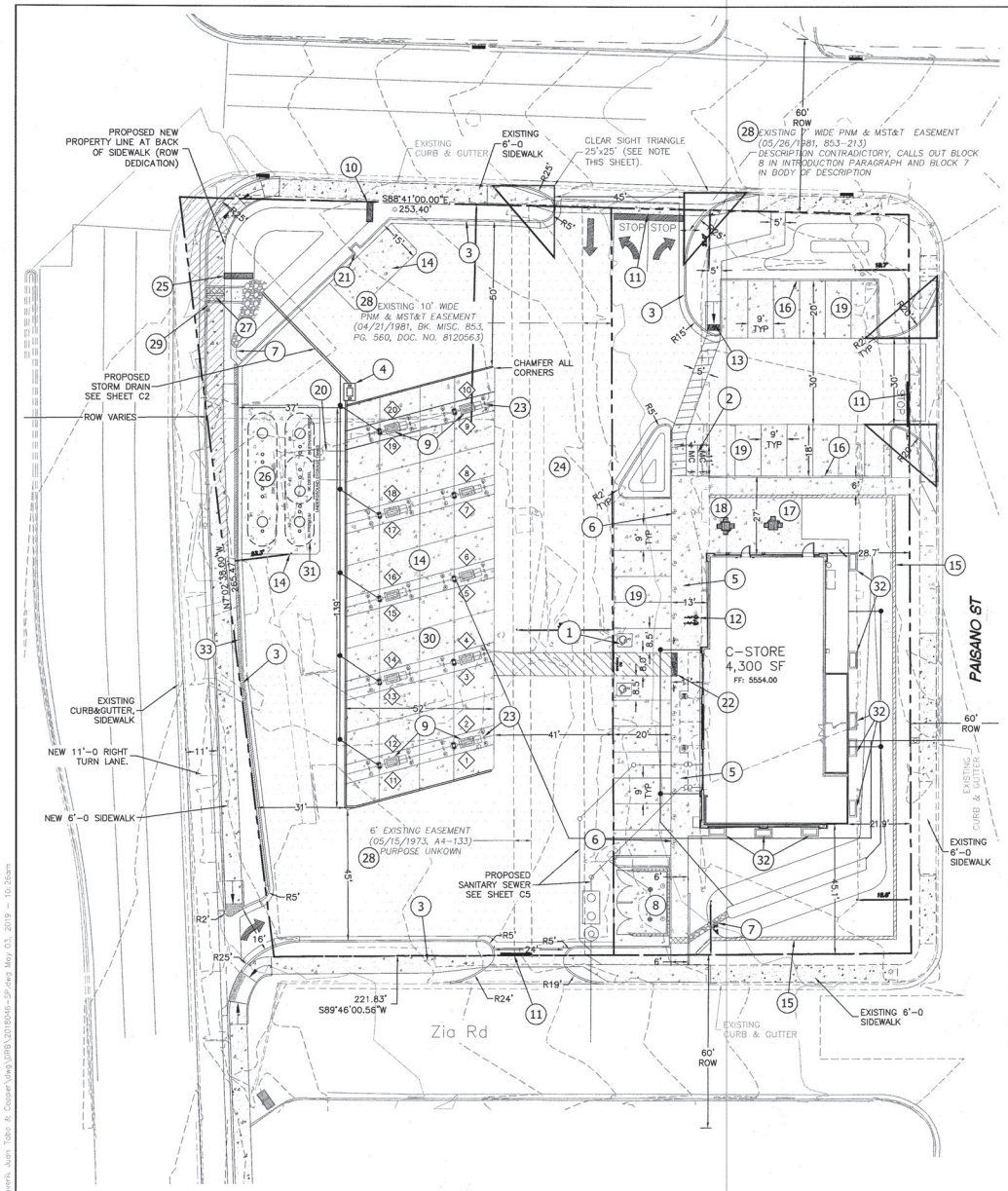
APPROVED SITE PLAN



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK/CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- RETAINING WALL
- STREET LIGHTS
- EXISTING CURB & GUTTER

KEYED NOTES

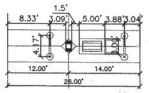
1. ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C6)
2. MOTORCYCLE PARKING WITH SIGN (SEE DETAIL SHT. C6)
3. ON-SITE CURB & GUTTER (SEE DETAIL SHT. C6)
4. OIL WATER SEPARATOR (SEE DTAIL SHT. C8)
5. CONCRETE SIDEWALK (SEE DETAIL SHT. C7)
6. BOLLARDS (SEE DETAIL SHT. C7)
7. 2' CONCRETE RUNDOWN
8. DUMPSTER (SEE DETAIL SHT. C8)
9. GAS PUMP ISLAND (TYP)
10. MAVERIK MONUMENT SIGN (SEE ARCH. PLANS)
11. 2.0' STOP BAR
12. BICYCLE RACKS (SEE DETAIL SHT. C7)
13. UNIDIRECTIONAL HC RAMP (SEE DETAIL SHT. C8)
14. CONCRETE SLAB W/CHAMFERED CORNERS
15. RETAINING WALL WITH HAND RAIL AND PEDESTRIAN GUARD (SEE GRADING SHT C2, MAX HEIGHT 4.0', DETAIL SHT. 7)
16. HEADER CURB (SEE DETAIL SHT. C6)
17. ADA PICNIC TABLE (SEE ARCH. PLANS)
18. PICNIC TABLE (SEE ARCH. PLANS)
19. CONCRETE PARKING STALL (SEE DETAIL SHT. C6)
20. PETROLEUM TRENCH CAP SECTION (SEE DETAIL SHT. C6)
21. XACTAIR AIR STATION (SEE DETAIL SHT. C6)
22. TRUNCATED DOMES (SEE DETAIL SHT. C8)
23. "HOOP" BOLLARD (SEE DETAIL SHT. C7)
24. ASPHALT PAVING (SEE GEOTECH REPORT)
25. MAVERIK D/F ILLUMINATED PYLON SIGN (SEE ARCH. PLANS)
26. UNDERGROUND STORAGE FUEL TANKS (REFER MECH. PLANS)
27. SIDEWALK CULVERT COA STD DWG 2236
28. PNM EASEMENTS TO BE VACATED BY DOCUMENT AND/OR PLATTING ACTION
29. EXISTING 6' PUBLIC SIDEWALK
30. ALL UNDER CANOPY LIGHTING TO BE RECESSED PER IDO 4-3(D)(17)(h)
31. TANK PIT WALL TO BE LINED WITH GEOTEXTILE FILTER FABRIC PER XERXES TANK SPEC.
32. 3'-0 by 6'-0, 28" HIGH LANDSCAPE PLANTER BOXES
32. 12" CONC. LANDSCAPE WALL

INDEX TO DRAWINGS

C1. SITE PLAN FOR BUILDING PERMIT
C2. GRADING PLAN
C3. DEVELOPED DRAINAGE PLAN
C4. GRADING DETAILS
C5. MASTER UTILITY PLAN
C6. CONSTRUCTION DETAILS
C7. CONSTRUCTION DETAILS
C8. CONSTRUCTION DETAILS
C9. DEMOLITION PLAN
L1. LANDSCAPING PLAN
B1. BUILDING ELEVATION & SIGN PLANS
SW1. EROSION CONTROL PLAN
SW2. EROSION CONTROL DETAILS
SW3. EROSION CONTROL DETAILS

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS , TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

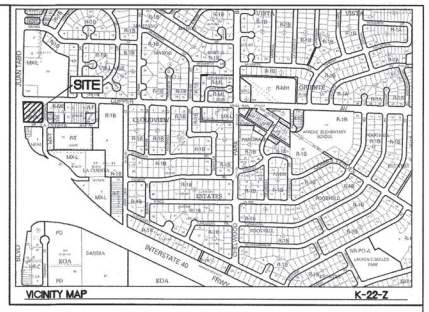


FUEL ISLAND LAYOUT
SCALE: NONE

Curb Transition
SCALE: NONE

NOTES:

1. ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN THE WORK ORDER.
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER, ALL UNUSED CURBS CUTS MUST BE REPLACED WITH SIDEWAY AND CURB AND GUTTER; PER COA STD DWG 2415A AND 2430.
3. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
4. XACTAIR STATION ON 30"X36" CONCRETE PAD. EQUIPMENT PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL SERVICE AND INSTALL AIR STATION EQUIPMENT.
5. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
6. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF



LEGAL DESCRIPTION

LOT A AND B, BLOCK 8, LA CUESTA SUBDIVISION

SITE DATA

PROPOSED USAGE:	GAS CONVENIENCE STORE
IDO CLASSIFICATION:	LIGHT VEHICLE FUELING STATION
LOT AREA:	61,753.72 SF (1.41 ACRES)
BUILDING AREA:	4,300 SF
STACK	2X5 (20 UNITS)
ASPHALT AREA:	
PARKING REQUIRED:	17 SPACES (4 SPACES PER 1,000 SF)
PARKING PROVIDED:	26 SPACES
HC PARKING REQUIRED:	2 SPACES
HC PARKING PROVIDED:	2 SPACES (1 SPACE VAN ACCESSIBLE)
MC PARKING REQUIRED:	2 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	2 SPACES
LANDSCAPE AREA REQUIRED:	8,618 SF
LANDSCAPE AREA PROVIDED:	12,125 SF

PROJECT NUMBER: PR-2018-001411
APPLICATION NUMBER: SI-2019-00095

Is an Infrastructure List required? (✓) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	5/8/19 Date
Water Utility Development	5/8/19 Date
Parks & Recreation Department	Date
City Engineer	5/8/2019 Date
N/A * Environmental Health Department (conditional)	Date
N/A Solid Waste Management	Date
DRB Chairperson, Planning Department	6.18.19 Date
Code Enforcement	5/8/19 Date

* Environmental Health, if necessary

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER
5/3/2019
RONALD R. BOHANNAN P.E. #7868

MAVERIK

MAVERIK
650 JUAN TABO BLVD. NE
SITE PLAN FOR BUILDING PERMIT

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY	pm
DATE	05-03-2019
DRAWING	2018046-SP
SHEET #	C1
JOB #	2018046

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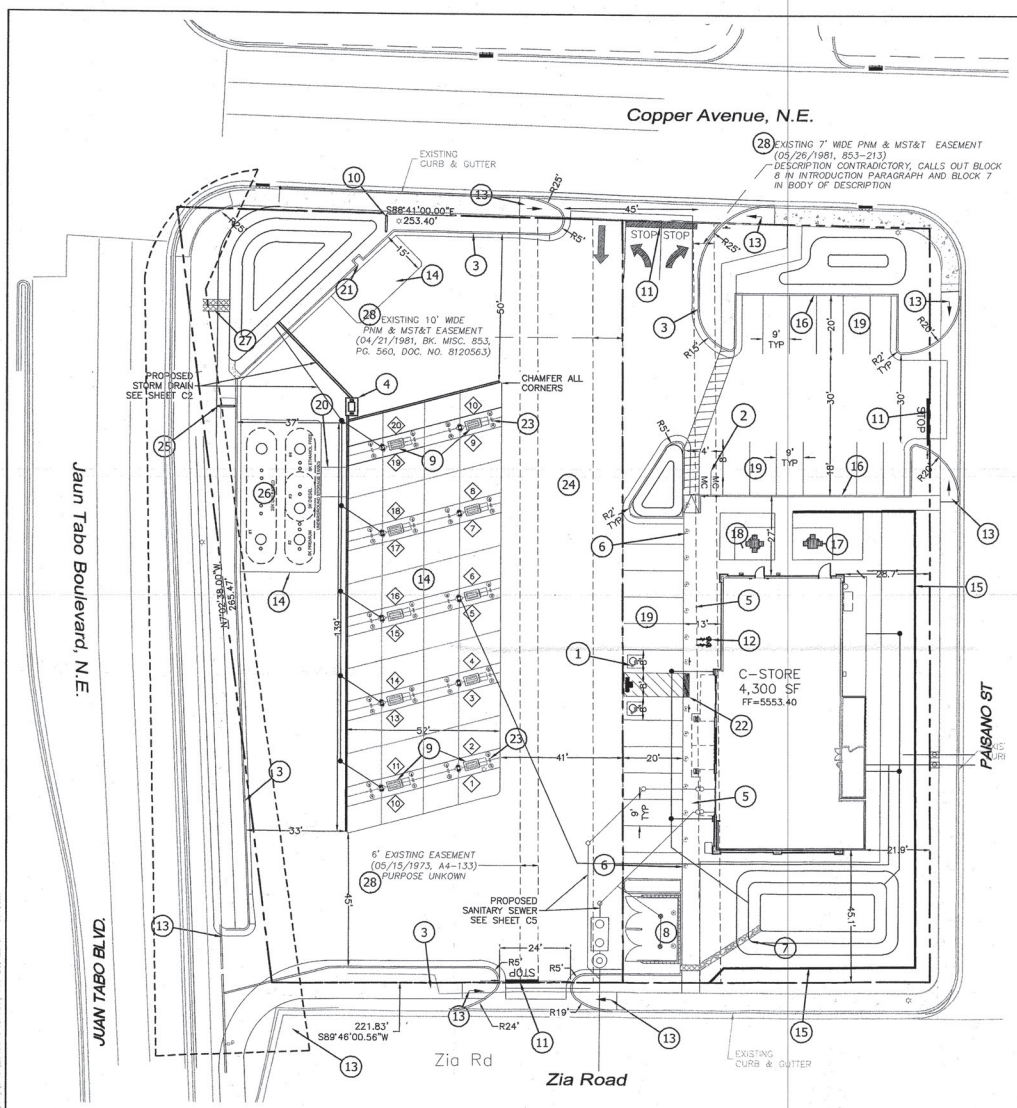
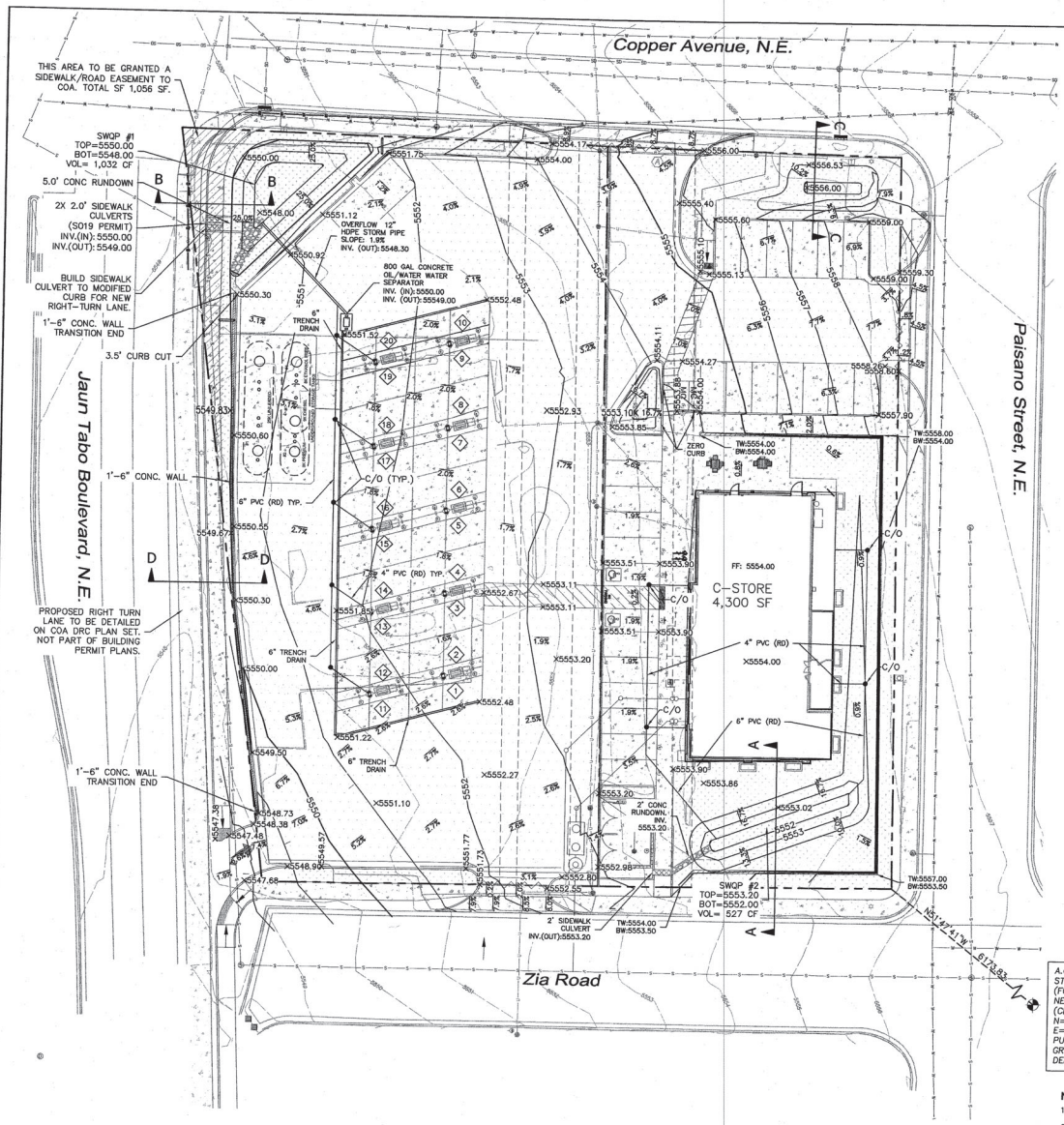
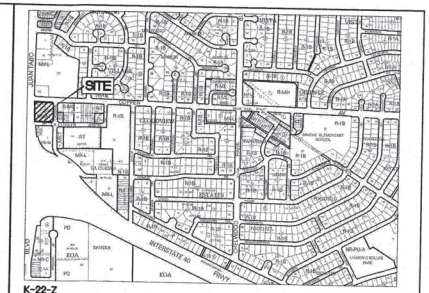

Copper Avenue, N.E.
Jaun Tabo Boulevard, N.E.
JUAN TABO BLVD.
PAISANO ST
Zia Rd
Zia Road
EXISTING CURB & GUTTER
EXISTING 7' WIDE PNM & MST&T EASEMENT (05/26/1981, 853-213) DESCRIPTION CONTRADICTORY, CALLS OUT BLOCK 8 IN INTRODUCTION PARAGRAPH AND BLOCK 7 IN BODY OF DESCRIPTION
EXISTING 10' WIDE PNM & MST&T EASEMENT (04/21/1981, BK. MISC. 853, PG. 560, DOC. NO. 8120563)
PROPOSED STORM DRAIN SEE SHEET C2
CHAMFER ALL CORNERS
6' EXISTING EASEMENT (05/15/1973, A4-133) PURPOSE UNKOWN
PROPOSED SANITARY SEWER SEE SHEET C5
C-STORE
4,300 SF
FF=5553.40
S88°41'00.00"E
253.40'
S89°46'00.56"W
221.83'
STOP
9' TYP
R2' TYP
R5'
R25'
R20'
R24'
R19'
45'
41'
20'
33'
52'
24'
30'
16'
13'
27'
28.7'
21.9'
15.1'
6'
4'
MC
HC
MC
HC
HC
H



LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- EXISTING WATER LINE
- SD — EXISTING STORM LINE
- EXISTING STORM MANHOLE
- EXISTING STORM INLET
- S — EXISTING SAS LINE
- EXISTING SAS MANHOLE
- W — EXISTING WATER LINE
- EXISTING WATER VALVE
- U — EXISTING OVERHEAD POWER LINE
- EXISTING POWER POLE
- E — EXISTING ELECTRIC LINE
- EXISTING WALL
- EXISTING ELECTRICAL BOX
- EXISTING TRANSFORMER
- EXISTING LIGHT STANDARD
- EXISTING TELEPHONE PEDESTAL
- SIDEWALK
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION (FLOWLINE)
- EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- x 5048.25 — EXISTING SPOT ELEVATION



CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 "SO-19")

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811"[OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
5. NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
9. CONTRACTOR MUST CONTACT DAVID S. HARRISON AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

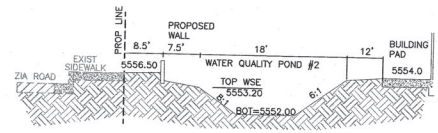
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

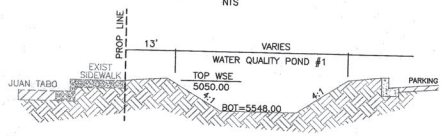
A.G.R.S. MONUMENT "2_L22"
STANDARD C.O.A. BRASS DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,480,207.321 US SURVEY FEET
E=1,566,235.48 US SURVEY FEET
PUBLISHED EL=5222.09 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999639275
DELTA ALPHA ANGLE=-0°08'32.78"

NOTES:

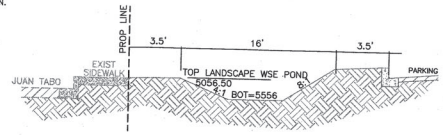
1. ALL EXISTING EASEMENTS WILL BE VACATED BY DOCUMENT.
2. A DRAINAGE COVENANT FOR THE SWQV PONDS AND OIL/WATER SEPARATOR WILL BE SUBMITTED TO THE COA PRIOR TO CERTIFICATE OF OCCUPANCY.
3. REFER TO DRAINAGE PLAN SHEET C4 FOR BMP MAINTENANCE NOTES AND PROPERTY OWNER RESPONSIBILITIES.
4. ALL OFFSITE PAVING, CURB AND SIDEWALK MODIFICATIONS AND IMPROVEMENTS SHOWN ON THIS PLAN WILL BE DETAILED ON A DRB APPROVED INFRASTRUCTURE LIST WITH CONSTRUCTION DRAWINGS DETAILED ON A PUBLIC IMPROVEMENT WORK ORDER PLAN SET APPROVED BY NM DOT AND COA.
5. A RIGHT TURN INTO THE SITE FROM JUAN TABO IS PROPOSED AT THE SOUTH WEST CORNER OF THE PARCEL. IF THIS IS APPROVED BY THE NM DOT THE GRADING WILL BE MODIFIED PER GRADING PLAN C3 (GRADING PLAN - PHASE 3).



SECTION A-A
NTS



SECTION B-B
NTS



SECTION C-C
NTS

SECTION D-D
NTS

ENGINEER'S SEAL	**MAVERIK** **650 JUAN TABO BLVD. NE** **GRADING PLAN**	DRAWN BY: pm DATE: 4-16-19
RONALD R. BOHANNAN P.E. #7868	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING: 2018046-GR SHEET #: C2 JOB #: 2018046

MAVERIK

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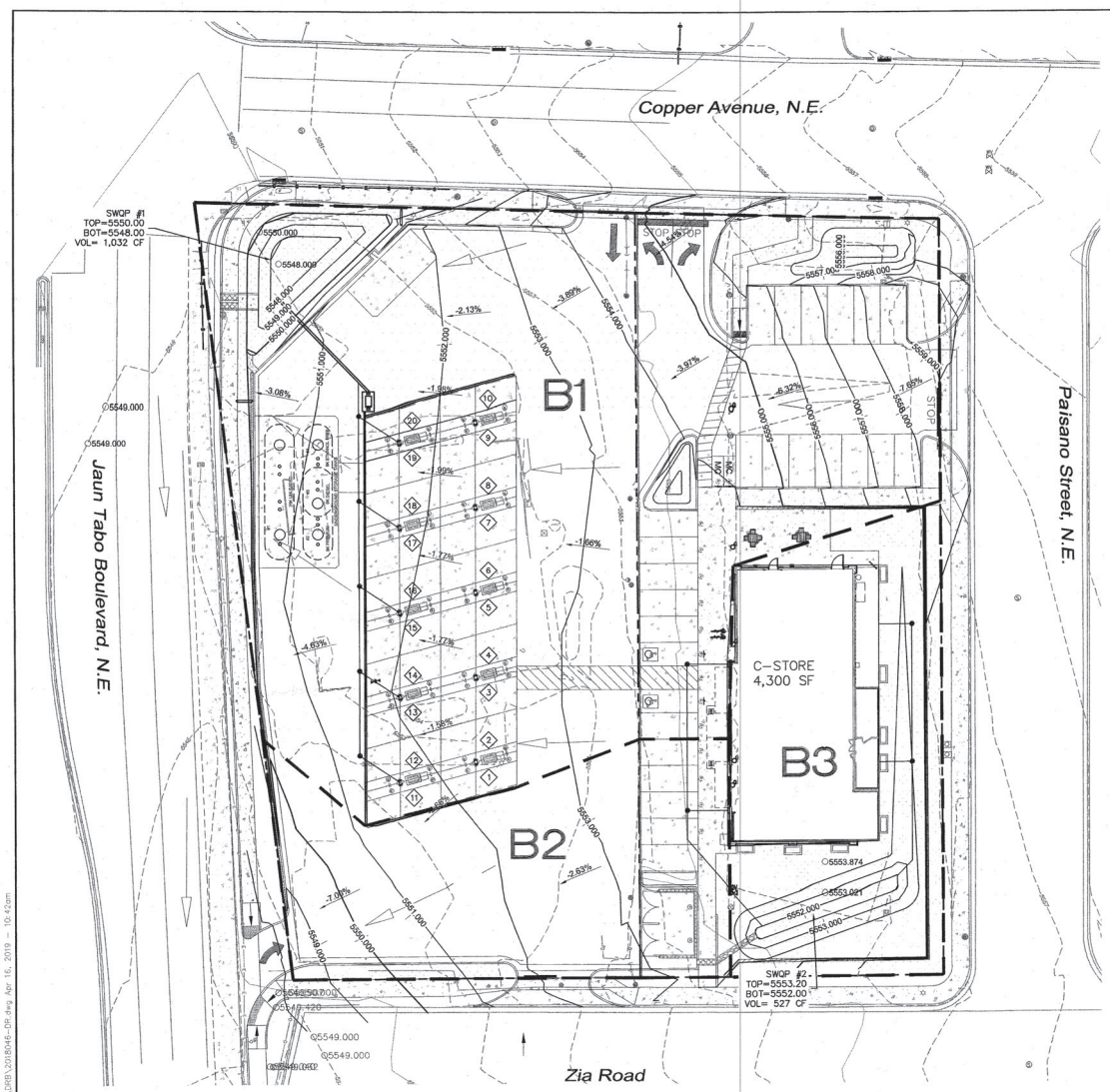
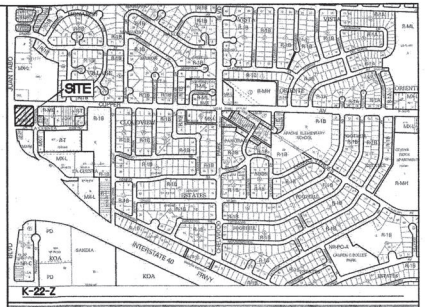


LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- DRAINAGE BASIN BOUNDARY
- FLOW DIRECTION



FIRM MAP 35001C0359G DATED SEPTEMBER 26, 2008

MAINTENANCE OF BMPS

RESPONSIBLE PARTY: PROPERTY OPERATOR
MAINTENANCE REQUIREMENTS AND FREQUENCY: REFER TABLE THIS PAGE.
ACCESS TO BMPS: ACCESS SHALL BE PROVIDED VIA SITE ACCESS DRIVES TO SURFACE SWQV POND. ALL REMOVAL AND DISPOSAL OF LANDSCAPING AND SEDIMENT SHALL BE COMPLETED BY CERTIFIED LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE LANDSCAPE MAINTENANCE SPECIFICATION. NO DEBRIS SHALL REMAIN ONSITE AFTER TRIMMING.
SEDIMENTATION MONITORING SHALL BE COMPLETED BY THE PROPERTY OWNER YEARLY. IF SILT ACCUMULATION EXCEEDS 2 INCHES ON THE SWQV POND GAUGE THEN THE POND BOTTOM SHALL BE EXCAVATED AND STACKED WITHIN 2-FEET OF THE SWQV POND BERM.
VISUAL INSPECT FOLLOWING STORM EVENTS SHALL BE COMPLETED AS REQUIRED TO ENSURE THE INFILTRATION OF THE SWQV IS ACHIEVED AT ACCEPTABLE RATES. THE SWQV, AT THE MAXIMUM 24" DEPTH, SHOULD INFILTRATE WITHIN 24 HOURS.

VECTOR CONTROL NOTES:

ALLOWING CONDITIONS SUCH AS THE ACCUMULATION OF STANDING WATER THAT CAN CONTRIBUTE TO THE BREEDING OF MOSQUITOES IS A VIOLATION OF THE CITY OF ALBUQUERQUE'S INSECT AND RODENT CONTROL ORDINANCE. MAINTENANCE OF THE OIL WATER SEPARATOR AND SWQV PONDS ARE THE RESPONSIBILITY OF THE PROPERTY OPERATOR. IN ORDER TO PREVENT MOSQUITO BREEDING, VEGETATION SHOULD REGULARLY BE CLEARED FROM THE BASIN AND EDGES OF PONDS. THE SITE SHOULD BE MAINTAINED THROUGHOUT THE YEAR IN THIS MANNER. REMOVAL OF VEGETATION CREATES A LESS DESIRABLE SITE FOR MOSQUITO BREEDING. THIS WILL ALSO AID IN THE REDUCTION OF RODENT HARBORAGE. WHEN STANDING WATER DOES EXIST IT SHOULD BE TREATED WITH PUBLICLY AVAILABLE MOSQUITO PRODUCES (E.G. MOSQUITO DUNKS) AT THE TREATMENT RATE DESIGNATED BY THE PRODUCT LABEL. SHOULD A SITE MAINTAIN PERMANENT STANDING WATER, MOSQUITO FISH (GAMBUSIA) CAN BE OBTAINED FROM THE CITY OF ALBUQUERQUE'S ENVIRONMENTAL HEALTH DEPARTMENT FREE OF CHARGE.

REGULAR MAINTENANCE	FREQUENCY
LITTER MANAGEMENT	
Pick up all litter at site and in Landscape areas and remove from site	Daily
INLETS AND OUTLETS	
Visual inspection for function. Remove silt from slab aprons and debris in pavement areas. Remove all fallen vegetation around inlet and outlet structures.	Monthly
HARD SURFACES	
Sweep all paving regularly. Maintain pavement in autumn after leaf fall. Coordinate with Landscape Contractor if additional maintenance is required.	As required

OCCASIONAL TASKS	FREQUENCY
INSPECTION AND INLETS, OUTLETS AND CONTROL CHAMBERS	
Inspect surface structures removing obstructions and silt as necessary. Check there is no physical damage. For below ground control chambers, remove cover and inspect ensuring water is flowing freely and that the exit route for water is unobstructed. Remove debris and silt.	Yearly
POND VEGETATION	
Ensure Pond vegetation is maintained by Landscape Contractor. All weeds and all cuttings removed from site.	As required
SILT MANAGEMENT	
Inspect swales and water quality pond for silt accumulation. Excavate silt, stack and dry within 2-feet of the water quality feature, but outside the design profile where water flows, spread, rake and overseed. Protect surface from siltation and manage main area of basin for design function or appearance.	Yearly

REMEDIAL WORK	FREQUENCY
Inspect storm all water quality structures regularly to check for damage or failure. Undertake remedial work as required.	Yearly

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Basin Descriptions												100-Year, 6-Hr			10-Year, 6-Hr			SWQV	
Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Weighted E (in)	Volume (ac-ft)	Flow (cfs)	Required (cf)	Provided (cf)
1	40,521	0.930	0.00145	0%	0.000	10%	0.093	0%	0.000	90%	0.837	2.484	0.193	4.67	1.567	0.121	3.12	790	1,032 (#1)
2	10,390	0.239	0.00037	0%	0.000	0%	0.000	0%	0.000	100%	0.239	2.640	0.052	1.25	1.690	0.034	0.85	225	-
3	10,843	0.249	0.00039	0%	0.000	50%	0.124	0%	0.000	50%	0.124	1.860	0.039	1.02	1.075	0.022	0.62	117	527 (#2)
Total	61,754	1.418	0.00222		0.000		0.217		0.000		1.200		0.284	6.936		0.177	4.600	1,133	1,559

Equations:
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted E * Total Area
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad
$WQV_{required} = 0.26*A*43560*(1/12)$

Excess Precipitation, E (in.)		
Zone 4	100-Year	10-Year
Ea	0.8	0.28
Eb	1.08	0.46
Ec	1.46	0.73
Ed	2.64	1.69

Peak Discharge (cfs/acre)		
Zone 4	100-Year	10-Year
Qa	2.2	0.87
Qb	2.92	1.45
Qc	3.73	2.26
Qd	5.25	3.57

Water Quality Volume - "First Flush Pond" - Redevelopment Site
Total Impervious Area = ΣArea in "Treatment D"
Retainage depth = 0.28" 0.0233 foot
Retention Volume = **=0.0233 x area** CF

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 REGISTERED PROFESSIONAL ENGINEER
RONALD R. BOHANNAN P.E. #7868

MAVERIK

MAVERIK
650 JUAN TABO BLVD. NE
DRAINAGE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL. NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: pm
DATE: 4-15-19
DRAWING: 2018046-DR
SHEET #: C3
JOB #: 2018046

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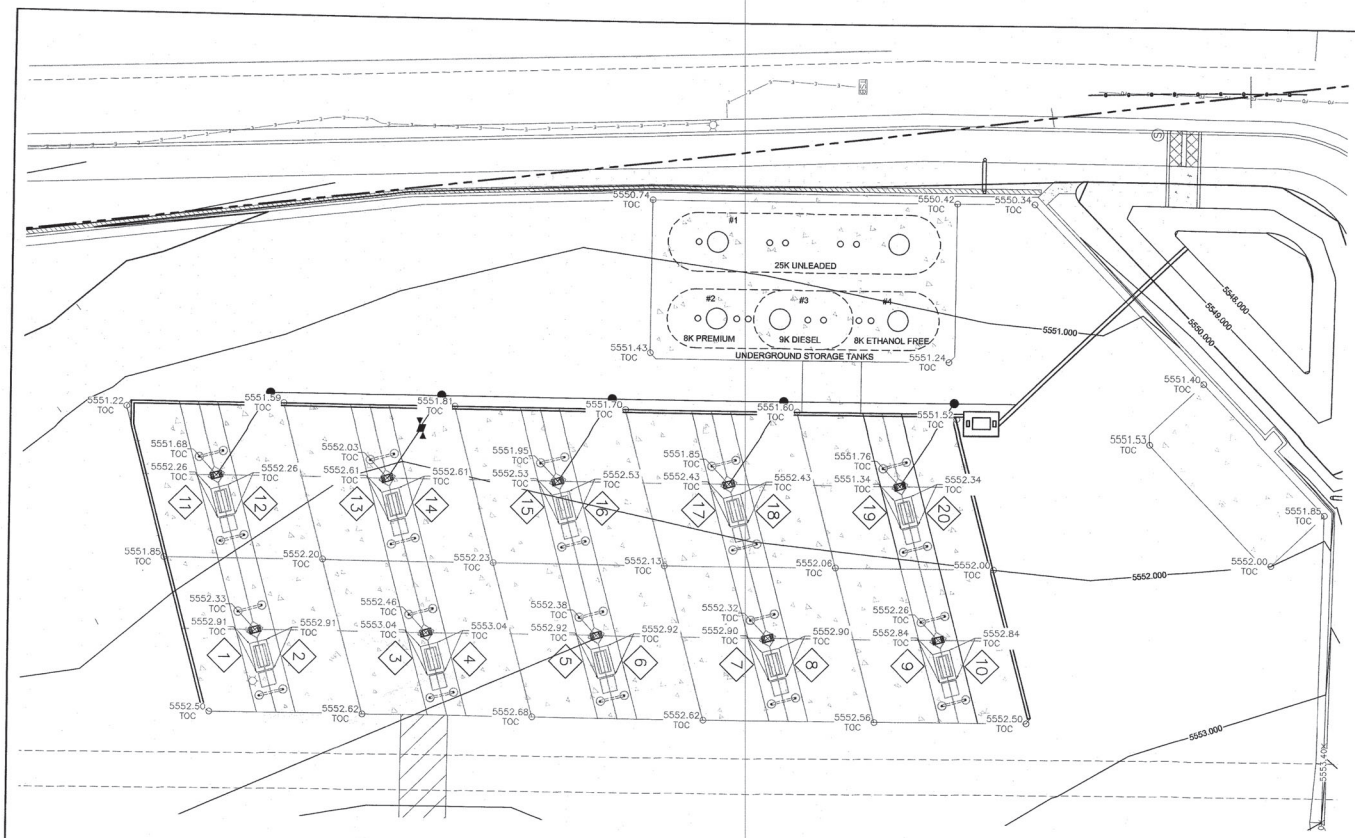
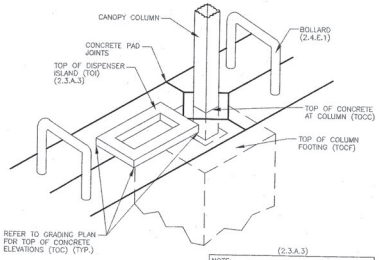




(2.3.A.3)

NOTE: TOP OF CONCRETE TO TOP OF SPOT & SPREAD FOOTING SEPARATION IS 36".

NOTE:
6" RAISED VERTICAL CONCRETE ISLAND WITH TOOLED EDGES AND CORNERS TO BE POURED FIRST 5'-0" x 3'-0" CONCRETE ISLAND (NO METAL FORM - VERIFY SIZE WITH DISPENSER MANUF.)

AFTER THE 5'-0" - 3'-0" FUEL ISLAND HAS BEEN POURED, SLOPE CONCRETE AWAY FROM ISLAND IN ALL (4) DIRECTIONS.

ALL DISPENSERS TO BE EQUIPPED WITH AN EXTINGUISHER.

N

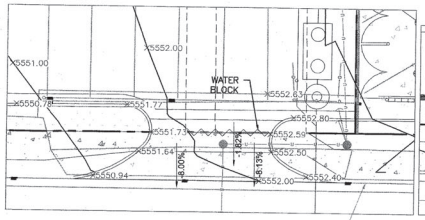
GRAPHIC SCALE

10 5 0 5 10

SCALE: 1"=10'

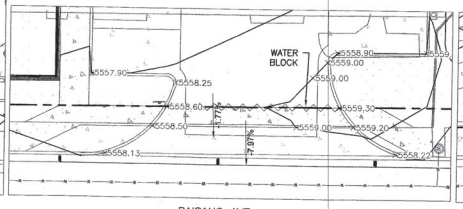
Fuel Dispenser Elevations

FUEL DESPENSER	TOP OF ISLAND	T.O.C. @ COLUMN	TOP OF COL. FTP
1-2	5552.91	5552.33	5552.33
3-4	5553.04	5552.46	5552.46
5-6	5552.96	5552.38	5552.38
7-8	5552.90	5552.32	5552.32
9-10	5552.84	5552.26	5552.26
11-12	5552.26	5551.68	5551.68
13-14	5552.61	5552.03	5552.03
15-16	5552.53	5551.95	5551.95
17-18	5552.43	5551.85	5551.85
19-20	5552.34	5551.76	5551.76

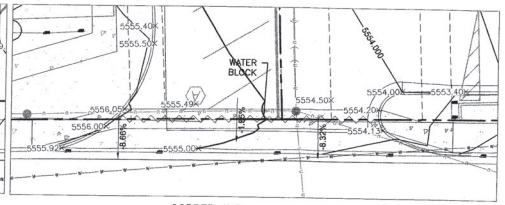


ZIA ROAD (ENTRANCE)
SC: NTS

EXISTING CURB & SIDEWALK



PAISANO AVE (ENTRANCE)
SC: NTS



COPPER AVE (ENTRANCE)
SC: NTS

MAVERIK

ENGINEER'S SEAL

RONALD R. BOHANNAN NEW MEXICO 7868 REGISTERED PROFESSIONAL ENGINEER

RONALD R. BOHANNAN P.E. #7868

MAVERIK
650 JUAN TABO BLVD. NE
GRADING DETAILS

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: pm
DATE: 4-16-19
DRAWING: 2018046-GR-DETAILS
SHEET #: C4
JOB #: 2018046

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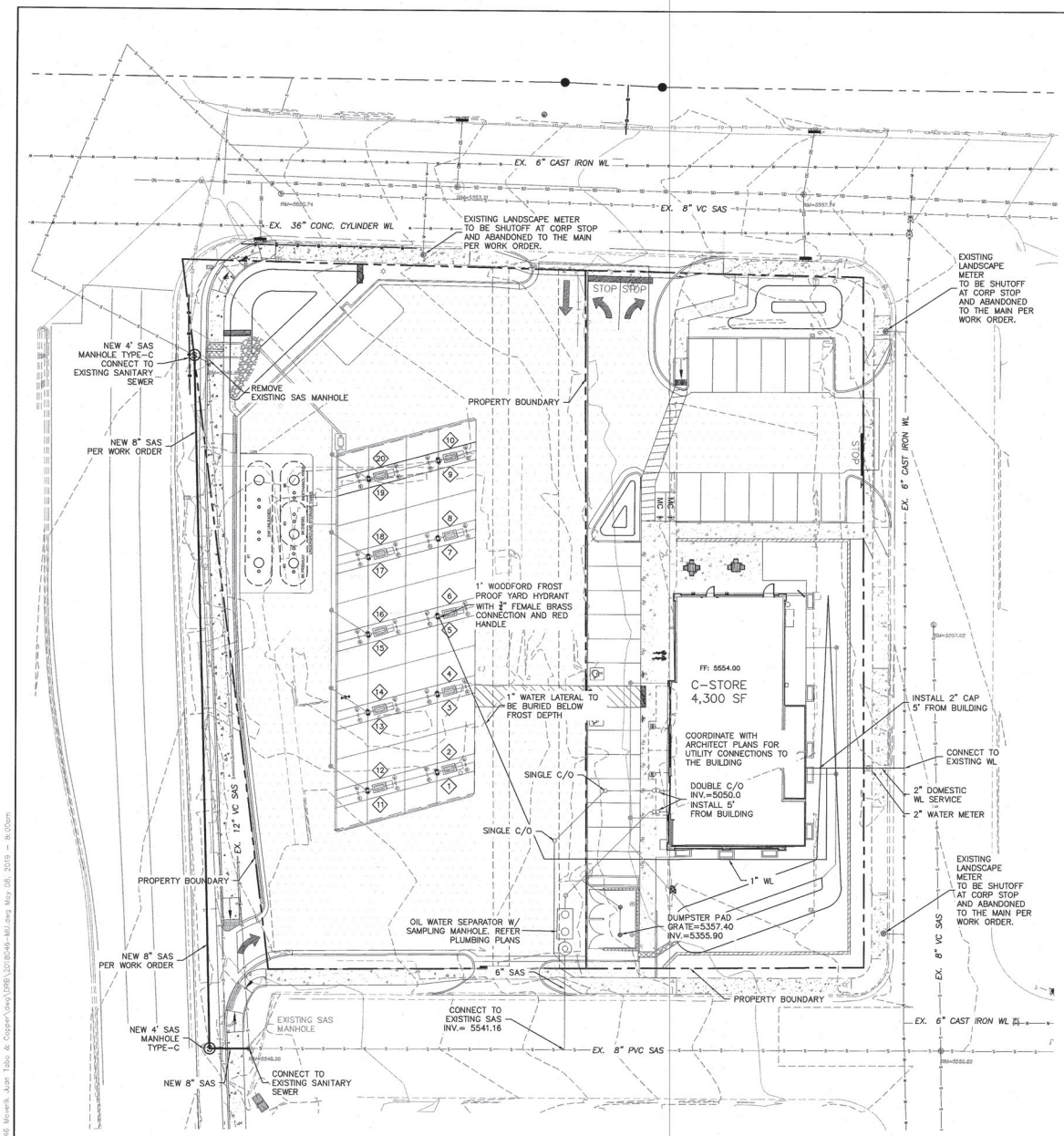
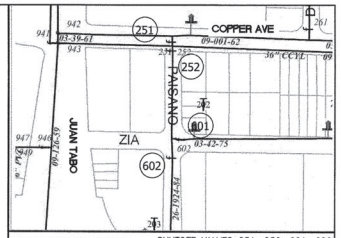


LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- W — EXISTING WATER LINE
- SD — EXISTING STORM LINE
- D — EXISTING STORM MANHOLE
- EXISTING STORM INLET
- S — EXISTING SAS LINE
- S — EXISTING SAS MANHOLE
- W — EXISTING WATER LINE
- EXISTING WATER VALVE
- U — EXISTING OVERHEAD POWER LINE
- EXISTING POWER POLE
- E — EXISTING ELECTRIC LINE
- EXISTING WALL
- E — EXISTING ELECTRICAL BOX
- EXISTING TRANSFORMER
- EXISTING LIGHT STANDARD
- T — EXISTING TELEPHONE PEDESTAL
- SIDEWALK
- RETAINING WALL
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- × 5048.25 — SPOT ELEVATION (FLOWLINE)
- EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- × 5048.25 — EXISTING SPOT ELEVATION



WATER SHUTOFF PLAN — SHUTOFF VALVES 251, 252, 601, 602

THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT https://www.abcwua.org/Water_Shut_off_and_Turn_on_Procedures.aspx

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
2. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
4. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
6. FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
7. ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
8. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
9. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
10. PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
11. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
12. SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
13. ALL BUILDINGS – CONSTRUCTION TYPE IS II-B

N

GRAPHIC SCALE

20 10 0 10 20

SCALE: 1"=20'

MAVERIK

ENGINEER'S SEAL

RONALD R. BOHANNAN
N.M. REGISTERED
7868
REGISTERED PROFESSIONAL ENGINEER

RONALD R. BOHANNAN
P.E. #7868

MAVERIK 650 JUAN TABO BLVD. NE UTILITY PLAN	DRAWN BY pm
	DATE 05-08-2019
	DRAWING 2018046-MU
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C5
	JOB # 2018046

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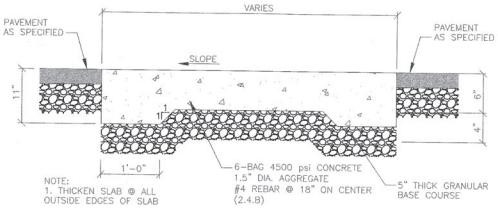
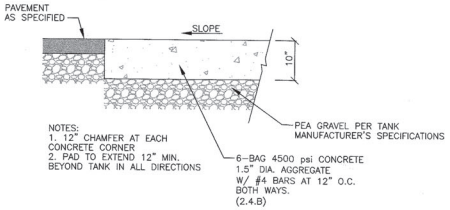


(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

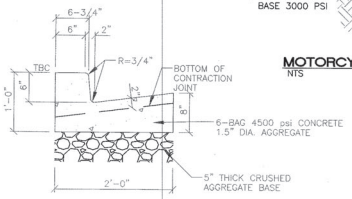
Petroleum Trench Cap Section

SCALE: NONE



(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

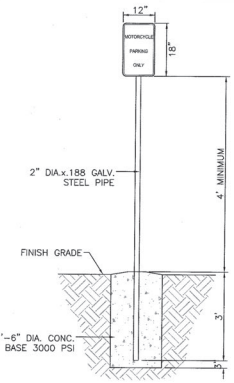
Concrete Pad over Underground Fuel Tanks



(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

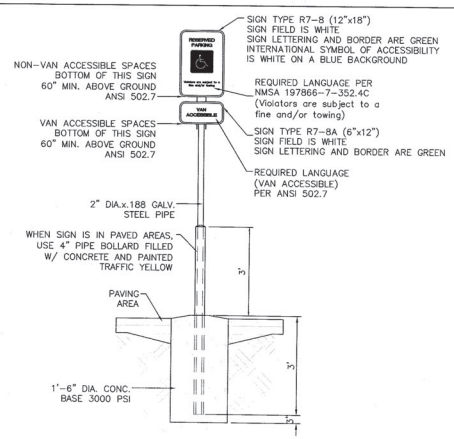
On-Site Curb & Gutter

SCALE: NONE



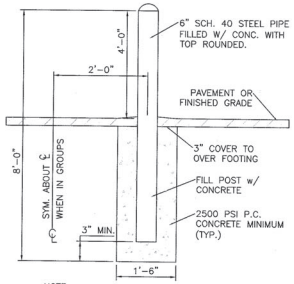
MOTORCYCLE PARKING SIGN

NTS



ACCESSIBLE PARKING SIGN

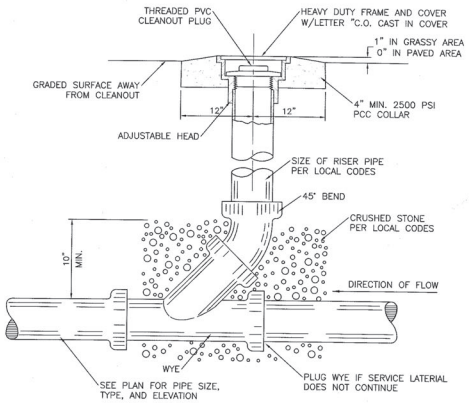
NTS



NOTE:
ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

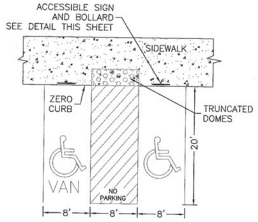
BOLLARD DETAIL

NTS



SANITARY SEWER CLEAN-OUT

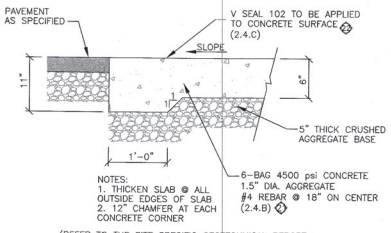
NTS



NOTES:
1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
2) Parking space lines and diagonal striping to be painted blue.
3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
4) ADA parking areas – not to exceed a slope greater than 2% in any direction

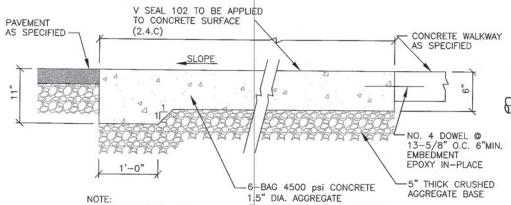
HC PARKING DETAIL

NTS



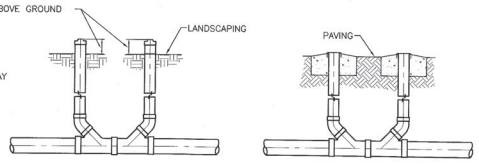
(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

Concrete Pad under Fuel Canopy



(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

Concrete Parking Stall



SANITARY SEWER DOUBLE CLEAN-OUTS

NTS

MAVERIK

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER
5/3/2019
RONALD R. BOHANNAN P.E. #7868

MAVERIK
650 JUAN TABO BLVD. NE
CONSTRUCTION DETAIL 1

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
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DRAWN BY pm
DATE 05-03-2019
DRAWING 2018046_DET
SHEET # C6
JOB # 2018046

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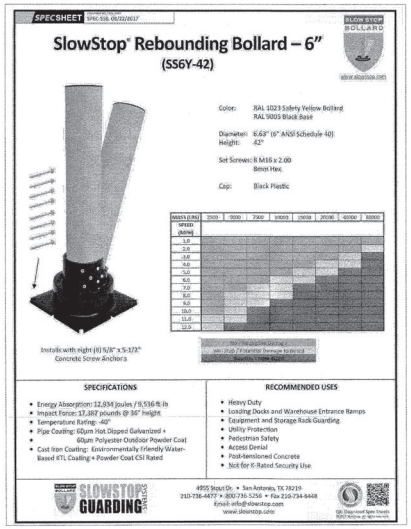
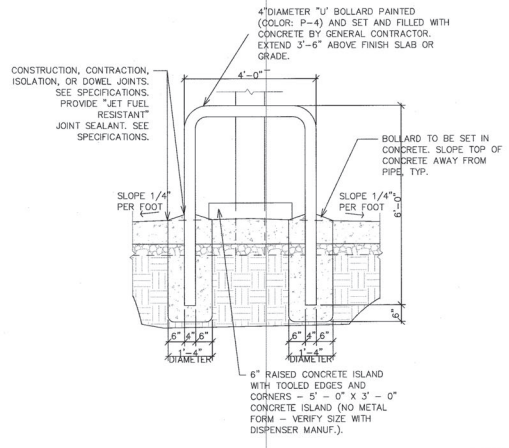
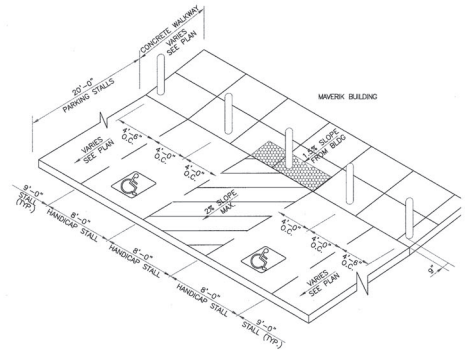


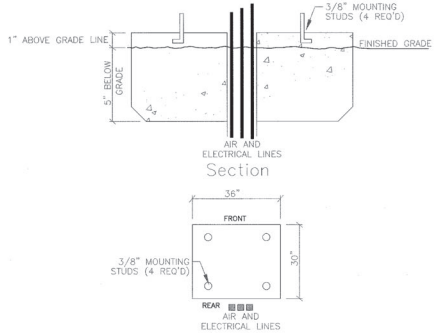
PIPE BOLLARD DETAIL
SCALE: NONE



HOOP BOLLARD DETAIL
SCALE: NONE

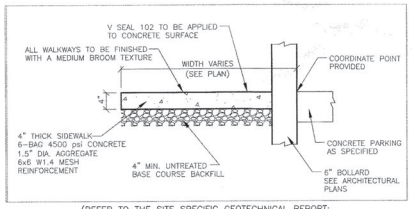


TYPICAL BOLLARD SPACING
SCALE: NONE



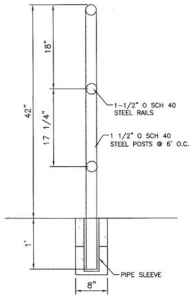
UTILITY REQUIREMENTS:
OUTDOOR APPROVED ELECTRICAL CONDUIT. REFER TO ELECTRICAL SPECIFICATIONS INFORMATION ON SPECIFIC MACHINE INSTALLATION REQUIREMENTS.

XACTAIR
AIR STATION FOUNDATION
SCALE: NONE

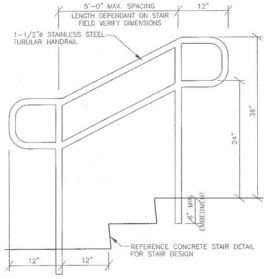


(REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT; GEOTECHNICAL REPORT TO GOVERN & CONTROL.)

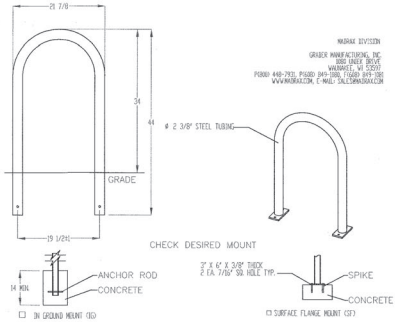
CONCRETE SIDEWALK DETAIL
SCALE: NONE



GUARD RAIL DETAIL
NTS



HAND RAIL DETAIL
SCALE: NONE



MAVERIK DIVISION
GRADER MANUFACTURING, INC.
8001 EAGLE DRIVE
WAUKEGAN, IL 60087
PHONE 440-793, PHONE 847-360-1000, FAX 847-360-1001
WWW.MAVERIK.COM E-MAIL: SALES@MAVERIK.COM

PRODUCT: UE38-1GCSF
DESCRIPTION: "U" BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
ENG: SMC

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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR OF RACKS, SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

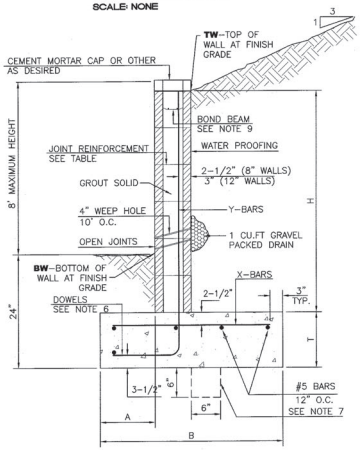
BIKE RACK DETAIL
SCALE: NONE

8 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
2'-0"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
2'-8"	8"	2'-0"	9"	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-0"	10"	2'-8"	9"	#4 @32" O.C.	#4 @24" O.C.
4'-8"	12"	3'-4"	10"	#5 @32" O.C.	#4 @18" O.C.
5'-4"	14"	3'-10"	10"	#6 @16" O.C.	#4 @18" O.C.
6'-0"	16"	4'-8"	12"	#6 @ 8" O.C.	#4 @12" O.C.

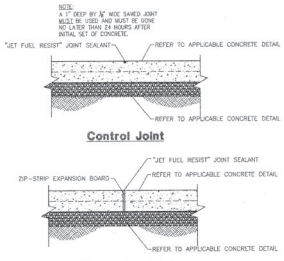
12 INCH REINFORCED CONCRETE MASONRY WALL					
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

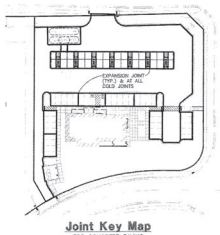
GENERAL NOTES:

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



RETAINING WALL DETAIL
NTS





Joint Key Map
FOR CONCRETE PAVING
SCALE: NONE

NOTE:
WITH CONCRETE PAVING, USE 50' SPACING FOR CONCRETE JOINTS.

NOTE:
LAGER SCREED SPECIFICATIONS – USE SOMERO 240 OR MAVERIK APPROVED EQUIVALENT.

NOTE:
ALL WALKWAYS TO BE FINISHED WITH A MEDIUM BROOM TEXTURE

NOTE:
V SEAL 102 TO BE APPLIED TO ALL CONCRETE FUELING AREAS, PARKING AREAS, AND ALL CONCRETE AREAS IN FRONT OF ENTIRE WIDTH OF BUILDING.

TYPICAL ON-SITE CONCRETE JOINTS
SCALE: NONE

ENGINEER'S SEAL
RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER
5/3/2019
RONALD R. BOHANNAN P.E. #7868

MAVERIK

MAVERIK
650 JUAN TABO BLVD. NE
CONSTRUCTION DETAIL 2

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY	pm
DATE	05-03-2019
DRAWING	2018046_DET
SHEET #	C7
JOB #	2018046

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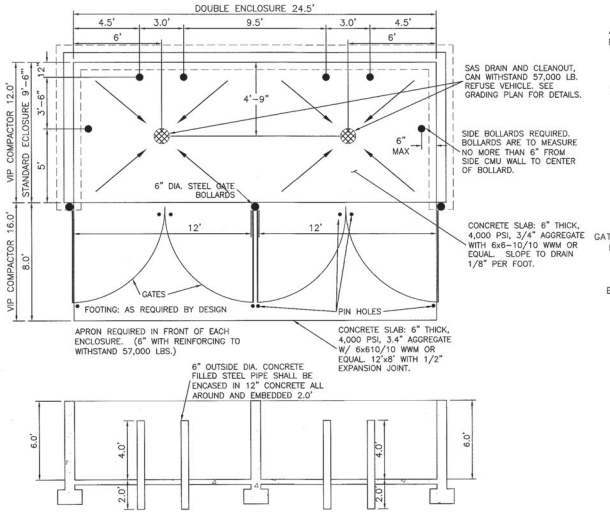
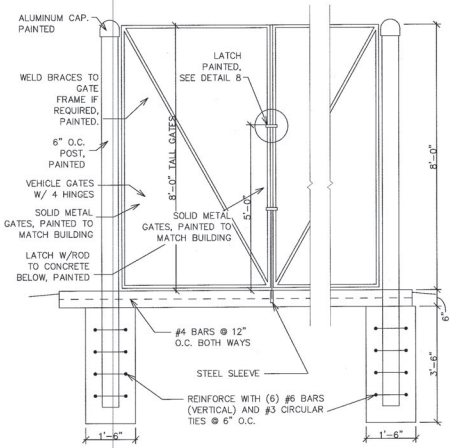


NOTE:
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

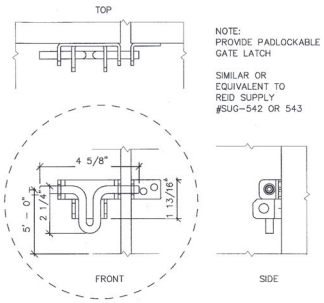
DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL

NTS



Dumptster Enclosure Gate Detail

SCALE: NONE

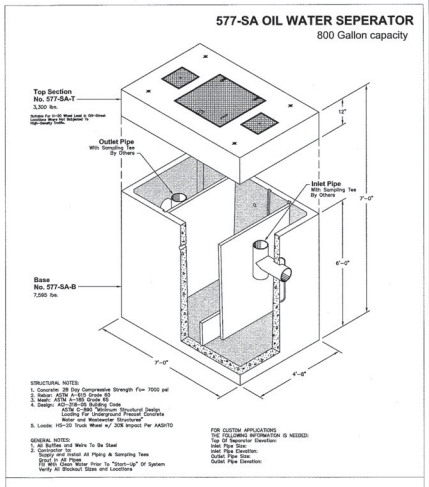


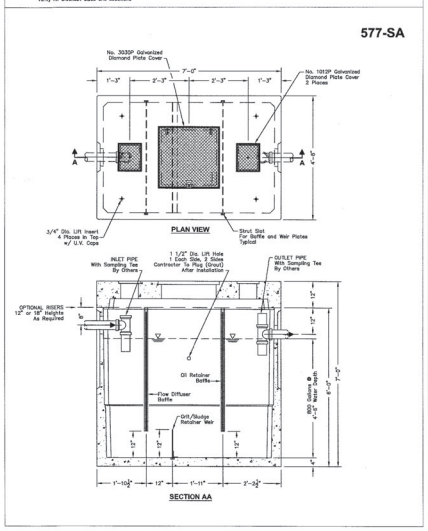
NOTE:
PROVIDE PADLOCKABLE GATE LATCH

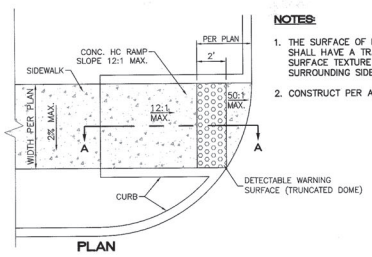
SIMILAR OR EQUIVALENT TO REID SUPPLY #SUG-542 OR 543

Dumpster Enclosure Gate Latch Detail

SCALE: NONE



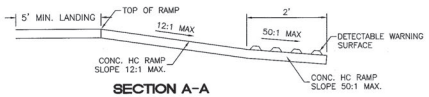




NOTES:

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.

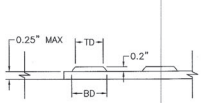
PLAN



SECTION A-A

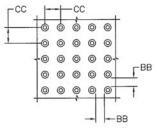
UNIDIRECTIONAL HC RAMP

NOT TO SCALE



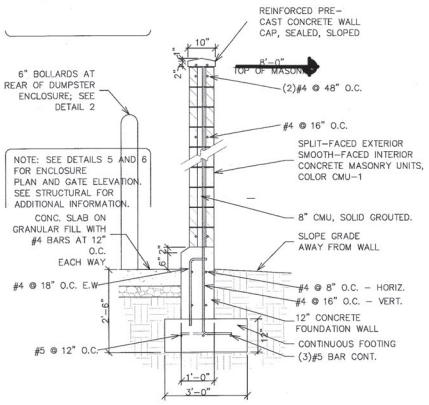
DOME SECTION

BD – BASE DIAMETER 0.9" MIN
TD – TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



DOME SPACING

CC – CENTER TO CENTER SPACING 2.35"
BB – BASE TO BASE SPACING 1.48" MIN



Dumpster Enclosure Wall Section

SCALE: NONE

ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER 5/3/2019 RONALD R. BOHANNAN P.E. #7868	MAVERIK 650 JUAN TABO BLVD. NE CONSTRUCTION DETAIL 3	DRAWN BY pm DATE 05-03-2019 DRAWING 2018046_DET
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C8 JOB # 2018046

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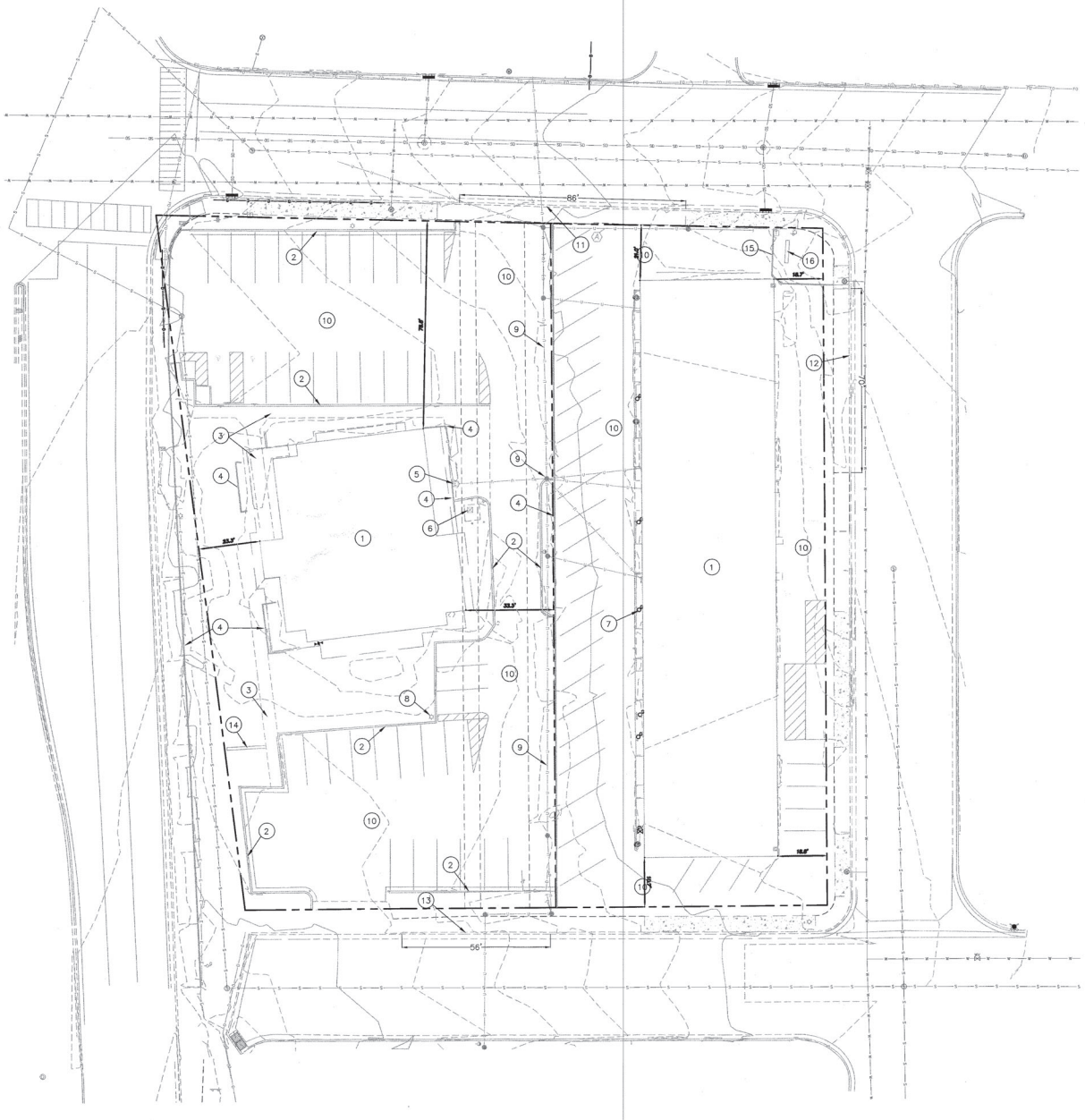

LEGEND

- EXISTING CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- W — EXISTING WATER LINE
- SD — EXISTING STORM LINE
- EXISTING STORM MANHOLE
- EXISTING STORM INLET
- S — EXISTING SAS LINE
- EXISTING SAS MANHOLE
- W — EXISTING WATER LINE
- EXISTING WATER VALVE
- U — EXISTING OVERHEAD POWER LINE
- EXISTING POWER POLE
- E — EXISTING ELECTRIC LINE
- EXISTING WALL
- EXISTING ELECTRICAL BOX
- EXISTING TRANSFORMER
- EXISTING LIGHT STANDARD
- EXISTING TELEPHONE PEDESTAL

KEYED NOTES

1. REMOVE AND DISPOSE EXISTING BUILDING AND FOUNDATION
2. REMOVE AND DISPOSE EXISTING CURB AND GUTTER
3. REMOVE AND DISPOSE EXISTING CONCRETE SIDEWALK
4. REMOVE AND DISPOSE EXISTING WALL
5. REMOVE AND DISPOSE EXISTING ELECTRICAL BOX
6. REMOVE EXISTING TRANSFORMER, RETURN TO PNM
7. REMOVE AND DISPOSE EXISTING GAS METER (TYP)
8. REMOVE AND DISPOSE EXISTING LIGHT STANDARD
9. EXISTING POWER LINE AND POLES TO BE RELOCATED (BY OTHERS)
10. REMOVE AND DISPOSE ALL EXISTING ASPHALT
11. REMOVE AND DISPOSE 86 LF EXISTING CURB AND GUTTER AND SIDEWALK
12. REMOVE AND DISPOSE 70 LF EXISTING CURB AND GUTTER AND SIDEWALK
13. REMOVE AND DISPOSE 56 LF EXISTING CURB AND GUTTER AND SIDEWALK
14. REMOVE AND DISPOSE EXISTING SIGN
15. EXISTING WALL TO REMAIN
16. EXISTING SIGN TO REMAIN

MAVERIK

ENGINEER'S SEAL

RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER

5/3/2019

RONALD R. BOHANNAN P.E. #7868

MAVERIK
650 JUAN TABO BLVD. NE

DEMOLITION PLAN

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5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: pm
DATE: 05-03-2019
DRAWING: 2018046-DEMO
SHEET #: C9
JOB #: 2018046

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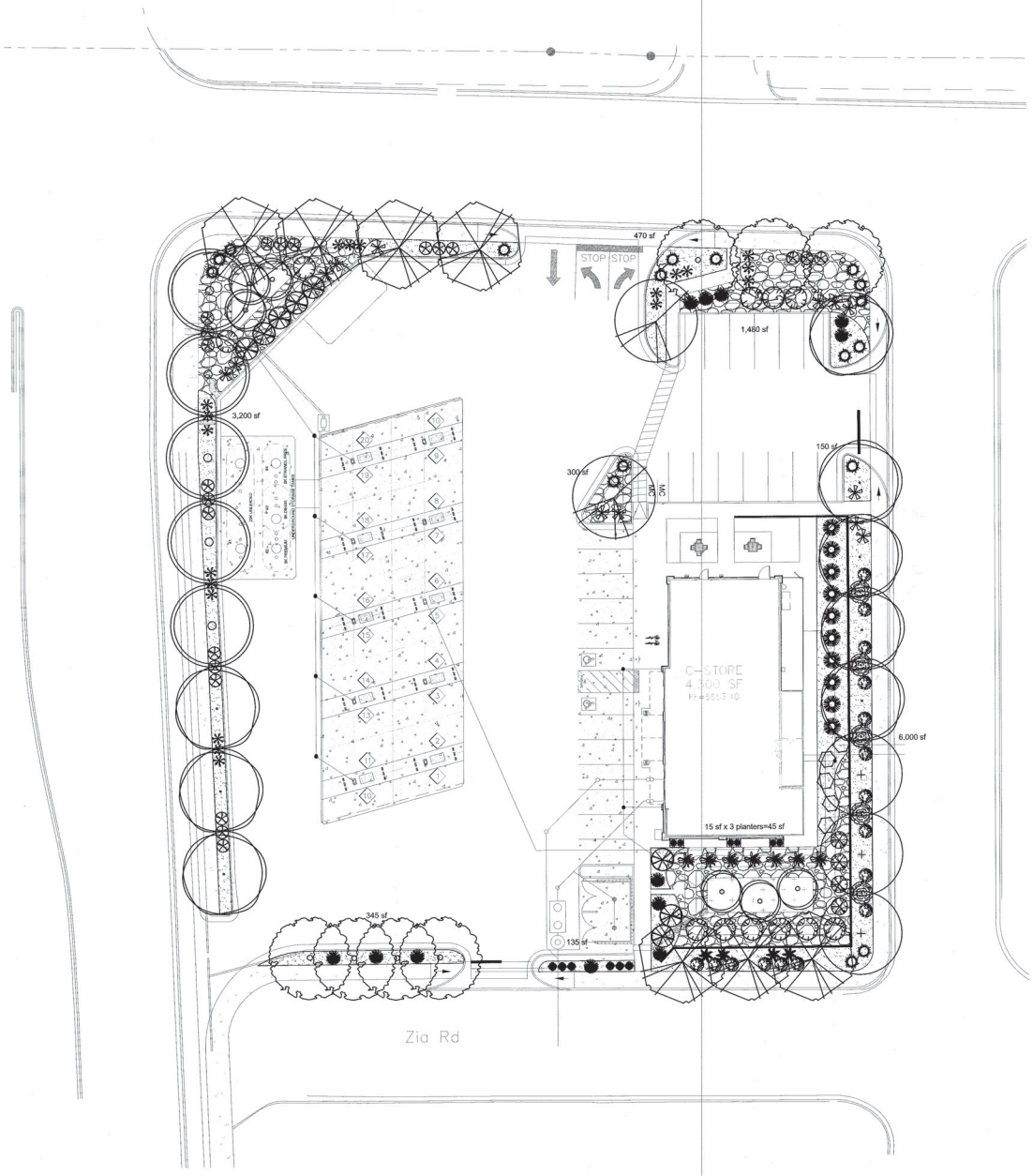


SITE DATA

GROSS LOT AREA (1.41. ac)	61,753 SF
LESS BUILDING(S)	4,300 SF
NET LOT AREA	57,453 SF
REQUIRED LANDSCAPE	
15% OF NET LOT AREA	8,618 SF
PROPOSED LANDSCAPE	12,125 SF
PERCENT OF NET LOT AREA	21 %
HIGH WATER USE TURF	
MAX. 20% OF LANDSCAPE AREA	SF
PROPOSED HIGH WATER USE TURF	SF
PERCENT OF LANDSCAPE AREA	%
REQUIRED STREET TREES	
1 PER 30 L.F. OF STREET FRONTAGE	29
PROVIDED STREET TREES	29
REQUIRED PARKING LOT TREES	
1 PER 10 SPACES	
27 SPACES/10	3
PROVIDED PARKING LOT TREES	3
TOTAL TREE REQUIRED/PROVIDED (2" cal or 6' ht.)	32/32
REQUIRED LANDSCAPE COVERAGE	
75% LIVE VEGETATIVE MATERIAL (12,125 SF PROPOSED LANDSCAPE X 75%)	9,094 SF MIN.
GROUNDCOVER COVERAGE	8,478 SF
NATIVE SEED COVERAGE	775 SF
TOTAL GROUNDCOVER COVERAGE	9,253 SF
PERCENT GROUNDCOVER COVERAGE OF REQUIRED LANDSCAPE AREAS	76%

NOTE

MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10 (SEE CALCULATIONS PROVIDED ABOVE)

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.

STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE14-16-3-10 AND I.D.O.

LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

TREES IN PROXIMITY OF DUMPSTER TO BE MAINTAINED TO ALLOW FOR TRUCK ACCESS WITHOUT DAMAGE TO TRUCK OR TREES

IRRIGATION NOTE

DRIP SYSTEM RUN CYCLES:
ESTABLISHMENT AND SUMMER:
1 HOUR/4 DAYS A WEEK
SPRING:
1 HOUR/2-3 DAYS A WEEK
FALL:
1 HOUR/2-3 DAYS A WEEK
WINTER:
1 HOUR/2 DAYS PER MONTH

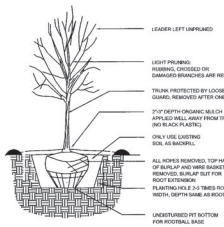
PLANT LEGEND

Qty.	Symbol	Scientific Name / Common Name	Installed Size	Mature Height/Spread	Landscape Coverage	Water Use	Drip Emitters
Trees							
7		Quercus / Texas Red Oak	2" B&B	50'/45'	40 sf=280 sf	Medium	6-2 gph
3		Ulmus / Lacebark Elm	2" B&B	50'/20'	40 sf=120 sf	Medium	6-2 gph
5		Celtis occidentalis / Common Hackberry	2" B&B	40'/40'	35 sf=175 sf	Medium +	6-2 gph
8		Gleditsia triacanthos inermis / Honeylocust	2" B&B	50'/45'	30 sf=240 sf	Medium	6-2 gph
7		Pistacia chinensis / Chinese Pistache	2" B&B	30'/35'	45 sf=315 sf	Medium +	6-2 gph
2		Prunus cerasifera / Purple Leaf Plum	2" B&B	20'/20'	35 sf=70 sf	Medium	6-2 gph
6		Forestiera / NM Olive	15-Gal	20'/20'	100 sf=600 sf	Medium	6-2 gph
Shrubs/Groundcovers							
16		Caryopteris clandonensis / Blue Mist	1-Gal	3'/3'	25 sf=400 sf	Medium	2-2 gph
21		Ericameria laricifolia 'Aguirre' / Turpentine Bush	5-Gal	4'/4'	35 sf=735 sf	Low	2-1 gph
5		Fallugia / Apache Plume	5-Gal	6'/7'	49 sf=245 sf	Low	2-2 gph
17		Juniperus sabina 'Buffalo' / Buffalo Juniper (female)	5-Gal	1'/12'	70 sf=1190 sf	Low +	2-2 gph
8		Caesalpinia / Bird of Paradise	5-Gal	8'/8'	100 sf=800 sf	Medium	2-2 gph
4		Perovskia atriplicifolia / Russian Sage	5-Gal	5'/5'	30 sf=120 sf	Medium	2-2 gph
11		Rhus trilobata / 3 Leaf Sumac	5-Gal	6'/6'	30 sf=330 sf	Medium	2-2 gph
5		Chamabatiera / Fernbush	5-Gal	5'/6'	64 sf=320 sf	Medium+	2-2 gph
13		Hesperaloe parviflora / Red Yucca	5-Gal	3'/4'	35 sf=455 sf	Low	2-2 gph
12		Dasylirion / Sotol	5-Gal	5'/5'	35 sf=420 sf	Medium+	2-2 gph
7		Rosmarinus officinalis / Rosemary	5-Gal	6'/6'	64 sf=448 sf	Low +	2-2 gph
6		Nandina / Firepower Heavenly Bamboo	5-Gal	3'/3'	20 sf=120 sf	Medium+	2-2 gph
Grasses							
10		Panicum / Switch Grass	5-Gal	8'/6'	40 sf=400 sf	Medium	2-2 gph
6		Calamagrotis / Karl Foerster Grass	1-Gal	3'/2'	10 sf=60 sf	Medium	2-2 gph
19		Muhlenbergia / Deer Grass	5-Gal	4'/4'	25 sf=475 sf	Low+	2-2 gph
4		Nolina / Bear Grass	5-Gal	5'/5'	40 sf=160 sf	Low+	2-2 gph

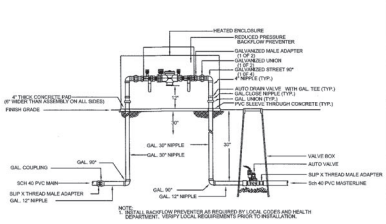
Total Landscape Coverage=8,478 SF

MATERIALS LEGEND

- 1/4" CRUSHED GRAVEL AT 2" DEPTH
- 2"-4" COBBLESTONE AT 4" DEPTH
- NATIVE SEED



TREE PLANTING DETAIL



RP BACKFLOW/MASTER VALVE DETAIL

growing better Up Heads
LANDSCAPE CONTRACTORS
www.headsuplandscape.com

P O Box 10597
Albuquerque, NM 87184
505.898.9615
505.898.2105 (fax)
design@hulc.com

STATE OF NEW MEXICO
JOHN GILLIES BRALY
128
REGISTERED LANDSCAPE ARCHITECT

Date: 01/21/19
Revisions:
- 2/20/19
- 2/27/19

Drawn by: jc
Reviewed by: jb

Maverik Fueling Station
650 Juan Tabo NE
Albuquerque, New Mexico

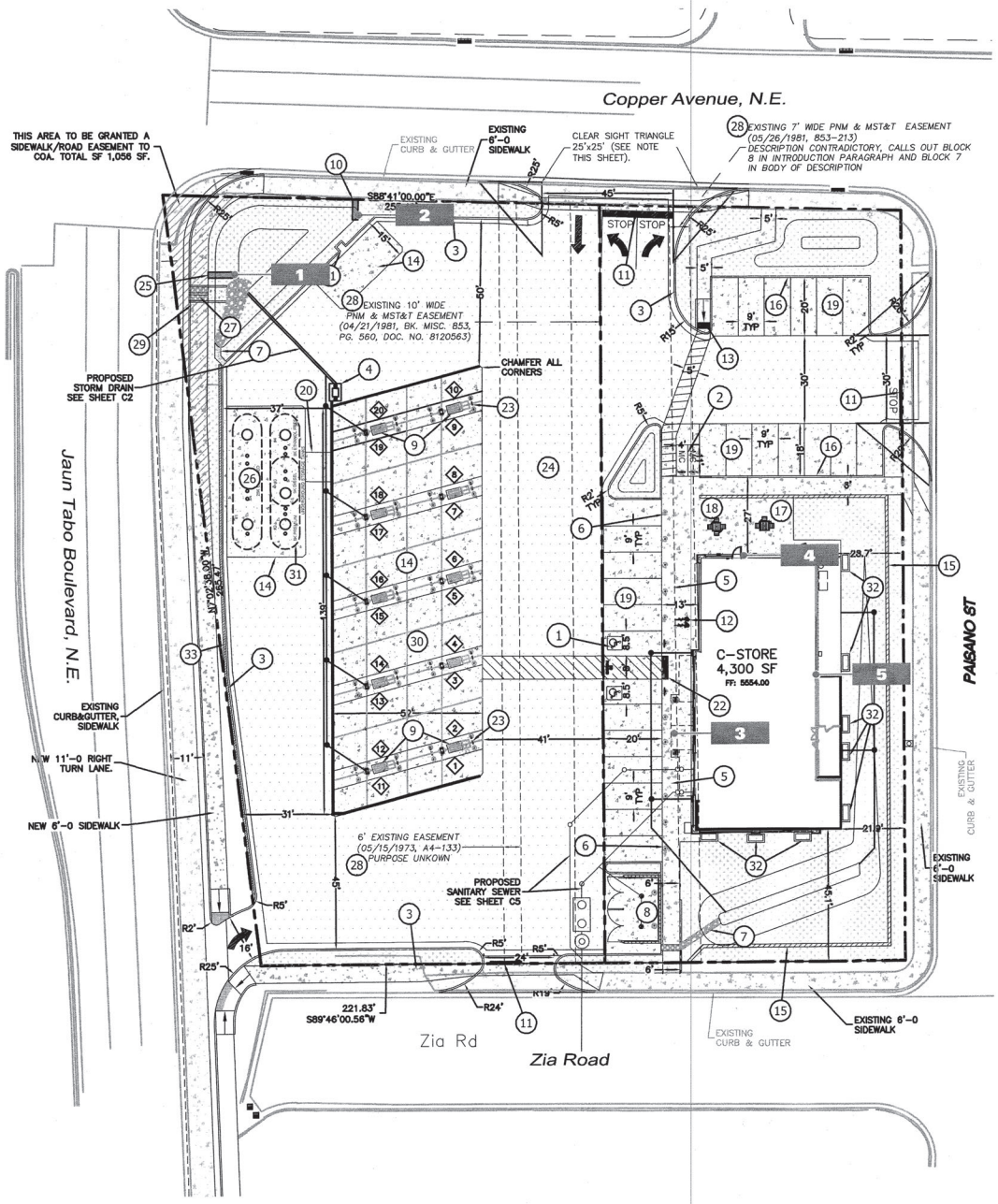
NORTH

Scale: 1" = 20'

10' 0 20' 40'

Sheet Title:
Landscape Plan

Sheet Number:
LS-01



YESCO

DESIGN

1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481

www.yesco.com

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The colors shown are only approximated on any computer monitor, inkjet or laser print. The final product may vary slightly in color from your computer monitor or print.

This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (R0)	09.05.2018
R1	09.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Site Map

17594 **R2**

JO #

scale: as noted

ART **0.1**

DSGN_17594_Maverik - Albuquerque_ART 0.1_Site Map.ai

1.3 TOP VIEW

All widths to be determined by pipe size & Led price cab.

Internally illuminated extruded aluminum cabinet w/ painted finish *[see color key]*. Retainer size as req. White polycarbonate face w/ 1st surface vinyl *[see color key]*. White L.E.D illumination.

L.E.D. price changer aluminum cabinets w/ painted finish *[see color key]* Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl *[see color key]*. White L.E.D illumination.

Internally illuminated extruded aluminum cabinets w/ painted finish *[see color key]*. 1 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics *[color corrected]*. White L.E.D illumination.

Painted aluminum pole covers to be painted to resemble wood. *Pipe and pole cover widths to be determined by engineer.*

Aluminum cap w/ no structure.

YESCO to provide durarock base. Contractor to provide stone vanveer.

3" mowpad provided by YESCO.

1.1 SIDE VIEW

1 D/F ILLUMINATED PYLON SIGN
SCALE: 1/4" = 1'-0"

1.2 REVERSE VIEW

SCOPE OF WORK:

MANUFACTURE & INSTALL *ONE [1]* POLE SIGNS WITH FLAG MOUNTED CABINETS.

ELECTRICAL

POWER TO DISPLAY LOCATION:	BY OTHERS OR EXISTING
HOOKUP AT DISPLAY:	BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

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Salt Lake City, UT 84104
801.487.8481
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R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Pylon Sign

17594 **R2**

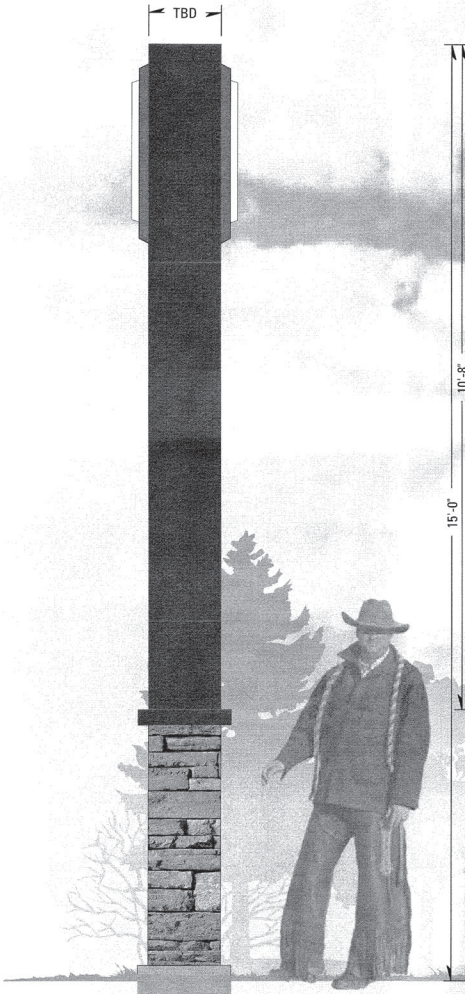
JO #

scale: as noted

ART **1.0**

DSGN_17594_Maverik - Albuquerque_ART 1.0_Pole Sign.ai

This design does not constitute production ready artwork and is to be used exclusively for proofing and review purposes only.



2.1 SIDE VIEW

2 D/F ILLUMINATED MONUMENT SIGN
SCALE: 1/2" = 1'-0"

Sign Area: 24.5ft²

Internally illuminated aluminum cabinet w/ painted finish *[see color key]*. Retainer size as req. Clear formed face w/ 2st surface decoration *[see color key]* (only copy is raised). White L.E.D illumination.

Sign Area: 40.25ft²

price changer aluminum cabinet w/ painted finish *[see color key]*. Retainer size as req. White polycarbonate faces for products w/ 1st surface vinyl *[see color key]*. White L.E.D illumination.

Sign Area: 9.94ft²

Internally illuminated aluminum cabinet(s) w/ painted finish *[see color key]*. 1 5/8" retainer. White polycarbonate face w/ 1st surface digitally printed graphics *[color corrected]*. White L.E.D illumination.

Painted aluminum cap.

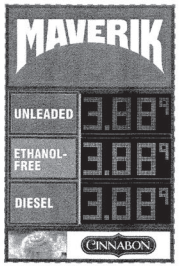
YESCO to provide durarock base. Contractor to provide stone vanveer.

Concrete mow-pad.

SCOPE OF WORK:

MANUFACTURE & INSTALL *ONE [1]* MONUMENT SIGN.

AREA: 74.65 ft²



ELECTRICAL

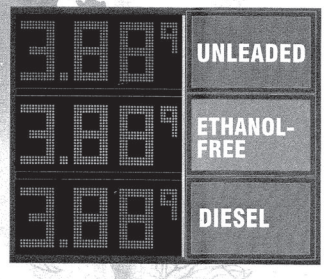
POWER TO DISPLAY LOCATION:	BY OTHERS OR EXISTING
HOOKUP AT DISPLAY:	BY YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS - MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

REVERSE VIEW



YESCO
DESIGN
1605 South Gramercy Rd.
Salt Lake City, UT 84104
801.487.8481
www.yesco.com

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This sign will be installed in accordance with the requirements of Article 600 of the National Electrical Code and / or other applicable local codes. This includes proper grounding and bonding of the sign.

Revisions

No.	Date / Description
Initial (R0)	09.05.2018
R1	09.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Monument Sign

17594 **R2**

JO #

scale: as noted

ART **2.0**

DSGN_17594_Maverik - Albuquerque_ART 2.0_Monument Sign.ai

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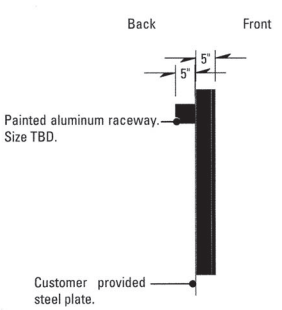
3.2 3D VIEW



3.1 SIDE VIEW

3 PAN CHANNEL LETTERS ON STEEL PANEL CABINET

SCALE: 3/8" = 1'-0"

SCOPE OF WORK:

MANUFACTURE & INSTALL *ONE [1]* SET OF ILLUMINATED CHANNEL LETTER ON CUSTOMER PROVIDED STEEL PANEL. MANUFACTURE & INSTALL *ONE [1]* RACEWAY.

PERMITTING	SIGN AREA: 84ft²
FINAL ELECTRICAL CONNECTION BY:	YESCO

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

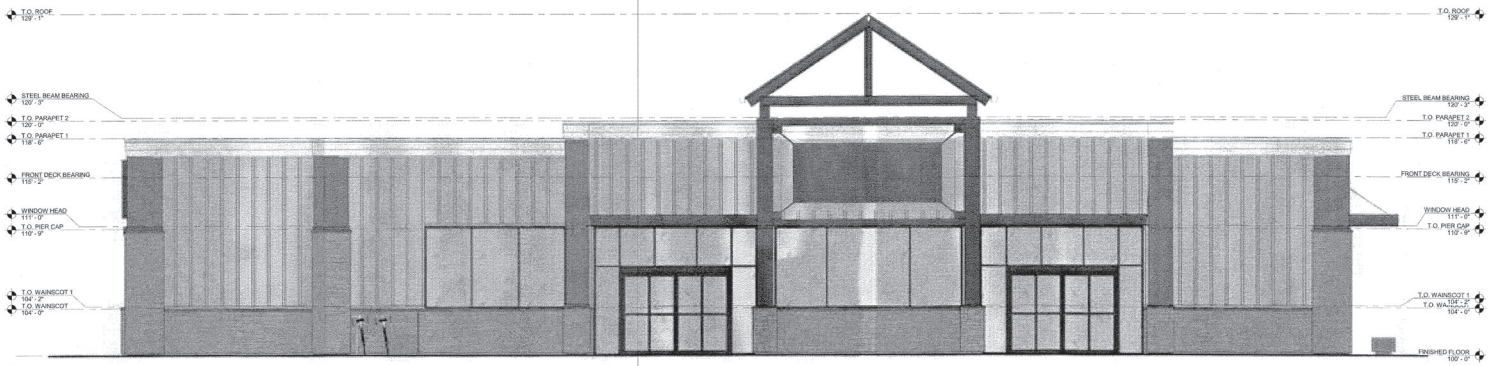
1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	PREPAINT	DURANODIC BRONZE
	VINYL	3M 3630-69 DURANODIC
	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

NOTE: UNLESS OTHERWISE NOTED, THE COLORS DEPICTED ON THIS RENDERING MAY NOT MATCH ACTUAL COLORS ON FINISHED DISPLAY. PLEASE REFER TO COLOR-CALLOUTS AND THEIR APPROPRIATE VENDOR SPECIFIED SAMPLES FOR APPROVED COLOR SPECIFICATIONS

NOTE:

FIELD SURVEY REQUIRED PRIOR TO FABRICATION. ENGINEERING TO DETERMINE ATTACHMENT POINTS.

NIGHT RENDERING



3.2 DETAIL ELEVATION

SCALE: 3/32" = 1'-0"

YESCO

DESIGN

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Revisions

No.	Date / Description
Initial (R0)	03.05.2018
R1	03.06.2018
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Front Sign

17594 **R2**

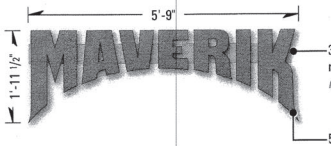
JO #

scale: as noted

ART **3.0**

DSGN_17594_Maverik - Albuquerque_ART 3.0_Front Sign.ai

4.1 SIDE VIEW

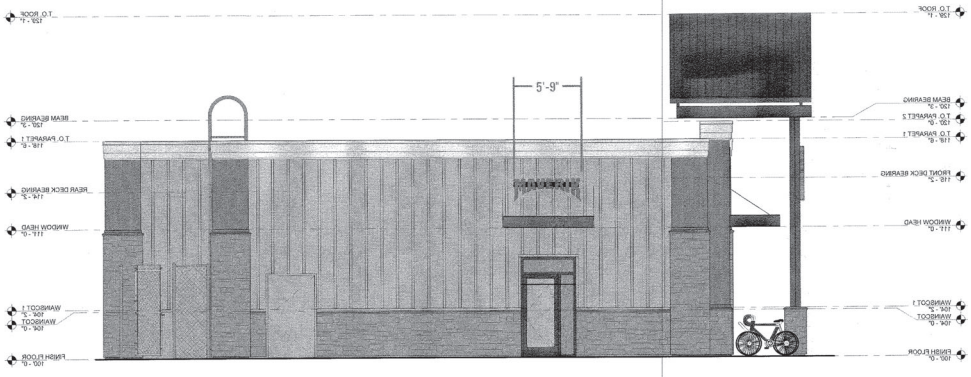


3" x 5" extuded aluminum raceway w/ painted finish *[to match building]*.

5" deep aluminum channel letter w/ 3RK32 or 2282 Red Arcylic faces. 1" bronze trim cap & pre-painted returns *[see color key]*. White L.E.D illumination. Mounted to raceway

4 PAN CHANNEL LETTERS — 24" LETTER SET

SCALE: 3/8" = 1'-0"



4.2 DETAIL ELEVATION

SCALE: 3/32" = 1'-0"

SCOPE OF WORK:

MANUFACTURE & INSTALL *ONE [1]* SET L.E.D. ILLUMINATED PAN CHANNEL LETTERS. MOUNT TO BUILDING ON RACEWAY.

PERMITTING	SIGN AREA: 11.5ft²	ELECTRICAL:	2 Amps 120 V
FINAL ELECTRICAL CONNECTION BY:	YESCO		

COLOR KEY - MAVERIK STANDARDS - NEW LOGO

1	PAINT	SHERWIN WILLIAMS# 7020 "BLACK FOX"
	PREPAINT	DURANODIC BRONZE
	VINYL	3M 3630-69 DURANODIC
2	PMS	PANTONE® 186c
	VINYL	3M 3630-33 "RED"
3	PAINT	MATCH PMS 348c/SW#LV5-5074896-389504-A
	VINYL	3M 3630-26 "GREEN"
4	PAINT	DUPONT #K 9441
	VINYL	3M 3630-26 "LT EUROPEAN BLUE"
5	PAINT	SHERWIN WILLIAMS TO MATCH "PMS 427c"
	VINYL	AVERY UC 900-811-T "PANTONE 427c"
6	PMS	PANTONE® 2945c
	VINYL	3M 3630-167 "BRIGHT BLUE"

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NOTE:

FIELD SURVEY REQUIRED PRIOR TO FABRICATION.

YESCO

DESIGN

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801.487.8481

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Revisions

No.	Date / Description
Initial (R0)	03.05.2019
R1	03.06.2019
R2	04.29.2019
R3	
R4	
R5	
R6	
R7	
R8	
R9	
R10	
R11	
R12	
R13	
R14	
R15	

Approvals

YESCO A/E Signature / Date

Client Signature / Date

Landlord Signature / Date

Maverik

Juan Tabo & Copper
Albuquerque, NM

Acct. Exec: Matt Wren

Designer: Justin Raymond

Date: 04.29.2019

Side Sign

17594 **R2**

JO #

scale: as noted

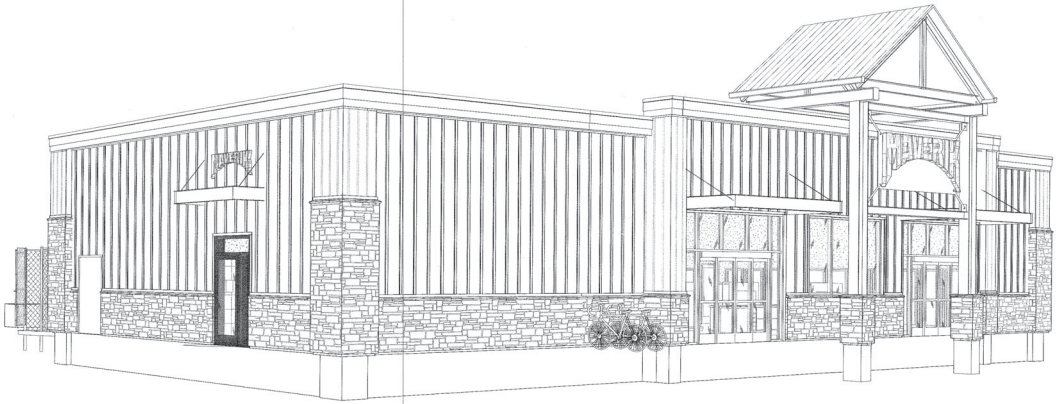
ART **4.0**

DSGN_17594_Maverik - Albuquerque_ART 4.0_Side Sign.ai

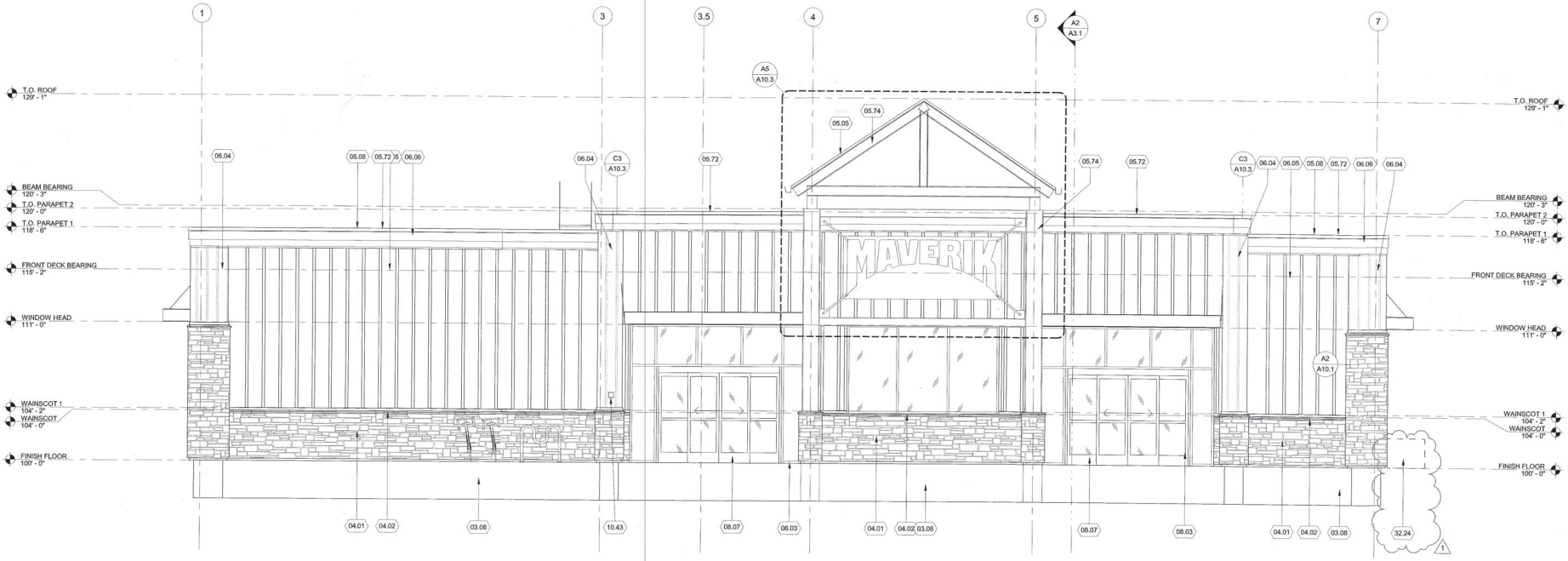
This design does not constitute production ready artwork and is to be used exclusively for proofing and review purposes only.

REFERENCE NOTES

03.08	CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
04.01	STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURES GUIDELINES
04.02	STONE VENEER SILL CAP (BR-1)
05.05	MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
05.08	24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTNERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
05.72	PRE-FINISHED METAL COPING, COLOR C-4
05.74	STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
06.04	FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
06.05	FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
06.06	FIBER CEMENT TRIM BB-3, SEE SCHEDULE
08.03	ALUMINUM STOREFRONT SYSTEM (AST-1), SEE SCHEDULES
08.07	DOOR, SEE SCHEDULE
10.43	KNOX BOX, VERIFY LOCATION W/ FIRE DEPT.
1 32.24	PLANTERS. SEE CIVIL DRAWINGS.



C1 BUILDING PERSPECTIVE
SCALE:



A1 WEST - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

3/5/2019 10:26:50 AM

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MAVERIK

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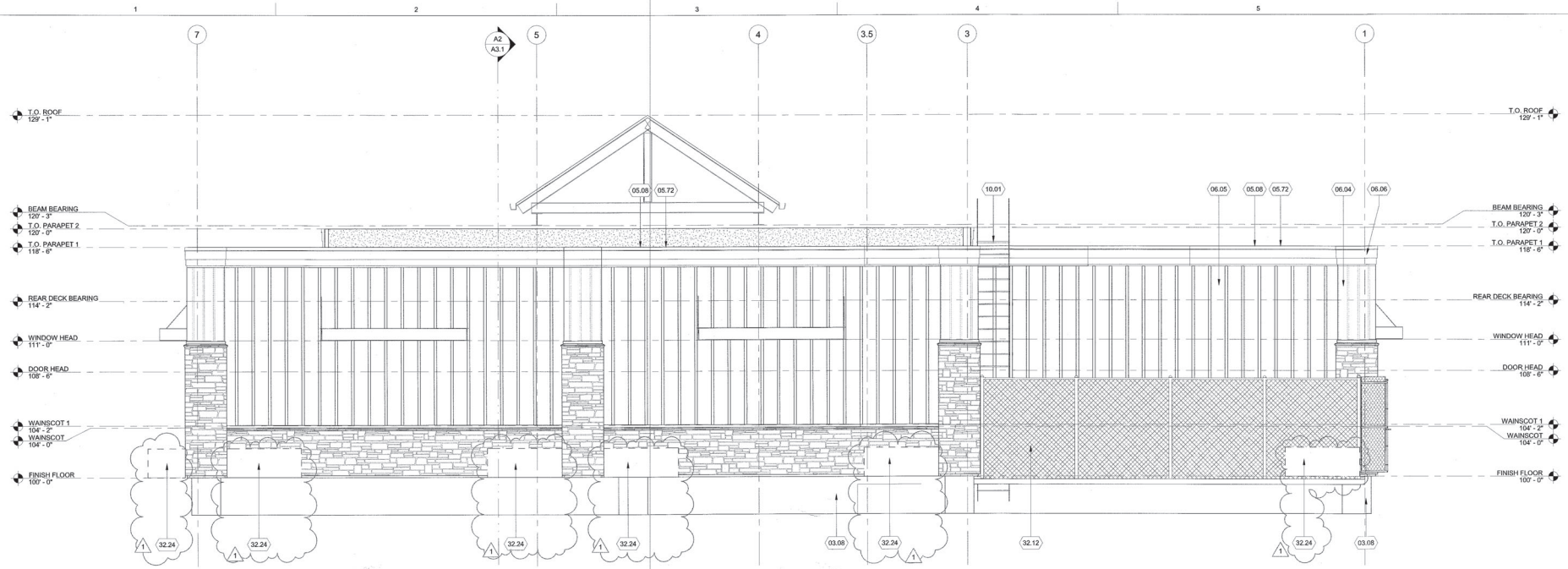
JUAN TABO & COPPER
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

△	DATE	REVISION
1	3/5/19	CITY REVIEW

PROJECT NUMBER 18126

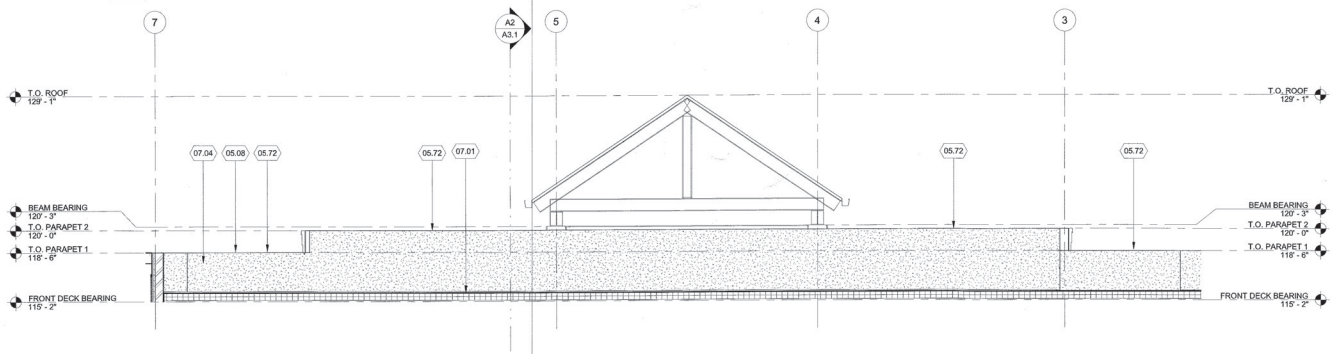
EXTERIOR ELEVATIONS

A2.1



C1 EAST - REAR ELEVATION

SCALE: 1/4" = 1'-0"



A1 PARTIAL FRONT WALL REAR VIEW ELEVATION

SCALE: 1/4" = 1'-0"

REFERENCE NOTES

03.08	CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
05.08	24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTNERS. ALL SEAMS TO BE STANDING SEAM, NO LAP'S ALLOWED.
05.72	PRE-FINISHED METAL COPING, COLOR C-4
06.04	FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
06.05	FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
06.06	FIBER CEMENT TRIM BB-3, SEE SCHEDULE
07.01	SINGLE-PLY ROOFING MEMBRANE OVER 5"(MIN) POLYISOCYANURATE INSULATION, OVERLAP JOINTS, SEE SPECIFICATIONS AND COMCHECK CALCS.
07.04	WRAP MEMBRANE UP UNDER CAP, OVER WALL, AND UNDER THE METAL ROOFING
10.01	ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
32.12	8'-0" HIGH CHAIN LINK FENCE W/ PRIVACY SLATS OR CMU WALL W/ GATE, SEE ELEVATIONS
1 32.24	PLANTERS, SEE CIVIL DRAWINGS.

GENERAL NOTES

3/5/2019 10:26:51 AM

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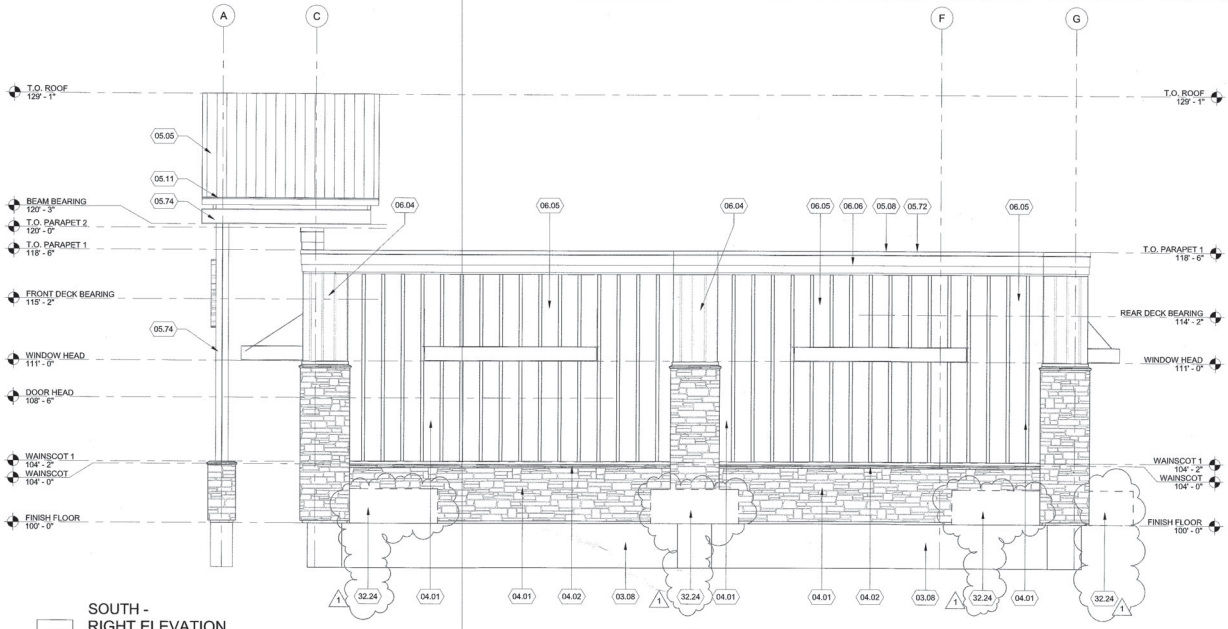
ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

△	DATE	REVISION
1	3/5/19	CITY REVIEW

PROJECT NUMBER 18128

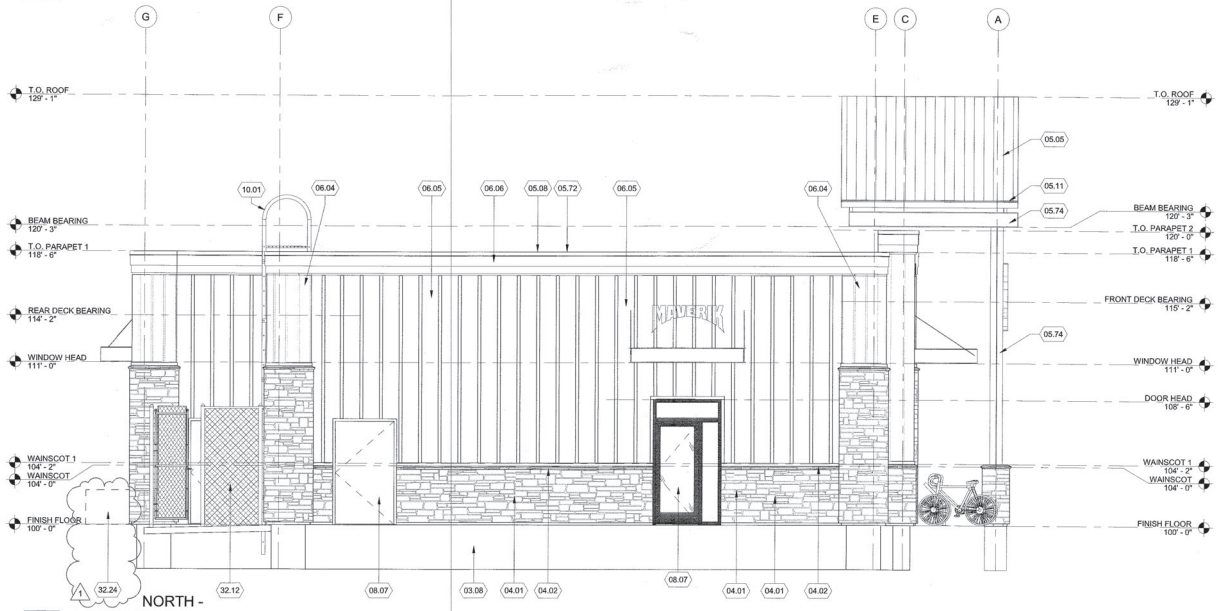
EXTERIOR ELEVATIONS

A2.2



C2 SOUTH - RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



A2 NORTH - LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REFERENCE NOTES

03.08	CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS
04.01	STONE VENEER (BR-1 SEE SCHEDULE) INSTALL PER MANUFACTURES GUIDELINES
04.02	STONE VENEER SILL CAP (BR-1)
05.05	MBCI PRE-FINISHED ROOF, 1-3/4" STANDING SEAM, COLOR C-1
05.08	24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUOUS CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET W/ GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET W/ NEOPRENE GASKETED FASTNERS. ALL SEAMS TO BE STANDING SEAM, NO LAPS ALLOWED.
05.11	PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER, COLOR C-1
05.72	PRE-FINISHED METAL COPING, COLOR C-4
05.74	STEEL COLUMNS/BEAMS, COLOR P-9. SEE STRUCTURAL DRAWINGS
06.04	FIBER CEMENT BOARD & BATTEN SIDING, BB-2, SEE SCHEDULE
06.05	FIBER CEMENT BOARD & BATTEN SIDING, BB-1, SEE SCHEDULE
06.06	FIBER CEMENT TRIM BB-3, SEE SCHEDULE
08.07	DOOR, SEE SCHEDULE
10.01	ROOF ACCESS LADDER W/ SECURITY GATE. COLOR TO MATCH SIDING BB-1
32.12	8'-0" HIGH CHAIN LINK FENCE W/ PRIVACY SLATS-5R CMU WALL W/ GATE, SEE ELEVATIONS
1 32.24	PLANTERS. SEE CIVIL DRAWINGS.

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MAVERIK

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ALBUQUERQUE, NW 87123
PERMIT SET 01/16/19

△	DATE	REVISION
1	3/5/19	CITY REVIEW

PROJECT NUMBER 18128

EXTERIOR ELEVATIONS

A2.3

3/5/2019 10:26:52 AM