

SITE DEVELOPMENT PLANS

SEVEN BREW

2600 JUAN TABO BOULEVARD

ALBUQUERQUE, NEW MEXICO

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY & BOUNDARY: PRECISION SURVEYS, INC.
9200 SAN MATEO BOULEVARD
ALBUQUERQUE, NM 87113
PH: (505) 856-5700
- CEI ENGINEERING AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES.
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:**
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO CONTRACTOR:**
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. **RESIDENT ENGINEERING SERVICES:**
WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S FIELD CONSTRUCTION MANAGER:

KEN BROCK
7B NEW MEXICO, LLC
PHONE: (316)-684-8100

SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR, THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

FLOOD CERTIFICATION:

BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY. THIS PROPERTY IS LOCATED IN ZONE "X" UNSHADED WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR BERNALILLO COUNTY, NEW MEXICO
MAP NUMBER: 35001C0357H
MAP REVISED: AUGUST 16, 2012

APPROVED

CITY OF ALBUQUERQUE

DATE



VICINITY MAP

NOT TO SCALE

CEI CONTACT:

MICHAEL SERRATO
PROJECT MANAGER
2600 NE 11TH ST., SUITE 300
BENTONVILLE, AR 72712
MSERRATO@CEIENG.COM
PHONE: (479) 715-4425

OWNER:

7B NEW MEXICO, LLC
KEN BROCK
8100 EAST 22ND ST NORTH
BLDG 300-100
WICHITA, KS 67226
KENBROCK720@GMAIL.COM
PHONE: (316)-684-8100

ARCHITECT:

GALLOWAY
CHRIS CARLSON
400 S EMPORIA, SUITE 300,
WICHITA, KS 67202
CHRISCARLSON@GALLOWAYUS.COM
PHONE: (316) 368-5444



Know what's below.
Call before you dig.



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ASSOCIATED PLANS:

- SURVEY
1 OF 2 ALTA/ACSM SURVEY
2 OF 2 ALTA/ ACSM SURVEY

RESOURCE LIST:

PLANNING & ZONING DEPARTMENT
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
600 2ND NW
ALBUQUERQUE, NM 87102
ALAN VARELA
PHONE: (505) 924-3860
EMAIL: AVARELA@CABQ.GOV

BUILDING DEARTMENT
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
600 2ND NW
ALBUQUERQUE, NM 87102
ALAN VARELA
PHONE: (505) 924-3860
EMAIL: AVARELA@CABQ.GOV

ENGINEERING DEPARTMENT
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT
1 CIVIC PLZ NW CITY HALL 7 FLR
ALBUQUERQUE, NM 87102
JENNIFER TURNER, ID
PHONE: (505) 768-3830
EMAIL: JENNIFERTURNER@CABQ.GOV

STORMWATER
CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT
1 CIVIC PLZ NW CITY HALL 7 FLR
ALBUQUERQUE, NM 87102
JENNIFER TURNER, ID
PHONE: (505) 768-3830
EMAIL: JENNIFERTURNER@CABQ.GOV

FIRE DEPARTMENT
ALBUQUERQUE FIRE RESCUE
11500 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121
EMILY JARAMILLO
PHONE: (505) 768-9300
EMAIL: JFEJER@CABQ.GOV (PIO)

HEALTH DEPARTMENT
CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT
1 CIVIC PLZ NW CITY HALL 3 FLR
ALBUQUERQUE, NM 87102
PAUL ROGERS (DIRECTOR)
PHONE: (505) 768-2716
EMAIL: PROGRERS@CABQ.GOV

WATER
ALBUQUERQUE WATER AUTHORITY
1441 MISSION AVE NE
ALBUQUERQUE, NM 87107
PHONE: (505) 942-9287
EMAIL: WEBCUSTOMERSERVICE@ABCWUA.ORG

ELECTRIC
POWERING NEW MEXICO CUSTOMER INTERCONNECTION
4401 MASTHEAD ST NE CITY, STATE ZIP
ALBUQUERQUE, NM 87109
ROSARIO LOPEZ
PHONE: (505) 241-7744
EMAIL: ROSARIO.REYES@PNM.COM

NATURAL GAS
NEW MEXICO GAS COMPANY
7120 WYOMING BLVD NE SUITE 20
ALBUQUERQUE, NM 87109
RUBEN SOSA
PHONE: (505) 697-3118
EMAIL: RUBEN.SOSA@NMGCO.COM

SANITARY SEWER PROVIDER
CITY OF ALBUQUERQUE SOLID WASTE MANAGEMENT DEPARTMENT
4600 EDITH NE
ALBUQUERQUE, NM 87107
WILLIAM BILLY GALEGOS
PHONE: (505) 761-8100
EMAIL: ABUKOSKI@CABQ.GOV (PIO)

DOT/TRAFFIC
NEW MEXICO DEPARTMENT OF TRANSPORTATION (DISTRICT 3)
7500 PAN AMERICAN FRWY NE
ALBUQUERQUE, NM 87109
PAUL BRASHER
PHONE: (505) 362-3632
EMAIL: PAUL.BRASHER@DOT.NM.GOV

TELEPHONE/INTERNET COMPANY
COMCAST
PHONE: (800) 391-3000



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE



SEVEN BREW
2600 JUAN TABO BOULEVARD
ALBUQUERQUE, NEW MEXICO

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34246
DATE	6/10/2025
REVISION	REV-0

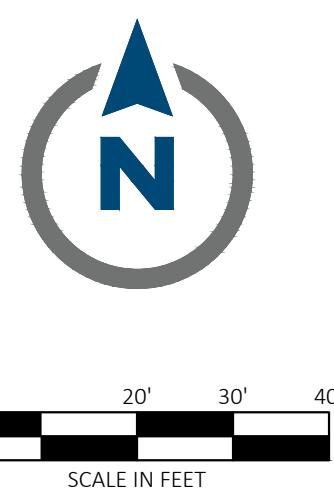
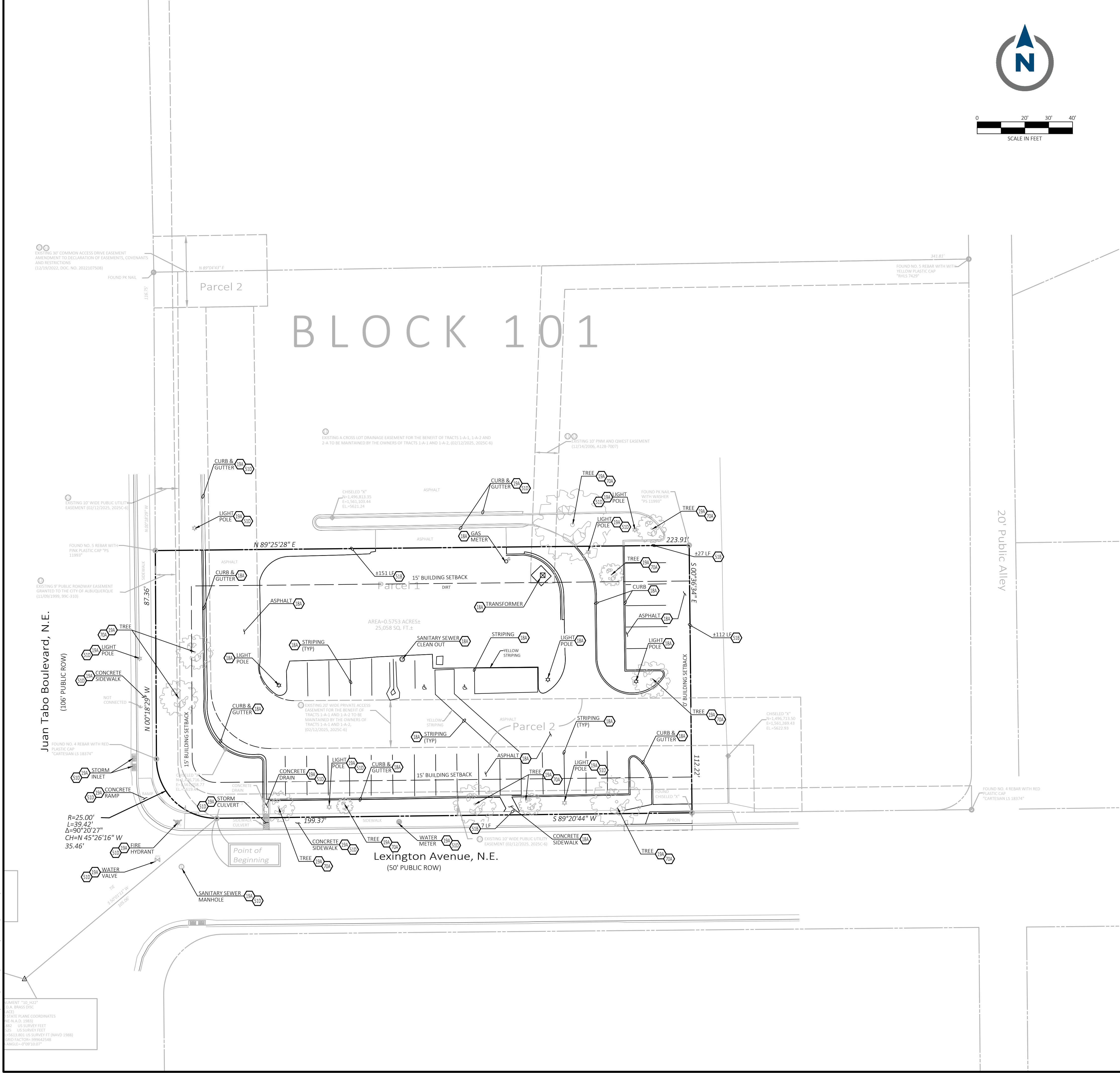
COVER SHEET

SHEET TITLE

SHEET NUMBER

C0.0

DRAWING LOCATION: P:\34000\34246\0 DRAWINGS\DESIGNWORKING\34246-01.DWG - SAVED BY: ROBERTO VILANUEVA



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

SITE BENCHMARK	
CHISELED "X"	
NORTHING: 1496813.35	
EASTING: 156103.44	
ELEVATION: 5621.24	
CHISELED "X"	
NORTHING: 1496716.36	
EASTING: 1561058.77	
ELEVATION: 5619.44	
CHISELED "X"	
NORTHING: 1496713.50	
EASTING: 1561269.43	
ELEVATION: 5622.93	

LEGEND

EXISTING LEGEND

N 90°00'00" E	MEASURED BEARING AND DISTANCES		WATER VALVE
	MATCH RECORD BEARING AND DISTANCES		SANITARY SEWER MANHOLE
	FOUND & USED MONUMENT AS DESIGNATED		FIRE HYDRANT
	CONTROL POINT SET THIS SURVEY		SIGN
	GAS METER		CURB INLET
	TRANSFORMER		WATER METER
	CLEANOUT		HANDICAP PARKING SPACE
	GUY WIRE		EDGE OF ASPHALT
	LIGHT POLE		OVERHEAD UTILITY LINE
	TREE		

GENERAL DEMOLITION NOTES

- A. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "7BREW STANDARD SITE WORK SPECIFICATIONS".
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- C. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- D. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- E. ENGINEER'S NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- F. PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.
- G. ANY WORK TO TAKE PLACE OFF-SITE SHALL BE COORDINATED WITH THE APPROPRIATE PROPERTY OWNER.

DEMOLITION NOTES

- 18A EXISTING TO BE REMOVED.
- 19A EXISTING TO REMAIN.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
- 51D PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.
- 70A TREE PROTECTION



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
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FAX: (479) 273-0844

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NO.	DESCRIPTION	DATE



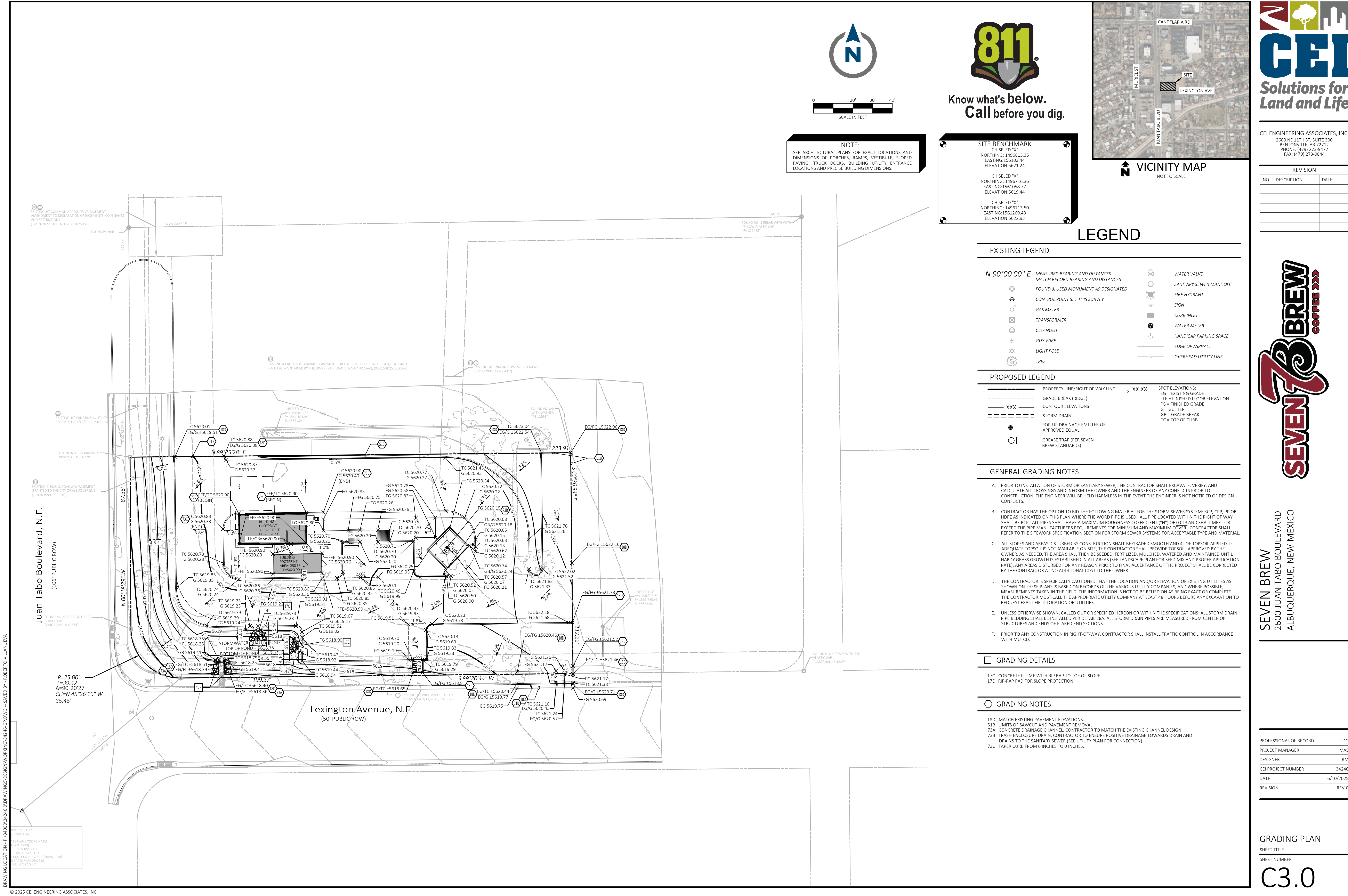
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ALBUQUERQUE, NEW MEXICO

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34246
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DEMOLITION PLAN

SHEET TITLE	
SHEET NUMBER	

C1.0



GENERAL EROSION NOTES

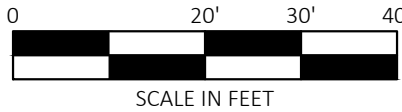
- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF NEW MEXICO NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- C. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- D. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- E. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- F. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- G. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- H. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.
- I. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- J. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNERS CONSTRUCTION MANAGER.
- K. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- L. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- M. IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- N. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- O. SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- P. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.

Q. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.

R. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY, THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

MAINTENANCE
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEEDED AS NEEDED.
2. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
3. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
5. IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.



NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

SITE BENCHMARK

CHISELED "X"
NORTHING: 1496813.35
EASTING: 156103.44
ELEVATION: 5621.24

CHISELED "X"
NORTHING: 1496716.36
EASTING: 1561058.77
ELEVATION: 5619.44

CHISELED "X"
NORTHING: 1496713.50
EASTING: 1561269.43
ELEVATION: 5622.93

LEGEND

EXISTING LEGEND

- | | | |
|-------------------------------------|--|------------------------|
| MEASURED BEARING AND DISTANCES | | WATER VALVE |
| MATCH RECORD BEARING AND DISTANCES | | SANITARY SEWER MANHOLE |
| FOUND & USED MONUMENT AS DESIGNATED | | FIRE HYDRANT |
| CONTROL POINT SET THIS SURVEY | | SIGN |
| GAS METER | | CURB INLET |
| TRANSFORMER | | WATER METER |
| CLEANOUT | | HANDICAP PARKING SPACE |
| GUY WIRE | | EDGE OF ASPHALT |
| LIGHT POLE | | OVERHEAD UTILITY LINE |
| TREE | | |

PROPOSED LEGEND

- | | | | |
|--|---|--|------------------|
| | PROPERTY LINE/RIGHT OF WAY LINE | | CONCRETE WASHOUT |
| | LIMITS OF DISTURBANCE | | SWP-CI (BIG RED) |
| | CONTOUR ELEVATIONS | | |
| | GRADE BREAK | | |
| | SILT FENCE | | |
| | POP-UP DRAINAGE EMITTER OR APPROVED EQUAL | | |

AREA OF DISTURBANCE = 0.58 ACRE 25,058 S.F.)

SOIL TYPES

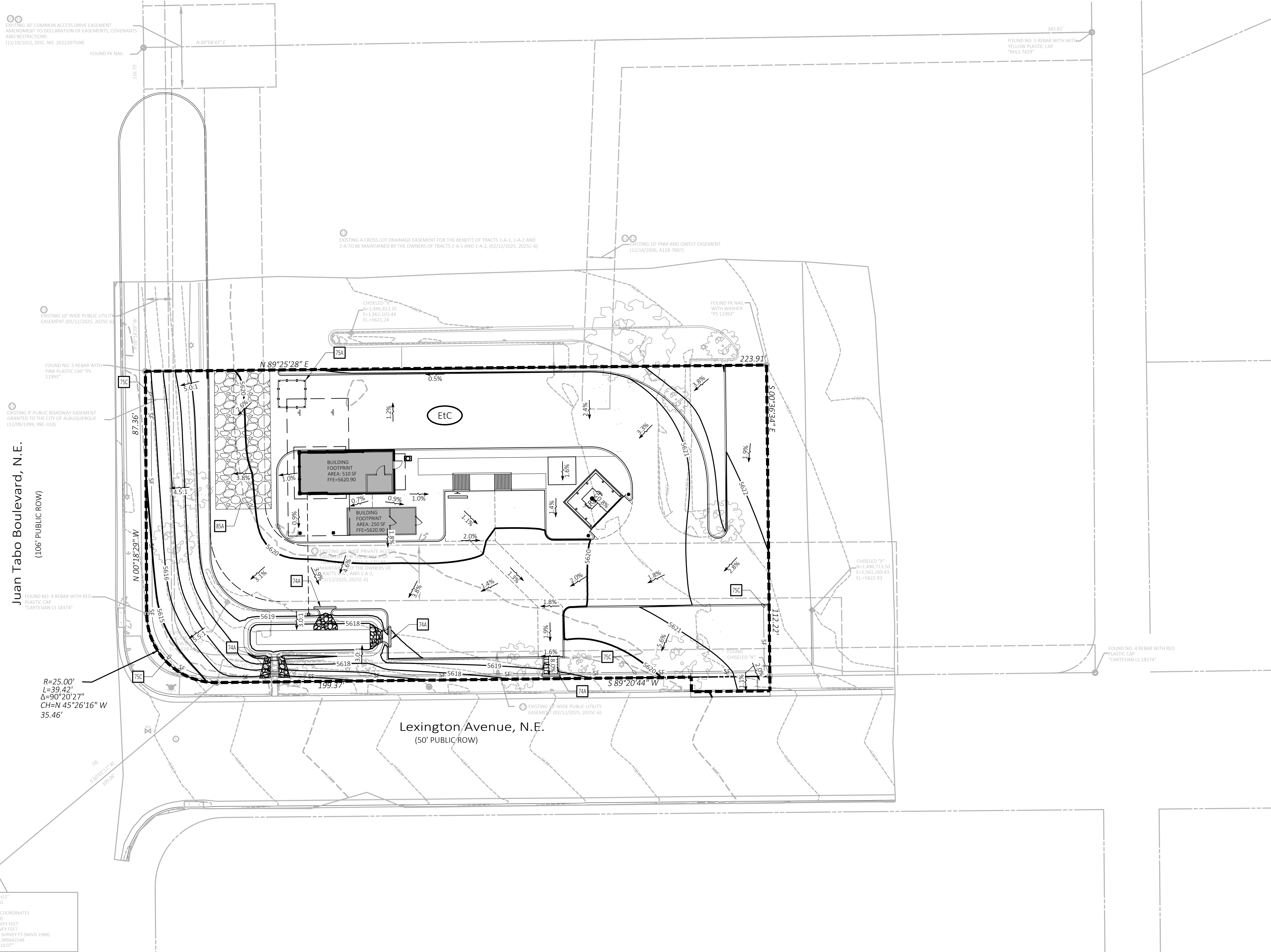
ETC EMBUDO-TIJERAS COMPLEX, 0-9% SLOPES

EROSION DETAILS

- 74A BIG RED;
75A PORTABLE CONCRETE WASHOUT BIN.
75C SILT FENCE;
85A TEMPORARY STONE CONSTRUCTION ENTRANCE.

SEQUENCE OF CONSTRUCTION

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA.
3. CONSTRUCT THE SILT FENCES AND BIG RED ON THE SITE.
4. CLEAR AND GRUB THE SITE.
5. BEGIN GRADING THE SITE.
6. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
7. TEMPORARILY SEED DENUDED AREAS.
8. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
9. INSTALL INLET PROTECTION DEVICES.
10. PREPARE SITE FOR PAVING.
11. PAVE SITE.
12. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
13. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).



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PHONE: (479) 273-9472
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NO.	DESCRIPTION	DATE



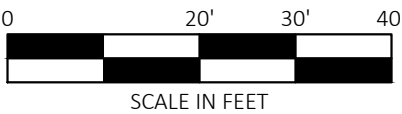
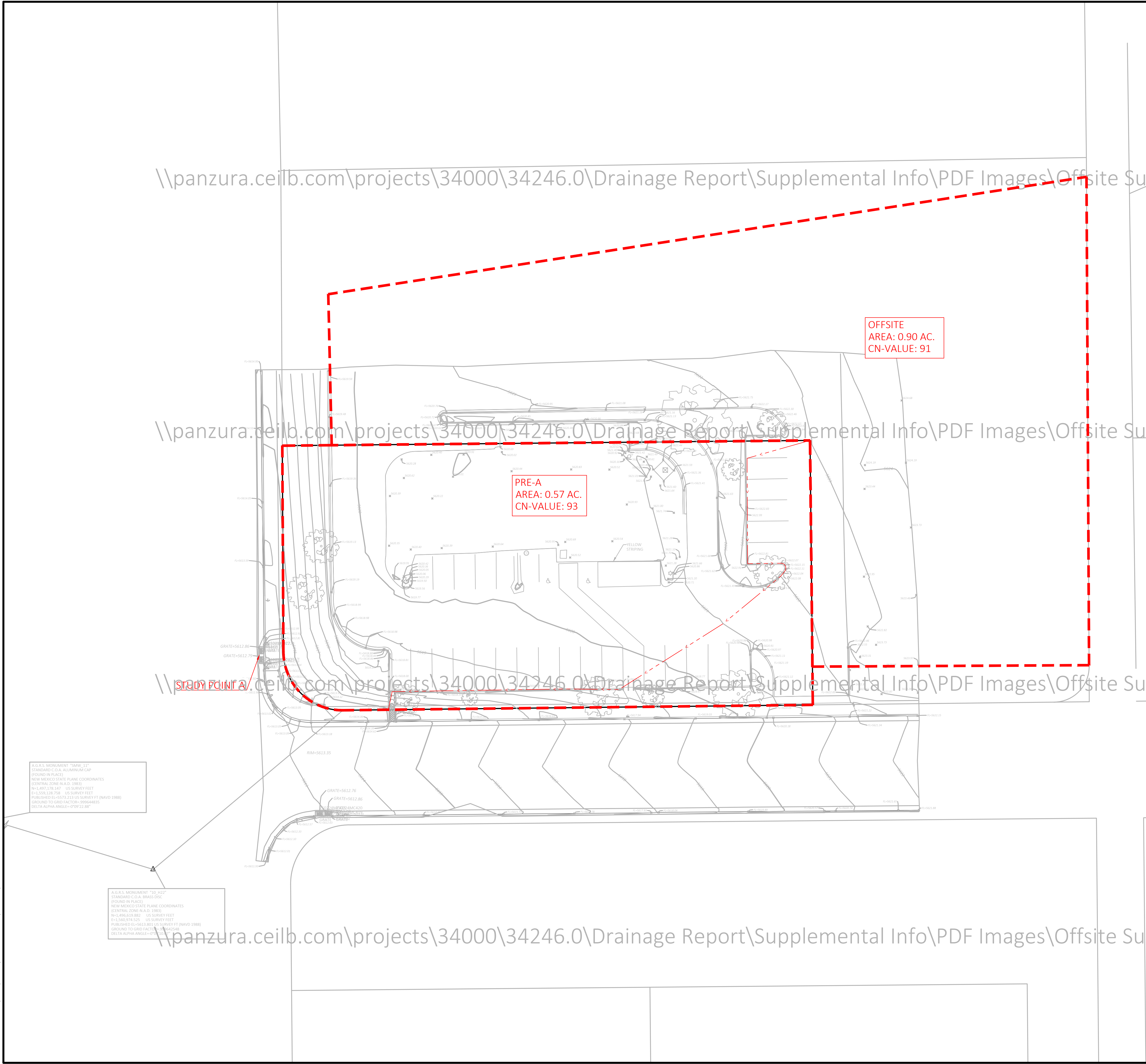
SEVEN BREW
2600 JUAN TABO BOULEVARD
ALBUQUERQUE, NEW MEXICO

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34246
DATE	6/10/2025
REVISION	REV-0

EROSION CONTROL
PLAN

SHEET TITLE
SHEET NUMBER

C4.0



PROPOSED LEGEND

- PRE-DEVELOPED DRAINAGE BASIN LIMITS
- TIME OF CONCENTRATION PATH
- GRADE BREAK

Weighted Runoff Curve Number - Pre		
	Pre-A	Offsite
Impervious (Land Treatment: D, CN=98) (ac.)	0.33	0.39
Newly Graded Area/Landscape Slopes >20% (Land Treatment: C, CN=86) (ac.)	0.20	0.48
Pervious (Land Treatment: B, CN=79) (ac.)	0.04	0.03
Total Area (ac.)	0.57	0.90
Weighted CN-Value	93	91



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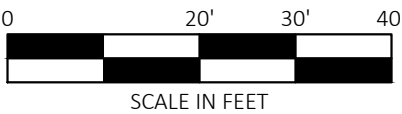
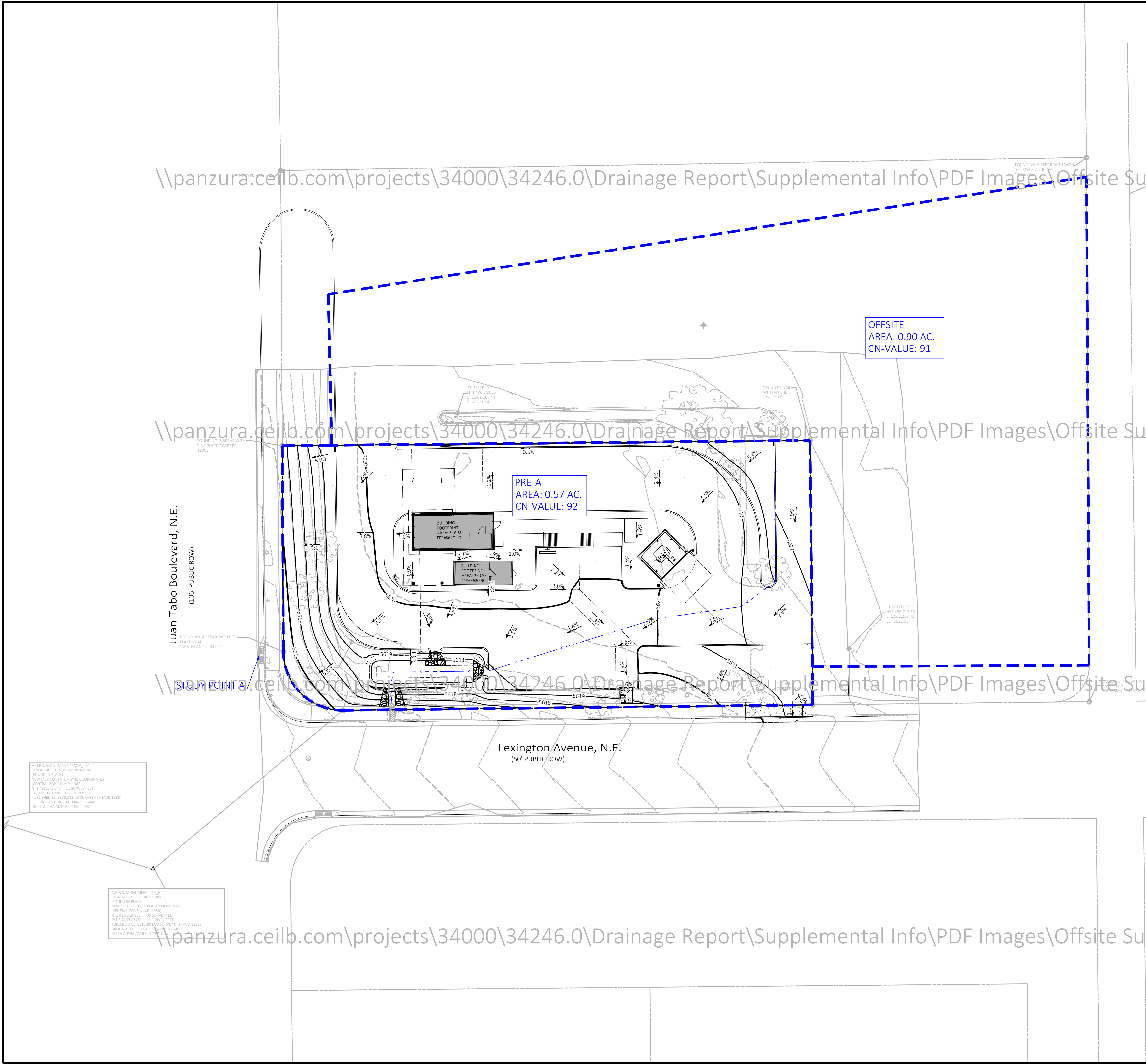
SEVEN BREW
2600 JUAN TABO BOULEVARD
ALBUQUERQUE, NEW MEXICO

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34246
DATE	6/10/2025
REVISION	REV-0

PRE-DEVELOPMENT
DRAINAGE MAP

SHEET TITLE
SHEET NUMBER

DR1.0



Know what's below.
Call before you dig.

PROPOSED LEGEND

- POST-DEVELOPED DRAINAGE BASIN LIMITS --- XXX --- CONTOUR ELEVATIONS
--- TIME OF CONCENTRATION PATH --- --- FLOWLINE
--- GRADE BREAK ---

Weighted Runoff Curve Number - Post		
	Post-A	Offsite
Impervious (Land Treatment: D, CN=98) (ac.)	0.40	0.39
Newly Graded Area/Landscape Slopes >20% (Land Treatment: C, CN=86) (ac.)	0.07	0.48
Pervious (Land Treatment: B, CN=79) (ac.)	0.10	0.03
Total Area (ac.)	0.57	0.90
Weighted CN-Value	93	91



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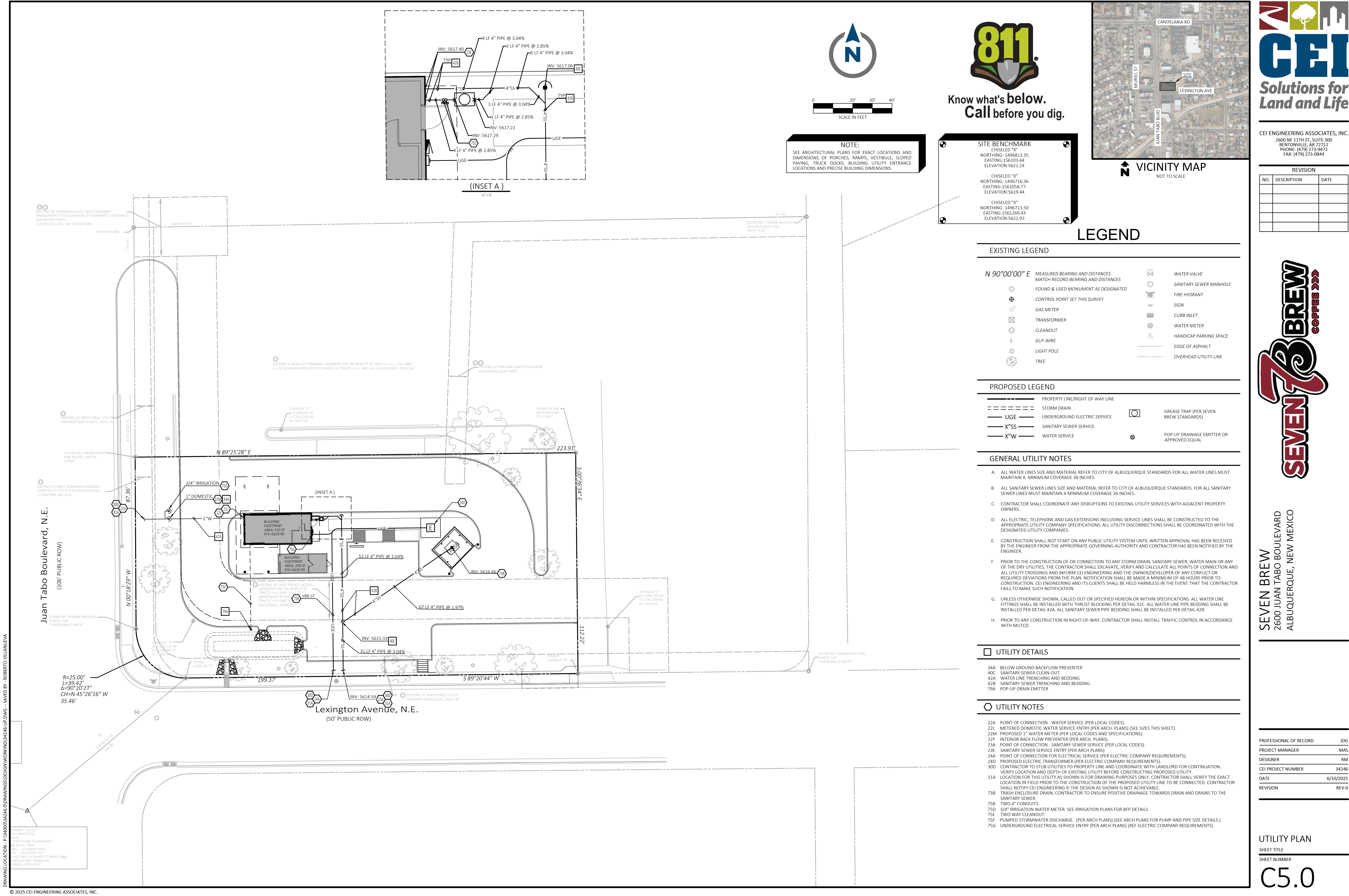
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POST-DEVELOPMENT
DRAINAGE MAP

SHEET TITLE
SHEET NUMBER

DR2.0



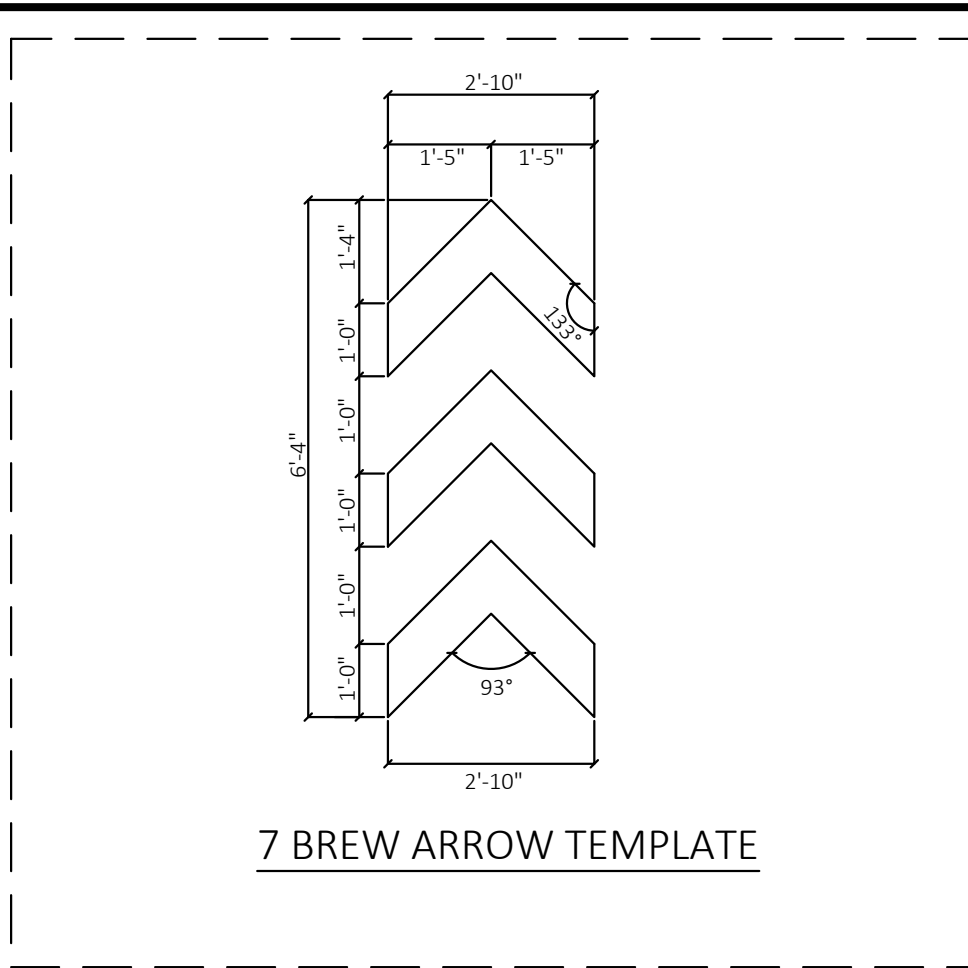
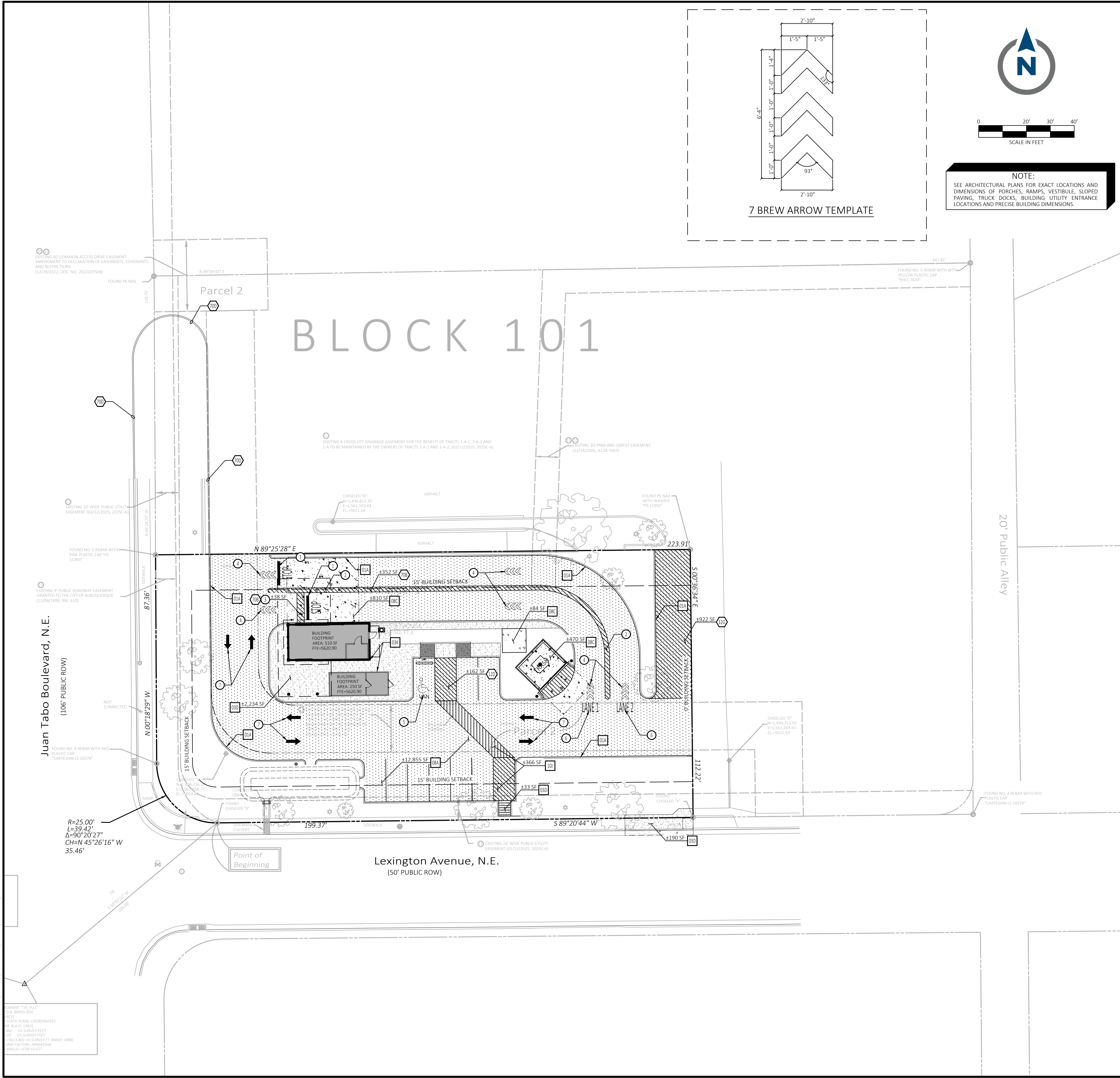
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NOTE:
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



Know what's below.
Call before you dig.

SITE BENCHMARK
CHISELED "X"
NORTHING: 1496813.35
EASTING: 156103.44
ELEVATION: 5621.24
CHISELED "X"
NORTHING: 1496716.36
EASTING: 1561058.77
ELEVATION: 5619.44
CHISELED "X"
NORTHING: 1496713.50
EASTING: 1561269.43
ELEVATION: 5622.93



VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

N 90°00'00" E	MEASURED BEARING AND DISTANCES		WATER VALVE
	MATCH RECORD BEARING AND DISTANCES		SANITARY SEWER MANHOLE
	FOUND & USED MONUMENT AS DESIGNATED		FIRE HYDRANT
	CONTROL POINT SET THIS SURVEY		SIGN
	GAS METER		CURB INLET
	TRANSFORMER		WATER METER
	CLEANOUT		HANDICAP PARKING SPACE
	GUY WIRE		EDGE OF ASPHALT
	LIGHT POLE		OVERHEAD UTILITY LINE
	TREE		

PROPOSED LEGEND

	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/70D.

STRIPING PAINT COLORS

WHITE	PMS 000C C: 0%, M: 0%, Y: 0%, K: 0% R: 255, G: 255, B: 255 HEX: FFFFFFFF
BLUE	PMS 299 C: 100%, M: 63%, Y: 0%, K: 35% R: 0, G: 61, B: 165 HEX: 003DA5
RED	PMS 202 C: 29.54%, M: 95.11%, Y: 74.72%, K: 29.59% R: 138, G: 36, B: 50 HEX: 8A2452

GENERAL PAVING NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- PAVEMENT SECTION DESIGNS ARE TAKEN FROM THE GEOTECHNICAL INVESTIGATION REPORT AND ADDENDA REFERENCE GEOTECHNICAL REPORT FOR COMPLETE DESIGN SPECIFICATION AND DETAILED RECOMMENDATIONS.
- WITHIN 24 HOURS PRIOR TO ANY PAVING ACTIVITIES, THE CONTRACTOR SHALL PERFORM SUBGRADE COMPACTION AND PROOF ROLL TESTS ON PREPARED SUBGRADE TO VERIFY THE SUBGRADE HAS NOT DETERIORATED DURING PROJECT CONSTRUCTION.
- AFTER COMPLETING PAVING ACTIVITIES, THE CONTRACTOR IS RESPONSIBLE FOR HAVING PAVEMENT CORED UNDER SUPERVISION OF MATERIALS INSPECTOR AND SUBMITTING CORE RESULTS TO ENGINEER AND OWNER.
- CONCRETE TO ASPHALT STANDARD PAVEMENT HEADER SHALL BE USED FOR ALL CONCRETE TO ASPHALT INTERFACES.
- ALL AREAS WITH CONCRETE PAVING SHALL HAVE A "LIGHT BROOM" FINISH.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
 - ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A.
 - ALL CURB AND GUTTER ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 70D.
- PRIOR TO ANY CONSTRUCTION IN RIGHT-OF-WAY, CONTRACTOR SHALL INSTALL TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD.

PAVEMENT MARKING KEYNOTES

- 12" SOLID RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED.
- 4" SOLID BLUE PAVEMENT MARKER, TYPICAL, MIDLINE SPACE AT 24" O.C.
- ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING.
- SOLID WHITE TRIPLE ARROW PAVEMENT MARKER.
- BLUE PAINTED ADA ACCESSIBLE PARKING SYMBOL.
- 48-INCH TALL "LANE #1" PAINTED IN RED.
- SOLID RED DIRECTIONAL ARROW PAVEMENT MARKING.

PAVING DETAILS

	01A TYPE A CONCRETE CURB AND GUTTER.
	03D/03K CONCRETE SIDEWALK.
	08A STANDARD DUTY ASPHALT PAVING.
	08C HEAVY DUTY CONCRETE PAVING.
	10J CROSSWALK MARKING

PAVING NOTES

- 12D 4 INCH WIDE PAINTED BLUE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 12G 4 INCH WIDE PAINTED WHITE STRIPES. 2.0 FOOT O.C. @ 45 DEGREES SEE SIZE INDICATED AT SYMBOL).
- 70B 45° STRIPING
- 70D OFF SITE CURB TO BE CONSTRUCTED BY OTHERS, CONTRACTOR TO COORDINATE WITH LANDLORD.



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ALBUQUERQUE, NEW MEXICO

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PAVING PLAN

SHEET TITLE
SHEET NUMBER

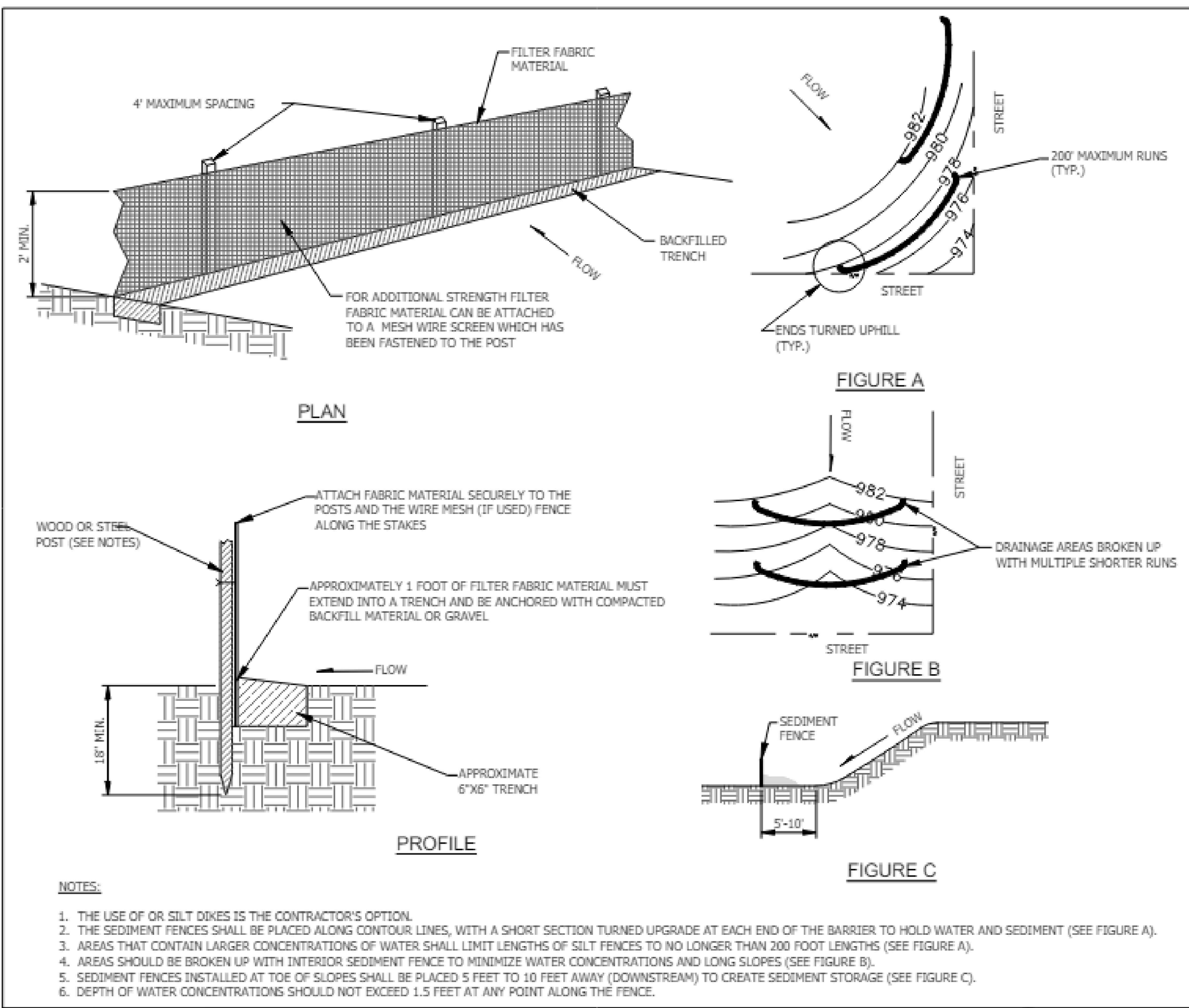
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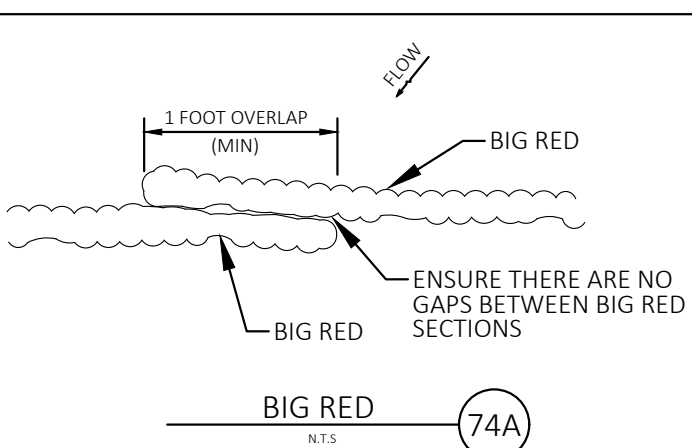
BEST MANAGEMENT PRACTICES (BMPs)

POLLUTION THROUGH STORM RUNOFF IS INTENSIFIED AT CONSTRUCTION SITES DUE TO THE REMOVAL OF THE NATURAL GROUND COVER OF THE SITE, AS WELL AS THE INTRODUCTION OF HAZARDOUS CHEMICALS AND WASTES TO THE AREA. MEASURES ARE REQUIRED, BOTH DURING CONSTRUCTION AND AFTER THE COMPLETION OF CONSTRUCTION, TO STABILIZE THE SITE. STABILIZATION OF THE SITE DURING CONSTRUCTION ACTIVITIES CONSISTS OF THE INSTALLATION OF TEMPORARY OR PERMANENT MEASURES TO PREVENT EROSION, OR TO INTERCEPT SEDIMENT PRIOR TO IT LEAVING THE SITE. THIS CAN BE ACCOMPLISHED THROUGH THE USE OF GROUND COVER MULCHING, PAVING, SILT FENCES, AND SEDIMENT BASINS, ALONG WITH CONSTRUCTION METHODS, TO REDUCE THE DISTURBED AREAS OF CONSTRUCTION.

ALL WORK CONSISTS OF FURNISHING, INSTALLING, MAINTAINING, AND, WHEN REQUIRED, REMOVING EROSION CONTROL DEVICES.

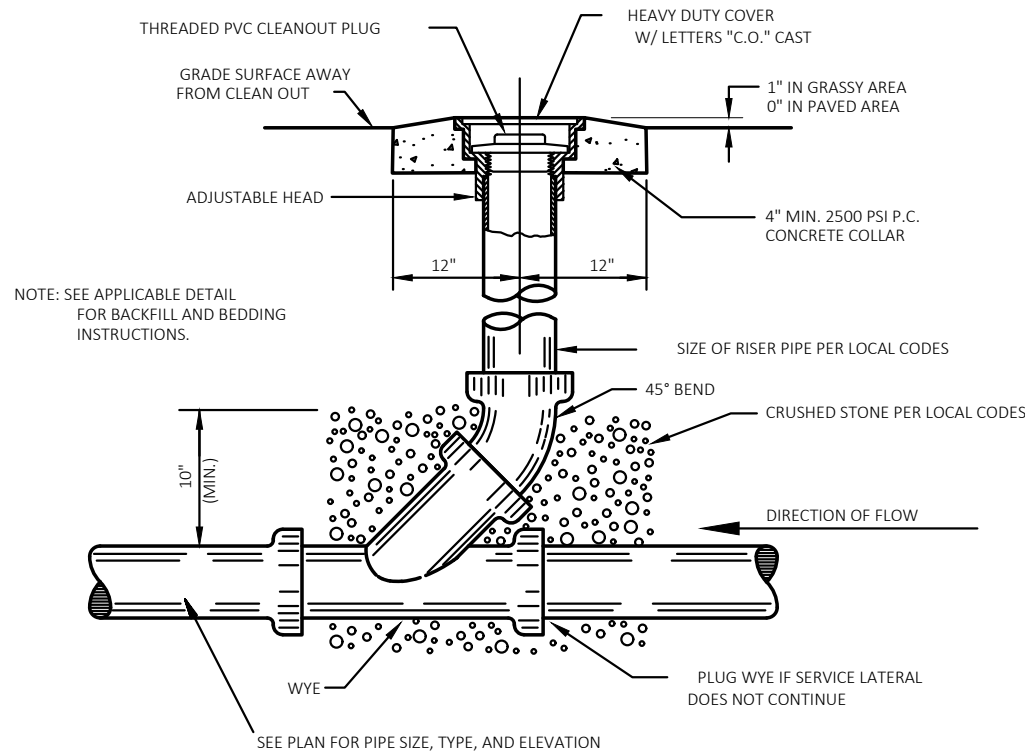


E SILT FENCE

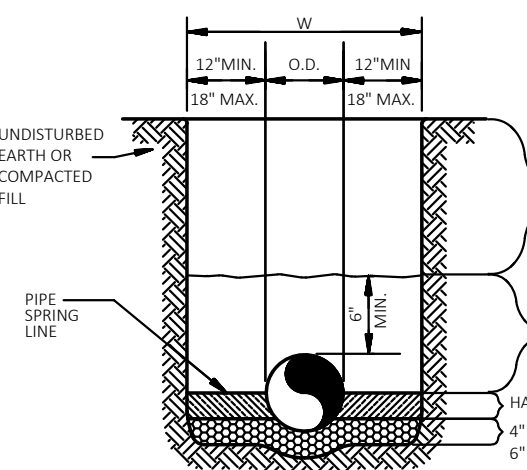


BIG RED MAINTENANCE AND INSTALLATION NOTES

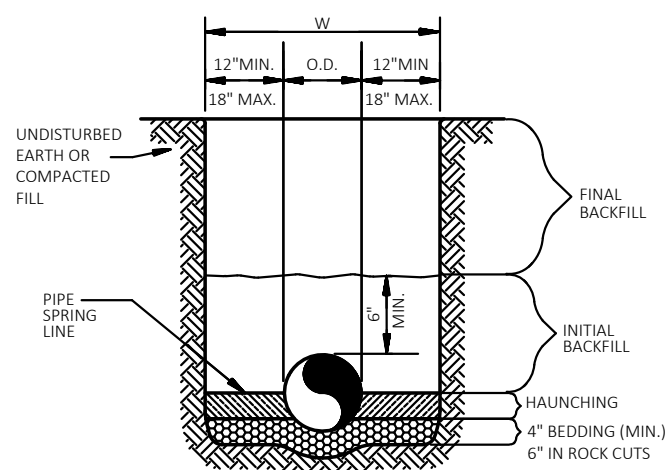
1. BIG REDS SHALL BE INSPECTED ALONG ITS ENTIRETY AND MUST BE CLEANED WHEN SEDIMENT HAS ACCUMULATED TO ONE-THIRD THE HEIGHT OF THE BIG RED. MAINTENANCE CLEANOUT MUST BE CONDUCTED REGULARLY TO PREVENT ACCUMULATED SEDIMENTS FROM REACHING ON-THIRD THE HEIGHT OF THE BIG RED.
2. SPECIAL ATTENTION SHOULD BE PAID TO ENSURE THAT NO UNDERMINING OF BIG RED HAS OCCURRED AND THAT NO BYPASS IS OCCURRING AT JOINING SECTIONS.
3. IF EXCESS SEDIMENT IS ACCUMULATING IN ANY SECTION OF BIG RED, THE CONTRACTOR SHOULD IMPLEMENT ADDITIONAL UPSTREAM STABILIZATION MEASURES OR ADDITIONAL BMPs (PENDING CEC APPROVAL) TO PREVENT EXCESSIVE BUILDUP ON BIG RED.
4. BIG REDS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED.
5. A 12" OVERLAP (MIN.) SHALL BE PROVIDED WHERE BIG REDS ADJOIN EACH NEW BIG RED.



SANITARY SEWER CLEAN-OUT



WATER LINE & FORCE MAIN



SANITARY SEWER

1. BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS II COMPACTED TO 85% STANDARD PROCTOR. (SEE SPECIFICATIONS FOR GRAVITON)
2. HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS II OR CLASS II COMPACTED TO 85% PROCTOR.
3. INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS II OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
4. INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS II COMPACTED TO 80% STANDARD PROCTOR.
5. FINAL BACKFILL SHALL BE CLASS II, OR III COMPACTED AS NOTED IN NOTES 3. AND 4.

GENERAL NOTES

6. FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
7. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321, LATEST EDITION.
8. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 4" LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS II AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
9. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
10. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN ACCORDANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)

SANITARY SEWER AND WATER LINE TRENCHING AND BEDDING

SWP-CI "Big Red"

Curb Inlet Protector
By ASP Enterprises and Storm Water Products
Temporary and Reusable Solutions for Sediment Control



- Reusable Curb Inlet Protection
- Environmentally Friendly
- Drops out sediment by dissipating the water energy

"Big Red" Filter Advantages:

- Easy to Install
- Versatile for a variety of curb inlets
- Reusable and Extremely easy to clean
- Made from 90% Inert Recycled Materials

The SWP-CI "Big Red" Filter is a **REUSABLE** inlet protector that keeps out sediment throughout the entire construction project. There are no pockets to fill, no velcro bags, no assembly etc. Simply place in front of the inlet, make sure it lays in the contour, and you are DONE!

Simple installation also translates into simple removal, cleanup and re-use at the next project or phase. Maintenance is simple as well by lifting the unit from the inlet, shaking the mud off of it, removing the sediment on the concrete, and placing the unit back. If it is severely filled with sediment, wash it out in a vegetated area and it is as good as new.

All of these features and benefits combine to make the SWP-CI "Big Red" curb inlet protector the **perfect choice** for all curb inlet applications. It comes in 54" long for single curb inlets and 104" lengths for double curb inlets.

- High Flow Rate
- Made of Durable High-Strength Geotextile
- Fully Reusable
- Made of Recycled Materials



SWP-CI "Big Red"

Curb Inlet Protector
By ASP Enterprises and Storm Water Products



Specifications:

1. Infill Material: shredded recycled rubber tires
2. Weight: approx. 10 lbs per linear foot
3. Diameter: approx. 8"

Geotextile fabric made of durable high flow fabric with the following properties:

Property	Test Method	Units	Typical Value
Weight	ASTM D5261	oz/sq. yd	9.3
Grab Tensile Strength	ASTM D4632	lb	warp fill 250 290
Tear Strength (Trapezoid)	ASTM D4533	lb	warp fill 60 50
Burst	ASTM D3786	psi	440

(Efforts were made to determine flow rate-the fabric exceeded all capacities of the testing equipment)



ASP Enterprises and Storm Water Products assumes no liability for the accuracy or completeness of this information or for the ultimate use by the purchaser. ASP and SWP disclaims any and all express, implied, or statutory standards, warranties or guarantees, including without limitation any implied warranty as to merchantability or fitness for a particular purpose or arising from a course of dealing or usage of trade as to any equipment, materials or information furnished herewith. This document should not be construed as engineering advice.



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SEVEN BREW
2600 JUAN TABO BOULEVARD
ALBUQUERQUE, NEW MEXICO

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34246
DATE	6/10/2025
REVISION	REV-0

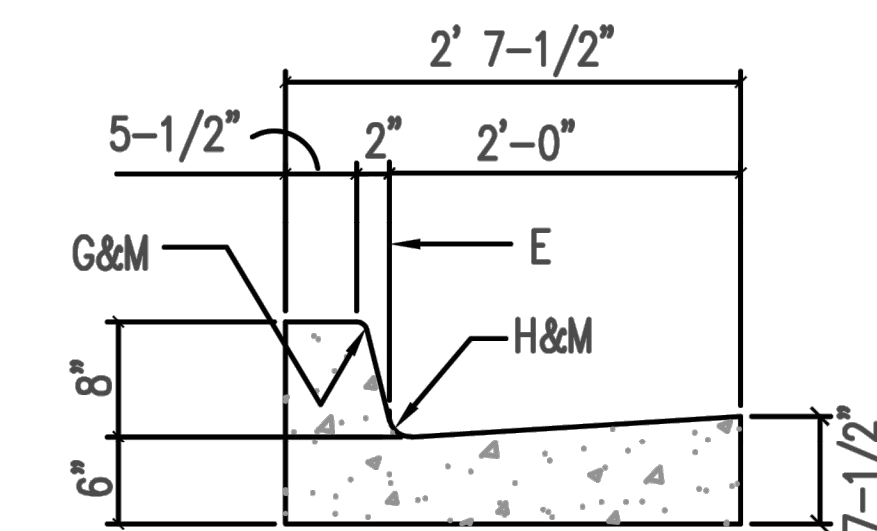
DETAIL SHEET II

SHEET TITLE
SHEET NUMBER

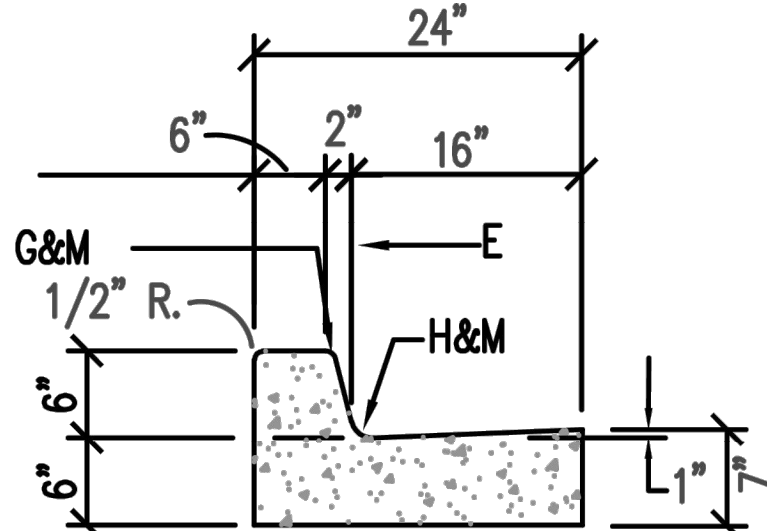
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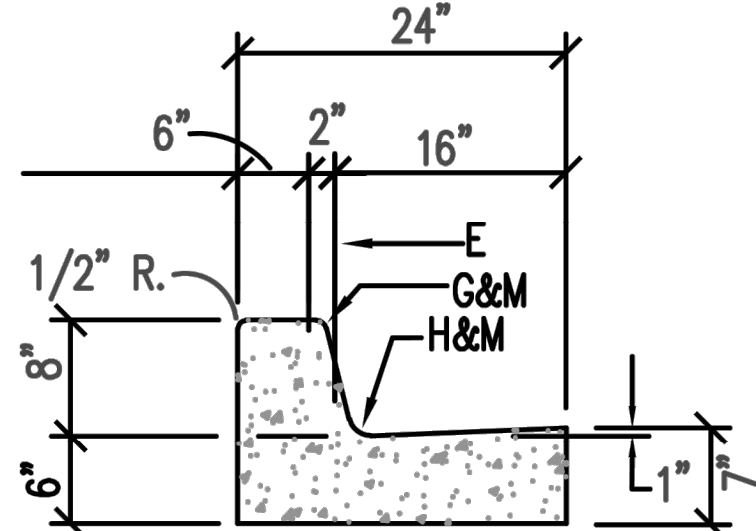
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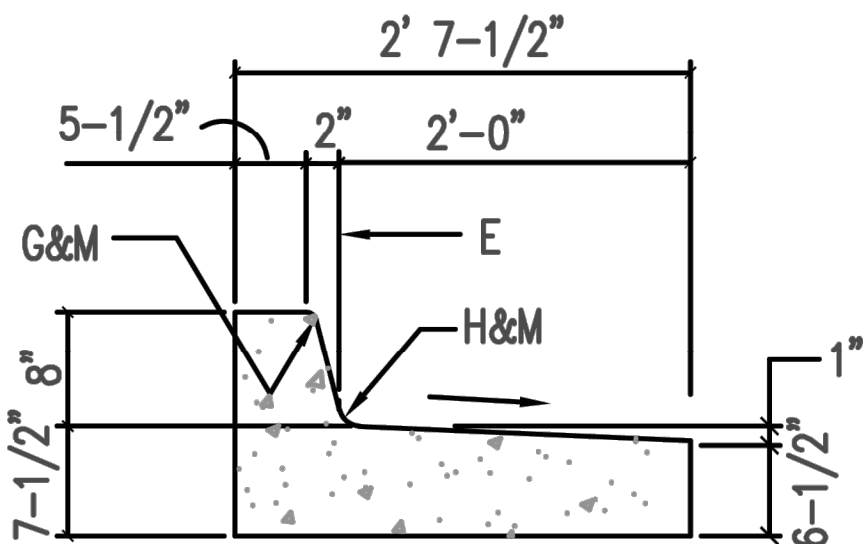
STANDARD CURB AND GUTTER



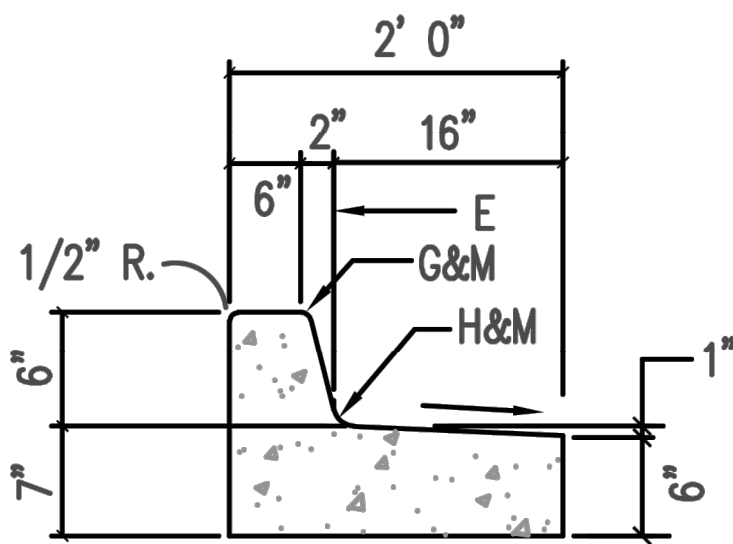
6" CURB AND GUTTER



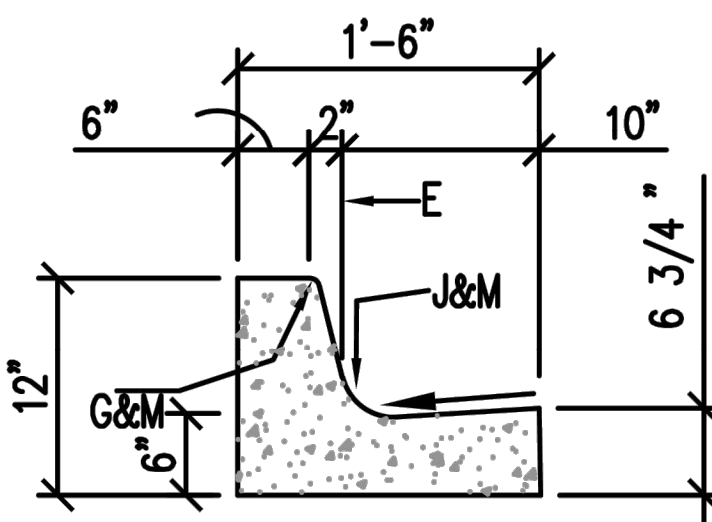
8" CURB AND GUTTER



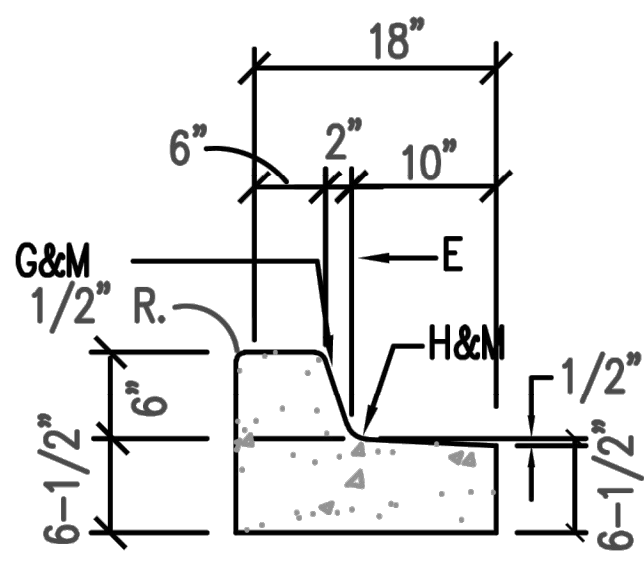
8" DEPRESSED CURB AND GUTTER



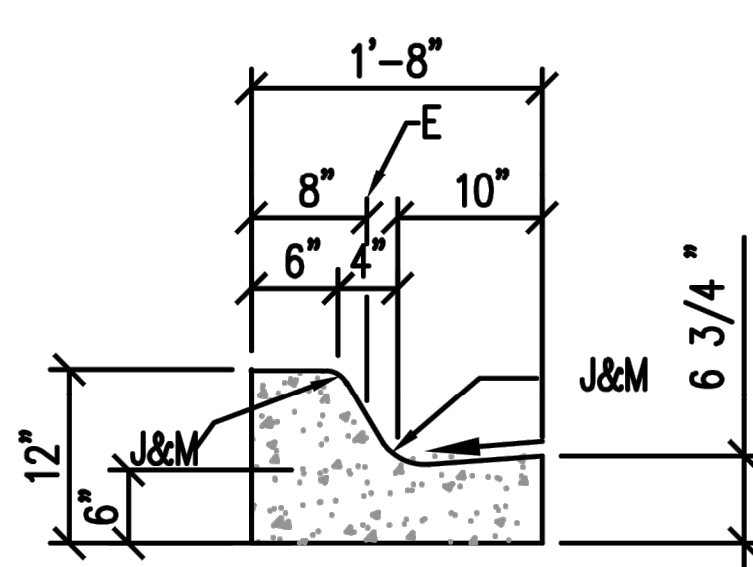
6" DEPRESSED CURB AND GUTTER



MEDIAN CURB AND GUTTER



DEPRESSED MEDIAN CURB AND GUTTER



MOUNTABLE MEDIAN CURB AND GUTTER

GENERAL NOTES

1. CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING, CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING, 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
5. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO LIP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
7. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
8. ADA = AMERICANS WITH DISABILITY ACT.

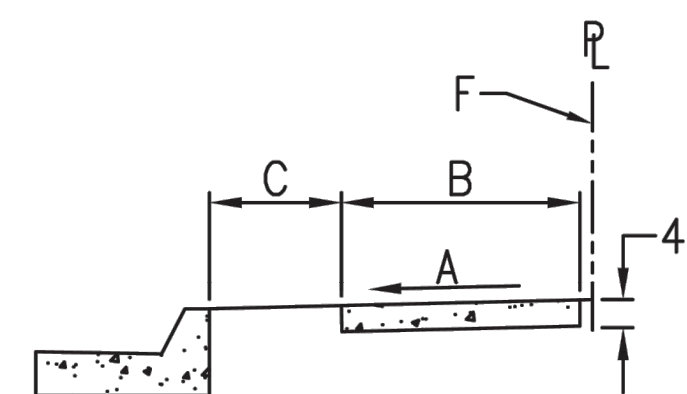
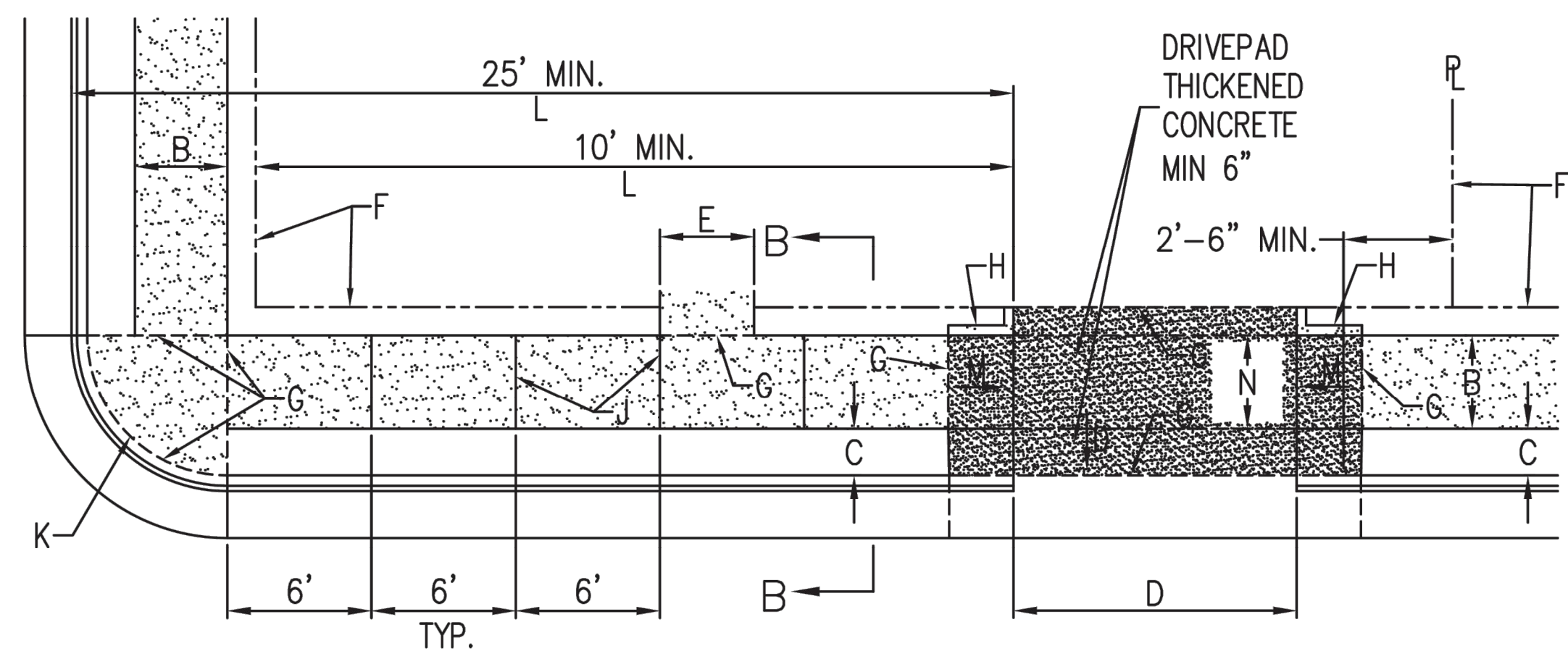
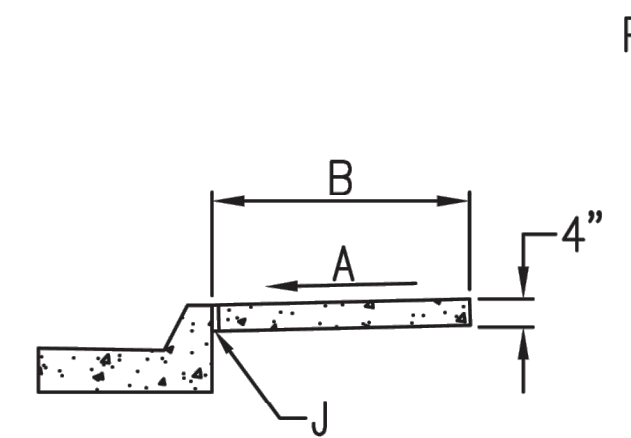
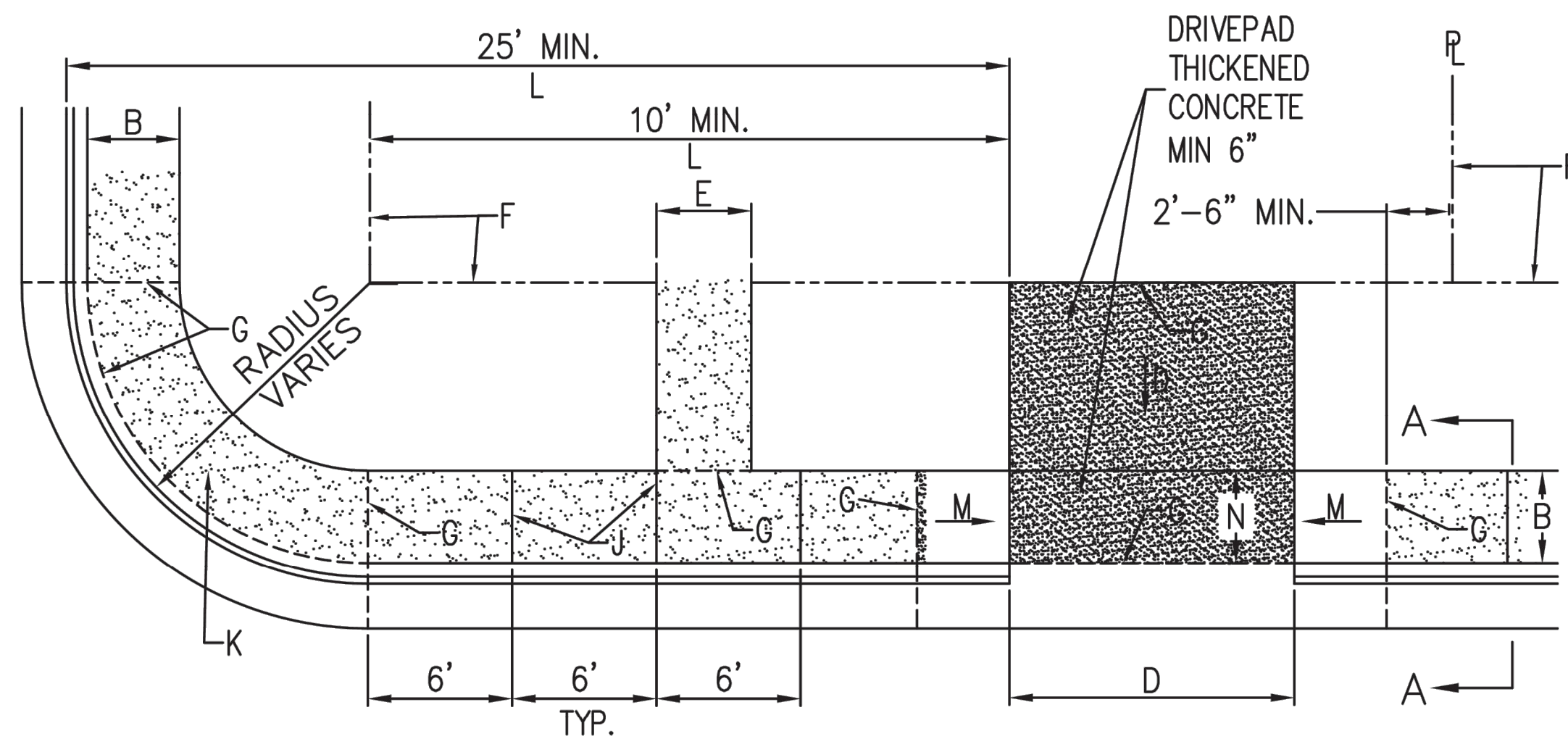
CONSTRUCTION NOTES

SEE COA DRAWING 2415B

70B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT
	DETAILS
	DWG. 2415A FEBRUARY 2021

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GENERAL NOTES

1. DEVIATIONS FROM THESE STANDARDS SHALL BE SUBMITTED TO THE CITY ENGINEER AND/OR CITY TRAFFIC ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
2. SUBGRADE UNDER SIDEWALKS AND DRIVEPADS SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 301.
3. FOR SIDEWALKS LESS THAN 60" WIDE ON ACCESSIBLE ROUTE, PASSING SPACE AT LEAST 60" X 60" SHALL BE PROVIDED AT LEAST EVERY 200 FT.
4. GRATINGS LOCATED IN WALKING SURFACE SHALL HAVE SPACES NO GREATER THAN $\frac{1}{2}$ " WIDE IN DIRECTION OF TRAVEL. IF OPENINGS ARE ELONGATED, LONG DIMENSION SHALL BE PLACED PERPENDICULAR TO DIRECTION OF TRAVEL.
5. ALONG THE ACCESSIBLE ROUTE, CHANGES IN LEVEL BETWEEN $\frac{1}{4}$ " AND $\frac{1}{2}$ " SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 2H:1V. CHANGES IN LEVEL GREATER THAN $\frac{1}{2}$ " REQUIRE A RAMP.
6. PROVIDE A MINIMUM SIDEWALK WIDTH OF 4' AROUND OBSTACLES FOR ADA ACCESS.
7. SEE COA STD DWG 2425A AND 2425B FOR DRIVEPAD DETAILS.

CONSTRUCTION NOTES

- A. SLOPE 2% MAX. 1.5% PREFERRED SLOPE.
- B. 5' MIN. SIDEWALK WIDTH. SIDEWALK WIDTH SHALL BE IN ACCORDANCE WITH CHAPTER 23 OF DEVELOPMENT PROCESS MANUAL.
- C. SETBACK TO BE DETERMINED BY AVAILABLE RIGHT-OF-WAY. SEE CHAPTER 7 OF DEVELOPMENT PROCESS MANUAL. ALSO SEE COA STD. DWG. 2414 FOR LANDSCAPE BUFFER.
- D. SEE DRIVEPAD DETAILS, DWG. 2425A AND 2425B.
- E. WALKWAY VARIABLE (4' MINIMUM).
- F. PROPERTY LINE.
- G. 1/2" EXPANSION JOINTS WHERE SIDEWALK OR DRIVEPAD ABUTS BUILDINGS, FENCES, WALLS OR OTHER IMMOVABLE OBJECTS.
- H. HEADER CURB OR INTEGRAL CURB AS REQUIRED TO MEET GRADE AT BACK OF SIDEWALK. SEE STD. DWG. 2415.
- J. CONTRACTION JOINTS.
- K. FOR CURB ACCESS RAMPS, SEE DWGS. 2440 THROUGH 2445.
- L. CHECK DIMENSION FROM BOTH PROPERTY LINE AND FLOW LINE. USE IN AREAS WHERE DRIVEPAD IS FARTHEST FROM INTERSECTION.
- M. RAMP AS REQUIRED TO MEET DRIVEPAD GRADE. 8.3% MAX. SLOPE, 7% PREFERRED SLOPE.
- N. ADA ACCESSIBLE PATHWAY. 2% MAX. CROSS-SLOPE. 1.5% PREFERABLE CROSS-SLOPE.

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	SIDEWALK DETAILS
	DWG. 2430
	JUNE 2019

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NO.	DESCRIPTION	DATE



PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
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PORTABLE CONCRETE WASHOUT BIN



The Concrete Washout Systems (CWS) solution, when implemented by a licensed operator, meets EPA Best Management Practice (BMP) requirements for concrete washout wastewater containment and recycling of residual concrete waste.



The sample spec below is intended to assist contractors, job site managers and architects with defining the concrete washout management portion of an overall Storm Water Pollution Prevention Plan (SWPPP) to meet National Pollutant Discharge Elimination System (NPDES) requirements.

PORTABLE CONCRETE WASHOUT BIN

GENERAL

Summary: This work includes the containment, removal and disposal of concrete waste and concrete wash water by furnishing, maintaining and removing portable concrete washout bins.

Bin Capacity/Dimensions:

- Each bin has washout capacity sufficient for a pour of approximately 350 cubic yards.
- Ramped container accommodates concrete pump trucks, tile and grout and stucco washout: 26 ft x 8ft with ramps extended.
- Rampless container for jobs with mixer trucks only: 14 ft x 8ft

Submittals/Pre-planning: At least five business days before concrete operations start, submit to Engineer or job site manager:

- Name and location of the solid and liquid concrete waste disposal facility
- Verification that the off-site commercial disposal site has a permit issued by the local water quality control authority.
- Verification that the off-site concrete waste disposal facility is licensed/permited to receive concrete wastes.

Quality Control and Assurance: Records of concrete waste disposal must be maintained and retained, including:

- Weight tickets
- Delivery, maintenance and removal of concrete waste bins

Concrete Washout Systems Specification

PORTABLE CONCRETE WASHOUT BIN



MATERIALS

Concrete Waste Bin(s) The concrete waste bin(s) must:

- Be a commercially available, watertight container
- Have a minimum capacity of five (5) cubic yards
- Be a roll-off bin, with or without attached/folding steel ramps
- Be lined with a solid, affixed, non-stick liner to facilitate recycling of concrete
- Be labeled for exclusive use as a concrete waste container and washout facility

CONSTRUCTION:

Placement: Place concrete waste bins at the project site:

- Prior to placement of concrete
- In the immediate concrete work area
- At least 50 feet away from storm drain inlets or watercourses
- Away from construction traffic or public access areas
- In sufficient numbers/sizes so that total capacity can contain all liquid and concrete waste generated by concrete washout operations without seepage or spills

Signs: Install a sign adjacent to each temporary concrete washout bin location. Signs must:

- Comply with all size standards in the overall job specification
- Be approved by the engineer or job site manager
- Be made of plywood, with a minimum size of two feet by four feet
- Read "Concrete Washout" in black letters, at least three inches high, on a white background

Operation:

- Concrete washout bins are used to:
- Contain waste and wastewater from washing out of concrete delivery and mixing trucks
 - Contain slurries containing Portland cement concrete or hot mix asphalt, such as would result from sawcutting, coring, grinding, grooving and hydro-concrete demolition

Service provider will relocate concrete washout bins as needed.

Inspect bins:

- Daily if concrete work occurs daily
- Weekly if concrete work does not occur each day

Maintenance: Bins must be secured when moved to prevent spillage of material from the bin (solid waste or wastewater). Any spilled material should be returned to the bin.

Removal and Disposal: Concrete waste and wastewater must be disposed of at a facility or facilities specifically licensed to receive these materials. Concrete washout bins are to be removed for material disposal within one day of reaching capacity.

MEASUREMENT AND PAYMENT

Temporary contract washout bin pricing is based on actual count of bins in place and includes full compensation for furnishing all labor, materials, tools, equipment and incidentals, and for doing all the work involved in furnishing, placing, maintaining, and transporting concrete washout

Concrete Washout Systems Specification

PORTABLE CONCRETE WASHOUT BIN



bin(s), and for disposing of concrete waste and wastewater and removing the concrete washout bin(s).

Contact information:

Concrete Washout Systems
(916) 381-6312
info@concretewashout.com
concretewashout.com

or

to find a local CWS service provider:
concretewashout.com/pages/cws_locator/

Concrete Washout Systems Specification



CEI ENGINEERING ASSOCIATES, INC.
2600 NE 11TH ST, SUITE 300
BENTONVILLE, AR 72712
PHONE: (479) 273-9472
FAX: (479) 273-0844

REVISION		
NO.	DESCRIPTION	DATE



SEVEN BREW
2600 JUAN TABO BOULEVARD
ALBUQUERQUE, NEW MEXICO

PROFESSIONAL OF RECORD	JDG
PROJECT MANAGER	MAS
DESIGNER	RM
CEI PROJECT NUMBER	34246
DATE	6/10/2025
REVISION	REV-0

DETAIL SHEET V

SHEET TITLE
SHEET NUMBER


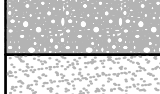

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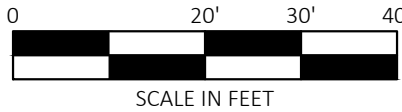
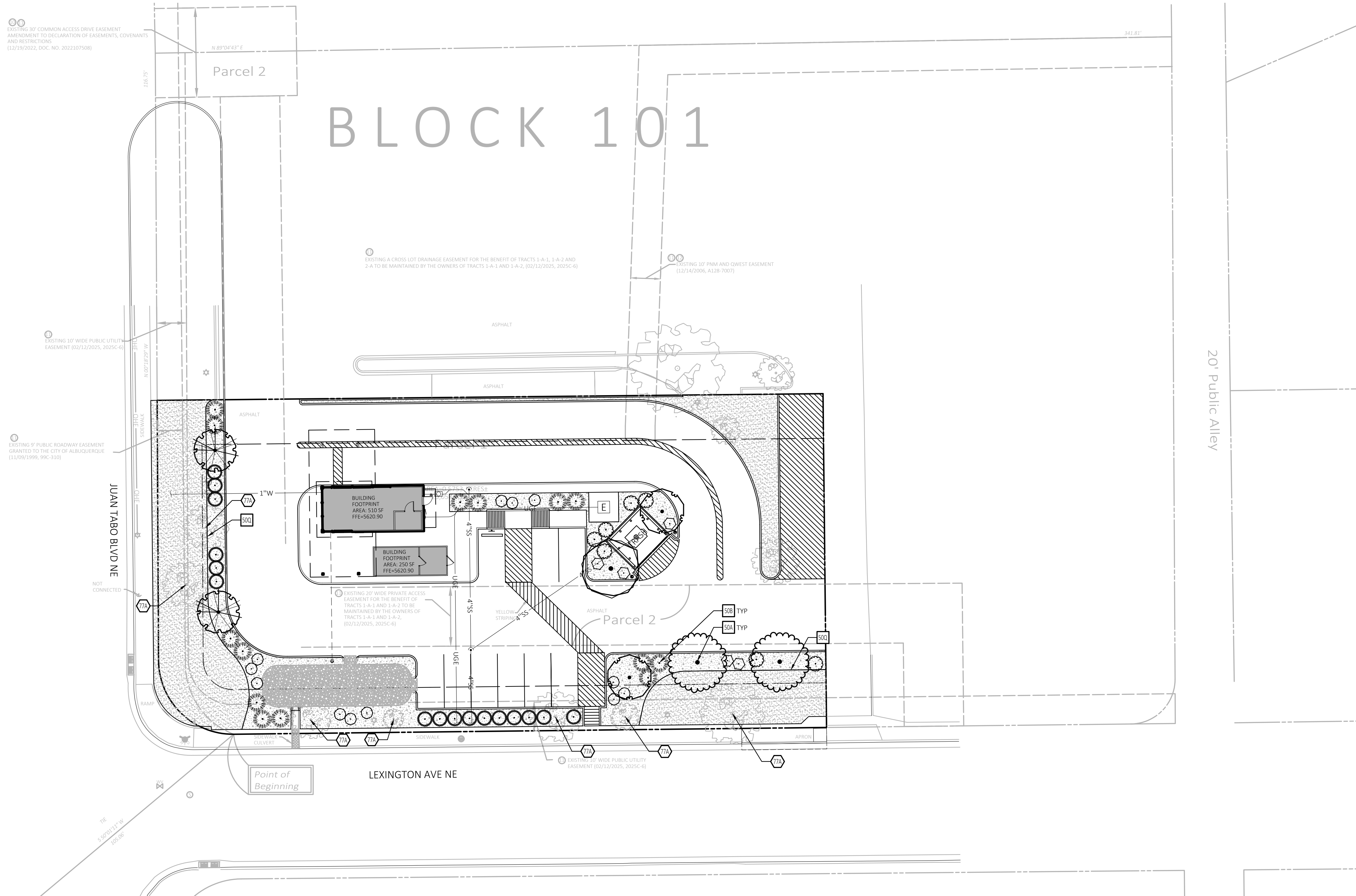
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PLANT SCHEDULE					
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	CAL.
TREES					
	2	CELTIS RETICULATA / NETLEAF HACKBERRY	B&B	50A	2.00" CAL.
	2	CERCIS CANADENSIS MEXICANA / MEXICAN REDBUD	B&B	50A	2.00" CAL.
	2	FORESTIERA NEOMEXICANA / NEW MEXICO PRIVET	B&B	50A	2.00" CAL.
	1	GYMNOCLADUS DIOICUS 'ESPRESSO' / KENTUCKY COFFEETREE	B&B	50A	2.00" CAL.
SYMBOL	QTY	BOTANICAL / COMMON NAME	SIZE	DETAIL	
SHRUBS					
	7	ARTEMISIA TRIDENTATA / BIG SAGEBRUSH	5 GAL	50B	
	5	CHRYSOETHAMNUS NAUSEOSUS 'LA PLATA' / LA PLATA SILVER LEAF RABBITBRUSH	5 GAL	50B	
	14	JUNIPERUS SABINA 'BUFFALO' / BUFFALO JUNIPER	5 GAL	50B	
	17	LEUCOPHYLLUM FRUTESCENS 'COMPACTA' / COMPACT TEXAS SAGE	5 GAL	50B	
	12	RHUS TRILOBATA 'AUTUMN AMBER' / AUTUMN AMBER SUMAC	5 GAL	50B	

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REFERENCE NOTES SCHEDULE			
SYMBOL	DESCRIPTION	QTY	DETAIL
ROCK			
	3/4" DIA. SANTA FE BROWN DECORATIVE ROCK 3" DEPTH	2,917 SF	
	1" 3" DIA. RIVER ROCK 4" DEPTH	699 SF	
	SANTA FE BROWN CRUSHER FINES 3" DEPTH	4,359 SF	

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NOTE:

SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.






















Know what's below.
Call before you dig.







VICINITY MAP
NOT TO SCALE

LEGEND

EXISTING LEGEND

	MEASURED BEARING AND DISTANCES		WATER VALVE
	MATCH RECORD BEARING AND DISTANCES		SANITARY SEWER MANHOLE
	FOUND & USED MONUMENT AS DESIGNATED		FIRE HYDRANT
	CONTROL POINT SET THIS SURVEY		SIGN
	GAS METER		CURB INLET
	TRANSFORMER		WATER METER
	CLEANOUT		HANDICAP PARKING SPACE
	GUY WIRE		EDGE OF ASPHALT
	LIGHT POLE		OVERHEAD UTILITY LINE
	TREE		

PROPOSED LEGEND

	BOUNDARY LINE
	RIGHT OF WAY LINE
	STORM DRAIN
	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

GENERAL LANDSCAPED NOTES

- A. SEE LANDSCAPE NOTES SHEET FOR LANDSCAPE NOTES AND DETAILS

LANDSCAPE DETAILS

- 50A TREE PLANTING
50B SHRUB PLANTING
50Q STEEL EDGING

LANDSCAPE NOTES

- 77A EXISTING TREE TO REMAIN

LANDSCAPE REQUIREMENTS

AREA	REQUIREMENT	REQUIRED	PROVIDED
MINIMUM LANDSCAPE AREA	A MINIMUM OF 15% OF THE NET LOT AREA SHALL BE LANDSCAPED	NET LOT AREA = 24,283 SF x 15% = 3,642 SF REQUIRED	8,087 SF PROVIDED
	TREE CANOPIES AND GROUND LEVEL PLANTS SHALL COVER A MINIMUM OF 75% OF THE TOTAL LANDSCAPE AREA		PROVIDED
	A MINIMUM OF 25% OF THE REQUIRED PLANTS SHALL BE GROUND LEVEL PLANTS		PROVIDED
STREET TREES	STREET TREES SHALL BE REQUIRED AT 25' O.C. ALONG ALL STREET FRONTAGES	JUAN TABO BLVD: 87 / 25' = 4 TREES REQUIRED LEXINGTON AVE: 199 / 25' = 8 TREES REQUIRED	4 TREES PROVIDED 2 PROPOSED AND 2 EXISTING TREES 8 TREES PROVIDED 3 PROPOSED AND 4 EXISTING TREES
	THE PARKING LOT SHALL BE SCREENED FROM THE STREET BY 3-4 LINE OF EVERGREEN SHRUBS	REQUIRED	PROVIDED
PARKING LOT LANDSCAPING	A MINIMUM OF 10% OF THE PARKING LOT SHALL BE LANDSCAPED	13,664 SF x 10% = 1,366 SF REQUIRED	1,633 SF PROVIDED
	ONE TREE SHALL BE PLANTED PER EVERY 10 PARKING SPACES	9 PARKING SPACES / 10 = 1 TREE REQUIRED	1 TREE PROVIDED



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LANDSCAPE PLAN

SHEET TITLE
SHEET NUMBER

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GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
- CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
- QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
- IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
- CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
- ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
- THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
- COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
- IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR 1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA 2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD 3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
- WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN, AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
- THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
- SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.

PLANTING NOTES

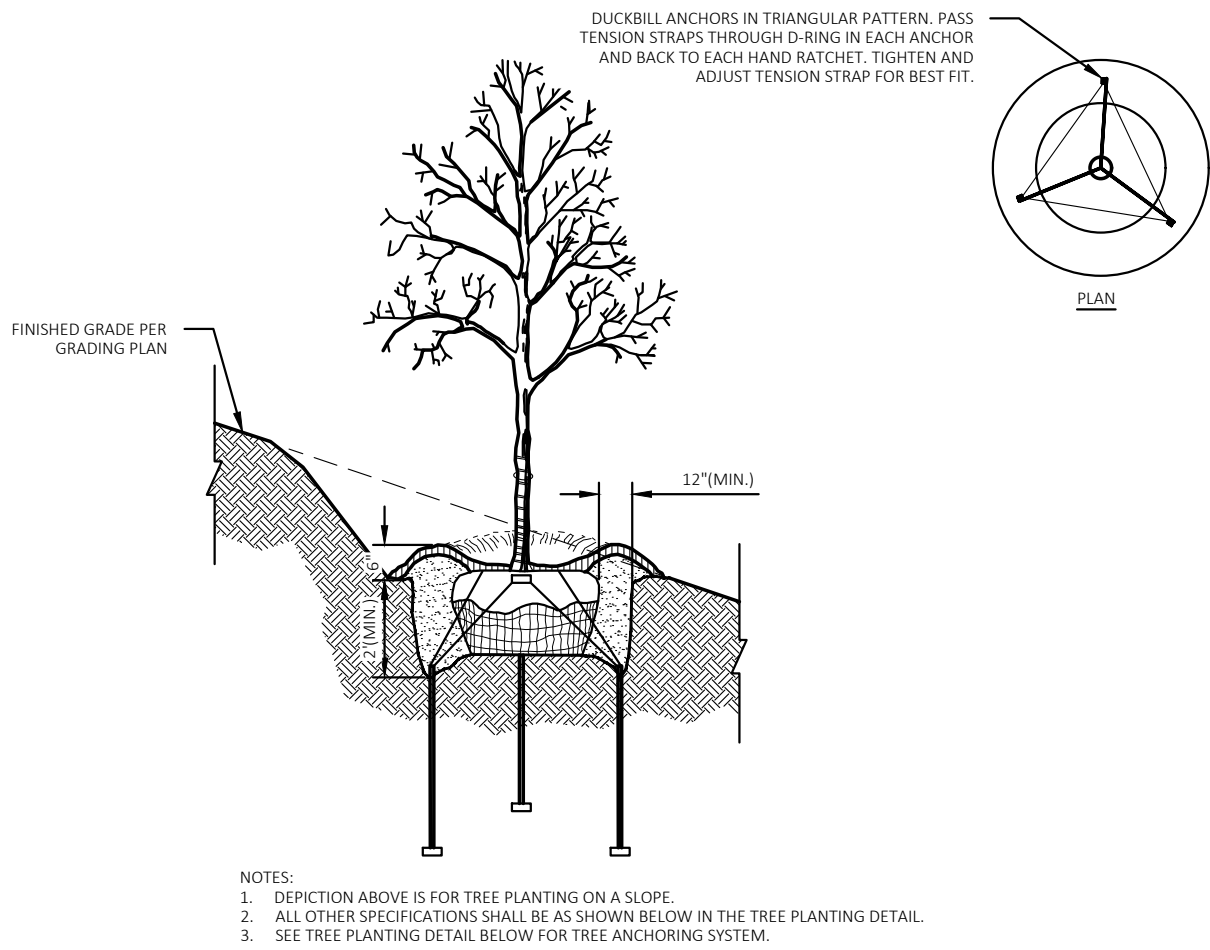
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIALS SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC. SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- FINISH GRADE OF LANDSCAPE AREAS (TOP OF TURF AND MULCH) MUST BE GRADED TO 1 1/2" BELOW ADJACENT PAVEMENT SURFACES.
- LOCATE SHRUBS A DISTANCE OF HALF OF THEIR AVERAGE MATURE SPREAD AWAY FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.. LOCATE GROUND COVER PLANTINGS A MINIMUM OF 2' FROM WALKS, STRUCTURES, CONCRETE PADS, ETC.
- ALL LAWN AREAS NOT OTHERWISE BORDERED BY WALKS, OR OTHER STRUCTURES, SHALL HAVE MANUFACTURED EDGING AS REQUIRED.
- TREES PLANTED ADJACENT TO PUBLIC ROADS AND PEDESTRIAN SIDEWALKS SHALL BE PRUNED SUFFICIENTLY TO AVOID VISUAL BLOCKS TO INTERSECTING VEHICULAR ACCESS OR INTERFERENCE WITH PEDESTRIAN WALKWAYS. TREES WITH A 4" OR LARGER CALIPER SHALL BE PRUNED UP TO 6'-0" ABOVE PAVEMENTS.
- ALL TREES WITHIN 4' OF PAVED SURFACES (SUCH AS CURBS, WALLS, BUILDINGS AND SIDEWALKS) SHALL BE PROVIDED WITH A DEEP ROOT BARRIER CONTROL DEVICE OR EQUAL. INSTALL PER MFR'S SPECIFICATIONS.
- TOPSOIL DEPTH SHALL BE AS FOLLOWS :
PLANTER BEDS - 12" MINIMUM
GRASS/SOD AREAS - 4" MINIMUM (AFTER COMPACTION)
- BACKFILL ALL TREES, SHRUBS, GROUND COVER WITH A MIXTURE OF 2 PARTS NATIVE SOIL AND 1 PART SOIL CONDITIONING WITH WOOD MULCH.
- THE LANDSCAPE CONTRACTOR SHALL WATER TEST ALL PLANTING HOLE PRIOR TO PLANTING. IF HOLES DO NOT DRAIN PROPERLY, EXCAVATE FURTHER UNTIL IMPERMEABLE LAYER IS BREACHED. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH A TIME RELEASE FERTILIZER PER BRAND'S SPECIFIED APPLICATION RATES.
- ALL PLANTING BED SOILS SHALL BE AMENDED WITH 2" OF ORGANIC COMPOST
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL.
- ANY ROPE OR WIRE BINDING THE BALL SHALL BE CUT PRIOR TO PREVENT GIRDLING OF THE TREE. REMOVE WIRE, TWINE, AND BURLAP FROM THE TOP HALF OF ALL B&B PLANT MATERIAL.
- IF A NON-BIODEGRADABLE MATERIAL IS USED AROUND THE BALL, IT SHALL BE COMPLETELY REMOVED PRIOR TO BACKFILLING.
- PRIOR TO INSTALLATION, THE ROOTS OF CONTAINER GROWN STOCK SHALL BE SEPARATED OR SPLIT TO ENSURE PROPER ROOT DEVELOPMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING TO MAINTAIN HEALTHY PLANT CONDITIONS.
- ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS. TREES & SHRUBS SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY.
- ALL TREES MUST BE STRAIGHT-TRUNKED, FULL-HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE STAKED AS SHOWN IN THE DETAILS.
- NO SUBSTITUTIONS OR ALTERNATIVES WILL BE ALLOWED FOR GROUND SURFACE MATERIALS UNLESS APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT OR OWNER.
- MAINTAIN 5' MIN. HORIZONTAL SEPARATION BETWEEN TREE PLANTINGS AND ALL UTILITIES UNLESS OTHERWISE SPECIFIED.
- A FOUR INCH (4") TOP DRESSING/MULCHING OF LANDSCAPE ROCK PER LANDSCAPE PLAN SHALL BE PLACED IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL HAVE TOP DRESSING TO THE OUTSIDE EDGE OF THE MANUFACTURED EDGING OR LANDSCAPE ISLAND. (SEE PLANTING DETAILS) TOP DRESSING CAN BE WOOD MULCH, ROCK, OR ANY OTHER DECORATIVE MATERIAL SPECIFIED ON PLANS. SEE LANDSCAPE PLAN FOR TYPE.
- THE FOLLOWING PLANTING SEASONS ARE RECOMMENDED:
EVERGREEN SHRUBBERY NOVEMBER - MARCH
DECIDUOUS SHRUBBERY & TREES NOVEMBER - MARCH
EVERGREEN TREES NOVEMBER - MARCH

PLANT GUARANTEE, REPLACEMENT AND MAINTENANCE

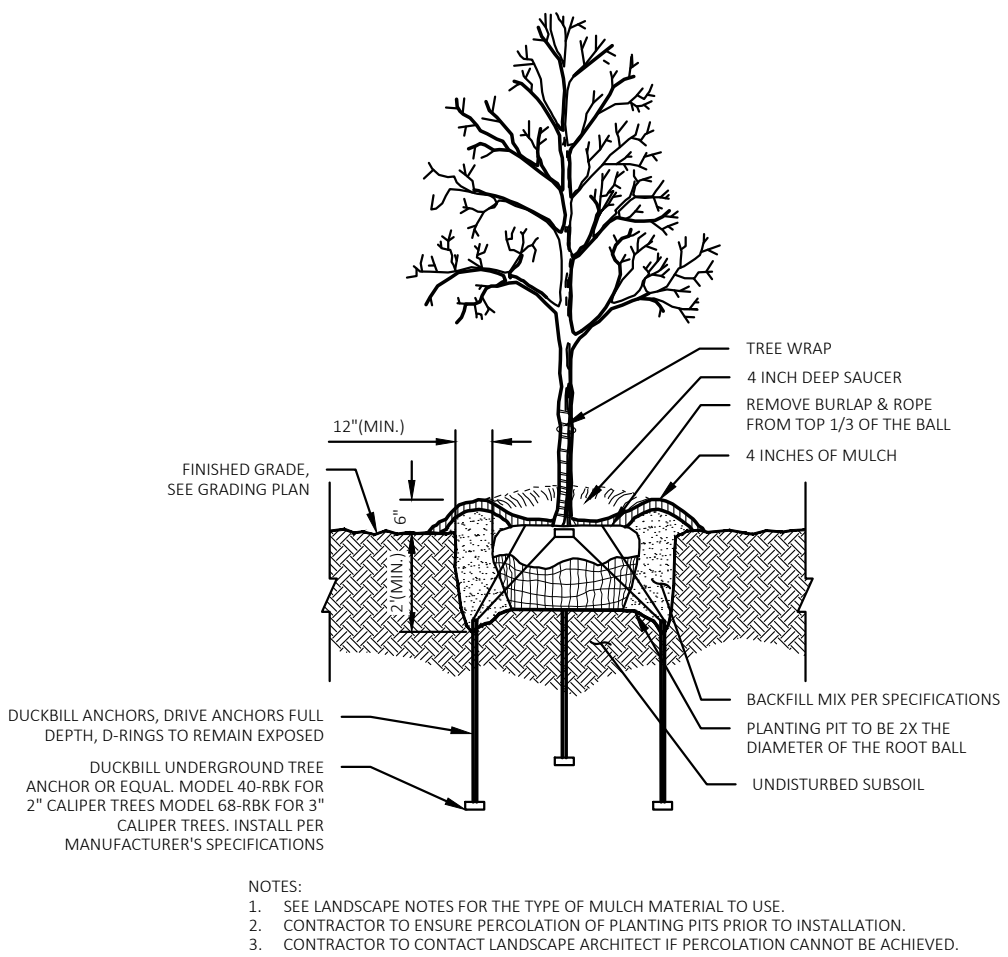
- GUARANTEE:**
ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREAS HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON, WHATSOEVER SHALL BE RE-SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL SEEDED LAWN AREA.
- REPLACEMENT:**
ANY PLANT UNDER THIS SPEC WHICH IS DEAD, MISSING, UNHEALTHY, OR OTHERWISE NOT ACCEPTABLE AND NOT IN SATISFACTORY GROWING CONDITION DURING CONSTRUCTION MAINTENANCE PERIOD, OR AT THE END OF THE GUARANTEE PERIOD, SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE, ACCEPTABLE PLANT AS SPECIFIED, WITHIN FIVE (5) DAYS.
- MAINTENANCE:**
GENERAL CONTRACTOR SHALL PROVIDE ONE YEAR OF LANDSCAPE MAINTENANCE, FROM THE TIME THE PROJECT RECEIVES THE CERTIFICATE OF OCCUPANCY AND THERE AFTER, FOR ALL NEW LANDSCAPE. IF EXISTING LANDSCAPE EXISTS ON-SITE, GENERAL CONTRACTOR IS TO PROVIDE THE OPTION OF MAINTENANCE FOR THE OWNER'S REVIEW.

HERBICIDES NOTES

- APPLICATION OF HERBICIDES SHALL BE IN COMPLIANCE WITH STATE PESTICIDES REGULATIONS. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONSULT WITH THE REGULATORY AGENCIES FOR LOCAL HERBICIDES APPLICATION REQUIREMENTS.
- IF THERE IS A DISCREPANCY BETWEEN STATE REGULATIONS AND ADDITIONAL REQUIREMENTS BELOW, MOST STRINGENT SHALL RULE
- NO AERIAL APPLICATION OF HERBICIDES IS PERMITTED ON SITE.
- CARCINOGENS AND EPA TOXIC CATEGORY I AND II ARE PROHIBITED TO USE ON SITE.



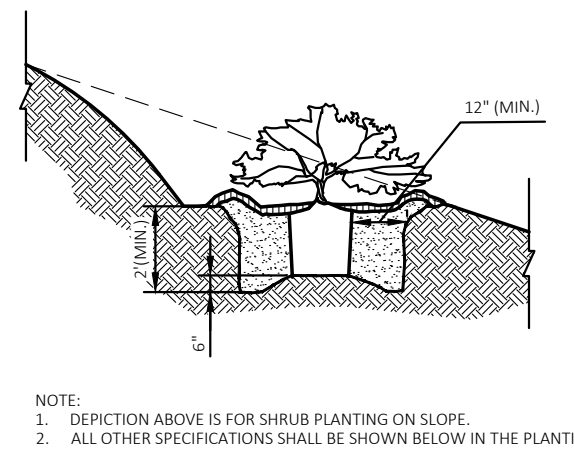
- NOTES:
- DEPICTION ABOVE IS FOR TREE PLANTING ON A SLOPE.
 - ALL OTHER SPECIFICATIONS SHALL BE AS SHOWN BELOW IN THE TREE PLANTING DETAIL.
 - SEE TREE PLANTING DETAIL BELOW FOR TREE ANCHORING SYSTEM.



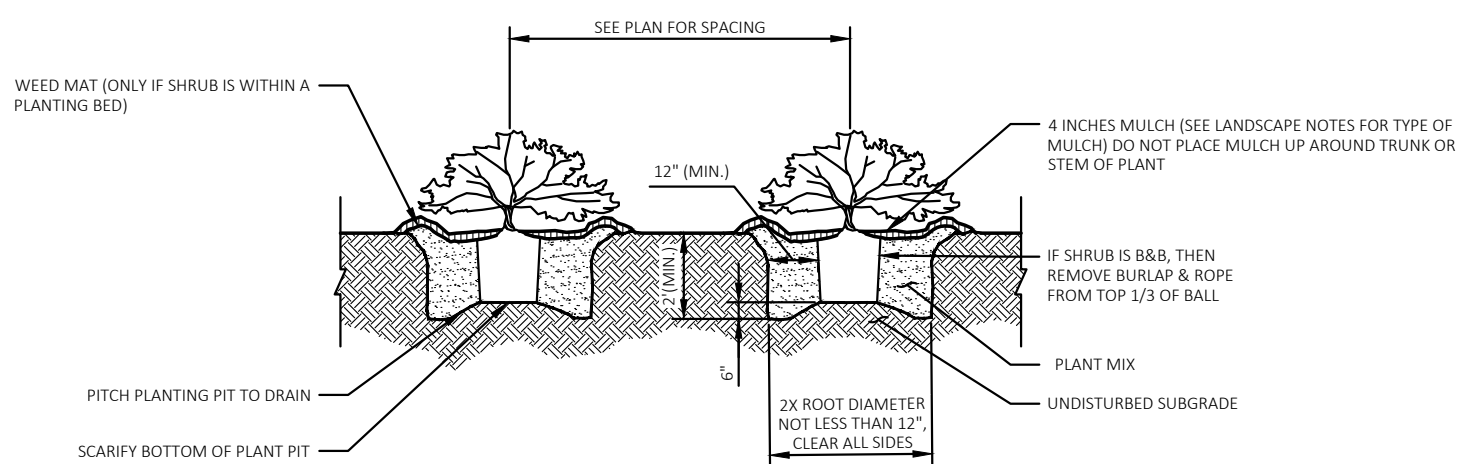
- NOTES:
- SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - CONTRACTOR TO ENSURE PERCOLATION OF PLANTING PITS PRIOR TO INSTALLATION.
 - CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF PERCOLATION CANNOT BE ACHIEVED.

TREE PLANTING

N.T.S.

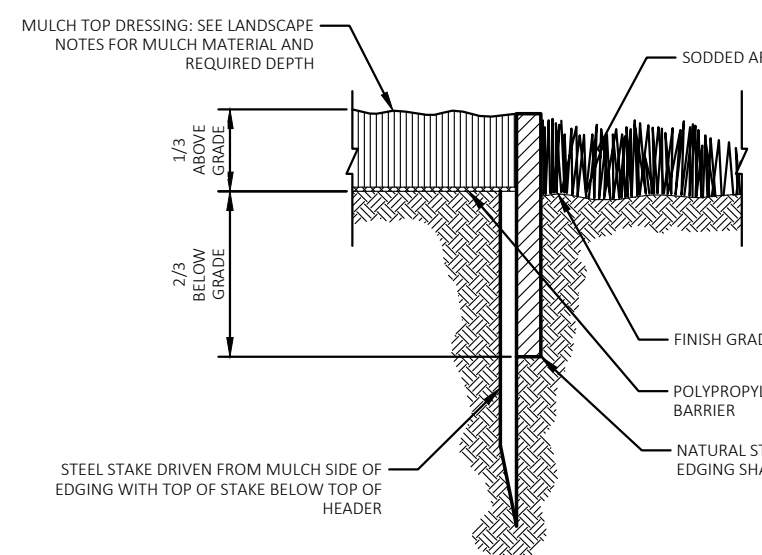


- NOTE:
- DEPICTION ABOVE IS FOR SHRUB PLANTING ON SLOPE.
 - ALL OTHER SPECIFICATIONS SHALL BE SHOWN BELOW IN THE PLANTING DETAIL.



SHRUB PLANTING

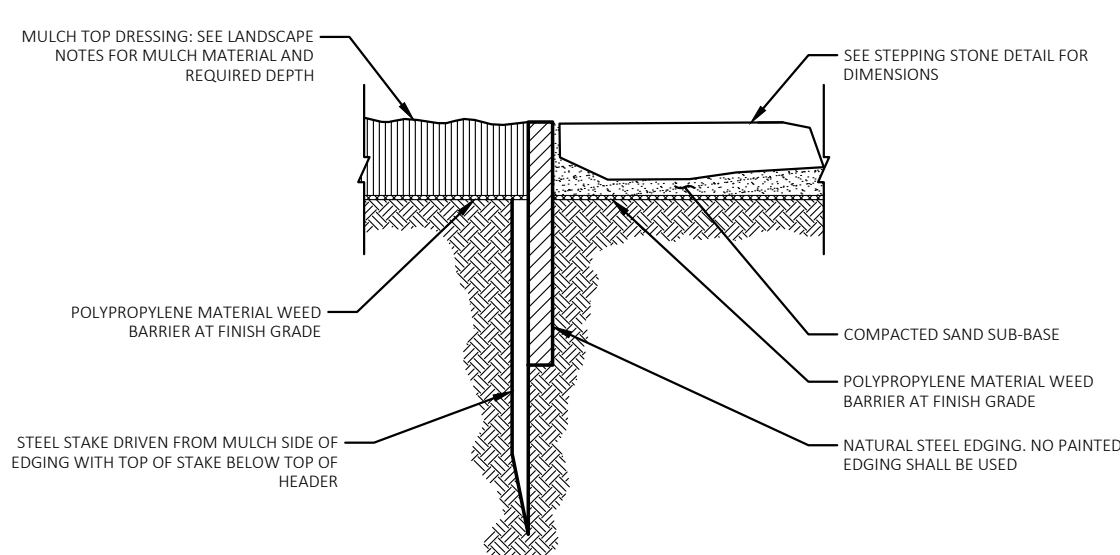
N.T.S.



- NOTE:
- DEPICTION ABOVE IS FOR SODDED AREA WITH MULCH.

STEEL EDGING

N.T.S.



- NOTE:
- DEPICTION ABOVE IS FOR STEPPING STONE AREA WITH MULCH.



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LANDSCAPE NOTES

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