- 11 2.0' STOP BAR
- 12 BICYCLE RACKS (SEE DETAIL SHT. C7)
- 13 UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
- 14 CONCRETE SLAB W/CHAMFERED CORNERS
- 15 RETAINING WALL WITH HAND RAIL AND PEDESTRIAN GUARD (SEE GRADING SHT C2, MAX HEIGHT 4.0', DETAIL SHT. 7)
- 16 HEADER CURB (SEE DETAIL SHT. C6)
- 17 ADA PICNIC TABLE (SEE ARCH. PLANS)
- 18 PICNIC TABLE (SEE ARCH. PLANS)
- 19 CONCRETE PARKING STALL (SEE DETAIL SHT. C6)
- 20 PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6)
- 21 XACTAIR AIR STATION (SEE DETAIL SHT. C6)
- 22 TRUNCATED DOMES (SEE DETAIL SHT. C8)
- 23 "HOOP" BOLLARD (SEE DETAIL SHT. C7)
- 24 ASPHALT PAVING (SEE GEOTECH REPORT)
- 25 MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
- 26 UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
- 27 SIDEWALK CULVERT COA STD DWG 2236
- 28 PNM EASEMENTS TO BE VACATED BY DOCUMENT AND/OR PLATTING ACTION
- 29 EXISTING 6' PUBLIC SIDEWALK
- 30 ALL UNDER CANOPY LIGHTING TO BE RECESSED PER IDO 4-3(D)(17)(h)
- 31 TANK PIT WALL TO BE LINED WITH GEOTEXTILE FILTER FABRIC PER XERXES TANK SPEC.
- 32 3'-0 by 6'-0, 28" HIGH LANDSCAPE PLANTER BOXES
- 33 NOT USED
- 34 OFFSITE CURB, GUTTER & SIDEWALK PER COA DWG 2415A, 2430

**CLEAR SIGHT TRIANGLE NOTE:**  
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



**FUEL ISLAND LAYOUT**  
SCALE: NONE



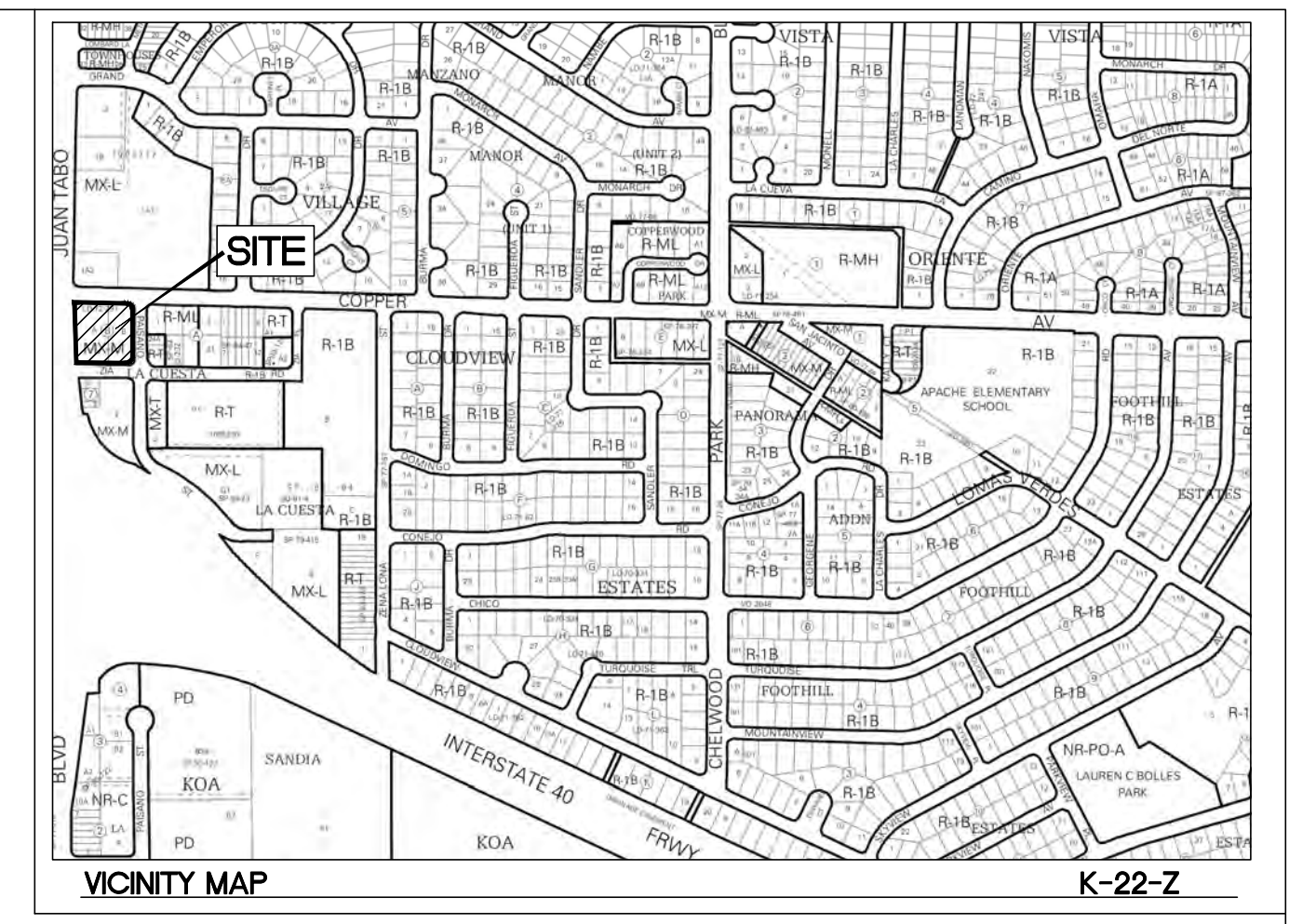
**Curb Transition**  
SCALE: NONE

**NOTES:**

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL UNUSED CURBS CUTS MUST BE REPLACED WITH CURB, GUTTER & SIDEWALK; PER COA STD DWG 2415A AND 2430.
3. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
4. XACTAIR STATION ON 30"x36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
5. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
6. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF

**INDEX TO DRAWINGS**

- C1. SITE PLAN FOR BUILDING PERMIT
- C2. GRADING PLAN
- C3. DEVELOPED DRAINAGE PLAN
- C4. GRADING DETAILS
- C5. MASTER UTILITY PLAN
- C6. CONSTRUCTION DETAILS
- C7. CONSTRUCTION DETAILS
- C8. CONSTRUCTION DETAILS
- C9. DEMOLITION PLAN
- L1. LANDSCAPING PLAN
- B1. BUILDING ELEVATION & SIGN PLANS
- SW1. EROSION CONTROL PLAN
- SW2. EROSION CONTROL DETAILS
- SW3. EROSION CONTROL DETAILS



**LEGAL DESCRIPTION**

LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

**SITE DATA**

PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION
LOT AREA:	61,753.72 SF (1.41 ACRES)
BUILDING AREA:	4,300 SF
STACK:	2X5 (20 UNITS)
ASPHALT AREA:	
PARKING REQUIRED:	17 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	26 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 SPACE VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	8,618 SF
LANDSCAPE AREA PROVIDED:	12,125 SF

**PROJECT NUMBER: PR-2018-001411**  
**APPLICATION NUMBER: SI-2019-00095**

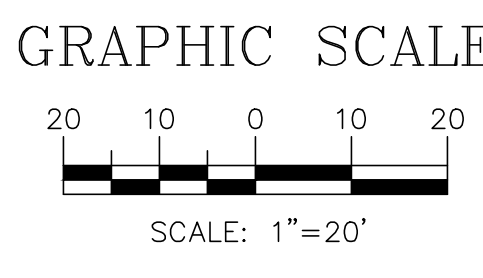
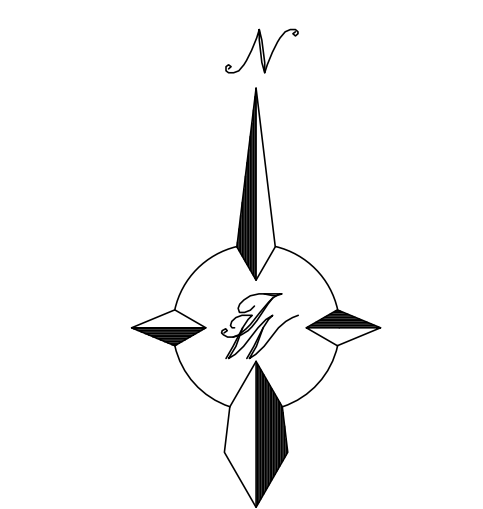
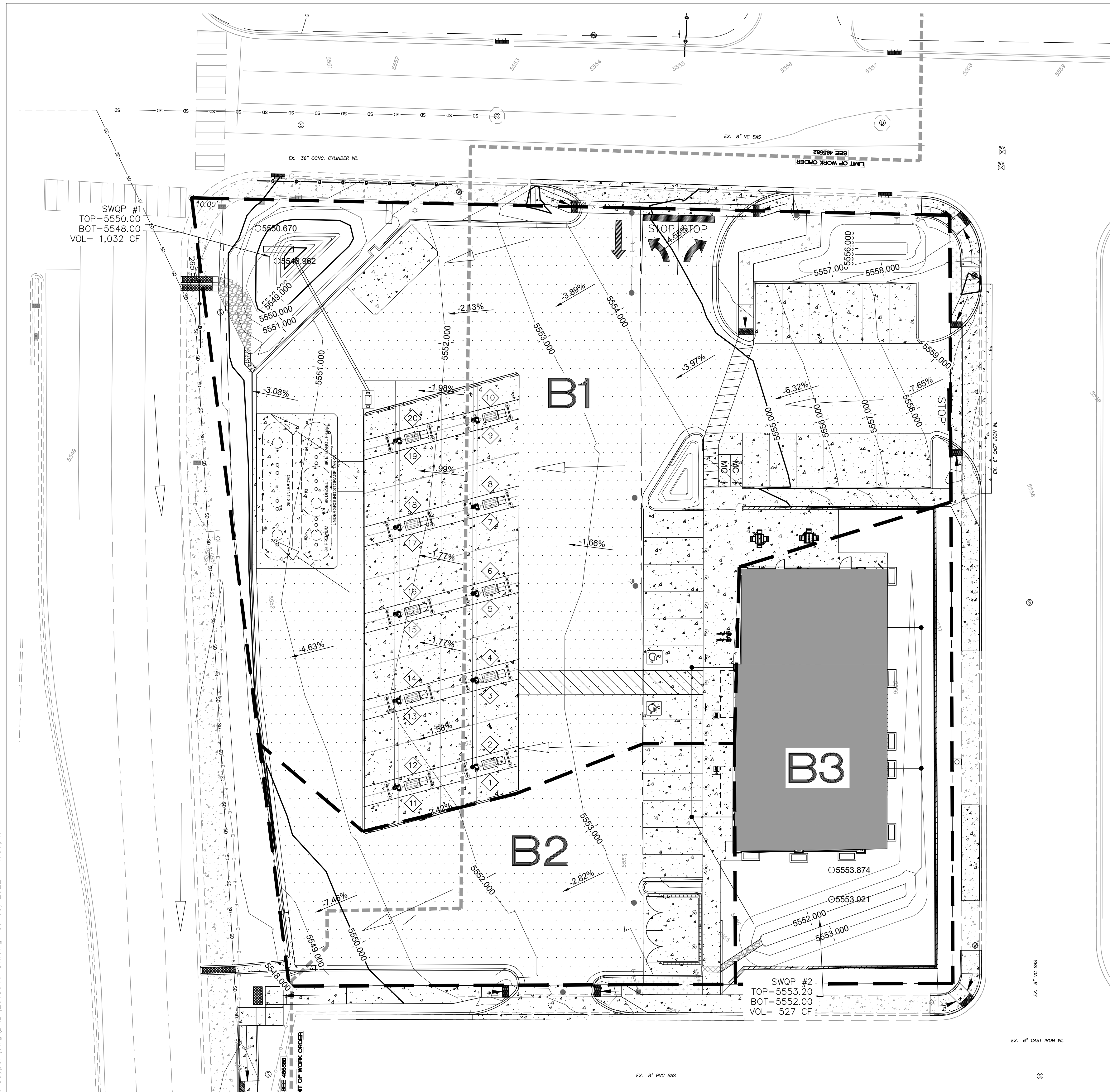
Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
Code Enforcement	Date

\* Environmental Health, if necessary

	<b>MAVERIK</b> 650 JUAN TABO BLVD. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY pm DATE 10-29-2021 DRAWING 2018046-SP SHEET # <b>C1</b> JOB # 2019050
		ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 02/03/2022

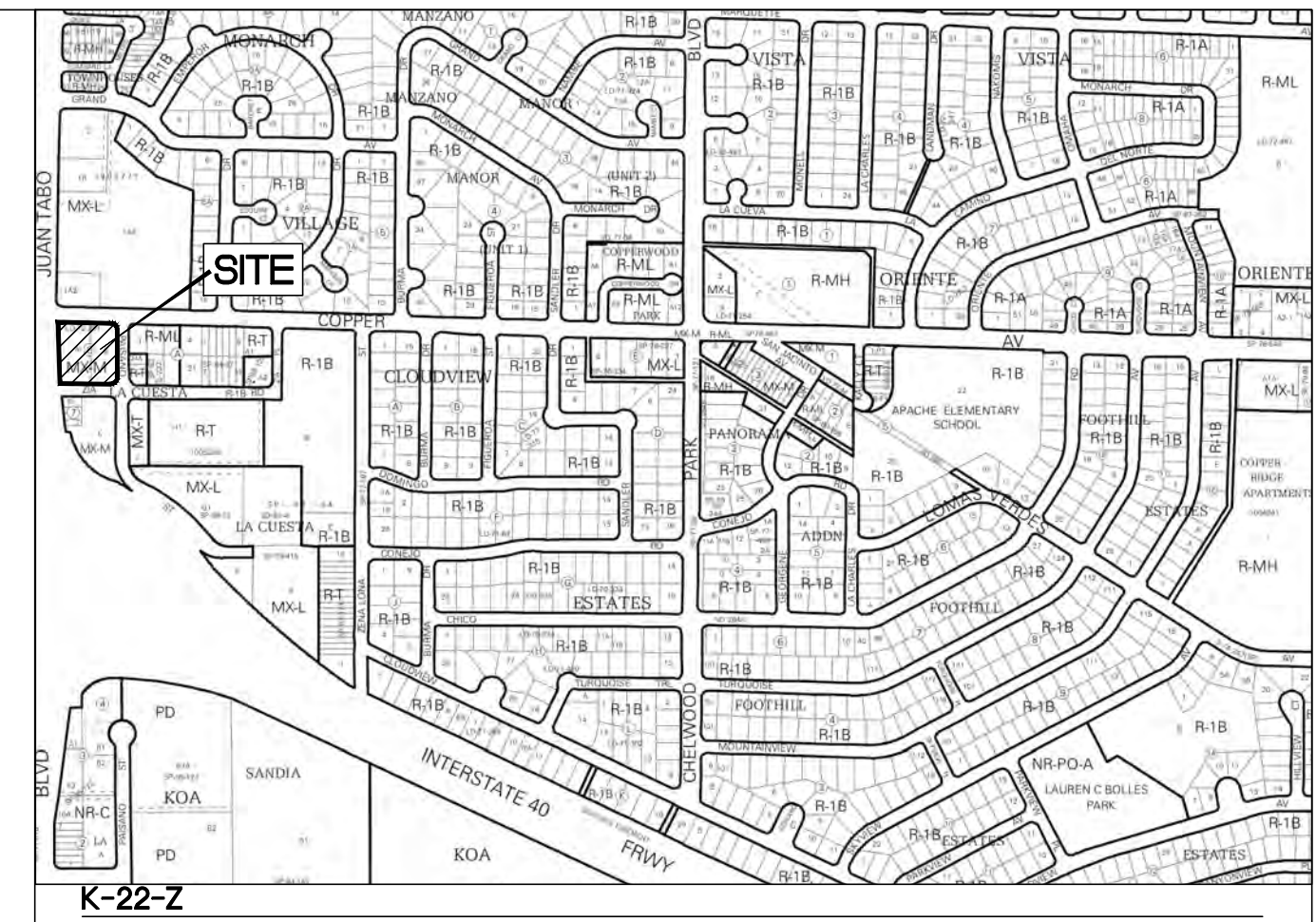


**LEGEND**

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▩ RETAINING WALL
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION

**MAINTENANCE OF BMPs**  
 RESPONSIBLE PARTY: PROPERTY OPERATOR  
 MAINTENANCE REQUIREMENTS AND FREQUENCY: REFER TABLE THIS PAGE.  
 ACCESS TO BMPs: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWQV POND. ALL REMOVAL AND DISPOSAL OF LANDSCAPING AND SEDIMENT SHALL BE COMPLETED BY CERTIFIED LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE MAINTENANCE SPECIFICATION. NO DEBRIS SHALL REMAIN ONSITE AFTER TRIMMING.  
 SEDIMENTATION MONITORING SHALL BE COMPLETED BY THE PROPERTY OWNER YEARLY. IF SILT ACCUMULATION EXCEEDS 2 INCHES ON THE SWQV POND GAUGE THEN THE POND BOTTOM SHALL BE EXCAVATED AND STACKED WITHIN 2-FEET OF THE SWQV POND BERM.  
 VISUAL INSPECT FOLLOWING STORM EVENTS SHALL BE COMPLETED AS REQUIRED TO ENSURE THE INFILTRATION OF THE SWQV IS ACHIEVED AT ACCEPTABLE RATES. THE SWQV, AT THE MAXIMUM 24" DEPTH, SHOULD INFILTRATE WITHIN 24 HOURS.

**VECTOR CONTROL NOTES:**  
 ALLOWING CONDITIONS SUCH AS THE ACCUMULATION OF STANDING WATER THAT CAN CONTRIBUTE TO THE BREEDING OF MOSQUITOES IS A VIOLATION OF THE CITY OF ALBUQUERQUE'S INSECT AND RODENT CONTROL ORDINANCE. MAINTENANCE OF THE OIL WATER SEPARATOR AND SWQV PONDS ARE THE RESPONSIBILITY OF THE PROPERTY OPERATOR. IN ORDER TO PREVENT MOSQUITO BREEDING, VEGETATION SHOULD BE MAINTAINED THROUGHOUT THE YEAR IN THIS MANNER. REMOVAL OF VEGETATION CREATES A LESS DESIRABLE SITE FOR MOSQUITO BREEDING. THIS WILL ALSO AID IN THE REDUCTION OF RODENT HARBORAGE. WHEN STANDING WATER DOES EXIST IT SHOULD BE TREATED WITH PUBLICLY AVAILABLE MOSQUITO PRODUCES (E.G. MOSQUITO DUNKS) AT THE TREATMENT RATE DESIGNATED BY THE PRODUCT LABEL. SHOULD A SITE MAINTAIN PERMANENT STANDING WATER, MOSQUITO FISH (GAMBUSIA) CAN BE OBTAINED FROM THE CITY OF ALBUQUERQUE'S ENVIRONMENTAL HEALTH DEPARTMENT FREE OF CHARGE.



REGULAR MAINTENANCE	FREQUENCY
<b>LITTER MANAGEMENT</b> Pick up all litter at site and in Landscape areas and remove from site	Daily
<b>INLETS AND OUTLETS</b> Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures.	Monthly
<b>HARD SURFACES</b> Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required
OCCASIONAL TASKS	FREQUENCY
<b>INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS</b> Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed.	Yearly
<b>POND VEGETATION</b> Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
<b>SILT MANAGEMENT</b> Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and overseed. Protect surface from siltation and manage main area of basin for design function or appearance.	Yearly
REMEDIAL WORK	FREQUENCY
Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly

**CAUTION:**  
 ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

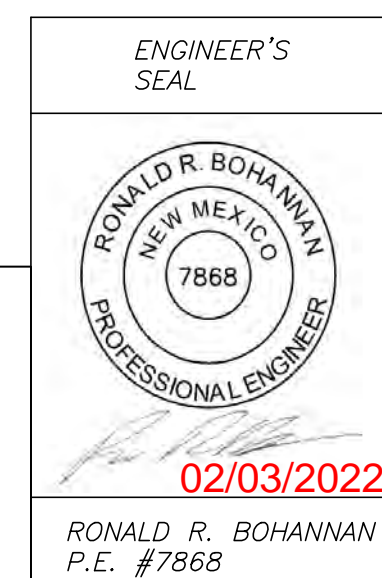
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr			SWQV					
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Required (cf)	Provided (cf)				
1	40,521	0.930	0.00145	0%	0.000	10%	0.093	0%	0.000	90%	0.837	2.484	0.193	4.67	1.567	0.121	3.12	790	1,032 (#1)
2	10,390	0.239	0.00037	0%	0.000	0%	0.000	100%	0.239	2.640	0.052	1.25	1.690	0.034	0.85	-	-	225	-
3	10,843	0.249	0.00039	0%	0.000	50%	0.124	0%	0.000	50%	0.124	1.860	0.039	1.02	1.075	0.022	0.62	117	527 (#2)
<b>Total</b>	<b>61,754</b>	<b>1.418</b>	<b>0.00222</b>		<b>0.000</b>		<b>0.217</b>		<b>0.000</b>		<b>1.200</b>		<b>0.284</b>	<b>6.936</b>		<b>0.177</b>	<b>4.600</b>	<b>1,133</b>	<b>1,559</b>

**Equations:**  
 Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)  
 Volume = Weighted E \* Total Area  
 Flow = Qa\*Aa + Qb\*Ab + Qc\*Ac + Qd\*Ad  
 WQV<sub>required</sub> = 0.26\*A\*43560\*(1/12)

Excess Precipitation, E (in.)		
Zone 4	100-Year	10-Year
Ea	0.8	0.28
Eb	1.08	0.46
Ec	1.46	0.73
Ed	2.64	1.69

Peak Discharge (cfs/acre)		
Zone 4	100-Year	10-Year
Qa	2.2	0.87
Qb	2.92	1.45
Qc	3.73	2.26
Qd	5.25	3.57

**Water Quality Volume - "First Flush Pond" - Redevelopment Site**  
 Total Impervious Area = 2Area in "Treatment D"  
 Retainage depth = 0.28" 0.0233 foot  
 Retention Volume = 0.0233 x area CF

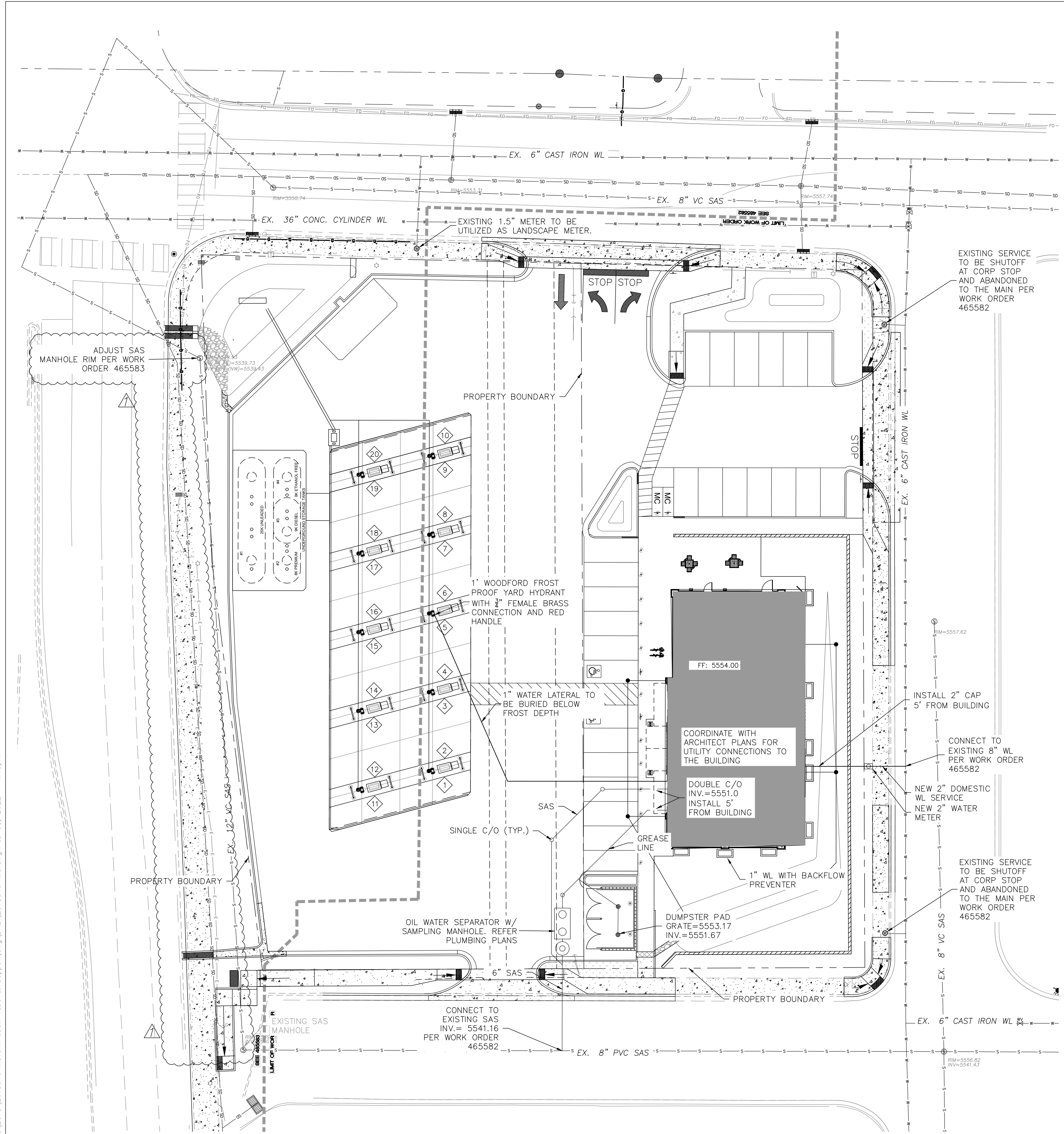


**MAVERIK**  
 650 JUAN TABO BLVD. NE  
 DRAINAGE PLAN

TIERRA WEST, LLC  
 5571 MIDWAY PARK PL NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 (505) 858-3100  
 www.tierrawestllc.com

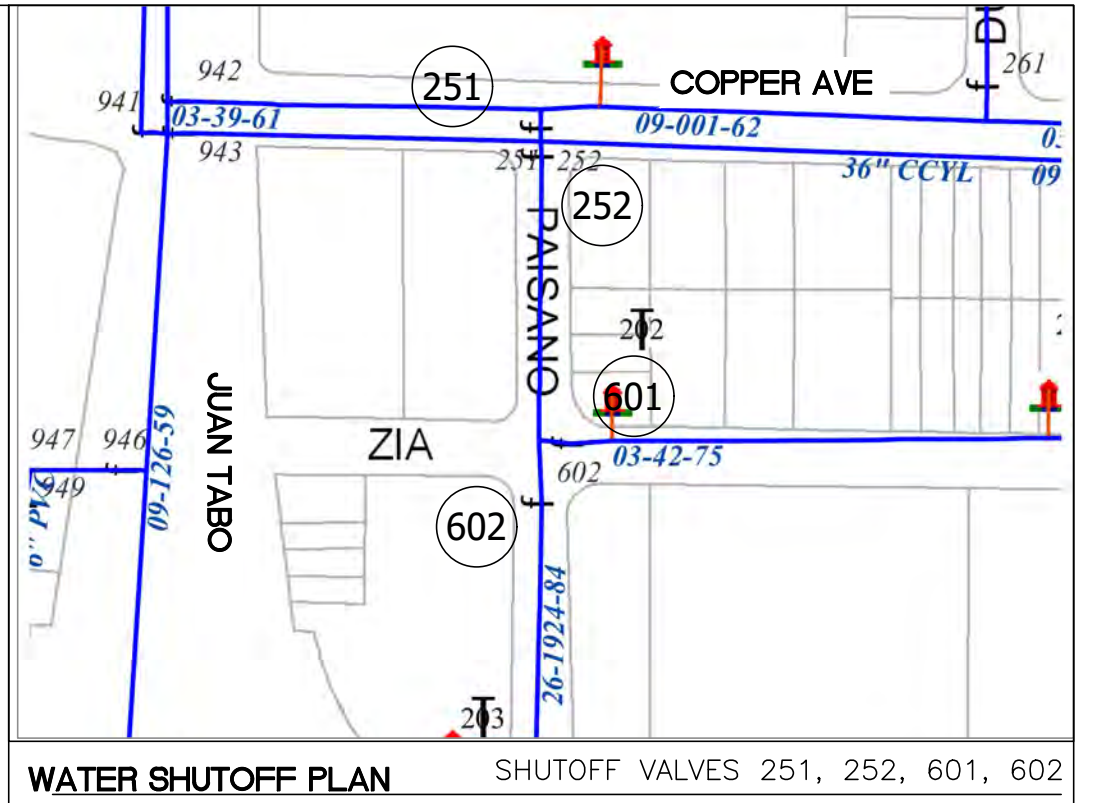
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 10-29-2021  
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 2018046-DR  
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 JOB #  
 2019050

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**LEGEND**

- EXISTING CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- EXISTING SIDEWALK
- W — EXISTING WATER LINE
- SD — EXISTING STORM LINE
- ⊙ — EXISTING STORM MANHOLE
- ⊕ — EXISTING STORM INLET
- S — EXISTING SAS LINE
- ⊙ — EXISTING SAS MANHOLE
- W — EXISTING WATER LINE
- ⊗ — EXISTING WATER VALVE
- U — EXISTING OVERHEAD POWER LINE
- — EXISTING POWER POLE
- E — EXISTING ELECTRIC LINE
- EXISTING WALL
- ⊞ — EXISTING ELECTRICAL BOX
- ⊞ — EXISTING TRANSFORMER
- ⊙ — EXISTING LIGHT STANDARD
- ⊞ — EXISTING TELEPHONE PEDESTAL
- SIDEWALK
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION (FLOWLINE)
- - - 5010 — EXISTING CONTOUR MAJOR
- - - 5011 — EXISTING CONTOUR MINOR
- x 5048.25 — EXISTING SPOT ELEVATION



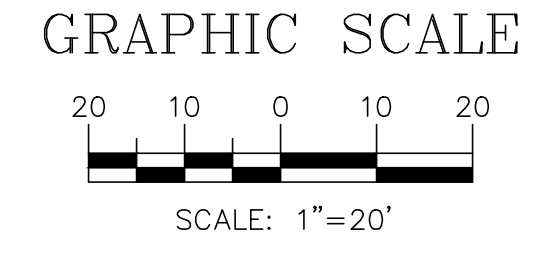
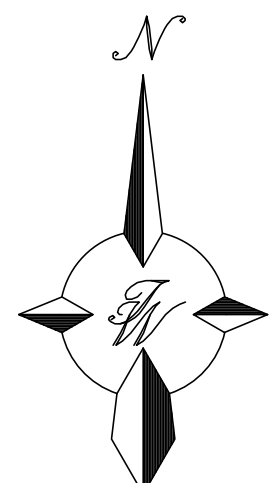
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [https://www.abcwua.org/Water\\_Shut\\_off\\_and\\_Turn\\_on\\_Procedures.aspx](https://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx)

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**GENERAL UTILITY NOTES:**

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS - CONSTRUCTION TYPE IS II-B
14. CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS.



NO.	DATE	REMARKS	BY		
REVISIONS					
ENGINEER'S SEAL		<b>MAVERIK</b> 650 JUAN TABO BLVD. NE UTILITY PLAN		DRAWN BY pm	
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868		TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com		DATE 10-29-2021	
02/03/2022		RONALD R. BOHANNAN P.E. #7868		DRAWING 2018046-MU	
				SHEET # <b>C5</b>	
				JOB # 2019050	

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**INFRASTRUCTURE LIST**

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Maverik inc. Gas & C-Store Development at 650 Juan Tabo Blvd - SITE PLAN FOR BUILDING PERMIT  
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**Lot A & B, Block 8 La Cuesta Subdivision, Albuquerque, Bernalillo County, New Mexico  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Date Submitted \_\_\_\_\_  
 Date Site Plan Approved \_\_\_\_\_  
 Date Preliminary Plat Approved \_\_\_\_\_  
 Date Preliminary Plat Expires \_\_\_\_\_  
 DRB Project No. PF-20 (8-00) (411)  
 DRB Application No. SI-2019-00095

ORIGINAL

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. The listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items can be deleted from the infrastructure listing, the DRC Chair may include these items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items have not been included in the infrastructure listing, the DRC Chair may include these items in the financial guarantee. All such revisions require approval by the DRC Chair, the User Department and the applicant. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		11'-0"	Northbound right turn lane on Juan Tabo Blvd. at Copper Ave.	650' on Juan Tabo Blvd	1-4th Off Ramp	Copper Ave.	/	/	/
		Right-in Driveway	16' wide right-in only driveway on Juan Tabo Blvd.	290' south of Juan Tabo Blvd / Copper Ave. intersection			/	/	/
		4'-6"	Redeem east leg of Copper Ave. at Juan Tabo Blvd. for dual-lane bound left turn lanes plus thru / right turn lanes.	200' along Copper Ave.	Copper/Juan Tabo	Paisano St.	/	/	/
		6'-0"	350' of PCC Sidewalk	Juan Tabo Blvd	Zia Rd	Copper Ave.	/	/	/
		2'-0"	2x Sidewalk Culvert COA DWG 2236	on Juan Tabo Blvd, 35' south of Copper Ave. intersection			/	/	/
			Storm inlet relocations, extension of RCP pipe to new inlet	on Juan Tabo Blvd, 350' and 520' south of Copper Ave. intersection			/	/	/
		6'-0"	Sidewalk, curb and gutter replacement of existing driveway cuts	Along Paisano St, Copper Ave., and Zia Rd			/	/	/
		4'-0"	Sewer MH lid adjustment (new eccentric lid for existing MH)	on Juan Tabo Blvd, 400' south of Copper Ave. intersection			/	/	/
		6"	Sewer service connection	Zia Rd			/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Crst Engineer
		2"	Waterline service connection & meter	Falsano St.			/	/	/
		ADA Ramps	New ADA ramps at corners of	Juan Tabo Blvd / Falsano St / Copper Ave / 2nd Rd			/	/	/
			Remove existing water meters and shutoff at corp stop, abandoned to the main.				/	/	/
			Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee				/	/	/
		8"	Relocate sanitary sewer along Juan Tabo. To be under new right turn lane 285' and install two Type C Manholes.	Juan Tabo Blvd.	2nd Rd.	Copper Ave.	/	/	/
			Striping modification for left turn lane	Copper Ave.	180-ft to 235-ft from Juan Tabo/Copper		/	/	/

2 ADDITION APPROVED 1/25/19

Approval of Creditable Items:  
 Impact Fee Administrator Signature \_\_\_\_\_ Date \_\_\_\_\_  
 City User Dept. Signature \_\_\_\_\_ Date \_\_\_\_\_

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
 Street lights per City requirements.

- 1 \_\_\_\_\_
- 2 \_\_\_\_\_
- 3 \_\_\_\_\_

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Richard Stevenson NAME (print)	<i>Julius Waffley</i> 12/4/19 DRB CHAIR - date	<i>David Brown</i> 12-4-19 PARKS & RECREATION - date
Tierra West LLC FIRM	<i>[Signature]</i> 12/4/19 TRANSPORTATION DEVELOPMENT - date	<i>[Signature]</i> 12.4.19 AMAFCA - date
<i>Stevenson</i> 12/4/19 SIGNATURE - date	<i>[Signature]</i> 12/4/19 UTILITY DEVELOPMENT - date	<i>[Signature]</i> 12.4.19 CODE ENFORCEMENT - date
	<i>[Signature]</i> 12/4/19 CITY ENGINEER - date	_____ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER