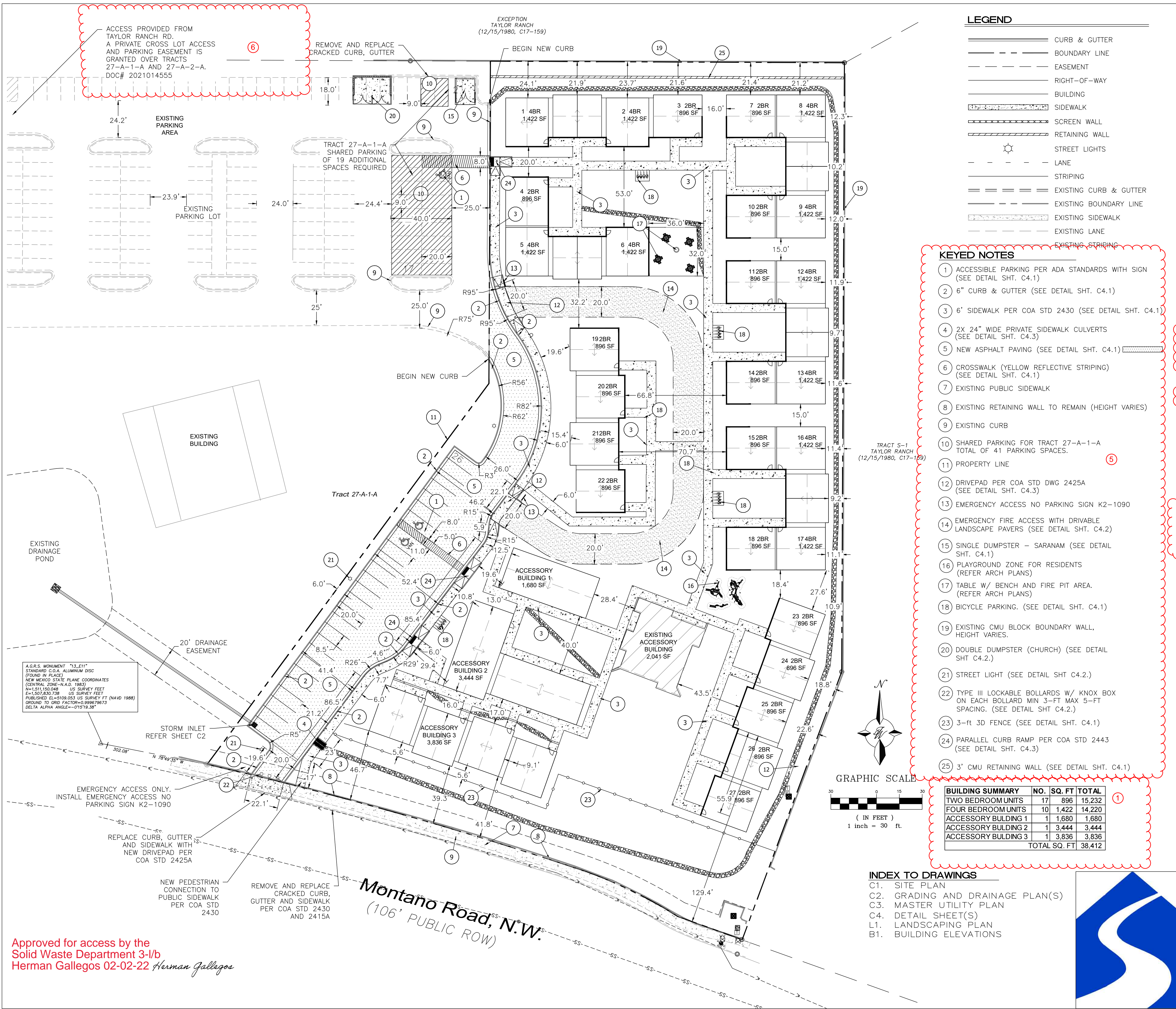


ADMINISTRATIVE AMENDMENT

FILE #: _____ PROJECT #: _____

APPROVED BY

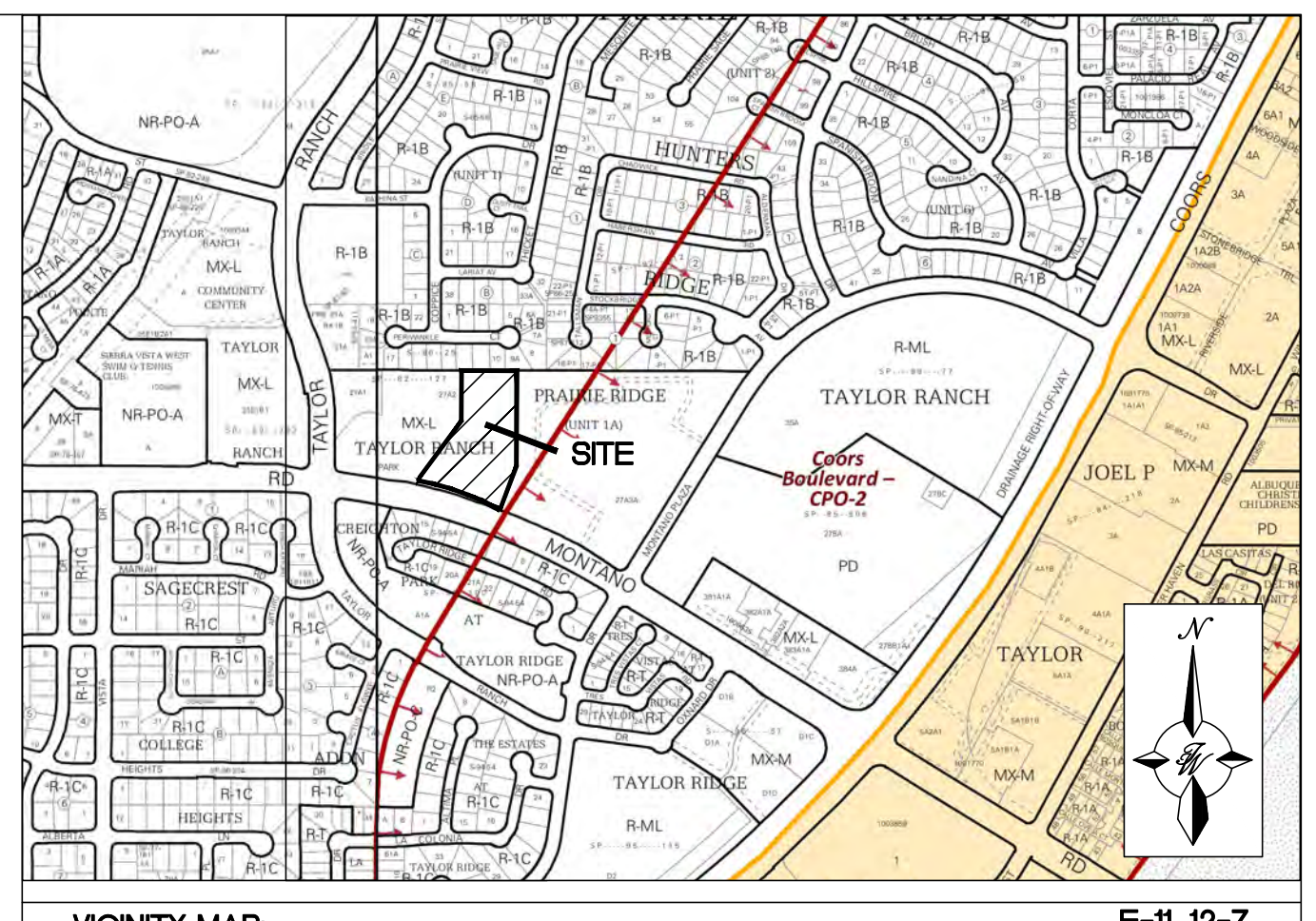
DATE



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▧ SCREEN WALL
- ▩ RETAINING WALL
- ☀ STREET LIGHTS
- - - LANE
- - - STRIPING
- ▬ EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▨ EXISTING SIDEWALK
- - - EXISTING LANE
- - - EXISTING STRIPING

- KEYED NOTES**
- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C4.1)
 - 2 6" CURB & GUTTER (SEE DETAIL SHT. C4.1)
 - 3 6" SIDEWALK PER COA STD 2430 (SEE DETAIL SHT. C4.1)
 - 4 2X 24" WIDE PRIVATE SIDEWALK CULVERTS (SEE DETAIL SHT. C4.3)
 - 5 NEW ASPHALT PAVING (SEE DETAIL SHT. C4.1)
 - 6 CROSSWALK (YELLOW REFLECTIVE STRIPING) (SEE DETAIL SHT. C4.1)
 - 7 EXISTING PUBLIC SIDEWALK
 - 8 EXISTING RETAINING WALL TO REMAIN (HEIGHT VARIES)
 - 9 EXISTING CURB
 - 10 SHARED PARKING FOR TRACT 27-A-1-A TOTAL OF 41 PARKING SPACES.
 - 11 PROPERTY LINE
 - 12 DRIVEPAD PER COA STD DWG 2425A (SEE DETAIL SHT. C4.3)
 - 13 EMERGENCY ACCESS NO PARKING SIGN K2-1090
 - 14 EMERGENCY FIRE ACCESS WITH DRIVABLE LANDSCAPE PAVERS (SEE DETAIL SHT. C4.2)
 - 15 SINGLE DUMPSTER - SARANAM (SEE DETAIL SHT. C4.1)
 - 16 PLAYGROUND ZONE FOR RESIDENTS (REFER ARCH PLANS)
 - 17 TABLE W/ BENCH AND FIRE PIT AREA. (REFER ARCH PLANS)
 - 18 BICYCLE PARKING. (SEE DETAIL SHT. C4.1)
 - 19 EXISTING CMU BLOCK BOUNDARY WALL, HEIGHT VARIES.
 - 20 DOUBLE DUMPSTER (CHURCH) (SEE DETAIL SHT C4.2.)
 - 21 STREET LIGHT (SEE DETAIL SHT C4.2.)
 - 22 TYPE III LOCKABLE BOLLARDS W/ KNOX BOX ON EACH BOLLARD MIN 3-FT MAX 5-FT SPACING. (SEE DETAIL SHT C4.2.)
 - 23 3-ft 3D FENCE (SEE DETAIL SHT. C4.1)
 - 24 PARALLEL CURB RAMP PER COA STD 2443 (SEE DETAIL SHT. C4.3)
 - 25 3' CMU RETAINING WALL (SEE DETAIL SHT. C4.1)



VICINITY MAP: E-11, 12-Z

LEGAL DESCRIPTION:
 TRACT 27-A-1 AND 27-A-2 OF TAYLOR RANCH, REDIVISION OF TRACT 27A INTO TRACTS 27-A-1 AND 27-A-2 OF THE PLAT OF TRACTS 27-A, S-1, S-2, AND S-3 TAYLOR RANCH, SITUATED WITHIN SECTIONS 23, 25 AND 26 T11N R2E, BLOCK 0000

SITE DATA:
 PROPOSED USAGE: MULTI-FAMILY (PER IDO 4-3(B)(7))
 ZONING: MX-L
 LOT AREA: 149,871.07 SF (3.44) ACRE
 SETBACKS: 15' REAR, 5' FRONT/SIDE
 HOUSING UNITS:
 TWO BEDROOM UNITS: 17
 FOUR BEDROOM UNITS: 10
 TOTAL HOUSING UNITS: 27

PARKING REQUIRED: (DWELLING, MULTI-FAMILY 1.5 SPACES/DU) 42 SPACES
TOTAL PARKING REQUIRED: 42 SPACES
PARKING PROVIDED: 26 SPACES

PARKING DEFICIT IS MET BY A CROSS LOT PARKING AGREEMENT (DOC# 2021014555) WITH TRACT 27-A-1-A AS SHOWN ON THIS PLAN FOR 19 SPACES. MIN. PARKING REQUIRED FOR TRACT 27-A-1-A FOR RELIGIOUS INSTITUTIONS IS 16 SPACES. A TOTAL OF 132 SPACES IS PROVIDED AND CAN SUPPORT THE SHARED PARKING WITH THIS DEVELOPMENT.

HC PARKING REQUIRED: 2 SPACES
 HC PARKING PROVIDED: 3 SPACES
 1 SPACE VAN ACCESSIBLE

BICYCLE PARKING REQUIRED: 5 SPACES
 BICYCLE PARKING PROVIDED: 16 (4 TRACKS WITH 4 SPACES)

OPEN SPACE REQUIRED IDO 14-16-2-4(B)(2):
 (2BR: 250 SQ. FT. / UNIT) 4,250 S.F.
 (>3BR: 300 SQ. FT. / UNIT) 3,000 S.F.
 TOTAL OPEN SPACE REQUIRED: 7,250 S.F.
 OPEN SPACE PROVIDED: 13,340 S.F.

PROJECT NUMBER: PR-2020-003461
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

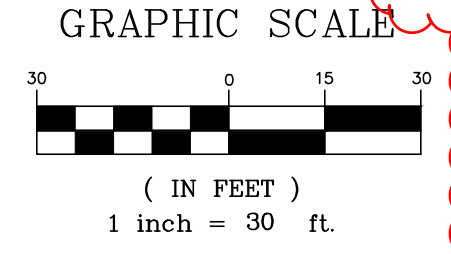
Is an infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	Date
Water Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Herman Gallegos <i>Herman Gallegos</i>	02-02-22
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

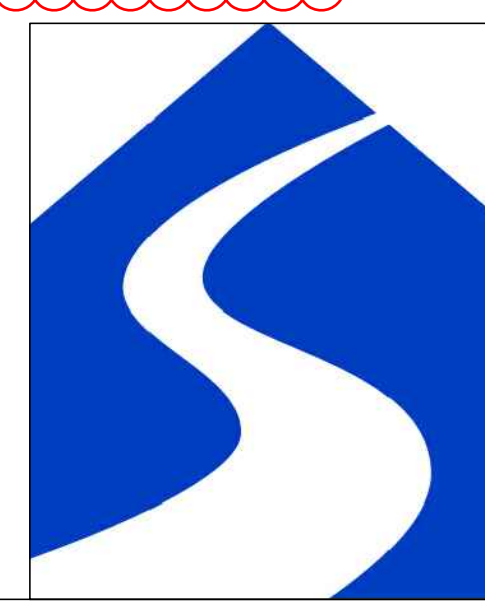
BUILDING SUMMARY

	NO.	SQ. FT	TOTAL
TWO BEDROOM UNITS	17	896	15,232
FOUR BEDROOM UNITS	10	1,422	14,220
ACCESSORY BUILDING 1	1	1,680	1,680
ACCESSORY BUILDING 2	1	3,444	3,444
ACCESSORY BUILDING 3	1	3,836	3,836
TOTAL SQ. FT.			38,412



- INDEX TO DRAWINGS**
- C1. SITE PLAN
 - C2. GRADING AND DRAINAGE PLAN(S)
 - C3. MASTER UTILITY PLAN
 - C4. DETAIL SHEET(S)
 - L1. LANDSCAPING PLAN
 - B1. BUILDING ELEVATIONS

Approved for access by the Solid Waste Department 3-1/b Herman Gallegos 02-02-22 *Herman Gallegos*



ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868 02/03/2022	SARANAM AT 4701 MONTANO RD NW	DRAWN BY LN DATE 10/20/2021
	SITE PLAN	SHEET # C1
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		JOB # 2019080

\\TMSAS_V_Drive\2019\2019080 Golf Course & Montano 25 Unit Home (Saranam)\dwg\EPC\2019080_SPE.dwg Job 31, 2022 - 4:51pm

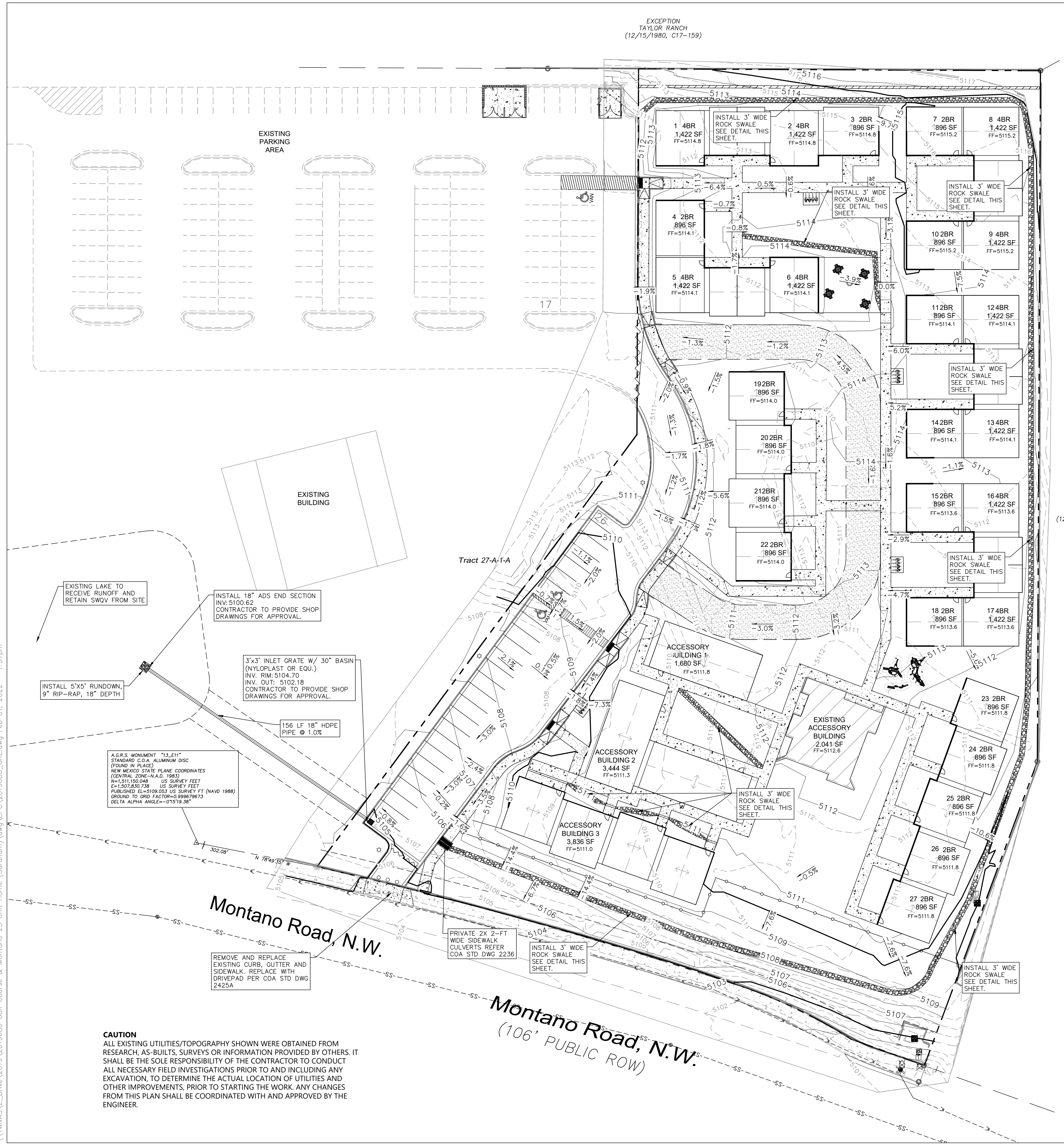
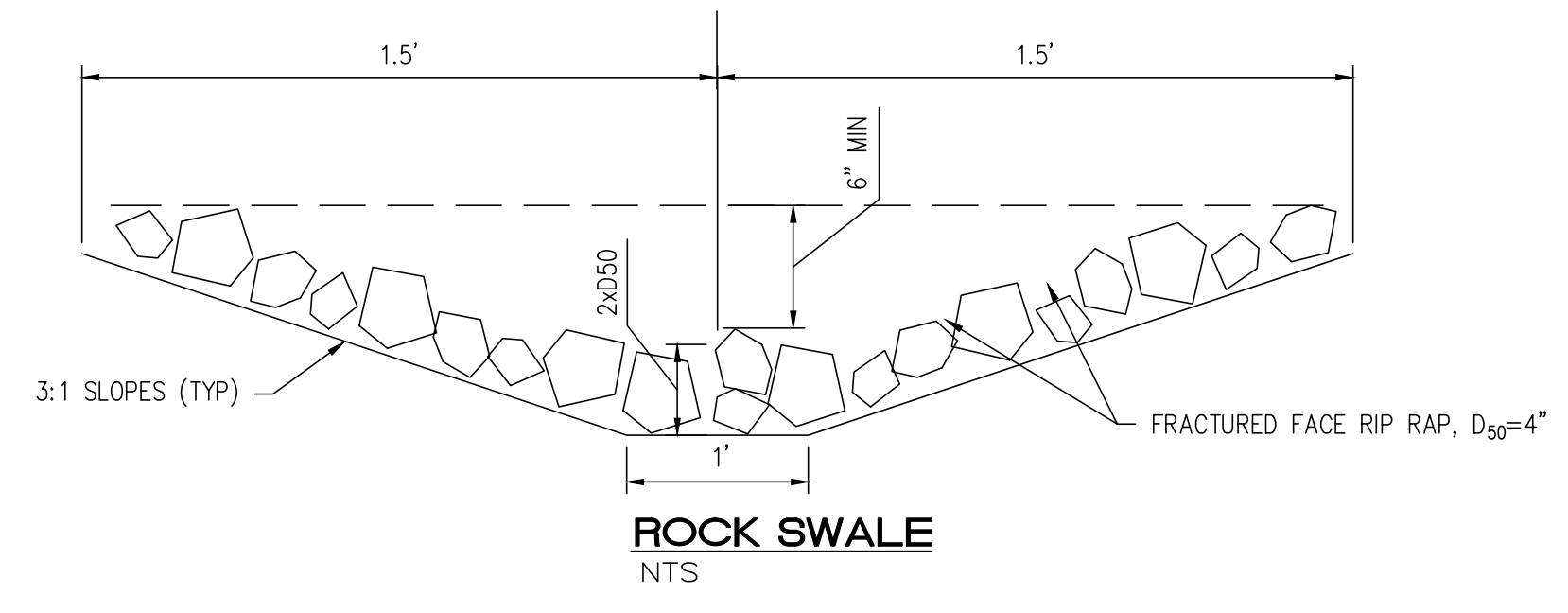
EXCEPTION
TAYLOR RANCH
(12/15/1980, C17-159)

LEGEND

	CURB & GUTTER		5010 CONTOUR MAJOR
	BOUNDARY LINE		5011 CONTOUR MINOR
	EASEMENT		x 5048.25 SPOT ELEVATION
	CENTERLINE		FLOW ARROW
	RIGHT-OF-WAY		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	SCREEN WALL		EXISTING CONTOUR MINOR
	FENCE LINE		x 5048.25 EXISTING SPOT ELEVATION
	GRADE BREAK		

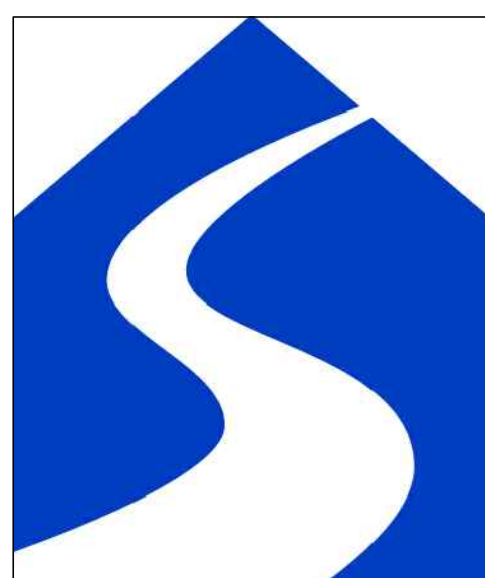
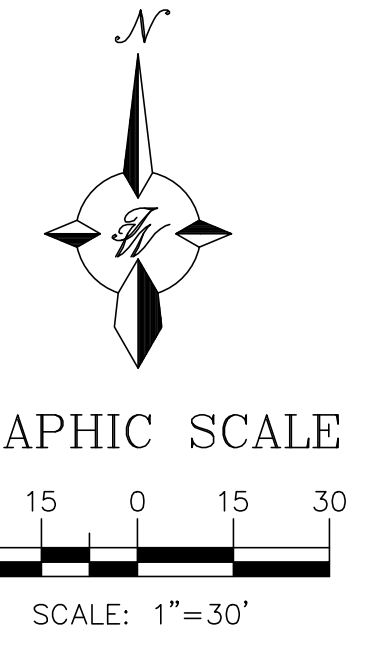
NOTICE TO CONTRACTORS

1. CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
2. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS. CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTIONS, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.



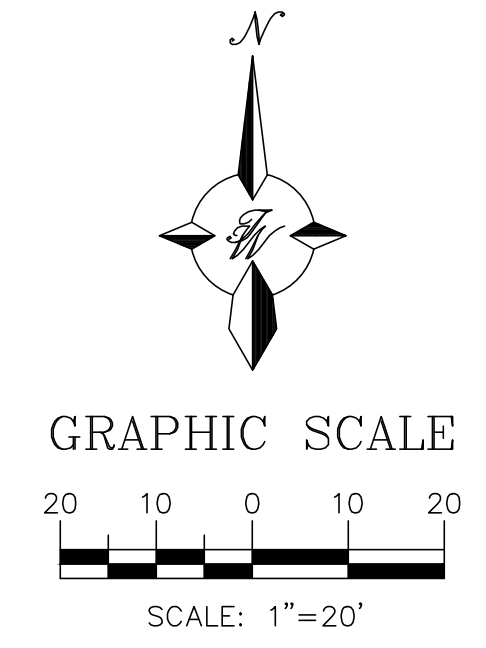
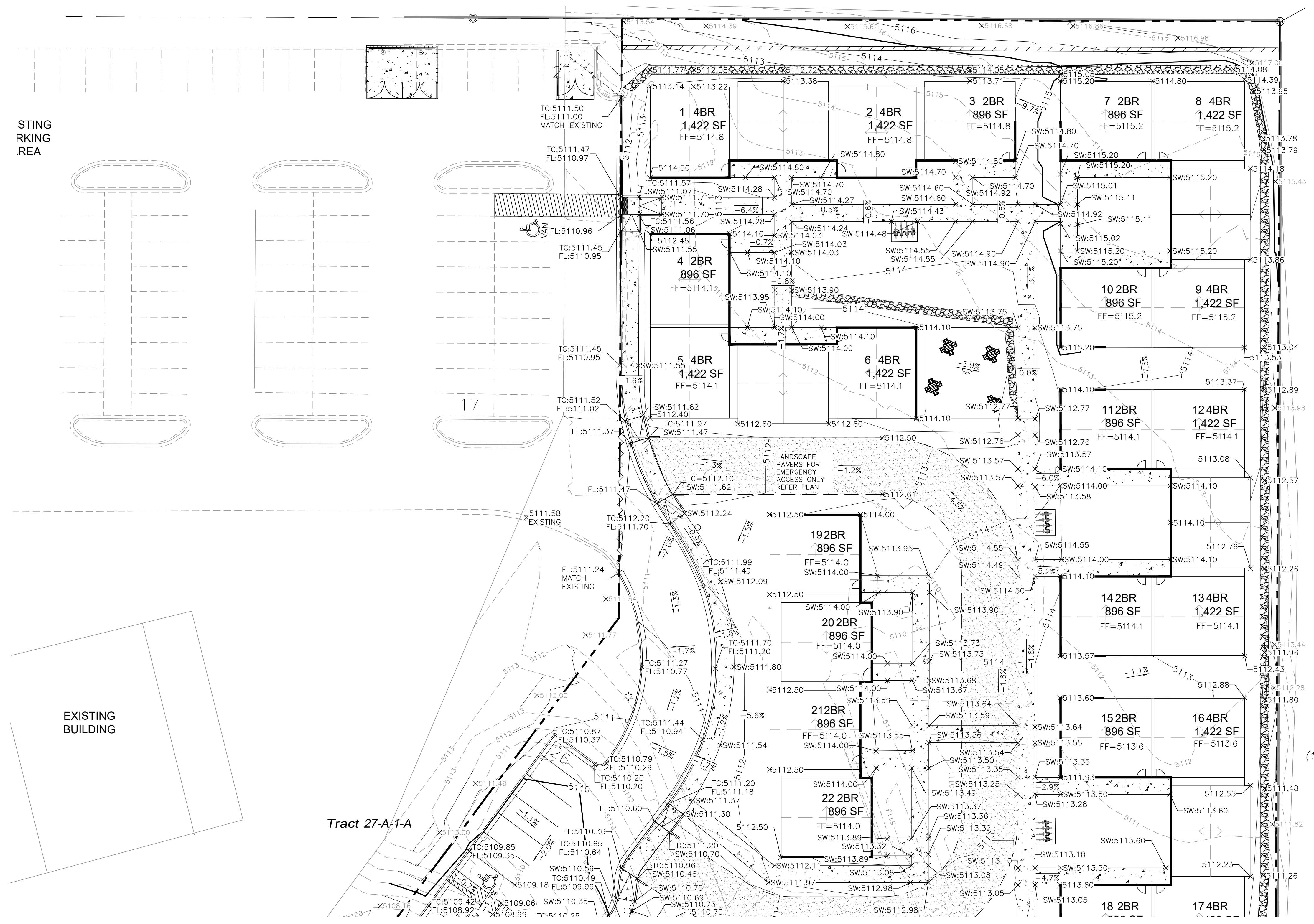
\\TWAS\Z_Drive\2019\2019080 Golf Course & Montano 25 Unit-Home (Saronom)\dwa\EPCC\2019080_GRE.dwg Feb 01, 2022 - 1:57pm

CAUTION
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



 ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 02/03/2022 RONALD R. BOHANNAN P.E. #7868	SARANAM AT 4701 MONTANO RD NW GRADING PLAN (OVER ALL)	DRAWN BY LN DATE 10/20/2021 2019080_GRE
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.2 JOB # 2019080

\\TWNAS\Z_Drive\2019\2019080 Golf Course & Montano 25 Unit Home (Saranom)\dwa\EPCC\2019080_GRE.dwg Feb 01, 2022 - 1:57pm



LEGEND

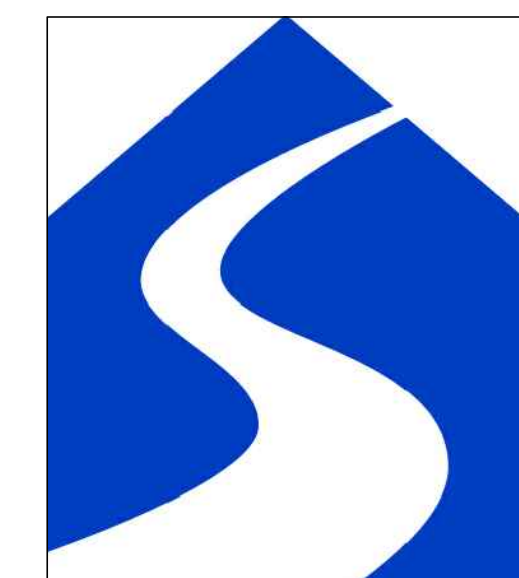
	CURB & GUTTER		CONTOUR MAJOR
	BOUNDARY LINE		CONTOUR MINOR
	EASEMENT		SPOT ELEVATION
	CENTERLINE		FLOW ARROW
	RIGHT-OF-WAY		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	SCREEN WALL		EXISTING CONTOUR MINOR
	FENCE LINE		EXISTING SPOT ELEVATION
	GRADE BREAK		

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- SPOT ELEVATION LEGEND**
- SW=SIDEWALK ELEVATION
 FL=FLOW LINE ELEVATION
 TC=TOP OF CURB ELEVATION
 FF=FINISHED FLOOR ELEVATION

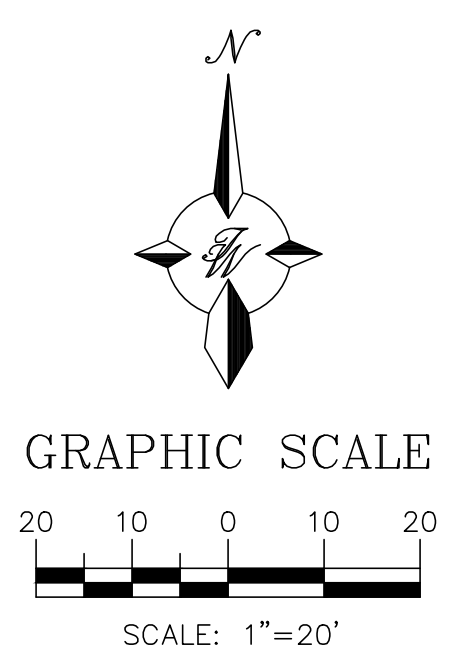
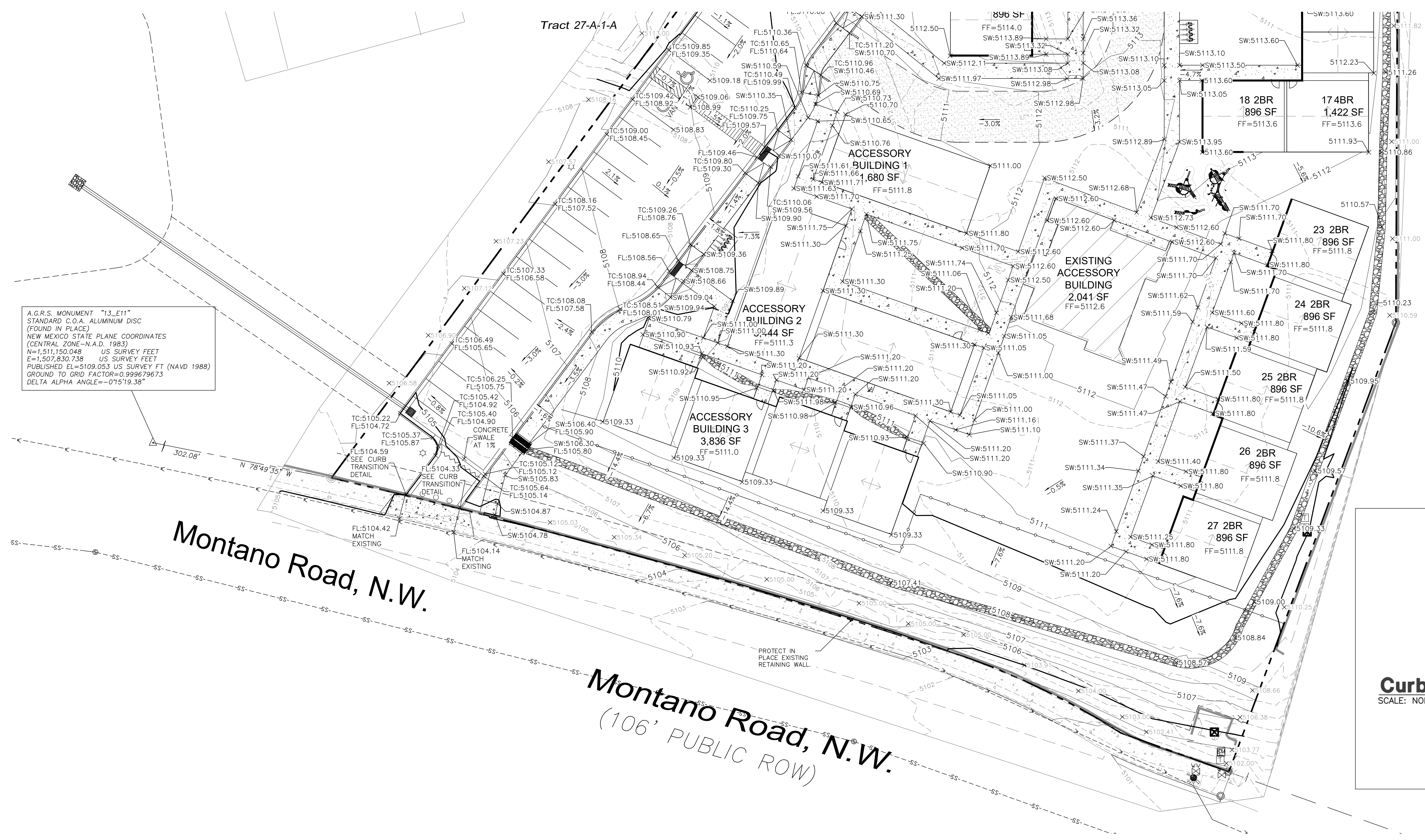
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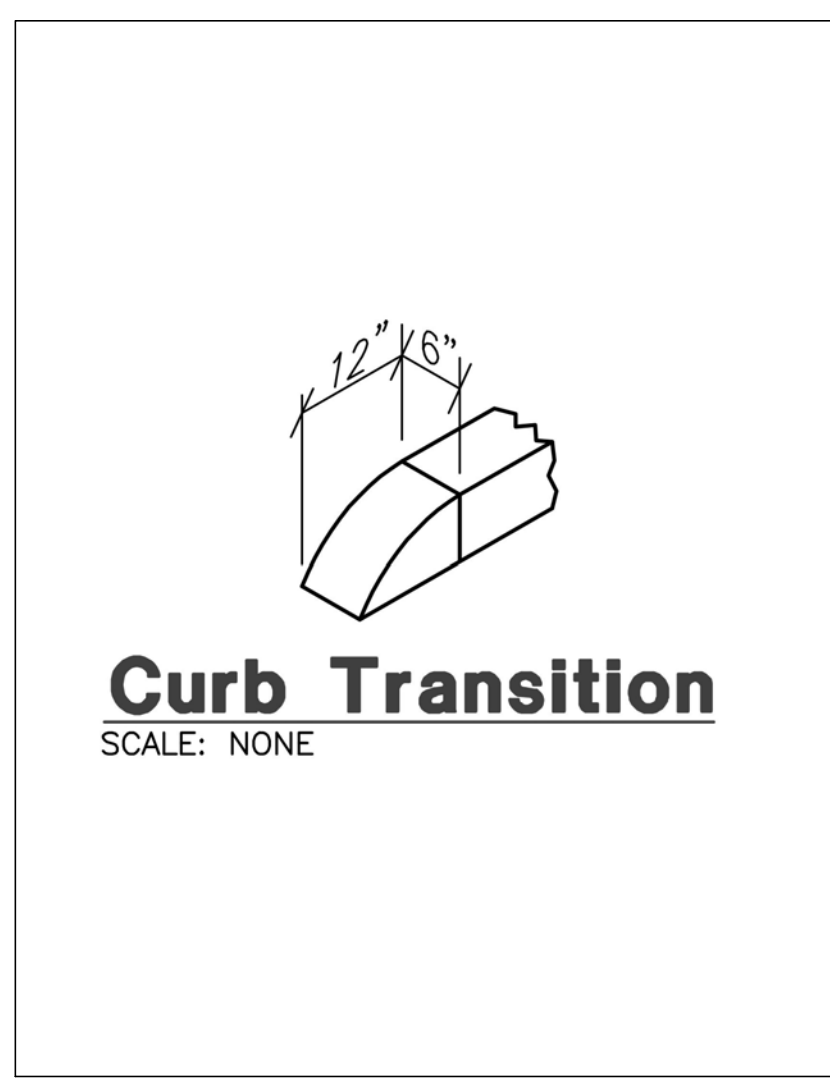


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SARANAM AT 4701 MONTANO RD NW DETAILED GRADING PLAN (NORTH)	DRAWN BY LN DATE 10/20/2021 2019080_GRE
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.3 JOB # 2019080

\\TWS\ASZ_Drive\2019\2019080 Golf Course & Montano 25 Unit Home (Saranom)\dws\EPCC\2019080_GRE.dwg Feb 01, 2022 - 1:58pm



A.G.R.S. MONUMENT "13_E11"
STANDARD C.O.A. ALUMINUM DISC
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=1,511,150.048 US SURVEY FEET
E=1,507,830.738 US SURVEY FEET
PUBLISHED EL=5109.053 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999679673
DELTA ALPHA ANGLE=-0°15'19.38"



LEGEND

	CURB & GUTTER		CONTOUR MAJOR
	BOUNDARY LINE		CONTOUR MINOR
	EASEMENT		SPOT ELEVATION
	CENTERLINE		FLOW ARROW
	RIGHT-OF-WAY		EXISTING CURB & GUTTER
	BUILDING		EXISTING BOUNDARY LINE
	SIDEWALK		EXISTING CONTOUR MAJOR
	SCREEN WALL		EXISTING CONTOUR MINOR
	FENCE LINE		EXISTING SPOT ELEVATION
	GRADE BREAK		

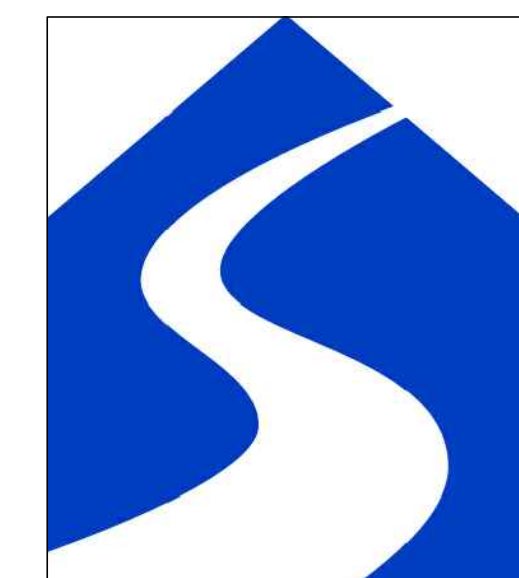
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- SPOT ELEVATION LEGEND**
- SW=SIDEWALK ELEVATION
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ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	SARANAM AT 4701 MONTANO RD NW	DRAWN BY LN
	DETAILED GRADING PLAN (SOUTH)	DATE 10/20/2021
02/03/2022	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C2.4
		JOB # 2019080



INTRODUCTION & REFERENCE FILES
FILE #: E11D013 & E11D013B

FLOOD PLAIN

THE PROJECT AREA IS INCLUDED ON FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL 35001C0114H DATED AUGUST 16, 2012 AND IS SHOWN ON THIS PAGE. THE MAP INDICATES THE SITE LIES WITHIN FLOOD ZONE X, AN AREA OF MINIMAL FLOOD HAZARD.

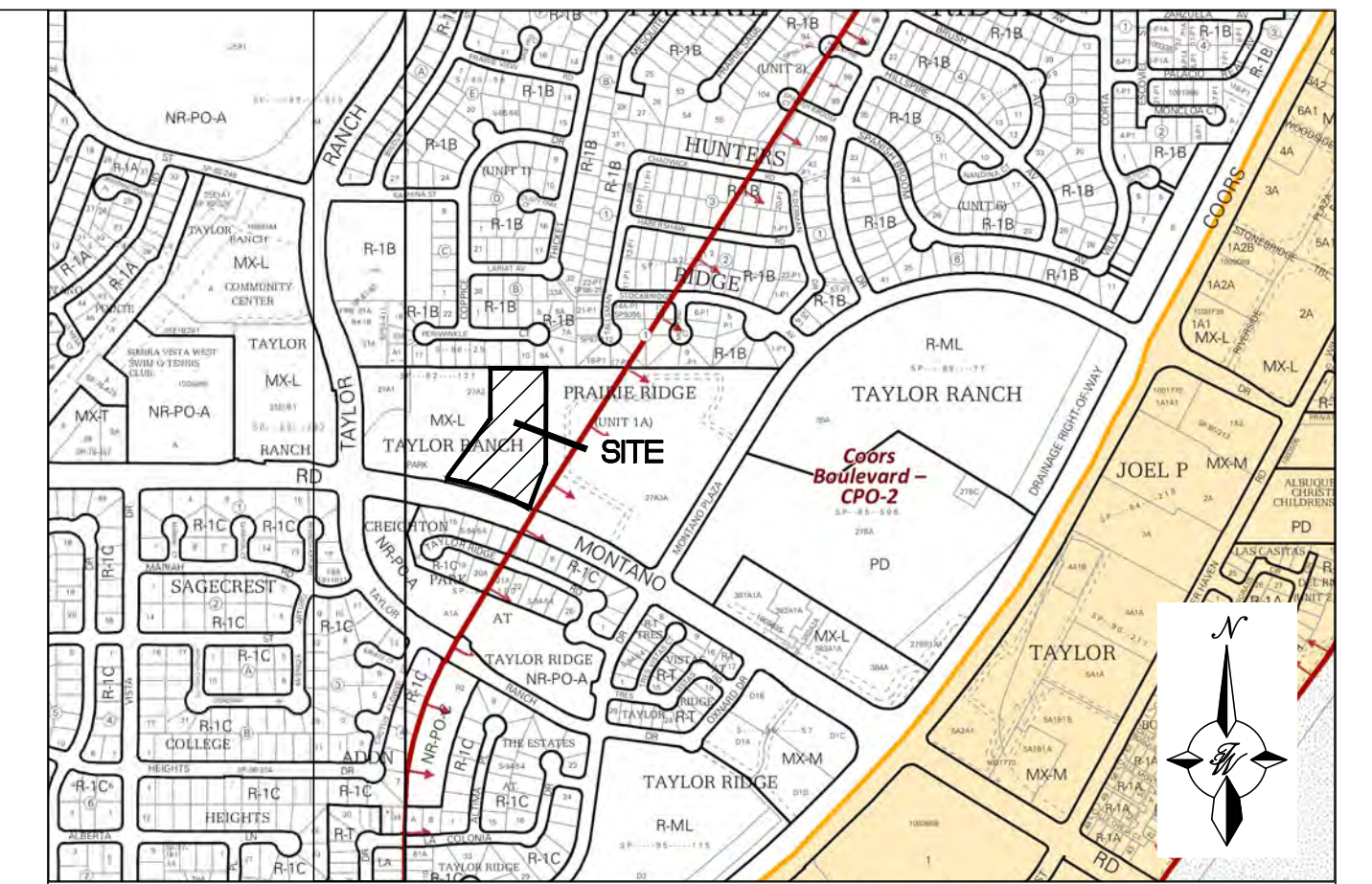
HISTORIC DRAINAGE:

THERE IS NO OFFSITE FLOWS INTO THE PARCEL. THE HISTORIC DRAINAGE RUNOFF IS RETAINED ONSITE WITH THE PARCEL DRAINING TO THE EXISTING LAKE AT THE SOUTHWEST CORNER. IT APPEARS FROM A CURSORY REVIEW OF THE AVAILABLE DOCUMENTS THE LAKE WAS SIZED TO ACCOMMODATE THE ENTIRE PARCEL IN A DEVELOPED STATE, AS DETAILED ON THE SITE DEVELOPMENT PLAN. THE LAKE IS AT LEAST 6 FEET DEEP AND THERE IS AN EXISTING MARSH/WETLAND AREA THAT WAS PLANTED AND IS IN GOOD HEALTH FOR ALBUQUERQUE. A SMALL PORTION OF THE EMBANKMENT ALONG THE FRONTAGE DRAINS DIRECTLY INTO MONTANO RD. THIS SLOPED LANDSCAPED AREA WILL REMAIN IN THE DEVELOPED CONDITION AND FREELY DISCHARGE.

PROPOSED DRAINAGE:

THE WEIGHTED E METHOD FROM THE "CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME 1 - DESIGN CRITERIA, 2006 REVISION" WAS USED TO CALCULATE THE RUNOFF AND VOLUME FOR THE SITE. THE HYDROLOGY TABLES ARE SHOWN ON THIS PAGE. THE SITE WAS DIVIDED INTO 6 BASINS WITH THE APPROPRIATE LAND TREATMENT DETERMINED AS SHOWN IN THE DRAINAGE TABLE. THE MAJORITY OF THE SITE WILL SHEET FLOW AND BE DIRECTED BY CURB AND GUTTER TO A 3'X3' GRATE INLET IN THE PARKING LOT IN THE SOUTH WEST CORNER OF THE SITE WHICH HAS THE INLET CAPACITY FOR THE EXPECTED FLOW. ROOF DRAINS FROM THE RESIDENTIAL BUILDINGS SHALL BE DIRECTED INTO THE PARKING LOT AREA AND SHEET FLOW ACROSS THE PROPERTY. THE RUNOFF SHALL THEN BE DISCHARGED DIRECTLY TO THE LAKE VIA AN 18-INCH HDPE PIPE THAT HAS THE CAPACITY TO CONVEY THE DESIGN FLOWS. THE LANDSCAPED EMBANKMENT ALONG MONTANO WILL FREELY DISCHARGE INTO THE STREET AND DOES NOT CONTRIBUTE SIGNIFICANT FLOWS. A SMALL PORTION OF THE DRIVEWAY ENTRANCE SHALL ALSO FLOW INTO MONTANO RD. NEW DEVELOPMENT SITES ARE REQUIRED TO CAPTURE AND INFILTRATE THE "STORMWATER QUALITY VOLUME" FROM THE 90TH PERCENTILE STORM. THE METHODOLOGY USED IN THE EPA REPORT "ESTIMATING PREDEVELOPMENT HYDROLOGY IN THE MIDDLE RIO GRANDE WATERSHED" APRIL 2014, YIELDS A RUNOFF VALUE OF 0.42 INCHES FOR THE 90TH PERCENTILE STORM. THEREFORE THE REQUIRED STORMWATER QUALITY VOLUME TO BE CAPTURED AND INFILTRATED IS THE PRODUCT OF THE IMPERVIOUS AREA MULTIPLIED BY 0.42 INCHES FOR NEW DEVELOPMENT SITES.

THE PEAK DISCHARGE FOR THE ENTIRE SITE IS 9.3 CFS WHICH IS MORE THAN THE HISTORIC FLOWS DUE TO THE IMPERVIOUS AREAS BEING PROPOSED BUT THE LAKE WILL HAVE THE CAPACITY TO RETAIN THE ADDITIONAL VOLUME GENERATED FROM THIS DEVELOPMENT AND WILL THEREFORE MEET THE FIRST FLUSH REQUIREMENTS. THE 10 DAY VOLUME WAS CALCULATED AND THE CAPACITY OF THE LAKE WILL BE VERIFIED TO CONFIRM THERE IS EXCESS CAPACITY.



DPM Weighted E Method

Precipitation Zone 1
East of Mesa View United Methodist Church
4701 Montano Rd NW, Albuquerque, NM 87120
TWLLC Date 2/24/2020

Existing Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr						
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs				
1	126,434	2.90	0.00454	88%	2,554	0%	0.000	0%	0.000	12%	0.348	0.624	0.151	4.82	0.219	0.053	1.62
2	23,437	0.54	0.00084	100%	0.538	0%	0.000	0%	0.000	0%	0.000	0.440	0.020	0.69	0.080	0.004	0.13
Total	149,871	3.44	0.00538		3.092		0.000		0.000		0.348					0.057	1.75

Proposed Conditions

Basin ID	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions				100-Year, 6-Hr			10-Year, 6-Hr			100-Year, 10-day			SWQV						
				Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Volume (cf)	Required (cf)	Provided (cf)					
1	40,617	0.93	0.00146	0%	0.000	65%	0.606	0%	0.000	35%	0.326	1.125	0.087	2.66	0.577	0.045	1.40	1.125	0.130	5,676	498		
2	33,156	0.76	0.00119	0%	0.000	67%	0.510	0%	0.000	33%	0.251	1.099	0.070	2.13	0.557	0.035	1.11	1.099	0.110	4,797	383		
3	33,504	0.77	0.00120	0%	0.000	55%	0.423	0%	0.000	45%	0.346	1.255	0.080	2.37	0.679	0.044	1.32	1.255	0.136	5,905	528		
4	16,888	0.39	0.00061	100%	0.388	0%	0.000	0%	0.000	0%	0.000	0.440	0.014	0.50	0.080	0.003	0.09	0.440	0.014	619	0		
5	8,212	0.19	0.00029	100%	0.189	0%	0.000	0%	0.000	0%	0.000	0.440	0.007	0.24	0.080	0.001	0.05	0.440	0.007	301	0		
6	17,494	0.40	0.00063	0%	0.000	20%	0.080	0%	0.000	70%	0.281	1.513	0.051	1.39	0.912	0.031	0.87	1.513	0.136	5,941	429		
Total	149,871	3.44	0.00538		0.576		1.619		0.000		1.205										0.534	23,239	1,837

Excess Precipitation, E (in.)		
Zone 1	100-Year	10-Year
Ea	0.44	0.08
Eb	0.67	0.22
Ec	0.99	0.44
Ed	1.97	1.24

Peak Discharge (cfs/acre)		
Zone 1	100-Year	10-Year
Qa	1.29	0.24
Qb	2.03	0.76
Qc	2.87	1.49
Qd	4.37	2.89

Equations:
Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted E * Total Area
Flow = Qa*Aa + Qb*Ab + Qc*Ac + Qd*Ad

Stormwater Quality Volume
Total Impervious Area = ΣArea in "Treatment D"
Retention depth = 0.42" Per DPM Pg. 272 0.035 Foot
Retention Volume = = 0.035 x area Cubic Feet



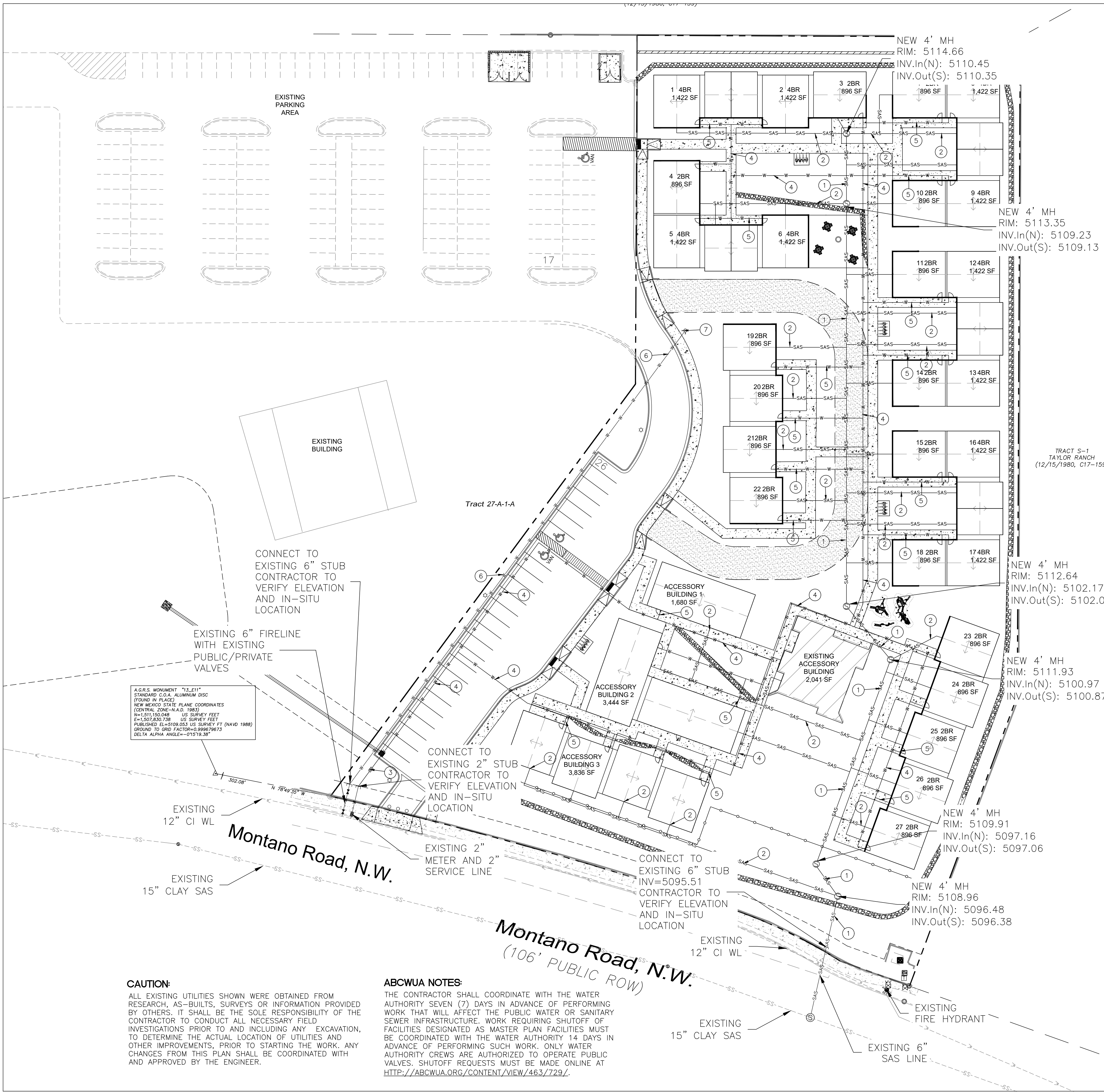
ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
PROFESSIONAL ENGINEER
7868
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SARANAM AT
4701 MONTANO RD NW
BASIN MAP PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
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DRAWN BY
LN
DATE
10/20/2021
2019080_GRE
SHEET #
C2.1
JOB #
2019080

\\TWAS\Z_Drive\2019\20190806 Golf Course & Montano 25 Unit Home (Saranam)\dwg\EP\20190806_MUE.dwg, 03, 2022, 3:09pm



LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- BUILDING
- EXISTING SIDEWALK
- RETAINING WALL
- EXISTING CURB & GUTTER
- SAS — SANITARY SEWER LINE
- W — WATERLINE
- EXISTING SAS MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING POWER POLE
- EXISTING GAS VALVE
- EXISTING OVERHEAD UTILITIES
- - - EX. UGE - - - EXISTING UNDERGROUND UTILITIES
- - - EX. 2" GAS - - - EXISTING GAS
- SS - - - EXISTING SANITARY SEWER LINE
- W - - - EXISTING WATER LINE
- - - EX. 18" RCP - - - EXISTING STORM SEWER LINE

GENERAL UTILITY NOTES:

1. ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC UTILITY CONSTRUCTION, 1986 EDITION (UPDATE NO 8) INCLUDING AMENDMENT NO 1.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
3. CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
4. ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
5. IRRIGATION AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY. CALL 811 FOR PUBLIC UTILITIES LOCATES.
9. PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.

KEYED NOTES

- ① 6" SANITARY SEWER LINE @ 2.9% SLOPE
- ② 4" SAS SERVICE LINE (CONTRACTOR TO VERIFY EXACT BUILDING CONNECTION POINTS WITH BUILDING PLUMBING PLANS) (INSTALL CLEAN OUTS PER UPC)
- ③ DOMESTIC WATERLINE BACK FLOW PREVENTOR WITH HOT BOX
- ④ 2" DOMESTIC WATERLINE
- ⑤ 3/4" WATER SERVICE LINE (CONTRACTOR TO VERIFY EXACT BUILDING CONNECTION POINTS WITH BUILDING PLUMBING PLANS)
- ⑥ 6" FIRE LINE
- ⑦ PRIVATE FIRE HYDRANT (PAINTED ORANGE)

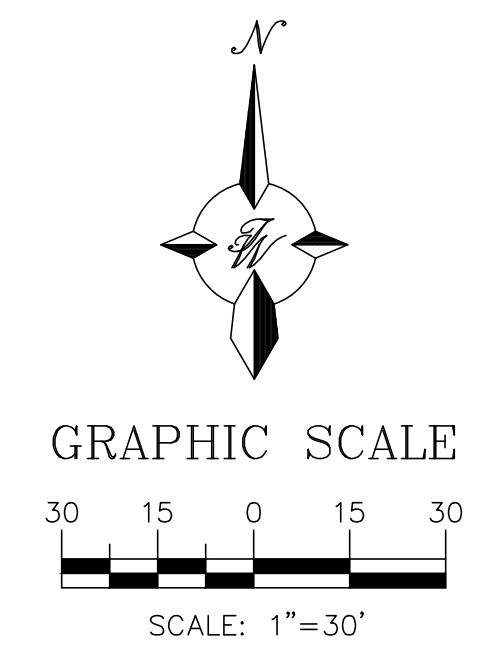
NOTE:

1. ALL WATERLINES ARE C900 PVC (DR18) UNLESS OTHERWISE NOTED. (USE DUCTILE IRON AS SUBSTITUTE)
2. ALL SANITARY SEWER LINES ARE TO BE SDR-35 PVC UNLESS OTHERWISE NOTED.
3. ALL MANHOLES <6" SHALL USE TYPE "C" MANHOLE PER ABCWUA DWG. 2101.
4. ALL MANHOLES >6" SHALL USE TYPE "E" MANHOLE PER ABCWUA DWG. 2102.

GENERAL UTILITY NOTES:

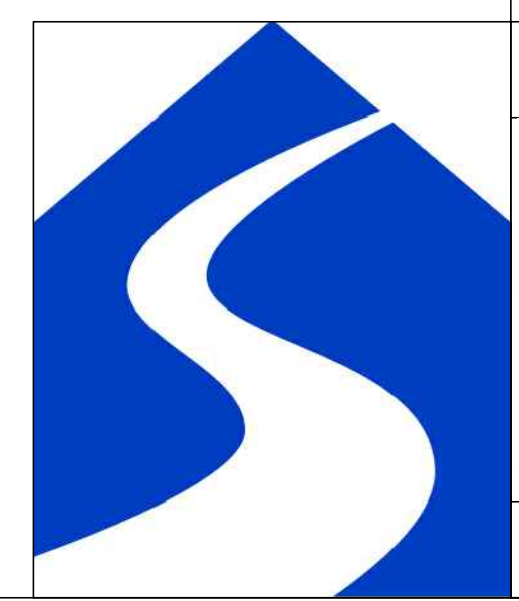
1. CONTRACTOR MUST COORDINATE WATER SYSTEM WITH SEWER SYSTEM TO PREVENT ANY CONFLICTS WHERE THESE LINES INTERSECT ONE ANOTHER.
2. PROVIDE 3 FEET OF COVER MINIMUM FOR ALL PROPOSED WATER LINES.
3. AREAS WHERE WATER PIPES CROSS OVER SEWER PIPES SHALL NOT HAVE ANY JOINTS.
4. NO FENCES, SIGNS, TREES OR ROCKWALLS TO BE PLACED WITHIN UTILITY EASEMENTS.
5. CONTACT UTILITY COMPANIES FOR EXACT LOCATION OF UNDERGROUND UTILITIES IN THIS AREA BEFORE EXCAVATION.
6. INSTALL A TRENCH SAFETY SYSTEM TO PROVIDE FOR THE SAFE EXCAVATION OF ALL TRENCHES EXCEEDING A DEPTH OF (5') FEET AS PER O.S.H.A. STANDARDS.
7. PROVIDE ADEQUATE CONCRETE THRUST BLOCKING AT THE FOLLOWING: TAPPING SLEEVES, TEES, BENDS, PLUGS AND ALL FITTINGS. REFER TO ABCWUA STANDARD DETAIL DRAWING 2320
8. P.V.C. PIPE SHALL BE PLACED WITH SELECT BEDDING MATERIAL ALL AROUND.
9. CAUTION: VERIFY LOCATION & DEPTH OF EXISTING GAS MAIN IN THE AREA OF CONSTRUCTION, BEFORE INSTALLING WATER LINE.
10. CONTRACTOR TO ADJUST WATER VALVES TO FINAL GRADE WHERE NECESSARY.

A.G.C.S. MONUMENT "13.111"
STANDARD C.G.A. ALUMINUM DISC
(STANDARD IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-NAD 83)
N=5111.50248 US SURVEY FEET
E=1507.530738 US SURVEY FEET
PUBLISHED EL=5109.053 US SURVEY FT (NAVD 1988)
GROUND TO GRID FACTOR=0.999679673
DELTA ALPHA ANGLE=0.00171336"



CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

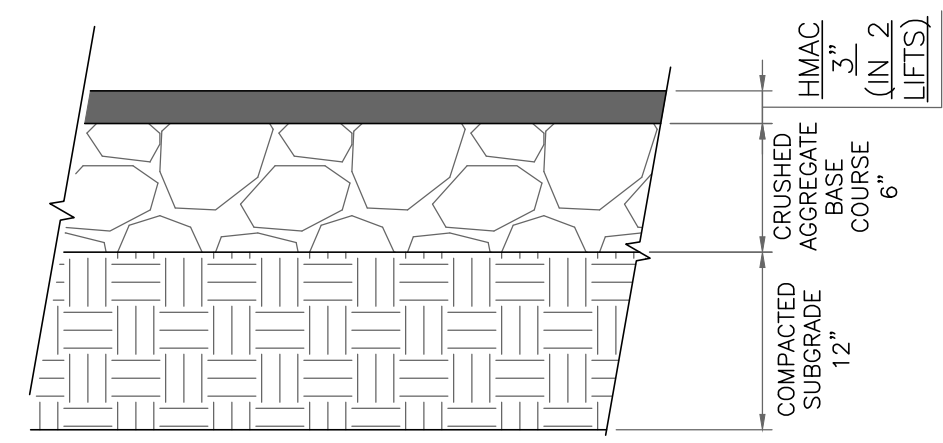
ABCWUA NOTES:
THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).



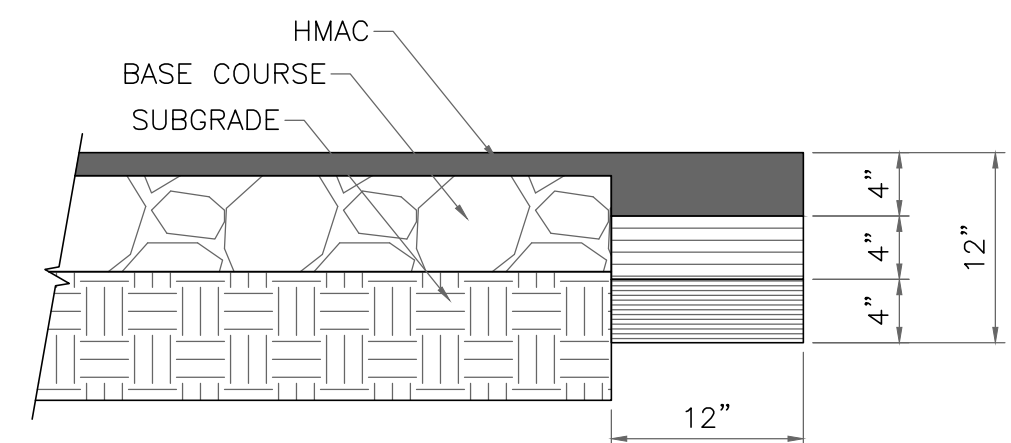
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DRAWN BY LN
DATE 10/20/2021
2019080_MUE
SHEET # **C3**
JOB # 2019080



PAVEMENT SECTION DETAIL
SCALE: NTS



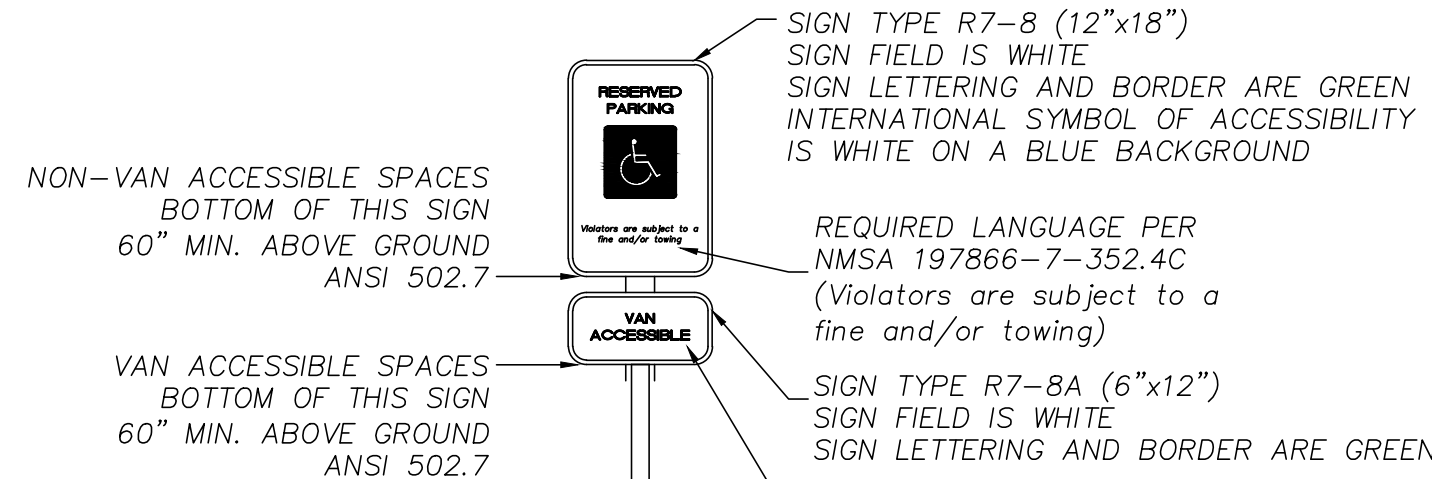
PAVEMENT TERMINUS
SCALE: NTS

PAVEMENT NOTES

- SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AS PER ASTM D1557.
- BASE TO BE COMPACTED TO NOT LESS THAN 100% DENSITY IN ACCORDANCE WITH ASTM D1557, TYPE A, GRADE 1 OR 2.
- BITUMINOUS MATERIAL SHALL CONFORM TO AC-10 OR AC-20, TYPE "C" IN ACCORDANCE WITH ASTM D3318.
- PRIME COAT TO BE 0.25 GAL. PER SQUARE YARD (MINIMUM COVERAGE) MC-70.
- COMPACTION TESTS WHERE REQUIRED BY THE CITY ENGINEER MUST BE PAID FOR BY THE DEVELOPER.
- C.B.R. TESTS WILL BE REQUIRED AT 500 FOOT INTERVALS AFTER SUBGRADE IS PLACED AND/OR A MINIMUM OF TWO TESTS IF STREET IS LESS THAN 500 FEET.
- STRICT VERTICAL CONTROL OF ALL CURB AND GUTTER ELEVATIONS WILL BE MAINTAINED. BLUE TOPPING WILL BE REQUIRED THROUGHOUT.

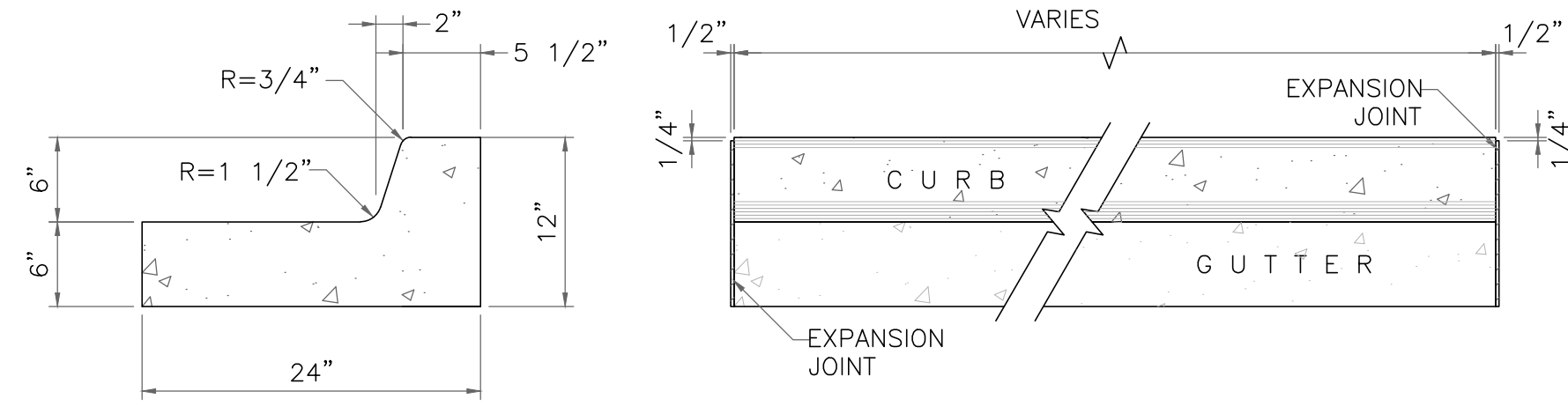
NOTE:

THICKENED EDGE SHALL BE CONSTRUCTED IN COURSED NOT OVER 4" IN THICKNESS, EACH COURSE THOROUGHLY COMPACTED BEFORE PLACING NEXT COURSE, FINAL COURSE, FINAL COURSE TO BE PLACED MONOLITHIC WITH PAVEMENT.



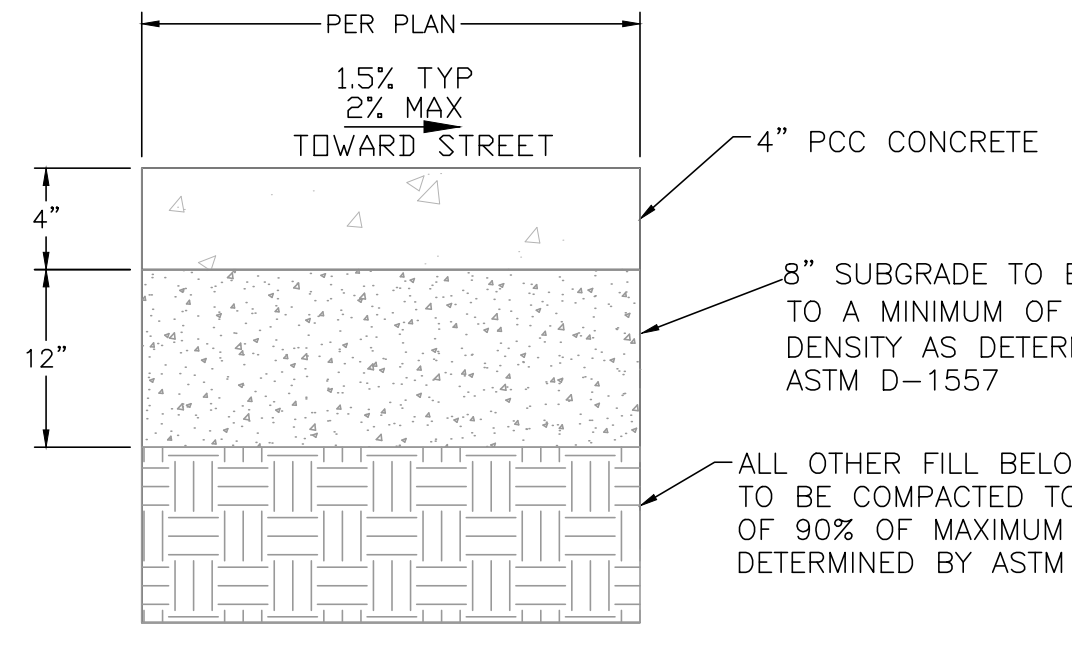
ACCESSIBLE PARKING SIGN
SCALE: NTS

TRENCHING
ALL TRENCHING SHALL BE DONE IN STRICT ACCORDANCE WITH OSHA-2226.

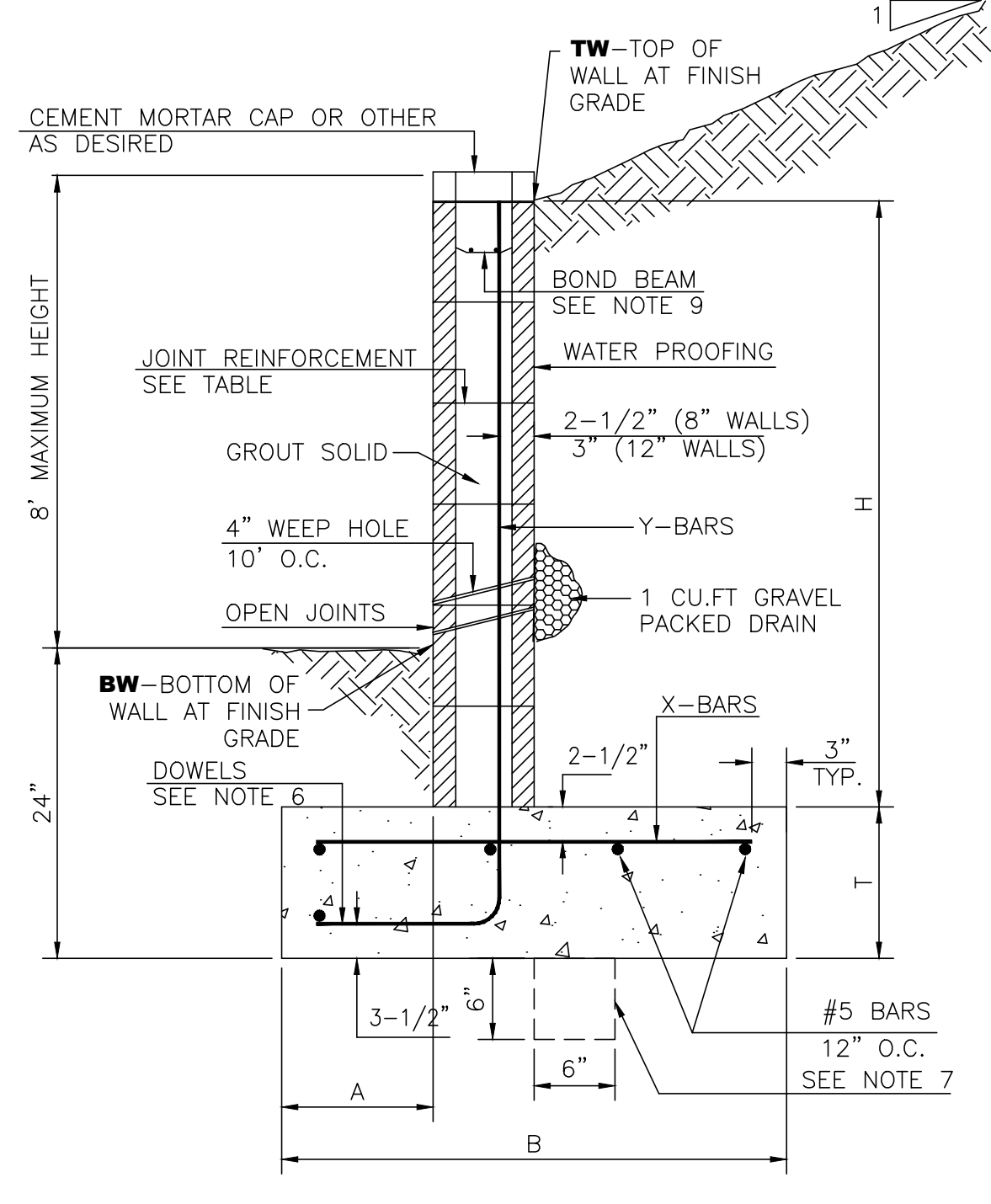


6" CURB & GUTTER DETAIL
SCALE: NTS

- NOTES:
- NO EXPANSION JOINT WILL BE REQUIRED EXCEPT AT THE END OF CURB RETURNS. (POINT OF TANGENCY WITH STRAIGHT LINE).
 - CONTRACTION JOINTS (1/2" INCH MIN.) MUST BE SCORD EVERY 10 FEET IN CURB AND GUTTER.
 - ALL EXPANSION JOINTS WILL BE OF PREFORMED BITUMINOUS FIBER 1/2" INCH THICK.
 - CONCRETE: CLASS "A" 3000 PSI.
 - EXPANSION JOINTS REQUIRED AT 5' O.C. WHEN FORMING FOR CURBS.
 - THIS DETAIL APPLIES TO PRIVATE CURB WORK ONLY.



CONCRETE SIDEWALK SECTION
SCALE: NTS

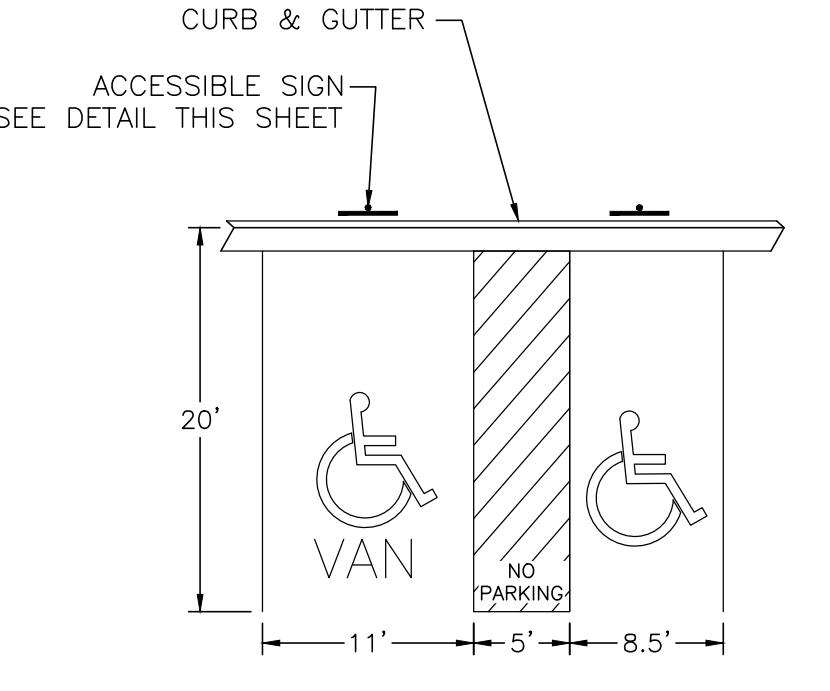


8 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.	#4 @32" O.C.	#4 @24" O.C.
3'-4"	8"	2'-4"	9"	#4 @32" O.C.	#4 @24" O.C.

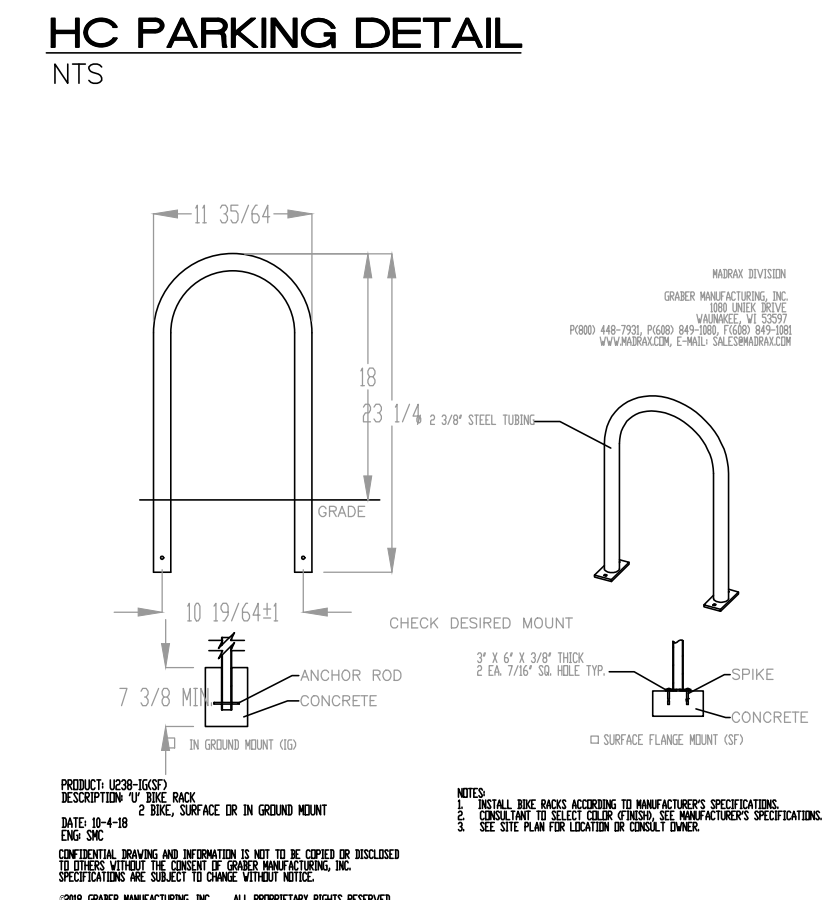
- GENERAL NOTES:
- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 - MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 - BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 - ALL BARS ARE TO BE GRADE 60, ASTM 615.
 - TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 - DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 - PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 - USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
 - BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".

RETAINING WALL DETAIL
SCALE: NTS

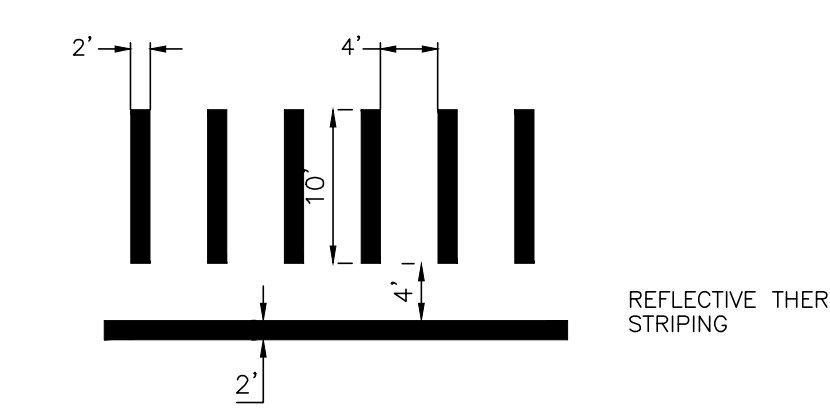


CURB & GUTTER
SCALE: NTS

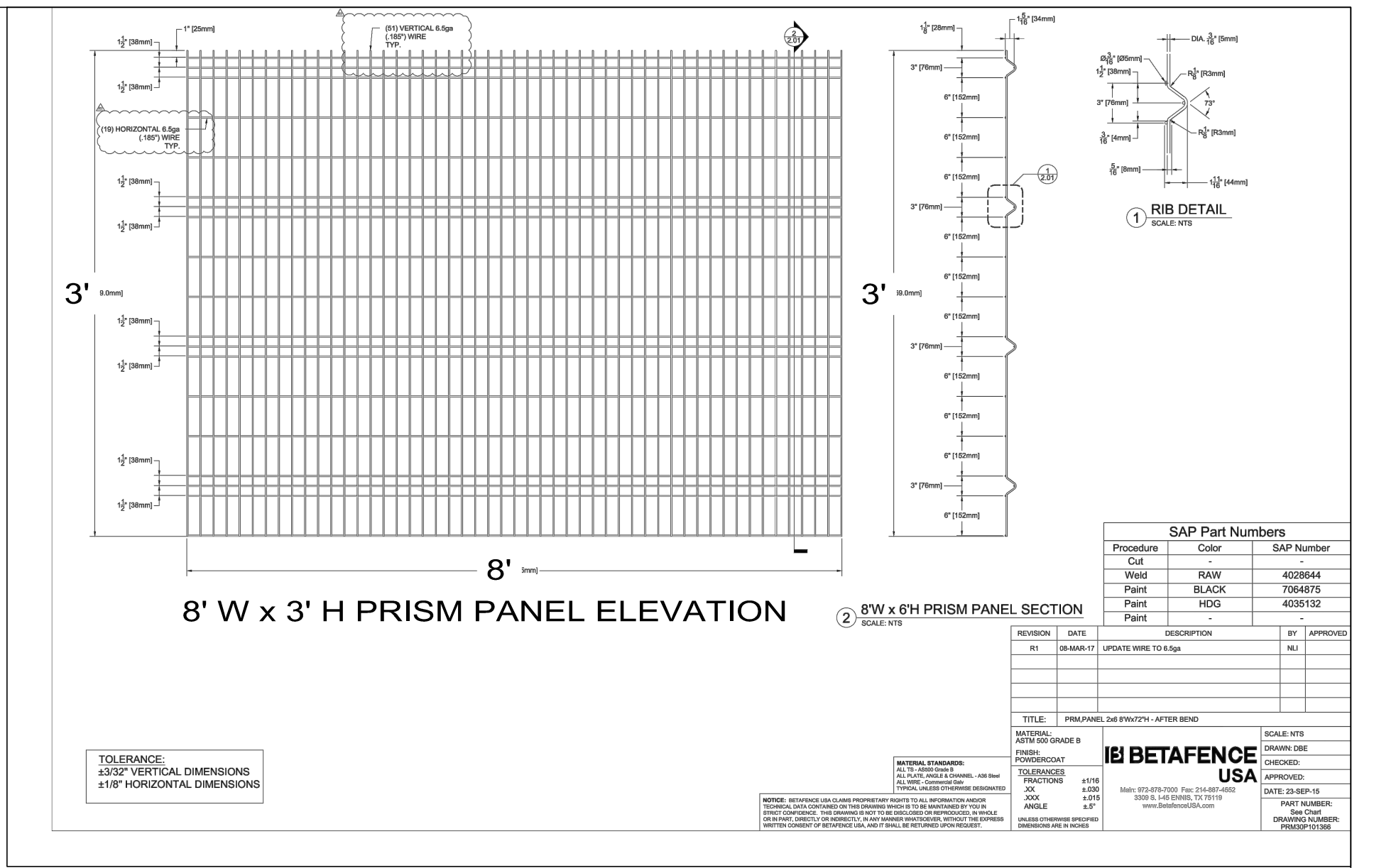
- NOTES:
- International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
 - Parking space lines and diagonal striping to be painted blue.
 - Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.



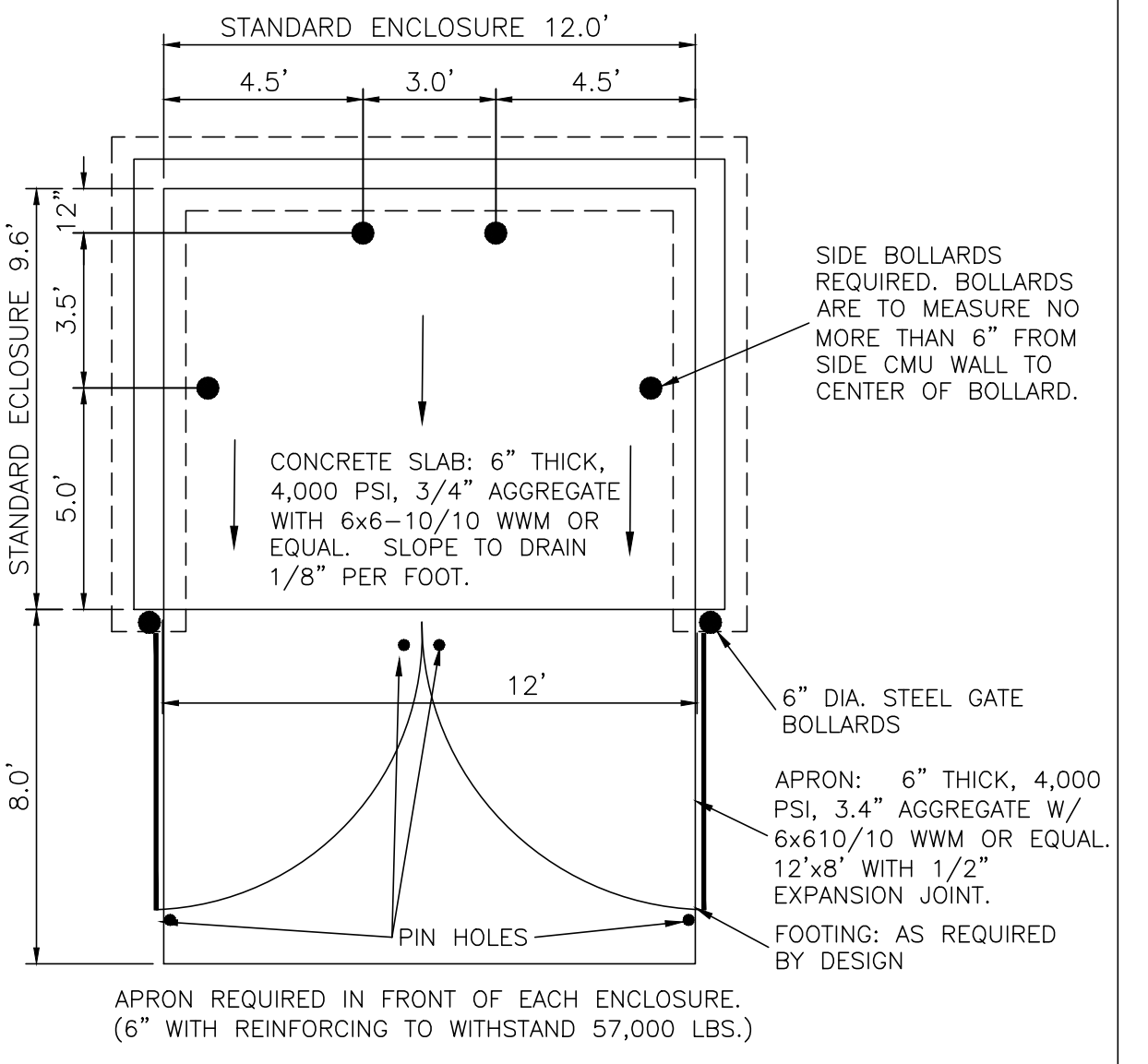
HC PARKING DETAIL
SCALE: NONE



CROSSWALK DETAIL
SCALE: NTS



8' W x 3' H PRISM PANEL ELEVATION
SCALE: NTS



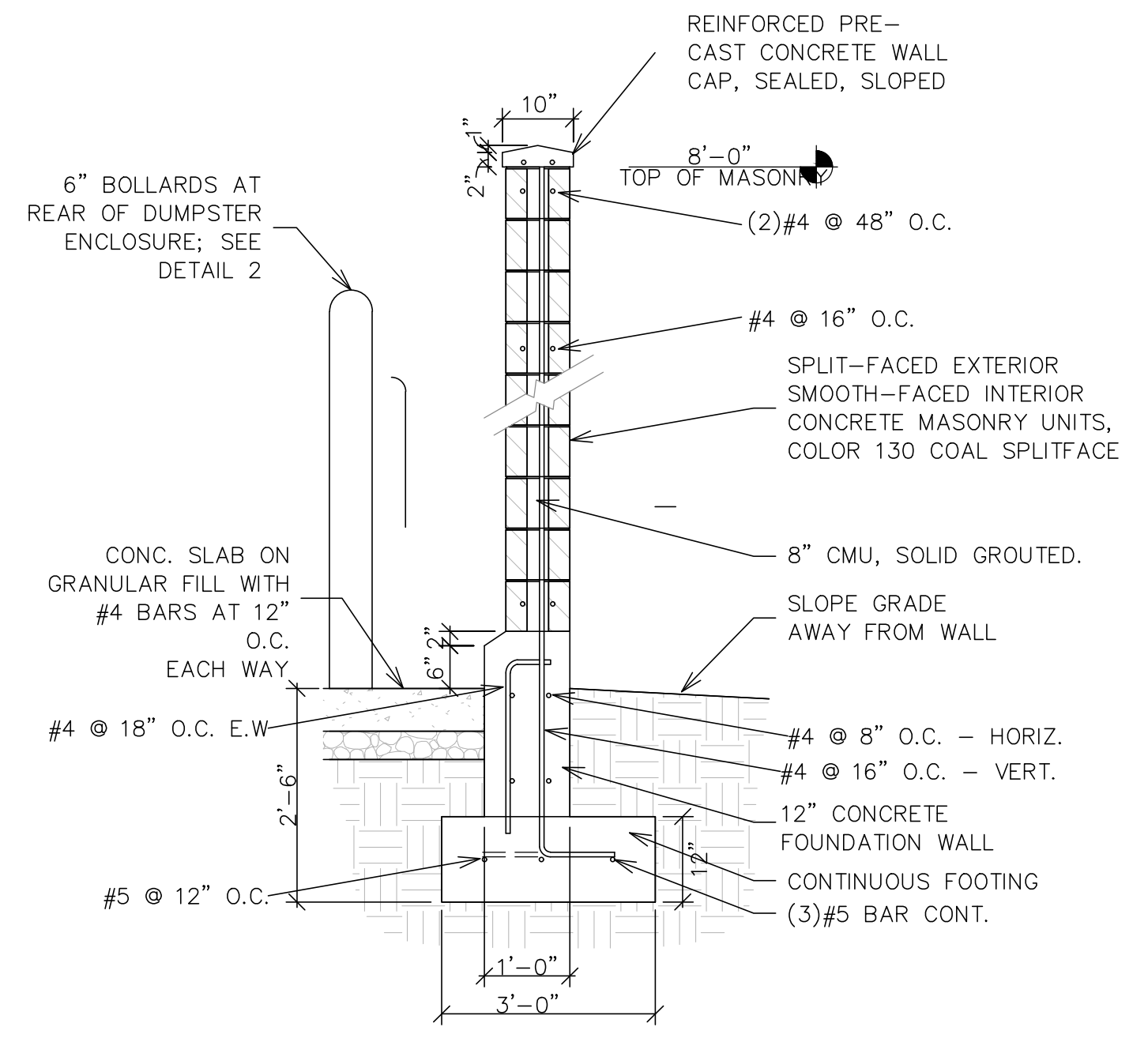
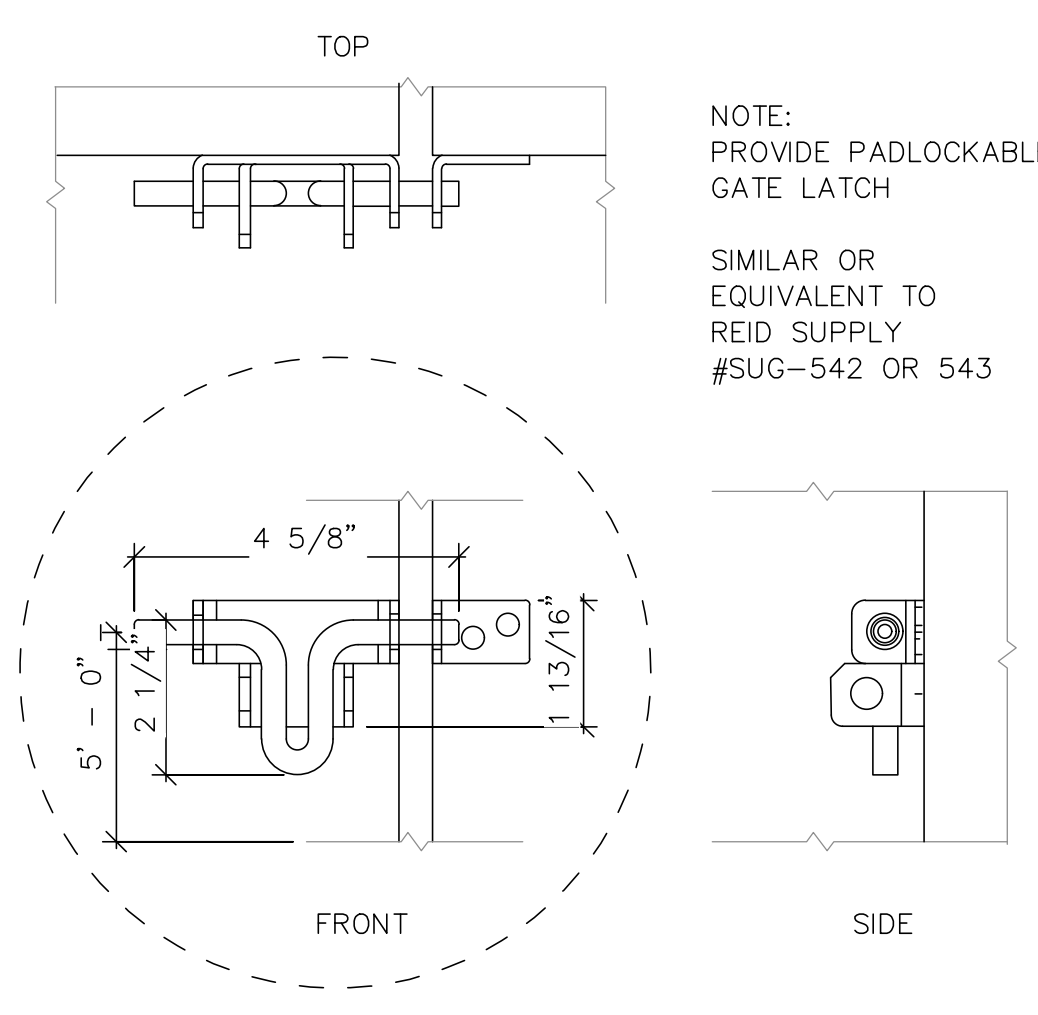
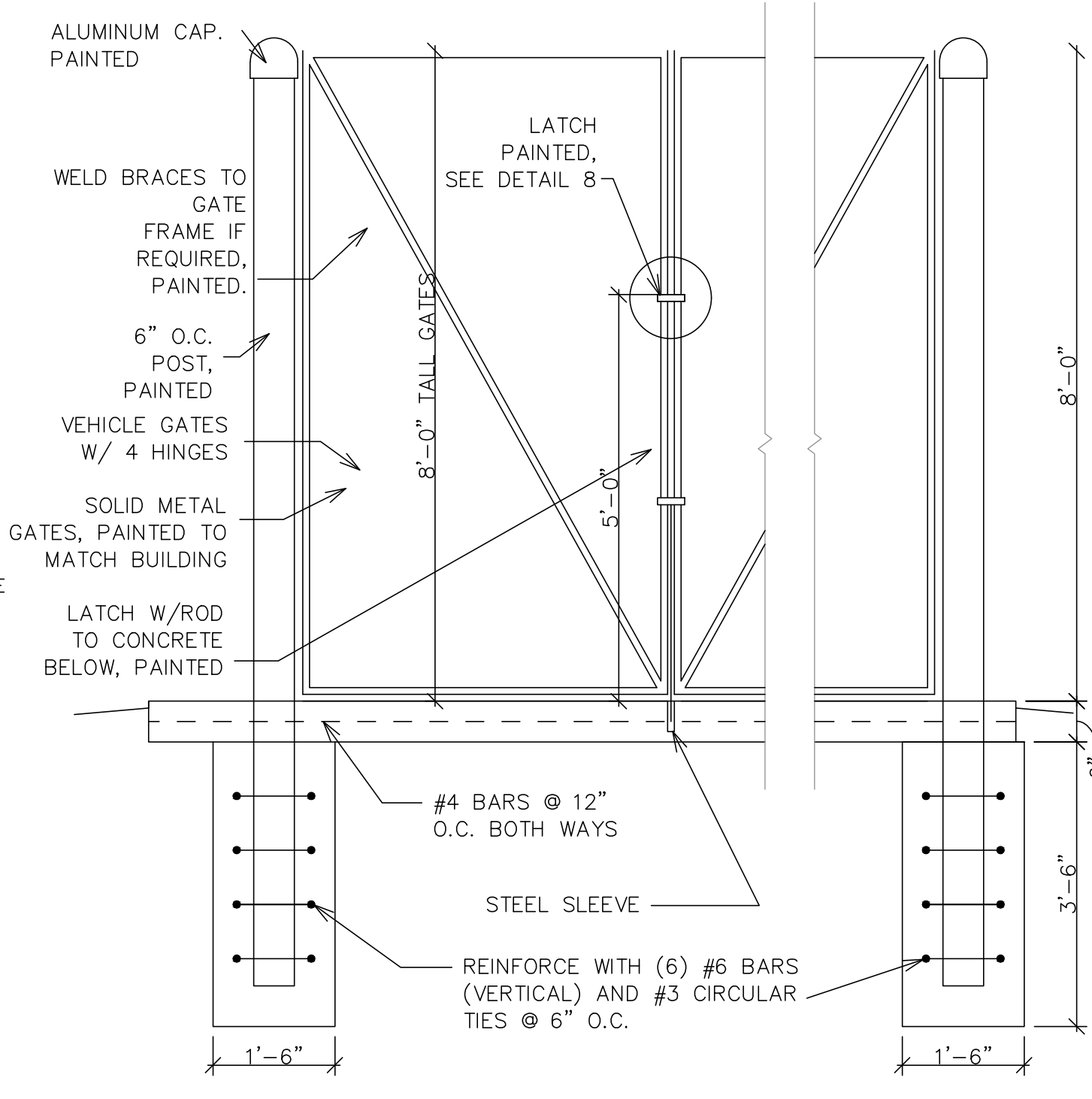
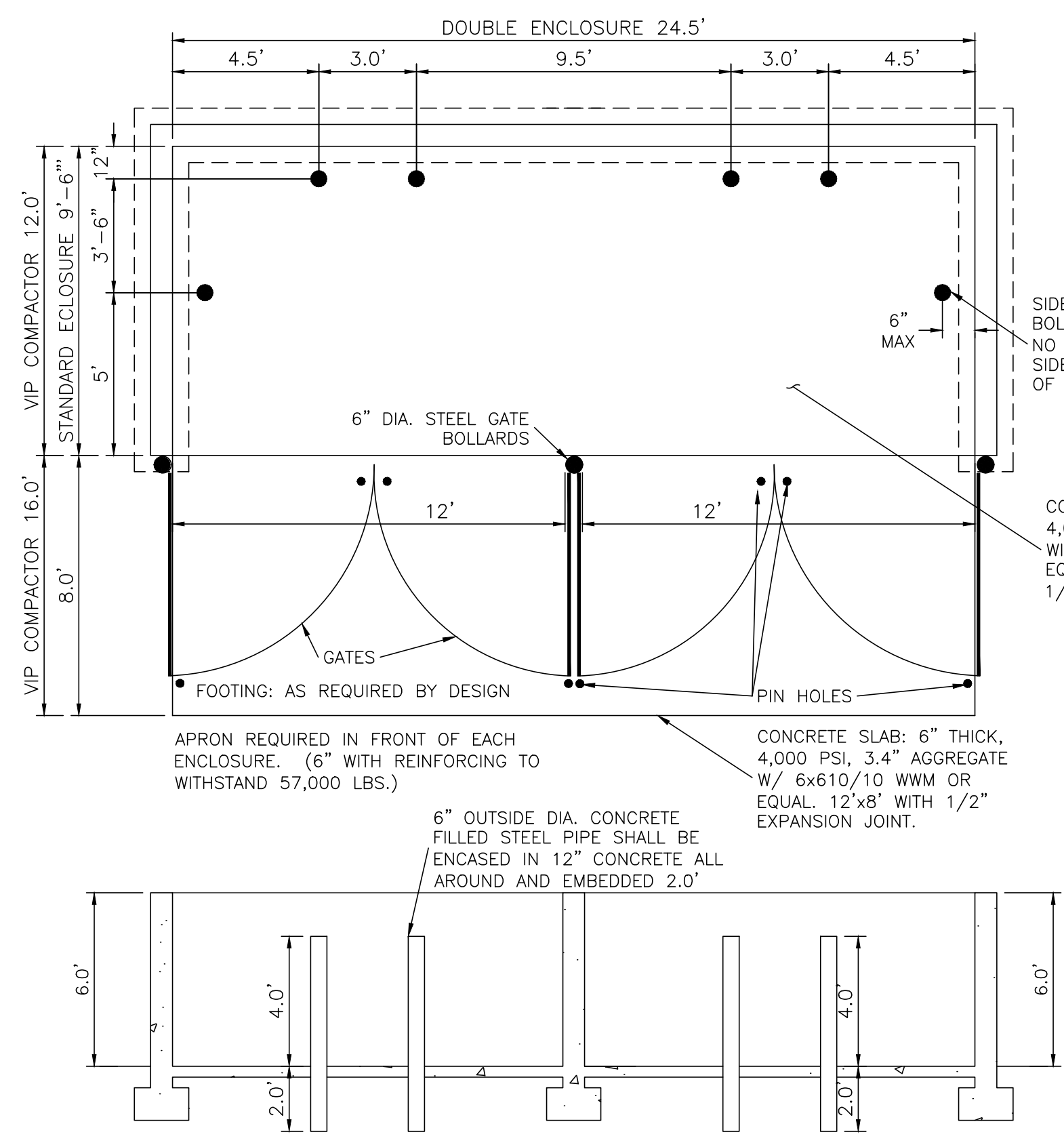
SINGLE DUMPSTER ENCLOSURE DETAIL
SCALE: NTS

- NOTE:
- THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 - SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.



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2019080_DTE
SHEET # C4.1
JOB # 2019080



Dumpster Enclosure Gate Detail

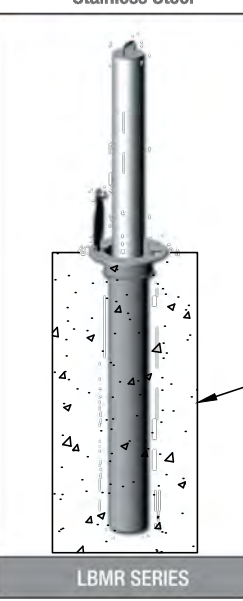
Dumpster Enclosure Gate Latch Detail

Dumpster Enclosure Wall Section

NOTE:

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- SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL NTS

MANUAL OPERATED RETRACTABLE RECOMMENDED USES	MANUAL LIFT BOLLARD	MANUAL OPERATED RETRACTABLE BOLLARD
MIN SECURITY Parking Garages Traffic Control Car Dealerships Schools	Stainless Steel  LBMR SERIES	MIN SECURITY Higher Strength Dimensions Length Height Diameter LBMR4600 4" 36" LBMR4604 4" 36" LBMR4680 4" 36" LBMR6500 6" 36" LBMR6580 6" 36"

CONCRETE BOLLARD FOUNDATION 18" MINIMUM SQUARE OR GREATER AS REQUIRED BY MANUFACTURER'S SPECIFICATION

CALPIPE SECURITY BOLLARDS - 12021 WOODRUFF AVENUE, DOWNEY, CA 90241 - TEL: 877-283-8518 - CALPIPEBOLLARDS.COM 17

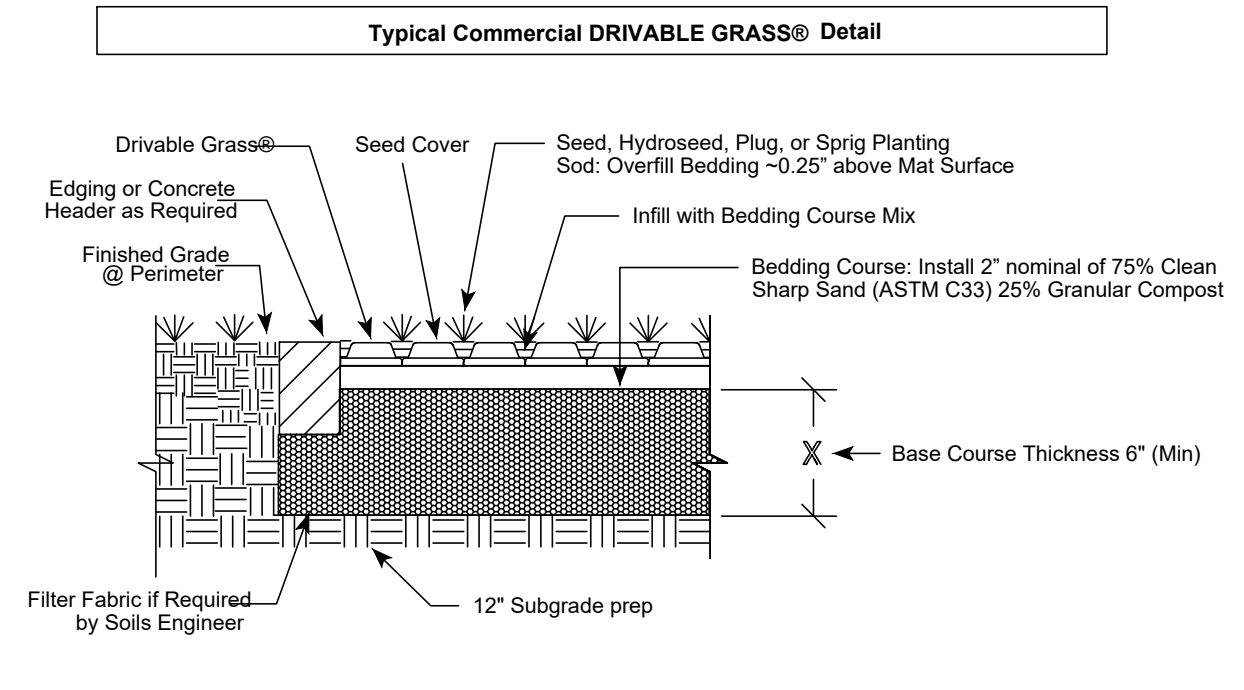
BOLLARD SPECIFICATION

Property	Value
Nominal Area (LxWth)	24" x 24" x 1.5"
Gross Area of each mat	4 s.f.
Concrete Strength	5000 psi
Weight of each mat	45 lbs
Flexibility (min. radius of curvature)	12 in
Plantable Area	61% (100% for Sod)
Concrete Surface Area	39%
Concrete Bearing Area	90%
Mats per pallet	60
Area covered per pallet	240 s.f.
Color	Buff/Tan, Grey

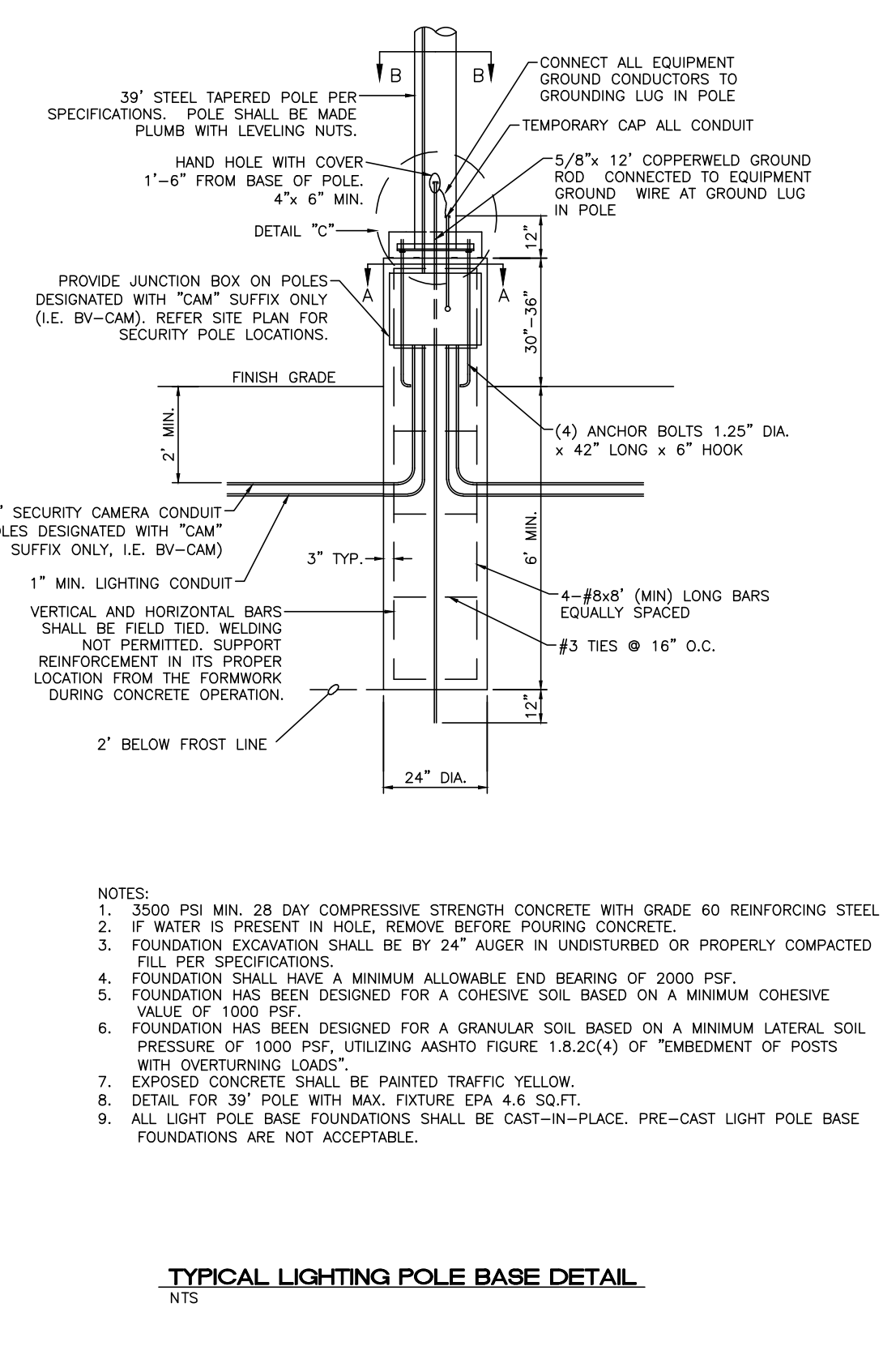
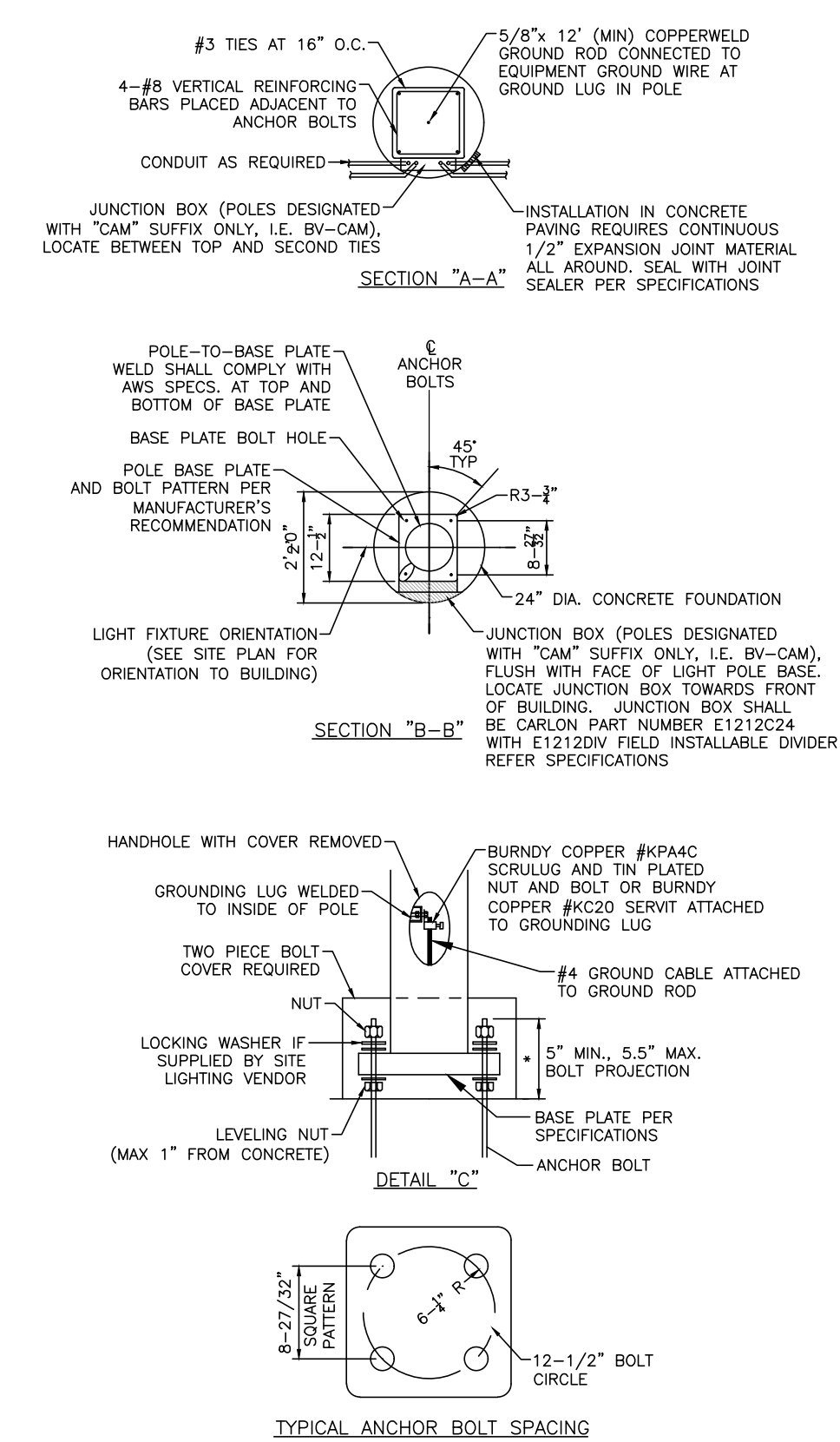
* other colors available for special order

Installation Overview

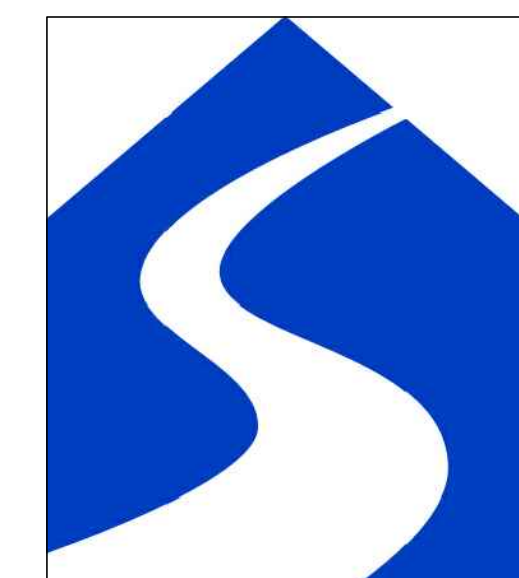
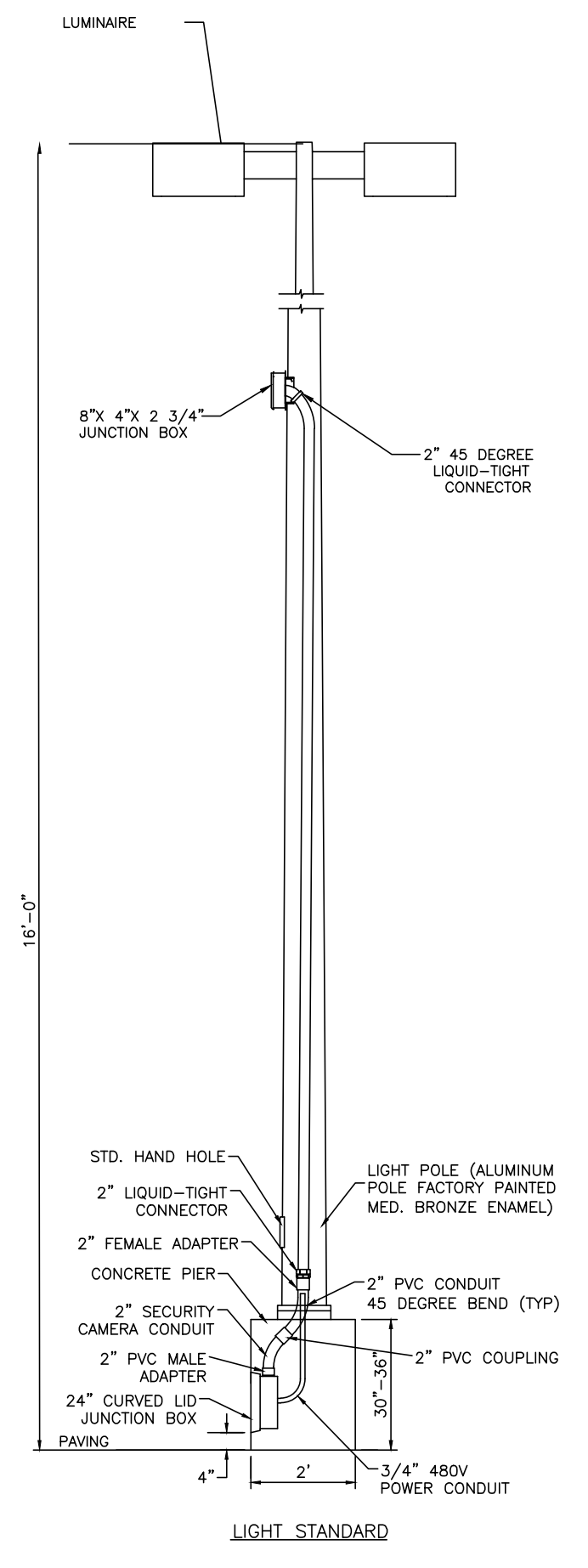
- Subgrade Preparation**
 - Excavate and prepare subgrade as specified
 - Install filter fabric, if required
 - Install Base Materials, Edge Restraints, Sub-Drains and Irrigation as required**
 - Install Bedding Layer (see Typical Commercial Detail)**
 - Compact to get a uniform level surface before placing DRIVABLE GRASS® mats
 - Install specified bedding mix makeup per manufacturers recommendations
 - Non-planting: add a thin layer of sand for leveling
 - Install the DRIVABLE GRASS® Mats**
 - Place the mats butted up against each other
 - Grid can be cut with utility knife or chisel. Mats can be cut with masonry blade
 - Lightly compact before infill to set mat into bedding course layer
 - Non-planting: staking may be required based on application and infill material
 - Infill (and Plant)**
 - Infill with same bedding mix makeup as bedding layer
 - Seed: Broom in to 1/2" off top of mat surface before applying seed.
 - Use seed cover and keep moist to promote germination
 - Sod: Overfill mats 1/2" above surface before laying sod, then roll to set
 - Hydroseed: Mix seed with hydromulch and apply as specified
 - Non-planting: Broom in specified infill below mat surface. Overfill is not recommended.
 - Plant Establishment**
 - Protect area until root system is established.
 - Driving can typically begin after the second mowing.
- For complete Installation Instructions see our website www.soilretention.com/drivable-grass/professional/



DRIVEABLE GRASS SPECIFICATION



TYPICAL LIGHTING POLE BASE DETAIL NTS



ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868 02/03/2022	SARANAM AT 4701 MONTANO RD NW	DRAWN BY LN
	CONSTRUCTION DETAILS	DATE 10/20/2021
 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C4.2	JOB # 2019080

\\TWNASVZ_Drive\2019\2019080 Golf Course & Montano 25 Unit Home (Saranom)\dwg\EPCC\2019080_DTE.dwg Feb 03, 2022 - 3:10pm

GENERAL NOTES

- PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
- THE CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
- THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.
- LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. CLEAN SURFACE OF PLATE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (ASHITO M 69).
- THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
- CULVERT MUST BE PERPENDICULAR TO THE CURB.

CONSTRUCTION NOTES

- INSTALL 1/2" EXPANSION JOINT.
- 7" DEPTH WHEN USED IN CONJUNCTION WITH 6" CURB; 5" DEPTH WHEN USED WITH 6" CURB.
- 3" RADIUS (TYPICAL).
- 3/8" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
- NO. 3 REBAR ---, SPACE AT 18" O.C. MAXIMUM, 1/2" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
- WELD 3/8" STEEL ROD TO PLATE, FULL LENGTH OF PLATE; GRIND ENDS FLUSH TO THE FACE OF CURB.

REVISIONS

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DRAINAGE SIDEWALK CULVERT PLAN, AND SECTIONS A-A AND B-B DWG. 2236
	JUNE 2019

GENERAL NOTES

- DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- REQUEST FOR SIDEWALK VARIANCES SHALL BE SUBMITTED TO THE DEVELOPMENT REVIEW BOARD.
- USE 1/2" EXP. JT. WHERE SIDEWALK OR DRIVEPAD ABUTS BLOSSES, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- ALL DRIVEPADS SHALL BE A MIN. THICKNESS OF 6" AND SHALL BE CONSTRUCTED FROM BACK OF CURB TO P/L. FOR DRIVEWAY WIDTHS, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL.
- DRIVEPADS WIDER THAN 18" (NOMINAL) SHALL HAVE A 1/2" EXP. JT. AT MIDPOINT. DRIVEPADS WIDER THAN 36" SHALL HAVE 2 OR MORE 1/2" EXP. JTS. EQUALLY SPACED, MAX. SPACING IS 18' APART.
- SIDEWALK AT THE BACK OF CURB SHALL BE USED ONLY WHEN VARIANCE IS APPROVED.
- FOR SIDEWALK WIDTH, CONSULT CHAPTER 7 OF THE DEVELOPMENT PROCESS MANUAL (4' MIN. WIDTH ON ACCESSIBLE ROUTE).
- SUBGRADE UNDER SIDEWALK & DRIVEPAD SHALL BE COMPACTED AS PER SECTION 301.
- ADA - AMERICANS WITH DISABILITIES ACT.

CONSTRUCTION NOTES

- SIDEWALK ADJACENT TO CURB.
- OFFSET SIDEWALK.
- 1/2" EXPANSION JOINT ADJACENT TO EXISTING CONCRETE OR STRUCTURES ON REPLACEMENT WORK.
- CURB AND GUTTER.
- SLOPE TO BE ADJUSTED TO PROVIDE A UNIFORM TRANSITION BETWEEN SIDEWALK AND DRIVEPAD (NOT TO EXCEED 8.3% 7% PREFERRED SLOPE).
- TOP OF DRIVEPAD.
- TOP OF CURB.
- PROPERTY LINE, RIGHT-OF-WAY LINE.
- 4' MIN SIDEWALK WIDTH.
- SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- THE FINISH GRADE ELEVATION DIFFERENCE BETWEEN TOP OF DRIVEPAD AT PROPERTY LINE AND TOP OF CURB IS DETERMINED BY A 2% MAXIMUM SLOPE, AND ANY DEVIATION FROM THIS SLOPE MUST BE APPROVED BY THE CITY ENGINEER.

REVISIONS

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	DRIVEPADS
	DWG. 2425A
	JUNE 2019

GENERAL NOTES

- RUNNING SLOPE OF A CURB RAMP SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET TO AVOID CHANGING THE SLOPE INSTANTLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 15-FOOT MAXIMUM LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS THE MAXIMUM EXTENT AS FEASIBLE.
- SEE CDA STD. DWG. 2446 FOR DETECTABLE WARNING DEVICE DETAILS.

CONSTRUCTION NOTES

- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (PREFERRED SLOPE OF 1.5%). TURNING SPACE SHALL BE 5.0 FT BY 5.0 FT AT THE TOP OF THE CURB RAMP.
- 8.3% MAX. SLOPE OF RAMP, 7% PREFERABLE SLOPE OF RAMP.
- GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
- COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
- FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX. MEASURED PARALLEL TO THE BACK OF THE CURB.
- 2% MAXIMUM CROSS-SLOPE. 1.5% PREFERRED CROSS-SLOPE.
- FILLET SHARP CURVES EXPOSED TO TRAFFIC TO 6" MINIMUM RADIUS.

REVISIONS

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443
	JUNE 2019

REVISIONS

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	PARALLEL AND DIAGONAL CURB RAMPS
	DWG. 2443
	JUNE 2019



ENGINEER'S SEAL
 RONALD R. BOHANNAN
 NEW MEXICO
 7868
 PROFESSIONAL ENGINEER
 02/03/2022
 RONALD R. BOHANNAN
 P.E. #7868

SARANAM AT 4701 MONTANO RD NW CONSTRUCTION DETAILS	DRAWN BY LN DATE 10/20/2021
	2019080_DTE
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C4.3
	JOB # 2019080



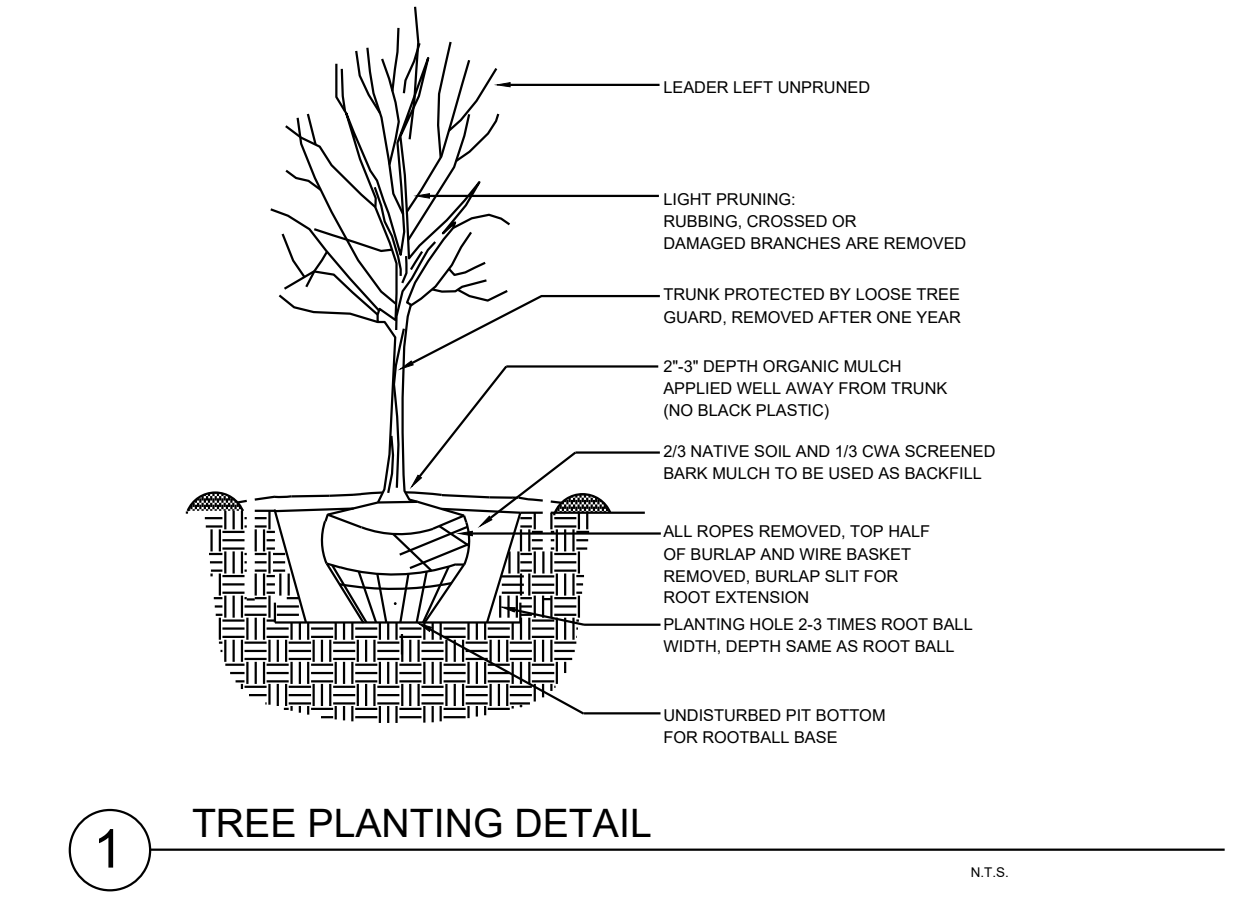
EXISTING TREES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.

Plant Schedule

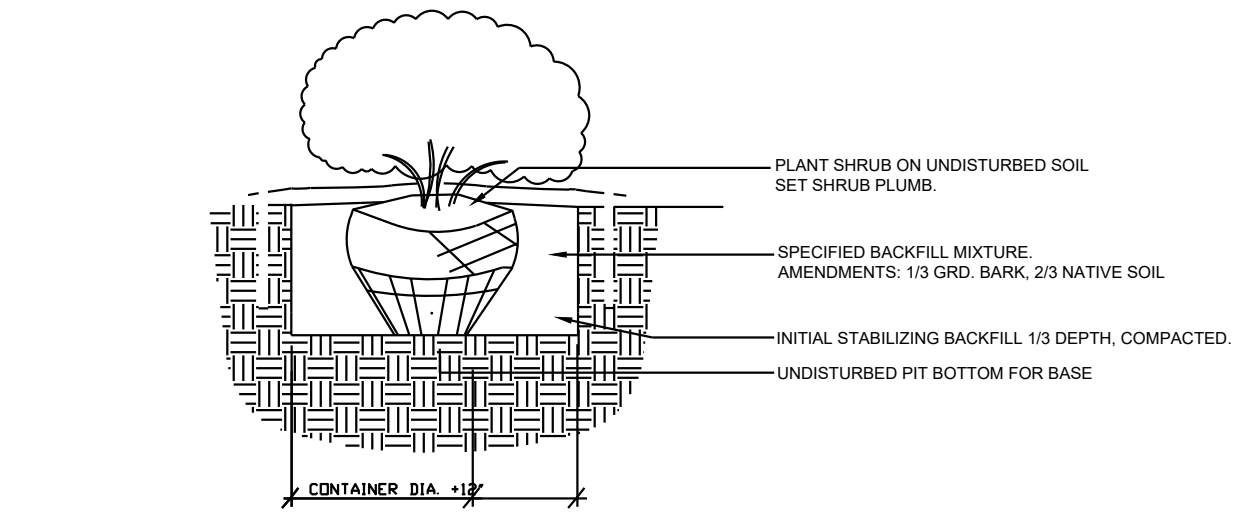
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	COVERAGE
EXISTING TREE	3		VARIES	25' x 25'	625 X 3 = 1,875
DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
CERCIS RENIFORMIS 'OKLAHOMA' / OKLAHOMA RED BUD	11		2" B&B	20' X 15'	300 X 11 = 3,300
FORESTIERA NEOMEXICANA / NEW MEXICAN PRIVET	10		24" BOX	12' X 12'	144 X 10 = 1,440
PISTACIA CHINENSIS / CHINESE PISTACHE	13		2" B&B	25' X 25'	625 X 13 = 8,125
PYRUS CALLERYANA 'CLEVELAND SELECT' / CLEVELAND SELECT PEAR	16		2" B&B	25' X 16'	400 X 16 = 6,400
ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	5		2" B&B	50' X 25'	1,250 X 5 = 6,250
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
PINUS NIGRA / AUSTRIAN BLACK PINE	21		6"-8" B&B	20' X 10'	200 X 21 = 4,200
			TREE SUBTOTAL:		31,590 SF
DESERT ACCENTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
HESPERALOE PARVIFLORA / RED YUCCA	14		5 GAL	4' X 4'	16 X 14 = 224
NOLINA MICROCARPA / BEARGRASS	15		5 GAL	5' X 5'	25 X 15 = 375
FLOWERING PLANTS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
GAURA LINDHEIMERI 'WHIRLING BUTTERFLIES' / WHIRLING BUTTERFLIES GAURA	47		1 GAL	3' X 3'	9 X 47 = 423
SALVIA X 'ULTRA VIOLET' / ULTRA VIOLET SAGE	72		5 GAL	3' X 3'	9 X 72 = 216
SALVIA X SYLVESTRIS 'MAY NIGHT' / MAY NIGHT SAGE	32		5 GAL	2' X 1'	2 X 32 = 64
GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	98		1 GAL	5' X 2'	10 X 98 = 980
MUHLENBERGIA CAPILLARIS 'REGAL MIST' TM / MUHLY	98		5 GAL	3' X 3'	9 X 98 = 882
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SPIREA	44		1 GAL	3' X 3'	9 X 44 = 396
POTENTILLA FRUTICOSA / POTENTILLA	6		1 GAL	3' X 3'	9 X 6 = 54
RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	53		5 GAL	4' X 4'	16 X 53 = 848
SALVIA GREGGII / AUTUMN SAGE CHERRY	63		1 GAL	3' X 3'	9 X 63 = 567
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
CYTISUS SCOPARIUS 'ALL GOLD' / SCOTCH BROOM	9		5 GAL	4' X 5'	20 X 9 = 180
ERICAMERIA LARICIFOLIA / TURPENTINE BUSH	48		5 GAL	3' X 3'	9 X 48 = 432
RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	35		5 GAL	3' X 4'	12 X 35 = 420
GROUNDCOVERS	QTY	BOTANICAL / COMMON NAME	SIZE	H X W	
JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	19		5 GAL	1' X 6'	6 X 19 = 114
			GROUNDCOVER SUBTOTAL:		6,175 SF
			TOTAL COVERAGE:		37,765 SF

Material Schedule

SYMBOL	DESCRIPTION
(Circle)	MEDIUM BOULDER
SYMBOL	DESCRIPTION
(Stippled)	3/4" GREY CRUSHED GRAVEL 2" DEPTH OVER FILTER FABRIC
(Dotted)	NATIVE SEEDING
(Horizontal lines)	CONCRETE
(Vertical lines)	SOD
(Cross-hatched)	WOOD CHIPS
(Grid pattern)	GRASS PAVERS



1 TREE PLANTING DETAIL N.T.S.



2 SHRUB PLANTING DETAIL N.T.S.

SITE DATA

GROSS LOT AREA (3.44 ACRES)	149,871 SF
LESS BUILDING(S)	52,938 SF
NET LOT AREA	96,933 SF
REQUIRED LANDSCAPE (15% OF NET LOT AREA)	14,540 SF
PROPOSED LANDSCAPE	76,671 SF
PERCENT OF NET LOT AREA	79 %

REQUIRED LANDSCAPE COVERAGE	
STREET TREES (1 TREE PER 25 LF)	12
PARKING LOT TREES (1 TREE PER 10 SPACES)	3
SITE TREES (1 TREE PER DWELLING UNIT)	27
LIVE COVERAGE (75% OF 76,671)	57,503 SF
PROVIDED LANDSCAPE COVERAGE	
STREET TREES	12
PARKING LOT TREES	3
SITE TREES	79
PLANTING LIVE COVERAGE	37,765 SF
NATIVE SEEDING COVERAGE	42,431 SF
GROUNDCOVER PLANTING (25% MINIMUM)	48,606 SF
TOTAL LIVE COVERAGE FOR SITE	80,196 SF (104%)

LEGAL DESCRIPTION:
 LOT 27A2 SUBDIVISION- TAYLOR RANCH, IDO-ZONE MX-L

GENERAL NOTES:

1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
2. LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF. SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION AND PLACEMENT OF CURB CUTS.
3. THE LANDSCAPE PLAN IS DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.
4. PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN 'CLEAR SIGHT' AREAS.
5. THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND LEVEL PLANTS.

PLANTINGS NOTES:

1. THE LANDSCAPE DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.
2. THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.
3. ALL LANDSCAPE AREAS SHALL BE COVERED WITH MULCH. USE GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC.
4. WHERE MULCH IS ADJACENT TO THE CONCRETE, FINISH GRADE OF MULCH SHALL BE APPROXIMATELY 1/2" BELOW THE TOP OF CONCRETE.
5. ORGANIC MULCH, SUCH AS WOOD CHIPS OR PECAN SHELLS, IS REQUIRED AS GROUND COVER OVER THE PORTION OF ANY LANDSCAPE AREAS SURROUNDING THE VEGETATION ROOT BALL, AS WELL AS BENEATH THE ENTIRE TREE CANOPY OR DRIPLINE, IN EACH REQUIRED LANDSCAPE AREA.
6. ALL NATIVE SEED AREA SOILS ARE TO BE AMENDED WITH COMPOST MULCH BEFORE SEEDING.
7. BROWN STEEL EDGING IS TO BE PLACED BETWEEN ALL AREAS OF GRAVEL AND NATIVE SEEDING. BETWEEN AREAS OF GRAVEL AND SOD, OPTIONAL 6" MOW CURB OR GREEN STEEL EDGING IS TO BE PLACED.

IRRIGATION NOTES:

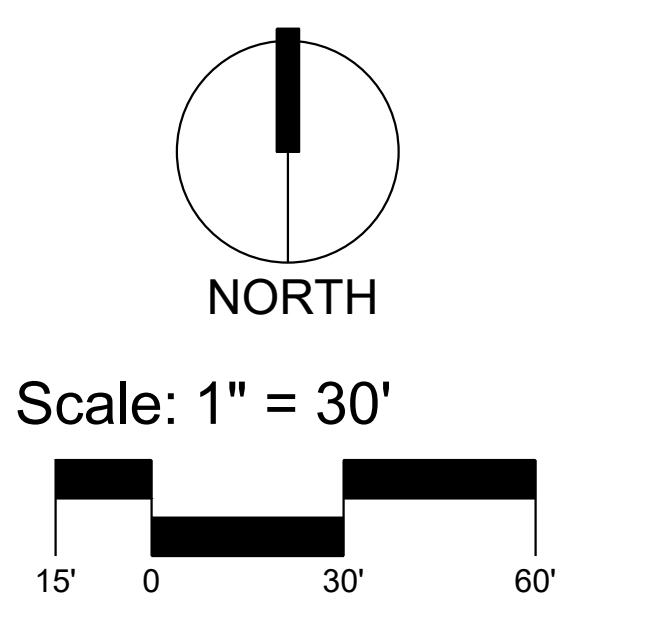
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM.
2. WATER MANAGEMENT AND THE MAINTENANCE OF THE IRRIGATION SYSTEM IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
3. THE IRRIGATION SYSTEM SHALL BE CONNECTED TO CITY WATER. THE POINT OF CONNECTION SHALL CONSIST OF A WATER METER, BACKFLOW PREVENTER, AND MASTER VALVE.
4. USE SIX 2 GPH EMITTERS PER EACH TREE AND TWO 2 GPH EMITTERS PER EACH SHRUB/GROUNDCOVER. USE SIX 2 GPH DRIP EMITTERS PER TREES IN POTS. SEPARATE IRRIGATION ZONES SHALL BE DESIGNED FOR TREES AND SHRUBS/GROUNDCOVERS.
5. ALL NATIVE SEED TO BE SPRAY IRRIGATED.
6. INSTALL THRUST BLOCKS WHEREVER THE MAINLINE BENDS IN NINETY DEGREE ANGLE.
7. INSTALL SLEEVES TWO SIZES LARGER THAN THE SLEEVED PIPE UNDER ALL HARD SURFACES.
8. THE BACKFLOW SIZE AND LOCATION IS ASSUMED ONLY, BASED ON THE LATEST AVAILABLE UTILITY PLAN. GENERAL CONTRACTOR TO PROVIDE THE IRRIGATION WATER STUB OUT AND ELECTRICITY FOR THE HOTBOX.
9. ALL SLEEVES ARE ASSUMED TO BE PLACED PRIOR HARDCAPE WITHOUT THE NEED OF BORING.

YELLOWSTONE
 LANDSCAPE

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Date: 1/13/2022
 Revisions:
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 ▲
 ▲
 ▲
 Drawn by: RC
 Reviewed by: CM

Saranam Site Landscape
 Montano Rd & Taylor Ranch Rd NW
 Albuquerque, New Mexico



Sheet Title:
Landscape Plan

Sheet Number:
LP-01