

ABBREVIATIONS

A	AT	FRP	FIBER REINFORCED PANEL	PP	POWER POLE
AB	ANCHOR BOLT	FRT	FIRE RETARDANT TREATED WOOD	PR	PAIR
ABV	ABOVE	FT	FOOT	PSF	POUNDS PER SQUARE FOOT
AC	AIR CONDITIONER	FTG	FOOTING	PSI	POUNDS PER SQUARE INCH
ACT	ACOUSTIC TILE CEILING	G	GAUGE	PT	PRESSURE TREATED
ADD	ADDENDUM	CA	CALC	PTD	PAPER TOWEL DISPENSER
ADJ	ADJACENT	GALV	GALVANIZED	PTR	PAPER TOWEL RECEPTOR
ADJT	ADJUSTABLE ABOVE FINISHED FLOOR	GB	GRAB BARS	PVD	POLYVINYL CHLORIDE PAVEMENT
ALT	ALTERNATE	GC	GENERAL CONTRACTOR	PWD	PLYWOOD
ALUM	ALUMINUM	GG	GLASS	R	RETURN AIR
ANCR	ANCHOR	GR	GRADE	RA	RADIANCE
AND	AND/ODD	GW	GAS WATER HEATER	RB	RUBBER BASE
APPROX	APPROXIMATE	GYP BD	GYP SUM BOARD	RD	ROOF DRAIN
ARCH	ARCHITECTURAL	H	HOSE BIBB	REC	RECESSED
ASPH	ASPHALT	HC	HOLLOW CORE	REF	REFLECTED
B	BOTTOM OF BOARD	HD	HEAD	REFL	REFLECTED
B.O.	BOTTOM OF BOARD	HN	HOLD-DOWN	REIN	REINFORCED
BLDG	BUILDING	HDR	HEADER	REQD	REQUIRED
BLK	BLOCK	HGR	HANGER	RET	RETAINING
BLKG	BLOCKING	HM	HOLLOW METAL	REV	REVISION
BM	BEAM	HMD	HOLLOW METAL DOOR	RM	ROOM
BM	BENCH MARK	HMF	HOLLOW METAL FRAME	RO	ROUGH OPENING
BOT	BOTTOM	HMH	HOLLOW METAL HANGING	ROW	RIGHT OF WAY
BP	BASE PLATE	HRD	HARD	RSC	ROUGH SAWN CEDAR
BRT	BRONZE	HSS	HOLLOW STRUCTURAL STEEL SECTION	S	SOUTH
BTU	BRITISH THERMAL UNIT	HT	HEIGHT	S	SOUTH
BUR	BUILT-UP ROOF	HTG	HEATING	S	SOUTH
C	CABINET	HVAC	HEATING/VENTILATING/AIR CONDITIONING	S&V	STAIN AND VARNISH
CAB	CATCH BASIN	I	INSIDE DIAMETER	S.DISP.	SOAP DISPENSER
CEM	CEMENT	ID	INSIDE DIAMETER	SAT	SATURATED
CFT	CUBIC FOOT	IN	INCHES	SC	SOLID CORE
CI	CAST IRON	INCL	INCLUDE	SCH	SCHEDULE
CIP	CAST IN PLACE	INCL	INCLUDE	SD	SECTION
CJ	CONTROL JOINT	INSUL	INSULATION	SEC	SECTION
CL	CENTER LINE	INT	INTERIOR	SF	SQUARE FOOT
CLR	CLEARANCE	J	JANITOR CLOSET	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	JC	JANITOR CLOSET	SHING	SHEATHING
CO	CASED OPENING	JST	JOIST	SM	SHIM
CO	CLEAN OUT	JT	JOINT	SM	SHIM
COL	COLUMN	K	KIPS	SP	SPACE(S)
CONC	CONCRETE	KSF	KIPS PER SQUARE FOOT	SPA	SPACE(S)
CONN	CONNECTION	L	LONG	SPEC	SPECIFICATION
CONST	CONSTRUCTION	LAM	LAMINATED	SQ	SQUARE
CONT	CONTINUOUS	LAV	LAVATORY	SS	SANITARY SEWER
CORR	CORRUGATED	LF	LINEAL FOOT	SST	STAINLESS STEEL
CPT	CARPET(ED)	LG	LONG	ST	STEEL
CYD	CUBIC YARD	LL	LIVE LOAD	STD	STANDARD
D	DRYER	LHM	LONG LEG HORIZONTAL	STRUC	STRUCTURAL
DBL	DOUBLE	LV	LONG LEG VERTICAL	SUSP	SUSPENDED
DEM	DEMOLITION	LV	LONG LEG VERTICAL	SYM	SYMMETRICAL
DEV	DEVELOPMENT	LT	LIGHT	SYN	SYNTHETIC
DF	DRINKING FOUNTAIN	LW	LOUVER	T	TOP OF
DH	DOUBLE HUNG	LWR	LIGHT WEIGHT	T&B	TOP AND BOTTOM
DI	DROP INLET	LWT	LIGHT WEIGHT BLOCK	T&G	TONGUE AND GROOVE
DIA	DIAMETER	LWB	LIGHT WEIGHT BLOCK	T.O.	TOP OF
DIAG	DIAGONAL	M	MASONRY	T.O.S.	TOP OF STEEL
DM	DIMENSION	MATL	MATERIAL	TOP ORND	TOP OF RIGID
DIST	DISTRIBUTED	MAX	MAXIMUM	EXTENSION	EXTENSION
DIV	DIVISION	MCJ	MASONRY CONTROL JOINT	TEL	TELEPHONE
DL	DEAD LOAD	MECH	MECHANICAL	TEMP	TEMPERED
DN	DOWN	MFG	MANUFACTURING	THK	THICK
DR	DOOR	MFR	MANUFACTURER	THRD	THREADED
DS	DOWN SPOUT	MH	MANHOLE	TV	TELEVISION
DTL	DETAIL	MN	MINIMUM	TYP	TYPICAL
DW	DISHWASHER	MIR	MIRROR	UNO	UNLESS NOTED OTHERWISE
DWG	DRAWING	MISC	MISCELLANEOUS	UR	URNAL
E	EAST	MO	MASONRY OPENING	V	VARIABLE
EA	EACH	MTD	MOUNTED	VAR	VARIABLE
EF	EACH FACE	MTL	METAL	VCT	VINYL COMPOSITION TILE
EFS	EXTERIOR INSULATION FINISH SYSTEM	MULL	MULLION	VERT	VERTICAL
EJ	EXPANSION JOINT	N	NORTH	VF	VERIFY IN FIELD
ELEC	ELECTRICAL	NC	NOT IN CONTRACT	VR	VAPOR RETARDER
ELEV	ELEVATION	NO.#	NUMBER	VWC	VINYL WALL COVERING
EMER	EMERGENCY	NOM	NOMINAL	W	WEST
EQ	EQUAL	NOS	NOT TO SCALE	W	WEST
EW	EACH WAY	O	OVERALL	W.F.M.	WELDED FRAME
EW	ELECTRIC WATER HEATER	OA	OVER CENTER	W	WITH
EXH	EXHAUST	OC	OUTSIDE DIAMETER OR OVERFLOW DRAIN	WO	WITHOUT
EXP	EXPOSED	OD	OVERFLOW DRAIN	WB	WOOD BASE
EXT	EXTERIOR	OFD	OWNER FURNISHED CONTRACTOR INSTALLED	WC	WATER CLOSET
F	FACE BRICK	OFI	OWNER FURNISHED CONTRACTOR INSTALLED	WD	WOOD
FBO	FURNISHED BY OTHERS	OH	OVER HEAD	WF	WIDE FLANGE
FD	FLOOR DRAIN	OPNG	OPENING	WH	WALL HYDRANT
FDN	FOUNDATION	OPPS	OPPOSITE	WHS	WELDED WEADED STUD
FE	FIRE EXTINGUISHER	OWN	OWNER	WIN	WINDOW
FEC	FIRE EXTINGUISHER AND CABINET	OVSJ	OPEN WEB STEEL JOIST	WP	WATERPROOFING
FF	FINISHED FLOOR ELEVATION	P	PRECAST	WT	WEIGHT
FFE	FINISHED FLOOR ELEVATION	PC	PRECAST	WTW	WALL TO WALL
FIN	FINISH	PEJ	PREMOLDED EXPANSION JOINT	WWF	WELDED WIRE FABRIC
FLR	FLOORING	PERF	PERFORATED		
FLSH	FLASHING	PF	PRE FINISHED		
FOC	FACE OF CONCRETE	PL	PLATE		
FOF	FACE OF FINISH	PL	PLATE		
FOM	FACE OF MASONRY	PL	PROPERTY LINE		
FOS	FACE OF STUD	PLAM	PLASTIC LAMINATE		
FR	FIRE RATED	PNT	PAINT(ED)		
FR GYP	FIRE RATED GYP BOARD	POS	POINT OF SALE		

PROJECT INFORMATION

OWNER / DEVELOPER	BUILDING DEPARTMENT	WATER
CHUZE FITNESS 1011 CANNON DEL RIO SOUTH, SUITE 350 SAN DIEGO, CA 92108 ATTN: TIM FLUMBAR TEL: (659) 768-2587	CITY OF ALBUQUERQUE PLANNING PLAZA DE SOL, BUILDING 600 NW ALBUQUERQUE, NM 87102 TEL: (505) 942-3860	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY 1441 MISSION AVE. ALBUQUERQUE, NM 87113 TEL: (505) 884-0444

ARCHITECT	HEALTH DEPARTMENT	SANITARY & STORM SEWER
MG2 CORPORATION 3333 MICHELSON DR., STE. 100 IRVINE, CA 92612 ATTN: LYSSA GORANSON TEL: (949) 705-7500	CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH 1 CIVIC PLAZA NW ALBUQUERQUE, NM 87102 TEL: (505) 768-2000	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY 1441 MISSION AVE. ALBUQUERQUE, NM 87113 TEL: (505) 942-9287

ELECTRICAL	UTILITY CONTACTS:	ELECTRIC/GAS
GAUSMAN AND MOORE, DIV OF AYRES 3433 DAKHILLS PARKWAY EAU CLAIRE, WI 54701 ATTN: LYSSA GORANSON TEL: (661) 291-4265	PUBLIC SERVICE COMPANY OF NEW MEXICO 414 SILVER AVE., SW ALBUQUERQUE, NM 87102 TEL: (505) 241-2700	

MECH/PLUMBING	STRUCTURAL
GAUSMAN AND MOORE, DIV OF AYRES 3433 DAKHILLS PARKWAY EAU CLAIRE, WI 54701 ATTN: ANDREW WILKINSON TEL: (661) 291-4265	KPFF CONSULTING ENGINEERS 18400 VON KARMANN AVE., STE. 400 IRVINE, CA 92612 ATTN: DINA ELSAWY TEL: (949) 252-1022

INTERIOR DESIGN
IDM STUDIO 1356 ANNAPOLIS WAY GRANDSON, CA ATTN: HEATHER MOORE TEL: (404) 307-4611

SYMBOL - LEGEND			
1 View Name SCALE: 1/8" = 1'-0"	VIEW TITLE	N	NORTH ARROW
1 SIM NUMBER A3.0	BUILDING SECTION	A2.1	EXTERIOR BUILDING ELEVATION
1 SIM NUMBER A3.0	WALL SECTION	A2.1	INTERIOR ELEVATION
1 GRID BUBBLE	GRID BUBBLE	W-11	PARTITION TYPE
1 DETAIL CALLOUT A501	DETAIL CALLOUT	101	ROOM DESIGNATION
1 MATCHLINE A101	MATCHLINE	A	WINDOW MARK TAG
1 KEY NOTE	KEY NOTE	EXIT	TACTILE EXIT SIGN - WALL MOUNTED
1 REVISION TAG	REVISION TAG	1	EQUIPMENT TAG
1 ELEVATION	ELEVATION		

KEYNOTES LEGEND
A101 DEMOLITION KEYNOTES
A101 ARCHITECTURAL SITE PLAN KEYNOTES
A131 ROOF PLAN KEYNOTES
A201 EXTERIOR ELEVATION KEYNOTES
A400 REFLECTED CEILING, ENLARGED FLOOR PLAN AND ELEVATION KEYNOTES
A500 EXTERIOR ELEVATION KEYNOTES

DELEGATED DESIGN SUBMITTALS
FIRE SPRINKLER SYSTEM
FIRE ALARM SYSTEM
EXTERIOR AND INTERIOR SIGNAGE
SAUNA ROOM AND EQUIPMENT

PLUMBING FIXTURE CALCULATIONS								
OCCUPANCY	TOTAL OCCUPANTS	WATER CLOSETS / URINALS		LAVATORIES		DRINKING FOUNTAINS	BATHTUB / SHOWERS	SERVICE SINKS
A-3 (1715) ASSEMBLY UNCONCENTRATED	234	3.6	1.872	1.17	1.17	468	-	0
A-3 (150) EXERCISE & LOCKER	803	4.38	2.278	1.43	1.43	1,602	-	0
B (17100) BUSINESS USE	53	1.08	1.08	.68	.68	53	-	1
E (135) DAY CARE	44	.44	.44	.44	.44	.44	-	1
I-4 (125) DAY CARE	3	.3	.3	.13	.13	.44	1	1
S-1 (1300) ACCESSORY STORAGE MECHANICAL	12	.06	.06	.06	.06	0.01	-	1
TOTAL REQUIRED FIXTURES:	10	6	4	4	4	1	1	1
TOTAL PROVIDED FIXTURES:	10	7	7	4	5	10	4	4

REFERENCE STANDARDS 2015 IBC, TABLE 2902.1								
OCCUPANCY	RATIOS	WATER CLOSETS / URINALS		LAVATORIES		DRINKING FOUNTAINS	BATHTUB / SHOWERS	SERVICE SINKS
A-3	1 PER:	65	125	200	200	500	N/A	1
B (17100) BUSINESS USE	1 PER:	25	25	40	40	100	N/A	1
E3 (125) DAY CARE	1 PER:	50	50	50	50	100	N/A	1
I-4 (125) DAY CARE	1 PER:	15	15	15	15	100	1	1
S-1 (1300) ACCESSORY STORAGE MECHANICAL	1 PER:	100	100	100	100	1000	N/A	1

* 50% OF REQUIRED FIXTURES MAY BE URINALS
* HALF OF DRINKING FOUNTAINS ARE ADA ACCESSIBLE
* FAMILY RESTROOM MAY BE COUNTED AS PART OF THE REQUIRED MALE OR FEMALE COUNT (2902.1.2)

PROJECT DATA AND CODE ANALYSIS

PROJECT ADDRESS:	6600 CENTRAL AVE. SW, ALBUQUERQUE, NM, 87121
APPLICABLE CODES:	2015 NEW MEXICO COMMERCIAL BUILDING CODE, 2015 NEW MEXICO EXISTING BUILDING CODE, 2015 NEW MEXICO MECHANICAL CODE, 2015 NEW MEXICO PLUMBING CODE, 2011 NEW MEXICO ELECTRICAL CODE, 2015 INTERNATIONAL FIRE CODE, 2009 NEW MEXICO CONSERVATION CODE, 2015 NEW MEXICO EARTH BUILDING MATERIALS CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, 2020 UNIFORM ADMINISTRATIVE CODE UAC ORDINANCE 0-17-40

DESIGN CRITERIA	SEE STRUCTURAL DRAWINGS
ZONE:	MX-M
BUILDING ANALYSIS	
BUILDING HEIGHT:	26'-4"
PROPOSED BUILDING OCCUPANCIES:	A3, B, E, S1, I4
OCCUPANCY SEPARATION REQUIRED PER IBC 508.3:	NOT REQUIRED PER 508.3

GROSS SQUARE FOOTAGE PER OCCUPANCY:		OCC. LOAD
LEVEL 1		
A3 (1715) ASSEMBLY UNCONCENTRATED	3471 SF	234
A3 (150) EXERCISE & LOCKER ROOM	4005 SF	803
B (17100) BUSINESS USE	5069 SF	53
E (135) DAY CARE	1512 SF	44
I-4 (125) DAY CARE	81 SF	3
S-1 (1300) ACCESSORY STORAGE/MECHANICAL	655 SF	12
TOTAL SQUARE FOOTAGE:	50845 SF	1149

EXISTING CONSTRUCTION TYPE:	II (2-B), FULLY SPRINKLERED
SPRINKLER IN ACCORDANCE WITH IBC 903.3	YES
EXIT WIDTH FACTOR	15 / OCC.

NOTE: AN EXIT WIDTH FACTOR OF .15 IS APPLIED PER SECTIONS 903.3.1.1 OR 903.3.1.2 OF THE IBC. FIRE ALARM AND FIRE SPRINKLER SYSTEMS TO BE INSTALLED PER SECTION 907.5.2.2 OF THE IBC.	
BASE ALLOWABLE (CHAPTER 5):	38,000 SF
AREA (SF PER FLOOR HEIGHT):	75 FT 3 STOREYS
AREA INCREASES REQUIRED:	YES YES - UNLIMITED AREA PER IBC 507

ALLOWABLE SQUARE FOOTAGE:	UNLIMITED
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OCCUPANCY/EXIT CALCULATIONS	
EXITS/EXIT WIDTH PER 1005.2 PROVIDED EXITS AND WIDTH	4 REQUIRED WITH 227.8' TOTAL WIDTH REQUIRED 6 PROVIDED, 1 AT 48', 1 AT 84' AND 4 AT 72'

ACTUAL SQUARE FOOTAGE:	50,845 BOMA CALCULATED SF
TOTAL OCCUPANT LOAD:	1149

VICINITY MAP



SHEET INDEX

NUMBER	NAME	REVISION DATE
GENERAL		
G001	COVER SHEET	5/4/2022
G002	RESPONSIBILITY SCHEDULE/REQUIRED VENDORS	
G003	COMPREHENSIVE FIRE EGRESS PLAN	
G003.1	COMPREHENSIVE FIRE 2 EGRESS PLAN	
G004	ACCESSIBILITY DETAILS & MOUNTING HEIGHTS	
G005	ACCESSIBILITY DETAILS & MOUNTING HEIGHTS	
ARCHITECTURE		
A000A	DEMISED PREMISES SHELL VERIFICATION PLAN & NOTES	
A000.B	INTERIOR WALL VERIFICATION PLAN	
A0101	DEMOLITION FLOOR PLAN	5/4/2022
A001	SITE PLAN	5/4/2022
A002A	SITE DETAILS - ALTERNATE IBC	
A003	TRASH ENCLOSURE	
A010	OVERALL SLAB PLAN	
A101	OVERALL FLOOR PLAN	
A102	EQUIPMENT PLAN	
A111	FLOOR FINISH PLANS	
A121	OVERALL REFLECTED CEILING PLAN	
A131	OVERALL ROOF PLAN	
A201	EXTERIOR ELEVATIONS	
A201	WALL TYPES	
A421	RECEPTION FLOOR PLAN & REFLECTED CEILING PLAN	
A421.A	RECEPTION ELEVATIONS	
A421.B	VESTIBULE ELEVATIONS	
A422	KIDS CLUB FLOOR PLAN	
A422.A	KIDS CLUB REFLECTED CEILING PLAN	
A422.B	KIDS CLUB ELEVATIONS	
A423	SPALOUNGE FLOOR PLAN & REFLECTED CEILING PLAN	
A423.A	SPALOUNGE ELEVATIONS	
A424	MENS LOCKERS FLOOR PLAN	
A424.A	MENS LOCKERS REFLECTED CEILING PLAN	
A424.B	MENS LOCKERS ELEVATIONS	
A425	WOMENS LOCKERS FLOOR PLAN	
A425.A	WOMENS LOCKERS REFLECTED CEILING PLAN	
A426	STUDIO FLOOR PLAN & REFLECTED CEILING PLAN	
A426.A	STUDIO ELEVATIONS	
A427	GROUP X FLOOR PLAN & REFLECTED CEILING PLAN	
A427.A	GROUP X ELEVATIONS	
A428	CYCLE FLOOR PLAN & REFLECTED CEILING PLAN	
A428.A	CYCLE ELEVATIONS	
A429	CINEMA FLOOR PLAN & REFLECTED CEILING PLAN	
A429.A	CINEMA ELEVATIONS	
A430	TEAM TRAINING FLOOR PLAN & REFLECTED CEILING PLAN	
A430.A	TEAM TRAINING ELEVATIONS	
A431	HYDRO TANNING FLOOR PLAN & REFLECTED CEILING PLAN	
A431.A	HYDRO TANNING/RECOVERY ELEVATIONS	
A431.B	HYDRO TANNING/RECOVERY ELEVATIONS	
A432	MACHINE/SCARDO/CIRCUIT FLOOR PLAN	
A432.B	MACHINE/SCARDO/CIRCUIT ELEVATIONS	
A433	WEIGHTS FLOOR PLAN & ELEVATIONS	
A433.A	WEIGHTS ELEVATIONS	
A434	TURF FLOOR PLAN	
A434.A	TURF ELEVATIONS	
A435	CULTURE TRAINING FLOOR PLAN & REFLECTED CEILING PLAN	
A435.A	CULTURE TRAINING ELEVATIONS	
A436	ENLARGED BASKETBALL/PICKLEBALL COURTS	
A436.A	ENLARGED BASKETBALL/PICKLEBALL COURTS REFLECTED CEILING PLAN	
A436.B	BASKETBALL/PICKLEBALL COURT ELEVATIONS	
A501	WALL & PLATFORM DETAILS	
A502	SOFFIT & CEILING DETAILS	
A503A	MILLWORK DETAILS	
A503B	MILLWORK & MISC. DETAILS	
A503C	MILLWORK & MISC. DETAILS	
A504	SAUNA & SPA DETAILS	
A505	MISC. DETAILS & FLOOR TRANSITIONS	
A505.1	FLOOR TRANSITIONS	
A506	EXTERIOR DETAILS	
A601	DOOR AND WINDOW DETAILS	
A602	DOOR AND WINDOW DETAILS	
A610	SCHEDULES	
E000	ELECTRICAL TITLE SHEET	07/13/17
E001	ELECTRICAL LIGHTING FLOOR PLAN	11/14/14
E111	ELECTRICAL POWER & SYSTEMS FLOOR PLAN	11/14/14
E120	ELECTRICAL ROOF POWER PLAN	11/14/14
E401	ENLARGED ELECTRICAL PLANS	11/14/14
E501	ELECTRICAL DETAILS	11/14/14

SHEET INDEX

NUMBER	NAME	REVISION DATE
E601	ELECTRICAL ONE LINE & DETAILS	01/13/21
E602	ELECTRICAL SCHEDULES	01/30/19
E603	ELECTRICAL SCHEDULES	01/26/22
E604	ELECTRICAL PANELBOARD S	

LINE TYPE LEGEND

- PROPERTY LINE
- ADA POINT OF TRAVEL

PARKING SPACE CALCULATIONS

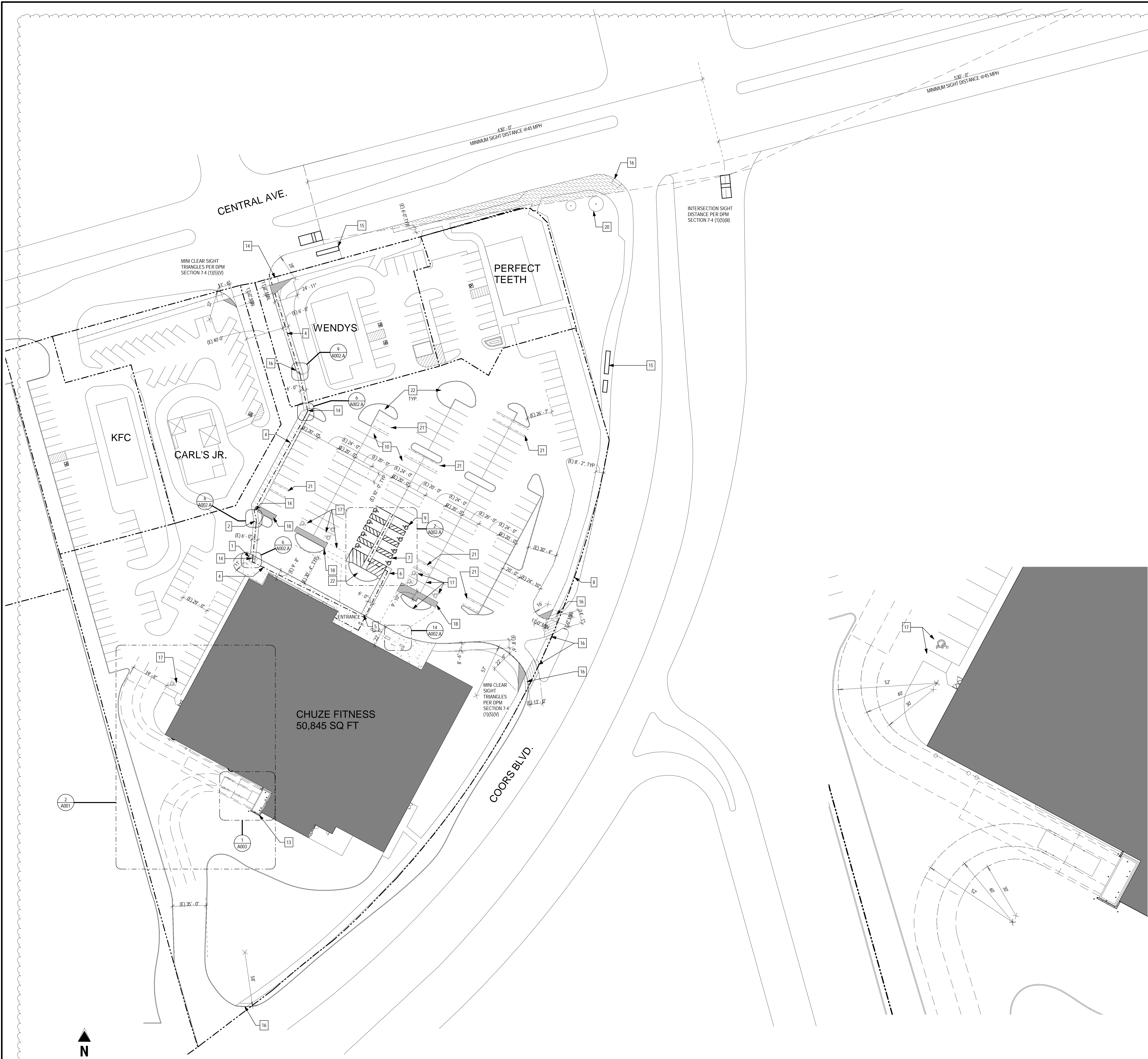
REQUIRED PARKING SPACES: 100 (2.5 SPACES PER 100 SQ FT FLOOR AREA PER G.A. 603 SECTION 5.5 (C)(2))	EXISTING ACTUAL PARKING SPACES: 106 AND 11 ADA SPACES PROVIDED: 117 SPACES
PROPOSED APPROVED PARKING SPACES (TAKEN FROM THE 2008 IBC 907 5.21.07, MINOR SUBDIVISION): 100 AND 4 ADA SPACES PROVIDED: 104 SPACES PER 100 SQ FT FLOOR AREA	PROPOSED TOTAL: 104 SPACES PER 100 SQ FT FLOOR AREA
PROPOSED PARKING SPACES: 100 AND 4 ADA SPACES PROVIDED: 104 SPACES PER 100 SQ FT FLOOR AREA	PROPOSED TOTAL: 104 SPACES PER 100 SQ FT FLOOR AREA

KEYNOTES

1. PROVIDE NEW ACCESSIBLE CURB RAMP: 1:12 SLOPE MAX.
2. GRIND DOWN ASPHALT AS REQUIRED TO REMOVE ABRUPT EDGES OVER 1/4".
3. PROVIDE NEW ACCESSIBLE CURB RAMP: 1:12 SLOPE MAX. & INSTALL NEW TRUNCATED DOME. SEE DETAILS 6 & 9A002.A.
4. EXISTING ACCESSIBLE PATH OF TRAVEL TO REMAIN.
5. EXISTING FLASH CURB CONDITION.
6. NEW ACCESSIBLE PATH OF TRAVEL ROUTE.
7. PROVIDE ALL NEW 4" STRIPING IN FEDERAL BLUE AT ACCESSIBLE PATH OF TRAVEL.
8. PROPERTY LINE.
9. REMOVE ALL EXISTING ACCESSIBLE PARKING SIGNAGE AND REPLACE WITH NEW CODE COMPLIANT SIGNAGE. RESTRIPE EXISTING PARKING WITH NEW ACCESSIBLE PATH OF TRAVEL.
10. PARKING LOT TO BE SLURRY COATED AND RE-PAINTED BY LANDLORD.
11. G.C. TO PROVIDE SIGNAGE AT ACCESSIBLE ROUTE PER DETAIL 7A002.A.
12. G.C. TO CONFIRM THE EXISTING SIGNAGE AT SITE ENTRANCE IN IN COMPLIANCE PER CODE AS NOTED ON DETAIL 8A002.A.
13. PROPOSED NEW TRASH ENCLOSURE.
14. EXISTING ACCESSIBLE CURB RAMP: INSTALL NEW TRUNCATED DOME, DETECTABLE WARNING. SEE DETAILS 6, 9, 11 & 12A002.A.
15. EXISTING CITY TRANSIT BUS STOP.
16. EXISTING ACCESSIBLE CURB RAMP WITH TRUNCATED DOME, DETECTABLE WARNING.
17. REMOVE EXISTING ADA PARKING SYMBOLS, ACCESSIBLE PATH STRIPING AND SIGNAGE.
18. 6' - NEW MOTORCYCLE SPACES PER IDO SECTION 5-5(1), TABLE 5-5.4. MOTORCYCLE SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN PER THE IDO.
19. LOCATION OF NEW BIKE RACK. SEE DETAIL 13A002.2.
20. EXISTING LOCATION OF TREES ON SITE.
21. EXISTING CART CORRAL TO BE REMOVED COMPLETE. PATCH ASPHALT AS REQUIRED.
22. EXISTING LANDSCAPE ISLANDS TO REMAIN.

NOTE

1. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN CLEAR SIGHT TRIANGLE.
2. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. SEE CITY STANDARD DRAWINGS, 2415C.



2 ENLARGED TRASH ENCLOSURE TURNING RADIUS
SCALE: 1" = 20'-0"

1 SITE PLAN
SCALE: 1" = 40'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

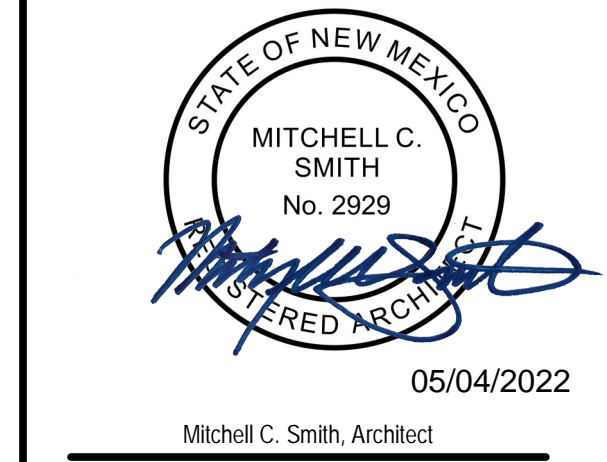
6600 CENTRAL AVE. SW
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
1	3/11/2022	PLAN CH RESUBMITTAL
5	05/04/2022	PLAN CH RESUBMITTAL
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

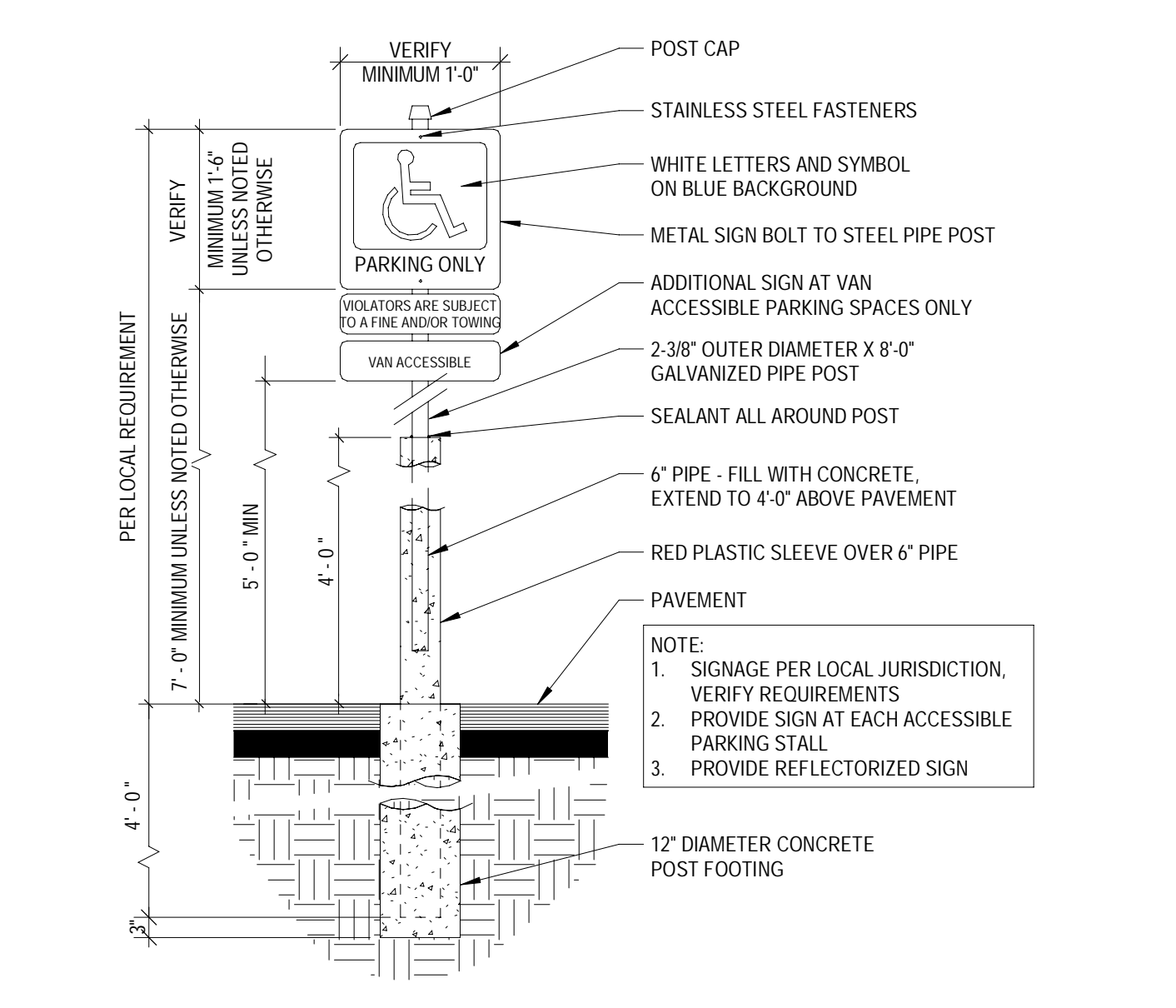
SITE PLAN

A001

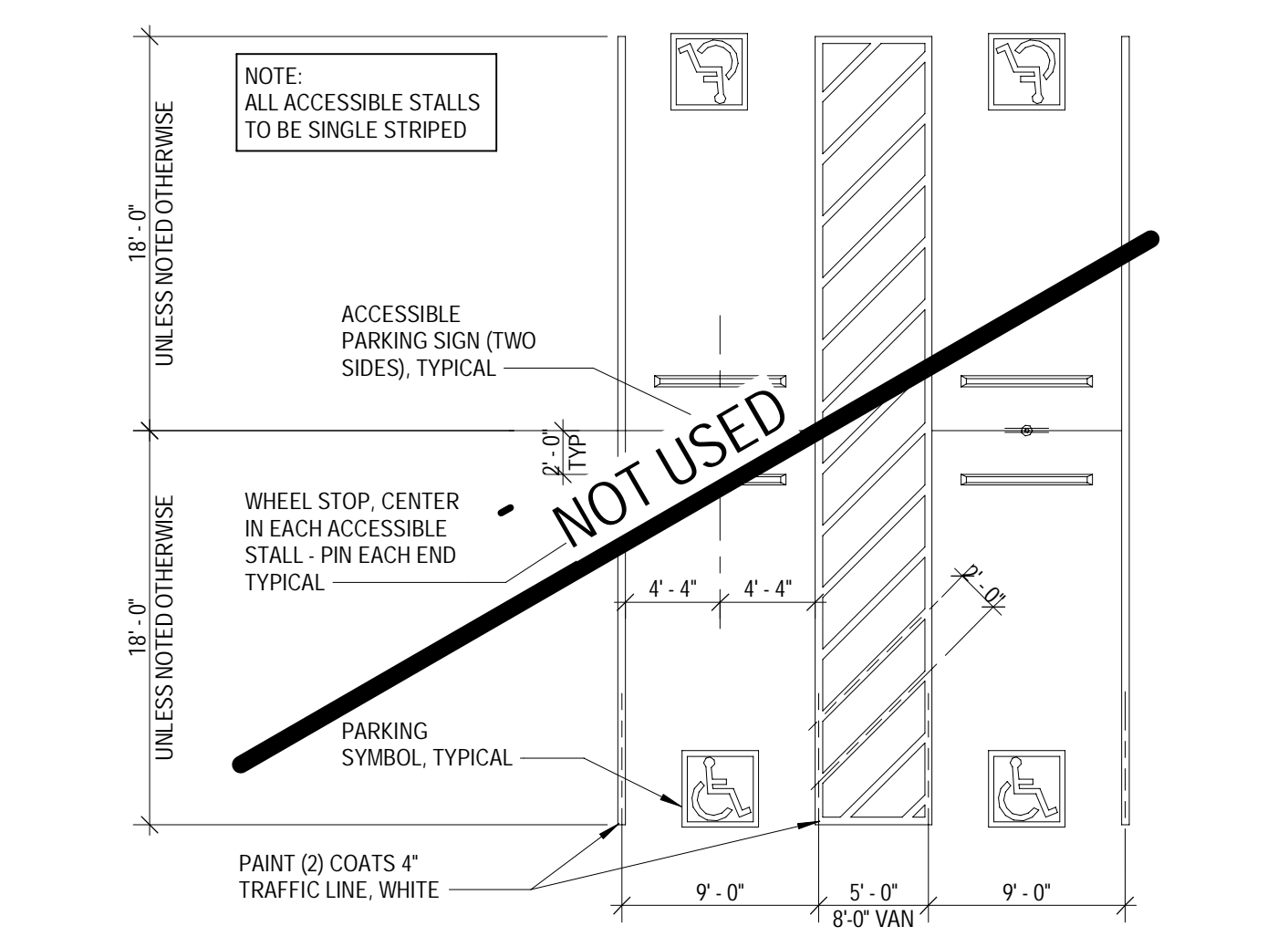


ACCESSIBILITY GENERAL NOTES

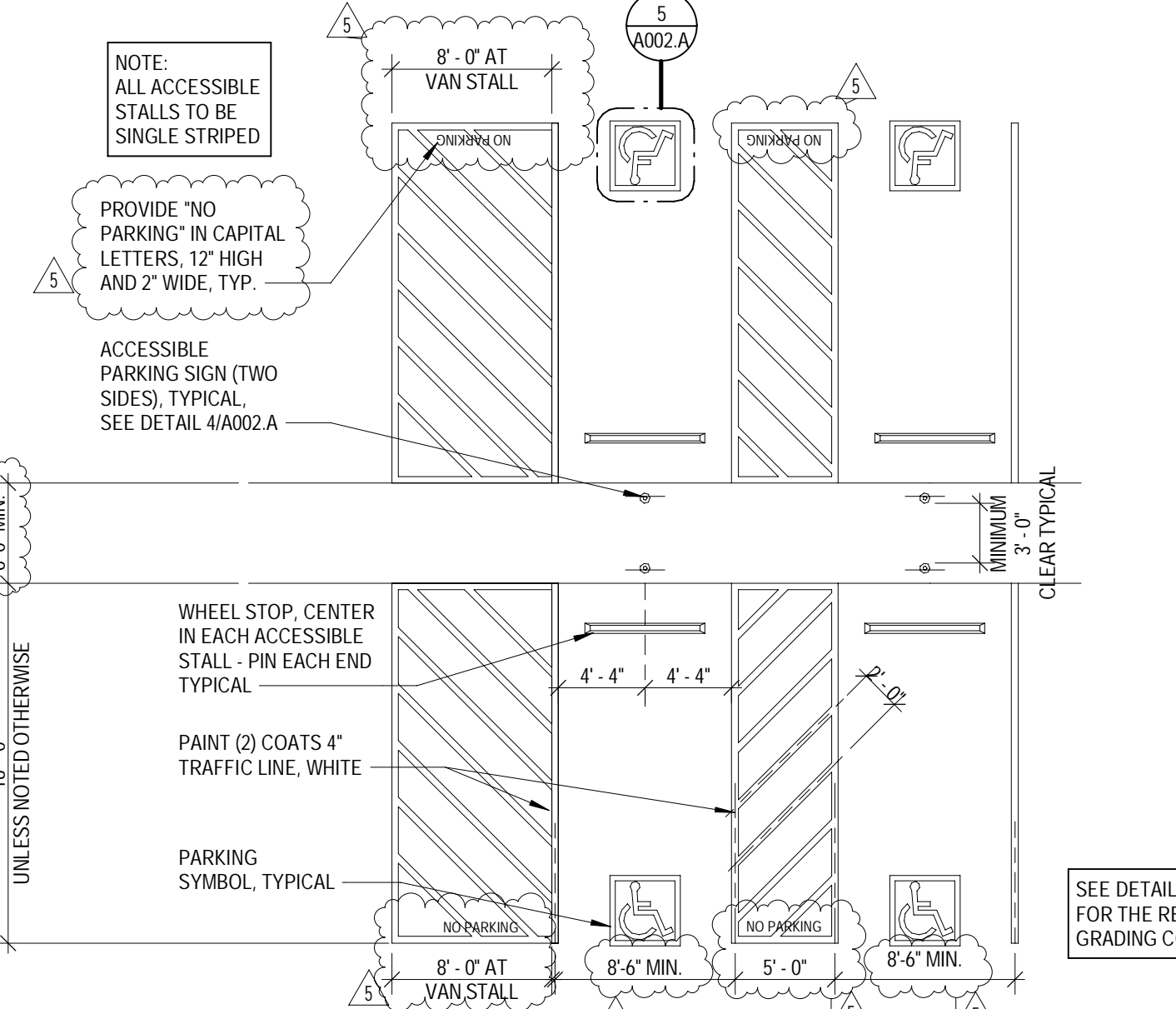
1. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL ACCESSIBILITY FEATURES ON SHEETS G004-G005 & A002-A002.A, INCLUDING BUT NOT LIMITED TO THE ACCESSIBLE PARKING CROSS SLOPES, LONGITUDINAL SLOPES, SIGNAGE, STRIPING, MOUNTING HEIGHTS, AND ALL REQUIRED CLEARANCES
2. THE ARCHITECT WILL CONDUCT AN ACCESSIBILITY SURVEY AT THE TIME OF SUBSTANTIAL COMPLETION TO VERIFY FULL CONFORMANCE
3. ALL OPERABLE PARTS REQUIRED TO BE ACCESSIBLE SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS (22.2N) MAXIMUM.
4. ALL WALL OR POST MOUNTED ITEMS IN CIRCULATION PATHS MUST BE LOCATED WITHIN PROTRUSION LIMITS, SEE DIAGRAM ON G004-G005.
5. ALL NON-CONFORMING ITEMS WILL BE DOCUMENTED AND SUBMITTED TO THE GC FOR CORRECTIVE ACTION.
6. FINAL PAYMENT AND RETAINAGE WILL BE HELD BY THE OWNER UNTIL ALL ITEMS HAVE BEEN CORRECTED AND THE SURVEY HAS BEEN CERTIFIED BY THE ARCHITECT.
7. DIMENSIONS THAT ARE NOT STATED AS "MAXIMUM" OR "MINIMUM" ARE ABSOLUTE. ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.



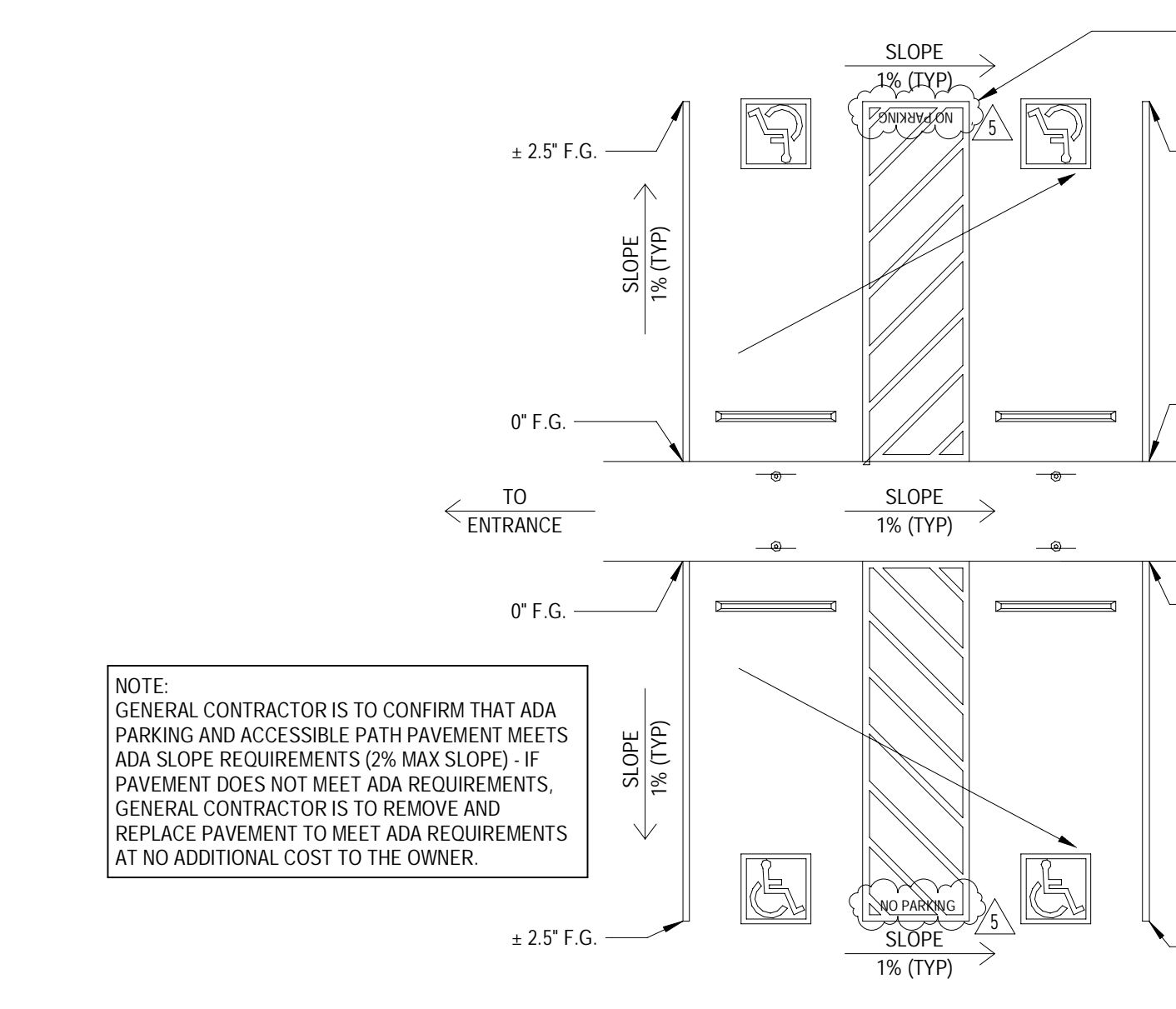
4 ADA ACCESSIBLE PARKING SIGN
SCALE: 1/2" = 1'-0"



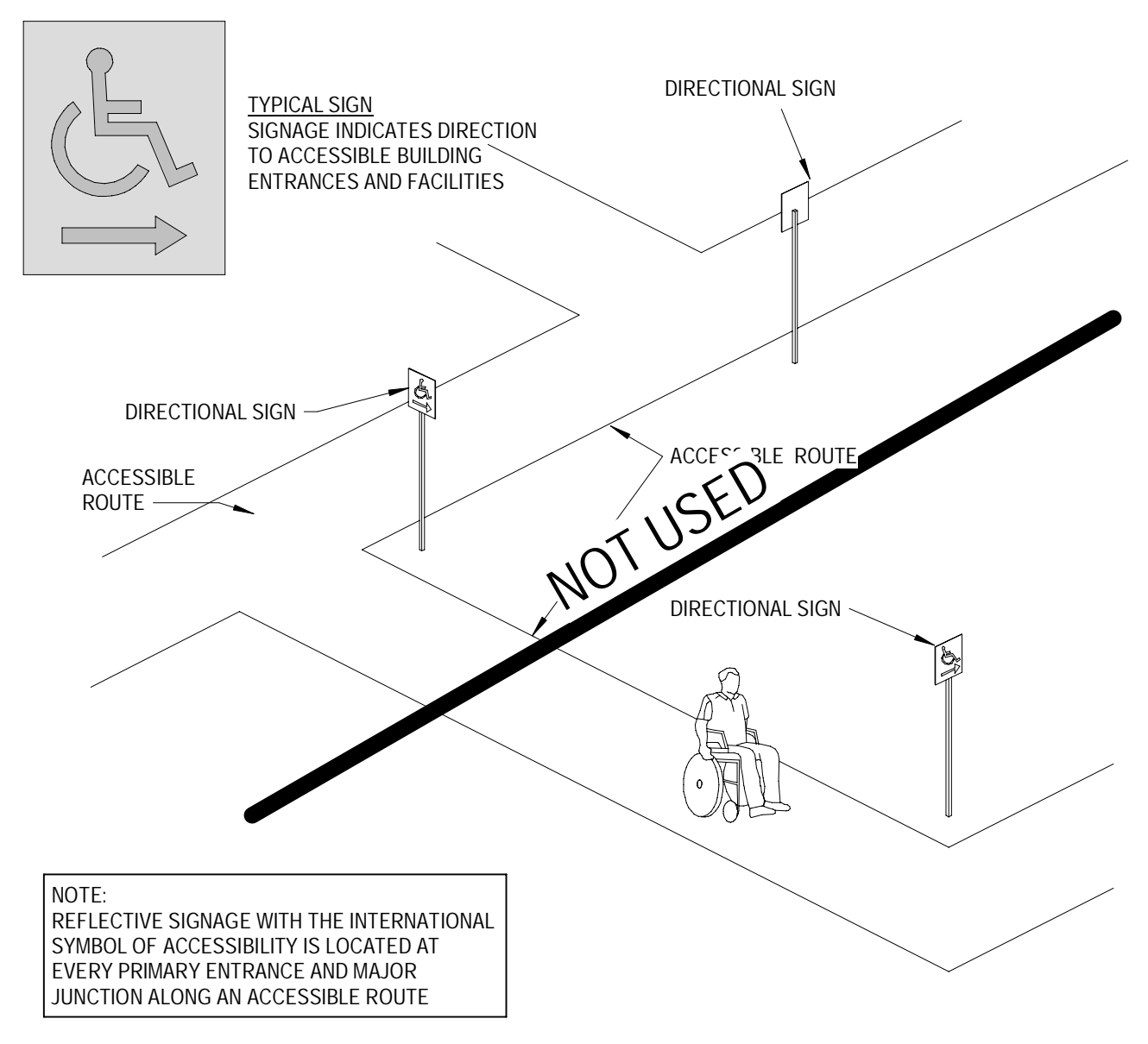
3 ACCESSIBLE PARKING STALLS - HEAD TO HEAD (NOT USED)
SCALE: 1/8" = 1'-0"



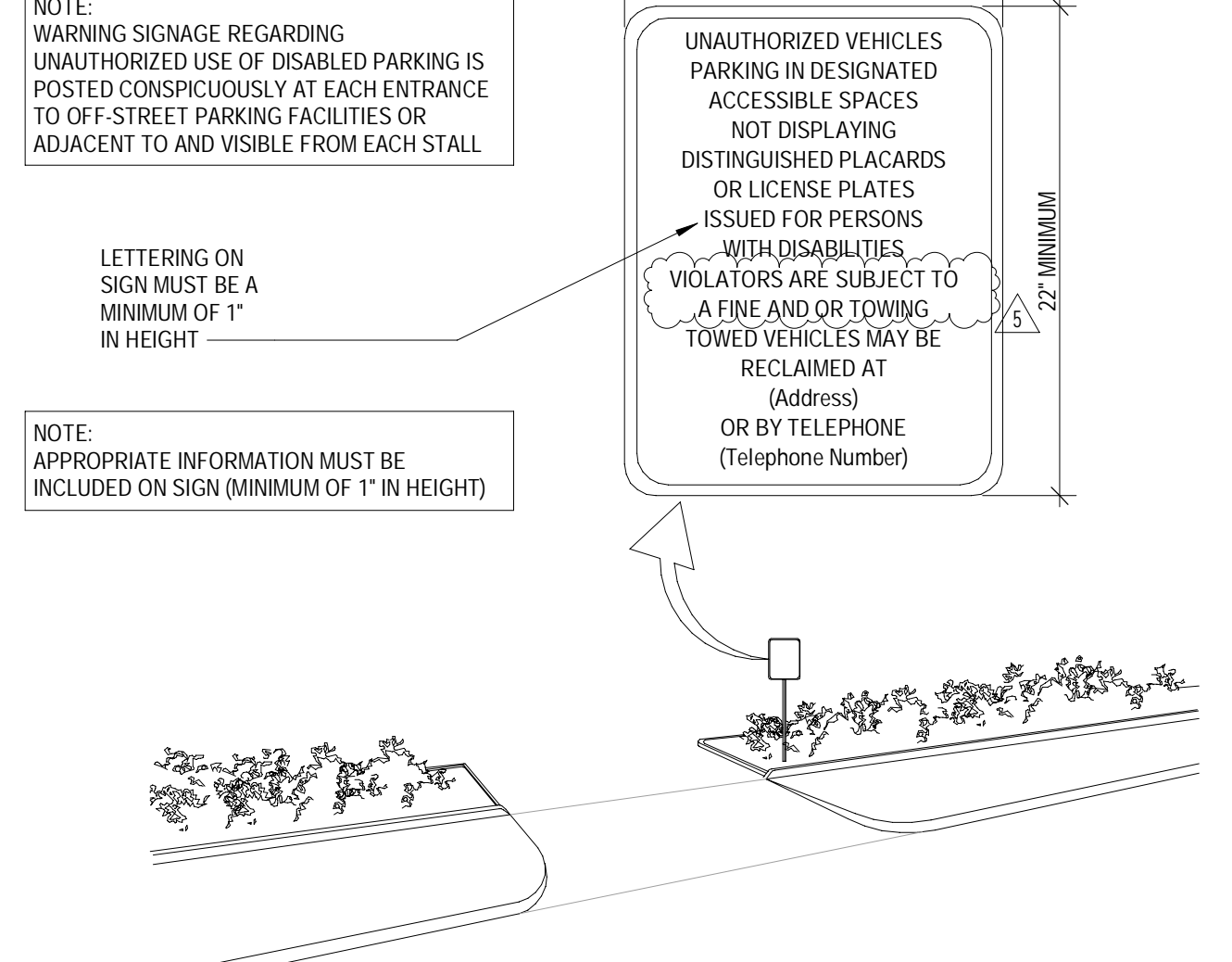
2 ACCESSIBLE PARKING STALLS WITH WALK
SCALE: 1/8" = 1'-0"



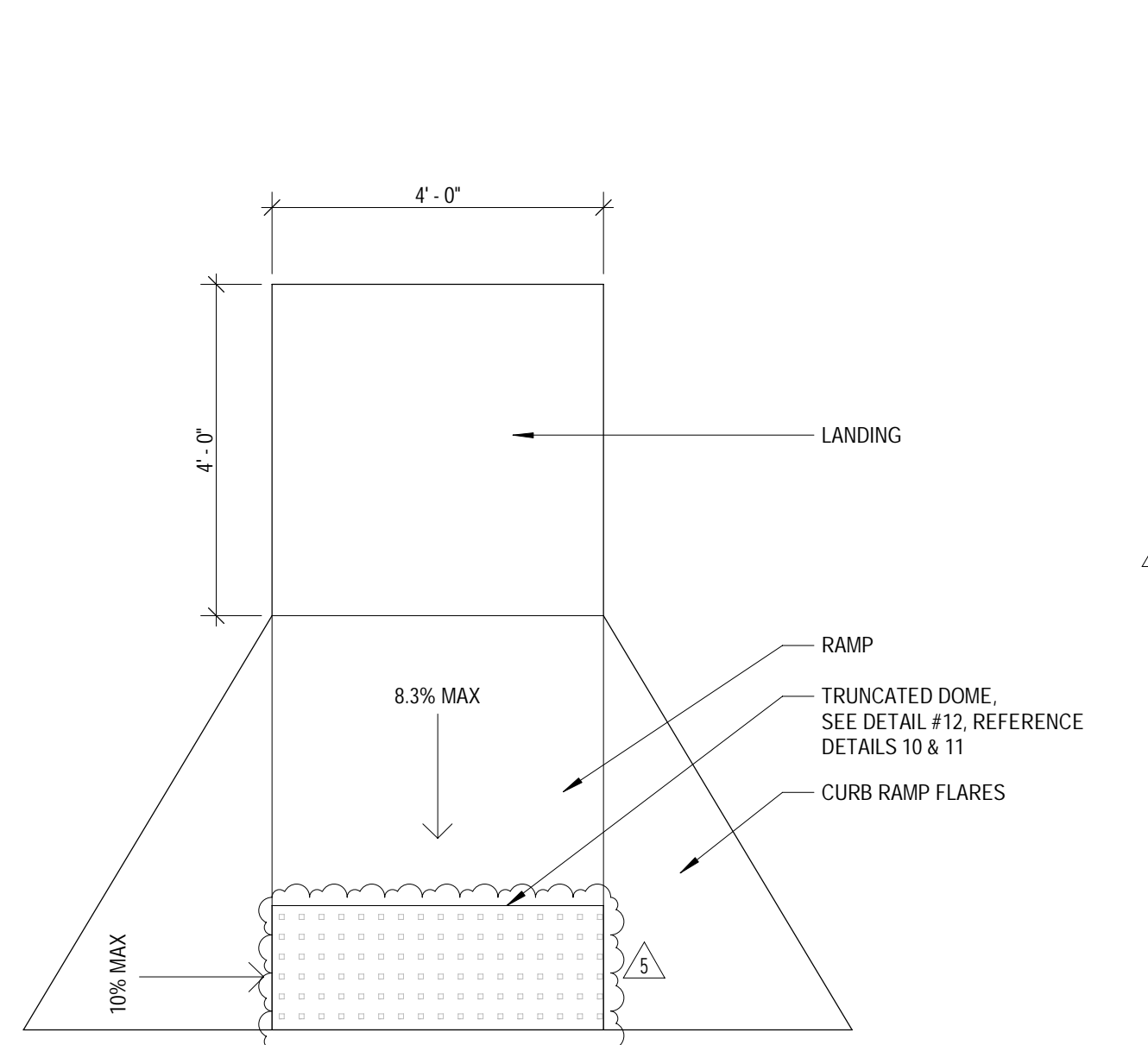
1 ACCESSIBLE PARKING GRADING
SCALE: 1/8" = 1'-0"



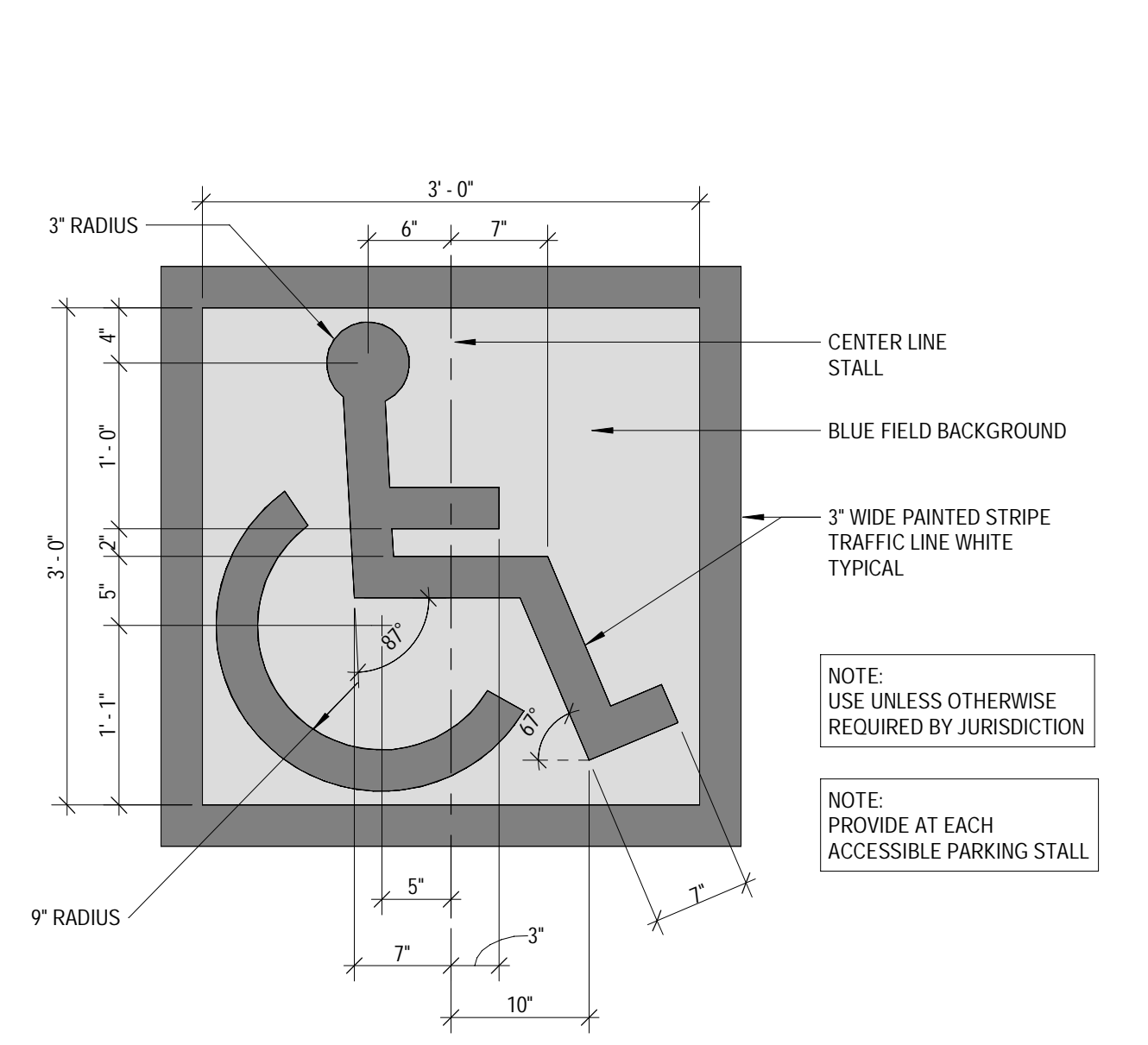
8 SIGNAGE AT ACCESSIBLE ROUTE (NOT USED)
SCALE: 1 1/2" = 1'-0"



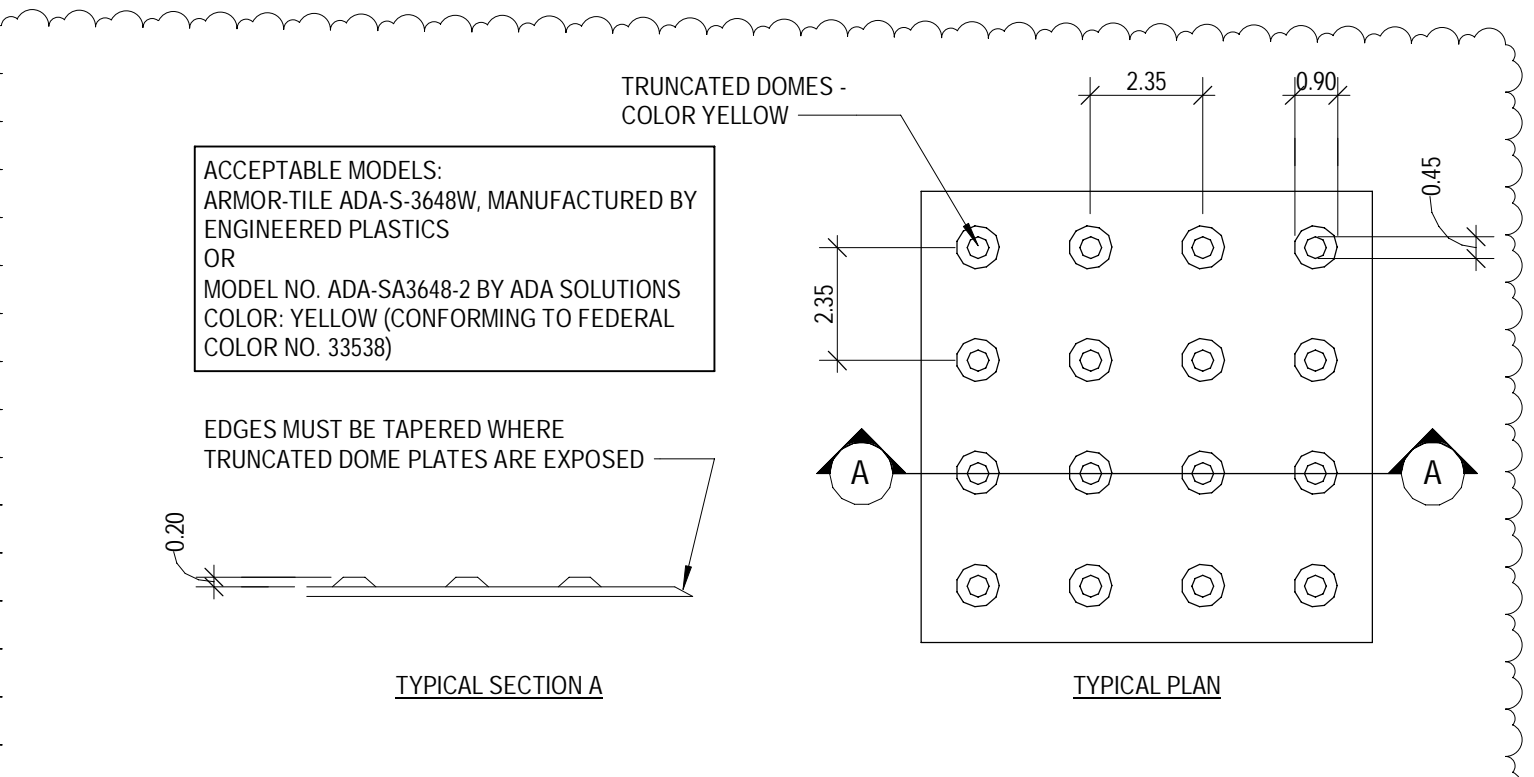
7 SIGNAGE AT SITE ENTRANCE (NOT USED)
SCALE: 1 1/2" = 1'-0"



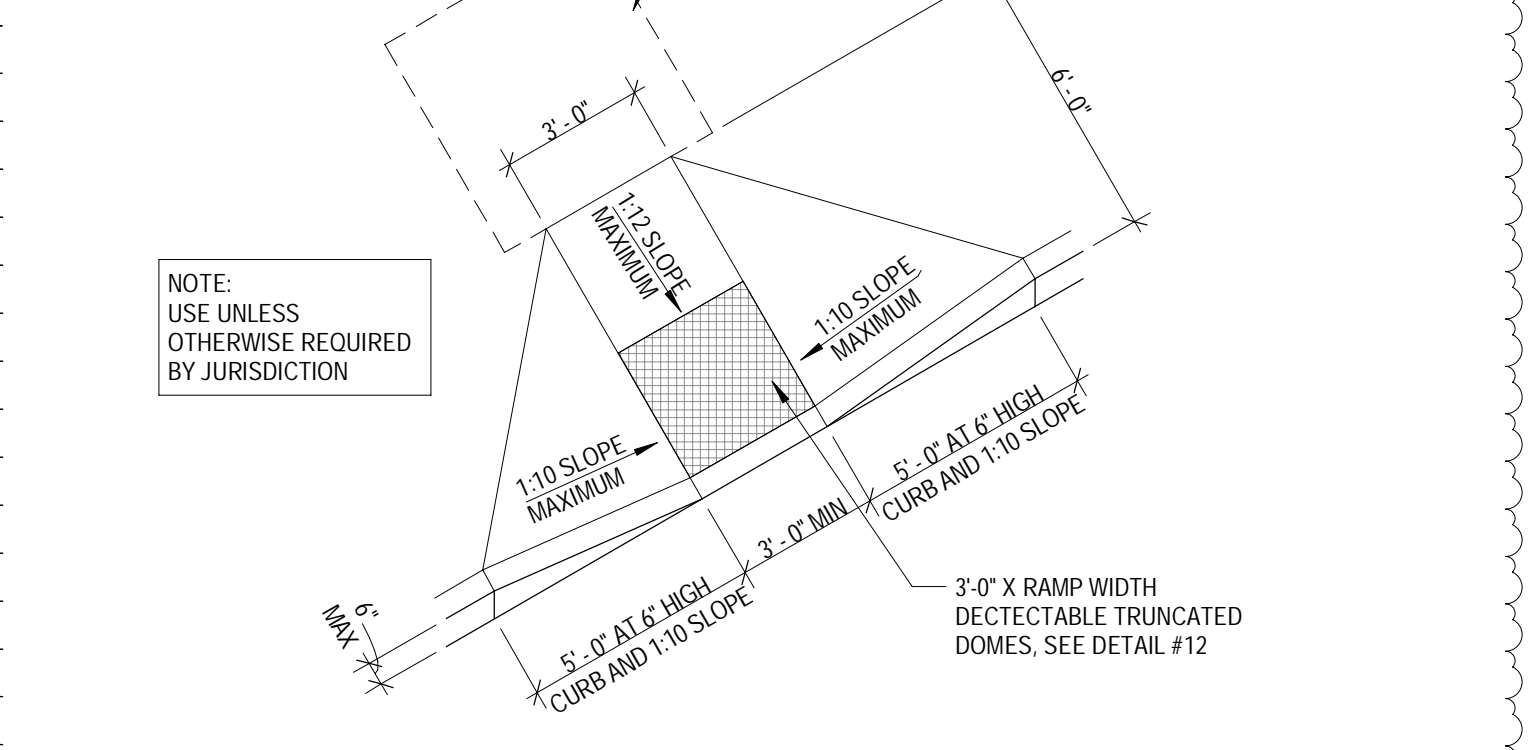
6 PERPENDICULAR CURB RAMP
SCALE: 1/2" = 1'-0"



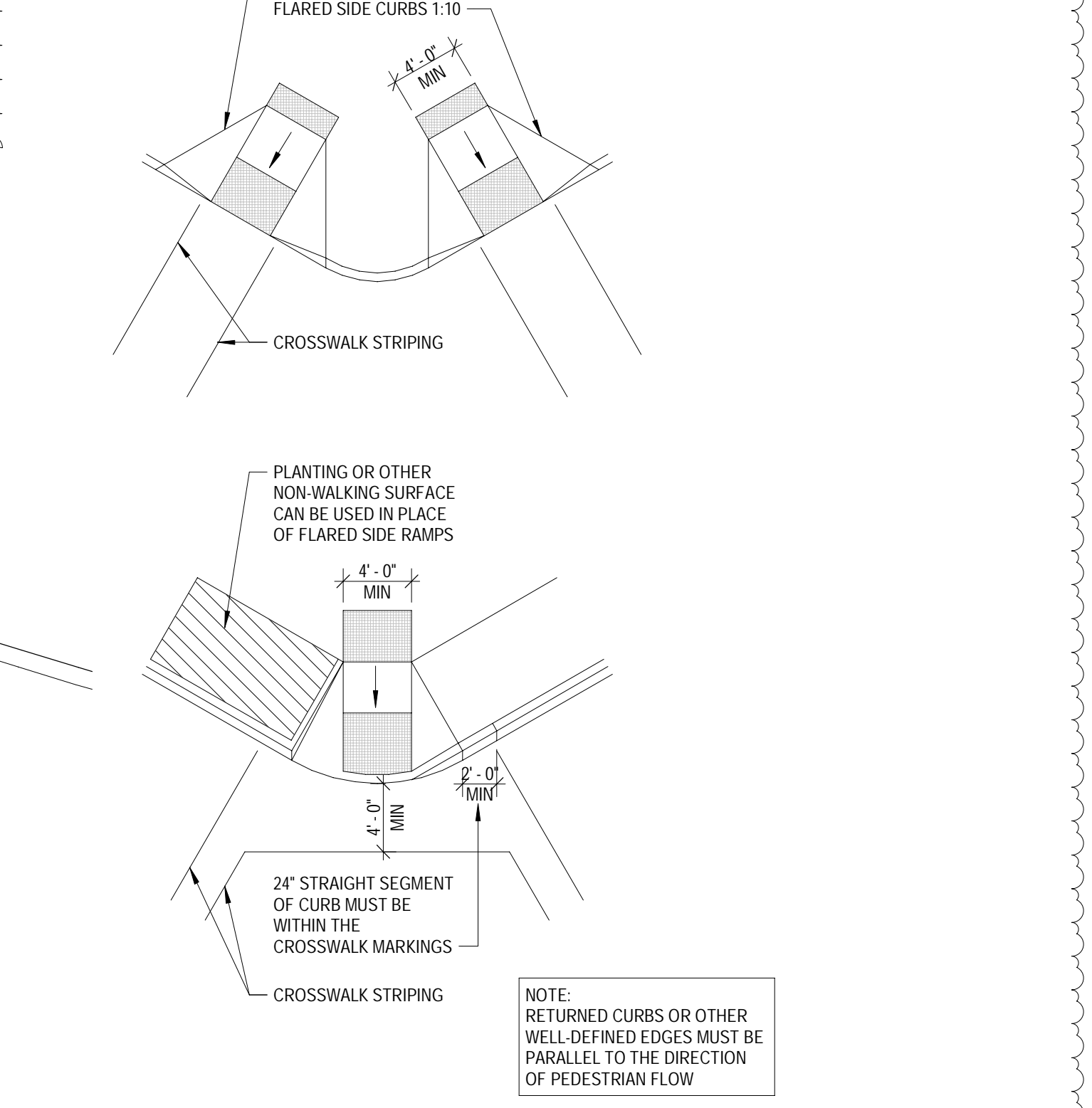
5 ACCESSIBLE PARKING SYMBOL
SCALE: 1" = 1'-0"



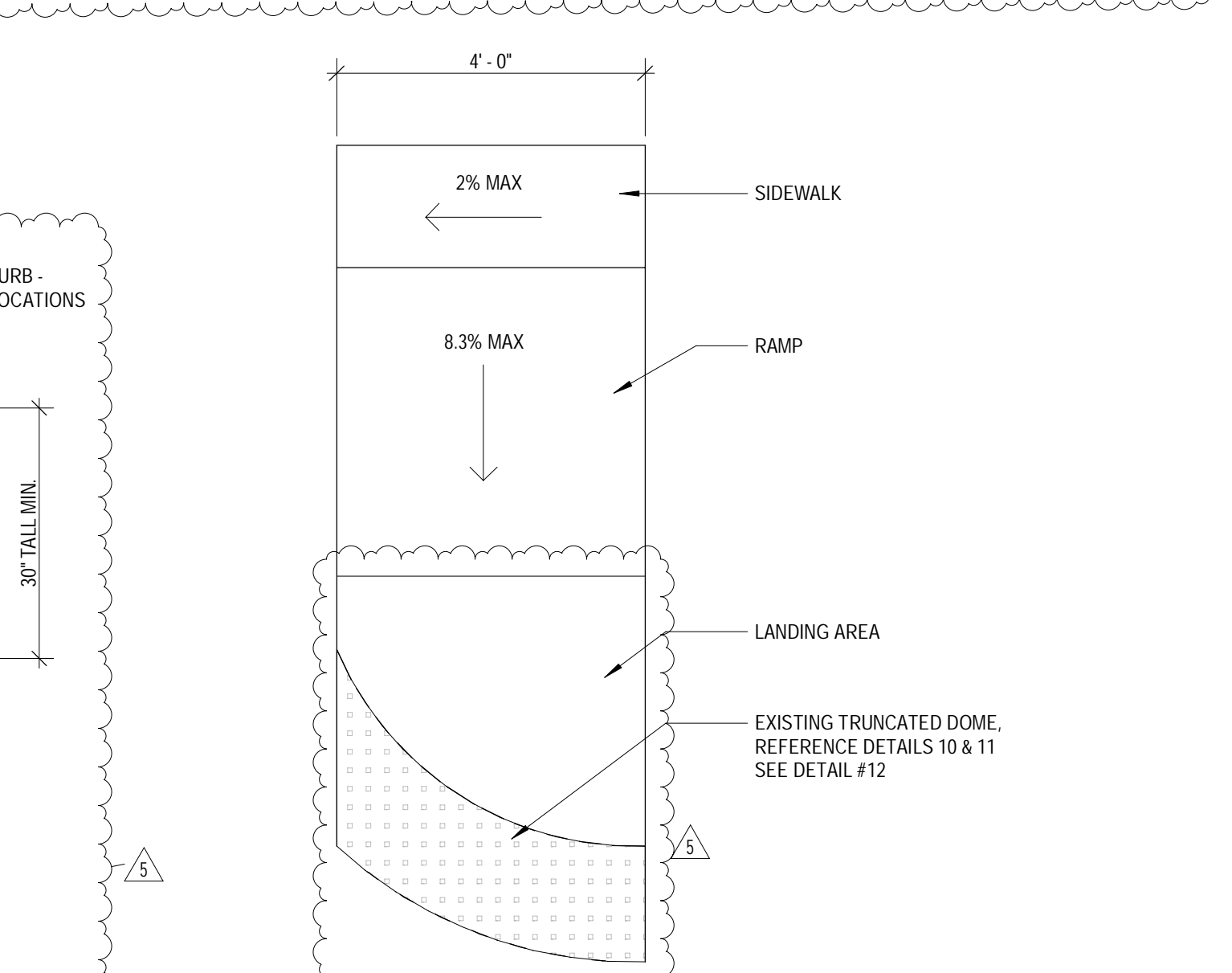
12 TRUNCATED DOMES
SCALE: 3" = 1'-0"



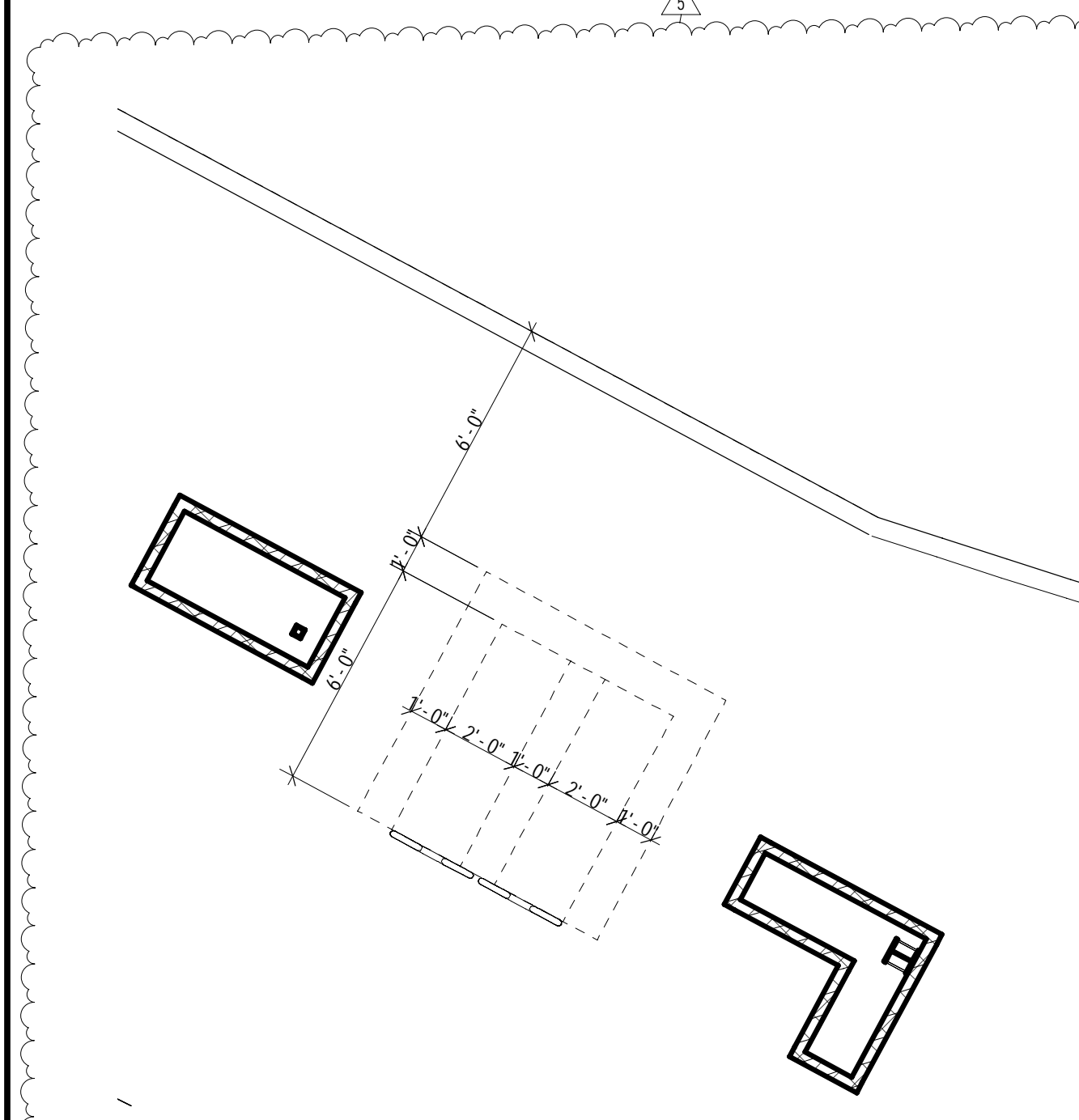
11 CURB RAMP
SCALE: 1/4" = 1'-0"



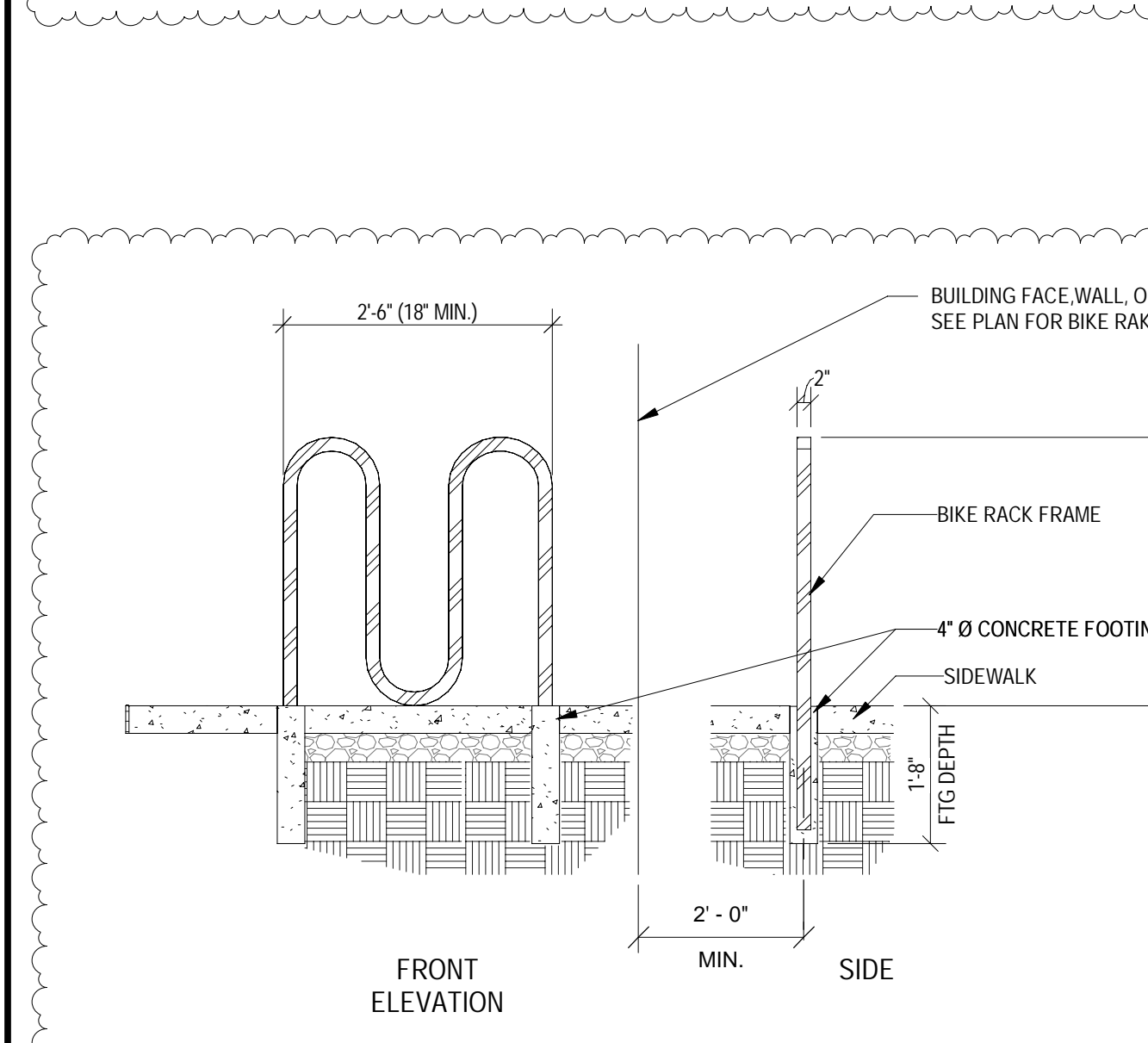
10 DIAGONAL CURB RAMPS
SCALE: 1/8" = 1'-0"



9 DIRECTIONAL CURB RAMP
SCALE: 1" = 1'-0"



14 ENLARGED BIKE FLOOR PLAN
SCALE: 1/4" = 1'-0"



13 BIKE RACK
SCALE: 1/2" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE
6600 CENTRAL AVE, SW
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
5	05/04/2022	PLAN CH RESUBMITTAL
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

Project No: 21603901A
Drawn By: MG2
Checked By: MG2

SITE DETAILS - ALTERNATE IBC
A002.A

5/4/2022 1:14:18 PM