

REASON FOR AMENDMENT: CREATE NEW LOT LINE

40 25 10 0 15 30 45 60



SCALE: 1" = 40'  
PROJECT NO. ALBERTSONS  
DRAWN BY: AT  
ZONE ATLAS: K-10-Z



# AMENDMENT FOR SITE PLAN FOR SUBDIVISION

TRACTS 61-A-1-B-1 AND 61-A-1-A-1,  
TOWN OF ATRISCO GRANT, UNIT 6

TO BE KNOWN AS LOTS 1 AND 2,  
ALBERTSONS AT COORS SW

PORTION OF TRACT 60  
TOWN OF ATRISCO GRANT, UNIT 6  
FILED: 12-05-1944  
(D, 118)

LOT 61A2-A  
TOWN OF ATRISCO GRANT,  
UNIT 6  
FILED: 11-01-2005  
(2005C, 360)

LOT 61A2-B  
TOWN OF ATRISCO GRANT,  
UNIT 6  
FILED: 11-01-2005  
(2005C, 360)

TRACT D-1  
COORS PLAZA  
FILED: 12-5-2001  
(2001C, 321)

CENTRAL AVENUE S.W.  
124' RIGHT-OF-WAY

COORS BOULEVARD S.W.  
156' RIGHT-OF-WAY

COORS BOULEVARD S.W.  
156' RIGHT-OF-WAY

EXISTING LOT LINE

EXISTING LOT LINE

LOT 1  
5.2603 ACRES  
229,137.99 SF

ALBERTSONS

61A1A1

61A1B1

LOT 2  
0.9336 ACRES  
40,669.52 SF

GAS STATION

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	39.21	25.00	89°51'46"	35.31	S59°56'49"E
C2	673.21	876.93	43°59'07"	656.80	S32°03'46"W

ADMINISTRATIVE AMENDMENT  
FILE #13.10200 PROJECT #1006542  
*Adjusted lot line.*  
*P. B. [Signature]* 18 Dec 2013  
APPROVED BY DATE

## THE SURVEY OFFICE, LLC

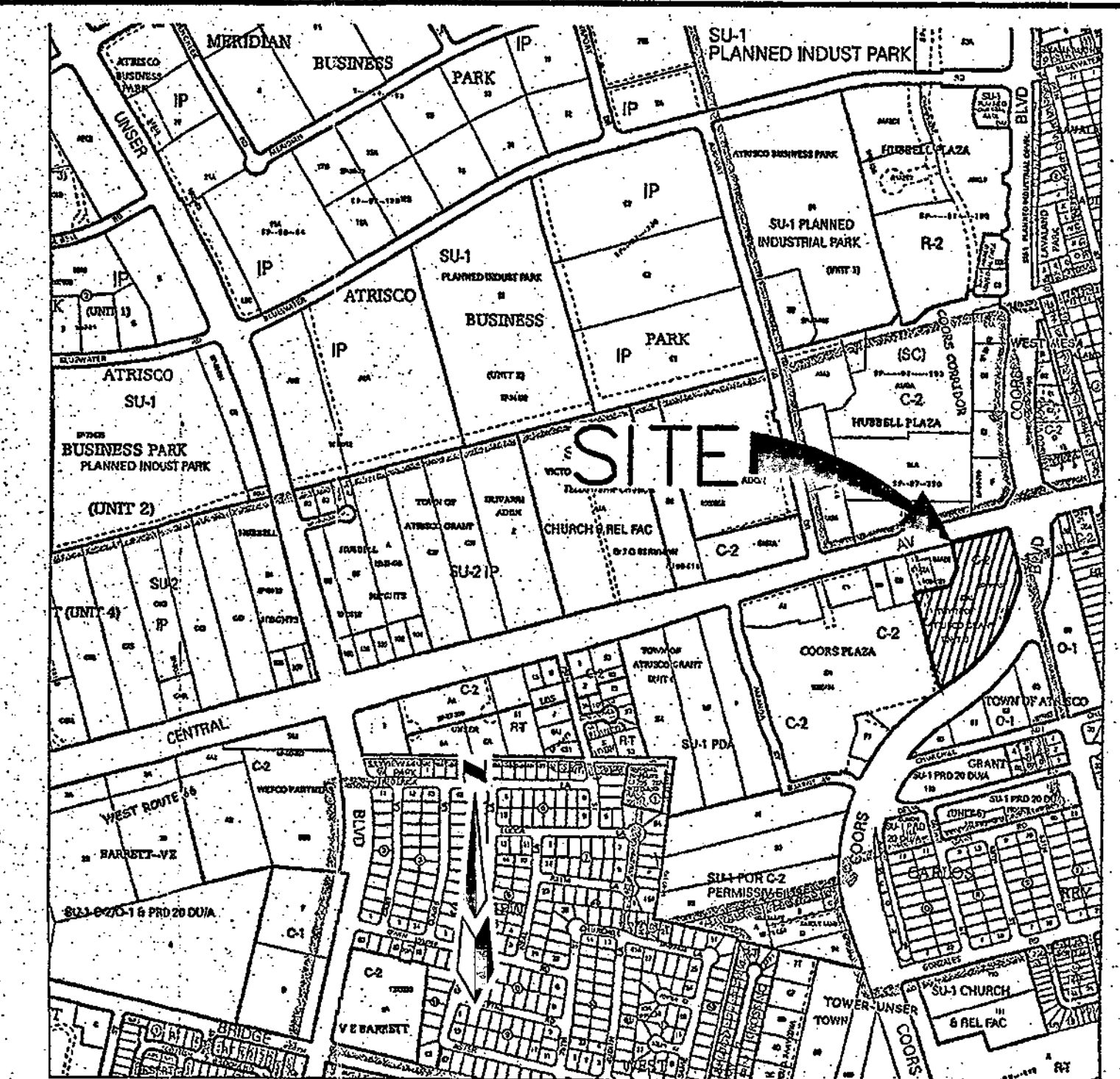
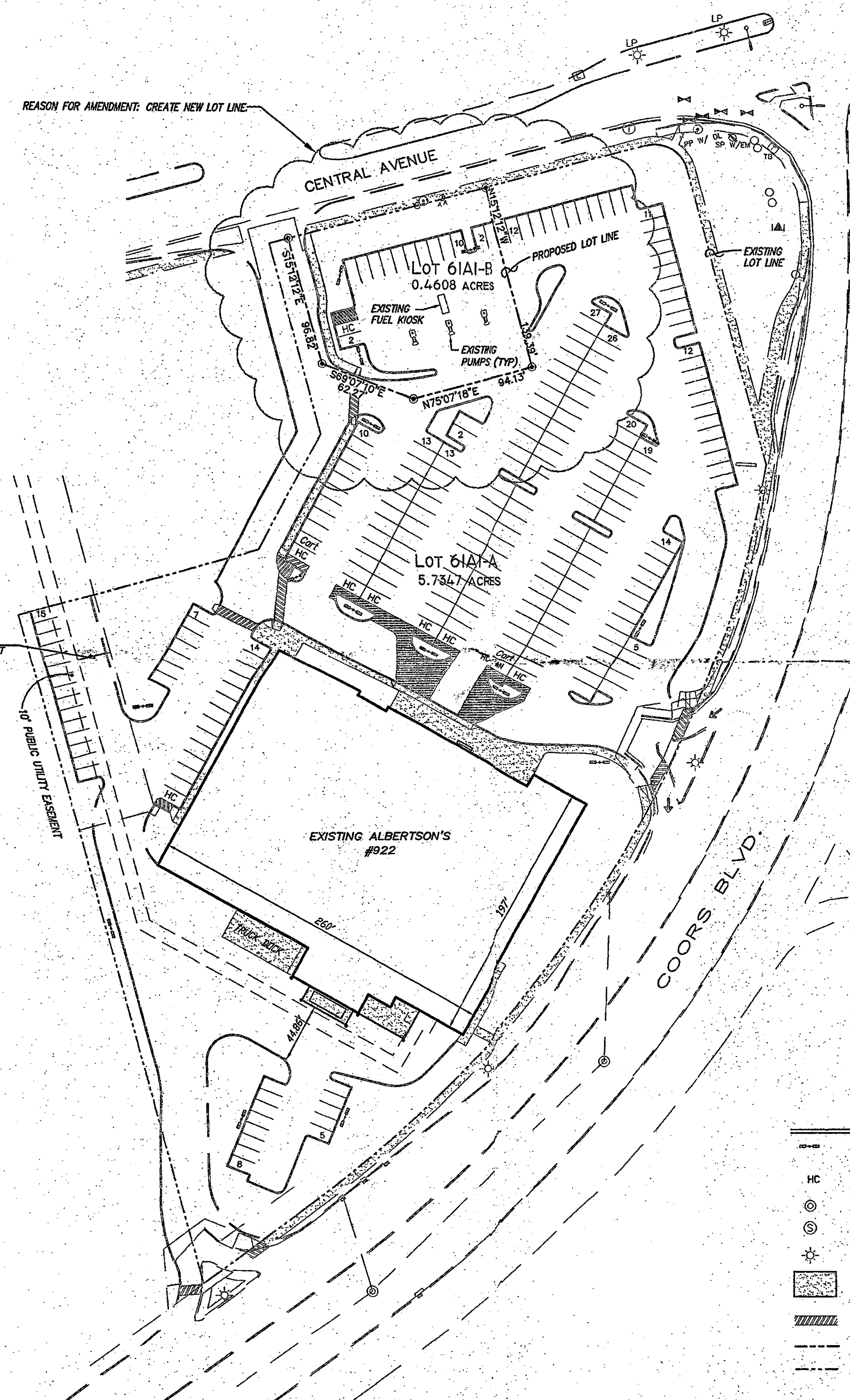
333 LOMAS 3LVD., N.E.  
ALBUQUERQUE, NEW MEXICO  
87102

PHONE: (505) 998-0303  
FAX: (505) 998-0305

T10N R2E SEC. 22

6000 Central Ave SW

REASON FOR AMENDMENT: CREATE NEW LOT LINE



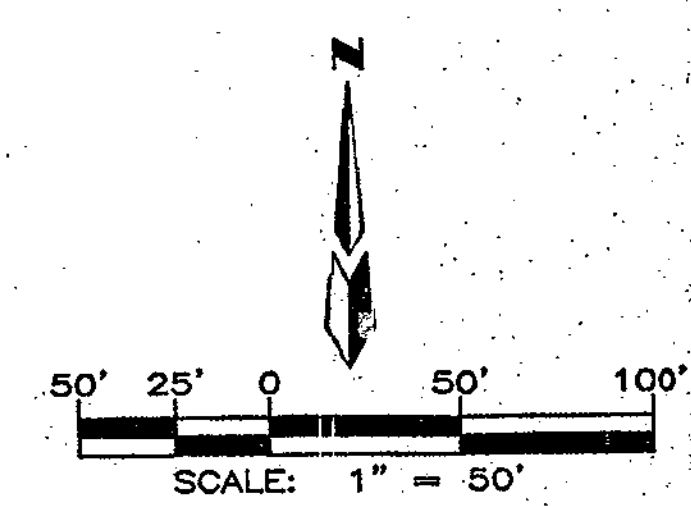
VICINITY MAP  
SCALE: 1" = 750'

LEGAL DESCRIPTION  
TRACT 61A1, TOWN OF ATRISCO GRANT, UNIT 6

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSON'S	51,545 SQ.FT.	233 *	233	8	8
FUEL KIOSK	70 SQ. FT.	1	14	1	1
TOTAL	51,615 SQ.FT.	234	247	1	9

\* INCLUDES 10% CREDIT FOR BEING ON BUS ROUTE

- CURRENT ZONING IS C-2 WITH "SC" DESIGNATION.
- THIS SITE LIES WITHIN THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. EXTERIOR APPEARANCE SHALL FOLLOW THE DESIGN OVERLAY GUIDELINES IN THE PLAN.
- LEGAL DESCRIPTION: A TRACT 61A1, TOWN OF ATRISCO GRANT, UNIT NO. 6, CONSISTING OF 6.2 ACRES.
- PROPOSED USE: 51,545 SQ. FT. SHOPPING CENTER AND SECONDARY RETAIL FUEL SERVICE FACILITY.
- ACCESS: SITE ACCESS WILL BE PROVIDED THROUGH TWO EXISTING CURB CUTS ON COORS BLVD. AND EXISTING DRIVEWAYS ON CENTRAL AVE.
- SITE LIGHTING SHALL CONFORM TO THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN WITH TOTAL LUMINESCENCE NOT TO EXCEED 1000 FOOT LAMBERTS.
- FUEL KIOSK AND FUEL PUMPS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS PREVIOUSLY APPROVED UNDER CASE DRB-88-66 AND DRB 95-192 IN 1993.
- ALL OTHER PROVISIONS OF THE OVERLYING SITE DEVELOPMENT PLAN FOR SUBDIVISION SHALL BE COMPLIED WITH.



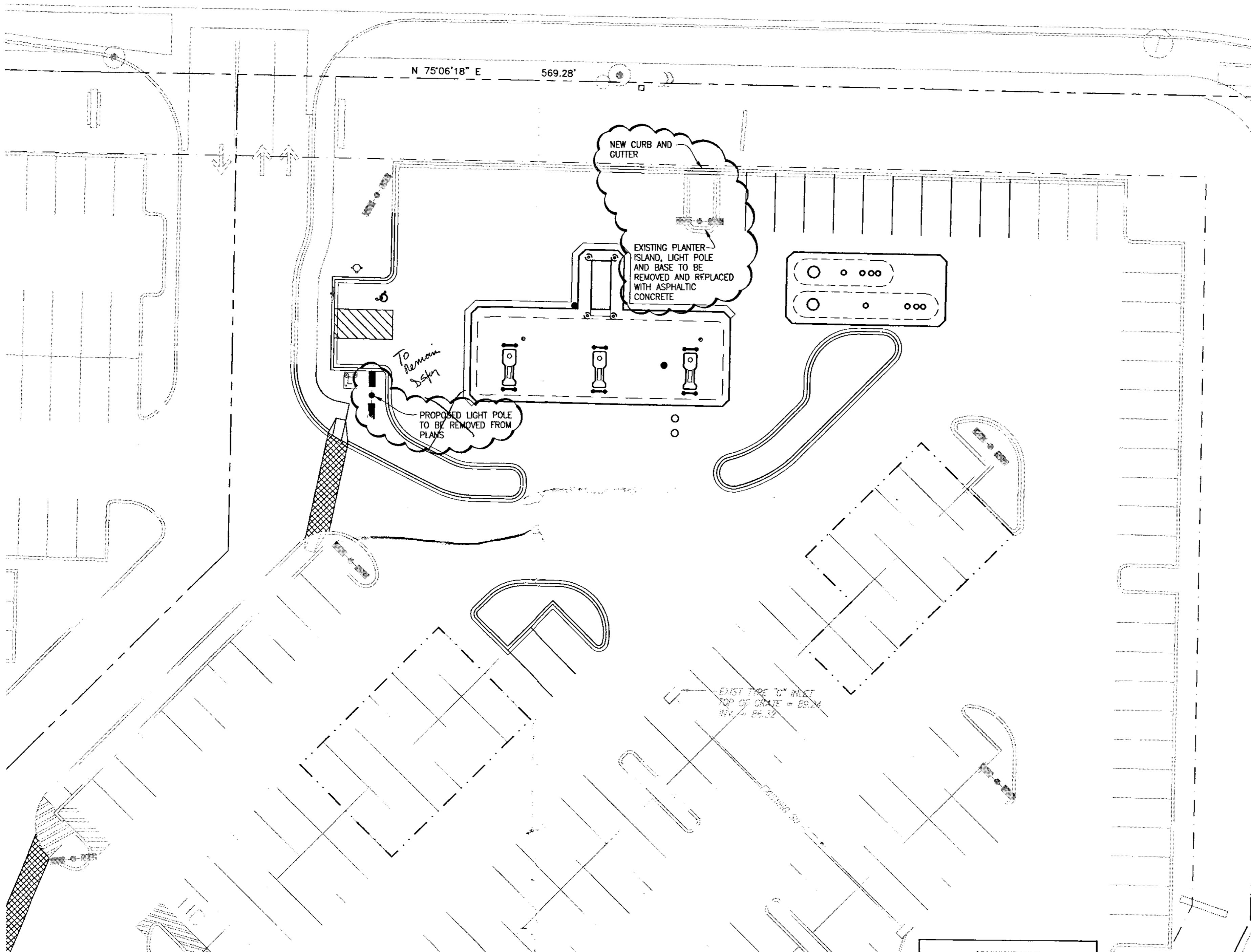
ADMINISTRATIVE APPROVAL  
 F. 07AA-1087 Project # 1806543  
 Minor subdivision  
 APPROVED BY: [Signature] DATE: 10 Sept 89

- LIGHTING FIXTURE (GARCO "FORM TEN" 40' VERTICAL LAMP OR EQUIVALENT)
- HC HANDICAPPED PARKING SPACE
- ⊙ STORM DRAIN MANHOLE
- ⊙ EXIST. SEWER MANHOLE
- ⊙ EXIST. STREET LAMP
- CONCRETE SURFACE
- /// PEDESTRIAN AND HANDICAP ACCESS (TO BE STRIPED ON PAVEMENT)
- NEW LOT LINE
- EXIST LOT LINE

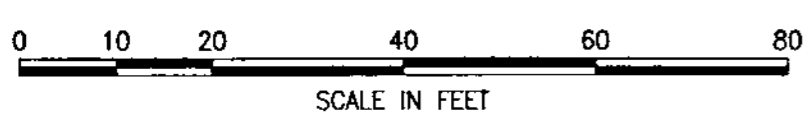
**Albertson's @ Coors/Central**  
**SECOND AMENDED SITE DEVELOPMENT**  
**PLAN FOR SUBDIVISION**

dmg MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG  
 Scale: 1" = 200' Date: 8/21/2007 Job: A07053 Sheet 1 of 1



**1 SITE DEVELOPMENT PLAN**  
1" = 20'-0"



ADMINISTRATIVE  
DEVELOPMENT PLAN AMENDMENT  
FILE NO. AA-00522  
*see under notes*  
*remove plant island/plant*  
*Patrick Meo 4/28/10*  
PLANNING DIRECTOR DATE

SANDIP GUHA, P.E.  
C.W. MOORE PLAZA  
250 S. 5TH ST.  
BOISE, ID 83702  
(208) 343-4635

NO. 0922-11AK  
6600 CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

**Express**  
**KENT A. HANWAY, ARCHITECT**  
Specializing in architecture, engineering, and planning

THE BOARD OF ARCHITECTURE OF THE STATE OF NEW MEXICO HAS REVIEWED THE ARCHITECTURE OF THIS PLAN AND HAS FOUND IT TO BE IN ACCORDANCE WITH THE ARCHITECTURE ACT, TITLE 24, CHAPTER 1, SECTION 1-101, NEW MEXICO STATUTES. THE BOARD DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION CONTAINED HEREIN NOR DOES IT WARRANT THE FITNESS OF THIS PLAN FOR ANY PARTICULAR PURPOSE. CONTACT: KENT A. HANWAY, ARCHITECT, P.O. BOX 1000, ALBUQUERQUE, NM 87108



C.W. MOORE PLAZA  
250 S. 5TH ST. BOISE, ID 83702  
(208) 343-4635 FAX (208) 343-1858  
http://www.express.com

**SUBMITTAL DATE(S)  
OWNER / AGENCY**

9/30/99	9/30/99
12/22/99	12/22/99
1/19/00	1/19/00

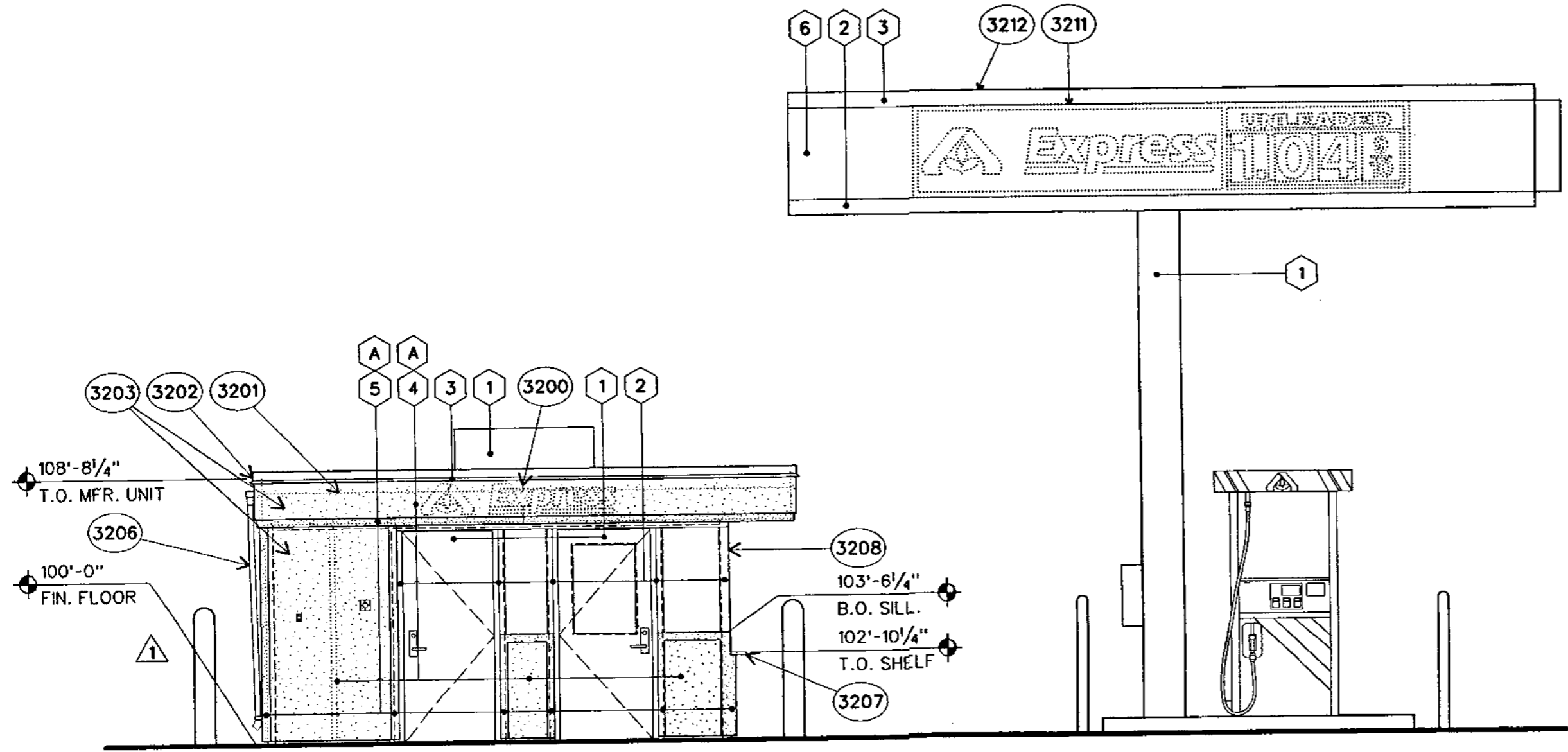
**REVISIONS**

<b>DRAWN</b>	<b>PROJECT</b>
MTD	98170
<b>CHECKED</b>	<b>DATE</b>
CAG	

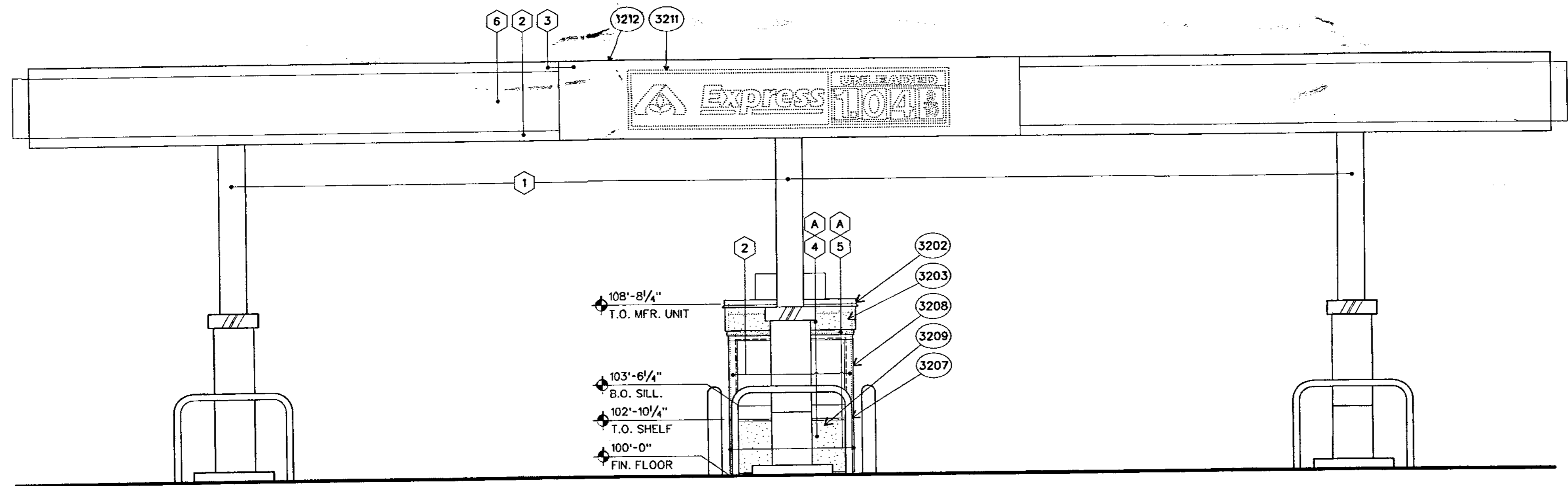
**SHEET TITLE**  
**SITE DEVELOPMENT PLAN**

**SHEET**  
**1.1A**

**NO REVISIONS**



**1 LEFT ELEVATION**  
1/4" = 1'-0"  
RE: 3.0-1 & 2



**2 FRONT ELEVATION**  
1/4" = 1'-0"  
RE: 3.0-1 & 2

CANOPY ELEVATIONS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FOR CANOPY DETAIL REFER TO SHEETS PREPARED BY TFC ROYALE. REFER TO DRAWINGS PREPARED BY B.I.G. ENTERPRISES, INC. FOR KIOSK INFORMATION. FOR SIGNAGE PLACEMENT REFER TO IMAGE NATIONAL DRAWINGS.

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http://www.cahg.com

SUBMITTAL DATE(S) OWNER / AGENCY	
9/30/99	9/30/99
12/22/99	12/22/99

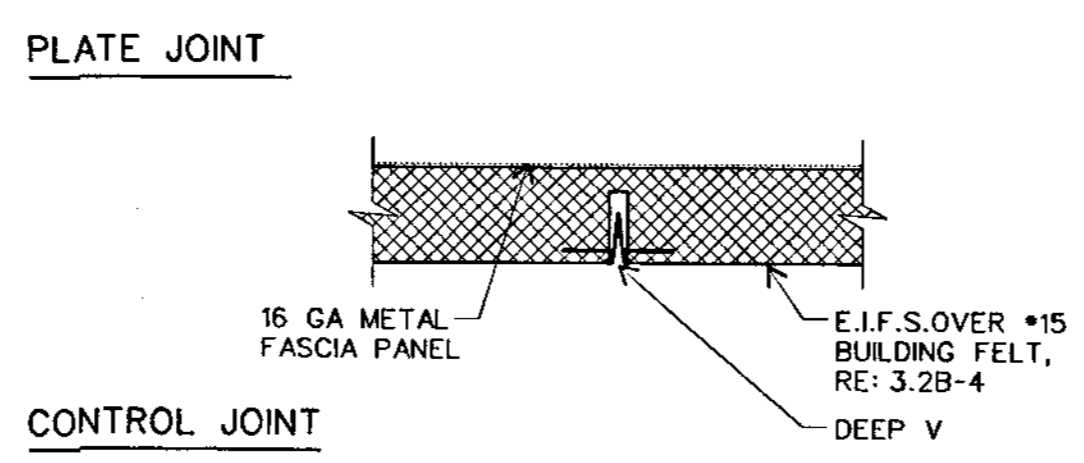
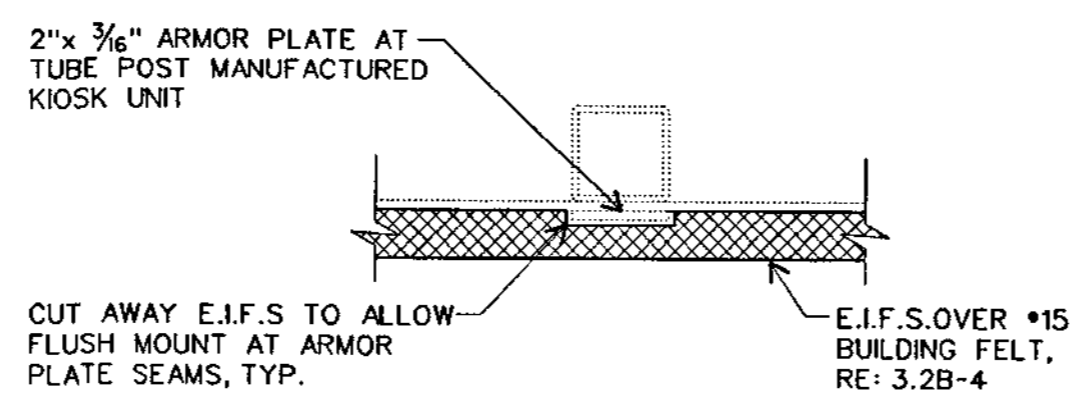
REVISIONS

DRAWN	PROJECT
SL	98170
CHECKED	OTB DATE
TJ	3/14/00

SHEET TITLE  
**EXTERIOR ELEVATIONS**

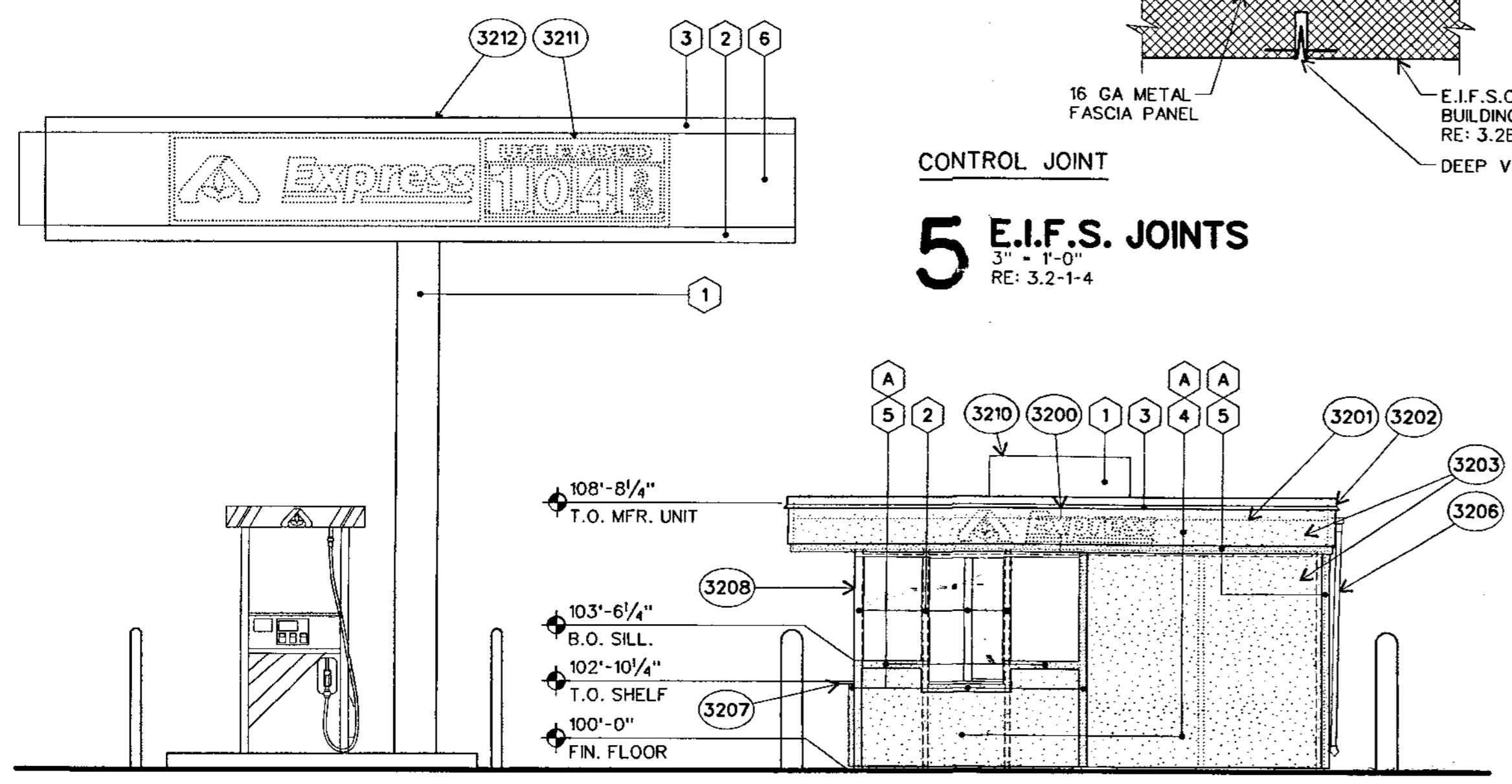
SHEET  
**3.2A**

CANOPY ELEVATIONS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FOR CANOPY DETAIL REFER TO SHEETS PREPARED BY TFC ROYALE. REFER TO DRAWINGS PREPARED BY B.I.G. ENTERPRISES, INC. FOR KIOSK INFORMATION. FOR SIGNAGE PLACEMENT REFER TO IMAGE NATIONAL DRAWINGS.

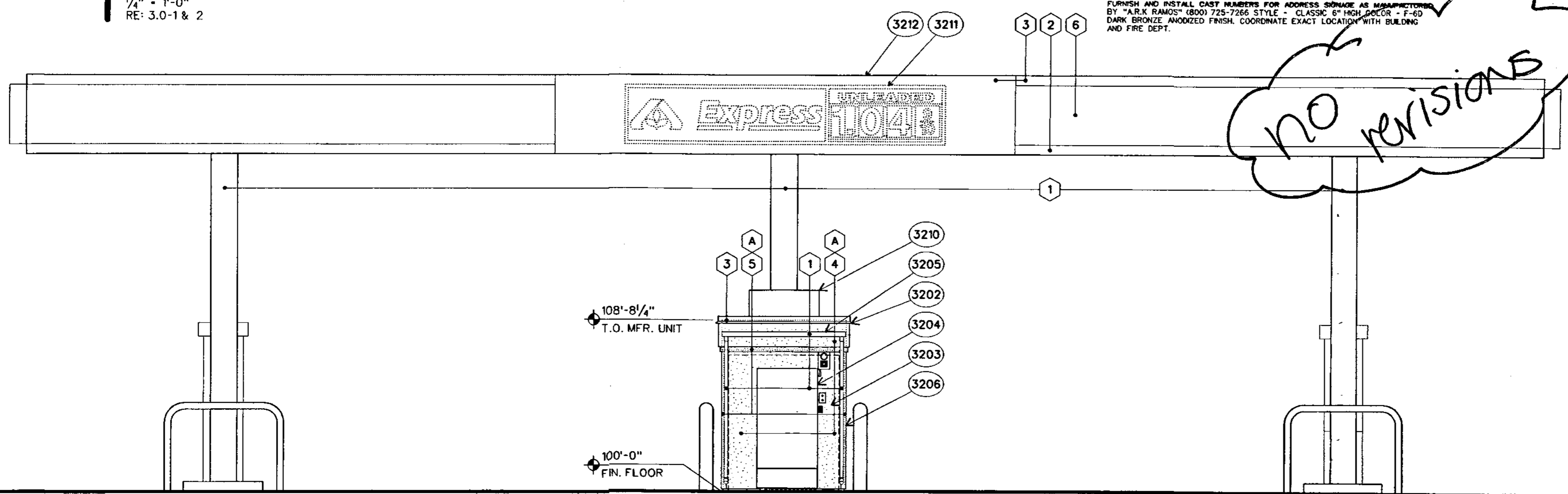


**5 E.I.F.S. JOINTS**  
3" - 1'-0"  
RE: 3.2-1-4

**CONTROL JOINT**



**1 RIGHT ELEVATION**  
1/4" = 1'-0"  
RE: 3.0-1 & 2



**2 REAR ELEVATION**  
1/4" = 1'-0"  
RE: 3.0-1 & 2

**3 SCHEDULE OF KEYED NOTES**  
RE: 3.2A & 3.2B

- 3200 E.I.F.S. CONTROL JOINT, TYP. RE: 3.2-7
- 3201 ROOF LINE BEYOND
- 3202 GALVANIZED METAL COPING, PAINT, RE: 3.2-6
- 3203 INTEGRAL COLOR E.I.F.S., RE: 3.2-6
- 3204 FUEL AND LIGHTING CONTROL CABINET W/ SKIRT, RE: 7.0-1, PAINT
- 3205 PVC DRAIN CHANNEL, PAINT, RE: 3.2-6
- 3206 1/2" PVC DOWNSPOUT, PAINT, TYP., RE: 3.2-6
- 3207 6" STAINLESS TRANSACTION SHELF
- 3208 KIOSK, RE: 3.0A-1,2 & DRAWINGS PREPARED BY B.I.G.
- 3209 PASS THRU DRAWER
- 3210 HEAT PUMP/AIR CONDITIONING UNIT, PAINT, RE: 3.2-6
- 3211 SIGNAGE, RE: SIGNAGE DRAWINGS PREPARED BY IMAGE NATIONAL
- 3212 CANOPY, RE: DRAWINGS PREPARED BY TFC ROYALE

**4 SCHEDULE OF EXTERIOR MATERIALS & FINISHES**  
RE: 3.2A & 3.2B

NOTE: ALL MATERIAL SYMBOLS ARE FOR REPRESENTATIONS ONLY.

MATERIAL	FINISH
CONCRETE MASONRY UNITS.	
A	E.I.F.S. FINISH, SEE COLOR CODE SCHEDULE 1" THICK, OR AS SPECIFIED. INTEGRALLY COLORED, SEE COLOR CODE SCHEDULE BELOW
GALVANIZED METAL PARAPET COPING AND SCUPPERS.	SEE COLOR SCHEDULE BELOW
EXTERIOR HOLLOW METAL DOORS & FRAMES	PAINT TO MATCH SEE COLOR SCHEDULE BELOW
EXTERIOR GLASS	TINTED, BULLET RESISTANT
ROOF TOP MECHANICAL EQUIPMENT EXTENDING ABOVE PARAPET WALL	PAINT TO MATCH PONDEROSA PAINT 8712W "MUSHROOM BASKET"
ELECTRICAL SERVICE ENCLOSURE, CONDUIT, ETC.	PAINT TO MATCH PONDEROSA PAINT 8712W "MUSHROOM BASKET"
COMPOSITE METAL FASCIA PANEL FURNISHED AND INSTALLED BY OWNER	MITSUBISHI 3M "MST WHITE" SEE CANOPY DRAWINGS
<b>COLOR CODE SCHEDULE</b>	
RE: 3.1-1,2,3 & 4 RE: SPECIFICATIONS FOR APPROVED PAINT MANUFACTURERS. SUBMIT SAMPLES TO ARCHITECT FOR APPROVAL.	
<b>PANT</b>	<b>INTEGRAL COLOR E.I.F.S.</b>
1 MATCH PONDEROSA PAINT 8712W "MUSHROOM BASKET"	4 DRYKIT #103 "NATURAL WHITE" QUARTZPUTZ FINISH INSTALLED OVER GALV. EXTERIOR PANELS
2 MATCH PONDEROSA PAINT 8273M "SPICED COGNAC"	5 DRYKIT #337A "MALT" SMOOTH FREESTYLE FINISH
3 MATCH PONDEROSA PAINT 8343M "CONDO CORAL"	<b>FASCIA PANEL</b>
	6 "MITSUBISHI" "MST WHITE"
<b>MISCELLANEOUS ITEMS</b>	
ADDRESS LETTERS FURNISH AND INSTALL CAST NUMBERS FOR ADDRESS SIGNAGE AS MANUFACTURED BY "A.R.K. RAMOS" (800) 725-7266 STYLE - CLASSIC 6" HIGH COLOR - F-6D DARK BRONZE ANODIZED FINISH. COORDINATE EXACT LOCATION WITH BUILDING AND FIRE DEPT.	

NO REVISIONS

**Express** NO. 0922-11AK  
6600 CENTRAL AVENUE  
ALBUQUERQUE, NEW MEXICO

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**SUBMITTAL DATE(S) OWNER / AGENCY**

9/30/99	9/30/99
12/22/99	12/22/99

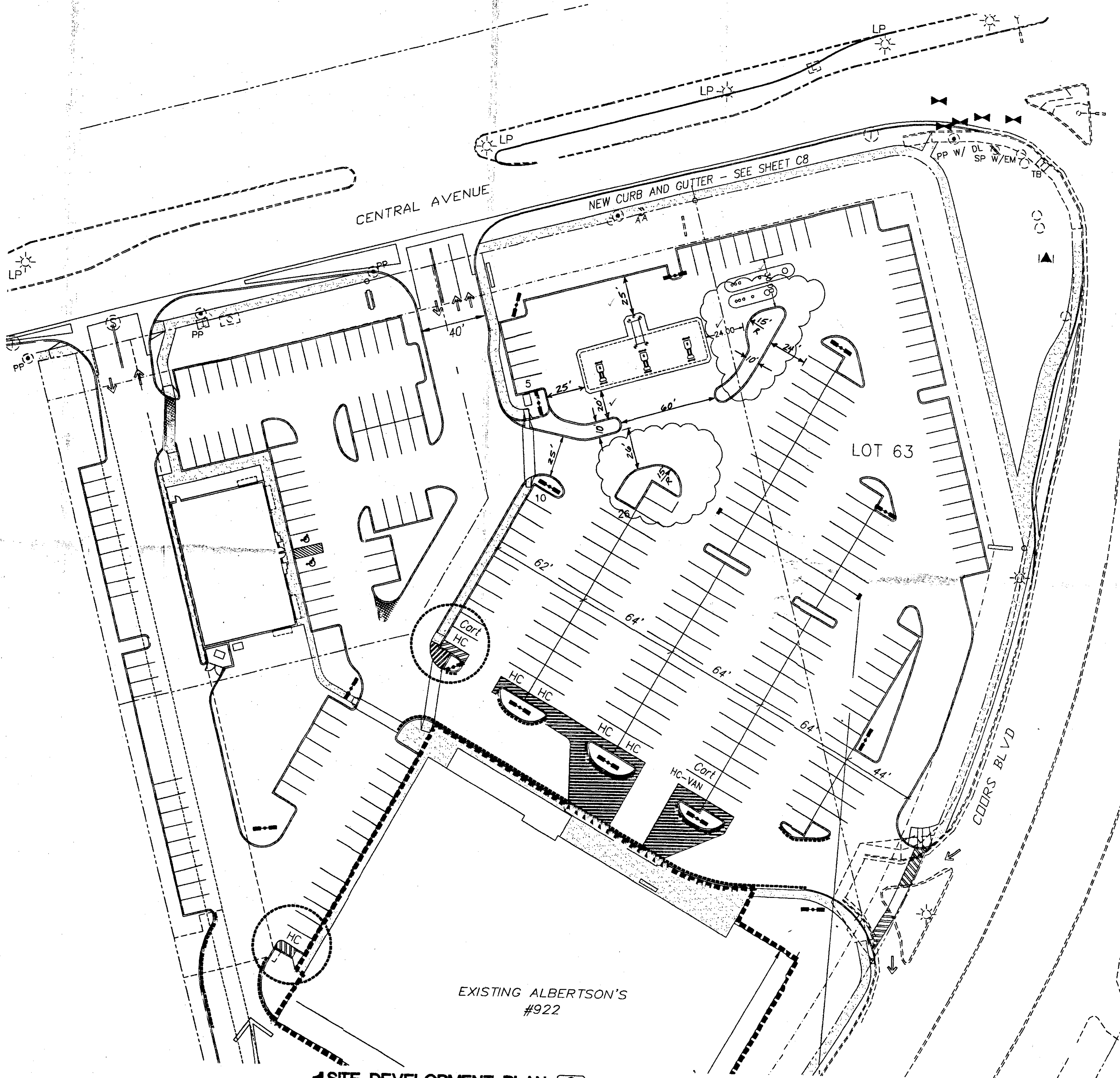
**REVISIONS**

DRAWN	PROJECT
SL	98170
CHECKED	OTB DATE
TJ	3/14/00

**SHEET TITLE**

**EXTERIOR ELEVATIONS**

**SHEET**  
**3.2B**



1 SITE DEVELOPMENT PLAN  
SCALE 1"=30'

2 SITE DATA

EXISTING ALBERTSON'S	= 55,545 S.F.
KIOSK	= 70 S.F.
PAD A	= 5,500 S.F.
TOTAL BLDG. AREA	= 57,115 S.F.
TOTAL PARKING STALLS REQUIRED	= 286
TOTAL PARKING STALLS PROVIDED	= 317 (+31)
TOTAL HC STALLS REQUIRED	= 10
TOTAL HC STALLS PROVIDED	= 10 (+0)
<b>NO COMPACT STALLS USED</b>	
<b>ALL NEW PARKING STALLS 8' X 18'</b>	
TOTAL SITE AREA	= 7.0 A.C. +/-
TOTAL INTERIOR LANDSCAPING	= 305,433 S.F. +/-
	= 1.3 A.C. +/-
	= 55,188 S.F. +/-
	= 18.10%

STORE# 0922-11AK  
ALBUQUERQUE, NM

**EXPRESS**  
5500 CENTRAL AVENUE SW  
KENT A. HANWAY, ARCHITECT  
Central Station 200 N 6th Bldg. Suite 63702  
(208) 343-4635 Fax (208) 343-8658

SUBMITTAL DATES	
OWNER / EPC	00/00/00 12/1/98
CITY COUN./DRB	00/00/00 3/29/99
XXXX / DRB REVISION	00/00/00 00/00/00

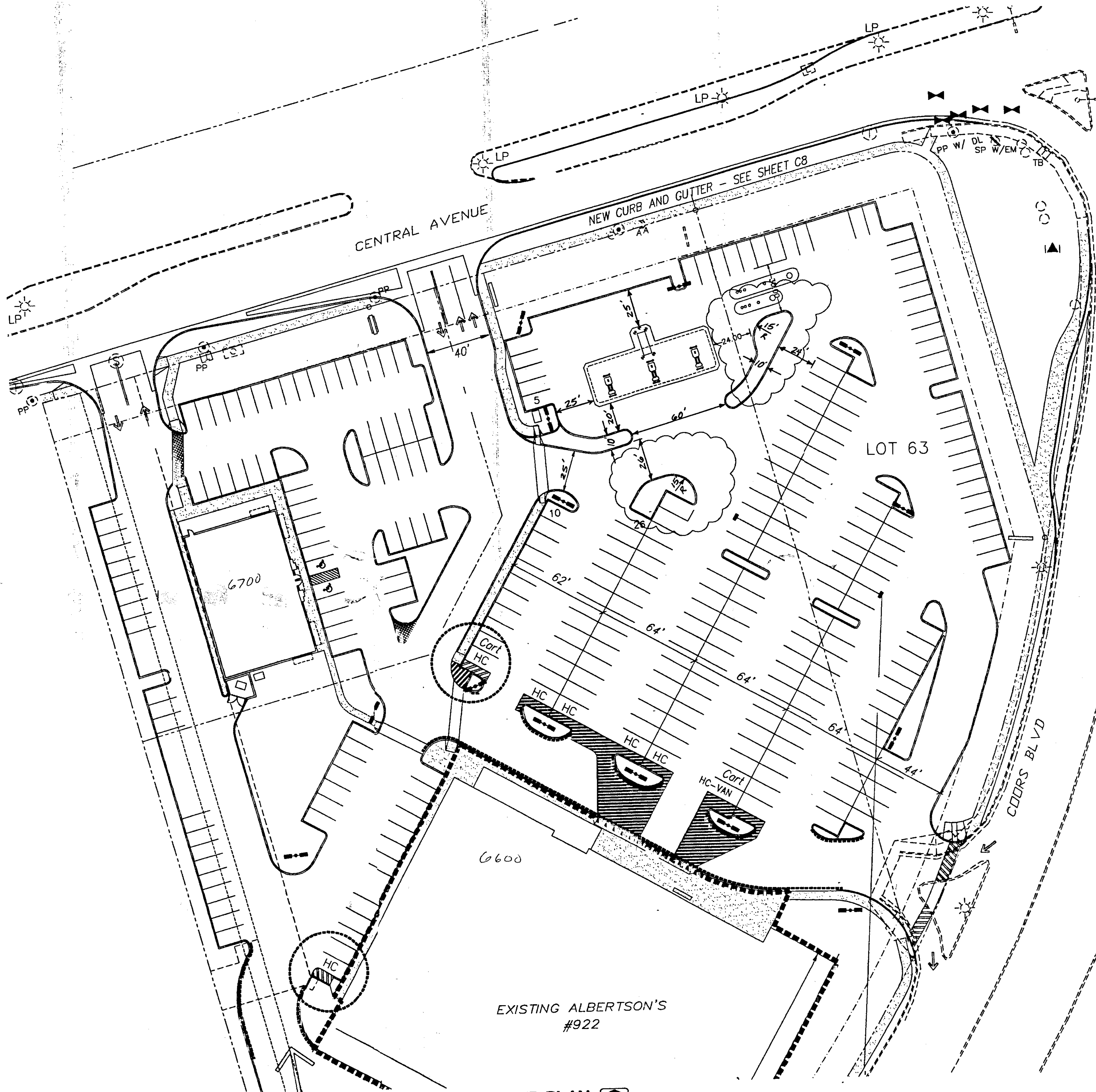
REVISIONS  
7/20/99 DRB Rev. 1

APPROVALS: DRB 95-192	EPC: Z-95-23-1
<i>[Signature]</i> PLANNING DEPARTMENT	8/20/99 DATE
<i>[Signature]</i> AMAPCA	7-28-99 DATE
<i>[Signature]</i> PARKS AND GENERAL SERVICES RECREATION	7-28-99 DATE
<i>[Signature]</i> TRAFFIC ENGINEERING	8-11-99 DATE
<i>[Signature]</i> CITY ENGINEER	7/28/99 DATE
<i>[Signature]</i> UTILITY DEVELOPMENT	8/10/99 DATE

DRAWN MRF/AMR PROJECT 98170.000  
CHECKED SC/JM DATE 12/1/98  
SHEET TITLE  
SITE DEVELOPMENT PLAN

SHEET  
SP-5

Copy for Zoning File/600 Central Ave SW



1 SITE DEVELOPMENT PLAN  
SCALE 1"=30'



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TOTAL INTERIOR LANDSCAPING	= 1.3 A.C. +/- 55,188 S.F. +/- 18.10%

STORE# 0922-11AK  
ALBUQUERQUE, NM

**EXPRESS**  
6600 CENTRAL AVENUE SW  
KENT A. HANWAY, ARCHITECT  
Central Station, 200 N 6th Bldg, Suite 83702  
(206) 343-4835 Fax (206) 343-1858

SUBMITTAL DATES	
OWNER / EPC	00/00/00 / 12/1/98
CITY COUN./DRB	00/00/00 / 3/29/99
XXXX / DRB REVISION	00/00/00 / 00/00/00

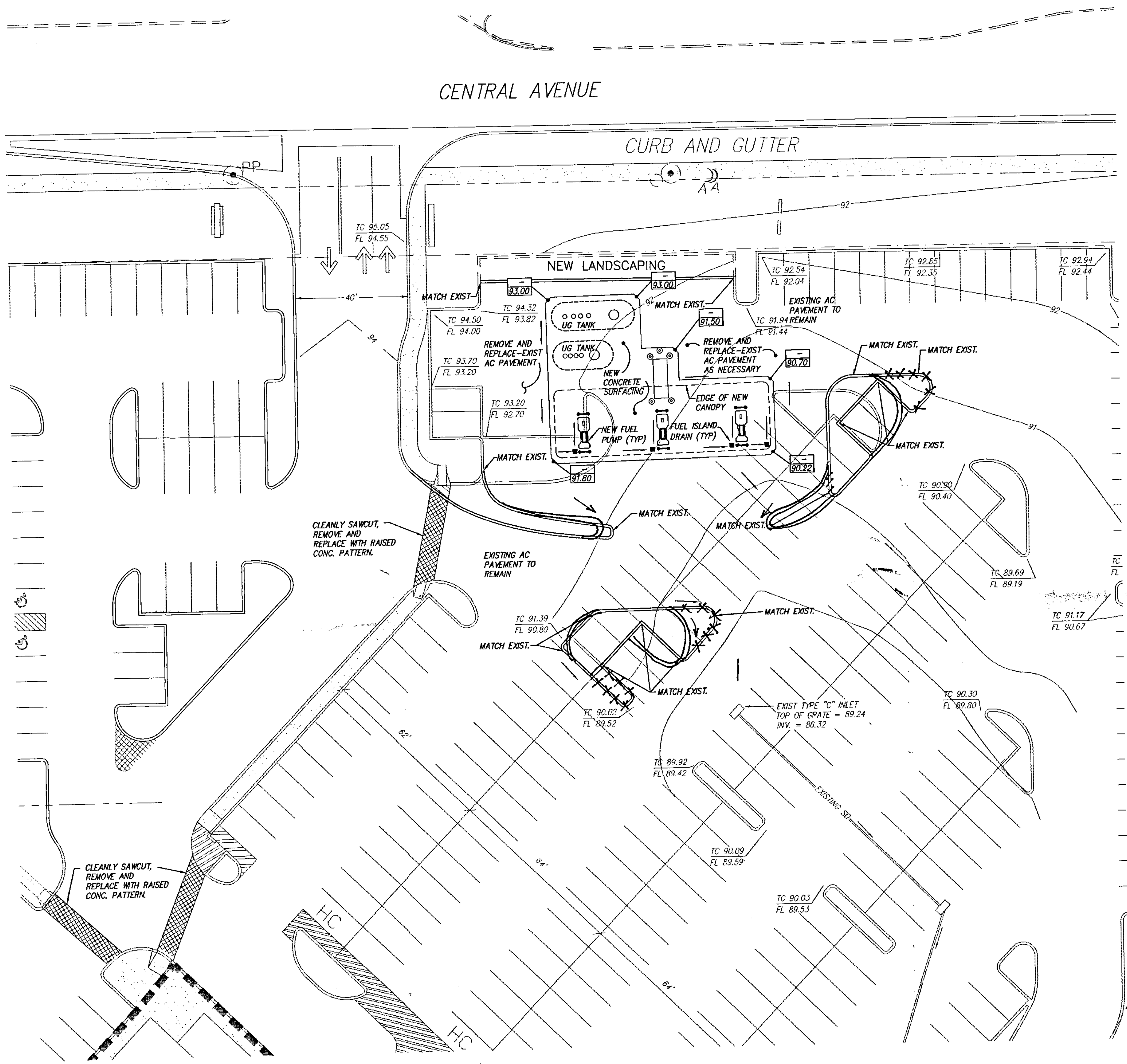
REVISIONS	
7/20/99	DRB Rev. 1

APPROVALS: DRB 95-192 EPC: Z-95-23-1	
PLANNING DEPARTMENT	8/20/99
<i>Paul J. Cooper</i>	7-28-99
AMR/AMR	7-28-99
<i>Edward V. Stang</i>	7-28-99
PARKS AND GENERAL SERVICES RECREATION	8-11-99
<i>Paul J. Cooper</i>	7/28/99
CITY ENGINEER	8/10/99
<i>Roger L. Green</i>	8/10/99
UTILITY DEVELOPMENT	

DRAWN	PROJECT
MRF/AMR	98170.000
CHECKED	DATE
SC/JM	12/1/98

SHEET TITLE  
**SITE DEVELOPMENT PLAN**

SHEET  
**SP-5**

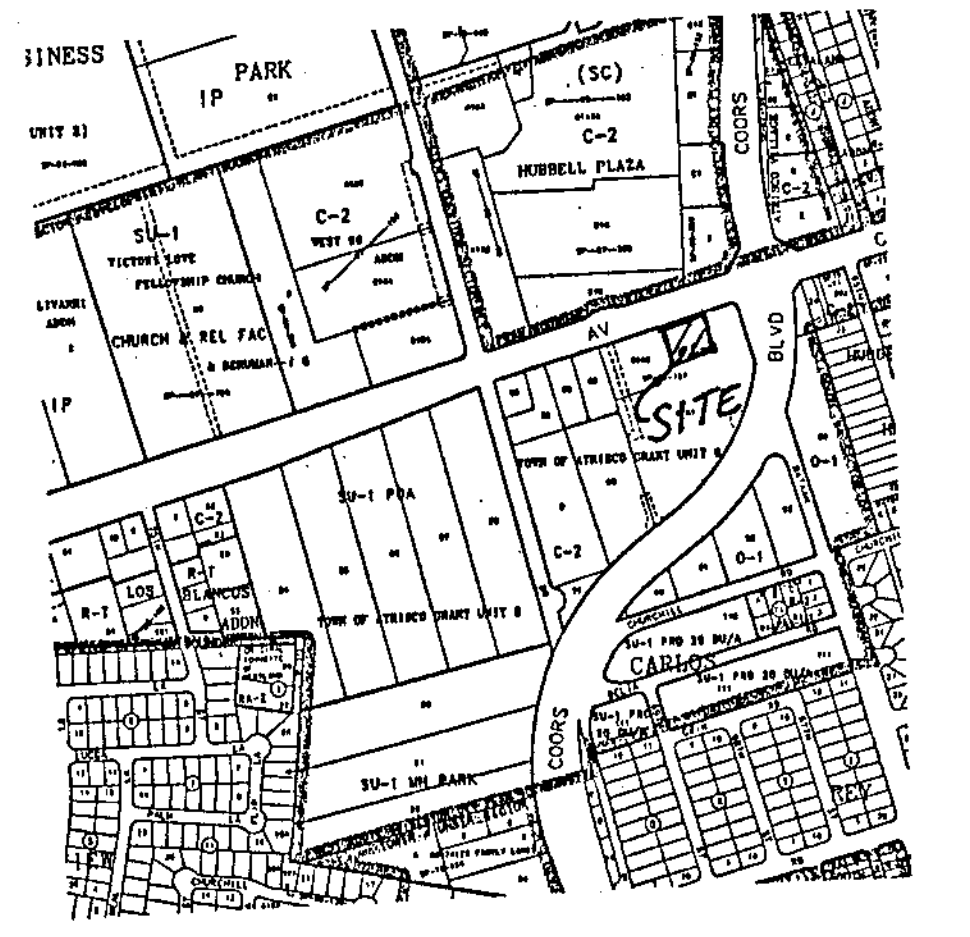


**DRAINAGE PLAN SUMMARY**

In accordance with Albertson's Coors and Central Master Drainage Plan (K-10/D-27) runoff from these proposed site improvements will collect in an owner-maintained on-site storm drain which has a controlled discharge rate into the Coors Blvd. right-of-way. The improvements identified hereon will not exceed the previously accounted for area of on-site impervious surfacing.

**Notes**

1. Runoff outside of the area covered by canopy shall be directed around the fuel island. The specific extent of existing pavement removal will depend upon necessary transition from existing to new pavement at a reasonable grade.
2. Where new curb and gutter is to be set within existing pavement, contractor shall neatly sawcut and insure competent edge is maintained.
3. Owner shall be responsible for maintenance of all on-site storm drain facilities.
4. Fuel island drains shall be NEENAH R-3933 or equivalent and connected to the sanitary sewer.
5. Fueling area beneath canopy shall be graded such that any fuel spills will be collected in fuel island drains.
6. Liquid fueling outside of area beneath the fuel island canopy shall not be permitted.
7. Fuel island drains shall be connected directly into an approved oil-water separator, which would then discharge into the existing on-site type "c" inlet via a private underground pipe.



**VICINITY MAP** ZONE MAP: K-10-Z

**ACS BENCHMARK**

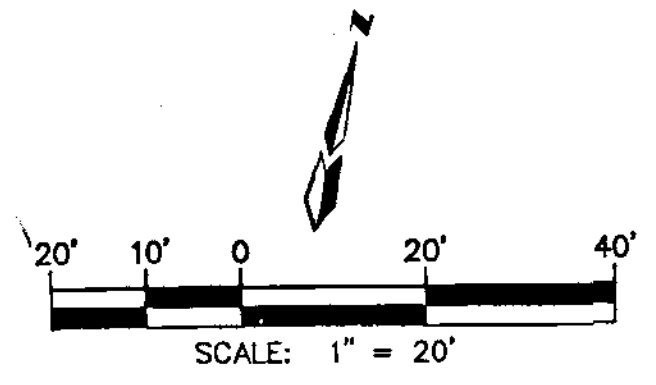
THE STATION IS AN ACS 3 1/4" ALUM. CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "5-K10, 1989". TO REACH THE STATION FROM THE INTERSECTION OF I-40 AND COORS BLVD., TRAVEL SO. ON COORS BLVD., 1.89 MILES TO THE INTERSECTION OF CENTRAL AVE., AND COORS BLVD. THE STATION IS LOCATED IN THE N.W. QUADRANT IN A TRAFFIC ISLAND. THE STATION IS 52.6' NORTH OF CENTRAL AVE., AND IS 2.7' WEST OF BACK OF CURB ON THE ISLAND. X=362,341.63, Y=1,484,685.30, Z=5093.733

**LEGAL DESCRIPTION**

TRACT 61A1, TOWN OF ATRISCO GRANT UNIT NO. 6

**LEGEND**

- NEW CURB AND GUTTER (MEDIAN PER CITY STD. DWG 2415)
- FLOW ARROW
- TC 91.94 FL 91.44 EXISTING SPOT ELEVATION
- EXISTING C & G
- 90.70 NEW SPOT ELEVATION

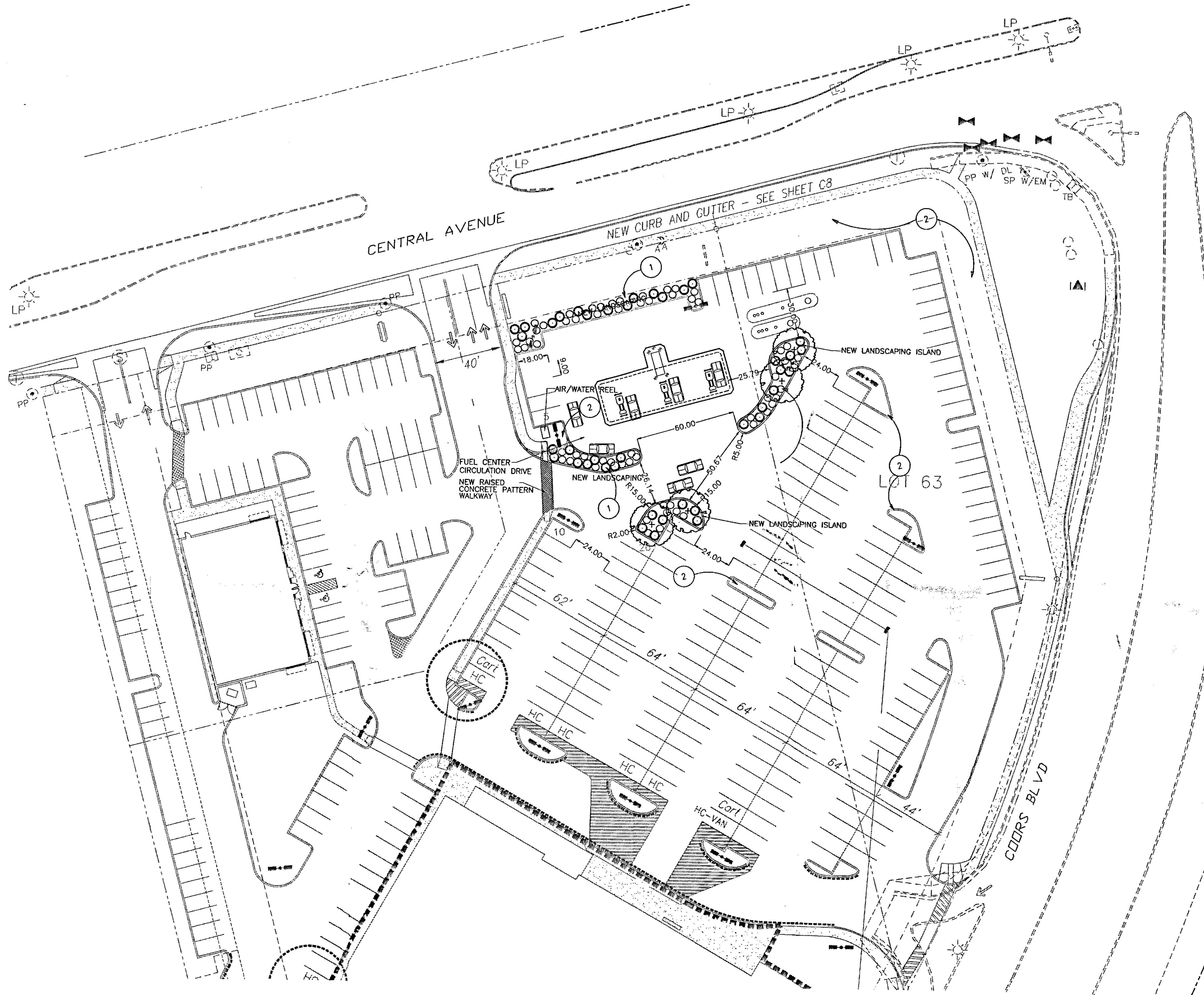


**A - EXPRESS**  
**CONCEPTUAL GRADING AND DRAINAGE PLAN**

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: SPS	Checked: DMG	Sheet C   of
Scale: 1" = 20'	Date: 06/11/99	Job: 99074	





## # 2 SHEET NOTES:

1. NEW PARKING ISLANDS W/ NEW LANDSCAPE PLANTINGS. TIE INTO/ADAPT EXISTING DRIP IRRIGATION SYSTEM WITH NEW DRIP SYSTEM AND INSTALL DRIP EMITTERS TO EACH PLANT IN QUANTITY RECOMMENDED BY SYSTEM MANUFACTURER. FLUSH LINES PRIOR TO EMITTER INSTALLATION. INSTALL WEED BARRIER FABRIC AND 3" ROCK MULCH TO MATCH EXISTING ELSEWHERE ON SITE.
2. EXISTING LANDSCAPE PLANTINGS TO REMAIN, WHERE NEW CURB CONSTRUCTION OCCURS, RECONFIGURE IRRIGATION, RESTORE GRADE, FRESH EXISTING PLANTS AS NEEDED, AND ADD/REPLACE ROCK MULCH/WEED BARRIER TO MATCH EXISTING. EXISTING PLANTINGS IN PARKING ISLANDS CONSIST OF TAM JUNIPERS, ANTHONY WATERER SPIREA, MARIE FAVIE' ROSES, AND SHADE MASTER HONEYLOCUSTS. NEW PLANTINGS ARE SELECTED TO MATCH THIS PLANT PALETTE.

## 3 GENERAL NOTES:

- A. EXISTING LANDSCAPING IN PARKING ISLANDS TO BE DEMOLISHED INCLUDES APPROX. 60 SHRUBS AND 3 TREES. THESE INCLUDE TAM JUNIPER, ANTHONY WATERER SPIREA, MARIE FAVIE' ROSES, AND SHADE MASTER HONEYLOCUST. NEW ISLANDS WILL REPLACE MOST OF THESE. RE. DEMOLITION PLAN.
- B. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE ARCHITECT OF AVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
- C. LANDSCAPE INSTALLATION SPECIFICATIONS ARE IN BOOK FORM, CONFORM TO ALL CONDITIONS AND REQUIREMENTS CONTAINED WITHIN. HAVE AVAILABLE ON THE JOB SITE AT ALL TIMES, AND IN CHRONOLOGICAL ORDER, THE PROJECT CONSTRUCTION DRAWINGS & SPECIFICATIONS FOR INSPECTION BY THE ARCHITECT. RETAIN ON SITE ALL OFFICIAL / APPROVED ADDENDUMS, CHANGE ORDERS, AND / OR CONSTRUCTION CHANGE DIRECTIVES SPECIFIC TO THE LANDSCAPE INSTALLATION.
- D. VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITY SYSTEMS PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION THAT MAY CAUSE DAMAGE TO SUCH SYSTEMS. CALL U.S.A. AT 1-800-642-2444 TO LOCATE EXISTING UTILITIES. REPAIR / REPLACE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER OR GOVERNING AGENCY, AND AT NO ADDITIONAL COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- E. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. RIP SUBGRADE AS PER SPECIFICATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL. AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL SHALL BE TOPSOIL EQUAL TO THAT REQUIRED IN THE SPECIFICATIONS. CLEAN TOPSOIL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE ARCHITECT.
- F. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
- G. PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE ARCHITECT IMMEDIATELY. FAILURE TO NOTIFY THE ARCHITECT IMPLIES ACCEPTANCE OF THE SITE IN ITS EXISTING CONDITION.

## 4 SYMBOL LEGEND

SHRUBS			
SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE
○	Tamarix Juniper	Juniperus sabinia Tam. 'New Blue'	5 gallon
○	Anthony Waterer Spirea	Spiraea bumalda 'Anthony Waterer'	5 gallon 18" hgt.
TREES			
SYM	COMMON NAME	BOTANICAL NAME	PLANTING SIZE MATURE SIZE
+	Shademaster Honeylocust	Gleditsia tria. 'Shademaster'	2 1/2" caliper 60H x 40W
OTHER SYMBOLS			
SYM	DESCRIPTION		
○	EXISTING TREE TO REMAIN.		

**1 LANDSCAPE PLAN**  
SCALE 1"=30'  
NORTH

STORE# 0922-11AK  
ALBUQUERQUE, NM

**EXPRESS**  
6600 CENTRAL AVENUE SW  
KENT A. HANWAY ARCHITECT  
Central Station 200 N 6th Boise, Idaho 83702  
(208) 343-4835 Fax: (208) 343-8558

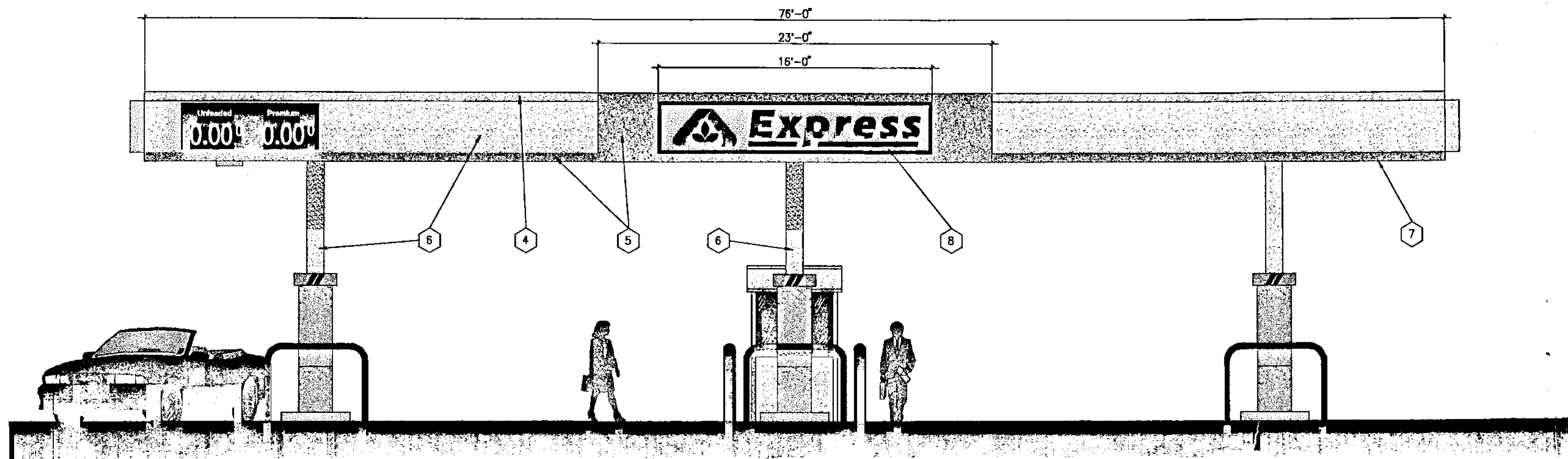
SUBMITTAL DATES	
OWNER	EPC
00/00/00	12/1/98
CITY COUN./DRB	
00/00/00	3/29/99
XXXX	XXXX
00/00/00	00/00/00

REVISIONS	
NO.	DESCRIPTION
1	REVISED PLAN 08/02/99 JAM

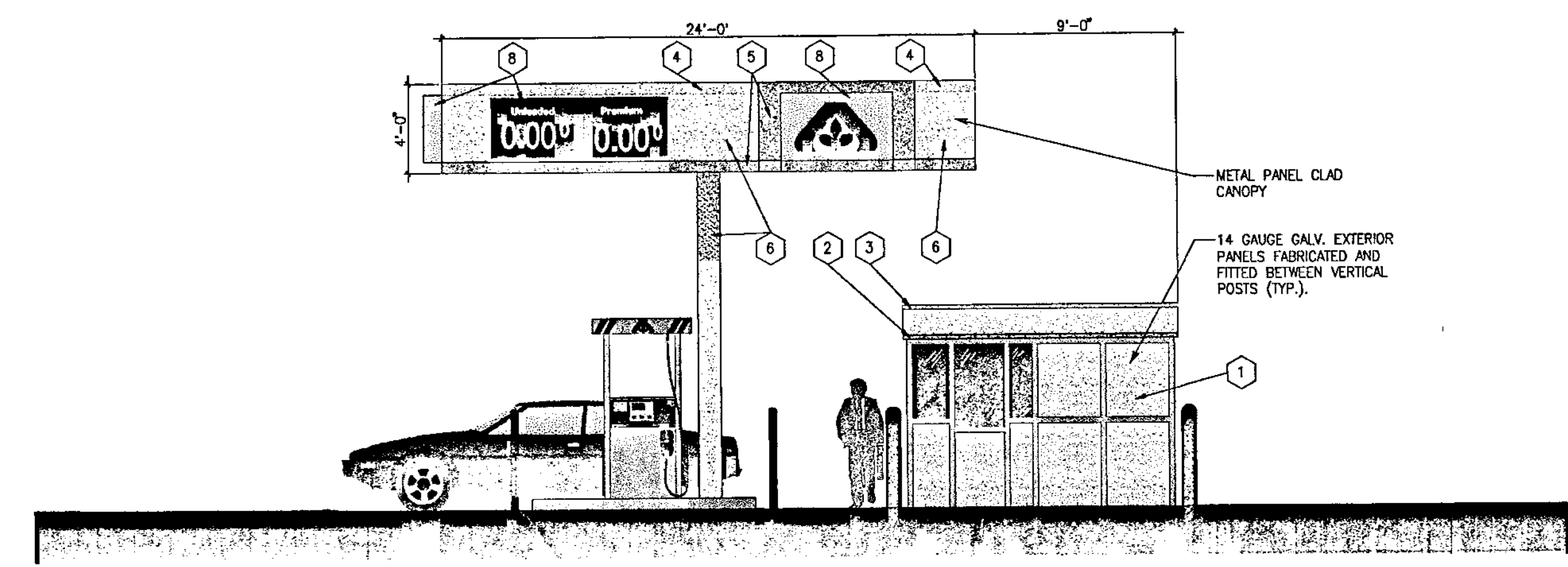
DRAWN	PROJECT
SAU/AMR	98170.000
CHECKED	DATE
SC/KDH	12/1/98

SHEET TITLE  
**LANDSCAPE PLAN**

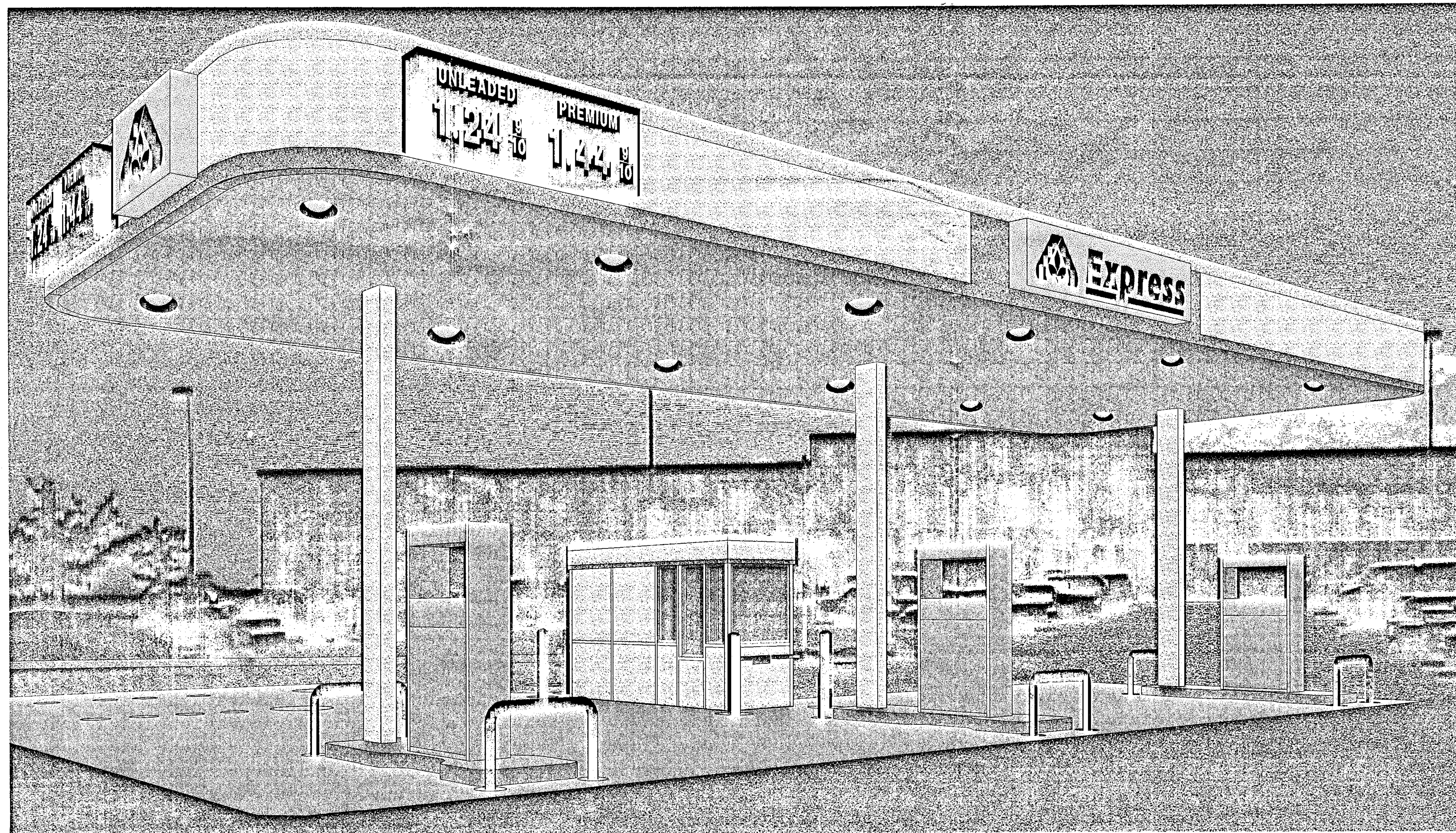
SHEET  
**L-1**



**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**2 SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 PERSPECTIVE**

**4 EXTERIOR COLOR SCHEDULE**

- 1 DRYVIT #103 NATURAL WHITE QUARZPUTZ FINISH INSTALLED OVER GALV. EXTERIOR PANELS
- 2 DRYVIT #337A MALT SMOOTH FREESTYLE FINISH
- 3 DRYVIT #334 STABLE BROWN SMOOTH FREESTYLE FINISH
- 4 PAINT #334 STABLE BROWN-MAT FINISH
- 5 PAINT #337A MALT-MAT FINISH
- 6 PAINT #103 NATURAL WHITE-MAT FINISH
- 7 RECESSED CANOPY LIGHT FIXTURE
- 8 SIGNS-BY OTHERS

**5 EXTERIOR COLOR SAMPLES**  
(COLORS TO MATCH EXISTING STORE COLORS)

#103 NATURAL WHITE

#337A MALT

#334 STABLE BROWN

STORE# 0922-11AK  
ALBUQUERQUE, NM

**Express**  
6600 CENTRAL AVENUE SW  
KENT A. HANWAY, ARCHITECT  
Central Station 200 N 6th Boise, Idaho 83702  
(208) 343-4635 Fax: (208) 343-8858

SUBMITTAL DATES	
OWNER / EPC	
00/00/00	12/1/98
CITY COUN./DRB	
00/00/00	3/29/99
XXXX	XXXX
00/00/00	00/00/00

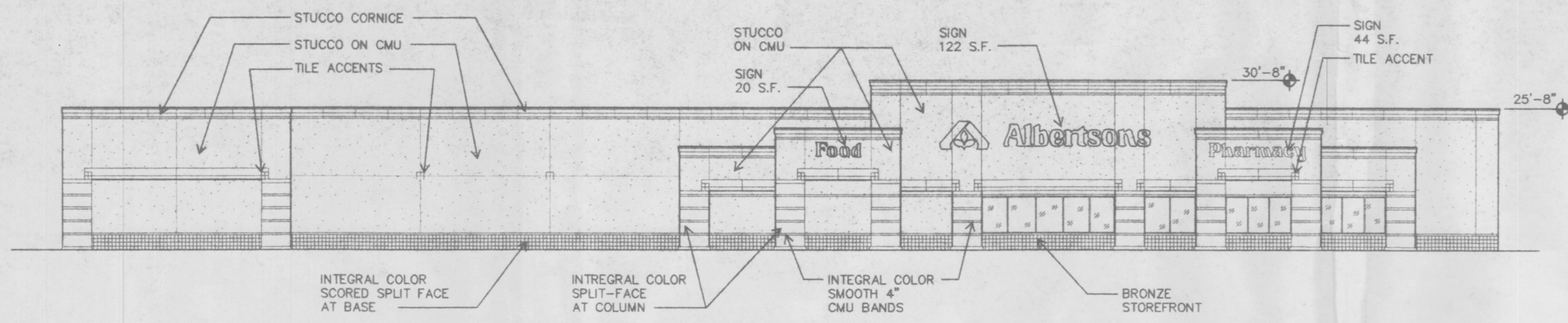
REVISIONS	

DRAWN MRF	PROJECT 98170.000
CHECKED SC	DATE 12/1/98

SHEET TITLE  
**EXTERIOR ELEVATIONS**

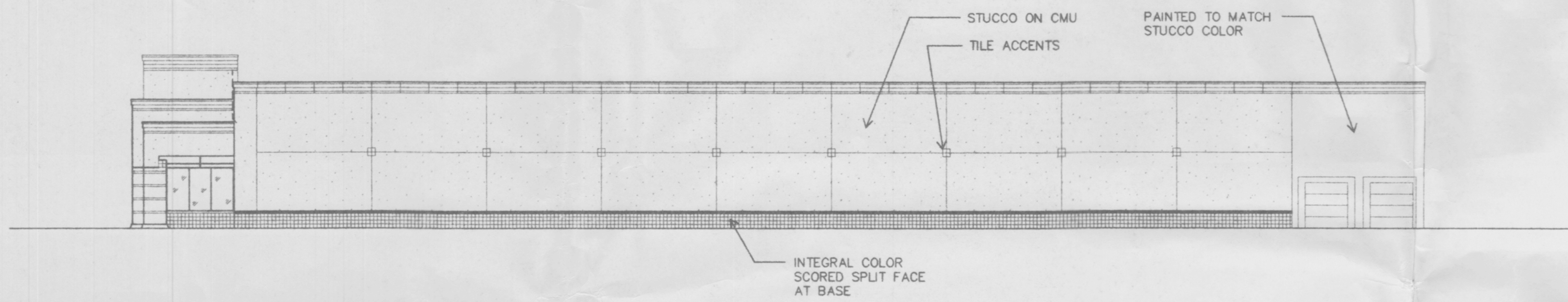
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**1.1**





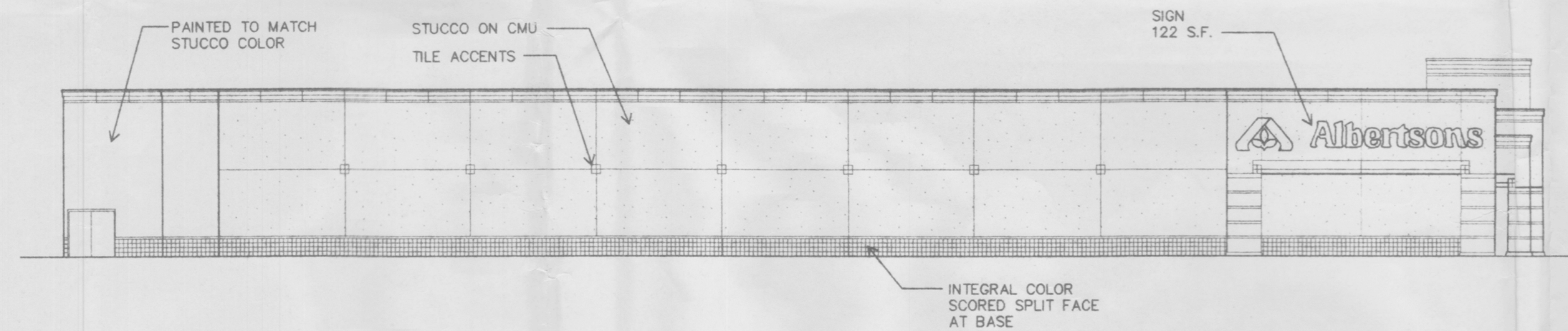
FRONT ELEVATION

SCALE: 1/16" = 1'-0"



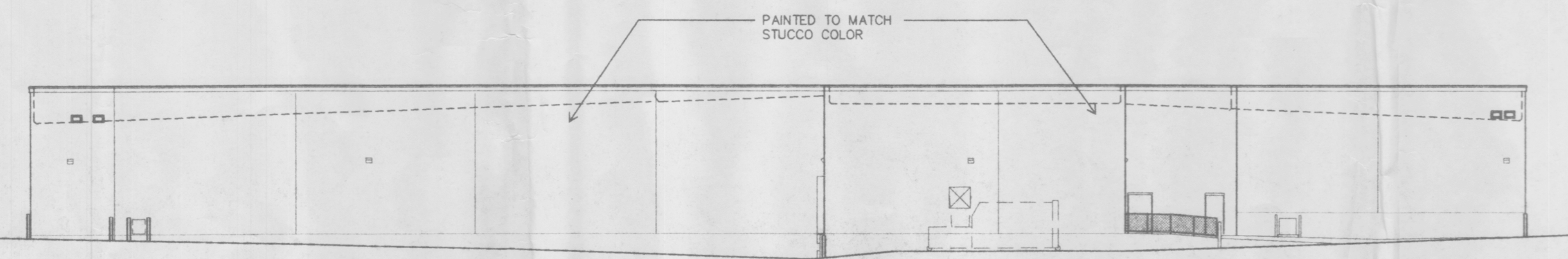
NORTH SIDE ELEVATION

SCALE: 1/16" = 1'-0"



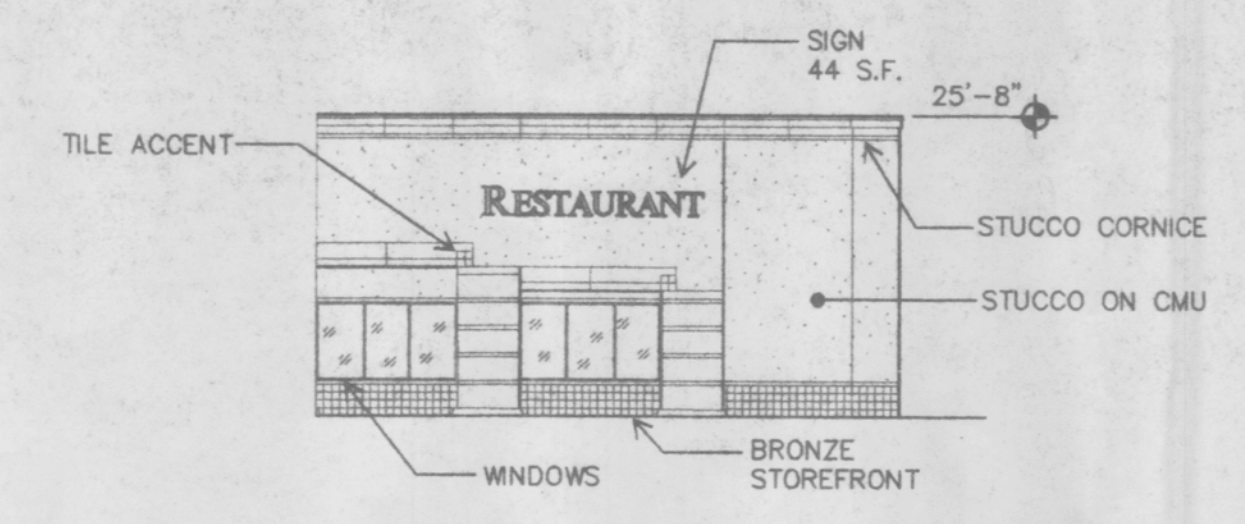
SOUTH SIDE ELEVATION

SCALE: 1/16" = 1'-0"

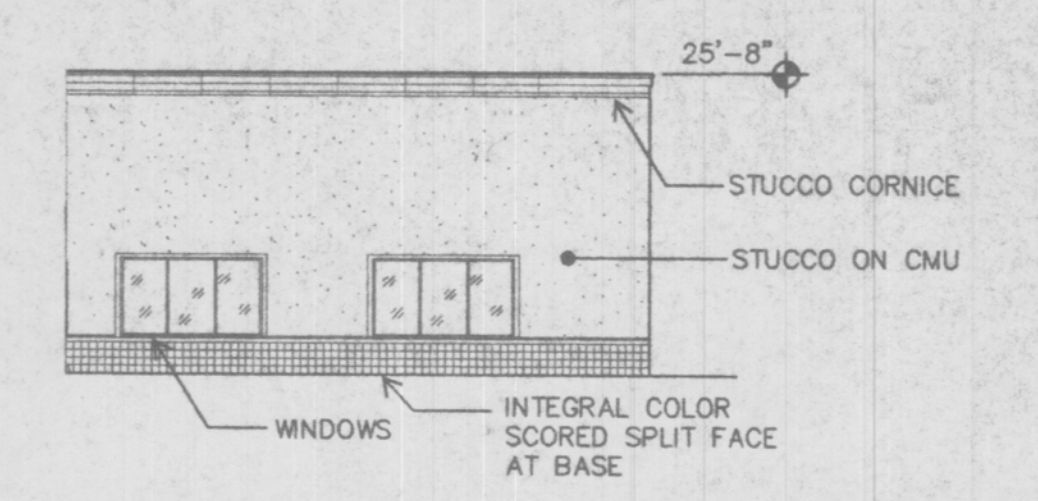


REAR ELEVATION

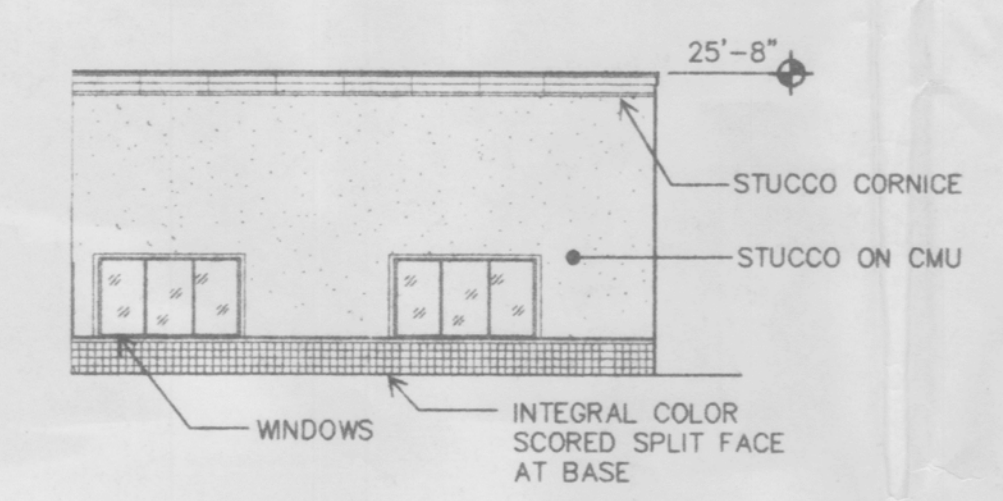
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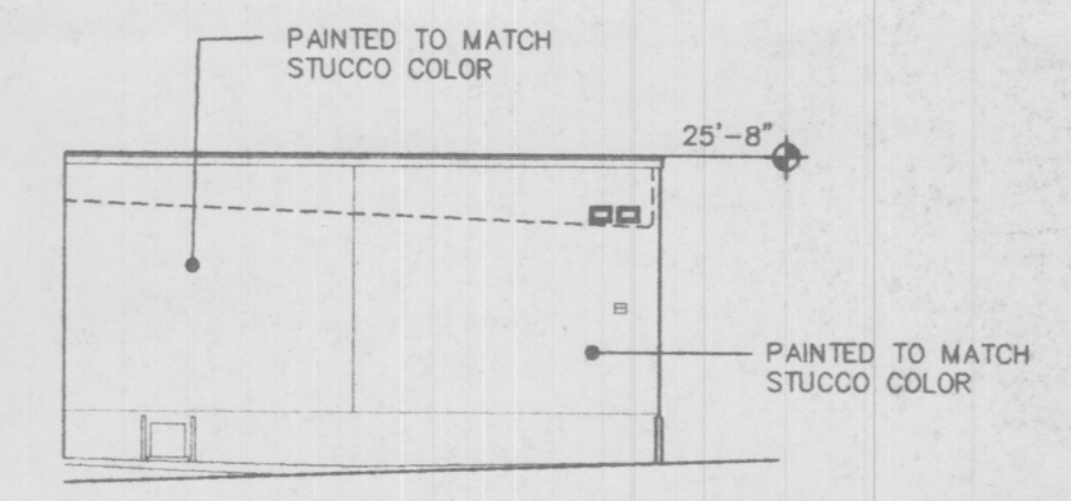
NORTH ELEVATION



WEST ELEVATION



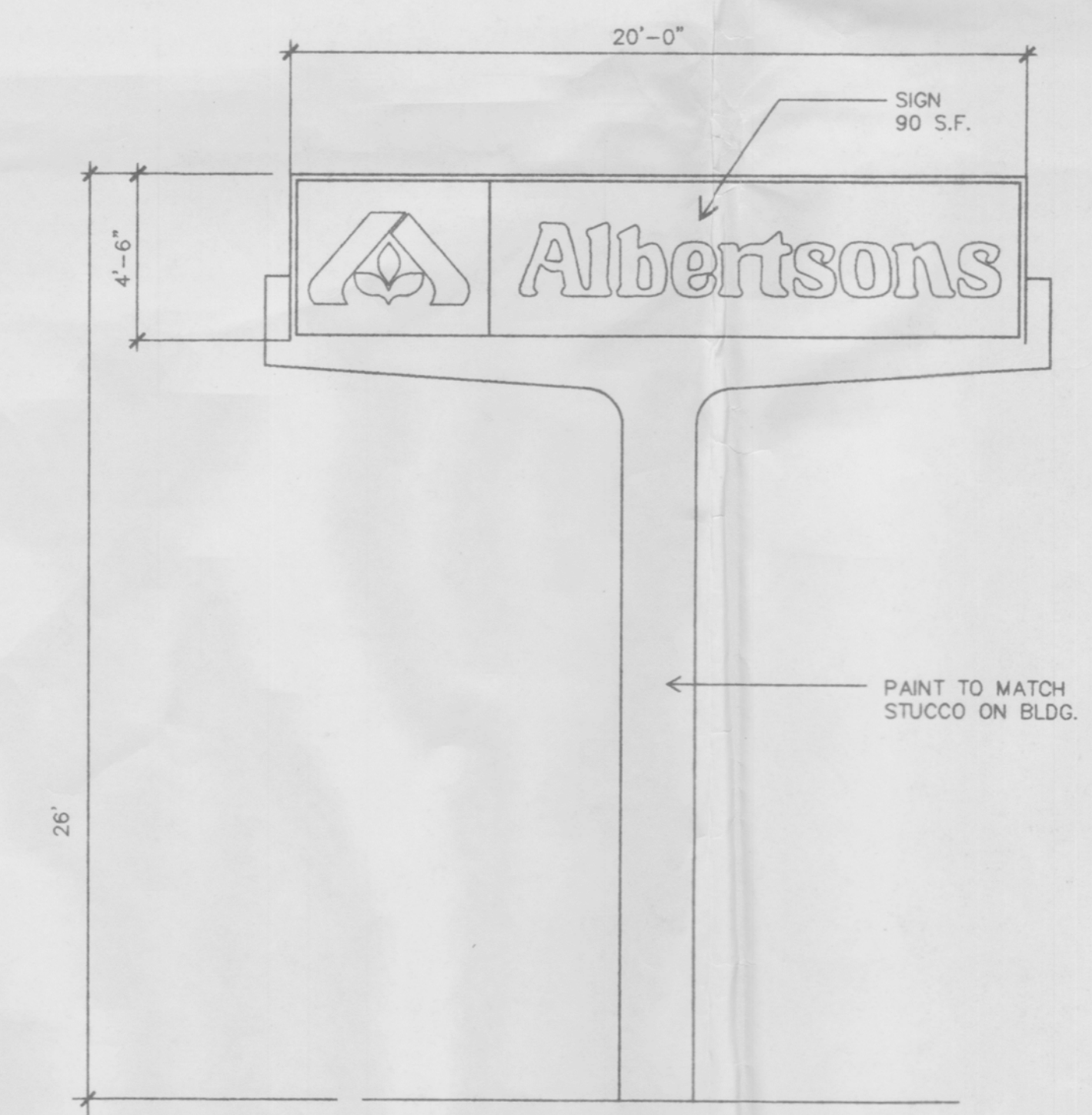
EAST ELEVATION



REAR ELEVATION

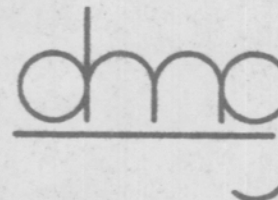
PAD "A" ELEVATIONS

SCALE: 1/16" = 1'-0"



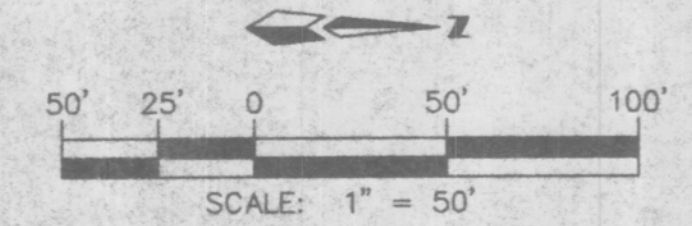
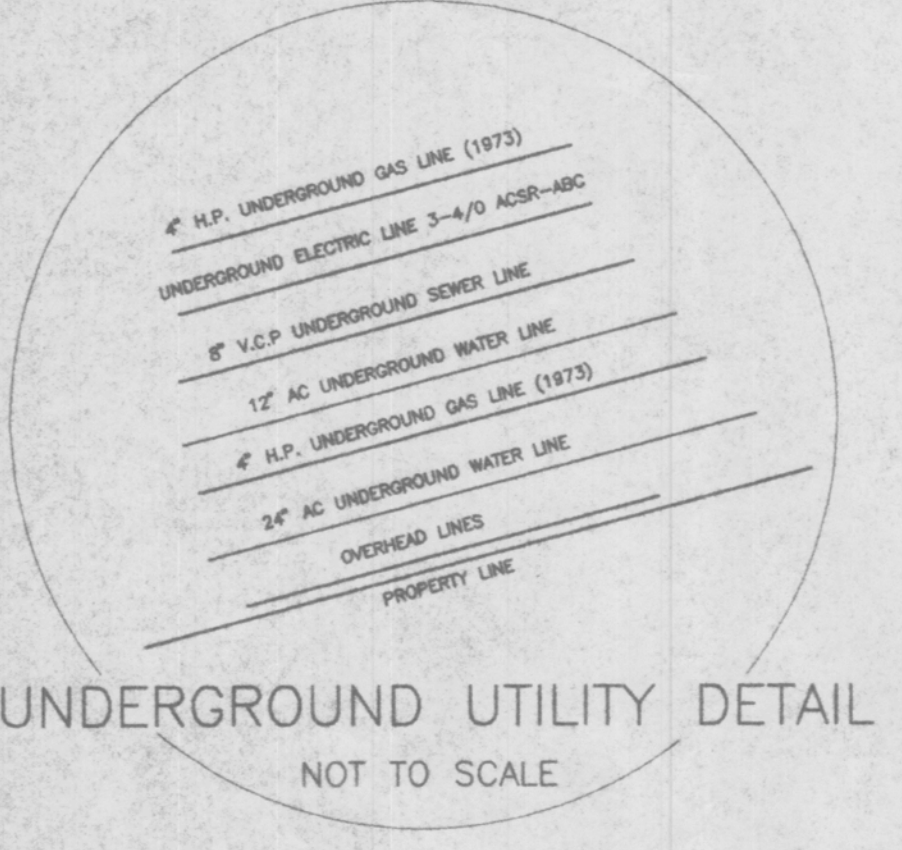
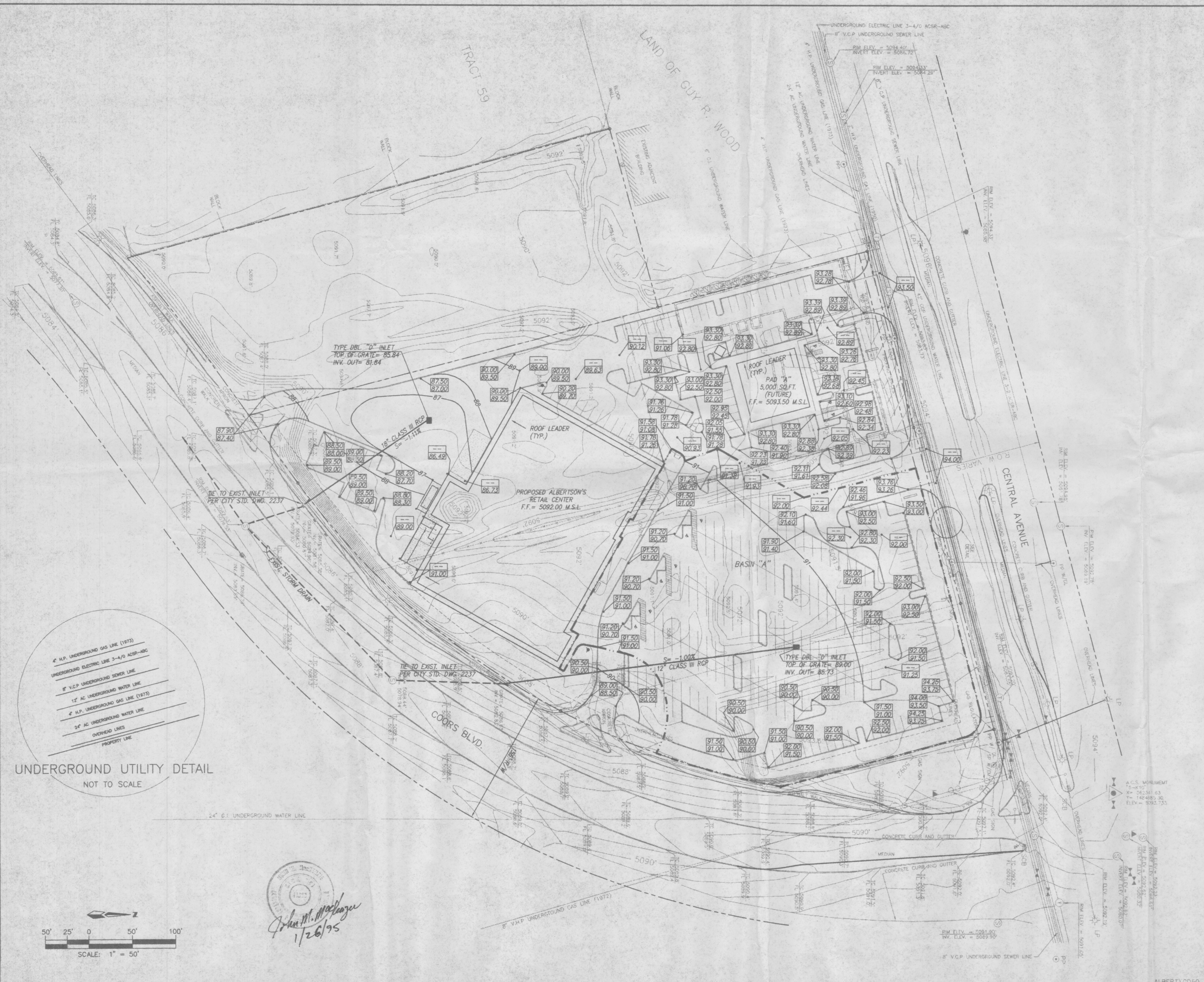
ALBERTSONS TYPICAL PYLON SIGN

SCALE: 1/4" = 1'-0"

ALBERTSON'S COORS-CENTRAL			
ELEVATION VIEWS			
 D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505) 345-2010			
Designed: JMM	Drawn: JVB	Checked: DMG	Sheet 2 of 4
Scale: AS SHOWN Date: 01/95 Job: 94150			

ALBERT\EL40\3-7

EPC 2 of 5



*John M. MacPuga*  
1/26/95

VICINITY MAP	ZONE MAP: K-10-Z
ACS BENCHMARK	
<p>THE STATION IS AN ACS 3 1/4" ALUM. CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "S-K10, 1989". TO REACH THE STATION FROM THE INTERSECTION OF I-40 AND COORS BLVD., TRAVEL SO. ON COORS BLVD., 1.89 MILES TO THE INTERSECTION OF CENTRAL AVE. AND COORS BLVD. THE STATION IS LOCATED IN THE N.W. QUADRANT IN A TRAFFIC ISLAND. THE STATION IS 52.6' NORTH OF CENTRAL AVE. AND IS 2.7' WEST OF BACK OF CURB ON THE ISLAND. X=362,341.63, Y=1,484,685.30, Z=5093.733</p>	
LEGAL DESCRIPTION	
TRACTS 60, 61, 62 AND 63 TOWN OF ATRISCO GRANT UNIT NO. 8	
LEGEND	
( )	RECORD DATA
○	FOUND EXISTING CORNER
●	SET #4 REBAR W/CAP N.M.P.S. 5953
○	EXISTING GAS METER
○	EXISTING LIGHT POLE
○	EXISTING POWER POLE
○	EXISTING POWER POLE/LIGHT POLE
PP-LP	EXISTING POWER POLE WITH DROP LINE
PP-V/TB	EXISTING POWER POLE WITH TRANSFORMER
PP-T	EXISTING SERVICE POLE
SP	EXISTING POWER POLE WITH ELECTRIC METER
SP-W/EM	EXISTING SIGNAL LIGHT POLE (HANGING)
○	EXISTING SIGNAL LIGHT POLE (STANDING)
○	EXISTING ANCHOR
□	EXISTING ELEC. PANEL BOX
□	EXISTING PULL BOX
□	EXISTING ELECTRIC METER
○	EXISTING SANITARY SEWER MAN HOLE
○	EXISTING TELEPHONE MAN HOLE
○	EXISTING WATER VALVE
○	EXISTING TELEPHONE RISER
○	EXISTING CABLE TELEVISION RISER
○	EXISTING WATER METER
○	EXISTING IRRIGATION CONTROL BOX
○	EXISTING FIREHYDRANT
○	EXISTING FENCE
□	EXISTING BUILDING FOOT PRINT
□	EXISTING STORM DRAIN
○	EXISTING SIGNAL CONTROL BOX
○	SPOT ELEVATION

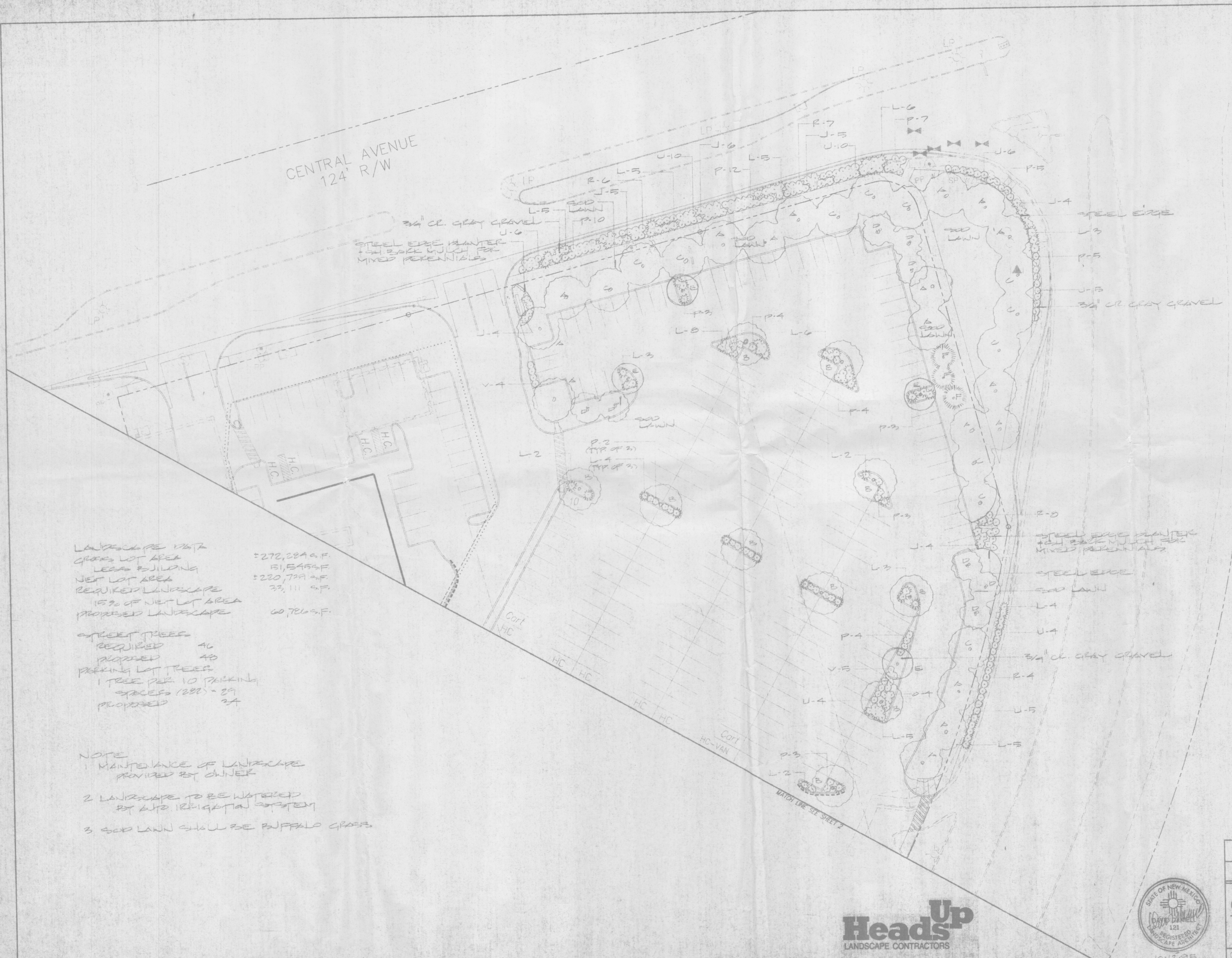
**ALBERTSON'S COORS - CENTRAL**  
**CONCEPTUAL GRADING & DRAINAGE PLAN**

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

Designed: RM	Drawn: JMB	Checked: DMG	Sheet 3 of 4
Scale: 1"=50'	Date: 12/94	Job: 94150	EPC 3 of 5

ALBERTGD50

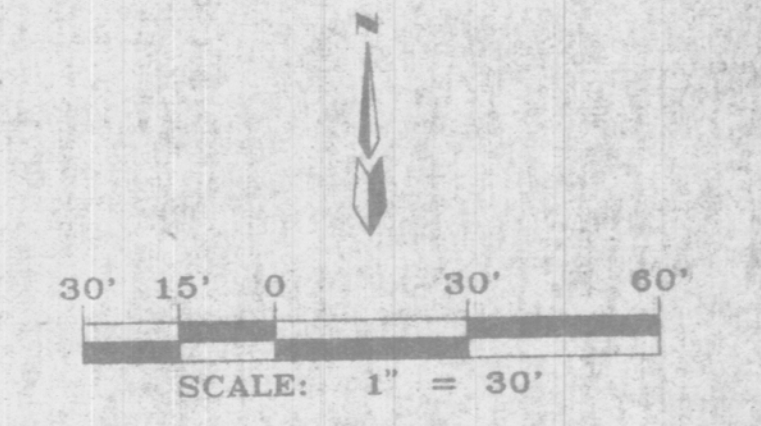
CENTRAL AVENUE  
124' R/W



LANDSCAPE DATA  
 GROSS LOT AREA = 272,284 S.F.  
 LESS BUILDING = 51,545 S.F.  
 NET LOT AREA = 220,739 S.F.  
 REQUIRED LANDSCAPE = 33,111 S.F.  
 15% OF NET LOT AREA  
 PROPOSED LANDSCAPE = 60,780 S.F.

STREET TREES  
 REQUIRED 46  
 PROPOSED 48  
 PARKING LOT TREES  
 1 TREE PER 10 PARKING  
 SPACES (222) = 22  
 PROPOSED 24

NOTE  
 1 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 2 LANDSCAPE TO BE WATERED BY AHD IRRIGATION SYSTEM  
 3 SOG LAWN SHOULD BE BUFFALO GRASS



**Heads Up**  
 LANDSCAPE CONTRACTORS  
 LICENSE 18890 (505) 898-9615  
 7525 SECOND ST. NW ALBUQUERQUE, NM 87107

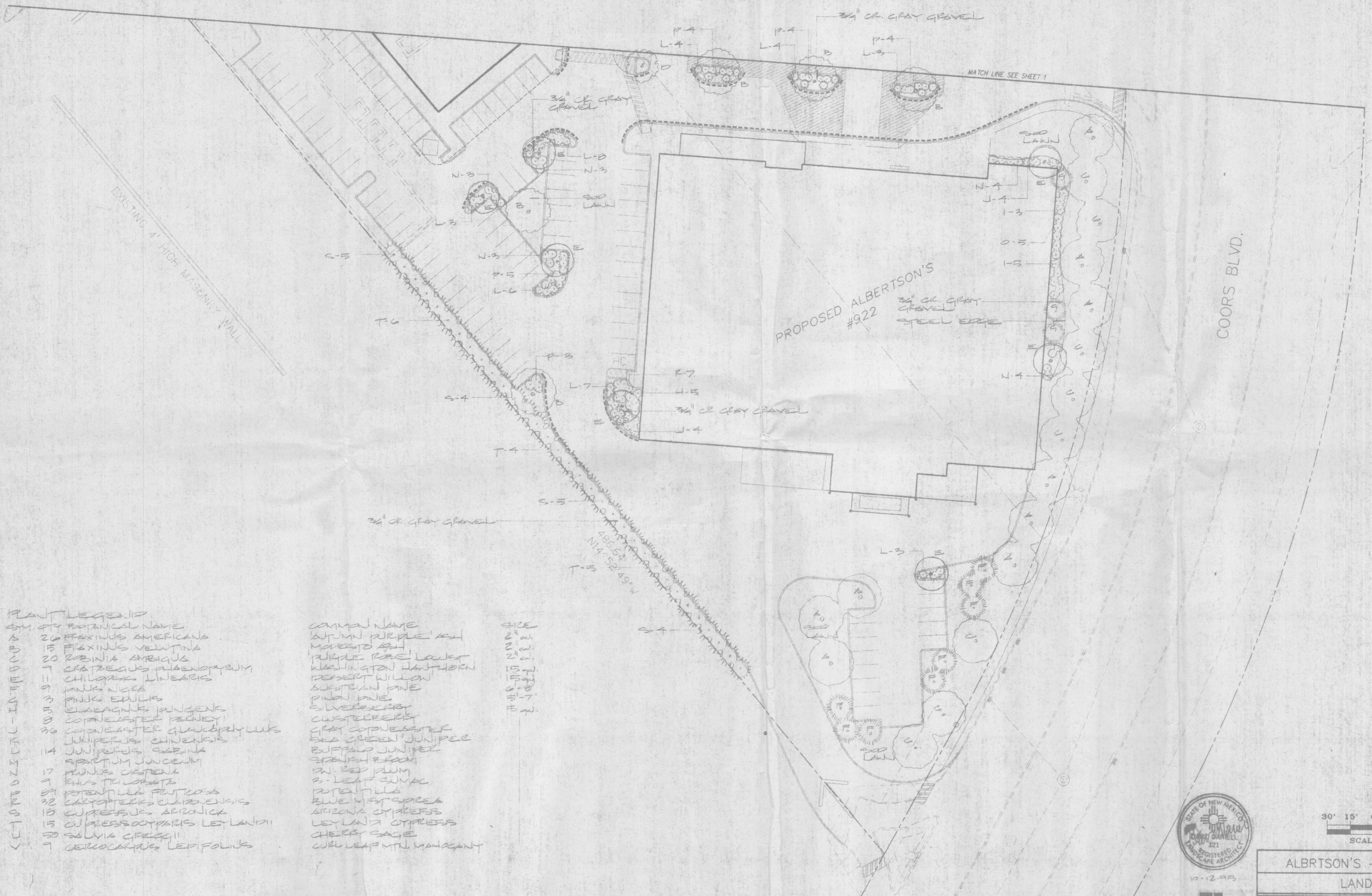


ALBERTSON'S - COORS & CENTRAL  
 LANDSCAPE PLAN

dmg D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS & SURVEYORS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 345-2010

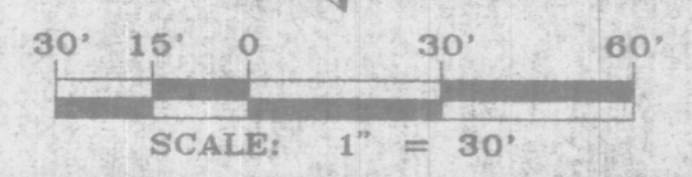
Designed: JMM	Drawn: NCG	Checked: DMG	Sheet: 1 of 2
Scale: 1" = 30'	Date: 07/20/95	Job: 94190	

ERC 4 of 5



**PLANT LEGEND**

SYM	BOTANICAL NAME	COMMON NAME	SIZE
26	FRAXINUS AMERICANA	SUMM PURPLE ASH	2" cal.
15	FRAXINUS VELUTINA	MORADO ASH	2" cal.
20	ROBINIA AMBICUS	PURPLE ROSE LOCUST	2" cal.
1	CRATAEGUS PILAENORHUM	WASHINGTON HAWTHORN	1 1/2" cal.
11	CHILCOTIL LINEARIS	DESERT WILLOW	1 1/2" cal.
9	PINUS NIGRA	SUPERIOR PINE	6" cal.
3	PINUS EDULIS	PINON PINE	6" cal.
5	QUERCUS PUNGENS	SILVERCHERRY	6" cal.
9	CORNUS STERIS PALMEY	CUSTARDAPPLE	6" cal.
30	CORNUS STERIS PALMEY	GRAY COPPERSATE	6" cal.
	JUNIPERUS CHINENSIS	SEA GREEN JUNIPER	6" cal.
14	JUNIPERUS SABINA	BUFFALO JUNIPER	6" cal.
	SPARTUM JUNCEUM	SPANISH BROOM	6" cal.
17	RAVENS CRYPTA	W. RED PLUM	6" cal.
9	RHUS TYLOSINTE	2-LEAF SUMAC	6" cal.
89	POTENTILLA FRUTICOSA	POTENTILLA	6" cal.
32	CARYOPHTERIS CLARKEANSIS	BLUE MISTSPREA	6" cal.
18	CUPRESSUS ARIZONICA	ARIZONA CYPRESS	6" cal.
15	CUPRESSOCYPERUS LEYLANDII	LEYLAND CYPRESS	6" cal.
30	SALVIA GREGGII	CHERRY CAGE	6" cal.
9	CEROCARPUS LEPIFOLIUS	CURLEAF MTL. MADAGASC	6" cal.



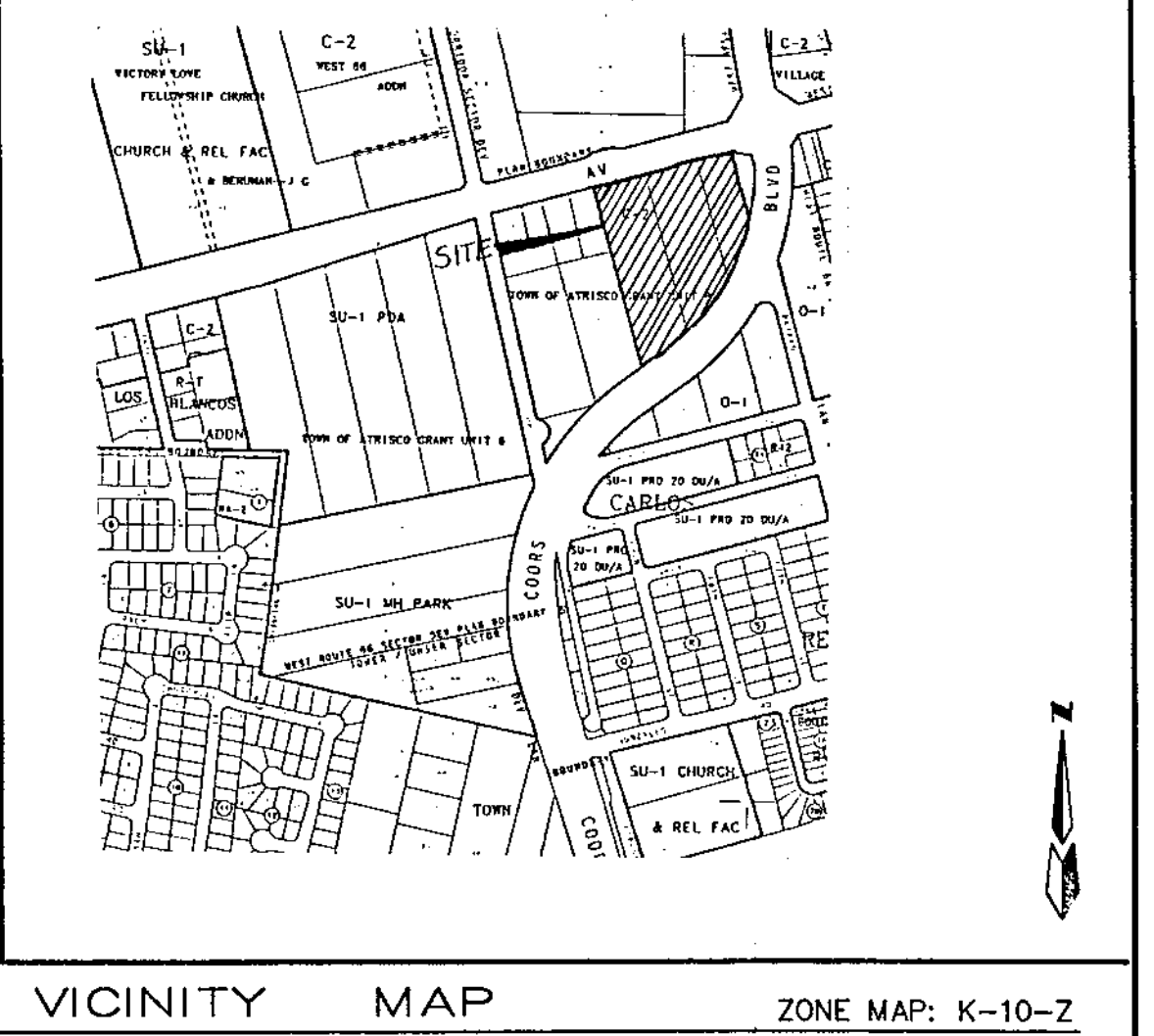
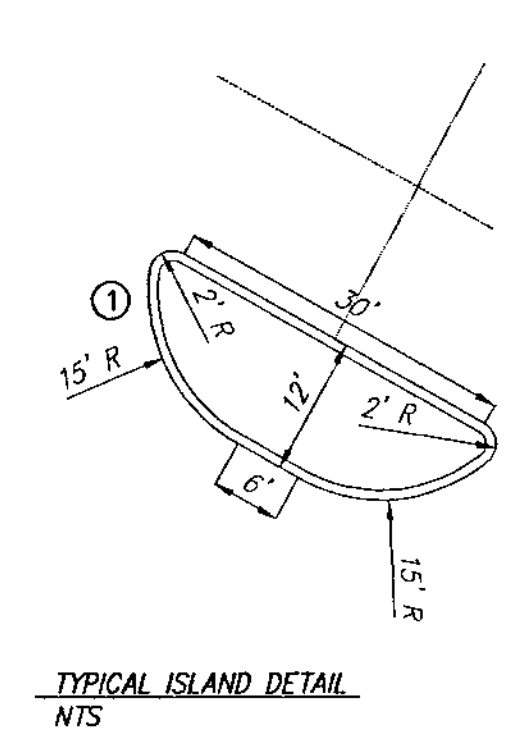
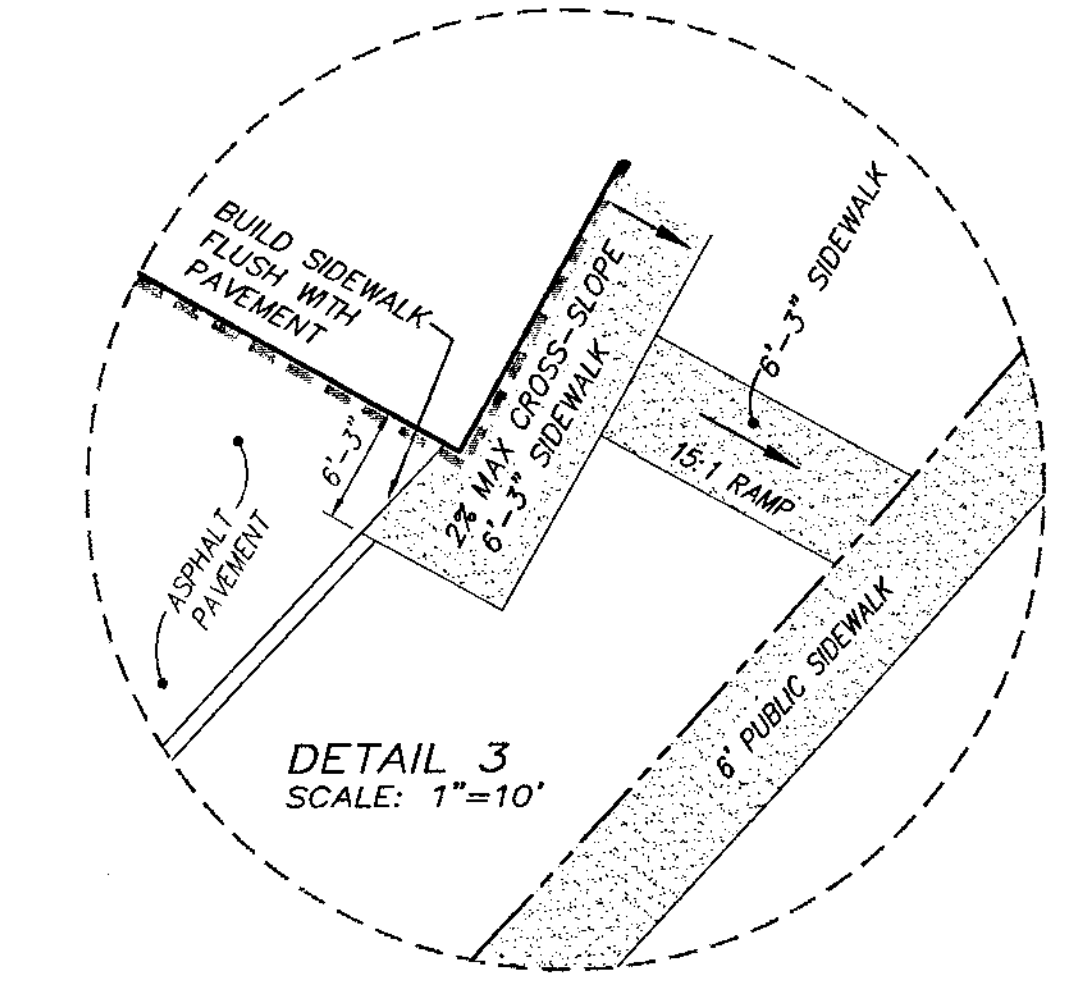
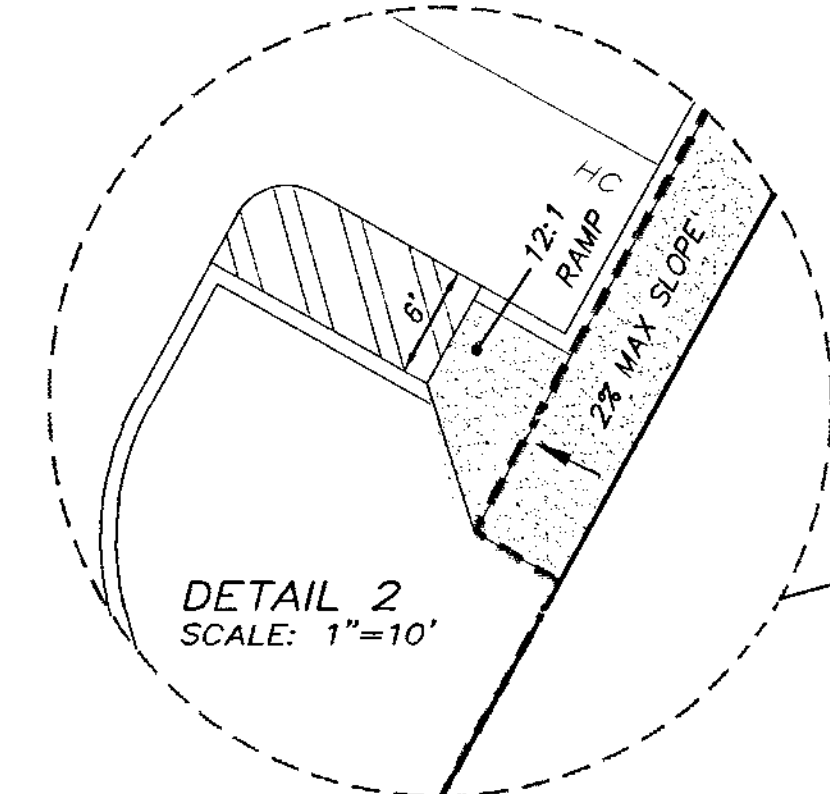
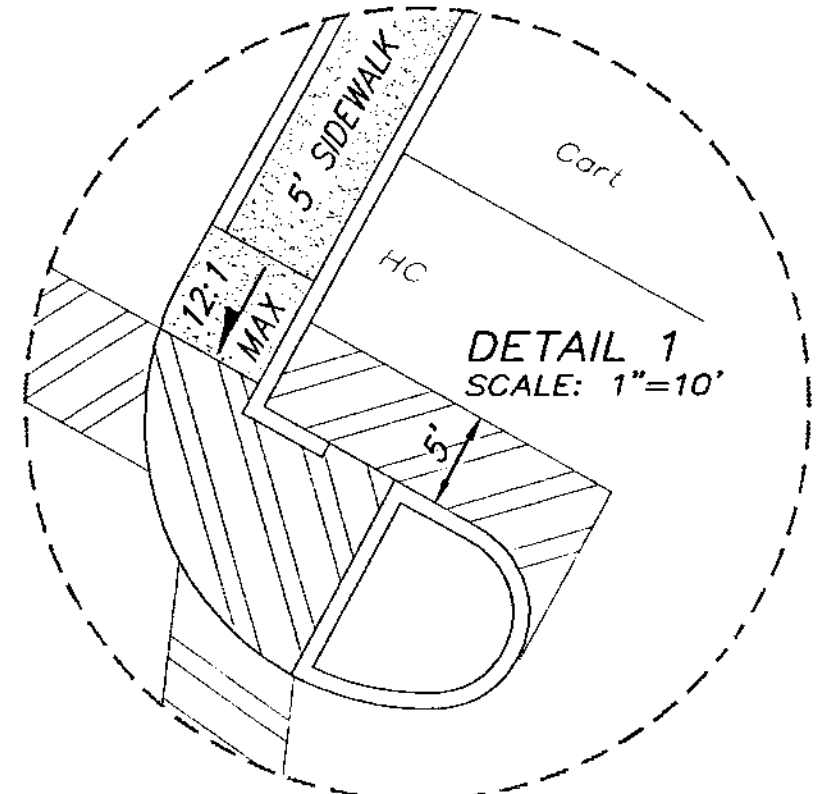
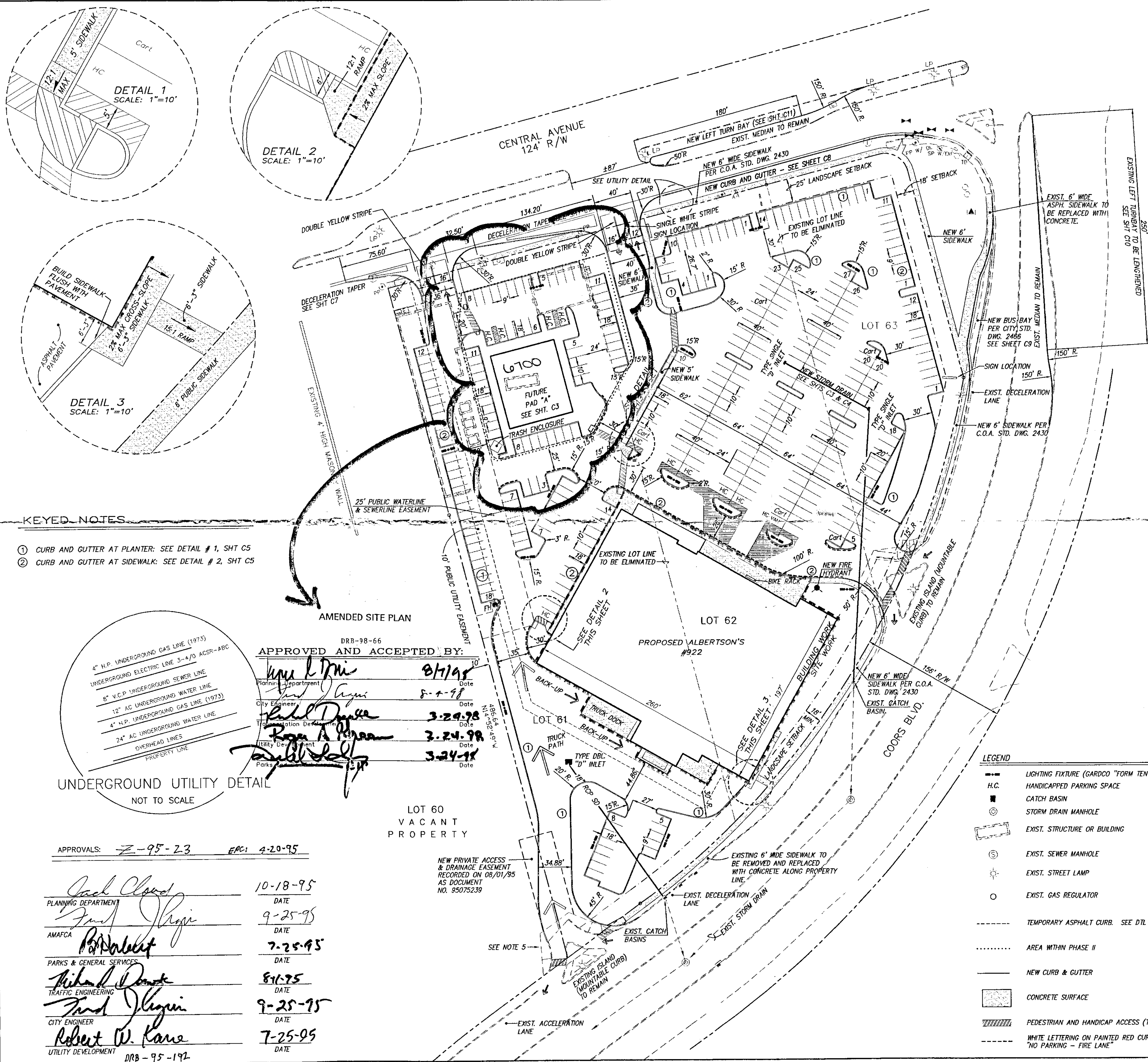
**HeadUp**  
LANDSCAPE CONTRACTORS

LICENSE 18890  
(505) 898-9615  
7525 SECOND ST NW  
ALBUQUERQUE, NM 87107

ALBERTSON'S - COORS & CENTRAL  
LANDSCAPE PLAN

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

Designed: JMM	Drawn: MCD	Checked: DMG	Sheet: 2 of 2
Scale: 1" = 30'	Date: 07/20/95	Job: 94150	

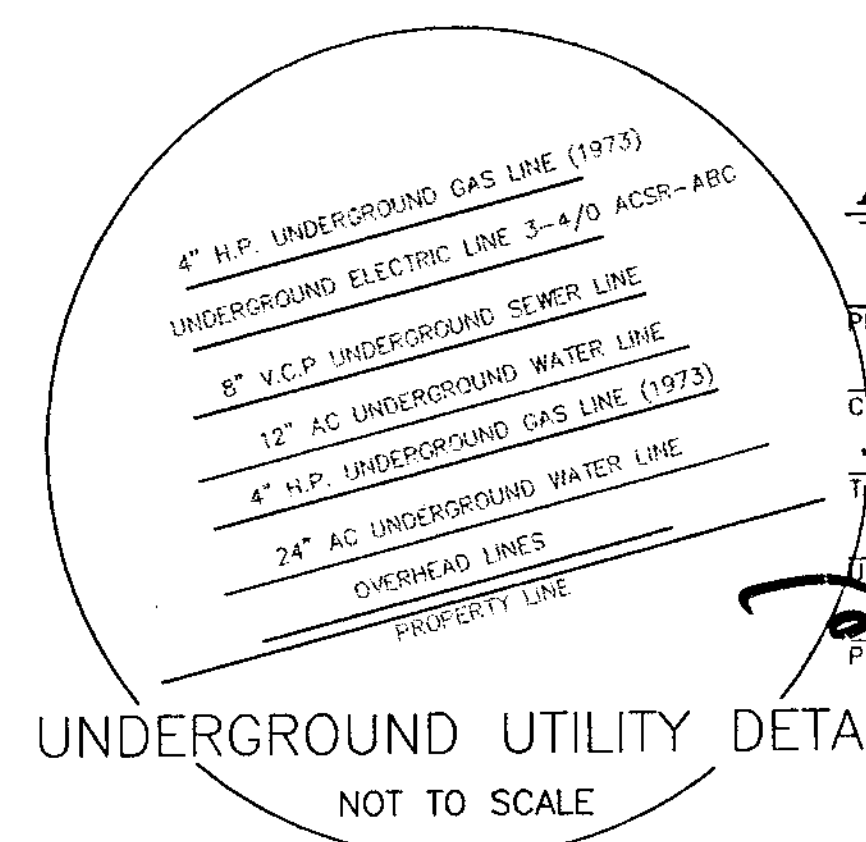


TABULATIONS					
SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSON'S	51,545 SQ.FT.	258	282	8	8
PAD "A"	5,600 SQ. FT.	50	71	3	4
TOTAL	55,245 SQ.FT.	307	353	11	12

TABULATIONS			
MIN. NO. OF TREES REQUIRED	PAVED AREA	LANDSCAPED AREA EXCLUDING SETBACKS	TOTAL LANDSCAPED AREA
35	188,825 SQ.FT.	28,737 SQ.FT. *	56,555 SQ.FT.

- \* 15.2% OF TOTAL PAVED AREA
- GENERAL NOTES
- CURRENT ZONING IS C-2 WITH "SC" DESIGNATION SOUGHT WITH THIS REQUEST.
  - THIS SITE LIES WITHIN THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. EXTERIOR APPEARANCE SHALL FOLLOW THE DESIGN OVERLAY GUIDELINES IN THE PLAN.
  - LEGAL DESCRIPTION: A PORTION OF TRACT 61, 62 AND 63, TOWN OF ATRISCO GRANT, UNIT NO. 6, CONSISTING OF 7.4 ACRES.
  - PROPOSED USE: 51,545 SQ. FT. SHOPPING CENTER AND SECONDARY RETAIL BUILDING OF 5,600 SQ. FT. PROPOSED ON 3 LOTS. (LOT 61 ~ 145,900 SF; LOT 62 ~ 119,531 SF; LOT 63 ~ 56,712 SF)
  - ACCESS: SITE ACCESS WILL BE PROVIDED THROUGH TWO EXISTING CURB CUTS ON COORS BLVD. AND TWO NEW DRIVEWAYS ON CENTRAL AVE. ACCESS EASEMENTS ON COORS RECORDED IN BOOK MISC. 750A, PG. 486 & 488
  - OFF-SITE IMPROVEMENTS: FOR WESTBOUND LEFT TURNS INTO SITE FROM CENTRAL AVE. A NEW TURN-BAY WILL BE CONSTRUCTED W/AND THE EXISTING LEFT TURN-BAY ON NORTHBOUND COORS BLVD. WILL BE LENGTHENED. NEW PUBLIC WATER AND SANITARY SEWER LINES TO BE EXTENDED SOUTH FROM CENTRAL AVE. AS NECESSARY.
  - SITE LIGHTING SHALL CONFORM TO THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN WITH TOTAL LUMINESCENCE NOT TO EXCEED 1000 FOOT LAMBERTS.
  - APPROVAL OF PAD "A" BUILDING SHALL BE DELEGATED TO PLANNING DEPARTMENT STAFF.

- KEYED NOTES
- CURB AND GUTTER AT PLANTER: SEE DETAIL # 1, SHT C5
  - CURB AND GUTTER AT SIDEWALK: SEE DETAIL # 2, SHT C5

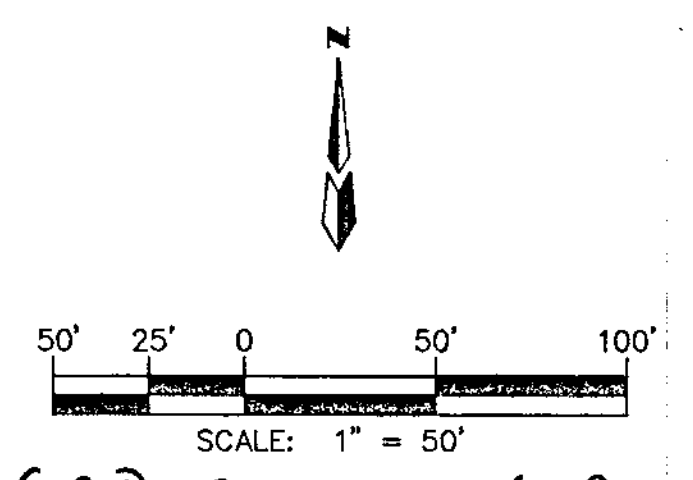


DRB-98-66  
**APPROVED AND ACCEPTED BY:**  
 [Signatures and Dates]  
 Date: 8-1-98  
 Date: 3-24-98  
 Date: 3-24-98  
 Date: 3-24-98

APPROVALS: Z-95-23 EPC: 4-20-95

10-18-95 DATE  
 PLANNING DEPARTMENT  
 9-25-95 DATE  
 AMAFCA  
 7-25-95 DATE  
 PARKS & GENERAL SERVICES  
 8-1-95 DATE  
 TRAFFIC ENGINEERING  
 9-25-95 DATE  
 CITY ENGINEER  
 7-25-95 DATE  
 UTILITY DEVELOPMENT DRB-95-192

- LEGEND
- LIGHTING FIXTURE (GARDOCO "FORM TEN" 40' VERTICAL LAMP OR EQUIVALENT)
  - H.C. HANDICAPPED PARKING SPACE
  - CATCH BASIN
  - STORM DRAIN MANHOLE
  - EXIST. STRUCTURE OR BUILDING
  - EXIST. SEWER MANHOLE
  - EXIST. STREET LAMP
  - EXIST. GAS REGULATOR
  - TEMPORARY ASPHALT CURB. SEE DTL #A, SEE SHT C5
  - AREA WITHIN PHASE II
  - NEW CURB & GUTTER
  - CONCRETE SURFACE
  - PEDESTRIAN AND HANDICAP ACCESS (TO BE STRIPED ON PAVEMENT)
  - WHITE LETTERING ON PAINTED RED CURB: "NO PARKING - FIRE LANE"



6600 Central Ave SW  
 ALBERTSON'S - COORS & CENTRAL  
 SITE DEVELOPMENT PLAN FOR BUILDING

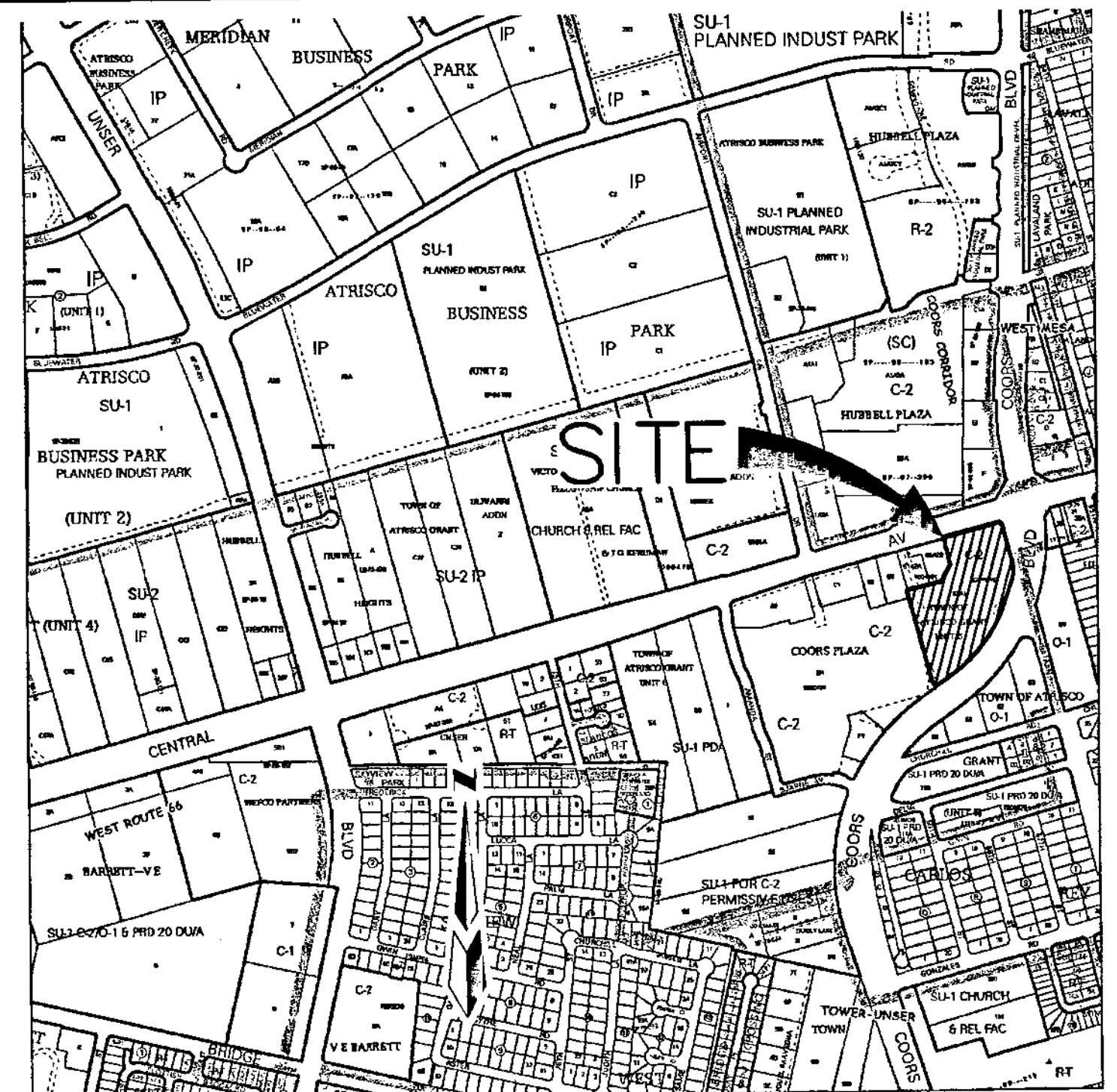
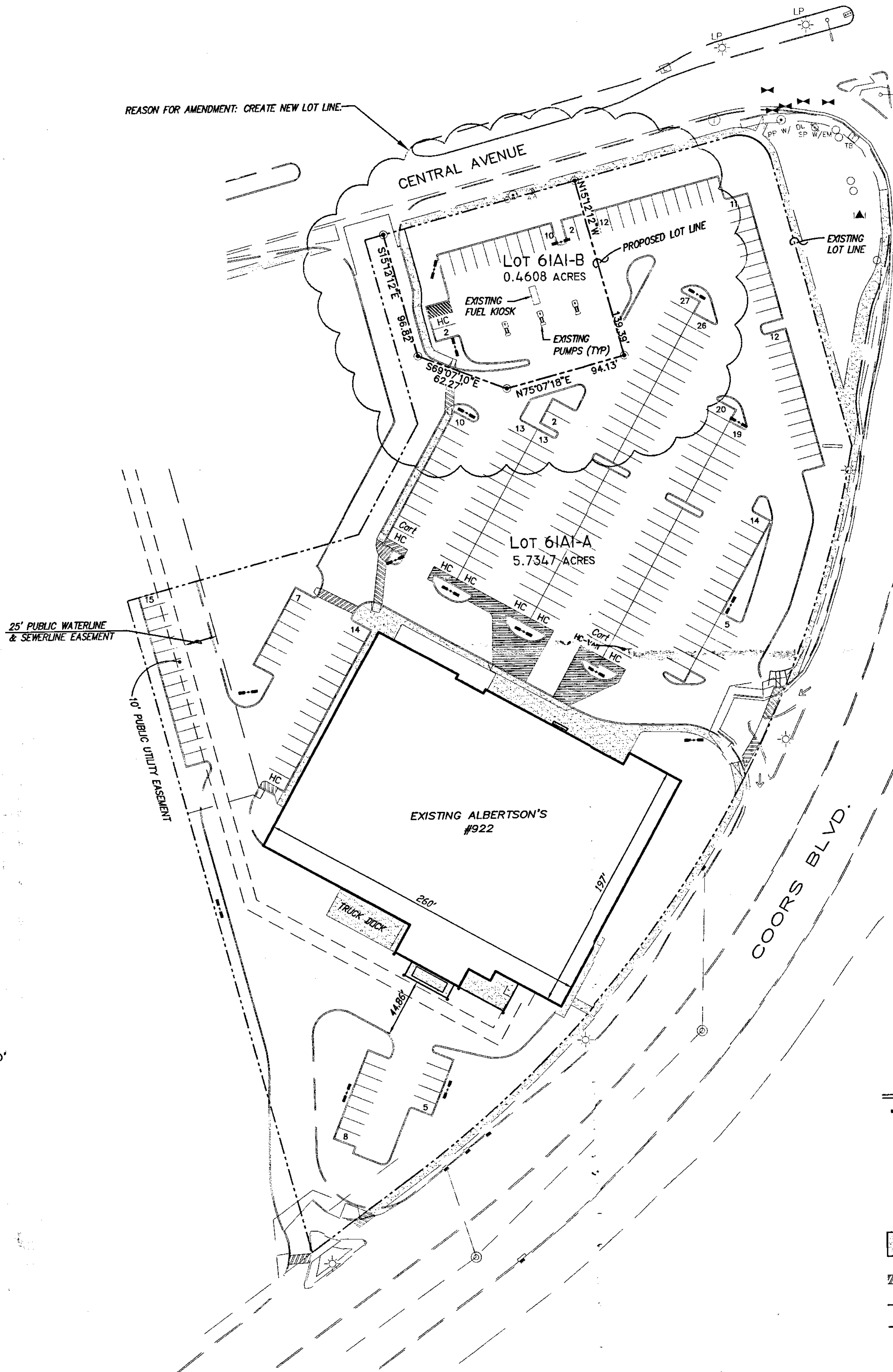
dmg D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS & SURVEYORS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 345-2010

Designed: JMM Drawn: JMB Checked: DMG Sheet 1 of 12  
 Scale: AS SHOWN Date: 7/20/95 Job: 94150





REASON FOR AMENDMENT: CREATE NEW LOT LINE



VICINITY MAP  
SCALE: 1" = 750'

LEGAL DESCRIPTION  
TRACT 61A1, TOWN OF ATRISCO GRANT, UNIT 6

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSON'S	51,545 SQ. FT.	233 *	233	8	8
FUEL KIOSK	70 SQ. FT.	1	14	1	1
TOTAL	51,615 SQ. FT.	234	247	1	9

\* INCLUDES 10% CREDIT FOR BEING ON BUS ROUTE

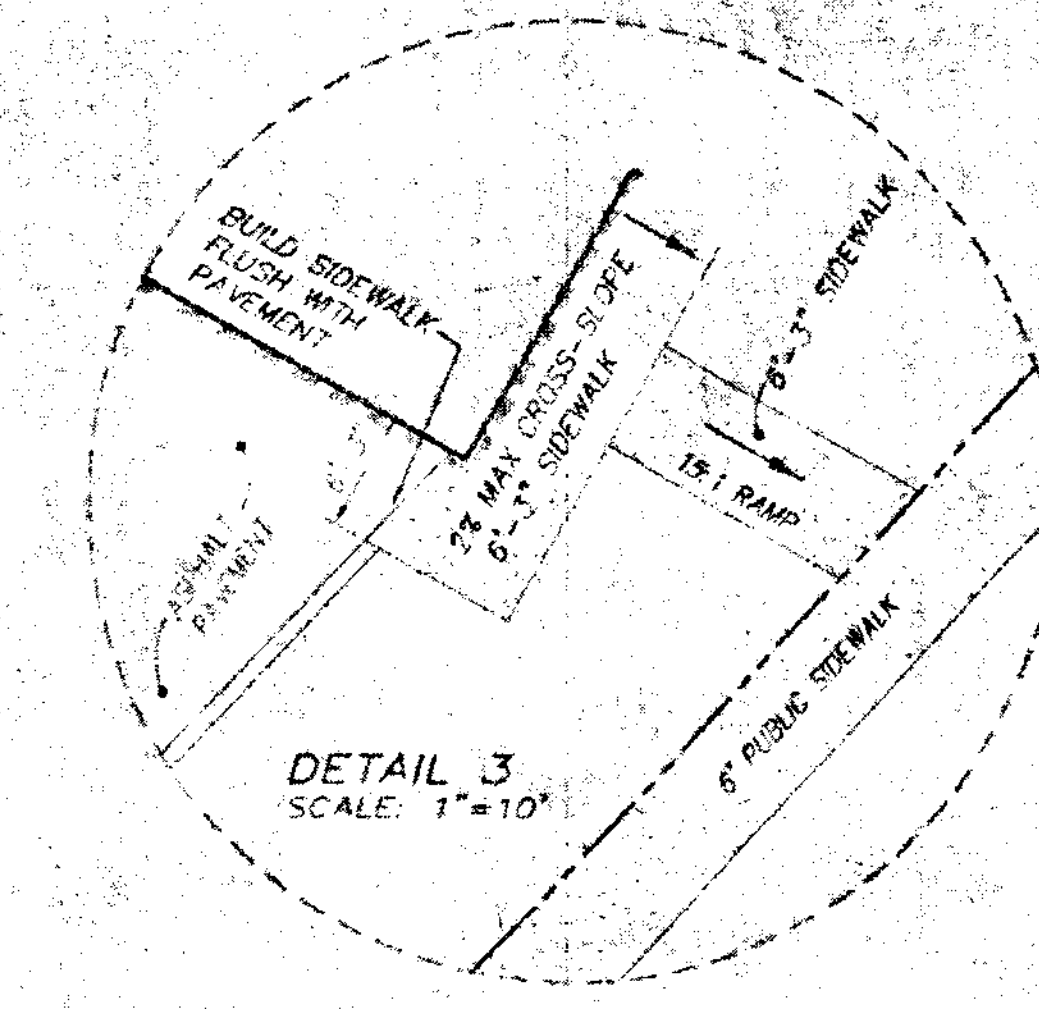
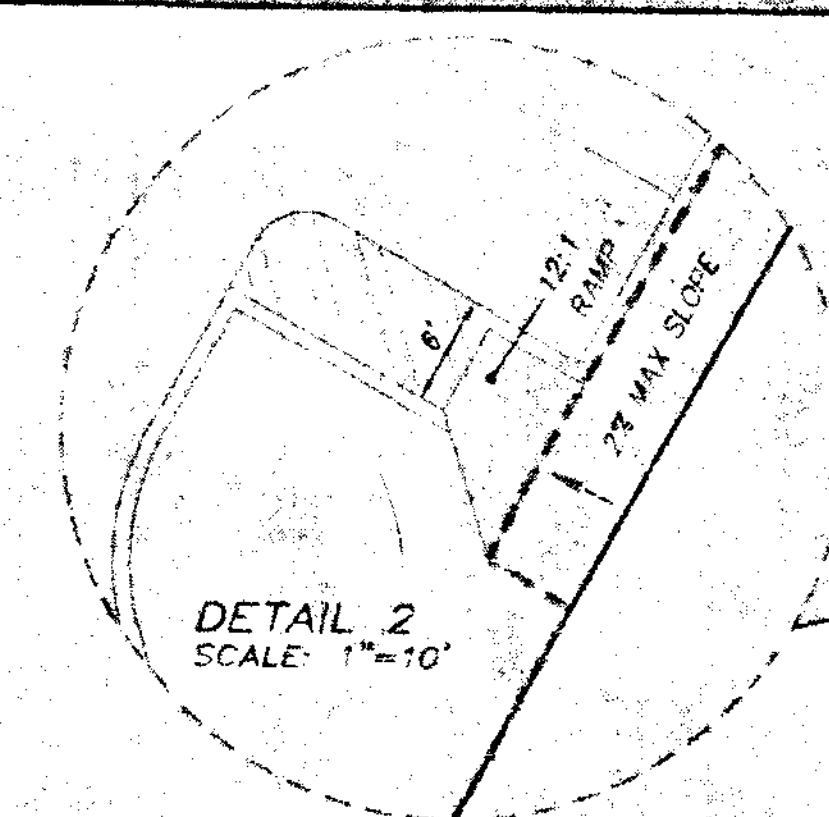
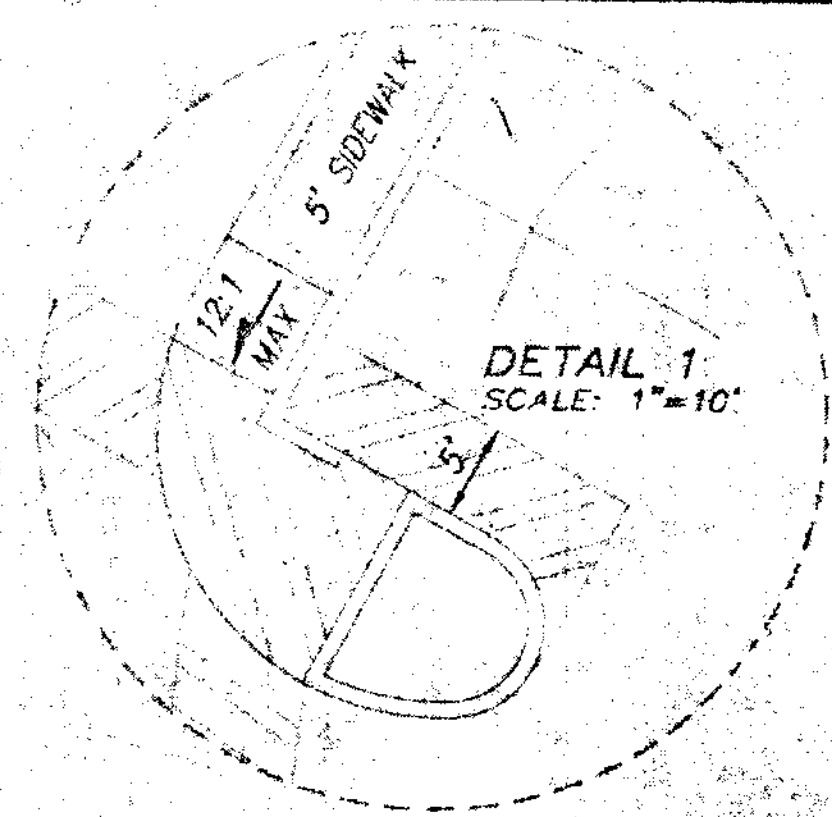
- CURRENT ZONING IS C-2 WITH "SC" DESIGNATION.
- THIS SITE LIES WITHIN THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. EXTERIOR APPEARANCE SHALL FOLLOW THE DESIGN OVERLAY GUIDELINES IN THE PLAN.
- LEGAL DESCRIPTION: A TRACT 61A1, TOWN OF ATRISCO GRANT, UNIT NO. 6, CONSISTING OF 6.2 ACRES.
- PROPOSED USE: 51,545 SQ. FT. SHOPPING CENTER AND SECONDARY RETAIL FUEL SERVICE FACILITY.
- ACCESS: SITE ACCESS WILL BE PROVIDED THROUGH TWO EXISTING CURB CUTS ON COORS BLVD. AND EXISTING DRIVEWAYS ON CENTRAL AVE.
- SITE LIGHTING SHALL CONFORM TO THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN WITH TOTAL LUMINESCENCE NOT TO EXCEED 1000 FOOT LAMBERTS.
- FUEL KIOSK AND FUEL PUMPS SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS PREVIOUSLY APPROVED UNDER CASE DRB-98-86 AND DRB 95-192 IN 1998.
- ALL OTHER PROVISIONS OF THE OVERLYING SITE DEVELOPMENT PLAN FOR SUBDIVISION SHALL BE COMPLIED WITH.

- LIGHTING FIXTURE (GARCO "FORM TEN" 40' VERTICAL LAMP OR EQUIVALENT)
- HC HANDICAPPED PARKING SPACE
- ⊙ STORM DRAIN MANHOLE
- ⊙ EXIST. SEWER MANHOLE
- ⊙ EXIST. STREET LAMP
- ▨ CONCRETE SURFACE
- ▨ PEDESTRIAN AND HANDICAP ACCESS (TO BE STRIPED ON PAVEMENT)
- NEW LOT LINE
- EXIST LOT LINE

ADMINISTRATIVE  
File: 07AA-10057 Project # 10.06543  
Misc subdivision  
APPROVED BY: *Russell P. ...* DATE: 11 Sept '07

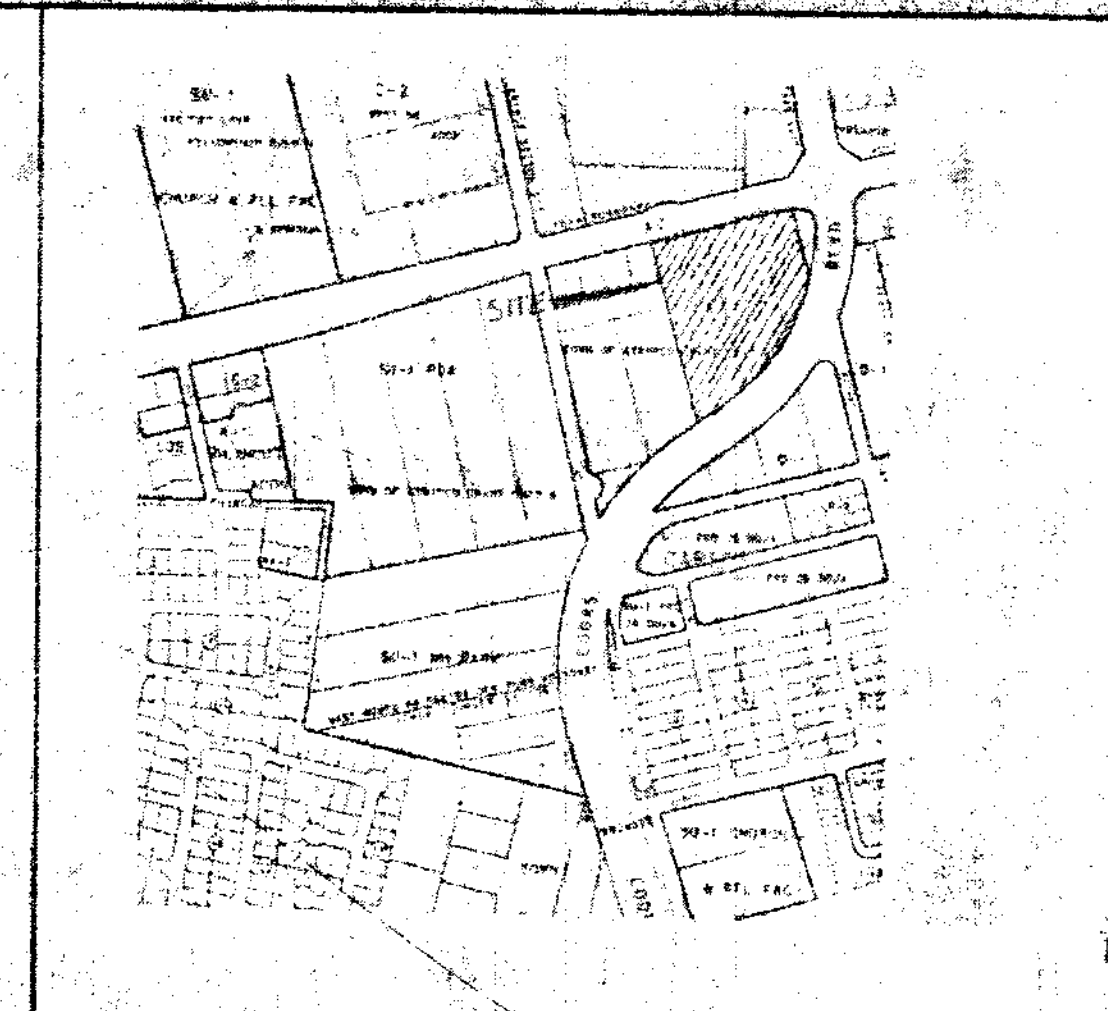
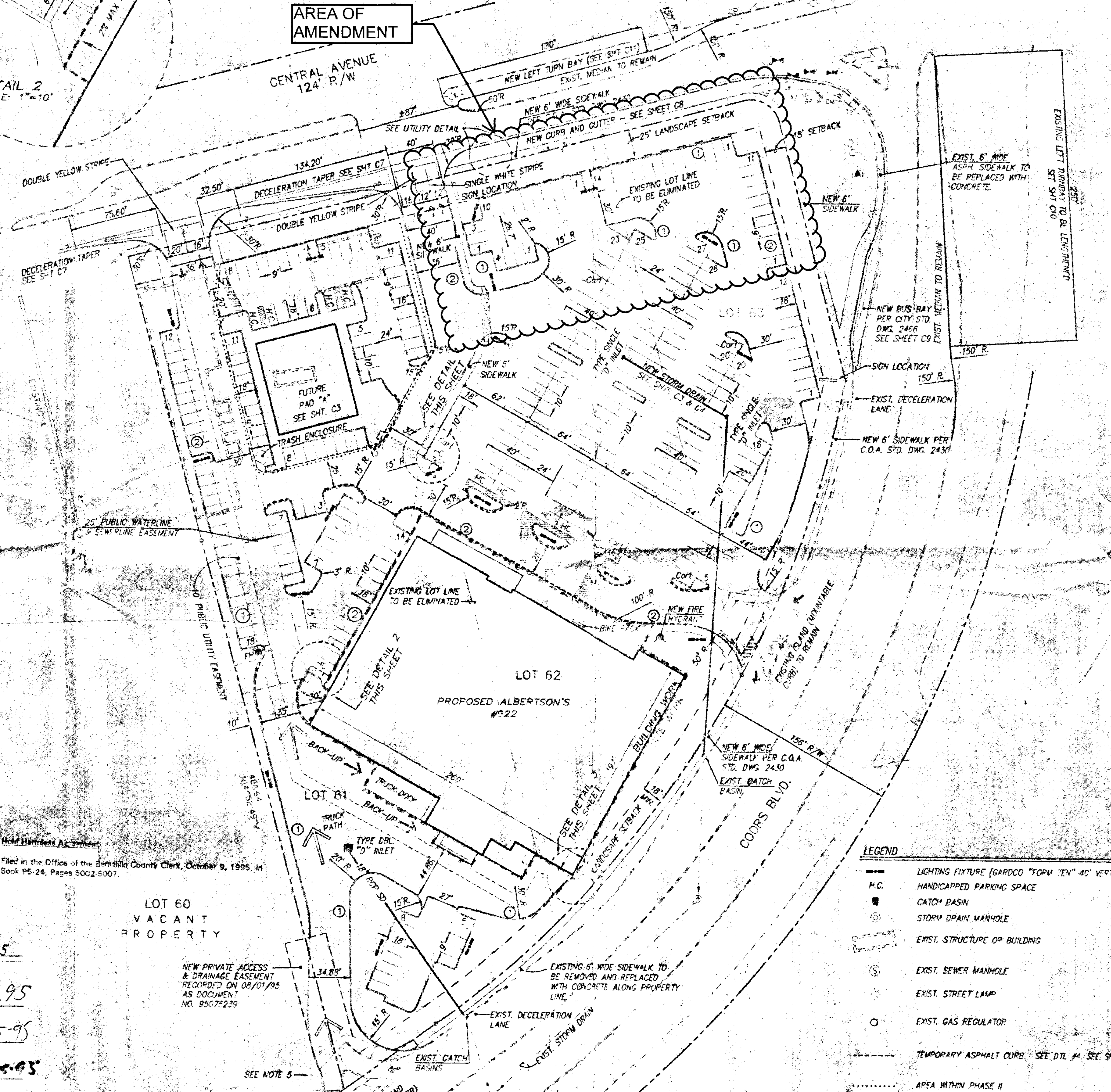
**Central Ave SW**  
**Albertson's @ Coors/Central**  
**SECOND AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**  
dmg MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505)828-2200, FAX (505)797-9539

Designed: JM Drawn: SPS Checked: DMG Sheet 1 of 1  
Scale: 1" = 200' Date: 8/21/2007 Job: A07053



AREA OF AMENDMENT

CENTRAL AVENUE  
124' R/W



VICINITY MAP ZONE MAP: K-10-Z

TABULATIONS

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSONS	51,545 SQ.FT.	258	282	8	8
PAD "A"	5,600 SQ. FT.	50	71	3	4
TOTAL	55,245 SQ.FT.	307	353	11	12

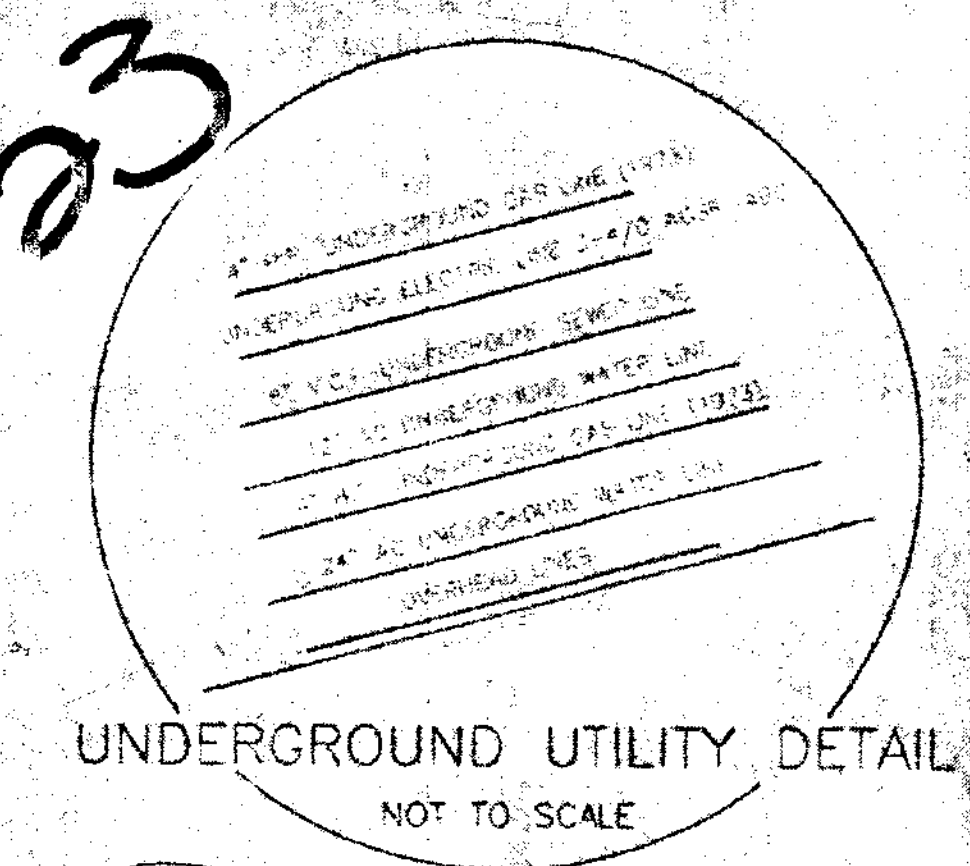
TABULATIONS

MIN. NO. OF TREES REQUIRED	PAVED AREA	LANDSCAPED AREA EXCLUDING SE BACKS	TOTAL LANDSCAPED AREA
35	188,825 SQ.FT.	28,737 SQ.FT.	56,555 SQ.FT.

- KEYED NOTES
- 1 CURB AND GUTTER AT PLANTER: SEE DETAIL # 1, SHT C5
  - 2 CURB AND GUTTER AT SIDEWALK: SEE DETAIL # 2, SHT C5

- GENERAL NOTES
- CURRENT ZONING IS G-2 WITH "SC" DESIGNATION SOUGHT WITH THIS REQUEST.
  - THIS SITE LIES WITHIN THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN. EXTERIOR APPEARANCE SHALL FOLLOW THE DESIGN OVERLAY GUIDELINES IN THE PLAN.
  - LEGAL DESCRIPTION: A PORTION OF TRACT 61, 62 AND 63, TOWN OF ATRISCO GRANT, UNIT NO. 6, CONSISTING OF 7.4 ACRES.
  - PROPOSED USE: 51,545 SQ. FT. SHOPPING CENTER AND SECONDARY RETAIL BUILDING OF 5,600 SQ. FT. PROPOSED ON 3 LOTS. (LOT 61 ~ 145,920 SF; LOT 62 ~ 119,531 SF; LOT 63 ~ 55,712 SF)
  - ACCESS: SITE ACCESS WILL BE PROVIDED THROUGH TWO EXISTING CURB CUTS ON COORS BLVD. AND TWO NEW DRIVEWAYS ON CENTRAL AVE. ACCESS EASEMENTS ON COORS RECORDED IN BOOK MISC 750A, PG. 486 & 488
  - OFF-SITE IMPROVEMENTS: FOR WESTBOUND LEFT TURNS INTO SITE FROM CENTRAL AVE. A NEW TURN-BAY WILL BE CONSTRUCTED W/AND THE EXISTING LEFT TURN-BAY ON NORTHBOUND COORS BLVD. WILL BE LENGTHENED. NEW PUBLIC WATER AND SANITARY SEWER LINES TO BE EXTENDED SOUTH FROM CENTRAL AVE. AS NECESSARY.
  - SITE LIGHTING SHALL CONFORM TO THE WEST ROUTE 66 SECTOR DEVELOPMENT PLAN WITH TOTAL LUMINESCENCE NOT TO EXCEED 1000 FOOT LAMPS.
  - APPROVAL OF PAD "A" BUILDING SHALL BE DELEGATED TO PLANNING DEPARTMENT STAFF.

7-95-23



Filed in the Office of the Bernalillo County Clerk, October 9, 1995, in Book 95-24, Pages 5062-5067.

APPROVALS: **7-95-23** EPC: 4-28-95

*Jed Clark* 10-18-95  
PLANNING DEPARTMENT DATE

*Frank J. ...* 9-25-95  
AMAFCA DATE

*Richard ...* 7-25-95  
PARKS & GENERAL SERVICES DATE

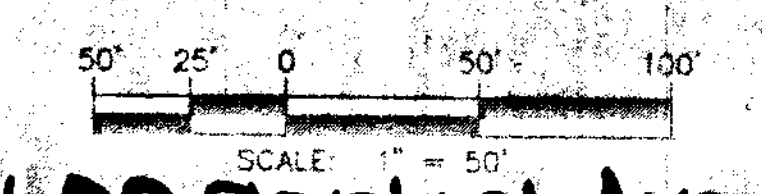
*Richard ...* 8-11-95  
ENGINEER DATE

*Frank ...* 9-25-95  
CITY ENGINEER DATE

*Robert W. ...* 7-25-95  
UTILITY DEPARTMENT DATE

DBR - 95-192

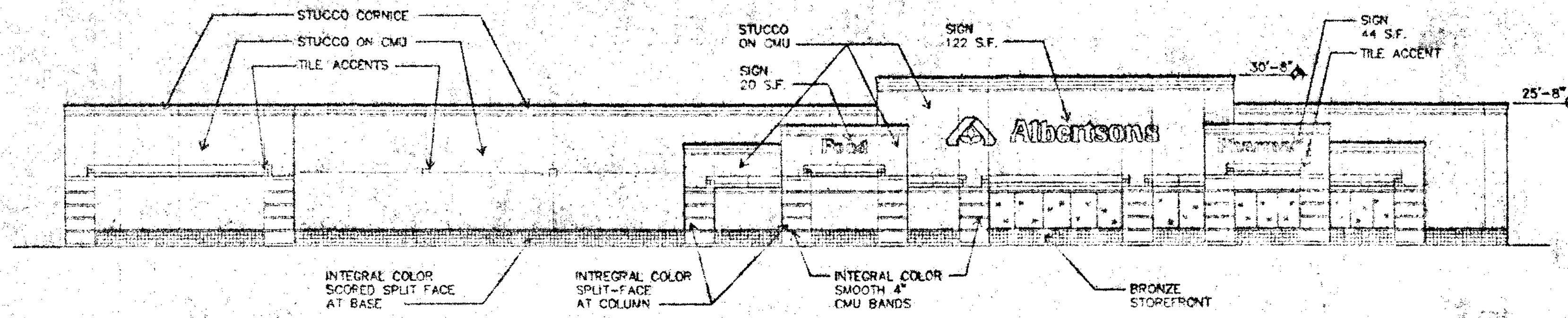
- LEGEND
- LIGHTING FIXTURE (GARCO "FORM TEN" 40" VERTICAL LAMP OR EQUIVALENT)
  - H.C. HANDICAPPED PARKING SPACE
  - CATCH BASIN
  - STORM DRAIN MANHOLE
  - EXIST. STRUCTURE OR BUILDING
  - EXIST. SEWER MANHOLE
  - EXIST. STREET LAMP
  - EXIST. GAS REGULATOR
  - TEMPORARY ASPHALT CURB: SEE DET. #4, SEE SHT C5
  - AREA WITHIN PHASE II
  - NEW CURB & GUTTER
  - CONCRETE SURFACE
  - PEDESTRIAN AND HANDICAP ACCESS (TO BE STRIPED ON PAVEMENT)
  - WHITE LETTERING ON PAINTED RED CURB. NO PARKING - FIRE LANE



4400 Central Ave SW  
ALBERTSON'S - COORS & CENTRAL  
SITE DEVELOPMENT PLAN FOR BUILDING

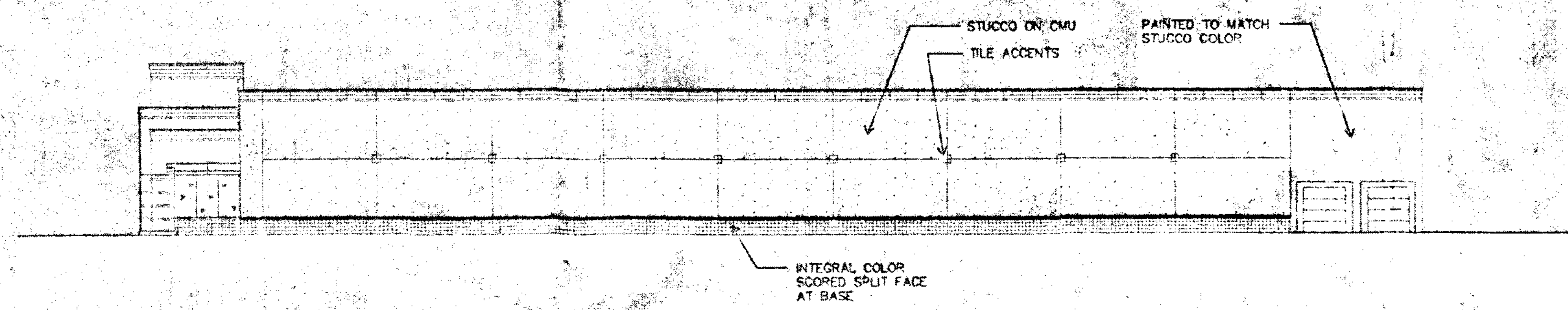
**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

7-95-23

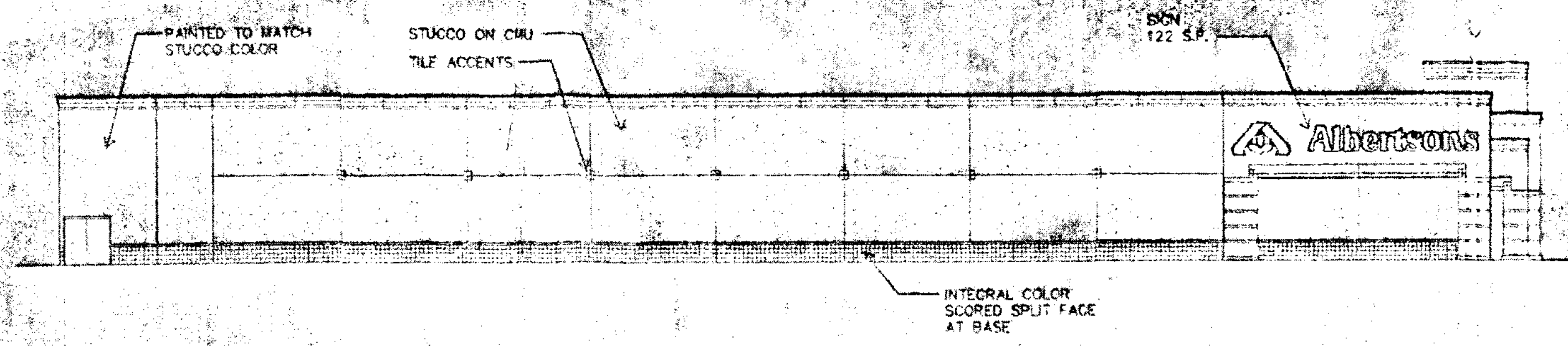


FRONT ELEVATION

SCALE: 1/16" = 1'-0"

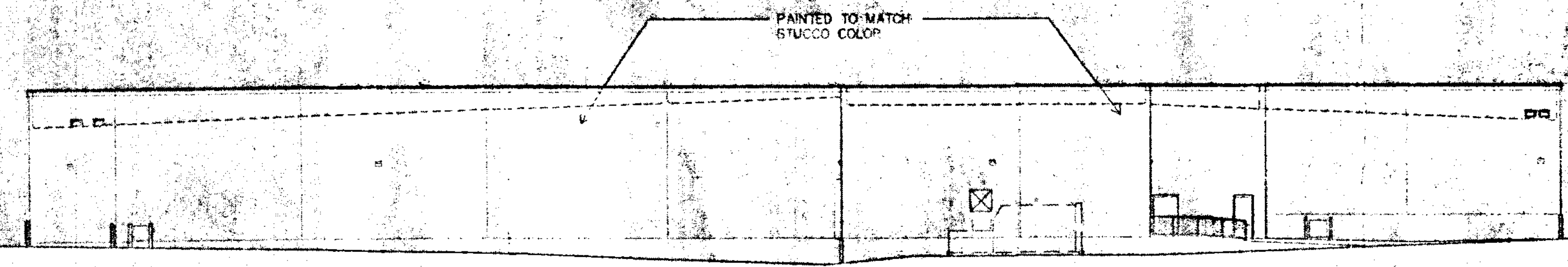


NORTH SIDE ELEVATION



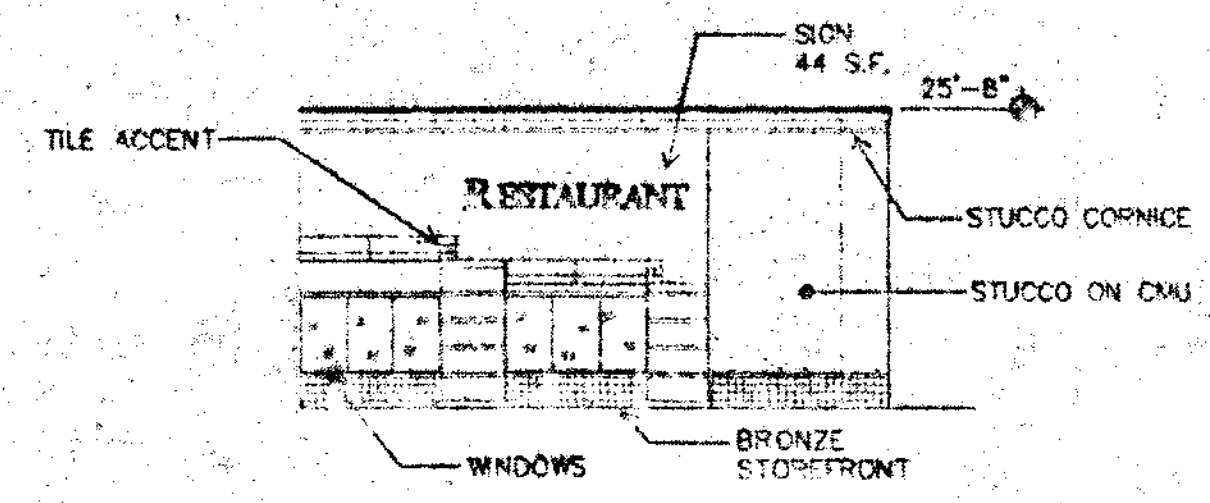
SOUTH SIDE ELEVATION

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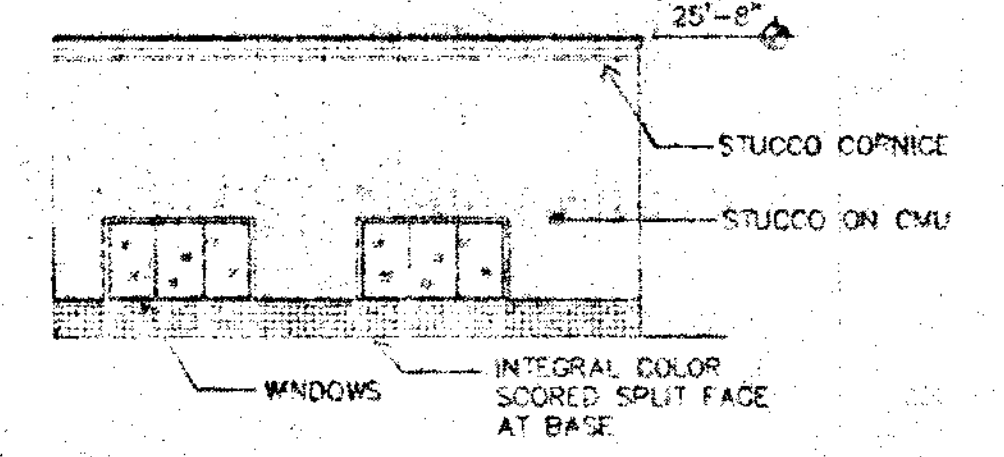


REAR ELEVATION

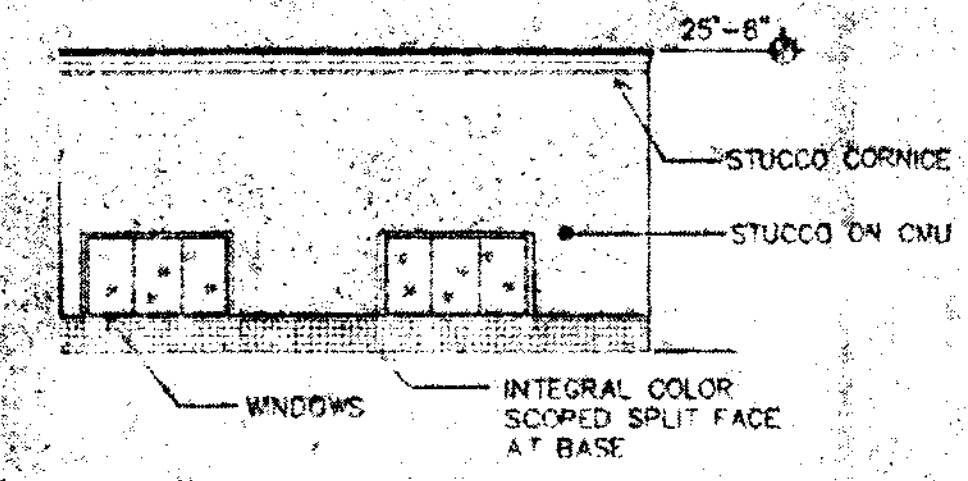
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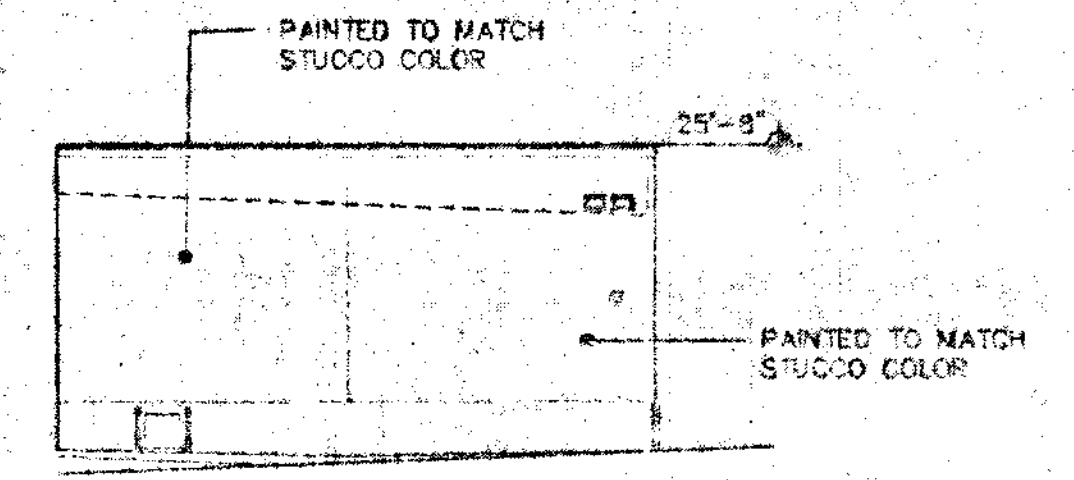
NORTH ELEVATION



WEST ELEVATION



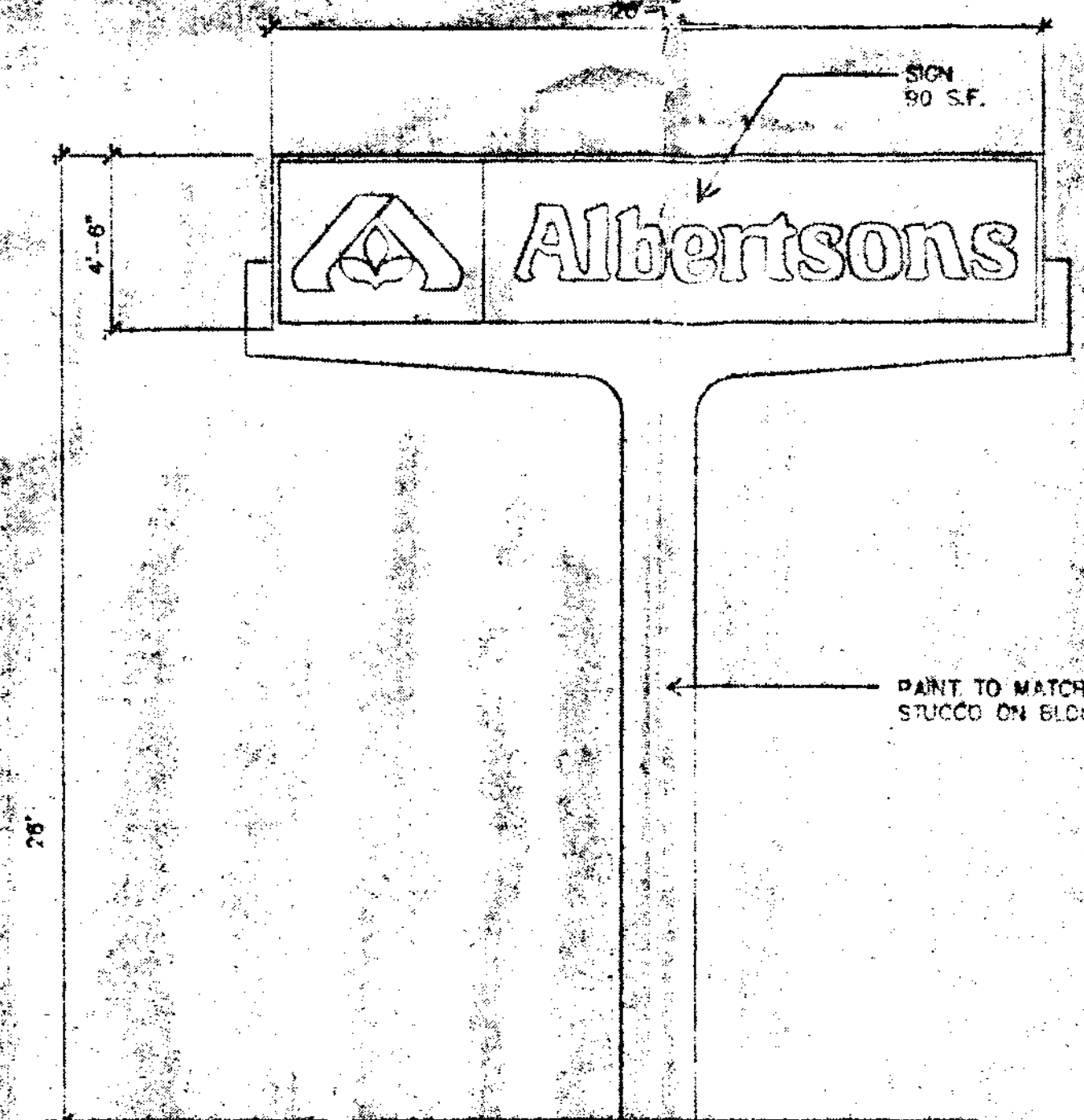
EAST ELEVATION



REAR ELEVATION

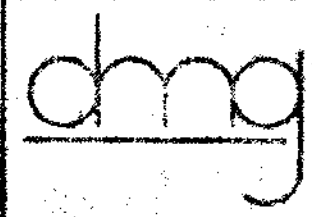
PAD "A" ELEVATIONS

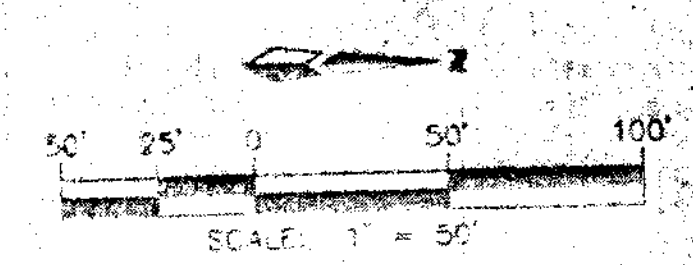
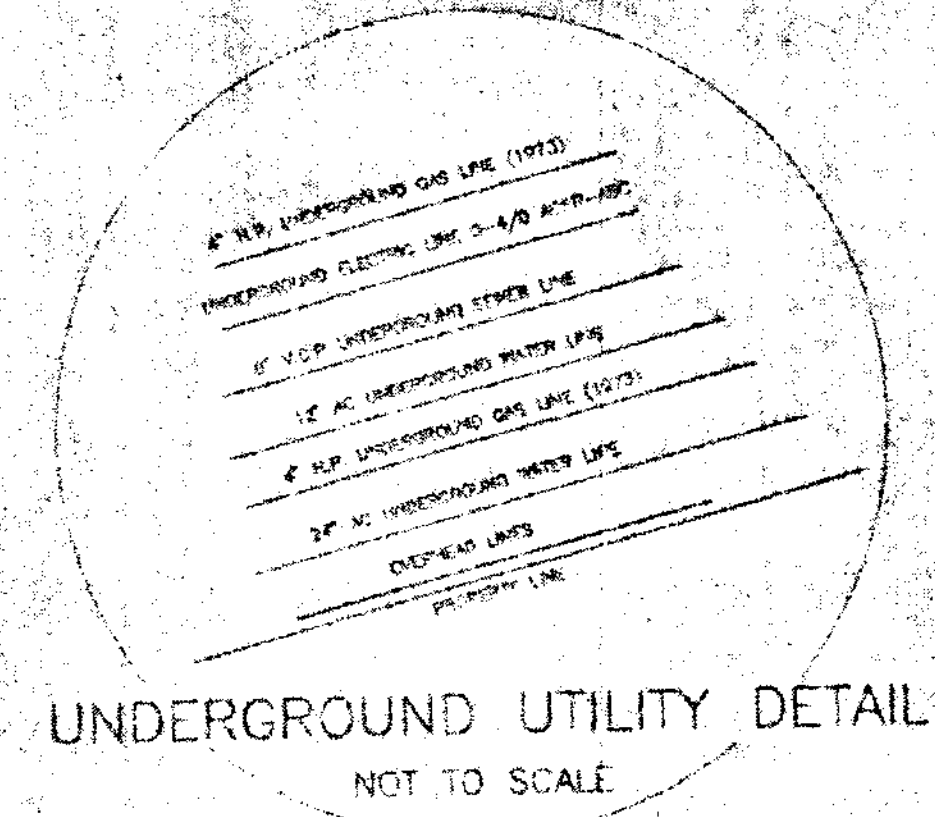
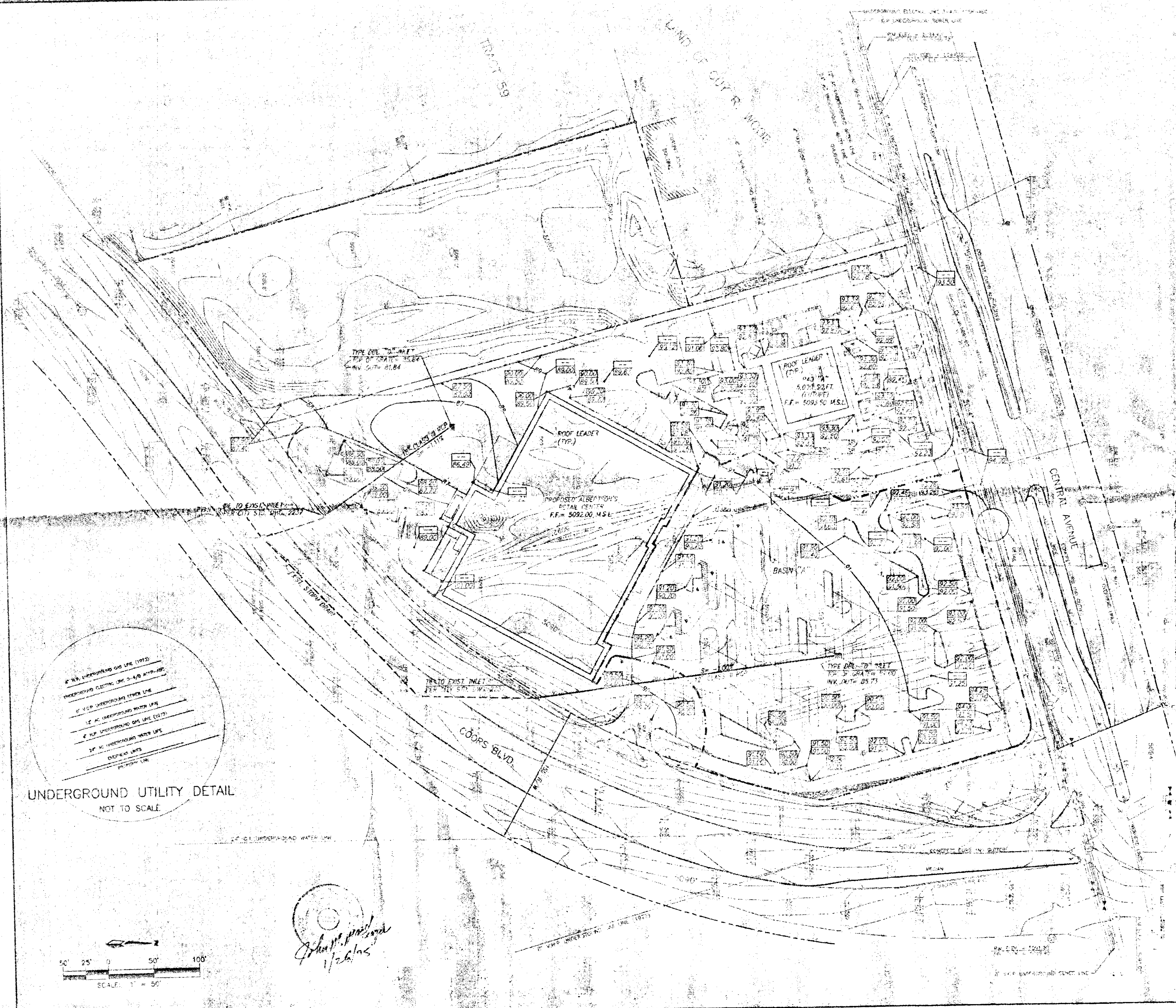
SCALE: 1/16" = 1'-0"



ALBERTSONS TYPICAL PYLON SIGN

SCALE: 1/4" = 1'-0"

ALBERTSON'S COORS-CENTRAL			
ELEVATION VIEWS			
 D. MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS & SURVEYORS P.O. BOX 90608 ALBUQUERQUE, NEW MEXICO 87199 (505) 345-2010			
Designed: JMM	Drawn: JMM	Checked: JMM	Sheet: 2 of 4
Date: 02/01/05	Scale: 1/16" = 1'-0"	Plot Date: 02/01/05	



*Albertson's Coors*  
1/26/05

VICINITY MAP ZONE MAP: K-19-2

**ACS BENCHMARK**  
THE STATION IS AN ACS 3 1/4" ALUM. CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "S-110, 1959" TO REACH THE STATION FROM THE INTERSECTION OF 1-40 AND COORS BLVD., TRAVEL SO. ON COORS BLVD., 1.83 MILES TO THE INTERSECTION OF CENTRAL AVE., AND COORS BLVD. THE STATION IS LOCATED IN THE N.W. QUADRANT IN A TRAFFIC ISLAND. THE STATION IS 52.6' NORTH OF CENTRAL AVE., AND IS 2.7' WEST OF BACK OF CURB ON THE ISLAND.  
X=362,341.63, Y=4,494,695.30, Z=5093.733

**LEGAL DESCRIPTION**  
TRACTS 60, 61, 62 AND 63 TOWN OF ATRISCO GRANT UNIT NO. 6

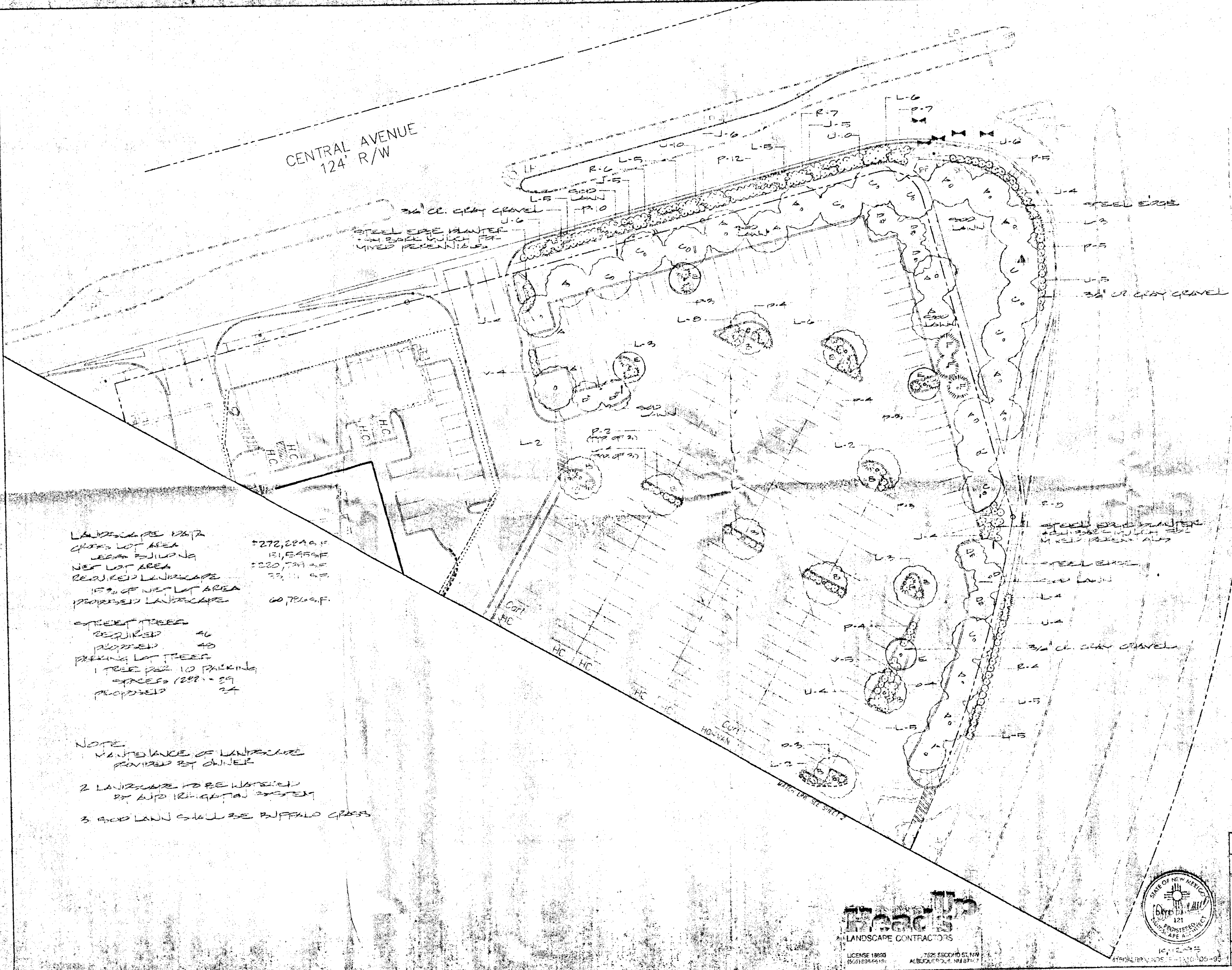
**LEGEND**

(Symbol)	RECORD DATA
(Symbol)	FOUND EXISTING CORNER
(Symbol)	SET #4 REBAR W/CAP N.M.P.S. 5953
(Symbol)	EXISTING GAS METER
(Symbol)	EXISTING LIGHT POLE
(Symbol)	EXISTING POWER POLE
(Symbol)	EXISTING POWER POLE/LIGHT POLE
(Symbol)	EXISTING POWER POLE WITH DROP LINE
(Symbol)	EXISTING POWER POLE WITH TRANSFORMER
(Symbol)	EXISTING SERVICE POLE
(Symbol)	EXISTING POWER POLE WITH ELECTRIC METER
(Symbol)	EXISTING SIGNAL LIGHT POLE (HANGING)
(Symbol)	EXISTING SIGNAL LIGHT POLE (STANDING)
(Symbol)	EXISTING ANCHOR
(Symbol)	EXISTING ELEC. PANEL BOX
(Symbol)	EXISTING PULL BOX
(Symbol)	EXISTING ELECTRIC METER
(Symbol)	EXISTING SANITARY SEWER MAN HOLE
(Symbol)	EXISTING TELEPHONE MAN HOLE
(Symbol)	EXISTING WATER VALVE
(Symbol)	EXISTING TELEPHONE RISER
(Symbol)	EXISTING CABLE TELEVISION RISER
(Symbol)	EXISTING WATER METER
(Symbol)	EXISTING IRRIGATION CONTROL BOX
(Symbol)	EXISTING FIREHYDRANT
(Symbol)	EXISTING FENCE
(Symbol)	EXISTING BUILDING FOOT PRINT
(Symbol)	EXISTING STORM DRAIN
(Symbol)	EXISTING SIGNAL CONTROL BOX
(Symbol)	SPOT ELEVATION

**ALBERTSON'S COORS - CENTRAL**  
**CONCEPTUAL GRADING & DRAINAGE PLAN**

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

Designed: [Signature]	Drawn: [Signature]	Checked: [Signature]	Sheet 3 of 4
Date: 1/26/05	Date: 1/26/05	Date: 1/26/05	

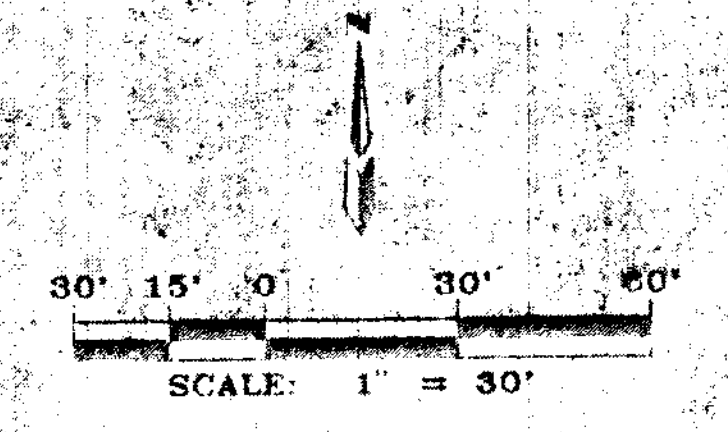


LANDSCAPE 1/22  
 GROSS LOT AREA 272,299 SF  
 LESS BUILDING 151,545 SF  
 NET LOT AREA 120,754 SF  
 REQUIRED LANDSCAPE 33,111 SF  
 15% OF NET LOT AREA  
 PROPOSED LANDSCAPE 60,789 SF

STREET TREES  
 REQUIRED 46  
 PROVIDED 40

PARKING LOT TREES  
 1 TREE PER 10 PARKING SPACES (222 = 22)  
 PROVIDED 24

NOTE  
 MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER  
 2 LANDSCAPE TO BE WATERED BY AUP IRRIGATION SYSTEM  
 3 GOOD LAND SHOULD BE BUFFALO GRASS



**Proad**  
 LANDSCAPE CONTRACTORS  
 LICENSE 18690  
 7525 ESCOBADO ST. NW  
 ALBUQUERQUE, N.M. 87117

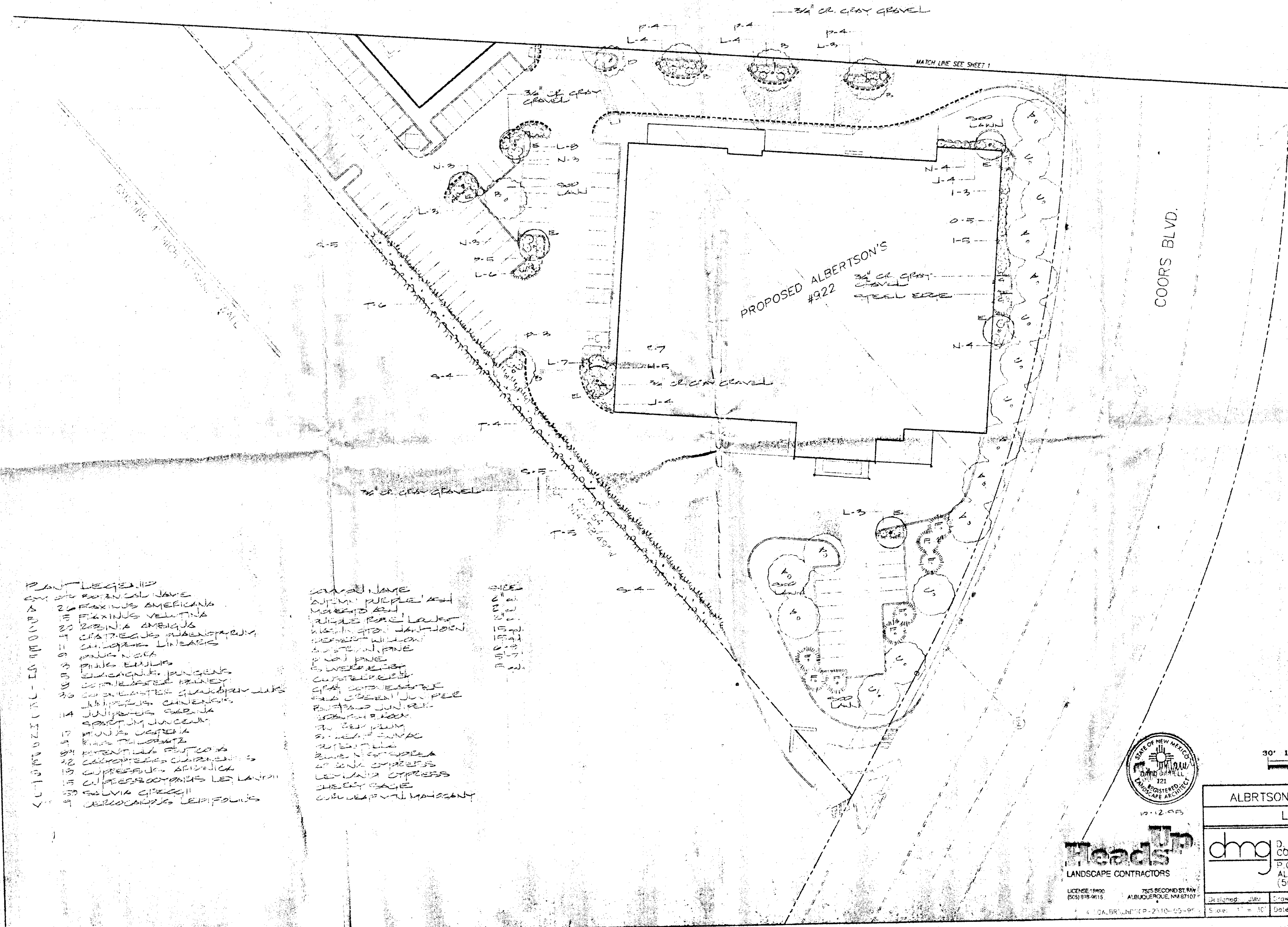


ALBERTSON'S - COORS & CENTRAL  
 LANDSCAPE PLAN

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS & SURVEYORS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 345-2010

Designed: JMY	Drawn: JMY	Checked: JMG	Sheet: 1
Scale: 1" = 30'	Date: 07/16/05	Unit: 44100	2

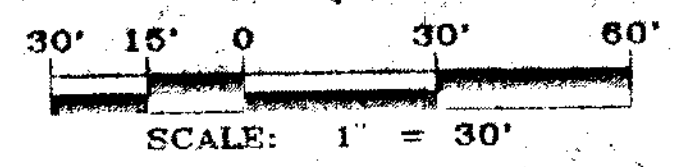
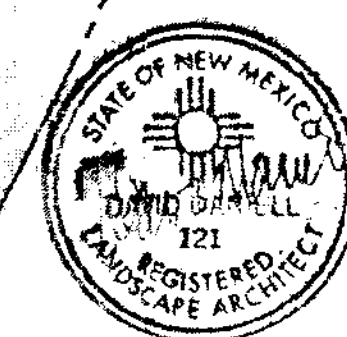
ERC 4055



**PLAN LEGEND**

SYMBOL	PLANT NAME
L-1	FRAXINUS AMERICANA
L-2	FRAXINUS VELUTINA
L-3	ROBINIA AMERICANA
L-4	CRATAEGUS PHAENOPYRUM
L-5	CRATAEGUS LANCEATA
L-6	PRUNUS SP.
L-7	PRUNUS SP.
L-8	QUERCUS BUNGERS
L-9	QUERCUS BUNGERS
L-10	QUERCUS BUNGERS
L-11	QUERCUS BUNGERS
L-12	QUERCUS BUNGERS
L-13	QUERCUS BUNGERS
L-14	QUERCUS BUNGERS
L-15	QUERCUS BUNGERS
L-16	QUERCUS BUNGERS
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L-96	QUERCUS BUNGERS
L-97	QUERCUS BUNGERS
L-98	QUERCUS BUNGERS
L-99	QUERCUS BUNGERS
L-100	QUERCUS BUNGERS

SYMBOL	PLANT NAME	SIZE
L-1	FRAXINUS AMERICANA	6" cal.
L-2	FRAXINUS VELUTINA	6" cal.
L-3	ROBINIA AMERICANA	6" cal.
L-4	CRATAEGUS PHAENOPYRUM	15" cal.
L-5	CRATAEGUS LANCEATA	15" cal.
L-6	PRUNUS SP.	6" cal.
L-7	PRUNUS SP.	6" cal.
L-8	QUERCUS BUNGERS	6" cal.
L-9	QUERCUS BUNGERS	6" cal.
L-10	QUERCUS BUNGERS	6" cal.
L-11	QUERCUS BUNGERS	6" cal.
L-12	QUERCUS BUNGERS	6" cal.
L-13	QUERCUS BUNGERS	6" cal.
L-14	QUERCUS BUNGERS	6" cal.
L-15	QUERCUS BUNGERS	6" cal.
L-16	QUERCUS BUNGERS	6" cal.
L-17	QUERCUS BUNGERS	6" cal.
L-18	QUERCUS BUNGERS	6" cal.
L-19	QUERCUS BUNGERS	6" cal.
L-20	QUERCUS BUNGERS	6" cal.
L-21	QUERCUS BUNGERS	6" cal.
L-22	QUERCUS BUNGERS	6" cal.
L-23	QUERCUS BUNGERS	6" cal.
L-24	QUERCUS BUNGERS	6" cal.
L-25	QUERCUS BUNGERS	6" cal.
L-26	QUERCUS BUNGERS	6" cal.
L-27	QUERCUS BUNGERS	6" cal.
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L-29	QUERCUS BUNGERS	6" cal.
L-30	QUERCUS BUNGERS	6" cal.
L-31	QUERCUS BUNGERS	6" cal.
L-32	QUERCUS BUNGERS	6" cal.
L-33	QUERCUS BUNGERS	6" cal.
L-34	QUERCUS BUNGERS	6" cal.
L-35	QUERCUS BUNGERS	6" cal.
L-36	QUERCUS BUNGERS	6" cal.
L-37	QUERCUS BUNGERS	6" cal.
L-38	QUERCUS BUNGERS	6" cal.
L-39	QUERCUS BUNGERS	6" cal.
L-40	QUERCUS BUNGERS	6" cal.
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L-44	QUERCUS BUNGERS	6" cal.
L-45	QUERCUS BUNGERS	6" cal.
L-46	QUERCUS BUNGERS	6" cal.
L-47	QUERCUS BUNGERS	6" cal.
L-48	QUERCUS BUNGERS	6" cal.
L-49	QUERCUS BUNGERS	6" cal.
L-50	QUERCUS BUNGERS	6" cal.
L-51	QUERCUS BUNGERS	6" cal.
L-52	QUERCUS BUNGERS	6" cal.
L-53	QUERCUS BUNGERS	6" cal.
L-54	QUERCUS BUNGERS	6" cal.
L-55	QUERCUS BUNGERS	6" cal.
L-56	QUERCUS BUNGERS	6" cal.
L-57	QUERCUS BUNGERS	6" cal.
L-58	QUERCUS BUNGERS	6" cal.
L-59	QUERCUS BUNGERS	6" cal.
L-60	QUERCUS BUNGERS	6" cal.
L-61	QUERCUS BUNGERS	6" cal.
L-62	QUERCUS BUNGERS	6" cal.
L-63	QUERCUS BUNGERS	6" cal.
L-64	QUERCUS BUNGERS	6" cal.
L-65	QUERCUS BUNGERS	6" cal.
L-66	QUERCUS BUNGERS	6" cal.
L-67	QUERCUS BUNGERS	6" cal.
L-68	QUERCUS BUNGERS	6" cal.
L-69	QUERCUS BUNGERS	6" cal.
L-70	QUERCUS BUNGERS	6" cal.
L-71	QUERCUS BUNGERS	6" cal.
L-72	QUERCUS BUNGERS	6" cal.
L-73	QUERCUS BUNGERS	6" cal.
L-74	QUERCUS BUNGERS	6" cal.
L-75	QUERCUS BUNGERS	6" cal.
L-76	QUERCUS BUNGERS	6" cal.
L-77	QUERCUS BUNGERS	6" cal.
L-78	QUERCUS BUNGERS	6" cal.
L-79	QUERCUS BUNGERS	6" cal.
L-80	QUERCUS BUNGERS	6" cal.
L-81	QUERCUS BUNGERS	6" cal.
L-82	QUERCUS BUNGERS	6" cal.
L-83	QUERCUS BUNGERS	6" cal.
L-84	QUERCUS BUNGERS	6" cal.
L-85	QUERCUS BUNGERS	6" cal.
L-86	QUERCUS BUNGERS	6" cal.
L-87	QUERCUS BUNGERS	6" cal.
L-88	QUERCUS BUNGERS	6" cal.
L-89	QUERCUS BUNGERS	6" cal.
L-90	QUERCUS BUNGERS	6" cal.
L-91	QUERCUS BUNGERS	6" cal.
L-92	QUERCUS BUNGERS	6" cal.
L-93	QUERCUS BUNGERS	6" cal.
L-94	QUERCUS BUNGERS	6" cal.
L-95	QUERCUS BUNGERS	6" cal.
L-96	QUERCUS BUNGERS	6" cal.
L-97	QUERCUS BUNGERS	6" cal.
L-98	QUERCUS BUNGERS	6" cal.
L-99	QUERCUS BUNGERS	6" cal.
L-100	QUERCUS BUNGERS	6" cal.



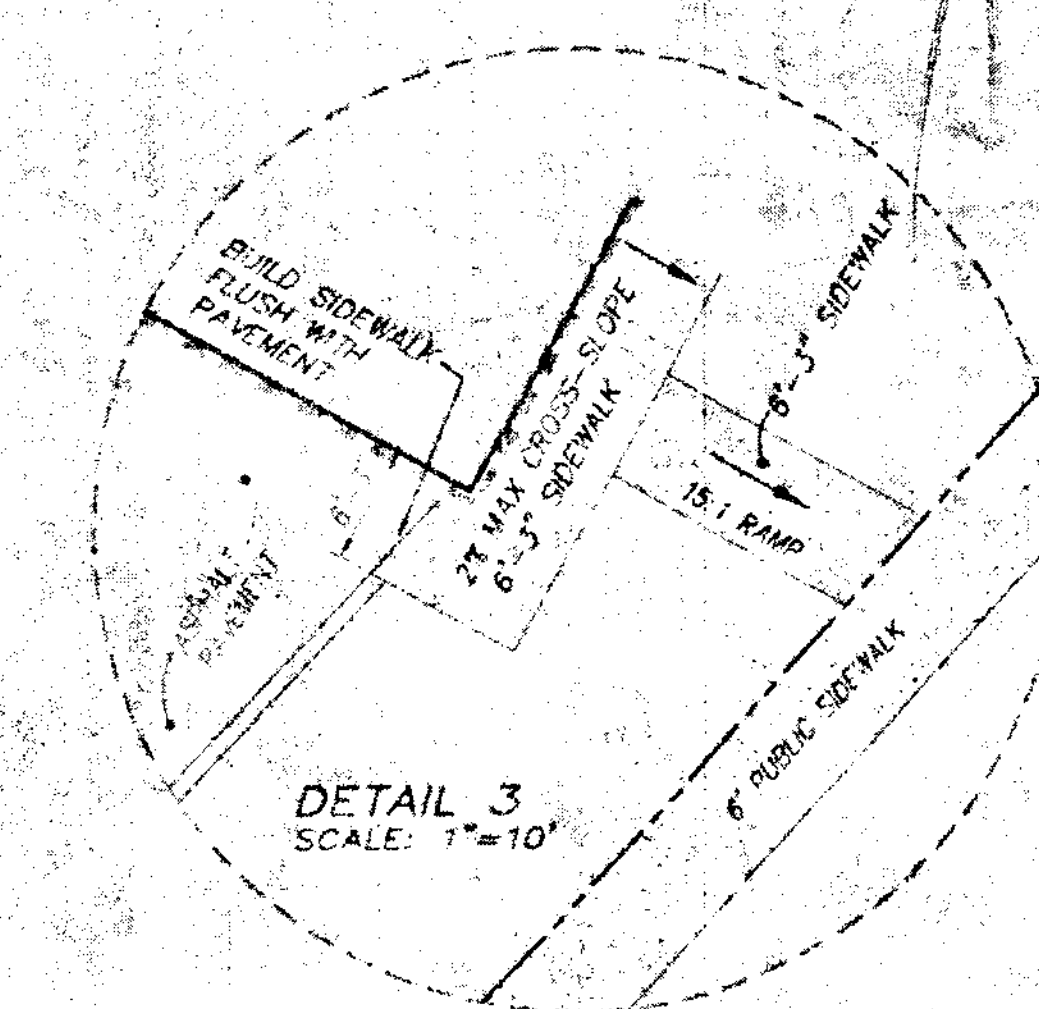
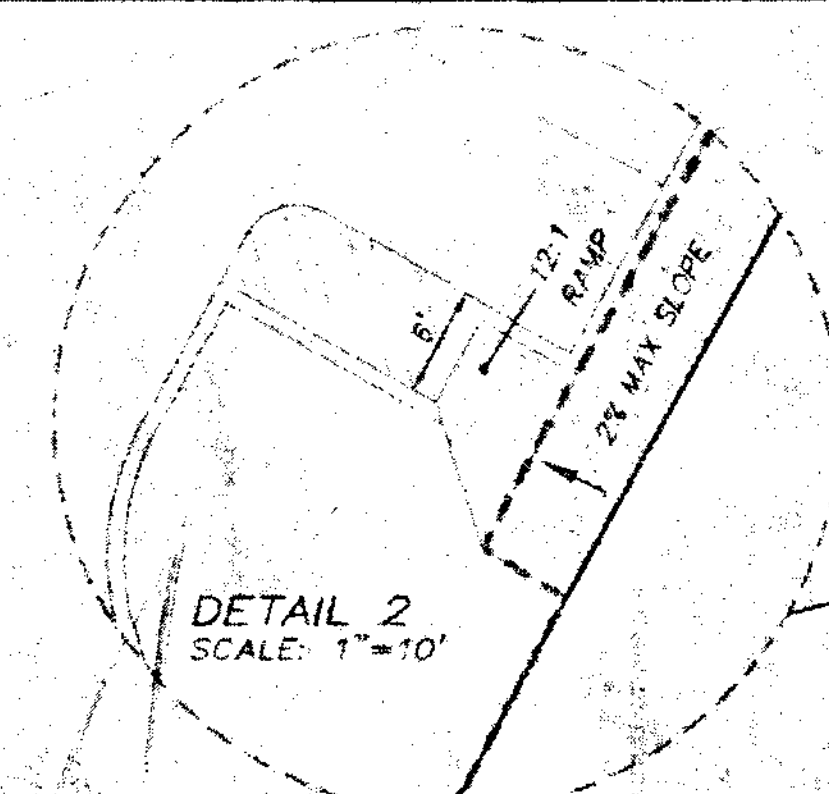
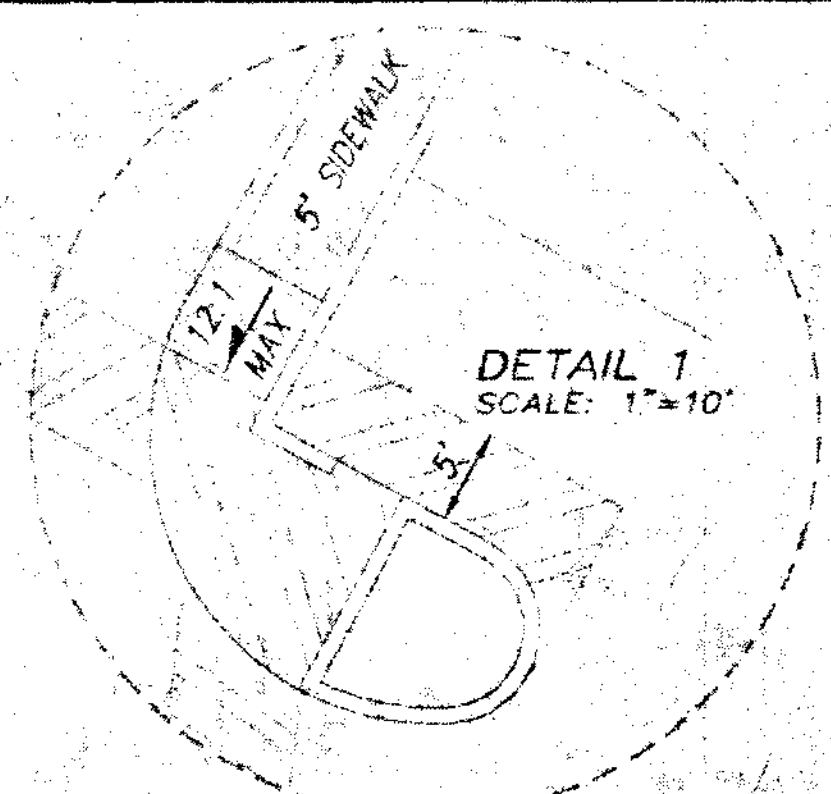
**ALBERTSON'S - COORS & CENTRAL  
LANDSCAPE PLAN**

**HeadUp**  
LANDSCAPE CONTRACTORS

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

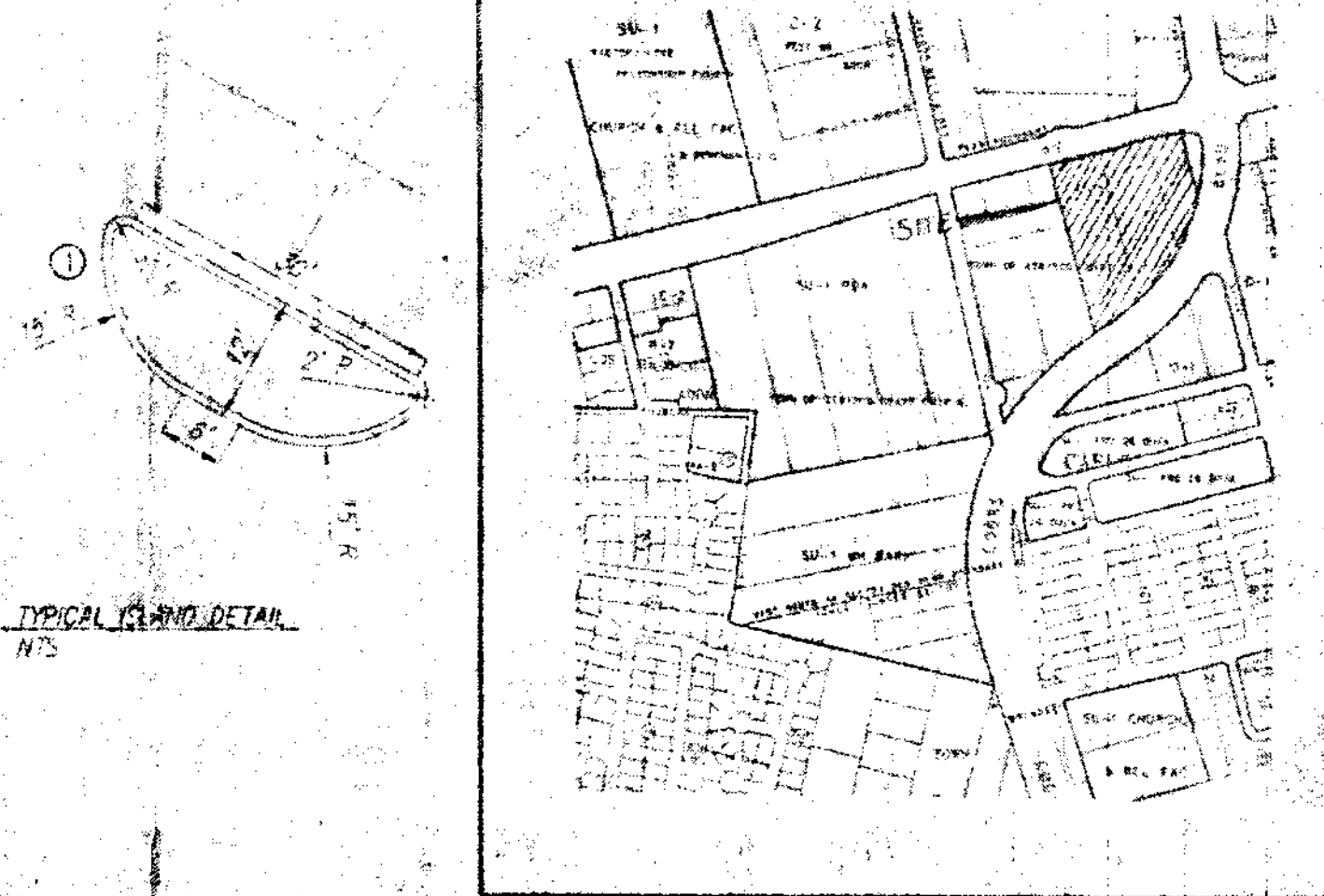
LICENSE 1990  
(505) 919-9615  
755 SECOND ST. NW  
ALBUQUERQUE, NM 87107

Designed: JMB	Drawn: MCG	Checked: DMG	Sheet: 2 of 2
Scale: 1" = 30'	Date: 7/26/95	Job: 9410	



AREA OF AMENDMENT

CENTRAL AVENUE  
124' R/W



VICINITY MAP ZONE MAP: K-10-Z

SITE	BUILDING AREA	PARKING SPACES		HANDICAP SPACES	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
ALBERTSON'S	51,545 SQ. FT.	258	282	8	9
PAD "A"	5,600 SQ. FT.	50	71	3	4
TOTAL	57,145 SQ. FT.	307	353	11	12

MIN. NO. OF TREES REQUIRED	PAVED AREA	LANDSCAPED AREA EXCLUDING SETBACKS	TOTAL LANDSCAPED AREA
35	188,825 SQ. FT.	28,737 SQ. FT. *	55,555 SQ. FT.

KEYED NOTES

- 1 CURB AND GUTTER AT PLANTER: SEE DETAIL # 1, SHT C5
- 2 CURB AND GUTTER AT SIDEWALK: SEE DETAIL # 2, SHT C5

7-95-23  
6600 CENTRAL AVE  
14 AA-10039  
1006543

UNDERGROUND UTILITY DETAIL  
NOT TO SCALE

APPROVALS: 7-95-23 EAC: 4-20-95

PLANNING DEPARTMENT: *Paul Clary* 10-18-95  
 AMAFCA: *Paul Hogue* 9-25-95  
 PARKS & GENERAL SERVICES: *Richard Davis* 7-25-95  
 ENGINEER: *Richard Davis* 8-1-95  
 CITY ENGINEER: *Paul Hogue* 9-25-95  
 UTILITY DEPARTMENT: *Robert W. Korne* 7-25-95  
 DRB-95-192

Hold Harmless Agreement  
 Filed in the Office of the Bernalillo County Clerk, October 8, 1995, in Book 95 24, Pages 5002-5007.

LOT 60  
VACANT  
PROPERTY

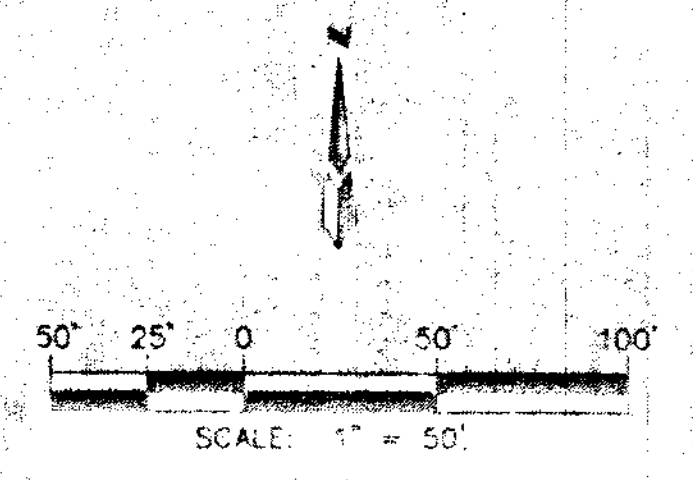
NEW PRIVATE ACCESS & DRAINAGE EASEMENT RECORDED ON 08/01/95 AS DOCUMENT NO. 95072236

REMOVE EXISTING FUEL STATION. CONSTRUCT 1 OFFICE BLDG (2000 SF) + 1 COMMERCIAL BLDG (2000 SF). RECONFIGURE PARKING. ADDITIONAL LANDSCAPING INCLUDING TREES ALONG CENTRAL. BLDG ELEVATIONS FOR COMMERCIAL MUST BE SUBMITTED AS AN AA.

ADMINISTRATIVE AMENDMENT  
 FILE # 14AA PROJECT # 1006543  
 10039  
 APPROVED BY: *[Signature]* DATE: 6-13-2014

LEGEND

- LIGHTING FIXTURE (GARCO "FORM TEN" 40" VERTICAL LAMP OR EQUIVALENT)
- H.C. HANDICAPPED PARKING SPACE
- CATCH BASIN
- STORM DRAIN MANHOLE
- ▭ EXIST. STRUCTURE OR BUILDING
- EXIST. SEWER MANHOLE
- EXIST. STREET LAMP
- EXIST. GAS REGULATOR
- - - TEMPORARY ASPHALT CURB. SEE DT. #4, SEE SHT C5
- ▭ AREA WITHIN PHASE II
- ▭ NEW CURB & GUTTER
- ▭ CONCRETE SURFACE
- - - PEDESTRIAN AND HANDICAP. ACCESS (TO BE STRIPED ON PAVEMENT)
- - - WHITE LETTERING ON PAINTED RED CURB: "NO PARKING - FIRE LANE"



ALBERTSON'S - COORS & CENTRAL  
 SITE DEVELOPMENT PLAN FOR BUILDING

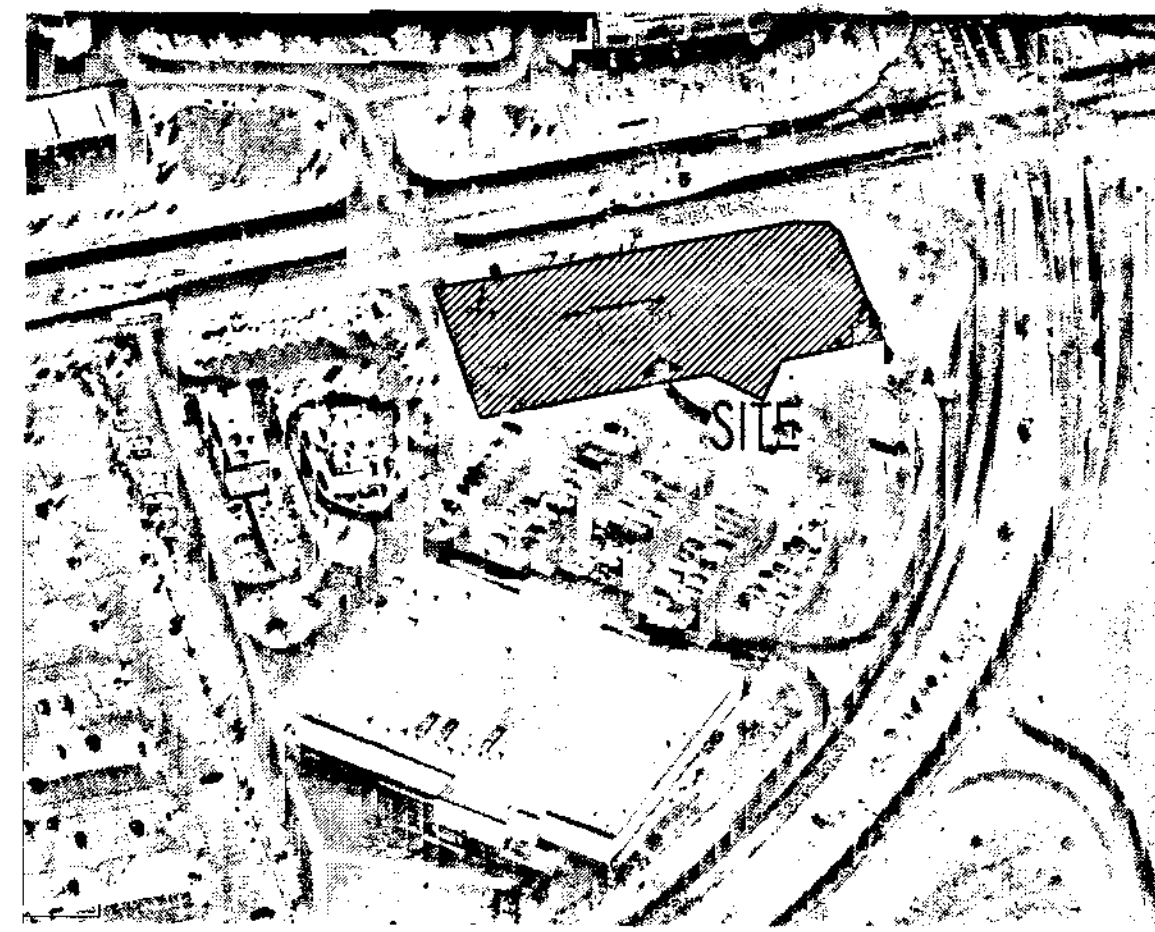
*dmg* D. MARK GOODWIN & ASSOCIATES, P.A.  
 CONSULTING ENGINEERS & SURVEYORS  
 P.O. BOX 90606  
 ALBUQUERQUE, NEW MEXICO 87199  
 (505) 345-2010

Designed: JMW Date: 7-23-95 Drawn: JMW Date: 7-23-95  
 Scale: AS SHOWN Date: 7-23-95 Plot: 1 of 2

7-95-23



VICINITY MAP:



PROPERTY LINE AND RADIUS INFORMATION:

LINE TABLE				
LINE	LENGTH	BEARING		
L1	31.57'	S 29°00'42" W		
L2	32.81'	N 60°58'13" W		

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD CHORD BEARING
C1	39.21'	25.00'	89°51'11"	35.31' S 59°56'49" E

EASEMENT KEYED NOTES:

- [1] EXISTING 10' P.U.E. (10/01/2007, 2007C-283)
- [2] EXISTING PRIVATE CROSS LOT PRIVATE ACCESS, PARKING, AND PRIVATE UTILITY EASEMENT TO BENEFIT AND BE MAINTAINED BY ALL LOTS (8/28/1998, 9814-7205)
- [3] EXISTING 30' PRIVATE ACCESS EASEMENT (8/28/88, BK. 9814, PG. 7205)
- [4] EXISTING CROSS LOT DRAINAGE EASEMENT (8/10/1998, 98C-236)
- [5] EXISTING 6' PUBLIC SIDEWALK EASEMENT (06/19/09, 2009C-73)

KEYED NOTES:

- [1] PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR.
- [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
- [3] PROPOSED HANDICAP PAVEMENT SIGN.
- [4] PROPOSED STAMPED CONCRETE HANDICAP AISLE.
- [5] PROPOSED ASPHALT PAVING.
- [6] PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
- [7] PROPOSED BIKE RACK WITH 3 SPACES.
- [8] PROPOSED CONCRETE SIDEWALK.
- [9] PROPOSED STAMPED CONCRETE PEDESTRIAN CONNECTION.
- [10] PROPOSED PAINTED PARKING STRIPING.
- [11] EXISTING FIRE HYDRANT TO BE REMAIN.
- [12] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
- [13] EXISTING CURB AND GUTTER TO REMAIN.
- [14] EXISTING BUS STOP AND SHELTER TO REMAIN.
- [15] PROPOSED HANDICAP RAMP.
- [16] PROPOSED HANDICAP PARKING SIGNS. "VAN" WHERE NOTED.
- [17] PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- [18] EXISTING CONCRETE SIDEWALK.
- [19] EXISTING PROPERTY LINES AND LIMITS OF CONSTRUCTION.
- [20] EXISTING LANDSCAPING TO REMAIN. REFER TO LANDSCAPING PLAN.
- [21] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [22] EXISTING PARKING ISLAND TO REMAIN.
- [23] EXISTING PARKING LOT LIGHTING TO REMAIN.
- [24] THE EXISTING AND PROPOSED CURBING TOGETHER.
- [25] PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
- [26] PROPOSED PAINTED "ONE WAY ONLY" AND "DO NOT ENTER" PAVEMENT SIGNAGE.
- [27] EXISTING DEVELOPMENT.
- [28] EXISTING SITE ENTRANCE TO REMAIN.
- [29] EXISTING DRAINAGE INLET TO REMAIN. REFER TO GRADING AND DRAINAGE PLAN.
- [30] EXISTING BUS STOP AND SHELTER TO REMAIN.
- [31] THE PROPOSED CONCRETE SIDEWALK TO EXISTING SIDEWALK.
- [32] SIDEWALK CULVERT WITH METAL GRATE TOP TO BE FLUSH WITH TOP OF CONCRETE SIDEWALK. REFER TO CIVIL.
- [33] LANDSCAPING SWALE. REFER TO CIVIL.
- [34] 24" WIDE CURB OPENING.
- [35] NEW ELECTRICAL TRANSFORMER LOCATION. REFER TO ELECTRICAL SITE PLAN.

SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION:  
 LOT 2 OF ALBERTSONS AT COORS SW., AS SHOWN ON THE PLAT ENTITLED "LOTS 1 AND 2, ALBERTSONS AT COORS SW. TOWN OF ATRISCO GRANT CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO"

LAND AREA:  
 0.9357 ACRES (40,761 SQ. FT.)

CURRENT ZONING:  
 C-2 (WEST ROUTE 66 SECTOR DEVELOPMENT PLAN)

ZONE ATLAS PAGE:  
 K-10-Z

PROPOSED USES:  
 - ALL USES PERMITTED IN THE C-2 ZONES

BUILDING AREAS:  
 PROPOSED BUILDING A 2,800 SF.  
 PROPOSED BUILDING B 2,900 SF.  
 TOTAL BUILDING AREA = 5,700 SF.

SITE DEVELOPMENT GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
  - [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
  - [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL INSPECTION PERMIT.
  - [D] EXTERIOR MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED. LOCATION OF SUCH EQUIPMENT WITHIN THE BUILDING OR AT GROUND LEVEL IS PREFERABLE TO ROOF-MOUNTING, UNLESS SUCH LOCATION WOULD ADVERSELY AFFECT THE STREETScape, PEDESTRIAN CIRCULATION, OR OPEN SPACE. ROOF MOUNTED EQUIPMENT SHOULD BE OF A LOW PROFILE TO MINIMIZE THE SCREENING PROBLEM.
- SITE DEVELOPMENT SITE LIGHTING NOTES:
- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
  - [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL MATCH EXISTING.
  - [C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
  - [D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS: PROPOSED DEVELOPMENT

PROPOSED BUILDING A	14 SPACES
2,800 SF/200 =	
PROPOSED BUILDING B	15 SPACES
2,900 SF/200 =	
TOTAL REQUIRED	29 SPACES

TRANSIT REDUCTIONS:  
 29 SPACES REQ'D x 15% REDUCTION =  
 (PROXIMITY TO BUS STOP AND ROUTE 766, 66 & 155)  
 29 x 15% = 25 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 25 SPACES

TOTAL PARKING SPACES PROVIDED: = 25 SPACES

22 REGULAR SPACES  
 2 HANDICAP PARKING SPACES  
 1 COMPACT SPACE

DISABLED PARKING REQUIREMENTS:  
 TOTAL DISABLED SPACES REQUIRED = 2 SPACES  
 TOTAL DISABLED SPACES PROVIDED = 2 SPACES

MOTORCYCLE REQUIREMENTS:  
 TOTAL MOTORCYCLE SPACES REQUIRED = 2 SPACES  
 TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:  
 1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =  
 25 PARKING SPACES/20 = 1 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 1 SPACE  
 TOTAL BICYCLE SPACES PROVIDED: = 3 SPACES

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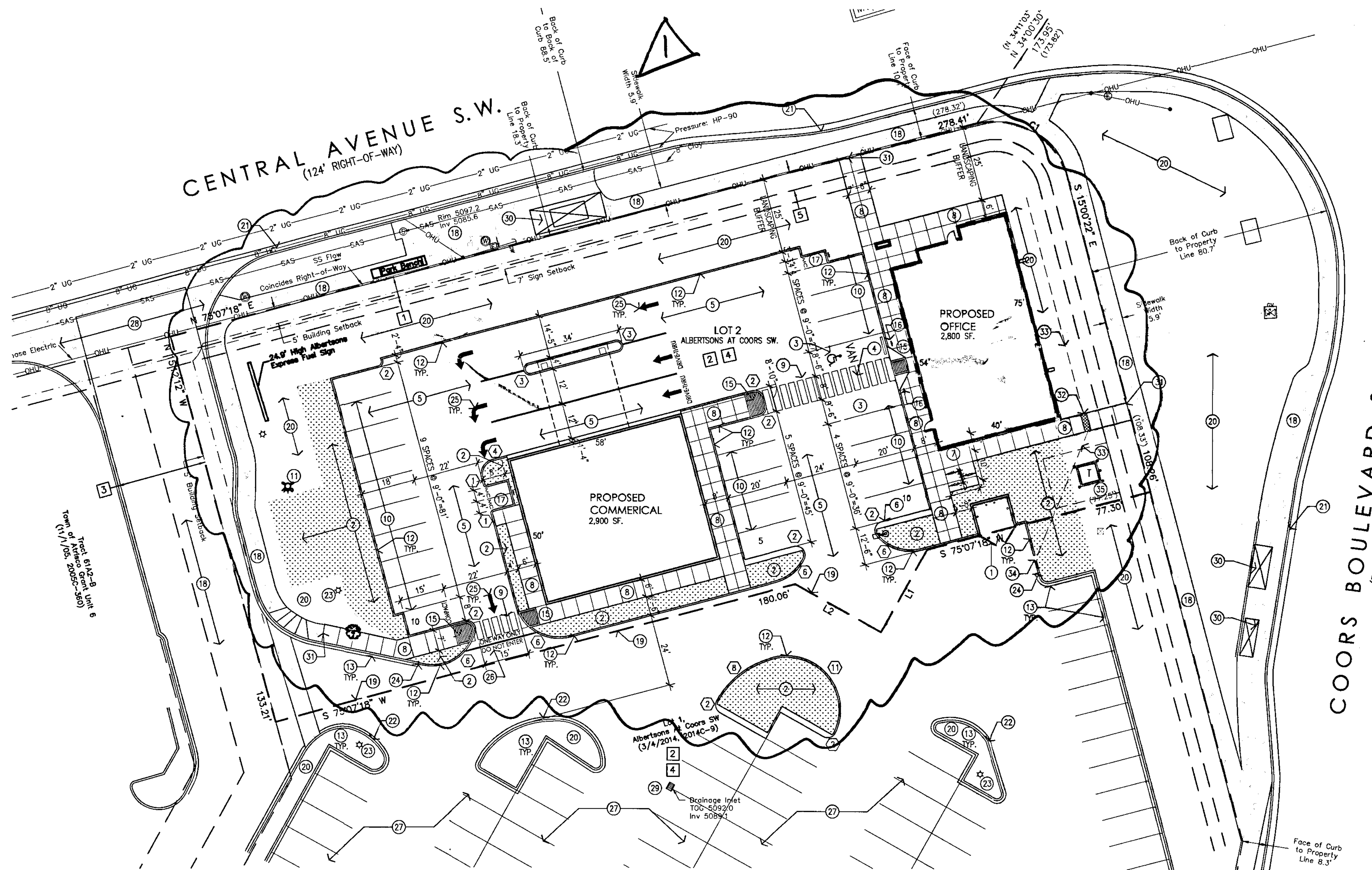
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TOTAL BICYCLE SPACES PROVIDED: = 3 SPACES



Amended Site Development Plan for Building Permit  
 Scale: 1"=20'-0"

revision  
 By  
 date  
 rev

**Mullen Heller**  
 Architecture P.C.  
 924 Park Avenue SW  
 Suite B  
 Albuquerque 87102  
 505 268 4144[p]  
 505 268 4244 [f]

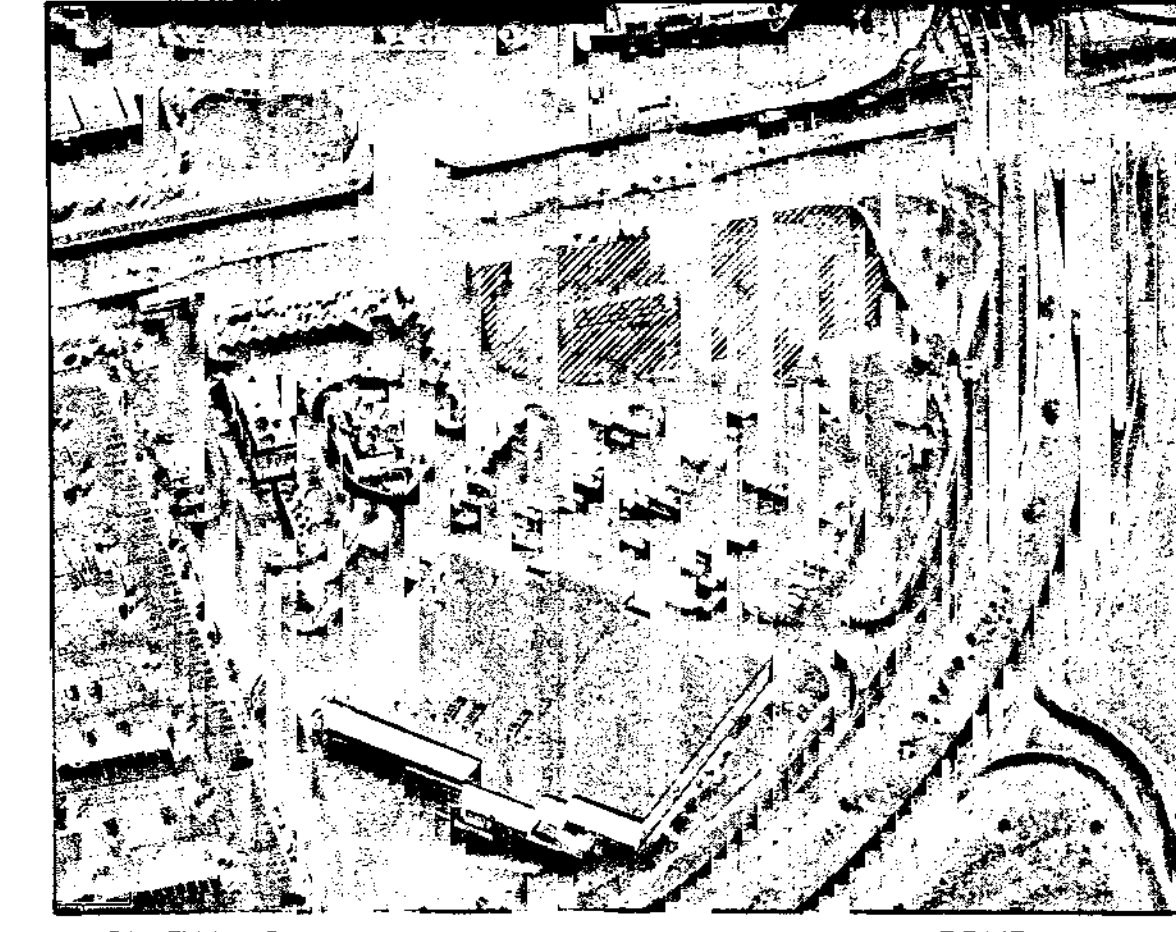
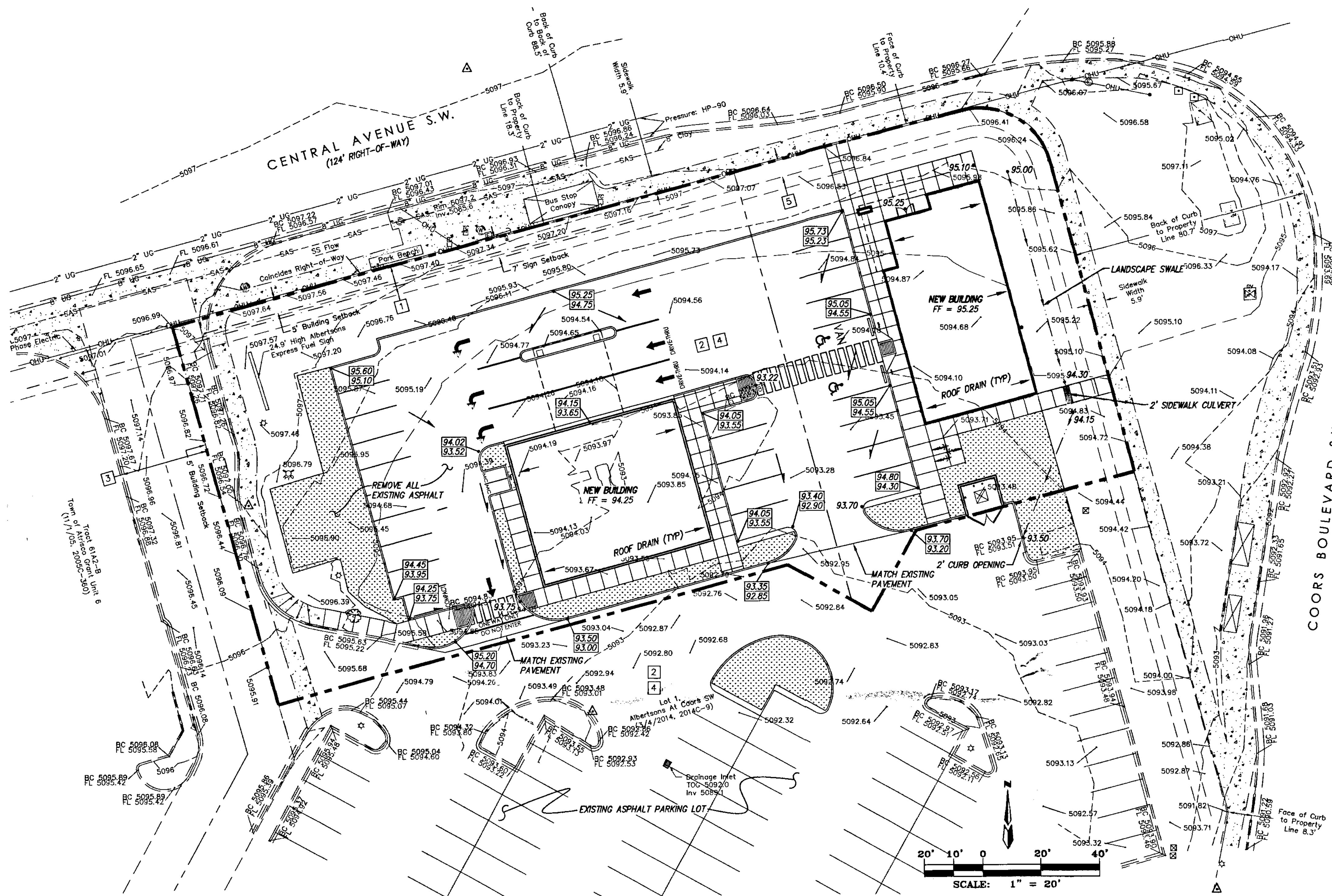
13-25  
 mms  
 Douglas Heller, AIA  
 05/5/14

job number  
 drawn by  
 project manager  
 title

Coors and Central Retail Development  
 Southwest Corner of Coors Boulevard and Central Avenue SW.  
 Albuquerque, New Mexico 87121

Site Plan for Administrative Amendment

Page 1 of 4  
**A001**



**LEGAL DESCRIPTION**  
 TRACT 61A1B, TOWN OF ATRISCO GRANT UNIT NO. 6

**ACS BENCHMARK**  
 THE STATION IS AN ACS 3/4" ALUMINUM CAP SET FLUSH IN THE TOP OF CURB AND IS STAMPED "5-K10, 1989". TO REACH THE STATION FROM THE INTERSECTION OF I-40 & COORS BLVD., TRAVEL SOUTH ON COORS BLVD. 1.89 MILES TO THE INTERSECTION OF CENTRAL AVE. & COORS BLVD. THE STATION IS 52.6' NORTH OF CENTRAL AVE., AND IS 2.7' WEST OF BACK OF CURB ON THE ISLAND.  
 X = 362,341.63, Y = 1,484,685.30, Z = 5093.73

**LEGEND**

---	5520	EXISTING MAJOR CONTOURS
---	5518	EXISTING MINOR CONTOURS
---		EXISTING LOT LINES
---		EXISTING CURB & GUTTER
⊕		EXISTING STORM DRAIN INLET
⊙		EXISTING STORM DRAIN MANHOLE
⊙		EXISTING SANITARY SEWER MANHOLE
⊕	97.19	EXISTING TOP OF BACK CURB ELEVATION
⊕	96.71	EXISTING FLOW LINE ELEVATION
⊕	97.73 x	EXISTING SPOT ELEVATION
⊕		EXISTING WATER METER
⊕		EXISTING FIRE HYDRANT
⊕		EXISTING WATER GATE VALVE
⊕		EXISTING SIGN
⊕		EXISTING TRAFFIC CONTROL BOX
⊕		EXISTING POWER POLE
⊕		EXISTING STREET LIGHT
---	OHU	EXISTING OVERHEAD UTILITIES
---	SAS	EXISTING SANITARY SEWER LINE
---	2" UG	EXISTING UNDER GROUND UTILITY
---		NEW LOT LINES
---		NEW LOT LINES
---		NEW ESTATE CURB & GUTTER
---		HIGH POINT/WATER BLOCK
⊕	78.00	NEW SPOT ELEVATION
⊕	78.25	NEW TOP OF CURB ELEVATION
⊕	78.00	NEW FLOWLINE ELEVATION
⊕	78.25 TW	NEW TOP OF WALL ELEVATION
⊕	78.00 BW	NEW BOTTOM OF WALL ELEVATION
→		NEW FLOW DIRECTION ARROW
---		NEW LANDSCAPE SWALE

**PROJECT DESCRIPTION**  
 THIS PROJECT REPLACES A GAS STATION COMPONENT OF AN EXISTING ALBERTSONS. THE EXISTING GAS STATION DRAINS TO AN EXISTING TYPE "D" INLET IN THE ALBERTSONS PARKING LOT. THE PARKING LOT ACTS AS A DETENTION POND WITH THE TYPE "D" INLET ACTING AS THE CONTROLLED OUTFALL. NEW PROJECT DECREASES IMPERVIOUS AREA BY 4446.20 S.F.

- Easement Notes**
- EXISTING 10' P.U.E. (10/01/2007, 2007C-283)
  - EXISTING PRIVATE CROSS LOT PRIVATE ACCESS, PARKING, AND PRIVATE UTILITY EASEMENT TO BENEFIT AND BE MAINTAINED BY ALL LOTS (8/28/1998, 9814-7205)
  - EXISTING 30' PRIVATE ACCESS EASEMENT (8/28/88, BK. 9814, PG. 7205)
  - EXISTING CROSS LOT DRAINAGE EASEMENT (8/10/1998, 98C-236)
  - EXISTING 6' PUBLIC SIDEWALK EASEMENT (06/19/09, 2009C-73)

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
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 P.O. BOX 50606  
 ALBUQUERQUE, NEW MEXICO 87199  
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revision	
by	
date	
rev	△ △ △ △ △



**Mullen Heller Architecture P.C.**  
 924 Park Avenue SW  
 Suite B  
 Albuquerque 87102  
 505 268 4144 [p]  
 505 268 4244 [f]



job number	A14008
drawn by	DER
project manager	Douglas Heller, AIA
date	04/18/14

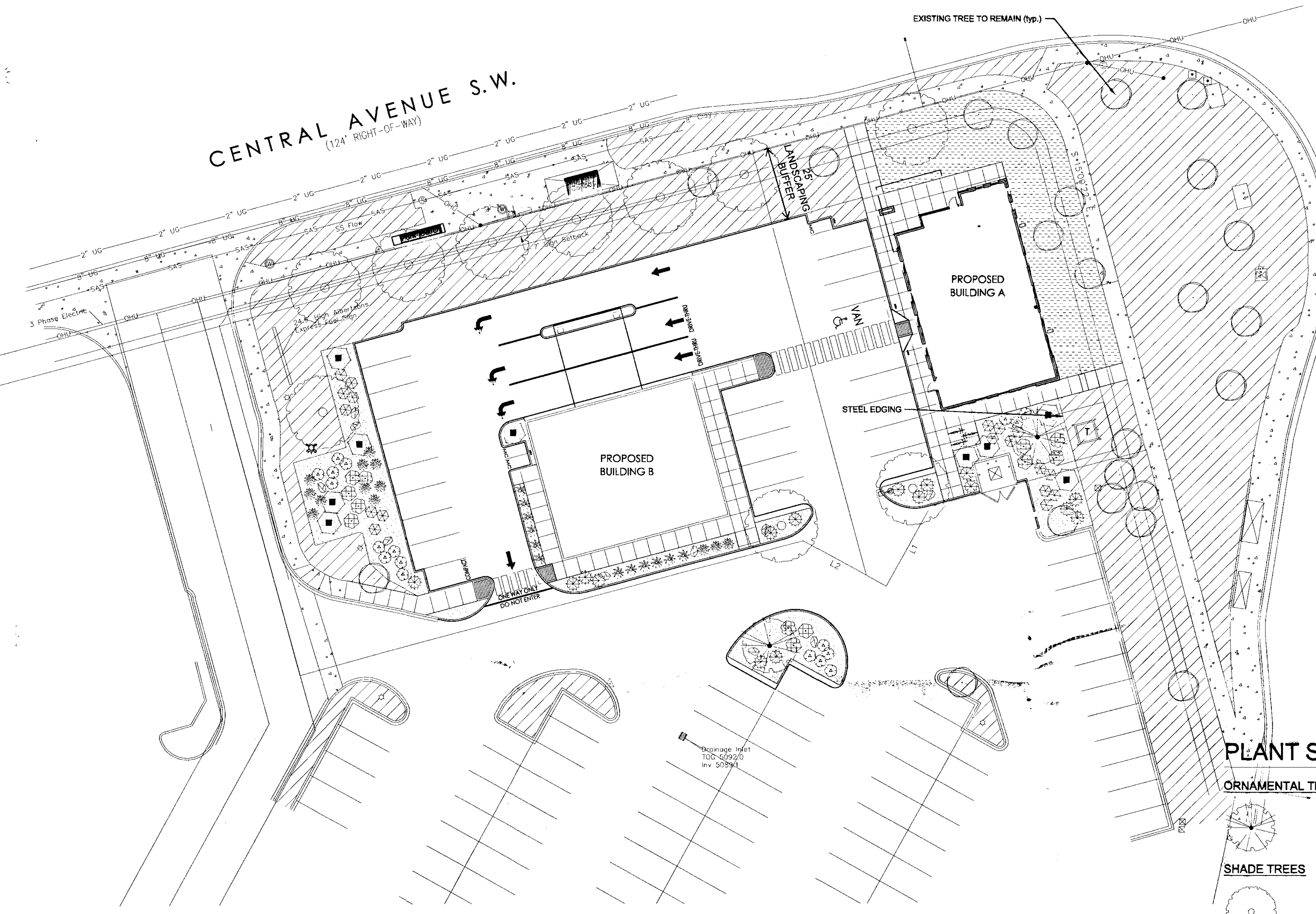
**Coors and Central Retail Development**  
 Southwest Corner of Coors Boulevard and Central Avenue SW.  
 Albuquerque, New Mexico 87121

**Grading & Drainage Plan**

F:\A14008\A14008 Albertson's Retail\GRADE & DRAIN\A14008\_GD20.dwg, Last saved by: Dwayne, 5/28/14

CENTRAL AVENUE S.W.  
(124' RIGHT-OF-WAY)

COORS BOULEVARD S.W.  
(RIGHT-OF-WAY VARIES)



- GENERAL NOTES:**
1. MAINTENANCE OF THE LANDSCAPE AND IRRIGATION PROVIDED BY THE PROPERTY OWNER.
  2. LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 3" DEPTH OVER FILTER FABRIC OR SEEDED WITH PARK BLEND SEED - SEE PLAN.
  3. PLANTS ARE SHOWN AT MATURITY.
  4. ALL AREAS DISTURBED DURING CONSTRUCTION WILL BE RE-SEEDED WITH PARK BLEND SEED OR COVERED WITH GRAVEL MULCH DEPENDING ON LOCATION.
  5. EXISTING TREES ON SITE WILL BE PROTECTED DURING CONSTRUCTION WHERE POSSIBLE.

- IRRIGATION NOTES:**
1. ALL NEW PLANTINGS TO BE WATERED BY AUTO DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER. TIE TO EXISTING IRRIGATION SYSTEM.
  2. EXISTING IRRIGATION SYSTEM IS ASSUMED TO BE IN GOOD WORKING ORDER.
  3. WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

**SITE DEVELOPMENT DATA:**

LAND AREA	.....40,761 sf
PROPOSED BUILDING AREA	.....5,800 sf total
BUILDING A	.....2,800 sf
BUILDING B	.....3,000 sf
NET LOT AREA	.....34,961 sf

REQUIRED LANDSCAPE	.....5,244 sf
15% of NET LOT AREA	
PROVIDED LANDSCAPE	.....7,345 sf total
21% of NET LOT AREA	
PROVIDED XERISCAPE	.....4,445 sf
PROVIDED RE-SEEDING	.....2,900 sf

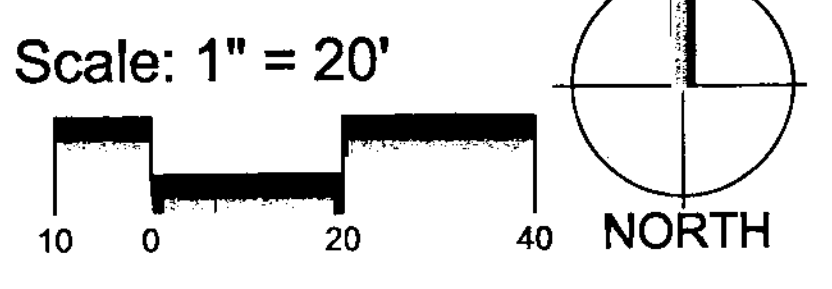
Re-seeding of existing turf areas assumed to be disturbed during construction. Area size depends on actual size of disturbed area during construction.

PROVIDED PARKING LOT SPACES	.....25
REQUIRED PARKING LOT TREES	.....3
1 tree per 10 parking spaces	
PROVIDED PARKING LOT TREES	.....3

REQUIRED LANDSCAPE COVERAGE	.....3,334 sf
required 75% live vegetative cover measured at maturity	
PROVIDED LANDSCAPE COVERAGE	.....3,350 sf = 75%

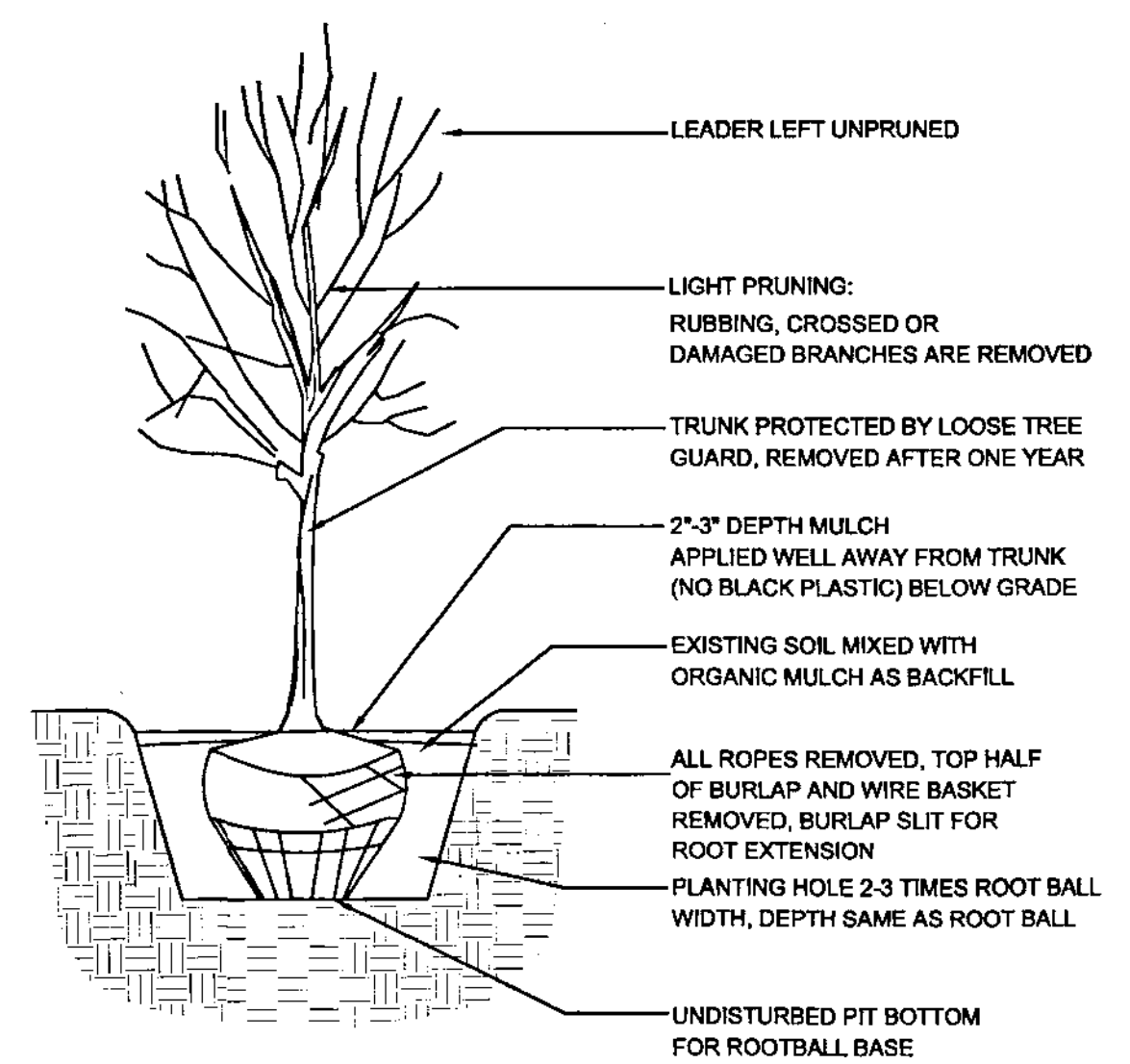
**PLANT SCHEDULE**

ORNAMENTAL TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	2	Chilopsis linearis / Desert Willow	24"box	RW	25'
SHADE TREES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	10	Gleditsia triacanthos inermis / Thornless Honeylocust	2" B&B	Medium	45'
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	18	Artemisia filifolia / Sand Sagebrush	5 gal	RW	4'
	18	Ericameria laricifolia / Turpentine Bush	5 gal	Low+	4'
	12	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal	Low+	5'
	9	Vauquelinia angustifolia / Narrowleaf Rosewood	5 gal	Low	8'
DESERT ACCENT	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	13	Hesperaloe parviflora / Red Yucca	5 gal	Low+	4'
GROUNDCOVERS	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	16	Juniperus horizontalis 'Blue Rug' / Blue Rug Juniper	1 gal	Low	5'
ORNAMENTAL GRASSES	QTY	BOTANICAL NAME / COMMON NAME	SIZE	WATER	COVERAGE
	12	Muhlenbergia rigens / Deer Grass	5 gal	Low+	4'



**HATCH SCHEDULE**

SYMBOL	DESCRIPTION
	IRRIGATED GRASS TO MATCH EXISTING LANDSCAPE
	EXISTING LANDSCAPE TO REMAIN
	1" ROUND GRAY GRAVEL AT 3" DEPTH OVER FILTER FABRIC TO MATCH EXISTING LANDSCAPE
	MOSSROCK ACCENT BOULDER (10)



1 TREE PLANTING DETAIL N.T.S.

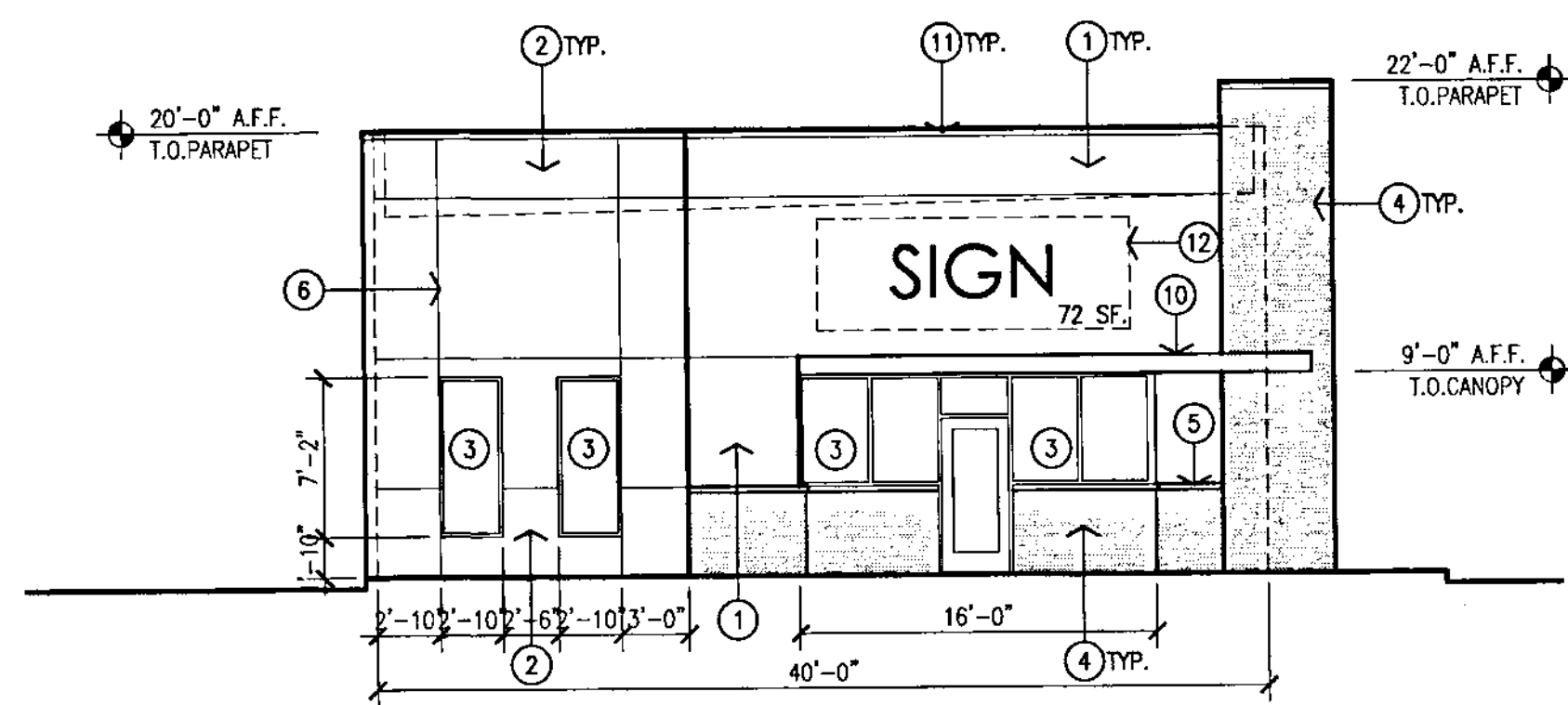
revision by date 6.12.14 rev

**MH**  
Mullen Heller Architecture P.C.  
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STATE OF NEW MEXICO JOHN GILLIES BRALY # 128 REGISTERED LANDSCAPE ARCHITECT

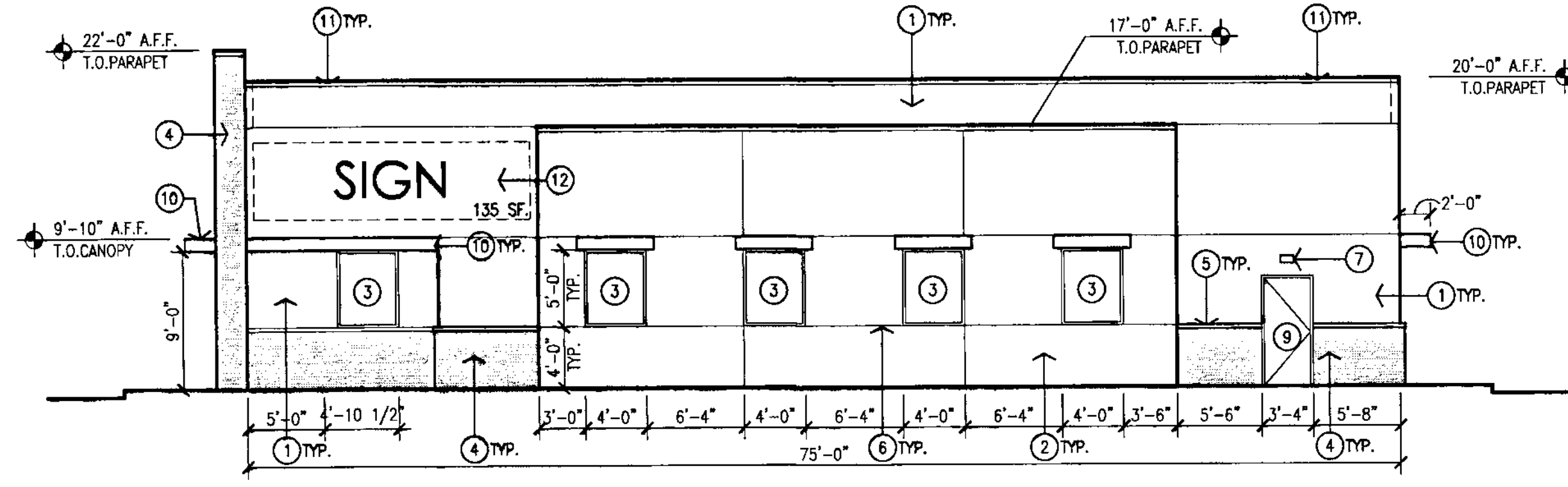
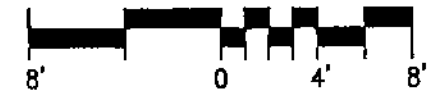
project file job number 13-25 drawn by jd project manager Douglas Heller, AIA date 04/29/14

Coors and Central Retail Development SouthWest Corner of Coors Boulevard and Central Avenue SW, Albuquerque, New Mexico 87121  
sheet- Landscape Plan for Administrative Amendment  
L001



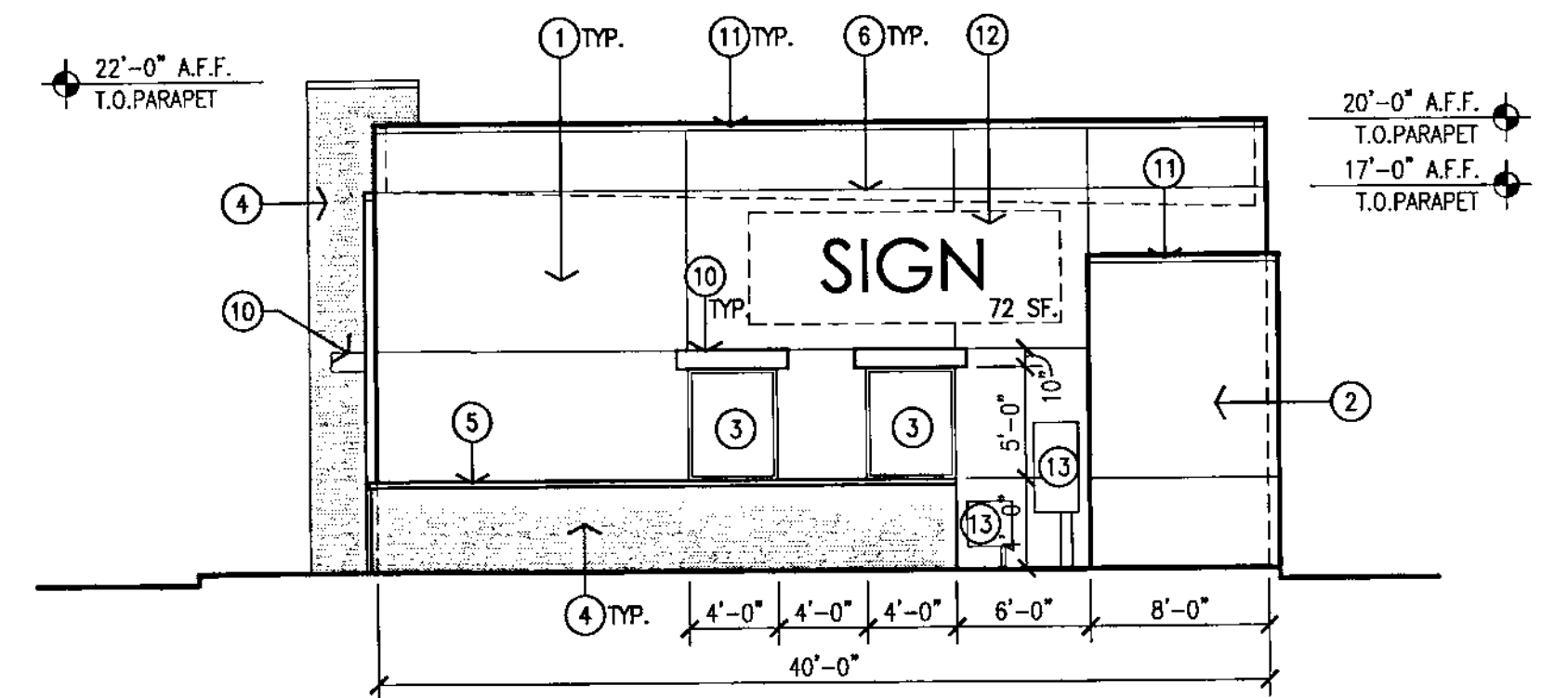
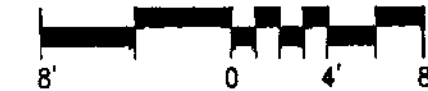
1 North Exterior Elevation

Scale: 1/8"=1'-0"



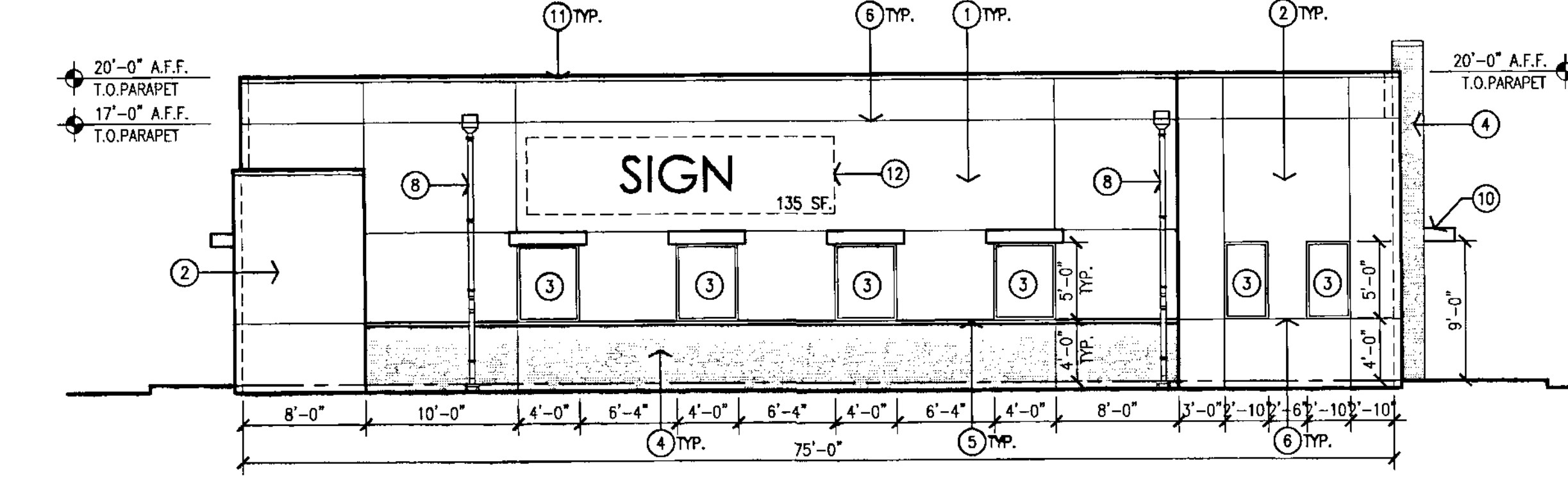
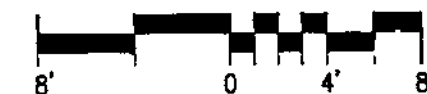
2 West Exterior Elevation

Scale: 1/8"=1'-0"



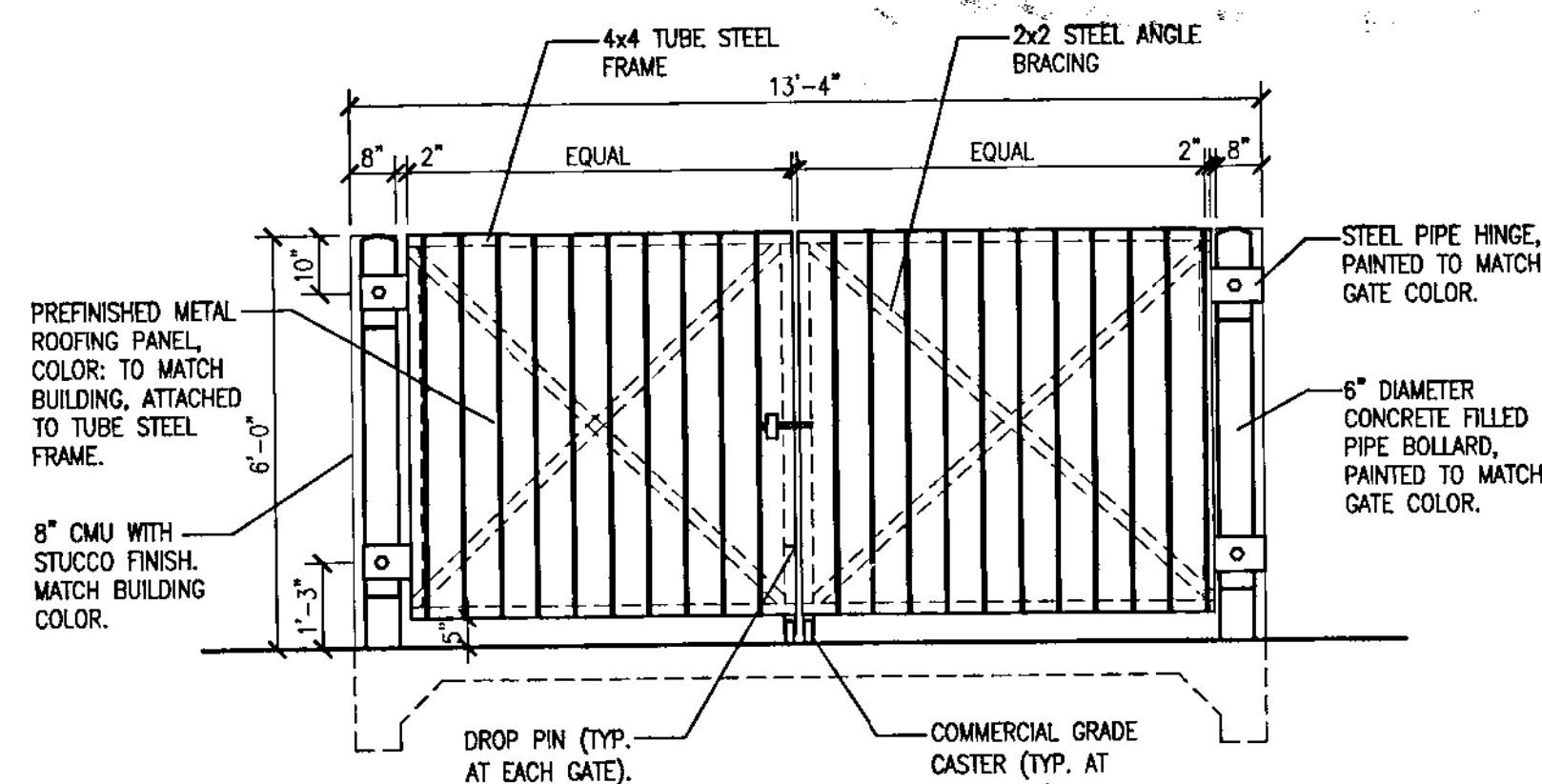
3 South Exterior Elevation

Scale: 1/8"=1'-0"



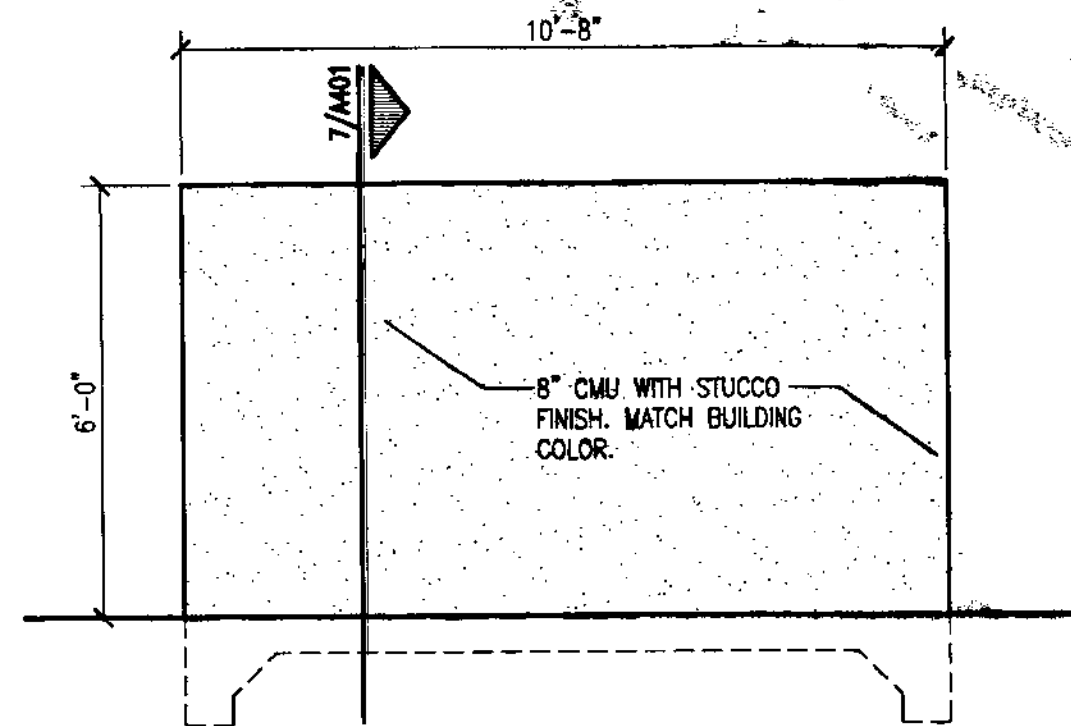
4 East Exterior Elevation

Scale: 1/8"=1'-0"



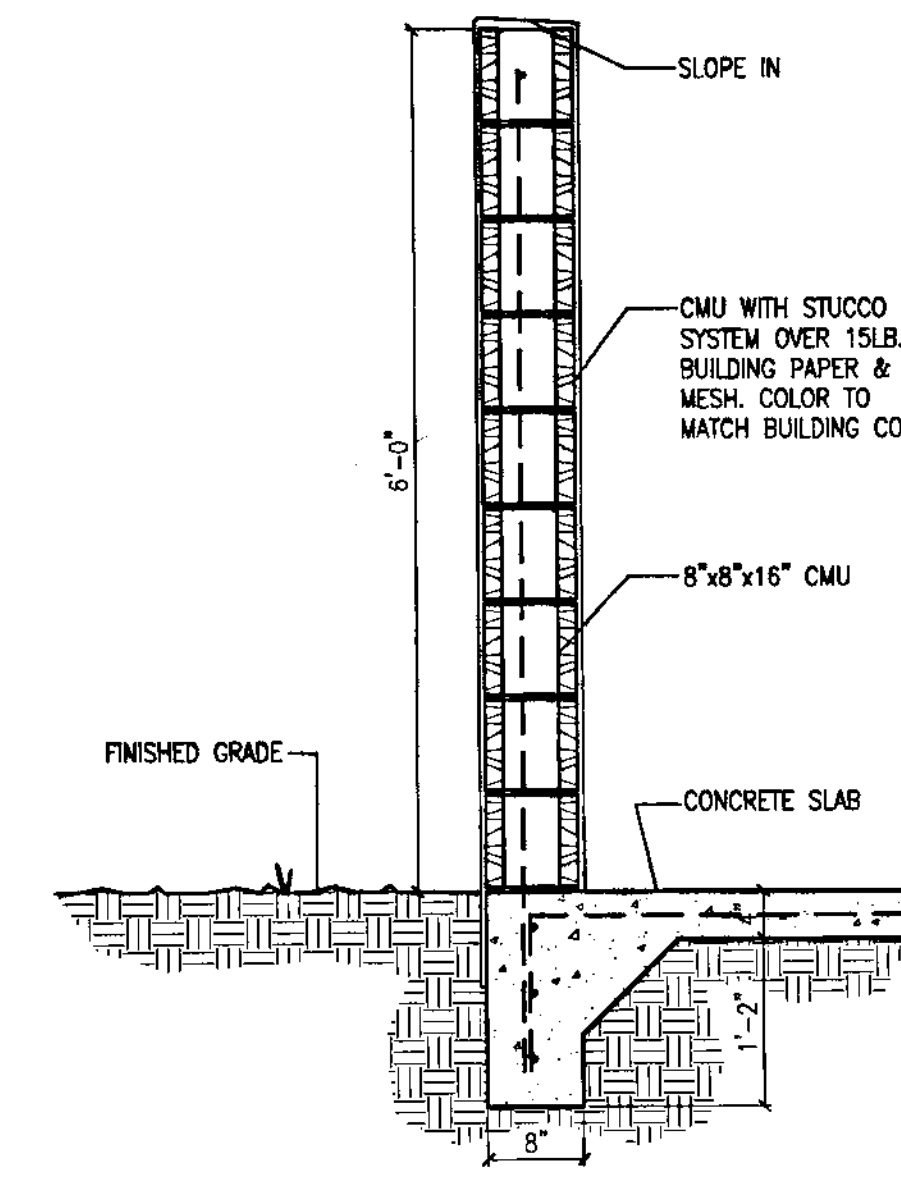
5 Dumpster Enclosure Front Elevation

Scale: 3/8"=1'-0"



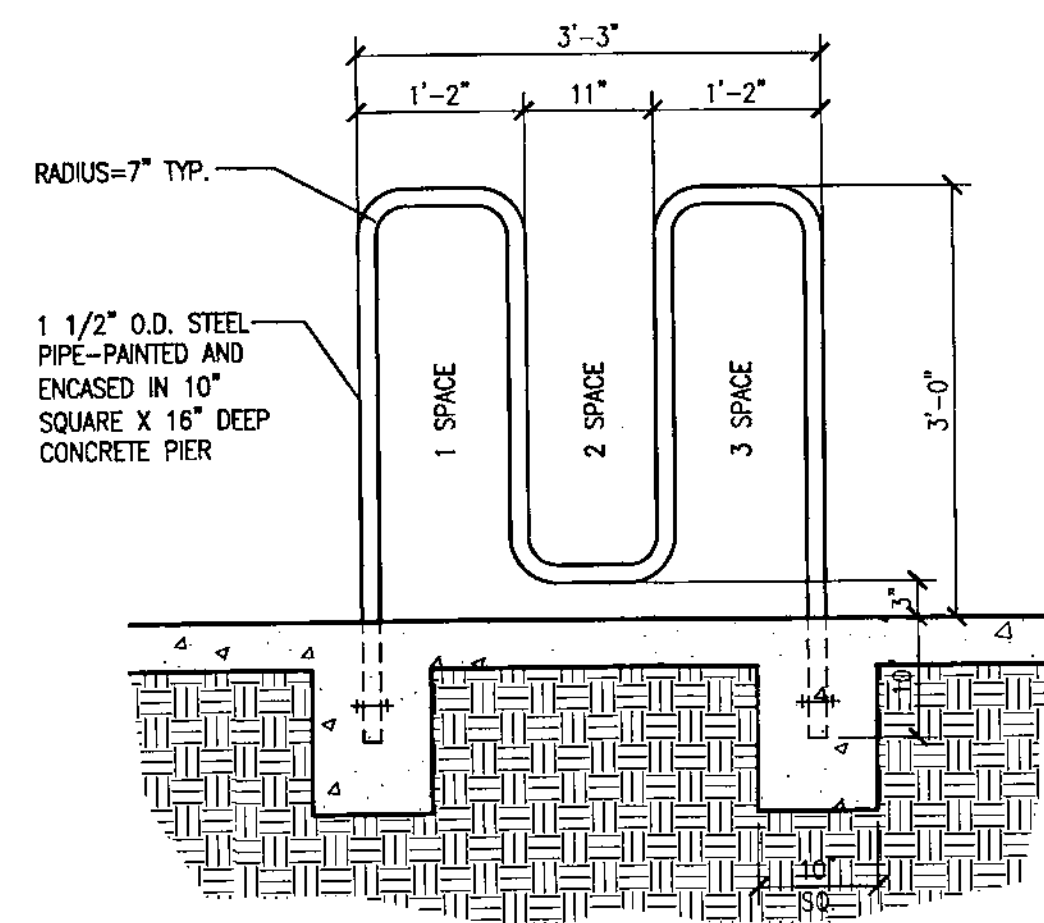
6 Dumpster Enclosure Side Elevation

Scale: 3/8"=1'-0"



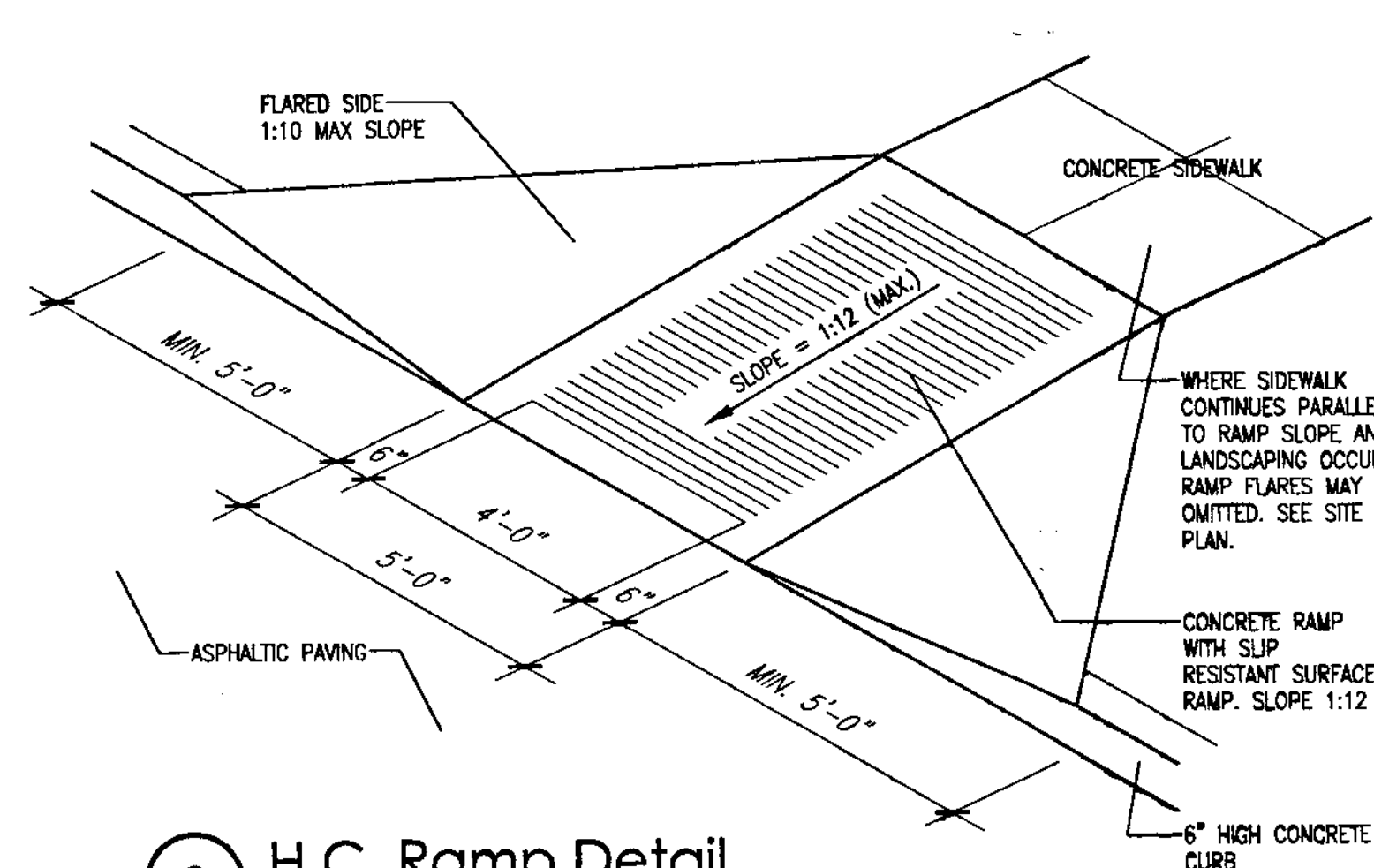
7 Refuse Enclosure Wall Section

Scale: 1"=1'-0"



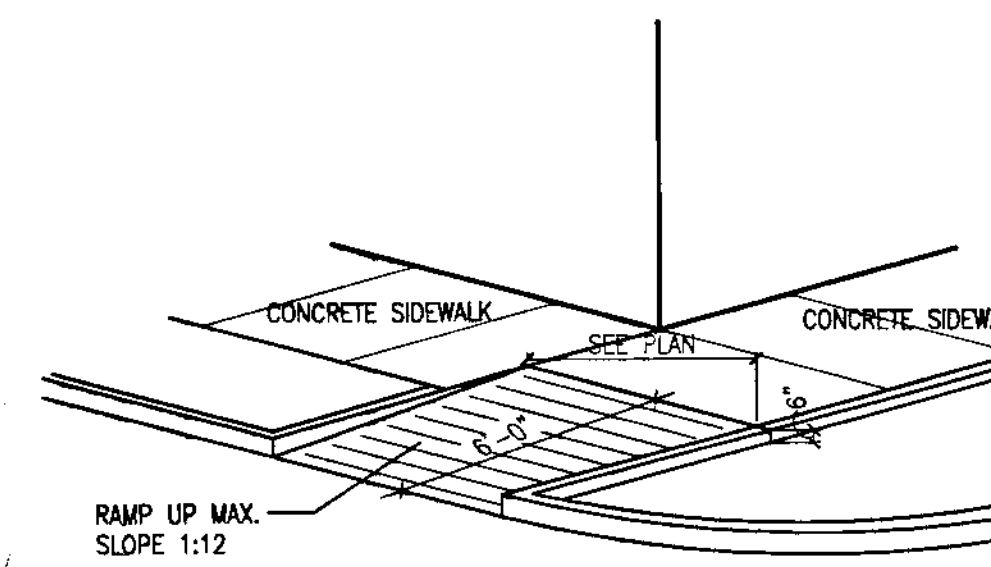
8 Bicycle Rack Detail

Scale: 3/4"=1'-0"



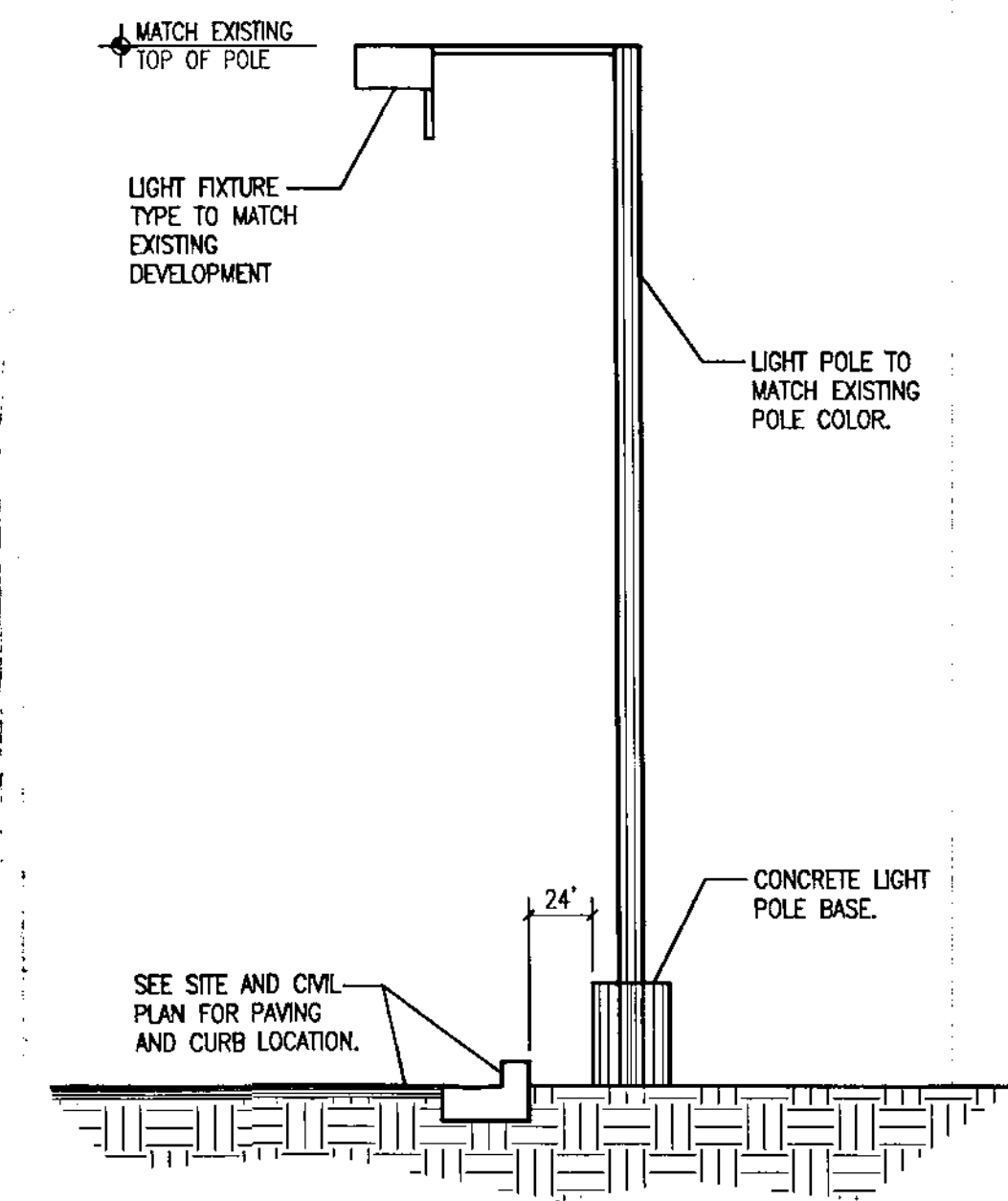
9 H.C. Ramp Detail

Scale: Not To Scale (Isometric)



10 H.C. Ramp Detail

Scale: Not To Scale (Isometric)



11 Light Pole Elevation Detail

Scale: 1"=1'-0"

GENERAL NOTES:  
 [A] ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, UNLESS OTHERWISE NOTED.  
 [B] EXTERIOR MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED. LOCATION OF SUCH EQUIPMENT WITHIN THE BUILDING OR AT GROUND LEVEL IS PREFERABLE TO ROOF-MOUNTING, UNLESS SUCH LOCATION WOULD ADVERSELY AFFECT THE STREETScape, PEDESTRIAN CIRCULATION, OR OPEN SPACE. ROOF MOUNTED EQUIPMENT SHOULD BE OF A LOW PROFILE TO MINIMIZE THE SCREENING PROBLEM.

KEYED NOTES:  
 [1] TWO-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH. COLOR LIGHT TAN TO MATCH EXISTING DEVELOPMENT.  
 [2] TWO-COAT STUCCO SYSTEM WITH ELASTOMERIC FINISH. ACCENT COLOR DARK TAN TO MATCH EXISTING DEVELOPMENT.  
 [3] CLEAR ANODIZED ALUMINUM STOREFRONT WINDOW SYSTEM WITH TINTED GLAZING.  
 [4] CULTURED STONE VENEER. COLOR TO BE SHADES OF LIGHT AND DARK TAN.  
 [5] CULTURED STUCCO CAP. COLOR TO BE LIGHT TAN.  
 [6] STUCCO CONTROL JOINT, TYP.  
 [7] LIGHT WALL PACK OVER DOOR, CENTER.  
 [8] PREFINISHED COLLECTOR BOX AND DOWNSPOUT WITH OVERFLOW OPENING. COLOR TO MATCH MAIN BUILDING COLOR.  
 [9] HOLLOW METAL DOOR, PAINTED TO MATCH BUILDING ACCENT COLOR.  
 [10] TUBE STEEL CANOPY WITH PREFINISHED METAL ROOFING. COLOR TO BE MEDIUM SILVER.  
 [11] PREFINISHED SHEET METAL PARAPET CAP. COLOR TO MATCH BUILDING MAIN COLOR.  
 [12] INTERNALLY ILLUMINATED CHANNEL LETTER SIGN, TYPICAL.  
 [13] GAS AND ELECTRICAL METER LOCATIONS.

SIGNAGE CALCULATIONS:  
 BUILDING MOUNTED:  
 NORTH ELEVATION— 800 SF x 9%  
 72 SF ALLOWED  
 72 SF ILLUMINATED PROVIDED  
 WEST ELEVATION— 1500 SF x 9%  
 135 SF ALLOWED  
 135 SF ILLUMINATED PROVIDED  
 EAST ELEVATION— 1500 SF x 9%  
 135 SF ALLOWED  
 135 SF ILLUMINATED PROVIDED  
 SOUTH ELEVATION— 800 SF x 9%  
 72 SF ALLOWED  
 72 SF ILLUMINATED PROVIDED

revision

by

date

rev



Mullen Heller  
 Architecture P.C.

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 505 268 4244 [f]

13-25

mws

project manager

Douglas Heller, AIA

drawn by

sheet title

05/21/14

job number

date

project manager

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project title  
 Coors and Central Retail Development  
 Southwest Corner of Coors Boulevard and Central Avenue SW,  
 Albuquerque, New Mexico 87121

sheet title  
 Exterior Elevations

Page 4 of 4

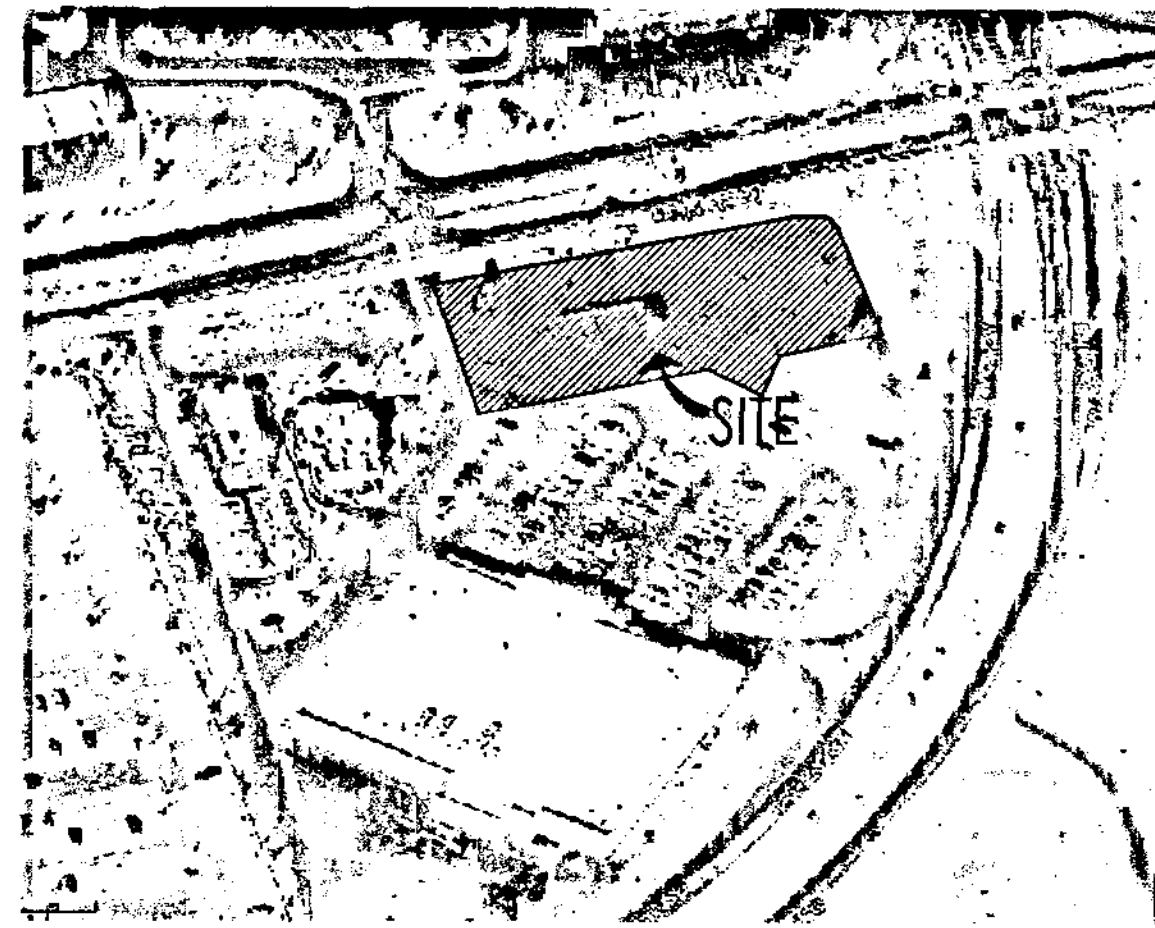
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ZONING'S  
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TO BE FILED W/  
17 AA-10039  
#1006543  
6600 CENTRAL  
AVE.

LINE TABLE		
LINE	LENGTH	BEARING
L1	31.55' (31.57')	S 28°56'24" W (S 29°00'47" W)
L2	32.93' (32.81')	S 60°55'26" E (S 60°59'13" E)
L3	14.89' (14.76')	N 75°07'36" E (N 75°07'18" E)
L4	32.72'	S 15°25'49" E
L5	17.10'	N 74°59'38" E
L6	18.50'	N 74°34'11" E
L7	20.73'	S 15°25'49" E
L8	18.50'	N 74°59'38" E

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	39.21' (39.21')	25.00' (25.00')	89°52'02"	35.31' N 59°56'23" W

VICINITY MAP:



EASEMENT KEYED NOTES:

- EXISTING 10' P.U.E. (10/01/2007, 2007C-283)
- EXISTING PRIVATE CROSS LOT PRIVATE ACCESS, PARKING, AND PRIVATE UTILITY EASEMENT TO BENEFIT AND BE MAINTAINED BY ALL LOTS (8/28/1998, 9814-7205)
- EXISTING 30' PRIVATE ACCESS EASEMENT (8/28/88, BK. 9814, PG. 7205)
- EXISTING CROSS LOT DRAINAGE EASEMENT (8/10/1998, 98C-236)
- EXISTING 6' PUBLIC SIDEWALK EASEMENT (06/19/09, 2009C-73)

KEYED NOTES:

- PROPOSED REFUSE ENCLOSURE WITH STUCCO FINISH TO MATCH BUILDING COLOR.
- PROPOSED LANDSCAPING AREA REFER TO LANDSCAPING PLAN.
- PROPOSED HANDICAP PAVEMENT SIGN.
- PROPOSED STAMPED CONCRETE HANDICAP AISLE.
- PROPOSED ASPHALT PAVING.
- PROPOSED SITE LIGHTING. HEIGHT NOT TO EXCEED 20' TALL.
- PROPOSED BIKE RACK WITH 3 SPACES.
- PROPOSED CONCRETE SIDEWALK.
- PROPOSED STAMPED CONCRETE PEDESTRIAN CONNECTION.
- PROPOSED PAINTED PARKING STRIPING.
- EXISTING FIRE HYDRANT TO BE REMAIN.
- PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING BUS STOP AND SHELTER TO REMAIN.
- PROPOSED HANDICAP RAMP.
- PROPOSED HANDICAP PARKING SIGNS. "VAN" WHERE NOTED.
- PROPOSED 4'-0" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE.
- EXISTING CONCRETE SIDEWALK.
- EXISTING PROPERTY LINES AND LIMITS OF CONSTRUCTION.
- EXISTING LANDSCAPING TO REMAIN. REFER TO LANDSCAPING PLAN.
- EXISTING CITY CURB AND GUTTER TO REMAIN.
- EXISTING PARKING ISLAND TO REMAIN.
- EXISTING PARKING LOT LIGHTING TO REMAIN.
- TIE EXISTING AND PROPOSED CURBING TOGETHER.
- PROPOSED PAINTED DIRECTION ARROW ON PAVEMENT.
- PROPOSED PAINTED "ONE WAY ONLY" AND "DO NOT ENTER" PAVEMENT SIGNAGE.
- EXISTING PARKING LAYOUT AS APPROVED WITH DEVELOPMENT.
- EXISTING SITE ENTRANCE TO REMAIN.
- EXISTING DRAINAGE INLET TO REMAIN. REFER TO GRADING AND DRAINAGE PLAN.
- EXISTING BUS STOP AND SHELTER TO REMAIN. TIE EXISTING AND PROPOSED CURBING TOGETHER.
- SIDEWALK CULVERT WITH METAL GRATE TOP TO BE FLUSH WITH TOP OF CONCRETE SIDEWALK. REFER TO CIVIL.
- LANDSCAPING SWALE, REFER TO CIVIL.
- 24" WIDE CURB OPENING.
- NEW ELECTRICAL TRANSFORMER LOCATION. REFER TO ELECTRICAL SITE PLAN.

SITE DEVELOPMENT DATA:

- LEGAL DESCRIPTION:  
LOT 2 OF ALBERTSONS AT COORS SW, AS SHOWN ON THE PLAT ENTITLED "LOTS 1 AND 2, ALBERTSONS AT COORS SW, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO"
- LAND AREA:  
0.9357 ACRES (40,761 SQ. FT.)
- CURRENT ZONING:  
C-2 (WEST ROUTE 66 SECTOR DEVELOPMENT PLAN)
- ZONE ATLAS PAGE:  
K-10-2
- PROPOSED USES:  
- ALL USES PERMITTED IN THE C-2 ZONES
- BUILDING AREAS:  
PROPOSED BUILDING A 2,800 SF.  
PROPOSED BUILDING B 2,900 SF.  
TOTAL BUILDING AREA = 5,700 SF.
- SITE DEVELOPMENT GENERAL NOTES:  
[A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.  
[B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.  
[C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.  
[D] EXTERIOR MOUNTED MECHANICAL AND ELECTRICAL EQUIPMENT SHALL BE ARCHITECTURALLY SCREENED. LOCATION OF SUCH EQUIPMENT WITHIN THE BUILDING OR AT GROUND LEVEL IS PREFERABLE TO ROOF-MOUNTING, UNLESS SUCH LOCATION WOULD ADVERSELY AFFECT THE STREETSCAPE, PEDESTRIAN CIRCULATION, OR OPEN SPACE. ROOF MOUNTED EQUIPMENT SHOULD BE OF A LOW PROFILE TO MINIMIZE THE SCREENING PROBLEM.
- SITE DEVELOPMENT SITE LIGHTING NOTES:  
[A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.  
[B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL MATCH EXISTING.  
[C] LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 32 FEET MAXIMUM.  
[D] SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED UPLIGHTING SHALL BE PROHIBITED.

PARKING CALCULATIONS: PROPOSED DEVELOPMENT

PROPOSED BUILDING A	2,800 SF/200 =	14 SPACES
PROPOSED BUILDING B	2,900 SF/200 =	15 SPACES
TOTAL REQUIRED		29 SPACES

TRANSIT REDUCTIONS:  
29 SPACES REQ'D x 15% REDUCTION =  
(PROXIMITY TO BUS STOP AND ROUTE 766, 66 & 155)  
29 x 15% = 25 TOTAL SPACES REQUIRED

**TOTAL PARKING SPACES REQUIRED = 25 SPACES**  
**TOTAL PARKING SPACES PROVIDED = 25 SPACES**

22 REGULAR SPACES  
2 HANDICAP PARKING SPACES  
1 COMPACT SPACE

DISABLED PARKING REQUIREMENTS:  
TOTAL DISABLED SPACES REQUIRED = 2 SPACES  
TOTAL DISABLED SPACES PROVIDED = 2 SPACES

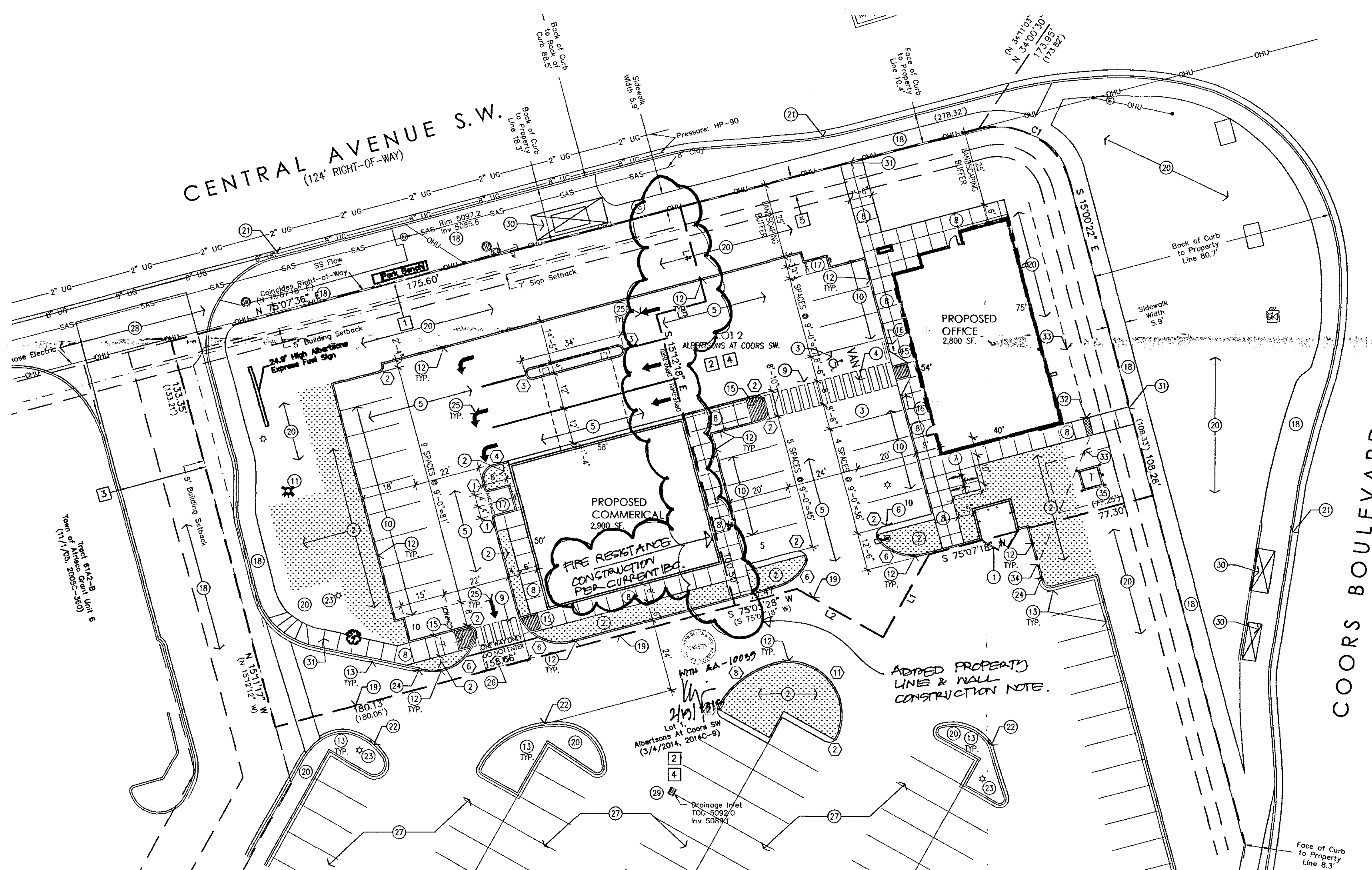
MOTORCYCLE REQUIREMENTS:  
TOTAL MOTORCYCLE SPACES REQUIRED = 5 SPACES  
TOTAL MOTORCYCLE SPACES PROVIDED = 2 SPACES

COMMERCIAL BICYCLE REQUIREMENTS:  
1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =  
25 PARKING SPACES/20 = 1 TOTAL SPACES REQUIRED

TOTAL BICYCLE SPACES REQUIRED = 1 SPACE  
TOTAL BICYCLE SPACES PROVIDED = 3 SPACES

RADIUS INFORMATION:

1 = 2'-0"	5 = 10'-0"	9 = 35'-0"
2 = 3'-0"	6 = 15'-0"	10 = 40'-0"
3 = 4'-0"	7 = 25'-0"	11 = 18'-0"
4 = 5'-0"	8 = 30'-0"	



6600 Central Ave SW  
Amended Site Development Plan for Building Permit  
Scale: 1"=20'-0"

job number 13-25  
drawn by rmx  
project manager Douglas Heller, AIA  
date 05/14

project file Coors and Central Retail Development  
sheet SouthWest Corner of Coors Boulevard and Central Avenue SW, Albuquerque, New Mexico 87121  
sheet file Site Plan for Administrative Amendment

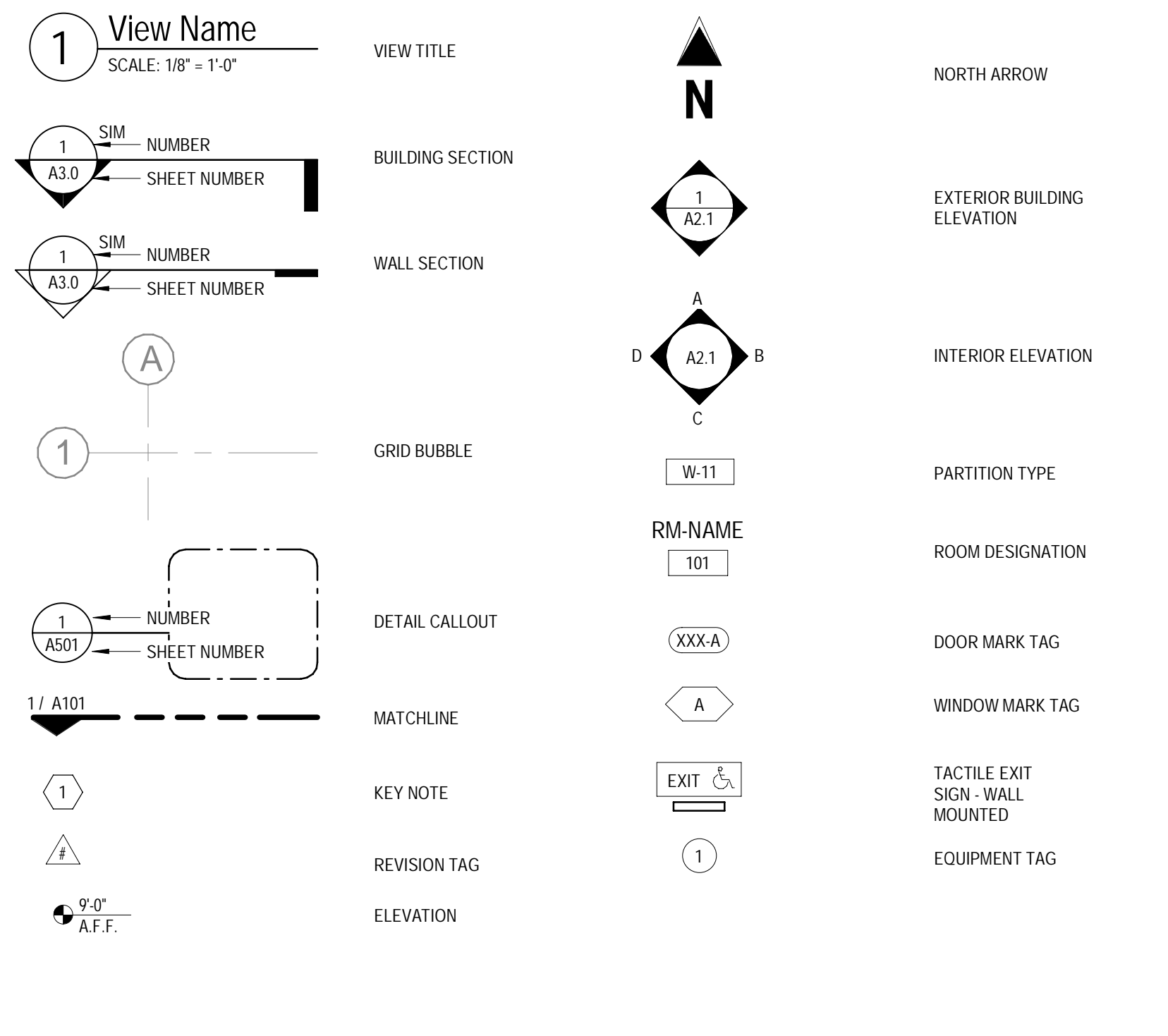
**ABBREVIATIONS**

A	AT	FRP	FIBER REINFORCED PANEL	PP	POWER POLE
AB	ANCHOR BOLT	FRT	FIRE RETARDANT TREATED WOOD	PR	PAIR
ABV	ABOVE	FT	FOOT	PSF	POUNDS PER SQUARE FOOT
AC	AIR CONDITIONER	FTG	FOOTING	PSI	POUNDS PER SQUARE INCH
ACT	ACOUSTIC TILE CEILING	GA	GALVE	PT	PRESSURE TREATED
ADD	ADDENDUM	G	GA	PTD	PAPER TOWEL DISPENSER
ADJ	ADJACENT	GALV	GALVANIZED	PTR	PAPER TOWEL RECEIVER
ADJT	ADJUSTABLE	GB	GRAB BARS	PVC	POLYVINYL CHLORIDE
AFF	ABOVE FINISHED FLOOR	GC	GENERAL CONTRACTOR	PMT	PAVEMENT
ALT	ALTERNATE	GI	GALVANIZED IRON	PWD	PLYWOOD
ALUM	ALUMINUM	GL	GLASS	R	R
AMP	AMPERES	GR	GRADE	RA	RETURN AIR
ANCR	ANCHOR	GWH	GAS WATER HEATER	RAD	RADIANCE
ANOD	ANODIZED	GYP	GYP/SUM BOARD	RB	RUBBER BASE
APPROX	APPROXIMATE	H	HOSE BIBB	RD	ROOF DRAIN
ARCH	ARCHITECTURAL	HC	HOLLOW CORE	REC	RECESSED
ASPH	ASPHALT	HD	HEAD	REF	REFERENCE/REFER
B	BOTTOM OF BOARD	HEN	HOLD-DOWN	REIN	REINFORCED
B.D.	BUILDING	HGR	HANGER	REQD	REQUIRED
BLDG	BLOCK	HMD	HOLLOW METAL	RET	RETAINING
BLK	BLOCKING	HMF	HOLLOW METAL DOOR	REV	REVISION
BLKG	BLOCKING	HNF	HOLLOW METAL FRAME	ROOM	ROOM
BM	BEAM	HORZ	HORIZONTAL	RO	ROUGH OPENING
BM	BENCH MARK	HRD	HARD	ROW	RIGHT OF WAY
BOT	BOTTOM	HSS	HOLLOW STRUCTURAL STEEL SECTION	RS	ROUGH SAWN
BP	BASE PLATE	HT	HEIGHT	RSC	ROUGH SAWN CEDAR
BRT	BRONZE	HTG	HEATING	S	SOUTH
BTU	BRITISH THERMAL UNIT	HVAC	HEATING/VENTILATING/AIR CONDITIONING	S&V	STAIN AND VARNISH
BUR	BUILT-UP ROOF	I	INSIDE DIAMETER	S.DISP.	SOAP DISPENSER
C	CABINET	IN	INCHES	SAT	SATURATED
CAB	CATCH BASIN	ID	INSIDE DIAMETER	SC	SOLID CORE
CB	CATCH BASIN	IN	INCHES	SCH	SCHEDULE
CEM	CEMENT	INCL	INCLUDE	SD	STORM DRAIN SECTION
CFT	CUBIC FOOT	INSUL	INSULATION	SEC	SQUARE FOOT
CI	CAST IRON	INT	INTERIOR	SHT	SHEET
CIP	CAST IN PLACE	J	JANITOR CLOSET	SHTG	SHEATHING
CJ	CONTROL JOINT	JC	JOIST	SM	SHIM
CL	CENTER LINE CLEARANCE	JT	JOINT	SOG	SLAB ON GRADE
CLR	CONCRETE MASONRY UNIT	ST	STAINLESS STEEL	SPA	SPACE(S)
CO	CASED OPENING	ST	STAINLESS STEEL	SPEC	SPECIFICATION
CO	CLEAN OUT	STD	STANDARD	SQ	SQUARE
COL	COLUMN	STOR	STORAGE	SS	SANITARY SEWER
CONC	CONCRETE	STRUC	STRUCTURAL	SSK	SERVICE SINK
CONN	CONNECTION	SUSP	SUSPENDED	SST	STAINLESS STEEL
CONST	CONSTRUCTION	SYM	SYMMETRICAL	ST	STEEL
CONT	CONTINUOUS	SYN	SYNTHETIC	STD	STANDARD
CORR	CORRUGATED	T	TOP OF	STOR	STORAGE
CPT	CARPET (ED)	T&B	TOP AND BOTTOM	STRUC	STRUCTURAL
CYD	CUBIC YARD	LV	LINEAL FOOT	SUSP	SUSPENDED
D	DRYER	LG	LONG	SYM	SYMMETRICAL
DBL	DOUBLE	LV	LONG LEG HORIZONTAL	SYN	SYNTHETIC
DEM	DEMOLITION	LL	LONG LEG VERTICAL	T	TOP OF
DEV	DEVELOPMENT	LT	LONG LEG VERTICAL	T&B	TOP AND BOTTOM
DF	DRINKING FOUNTAIN	LW	LONG LEG VERTICAL	T&G	TONGUE AND GROOVE
DH	DOUBLE HUNG	LV	LONG LEG VERTICAL	T.O.	TOP OF
DI	DROP INLET	LWB	LONG LEG VERTICAL	T.O.S.	TOP OF STEEL
DIA	DIAMETER	LX	LONG LEG VERTICAL	TICK	TICK
DIAG	DIAGONAL	M	MASONRY	TEL	TELEPHONE
DM	DIMENSION	MATL	MATERIAL	TEMP	TEMPERED
DIST	DISTRIBUTED	MATL	MATERIAL	THK	THICK
DNV	DIVISION	MCM	MASONRY CONTROL	THRD	THREADED
DL	DEAD LOAD	MCT	MASONRY CONTROL	TV	TELEVISION
DN	DOWN	MJ	MASONRY CONTROL	TV	TELEVISION
DR	DOOR	MK	MASONRY CONTROL	TV	TELEVISION
DS	DOWN SPOUT	MK	MASONRY CONTROL	TV	TELEVISION
DTL	DETAIL	MNF	MECHANICAL	TYP	TYPICAL
DW	DISHWASHER	MFG	MANUFACTURING	U	UNLESS NOTED OTHERWISE
DWG	DRAWING	MFR	MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
E	EAST	MH	MANHOLE	UR	URNAL
EA	EACH	MN	MINIMUM	V	VARIABLE
EF	EACH FACE	MIR	MIRROR	VAR	VARIABLE
EFS	EXTERIOR FINISH SYSTEM	MISC	MISCELLANEOUS	VCT	VINYL COMPOSITION TILE
EJ	EXPANSION JOINT	MO	MASONRY OPENING	VERT	VERTICAL
ELEC	ELECTRICAL	MTD	MOUNTED	VF	VERIFY IN FIELD
ELEV	ELEVATION	MTL	METAL	VR	VAPOR RETARDER
EMER	EMERGENCY	MUL	MULLION	VWC	VINYL WALL COVERING
EQ	EQUAL	N	NORTH	W	WEST
EW	EACH WAY	NC	NOT IN CONTRACT	W	WEST
EW	ELECTRIC WATER HEATER	NO. #	NUMBER	W.F.M.	WELDED FRAME
EXH	EXHAUST	NOM	NOMINAL	W	WITH
EXP	EXPOSED	NTS	NOT TO SCALE	W/O	WITHOUT
EXT	EXTERIOR	O	OVERALL	WB	WOOD BASE
F	FACE BRICK	OA	OVERALL	WC	WATER CLOSET
FBO	FURNISHED BY OTHERS	OC	OUTSIDE DIAMETER OR OVERFLOW DRAIN	WD	WOOD
FD	FLOOR DRAIN	OFD	OWNER FURNISHED CONTRACTOR INSTALLED	WF	WIDE FLANGE
FDN	FOUNDATION	OH	OVER HEAD	WH	WALL HYDRANT
FE	FIRE EXTINGUISHER	OPNG	OPENING	WHS	WELDED HEADED STUD
FE	FIRE EXTINGUISHER AND CABINET	OPP	OPPOSITE	WIN	WINDOW
FF	FINISHED FLOOR ELEVATION	OWN	OWNER	WP	WATERPROOFING
FFE	FINISHED FLOOR ELEVATION	OVSJ	OPEN WEB STEEL JOIST	WT	WEIGHT
FIN	FINISH	P	PRECAST	WTW	WALL TO WALL
FLR	FLOORING	PC	PRECAST	WWF	WELDED WIRE FABRIC
FLSH	FLASHING	PEJ	PREMOLDED EXPANSION JOINT		
FOC	FACE OF CONCRETE	PERF	PERFORATED		
FOF	FACE OF FINISH	PF	PRE FINISHED		
FOM	FACE OF MASONRY	PL	PLATE		
FOS	FACE OF STUD	PL	PROPERTY LINE		
FR	FIRE RATED	PLAM	PLASTIC LAMINATE		
FR GYP	FIRE RATED GYPSUM BOARD	PNT	PAINTED		
BD	BOARD	POS	POINT OF SALE		

**PROJECT INFORMATION**

<b>OWNER / DEVELOPER</b>	<b>BUILDING DEPARTMENT</b>	<b>WATER</b>
CHUZE FITNESS 1011 CAMINO DEL RIO SOUTH, SUITE 350 SAN DIEGO, CA 92108 ATTN: TIM FUMBARA TEL: (652) 265-7587	CITY OF ALBUQUERQUE PLANNING PLAZA DE SOL BUILDING 600 NW ALBUQUERQUE, NM 87102 TEL: (505) 924-3860	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY 1441 MISSION AVE. ALBUQUERQUE, NM 87113 TEL: (505) 894-0444
<b>ARCHITECT</b>	<b>HEALTH DEPARTMENT</b>	<b>SANITARY &amp; STORM SEWER</b>
MG2 CORPORATION 3333 MICHELSON DR., STE. 100 IRVINE, CA 92612 ATTN: AUCIA DEL CADILLO TEL: (949) 705-7500	CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH 1 CIVIC PLAZA NW ALBUQUERQUE, NM 87102 TEL: (505) 768-2000	ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY 1441 MISSION AVE. ALBUQUERQUE, NM 87113 TEL: (505) 842-9287
<b>ELECTRICAL</b>	<b>UTILITY CONTACTS:</b>	
GAUSMAN AND MOORE, DIV OF AYRES 3433 OAKHILLS PARKWAY EAU CLAIRE, WI 54701 ATTN: LYSSA GORANSON TEL: (661) 291-4265	<b>ELECTRIC/GAS</b> PUBLIC SERVICE COMPANY OF NEW MEXICO 414 SILVER AVE., SW ALBUQUERQUE, NM 87102 TEL: (505) 241-2700	
<b>MECH/PLUMBING</b>		
GAUSMAN AND MOORE, DIV OF AYRES 3433 OAKHILLS PARKWAY EAU CLAIRE, WI 54701 ATTN: ANDREW WILKINSON TEL: (661) 291-4265		
<b>STRUCTURAL</b>		
KPFF CONSULTING ENGINEERS 18400 VON KARMANN AVE. STE. 400 IRVINE, CA 92612 ATTN: DINA ELSAWY TEL: (949) 252-1022		
<b>INTERIOR DESIGN</b>		
IDM STUDIO 1356 ANNAPOLIS WAY GRAYSON GA ATTN: HEATHER MOORE TEL: (404) 307-4611		

**SYMBOL - LEGEND**



**KEYNOTES LEGEND**

A0101	DEMOLITION KEYNOTES
A101	ARCHITECTURAL SITE PLAN KEYNOTES
A131	ROOF PLAN KEYNOTES
A201	EXTERIOR ELEVATION KEYNOTES
A400	REFLECTED CEILING, ENLARGED FLOOR PLAN AND ELEVATION KEYNOTES
A500	EXTERIOR ELEVATION KEYNOTES

**DELEGATED DESIGN SUBMITTALS**

- FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM
- EXTERIOR AND INTERIOR SIGNAGE
- SAUNA ROOM AND EQUIPMENT

**PLUMBING FIXTURE CALCULATIONS**

OCCUPANCY	TOTAL OCCUPANTS	WATER CLOSETS / URINALS		LAVATORIES		DRINKING FOUNTAINS	BATHTUB / SHOWERS	SERVICE SINKS
		FEMALE	MALE	FEMALE	MALE			
A-3	1020	7.85	4.08	2.55	2.55	2.04	0	0
B	56	1.12	1.12	0.70	0.70	0.56	0	0
E	48	0.48	0.48	0.48	0.48	0.48	0	0
I-4	3	0.13	0.13	0.13	0.13	0.48	1	1
S-1	12	0.06	0.06	0.06	0.06	0.01	0	0
TOTAL REQUIRED FIXTURES		10	6	4	4	4	1	1
TOTAL PROVIDED FIXTURES		10	7	4	5	10	4	4

**REFERENCE STANDARD 2015 IBC, TABLE 2902.1**

OCCUPANCY	RATIOS	WATER CLOSETS / URINALS		LAVATORIES		DRINKING FOUNTAINS	BATHTUB / SHOWERS	SERVICE SINKS
		FEMALE	MALE	FEMALE	MALE			
A-3	1 PER:	65	125	200	200	500	N/A	1
B	1 PER:	25	25	40	40	100	N/A	1
E	1 PER:	50	50	50	50	100	N/A	1
I-4	1 PER:	15	15	15	15	100	1	1
S-1	1 PER:	100	100	100	100	1000	N/A	1

- 50% OF REQUIRED FIXTURES MAY BE URINALS
- HALF OF DRINKING FOUNTAINS ARE ADA ACCESSIBLE
- FAMILY RESTROOM MAY BE COUNTED AS PART OF THE REQUIRED MALE OR FEMALE COUNT (2902.1.2)

**PROJECT DATA AND CODE ANALYSIS**

PROJECT ADDRESS: 6600 CENTRAL AVE. SW., ALBUQUERQUE, NM, 87121

APPLICABLE CODES: 2015 NEW MEXICO COMMERCIAL BUILDING CODE, 2015 NEW MEXICO EXISTING BUILDING CODE, 2015 NEW MEXICO MECHANICAL CODE, 2015 NEW MEXICO PLUMBING CODE, 2017 NEW MEXICO ELECTRICAL CODE, 2015 INTERNATIONAL FIRE CODE, 2009 NEW MEXICO CONSERVATION CODE, 2015 NEW MEXICO EARTH BUILDING MATERIALS CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, 2020 UNIFORM ADMINISTRATIVE CODE UAC ORDINANCE 0-17-40

DESIGN CRITERIA: SEE STRUCTURAL DRAWINGS

ZONE: MX-M

BUILDING ANALYSIS: BUILDING HEIGHT: 26'-4"

BUILDING STORIES: 1

PROPOSED BUILDING OCCUPANCIES: A3, B, E, S1, I4

OCCUPANCY SEPARATION REQUIRED PER IBC 508.3: NOT REQUIRED PER 508.3

GROSS SQUARE FOOTAGE PER OCCUPANCY:

LEVEL	AREA (SF)	OCC. LOAD
A3 (100)	3471 SF	217
A3 (150)	4005 SF	803
B (1700)	3579 SF	39
B (1750)	1491 SF	10
E (175)	1512 SF	44
I4 (125)	81 SF	3
S1 (1000)	455 SF	12
TOTAL SQUARE FOOTAGE:	50845 SF	1128

EXISTING CONSTRUCTION TYPE: II N (2,8), FULLY SPRINKLERED

SPRINKLER IN ACCORDANCE WITH IBC 903.3: YES

EXIT WIDTH FACTOR: 15 / OCC.

NOTE: AN EXIT WIDTH FACTOR OF .15 IS APPLIED PER SECTIONS 903.1.1 OR 903.3.1.2 OF THE IBC. FIRE ALARM AND FIRE SPRINKLER SYSTEMS TO BE INSTALLED PER SECTION 907.5.2.2 OF THE IBC.

BASE ALLOWABLE (CHAPTER 5): 38,000 SF

AREA (SF PER FLOOR) HEIGHT (7) STORIES: 75 FT

AREA INCREASES REQUIRED: YES - UNLIMITED AREA PER IBC 507

ALLOWABLE SQUARE FOOTAGE: UNLIMITED

OCCUPANCY/EXIT CALCULATIONS: EXITS/EXIT WIDTH PER 1065.2 PROVIDED EXITS AND WIDTH: 4 REQUIRED WITH 227'8" TOTAL WIDTH REQUIRED 6 PROVIDED, 1 AT 48', 1 AT 84' AND 4 AT 72'

ACTUAL SQUARE FOOTAGE: 50,845 BOMA CALCULATED SF

TOTAL OCCUPANT LOAD: 1128

**VICINITY MAP**



**SHEET INDEX**

NUMBER	NAME	ISSUED DATE
E000	ELECTRICAL TITLE SHEET	
E100	ELECTRICAL LIGHTING FLOOR PLAN	03/08/22
E110	ELECTRICAL POWER & SYSTEMS FLOOR PLAN	03/08/22
E120	ELECTRICAL ROOF POWER PLAN	03/08/22
E401	ENLARGED ELECTRICAL PLANS	03/08/22
E501	ELECTRICAL DETAILS	
E601	ELECTRICAL ONE LINE & DETAILS	03/08/22

**SHEET INDEX**

NUMBER	NAME	ISSUED DATE
E602	ELECTRICAL SCHEDULES	
E603	ELECTRICAL SCHEDULES	03/08/22
E604	ELECTRICAL PANELBOARD SCHEDULES	03/08/22
E701	ENERGY CALCULATION FORMS	
M000	HVAC TITLE SHEET	
M110	LEVEL 1 HVAC PLAN	03/08/22
M120	ROOF MECHANICAL PLAN	03/08/22
M401	ENLARGED HVAC PLANS	03/08/22
M601	HVAC SCHEDULES	03/08/22
M701	MECHANICAL COMCHECK FORMS	03/08/22
P000	PLUMBING TITLE SHEET	
P110	LEVEL 1 PLUMBING PLAN	03/08/22
P120	ROOF PLUMBING PLAN	03/08/22
P401	ENLARGED PLUMBING PLANS	03/08/22
P601	PLUMBING SCHEDULES	03/08/22
P602	PLUMBING DIAGRAMS	03/08/22

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COORS & CENTRAL - CHUZE ALBUQUERQUE  
6600 CENTRAL AVE., SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

COVER SHEET

G001



Mitchell C. Smith, Architect  
No. 2929  
03/14/2022  
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Drawn by: MG2  
Checked by: MG2

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

#	Date	Issue/Description
12/17/21	25%	SUBMITTAL
01/05/22	75%	SUBMITTAL
01/14/22	PERMIT SET	
01/31/22	100%	SUBMITTAL
03/17/22	PERMIT SET	

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

RESPONSIBILITY SCHEDULE/REQUIRED VENDORS

G002

RESPONSIBILITY SCHEDULE

ITEM	SPEC NUMBER	DESCRIPTION	VENDOR #	CONNECTIONS			SUPPLIED BY	RECEIVED BY	INSTALLED BY	CONNECTED BY	REMARKS
				ELECTRICAL	MECHANICAL	PLUMBING					
05 - METALS											
1		TELEVISION MOUNTING UNISTRUT	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	TV MOUNTING POLES, BY AV/IT VENDOR (27)
2		BANNER ANCHOR BOLTS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	BANNERS FOR BUILDING AND SKID SIGNAGE WILL BE PROVIDED BY CHUZE DESIGNATED SIGN VENDOR
06 - WOODS, PLASTICS, AND COMPOSITES											
3	066400	WALLS - FIBER REINFORCED PLASTIC PANELS (FRP)	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
08 - OPENINGS											
4	081113	STEEL DOORS AND FRAMES	32	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
5	081400	WOOD DOORS	32	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
6	084113	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
7	087100	DOOR HARDWARE	32	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
8		SKYLIGHTS	34	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
09 - FINISHES											
9	095123	ACOUSTICAL TILE CEILINGS	31	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	BLACK CEILING TILES: EXPECTED LEAD TIME OF 2-3 WEEKS
10	099123	CINEMA PROJECTOR SCREEN PAINT	09	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
11	325200	FLOORING - ARTIFICIAL TURF	08	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
12	096813 / 096816	FLOORING - CARPET	07	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
13	096519	FLOORING - LUXURY VINYL TILE	04, 05, 06	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
14	096516	FLOORING - RUBBER, VINYL ROLL, RESILIENT SHEET	06	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
15	093013	FLOORING, WALLS & BASE - CERAMIC/PORCELAIN/GLASS TILE	01, 02, 03	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
16	099113 / 099123	PAINT - INTERIOR & EXTERIOR	09	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
17	096513	TRANSITIONS AND NOSING	01, 13	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
18	097203	WALLOVERING / WALL PROTECTION	10, 11, 12	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
19	096513	WALLS - RESILIENT BASE	14	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
20	096223	WD-4 BAMBOO	07	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	ALL ADHESIVES CONTRACTOR SUPPLIED - SEE SPECS
21	074623	WOOD CLADDING - EXTERIOR	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
10 - SPECIALTIES											
22		ACOUSTICAL SOUND CURTAINS (CINEMA & HYDRO LOUNGE)	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
23		ARTWORK	19	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
24	102800	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED	33	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
25		CEILING MOUNT CIRCUIT TIMER	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
26	102800	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
27	102600	CORNER GUARDS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
28	102800	ELECTRIC HAND DRYERS	33	YES	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
29	102800	FOLDING SHOWER SEAT (ADA)	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
30		FURNITURE & FREE STANDING BENCHES	15, 16, 17	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
31	102800	GRAB BARS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
32	102800	HAIR DRYER	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
33		LOCKERS	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AND CURB AS REQUIRED
34		MIRROR - AMAZING MIRROR	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. VENDOR (#23) TO PROVIDE MIRROR FRAME
35		MIRROR FRAMES	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE LIGHTING ELEMENTS AT TEAM TRAINING
36		MIRRORS - ADA RESTROOM, KID'S CLUB, RESTROOM, LOCKER ROOMS, STAFF LOUNGE, TANNING ROOMS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
37		MOVIE POSTERS & CINEMA	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
38	102800	PAPER TOWEL DISPENSER	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
39		PLYWOOD AT ALL TURF AREA WALLS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
40		POINT OF SALE (POS)	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
41	102801	SANITARY NAPKIN DISPOSAL UNIT	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
42		SHOE SHELF AT STEAM	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
43	102800	SHOWER LINERS, ROOFS AND HOOKS @ SHOWERS AT ADA SHOWER AND FAMILY RESTROOM (IF APPLICABLE)	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. CHUZE PROVIDED, INSTALLED BY VENDOR
44	102113.16	SHOWER PARTITIONS	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
45		SHOWER SHELF	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
46		SIGNAGE - ADA & ALL REQUIRED PER BUILDING CODE	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
47		SIGNAGE - EXTERIOR (ILLUMINATED & NON-ILLUMINATED)	20	YES	-	-	EXTERIOR SIGN VENDOR	EXTERIOR SIGN VENDOR	EXTERIOR SIGN VENDOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED. EXTERIOR SIGN VENDOR IS DIRECT TO CHUZE.
48		SIGNAGE - INTERIOR GRAPHICS/DISPLAY	20, 21	-	-	-	CHUZE	CHUZE	CHUZE	CONTRACTOR	
49		SLAT WALL @ RETAIL	23	-	-	-	CHUZE	CHUZE	CHUZE	CONTRACTOR	
50	102800	SOAP DISPENSER - LAVATORY MOUNTED	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
51	102800	SOAP DISPENSER - WALL MOUNTED	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
52	102113.16	TOILET PARTITIONS	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
53	102800	TOILET SEAT COVER DISPENSER	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
54	102800	TOILET TISSUE (ROLL) DISPENSER	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
55	102800	VENDING MACHINE	-	YES	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED
11 - EQUIPMENT											
56		ACCESSIBLE POOL LIFT	24	YES	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
57		ACCESSIBLE POOL CHAIR	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
58		AED - SEM RECESSED CABINET	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	AED DEVICE PROVIDED BY CHUZE
59		APPLIANCES - MICROWAVE	-	-	-	YES	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
60		AUDIO/VIDEO EQUIPMENT AND RACKS	27	YES	-	-	CHUZE	CHUZE	CHUZE	CONTRACTOR	ALL EQUIPMENT INCLUDING AV/IT RACKS PROVIDED BY AEI
61		DRINK DISPLAY REFRIGERATOR	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
62		EQUIPMENT - EXERCISE MACHINES	-	YES	-	-	CHUZE	CHUZE	CHUZE	CONTRACTOR	
63		EQUIPMENT - FREE WEIGHTS	-	-	-	-	CHUZE	CHUZE	CHUZE	CONTRACTOR	
64		EQUIPMENT - HYDRO LOUNGE	-	YES	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
65		EQUIPMENT - SMOOTHIE BAR	-	YES	-	YES	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
66		EYEWASH STATION	-	-	-	-	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
67		GROUP X MAT RACKS	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
68		FULL DILUTION DISPENSER CABINET	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
69		KIOSKS	-	YES	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	PROVIDE BLOCKING AS REQUIRED AEI PROVIDES DATA CABLING. KIOSK PROVIDED BY ABC FITNESS
70		SANITARY WIPE DISPENSERS	-	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
71		SNEEZE GUARD @ SMOOTHIE BAR	23	-	-	-	CASEWORK VENDOR	CHUZE	CASEWORK VENDOR	CONTRACTOR	CONTRACTOR TO COORDINATE WITH VENDOR FOR INSTALLATION
72		STEAM GENERATOR	-	YES	-	YES	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
73		STEAM ROOM SCENT DELIVERY	-	YES	-	YES	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
74		SWIMSUIT SPINNER	-	YES	-	YES	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING, POWER AND ACCESS PANEL FOR WIRING AND SERVICING OF UNIT
75		TANNING BEDS	-	YES	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	
76		TELEVISIONS AND MOUNTING BRACKETS	27	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE INDIVIDUAL OUTLETS TO EACH TV AND BLOCKING AS REQUIRED
77		TIME CLOCK - EMPLOYEE USE	-	YES	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE TIME CLOCKS ASSOCIATED WITH LIGHTING AND SIGNAGE.
78	113013	WASHER / DRYER	TBD	YES	YES	YES	CONTRACTOR	CONTRACTOR	CONTRACTOR	CONTRACTOR	
12 - FURNISHINGS											
79	123623.13	CABINETS & COUNTERTOPS @ CHECK-IN	23	-	-	-	CHUZE	CONTRACTOR	CHUZE	CONTRACTOR	CONTRACTOR TO PROVIDE BLOCKING AS REQUIRED; CONTRACTOR TO COORDINATE WITH 3RD PARTY VENDOR ON INSTALLATION
80	123623.13	CABINETS & COUNTERTOPS @ IN-BODY	23	-	-	-	CHUZE	CONTRACTOR	CHUZE		



Mitchell C. Smith, Architect  
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COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
1	3/11/2022	PLAN CH RESUBMITTAL
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

COMPREHENSIVE FIRE EGRESS PLAN

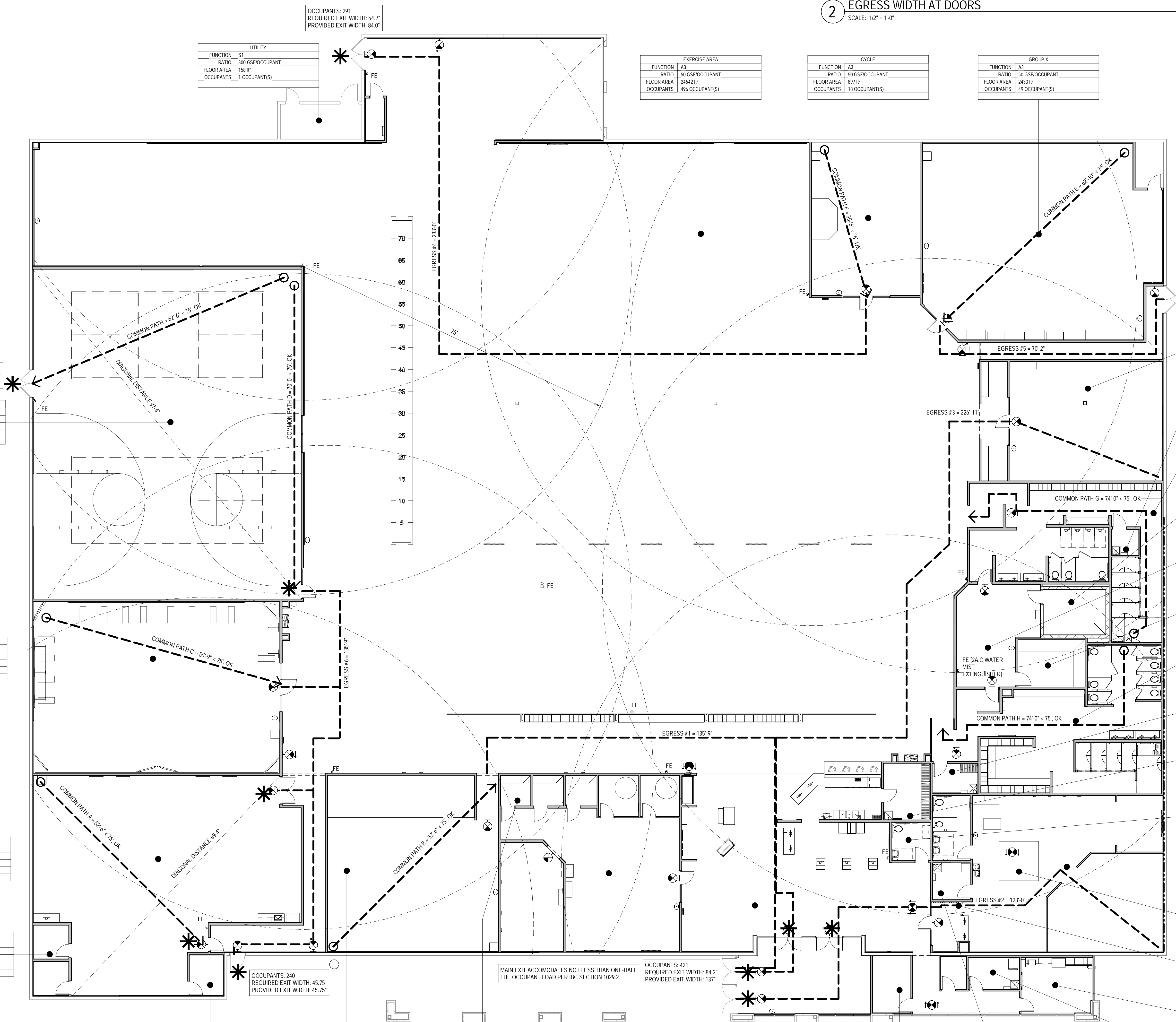
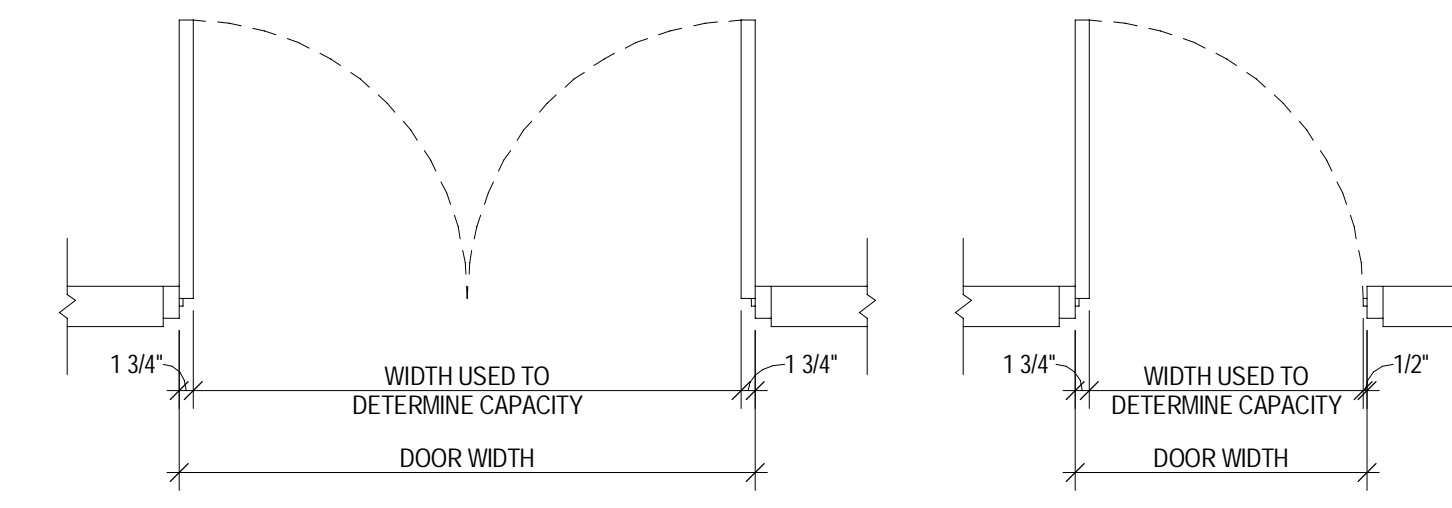
G003

CODE LEGEND

- START OF TRAVEL PATH
- 68 OCC. OCCUPANT LOAD
- RATED WALL ASSEMBLY AS INDICATED
- 75'-0" → COMMON PATH OF TRAVEL DISTANCE (1014.3)
- 250'-0" → EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.1)
- FE WALL MOUNTED FIRE EXTINGUISHER CLASS 3A89BC, UNO
- \* RECD. PANIC HARDWARE LOCATION (G-501 FOR A & E OCC, 1006.1.10) - DOORS WITHOUT LATCHES OMITTED
- EXIT LIGHTS, STEM INDICATED WALL MOUNTING, NO STEM INDICATES CEILING MOUNTING, SHADED AREA INDICATES ILLUMINATED FACE(S), ARROW INDICATES DIRECTIONAL ARROW ON ILLUMINATED FACE(S)
- ASSEMBLY (A)
- BUSINESS (B)
- EDUCATIONAL (E)
- INSTITUTIONAL (I-4)
- STORAGE (S)

OCCUPANCY TYPE	AREA	OCCUPANT LOAD FACTOR (C/B/C/B/C TABLE 1004.5)	OCCUPANT LOAD	EGRESS WIDTH REQUIRED (151) PER OCCUPANT C/B/C/B/C 1005.3.2 EXCEPTION (1)
A3 (1/15) ASSEMBLY UNCONCENTRATED	916 SF	1 PER 15	47	7.05
A3 (1/15) CULTURE CENTER	2555 SF	1 PER 15	170	25.50
A3 (1/50) ASSEMBLY	40058 SF	1 PER 50	803	120.45
B (1/100) OFFICE/BUSINESS USE	3579 SF	1 PER 100	39	8.10
B (1/150) OFFICE/BUSINESS USE	1491 SF	1 PER 150	10	8.10
E (1/35) KIDS CLUB	1512 SF	1 PER 35	44	6.60
I4 (1/25) DAY CARE	81 SF	1 PER 35	3	0.45
S1 (1/300) STORAGE/UTILITY SPACE	655 SF	1 PER 300	12	1.80
<b>TOTAL: 32</b>			<b>EXITS/EXIT WIDTH PER 1005.3.2 PROVIDED EXITS AND WIDTH</b>	<b>4 REQUIRED WITH 227.8" TOTAL WIDTH REQUIRED</b>
			6 PROVIDED, 1 AT 48", 1 AT 84" AND 4 AT 72"	

2 EGRESS WIDTH AT DOORS  
SCALE: 1/2" = 1'-0"



<p>UTILITY</p> <p>FUNCTION S1</p> <p>RATIO 100 GSF/OCCUPANT</p> <p>FLOOR AREA 158 SF</p> <p>OCCUPANTS 1 OCCUPANT(S)</p>	<p>EXERCISE AREA</p> <p>FUNCTION A3</p> <p>RATIO 50 GSF/OCCUPANT</p> <p>FLOOR AREA 3464 SF</p> <p>OCCUPANTS 148 OCCUPANT(S)</p>	<p>CYCLE</p> <p>FUNCTION A3</p> <p>RATIO 50 GSF/OCCUPANT</p> <p>FLOOR AREA 897 SF</p> <p>OCCUPANTS 18 OCCUPANT(S)</p>	<p>GROUP X</p> <p>FUNCTION A3</p> <p>RATIO 50 GSF/OCCUPANT</p> <p>FLOOR AREA 2433 SF</p> <p>OCCUPANTS 49 OCCUPANT(S)</p>
<p>COURTS</p> <p>FUNCTION A3</p> <p>RATIO 50 GSF/OCCUPANT</p> <p>FLOOR AREA 4493 SF</p> <p>OCCUPANTS 54 OCCUPANT(S)</p> <p>2 EXITS REQUIRED</p>	<p>TEAM TRAINING</p> <p>FUNCTION A3</p> <p>RATIO 50 GSF/OCCUPANT</p> <p>FLOOR AREA 2361 SF</p> <p>OCCUPANTS 46 OCCUPANT(S)</p>	<p>CULTURE</p> <p>FUNCTION A3</p> <p>RATIO 15 GSF/OCCUPANT</p> <p>FLOOR AREA 2555 SF</p> <p>OCCUPANTS 170 OCCUPANT(S)</p> <p>2 EXITS REQUIRED</p>	<p>OFFICE (2)</p> <p>FUNCTION B</p> <p>RATIO 100 GSF/OCCUPANT</p> <p>FLOOR AREA 142 SF</p> <p>OCCUPANTS 2 OCCUPANT(S)</p>
<p>OFFICE</p> <p>FUNCTION B</p> <p>RATIO 100 GSF/OCCUPANT</p> <p>FLOOR AREA 79 SF</p> <p>OCCUPANTS 1 OCCUPANT(S)</p>	<p>CINEMA</p> <p>FUNCTION A3</p> <p>RATIO 50 GSF/OCCUPANT</p> <p>FLOOR AREA 1613 SF</p> <p>OCCUPANTS 33 OCCUPANT(S)</p>	<p>SAUNA</p> <p>FUNCTION A3</p> <p>RATIO 15 GSF/OCCUPANT</p> <p>FLOOR AREA 167 SF</p> <p>OCCUPANTS 12 OCCUPANT(S)</p>	<p>RECOVERY, HYDR0 AND TANNING</p> <p>FUNCTION B</p> <p>RATIO 150 GSF/OCCUPANT</p> <p>FLOOR AREA 1491 SF</p> <p>OCCUPANTS 10 OCCUPANT(S)</p>
<p>RECEPTION</p> <p>FUNCTION B</p> <p>RATIO 100 GSF/OCCUPANT</p> <p>FLOOR AREA 2267 SF</p> <p>OCCUPANTS 24 OCCUPANT(S)</p>	<p>OFFICE</p> <p>FUNCTION B</p> <p>RATIO 100 GSF/OCCUPANT</p> <p>FLOOR AREA 128 SF</p> <p>OCCUPANTS 1 OCCUPANT(S)</p>	<p>STORAGE</p> <p>FUNCTION S1</p> <p>RATIO 300 GSF/OCCUPANT</p> <p>FLOOR AREA 71 SF</p> <p>OCCUPANTS 1 OCCUPANT(S)</p>	<p>LAUNDRY</p> <p>FUNCTION S1</p> <p>RATIO 300 GSF/OCCUPANT</p> <p>FLOOR AREA 100 SF</p> <p>OCCUPANTS 1 OCCUPANT(S)</p>

1 CODE ANALYSIS/EGRESS PLAN  
SCALE: 3/32" = 1'-0"







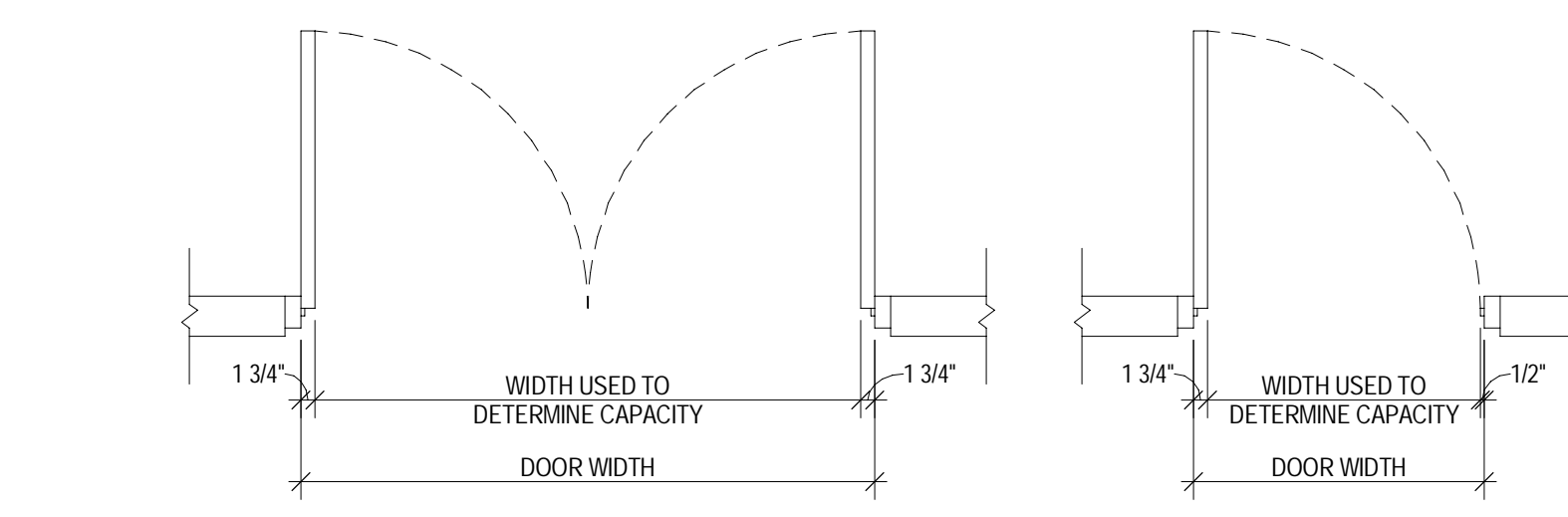
Mitchell C. Smith, Architect

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### HARDWARE SCHEDULE - EXIT DOORS ONLY

DOOR NUMBER	HARDWARE SET	DESCRIPTION	QTY	UNIT
101A 101B	2 EA CONTINUOUS HINGE	BY DOOR MFR: STANDARD		VON
	1 EA PANIC HARDWARE	3549A-E026VON	626	VON
	1 EA PANIC HARDWARE	3549A-NL-OP-388626VON	626	VON
	1 EA RIM CYLINDER	20-022626SCH	626	SCH
	2 EA 90 DEG OFFSET PULL	819 10" O630VE	630	IVE
	2 EA SURFACE CLOSER	SC71 RW/PA	689	FAL
	2 EA NARROW FRM BACK	PLTSC70-18	689	FAL
	2 EA FLOOR STOP	F3444	626	BYO
	2 SET WEATHER STRIP	BY DOOR MFR: STANDARD	628	BYO
	2 EA DOOR SWEEP	BY DOOR MFR: STANDARD	628	BYO
1 EA THRESHOLD	BY DOOR MFR: STANDARD	AL	BYO	
OPERATIONAL DESCRIPTION				
1. DOOR IS LOCKED/UNLOCKED BY KEY. 2. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS. 3. USE BRONZE HARDWARE AT EXT. VESTIBULE DOORS; STAINLESS STEEL AT INT. VESTIBULE DOORS. 4. PROVIDE 1" HIGH LETTERING ON CONTRASTING BACKGROUND "THIS DOOR TO..."				
135B 142 167 168	3 EA HINGE	5BB1 4.5 X 4.5 NRP	630	IVE
	1 EA PANIC HARDWARE	3549A-EO	626	VON
	1 EA SURFACE CLOSER	SC71 SS X TBMMW	689	FAL
	1 EA KICK PLATE	8400 8" X 2" LDW	630	IVE
	1 EA LOCK GUARD	LG12	630	IVE
1 EA DRIP CAP	16ACLNGP			
1 SET SEALS	130NACLNGP	628	ZER	
OPERATIONAL DESCRIPTION				
1. DOOR IS EXIT ONLY. ENTRY IS NOT ALLOWED. 2. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS.				



2 EGRESS WIDTH AT DOORS FIRE 2  
SCALE: 1/2" = 1'-0"

### OCCUPANCY TYPE

OCCUPANCY TYPE	AREA	OCCUPANT LOAD FACTOR (IBC/IBC TABLE 1004.5)	OCCUPANT LOAD	EGRESS WIDTH REQUIRED (15" PER OCCUPANT CIRC/IBC 1005.3.2 EXCEPTION 1)
A3 (1/15) ASSEMBLY - UNCONCENTRATED	916 SF	1 PER 15	47	7.05
A3 (1/15) CULTURE CENTER	2555 SF	1 PER 15	170	25.50
A3 (1/50) ASSEMBLY	4058 SF	1 PER 50	803	120.45
B (1/100) OFFICE/BUSINESS USE	3579 SF	1 PER 100	39	8.10
B (1/150) OFFICE/BUSINESS USE	1491 SF	1 PER 150	10	8.10
E (1/35) KIDS CLUB	1512 SF	1 PER 35	44	6.60
H (1/35) DAY CARE	81 SF	1 PER 35	3	0.45
S1 (1/300) STORAGE/UTILITY SPACE	655 SF	1 PER 300	12	1.80
<b>TOTAL:</b>	<b>50845 SF</b>		<b>1128</b>	

EXITS/EXIT WIDTH PER 1005.3.2 REQUIRED EXIT WIDTH: 84.7' PROVIDED EXITS AND WIDTH

4 REQUIRED WITH 227.8' TOTAL WIDTH REQUIRED 6 PROVIDED, 1 AT 48", 1 AT 84" AND 4 AT 72"

### CODE LEGEND

○ START OF TRAVEL PATH

68 OCC. OCCUPANT LOAD

--- RATED WALL ASSEMBLY AS INDICATED

75'-0" COMMON PATH OF TRAVEL DISTANCE (1014.3)

250'-0" EXIT ACCESS TRAVEL DISTANCE (TABLE 1016.1)

NOTES:  
1. TRAVEL DISTANCES SHOWN ARE TO THE CLOSEST EXIT FOR A PARTICULAR DIRECTION.  
2. DEAD END CORRIDOR SHALL NOT EXCEED 50'-0" WHEN EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.  
3. SEE G001 FOR ADDITIONAL CODE ANALYSIS INFORMATION.  
4. FINAL FIRE EXTINGUISHER LOCATION AND QUANTITY TO BE APPROVED BY LOCAL JURISDICTION.

⊕ WALL MOUNTED FIRE EXTINGUISHER CLASS 344BC, UNO FIRE EXTINGUISHERS SHOWN BASED ON 1 PER 4500 S.F.

★ RECD. PANIC HARDWARE LOCATION (01-50) FOR A & E OCC. 1008.1.10; DOORS WITHOUT LATCHES OMITTED

⊕ EXIT LIGHTS, STEM INDICATED WALL MOUNTING. NO STEM INDICATES CEILING MOUNTING. SHADED AREA INDICATES ILLUMINATED FACE(S). ARROW INDICATES DIRECTIONAL ARROW ON ILLUMINATED FACE(S).

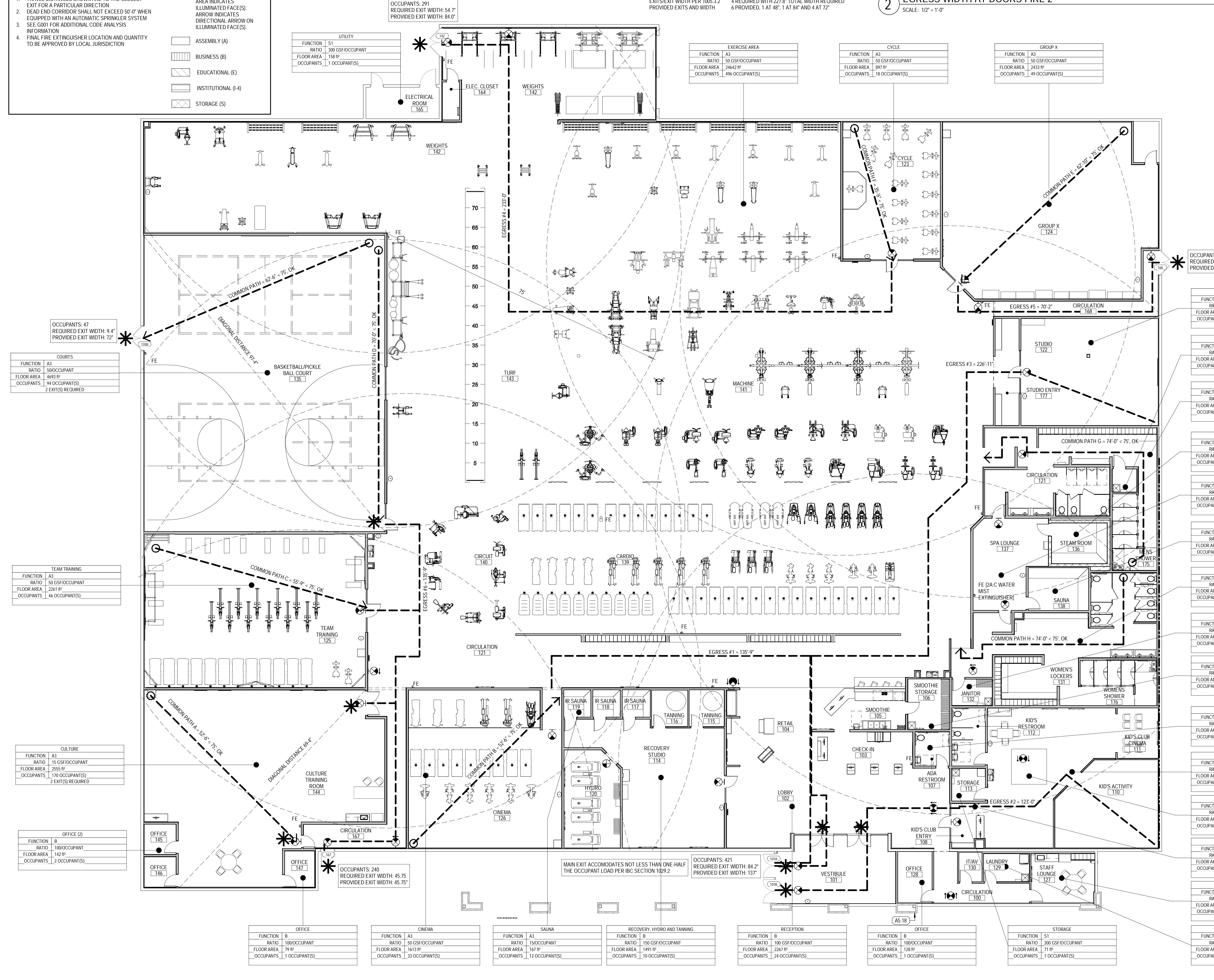
▭ ASSEMBLY (A)

▭ BUSINESS (B)

▭ EDUCATIONAL (E)

▭ INSTITUTIONAL (I-4)

▭ STORAGE (S)



### PROJECT DATA AND CODE ANALYSIS

PROJECT ADDRESS: 6600 CENTRAL AVE. SW., ALBUQUERQUE, NM, 87121

APPLICABLE CODES:  
2015 NEW MEXICO COMMERCIAL BUILDING CODE  
2015 NEW MEXICO EXISTING BUILDING CODE  
2015 NEW MEXICO MECHANICAL CODE  
2015 NEW MEXICO PLUMBING CODE  
2017 NEW MEXICO ELECTRICAL CODE  
2015 INTERNATIONAL FIRE CODE  
2009 NEW MEXICO CONSERVATION CODE  
2015 NEW MEXICO EARTH BUILDING MATERIALS CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE  
2020 UNIFORM ADMINISTRATIVE CODE  
UAC ORDINANCE O-17-40

DESIGN CRITERIA: SEE STRUCTURAL DRAWINGS

ZONE: MX-M

#### BUILDING ANALYSIS

BUILDING HEIGHT:	26'-4"
BUILDING STORIES:	1
PROPOSED BUILDING OCCUPANCIES:	A3, B, E, S1, I4
OCCUPANCY SEPARATION REQUIRED PER IBC 508.3:	NOT REQUIRED PER 508.3

#### GROSS SQUARE FOOTAGE PER OCCUPANCY:

LEVEL	AREA	OCC. LOAD
A3 (1/15)	3471 SF	217
A3 (1/50)	4058 SF	803
B (1/100)	3579 SF	39
B (1/150)	1491 SF	10
E (1/35)	1512 SF	44
H (1/35)	81 SF	3
S1 (1/300)	655 SF	12
<b>TOTAL SQUARE FOOTAGE:</b>	<b>50845 SF</b>	<b>1128</b>

EXISTING CONSTRUCTION TYPE: II-N (2-B), FULLY SPRINKLERED

SPRINKLED IN ACCORDANCE WITH IBC 903.3: YES

EXIT WIDTH FACTOR: .15

BASE ALLOWABLE (CHAPTER 5):  
AREA (SF PER FLOOR): 38,000 SF  
HEIGHT (FT): 75 FT  
STORIES: 3

AREA INCREASES REQUIRED: YES - UNLIMITED AREA PER IBC 507

NOTE: AN EXIT WIDTH FACTOR OF .15 IS APPLIED PER SECTIONS 903.3.1.1 OR 903.3.1.2 OF THE IBC. FIRE ALARM AND FIRE SPRINKLER SYSTEMS TO BE INSTALLED PER SECTION 907.5.2.2 OF THE IBC. 3-L SQUARE FOOTAGE UNLIMITED

#### OCCUPANCY/EXIT CALCULATIONS

EXITS/EXIT WIDTH PER 1005.3.2 PROVIDED EXITS AND WIDTH	4 REQUIRED WITH 227.8' TOTAL WIDTH REQUIRED 6 PROVIDED, 1 AT 48", 1 AT 84" AND 4 AT 72"
ACTUAL SQUARE FOOTAGE:	50,845 BOMA CALCULATED SF
TOTAL OCCUPANT LOAD:	1128

### PROJECT SCOPE

- THE SCOPE OF WORK REPRESENTED BY THESE DOCUMENTS INCLUDES TENANT IMPROVEMENTS WITHIN AN EXISTING BUILDING SHELL AND FACADE IMPROVEMENTS TO THE EXTERIOR FOR A NEW "CHUZE FITNESS" GYM.
- THE SCOPE OF WORK INCLUDES A CHANGE IN OCCUPANCY. THE CHANGES ARE TO COMPLY WITH CHAPTER 3 PRESCRIPTIVE COMPLIANCE OF THE 2015 IBC.

### DEFERRED SUBMITTALS:

- SHOP DRAWINGS WILL BE SUBMITTED TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL OF ANY INSTALLATION OR MODIFICATION TO THE FIRE SPRINKLER SYSTEM, FIRE ALARM SYSTEM, KITCHEN SUPPRESSION SYSTEM, OR ANY OTHER FIRE RELATED SYSTEM.
- THE FIRE SPRINKLER SYSTEM WILL BE SUPERVISED WHEN REQUIRED BY THE 2015 INTERNATIONAL FIRE CODE.

### FIRE KEYNOTE

TAG	KEYNOTE REF. G002 RESPONSIBILITY SCHEDULE
A5.18	PREMISE IDENTIFICATION: PROVIDE PROJECT'S ADDRESS NUMBERS TO BE PLACED ON EXTERIOR FRONT ELEVATION BY G.C. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF .12 INCH.

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE. SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
1	3/11/2022	PLAN CH RE SUBMITTAL
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

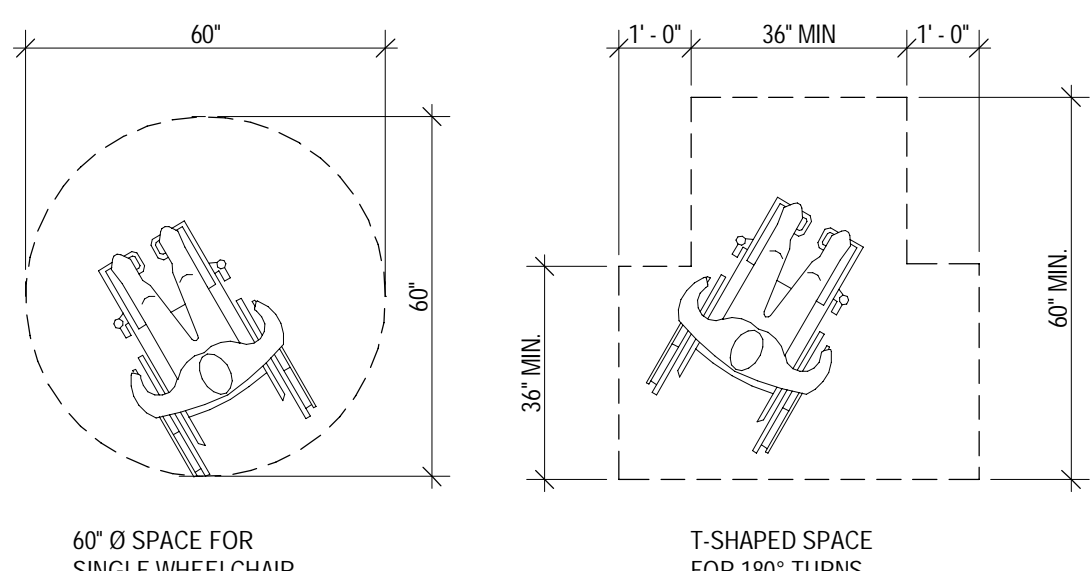
Project No:	2160901A
Drawn By:	MG2
Checked By:	MG2

COMPREHENSIVE FIRE 2 EGRESS PLAN

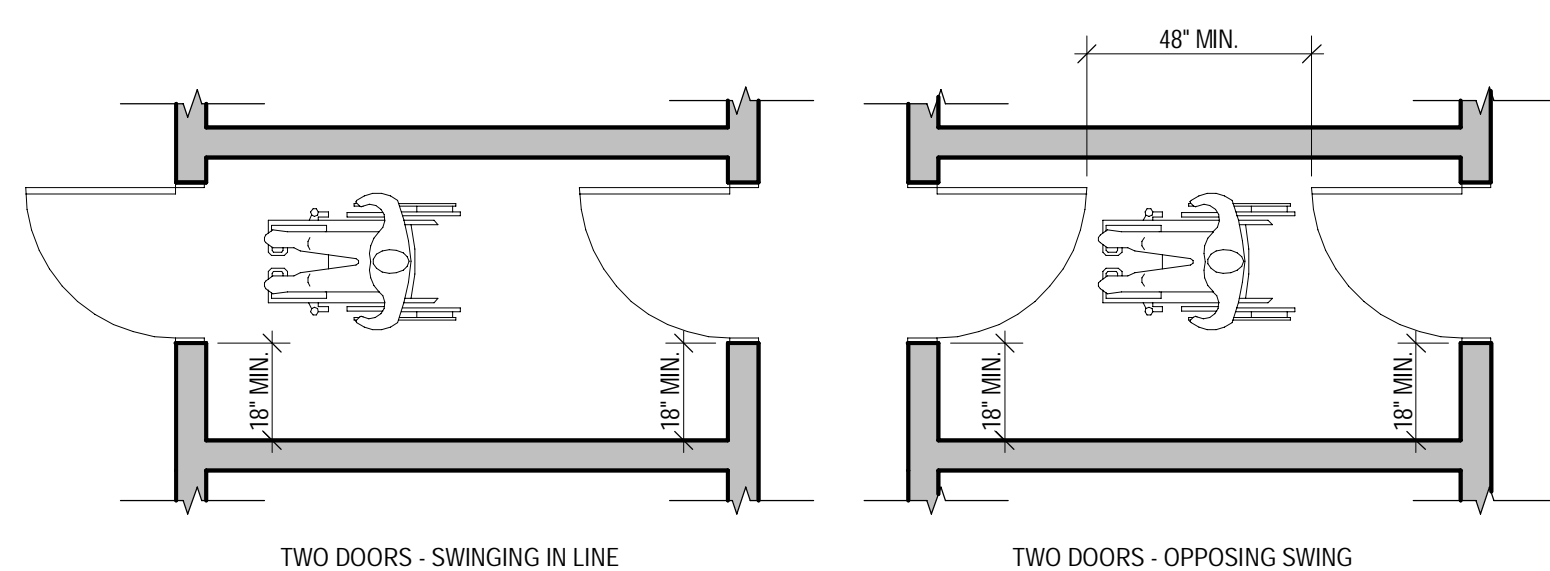
G003.1

### 1 CODE ANALYSIS FIRE 2 /EGRESS PLAN

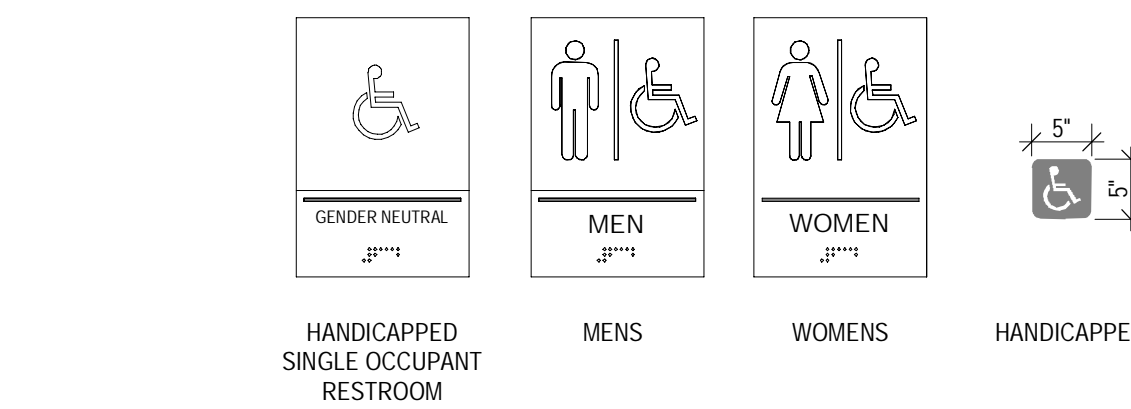
SCALE: 3/32" = 1'-0"



WHEELCHAIR TURNING REQUIREMENTS



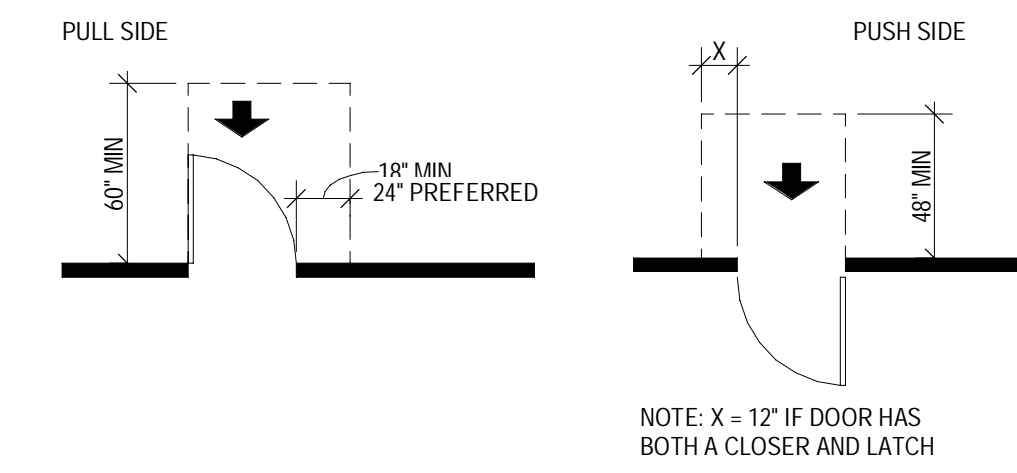
ACCESSIBLE VESTIBULE



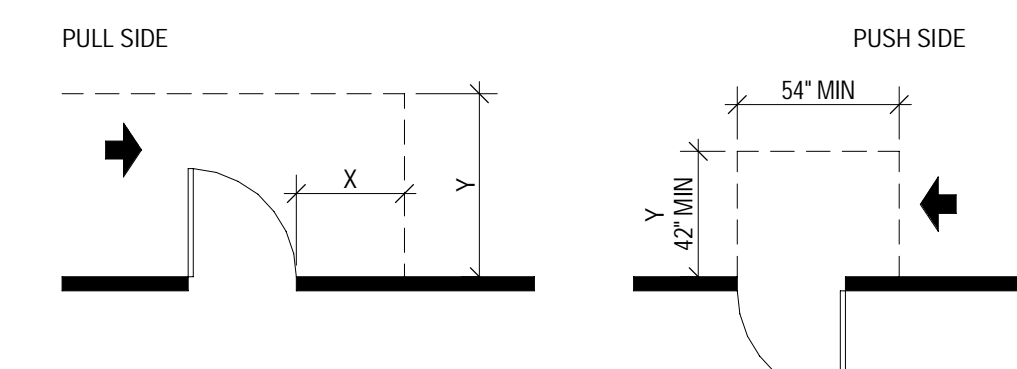
SIGNAGE NOTES PER ANSI 703 (NEW MEXICO BUILDING CODE 2015 - DIVISION 7):

1. PER ANSI 703.4.5 MOUNTING HEIGHT BRAILLE SHALL BE 48 INCHES MINIMUM ABOVE THE FINISH FLOOR MEASURED FROM THE BASELINE IF THE LOWEST BRAILLE CELLS AND 40 INCHES MAXIMUM ABOVE THE FINISH FLOOR, MEASURED FROM THE BASELINE OF HIGHEST LINE OF RAISED CHARACTERS.
2. SIGNAGE SHALL BE 1/4" THICK
3. CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH
4. VISUAL AND RAISED CHARACTERS ON SIGNS SHALL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER 'O' IS 40% MINIMUM AND 110% MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER 'I'. STROKE THICKNESS OF THE UPPERCASE LETTER 'I' SHALL BE 10% MINIMUM AND 20% MAXIMUM OF THE HEIGHT OF THE CHARACTER
5. RAISED CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS SERIF UPPERCASE CHARACTERS ACCOMPANIED BY CONTRACTED (GRADE 2) BRAILLE
6. RAISED CHARACTERS SHALL BE A MINIMUM OF 5/8" AND A MAXIMUM OF 2" HIGH
7. BRAILLE SHALL BE PLACED A MINIMUM OF 3/8" AND A MAXIMUM OF 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED
8. THE COLOR OF THE TRIANGLE ON THE ALL GENDER DOOR SIGN IS TO CONTRAST WITH THE COLOR OF THE CIRCLE ON WHICH IT IS SUPERIMPOSED.

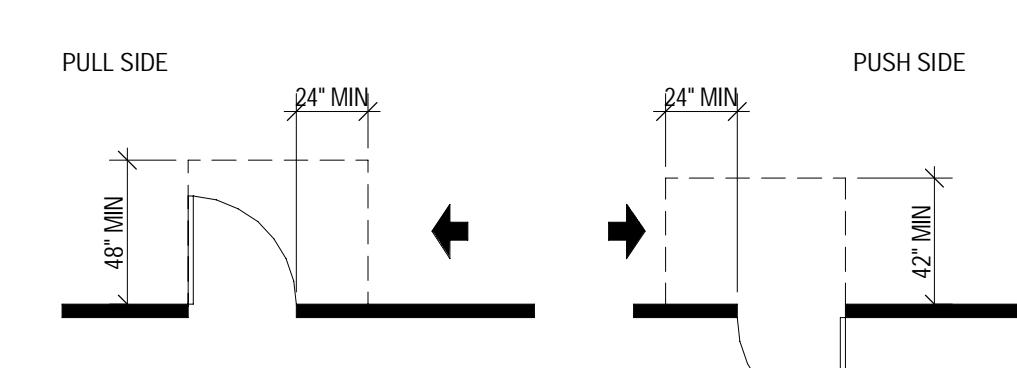
ACCESSIBLE SIGNAGE



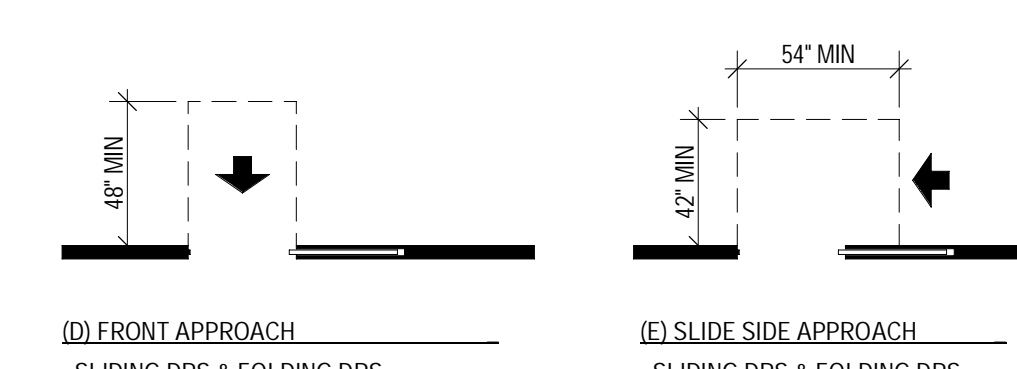
(A) FRONT APPROACHES - SWINGING DOORS



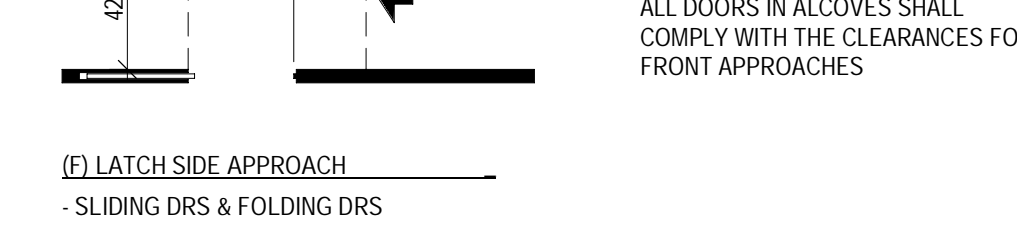
(B) HINGE SIDE APPROACHES - SWINGING DOORS



(C) LATCH SIDE APPROACHES - SWINGING DOORS

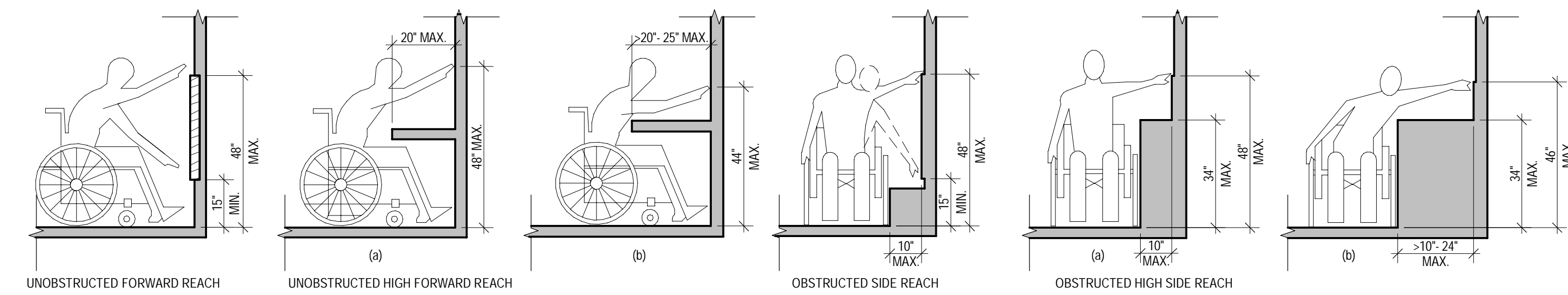


(D) FRONT APPROACH - SLIDING DRRS & FOLDING DRRS  
(E) SLIDE SIDE APPROACH - SLIDING DRRS & FOLDING DRRS

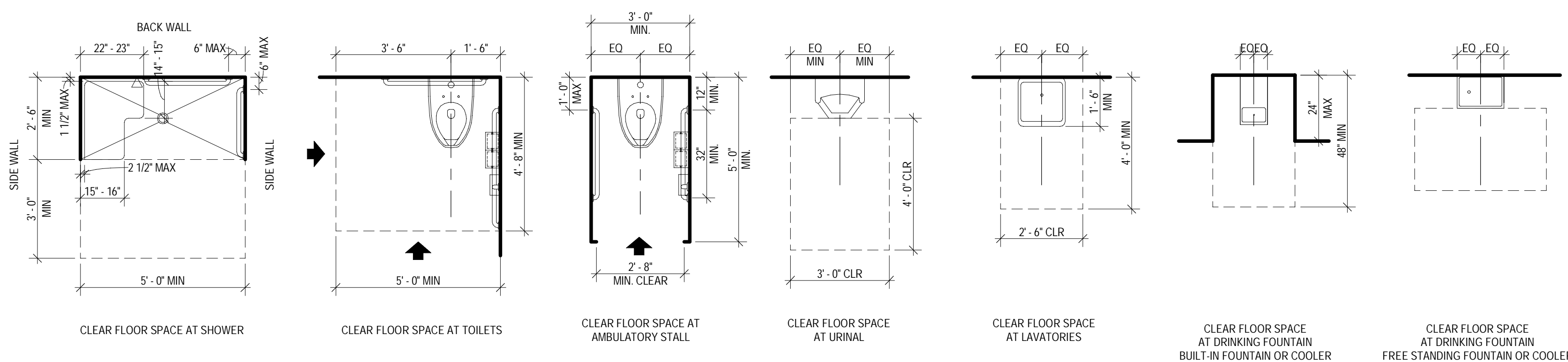


(F) LATCH SIDE APPROACH - SLIDING DRRS & FOLDING DRRS

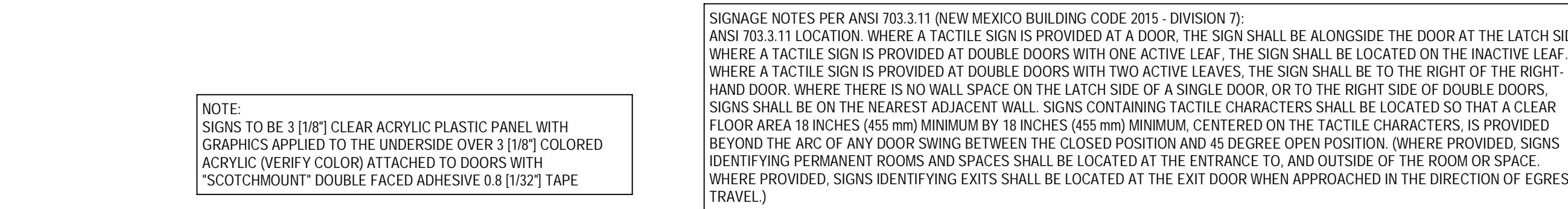
DOOR CLEARANCES



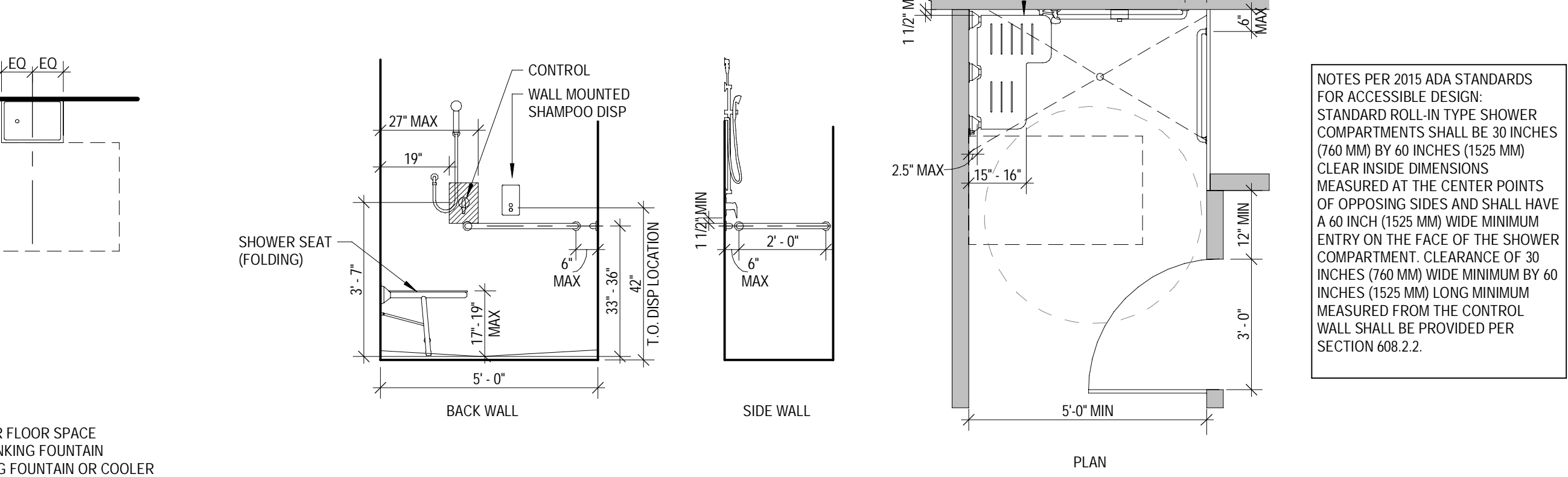
GENERAL ACCESSIBILITY REACH RANGES



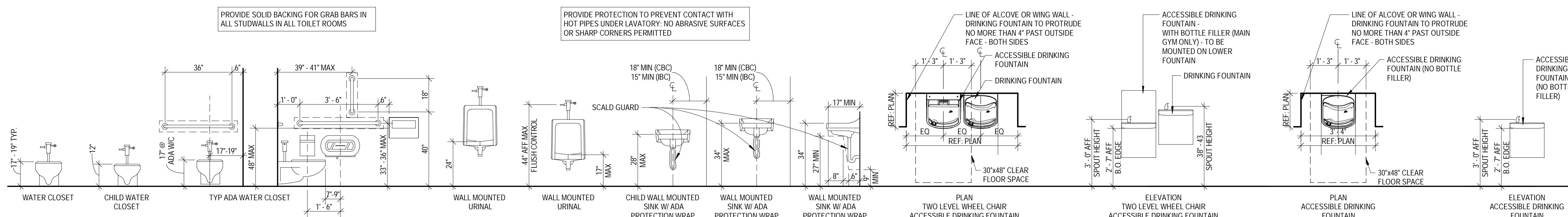
CLEAR FLOOR AREA



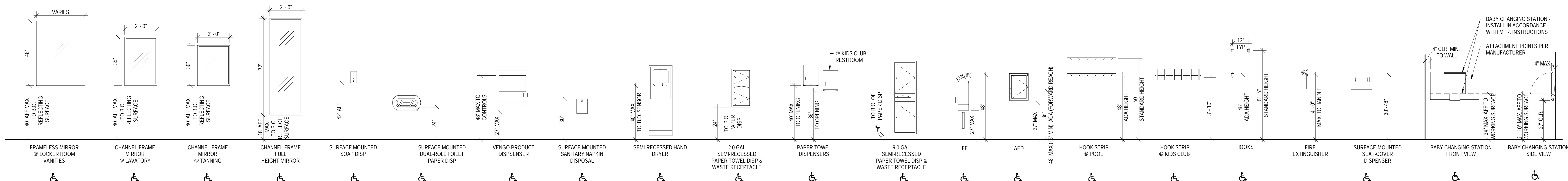
PANEL SIGNAGE REQUIREMENTS



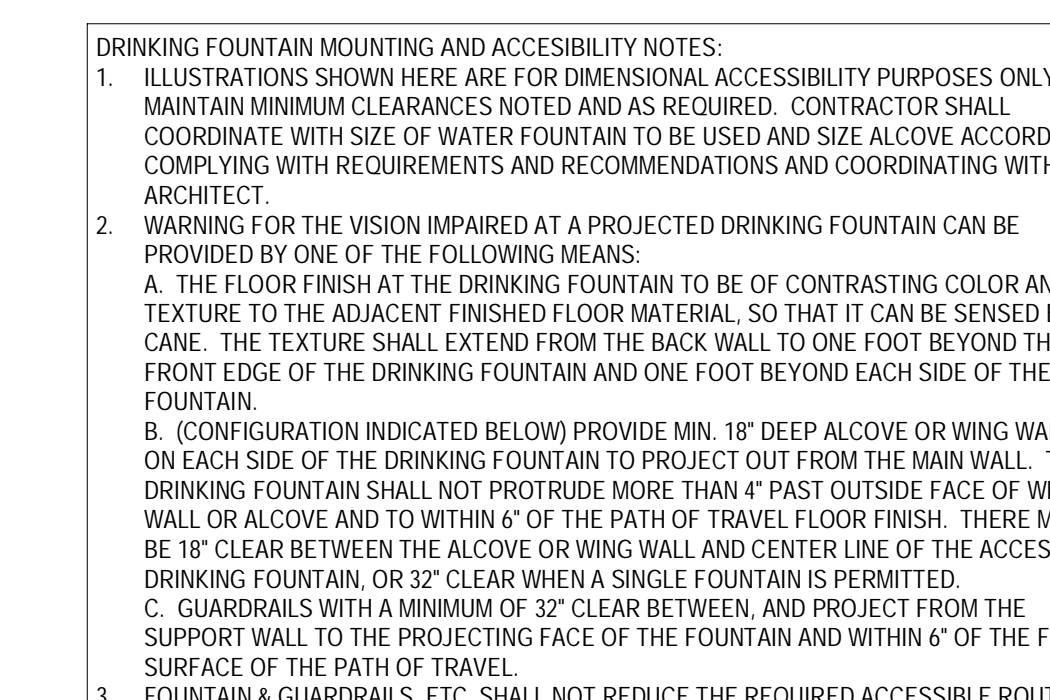
ACCESSIBLE SHOWER PLAN & ELEVATIONS



ACCESSORY MOUNTING HEIGHTS - TYP. CONT.

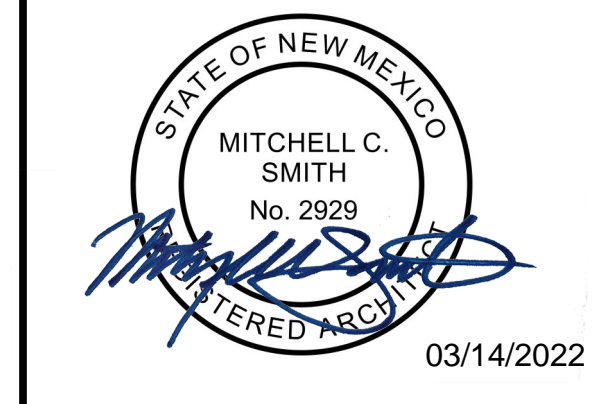


ACCESSORY MOUNTING HEIGHTS - TYP.



#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No.	21603901A
Drawn By	MG2
Checked By	MG2



ACCESSIBILITY DETAILS & MOUNTING HEIGHTS

COORS & CENTRAL - CHUZE ALBUQUERQUE  
6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

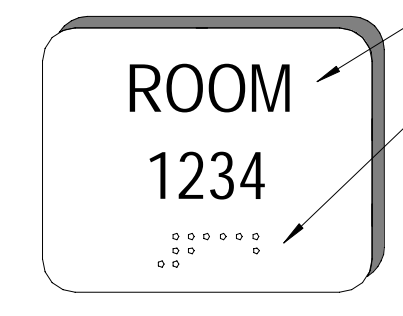
ACCESSIBILITY DETAILS & MOUNTING HEIGHTS

G005

LETTERS AND NUMBERS SHALL BE RAISED 1/32", UPPER CASE, SANS SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE, RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2"

LITERARY BRAILLE STANDARD DIMENSIONS:

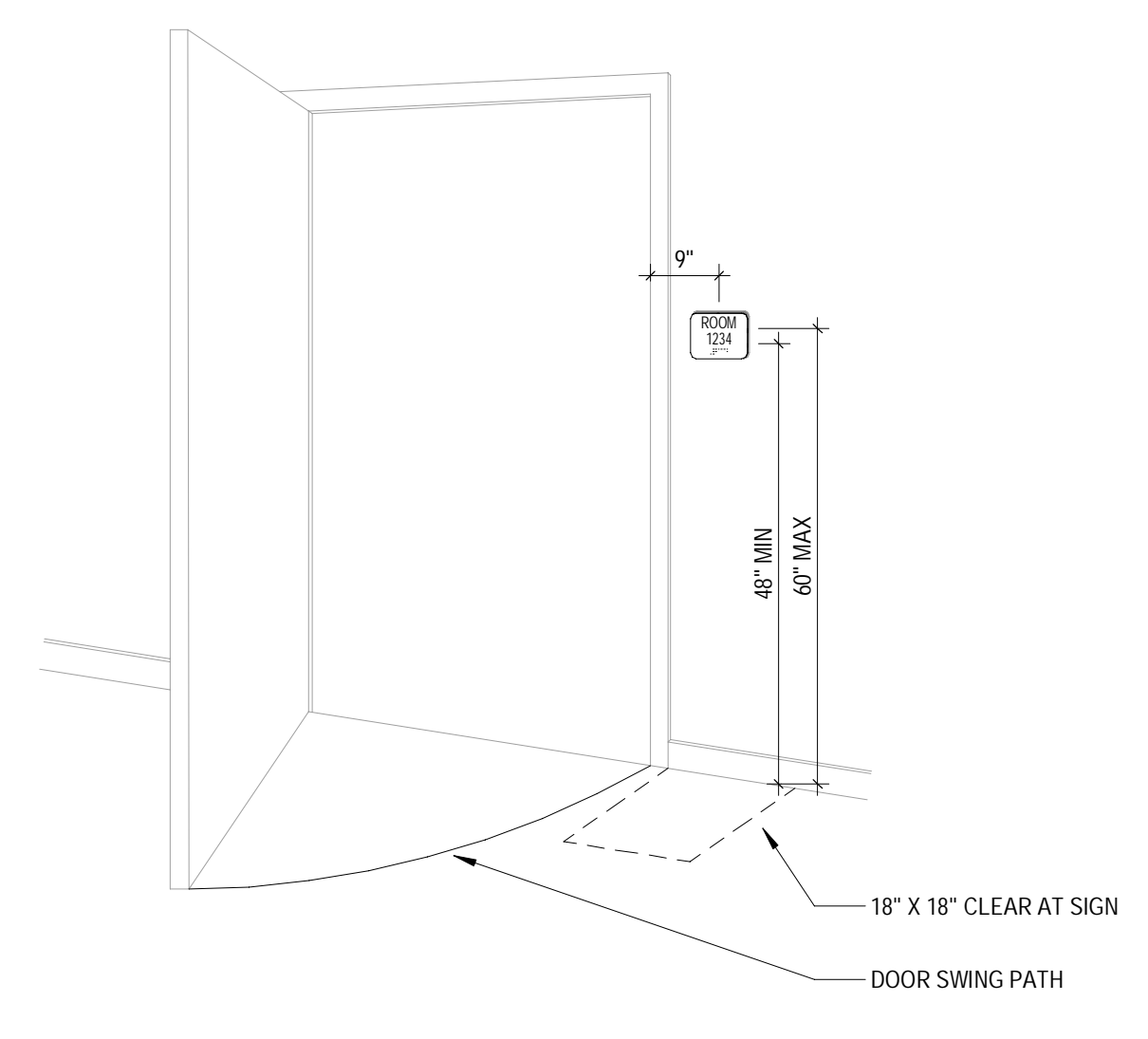
DOT DIMENSIONS	0.059 TO 0.063 INCHES
INTER DOT SPACING	0.090 TO 0.100 INCHES
HORIZONTAL SEPARATION BETWEEN CELLS	0.241 TO 0.300 INCHES
VERTICAL SEPARATION BETWEEN CELLS	0.395 TO 0.400 INCHES



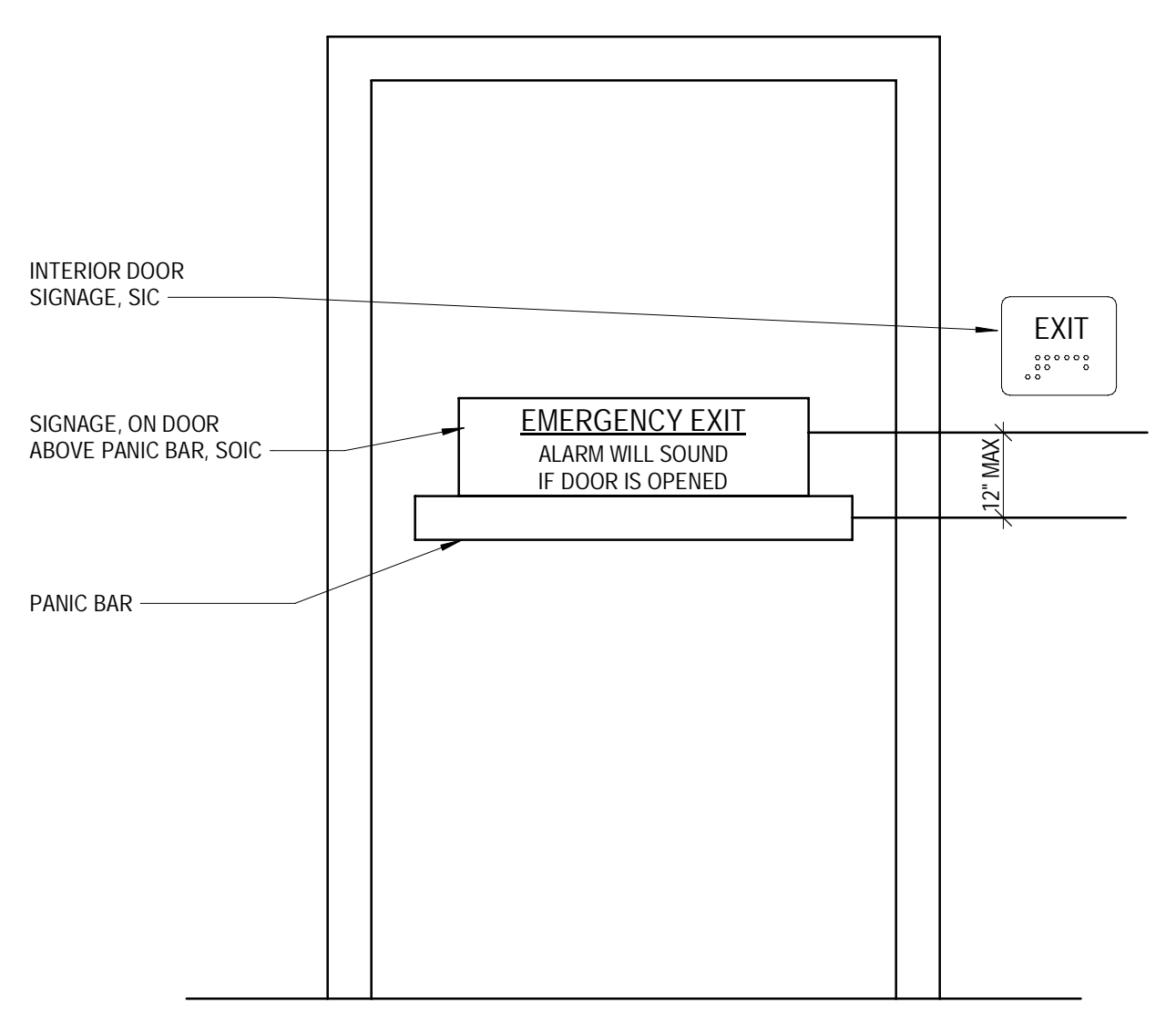
- NOTES:
- TACTILE SIGNAGE TO BE INSTALLED AT ALL EXIT DOORS, AND ALL ROOMS/ SPACES WITH PERMANENT SIGNAGE
  - PERMANENT SIGNAGE TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. MOUNTING LOCATION MUST ALLOW A PERSON TO APPROACH WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING PATH OF THE DOOR

LOCATION	ROOM NAME	NOTE
CHECK-IN	VESTIBULE	2
	ADA RESTROOM	1
KID'S CLUB	RESTROOM	1
OFFICE CORE	LAUNDRY	3
LOCKER ROOMS	MEN'S LOCKERS	1
	WOMEN'S LOCKERS	1
OPEN GYM	EXIT	2

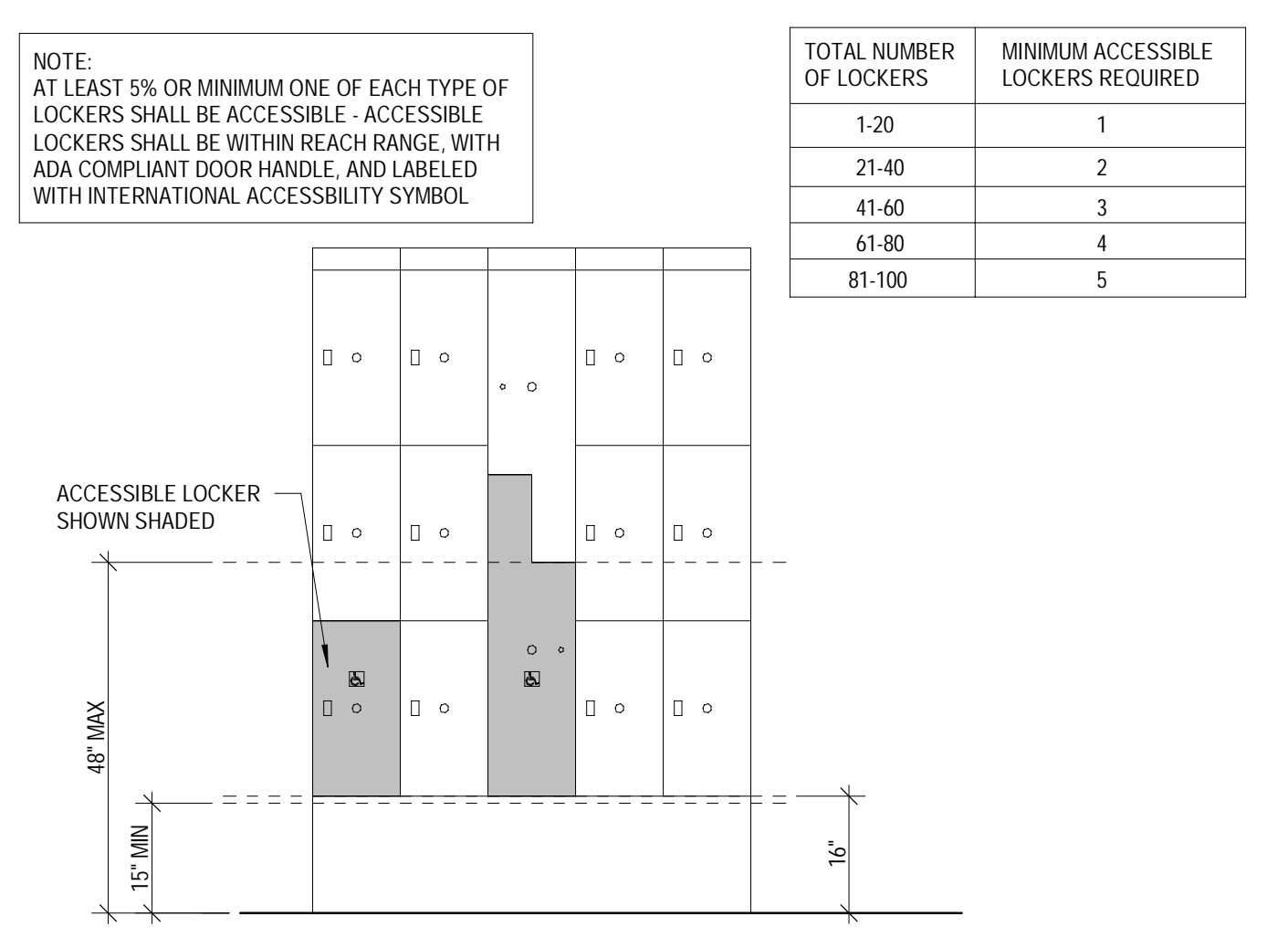
NOTE:  
1. SEE G004 FOR DETAIL ON RESTROOM SIGNAGE.  
2. SEE G005 FOR EGRESS DOOR SIGNAGE  
3. EMPLOYEES ONLY SIGN



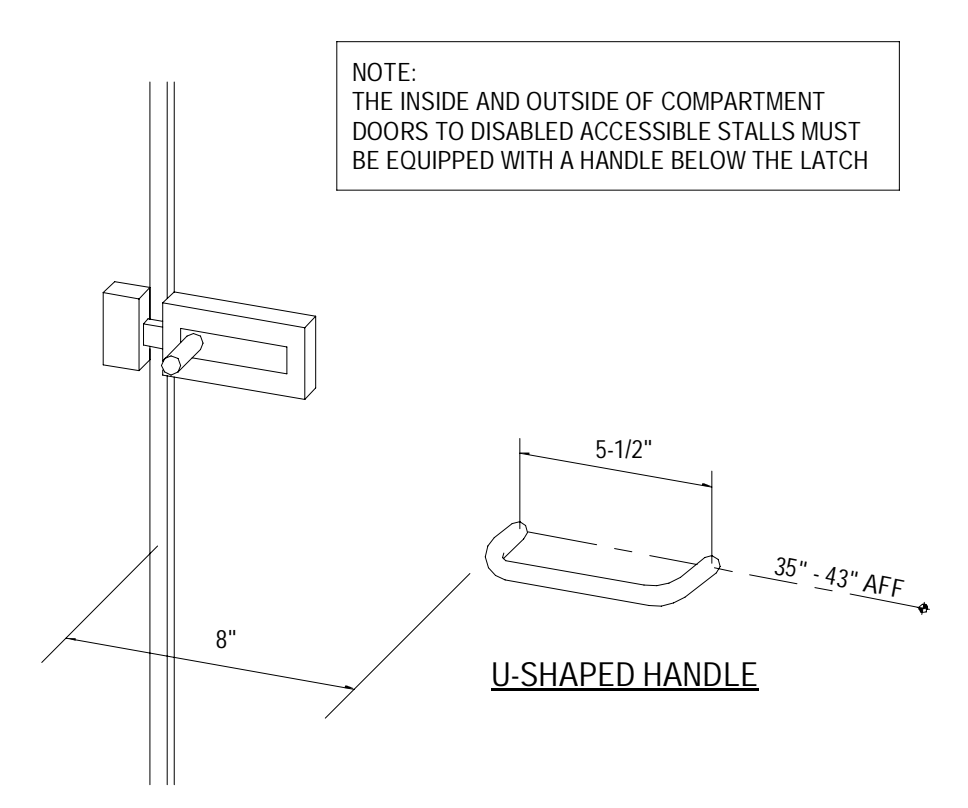
SIGNAGE AT INTERIOR DOOR (SIGN)



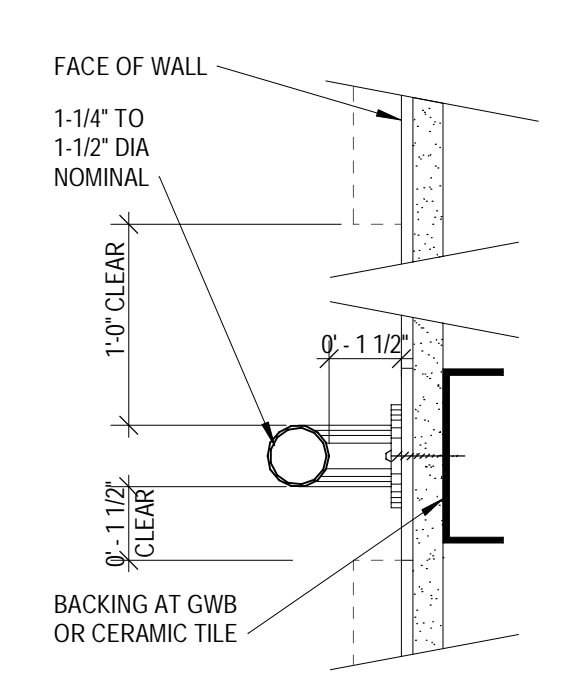
EGRESS SIGNAGE



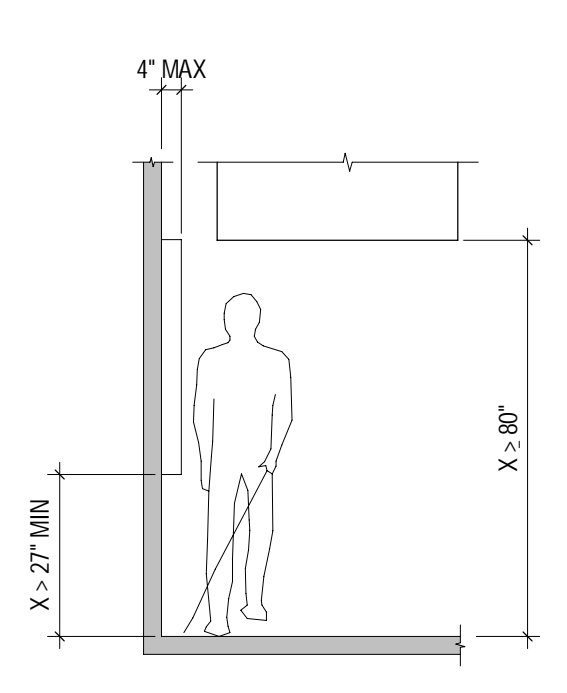
LOCKERS



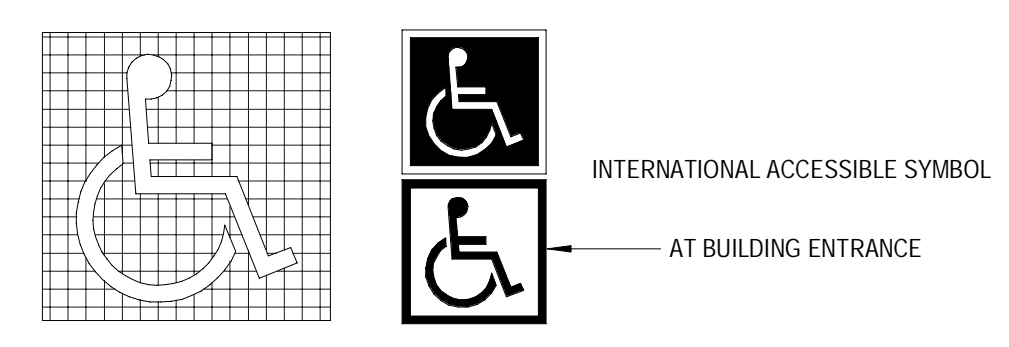
ACCESSIBLE STALL DOOR HANDLE



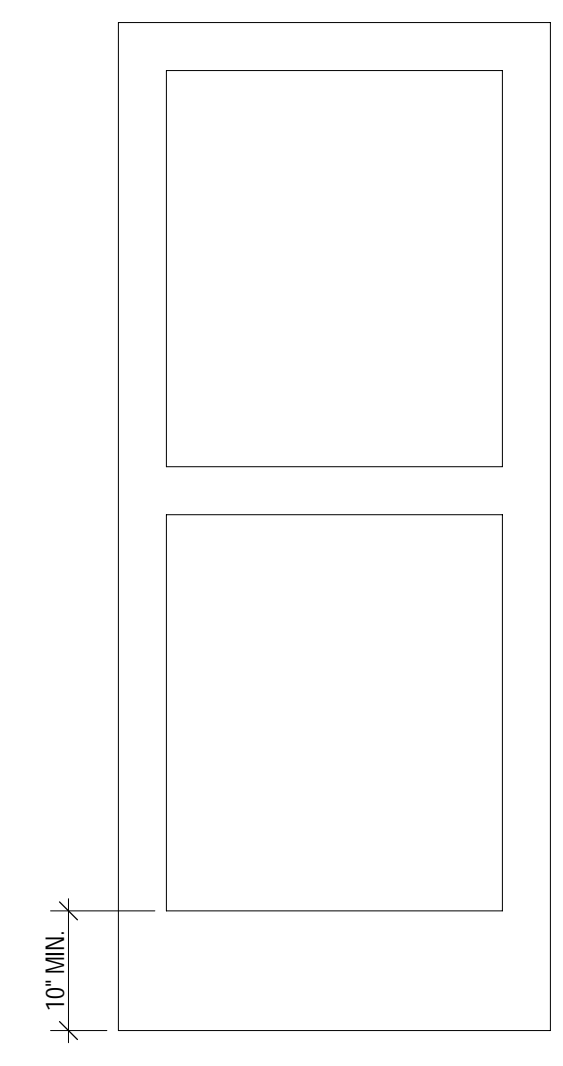
GRAB BAR



CIRCULATION PATH PROTRUSION LIMITS



MISCELLANEOUS SIGNAGE



DOOR BOTTOM DETAIL

**VERIFICATION OF EXISTING CONDITIONS**

WITHIN THE FIRST WEEK OF TENANT SPACE CONSTRUCTION, CONTRACTOR SHALL ACCURATELY SURVEY EXISTING CONDITIONS IDENTIFIED AS BEING CRITICAL TENANT INFORMATION. COMPLETE ALL DIMENSIONING INDICATED. NOTE THAT ALL DIMENSIONS SHOULD BE CLEAR DIMENSIONS FROM INSIDE OF ONE WALL OR COLUMN TO THE INSIDE OF ANOTHER. IF CENTER TO CENTER DIMENSIONS ARE REQUIRED, THEY NEED TO BE NOTED. ALL DIMENSIONS SHOULD BE 0'-0" TO THE CLOSEST 1/4". EVEN IF NOT SPECIFICALLY IDENTIFIED ON THE BUILDING SHELL VERIFICATION PLAN, ALL SHELL AND STRUCTURAL ELEMENTS NEED TO BE VERIFIED AND DIMENSIONED. SOME PERTINENT VERIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO:

- A. VERIFICATION OF INTERIOR FRONT-TO-BACK AND SIDE-TO-SIDE SHELL DIMENSIONS, AS BUILT.
- B. VERIFICATION OF COLUMN-TO-COLUMN GRID DIMENSIONS, AS BUILT.
- C. VERIFICATION OF THE FOLLOWING ADDITIONAL DIMENSIONS:
  1. CLEAR HEIGHT UNDERSIDE OF ROOF DECK
  2. CLEAR HEIGHT UNDERSIDE OF STRUCTURE (JOIST, GIRDER, AND BEAMS)
  3. UNDERSIDE OF BULK HEAD
  4. EXISTING CEILING HEIGHTS
  5. BEAMS/LINTEL LOCATION ON PLAN WITH DIMENSIONS IN RELATION TO COLUMN(S), EXTERIOR WALLS, OR DEMISING WALLS WITH UNDERSIDE DIMENSIONS.
- D. INDICATE LOCATION AND HEIGHT, UNDERSIDE OF EXISTING A/C UNIT & DUCTS, (IF APPLICABLE)
- E. INDICATE LOCATION AND HEIGHT, UNDERSIDE OF EXISTING WASTE PIPE & SIZE (IF APPLICABLE)
- F. INDICATE LOCATION AND HEIGHT, UNDERSIDE OF EXISTING ROOF DRAIN & SIZE
- G. VERIFICATION OF MAN DOOR LOCATION, AS BUILT.
- H. VERIFICATION OF ROLLING DOOR LOCATIONS, AS BUILT.
- I. LOCATION OF FIRE SUPPRESSION SYSTEM, FIRE RISER.
- J. LOCATION OF FIRE SUPPRESSION SYSTEM, FIRE INSPECTOR'S TEST.
- K. LOCATION OF GAS METER, IF WITHIN THE TENANT SPACE.
- L. LOCATION OF WATER METER IF WITHIN THE TENANT SPACE.
- M. LOCATION OF MAIN DISTRIBUTION PANEL AND SUB-PANELS, IF WITHIN THE TENANT SPACE.
- N. SUBMIT DIGITAL PHOTOS AT CLOSE RANGE TO DEMONSTRATE AREAS OF POTENTIAL CONCERN:
  1. MAKE NOTE OF ANY IRREGULARITIES IN PERIMETER WALLS AND/OR OVERHEAD OBSTRUCTIONS BY DOCUMENTING AND PHOTOGRAPHING.
  2. CALL ATTENTION TO ANY OBSTRUCTION(S) WHICH COULD INTERFERE WITH THE INTERIOR ELEMENTS, SUCH AS: SIGNAGE, GRAPHICS, MIRRORS, MILLWORK, ETC.
  3. CALL ATTENTION TO ANY INTERUPTION(S) OF WHAT WOULD OTHERWISE BE A CONTINUOUS EVEN WALL SURFACE THAT COULD INTERFERE WITH INTERIOR ELEMENTS, SUCH AS THE EXAMPLES LISTED ABOVE.
- O. PROVIDE DIMENSIONS OF STOREFRONT GLAZING, INCLUDING MULLIONS/FRAMES FOR EACH WINDOW PANEL. IF DRAWINGS INDICATE WINDOW GRAPHICS, 8 WEEKS ARE REQUIRED FOR DESIGN AND PRODUCTION FROM THE TIME DIMENSIONS ARE RECEIVED FROM THE CONTRACTOR. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACCORDINGLY TO ALLOW FOR INSTALLATION OF WINDOW GRAPHICS.
- P. VERIFICATION OF REQUIRED PRESSURE AT DOMESTIC WATER LINE SERVING THE TENANT SPACE.
 

DATE: \_\_\_\_\_

LOCATION OF TEST (I.E. OVERHEAD STUB-IN AT STRUCTURE FROM COMMON RISER): \_\_\_\_\_

TEST PERFORMED AFTER WATER METER (Y/N): \_\_\_\_\_

WATER LINE SIZE: \_\_\_\_\_

STATIC PRESSURE: \_\_\_\_\_

ADDITIONAL NOTES: \_\_\_\_\_
- Q. VERIFICATION OF REQUIRED GAS SERVICE:
 

LOCATION OF METER: \_\_\_\_\_

FUEL TYPE (NATURAL / PROPANE): \_\_\_\_\_

PRESSURE AFTER REGULATOR (7-10 OR 2PSI): \_\_\_\_\_

DEVIATIONS FROM TENANT IMPROVEMENT PLANS: \_\_\_\_\_

ADDITIONAL NOTES: \_\_\_\_\_
- R. VERIFICATION OF REQUIRED ELECTRICAL SERVICE:
 

LOCATION OF METERING EQUIPMENT AND MAIN SWITCH: \_\_\_\_\_

VOLTAGE (120/208V, 3P, 4W OR 277/480V, SP, 4W): \_\_\_\_\_

AMPERAGE: \_\_\_\_\_

DEVIATIONS FROM TENANT IMPROVEMENT PLANS: \_\_\_\_\_

ADDITIONAL NOTES: \_\_\_\_\_
- S. VERIFICATION OF REQUIRED TELEPHONE SERVICE:
 

LOCATION OF INCOMING TELEPHONE SERVICE: \_\_\_\_\_

CONDUIT (1) 4" CONDUIT WITH PULL WIRE: \_\_\_\_\_

DEVIATIONS FROM TENANT IMPROVEMENT PLANS: \_\_\_\_\_

ADDITIONAL NOTES: \_\_\_\_\_
- T. VERIFICATION OF SANITARY SERVICE:
 

LOCATION OF 4" SANITARY SERVICE: \_\_\_\_\_

INVERT AT POINT OF CONNECTION: \_\_\_\_\_

DEVIATIONS FROM TENANT IMPROVEMENT PLANS: \_\_\_\_\_

ADDITIONAL NOTES: \_\_\_\_\_
- U. VERIFICATION OF FIRE SUPPRESSION SERVICE:
 

LOCATION OF RISER: \_\_\_\_\_

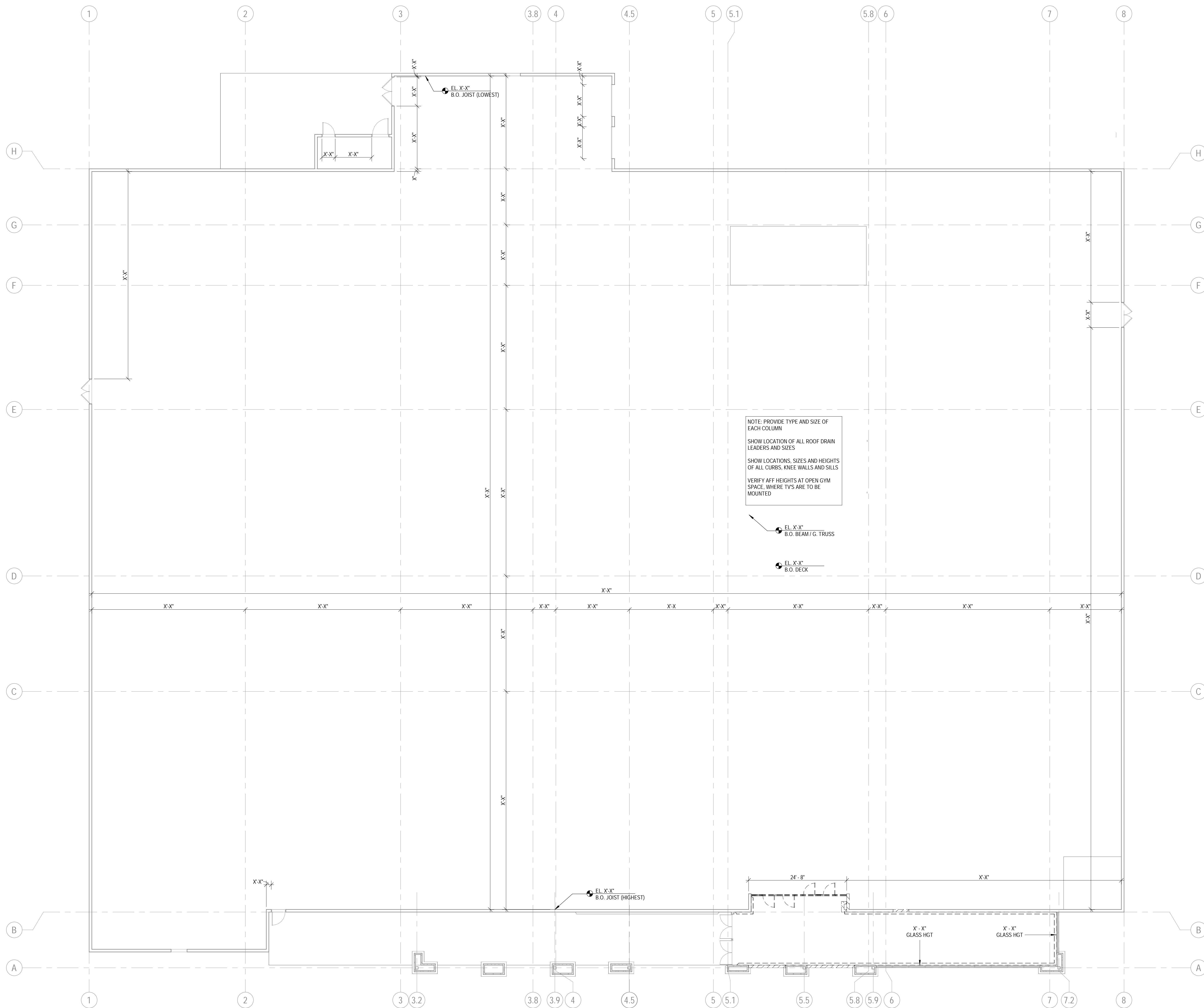
FLOW SWITCH FOR MAIN (Y/N): \_\_\_\_\_

MAINS AND BRANCHES HIGH WITHIN STRUCTURE (Y/N): \_\_\_\_\_

DEVIATIONS FROM TENANT IMPROVEMENT PLANS: \_\_\_\_\_

ADDITIONAL NOTES: \_\_\_\_\_
- A. DOCUMENT EXISTING WALL CONDITION (PRECAST PANEL, STUD, GYP BD, ETC) WITH WRITTEN DESCRIPTION AND PICTURES.

I. \_\_\_\_\_ VERIFIED EXISTING CONDITIONS AND ALL ARCHITECT REQUIRED DIMENSIONS AND INFORMATION AS OUTLINED IN THIS DRAWING ON \_\_\_\_\_ (SURVEY DATE), AND SENT A COPY OF THIS ANNOTATED DRAWING TO THE TENANT PROJECT MANAGER AND THE PROJECT ARCHITECT, NO LATER THAN THE END OF THE FIRST WEEK OF THE TENANT IMPROVEMENT CONSTRUCTION.



**1 DEMISED PREMISES VERIFICATION PLAN**  
SCALE: 3/32" = 1'-0"



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Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

DEMISED PREMISES SHELL VERIFICATION PLAN & NOTES

**A000.A**

**VERIFICATION OF INTERIOR WALLS**

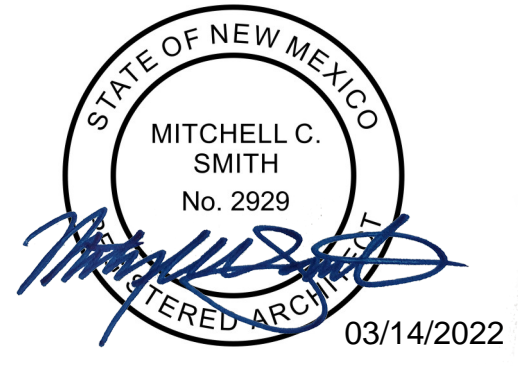
AT LEAST 8 WEEKS PRIOR TO THE "SOS" DATE AS ESTABLISHED BY CHUZE, CONTRACTOR SHALL ACCURATELY SURVEY INTERIOR WALL CONSTRUCTION IDENTIFIED ON INTERIOR VERIFICATION PLAN AS BEING CRITICAL TENANT INFORMATION. IN ADDITION, BUILDING SHELL AREAS SHOULD BE SPECIFICALLY NOTED IN RELATION TO INTERIOR FACE OF BUILDING SHELL AND COLUMNS, EVEN IF NOT SPECIFICALLY IDENTIFIED ON THE BUILDING SHELL VERIFICATION PLAN AS FOLLOWS.

- A. VERIFICATION OF INTERIOR FRONT-TO-BACK AND SIDE-TO-SIDE INTERIOR DIMENSIONS, AS BUILT.
- B. VERIFICATION OF COLUMN-TO-COLUMN GRID DIMENSIONS, AS BUILT.
- C. VERIFICATION OF DOOR LOCATIONS, AS BUILT.

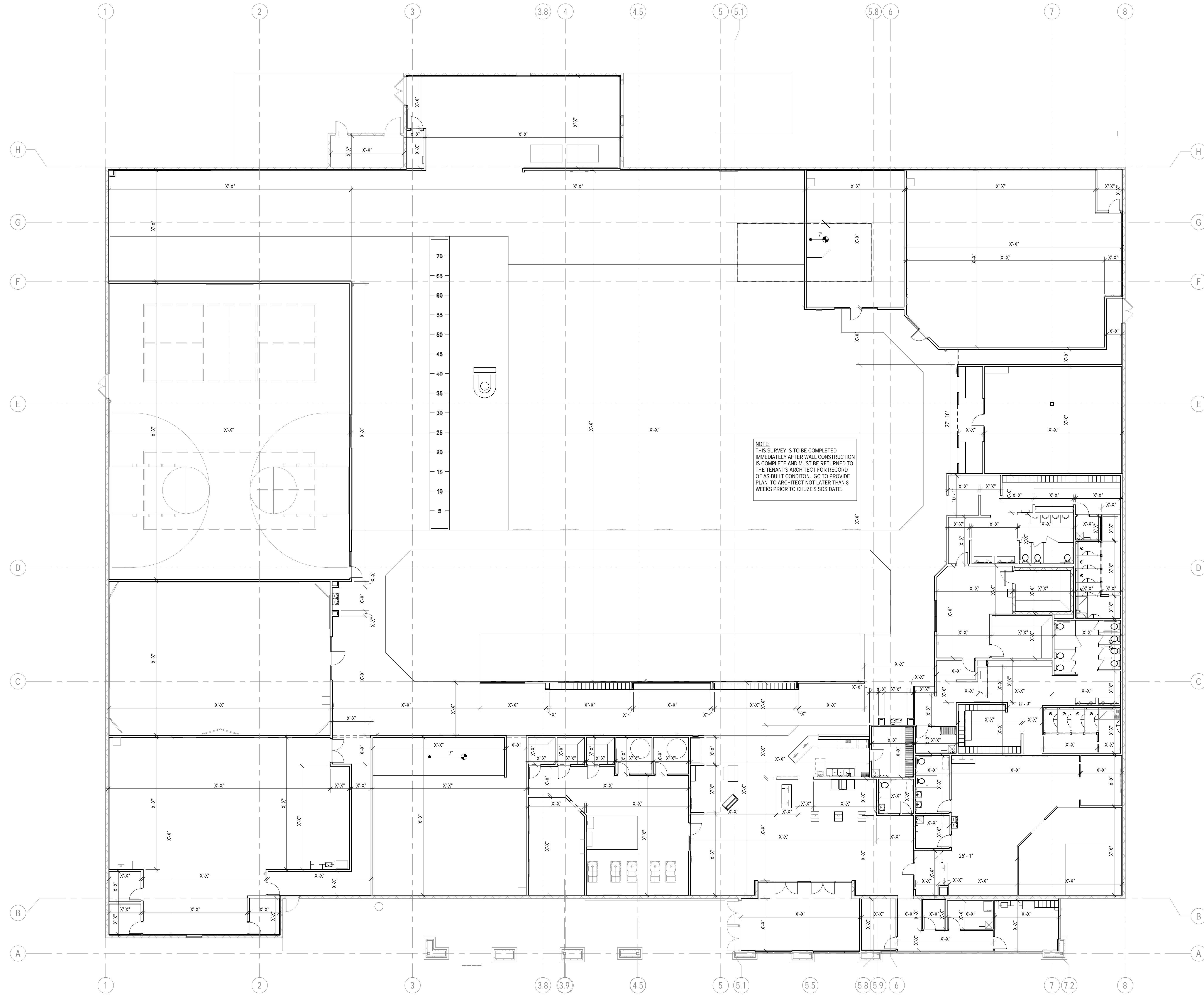
\_\_\_\_ VERIFIED EXISTING CONDITIONS AND ALL ARCHITECT REQUESTED DIMENSIONS AND INFORMATION AS OUTLINED IN THIS DRAWING ON (SURVEY DATE) AND SENT A COPY OF THIS ANNOTATED DRAWING TO THE TENANT PROJECT MANAGER AND THE PROJECT ARCHITECT, NO LATER THAN 8 WEEKS PRIOR TO THE SOS DATE AS ESTABLISHED BY THE CHUZE CONSTRUCTION MANAGER.

18200 Von Karman Ave, Ste 910  
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**1** INTERIOR VERIFICATION PLAN  
SCALE: 3/32" = 1'-0"

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Drawn By:	MG2
Checked By:	MG2

INTERIOR WALL VERIFICATION PLAN

A000.B





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**LINE TYPE LEGEND**

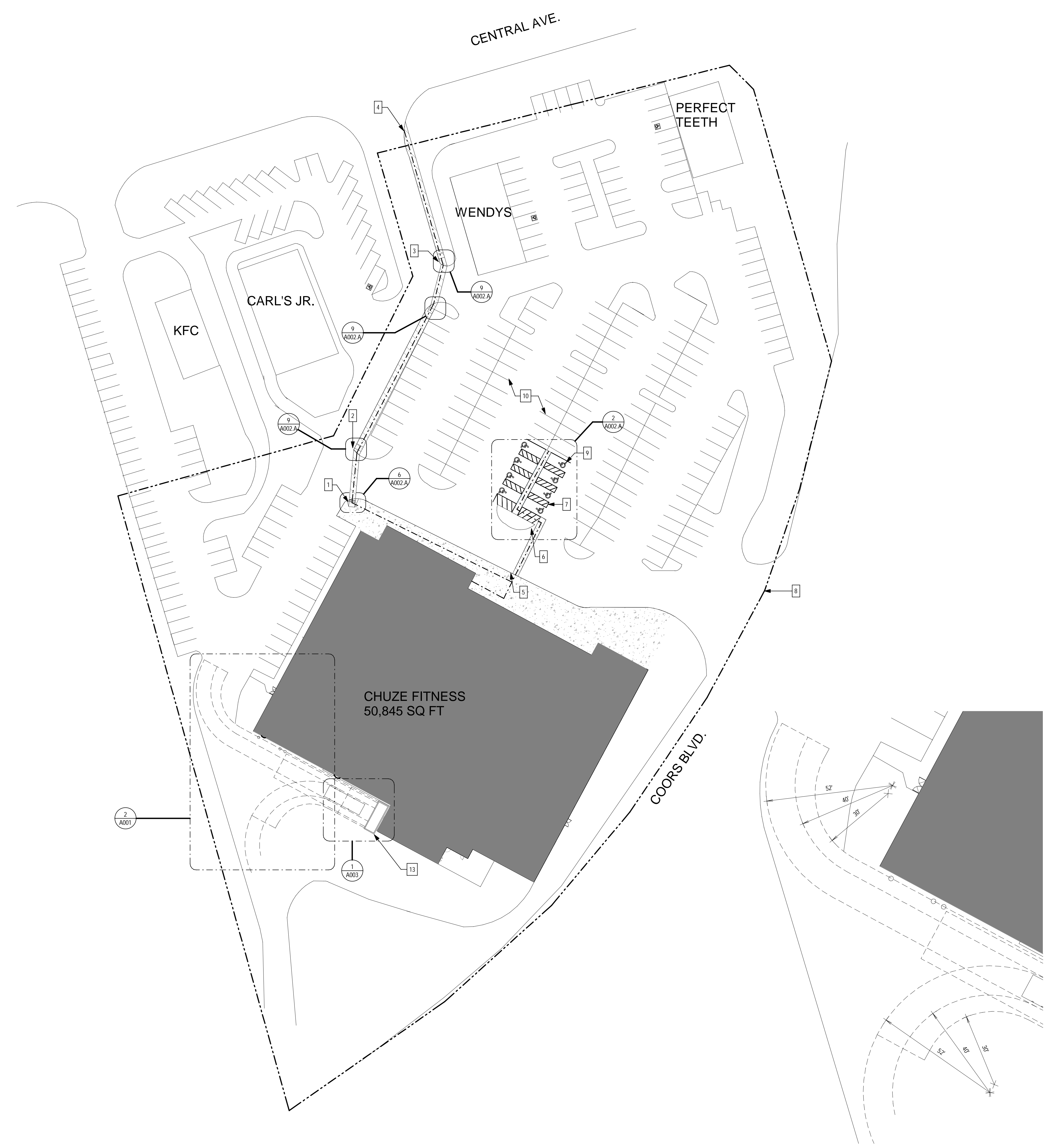
- PROPERTY LINE
- ADA POINT OF TRAVEL

**PARKING SPACE CALCULATIONS**

REQUIRED PARKING SPACES: 128 (2.5 SPACES PER 1000 SQ FT FLOOR AREA)  
AVAILABLE PARKING SPACES: 382 AND 8 ADA SPACES REQUIRED; 2 VAN ACCESSIBLE, 8 PROVIDED TOTAL

**KEYNOTES**

1. FLARED RAMP TO BE REDONE TO MEET CURRENT ADA STANDARDS
2. GRIND DOWN ASPHALT AS REQUIRED TO REMOVE ABUPT EDGES OVER 1/4"
3. EXISTING RAMP TO BE REDONE. INSTALL NEW TRUNCATED DOME
4. ACCESSIBLE PATH OF TRAVEL
5. EXISTING FLASH CURB CONDITION
6. PROVIDE CURB CUT FOR NEW ACCESSIBLE ROUTE
7. PROVIDE ALL NEW 4" STRIPING IN FEDERAL BLUE AT ACCESSIBLE PATH OF TRAVEL
8. PROPERTY LINE
9. REMOVE ALL EXISTING ACCESSIBLE PARKING SIGNAGE AND REPLACE WITH NEW CODE COMPLIANT SIGNAGE. RESTRIPE EXISTING PARKING WITH NEW ACCESSIBLE PATH OF TRAVEL
10. PARKING LOT TO BE SLURRY COATED AND RE-PAINTED BY LANDLORD
11. G.C. TO PROVIDE SIGNAGE AT ACCESSIBLE ROUTE PER DETAIL 7/A002.A
12. G.C. TO CONFIRM THE EXISTING SIGNAGE AT SITE ENTRANCE IN COMPLIANCE PER CODE AS NOTED ON DETAIL 8/A002.A
13. PROPOSED NEW TRASH ENCLOSURE



**2 ENLARGED TRASH ENCLOSURE TURNING RADIUS**  
SCALE: 1" = 20'-0"

**1 SITE PLAN**  
SCALE: 1" = 40'-0"

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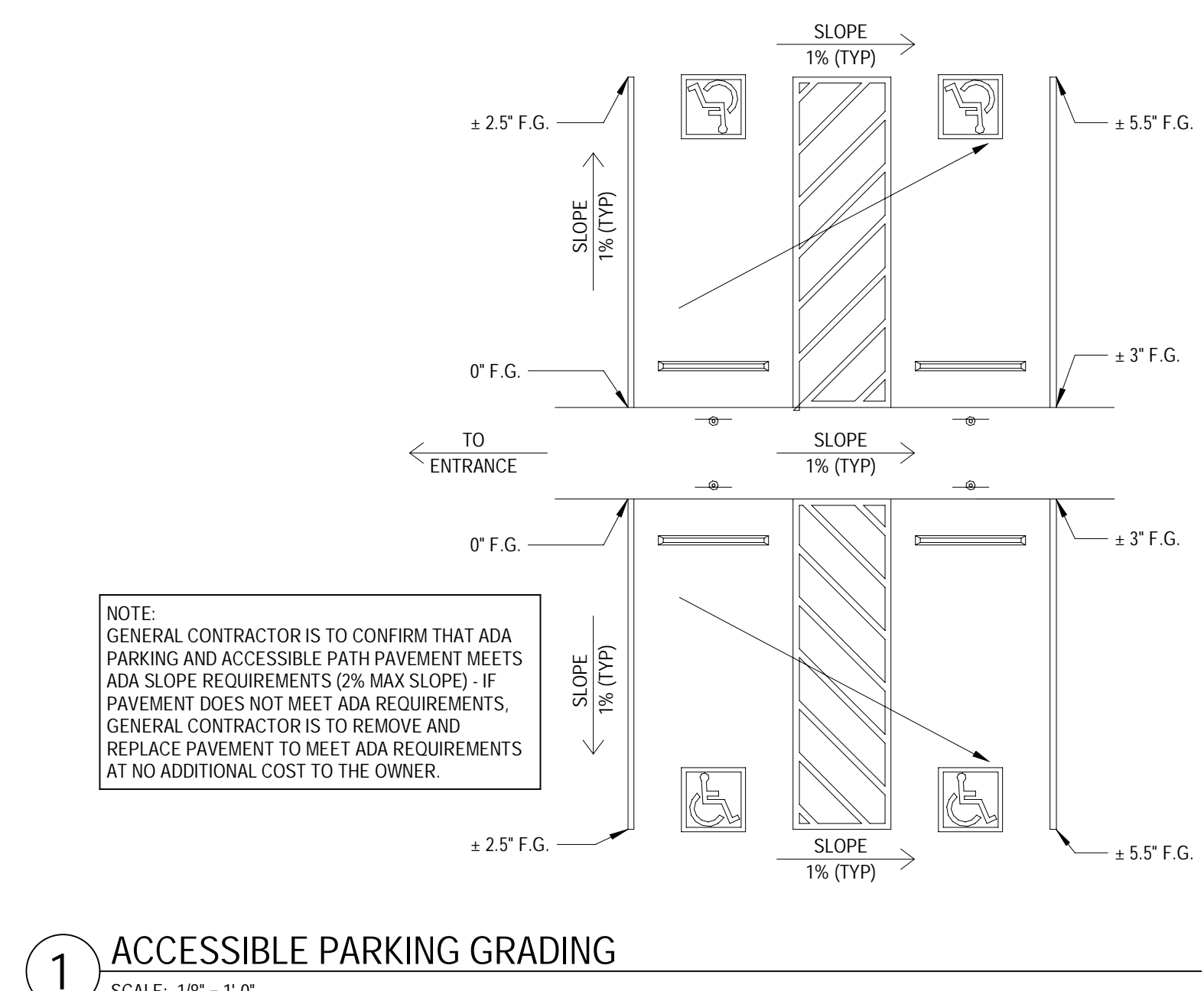
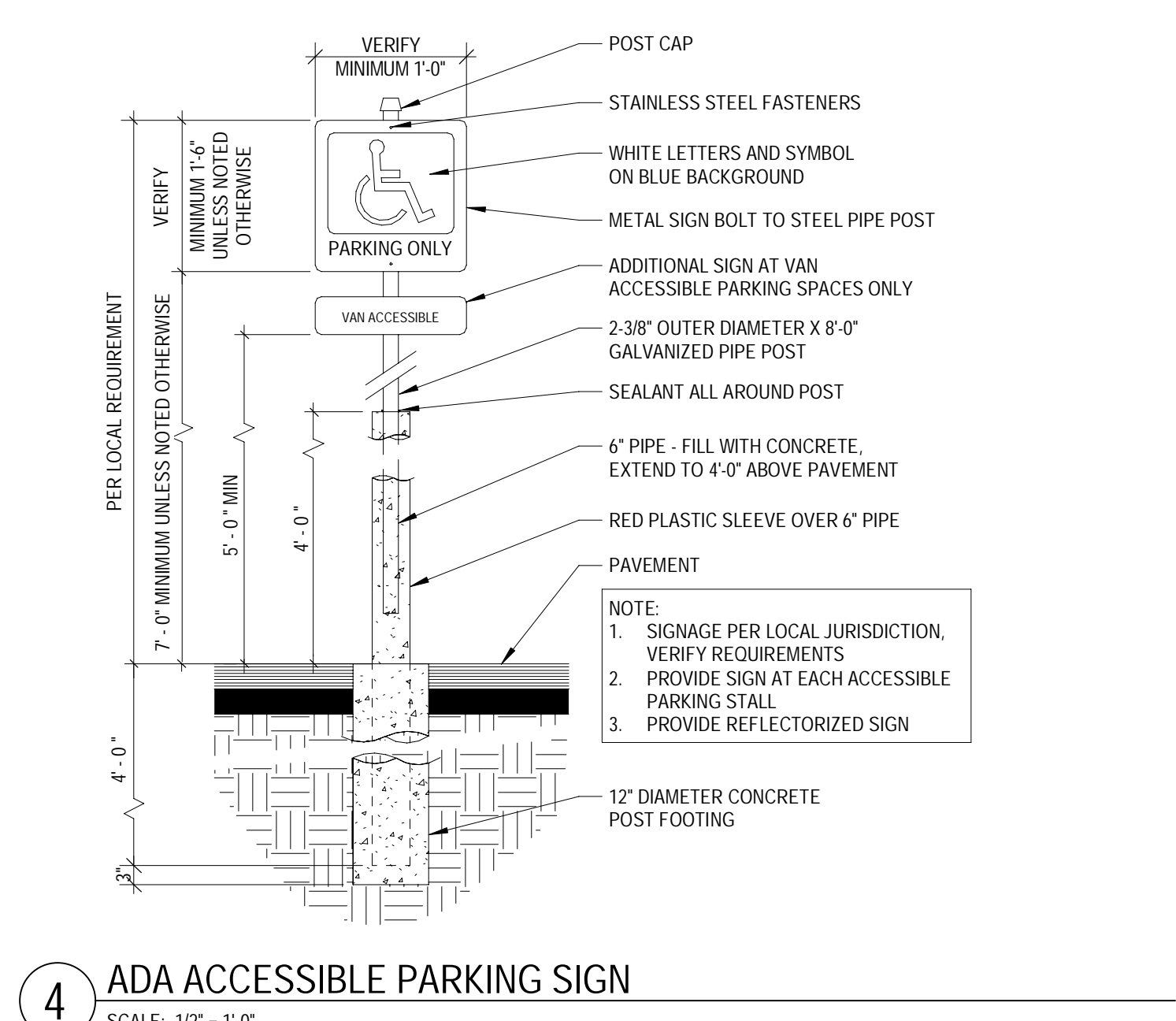
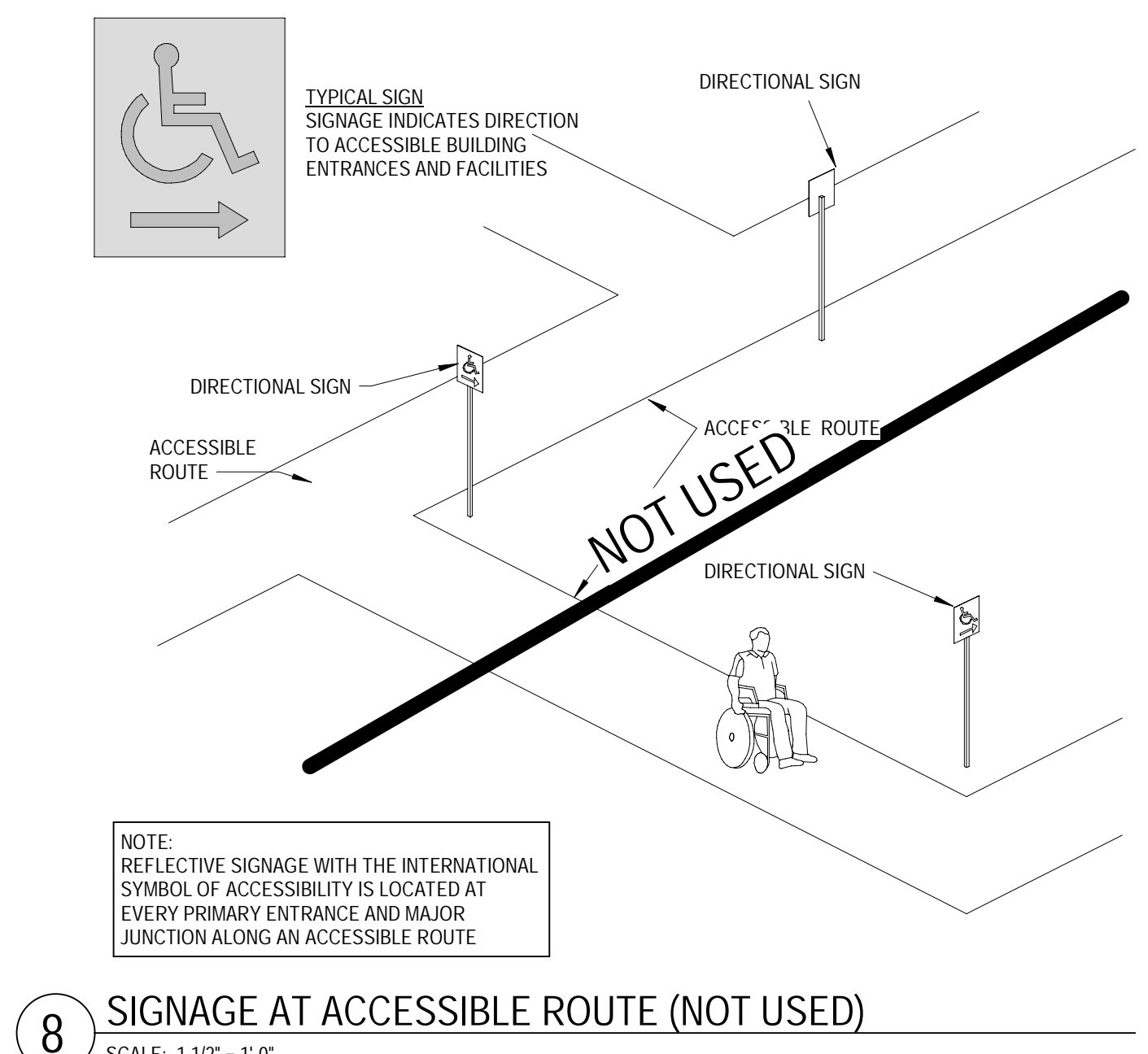
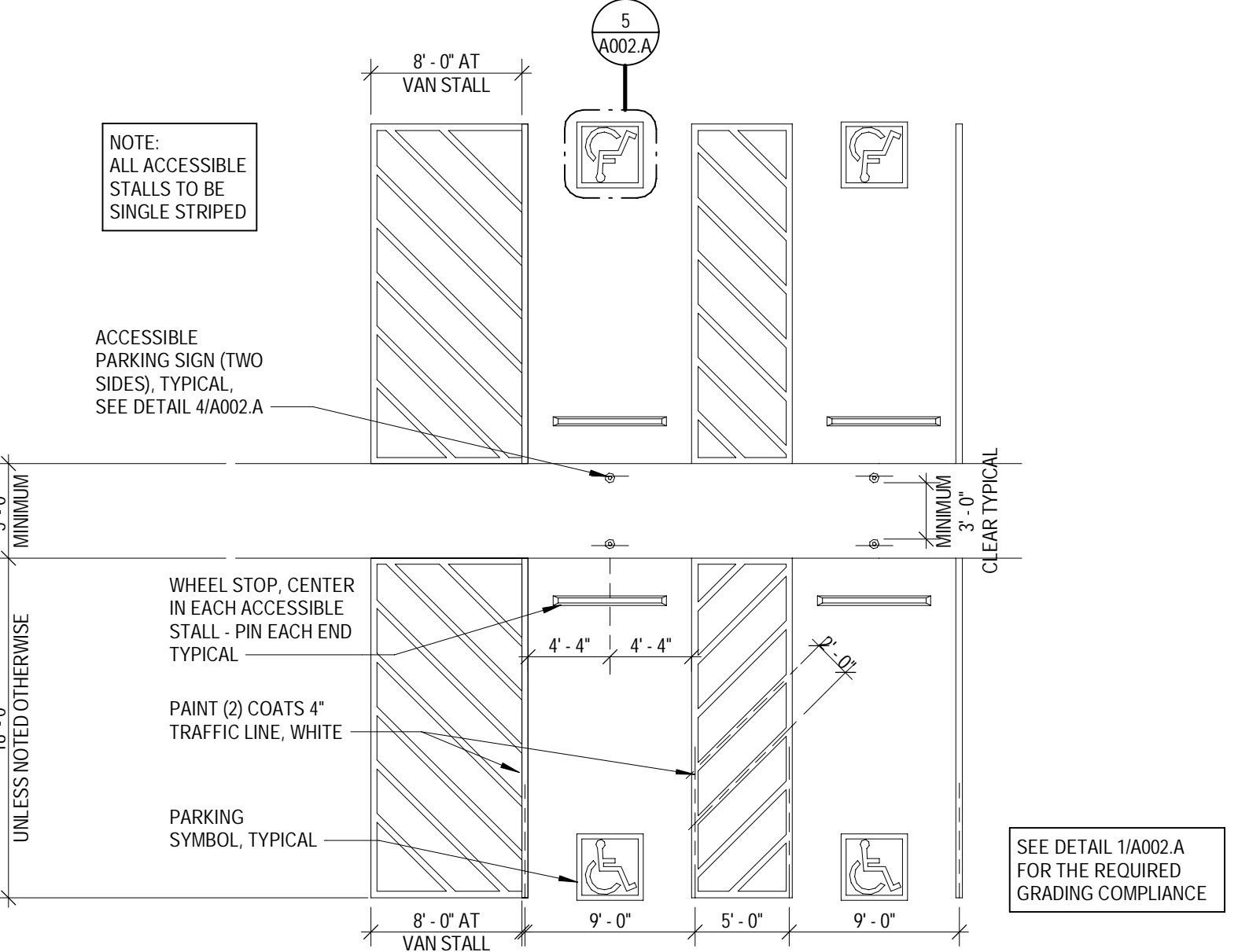
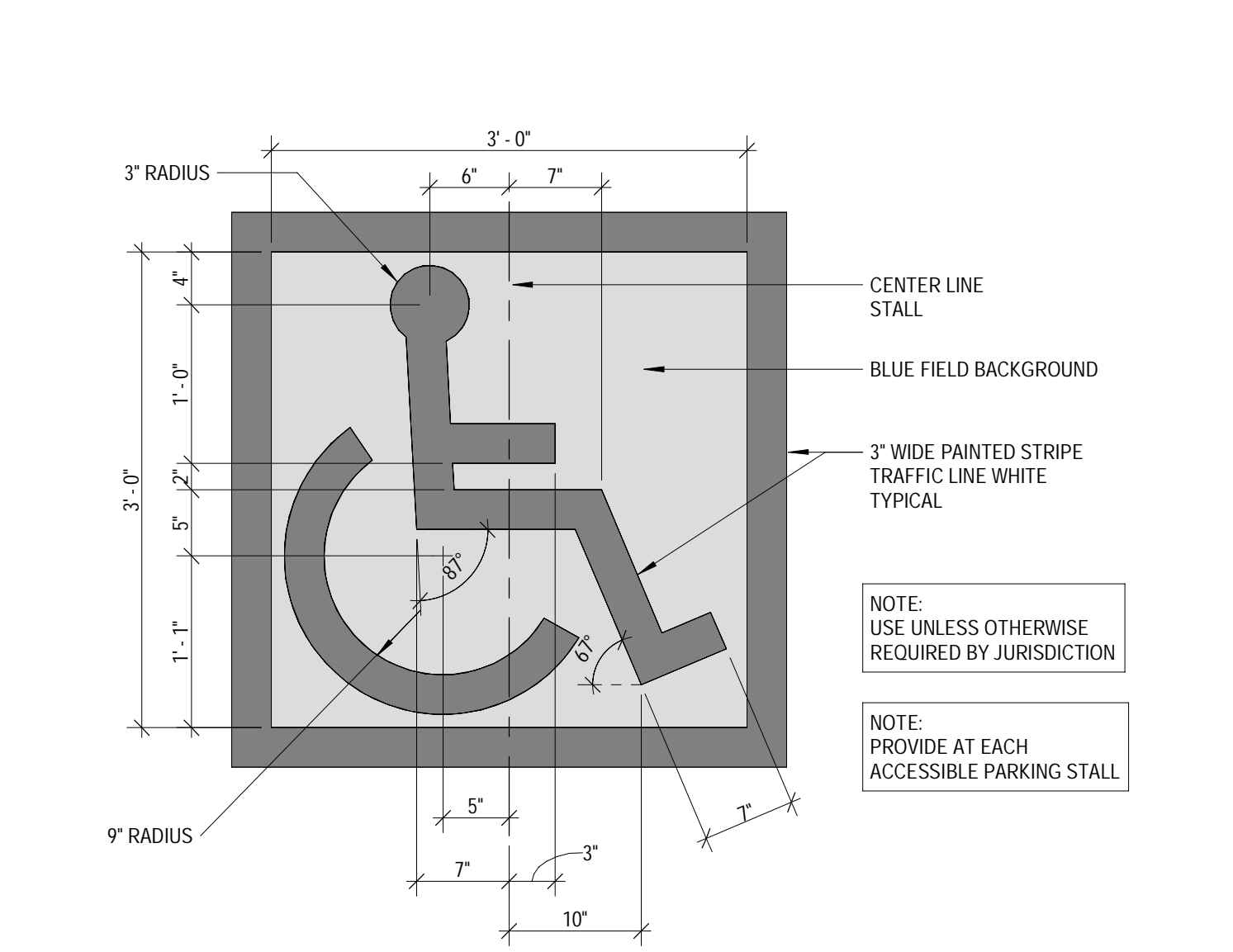
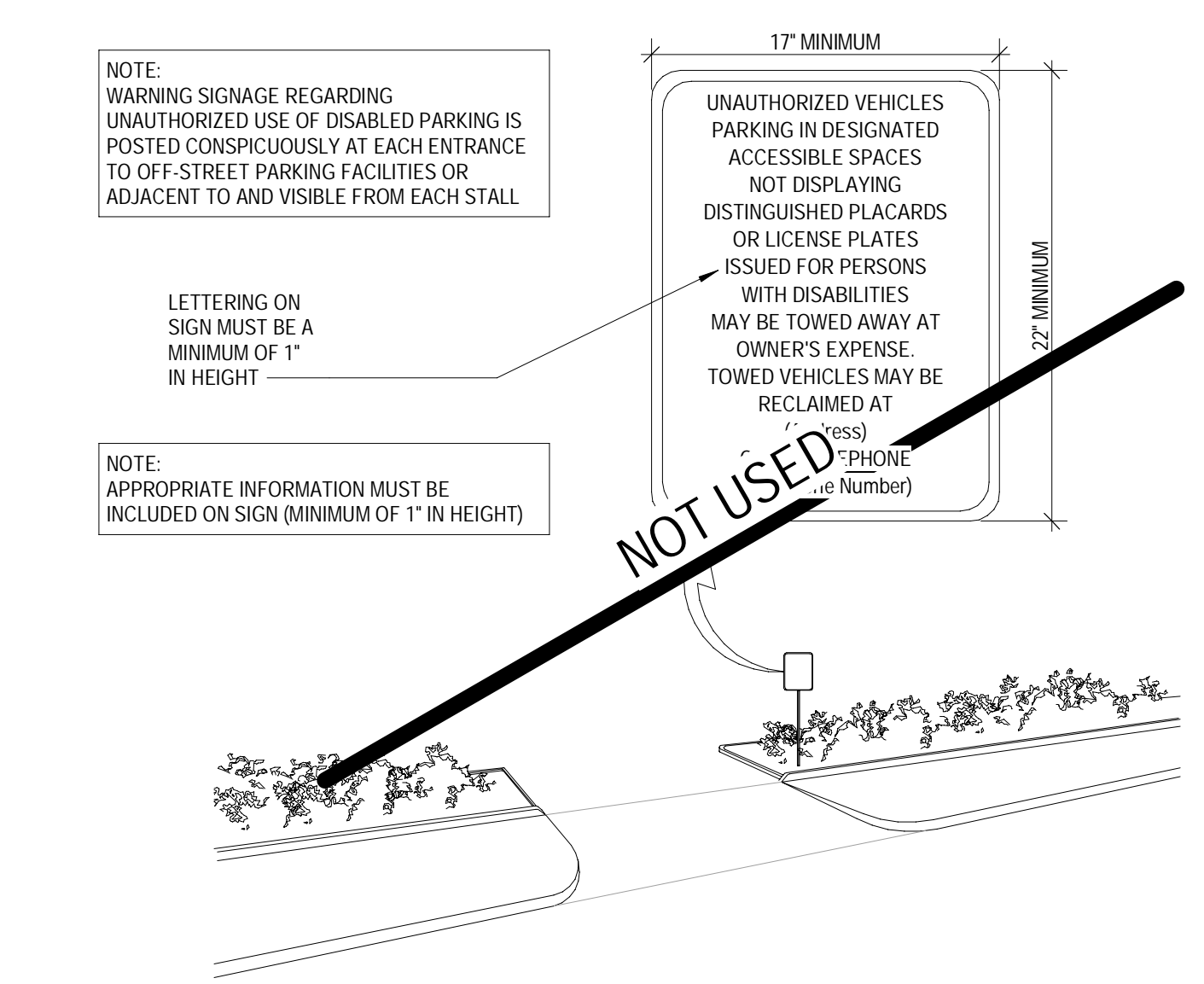
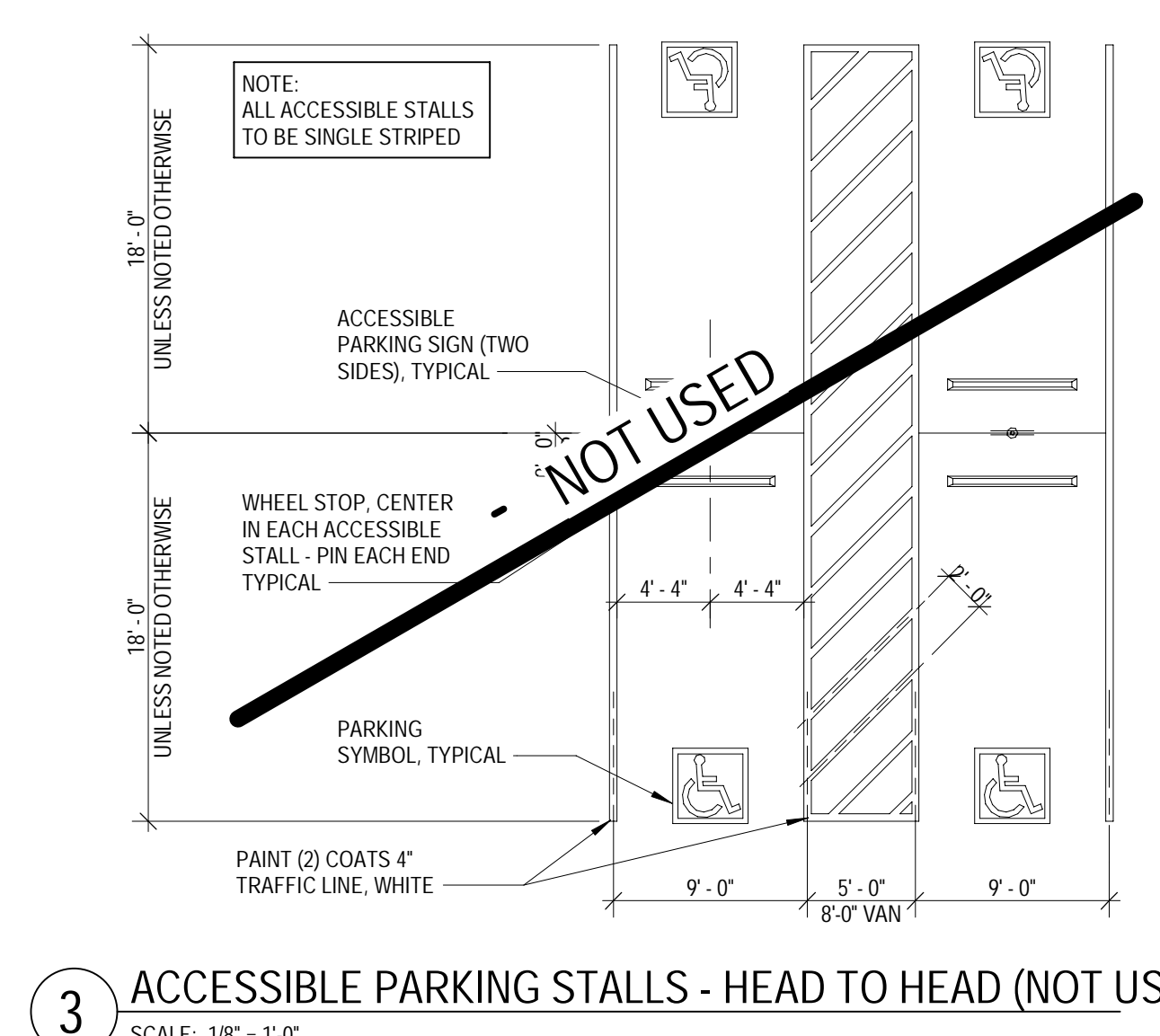
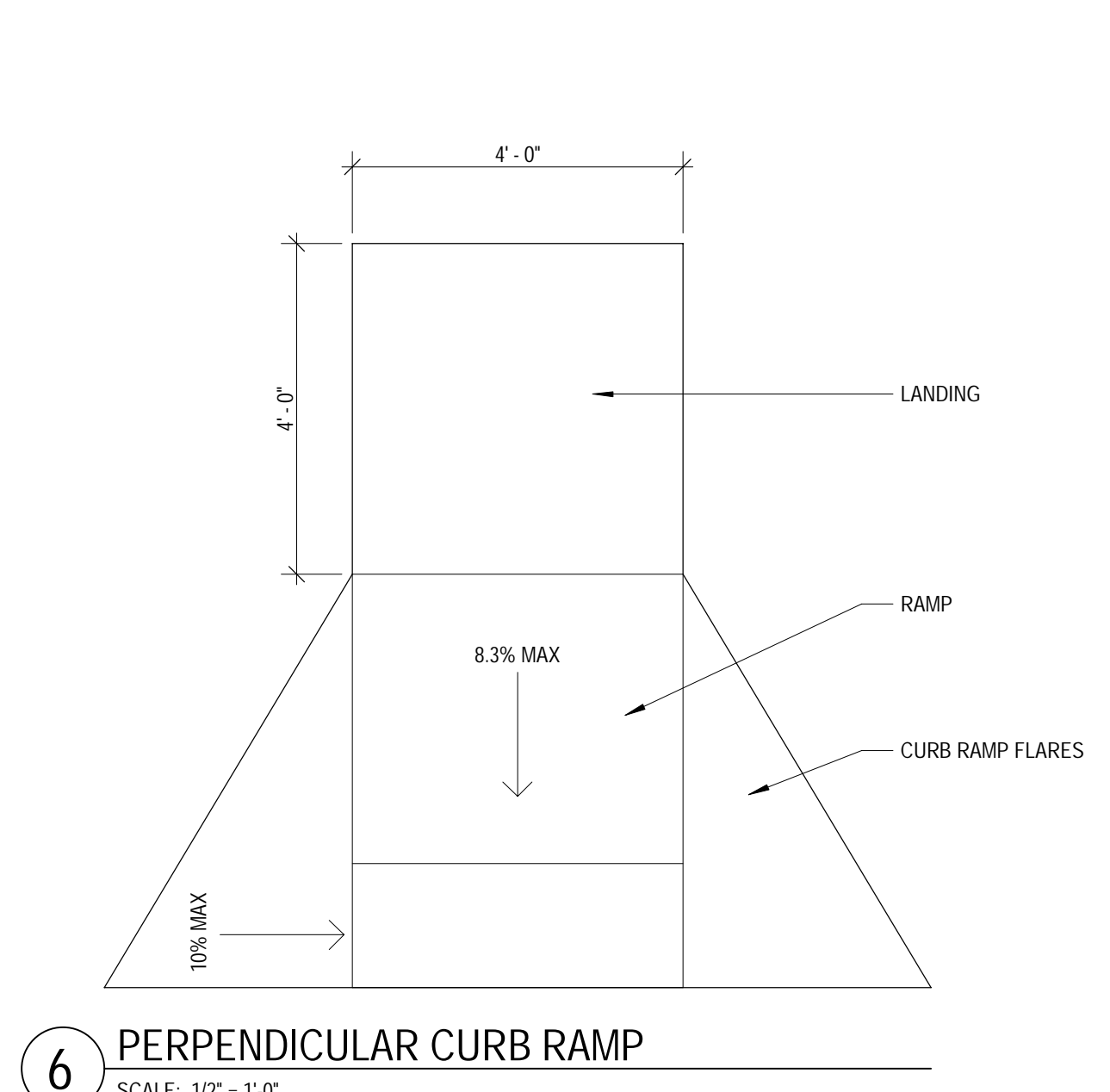
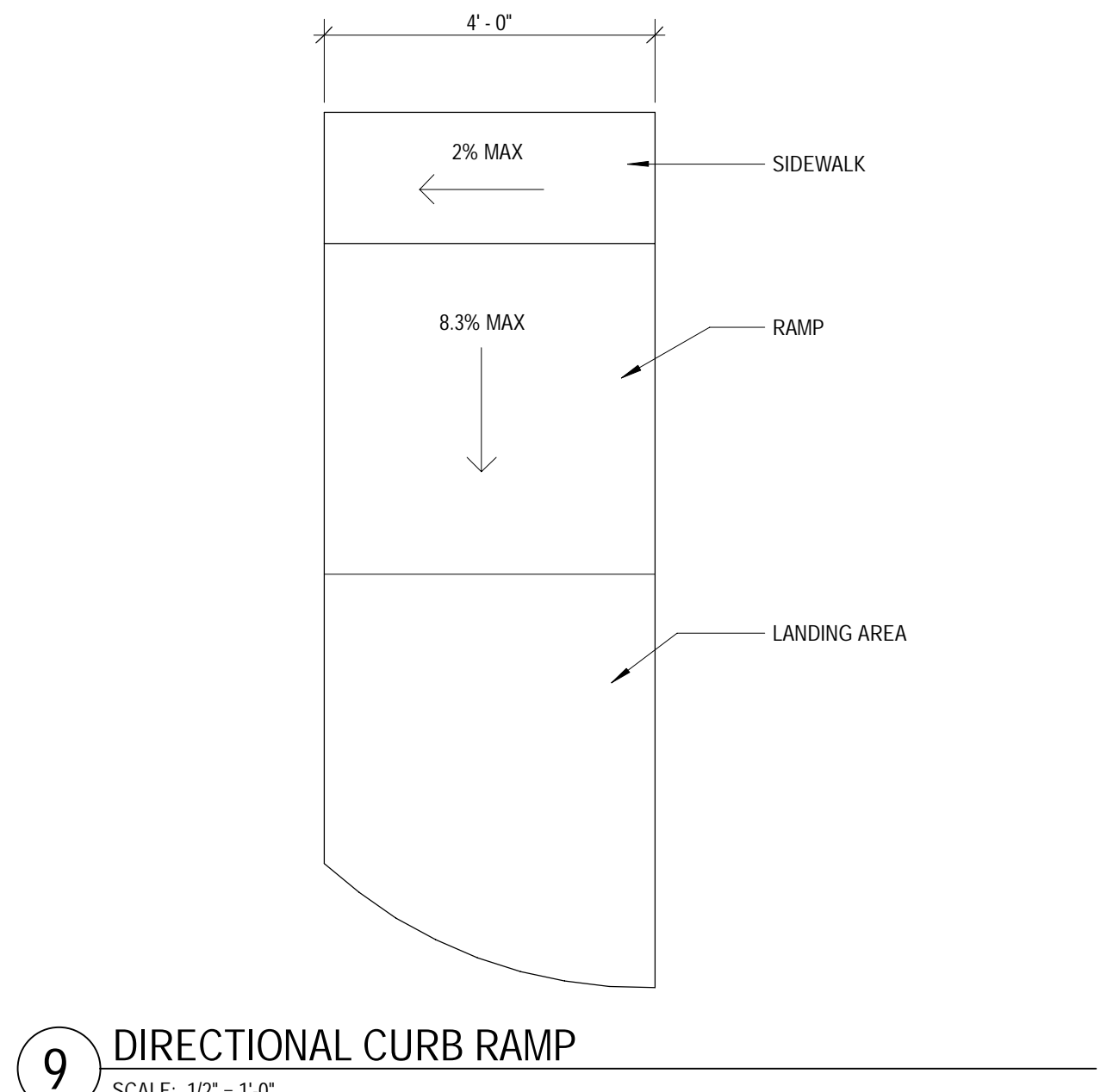
Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

SITE PLAN

**A001**

**ACCESSIBILITY GENERAL NOTES**

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE CORRECT INSTALLATION OF ALL ACCESSIBILITY FEATURES ON SHEETS G004-G005 & A002-A002.A, INCLUDING BUT NOT LIMITED TO THE ACCESSIBLE PARKING CROSS SLOPES, LONGITUDINAL SLOPES, SIGNAGE, STRIPING, MOUNTING HEIGHTS, AND ALL REQUIRED CLEARANCES
- THE ARCHITECT WILL CONDUCT AN ACCESSIBILITY SURVEY AT THE TIME OF SUBSTANTIAL COMPLETION TO VERIFY FULL CONFORMANCE
- ALL OPERABLE PARTS REQUIRED TO BE ACCESSIBLE SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE OPERABLE PARTS SHALL BE 5.0 POUNDS (22.2N) MAXIMUM.
- ALL WALL OR POST MOUNTED ITEMS IN CIRCULATION PATHS MUST BE LOCATED WITHIN PROTRUSION LIMITS. SEE DIAGRAM ON G004-G005.
- ALL NON-CONFORMING ITEMS WILL BE DOCUMENTED AND SUBMITTED TO THE GC FOR CORRECTIVE ACTION.
- FINAL PAYMENT AND RETAINAGE WILL BE HELD BY THE OWNER UNTIL ALL ITEMS HAVE BEEN CORRECTED AND THE SURVEY HAS BEEN CERTIFIED BY THE ARCHITECT.
- DIMENSIONS THAT ARE NOT STATED AS "MAXIMUM" OR "MINIMUM" ARE ABSOLUTE. ALL DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.



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Drawn By: MG2  
Checked By: MG2

SITE DETAILS - ALTERNATE IBC

**A002.A**





**SLAB PLAN NOTES:**

1. ALL DIMENSIONS TO FACE OF STUD, U.N.O.
2. VERIFY DIMENSIONS AND ELEVATIONS WITH ALL OTHER DISCIPLINES. COORDINATE ANY DISCREPANCIES WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
3. REF. CIVIL DRAWINGS FOR GRADING DETAILS OUTSIDE THE BUILDING ENVELOPE.
4. REF. PLUMBING PLAN FOR ADDITIONAL INFORMATION.

18200 Von Karman Ave, Ste 910  
Irvine, CA 92612  
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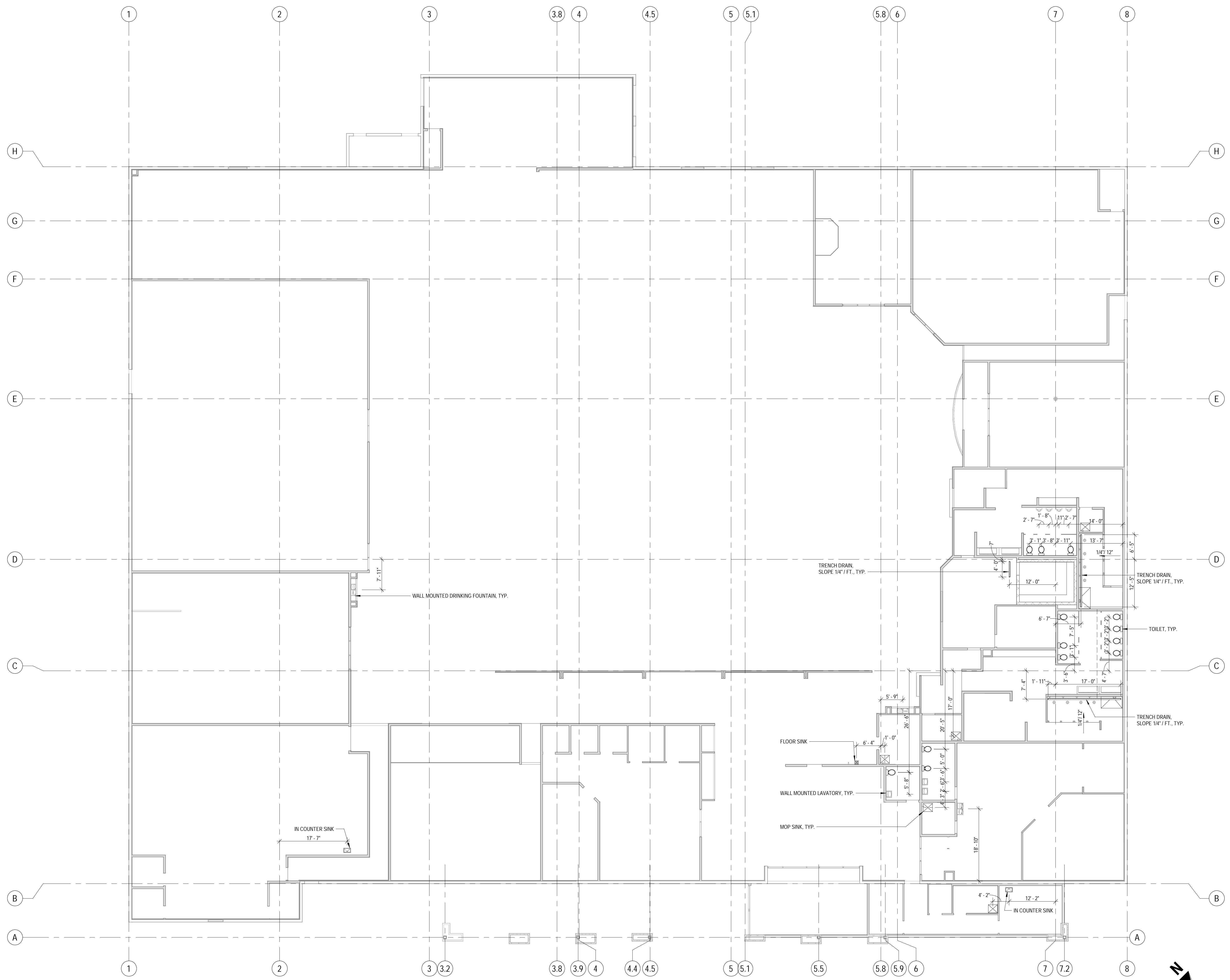
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Checked By: MG2

OVERALL SLAB PLAN

**A010**



**1 OVERALL SLAB PLAN**  
SCALE: 3/32" = 1'-0"

3/11/2022 8:47:42 AM

FLOOR PLAN GENERAL NOTES

1. A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
2. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
3. U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
4. EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
5. IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
6. GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
7. MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
8. VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
9. VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
10. SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
11. INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 4" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE RACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
12. INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU.
13. PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
14. REF. SHEET A201 FOR WALL DETAILS AND TYPE DESIGNATIONS.
15. PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
16. FIRE STOPPING MATERIAL FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
17. ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
18. THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
19. EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
20. ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
21. ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
22. DOOR & WINDOWS ARE TAGGED ON SHEET A201. REF. SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
23. PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
24. EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. U.N.O.
25. ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
26. ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS. REF: SHEET A601 FOR HARDWARE SCHEDULE.
27. PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
28. GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED VENDOR TO COMPLETE TESTING. REF. SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
29. REF. TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
30. ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING. TYP.
31. REFER TO RESPONSIBILITY SCHEDULE ON SHEET G003 FOR ADDITIONAL INFORMATION.
32. EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

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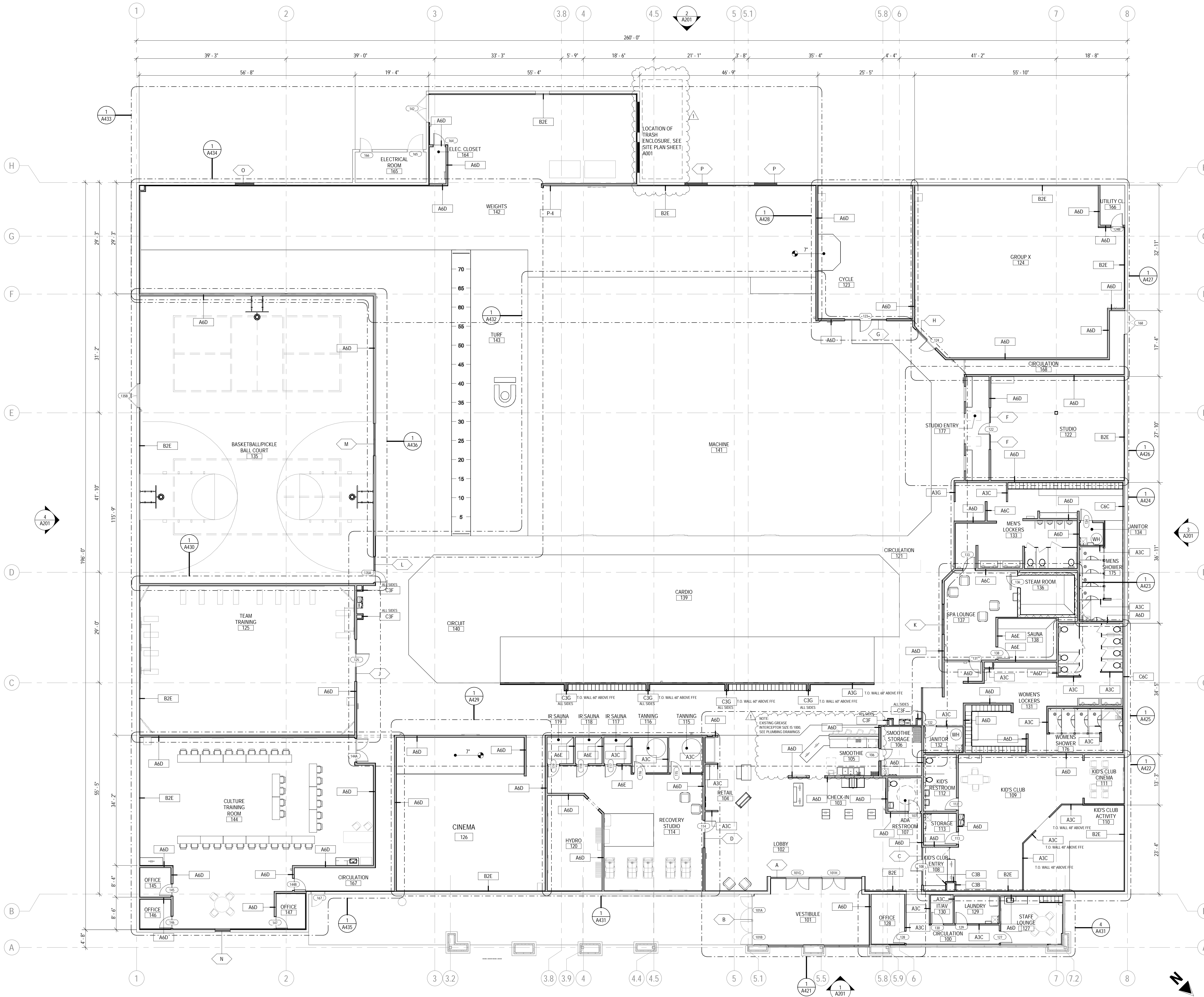
6600 CENTRAL AVE, SW  
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#	Date	Issue/Description
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	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

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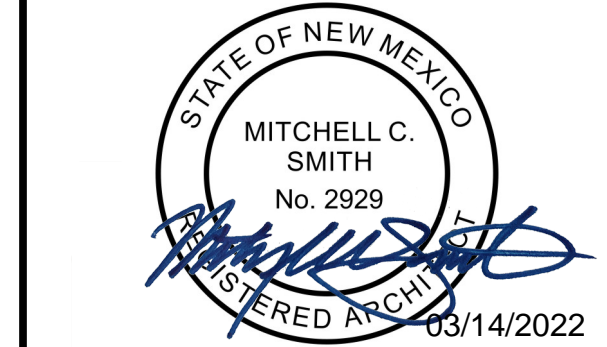
OVERALL FLOOR PLAN

A101



1 OVERALL FLOOR PLAN  
SCALE: 3/32" = 1'-0"

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COORS & CENTRAL - CHUZE ALBUQUERQUE

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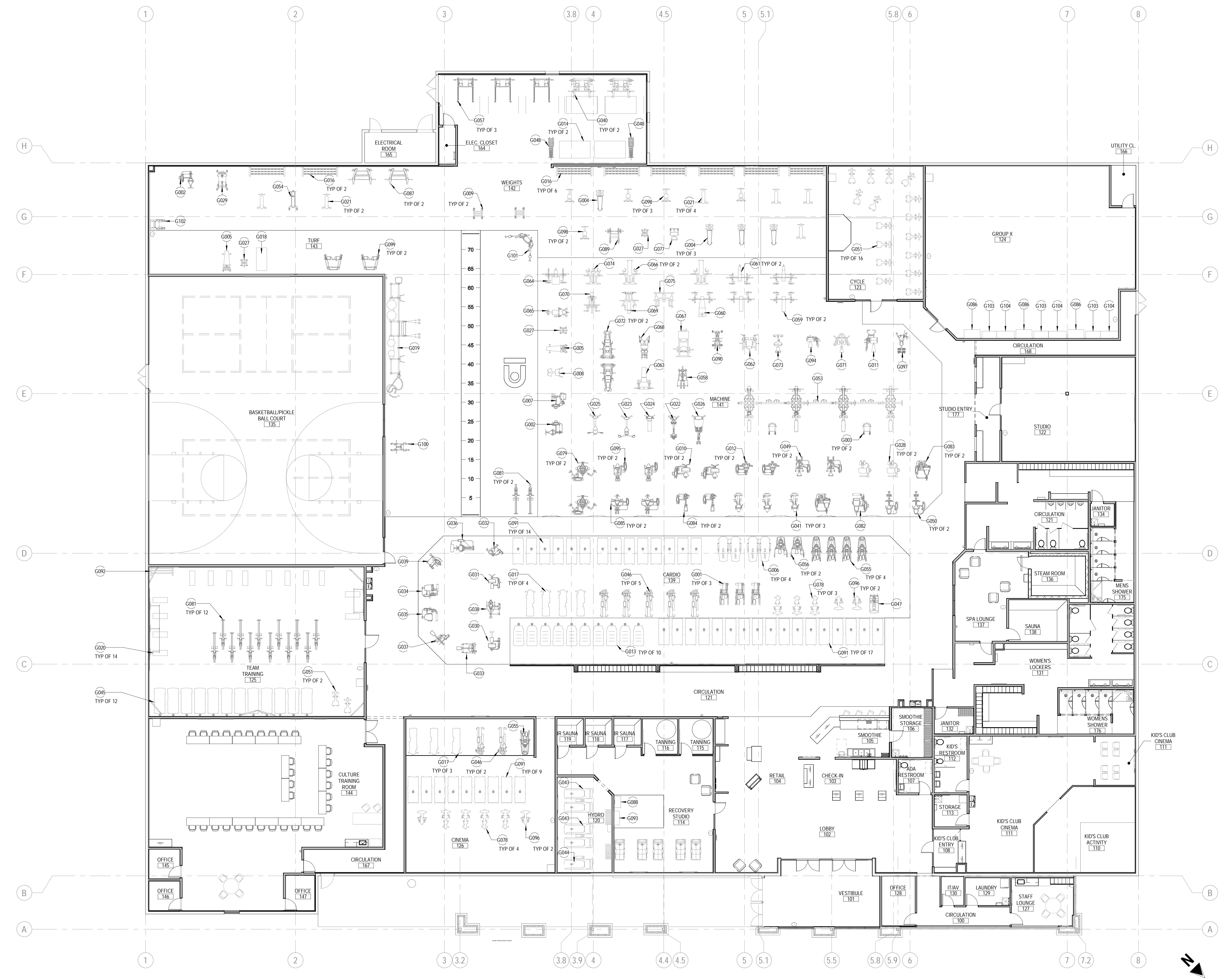
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01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
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Drawn By: MG2  
Checked By: MG2

EQUIPMENT PLAN

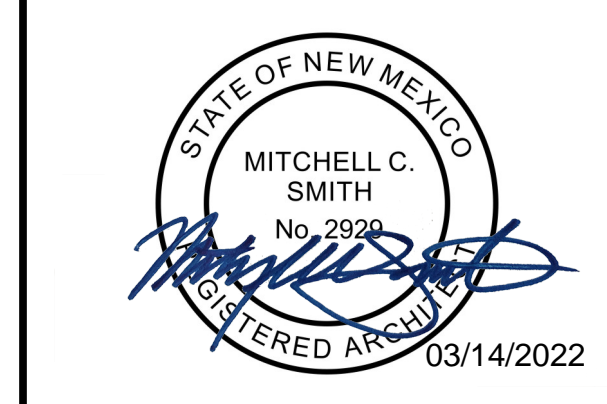
A102

EQUIPMENT SCHEDULE		
s	Family	Count
<b>CARDIO</b>		
G001	A3x	3
G006	AMT B35	4
G013	CRIPS	10
G017	E1x	4
G046	INX INTEGRITY CROSS TRAINER	5
G047	KRANK CYCLE	1
G055	OCTANE 4700	4
G056	OCTANE LAT	2
G078	R3x	3
G091	T-ES	31
G096	U3x	2
<b>CINEMA</b>		
G017	E1x	3
G046	INX INTEGRITY CROSS TRAINER	2
G055	OCTANE 4700	1
G078	R3x	4
G091	T-ES	9
G096	U3x	2
<b>CIRCUIT</b>		
G030	GO ABDOMINAL	1
G031	GO BICEPS CURL	1
G032	GO CHEST PRESS	1
G033	GO LAT PULLDOWN	1
G034	GO LEG CURL	1
G035	GO LEG EXTENSION	1
G036	GO LEG PRESS	1
G037	GO SEATED ROW	1
G038	GO SHOULDER PRESS	1
G039	GO TRICEP PRESS	1
<b>CYCLE</b>		
G051	LS E Series	16
<b>GROUP X</b>		
G102	PLATFORMS	3
G104	RISERS	3
G086	SMART BARS	3
<b>HYDRO</b>		
G043	Hydro Bed	2
G044	Hydro Bed Single	1
<b>MACHINE</b>		
G002	ABDOMINAL	2
G003	ACCESSORY RACK	2
G005	ADJ AB BENCH	1
G007	BACK BENCH	1
G008	BACK EXTENSION	1
G010	BICEP CURL	2
G011	Bicep Curl 2	1
G012	CHEST PRESS	2
G022	FM CALF	1
G023	FM Chest	1
G024	FM Ham2	1
G025	FM SHOULDER	1
G026	FM SQUAT	1
G027	G1 Weight Tree	1
G028	Gate	2
G041	Hip Adductor	3
G049	LAT PULLDOWN	2
G050	LEG PRESS	2
G053	MIB CABLE MOTION MULTIJUNGLE 2	1
G058	PERFECT SQUAT	1
G059	PFW Bench Press	2
G060	PFW Decline Press	1
G061	PFW Incline Press	2
G062	PFW PL Leg Extension	1
G063	PFW Prone Leg Curl	1
G065	PL Ab Crunch	1
G066	PL Chest Press	1
G067	PL Hack Squat	1
G068	PL HAMMER GLUTE HAM	1
G069	PL Incline Press	1
G071	PL Lat Row	1
G072	PL LEG PRESS (dup)	2
G073	PL SEATED CALF	1
G075	PL Vertical Decline Press	1
G079	REAR DETL PEC FLY	1
G082	SEATED LEG CURL	2
G083	SEATED LEG EXTENSION	2
G084	SEATED ROW	2
G085	SHOULDER PRESS	2
G090	STANDING CALF	1
G097	T-BAR ROW	1
G094	Trap Bar	1
G095	TRICEP PRESS	2
<b>TEAM TRAINING</b>		
G045	i10.9b	12
G051	LS E Series	2
G081	Rower	12
G092	Team Rack	1
<b>TURF</b>		
G005	ADJ AB BENCH	1
G101	Dual Cablecross	1
G018	Elevate Core	1
G027	G1 Weight Tree	1
G081	Rower	2
G099	VERSA FUNCTIONAL TRAINER	2
G100	VKN CHN	1
G019	XULT RIG	1
<b>WEIGHTS</b>		
G002	ABDOMINAL	1
G004	Adj Decline Bench	3
G009	Barbell Rack	2
G102	Bosu Log Riser	1
G016	Dumbbell Rack	8
G021	Flat Bench	6
G027	G1 Weight Tree	1
G029	GLUTEN BENCH	1
G040	HALF RACK	2
G048	LARGE BUMPER PLATE STORAGE	2
G054	Multi-adj bench	1
G057	OPEN RACK	3
G077	PREACHER CURL	1
G087	Smith Machine-New	2
G089	STANDING ARM CURL	1
G098	Utility Bench	5



1 OVERALL EQUIPMENT PLAN  
SCALE: 3/32" = 1'-0"

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**FINISH PLAN GENERAL NOTES**

- REF: SHEET A610 FOR FULL FINISH SPECIFICATIONS.
- REF: ELEVATIONS FOR ADDITIONAL FINISH LOCATIONS AND EXTENTS.
- LOCKER ROOMS, RESTROOMS, AND POOL AREAS TO BE MOISTURE RESISTANT GYP BOARD WITH EPOXY 2-PART SYSTEM PAINT - REFER TO PROJECT MANUAL.
- PAINT TO EXTEND ALL THE WAY TO DECK WHEN STRUCTURE IS EXPOSED.
- ALL COLUMNS TO BE PAINTED P-3 TO 6'-0", WITH P-4 ABOVE TO CEILING. IF A COLUMN IS PRESENT IN STUDIO, PAINT P-11 TO CEILING.
- GC TO PROVIDE 5'-0" TILE WAINSCOT IN LOCKER ROOMS ON ALL EXPOSED WALLS UNO. REF: ELEVATIONS AND SHEET A610.
- REF: SHEET A605 FOR ALL TRANSITION DETAILS.
- ALL TRANSITIONS TO TERMINATE AT CENTER OF THRESHOLD OR ALIGN WITH ADJACENT WALL, WHERE APPLICABLE.
- CORNERS GUARDS AT ALL 90 DEGREE CORNERS, TYP. REFER TO DETAILS.

**FINISH LEGEND**

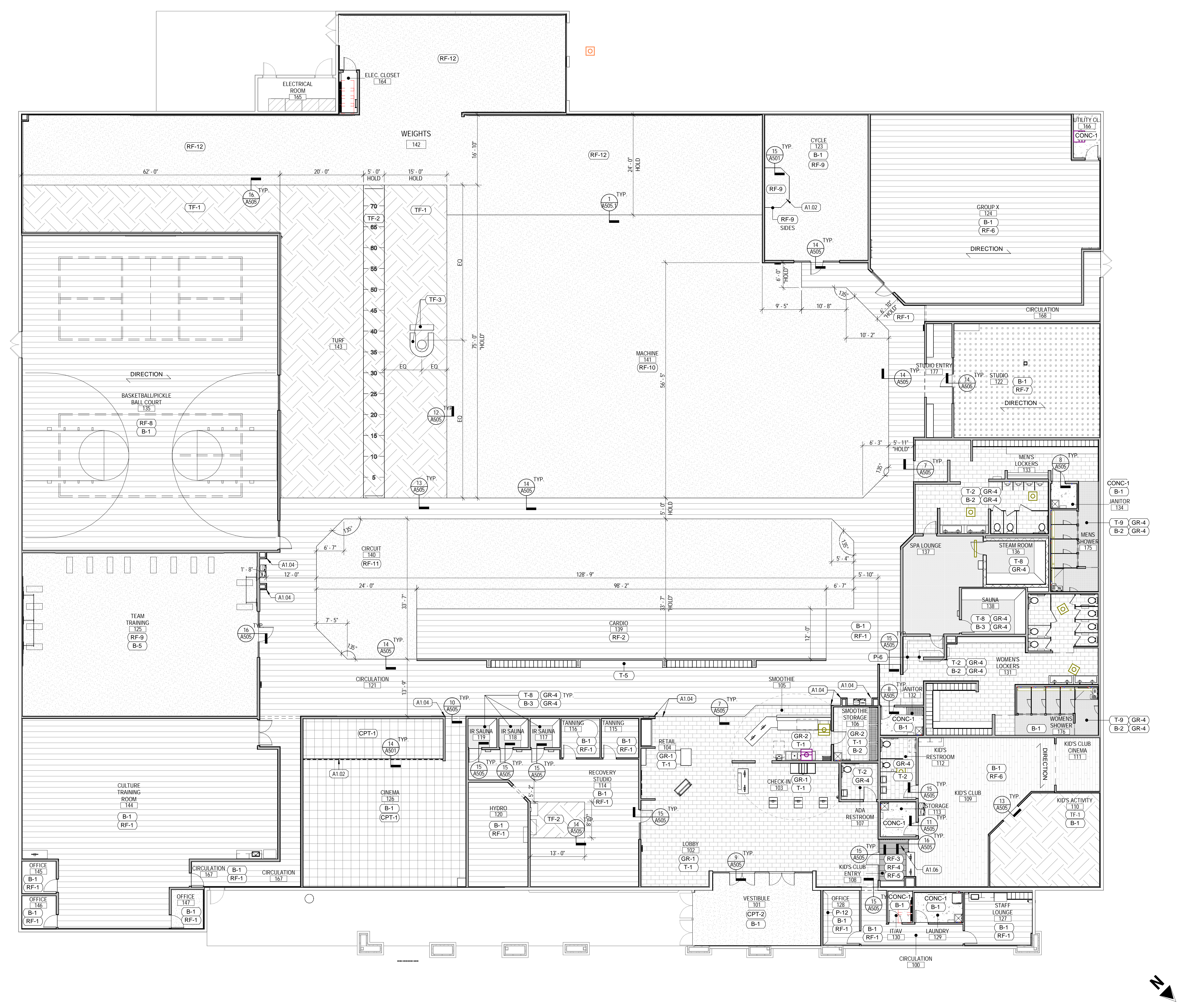
REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE	
B BASE	SP SHOWER PARTITIONS
CONC CONCRETE	SS SOLID SURFACE
CPT CARPET	T TILE
P PAINT	TF TURF
PL PLASTIC LAMINATE	TP TOILET PARTITIONS
RF RESILIENT FLOORING	WD WOOD
	WP WALL PROTECTION

**FINISH SYMBOL LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE			
CONCRETE	2' X 2' TILE	12' X 24' TILE	ARTIFICIAL TURF
RUBBER	3' X 3' TILE	WALL COVERING	CARPET TILE
VINYL SHEET ROLL	4' X 4' TILE	WOOD FINISH	FRP
LUXURY VINYL TILE	4' X 12' TILE	WOOD PANELING	SLAT WALL
4' X 16' TILE	4' X 16' TILE	RESILIENT SHEET	PLYWOOD

**KEYNOTES**

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A1.02	7" H PLATFORM RISER, REF: FLOOR PLAN FOR LOCATION AND DIMENSIONS
A1.04	ALIGN FLOORING TO ADJACENT WALL
A1.06	RANDOM INSTALLATION, PROVIDE 33% OF EACH: RF-3, RF-4, RF-5, HERRINGBONE PATTERN



**1 OVERALL FINISH PLAN**  
SCALE: 3/32" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

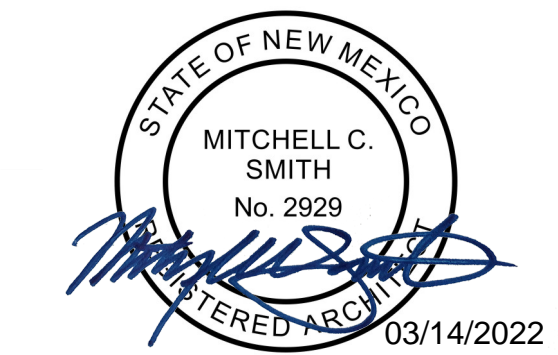
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Drawn By:	MG2
Checked By:	MG2

FLOOR FINISH PLANS

**A111**



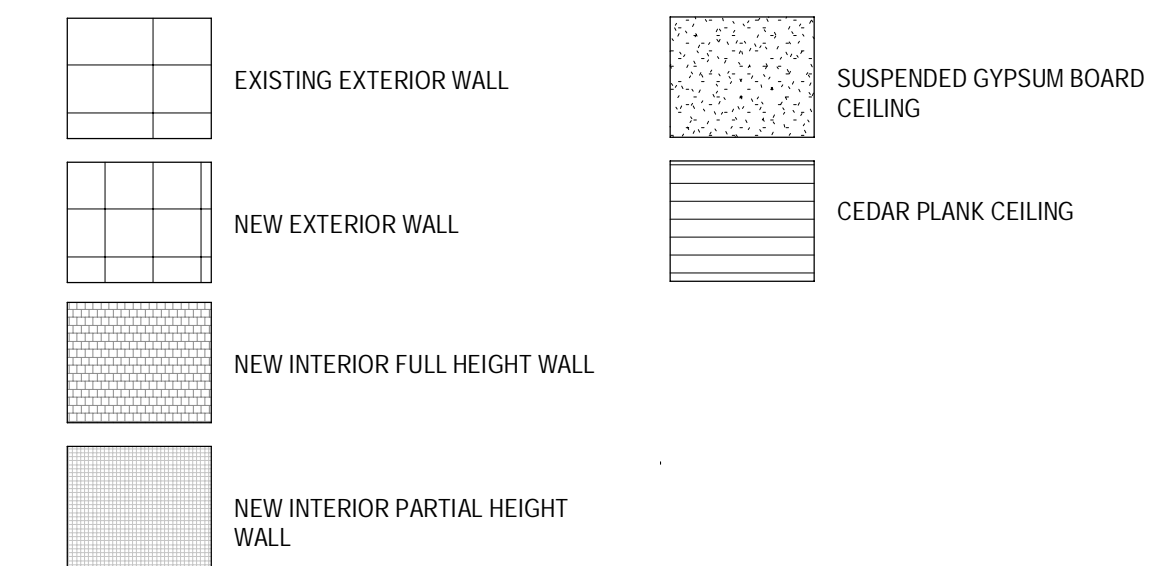
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REFLECTED CEILING PLAN GENERAL NOTES

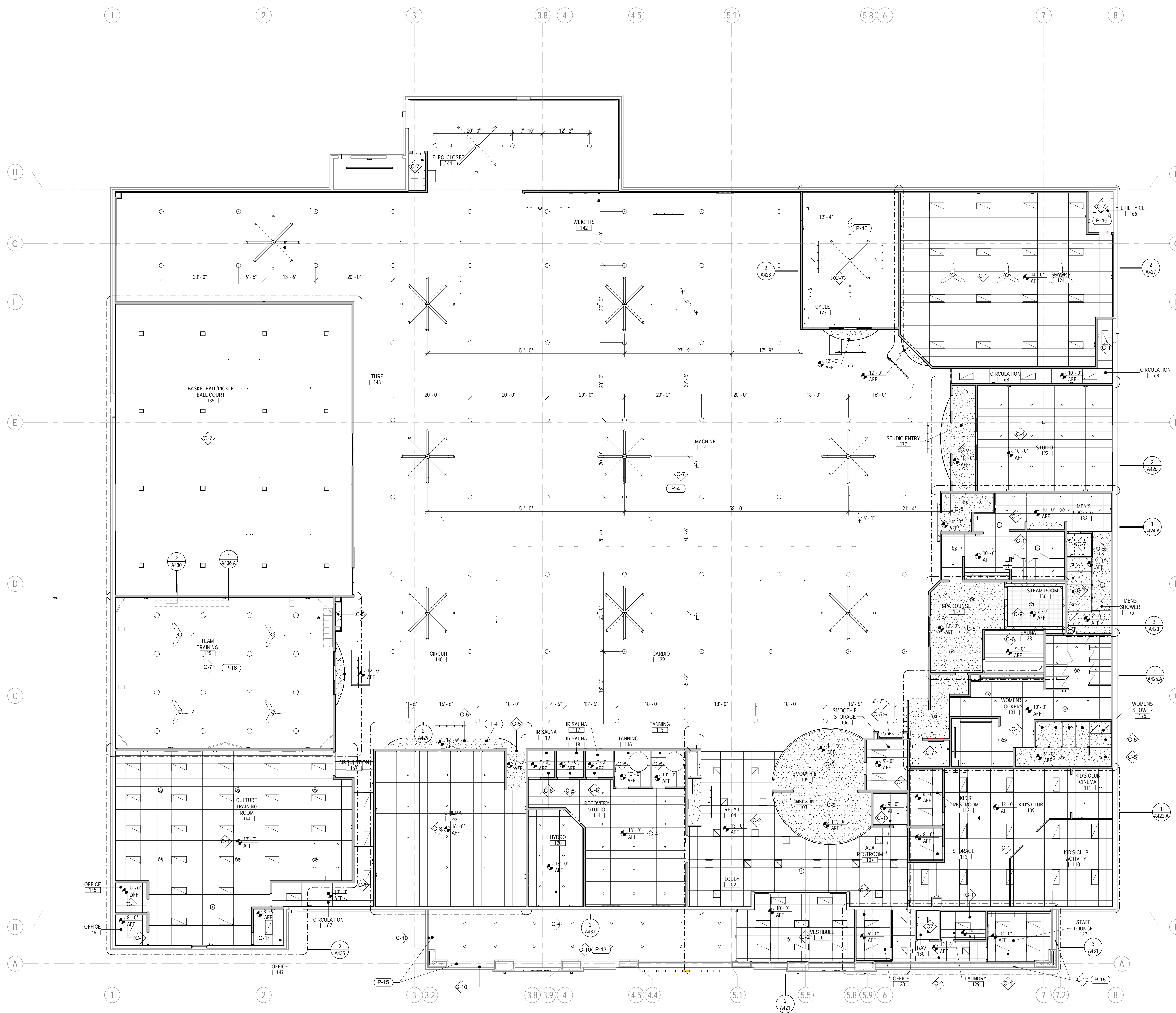
- REF: MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF: ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
- DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
- HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR U.N.O.
- PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
- SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4" O.C. MAX AND CROSS TEES AS SHOWN ON PLANS (2" O.MIN).
- ISOLATE CEILING GRIDS FROM PERIMETER WALLS. FASTEN PERIMETER EDGE ANGLE TO CEILING GRID. FREE FROM WALL ASSEMBLY. PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
- CEILING GRID SUSPENSION SUPPORT SHALL BE #12 GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4" O.C. MAX.
- LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) 1/8" BLIND RIVET AT EACH CORNER. EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
- SUSPENDED ACOUSTICAL CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636 SUPPLY AND RETURN DIFFUSERS IN SUSPENDED CEILINGS SHALL HAVE STRAPS AT OPPOSITE SIDES. STRAPS TO MATCH SUPPLY/RETURN COLOR.
- CENTER CEILING GRID IN SPACE AS SHOWN, UNLESS SHOWN OTHERWISE.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TILES, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
- COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH IN.
- ALL EXPOSED CEILINGS, MECHANICAL UNITS AND ELECTRICAL SYSTEMS TO BE PAINTED P-4. CYCLE EXPOSED CEILING TO BE P-16.
- ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
- EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
- PROVIDE SPRINKLER HEADS/ESCUECHON PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS.
- SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER NOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E588, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TRIM RING.
- PROVIDE SPRINKLERS UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF: PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (5.504.5.3)

WALL TYPES LEGEND



REFLECTED CEILING PLAN SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2'X4' PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'X2' PANELS. COLOR - WHITE
C-3	ACOUSTIC T-BAR	ARMSTRONG	1319 Backstage Noir	2'X4' PANELS. COLOR - BLACK
C-4	SQUARE LAY-IN	ARMSTRONG	KITCHEN ZONE 872	2'X4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES. REF: REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA & BASKETBALL COURT. PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING. P-16 REF: SPECS FOR PAINT APPLICATION. UNPAINTED AT STORAGE, JANITOR & MECHANICAL SPACES
C-8	T-8 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-10	EXISTING EIFS	-	-	PAINT AS NOTED



1 OVERALL REFLECTED CEILING PLAN  
SCALE: 3/32" = 1'-0"

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Project No: 21603901A  
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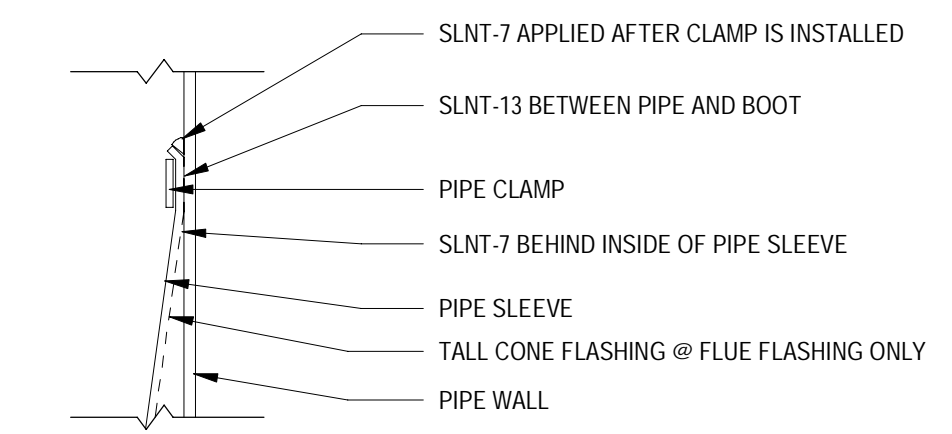
OVERALL REFLECTED CEILING PLAN

**ROOF PLAN NOTES:**

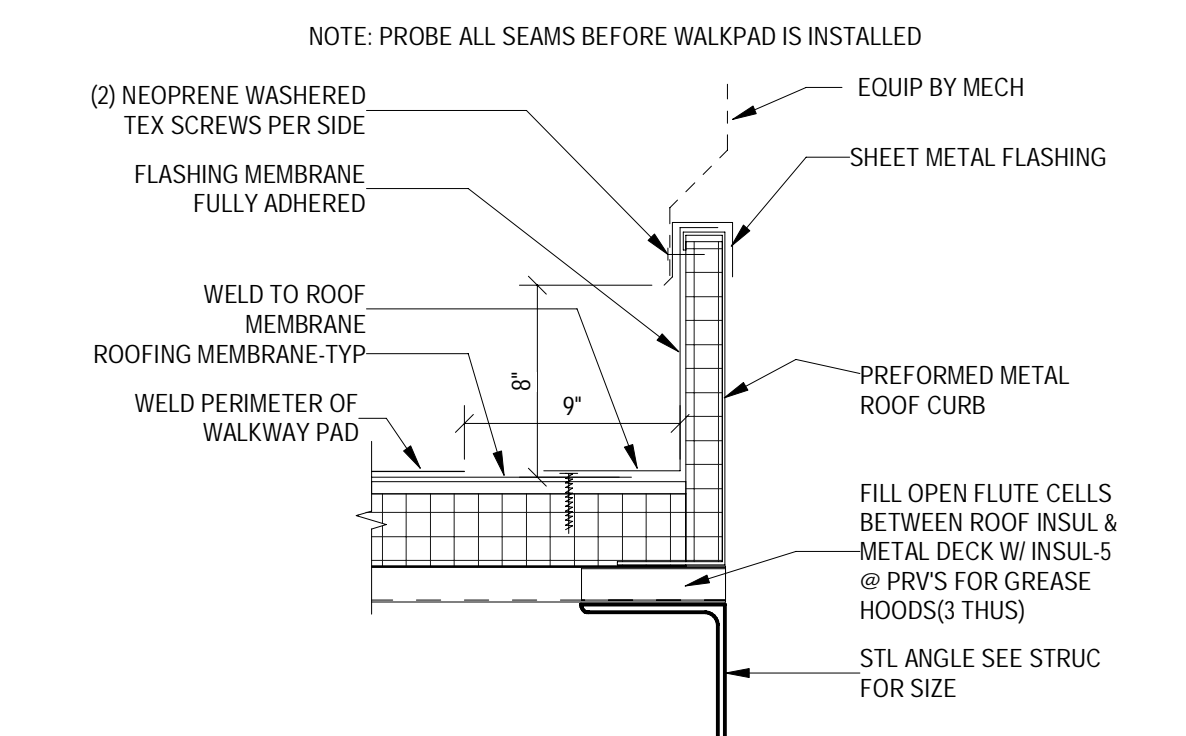
- CONTRACTOR TO COORDINATE WITH CHUZE CONSTRUCTION MANAGER & ARCHITECT FOR ALL NEW ROOF PENETRATIONS. ASSOCIATED WORK SHALL BE CONDUCTED IN ACCORDANCE WITH ROOFING MANUFACTURERS AND LANDLORDS REQUIREMENTS, TO PREVENT VOIDING ANY EXISTING ROOF WARRANTIES.
- INSTALL ALL NEW ROOFTOP EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED DETAILS AND SPECIFICATIONS FOR THE SPECIFIED WARRANTY.
- CONTRACTOR TO NOTIFY CHUZE CONSTRUCTION MANAGER & ARCHITECT OF ANY NEW ROOFTOP EQUIPMENT NOT PROPERLY SCREENED AND VISIBLE FROM RIGHT-OF-WAY, PRIOR TO START OF CONSTRUCTION.
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS ON OR THROUGH ROOF.
- MAINTAIN PROPER DRAINAGE AROUND ALL NEW ROOFTOP EQUIPMENT.
- CLEAN ROOF OF ALL CONSTRUCTION DEBRIS DURING CONSTRUCTION AND AT PROJECT COMPLETION.
- ALL ROOFING WORK TO BE PROVIDED BY LANDLORD ROOFING CONTRACTOR UNDER CONTRACTOR TO MAINTAIN ANY EXISTING WARRANTIES.
- PROVIDE PIPE FLASHINGS, CONDUIT FLASHINGS, MANUFACTURED GAS PIPING SUPPORTS AS REQUIRED FOR ALL NEW WORK. REF: 072200.

**KEYNOTES**

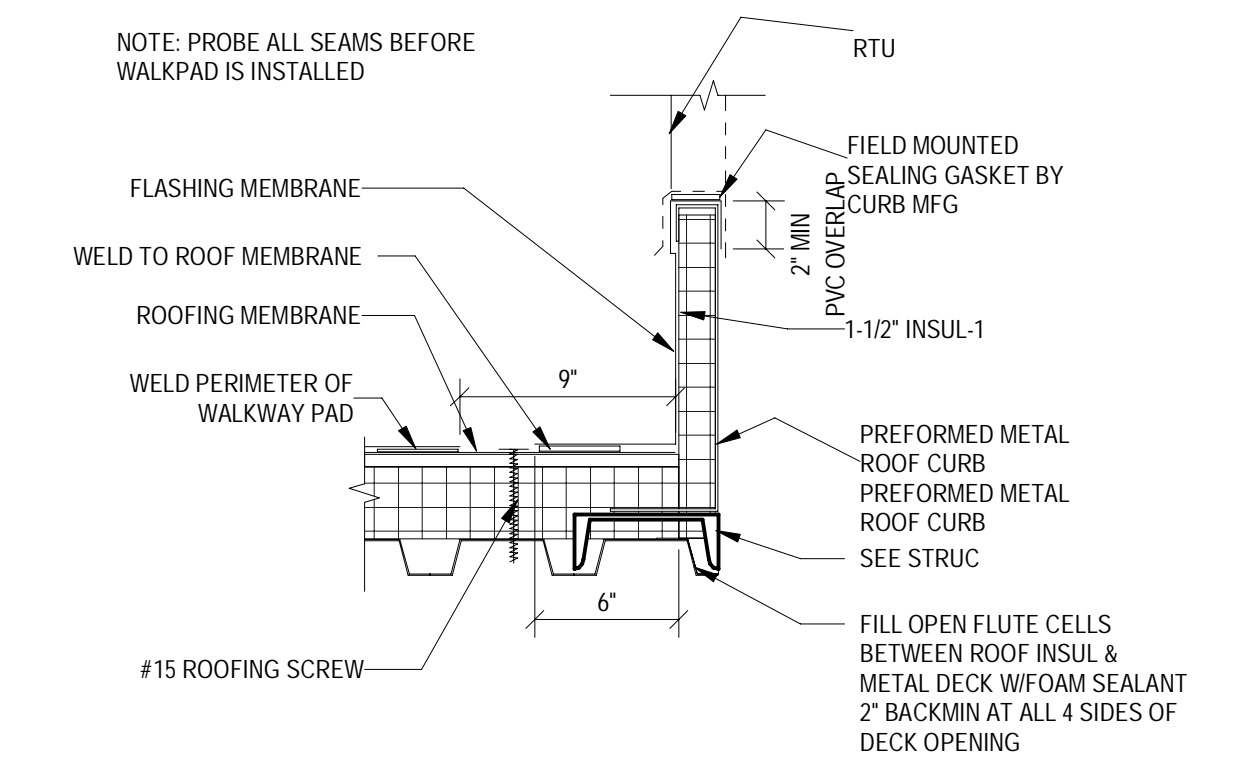
TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A6.01	EXISTING ROOF TOP EQUIPMENT TO BE REMOVED; PATCH AND REPAIR ROOFING AS REQUIRED
A6.02	NEW ROOF TOP EQUIPMENT LOCATIONS; SEE MECHANICAL AND STRUCTURAL
A6.03	PROVIDE ROOF WALK PADS AT NEW ROOFTOP EQUIPMENT
A6.07	EXISTING EQUIPMENT TO BE REMOVED AND CAP EXISTING CURB. SEE DETAIL A131
A6.08	EXISTING ROOF HATCH ACCESS DOOR TO BE REMOVED; CAP EXISTING CURB; SEE DETAIL A131



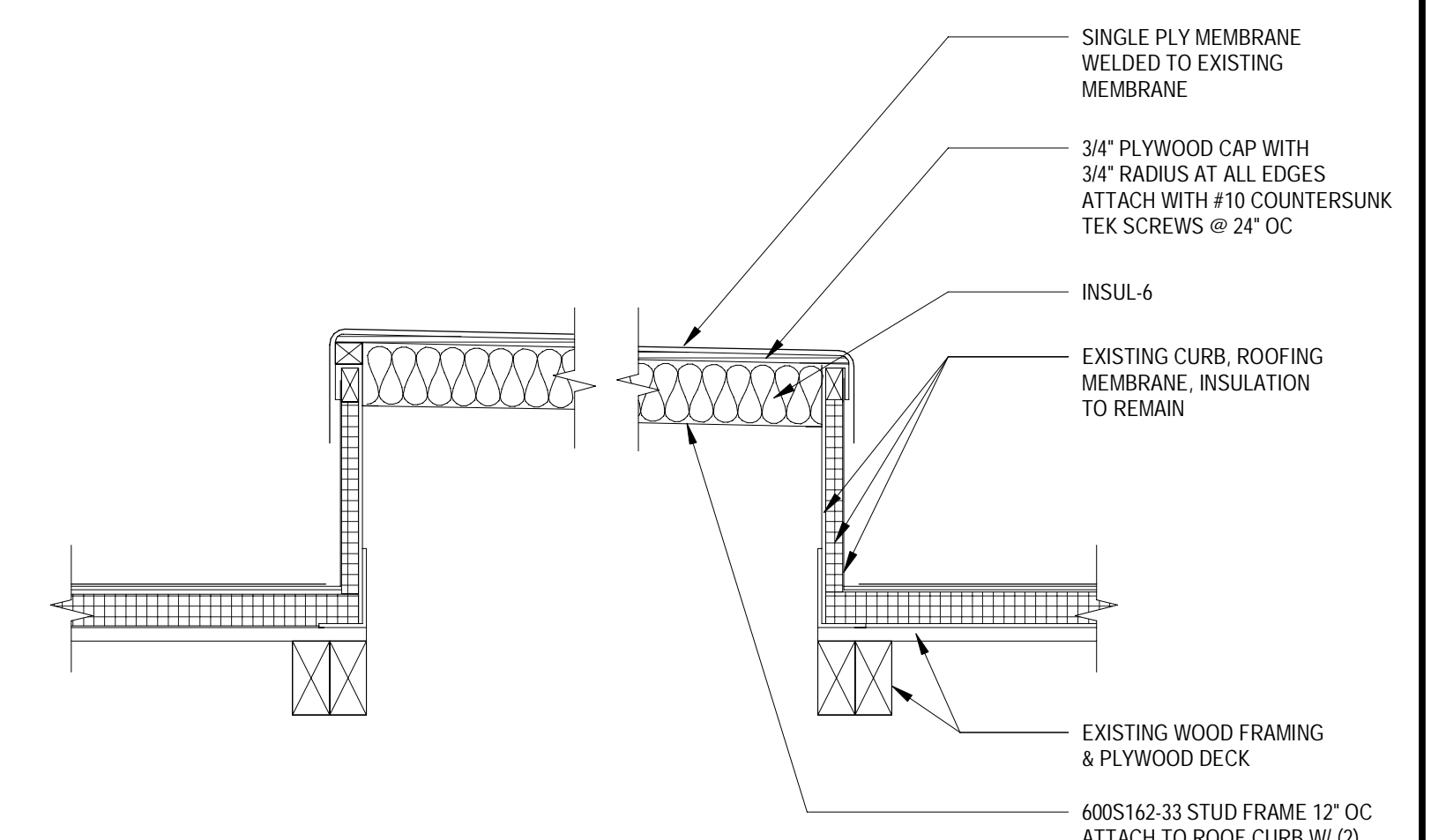
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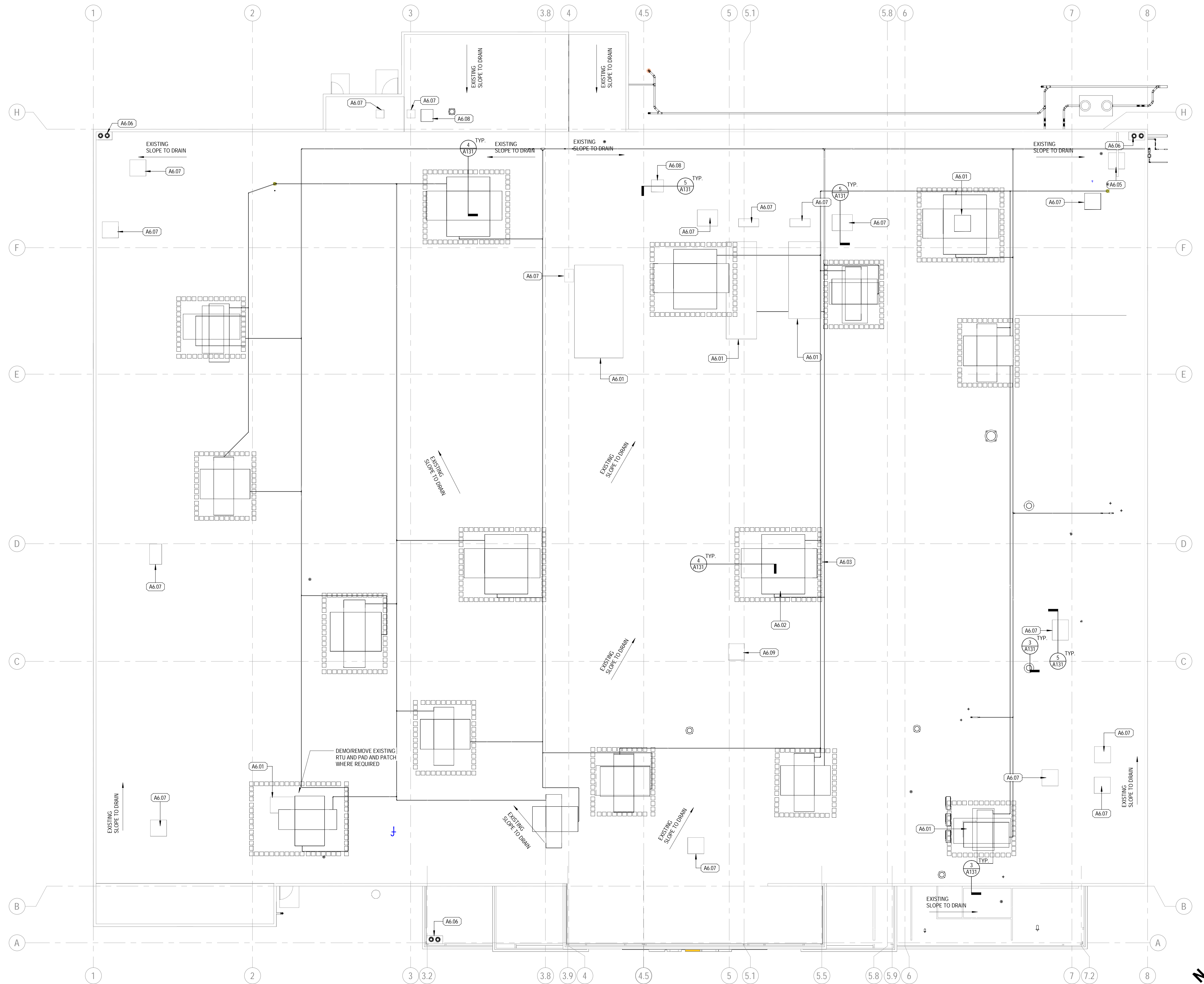
**3 FLASHING @ MISC ROOF CURB**  
SCALE: 1 1/2" = 1'-0"



**4 FLASHING @ RTU CURB**  
SCALE: 1 1/2" = 1'-0"



**5 RTU CURB CAP DETAIL**  
SCALE: 1 1/2" = 1'-0"



**1 OVERALL ROOF PLAN**  
SCALE: 3/32" = 1'-0"

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Checked By:	MG2

OVERALL ROOF PLAN

**A131**

**EXTERIOR ELEVATION GENERAL NOTES**

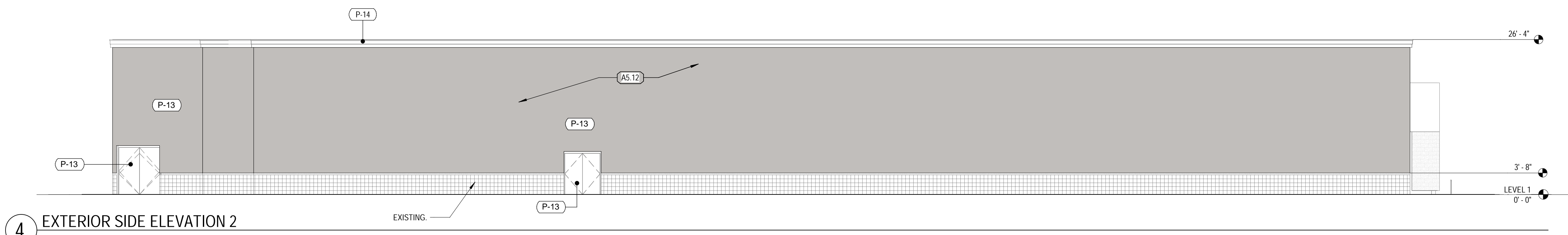
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWING AND THOSE WHICH ACTUALLY EXIST.
- EXISTING MATERIALS TO REMAIN UNLESS NOTED OTHERWISE. PROTECT DURING DEMOLITION AND CONSTRUCTION OF ADJACENT AREAS OF WORK. PATCH AND REPAIR EXISTING MATERIALS AND CONSTRUCTION AS REQUIRED.
- ALL EXTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED TO MATCH ADJACENT WALL UNLESS NOTED OTHERWISE.
- ANY SIGNAGE DEPICTED ON ELEVATIONS IS TO BE PERMITTED SEPARATELY.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR.
- PROVIDE TEMPERED SAFETY GLASS IN STOREFRONT DOORS, AND ADJACENT WINDOW UNITS AS REQUIRED BY CODE.
- PROVIDE TEMPERED SAFETY GLASS IN REQUIRED WINDOW UNITS BASED ON PROXIMITY TO GRADE AND/OR WALKING SURFACES AS REQUIRED BY CODE.
- PROVIDE WATER REPELLANT SEALER ON ALL NEW MASONRY AND PRECAST CONCRETE SURFACES.
- VERIFY KNOX BOX IS LOCATED NEAR FIRE DEPARTMENT CONNECTION OR IN A LOCATION DIRECTED BY THE FIRE DEPARTMENT.
- SHADED PORTION REPRESENTS EXISTING BUILDING, FINISHES AND ASSEMBLIES TO REMAIN - PAINT AS INDICATED.

**KEYNOTES**

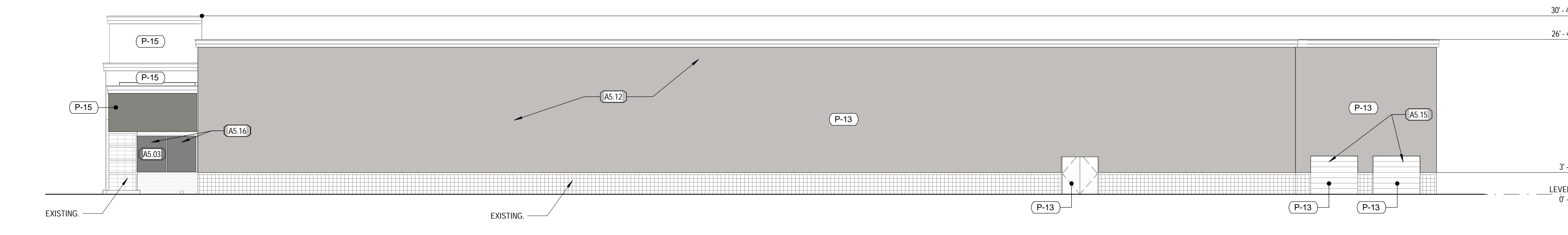
TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.137	BIKE RACK, REF: SPECIFICATIONS	
A5.03	PRIVACY FILM	
A5.08	EXTERIOR WALL MOUNTED LIGHT FIXTURES, REF: ELECTRICAL PLANS	
A5.12	INFILL EXISTING OVERHEAD DOOR OPENINGS TO MATCH ADJACENT CONSTRUCTION MATERIALS AND FINISHES.	
A5.13	NEW PREFABRICATED FABRIC AWNING.	
A5.14	NEW EXTERIOR STOREFRONT WINDOW.	
A5.15	INFILL EXISTING EXTERIOR OPENING TO MATCH EXISTING ADJACENT CONSTRUCTION TYPE.	
A5.16	NEW STOREFRONT GLAZING IN EXISTING OPENINGS.	
A5.17	EXISTING STOREFRONT ASSEMBLY, REPLACE ANY BROKEN GLAZING.	
A5.18	PREMISE IDENTIFICATION, PROVIDE PROJECT'S ADDRESS NUMBERS TO BE PLACED ON EXTERIOR FRONT ELEVATION BY G.C. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS. EACH CHARACTER SHALL NOT BE LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH.	

**EXTERIOR MATERIAL LEGEND**

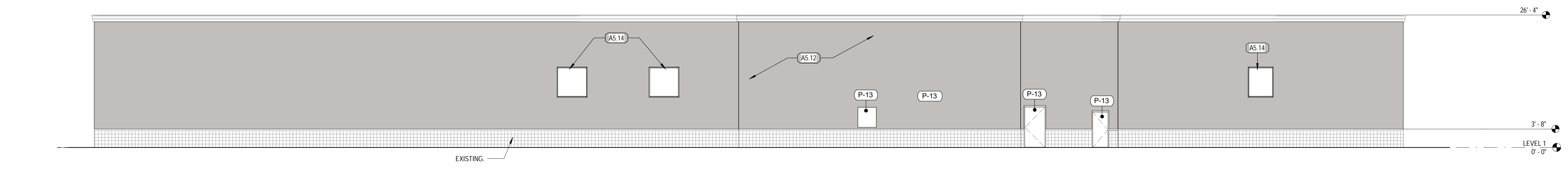
MARK	DESCRIPTION	MANUFACTURER	MODEL #	COLOR
P-1	PAINT	SHERWIN WILLIAMS	SW 6903	CHEERFUL
P-12	-	-	-	-
P-13	PAINT	SHERWIN WILLIAMS	SW 7018	DOVETAIL
P-14	PAINT	SHERWIN WILLIAMS	SW 7014	EIDER WHITE
P-15	PAINT	SHERWIN WILLIAMS	SW 7068	GRIZZLE GRAY
WD-1	WOOD PANELING	FIBERON	CONCORDIA HORIZON	TUDOR BROWN, 40% QUANTITY
WD-2	WOOD PANELING	FIBERON	CONCORDIA HORIZON	IPE 60% QUANTITY



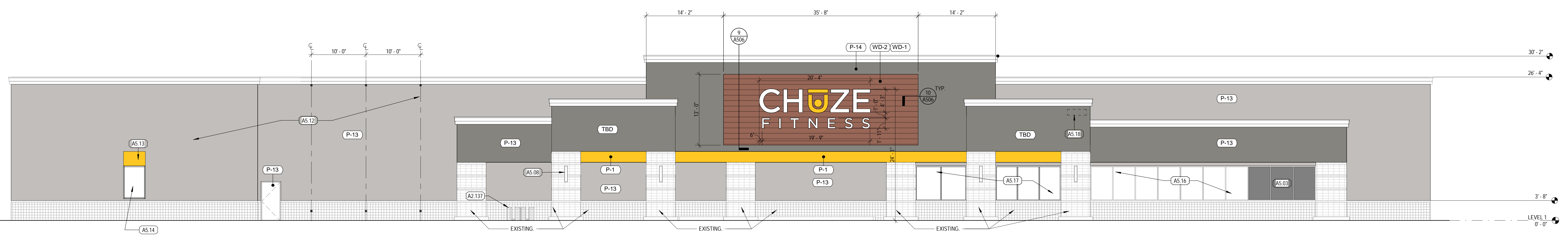
**4 EXTERIOR SIDE ELEVATION 2**  
SCALE: 3/32" = 1'-0"



**3 EXTERIOR SIDE ELEVATION 1**  
SCALE: 3/32" = 1'-0"



**2 EXTERIOR BACK ELEVATION**  
SCALE: 3/32" = 1'-0"



**1 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

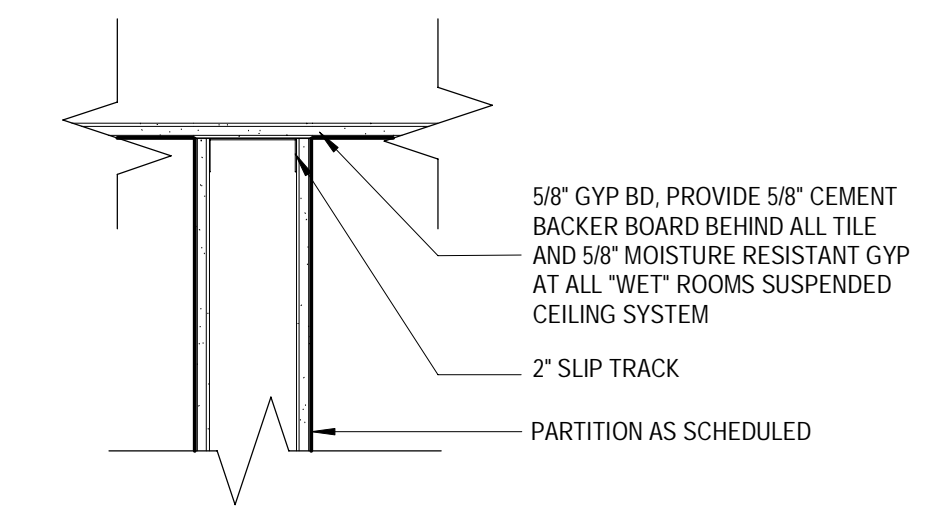
#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

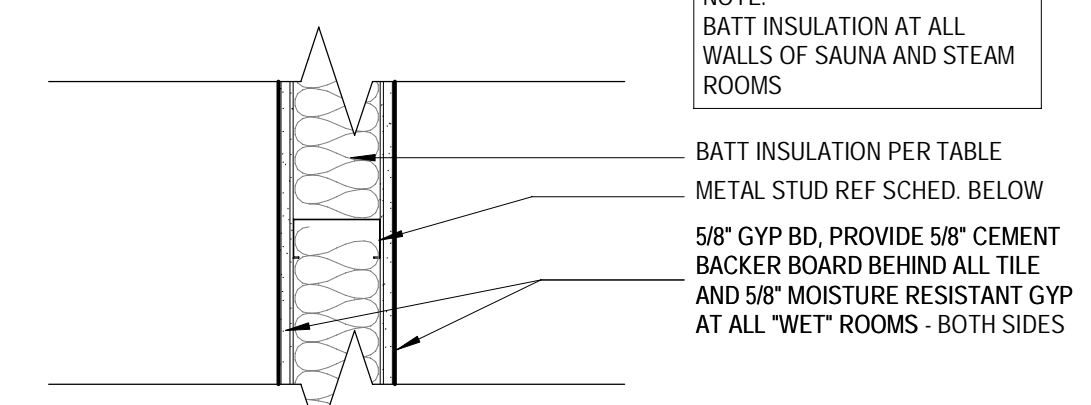
EXTERIOR ELEVATIONS

**A201**



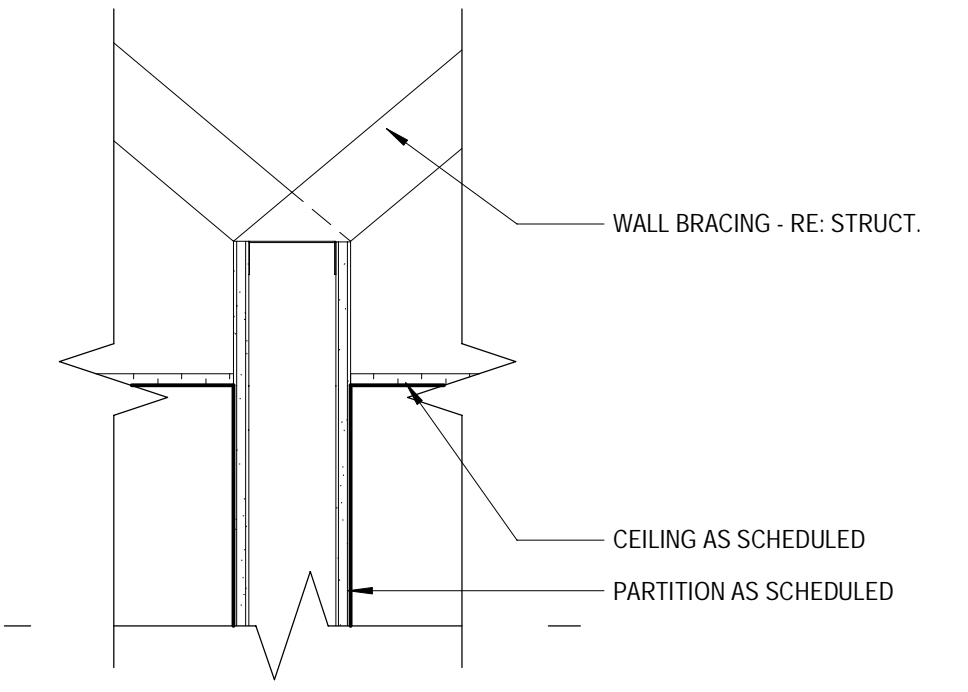


**B HEAD DETAIL (B)**  
SCALE: 1 1/2" = 1'-0"

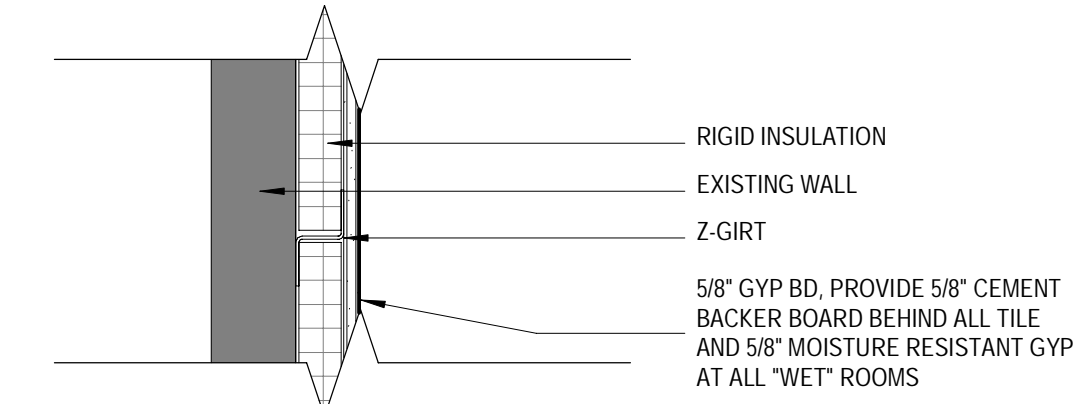


TYPE	STUD SIZE	INSULATION	HEAD DETAIL	SILL DETAIL	FIRE RATING
A3C	3 5/8"	-	C	X	NA
A3E	3 5/8"	-	E	X	NA
A3G	3 5/8"	-	G	X	NA
A6C	6"	-	C	X	NA
A6D	6"	6" SOUND BATT	D	<varies>	<varies>
A6D1	6"	-	D	X	N/A
A6E	6"	-	E	X	N/A

**INTERIOR PARTITION TYPE 'A'**

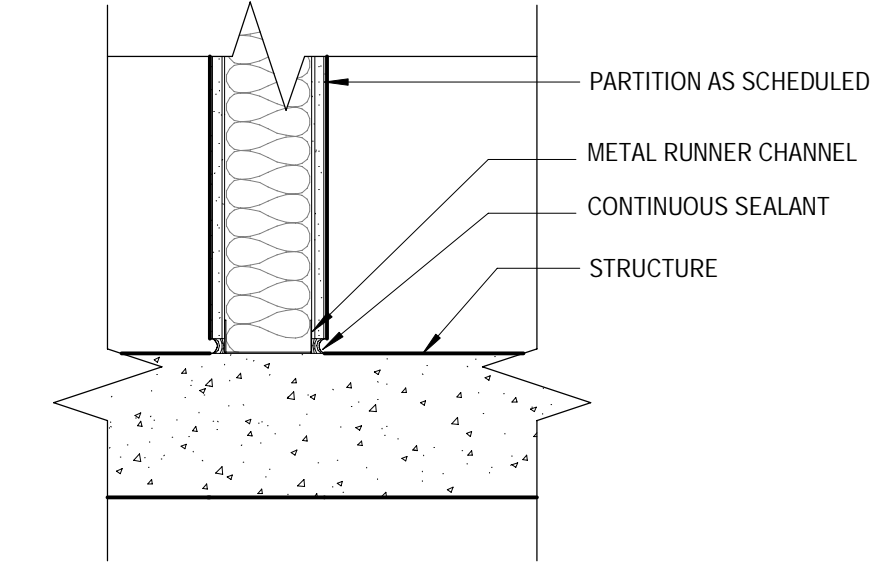


**C HEAD DETAIL (C)**  
SCALE: 1 1/2" = 1'-0"

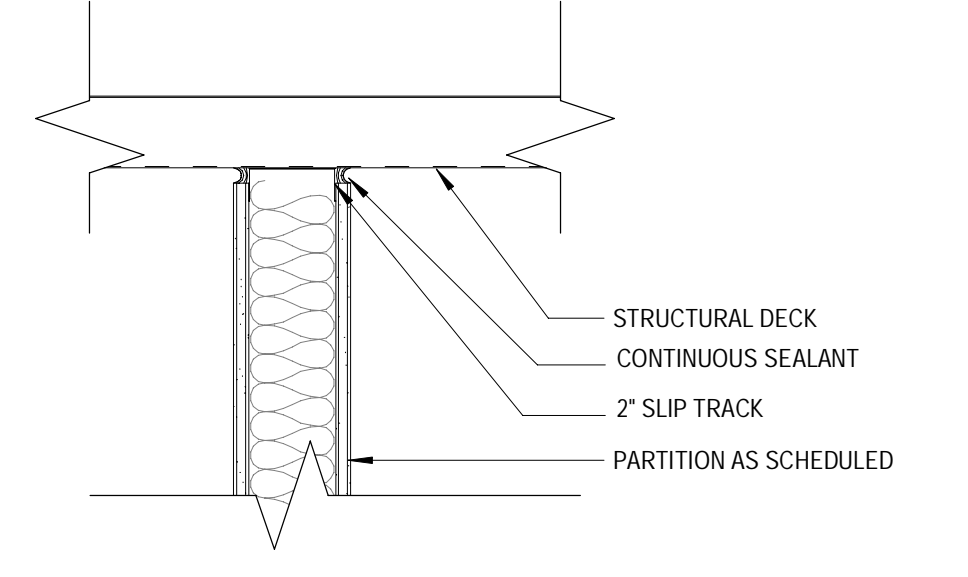


TYPE	STUD SIZE	INSULATION	HEAD DETAIL	SILL DETAIL	FIRE RATING
B2E	2"	2"	E	X	NR

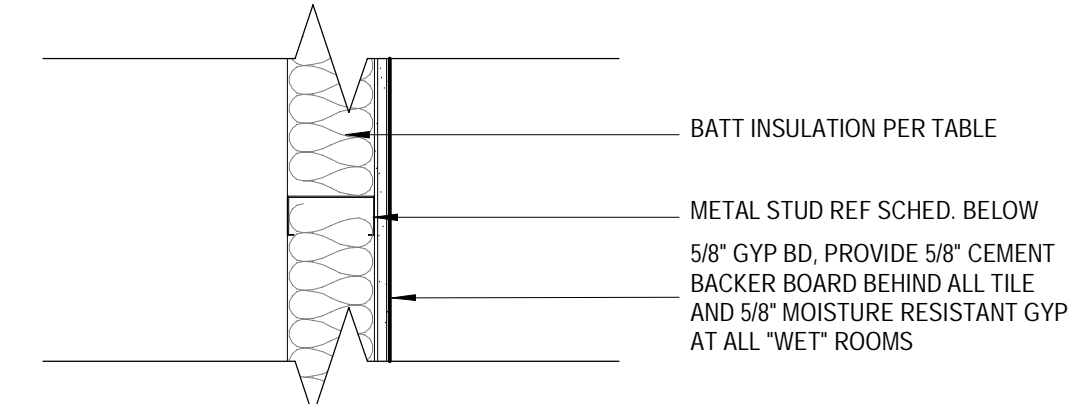
**INTERIOR PARTITION TYPE 'B'**



**X BASE DETAIL (X)**  
SCALE: 1 1/2" = 1'-0"

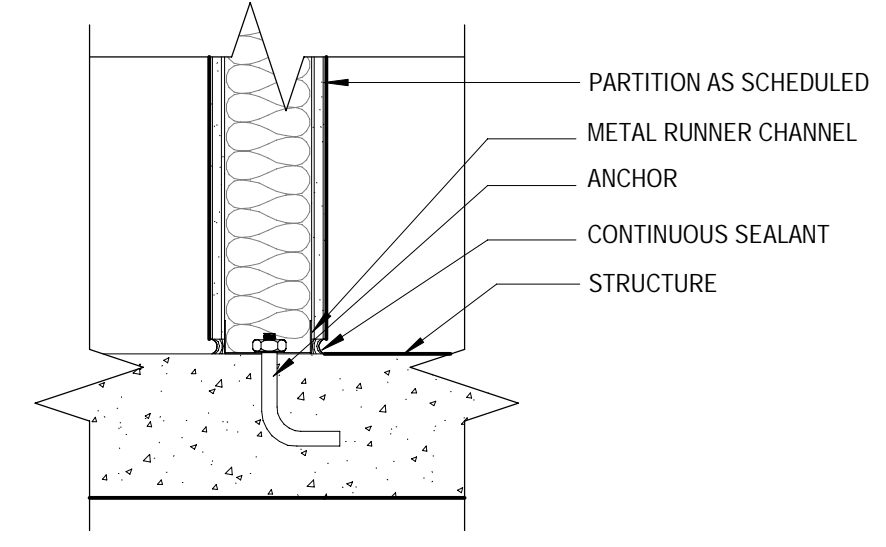


**D HEAD DETAIL (D)**  
SCALE: 1 1/2" = 1'-0"

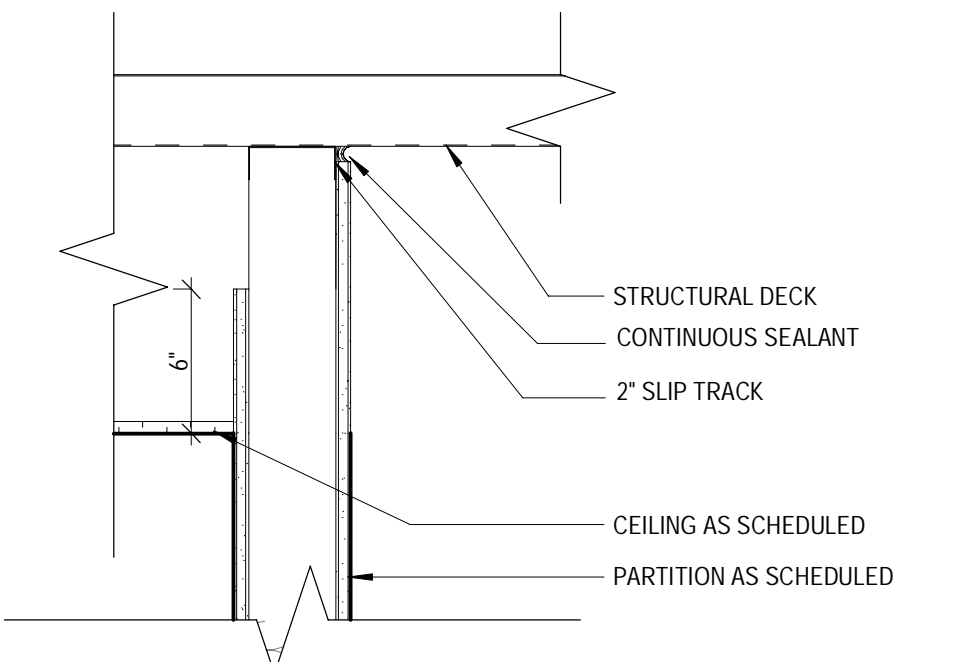


TYPE	STUD SIZE	INSULATION	HEAD DETAIL	SILL DETAIL	FIRE RATING
C3B	3 5/8"	-	B	X	NA
C3C	3 5/8"	-	C	X	NA
C3F	3 5/8"	-	F	X	NA
C3G	3 5/8"	-	G	X	NA
C6C	6"	R-13	C	X	NA

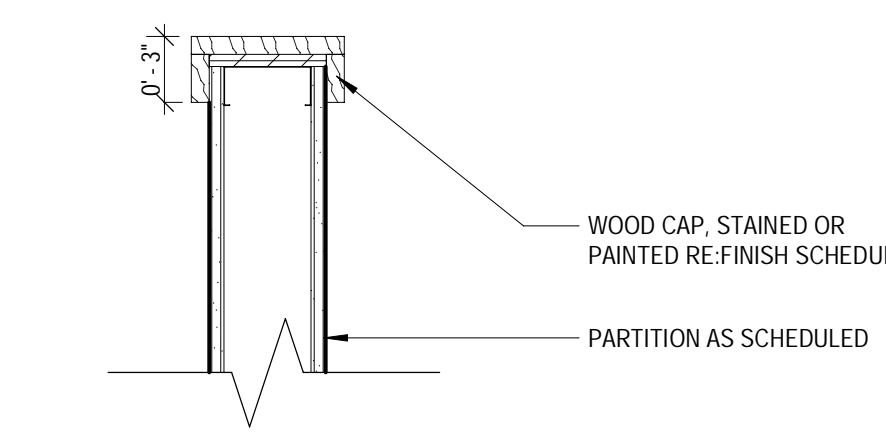
**INTERIOR PARTITION TYPE 'C'**



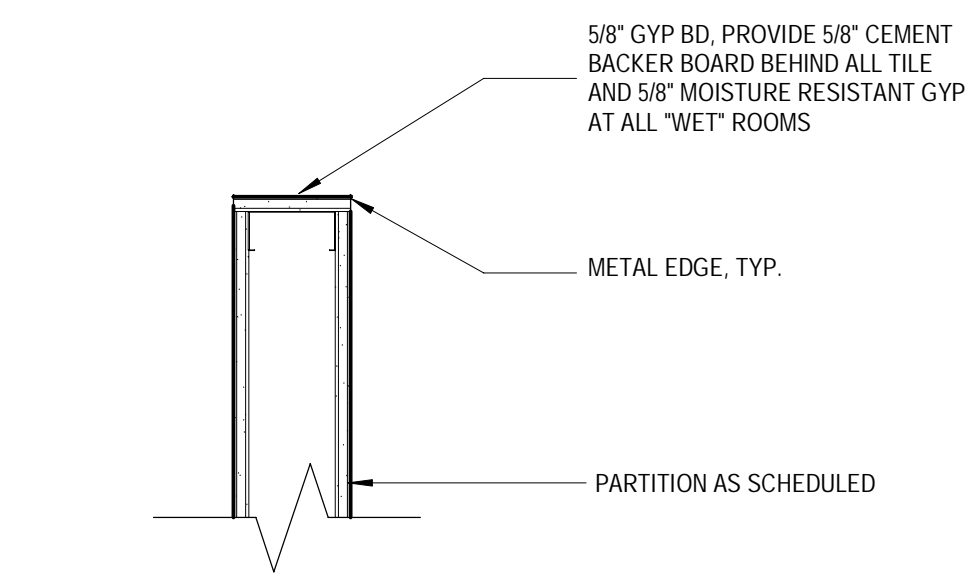
**Y BASE DETAIL (Y)**  
SCALE: 1 1/2" = 1'-0"



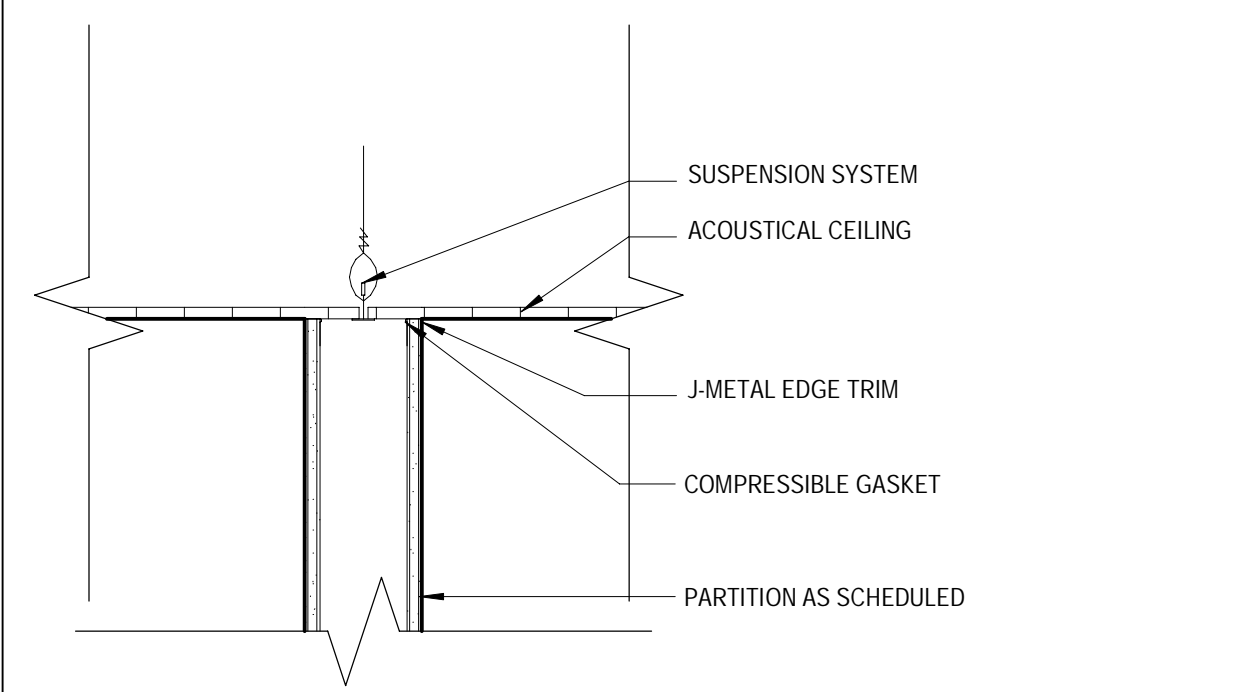
**E HEAD DETAIL (E)**  
SCALE: 1 1/2" = 1'-0"



**G HEAD DETAIL (G)**  
SCALE: 1 1/2" = 1'-0"



**F HEAD DETAIL (F)**  
SCALE: 1 1/2" = 1'-0"



**A HEAD DETAIL (A)**  
SCALE: 1 1/2" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE., SW  
ALBUQUERQUE, NM 87121

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03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

WALL TYPES

**A301**

KEYNOTES	
TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.01	DASHED LINE INDICATES SOFFIT AND/OR HEADER ABOVE. REF: REFLECTED CEILING PLAN
A2.03	FURNITURE SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION
A2.18	MOP SINK LOCATION. REF: PLUMBING PLANS. AT ALL MOP SINK LOCATIONS, PROVIDE 4"x4" FRP PANEL FOR WALL PROTECTION ON EACH WALL. AT MOP SINK IN SMOOTHIE STORAGE, PROVIDE 4"x8" FRP PANEL FOR WALL PROTECTION ON EACH WALL. REF: SHEET A610 & SPECS
A2.22	POINT OF SALE (POS)
A2.23	DRINK DISPLAY REFRIGERATOR
A2.27	SMOOTHIE STORAGE: 12"x24" SHELVES. POSTS SHOULD HAVE CLOSED ENDS
A2.29	SNEEZ GUARD: ADVANCE TARC0 SCCC 36
A2.30	ICE MACHINE: HOSHIZAKI AMERICA, F-330BAJ-C
A2.31	UNDER-COUNTER REFRIGERATOR: EVEREST ETR2
A2.32	BLINDER: BLENDETEC CONNOISSEUR B25
A2.34	HAND SINK LOCATION. REF: PLUMBING PLANS
A2.36	ADA HEIGHT SERVICE COUNTER AT 34" AFF
A2.37	CONTRACTOR TO PROVIDE A 48" X 48" SQUARE WITH A CONTINUOUS 1/8" PER 1'-0" SLOPE TO CENTER OF FLOOR DRAIN
A2.39	FLOOR DRAIN LOCATION. REF: PLUMBING PLANS
A2.74	SOAP DISPENSER: WALL MOUNTED
A2.85	SANITARY WIPER DISPENSERS
A2.87	17.5" X 31.25" KIOSK, MOUNTED AT TOP AT 48" AFF AND BOTTOM AT 17" AFF. PROVIDE 2"x12" BACKING. REF: ELECTRICAL PLANS
A2.139	LINE OF FLOORING MATERIAL TRANSITION. REF: FINISH PLAN FOR DIMENSIONS
A2.145	AMAZING MIRROR: 30"x60" MIRROR BY CONTRACTOR. 3" FRAME BY MILLWORK VENDOR (NON-LIT)
A2.151	CABINET: SHOWN FOR REFERENCE ONLY
A2.152	NESTING TABLES: SHOWN FOR REFERENCE ONLY
A2.153	MERCHANTS: SHOWN FOR REFERENCE ONLY
A2.155	ADA WALL SIGN. SEE COMM. & CODES
A2.156	EXISTING STOREFRONT GLAZING TO BE REPLACED WITH 1" INSULATED GLASS
A2.169	PENDANT LIGHT TO BE CENTERED ABOVE CHECK IN KIOSK BELOW COORDINATE WITH FIXTURE PLACEMENT

REFLECTED CEILING PLAN SCHEDULE				
TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2'X4' PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'X2' PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN 15/16"	ARMSTRONG	KITCHEN ZONE 672	2'X4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES. REF: REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA: PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING: P-16 POOL AREA: P-4. EPOXY 2-PART SYSTEM PAINT. REF: SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

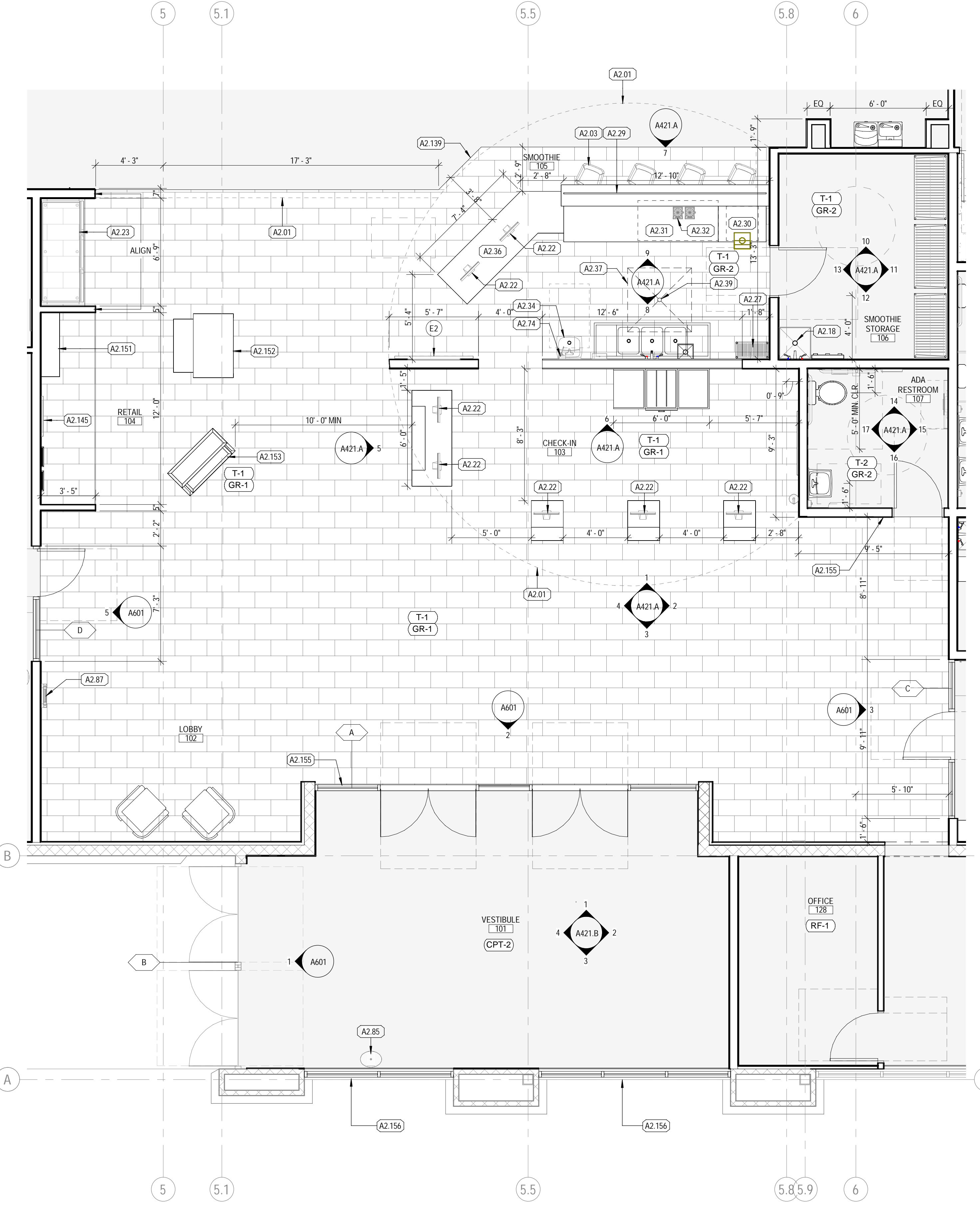
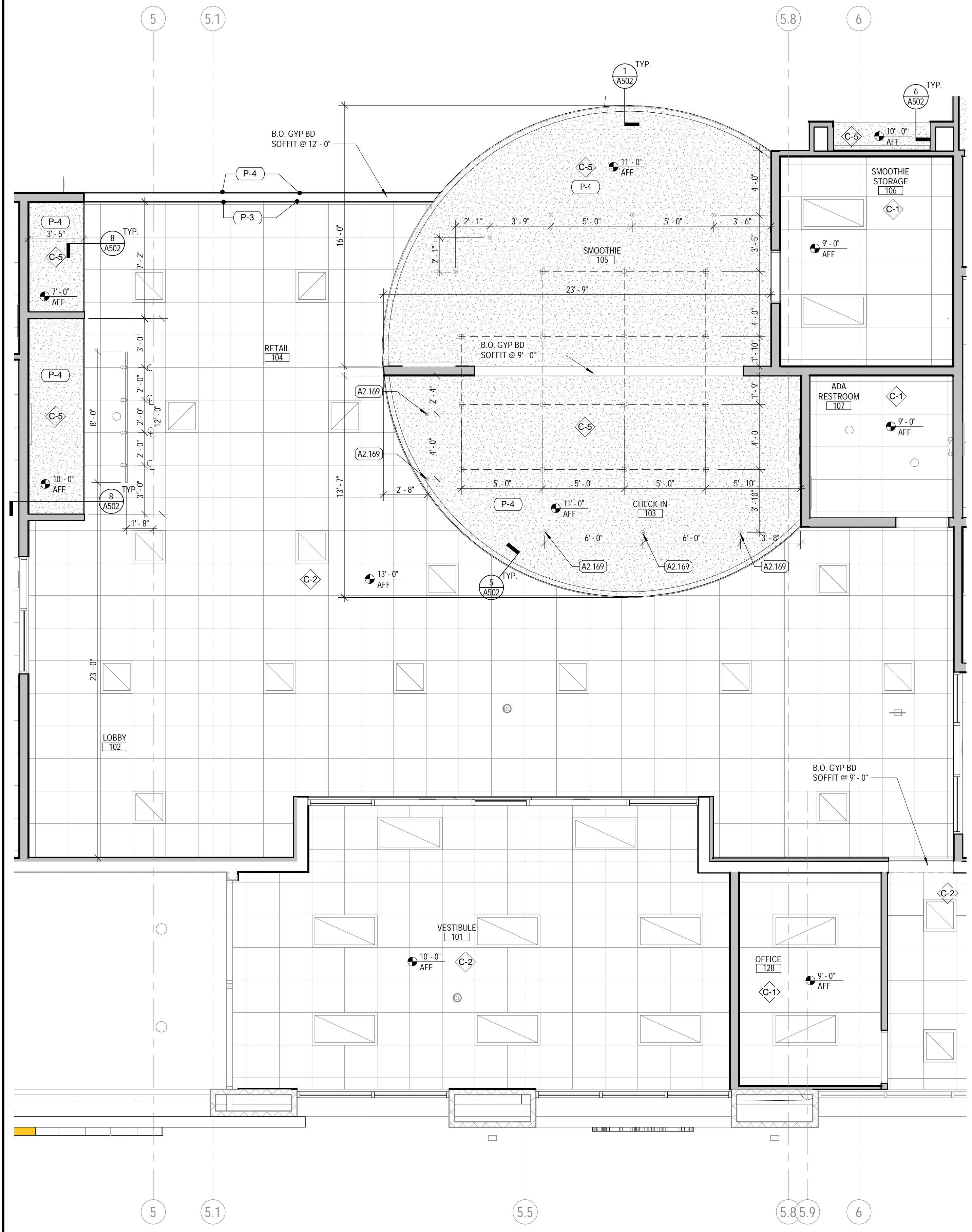
EQUIPMENT - TELEVISION SCHEDULE		
TAG	DESCRIPTION	COMMENTS
E1	21" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508. PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508. PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2. PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2. PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2. PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2. PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2. PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O.V. INDIVIDUAL OUTLETS RUN TO EACH TV (UNQ). MOUNTING POLES PAINTED P-4. REF: DETAIL A ON SHEET A5000 FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2. PROVIDE BLOCKING

- ### FLOOR PLAN GENERAL NOTES
- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
  - THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
  - U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
  - EXISTING DIMENSIONS FOR ALL NEW WORK (EXTERIOR) ARE MEASURED FROM FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL U.N.O. WHERE APPLICABLE.
  - IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
  - GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
  - MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
  - VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
  - VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION OF WORK PERTAINING TO THE SAME.
  - SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
  - INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS WITH WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 42" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE BACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
  - INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU.
  - PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
  - REF: SHEET A501 FOR WALL, DETAIL AND TYPE DESIGNATIONS.
  - PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
  - FIRE STOPPING MATERIAL FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
  - ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ALL SURPLUS.
  - THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
  - EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
  - ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
  - ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
  - DOOR & WINDOWS ARE TAGGED ON SHEET A101. REF: SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
  - PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
  - EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. U.N.O.
  - ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
  - ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS. REF: SHEET A601 FOR HARDWARE SCHEDULE.
  - PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
  - GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED VENDOR TO COMPLETE TESTING. REF: REQUIRED VENDOR SCHEDULE.
  - REF: TO COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
  - ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING. TYP.
  - REF: G002 RESPONSIBILITY SCHEDULE ON SHEET G000 FOR ADDITIONAL INFORMATION.
  - EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

- ### REFLECTED CEILING PLAN GENERAL NOTES
- REF: MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
  - REF: ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ALL OTHER INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
  - DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
  - HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
  - ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR U.N.O.
  - PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
  - SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4'-0" O.C. (MAX) AND JOISTS AS SHOWN ON PLANS (2'-0" MIN).
  - ISOLATE CEILING GRIDS FROM PERIMETER WALLS. FASTEN PERIMETER EDGE ANGLE TO CEILING GRID, FREE FROM WALL ASSEMBLY. PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
  - CEILING GRID SUSPENSION SUPPORT SHALL BE #12 GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4'-0" O.C. MAX.
  - LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) 1/8" BLIND NUT AT EACH CORNER. EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
  - SUSPENDED ACOUSTICAL CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636 SURVEY AND RETURN DIFFUSERS IN SUSPENDED CEILINGS SHALL HAVE STRAPS AT OPPOSITE SIDES. STRAPS TO MATCH SUPPLY/RETURN COLOR.
  - CENTER CEILING GRID IN SPACE AS SHOWN, UNLESS SHOWN OTHERWISE.
  - CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TEES, UNLESS NOTED OTHERWISE.
  - PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
  - COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
  - ALL EXPOSED CEILINGS, MECHANICAL UNITS, AND ELECTRICAL SYSTEMS TO BE PAINTED P-4. CYCLE EXPOSED CEILING TO BE P-16.
  - ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
  - EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
  - PROVIDE SPRINKLER HEADS/ESCHECHON PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS.
  - SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
  - IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E880, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TRIM RING.
  - PROVIDE SPRINKLER UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
  - EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
  - REF: PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
  - ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
  - AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (5.504.5.3)

### WALL TYPES LEGEND

	EXISTING EXTERIOR WALL		SUSPENDED GYPSUM BOARD CEILING
	NEW EXTERIOR WALL		CEDAR PLANK CEILING
	NEW INTERIOR FULL HEIGHT WALL		
	NEW INTERIOR PARTIAL HEIGHT WALL		



2 RECEPTION REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

1 RECEPTION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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Mitchell C. Smith, Architect  
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COORS & CENTRAL - CHUZE ALBUQUERQUE

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ALBUQUERQUE, NM 87121

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Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

RECEPTION FLOOR PLAN & REFLECTED CEILING PLAN

A421

### INTERIOR ELEVATION GENERAL NOTES

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH UNLESS NOTED OTHERWISE.
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (UNLESS NOTED OTHERWISE).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'. COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRESTOPPING SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENNSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

### FINISH LEGEND

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

### FINISH SYMBOL LEGEND

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

	CONCRETE		2' X 2' TILE		12' X 24' TILE		ARTIFICIAL TURF
	RUBBER		3' X 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' X 4' TILE		WOOD FINISH		FRP
	LUXURY VINYL TILE		4' X 12' TILE		WOOD PANELING		SLAT WALL
	4' X 16' TILE		4' X 16' TILE		RESILIENT SHEET		PLYWOOD

### KEYNOTES

TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.03	FURNITURE SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION	
A2.08	SIGNAGE, WHERE APPLICABLE, CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT	
A2.11	MIRROR: 24"X36" B-290 2430, BY CONTRACTOR.	
A2.22	POINT OF SALE (POS)	
A2.27	SMOOTHIE STORAGE, 12"X24" SHELVES, POSTS SHOULD HAVE CLOSED ENDS	
A2.28	DRY STORAGE RACKS, MINIMUM OF 12 LINEAL FEET REQUIRED, 4 SHELVES, 24"X48" 72" POLES, NO CASTORS	
A2.30	ICE MACHINE, HOSHIZAKI AMERICA, F-3388AJC	
A2.31	UNDER COUNTER REFRIGERATOR, EVEREST ETR2	
A2.32	BLENDER, BLENDTEC CONNOISSEUR 825	
A2.62	TOILET, ADA HEIGHT, REF: PLUMBING PLANS	
A2.64	SINK, MOUNTED AT ADA HEIGHT, REF: PLUMBING PLANS	
A2.66	ELECTRIC HAND DRYER, WALL MOUNTED, REF: SPECS	
A2.67	PAPER TOWEL DISPENSER	
A2.68	BABY CHANGING STATION, REF: SPECS	
A2.70	SANITARY NAPKIN DISPOSAL UNIT, REF: SPECS	
A2.71	TOILET TISSUE (ROLL) DISPENSER, REF: SPECS	
A2.72	TOILET SEAT COVER DISPENSER, REF: SPECS	
A2.74	SOAP DISPENSER (WALL MOUNTED)	
A2.75	GRAB BAR 18" BOBRICK B-5806, 99 x 18	
A2.78	GRAB BAR 36" BOBRICK B-5806, 99 x 36	
A2.79	GRAB BAR 42" BOBRICK B-5806, 99 x 42	
A2.87	15 SW X 31 7/8 KIOSK, MOUNTED AT TOP AT 48" AFF AND BOTTOM AT 17" AFF, PROVIDE 2"X12" BACKING, REF: ELECTRICAL PLANS	
A2.145	AMAZING MIRROR, 30"X60" MIRROR BY CONTRACTOR, 3' FRAME BY MILLWORK VENDOR (NON-LIT)	
A2.150	15" WOOD FRAMES BY MILLWORK VENDOR	
A2.151	CABINET, SHOWN FOR REFERENCE ONLY	
A2.152	NESTING TABLES, SHOWN FOR REFERENCE ONLY	
A2.153	MERCHANDISER, SHOWN FOR REFERENCE ONLY	
A2.155	ADA WALL SIGN, SEE G004, & G005	
A2.168	WALL MOUNTED GUEST CHECK IN IPAD	

### EQUIPMENT - TELEVISION SCHEDULE

\*REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS608, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A503C FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

COORS & CENTRAL - CHUZE ALBUQUERQUE

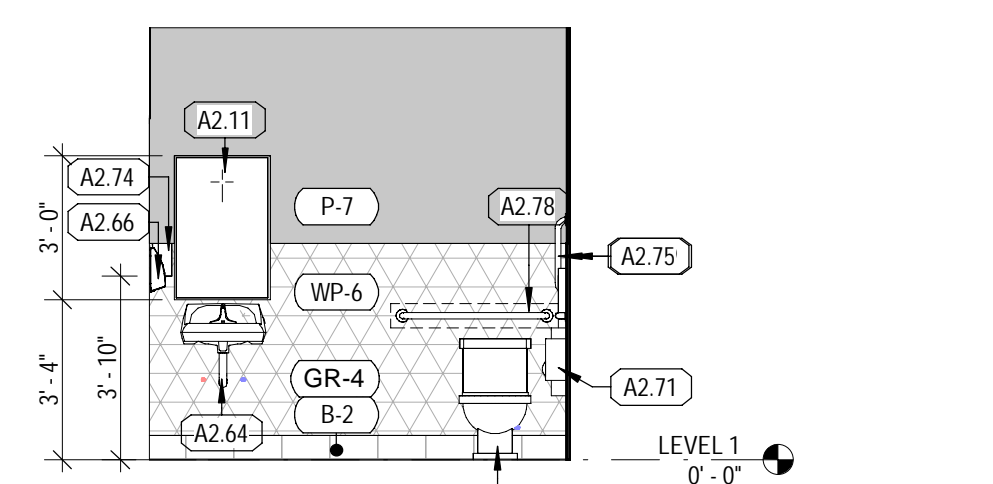
6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

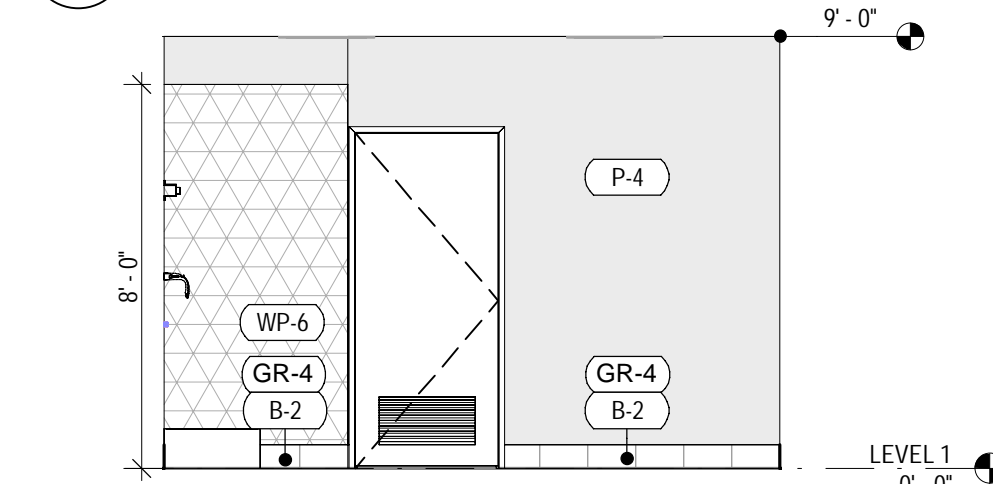
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Drawn By: MG2  
Checked By: MG2

RECEPTION ELEVATIONS

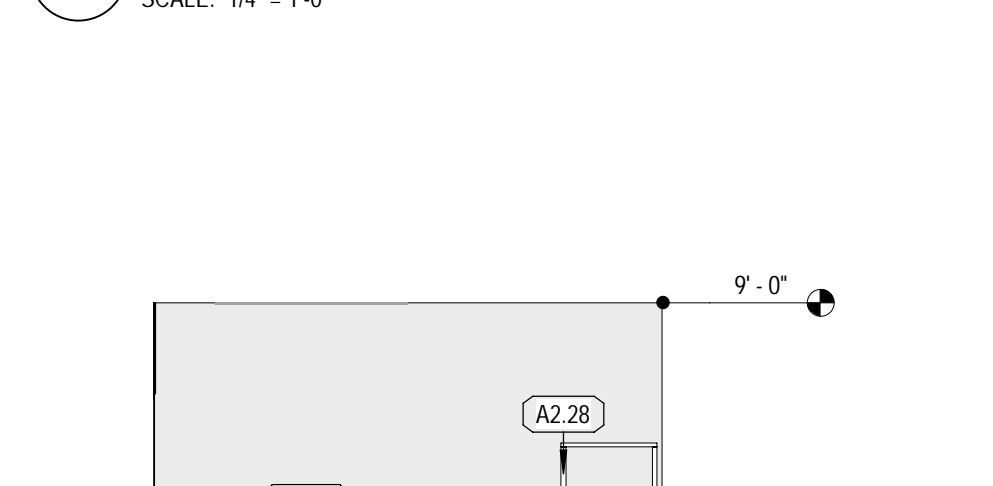
A421.A



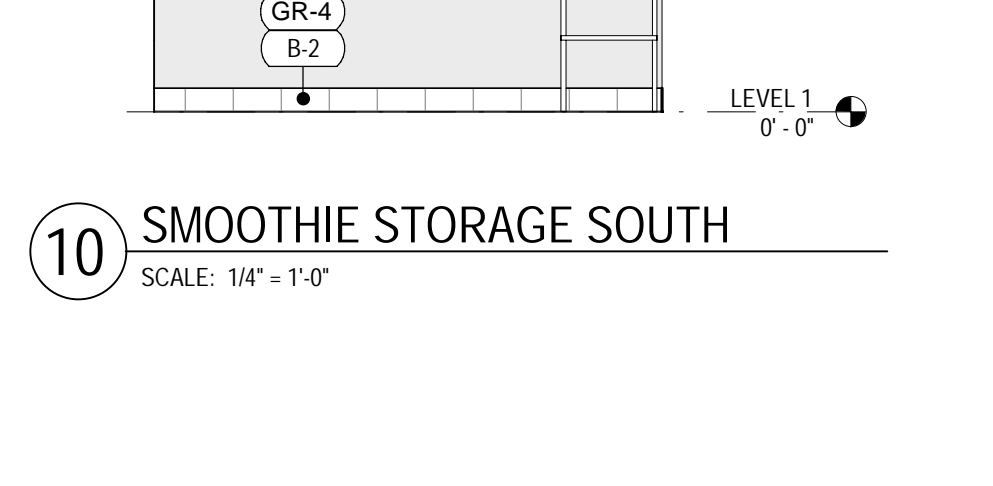
17 ADA RESTROOM EAST  
SCALE: 1/4" = 1'-0"



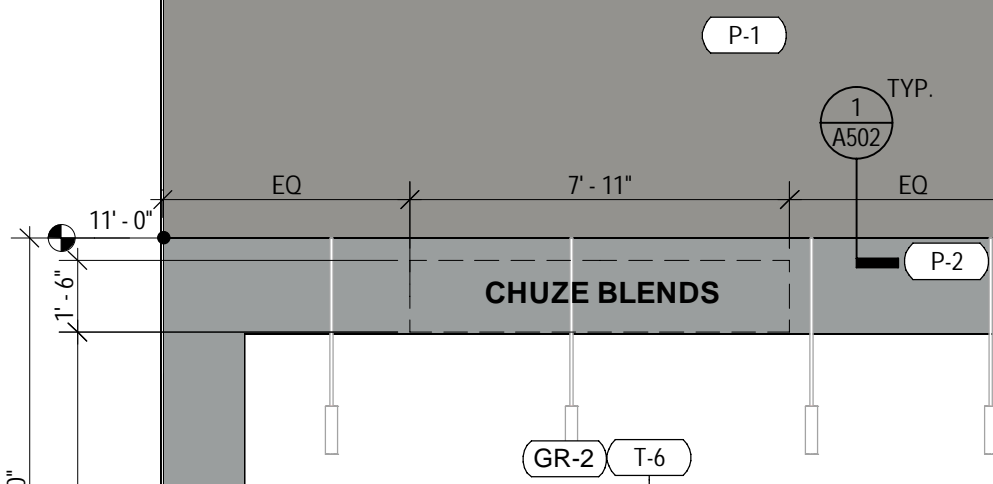
13 SMOOTHIE STORAGE WEST  
SCALE: 1/4" = 1'-0"



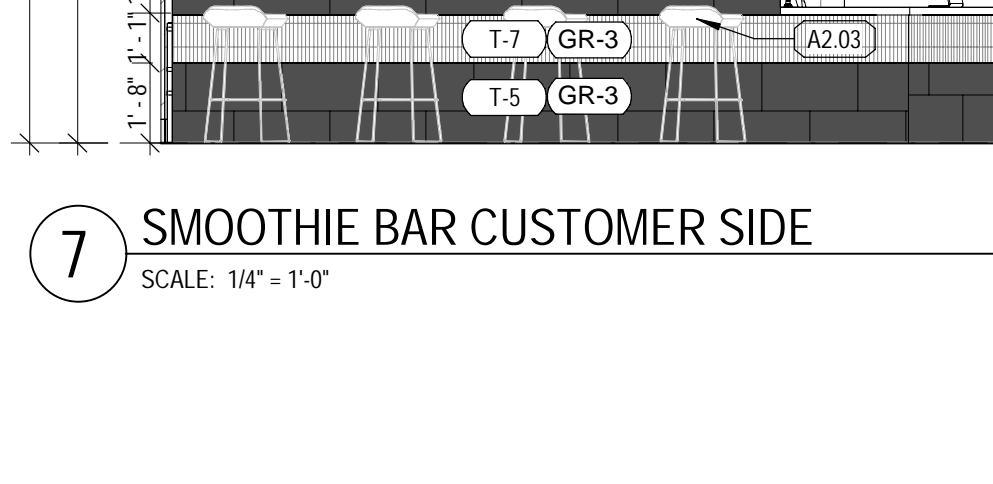
10 SMOOTHIE STORAGE SOUTH  
SCALE: 1/4" = 1'-0"



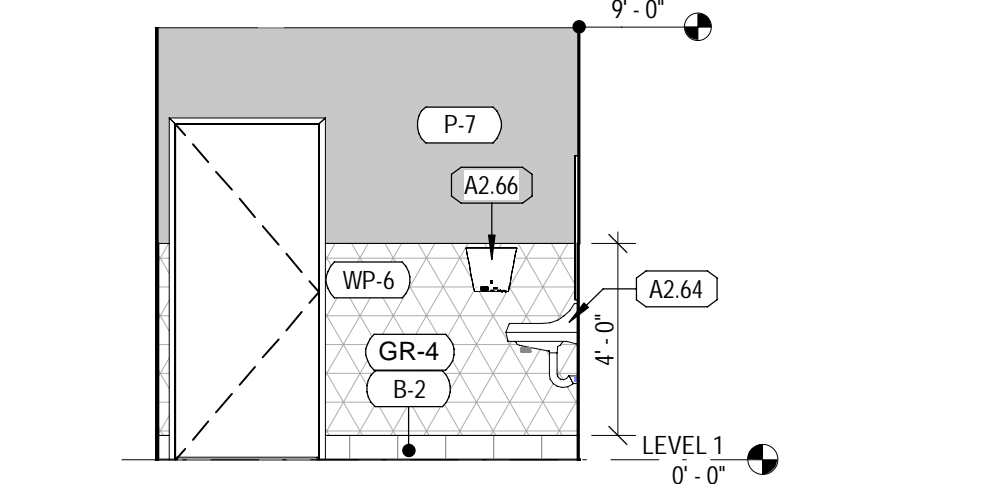
7 SMOOTHIE BAR CUSTOMER SIDE  
SCALE: 1/4" = 1'-0"



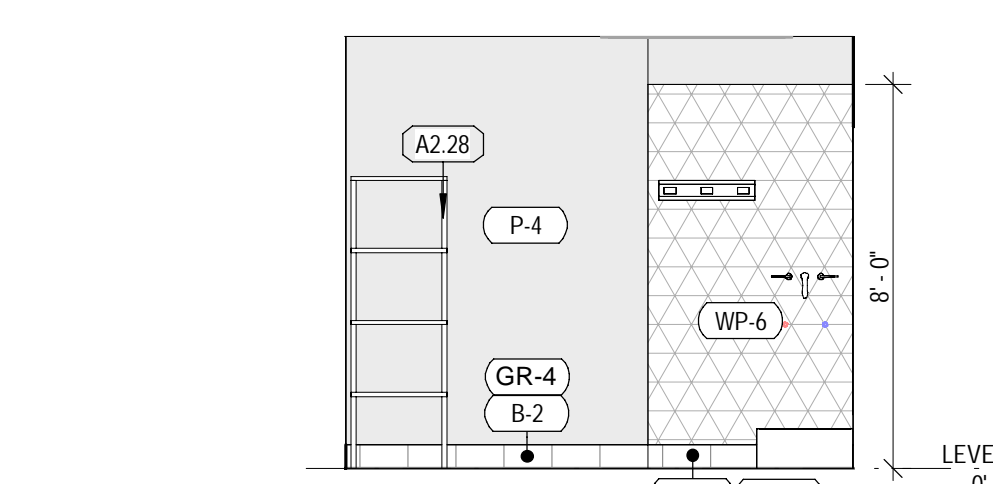
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SCALE: 1/4" = 1'-0"



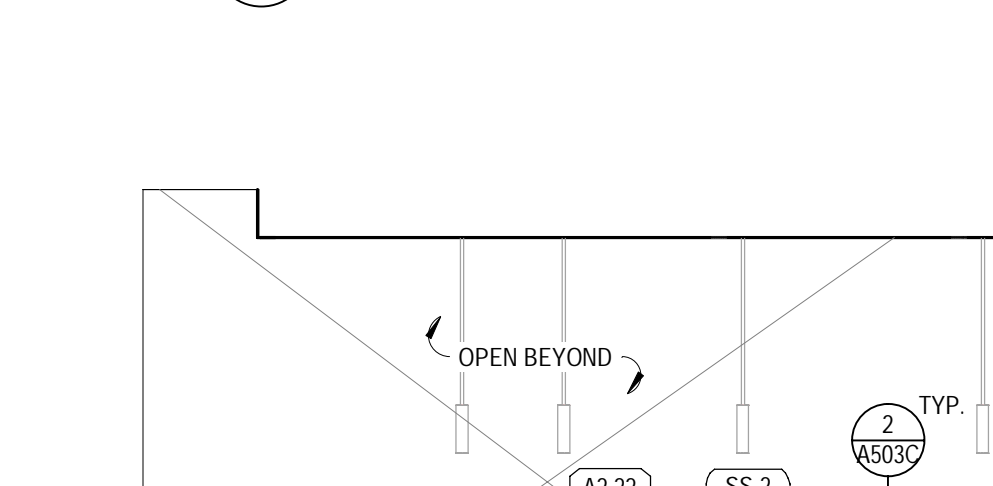
2 RECEPTION WEST - KID'S CLUB ENTRANCE  
SCALE: 1/4" = 1'-0"



16 ADA RESTROOM NORTH  
SCALE: 1/4" = 1'-0"



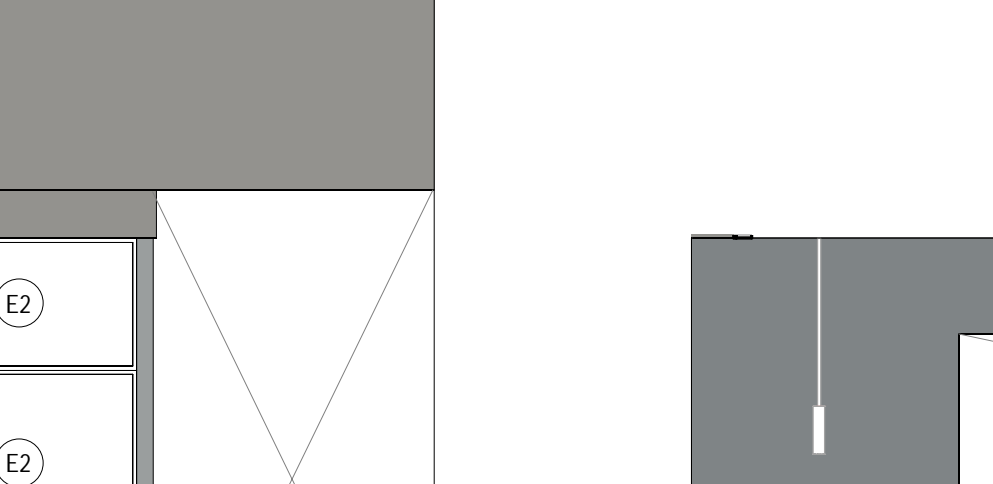
12 SMOOTHIE STORAGE NORTH  
SCALE: 1/4" = 1'-0"



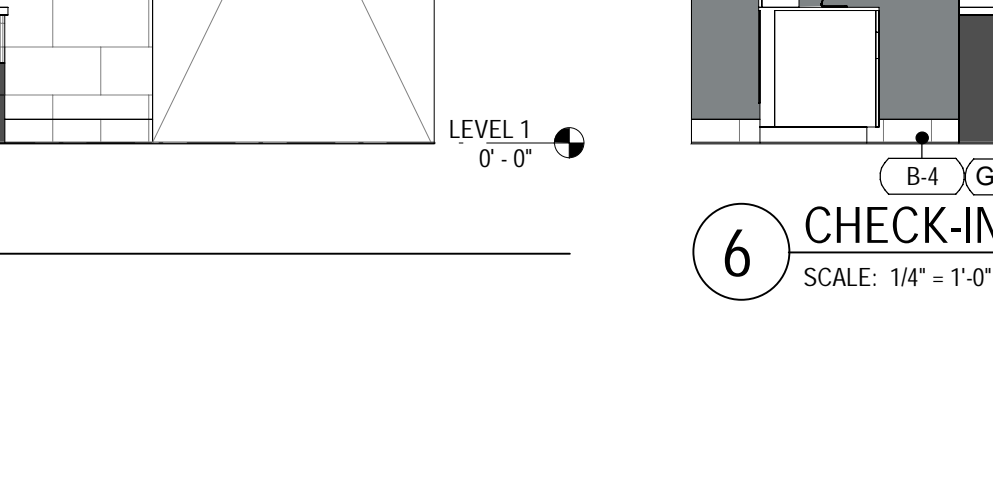
9 SMOOTHIE BAR EMPLOYEE SIDE  
SCALE: 1/4" = 1'-0"



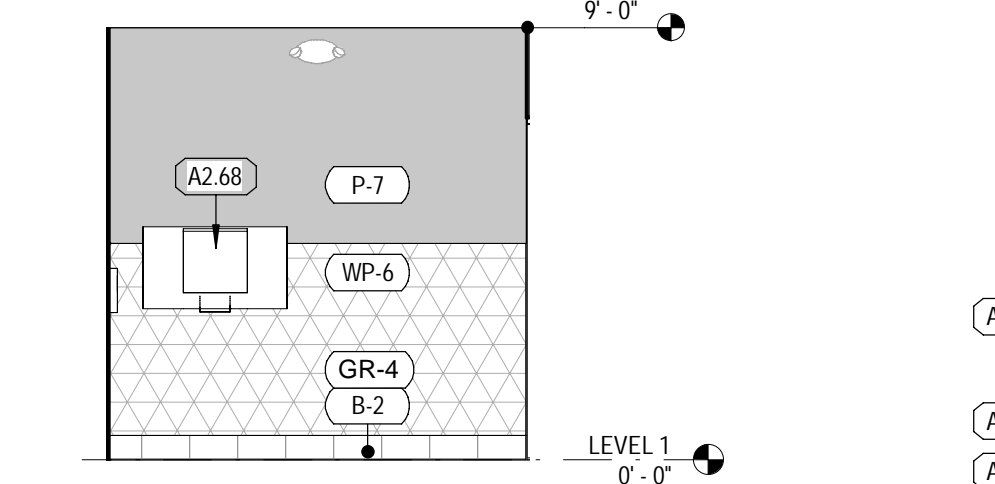
6 CHECK-IN DESK BACK WALL  
SCALE: 1/4" = 1'-0"



3 RECEPTION NORTH  
SCALE: 1/4" = 1'-0"



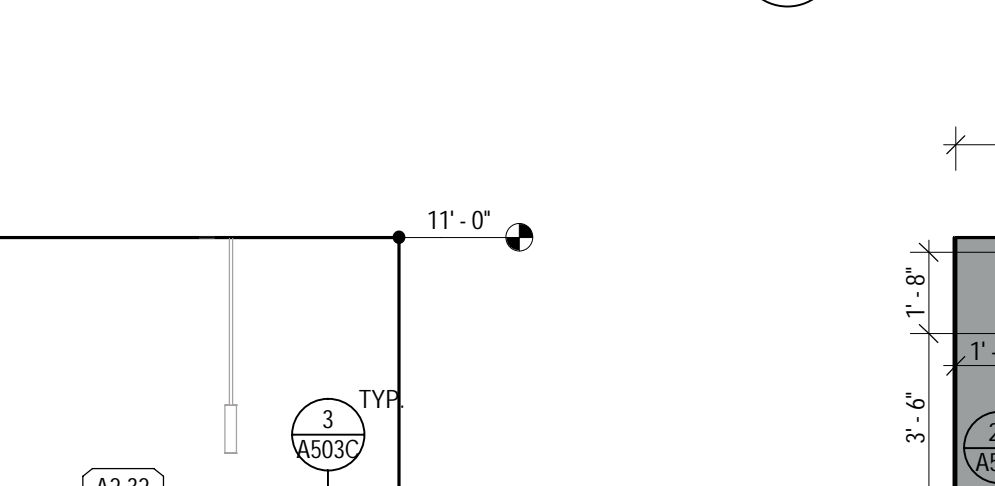
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SCALE: 1/4" = 1'-0"



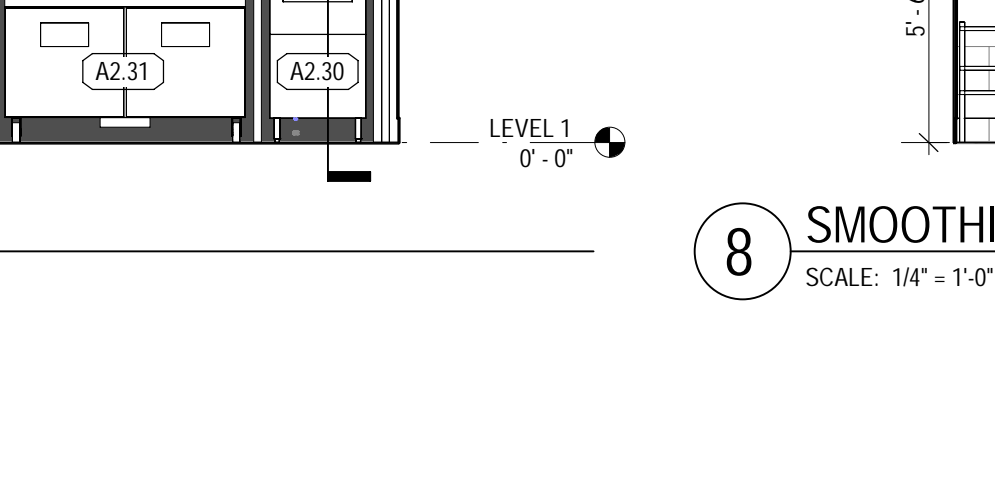
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SCALE: 1/4" = 1'-0"



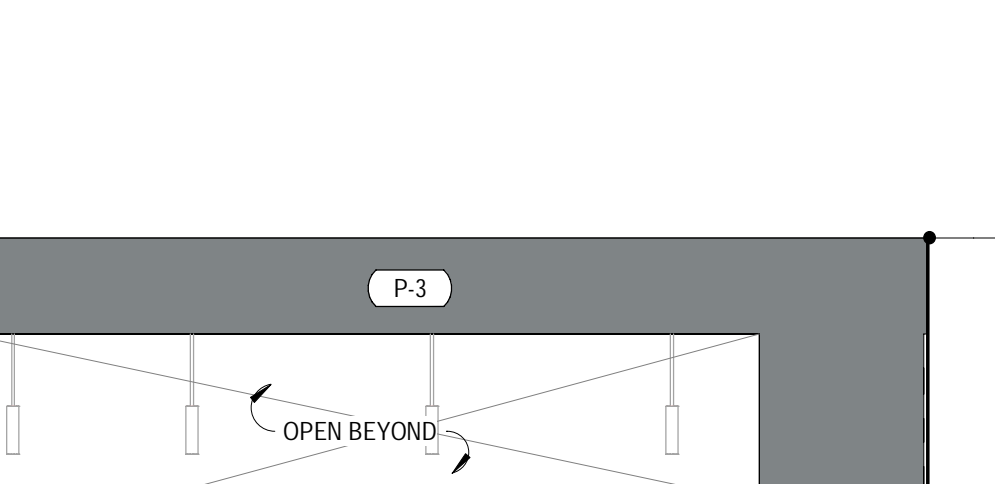
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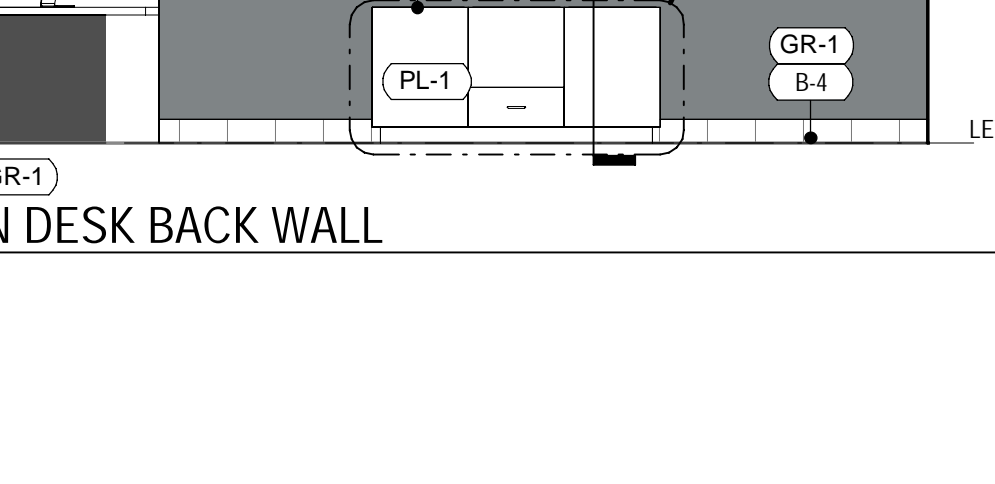
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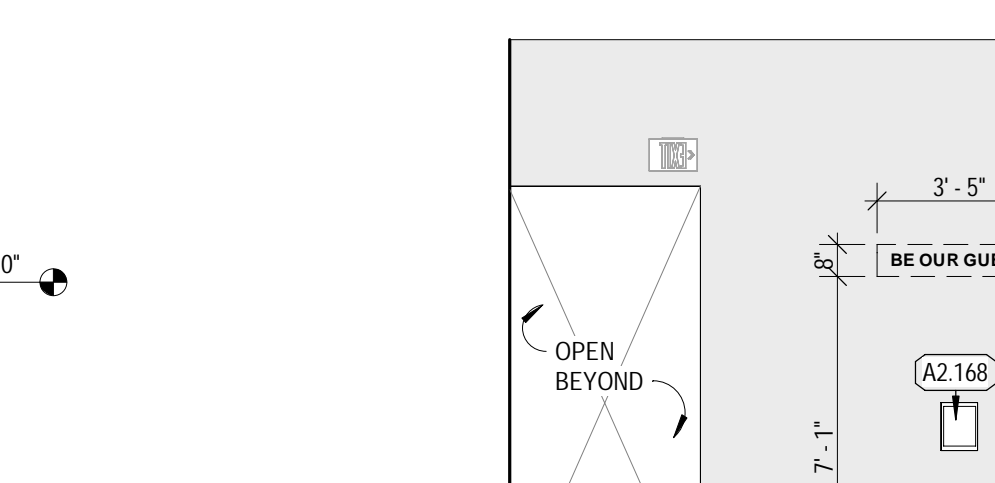
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SCALE: 1/4" = 1'-0"



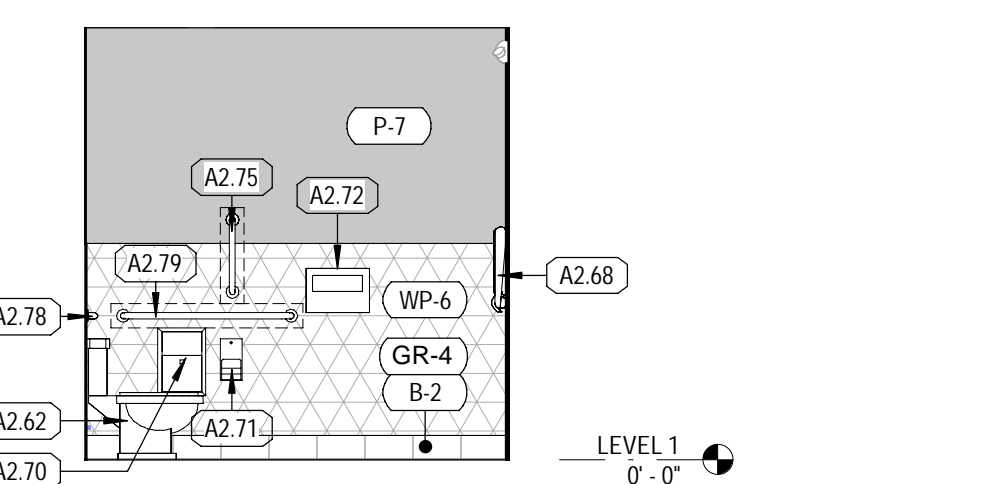
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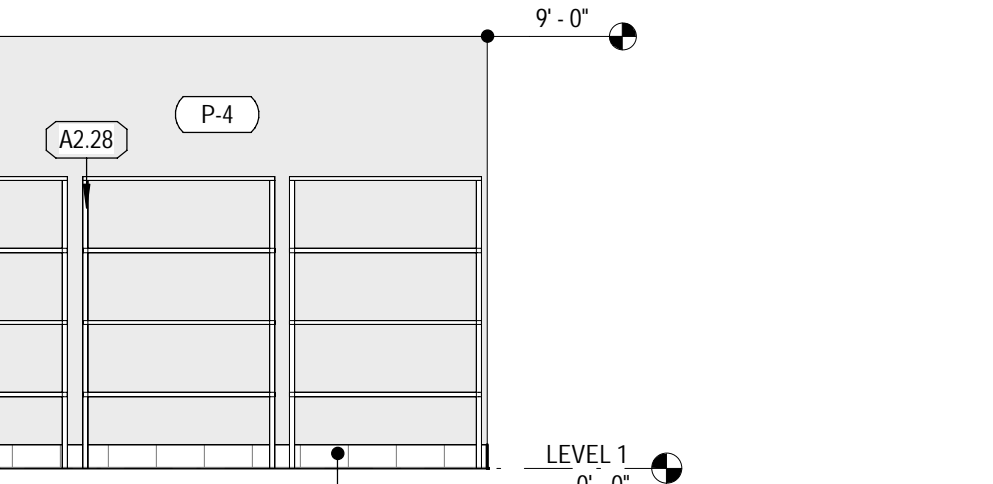
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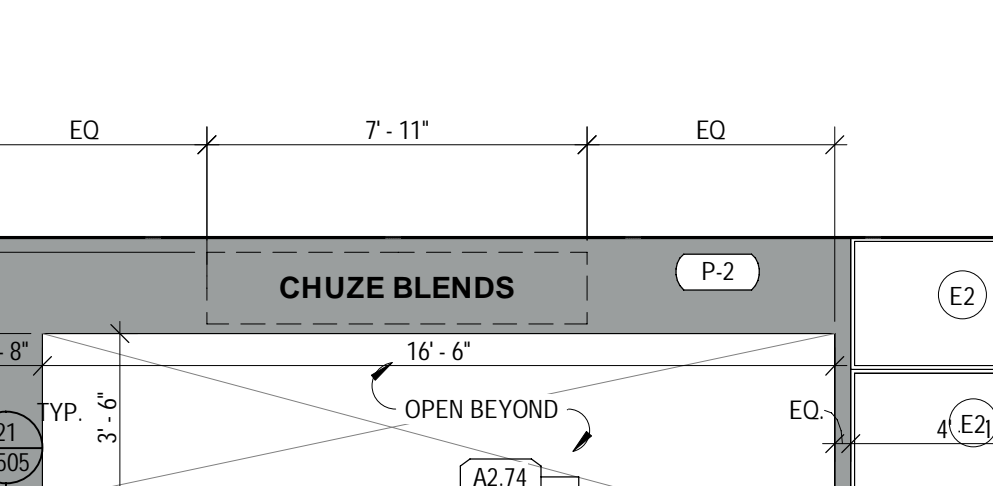
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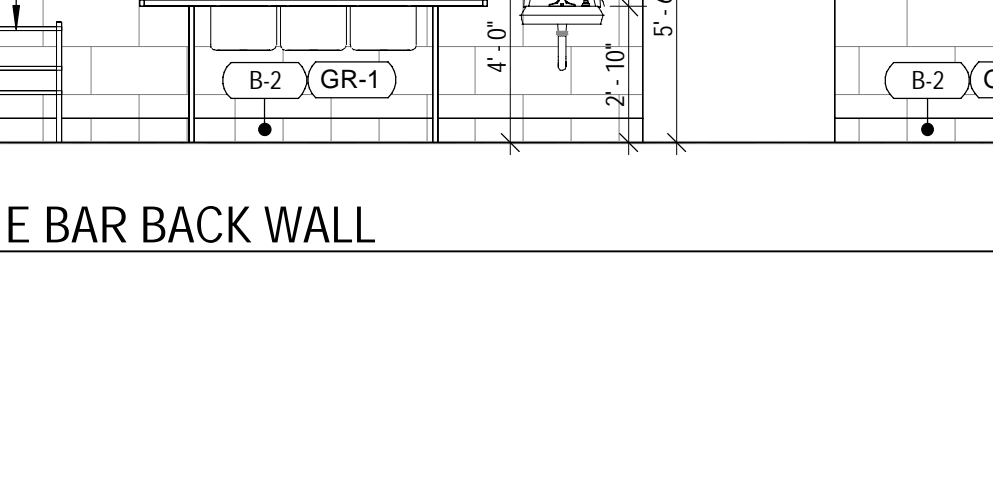
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SCALE: 1/4" = 1'-0"



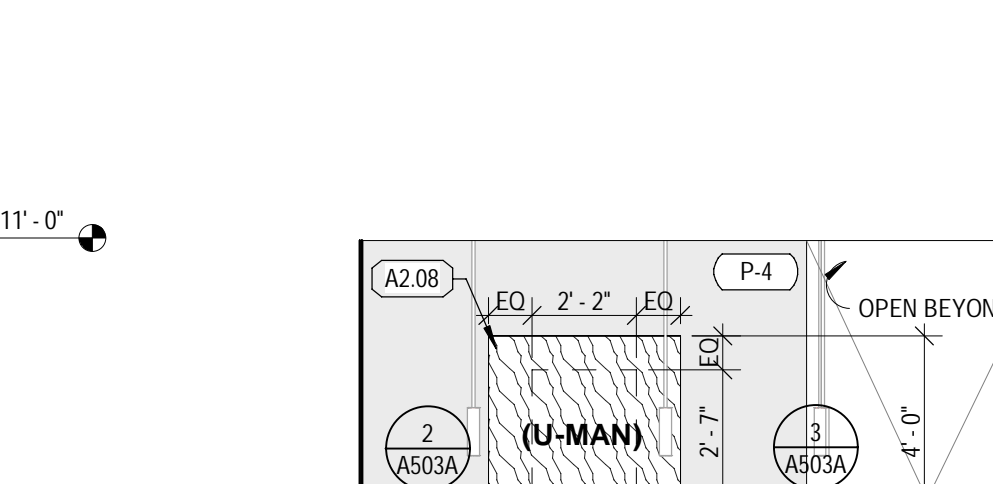
11 SMOOTHIE STORAGE EAST  
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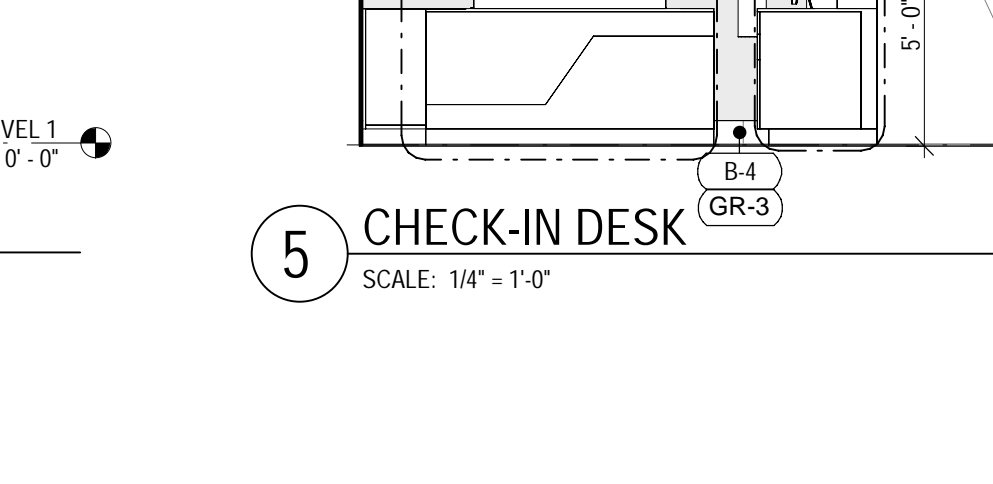
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SCALE: 1/4" = 1'-0"



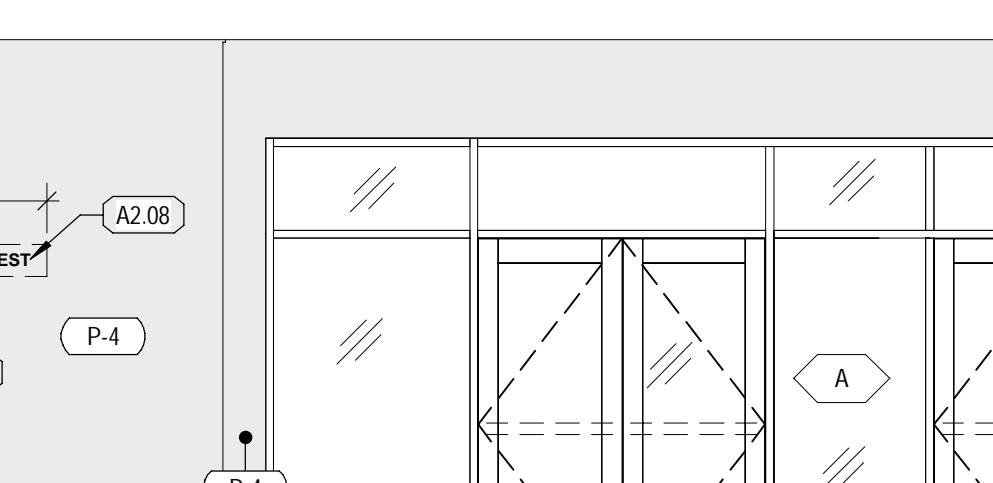
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4 RECEPTION WEST  
SCALE: 1/4" = 1'-0"



3 RECEPTION NORTH  
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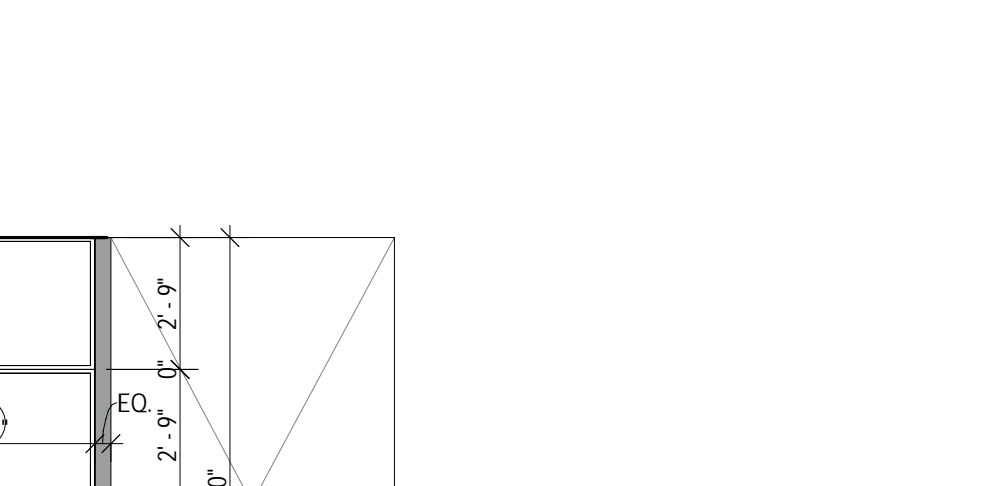
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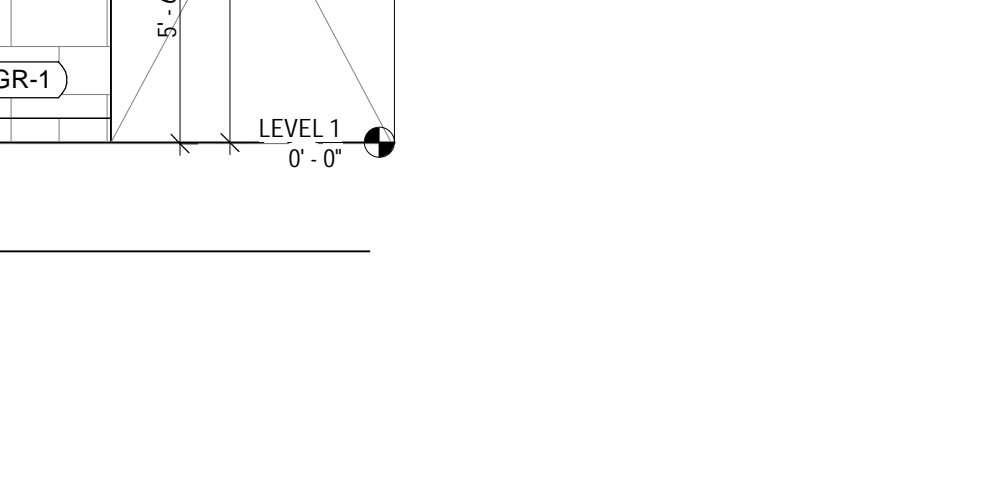
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11 SMOOTHIE STORAGE EAST  
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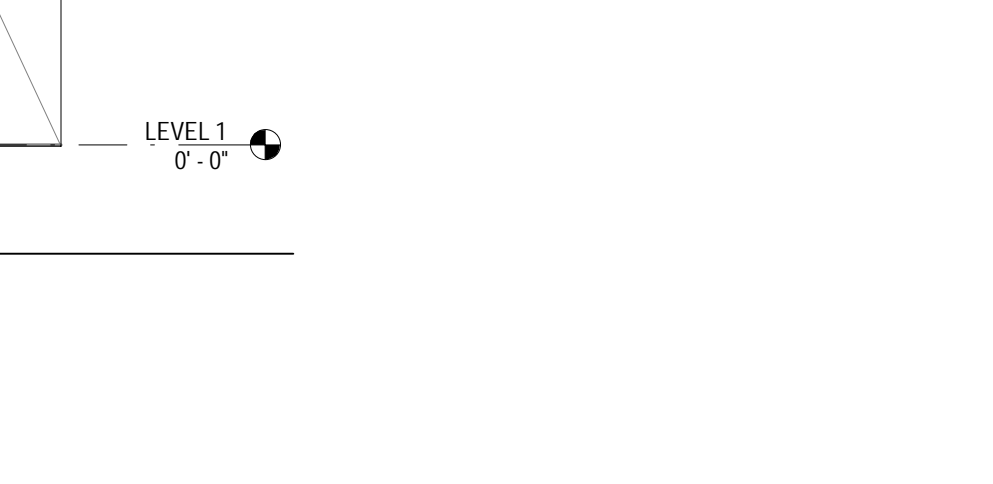
8 SMOOTHIE BAR BACK WALL  
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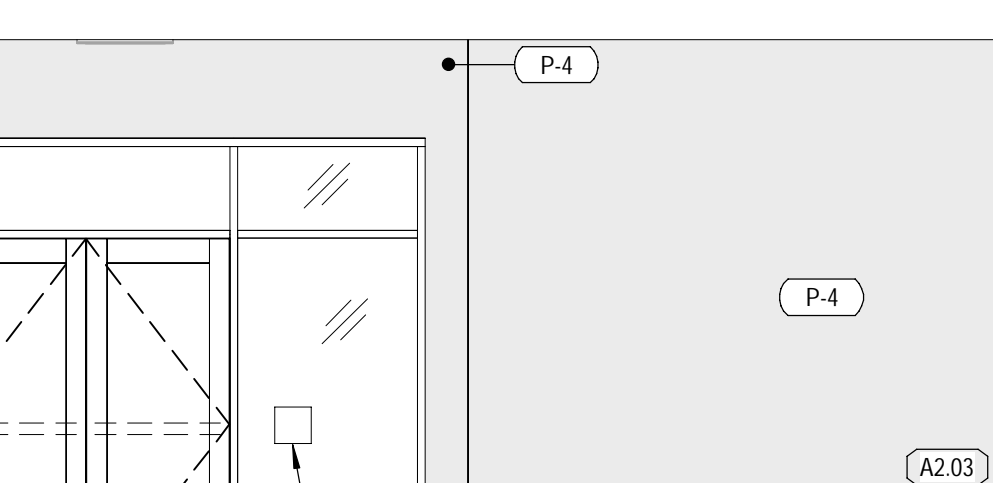
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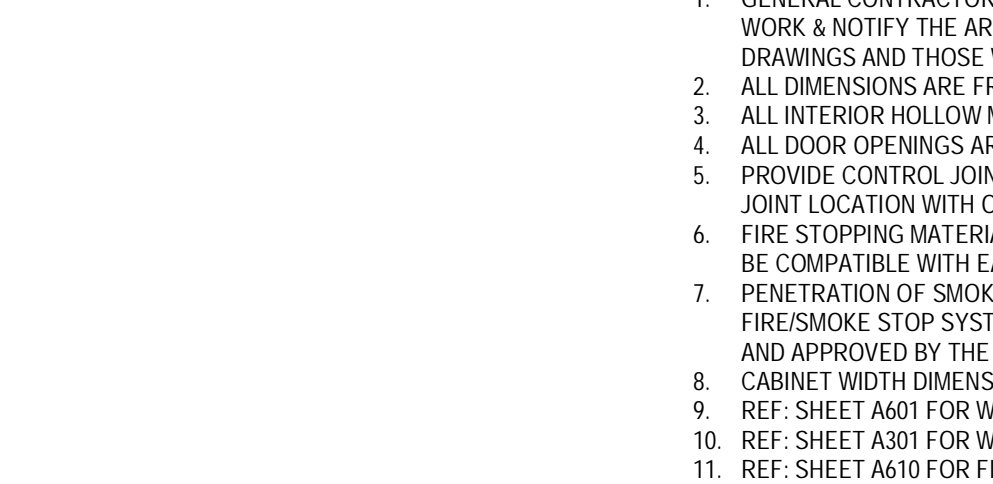
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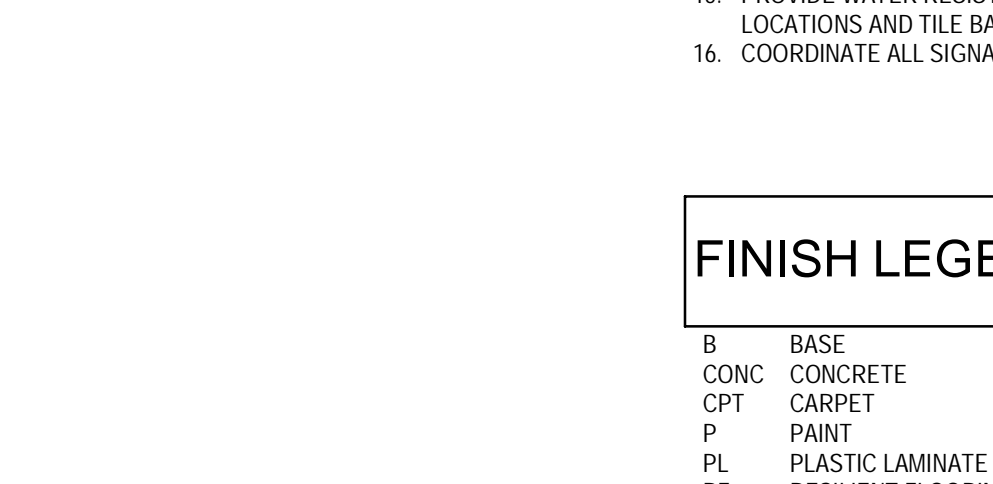
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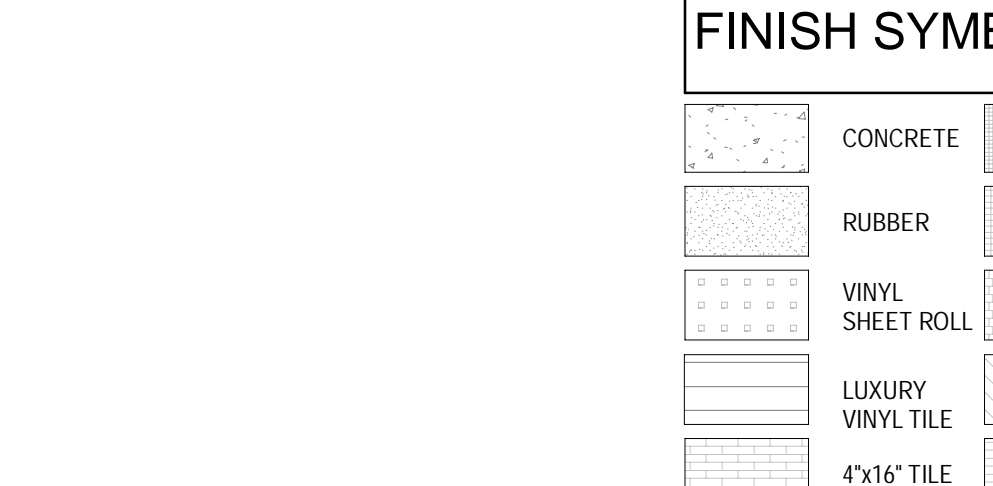
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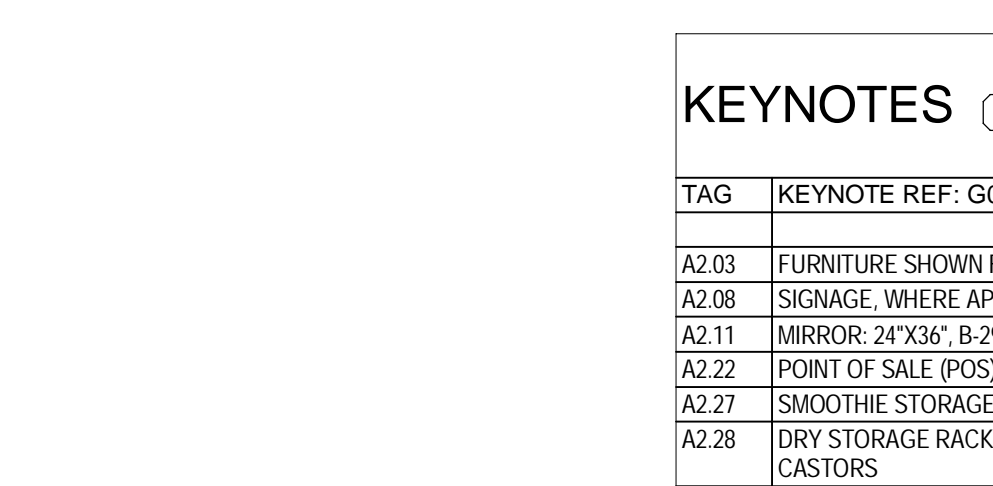
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11 SMOOTHIE STORAGE EAST  
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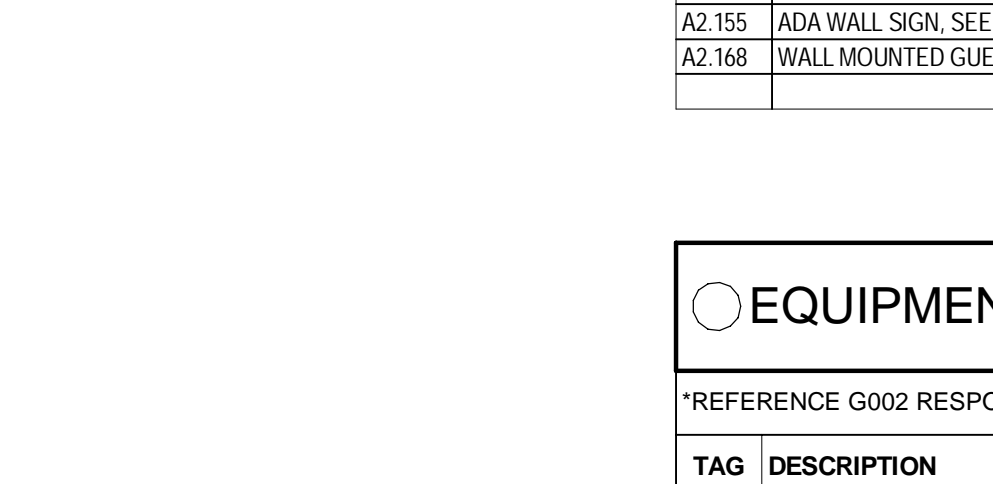
8 SMOOTHIE BAR BACK WALL  
SCALE: 1/4" = 1'-0"



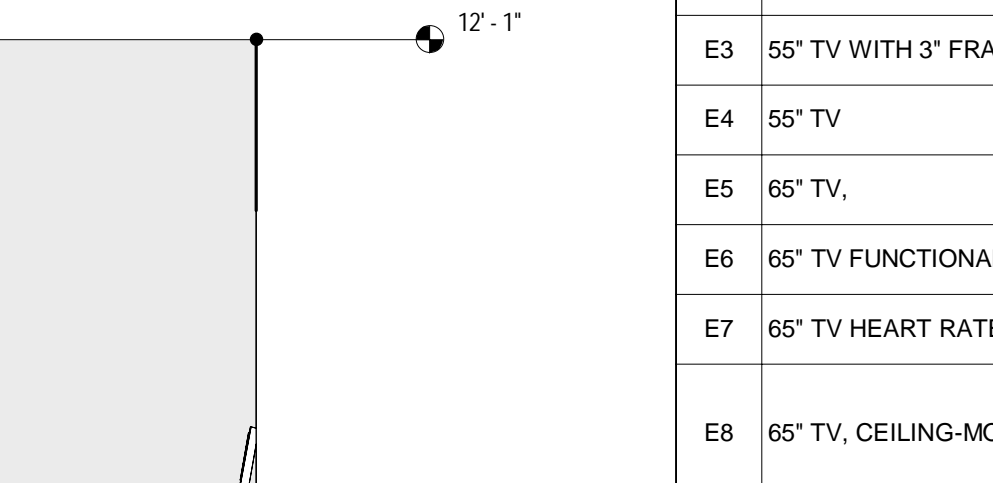
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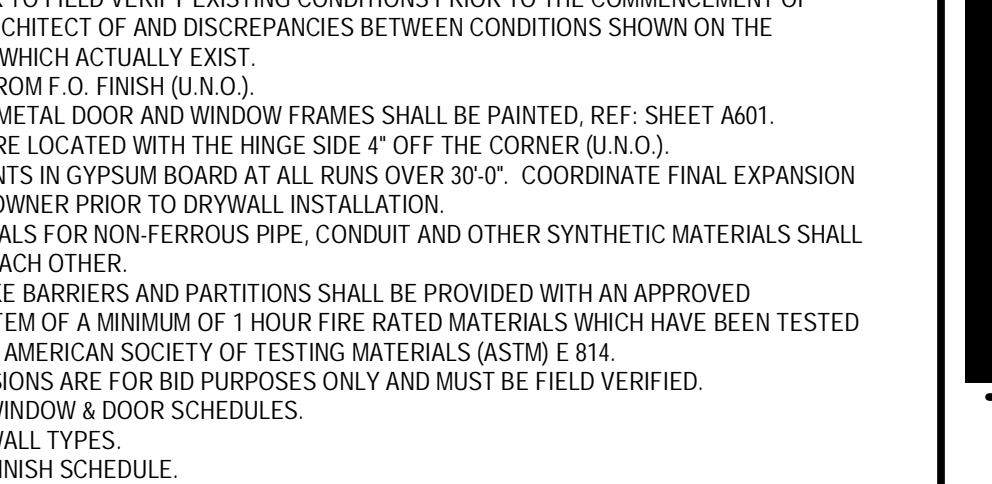
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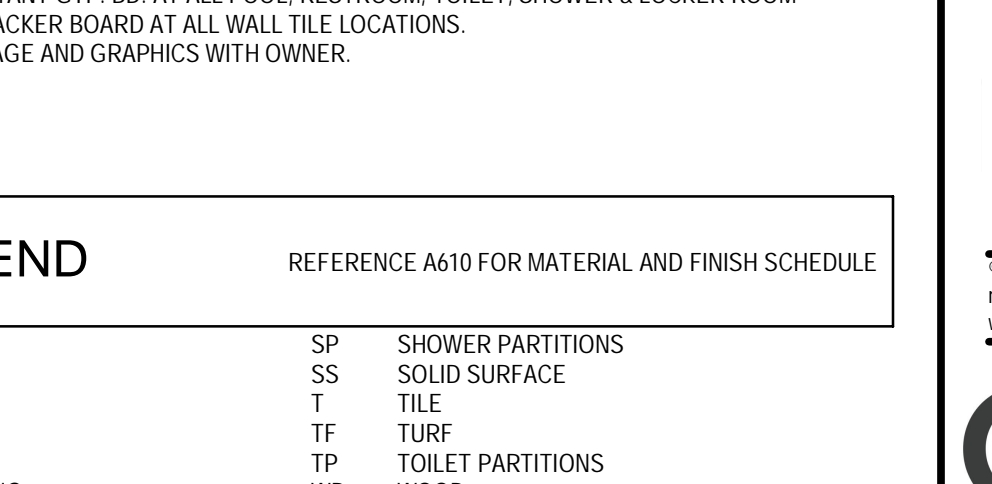
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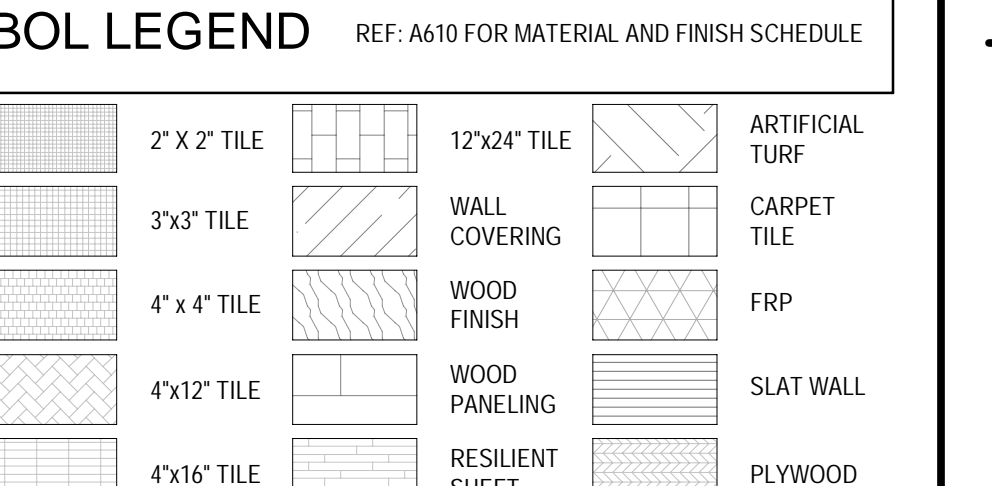
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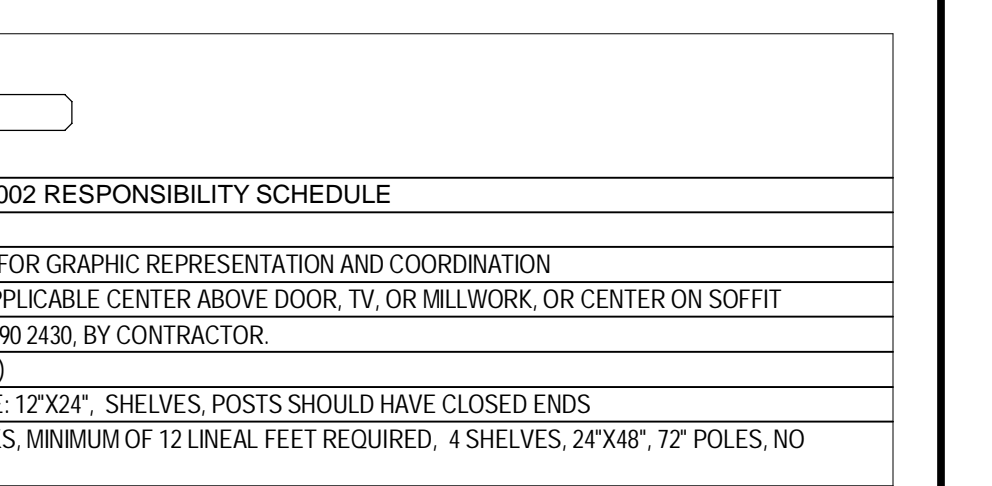
14 ADA RESTROOM SOUTH  
SCALE: 1/4" = 1'-0"



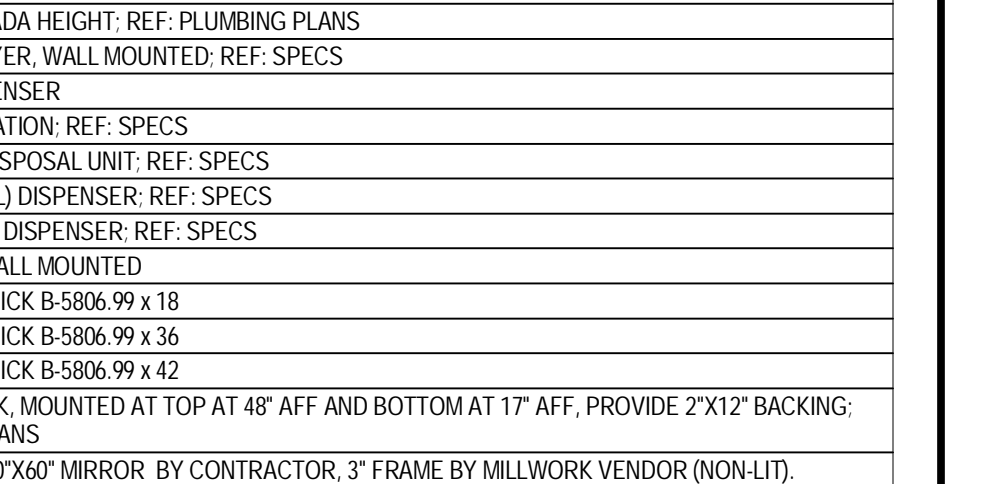
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SCALE: 1/4" = 1'-0"



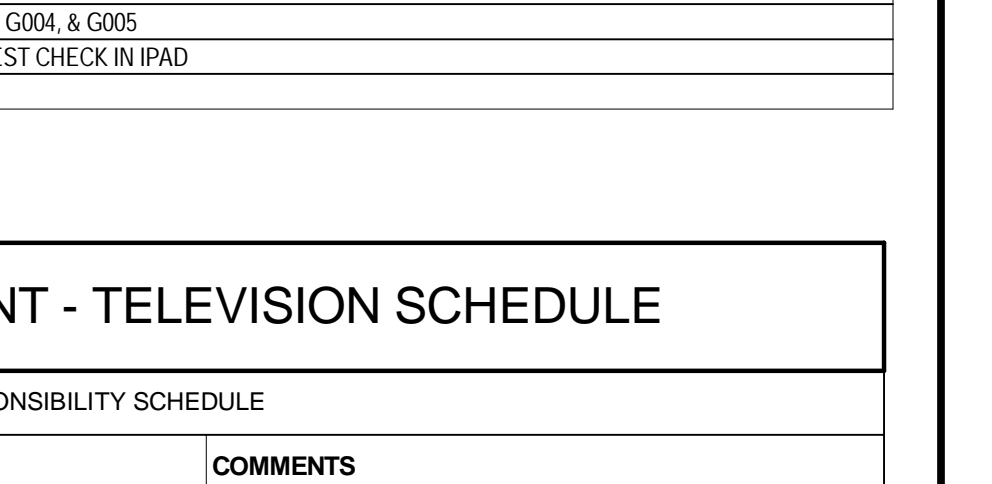
8 SMOOTHIE BAR BACK WALL  
SCALE: 1/4" = 1'-0"



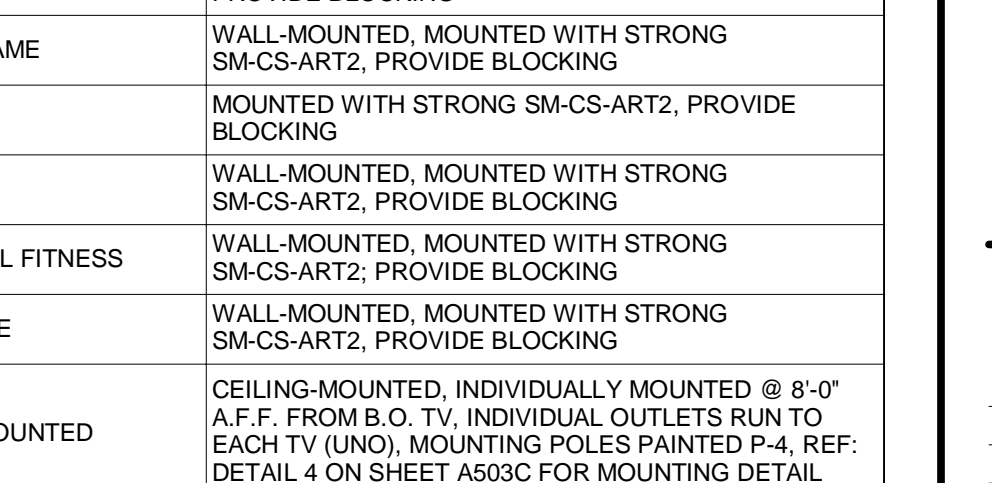
5 CHECK-IN DESK  
SCALE: 1/4" = 1'-0"



4 RECEPTION WEST  
SCALE: 1/4" = 1'-0"



3 RECEPTION NORTH  
SCALE: 1/4" = 1'-0"



2 RECEPTION WEST - KID'S CLUB ENTRANCE  
SCALE: 1/4" = 1'-0"



Mitchell C. Smith, Architect  
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### INTERIOR ELEVATION GENERAL NOTES

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL JOINTS OVER 30". COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENSSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

### FINISH LEGEND

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PART	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

### FINISH SYMBOL LEGEND

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

	CONCRETE		2' X 2' TILE		12' X 24' TILE		ARTIFICIAL TURF
	RUBBER		3' X 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' X 4' TILE		WOOD FINISH		FRP
	LUXURY VINYL TILE		4' X 12' TILE		WOOD PANELING		SLAT WALL
	4' X 16' TILE		4' X 16' TILE		RESILIENT SHEET		PLYWOOD

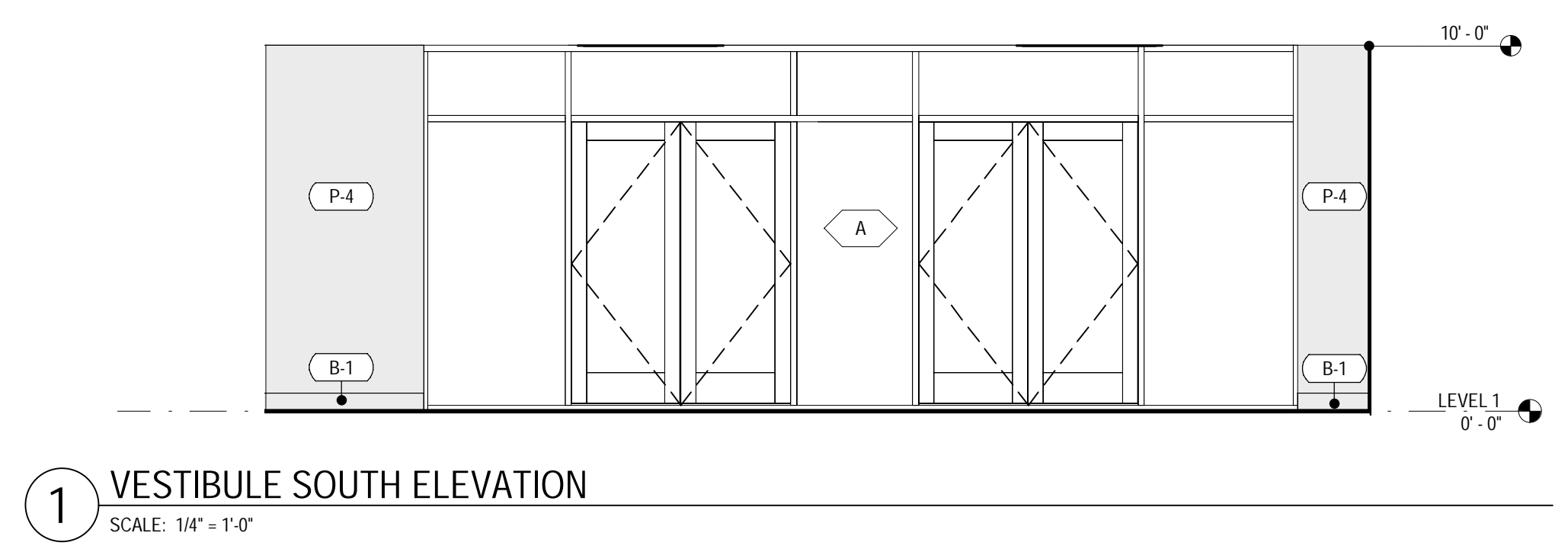
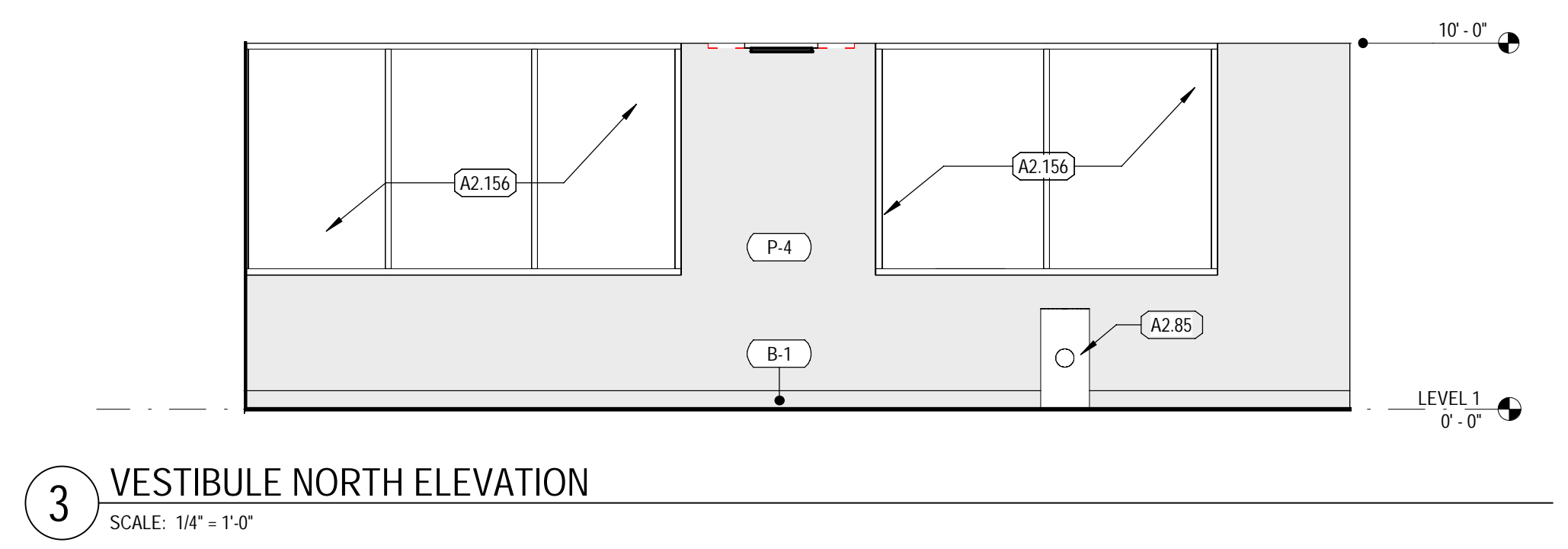
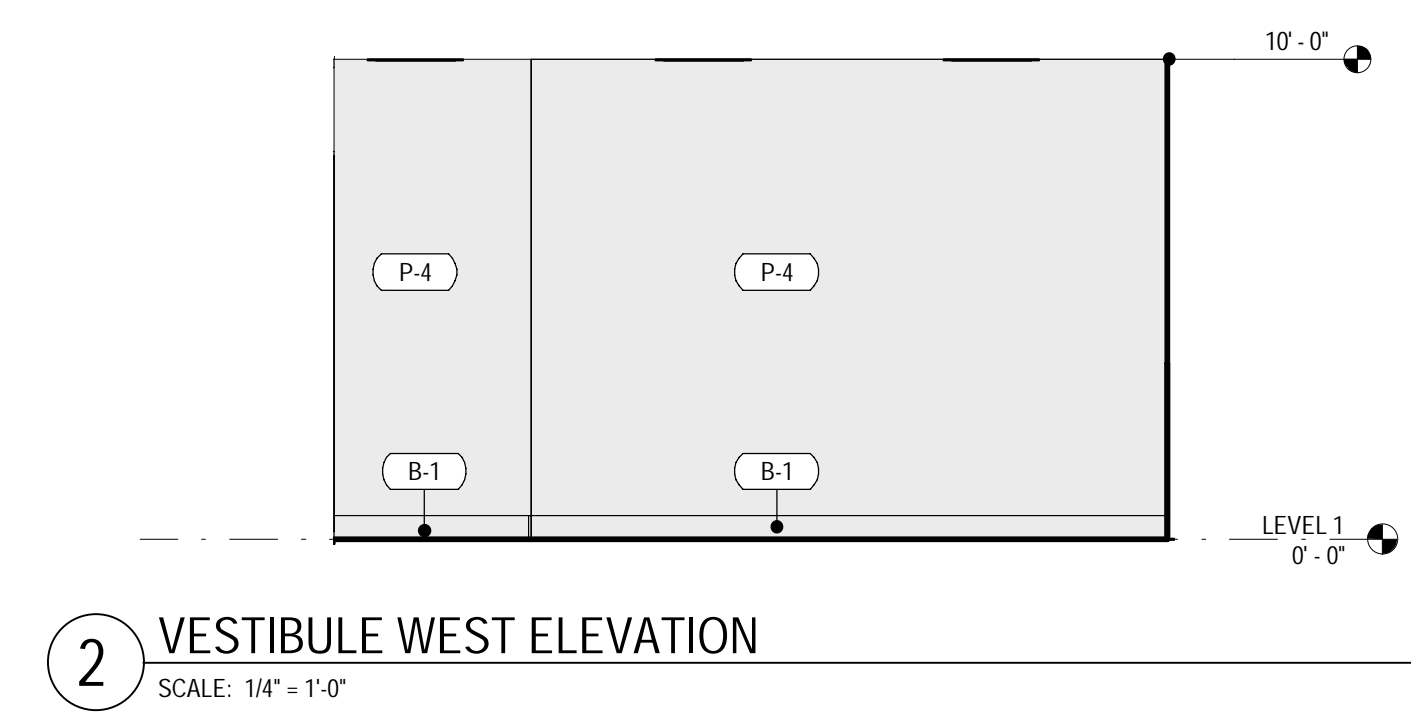
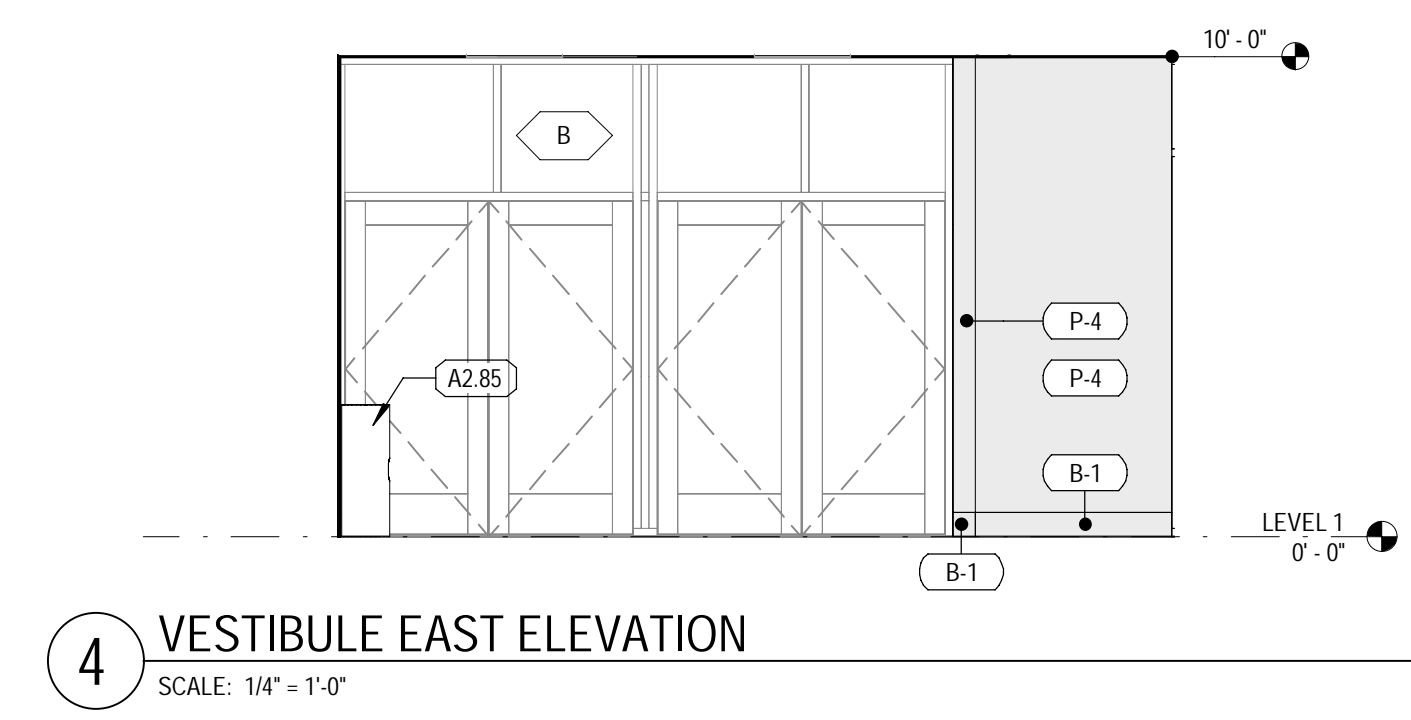
### KEYNOTES

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.85	SANITARY WIPE DISPENSERS
A2.156	EXISTING STOREFRONT GLAZING TO BE REPLACED WITH 1" INSULATED GLASS.

### EQUIPMENT - TELEVISION SCHEDULE

\*REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A606 FOR MOUNTING DETAIL.
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING



COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21		25% SUBMITTAL
01/05/22		75% SUBMITTAL
01/14/22		PERMIT SET
01/31/22		100% SUBMITTAL
03/11/22		PERMIT SET

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

VESTIBULE ELEVATIONS

A421.B



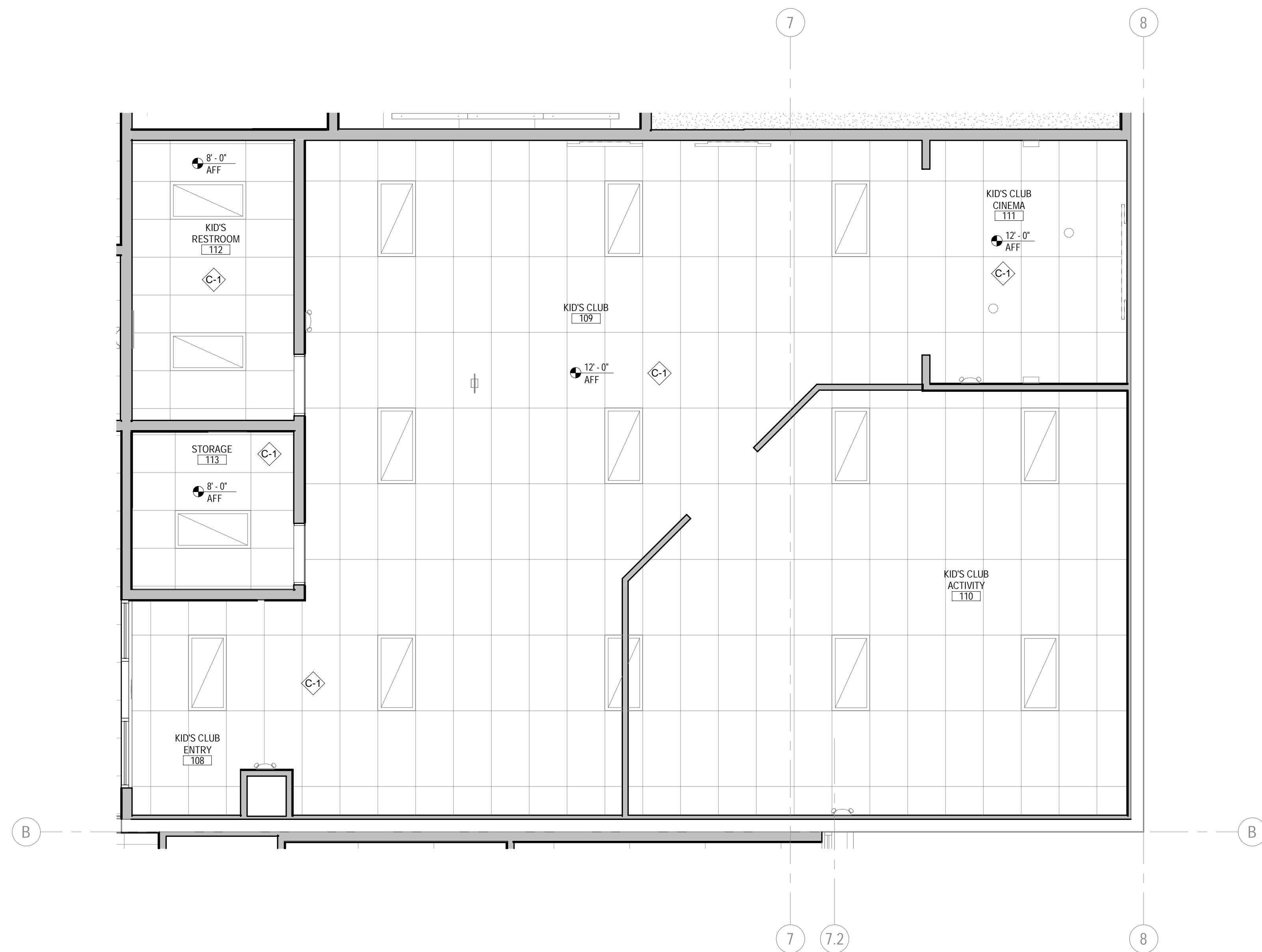
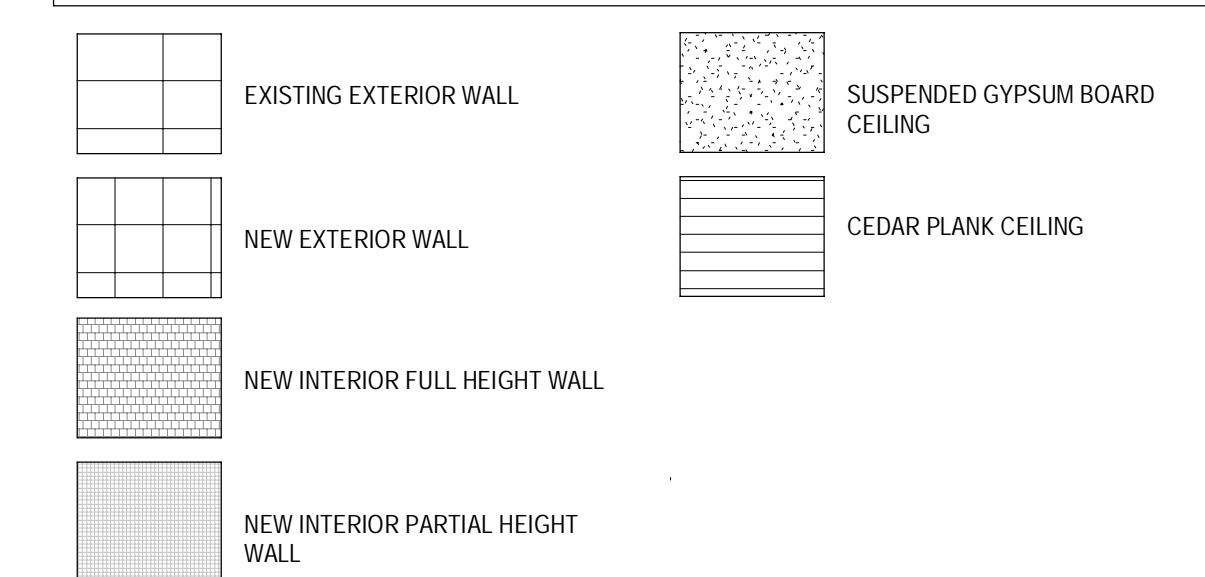
**REFLECTED CEILING PLAN GENERAL NOTES**

- REF. MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF. ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
- DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
- HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR U.L.O.
- PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
- SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4'-0" O.C. (MAX) AND CROSS TEES AS SHOWN ON PLANS (2'-0" MIN).
- ISOLATE CEILING GRIDS FROM PERIMETER WALLS. FASTEN PERIMETER EDGE ANGLE TO CEILING GRID, FREE FROM WALL ASSEMBLY. PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
- CEILING GRID SUSPENSION SUPPORT SHALL BE #12 GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4'-0" O.C. MAX.
- LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) 1/8" BLIND RIVET AT EACH CORNER. EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
- SUSPENDED ACOUSTICAL CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636. SUPPLY AND RETURN DIFFUSERS IN SUSPENDED CEILINGS SHALL HAVE STRAPS AT OPPOSITE SIDES. STRAPS TO MATCH SUPPLY/RETURN COLOR.
- CENTER CEILING GRID IN SPACE AS SHOWN, UNLESS SHOWN OTHERWISE.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TILES, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
- COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- ALL EXPOSED CEILINGS, MECHANICAL UNITS AND ELECTRICAL SYSTEMS TO BE PAINTED P-4. CYCLE EXPOSED CEILING TO BE P-4.
- ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
- EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
- PROVIDE SPRINKLER HEADS/ESCHEON PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS.
- SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E580, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TRIM RING.
- PROVIDE SPRINKLERS UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF. PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (S 504.5.3)

**REFLECTED CEILING PLAN SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2'X4' PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'X2' PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN 15/16"	ARMSTRONG	KITCHEN ZONE 672	2'X4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES. REF: REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA: PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING: P-16 POOL AREA: P-4. EPOXY 2-PART SYSTEM PAINT. REF SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

**WALL TYPES LEGEND**



**1 KIDS CLUB REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



Mitchell C. Smith, Architect  
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Checked By:	MG2

KID'S CLUB REFLECTED CEILING PLAN

**A422.A**







**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RIMS OVER 30". COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A601 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENNSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**FINISH LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

**FINISH SYMBOL LEGEND**

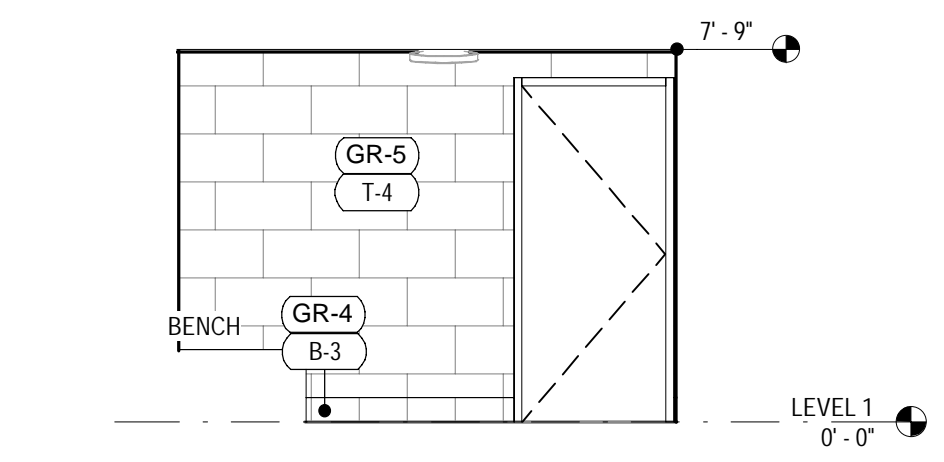
REF: A610 FOR MATERIAL AND FINISH SCHEDULE

	CONCRETE		2' X 2' TILE		12' X 24' TILE		ARTIFICIAL TURF
	RUBBER		3' X 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' X 4' TILE		WOOD		FRP
	LUXURY VINYL TILE		4' X 12' TILE		WOOD PANELING		SLAT WALL
	4' X 16' TILE		4' X 16' TILE		RESILIENT SHEET		PLYWOOD

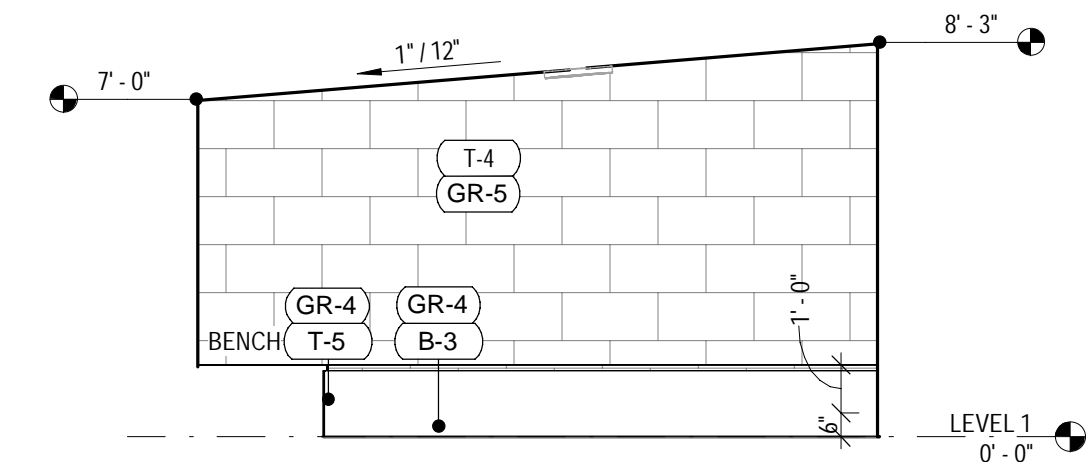
**KEYNOTES**

TAG KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE

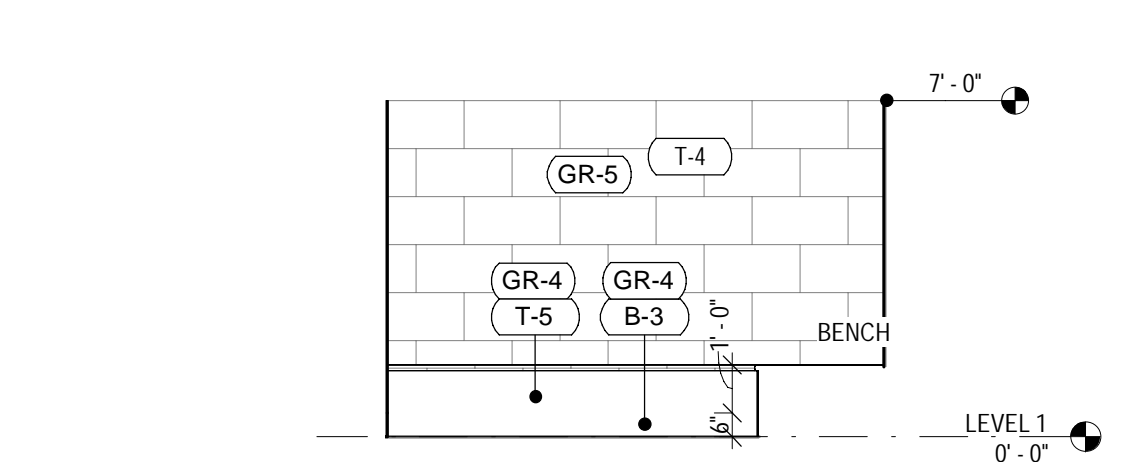
A2.03	FURNITURE SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION
A2.08	SIGNAGE WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT
A2.46	SHOE SHELF PROVIDE BACKING
A2.70	SANITARY NAPKIN DISPOSAL UNIT, REF: SPECS
A2.155	ADA WALL SIGN, SEE G004 & G005



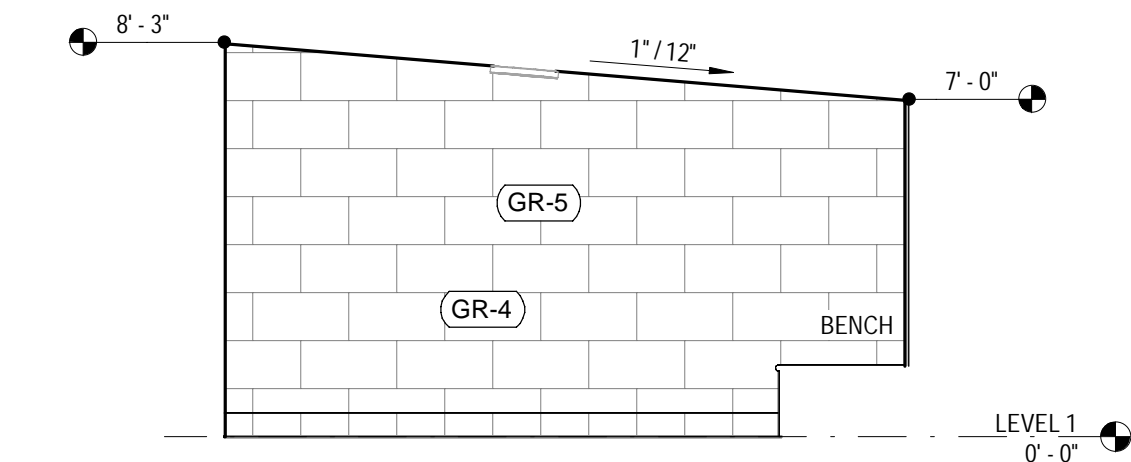
**8 STEAM ROOM EAST**  
SCALE: 1/4" = 1'-0"



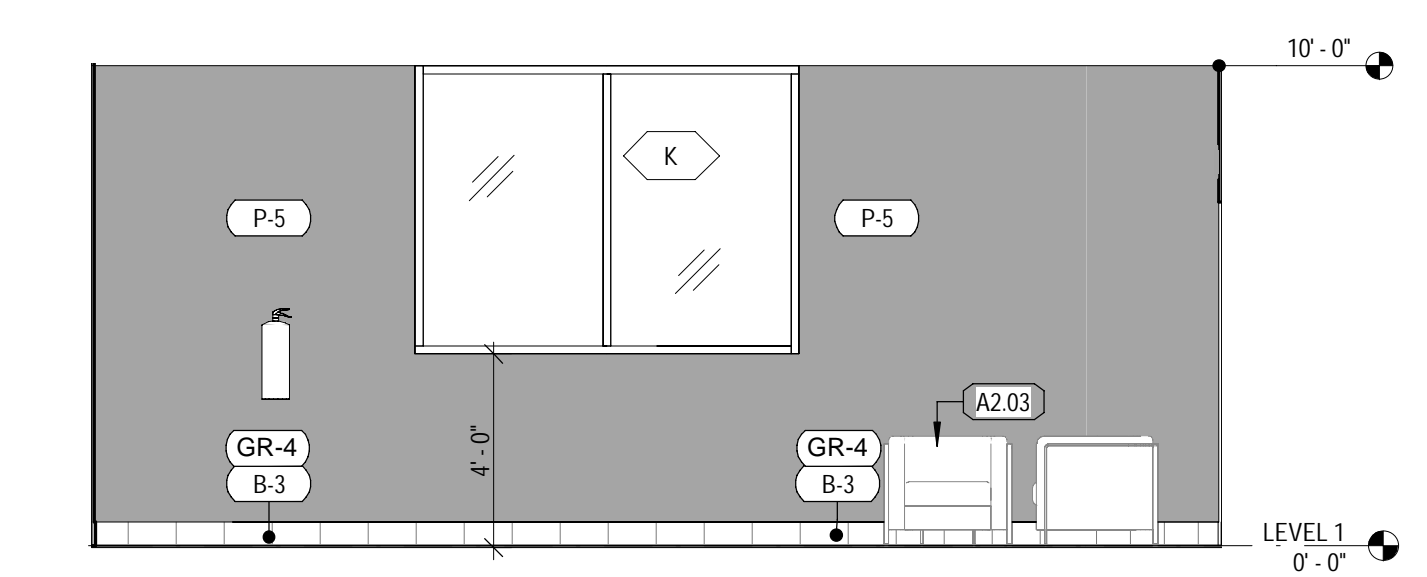
**7 STEAM ROOM NORTH**  
SCALE: 1/4" = 1'-0"



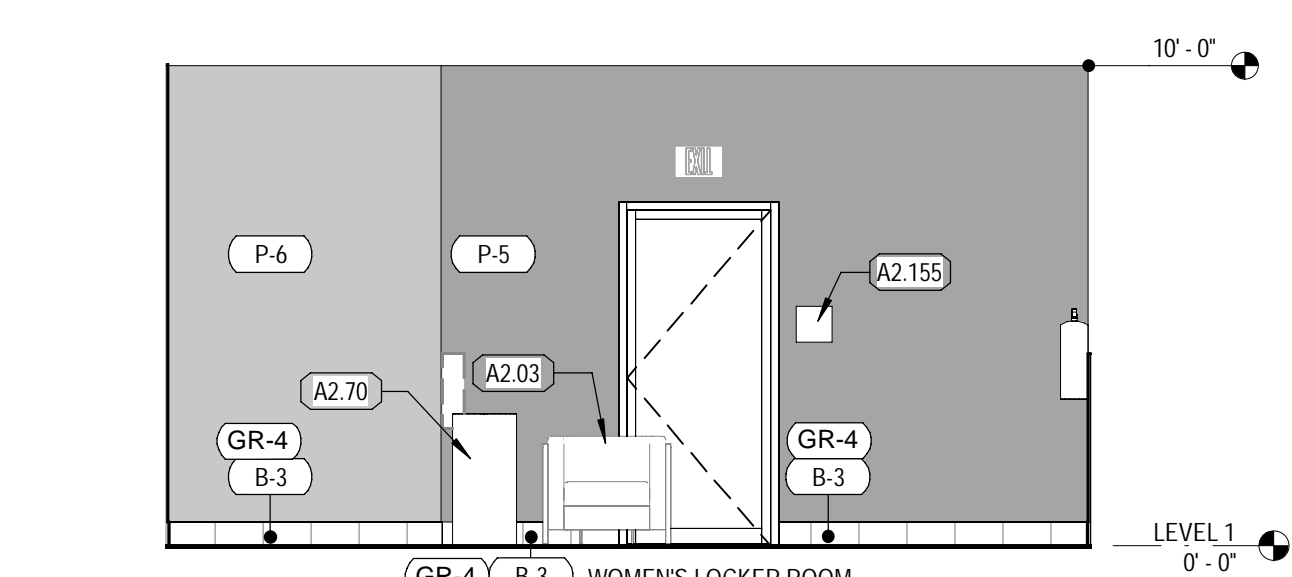
**6 STEAM ROOM WEST**  
SCALE: 1/4" = 1'-0"



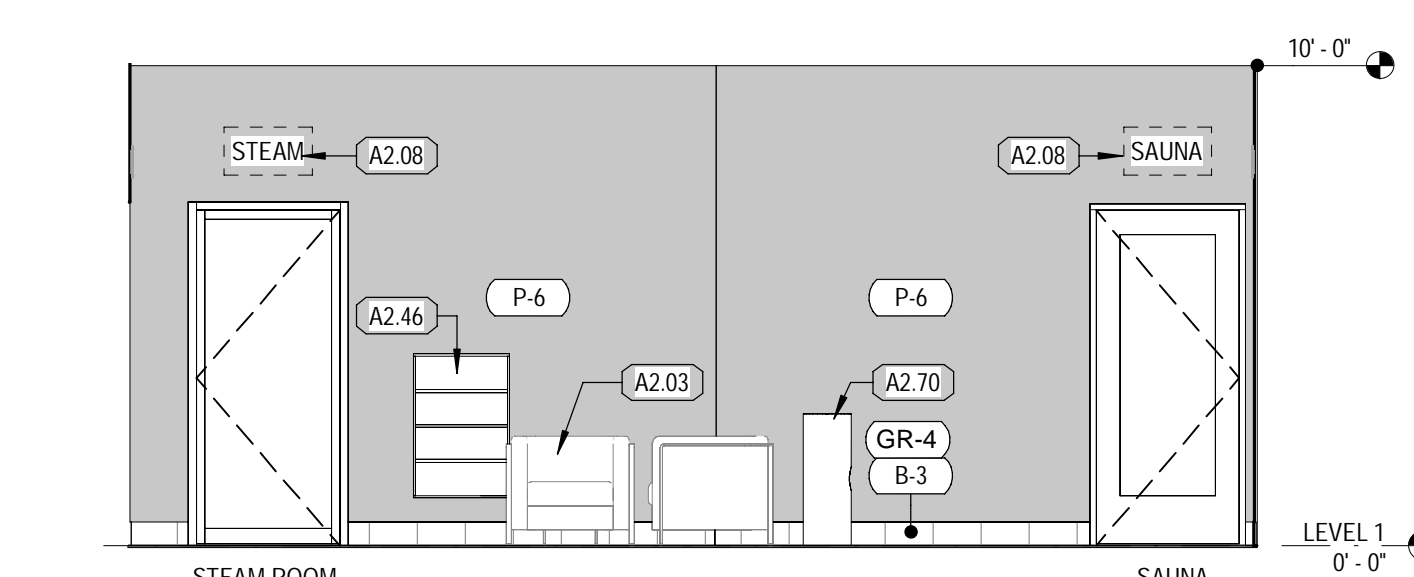
**5 STEAM ROOM SOUTH**  
SCALE: 1/4" = 1'-0"



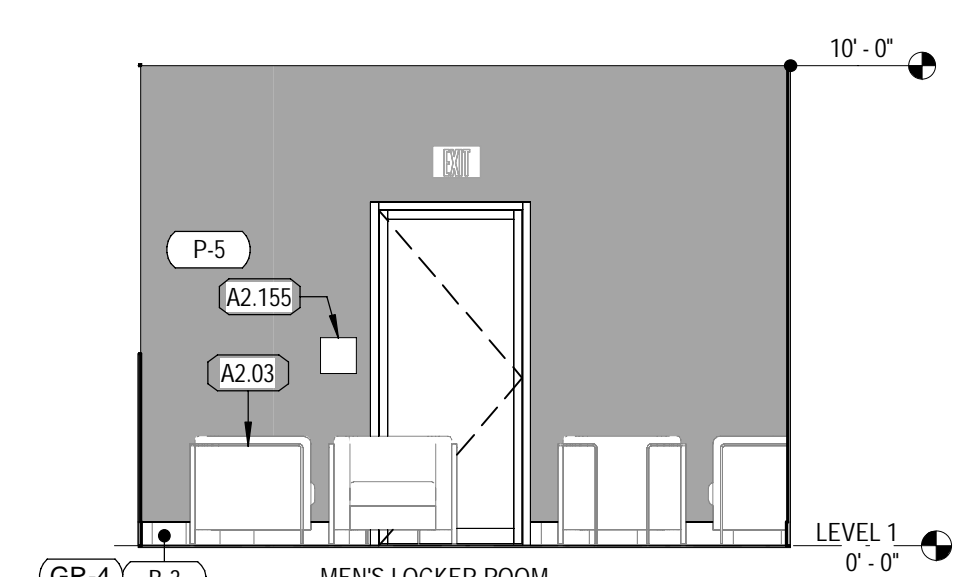
**4 SPA LOUNGE EAST**  
SCALE: 1/4" = 1'-0"



**3 SPA LOUNGE NORTH**  
SCALE: 1/4" = 1'-0"



**2 SPA LOUNGE WEST**  
SCALE: 1/4" = 1'-0"



**1 SPA LOUNGE SOUTH**  
SCALE: 1/4" = 1'-0"

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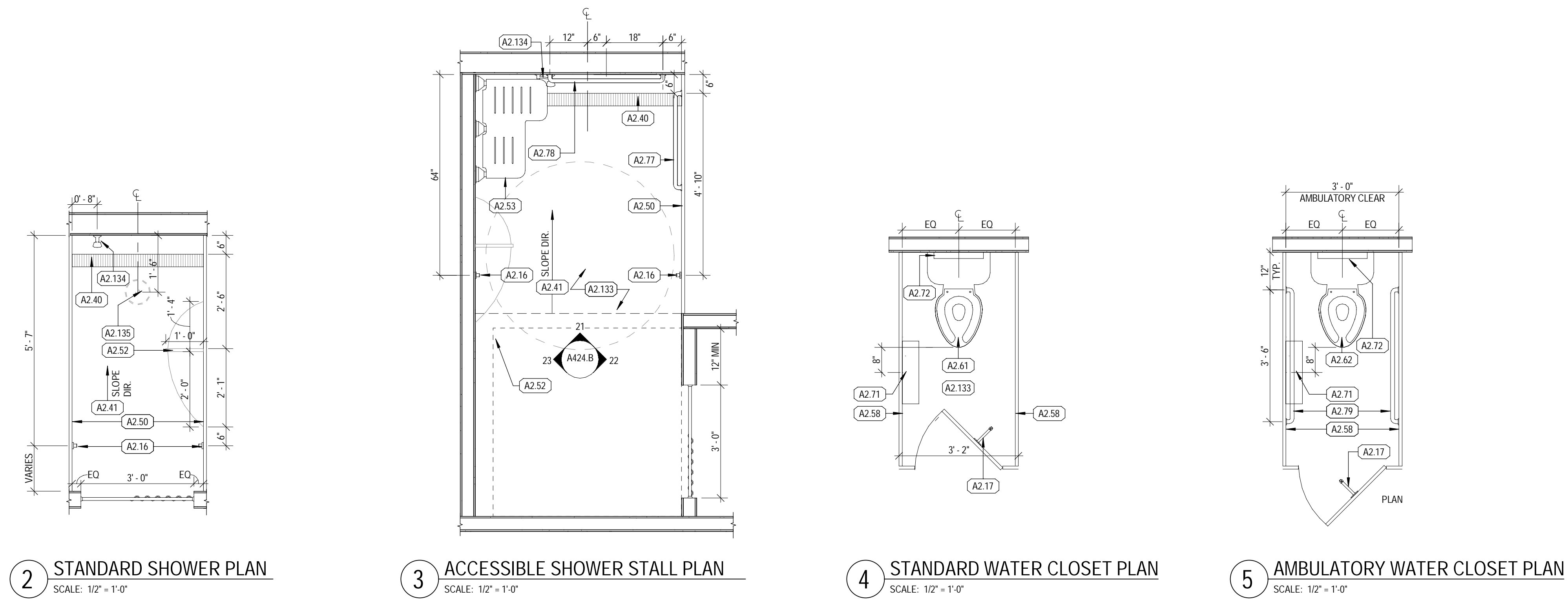
Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

SPA/LOUNGE ELEVATIONS

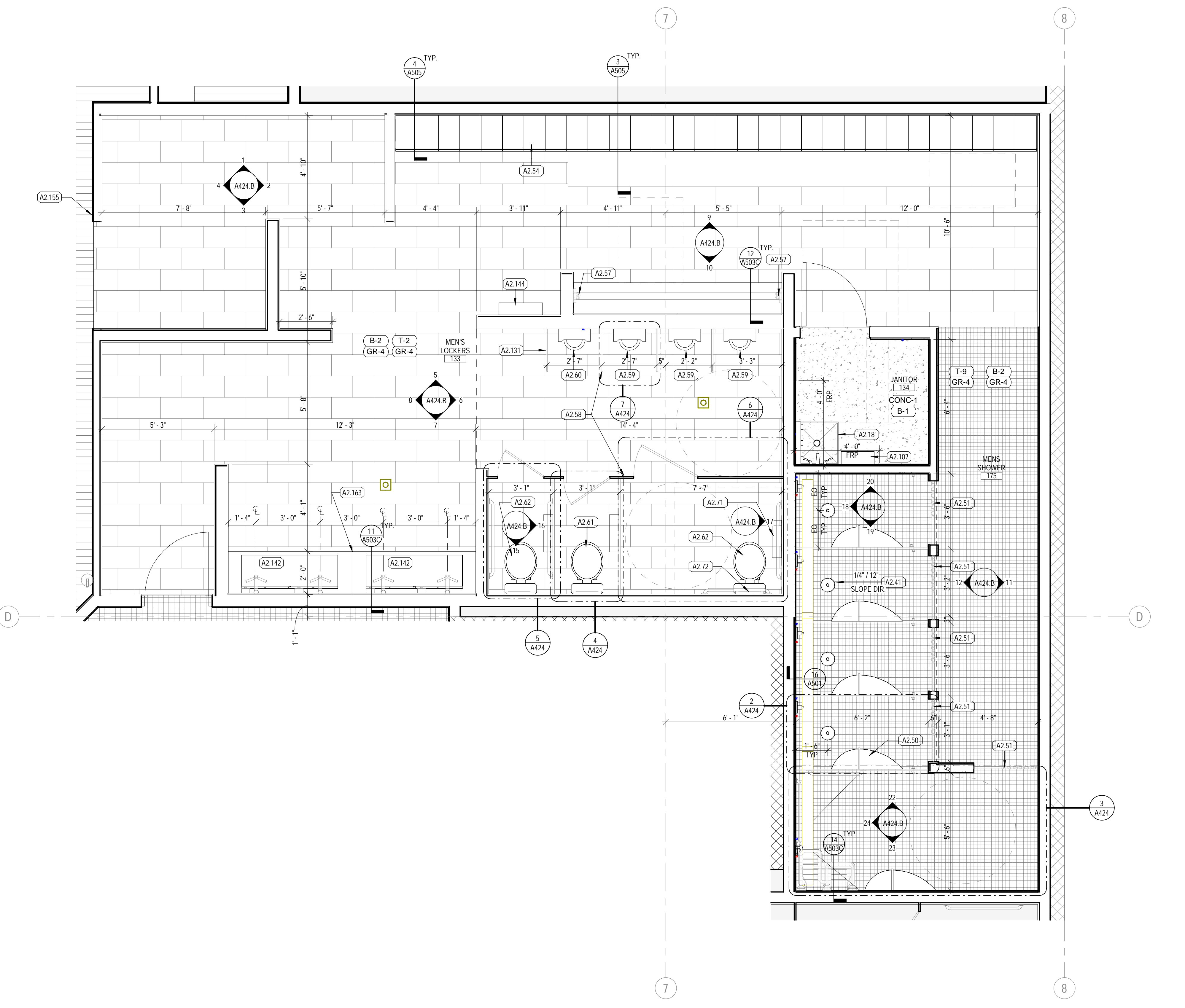
**A423.A**

FLOOR PLAN GENERAL NOTES

- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
- VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS WITH WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 4" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE RACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
- INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU.
- PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
- REF. SHEET A201 FOR WALL DETAILS AND TYPICAL DIMENSIONS.
- PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
- FIRE STOPPING MATERIAL FOR PENETRATION OF CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR & WINDOWS ARE TAGGED ON SHEET A201. REF: SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS. REF: SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED VENDOR TO COMPLETE TESTING. REF: REQUIRED VENDOR SCHEDULE.
- REF. TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING. TYP.
- REFER TO RESPONSIBILITY SCHEDULE ON SHEET G003 FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.



2 STANDARD SHOWER PLAN SCALE: 1/2" = 1'-0"  
 3 ACCESSIBLE SHOWER STALL PLAN SCALE: 1/2" = 1'-0"  
 4 STANDARD WATER CLOSET PLAN SCALE: 1/2" = 1'-0"  
 5 AMBULATORY WATER CLOSET PLAN SCALE: 1/2" = 1'-0"  
 6 ACCESSIBLE WATER CLOSET PLAN SCALE: 1/2" = 1'-0"  
 7 TYPICAL URINAL STALL PLAN SCALE: 1/2" = 1'-0"

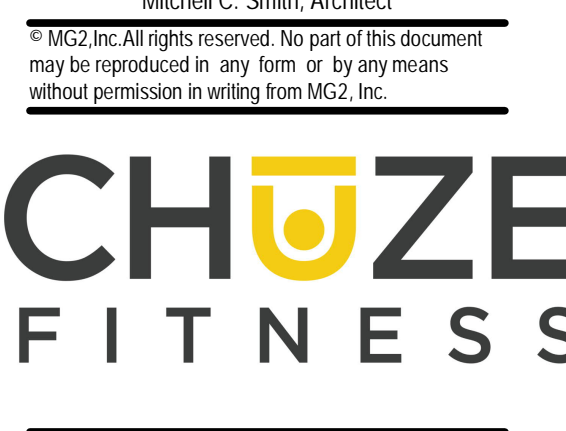


1 MENS LOCKERS FLOOR PLAN SCALE: 3/8" = 1'-0"

KEYNOTES

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2 16	HOOK: BOBRICK B-76171 SATIN FINISH STAINLESS STEEL. INSTALL TWO HOOKS IN EACH SHOWER STALL (TYP)
A2 17	HOOK: BOBRICK B-212 ALUMINUM MATTE FINISH SURFACE MOUNTED AT TOILET PARTITION DOORS. REF: SHEET G004 FOR MOUNTING HEIGHTS
A2 18	MOP SINK LOCATION: REF: PLUMBING PLANS. AT ALL MOP SINK LOCATIONS, PROVIDE 4X4 FRP PANEL FOR WALL PROTECTION ON EACH WALL. AT MOP SINK IN SMOOTHIE STORAGE, PROVIDE 4X8 FRP PANEL FOR WALL PROTECTION ON EACH WALL. REF: SHEET A610 & SPECS
A2 40	TRENCH DRAIN LOCATION: REF: PLUMBING PLANS
A2 41	ALL FLOORS SLOPE 2% TO DRAIN, TYP
A2 50	SHOWER PARTITION OR METAL STUD WALL: RE: PLAN FOR LOCATIONS
A2 51	SHOWER CURTAIN LINER, ROD, AND HOOKS
A2 52	SHELF: TYPICAL IN ALL SHOWER STALLS. PROVIDE BLOCKING AT PARTITION WALLS.
A2 53	FOLDING SHOWER SEAT (ADA): REF: SPECS
A2 54	LOCKERS: G.C. TO VERIFY EXACT LOCATION AND QUANTITY WITH CHUZE DAY LOCKERS: 2-TIER & 4-TIER, 12'X18'X48" LOCKER ROOMS: 2-TIER & 3-TIER, 12'X18'X72" POOL LOCKERS: 5-TIER, 12'X12'X60" STAFF LOUNGE: 2-TIER & 3-TIER, 12'X18'X72"
A2 57	HAND DRYER
A2 58	TOILET PARTITION OR METAL STUD WALL: REF: PLAN
A2 59	URINAL, STANDARD HEIGHT: REF: PLUMBING PLANS
A2 60	URINAL, ADA HEIGHT: REF: PLUMBING PLANS
A2 61	TOILET, STANDARD HEIGHT: REF: PLUMBING PLANS
A2 62	TOILET, ADA HEIGHT: REF: PLUMBING PLANS
A2 71	TOILET TISSUE (ROLL) DISPENSER: REF: SPECS
A2 72	TOILET SEAT COVER DISPENSER: REF: SPECS
A2 75	GRAB BAR 18": BOBRICK B-5806.99 x 18
A2 77	GRAB BAR 30": BOBRICK B-5806.99 x 30
A2 78	GRAB BAR 36": BOBRICK B-5806.99 x 36
A2 79	GRAB BAR 42": BOBRICK B-5806.99 x 42
A2 107	DIVERSEY J-FILL DILUTION DISPENSER: 4 UNIT CABINET AND HOSE.
A2 131	URINAL PARTITION
A2 133	REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
A2 134	SHOWER VALVE LOCATION: REF: PLUMBING PLANS
A2 135	SHOWER HEAD LOCATION ABOVE: REF: PLUMBING PLANS
A2 142	PREFABRICATED TROUGH SINK BY SOPHSTONE. MODEL SLANT (S) IN ASH (COLOR). PROVIDE PLUMBING COVER
A2 144	VENDING MACHINE
A2 155	ADA WALL SIGN. SEE G004 & G005
A2 163	TROUGH SINK. PROVIDE LEVEL JOINT WHERE SINKS ABUTT. PROVIDE CONTINUOUS CLEAR SEALANT.

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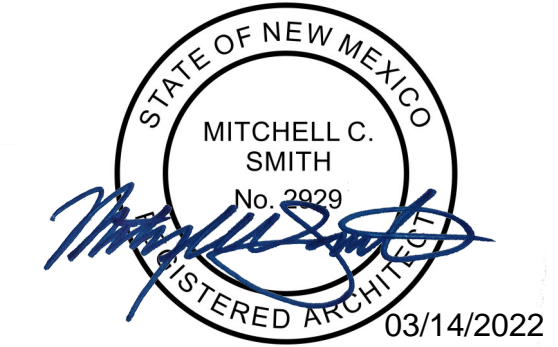
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MENS LOCKERS FLOOR PLAN

A424



Mitchell C. Smith, Architect  
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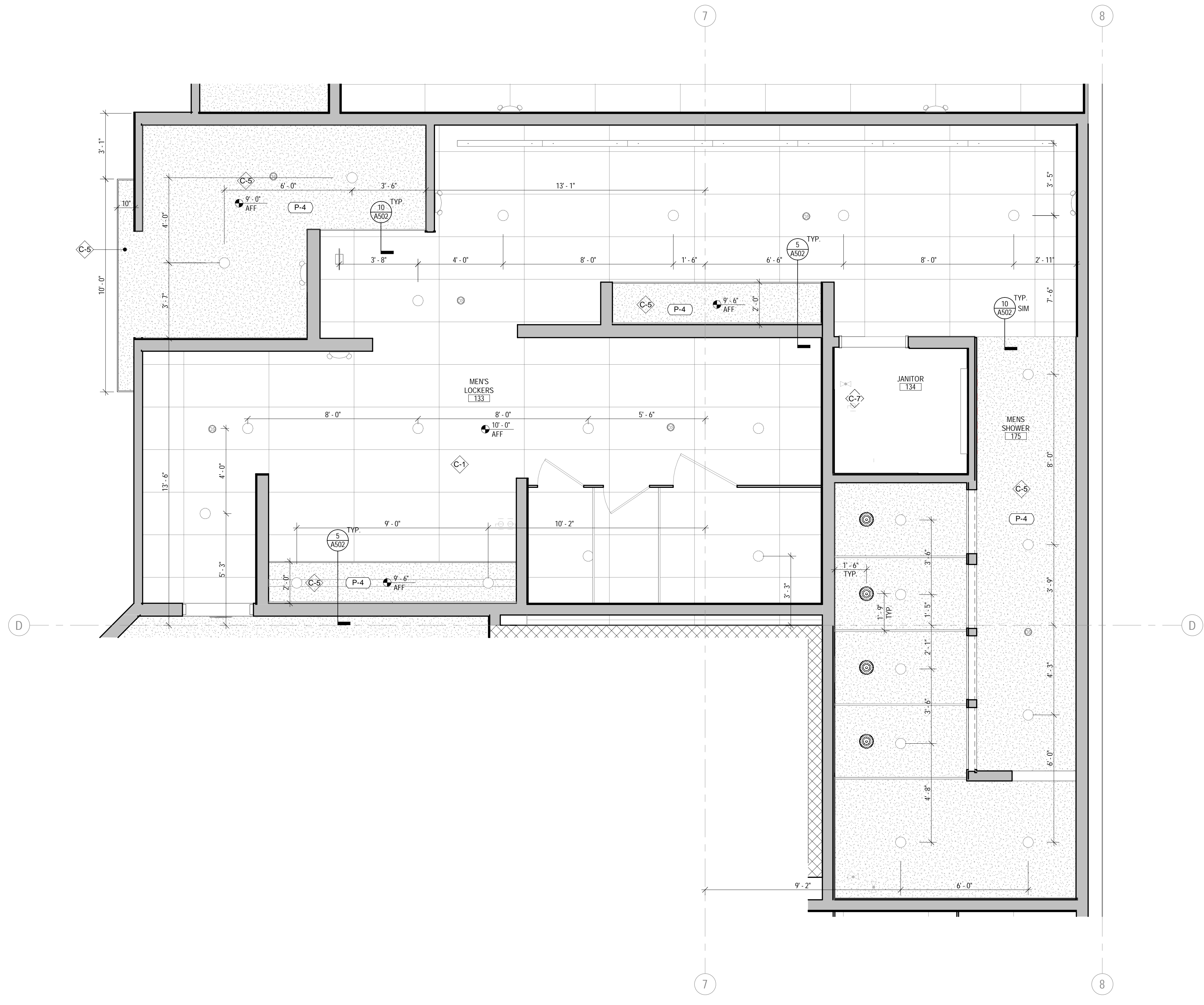
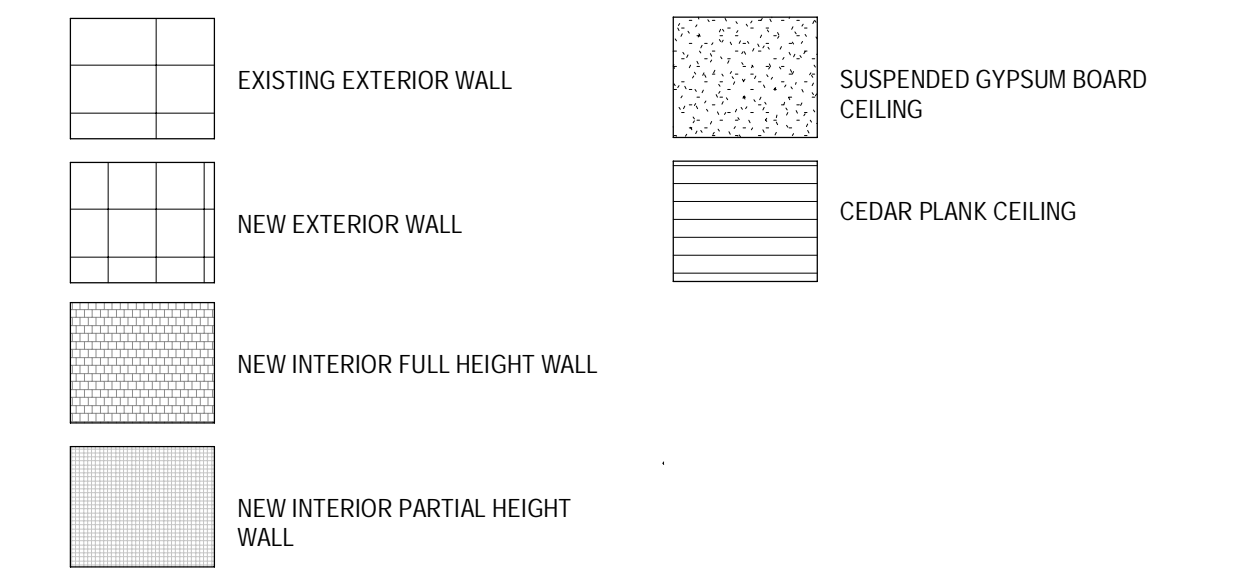
**REFLECTED CEILING PLAN GENERAL NOTES**

- REF: MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF: ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
- DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
- HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR U.L.O.
- PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
- SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4'-0" O.C. (MAX) AND CROSS TEES AS SHOWN ON PLANS (2'-0" MIN).
- ISOLATE CEILING GRIDS FROM PERIMETER WALLS. FASTEN PERIMETER EDGE ANGLE TO CEILING GRID, FREE FROM WALL ASSEMBLY. PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
- CEILING GRID SUSPENSION SUPPORT SHALL BE #12 GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4'-0" O.C. MAX.
- LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) 1/8" BLIND RIVET AT EACH CORNER. EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
- SUSPENDED ACOUSTICAL CEILING SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636. SUPPLY AND RETURN DIFFUSERS IN SUSPENDED CEILING SHALL HAVE STRAPS AT OPPOSITE SIDES. STRAPS TO MATCH SUPPLY/RETURN COLOR.
- CENTER CEILING GRID IN SPACE AS SHOWN, UNLESS SHOWN OTHERWISE.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TILES, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
- COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- ALL EXPOSED CEILING, MECHANICAL UNITS AND ELECTRICAL SYSTEMS TO BE PAINTED P-4. CYCLE EXPOSED CEILING TO BE P-16.
- ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
- EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
- PROVIDE SPRINKLER HEADS/ESCHEON PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS.
- SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E580, SEC. 2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TRIM RING.
- PROVIDE SPRINKLERS UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF: PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (S 504.5.3)

**REFLECTED CEILING PLAN SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2'x4' PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'x2' PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN 15/16"	ARMSTRONG	KITCHEN ZONE 672	2'x4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES. REF: REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA: PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING. P-16 POOL AREA: P-4. EPOXY 2-PART SYSTEM PAINT. REF: SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

**WALL TYPES LEGEND**



**1 MENS LOCKERS REFLECTED CEILING PLAN**  
SCALE: 3/8" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE. SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

MENS LOCKERS REFLECTED CEILING PLAN

**A424.A**







Mitchell C. Smith, Architect  
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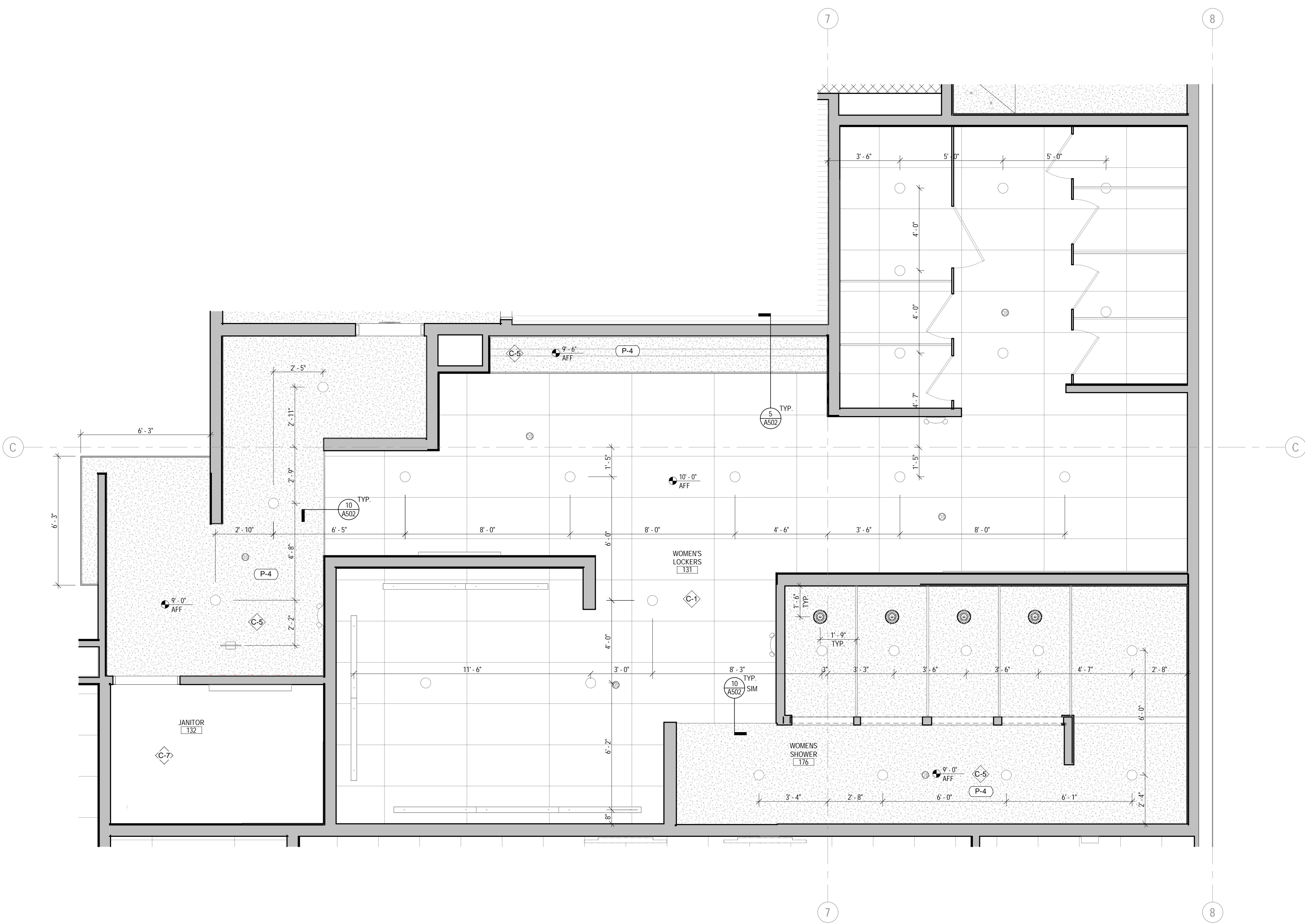
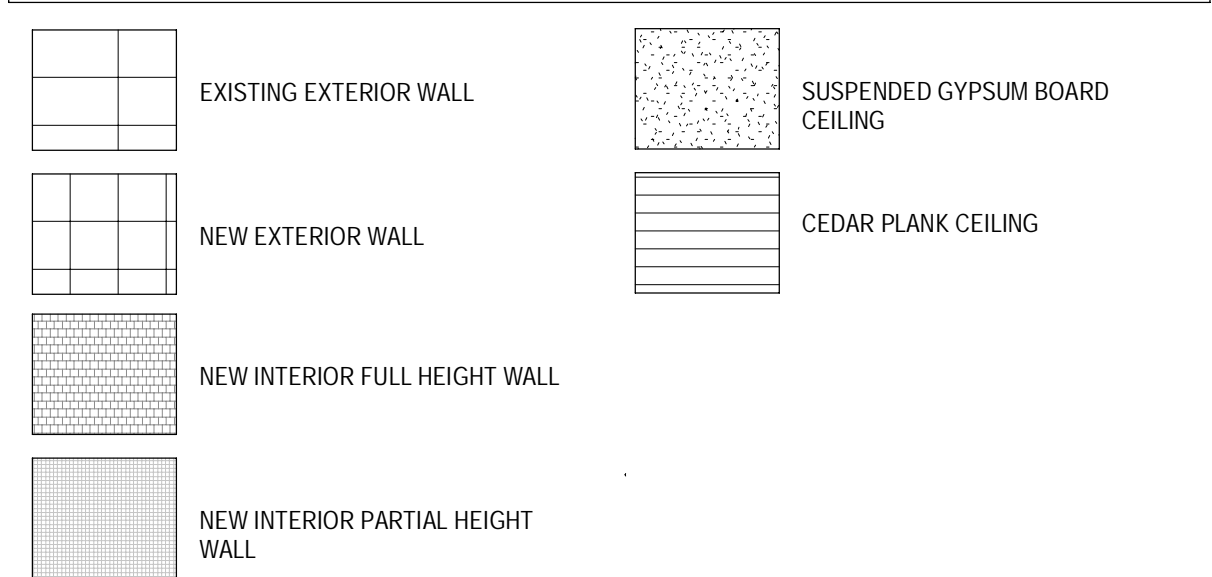
REFLECTED CEILING PLAN GENERAL NOTES

- REF. MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF. ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
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- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TILES, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
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- PROVIDE SPRINKLER HEADS/ESCHECHION PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS.
- SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E880, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TIE RODS.
- PROVIDE SPRINKLERS UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF. PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
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REFLECTED CEILING PLAN SCHEDULE

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C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'x2' PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN 16/16"	ARMSTRONG	KITCHEN ZONE 672	2'x4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES, REF. REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA: PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING: P-16. POOL AREA: P-4. EPOXY 2-PART SYSTEM PAINT. REF. SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF. MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF. MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

WALL TYPES LEGEND



1 WOMENS LOCKERS REFLECTED CEILING PLAN  
SCALE: 3/8" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

WOMENS LOCKERS REFLECTED CEILING PLAN

A425.A

### INTERIOR ELEVATION GENERAL NOTES

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'. COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A601 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENNISHELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

### FINISH LEGEND

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

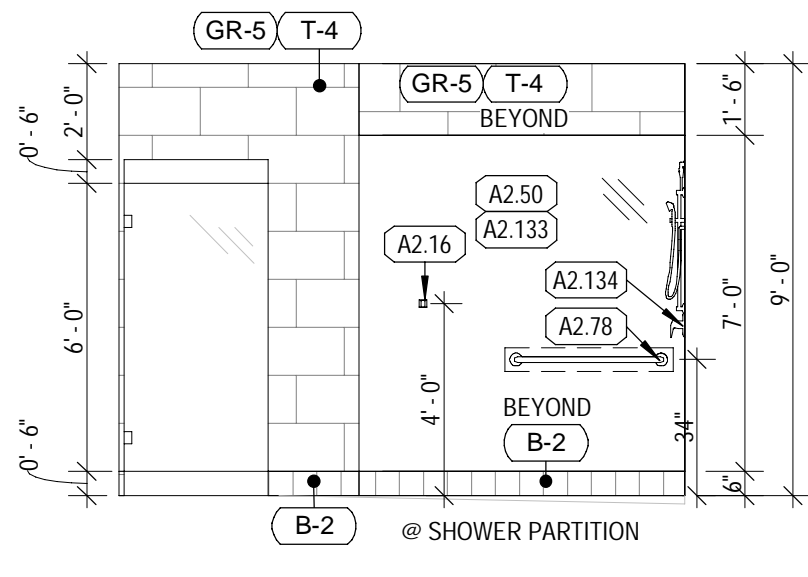
### FINISH SYMBOL LEGEND

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

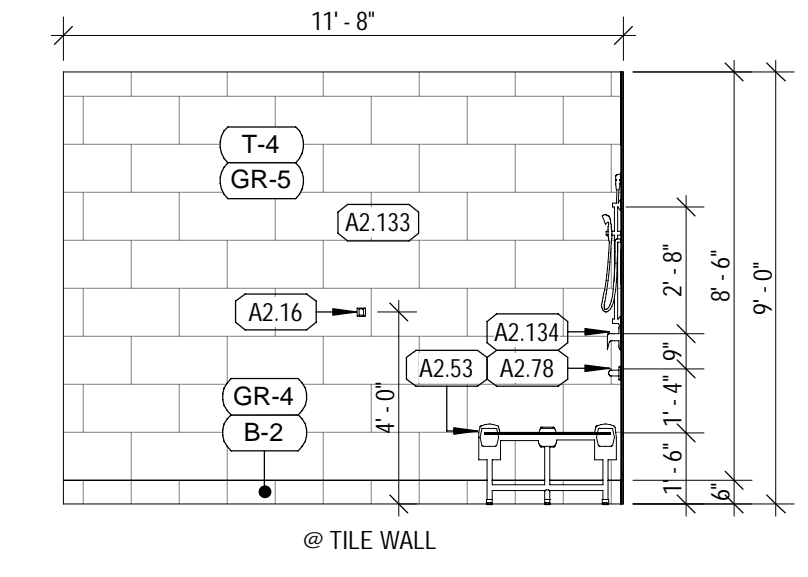
[Symbol]	CONCRETE	[Symbol]	2' X 2' TILE	[Symbol]	12' X 24' TILE	[Symbol]	ARTIFICIAL TURF
[Symbol]	RUBBER	[Symbol]	3' X 3' TILE	[Symbol]	WALL COVERING	[Symbol]	CARPET TILE
[Symbol]	VINYL SHEET ROLL	[Symbol]	4' X 4' TILE	[Symbol]	WOOD FINISH	[Symbol]	FRP
[Symbol]	LUXURY VINYL TILE	[Symbol]	4' X 12' TILE	[Symbol]	WOOD PANELING	[Symbol]	SLAT WALL
[Symbol]	4' X 16' TILE	[Symbol]	4' X 16' TILE	[Symbol]	RESILIENT SHEET	[Symbol]	PLYWOOD

### KEYNOTES

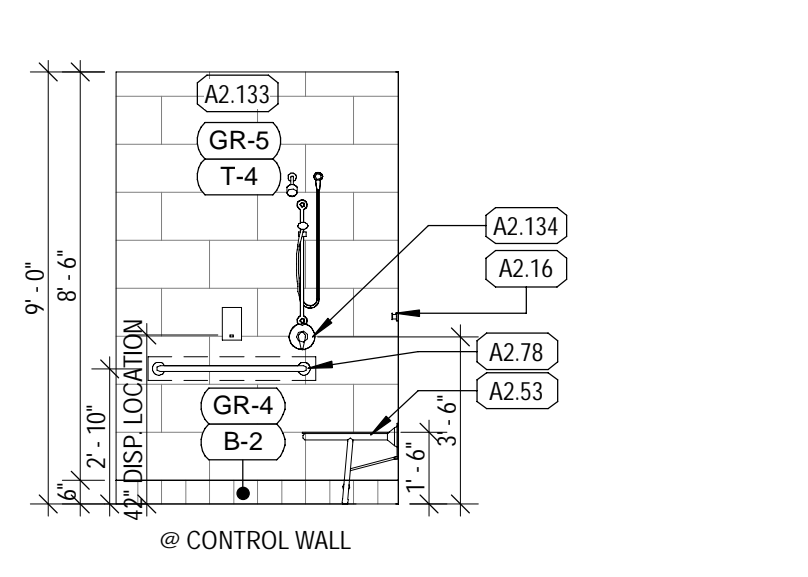
TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2 08		SIGNAGE, WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT
A2 16		HOOK, BOBRIK B-76717 SATIN FINISH STAINLESS STEEL. INSTALL TWO HOOKS IN EACH SHOWER STALL (TYP)
A2 45		BUILT IN BENCH TO MEET ALL ADA REQUIREMENTS FOR SEATING AND HEIGHT
A2 50		SHOWER PARTITION OR METAL STUD WALL. RE: PLAN FOR LOCATIONS
A2 51		SHOWER CURTAIN LINER, ROD, AND HOOKS
A2 52		SHELF, TYPICAL IN ALL SHOWER STALLS. PROVIDE BLOCKING AT PARTITION WALLS
A2 53		FOLDING SHOWER SEAT (ADA). REF: SPECS
A2 54		LOCKERS, G.C. TO VERIFY EXACT LOCATION AND QUANTITY WITH CHUZE. DAY LOCKERS: 2-TIER & 4-TIER, 12'X18'X48"; LOCKER ROOMS: 2-TIER & 3-TIER, 12'X18'X72"; POOL LOCKERS: 5-TIER, 12'X12'X60"; STAFF LOUNGE: 2-TIER & 3-TIER, 12'X18'X72"
A2 55		FRAMED ARTWORK
A2 57		HAIR DRYER
A2 58		TOILET PARTITION OR METAL STUD WALL. REF: PLAN.
A2 61		TOILET, STANDARD HEIGHT. REF: PLUMBING PLANS
A2 62		TOILET, ADA HEIGHT. REF: PLUMBING PLANS
A2 70		SANITARY WIPER/DISPOSAL UNIT. REF: SPECS
A2 71		TOILET TISSUE (ROLL) DISPENSER. REF: SPECS
A2 72		TOILET SEAT COVER DISPENSER. REF: SPECS
A2 74		SOAP DISPENSER-WALL MOUNTED
A2 78		GRAB BAR 36" BOBRIK B-586, 99 x 36
A2 79		GRAB BAR 42" BOBRIK B-586, 99 x 42
A2 132		FRAMELESS MIRROR. REF: ELEVATIONS
A2 133		REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
A2 134		SHOWER VALVE LOCATION. REF: PLUMBING PLANS
A2 142		PREF FABRICATED TROUGH SINK BY SOPHSTONE. MODEL SLANT (ST) IN ASH (COLOR). PROVIDE PLUMBING COVER
A2 144		VENDING MACHINE
A2 155		ADA WALL SIGN. SEE G004, & G005
A2 163		TROUGH SINK. PROVIDE LEVEL JOINT WHERE SINKS ABUTT. PROVIDE CONTINUOUS CLEAR SEALANT.
A3 11		CEILING MOUNTED SHOWER HEAD LOCATION. REF: PLUMBING PLANS



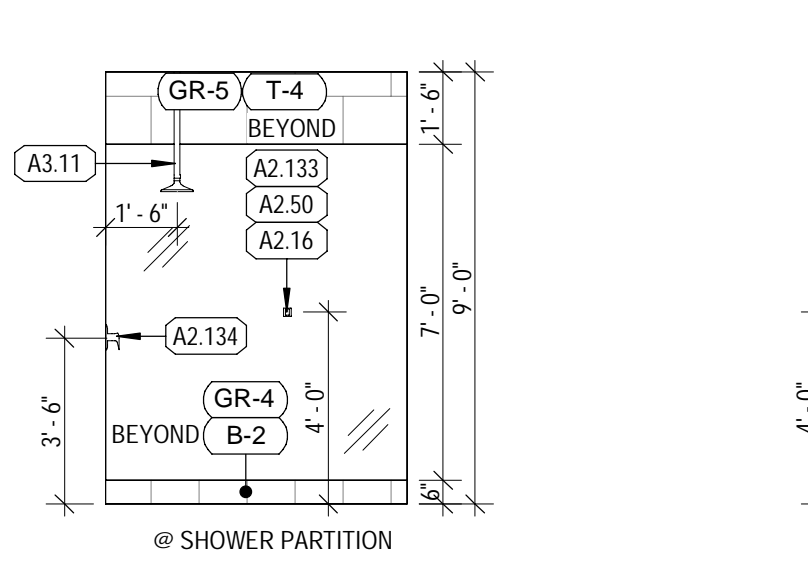
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SCALE: 1/4" = 1'-0"



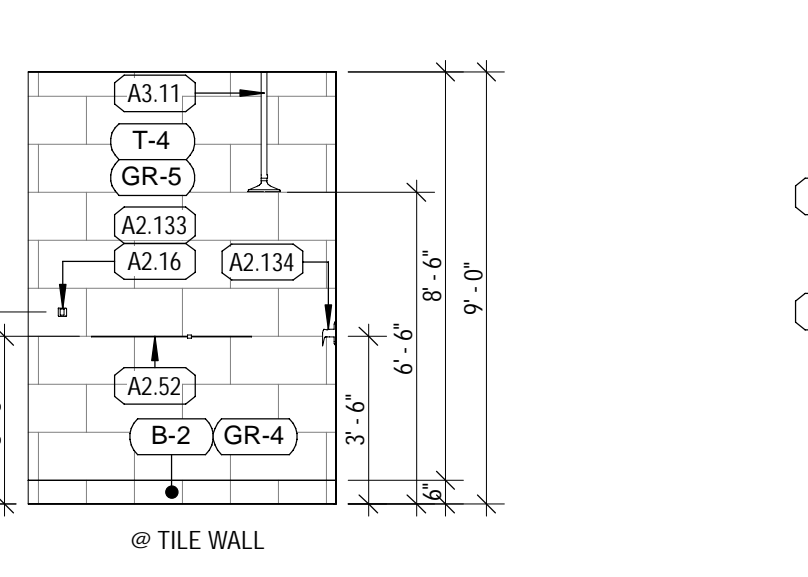
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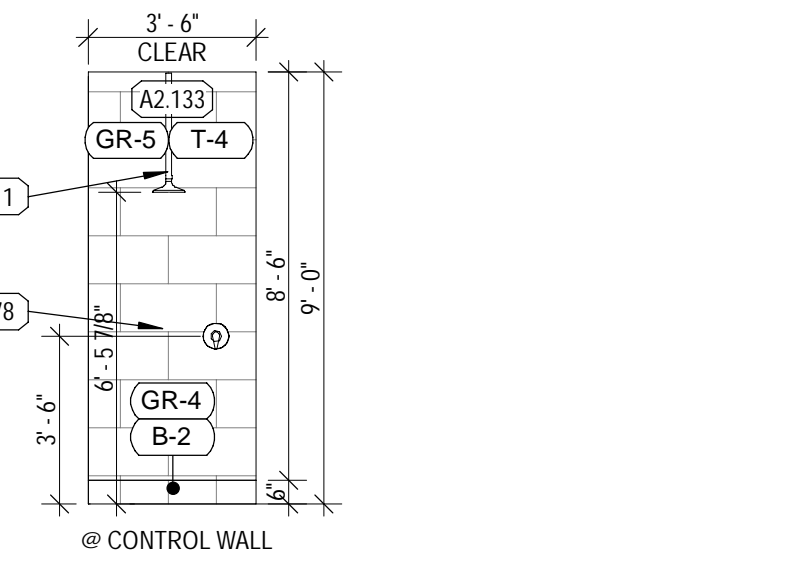
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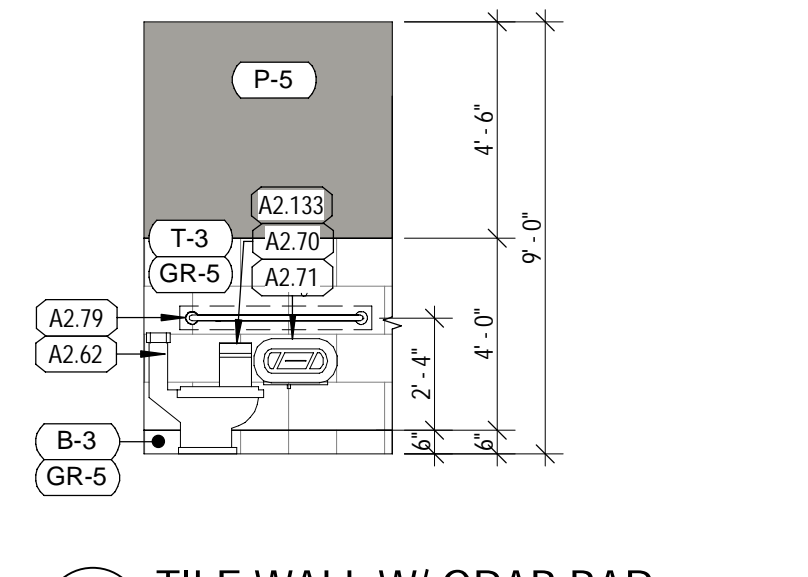
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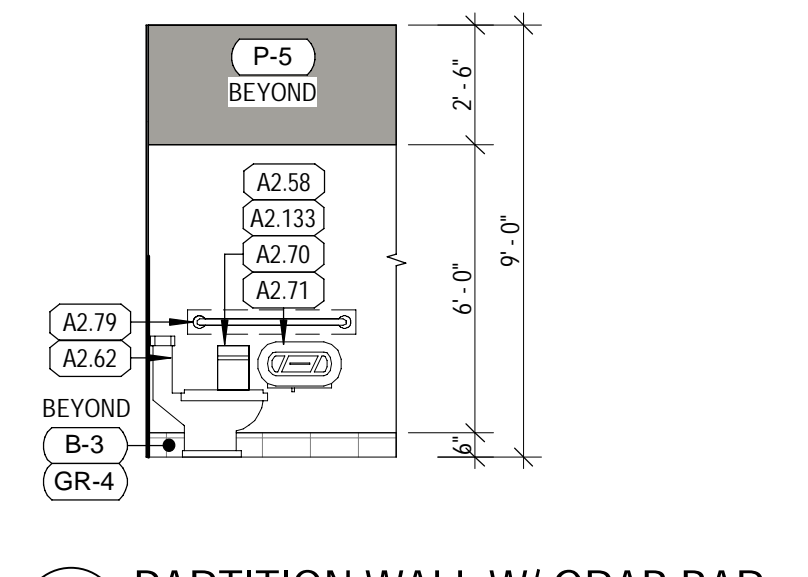
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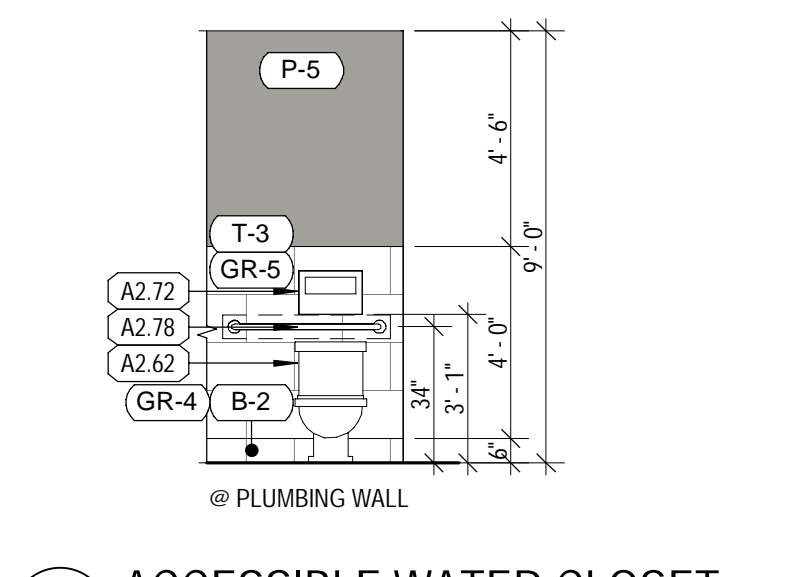
21 TYPICAL SHOWER  
SCALE: 1/4" = 1'-0"



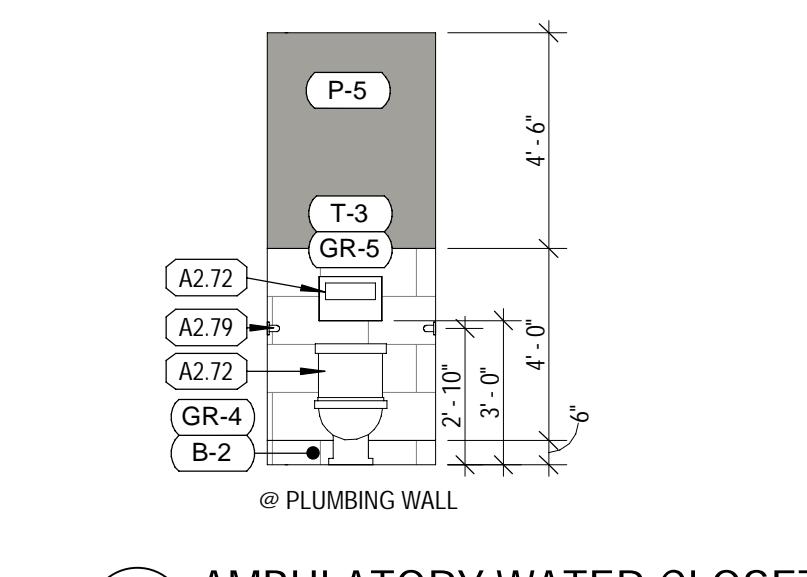
20 TILE WALL W/ GRAB BAR  
SCALE: 1/4" = 1'-0"



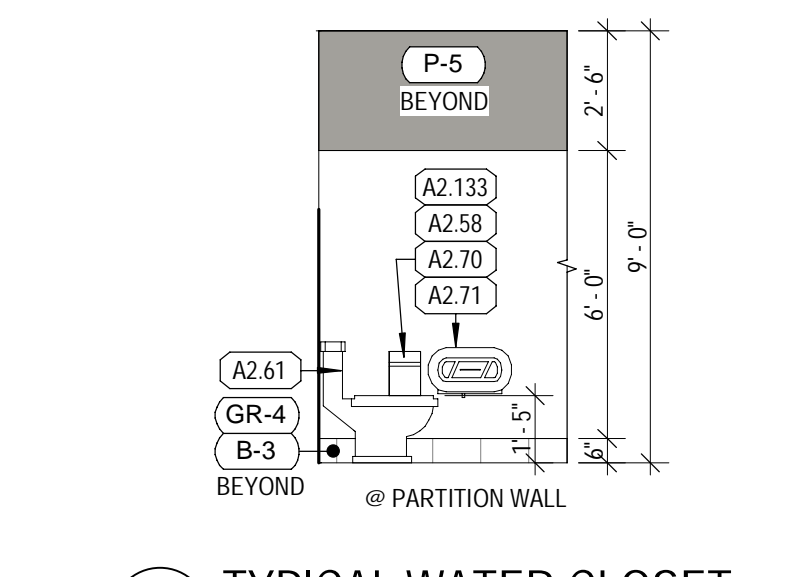
19 PARTITION WALL W/ GRAB BAR  
SCALE: 1/4" = 1'-0"



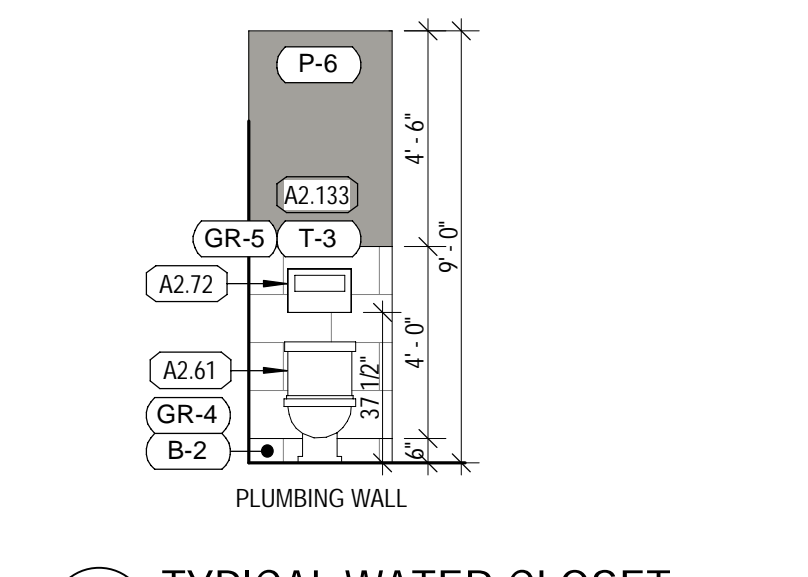
18 ACCESSIBLE WATER CLOSET  
SCALE: 1/4" = 1'-0"



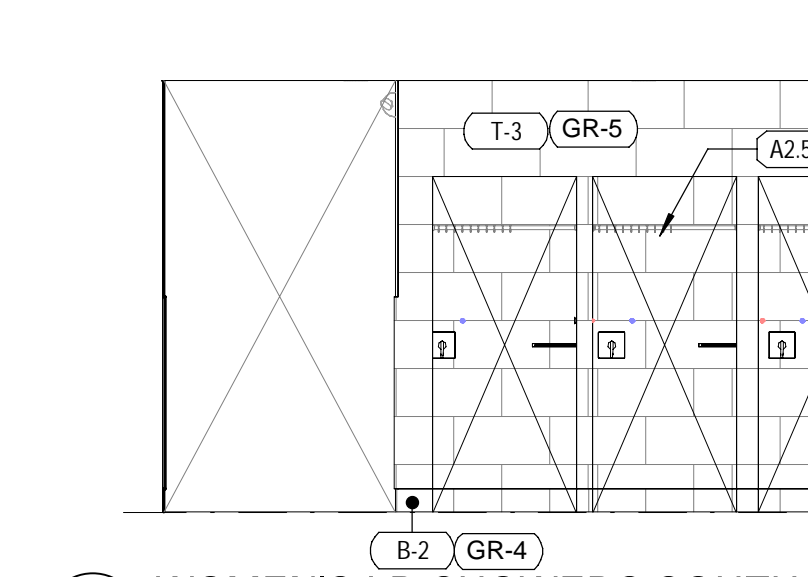
17 AMBULATORY WATER CLOSET  
SCALE: 1/4" = 1'-0"



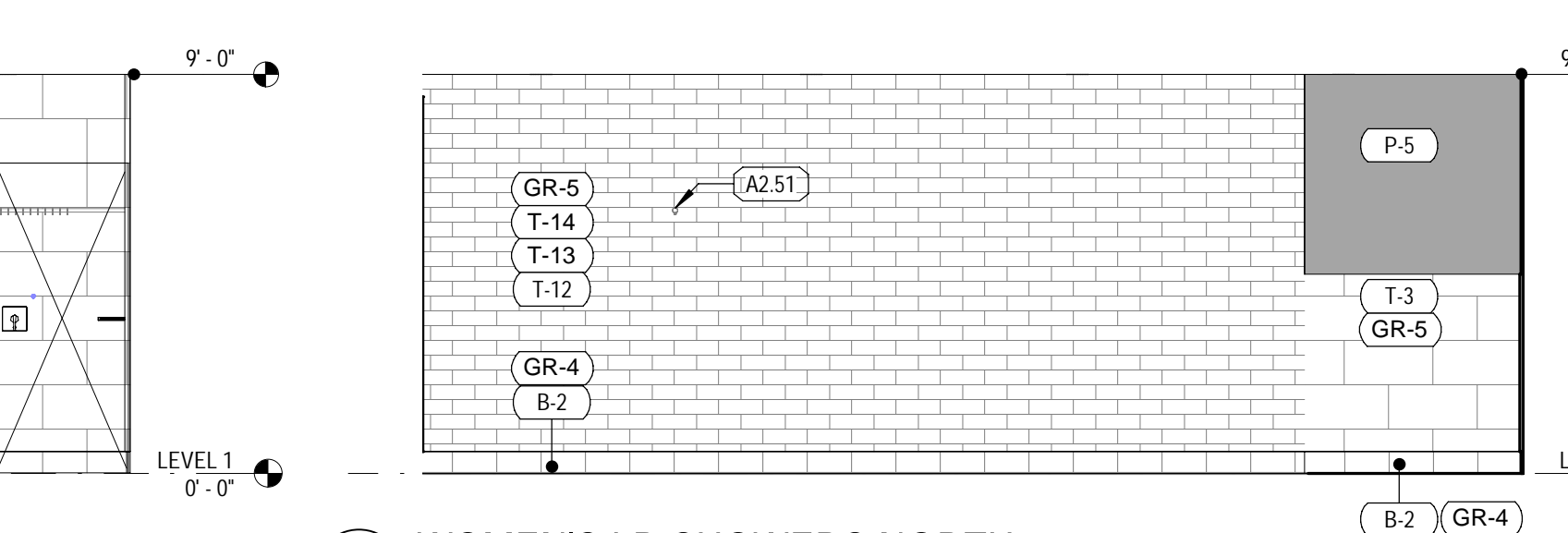
16 TYPICAL WATER CLOSET  
SCALE: 1/4" = 1'-0"



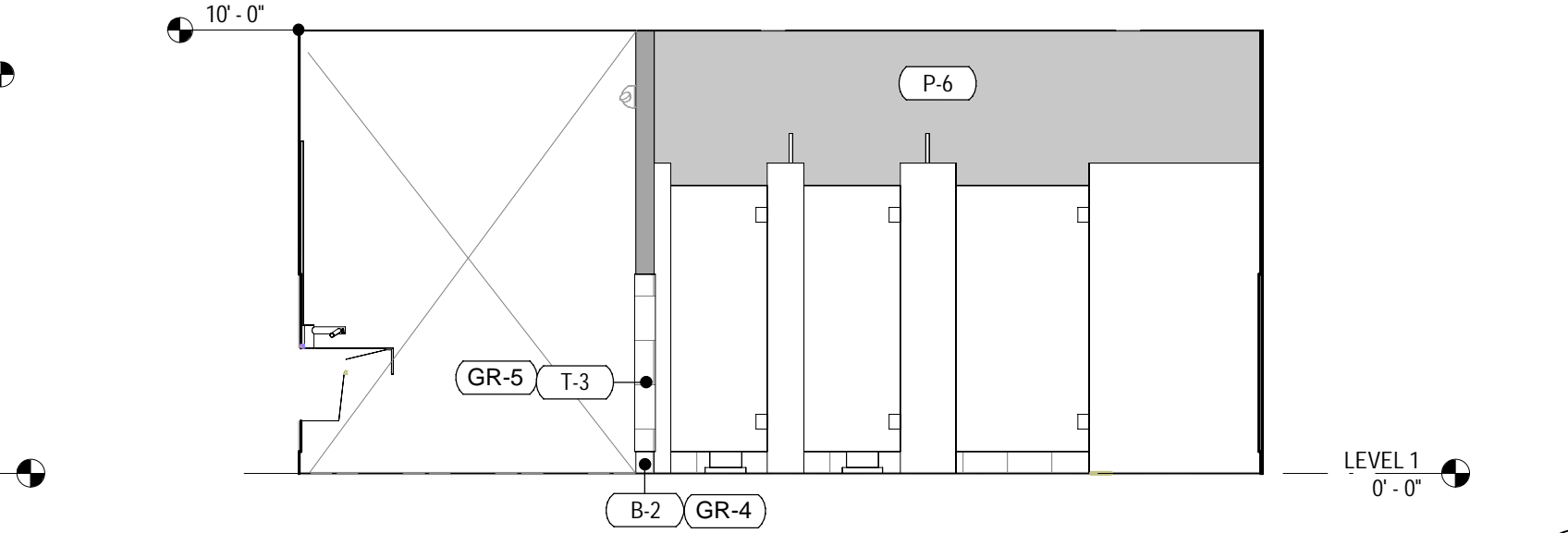
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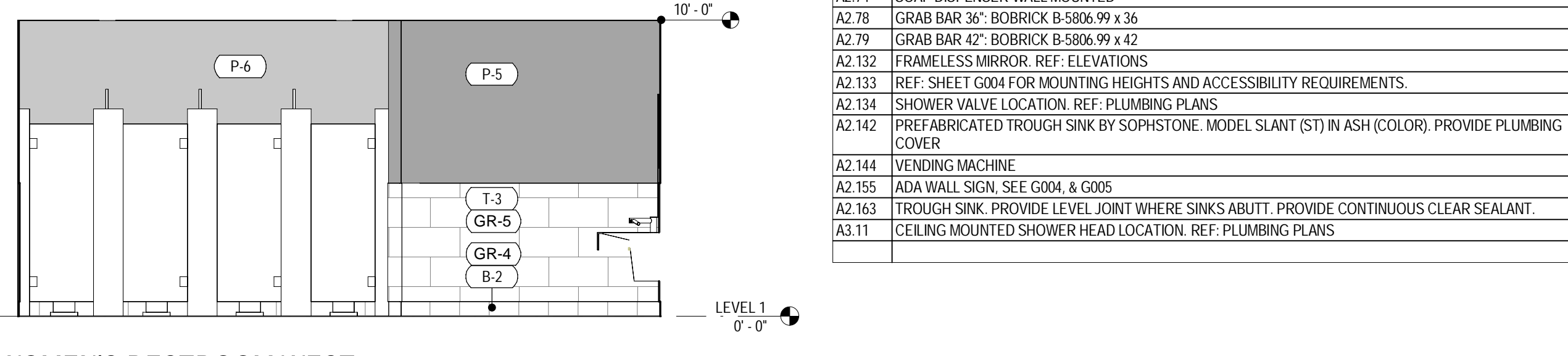
14 WOMEN'S LR SHOWERS SOUTH  
SCALE: 1/4" = 1'-0"



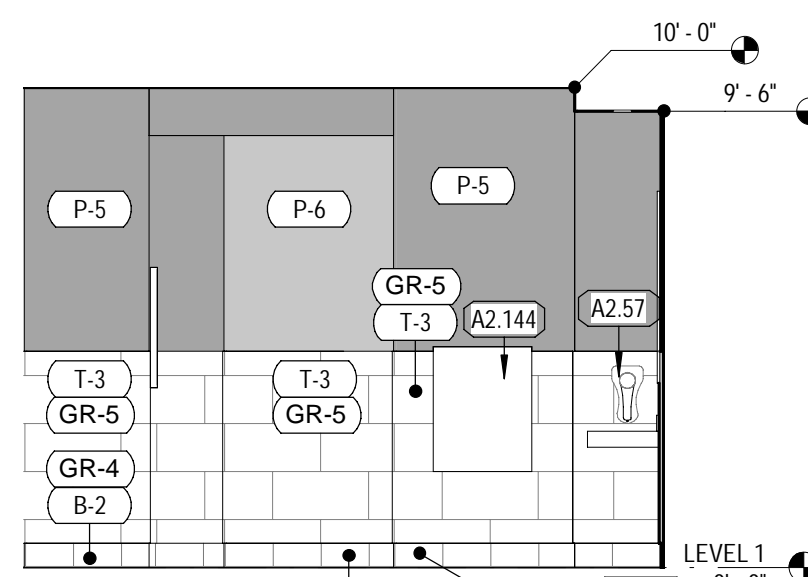
13 WOMEN'S LR SHOWERS NORTH  
SCALE: 1/4" = 1'-0"



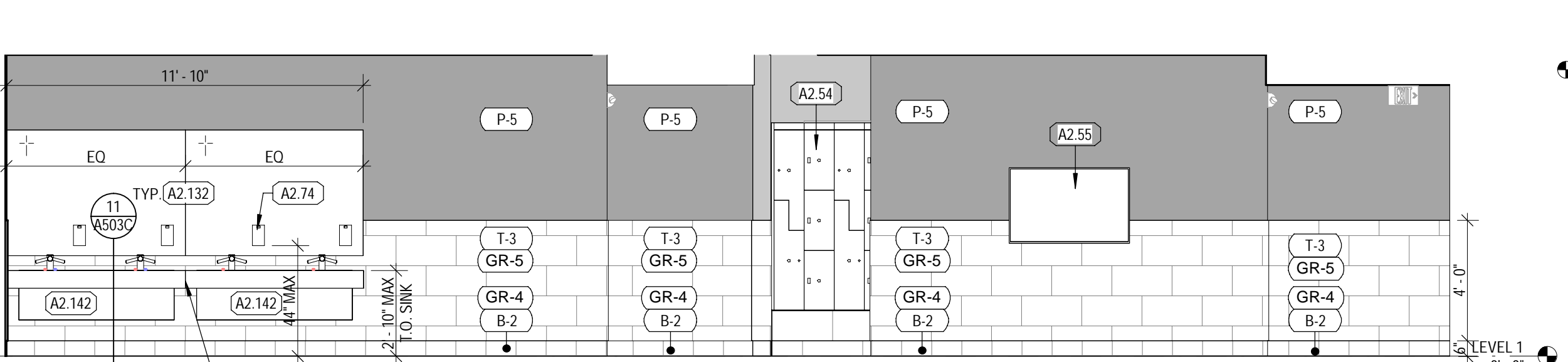
12 WOMEN'S RESTROOM EAST  
SCALE: 1/4" = 1'-0"



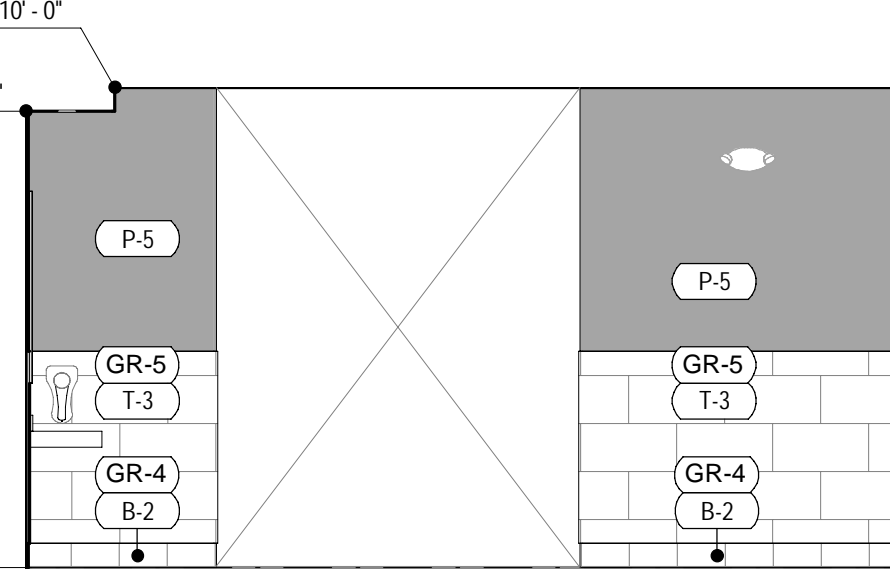
11 WOMEN'S RESTROOM WEST  
SCALE: 1/4" = 1'-0"



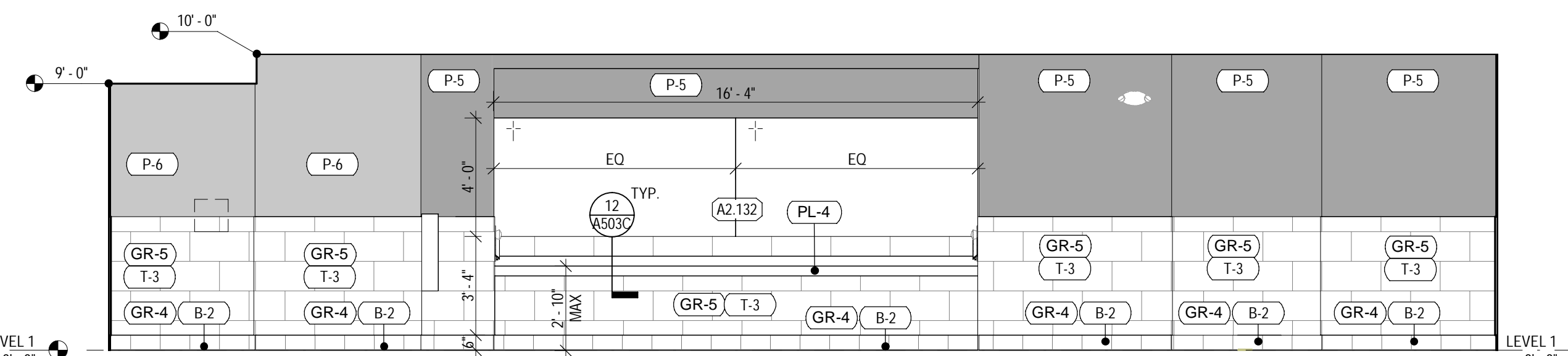
10 WOMEN'S LOCKER 2 EAST  
SCALE: 1/4" = 1'-0"



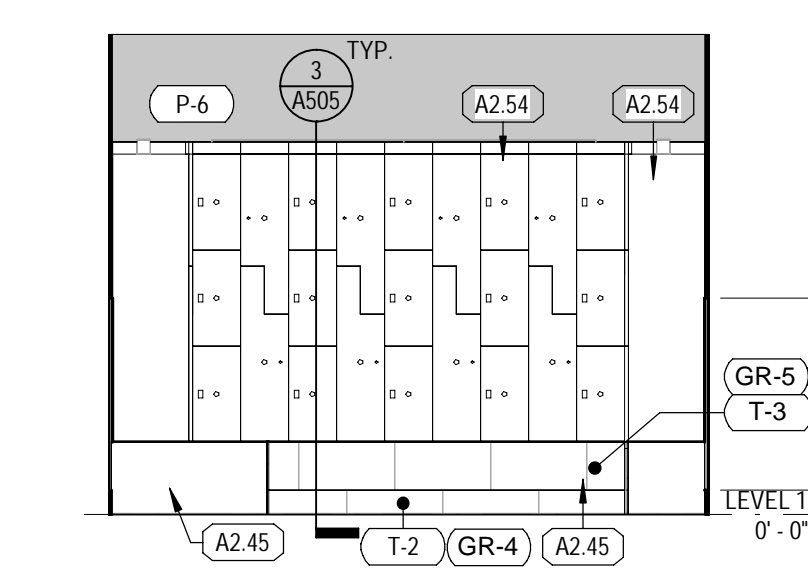
9 WOMEN'S LOCKER 2 NORTH  
SCALE: 1/4" = 1'-0"



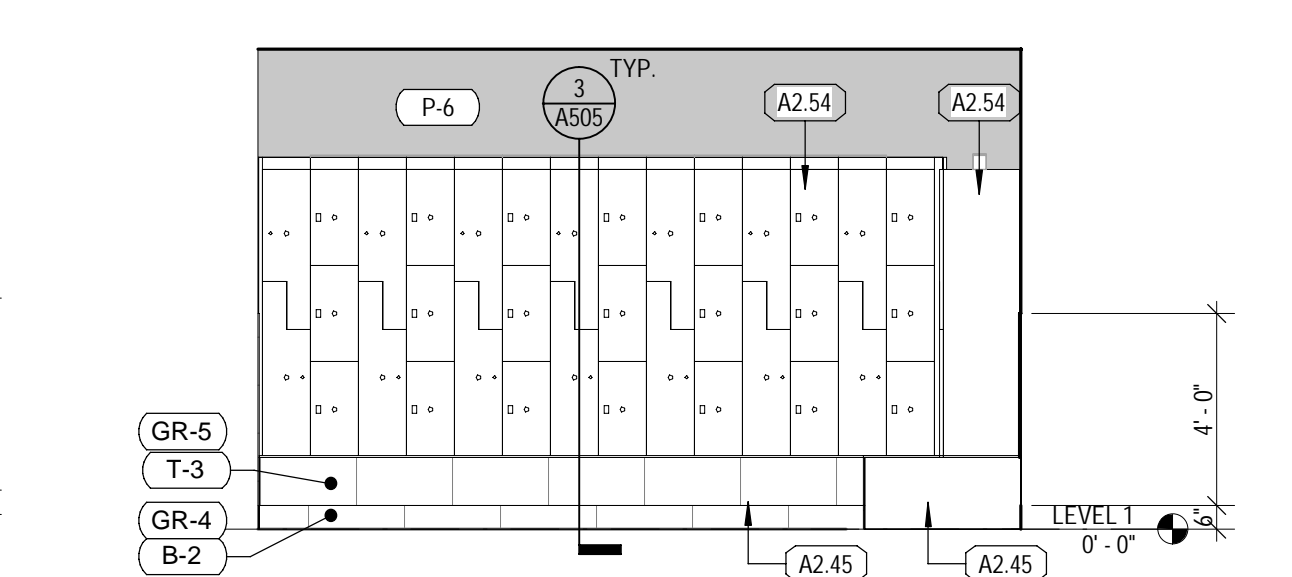
8 WOMEN'S LOCKER 2 WEST  
SCALE: 1/4" = 1'-0"



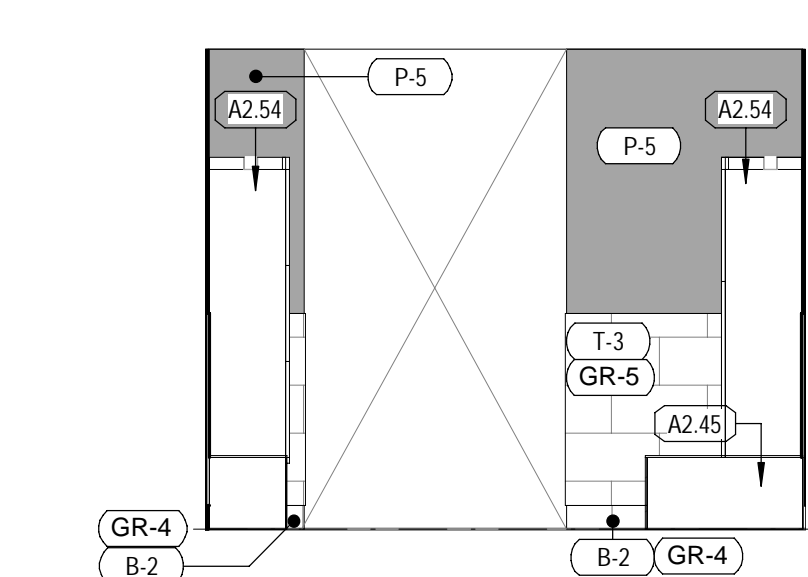
7 WOMEN'S LOCKER 2 SOUTH  
SCALE: 1/4" = 1'-0"



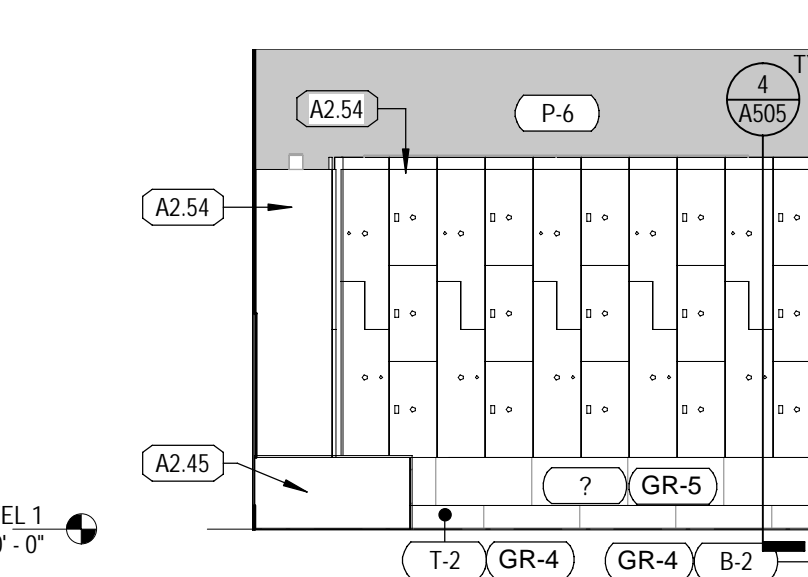
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SCALE: 1/4" = 1'-0"



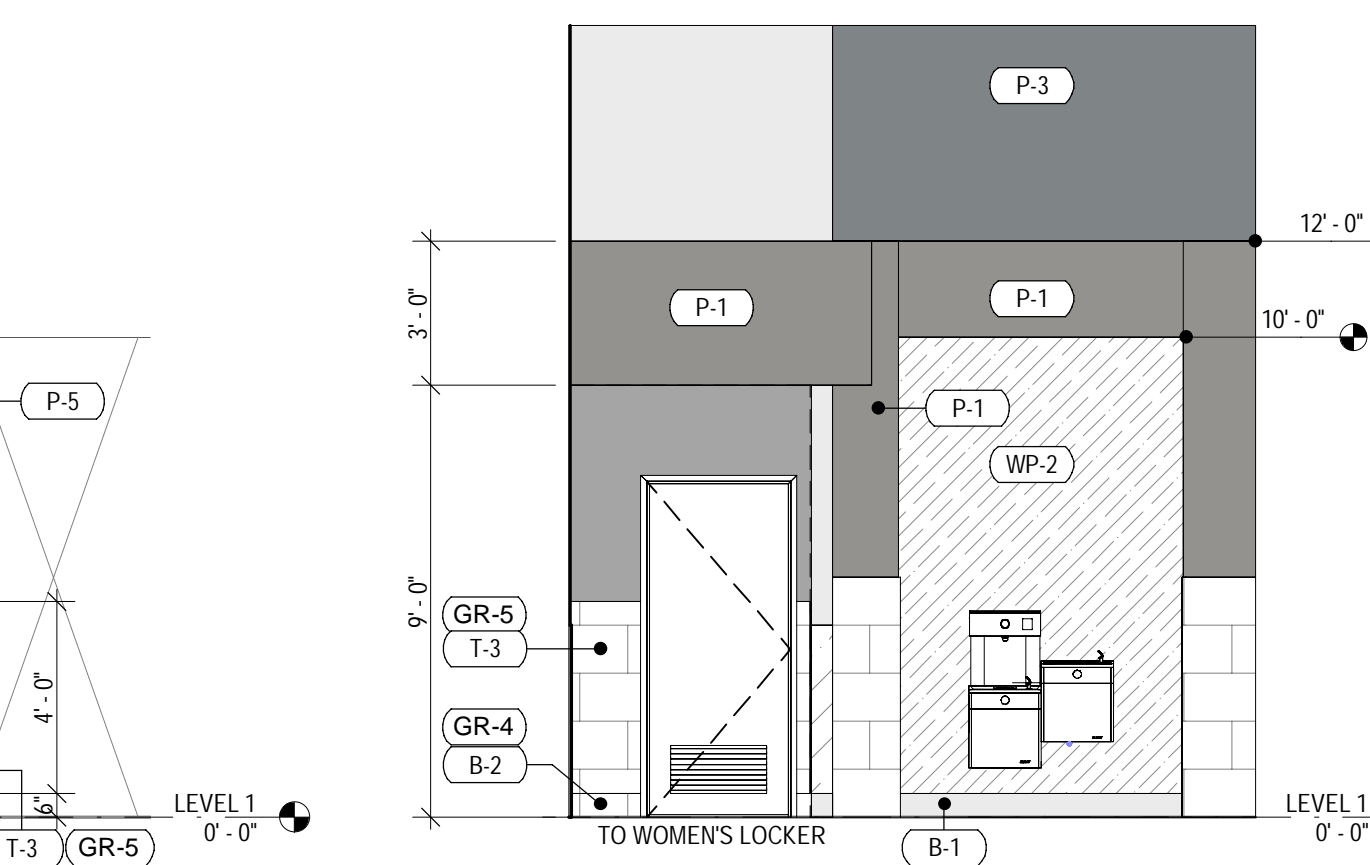
5 WOMEN'S LOCKER NORTH  
SCALE: 1/4" = 1'-0"



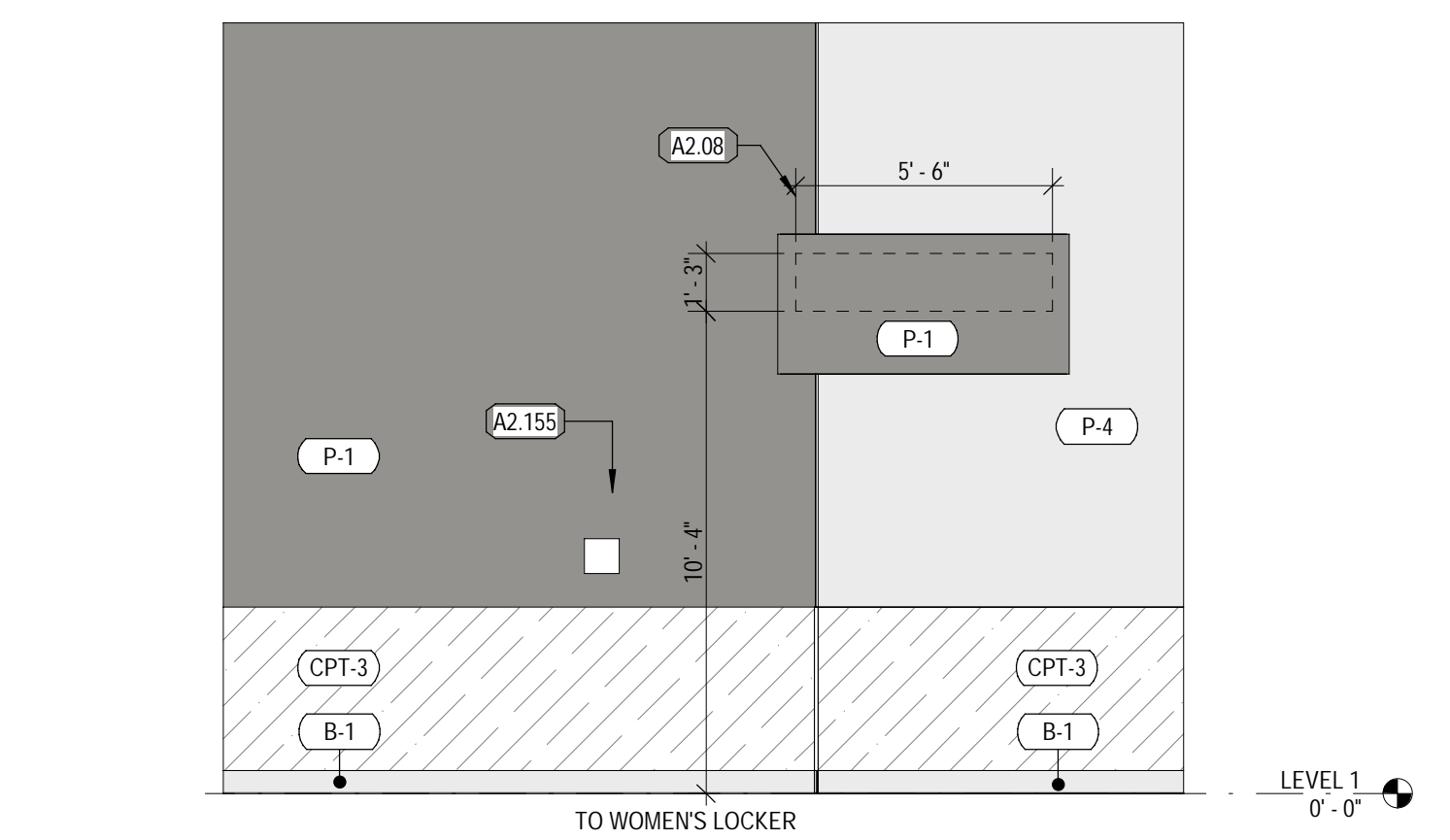
4 WOMEN'S LOCKER WEST  
SCALE: 1/4" = 1'-0"



3 WOMEN'S LOCKER SOUTH  
SCALE: 1/4" = 1'-0"



2 WOMEN'S LOCKER ROOM ENTRANCE  
SCALE: 1/4" = 1'-0"



1 WOMEN'S LOCKER ROOM ENTRANCE - SIDE VIEW  
SCALE: 1/4" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

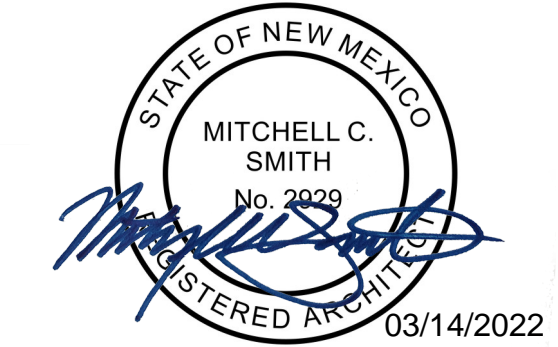
6600 CENTRAL AVE. SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

WOMEN'S LOCKERS ELEVATIONS

A425.B



Mitchell C. Smith, Architect  
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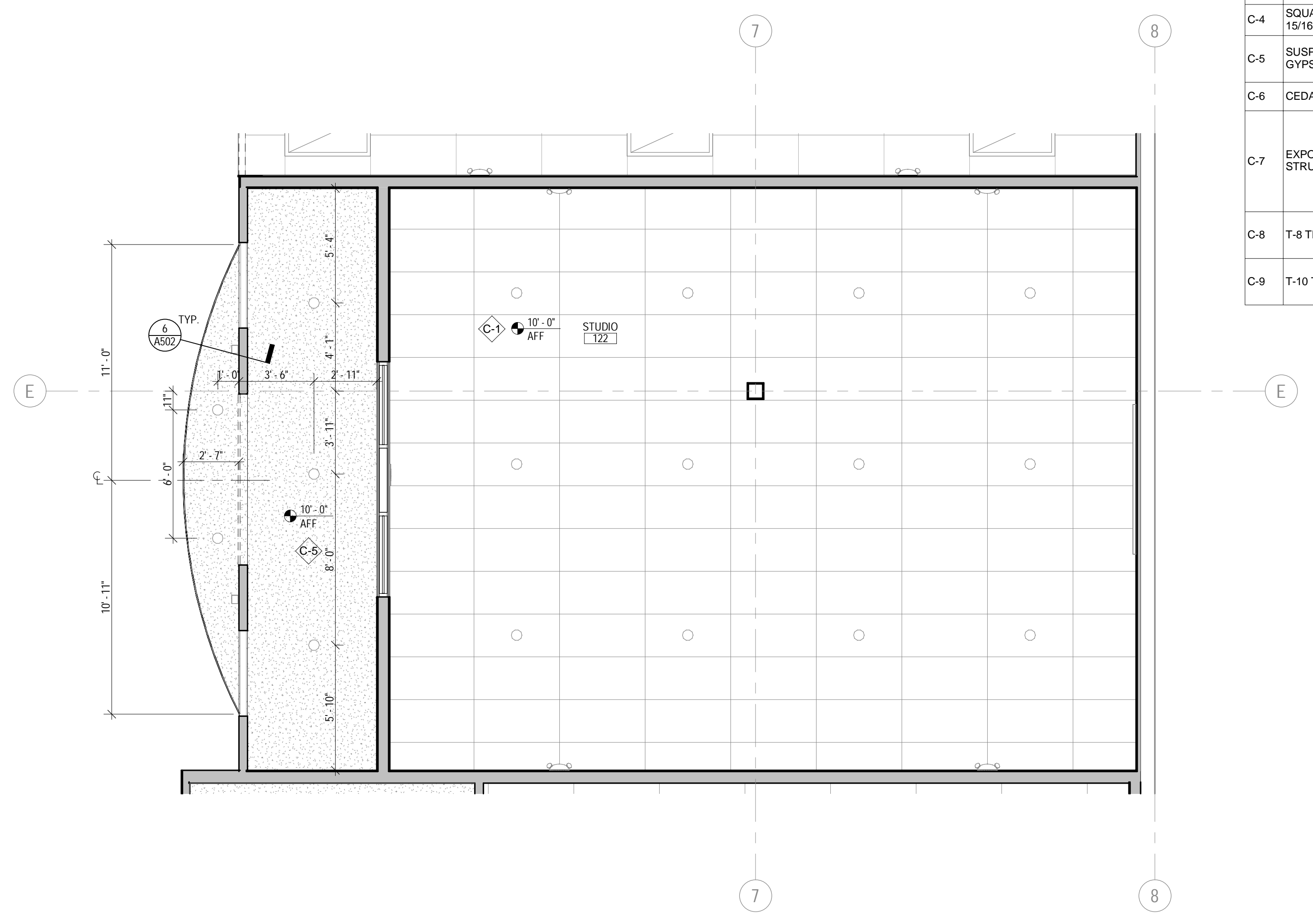
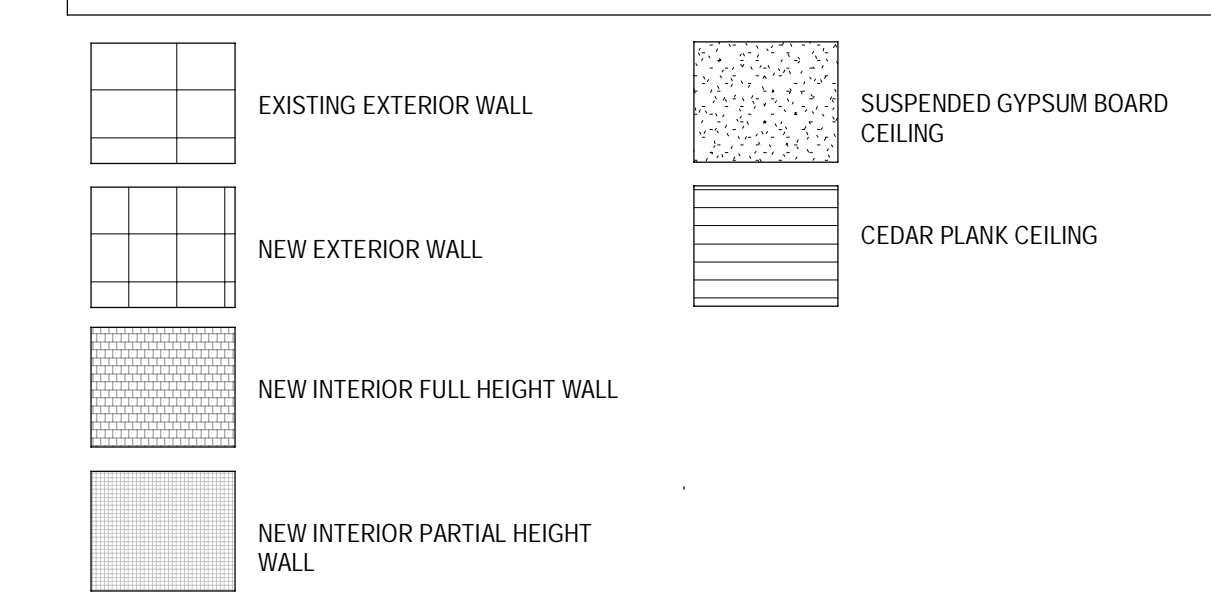
### FLOOR PLAN GENERAL NOTES

- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- ALL DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL. FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
- VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x4 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 4" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE BACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
- INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CML.
- PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
- REF. SHEET A301 FOR WALL DETAILS AND TYPE DESIGNATIONS.
- PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
- FIRE STOPPING MATERIAL FOR NON-FIBROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR & WINDOWS ARE TAGGED ON SHEET A101. REF. SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS. REF: SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED VENDOR TO COMPLETE TESTING. REF. REQUIRED VENDOR SCHEDULE.
- REF. TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING. TYP.
- REFER TO RESPONSIBILITY SCHEDULE ON SHEET G003 FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

### REFLECTED CEILING PLAN SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2X4 PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2X2 PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN 15/16"	ARMSTRONG	KITCHEN ZONE 672	2X4 PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES. REF. REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA: PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING: P-16 POOL AREA: P-4. EPOXY 2-PART SYSTEM PAINT. REF. SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF. MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF. MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

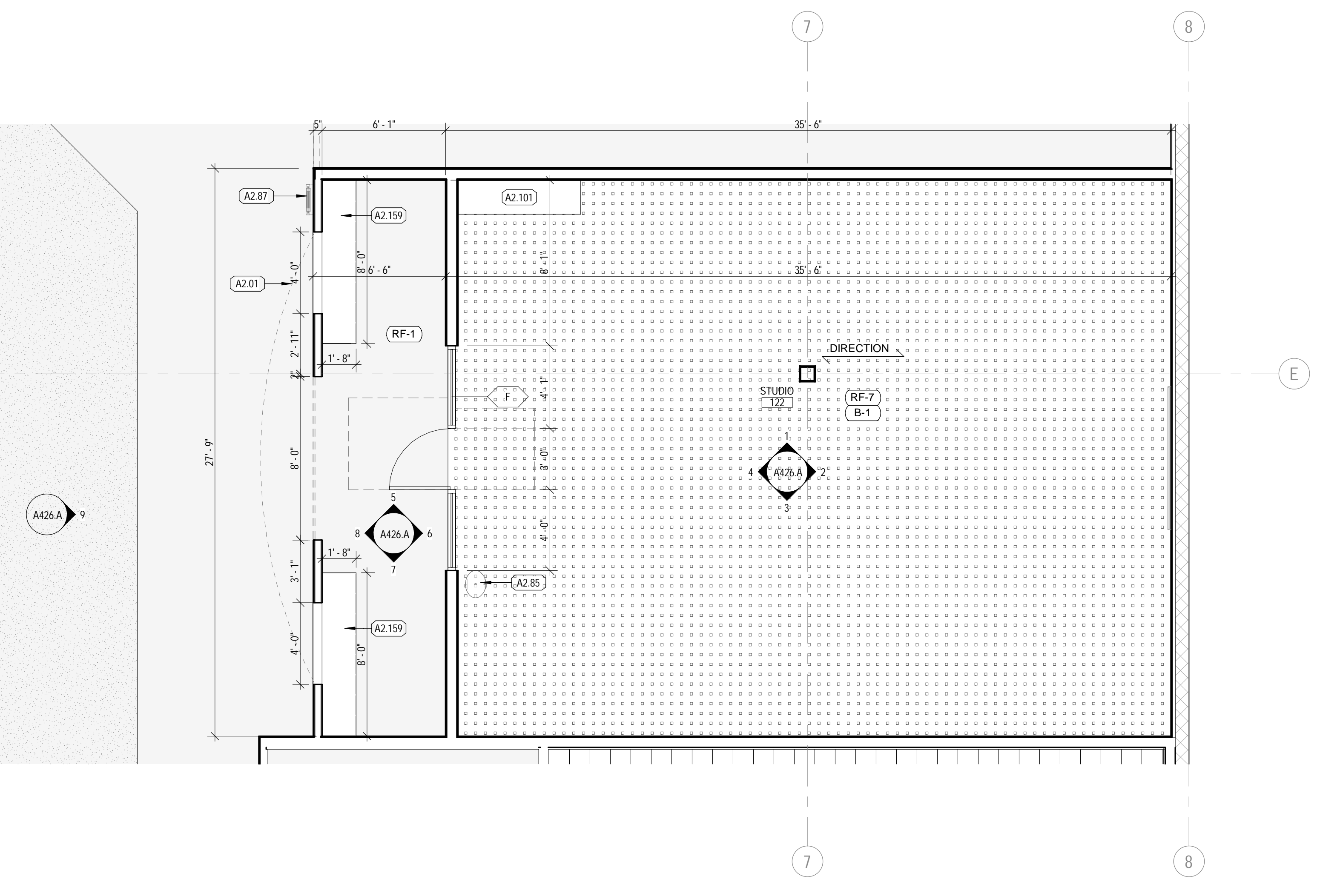
### WALL TYPES LEGEND



2 STUDIO REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

### REFLECTED CEILING PLAN GENERAL NOTES

- REF. MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF. ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
- DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
- HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR UNLILLO.
- PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
- SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4'-0" O.C. (MAX) AND CROSS TEES AS SHOWN ON PLANS (2'-0" MIN).
- ISOLATE CEILING GRIDS FROM PERIMETER WALLS. FASTEN PERIMETER EDGE ANGLE TO CEILING GRID. FREE FROM WALL ASSEMBLY. PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
- CEILING GRID SUSPENSION SUPPORT SHALL BE #12 GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4'-0" O.C. MAX.
- LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) #10 BLIND RIVET AT EACH CORNER. EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
- SUSPENDED ACOUSTICAL CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636 SUPPLY AND RETURN DIFFUSERS IN SUSPENDED CEILINGS SHALL HAVE STRAPS AT OPPOSITE SIDES. STRAPS TO MATCH SUPPLY/RETURN COLOR.
- CENTER CEILING GRID IN SPACE AS SHOWN, UNLESS SHOWN OTHERWISE.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
- COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- ALL EXPOSED CEILINGS, MECHANICAL UNITS AND ELECTRICAL SYSTEMS TO BE PAINTED P-4. CYCLE EXPOSED CEILING TO BE P-16.
- ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
- EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
- PROVIDE SPRINKLER HEADS/SCHEUCHON PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS. SPRINKLER HEADS AND TONS TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E580, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TIRM RING.
- PROVIDE SPRINKLERS UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF. PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (6.504.5.3)



1 STUDIO FLOOR PLAN  
SCALE: 1/4" = 1'-0"

### KEYNOTES

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2 01	DASHED LINE INDICATES SOFFIT AND/OR HEADER ABOVE. REF: REFLECTED CEILING PLAN
A2 85	SANITARY WIPE DISPENSERS
A2 87	17.5"W X 31.2"H KNOCK MOUNTED AT TOP AT 48" AFF AND BOTTOM AT 17" AFF. PROVIDE 2"x12" BACKING. REF: ELECTRICAL PLANS
A2 101	STORAGE CABINET
A2 159	STORAGE CUBBY BENCH SEE ELEVATIONS

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE., SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No: 21603901A  
Drawn By: LPW  
Checked By: GAR

STUDIO FLOOR PLAN &  
REFLECTED CEILING PLAN

A426



**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
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- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'. COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENSIFIED TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**FINISH LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

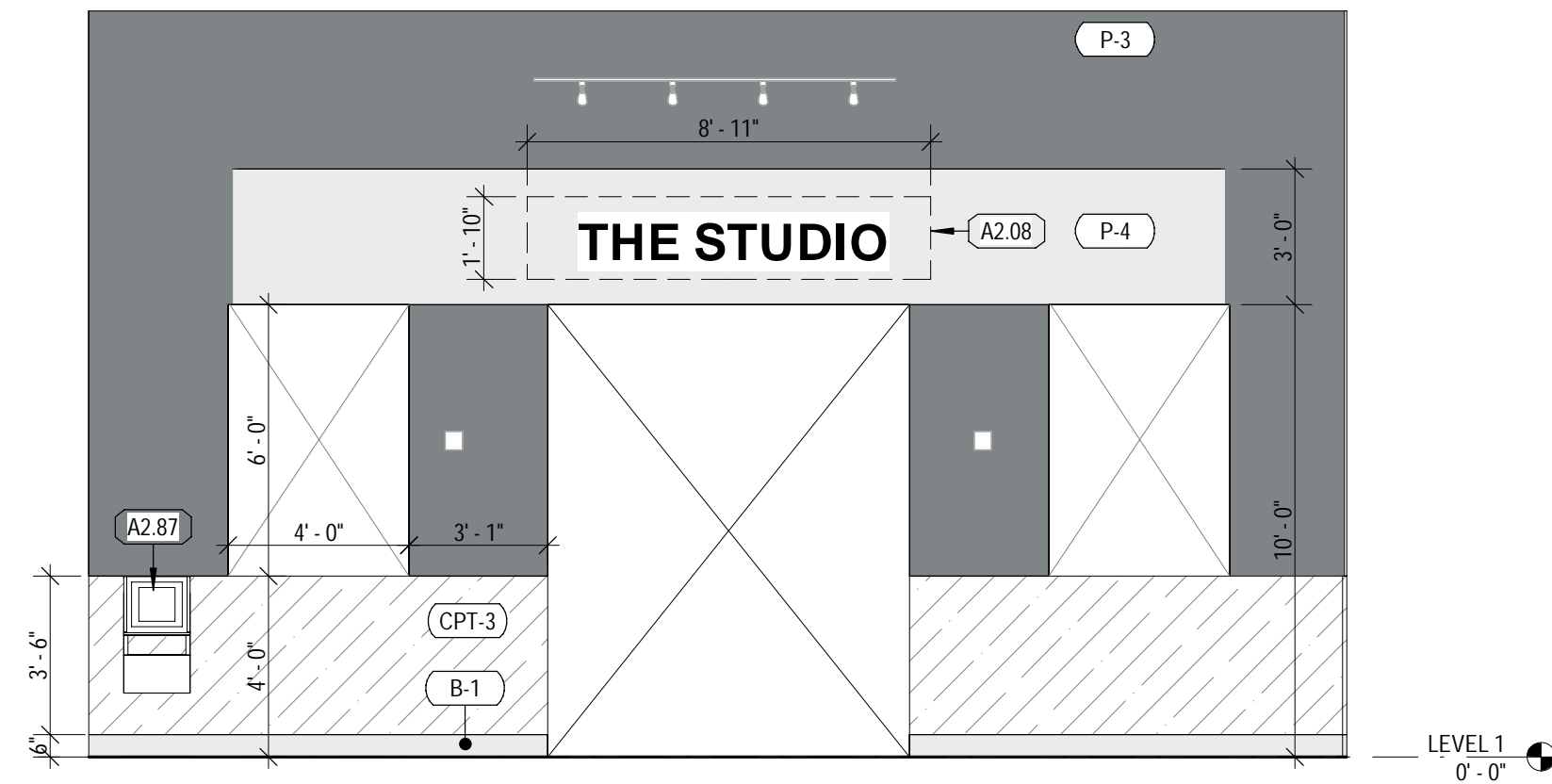
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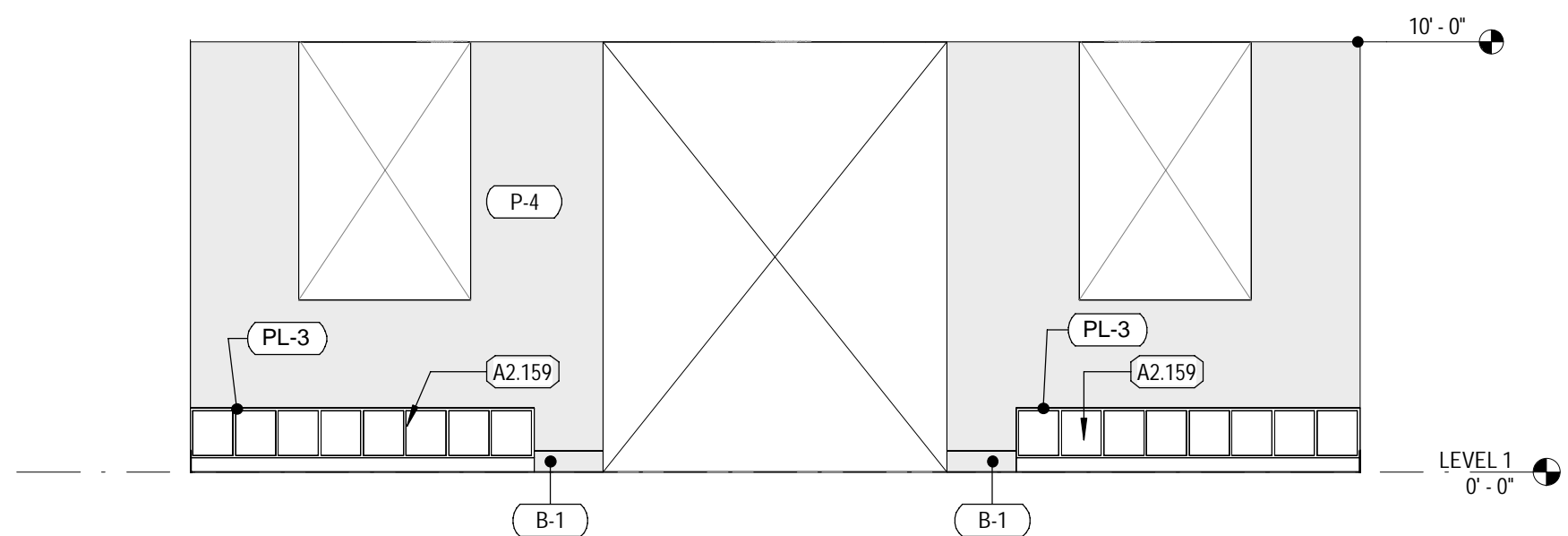
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[Symbol]	RUBBER	[Symbol]	3"x3" TILE	[Symbol]	WALL COVERING	[Symbol]	CARPET TILE
[Symbol]	VINYL SHEET ROLL	[Symbol]	4' x 4' TILE	[Symbol]	WOOD FINISH	[Symbol]	FRP
[Symbol]	LUXURY VINYL TILE	[Symbol]	4"x12" TILE	[Symbol]	WOOD PANELING	[Symbol]	SLAT WALL
[Symbol]	4"x16" TILE	[Symbol]	4"x16" TILE	[Symbol]	RESILIENT SHEET	[Symbol]	PLYWOOD

**KEYNOTES**

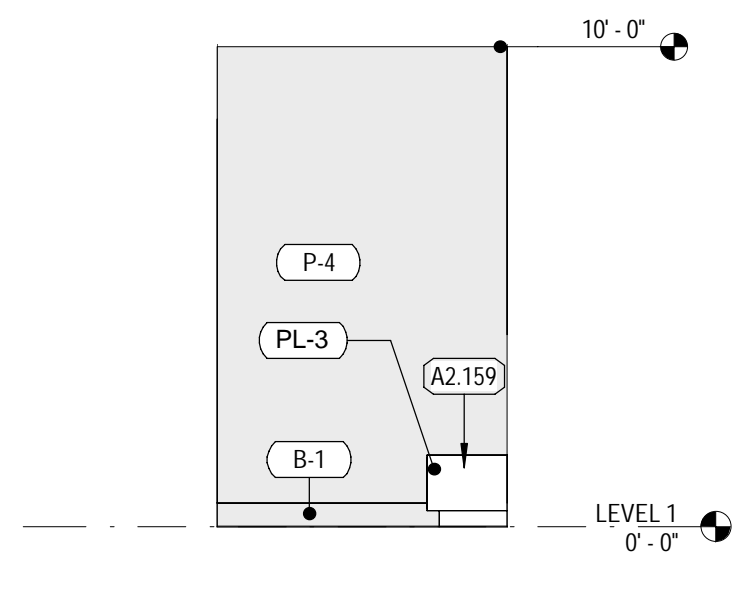
TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.08		SIGNAGE, WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT
A2.55		FRAMED ARTWORK
A2.85		SANITARY WIPER DISPENSERS
A2.87		17.5"W X 31.75"H KIOSK, MOUNTED AT TOP AT 48" AFF AND BOTTOM AT 17" AFF, PROVIDE 2"x12" BACKING. REF: ELECTRICAL PLANS
A2.159		STORAGE CUBBY BENCH. SEE ELEVATIONS



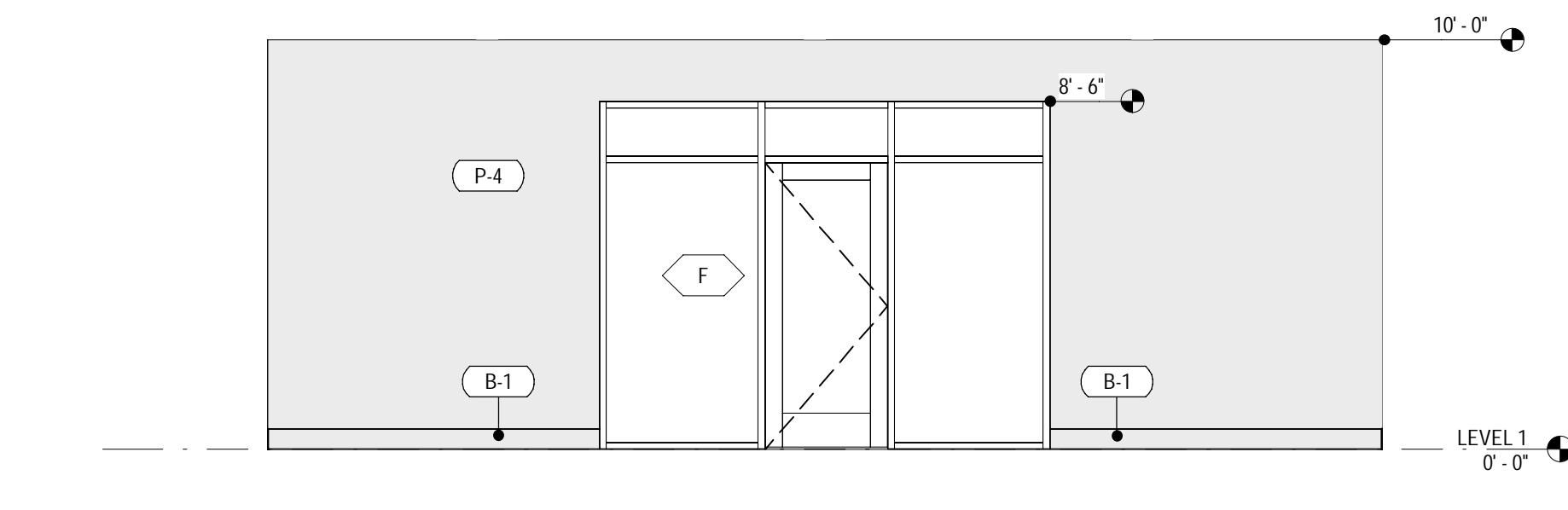
**9 STUDIO ENTRANCE**  
SCALE: 1/4" = 1'-0"



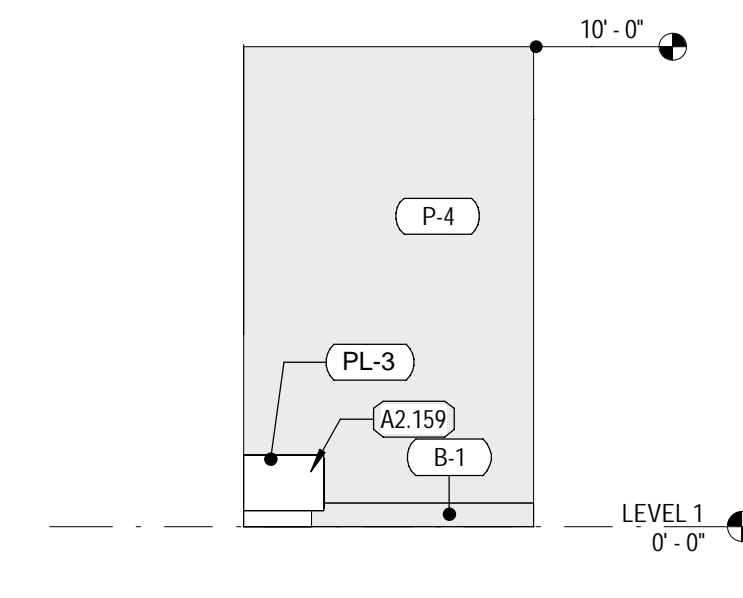
**8 STUDIO ENTRY EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



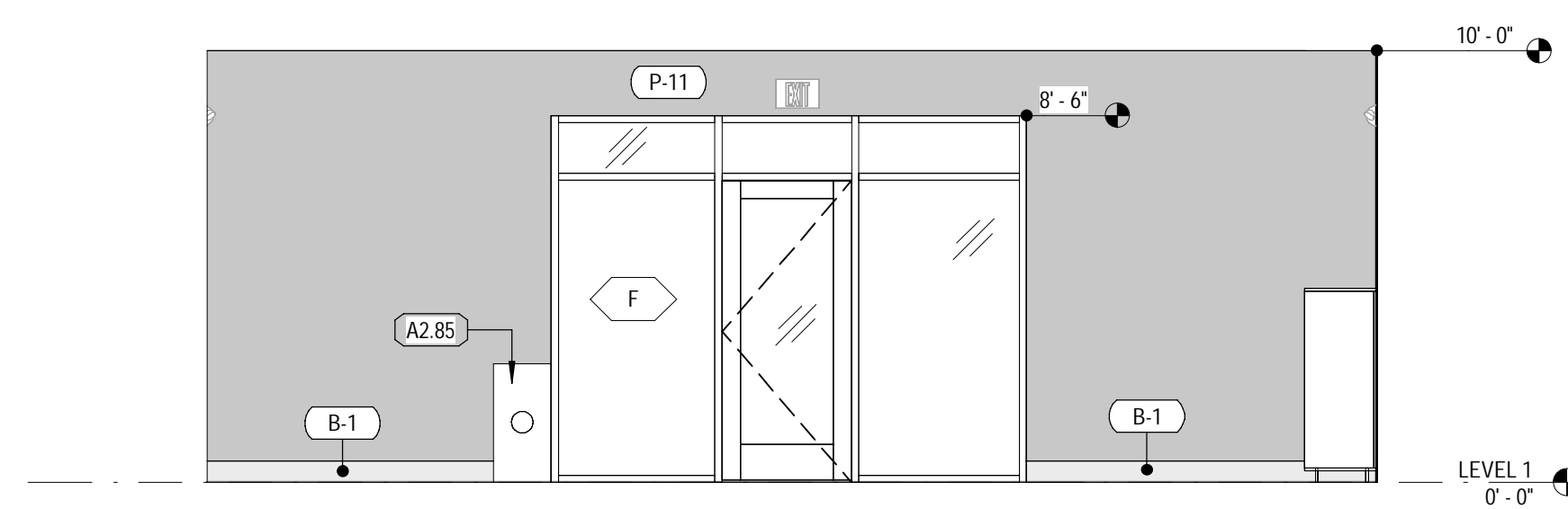
**7 STUDIO ENTRY NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



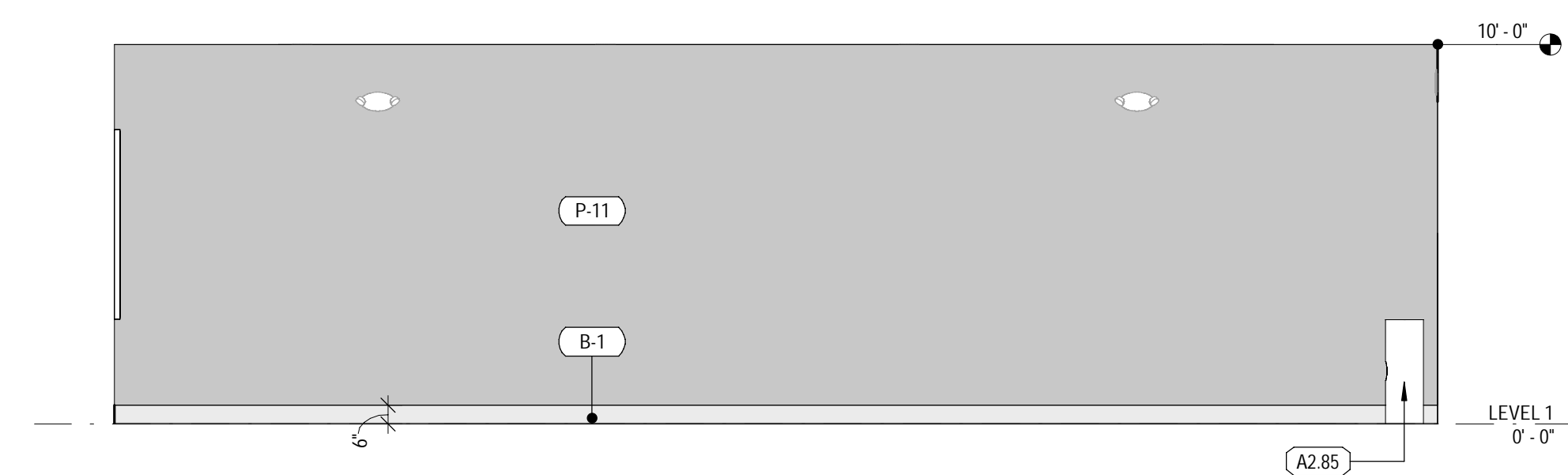
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SCALE: 1/4" = 1'-0"



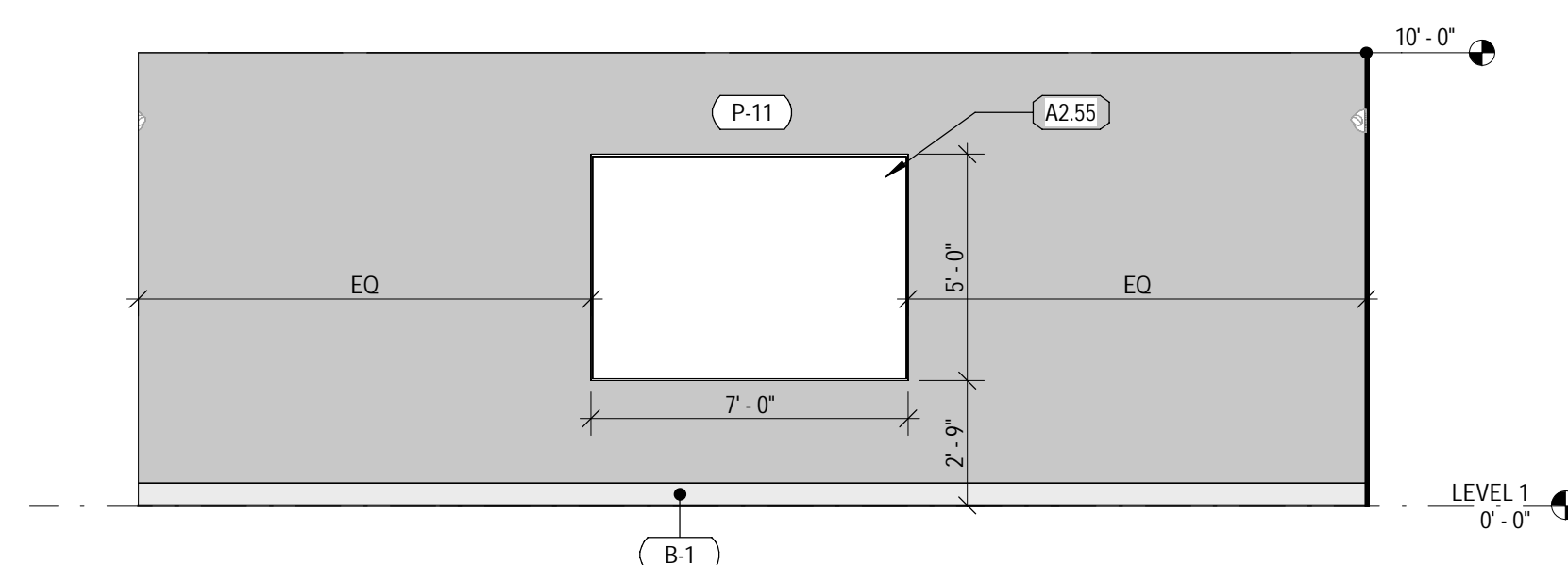
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SCALE: 1/4" = 1'-0"



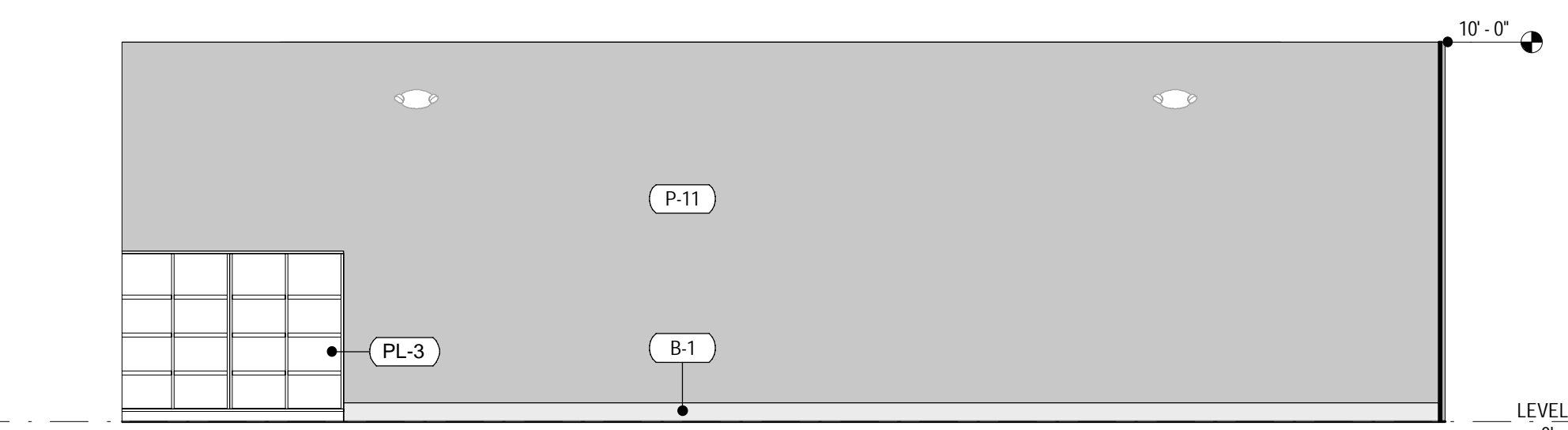
**4 STUDIO EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 STUDIO NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 STUDIO WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 STUDIO SOUTH ELEVATION**  
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Project No.	21603901A
Drawn By:	MG2
Checked By:	MG2



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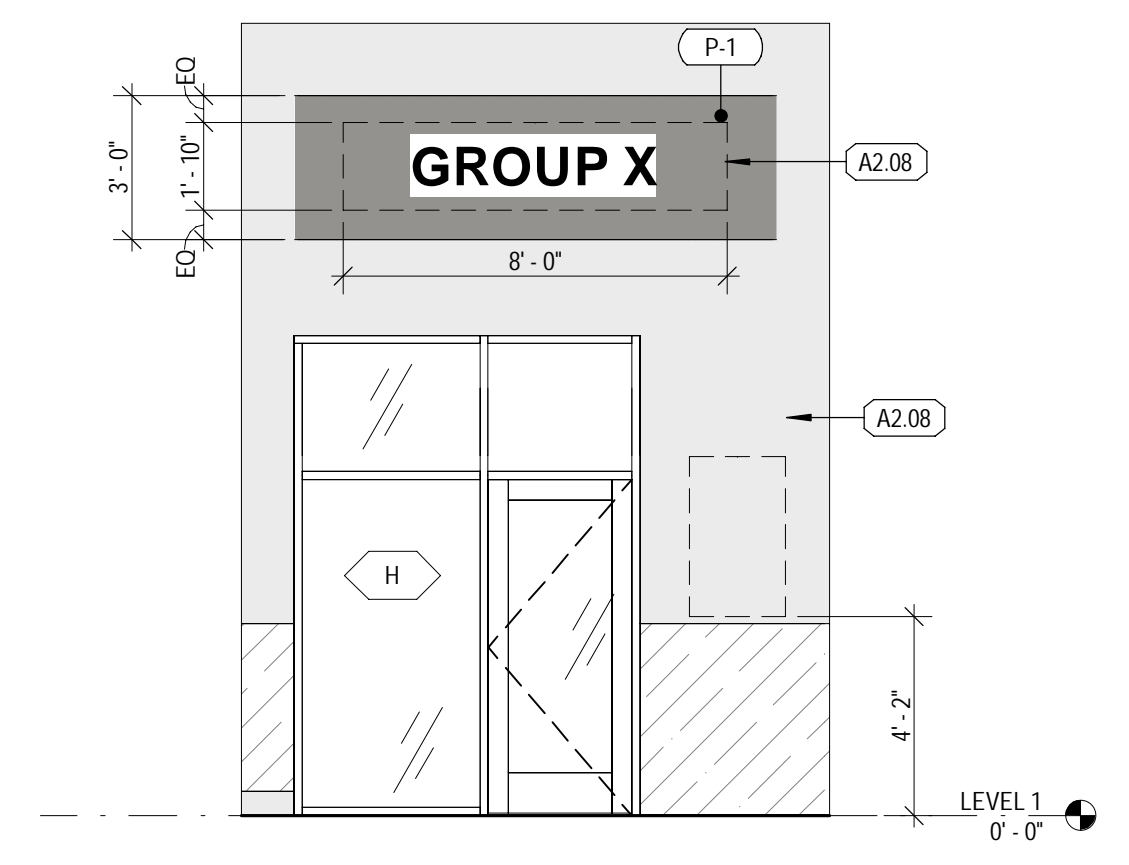
**FINISH SYMBOL LEGEND**

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

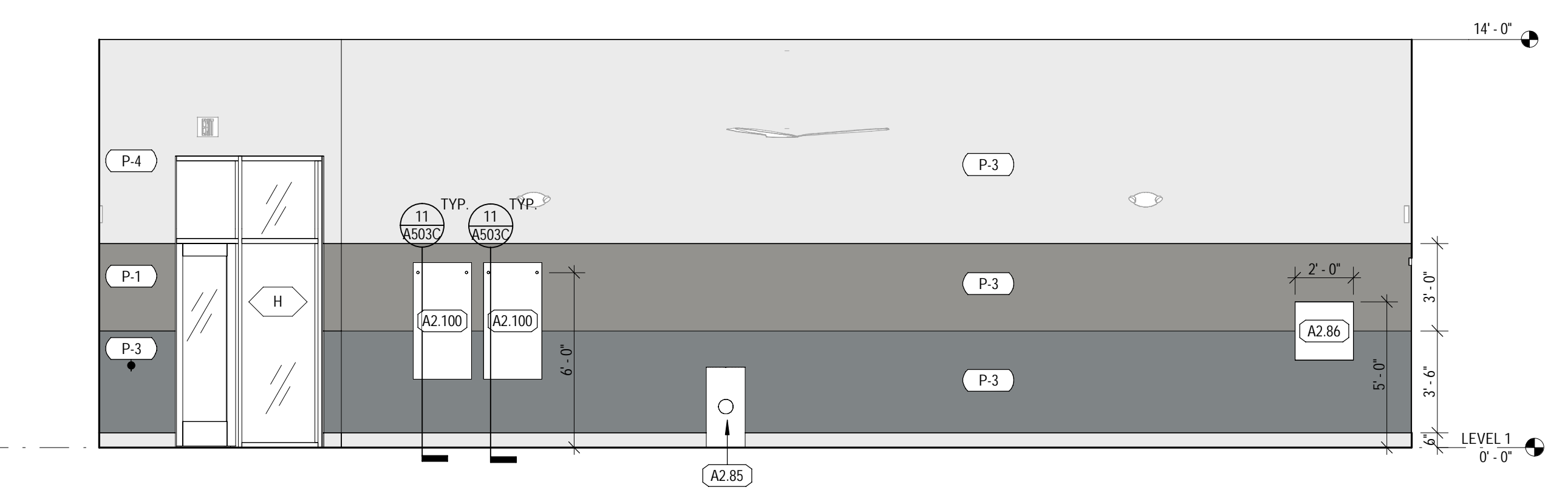
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[Symbol]	RUBBER	[Symbol]	3"x3" TILE	[Symbol]	WALL COVERING	[Symbol]	CARPET TILE
[Symbol]	VINYL SHEET ROLL	[Symbol]	4' x 4' TILE	[Symbol]	WOOD FINISH	[Symbol]	FRP
[Symbol]	LUXURY VINYL TILE	[Symbol]	4"x12" TILE	[Symbol]	WOOD PANELING	[Symbol]	SLAT WALL
[Symbol]	4"x16" TILE	[Symbol]	4"x16" TILE	[Symbol]	RESILIENT SHEET	[Symbol]	PLYWOOD

**KEYNOTES**

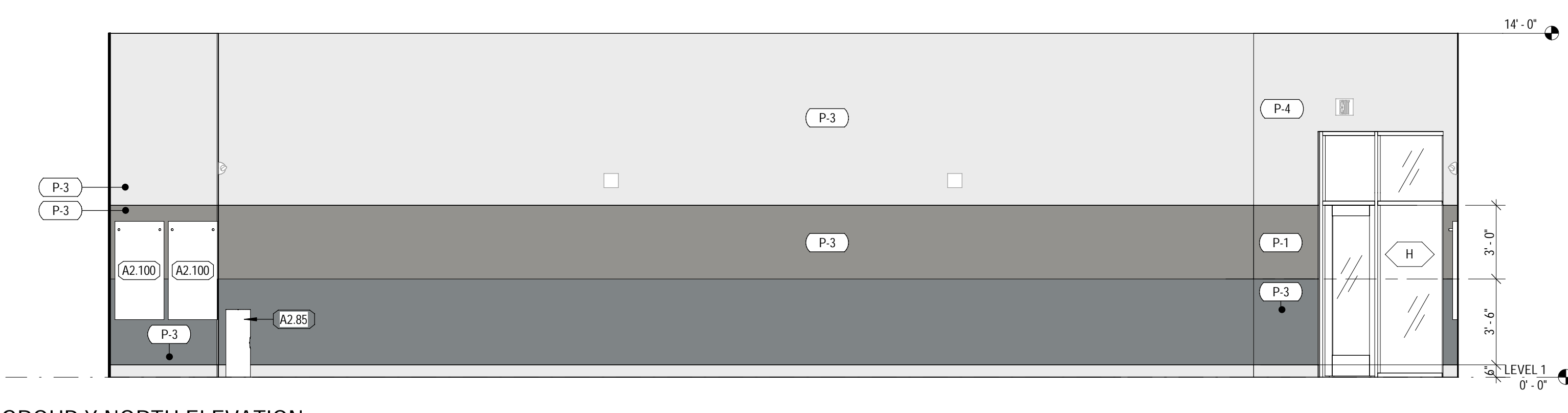
TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.08	SIGNAGE, WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT
A2.85	SANITARY WIPE DISPENSERS
A2.86	AUDIO/VIDEO STORAGE, BOTTOM OF RACK TO BE MOUNTED AT 36" AFF IN CYCLE, GROUP X AND YOGA (IF APPLICABLE), TOP OF RACK TO BE MOUNTED AT 54" AFF IN TEAM TRAINING
A2.100	MAT RACK MOUNTED ON WALL AT 72" AFF. PROVIDE BACKING
A2.146	MIRROR WITH 3" ALDER TRIM, NON-LIT AT TOP. PROVIDE BACKING. MIRRORS SHOULD BE BETWEEN 7'-0" & 8'-0". REF. ELEVATIONS FOR SIZES. REF. SPECS: MIRROR AND LIGHT BY CONTRACTOR AND FRAME BY MILLWORK VENDOR.



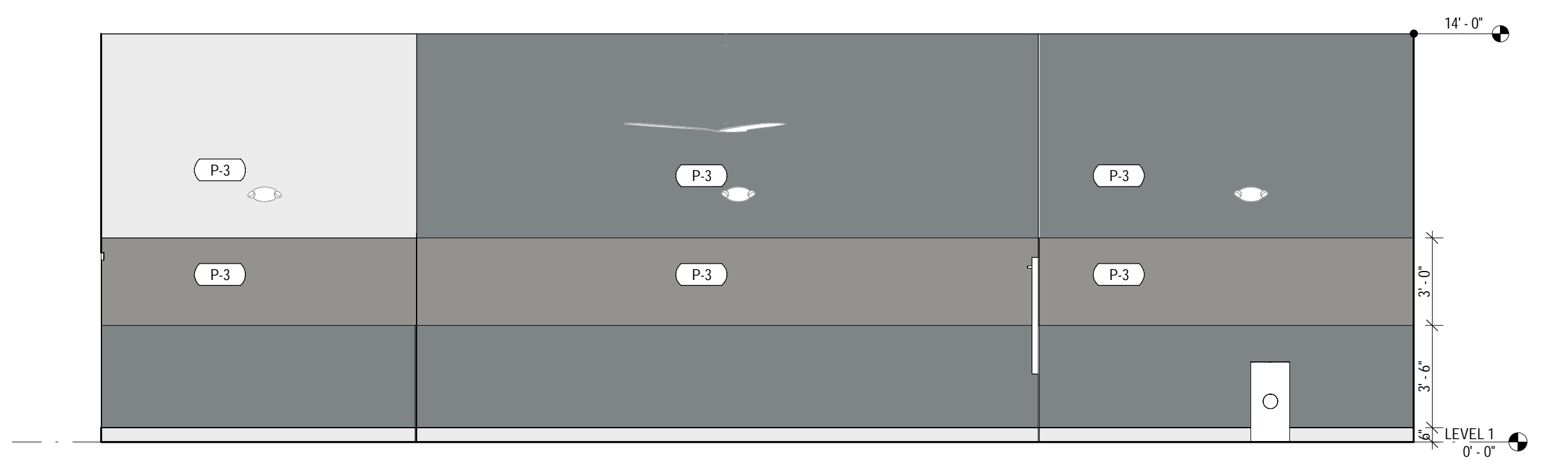
**5 GROUP X ENTRANCE**  
SCALE: 1/4" = 1'-0"



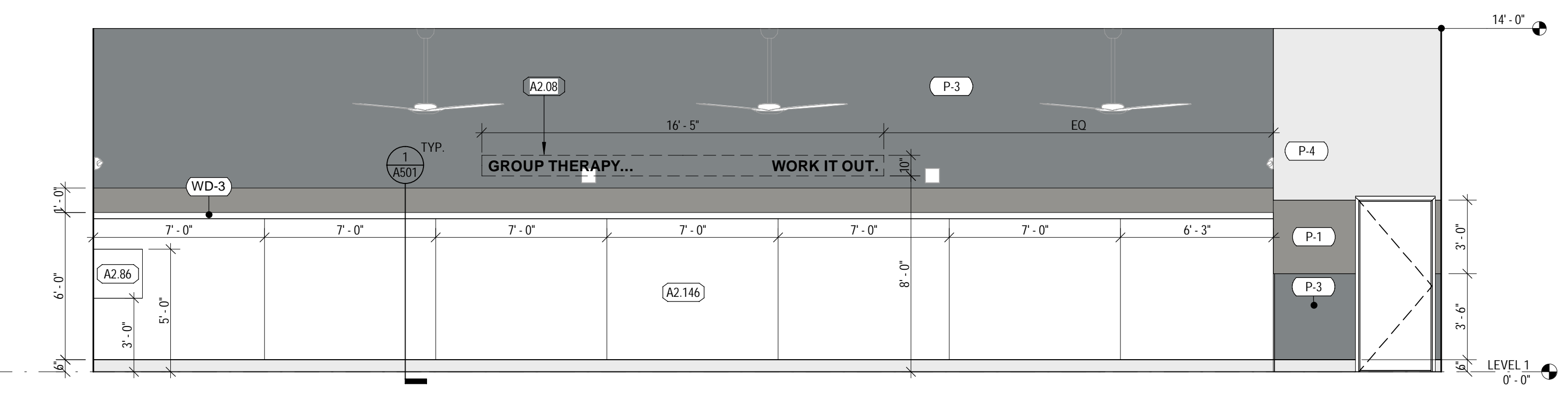
**4 GROUP X EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 GROUP X NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 GROUP X WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 GROUP X SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

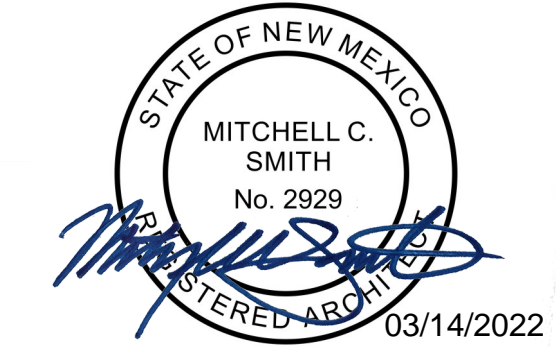
GROUP X ELEVATIONS

**A427.A**









Mitchell C. Smith, Architect  
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### INTERIOR ELEVATION GENERAL NOTES

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'. COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRESMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENSSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

### FINISH LEGEND

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TURF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

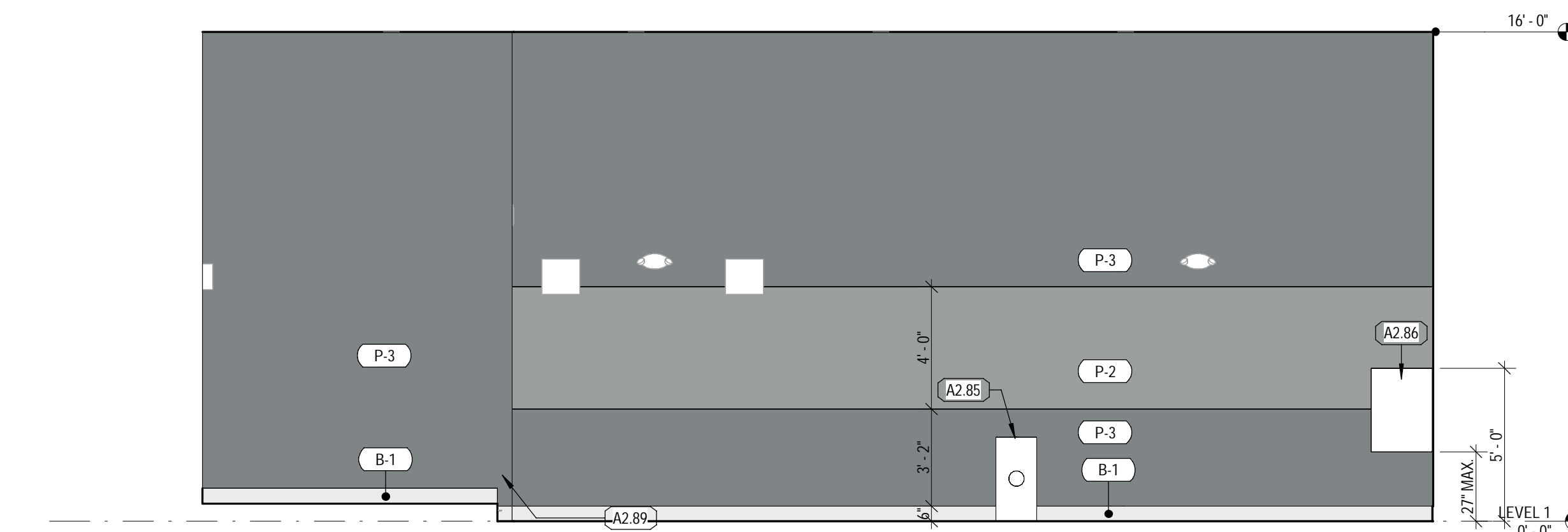
### FINISH SYMBOL LEGEND

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

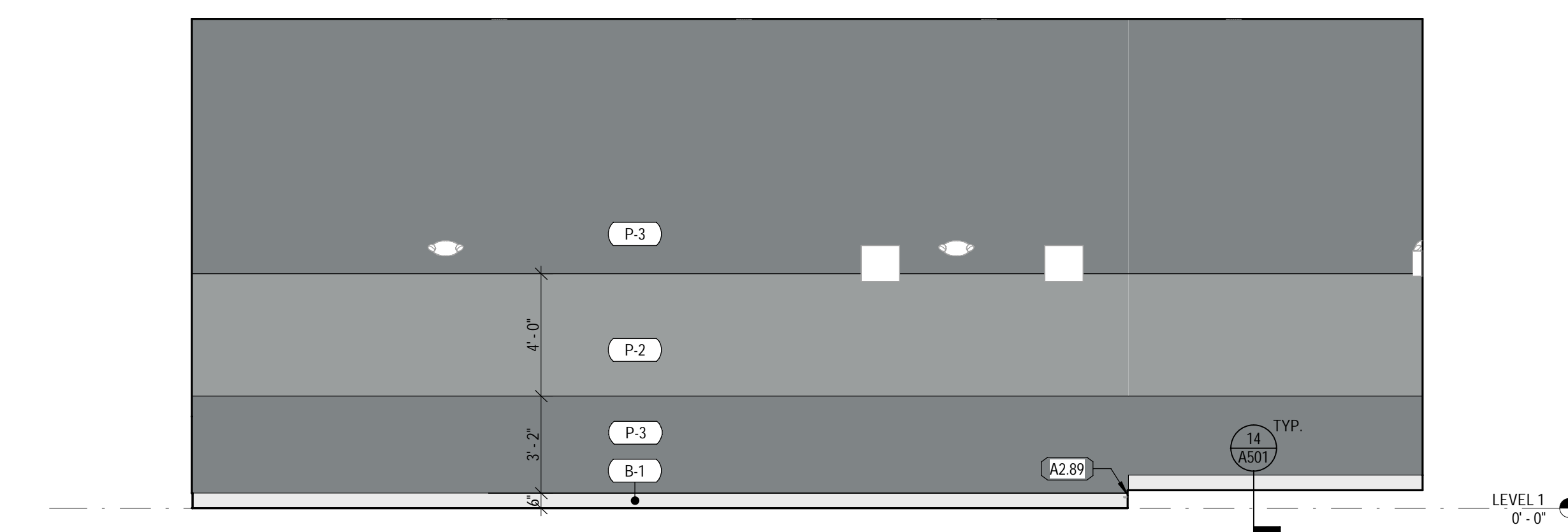
	CONCRETE		2' x 2' TILE		12' x 24' TILE		ARTIFICIAL TURF
	RUBBER		3' x 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' x 4' TILE		WOOD FINISH		FRP
	LUXURY VINYL TILE		4' x 12' TILE		WOOD PANELING		SLAT WALL
	4' x 16' TILE		4' x 16' TILE		RESILIENT SHEET		PLYWOOD

### KEYNOTES

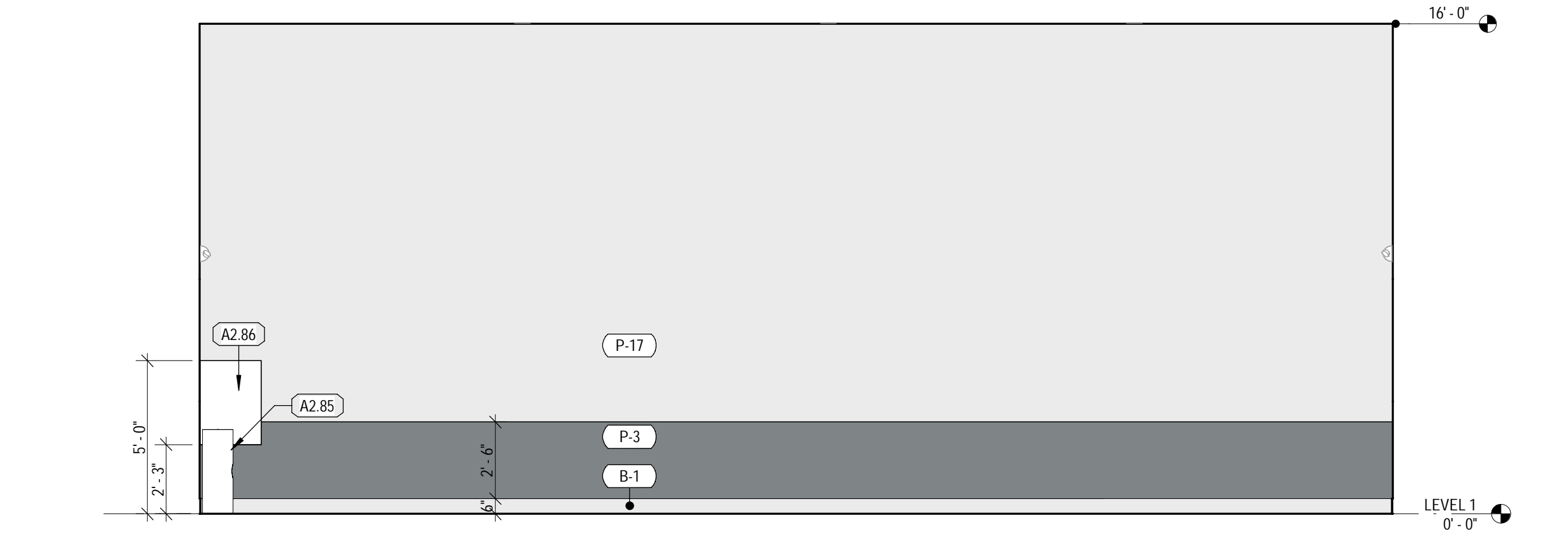
TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.55	FRAMED ARTWORK	
A2.85	SANITARY WIPE DISPENSERS	
A2.86	AUDIO/VIDEO STORAGE. BOTTOM OF RACK TO BE MOUNTED AT 36" AFF IN CYCLE, GROUP X AND YOGA (IF APPLICABLE). TOP OF RACK TO BE MOUNTED AT 5' AFF IN TEAM TRAINING	
A2.88	7H PLATFORM RISER. REF: FLOOR PLAN FOR LOCATION AND DIMENSIONS	
A2.89	LED LIGHT STRIP INSTALLED ON PLATFORM RISER. REF: ELECTRICAL PLANS	
A2.140	WALL SCIENCE	



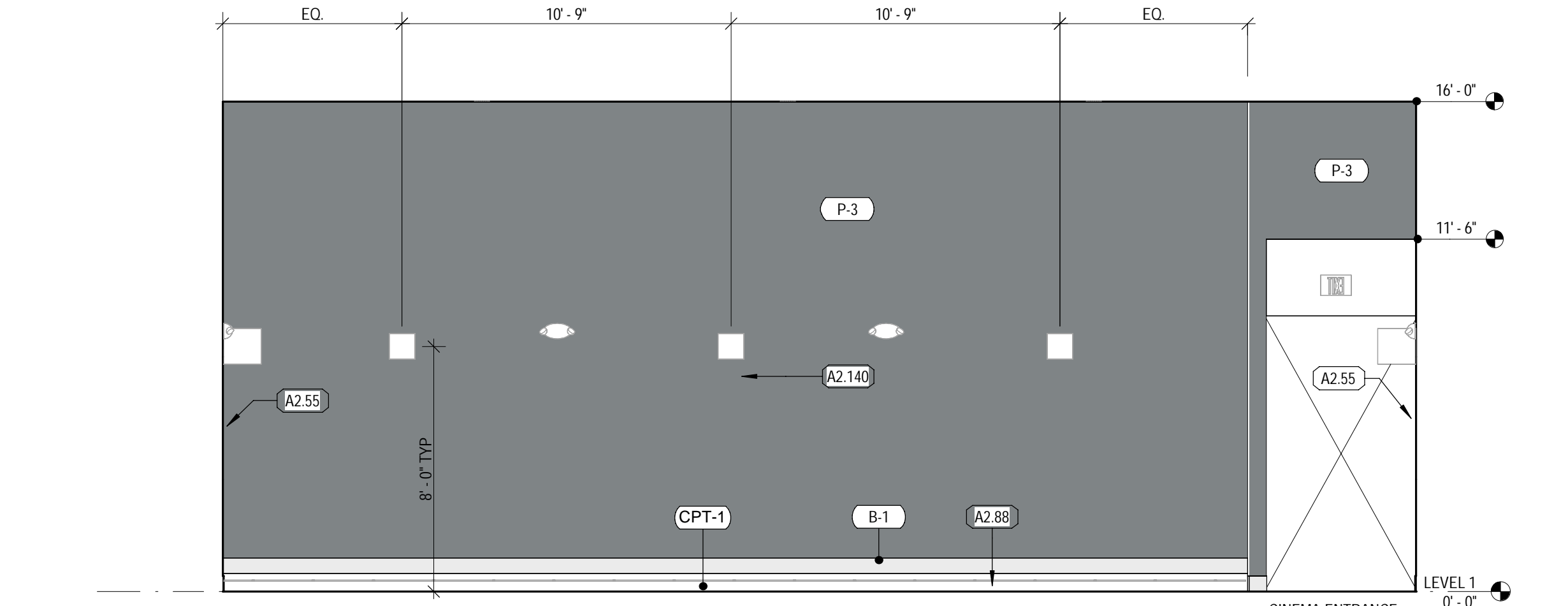
4 CINEMA WEST  
SCALE: 1/4" = 1'-0"



3 CINEMA EAST  
SCALE: 1/4" = 1'-0"



2 CINEMA NORTH  
SCALE: 1/4" = 1'-0"



1 CINEMA SOUTH  
SCALE: 1/4" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE., SW  
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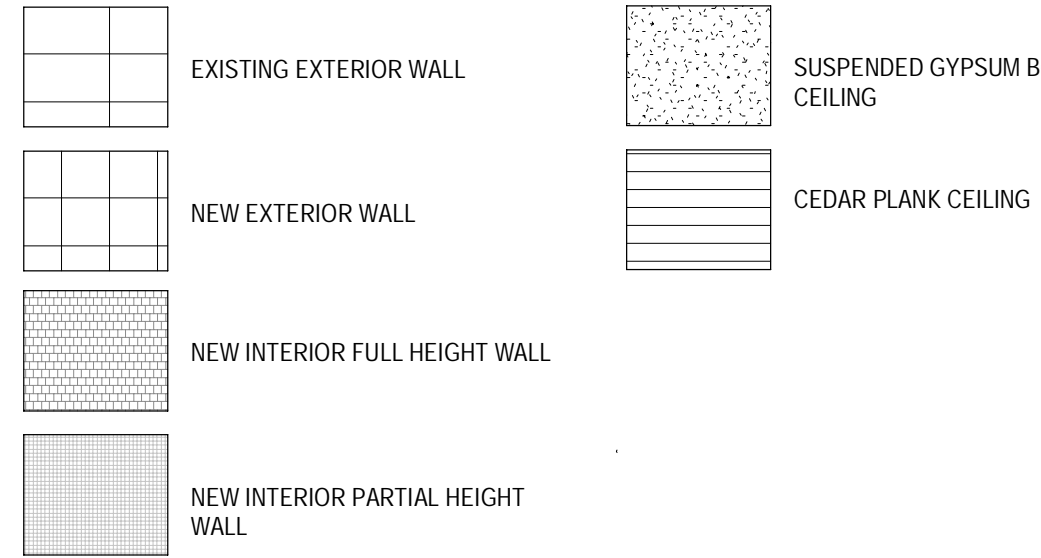
#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No.	21603901A
Drawn By	MG2
Checked By	MG2

CINEMA ELEVATIONS

A429.A

**WALL TYPES LEGEND**



**EQUIPMENT - TELEVISION SCHEDULE**

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A430C FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

**REFLECTED CEILING PLAN SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2'X4' PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'X2' PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN 15/16"	ARMSTRONG	KITCHEN ZONE 672	2'X4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES, REF: REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA, PAINT P-4, FLAT FINISH CYCLE AND TEAM TRAINING, P-16 POOL AREA, P-4, EPOXY 2-PART SYSTEM PAINT, REF: SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF: MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

**REFLECTED CEILING PLAN GENERAL NOTES**

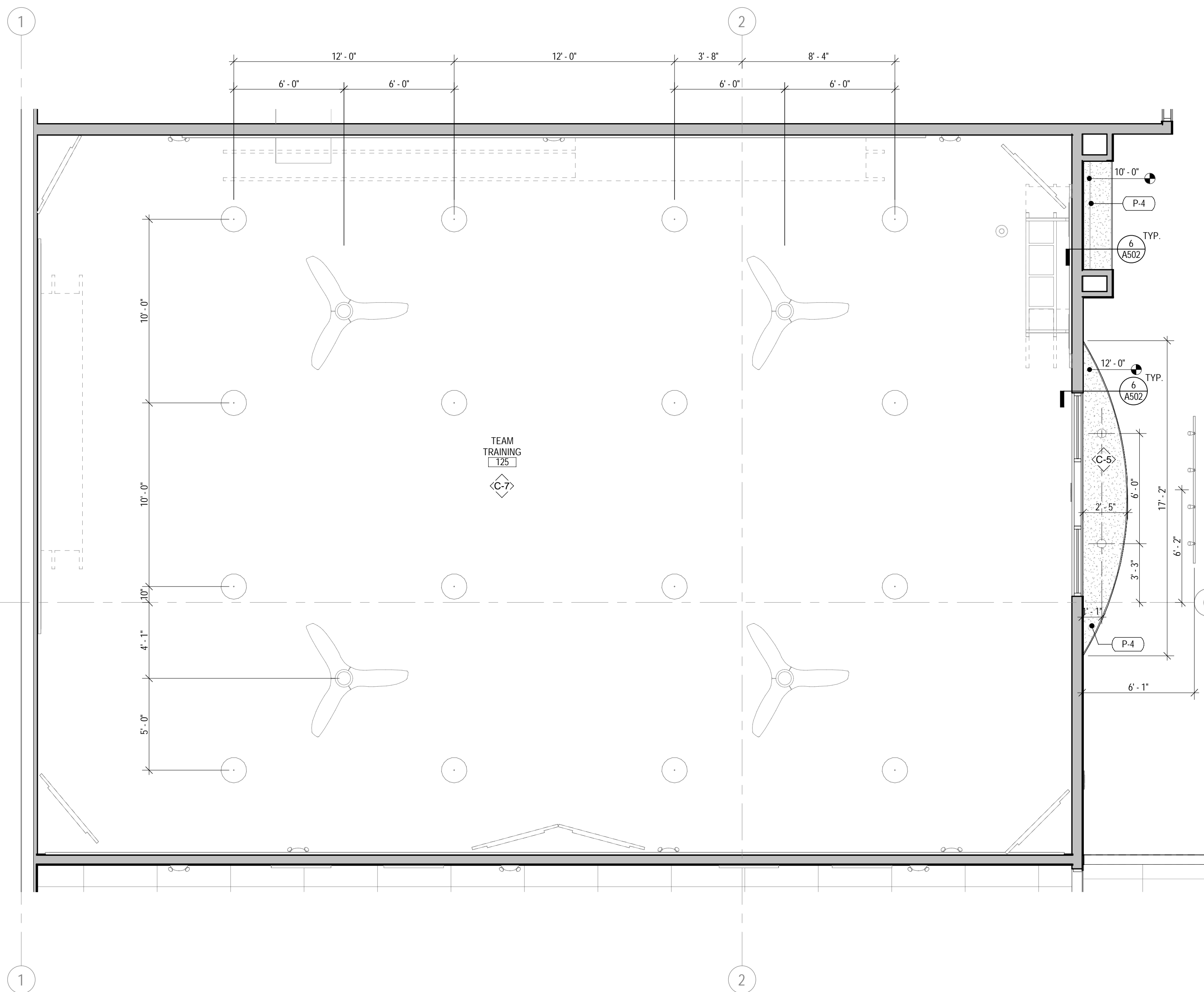
- REF: MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF: ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION, COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
- DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
- HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED, CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR U.N.O.
- PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
- SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4' 0" O.C. (MAX) AND CROSS TEES AS SHOWN ON PLANS @ 2' 0" MIN.
- ISOLATE CEILING GRIDS FROM PERIMETER WALLS, FASTEN PERIMETER EDGE ANGLE TO CEILING GRID, FREE FROM WALL ASSEMBLY, PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
- CEILING GRID SUSPENSION SUPPORT SHALL BE #12 GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4' 0" O.C. MAX.
- LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) 1/8" BLIND RIVET AT EACH CORNER, EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
- SUSPENDED ACOUSTICAL CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636 SUPPLY AND RETURN DIFFUSERS IN SUSPENDED CEILINGS SHALL HAVE STRAPS AT OPPOSITE SIDES.
- STRAPS TO MATCH SUPPLY/RETURN COLOR.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TILES, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
- COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL, VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- ALL EXPOSED CEILINGS, MECHANICAL UNITS AND ELECTRICAL SYSTEMS TO BE PAINTED P-4, CYCLE EXPOSED CEILING TO BE P-16.
- ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
- EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
- PROVIDE SPRINKLER HEADS/ESCUTCHEON PLATES TO MATCH CEILING FINISH COLOR, DO NOT PAINT HEADS.
- SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E580, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TRIM RINGS.
- PROVIDE SPRINKLER UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF: PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (5.504.5.3)

**FLOOR PLAN GENERAL NOTES**

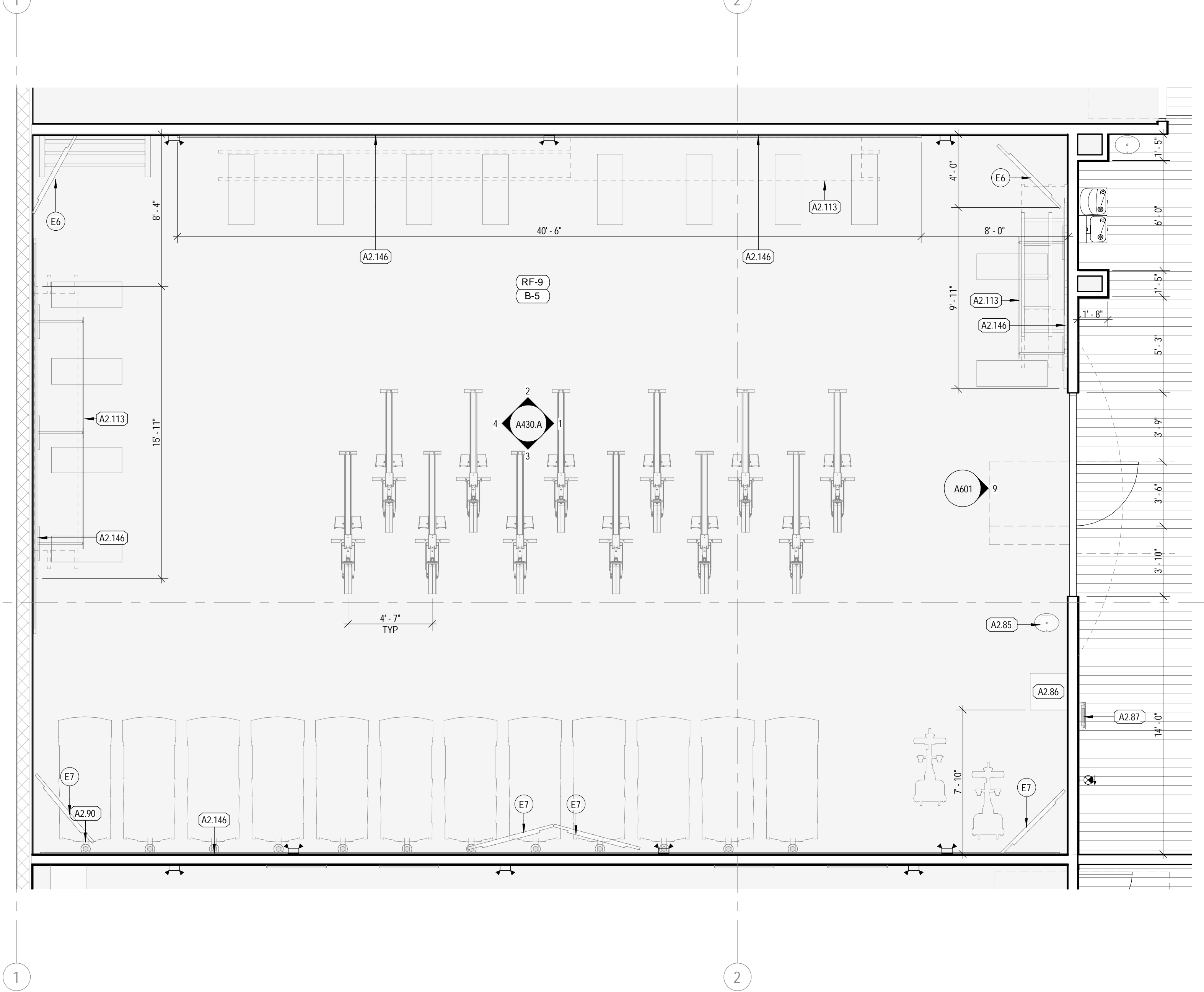
- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD, DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS TREATED) 2X6 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS, PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 42" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE RACKS AND FREE WEIGHT MACHINES, INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM, EXCEPT THE TREADMILL WALL, INSTALL SAME AT REAR WALL IN THE GROUP X ROOM, FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE, REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
- INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU.
- PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
- REF: SHEET A01 FOR WALL DETAILS AND TYPE DESIGNATIONS.
- PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION, VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
- FIRE STOPPING MATERIAL FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS, AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED, REF: A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR A WINDOWS ARE TAGGED ON SHEET A101, REF: SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 12" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE, DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN, TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON AN 90 DEG. AND 45 DEG. CORNER, TO ALIGN WITH TOP EDGE OF WAINSCOT, REF: A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS, REF: SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & REF FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS, GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED VENDOR FOR COMPLETE TESTING, REF: REQUIRED VENDOR SCHEDULE.
- REF: TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISES TO HAVE 2" CONTRASTING COLOR NOSING TYP.
- REFER TO RESPONSIBILITY SCHEDULE ON SHEET G003 FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

**KEYNOTES**

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.85	SANITARY WIPE DISPENSERS
A2.86	AUDIO/VIDEO STORAGE, BOTTOM OF RACK TO BE MOUNTED AT 36" AFF IN CYCLE, GROUP X AND YOGA (IF APPLICABLE), TOP OF RACK TO BE MOUNTED AT 54" AFF IN TEAM TRAINING
A2.87	17.5"W X 31.2"H KIOSK MOUNTED AT TOP AT 46" AFF AND BOTTOM AT 17" AFF, PROVIDE 2"X12" BACKING, REF: ELECTRICAL PLANS
A2.90	PROVIDE POWER TO EQUIPMENT, REF: ELECTRICAL PLANS
A2.113	TRX EQUIPMENT - PROVIDED IN 7' W OR 14' W COMBINATIONS, REF: SPEC 116613
A2.146	MIRROR WITH 3" ALDER TRIM NON-LIFT AT TOP, PROVIDE BACKING, MIRRORS SHOULD BE BETWEEN 7'-0" & 8'-0" W, REF: ELEVATIONS FOR SIZES, REF: SPECS: MIRROR AND LIGHT BY CONTRACTOR AND FRAME BY MILLWORK VENDOR.

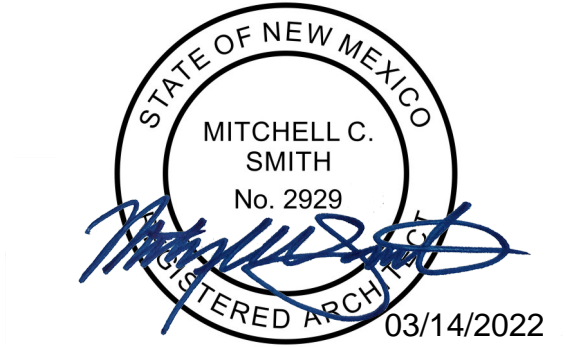


**2 TEAM TRAINING REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"



**1 TEAM TRAINING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

18200 Von Karman Ave, Ste 910  
Irvine, CA 92612  
949 705 0700  
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12/17/21	25% SUBMITTAL	
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Project No: 21603901A  
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Checked By: MG2

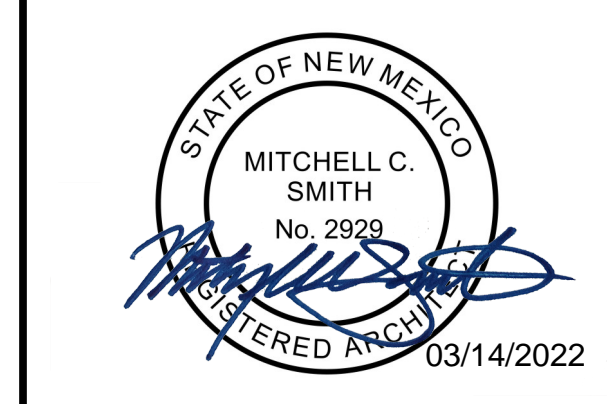
TEAM TRAINING FLOOR PLAN & REFLECTED CEILING PLAN

**A430**

3/11/2022 8:52:39 AM





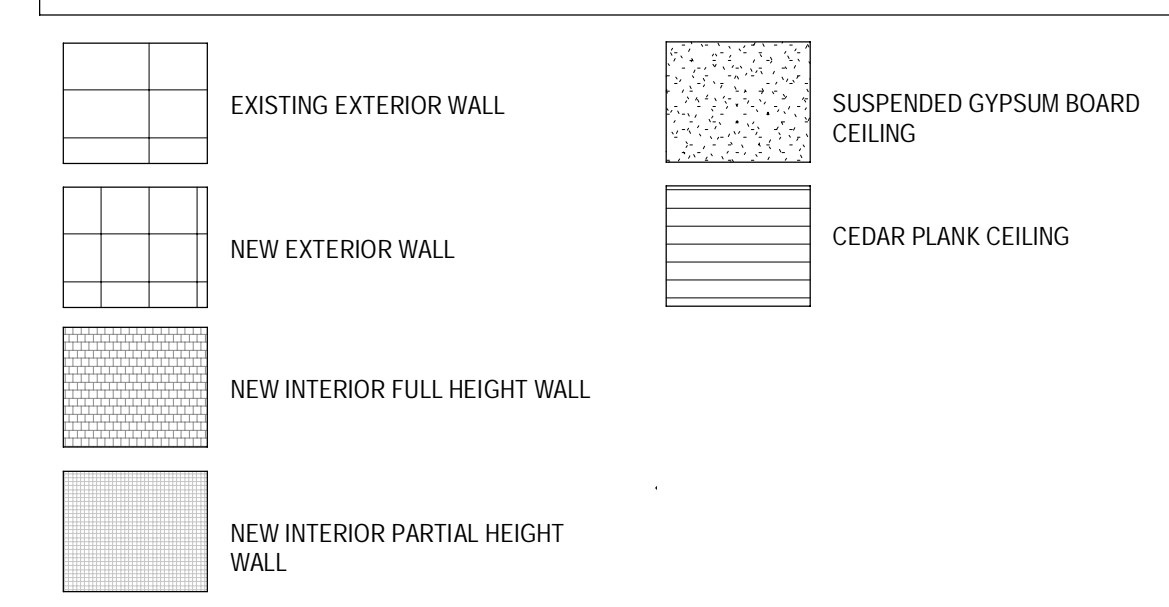


STATE OF NEW MEXICO  
MITCHELL C. SMITH  
No. 2929  
REGISTERED ARCHITECT  
03/14/2022

CHUZE  
FITNESS

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WALL TYPES LEGEND



REFLECTED CEILING PLAN SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	MODEL	COMMENTS
C-1	ACOUSTIC T-BAR	ARMSTRONG	1729	2'x4' PANELS. COLOR - WHITE
C-2	ACOUSTIC T-BAR	ARMSTRONG	1911	2'x2' PANELS. COLOR - WHITE
C-3	-	-	-	-
C-4	SQUARE LAY-IN	ARMSTRONG	KITCHEN ZONE 672	2'x4' PANELS. COLOR - WHITE
C-5	SUSPENDED GYPSUM CEILING	ARMSTRONG	FLAT DRYWALL SUSPENSION SYSTEM	COLOR VARIES. REF. REFLECTED CEILING PLANS
C-6	CEDAR PLANK	-	-	-
C-7	EXPOSED TO STRUCTURE	-	-	MAIN AREA: PAINT P-4. FLAT FINISH CYCLE AND TEAM TRAINING; P-16 POOL AREA: P-4. EPOXY 2-PART SYSTEM PAINT. REF. SPECS FOR PAINT APPLICATION
C-8	T-8 TILE	-	-	REF. MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION
C-9	T-10 TILE	-	-	REF. MATERIAL AND FINISH SCHEDULE ON SHEET A610 FOR MORE INFORMATION

EQUIPMENT - TELEVISION SCHEDULE

\*REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV. INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4. REF. DETAIL 4 ON SHEET A503C FOR MOUNTING DETAIL.
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

FLOOR PLAN GENERAL NOTES

- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
- VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 42" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE RACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF. TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CURTAIN WALL MOUNTED EQUIPMENT.
- INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU.
- PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURSES.
- REF. SHEET A201 FOR WALL DETAILS AND TYPE DESIGNATIONS.
- PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
- FIRE STOPPING MATERIAL FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR & WINDOWS ARE TAGGED ON SHEET A601. REF. SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS. REF: SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. TYP. U.N.O. INTERIOR ELEVATIONS & REF. FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED TESTING TO COMPLETE TESTING. REF. REQUIRED VENDOR SCHEDULE.
- REF. TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING. TYP.
- REF. TO RESPONSIBILITY SCHEDULE ON SHEET G002 FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC. ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

REFLECTED CEILING PLAN GENERAL NOTES

- REF. MECHANICAL DRAWINGS FOR HVAC PLAN, SECTIONS, DUCT SIZES, SUPPLY AND RETURN AIR GRILLE SIZES.
- REF. ELECTRICAL DRAWINGS FOR EXIT SIGNS, CEILING FANS, LIGHTING LAYOUT, REQUIREMENTS, AND ADDITIONAL INFORMATION. COORDINATE DELEGATED DESIGNS WITH ELECTRICAL FOR LOCATION OF SMOKE DETECTORS, FIRE ALARMS, AND SECURITY SYSTEMS.
- DIMENSIONS ARE TAKEN FROM FACE OF FINISH MATERIAL.
- HEIGHTS TO BOTTOM OF EXISTING STRUCTURE ARE ASSUMED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCY PRIOR TO COMMENCING WORK.
- ALL CEILING HEIGHTS NOTED ARE FROM FINISH FLOOR U.N.O.
- PROVIDE GYPSUM BOARD CONTROL AND EXPANSION JOINTS IN CEILINGS AS INDICATED IN THE SPECIFICATIONS.
- SUSPENSION SYSTEM SHALL BE PREFINISHED METAL GRID WITH COLOR TO MATCH PANELS AND MAIN TEES AT 4'-0" O.C. (MAX) AND CROSS TEES AS SHOWN ON PLANS (2'-0" MIN).
- ISOLATE CEILING GRIDS FROM PERIMETER WALLS. FASTEN PERIMETER ANGLE TO CEILING GRID, FREE FROM WALL ASSEMBLY. PROVIDE FLEXIBLE SEALANT AT WALL INTERFACES.
- CEILING GRID SUPPORT SHALL BE 1/2" GA. GALVANIZED ANNEALED WIRE FIXED TO MAIN TEES AND ROOF STRUCT. MEMBERS AT 4'-0" O.C. MAX.
- LIGHT FIXTURES IN SUSPENDED CEILING SYSTEM SHALL BE FASTENED TO METAL GRID SYSTEM WITH (1) 1/8" BLIND NUT AT EACH CORNER. EACH CORNER OF THE LIGHT SHALL BE SUPPORTED FROM THE ROOF STRUCTURE WITH #12 GA. GALVANIZED ANNEALED WIRE.
- SUSPENDED ACOUSTICAL CEILINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 635 AND C 636. SUPPLY AND RETURN DUCTS IN SUSPENDED CEILINGS SHALL HAVE STRAPS AT OPPOSITE SIDES. STRAPS TO MATCH SUPPLY/RETURN COLOR.
- CENTER CEILING GRID IN SPACE AS SHOWN, UNLESS SHOWN OTHERWISE.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES IN CEILING TILES, UNLESS NOTED OTHERWISE.
- PAINT ALL GYPSUM BOARD CEILING, BULKHEADS, AND SOFFITS P-4 UNLESS NOTED OTHERWISE.
- COORDINATE THE REQUIREMENTS FOR ACCESS PANELS WITH MECHANICAL AND ELECTRICAL. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- ALL EXPOSED CEILINGS, MECHANICAL UNITS AND ELECTRICAL SYSTEMS TO BE PAINTED P-4 CYCLE EXPOSED CEILING TO BE P-16.
- ALL FANS TO BE TIED INTO FIRE ALARM SYSTEM.
- EXIT SIGNS TO MATCH COLOR OF ACOUSTIC OR PAINTED CEILING COLOR IN ROOM TYP.
- PROVIDE SPRINKLER HEADS/ESCUECHON PLATES TO MATCH CEILING FINISH COLOR. DO NOT PAINT HEADS.
- SPRINKLER HEADS AND TRIM TO BE CHEMICAL AND MOISTURE RESISTANT IN ALL WET AREAS.
- IN ALL AREAS OF SUSPENDED CEILING, A FLEXIBLE SPRINKLER HOSE FITTING THAT CAN ACCOMMODATE ONE INCH OF CEILING MOVEMENT CONFORMING TO ASTM E580, SEC. 5.2.8.5 SHALL BE USED IN LIEU OF OVERSIZED 2" TRIM RING.
- PROVIDE SPRINKLERS UNDER ALL PLENUM BOXES SIZED 48"x48" AND LARGER.
- EXPOSED DUCTS SHALL BE PAINTED TO MATCH CEILING.
- REF. PAINT COLORS IN FINISH SCHEDULE AND A.C.T. COLORS TYP.
- ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
- AN AIR FILTER WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8 OR HIGHER SHALL BE INSTALLED IN THE MECHANICAL SYSTEM FOR OUTSIDE AND RETURN AIR PRIOR TO OCCUPANCY. (5.504.5.3)

KEYNOTES

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.03	FURNITURE SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION
A2.11	MIRROR: 24"x24" B.290.249, BY CONTRACTOR
A2.12	MIRROR: 24"x24" FRAMED, B.290.2472
A2.18	MOP SINK LOCATION: REF. PLUMBING PLANS. AT ALL MOP SINK LOCATIONS, PROVIDE 4"x4" FRP PANEL FOR WALL PROTECTION ON EACH WALL. AT MOP SINK IN SINKO THE STORAGE, PROVIDE 4"x8" FRP PANEL FOR WALL PROTECTION ON EACH WALL. REF. SHEET A610A SPECS
A2.54	LOCKERS, G.C. TO VERIFY EXACT LOCATION AND QUANTITY WITH CHUZE. DAY LOCKERS: 2-TIER & 4-TIER, 12"x18"x48" LOCKER ROOMS: 2-TIER & 3-TIER, 12"x18"x72" POOL LOCKERS: 5-TIER, 12"x12"x60" STAFF LOUNGE: 3-TIER & 3-TIER, 12"x18"x72"
A2.55	FRAMED ARTWORK
A2.67	PAPER TOWEL DISPENSER
A2.85	SANITARY WIPE DISPENSERS
A2.90	PROVIDE POWER TO EQUIPMENT. REF. ELECTRICAL PLANS
A2.97	HYDRO LOUNGE CHAIR. PROVIDE POWER AT SPECIFIED LOCATIONS. REF. ELECTRICAL PLANS
A2.107	DIVERSEY J-FILL DILUTION DISPENSER: 4 UNIT CABINET AND HOSE
A2.108	TANNING BED: COORDINATE EXHAUST LOCATION TO BE DIRECTLY ABOVE TANNING BED.
A2.109	IN-BODY EQUIPMENT SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION
A2.110	REFRIGERATOR: FRIODARE 18 CU. FT. TOP FREEZER REFRIGERATOR IN BLACK, MODEL #FFTR1814TB
A2.141	REF. SHEET A504 FOR DETAILS
A2.147	PROVIDE YELLOW STRIPING 3/8" IN FRONT OF ELECTRICAL PANELS
A2.148	PROVIDE PREFABRICATED ADHESIVE LETTERING FROM SIGNAGE VENDOR ON CONTRASTING BACKGROUND. KEEP AREA CLEAR AT ALL TIMES. SIGNAGE INSTALLER TO PROVIDE ONE SIGN PER STRIPED FLOOR AREA AND INSTALL AFTER PAINT STRIPING IS COMPLETED. PROVIDE SIGN EXAMPLE TO CHUZE PROJECT COORDINATOR FOR APPROVAL.
A2.155	ADA WALL SIGN. SEE G004 & G005
A2.156	EXISTING STOREFRONT GLAZING TO BE REPLACED WITH 1" INSULATED GLASS
A2.157	THERMOGUN EQUIPMENT SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION
A2.160	PREFABRICATED IR SAUNA SYSTEM PROVIDED BY CHUZE. VENDOR: GC TO INSTALL AND MAKE ALL NECESSARY CONNECTIONS

COORS & CENTRAL - CHUZE ALBUQUERQUE

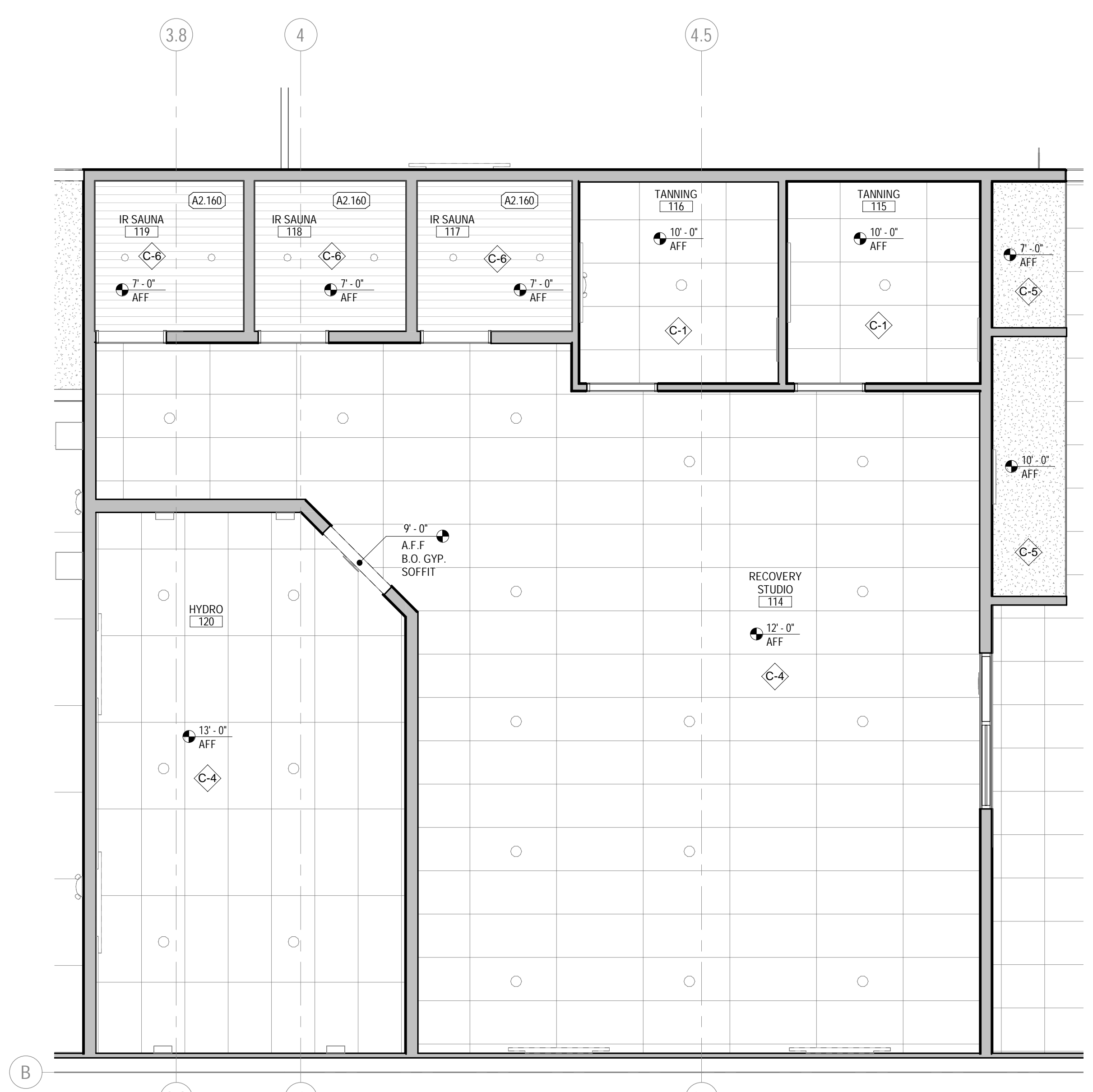
6600 CENTRAL AVE., SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

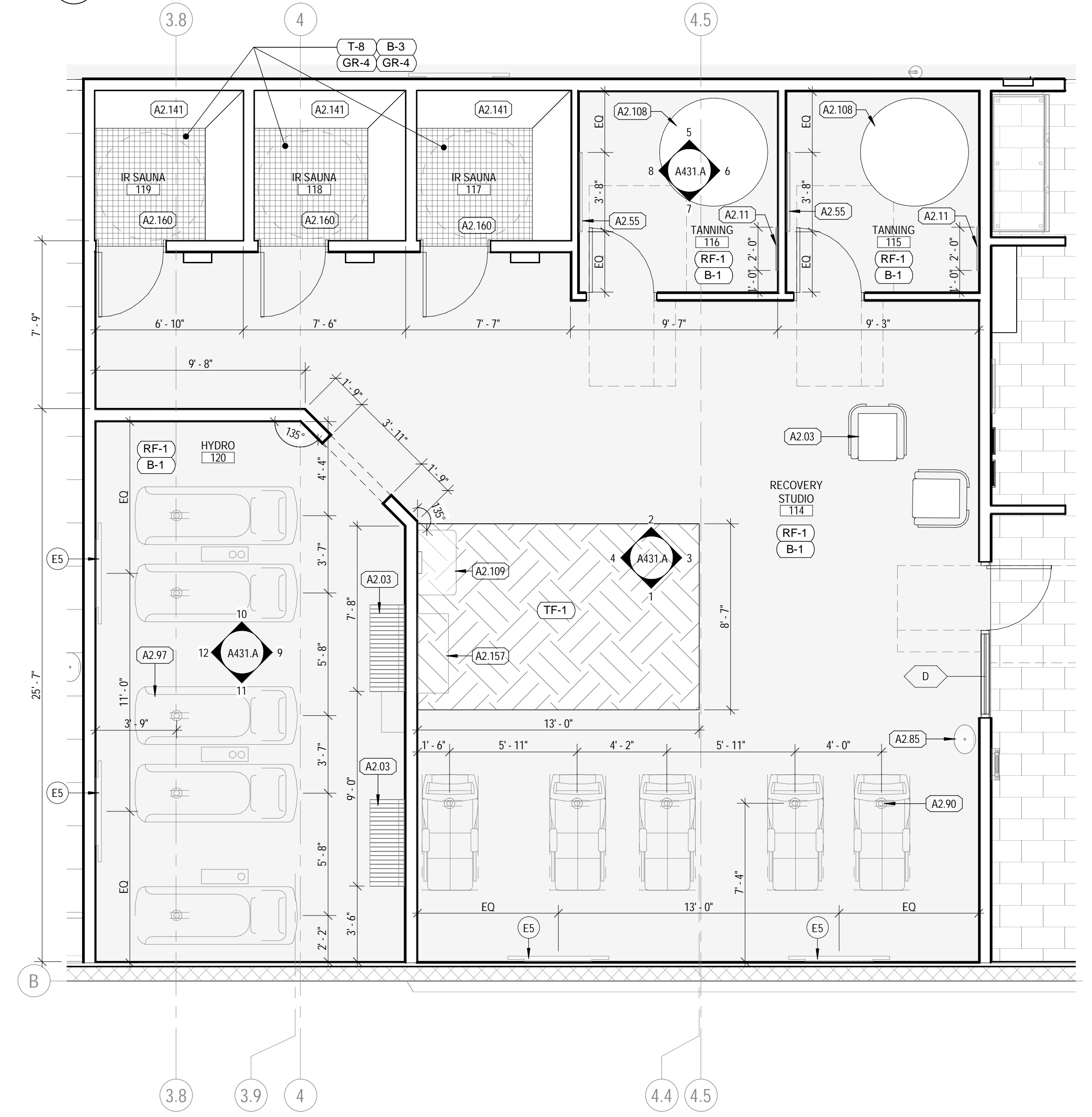
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Drawn By: MG2  
Checked By: MG2

HYDRO/TANNING FLOOR PLAN & REFLECTED CEILING PLAN

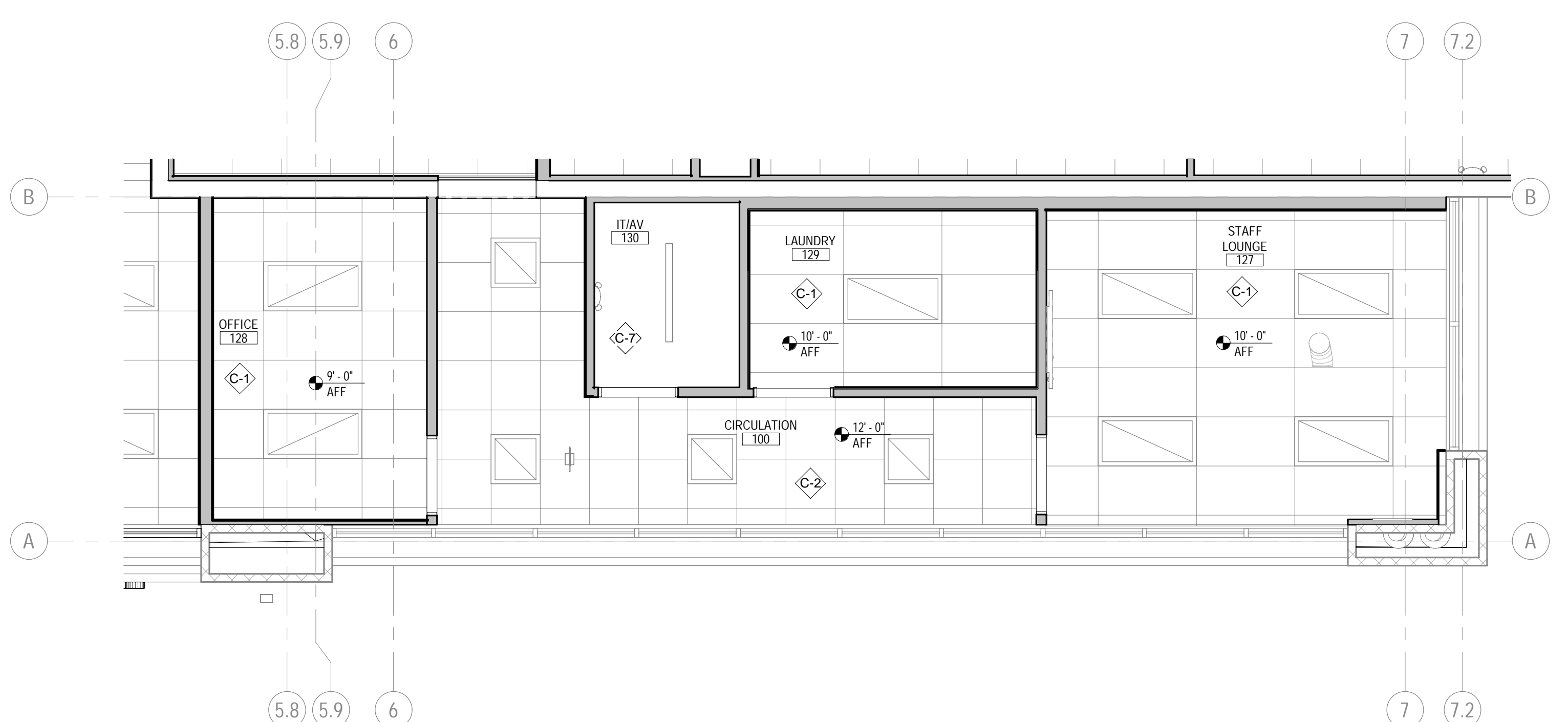
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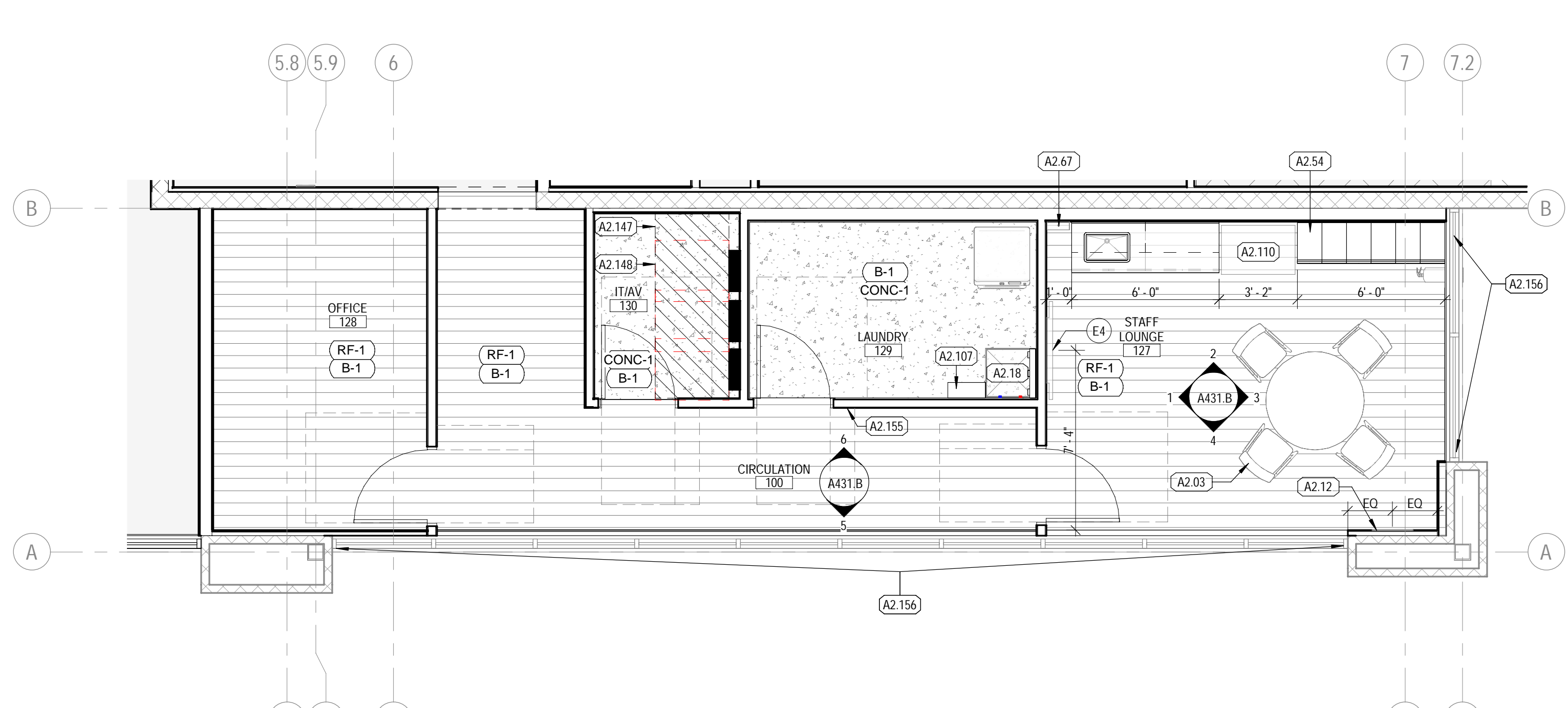
2 HYDRO & TANNING REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



1 HYDRO & TANNING FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 STAFF LOUNGE REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"



4 STAFF LOUNGE FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'. COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A601 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENNISHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**FINISH LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PART	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

**FINISH SYMBOL LEGEND**

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

	CONCRETE		2' X 2' TILE		12' X 24' TILE		ARTIFICIAL TURF
	RUBBER		3' X 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' X 4' TILE		WOOD FINISH		FRP
	LUXURY VINYL TILE		4' X 12' TILE		WOOD PANELING		SLAT WALL
	4' X 16' TILE		4' X 16' TILE		RESILIENT SHEET		PLYWOOD

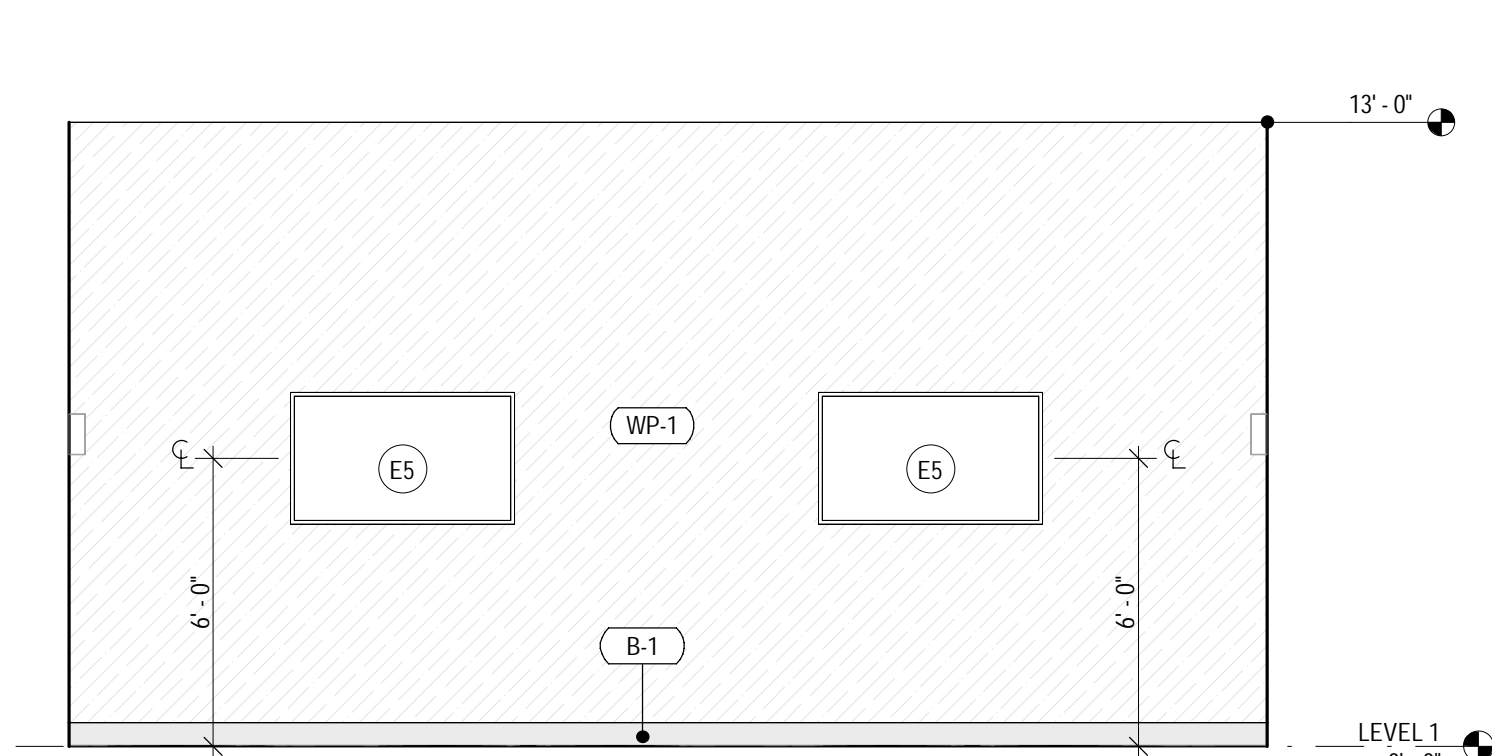
**KEYNOTES**

TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.03	FURNITURE SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION	
A2.08	SIGNAGE WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT	
A2.11	MIRROR: 24"X36" B-290.2A30; BY CONTRACTOR	
A2.25	SINK: CHILD HEIGHT, MOUNTED AT 28" AFFD; REF: PLUMBING PLANS	
A2.85	SANITARY WIPE DISPENSERS	
A2.108	TANNING BED: COORDINATE EXHAUST LOCATION TO BE DIRECTLY ABOVE TANNING BED.	

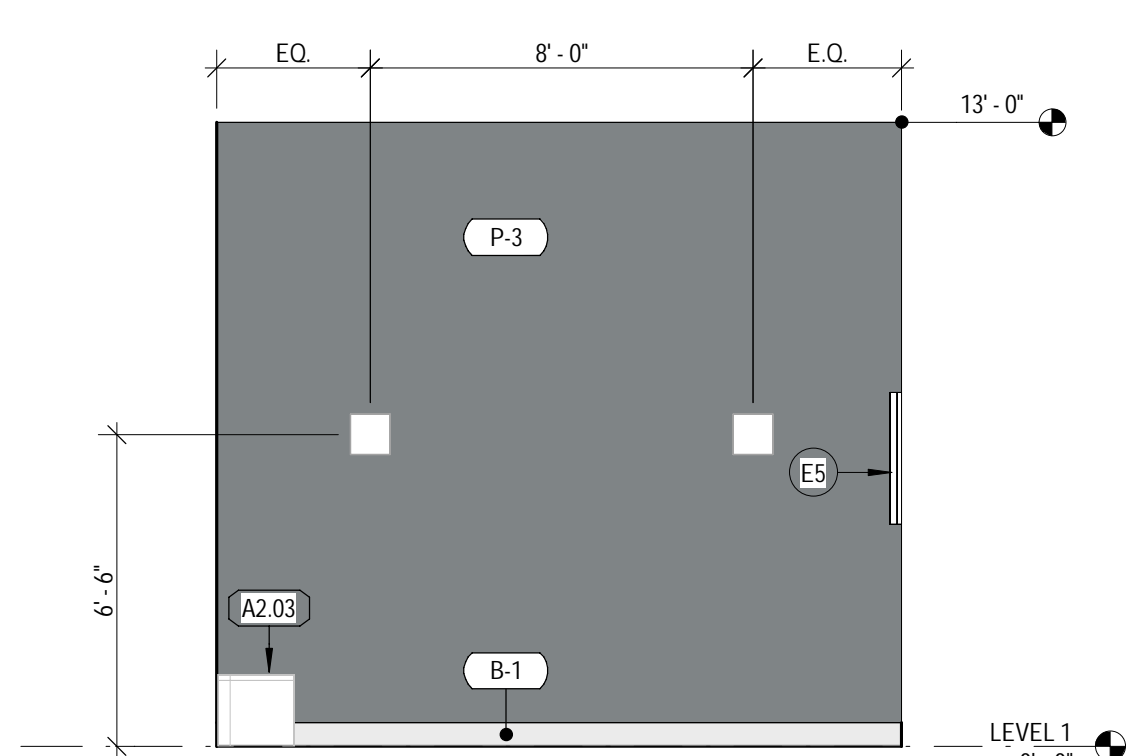
**EQUIPMENT - TELEVISION SCHEDULE**

\*REFERENCE G002 RESPONSIBILITY SCHEDULE

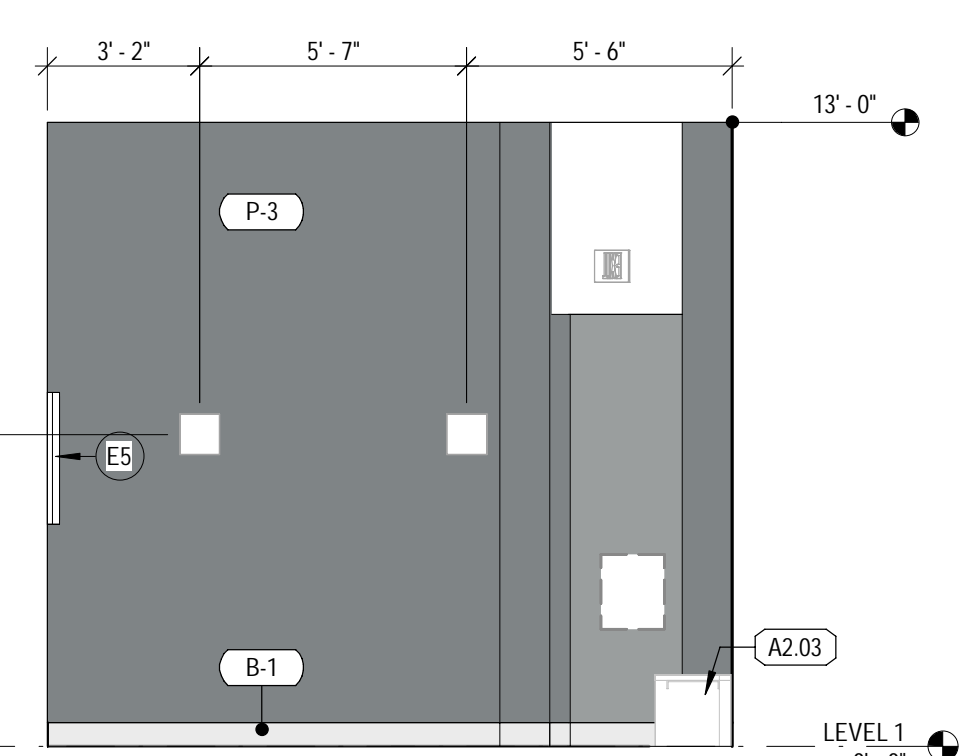
TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
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E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING



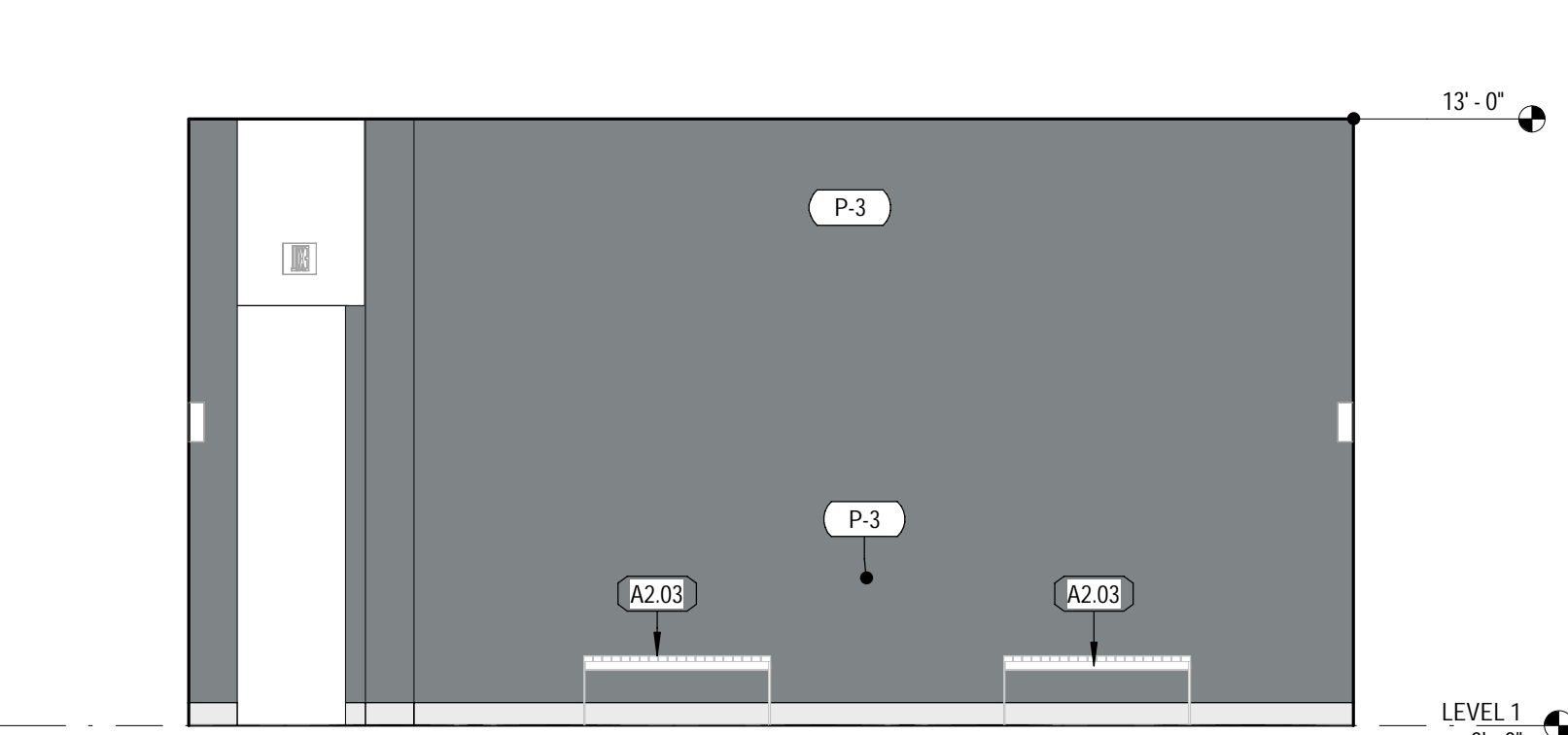
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SCALE: 1/4" = 1'-0"



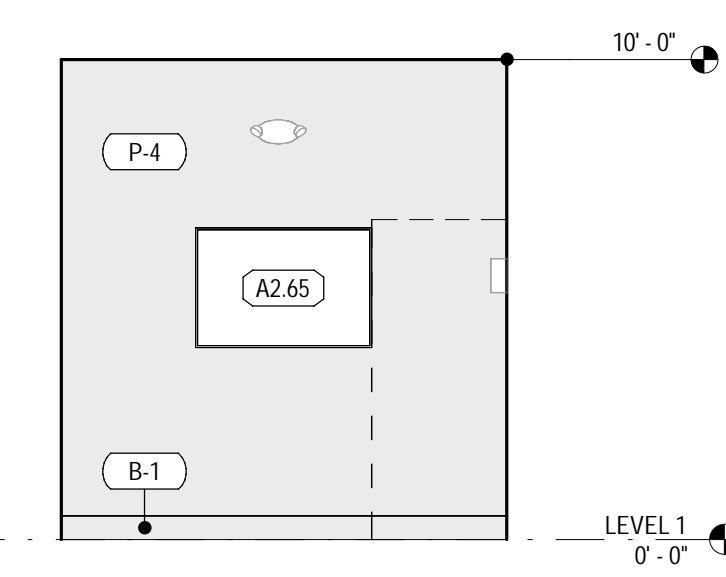
11 HYDRO PLAN NORTH  
SCALE: 1/4" = 1'-0"



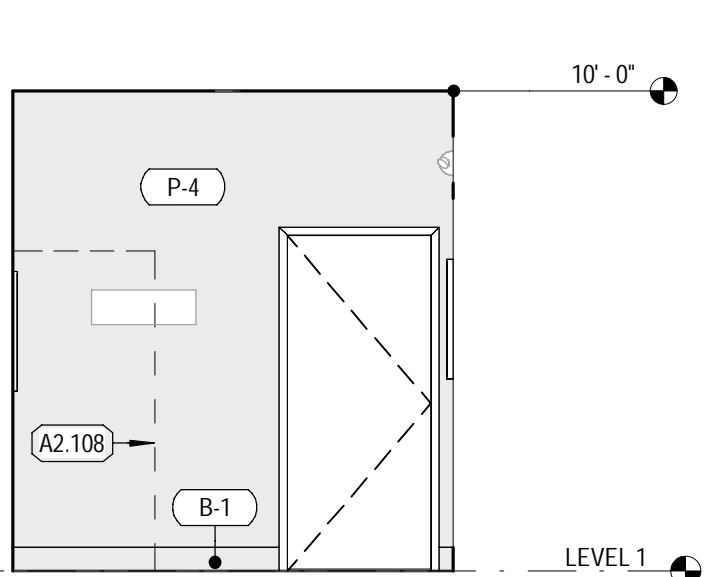
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SCALE: 1/4" = 1'-0"



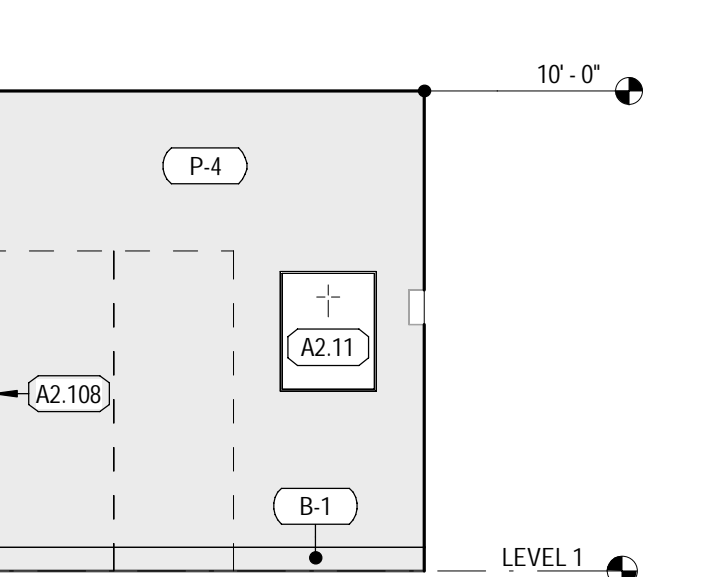
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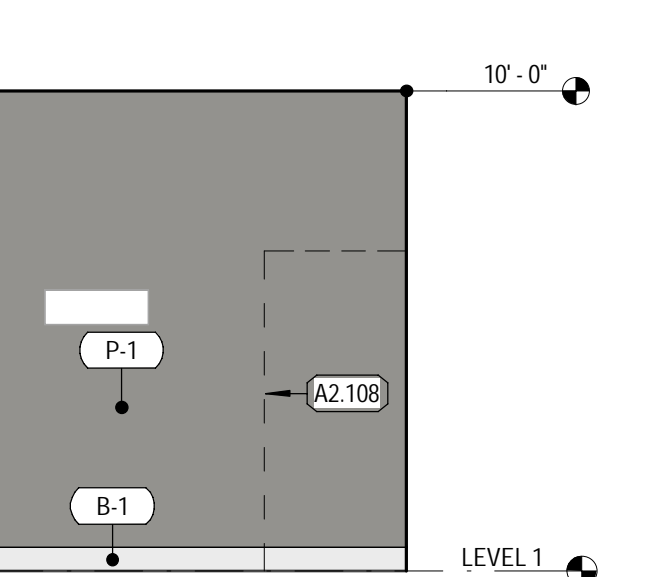
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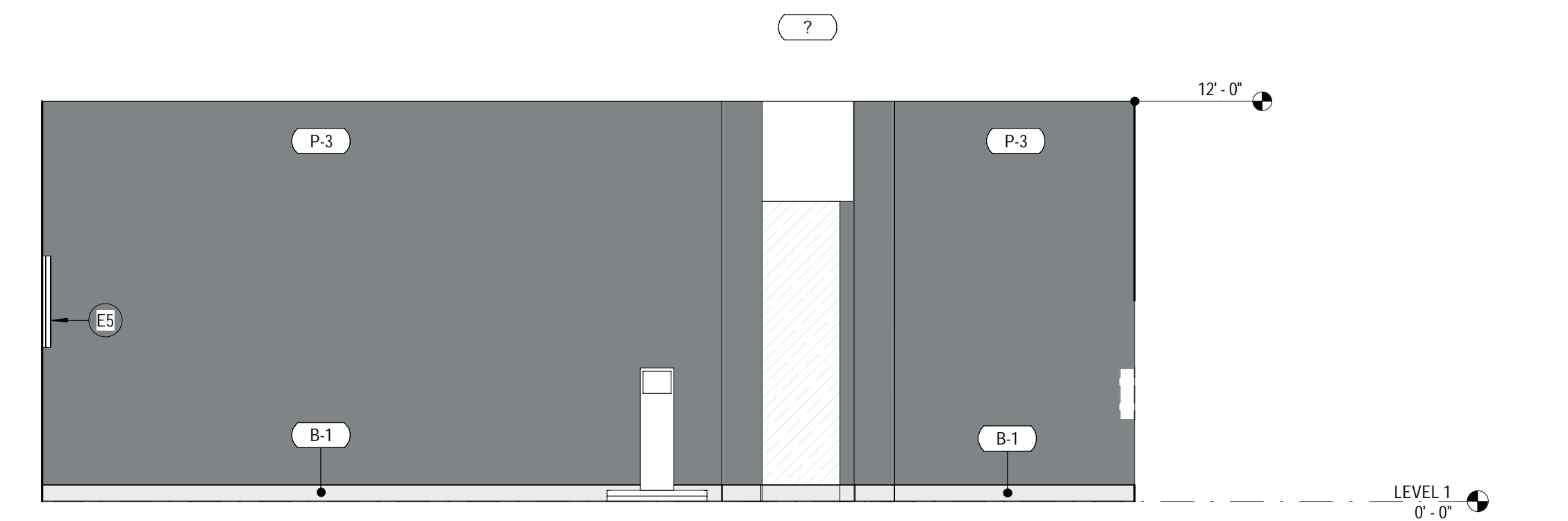
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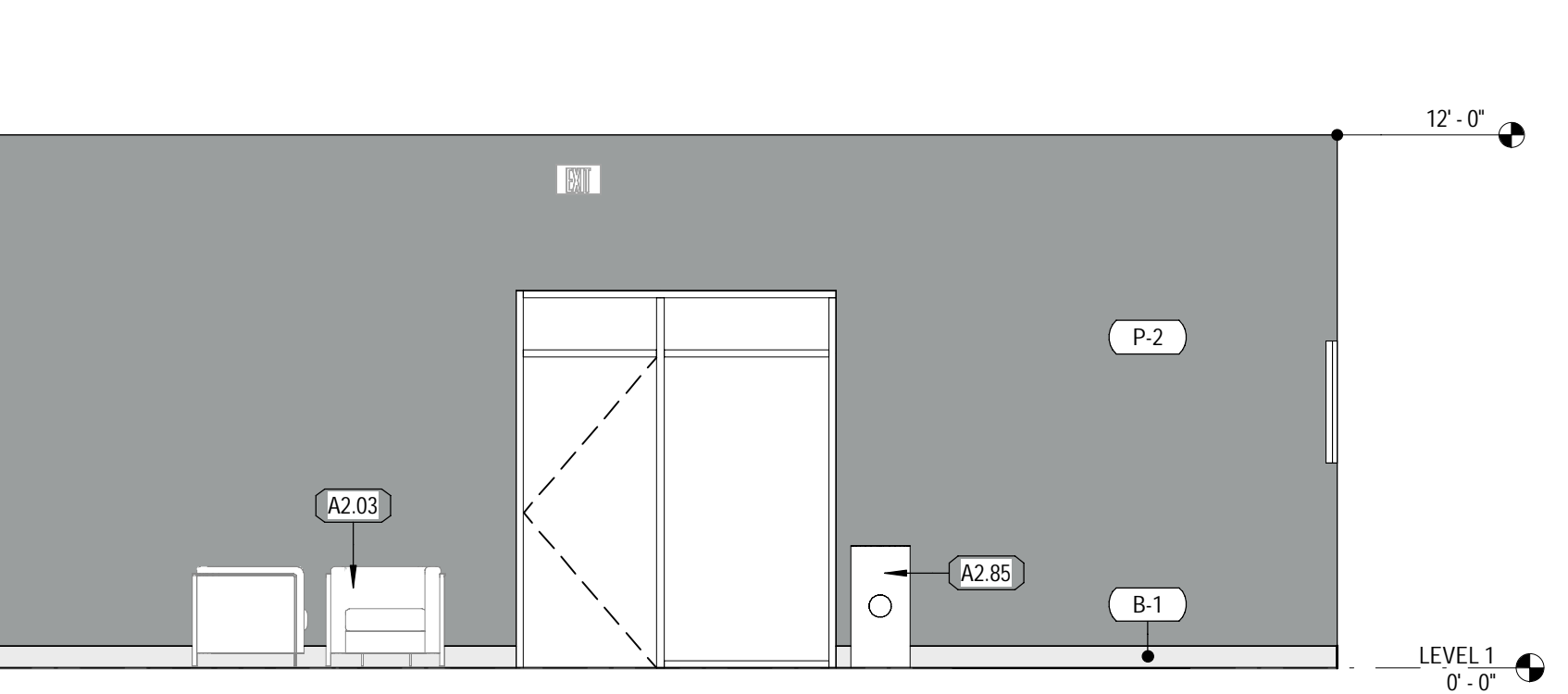
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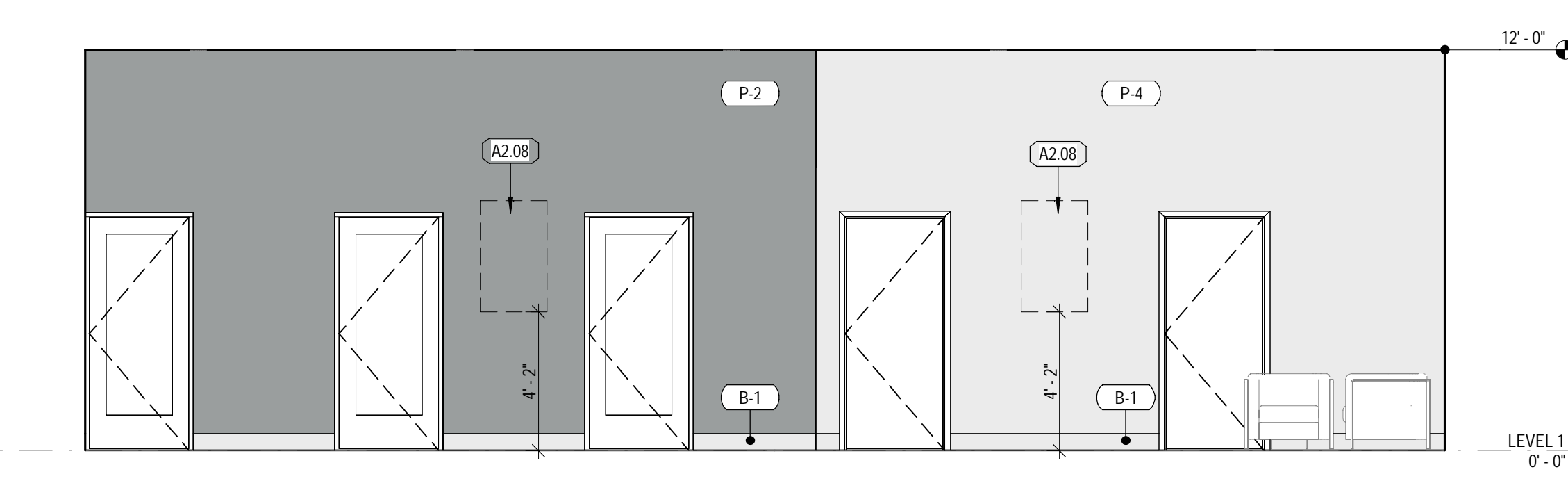
5 TANNING PLAN SOUTH  
SCALE: 1/4" = 1'-0"



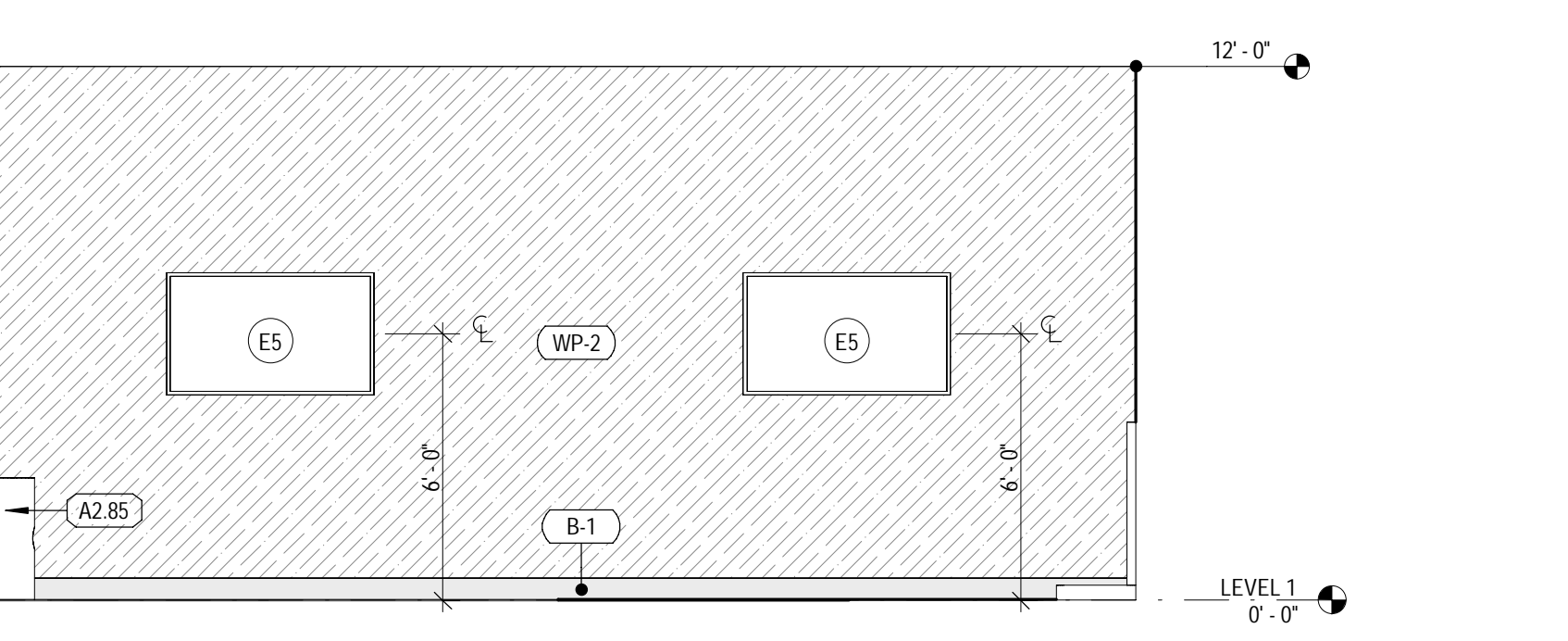
4 RECOVERY PLAN EAST  
SCALE: 1/4" = 1'-0"



3 RECOVERY PLAN WEST  
SCALE: 1/4" = 1'-0"



2 RECOVERY PLAN SOUTH  
SCALE: 1/4" = 1'-0"



1 RECOVERY PLAN NORTH  
SCALE: 1/4" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No.	21603901A
Drawn By:	MG2
Checked By:	MG2

HYDRO/ TANNING/ RECOVERY ELEVATIONS

**A431.A**

**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'. COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A610 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENNSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**FINISH LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CCNC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

**FINISH SYMBOL LEGEND**

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

	CONCRETE		2' X 2' TILE		12' X 24' TILE		ARTIFICIAL TURF
	RUBBER		3' X 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' X 4' TILE		WOOD FINISH		FRP
	LUXURY VINYL TILE		4' X 12' TILE		WOOD PANELING		SLAT WALL
	4' X 16' TILE		4' X 16' TILE		RESILIENT SHEET		PLYWOOD

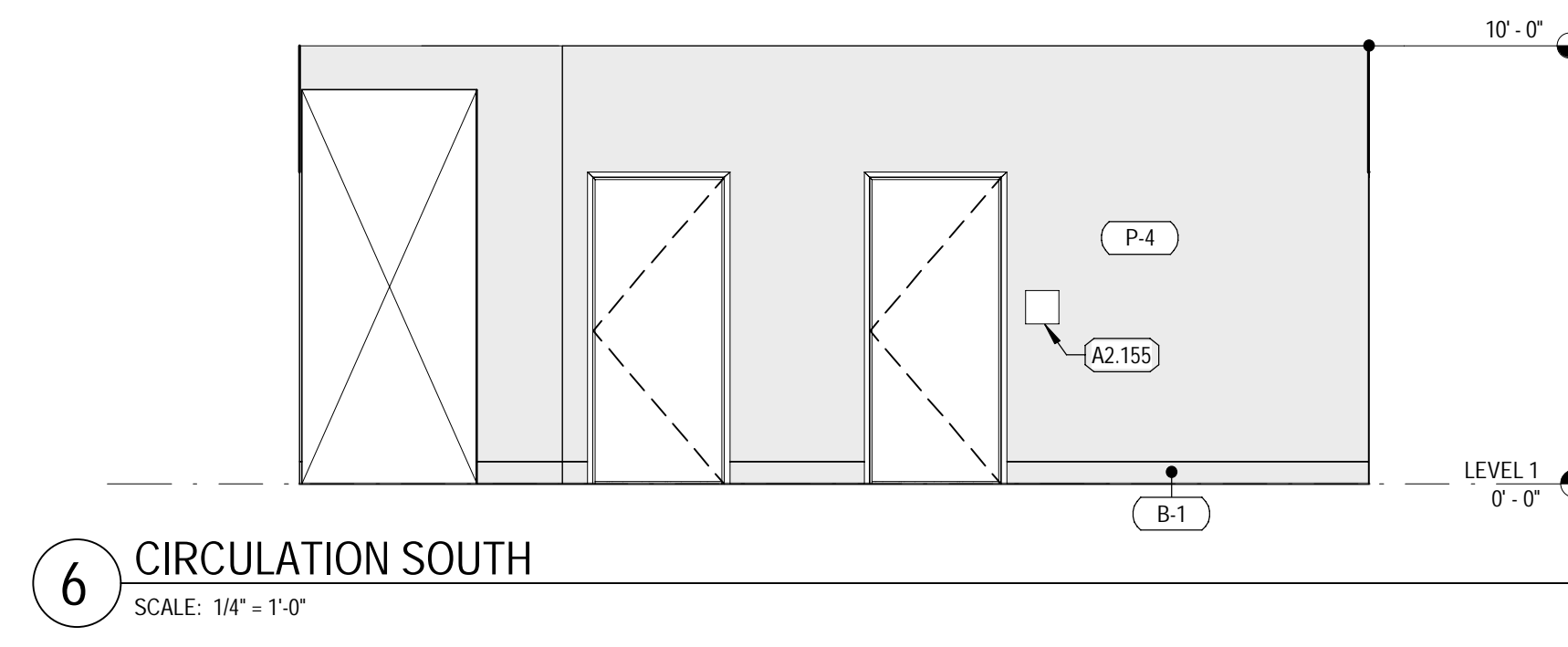
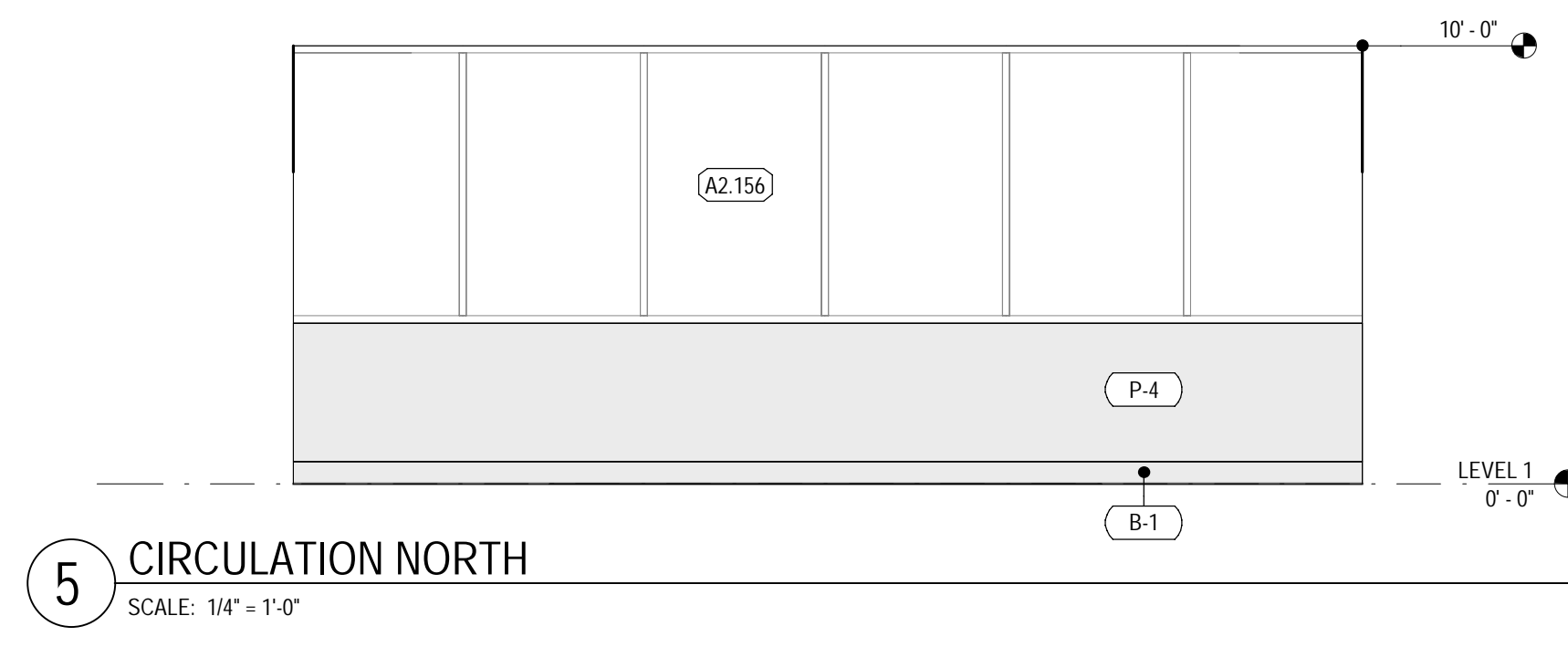
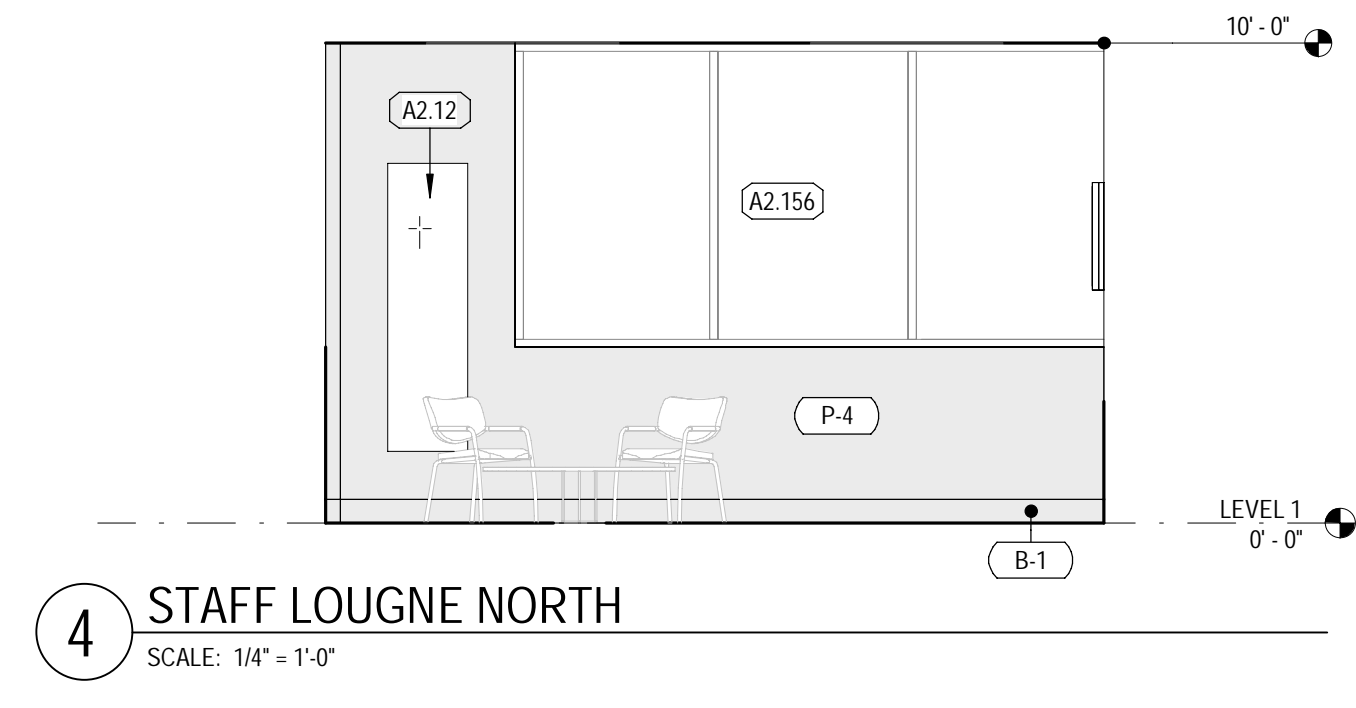
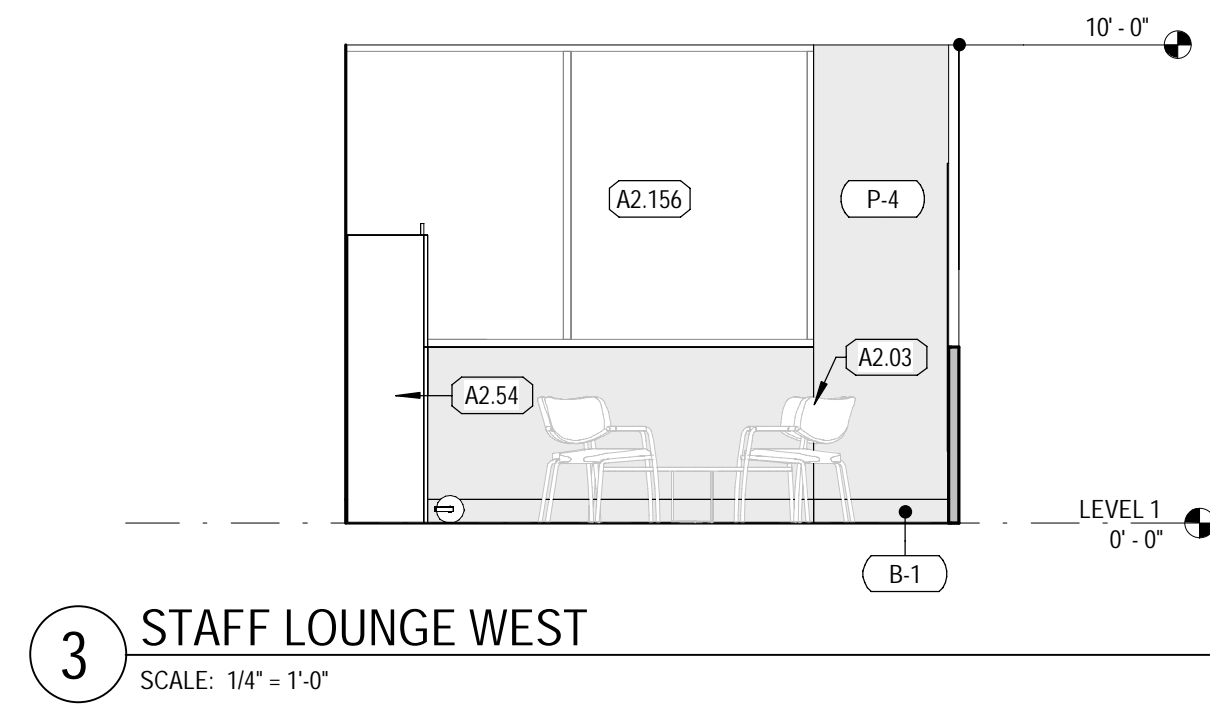
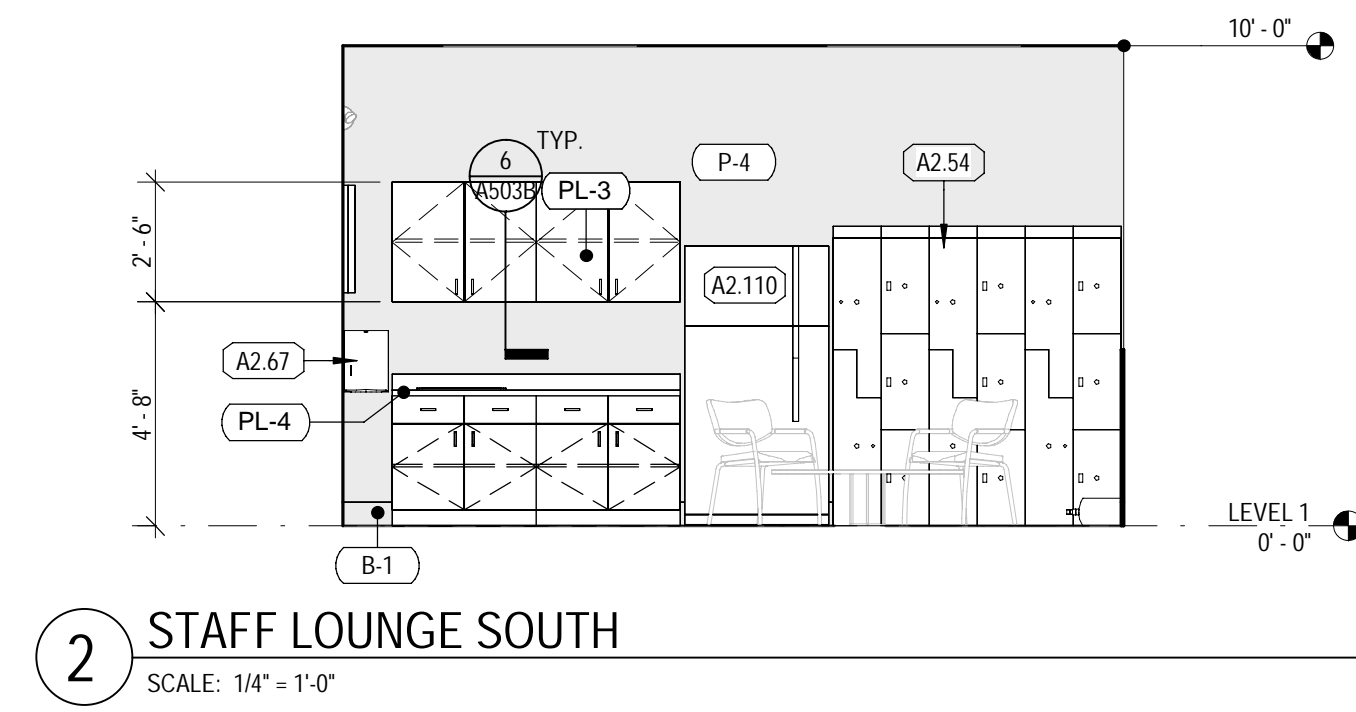
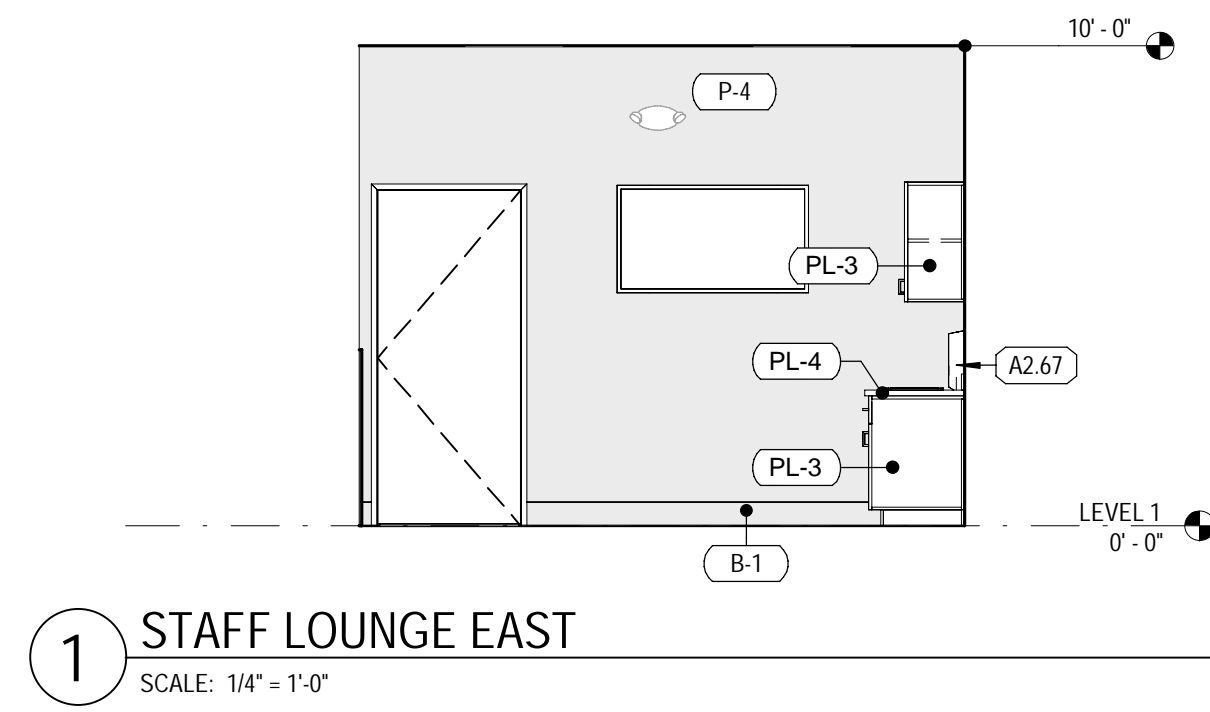
**KEYNOTES**

TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.03	FURNITURE SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION	
A2.12	MIRROR: 24"X12", FRAMED, B-290, 24"X12	
A2.54	LOCKERS, G.C. TO VERIFY EXACT LOCATION AND QUANTITY WITH CHUZE: DAY LOCKERS: 2-TIER & 4-TIER, 12'X18'X48"; LOCKER ROOMS: 2-TIER & 3-TIER, 12'X18'X72"; POOL LOCKERS: 5-TIER, 12'X12'X60"; STAFF LOUNGE: 2-TIER & 3-TIER, 12'X18'X72"	
A2.67	PAPER TOWEL DISPENSER	
A2.110	REFRIGERATOR: FRIGIDARE 18 CU. FT. TOP FREEZER REFRIGERATOR IN BLACK, MODEL #FFTR1814TB	
A2.155	ADA WALL SIGN, SEE G004, & G005	
A2.156	EXISTING STOREFRONT GLAZING TO BE REPLACED WITH 1" INSULATED GLASS.	

**EQUIPMENT - TELEVISION SCHEDULE**

REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A503G FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING



COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE., SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25%	SUBMITTAL
01/05/22	75%	SUBMITTAL
01/14/22	PERMIT	SET
01/31/22	100%	SUBMITTAL
03/11/22	PERMIT	SET

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

HYDRO/ TANNING/ RECOVERY  
ELEVATIONS

A431.B

FLOOR PLAN GENERAL NOTES

- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOW DRAWING REVIEW PRIOR TO FABRICATION.
- VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 42" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE RACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
- INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU.
- PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY VENTS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
- REF: SHEET A301 FOR WALL DETAILS AND TYPE DESIGNATIONS.
- PROVIDE FIRE EXTINGUISHERS AND KNOK BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
- FIRE STOPPING MATERIAL FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR & WINDOWS ARE TAGGED ON SHEET A101. REF: SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' A.F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN. TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER, TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS REF: SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHISEL DESIGNATED VENDOR TO COMPLETE TESTING. REF: REQUIRED VENDOR SCHEDULE.
- REF: TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING TYP.
- REFER TO RESPONSIBILITY SCHEDULE ON SHEET G003 FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

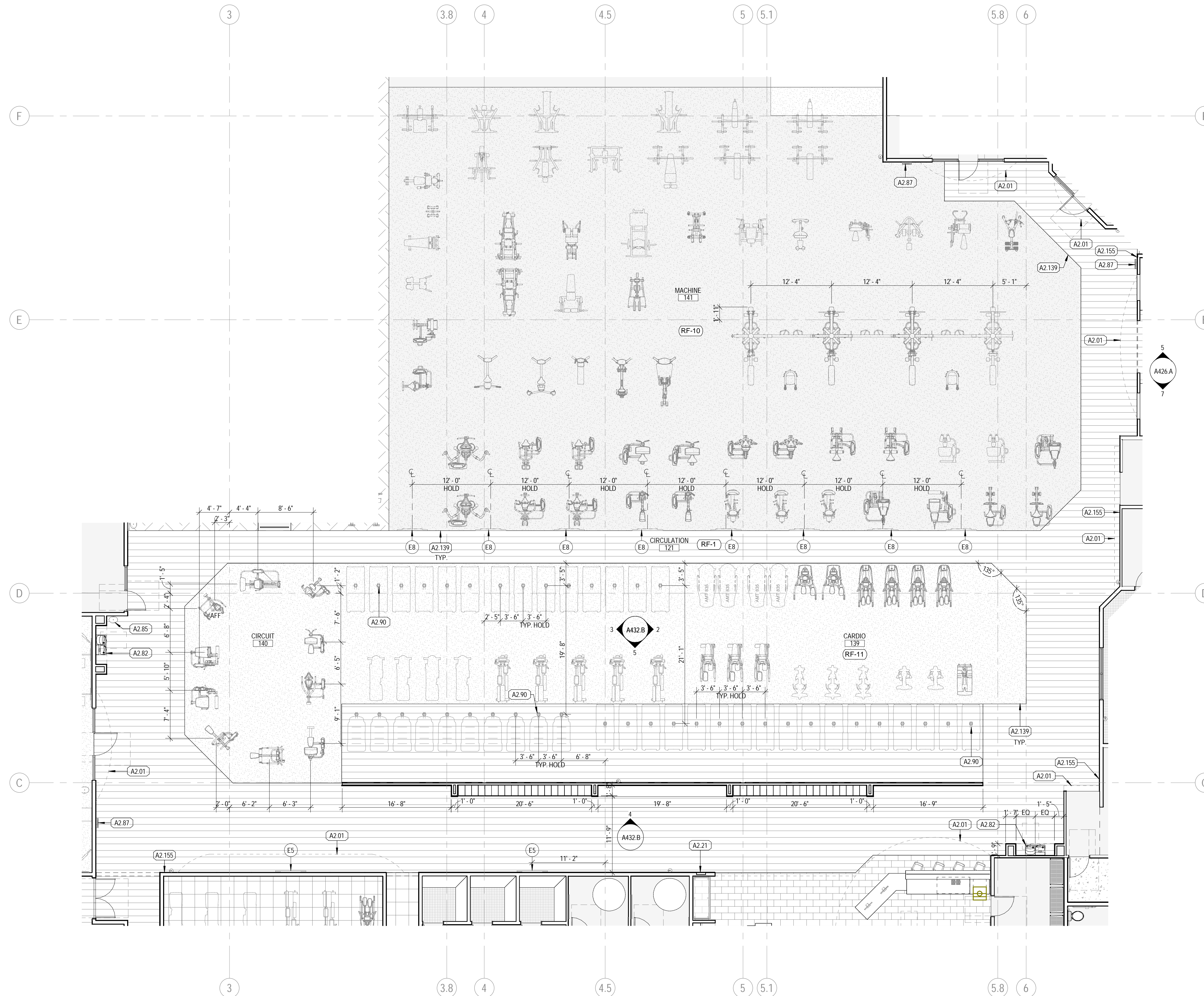
KEYNOTES

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.01	DASHED LINE INDICATES SOFFIT AND/OR HEADER ABOVE. REF: REFLECTED CEILING PLAN
A2.21	AED MACHINE, RECESSED 6" IN WALL MOUNT SO THAT CABINET DOES NOT STRADDLE FINISHES. REFER TO THE ACCESSIBILITY MOUNTING HEIGHTS (G004) FOR MOUNTING REQUIREMENTS. REF: SPECS FOR CABINET
A2.82	HILLOW ADA DRINKING FOUNTAIN WITH BOTTLE FILLER. REF: PLUMBING PLANS
A2.85	SANITARY WIPE DISPENSERS
A2.87	17.5W X 31.2H KIOSK MOUNTED AT TOP AT 48" AFF AND BOTTOM AT 17" AFF. PROVIDE 2"x12" BACKING. REF: ELECTRICAL PLANS
A2.90	PROVIDE POWER TO EQUIPMENT. REF: ELECTRICAL PLANS
A2.139	LINE OF FLOORING MATERIAL TRANSITION. REF: FINISH PLAN FOR DIMENSIONS
A2.155	ADA WALL SIGN. SEE G004, & G005

EQUIPMENT - TELEVISION SCHEDULE

\*REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A503C FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING



1 MACHINES & CARDIO FLOOR PLAN  
SCALE: 1/8" = 1'-0"



COORS & CENTRAL - CHUZE ALBUQUERQUE  
6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

MACHINES/CARDIO/CIRCUIT  
FLOOR PLAN

A432

**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED, REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENSISHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**FINISH LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

- |      |                    |    |                   |
|------|--------------------|----|-------------------|
| B    | BASE               | SP | SHOWER PARTITIONS |
| CONC | CONCRETE           | SS | SOLID SURFACE     |
| CPT  | CARPET             | T  | TILE              |
| P    | PAINT              | TF | TURF              |
| PL   | PLASTIC LAMINATE   | TP | TOILET PARTITIONS |
| RF   | RESILIENT FLOORING | WD | WOOD              |
|      |                    | WP | WALL PROTECTION   |

**FINISH SYMBOL LEGEND**

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

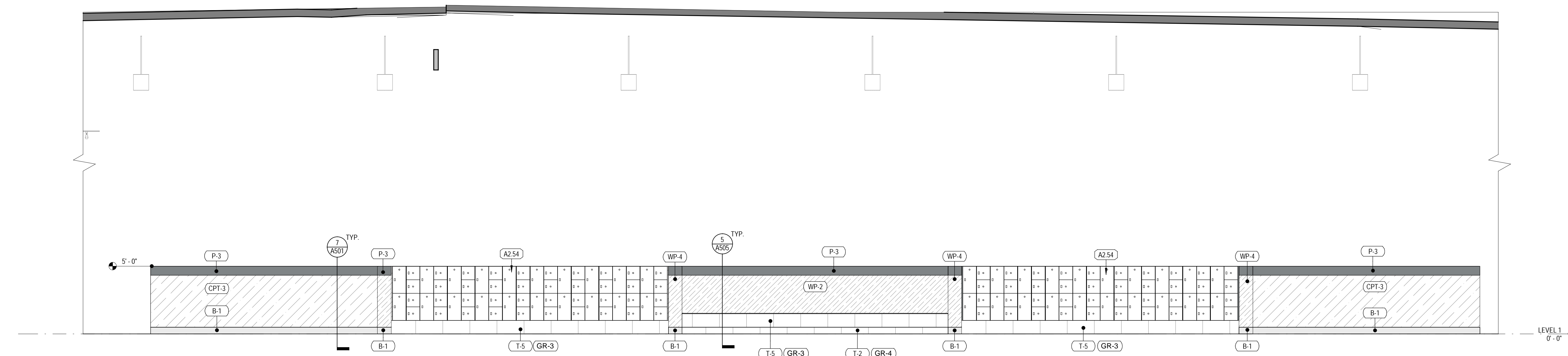
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|----------|-------------------|----------|--------------|----------|-----------------|----------|-----------------|
| [Symbol] | CONCRETE          | [Symbol] | 2" X 2" TILE | [Symbol] | 12"x24" TILE    | [Symbol] | ARTIFICIAL TURF |
| [Symbol] | RUBBER            | [Symbol] | 3"x3" TILE   | [Symbol] | WALL COVERING   | [Symbol] | CARPET TILE     |
| [Symbol] | VINYL SHEET ROLL  | [Symbol] | 4" x 4" TILE | [Symbol] | WOOD FINISH     | [Symbol] | FRP             |
| [Symbol] | LUXURY VINYL TILE | [Symbol] | 4"x12" TILE  | [Symbol] | WOOD PANELING   | [Symbol] | SLAT WALL       |
| [Symbol] | 4"x16" TILE       | [Symbol] | 4"x16" TILE  | [Symbol] | RESILIENT SHEET | [Symbol] | PLYWOOD         |

**KEYNOTES**

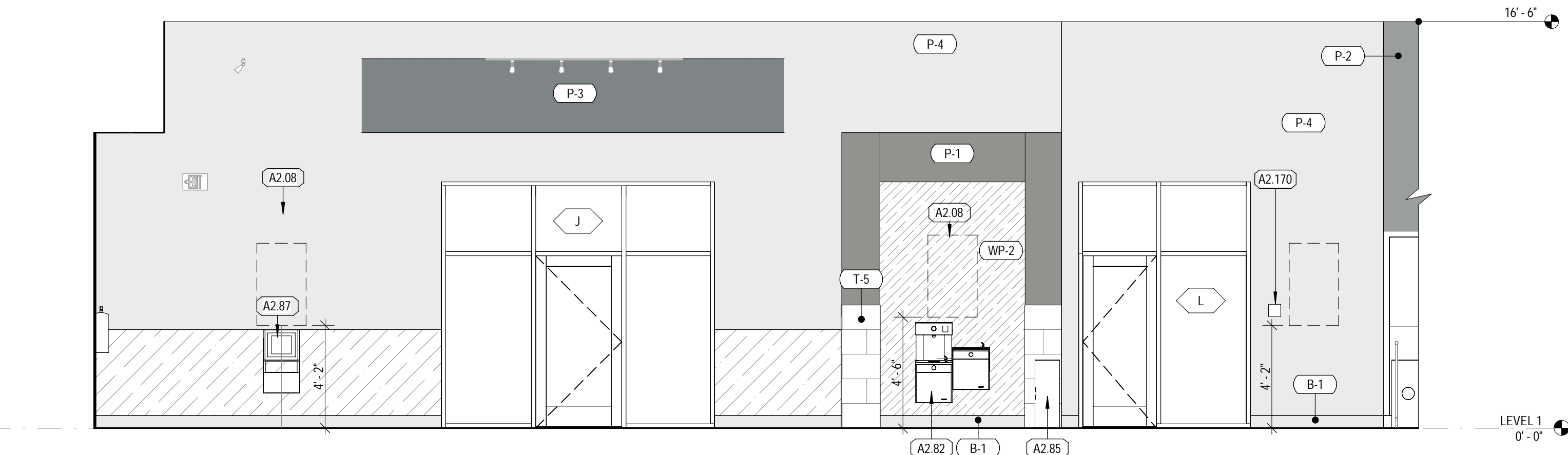
TAG	KEYNOTE REF.	RESPONSIBILITY SCHEDULE
A2.08	SIGNAGE, WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT	
A2.54	LOCKERS, G.C. TO VERIFY EXACT LOCATION AND QUANTITY WITH CHUZE: DAY LOCKERS: 2-TIER & 4-TIER; 12'X18'X6" LOCKER ROOMS: 2-TIER & 3-TIER; 12'X18'X7" POOL LOCKERS: 5-TIER, 12'X12'X60" STAFF LOUNGE: 2-TIER & 3-TIER, 12'X18'X7"	
A2.82	HILOW ADA DRINKING FOUNTAIN WITH BOTTLE FILLER, REF: PLUMBING PLANS	
A2.85	SANITARY WIPE DISPENSERS	
A2.87	17.5"W X 31.25"H KIOSK, MOUNTED AT TOP AT 48" AFF AND BOTTOM AT 17" AFF, PROVIDE 2"X12" BACKING, REF: ELECTRICAL PLANS	
A2.155	ADA WALL SIGN, SEE G004, & G005	
A2.170	ACCESS SCANNER	

**EQUIPMENT - TELEVISION SCHEDULE**

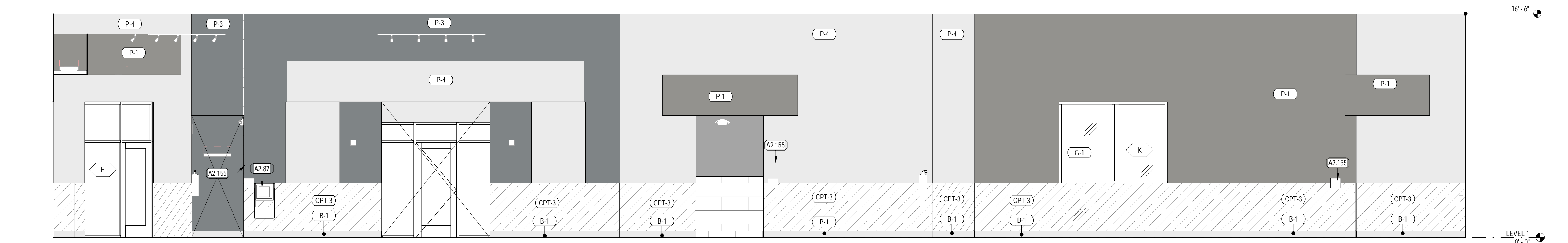
TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A503C FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING



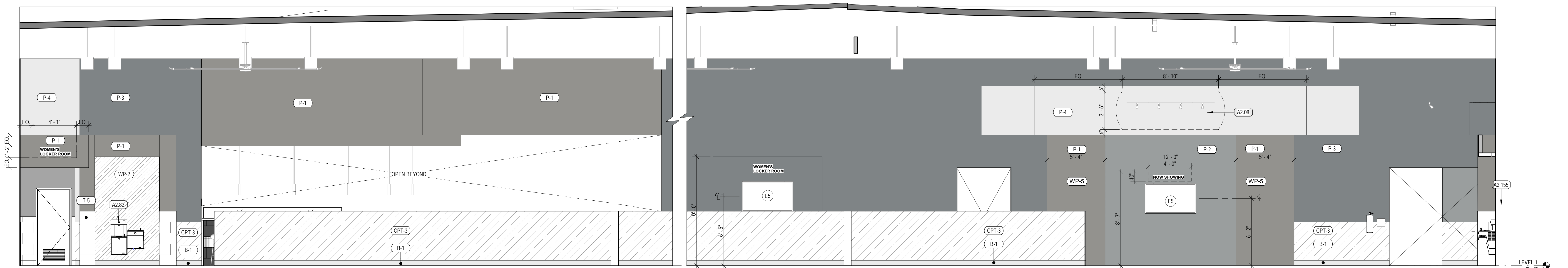
**4** **CARDIO LOW WALL SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3** **MACHINES AND CARDIO EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2** **MACHINES AND CARDIO WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

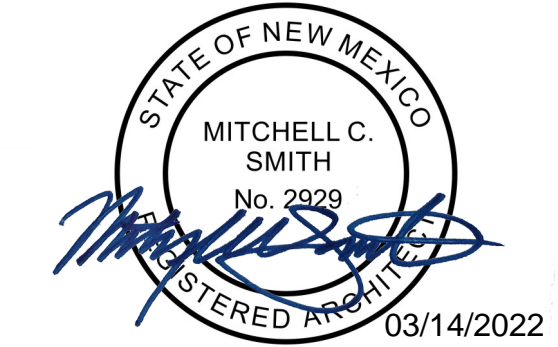


**1** **MACHINES AND CARDIO NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No.	21603901A
Drawn By:	MG2
Checked By:	MG2

MACHINES/CARDIO/CIRCUIT ELEVATIONS



Mitchell C. Smith, Architect  
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**EQUIPMENT - TELEVISION SCHEDULE**

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DSS08, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DSS08, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
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E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET ASSOC FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

**FLOOR PLAN GENERAL NOTES**

- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
- VERIFY SIZE AND LOCATION OF ALL OPENINGS FOR MECHANICAL EQUIPMENT AND WORK WITH CONTRACTORS INVOLVED.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF WORK AND EQUIPMENT FURNISHED BY OWNER WITH THE MANUFACTURER OR SUPPLIER PRIOR TO COMMENCING CONSTRUCTION ON WORK PERTAINING TO THE SAME.
- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 4" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARRELL STORAGE RACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
- INSTALL PRESSURE TREATED WOOD AT ALL EXTERIOR WOOD BLOCKING OR BLOCKING FASTENED TO CMU. PROVIDE BLOCKING/BACKING AS REQUIRED FOR INSTALLATION OF ALL AIR CONDITIONING EQUIPMENT, EXHAUST AND SUPPLY FANS, HVAC AND REFRIGERATION EQUIPMENT CURBS.
- REF: SHEET A401 FOR WALL DETAILS AND TYPE DESIGNATIONS.
- PROVIDE FIRE EXTINGUISHERS AND KNOX BOX AS REQUIRED BY GOVERNING JURISDICTION. VERIFY ALL LOCATIONS WITH FIRE DEPARTMENT AND OWNER PRIOR TO INSTALLATION.
- FIRE STOPPING MATERIAL FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUS.
- THE GENERAL CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK ON A DAILY BASIS. AT THE COMPLETION OF THE WORK CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF: A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR & WINDOWS ARE TAGGED ON SHEET A101. REF: SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 1/2" THICK SOLID SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8' & F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN, TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF: A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS. REF: SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF: SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO ORDER SLAB MOISTURE TESTING PER SPECIFICATION MANUAL. TO ENSURE SLAB MEETS LEVELS REQUIRED BY VARIOUS FLOORING MANUFACTURERS. GENERAL CONTRACTOR MUST USE CHUZE DESIGNATED VENDOR TO COMPLETE TESTING. REF: REQUIRED VENDOR SCHEDULE.
- REF TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING TYP.
- REF TO RESPONSIBILITY SCHEDULE ON SHEETS FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.)
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER (U.N.O.)
- DOOR CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRESMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) E 814.
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & PROVIDE DENSSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**FINISH LEGEND** REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PART	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

**FINISH SYMBOL LEGEND** REF: A610 FOR MATERIAL AND FINISH SCHEDULE

	CONCRETE		2' X 2' TILE		12' X 24' TILE		ARTIFICIAL TURF
	RUBBER		3' X 3' TILE		WALL COVERING		CARPET TILE
	VINYL SHEET ROLL		4' X 4' TILE		WOOD FINISH		FRP
	LUXURY VINYL TILE		4' X 12' TILE		WOOD PANELING		SLAT WALL
	4' X 16' TILE		4' X 16' TILE		RESILIENT SHEET		PLYWOOD

**KEYNOTES**

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.08	SIGNAGE WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT
A2.10	MIRROR WITH 6" ALDER TRIM. PROVIDE BACKING. MIRRORS SHOULD BE BETWEEN 7'-0" & 8'-0". REF: ELEVATIONS FOR SIZES. REF: SPECS
A2.85	SANITARY WIPE DISPENSERS
A2.105	8' O/H PLYWOOD WITH 3" ALDER TRIM. LIT ABOVE. PROVIDE BACKING
A2.147	PROVIDE YELLOW STRIPING 30" IN FRONT OF ELECTRICAL PANELS
A2.148	PROVIDE PREFABRICATED ADHESIVE LETTERING FROM SIGNAGE VENDOR ON CONTRASTING BACKGROUND KEEP AREA CLEAR AT ALL TIMES. SIGNAGE INSTALLER TO PROVIDE ONE SIGN PER STRIPED FLOOR AREA AND INSTALL AFTER PAINT STRIPING IS COMPLETED. PROVIDE SIGN EXAMPLE TO CHUZE PROJECT COORDINATOR FOR APPROVAL
A2.158	WALL MARK BY CHUZE VENDOR SHOWN FOR GRAPHIC REPRESENTATION AND COORDINATION
A2.161	ROOF HATCH LADDER
A5.12	INFILL EXISTING OVERHEAD DOOR OPENINGS TO MATCH ADJACENT CONSTRUCTION MATERIALS AND FINISHES.

COORS & CENTRAL - CHUZE ALBUQUERQUE

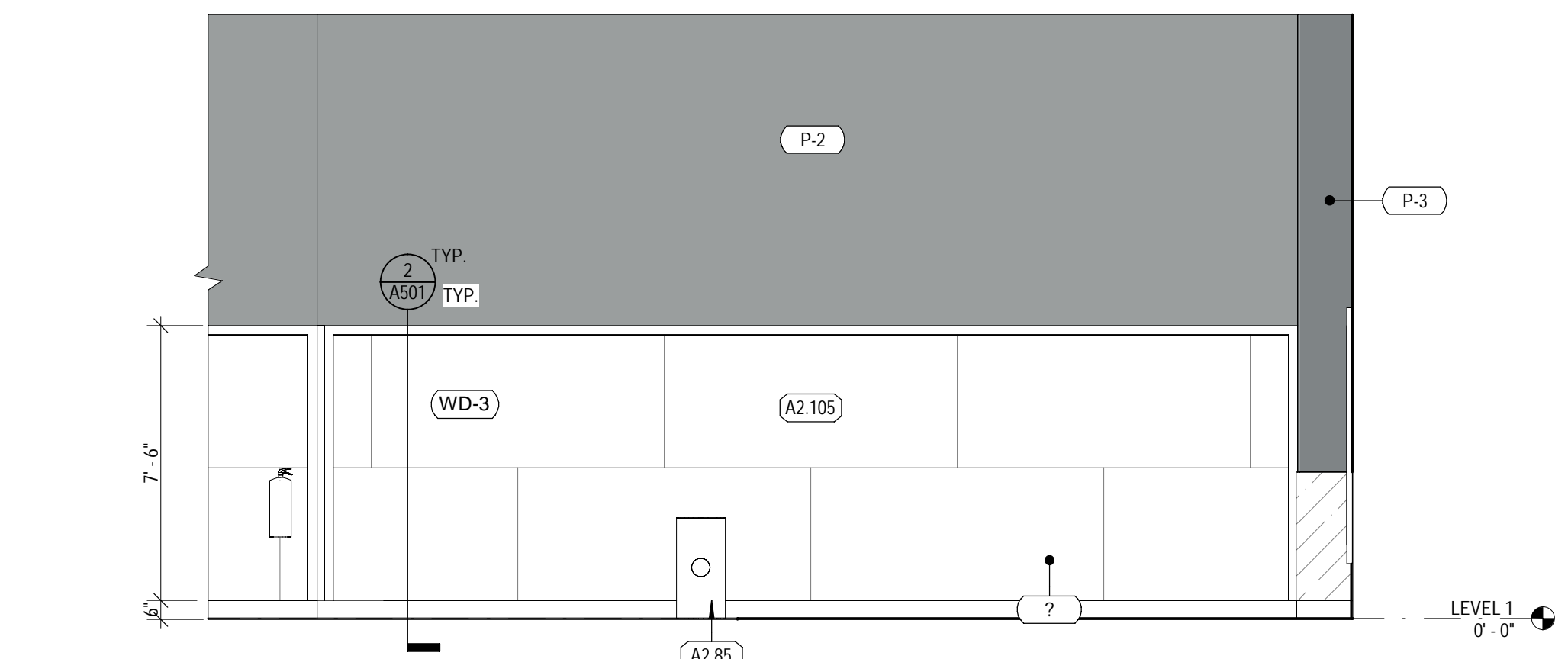
6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
	12/17/21	25% SUBMITTAL
	01/05/22	75% SUBMITTAL
	01/14/22	PERMIT SET
	01/31/22	100% SUBMITTAL
	03/11/22	PERMIT SET

Project No: 21603901A  
Drawn By: MG2  
Checked By: MG2

WEIGHTS FLOOR PLAN & ELEVATIONS

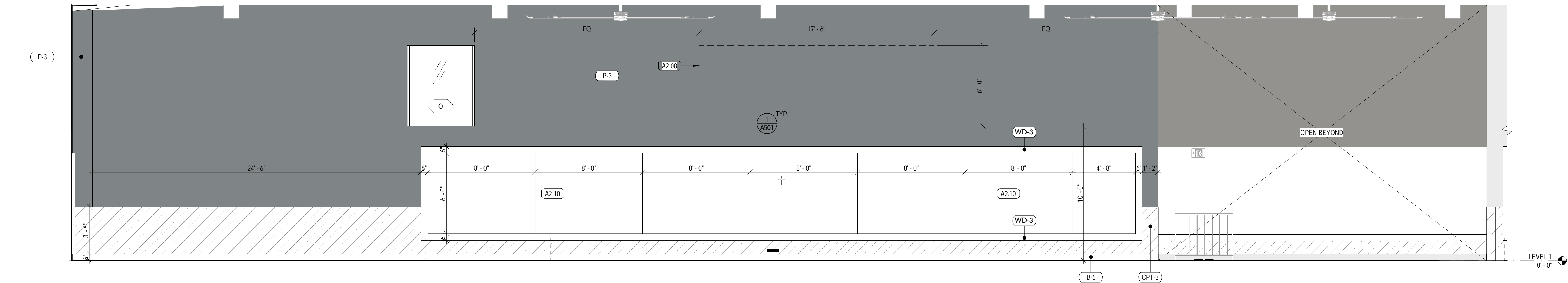
**A433**



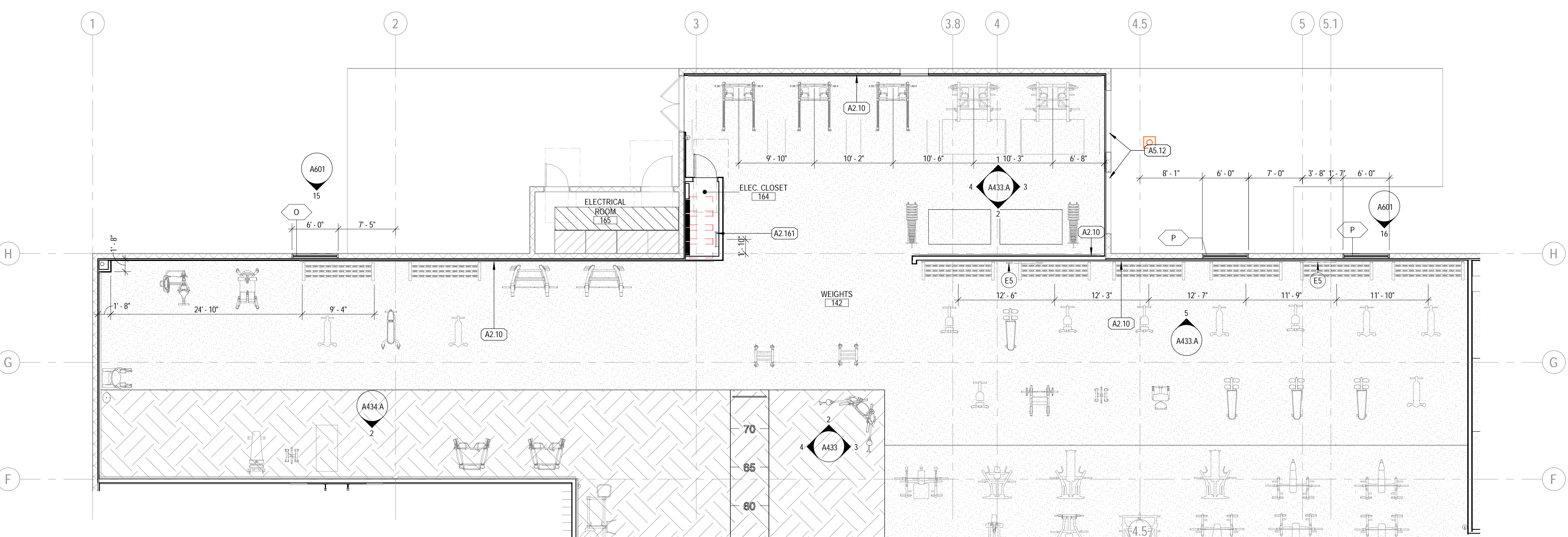
**4 WEIGHTS PLAN EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 WEIGHTS PLAN WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 WEIGHTS PLAN NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEIGHTS FLOOR PLAN**  
SCALE: 1/8" = 1'-0"





**FLOOR PLAN GENERAL NOTES**

- A CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THIS WORK.
- U.N.O. DIMENSIONS FOR ALL NEW WORK (INTERIOR) ARE MEASURED FROM FACE OF STUD TO FACE OF STUD. DIMENSIONS REFERRING TO EXISTING WORK ARE MEASURED FROM FACE OF EXISTING FINISH.
- EXTERIOR DIMENSIONS ARE GIVEN FROM FACE OF EXISTING WALL, FACE OF NEW STUD FRAMING AND/OR TO FACE OF NEW MASONRY WALL, U.N.O. WHERE APPLICABLE.
- IN THE EVENT OF AN OMITTED NECESSARY DIMENSION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OR ENGINEER.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- MILLWORK DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE VERIFIED WITH FIELD CONDITIONS AND THROUGH SHOP DRAWING REVIEW PRIOR TO FABRICATION.
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- SLOPE FLOOR TOWARD DRAIN 2% WHERE FLOOR DRAINS ARE PROVIDED.
- INSTALL FIRE RETARDANT TREATED (AS REQUIRED) 2x6 SOLID WOOD BLOCKING AT ALL LOCATIONS W/ WALL MOUNTED EQUIPMENT INCLUDING LOCKERS AND ALL MIRROR LOCATIONS. PROVIDE PLYWOOD IN LIEU OF SHEETROCK TO 4" AFF AT PERIMETER WALLS AT MAIN GYM FLOOR ADJACENT TO BARBELL STORAGE RACKS AND FREE WEIGHT MACHINES. INSTALL SAME AT ALL WALLS IN THE TEAM TRAINING ROOM EXCEPT THE TREADMILL WALL. INSTALL SAME AT REAR WALL IN THE GROUP X ROOM. FOLLOW MANUFACTURER REQUIREMENTS FOR ALL BLOCKING AND HARDWARE. REF TO DETAILS FOR MORE SPECIFIC REQUIREMENTS BEHIND CERTAIN WALL MOUNTED EQUIPMENT.
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- REF. SHEET A401 FOR WALL DETAILS AND TYPE DESIGNATIONS.
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- EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED BY DAMAGE OR TO PROVIDE A SMOOTH AND UNIFORM SURFACE FOR THE APPLICATION OF NEW FINISHES.
- ALL INTERIOR HOLLOW METAL DOOR FRAMES SHALL BE PAINTED UNLESS OTHERWISE NOTED. REF. A610 FOR COLOR.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF OF THE CORNER UNLESS NOTED OTHERWISE.
- DOOR & WINDOWS ARE TAGGED ON SHEET A101. REF. SHEET A601 FOR WINDOW AND DOOR SCHEDULES.
- PROVIDE 1/2" THICK SURFACE SILL AT INTERIOR WINDOWS WHERE CONDITIONS REQUIRE. DO NOT PROVIDE AT WINDOW SILLS OVER 8" A.F.F.
- EXISTING STRUCTURAL COLUMNS TO REMAIN, TYP. U.N.O.
- ALL INTERIOR AREAS WILL HAVE CORNER GUARDS ON ANY 90 DEG. AND 45 DEG. CORNER. TO ALIGN WITH TOP EDGE OF WAINSCOT. REF. A501 FOR DESIGN INTENT.
- ALL DOOR JAMBS IN KIDS CLUB AREAS WILL HAVE FINGER GUARDS REF. SHEET A601 FOR HARDWARE SCHEDULE.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL CONTROL JOINT LOCATIONS WITH OWNER PRIOR TO DRYWALL INSTALLATION. REF. SPECIFICATIONS, INTERIOR ELEVATIONS & RCP FOR ADDITIONAL INFORMATION.
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- REF. TO AND COORDINATE WITH THE REFLECTED CEILING PLAN FOR ADDITIONAL CONSTRUCTION ELEMENTS OVERHEAD.
- ALL STAIRS AND EQUIPMENT RISERS TO HAVE 2" CONTRASTING COLOR NOSING, TYP.
- REFER TO RESPONSIBILITY SCHEDULE ON SHEET G002 FOR ADDITIONAL INFORMATION.
- EXPOSED SURFACE ELECTRICAL CONDUITS, PLUMBING, UTILITIES, ETC ON WALL SHALL NOT BE PERMITTED IN CUSTOMER AREAS WITHOUT APPROVAL FROM CHUZE CONSTRUCTION MANAGER.

**INTERIOR ELEVATION GENERAL NOTES**

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- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF. SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF. SHEET A301 FOR WALL TYPES.
- REF. SHEET A400 FOR FINISH SCHEDULE.
- REF. SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF. SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS ADA & AMBULATORY BELOW THE ELEVATION.
- PROVIDE DENSSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

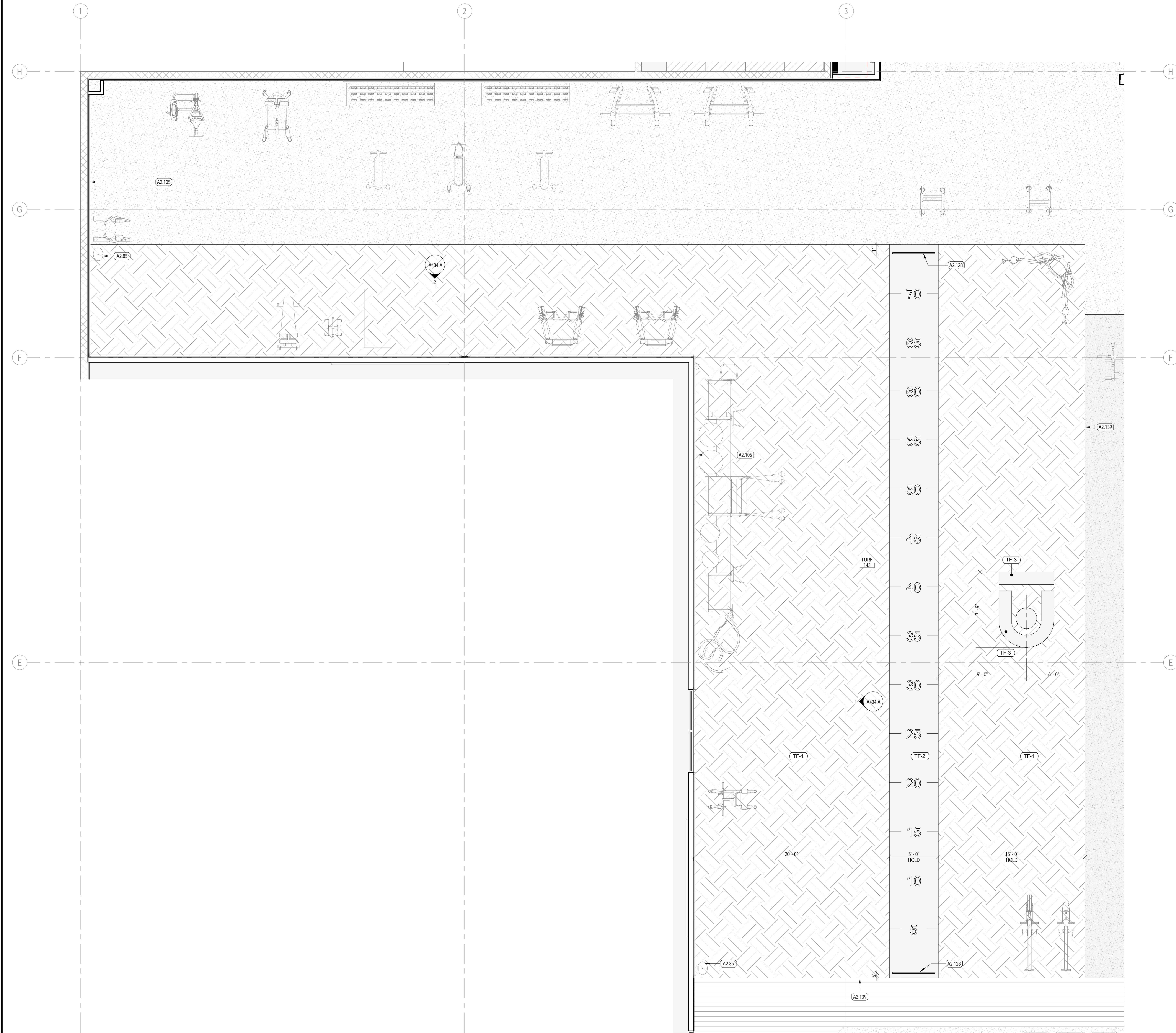
**EQUIPMENT - TELEVISION SCHEDULE**

REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNQ), MOUNTING POLES PAINTED P-4, REF. DETAIL 4 ON SHEET A300G FOR MOUNTING DETAIL.
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

**KEYNOTES**

TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A2.85	SANITARY WIPER DISPENSERS
A2.105	1/2" PLYWOOD WITH 3" ALDER TRIM LIT ABOVE. PROVIDE BLOCKING
A2.128	SLED LANE TURF GUARD RAIL. REF. DETAIL 1A505
A2.139	LINE OF FLOORING MATERIAL TRANSITION. REF. FINISH PLAN FOR DIMENSIONS



**1 TURF FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

18200 Von Karman Ave, Ste 910  
Irvine, CA 92612  
949 705 0700  
MG2.com



Mitchell C. Smith, Architect  
No. 28229  
REGISTERED ARCHITECT  
03/14/2022



COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE. SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

TURF FLOOR PLAN

**A434**





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- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
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- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
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- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
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REFERENCE G002 RESPONSIBILITY SCHEDULE

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E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

**FINISH LEGEND** REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

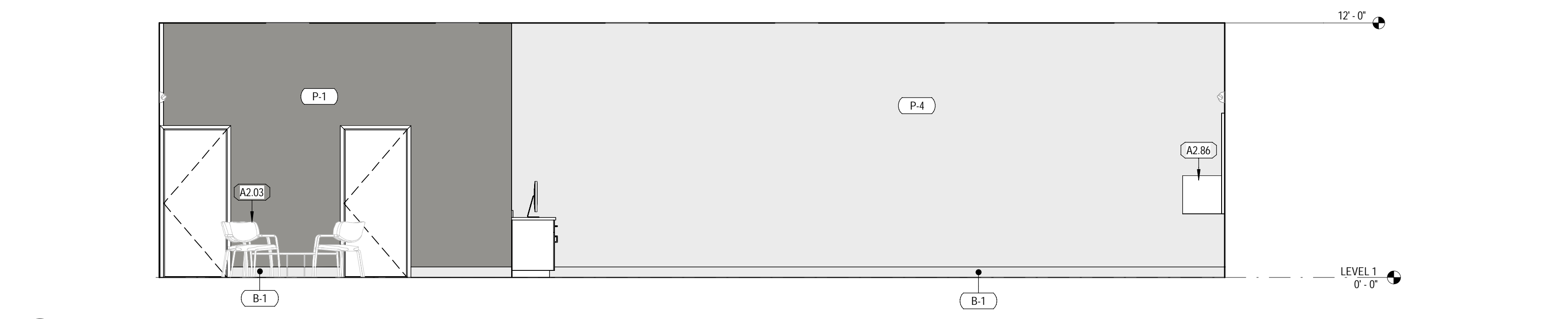
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CONC	CONCRETE	SS	SOLID SURFACE
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		WP	WALL PROTECTION

**FINISH SYMBOL LEGEND** REF: A610 FOR MATERIAL AND FINISH SCHEDULE

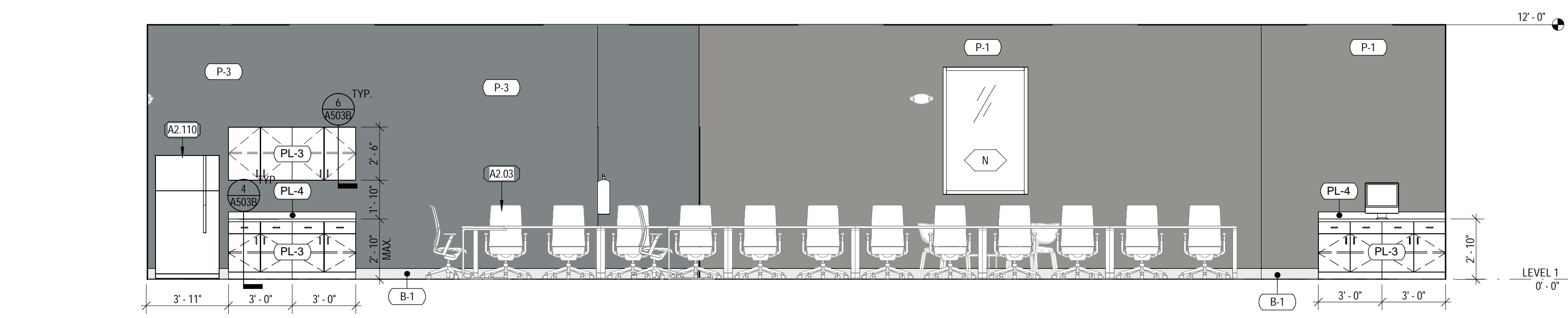
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[Symbol]	RUBBER	[Symbol]	3" X 3" TILE	[Symbol]	WALL COVERING	[Symbol]	CARPET TILE
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**KEYNOTES**

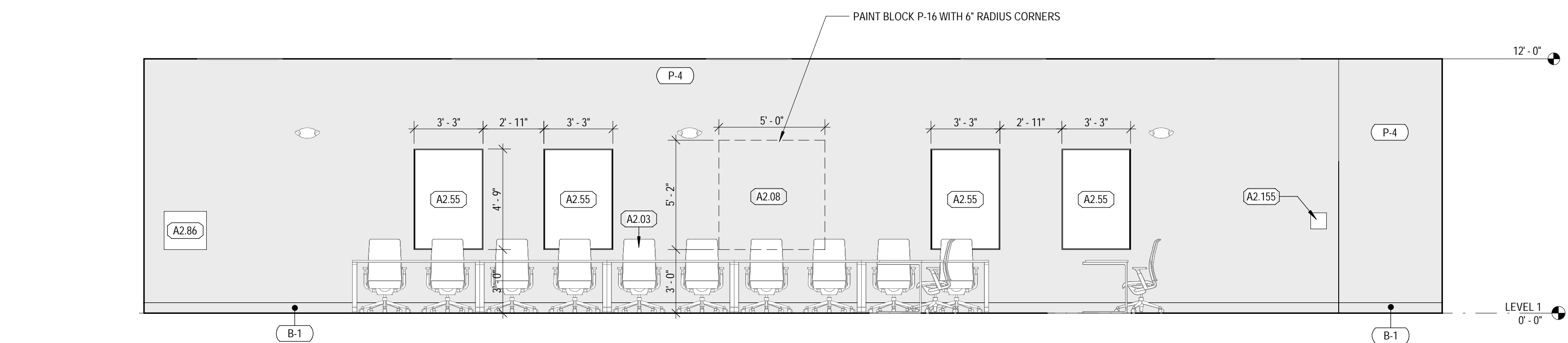
TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
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A2.08	SIGNAGE, WHERE APPLICABLE CENTER ABOVE DOOR, TV, OR MILLWORK, OR CENTER ON SOFFIT
A2.55	FRAMED ARTWORK
A2.86	AUDIO/VIDEO STORAGE, BOTTOM OF RACK TO BE MOUNTED AT 36" AFF IN CYCLE, GROUP X AND YOGA (IF APPLICABLE), TOP OF RACK TO BE MOUNTED AT 5' AFF IN TEAM TRAINING
A2.110	REFRIGERATOR: FRIGIDAIRE 18 CU. FT. TOP FREEZER REFRIGERATOR IN BLACK, MODEL #FFTR1814TB
A2.155	ADA WALL SIGN, SEE G004 & G005



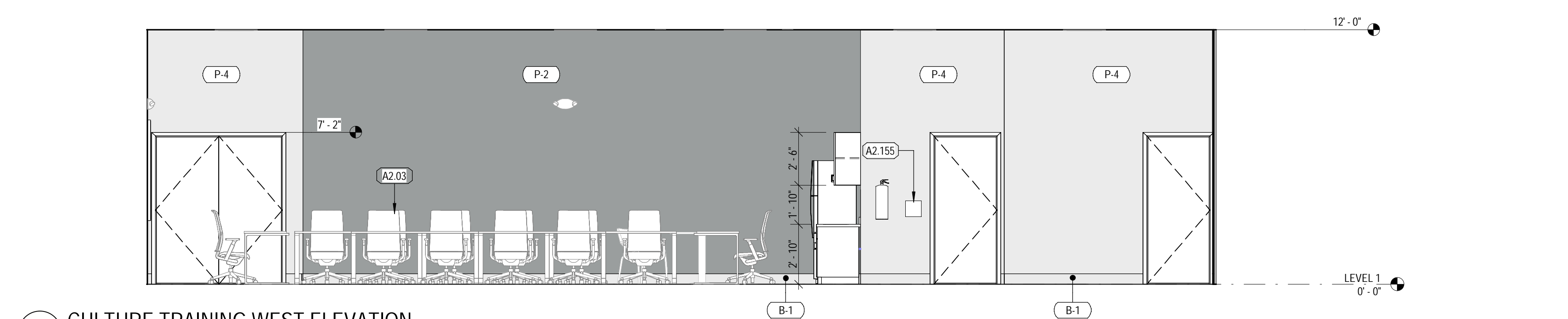
**4 CULTURE TRAINING EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 CULTURE TRAINING NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 CULTURE TRAINING SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 CULTURE TRAINING WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE, SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

CULTURE TRAINING ELEVATIONS

**A435.A**







**INTERIOR ELEVATION GENERAL NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO THE COMMENCEMENT OF WORK & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONDITIONS SHOWN ON THE DRAWINGS AND THOSE WHICH ACTUALLY EXIST.
- ALL DIMENSIONS ARE FROM F.O. FINISH (U.N.O.).
- ALL INTERIOR HOLLOW METAL DOOR AND WINDOW FRAMES SHALL BE PAINTED. REF: SHEET A601.
- ALL DOOR OPENINGS ARE LOCATED WITH THE HINGE SIDE 4" OFF THE CORNER (U.N.O.).
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD AT ALL RUNS OVER 30'-0". COORDINATE FINAL EXPANSION JOINT LOCATION WITH OWNER PRIOR TO DRYWALL INSTALLATION.
- FIRE STOPPING MATERIALS FOR NON-FERROUS PIPE, CONDUIT AND OTHER SYNTHETIC MATERIALS SHALL BE COMPATIBLE WITH EACH OTHER.
- PENETRATION OF SMOKE BARRIERS AND PARTITIONS SHALL BE PROVIDED WITH AN APPROVED FIRE/SMOKE STOP SYSTEM OF A MINIMUM OF 1 HOUR FIRE RATED MATERIALS WHICH HAVE BEEN TESTED AND APPROVED BY THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM E 814).
- CABINET WIDTH DIMENSIONS ARE FOR BID PURPOSES ONLY AND MUST BE FIELD VERIFIED.
- REF: SHEET A601 FOR WINDOW & DOOR SCHEDULES.
- REF: SHEET A301 FOR WALL TYPES.
- REF: SHEET A610 FOR FINISH SCHEDULE.
- REF: SHEET G004 FOR MOUNTING HEIGHTS AND ACCESSIBILITY REQUIREMENTS.
- REF: SHEET G004 FOR ACCESSIBILITY REQUIREMENTS FOR TOILET STALLS INDICATED AS 'ADA' & 'AMBULATORY' BELOW THE ELEVATION.
- PROVIDE DENSSHIELD TILE BACKER AT ALL WALL TILE LOCATIONS.
- PROVIDE WATER RESISTANT GYP. BD. AT ALL POOL, RESTROOM, TOILET, SHOWER & LOCKER ROOM LOCATIONS AND TILE BACKER BOARD AT ALL WALL TILE LOCATIONS.
- COORDINATE ALL SIGNAGE AND GRAPHICS WITH OWNER.

**EQUIPMENT - TELEVISION SCHEDULE**

REFERENCE G002 RESPONSIBILITY SCHEDULE

TAG	DESCRIPTION	COMMENTS
E1	23" TOUCHSCREEN	MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E2	33"x59" TV MENU	WALL-MOUNTED, MOUNTED WITH PEERLESS DS508, PROVIDE BLOCKING
E3	55" TV WITH 3" FRAME	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E4	55" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E5	65" TV	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E6	65" TV FUNCTIONAL FITNESS	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E7	65" TV HEART RATE	WALL-MOUNTED, MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING
E8	65" TV, CEILING-MOUNTED	CEILING-MOUNTED, INDIVIDUALLY MOUNTED @ 8'-0" A.F.F. FROM B.O. TV, INDIVIDUAL OUTLETS RUN TO EACH TV (UNO), MOUNTING POLES PAINTED P-4, REF: DETAIL 4 ON SHEET A505C FOR MOUNTING DETAIL
E9	65" TV WITH 3" FRAME	RECESSED-MOUNTED
E10	75" TV	MOUNTED WITH STRONG SM-CS-ART2, PROVIDE BLOCKING

**FINISH LEGEND**

REFERENCE A610 FOR MATERIAL AND FINISH SCHEDULE

B	BASE	SP	SHOWER PARTITIONS
CONC	CONCRETE	SS	SOLID SURFACE
CPT	CARPET	T	TILE
P	PAINT	TF	TURF
PL	PLASTIC LAMINATE	TP	TOILET PARTITIONS
RF	RESILIENT FLOORING	WD	WOOD
		WP	WALL PROTECTION

**FINISH SYMBOL LEGEND**

REF: A610 FOR MATERIAL AND FINISH SCHEDULE

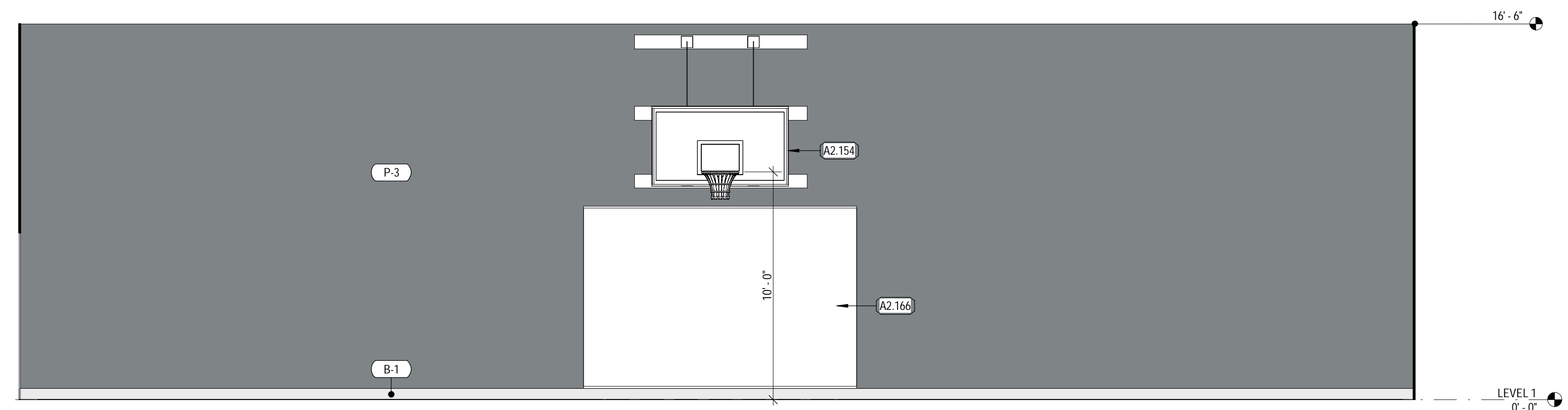
[Symbol]	CONCRETE	[Symbol]	2" X 2" TILE	[Symbol]	12" X 24" TILE	[Symbol]	ARTIFICIAL TURF
[Symbol]	RUBBER	[Symbol]	3" X 3" TILE	[Symbol]	WALL COVERING	[Symbol]	CARPET TILE
[Symbol]	VINYL SHEET ROLL	[Symbol]	4" X 4" TILE	[Symbol]	WOOD FINISH	[Symbol]	FRP
[Symbol]	LUXURY VINYL TILE	[Symbol]	4" X 12" TILE	[Symbol]	WOOD PANELING	[Symbol]	SLAT WALL
[Symbol]	4" X 6" TILE	[Symbol]	4" X 16" TILE	[Symbol]	RESILIENT SHEET	[Symbol]	PLYWOOD

**KEYNOTES**

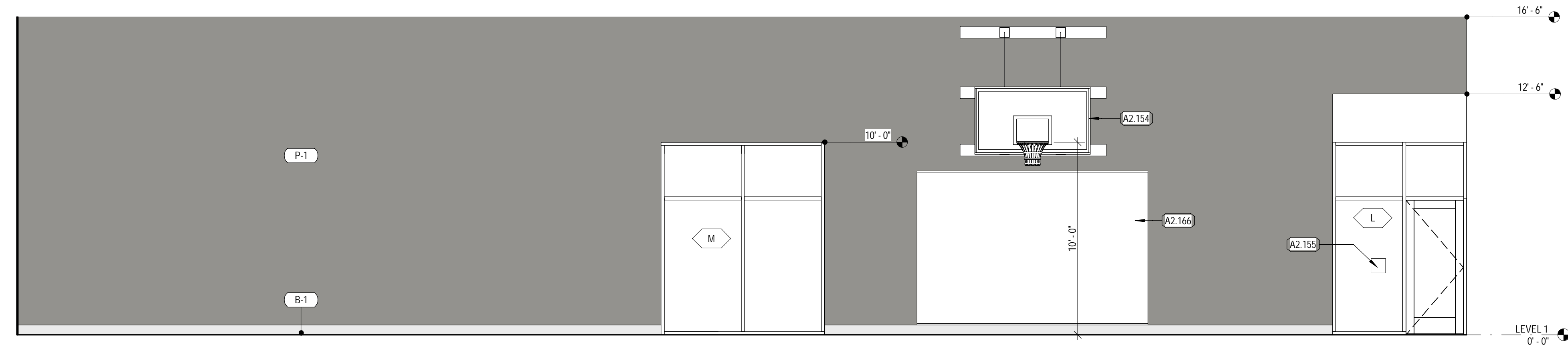
KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE

A2-154	WALL MOUNTED BASKETBALL STANDARD. REF: 116623
A2-155	ADA WALL SIGN. SEE G004 & G005
A2-166	WALL PADDING - 12" WIDE X 6" HIGH

**1 COURTS SOUTH**  
SCALE: 1/4" = 1'-0"



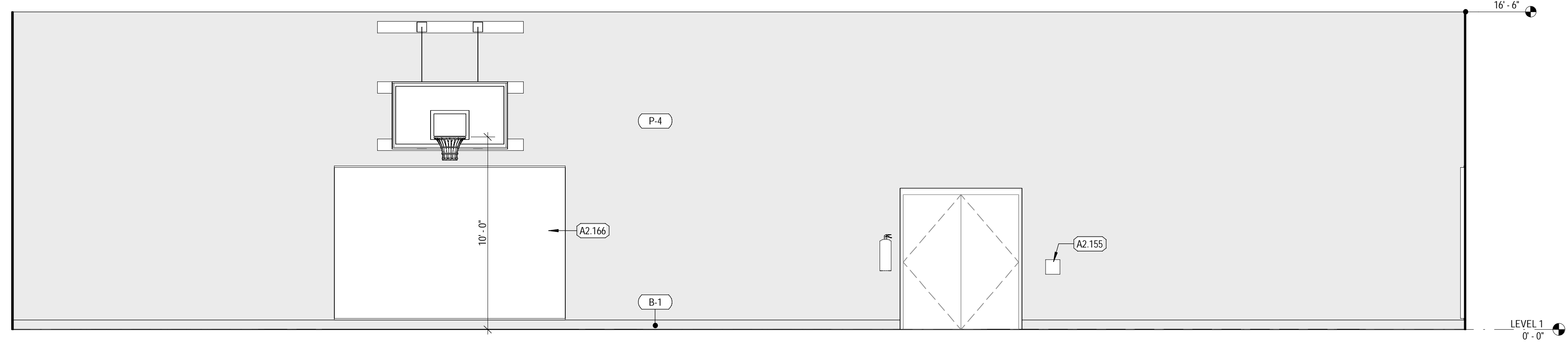
**2 COURTS WEST**  
SCALE: 1/4" = 1'-0"



**3 COURTS NORTH**  
SCALE: 1/4" = 1'-0"



**4 COURTS EAST**  
SCALE: 1/4" = 1'-0"



COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE. SW  
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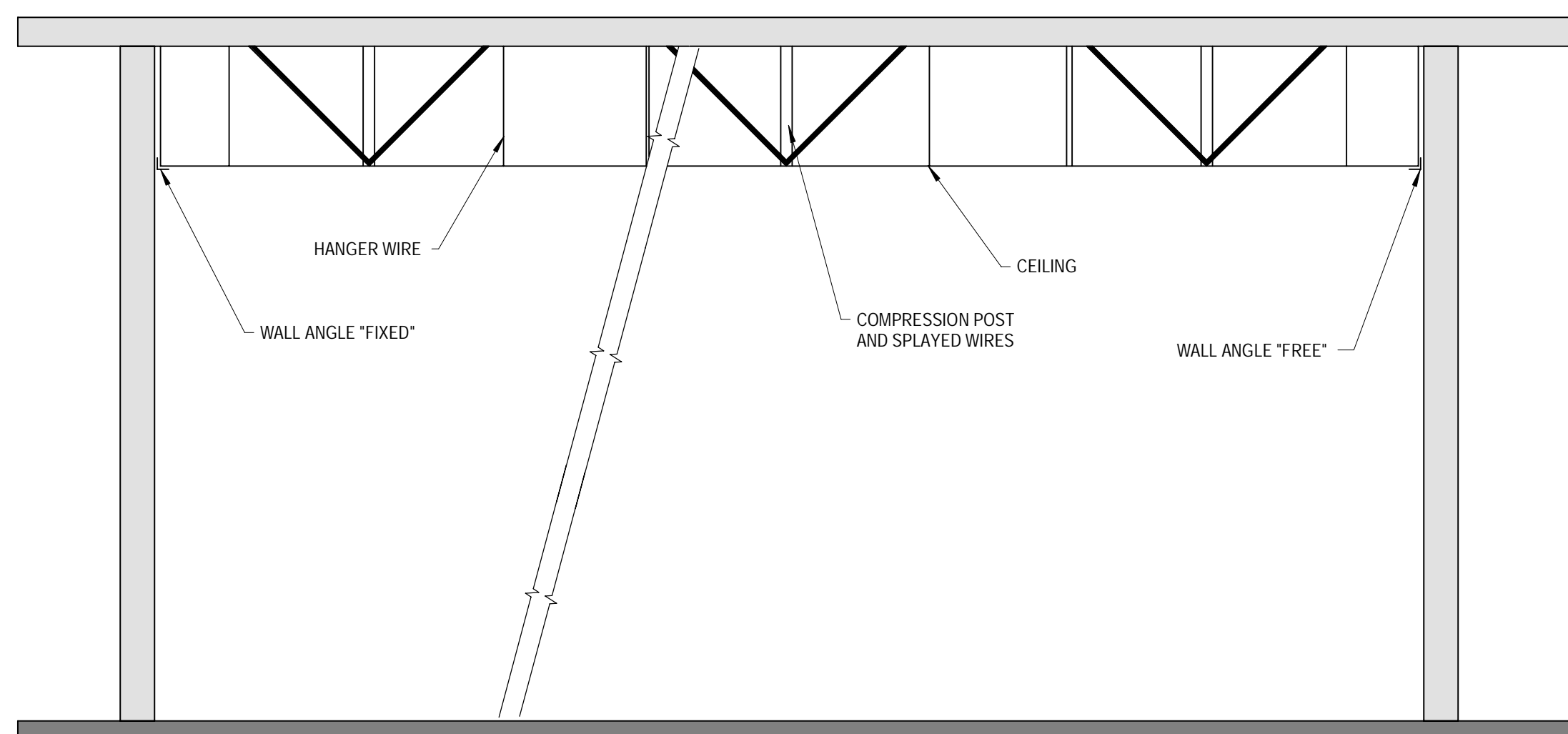
Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

BASKETBALL/PICKLEBALL COURT ELEVATIONS

**A436.B**

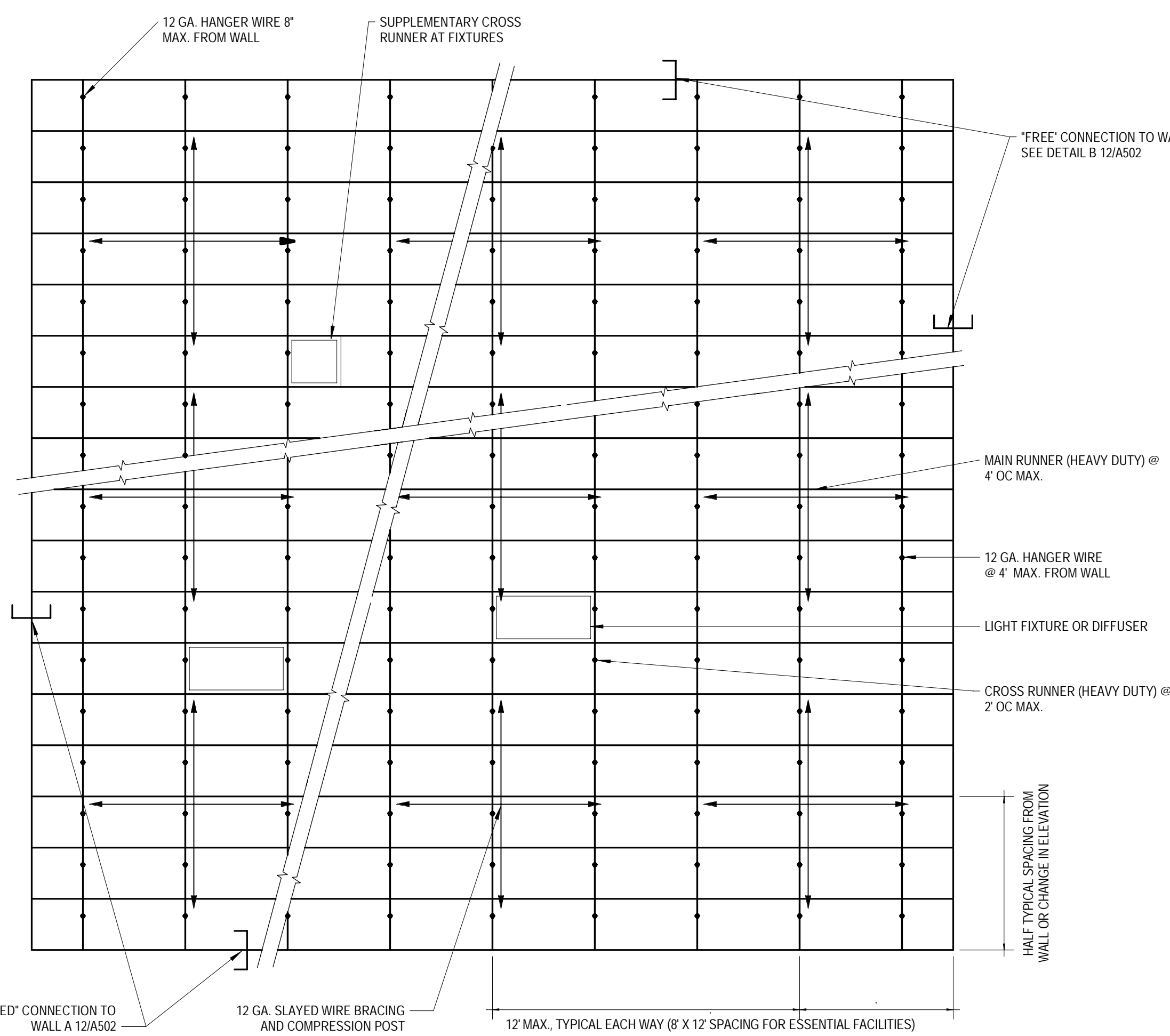




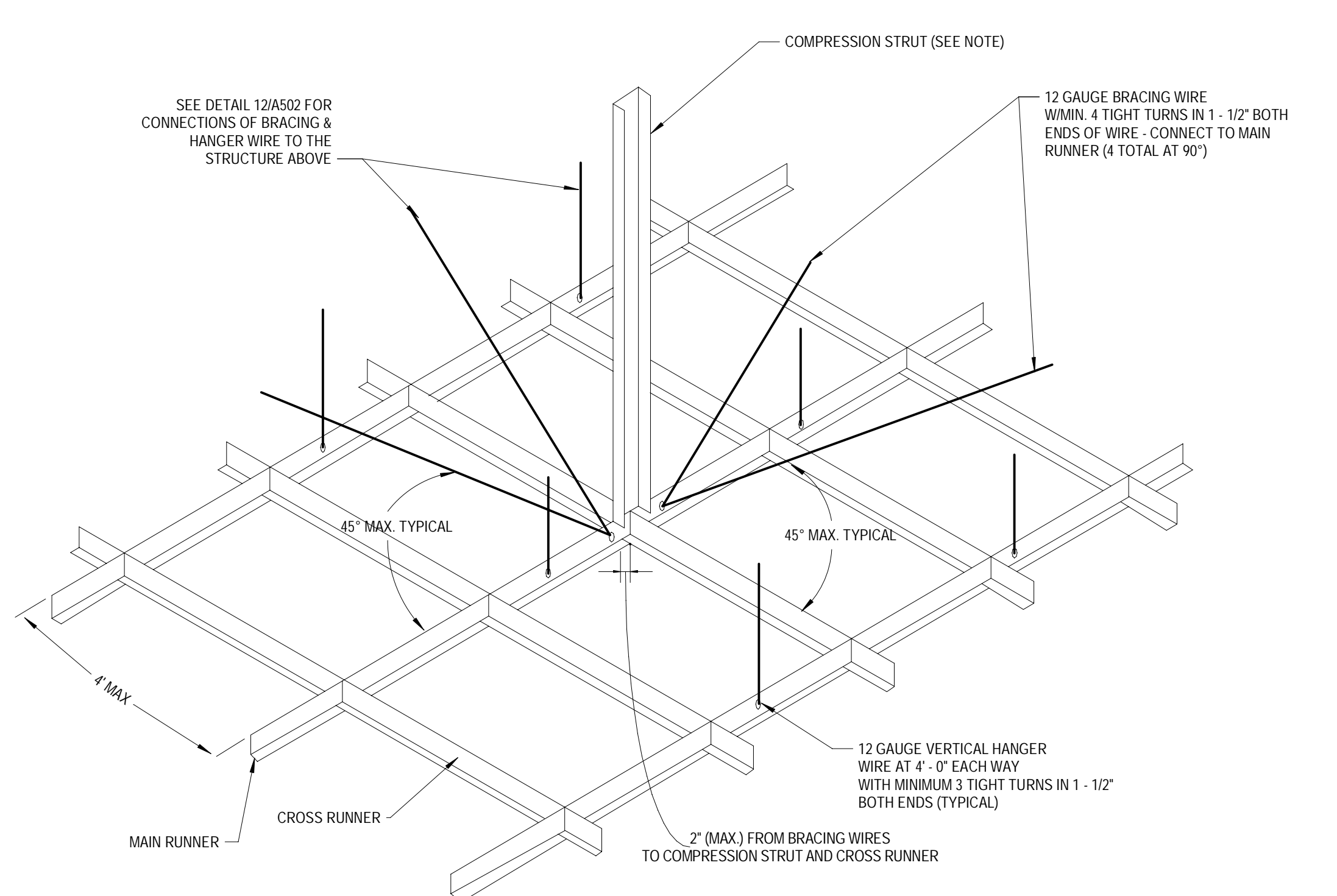


NOTE:  
 1. SEISMIC DETAILING IS NOT REQUIRED FOR SUSPENDED CEILING LESS THAN OR EQUAL TO 144 SQ. FEET THAT ARE SURROUNDED BY WALLS OR SOFFITS THAT ARE LATERALLY BRACED TO STRUCTURE.  
 2. COMPRESSION STRUTS AND DIAGONAL SPLAYED WIRES ARE USED TO LIMIT THE MOVEMENT OF SUSPENDED ACOUSTIC TILE CEILING. PER ASTM E880, THIS TYPE OF BRACING ASSEMBLY IS REQUIRED FOR CEILING AREAS LARGER THAN 1000 SQ. FT. IN SEISMIC DESIGN CATEGORY D, E, AND F.

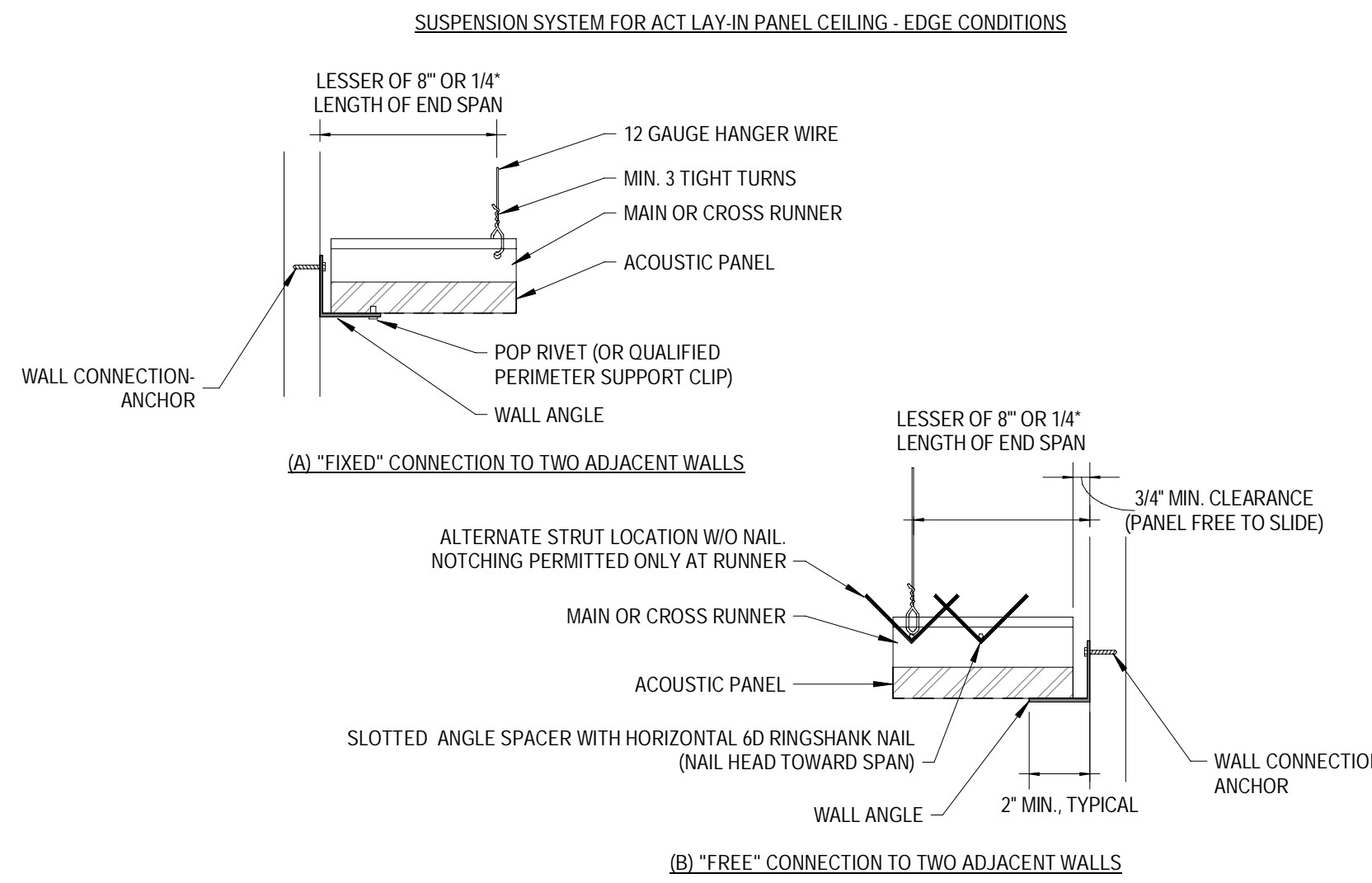
16 DETAIL @ SEISMIC CEILING GRID - SECTION  
 SCALE: 1/4" = 1'-0"



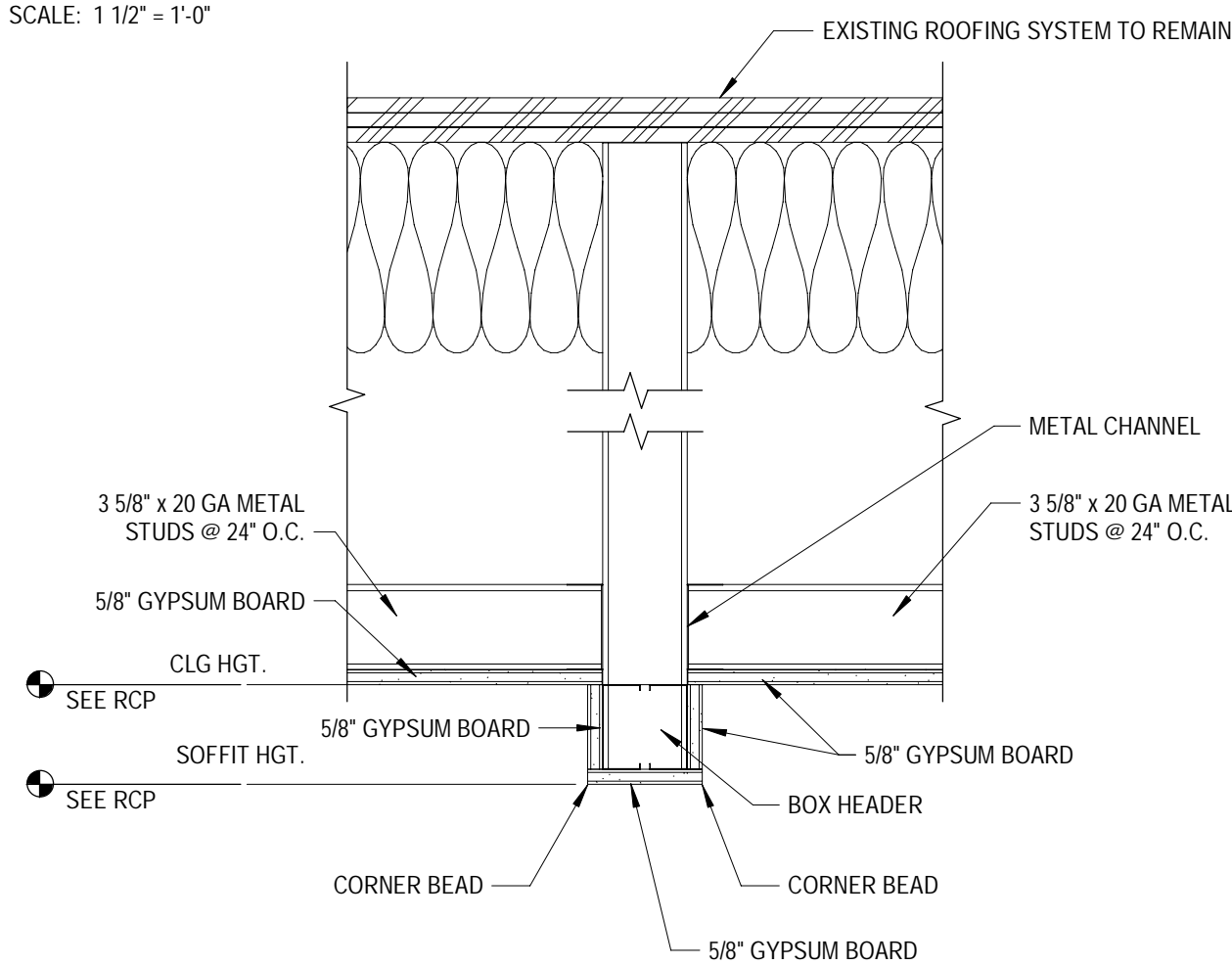
15 DETAIL @ SEISMIC CEILING GRID - PLAN  
 SCALE: 1/2" = 1'-0"



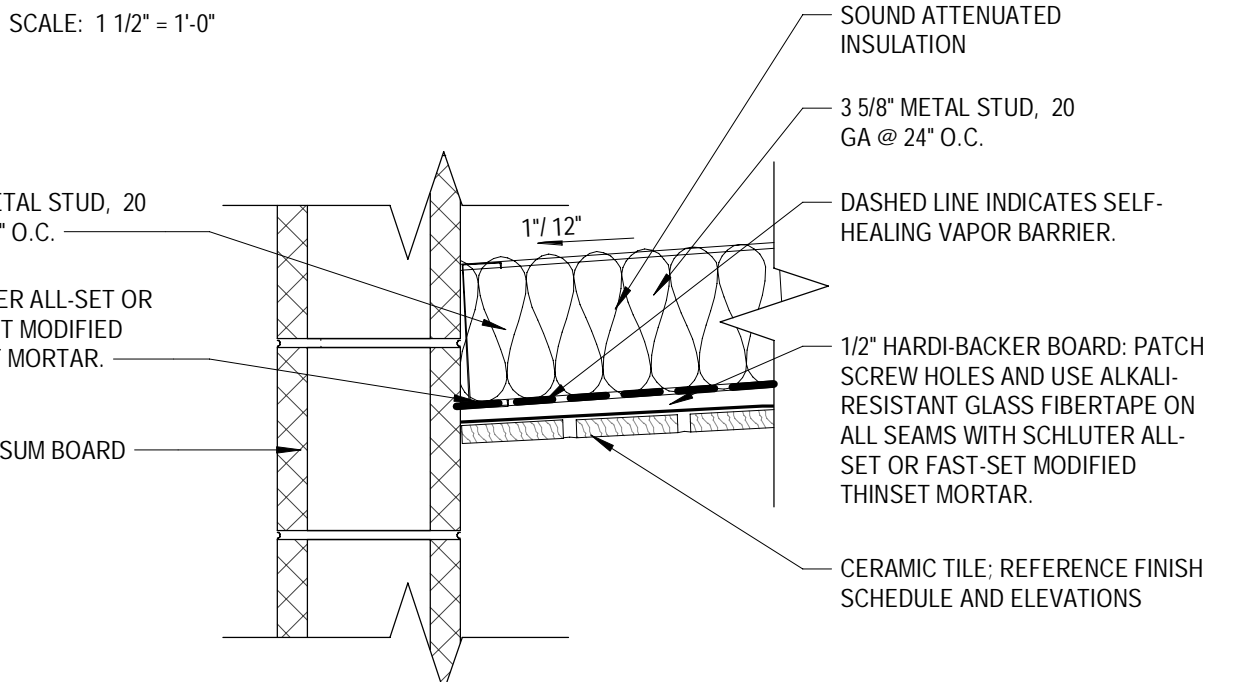
14 DETAIL @ SEISMIC CEILING GRID - ISO  
 SCALE: 1/2" = 1'-0"



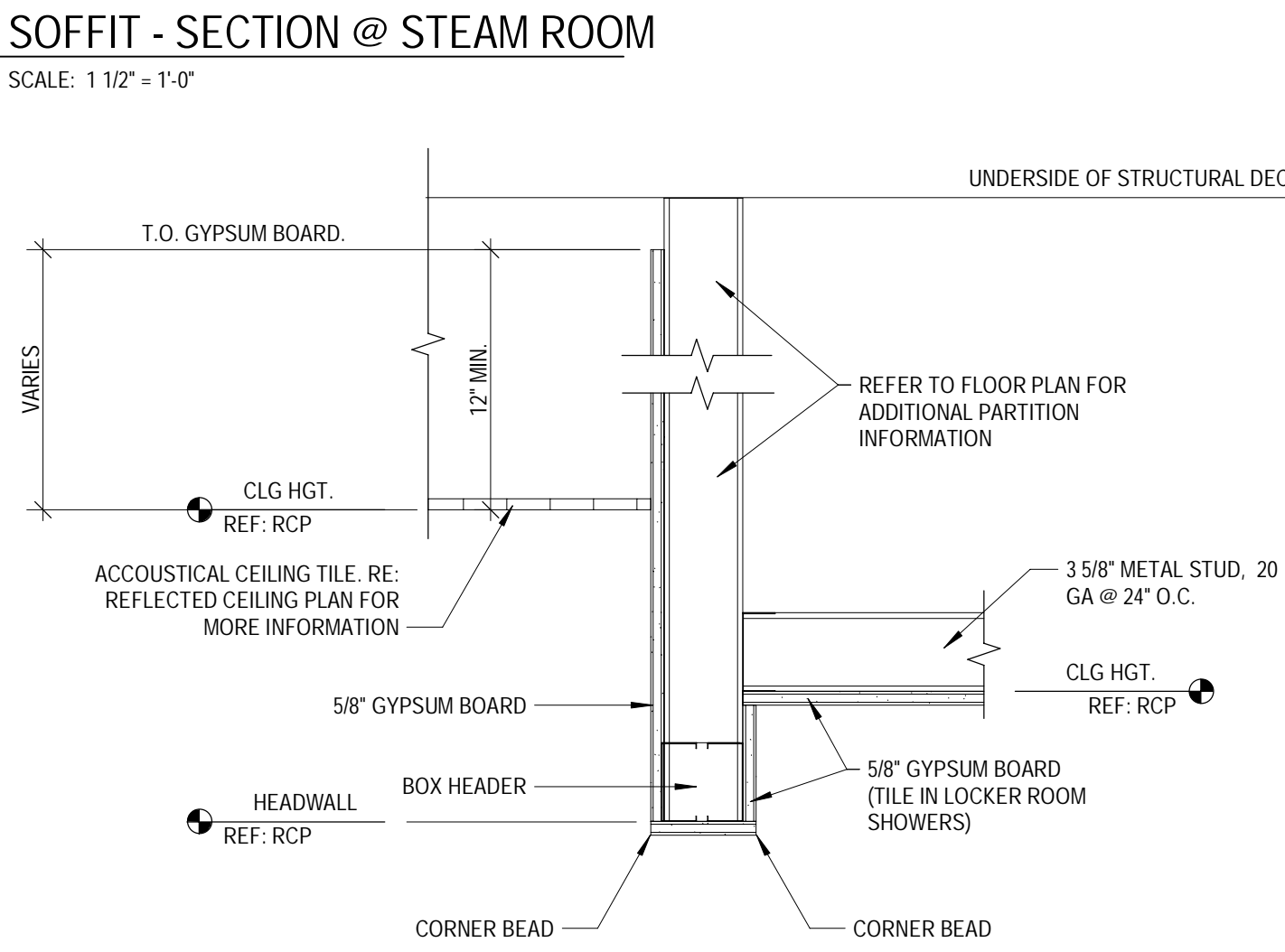
13 ACT SEISMIC DETAIL - FIXED AND FREE EDGE  
 SCALE: 1 1/2" = 1'-0"



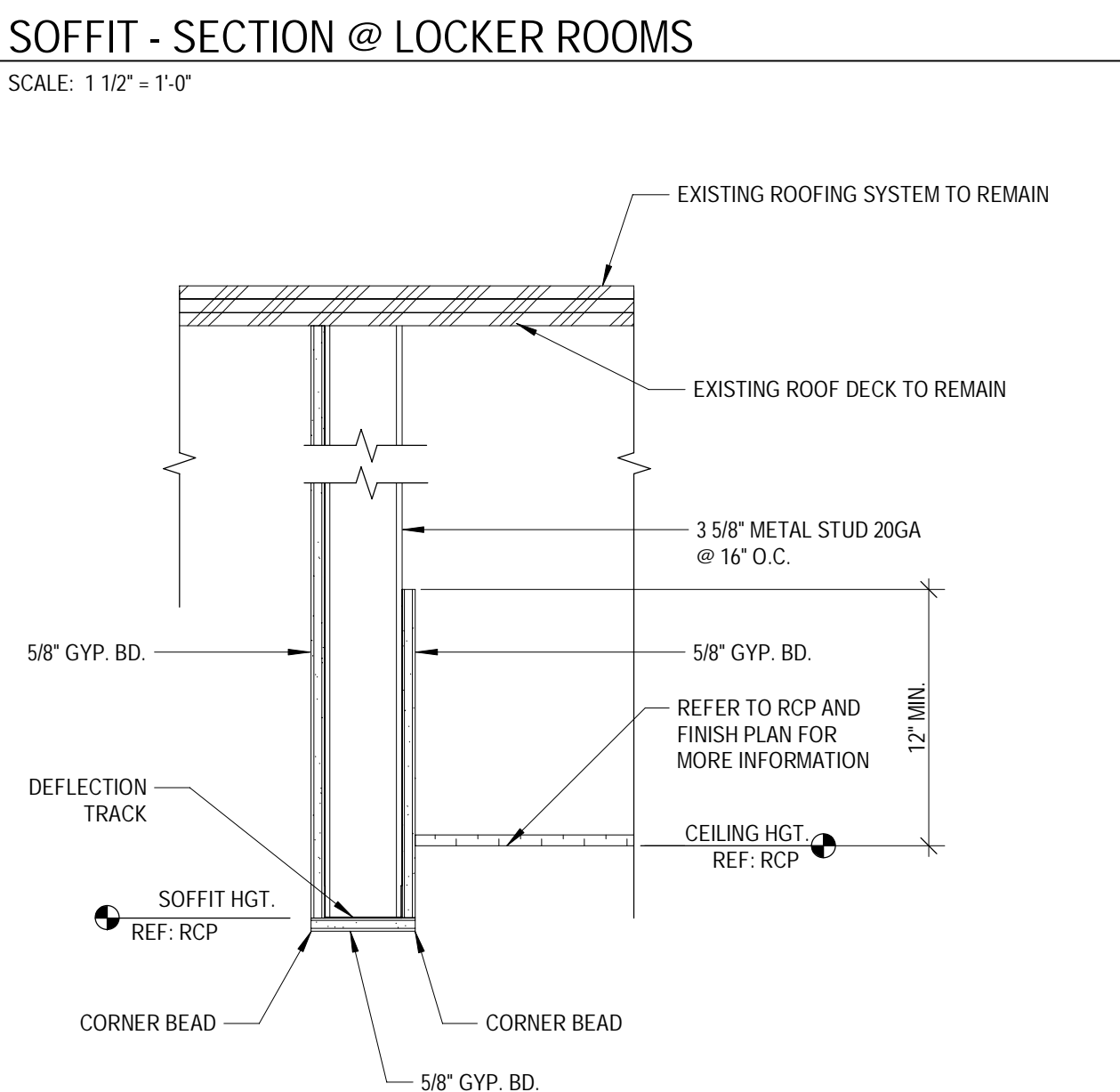
12 HEADWALL SECTION - GYP  
 SCALE: 1 1/2" = 1'-0"



11 SOFFIT SECTION @ STEAM ROOM  
 SCALE: 1 1/2" = 1'-0"

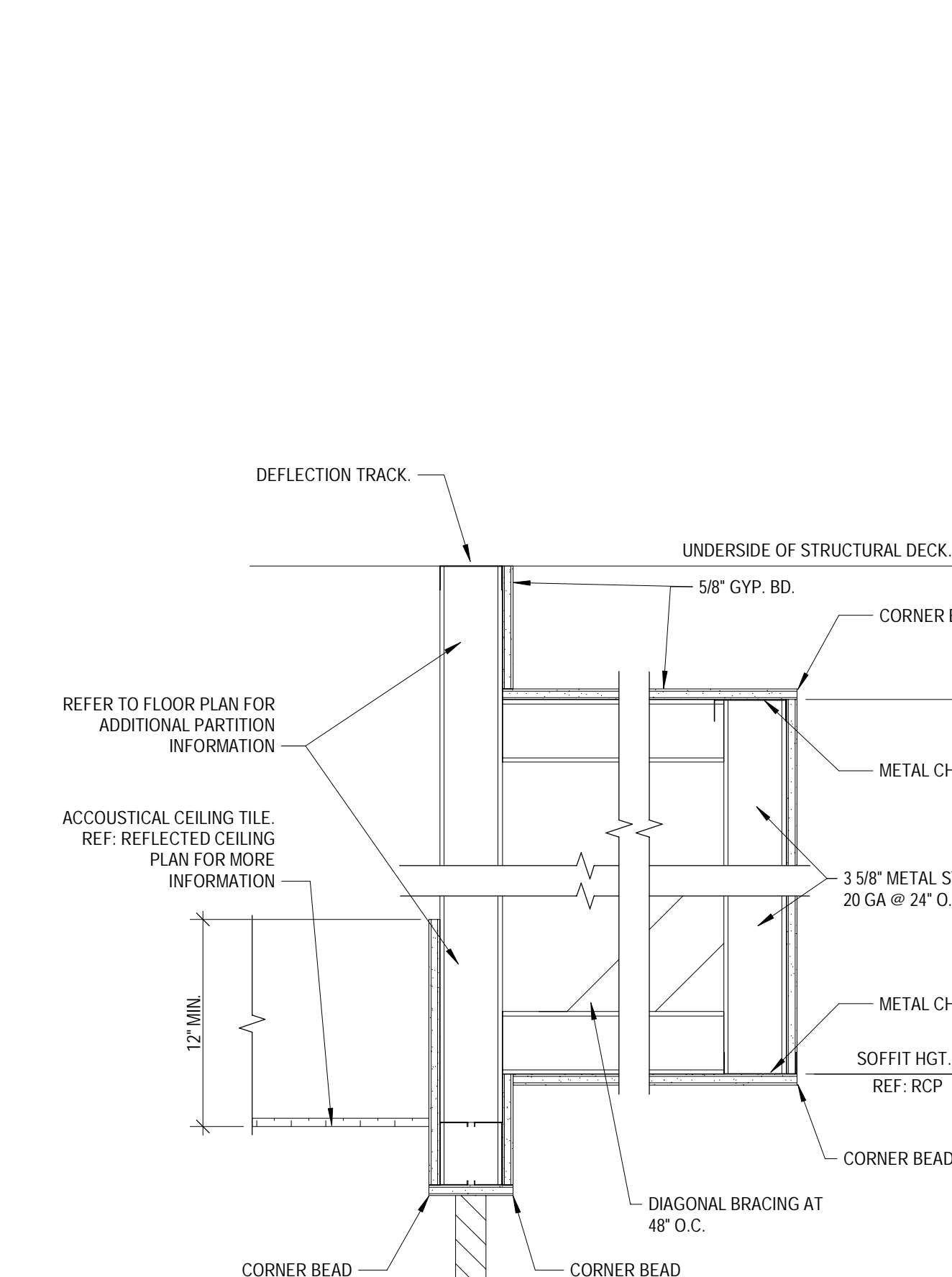


10 SOFFIT SECTION @ LOCKER ROOMS  
 SCALE: 1 1/2" = 1'-0"

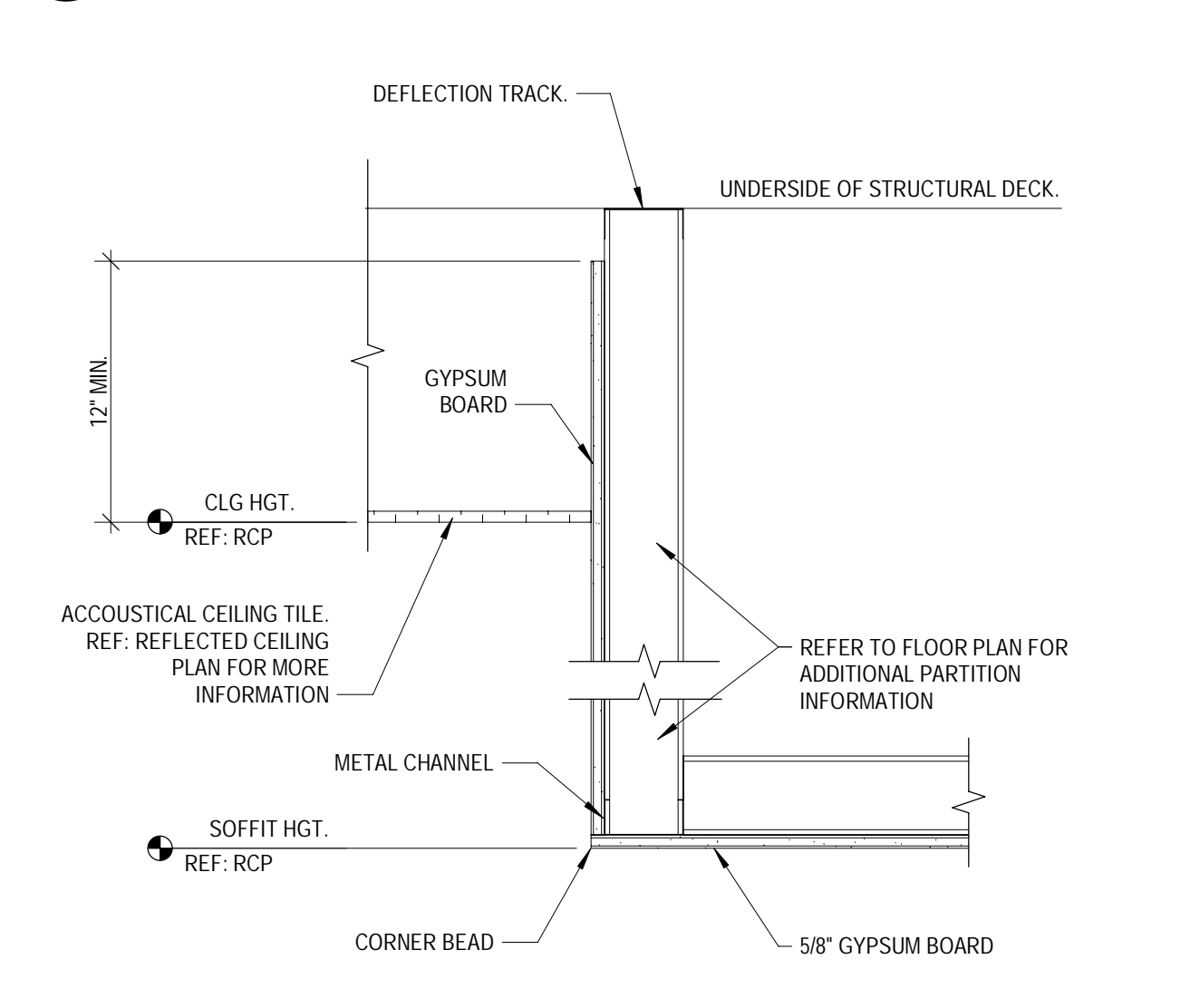


9 SOFFIT SECTION @ DAY LOCKERS  
 SCALE: 1 1/2" = 1'-0"

8 CEILING DETAIL AND SOFFIT  
 SCALE: 1 1/2" = 1'-0"

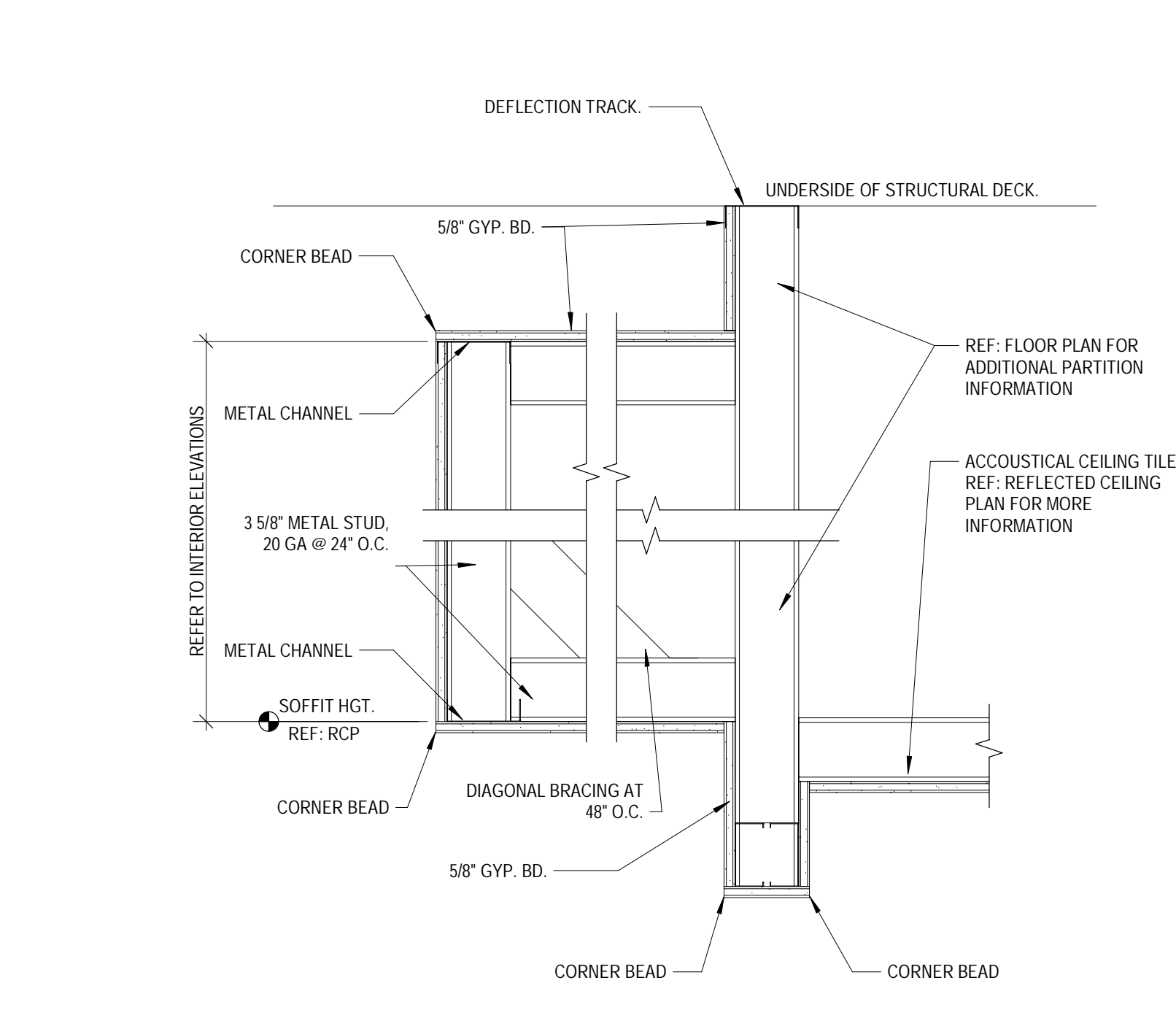


6 SOFFIT SECTION @ TRAINING ROOMS & HYDRATION STATIONS  
 SCALE: 1 1/2" = 1'-0"

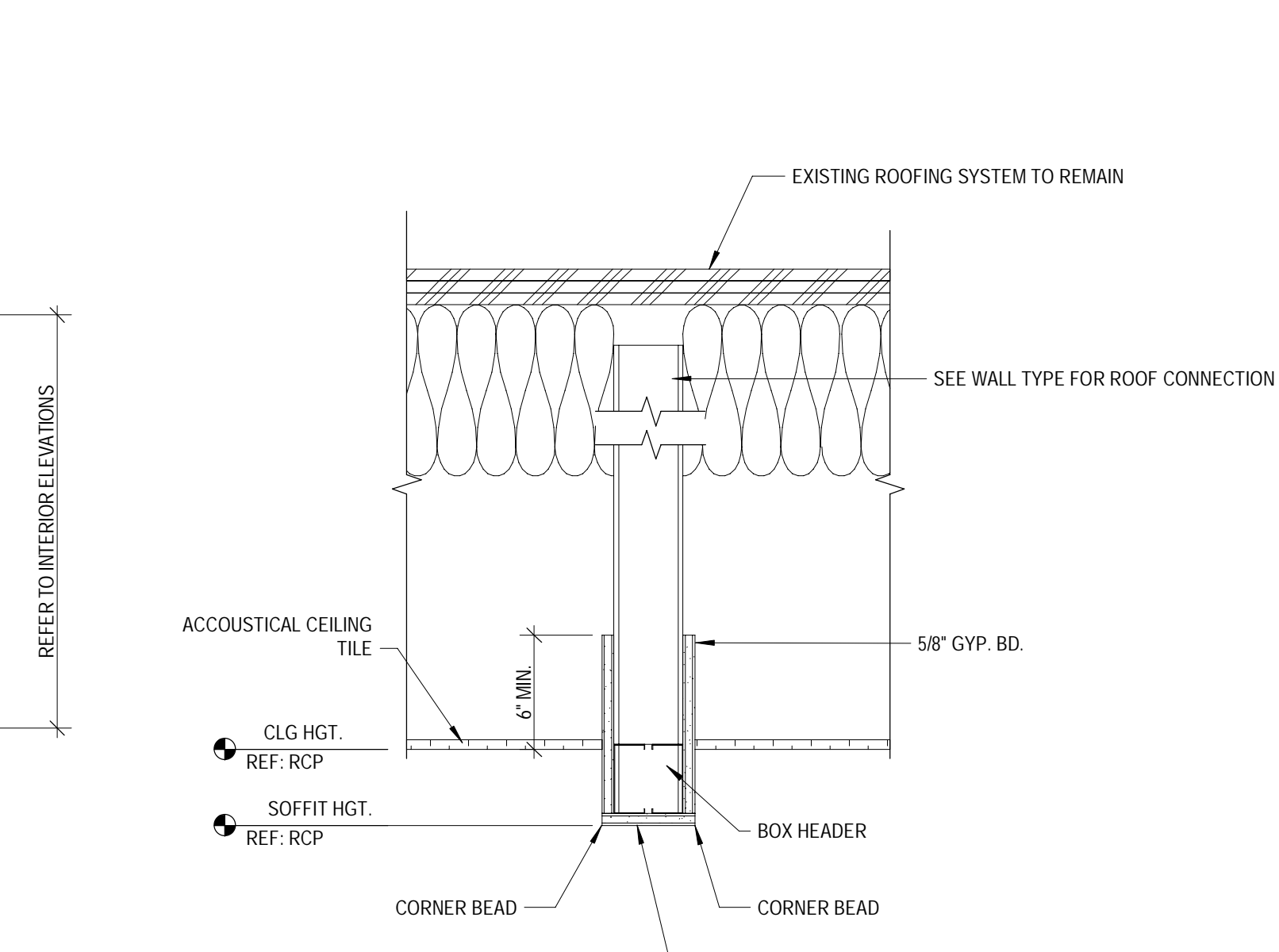


5 SOFFIT SECTION @ POS & RETAIL  
 SCALE: 1 1/2" = 1'-0"

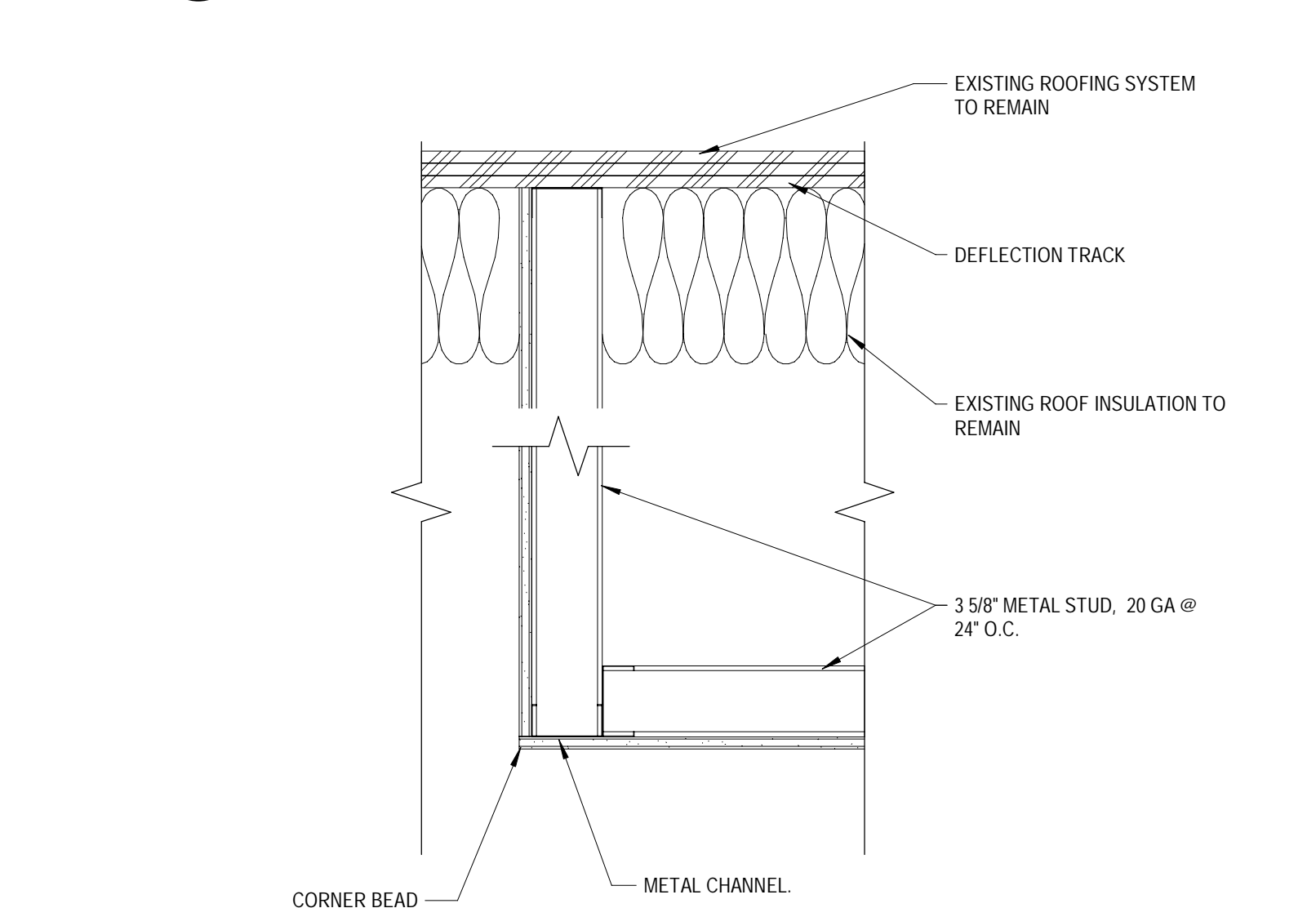
4 SOFFIT SECTION @ KIDS CINEMA  
 SCALE: 1 1/2" = 1'-0"



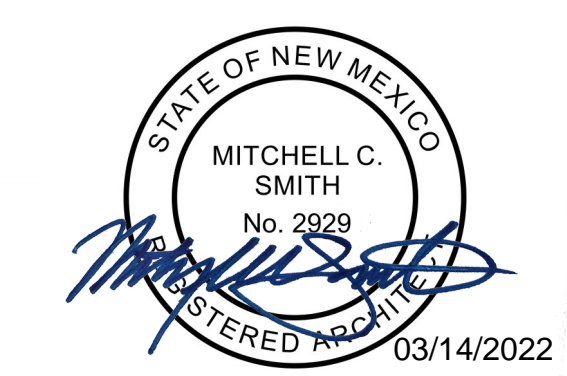
3 SOFFIT SECTION @ CINEMA  
 SCALE: 1 1/2" = 1'-0"



2 HEADWALL SECTION - ACT  
 SCALE: 1 1/2" = 1'-0"



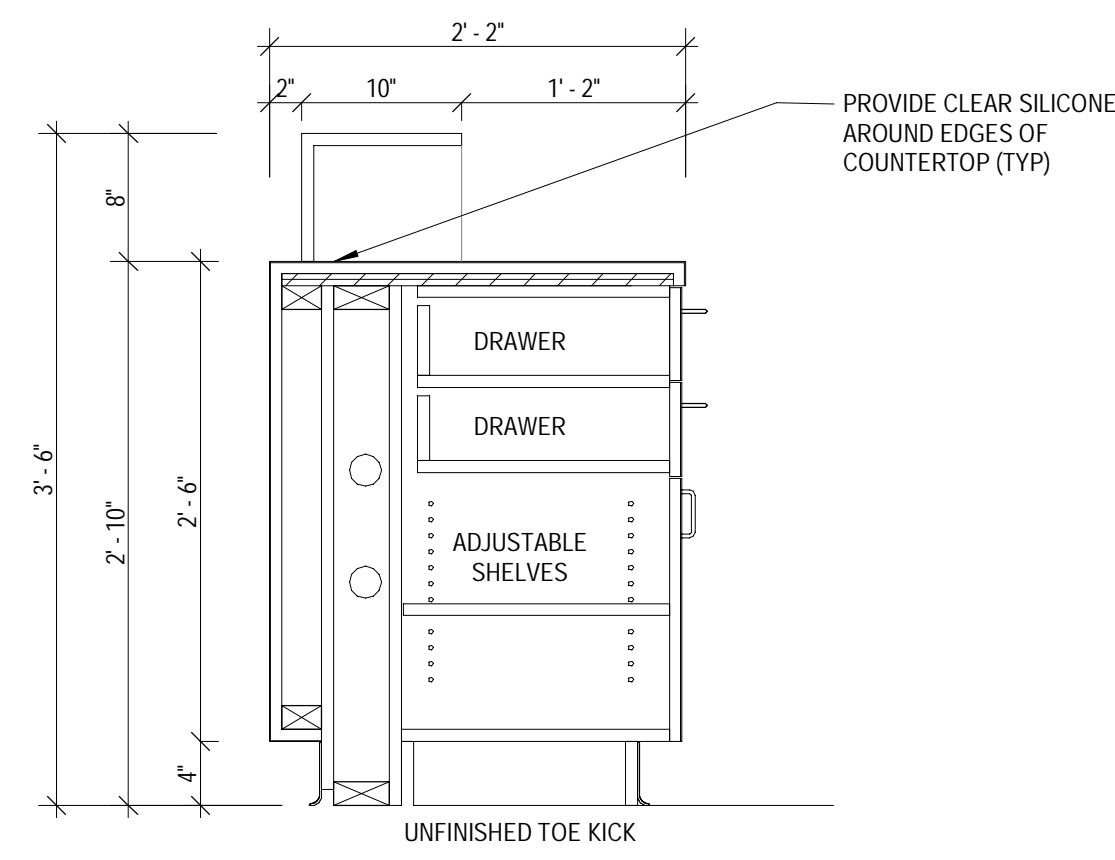
1 SOFFIT SECTION @ GYP. BOARD CEILING  
 SCALE: 1 1/2" = 1'-0"



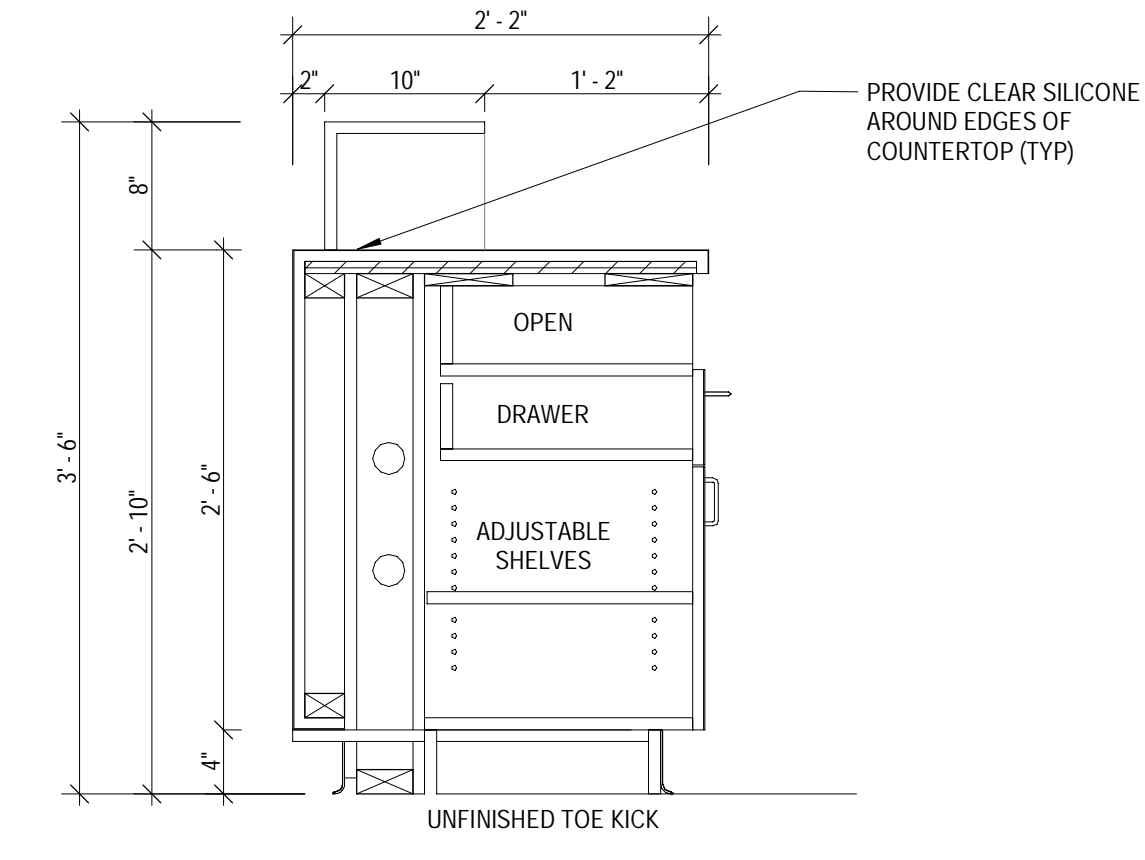
Mitchell C. Smith, Architect  
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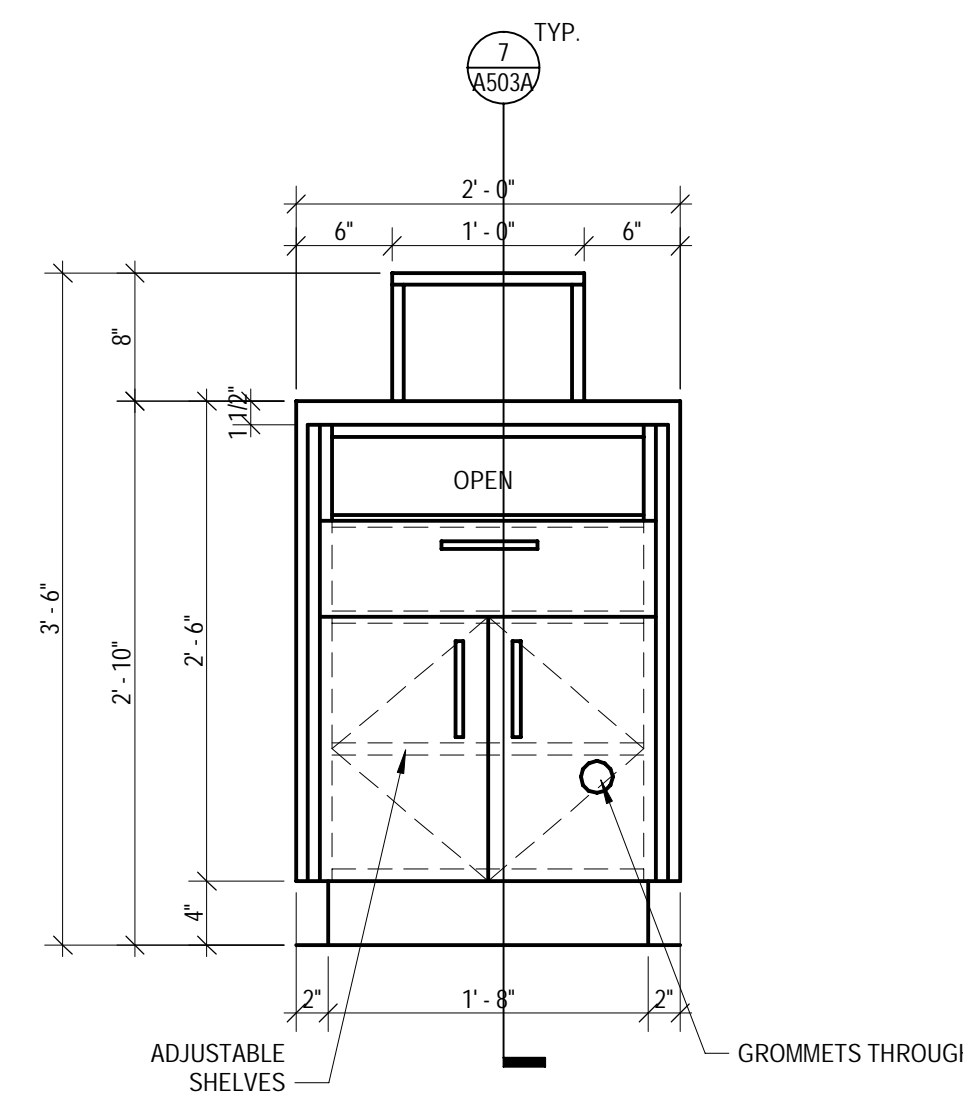
Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2



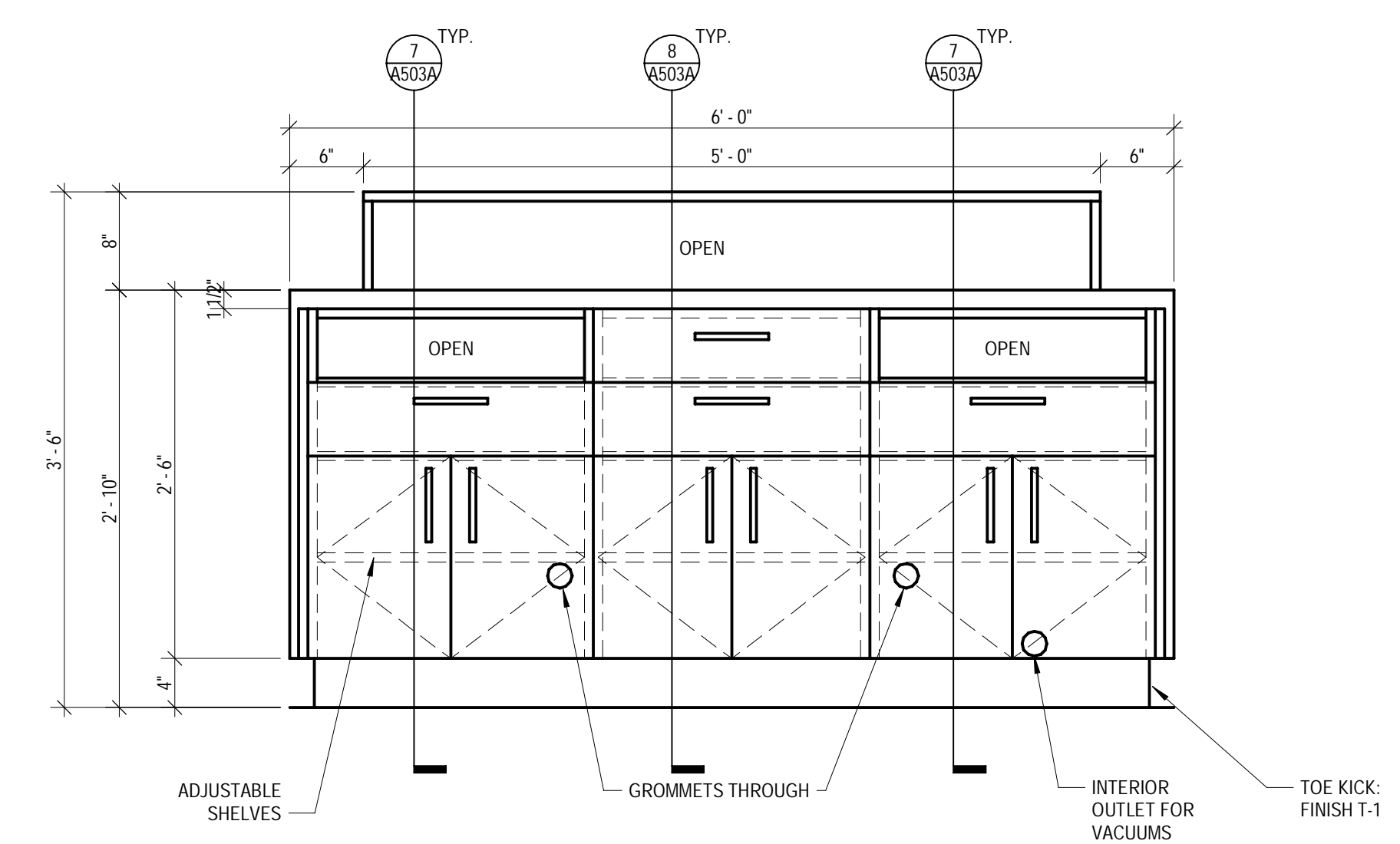
8 POD CABINET DETAILS #2 - SECTION  
SCALE: 1" = 1'-0"



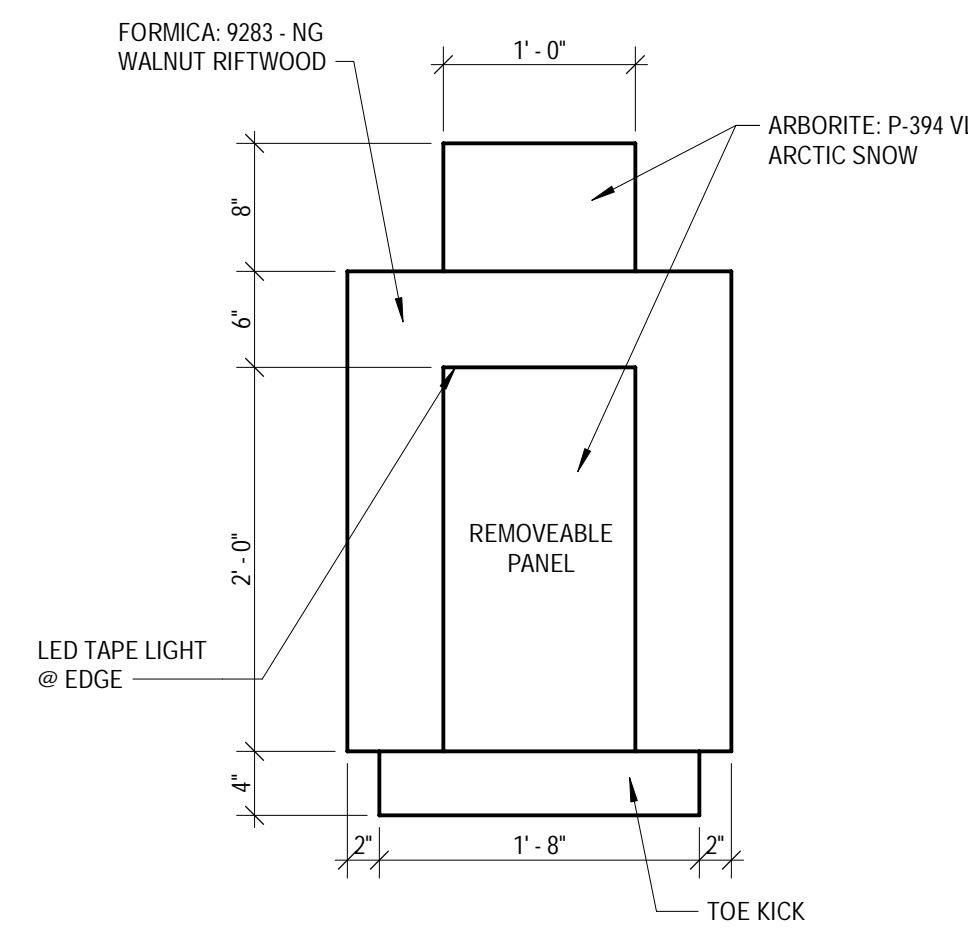
7 POD CABINET DETAILS #1 - SECTION  
SCALE: 1" = 1'-0"



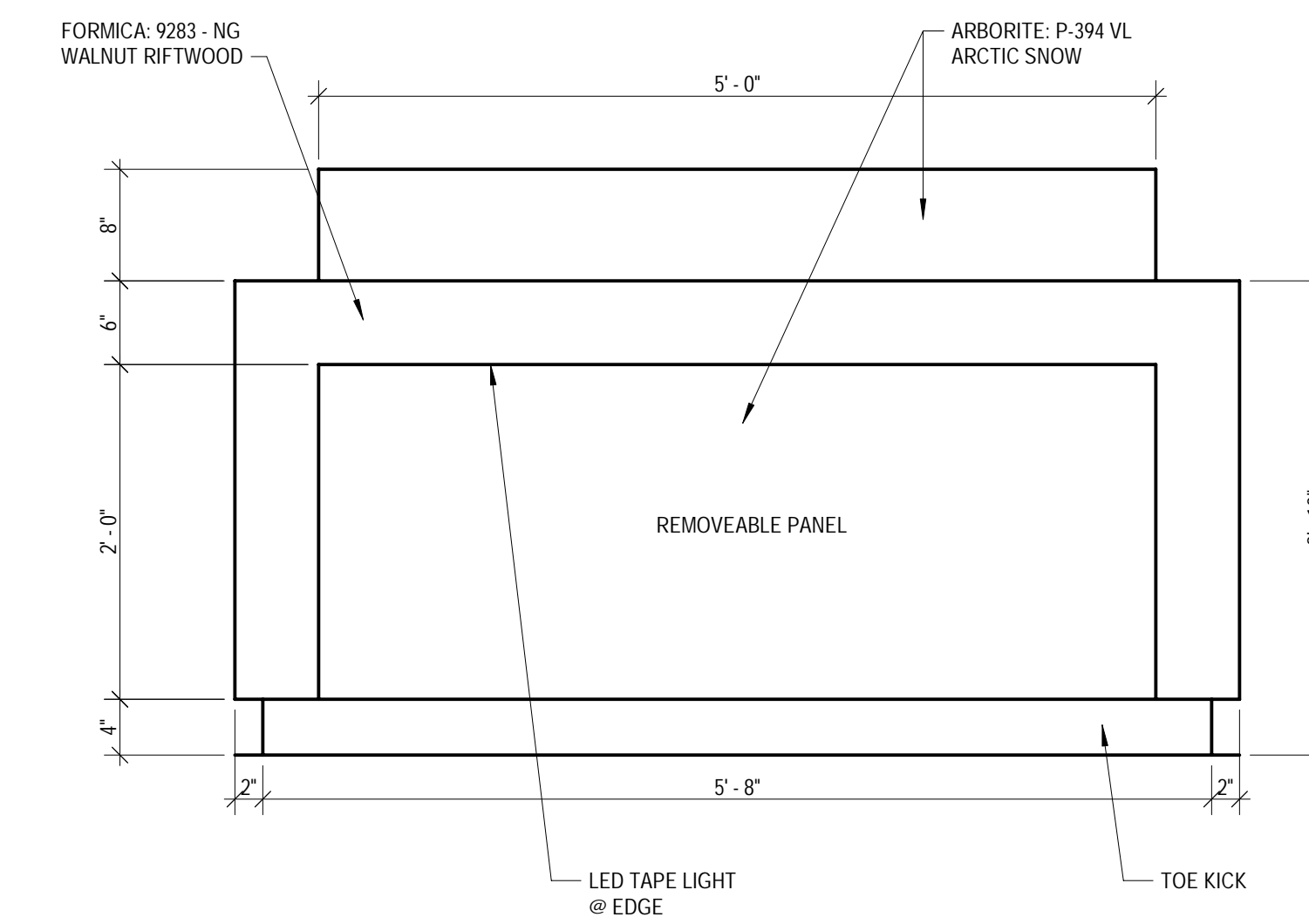
6 SMALL POS DETAILS - BACK ELEVATION  
SCALE: 1" = 1'-0"



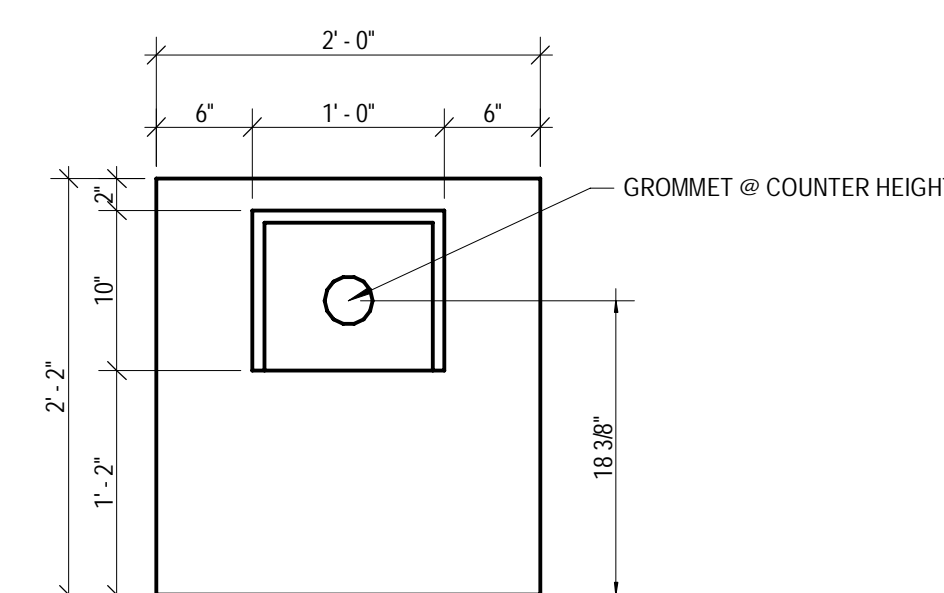
3 LARGE POS POD DETAILS - BACK ELEVATION  
SCALE: 1" = 1'-0"



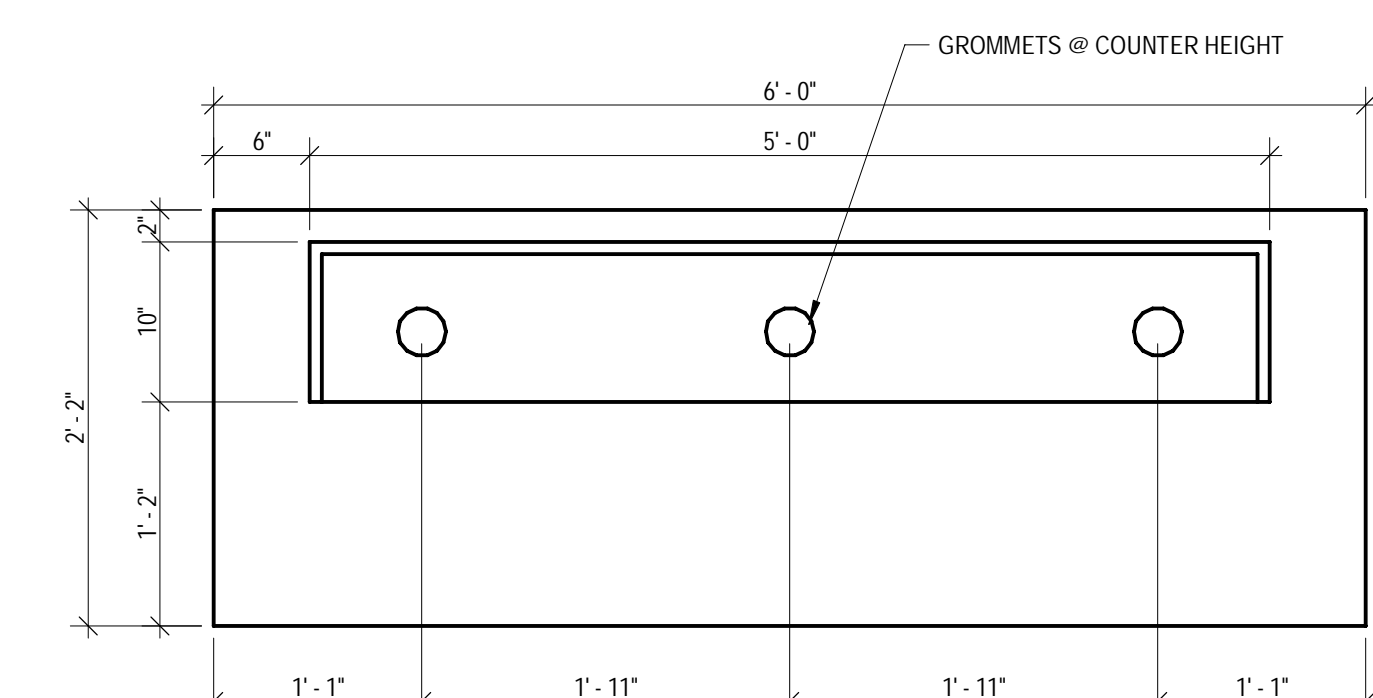
5 SMALL POS DETAILS - FRONT ELEVATION  
SCALE: 1" = 1'-0"



2 LARGE POS POD DETAILS - FRONT ELEVATION  
SCALE: 1" = 1'-0"



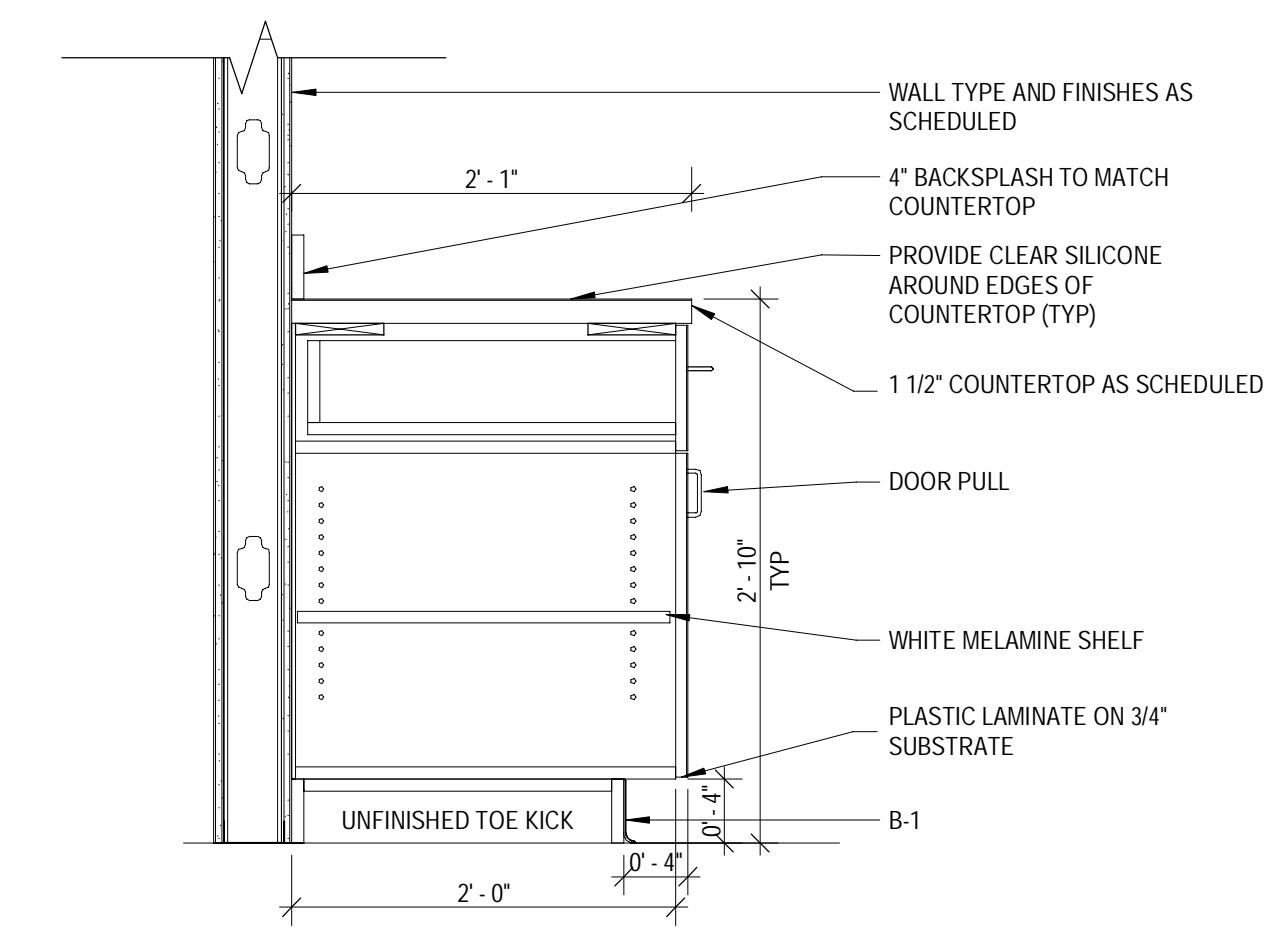
4 SMALL POST DETAILS - PLAN VIEW  
SCALE: 1" = 1'-0"



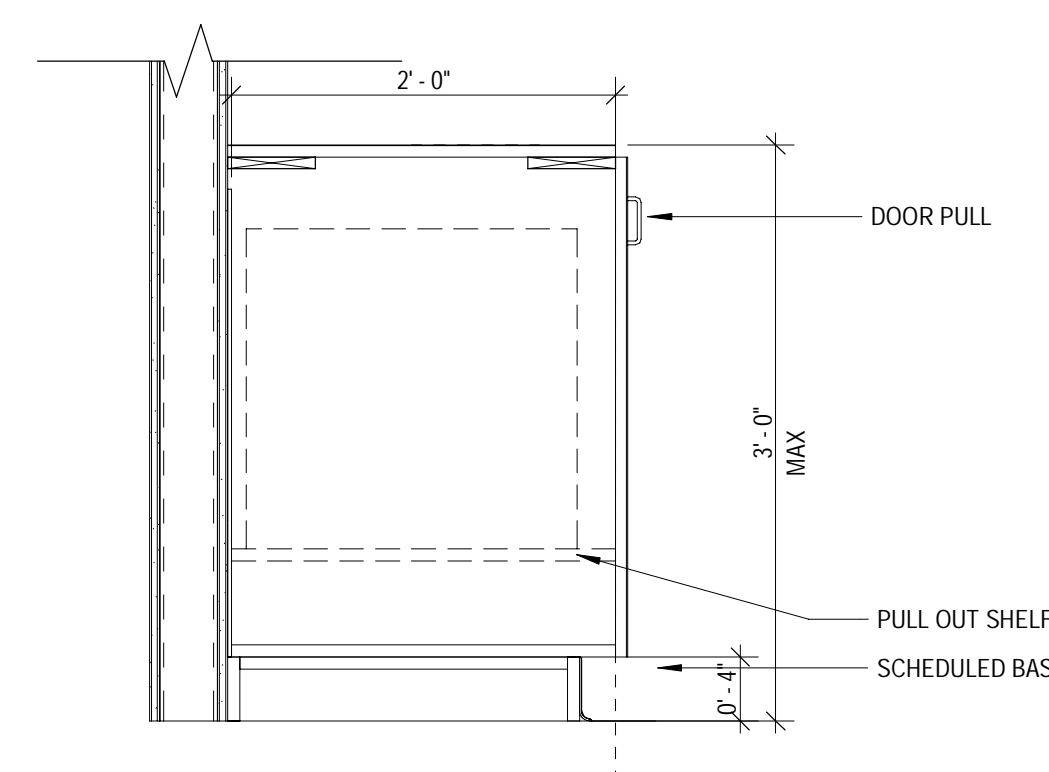
1 CENTER POD DETAILS - PLAN VIEW  
SCALE: 1" = 1'-0"

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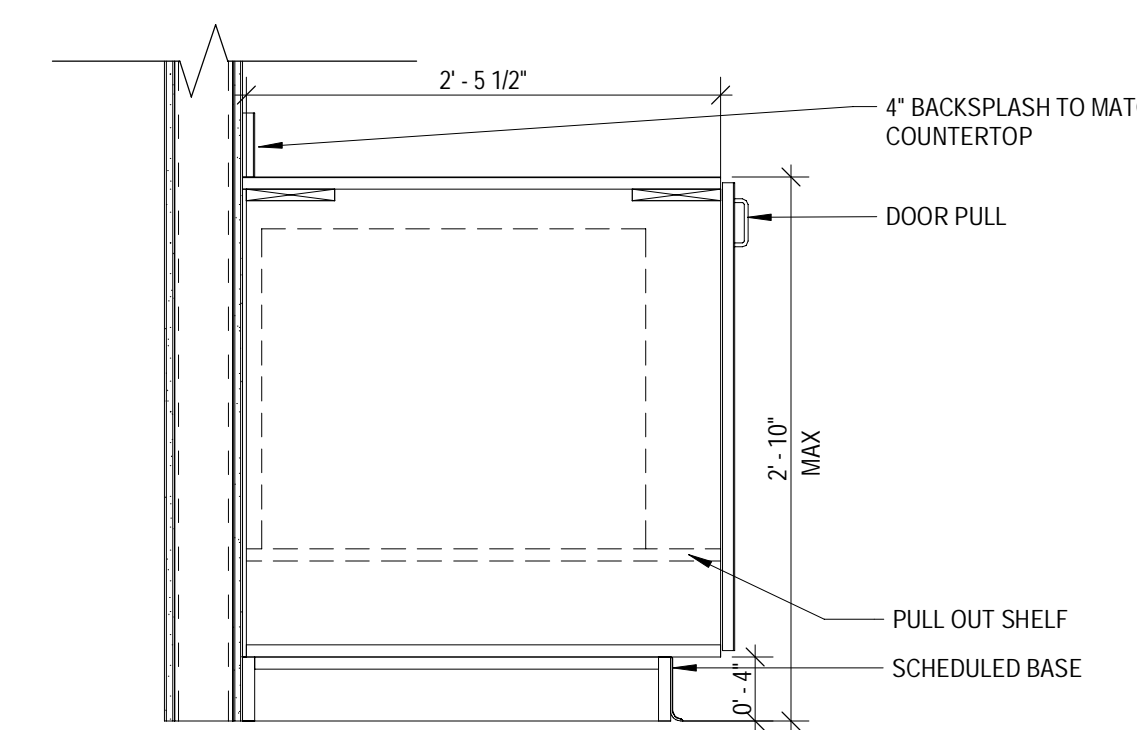
Project No.	21603901A
Drawn By:	LPW
Checked By:	GAR



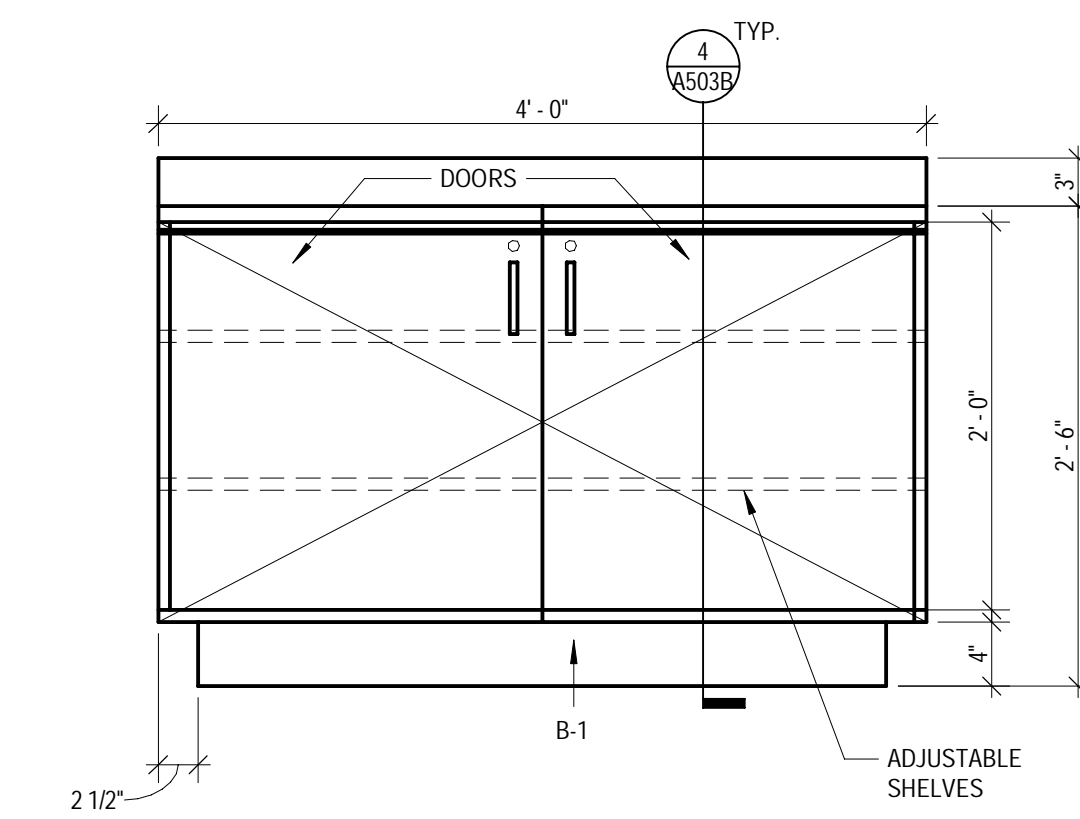
4 BASE CABINET SECTION @ KIDS CLUB & STAFF LOUNGE  
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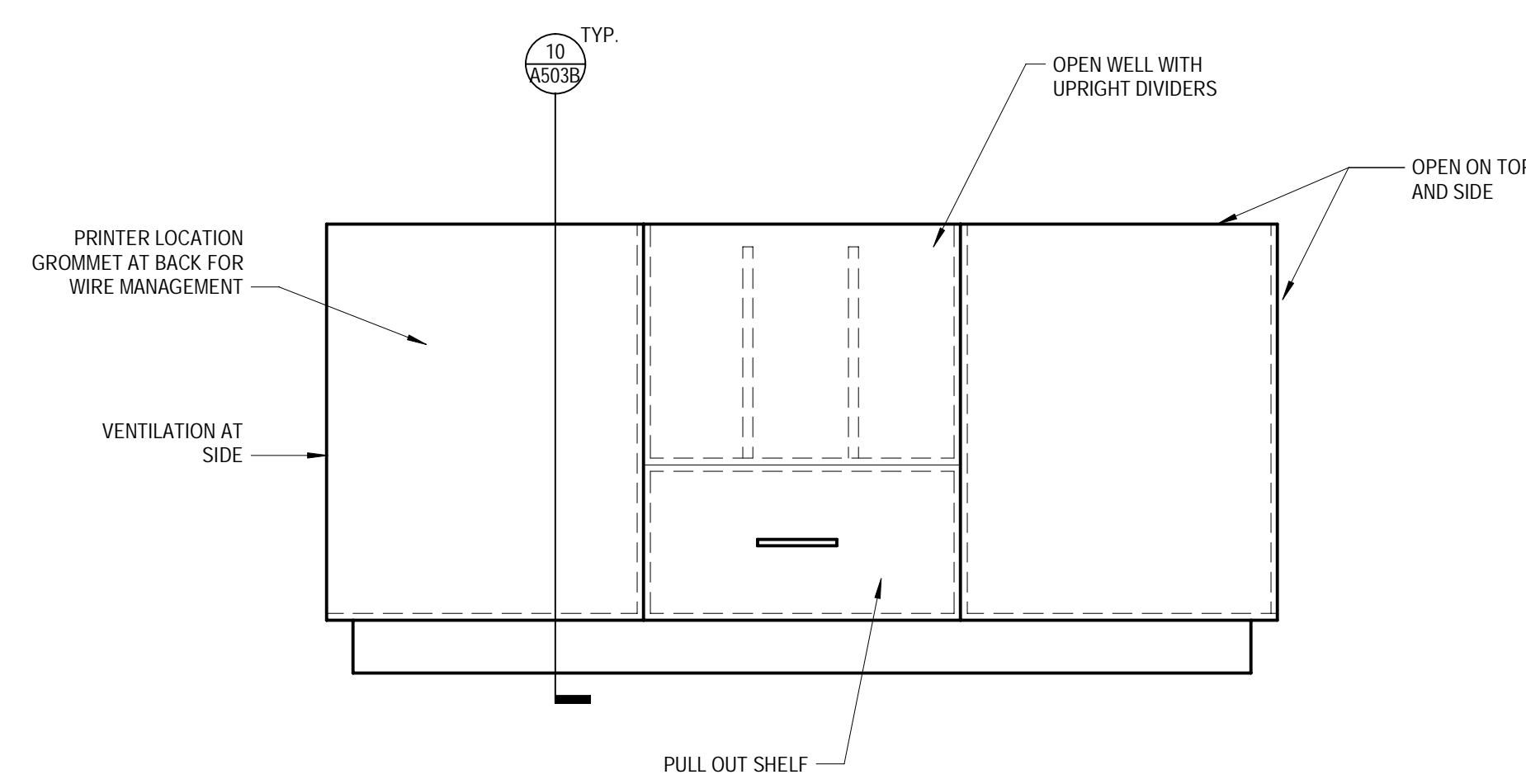
11 BACK CABINET DETAILS - SECTION  
SCALE: 1" = 1'-0"



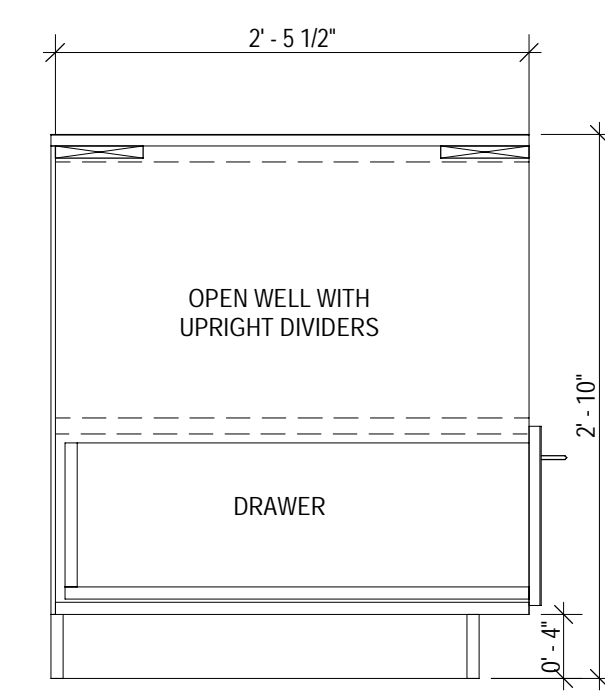
7 BACK CABINET DETAILS - SECTION  
SCALE: 1" = 1'-0"



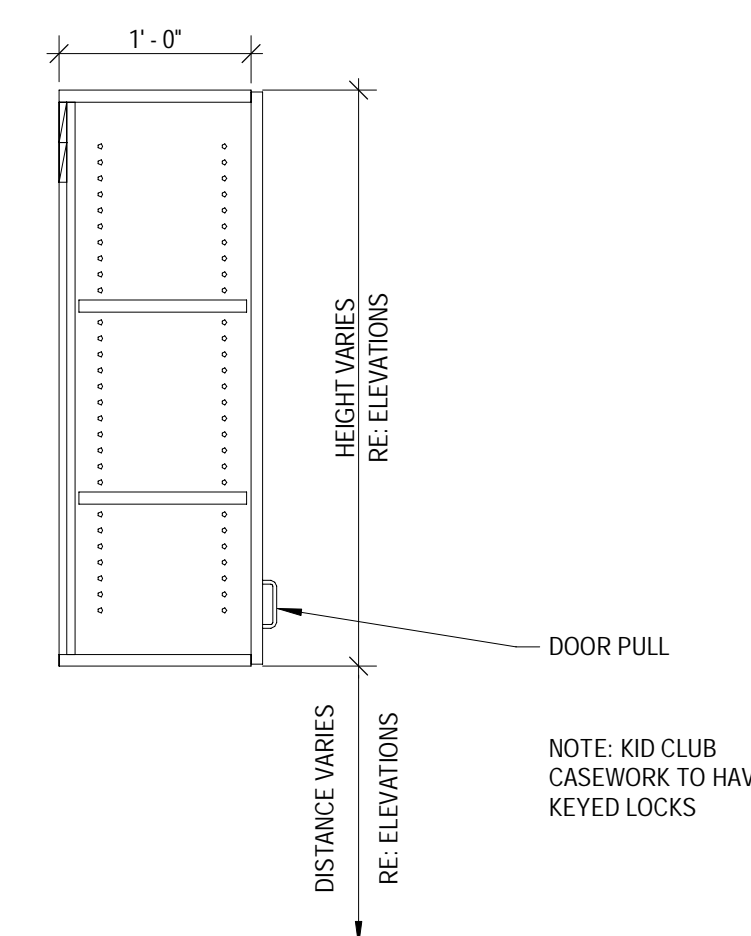
3 KIDS CLUB - CRAFT AREA LOWER CABINETS - ELEVATION  
SCALE: 1" = 1'-0"



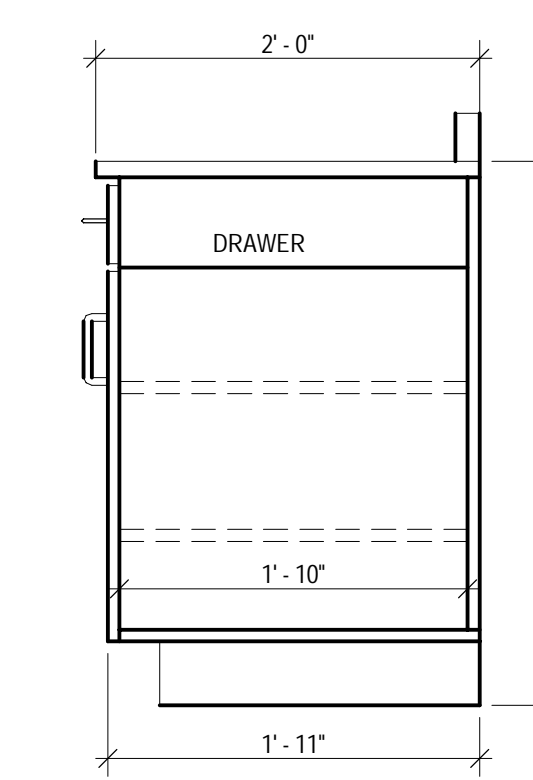
13 BACK/PRINTER CABINET DETAILS - ELEVATION  
SCALE: 1" = 1'-0"



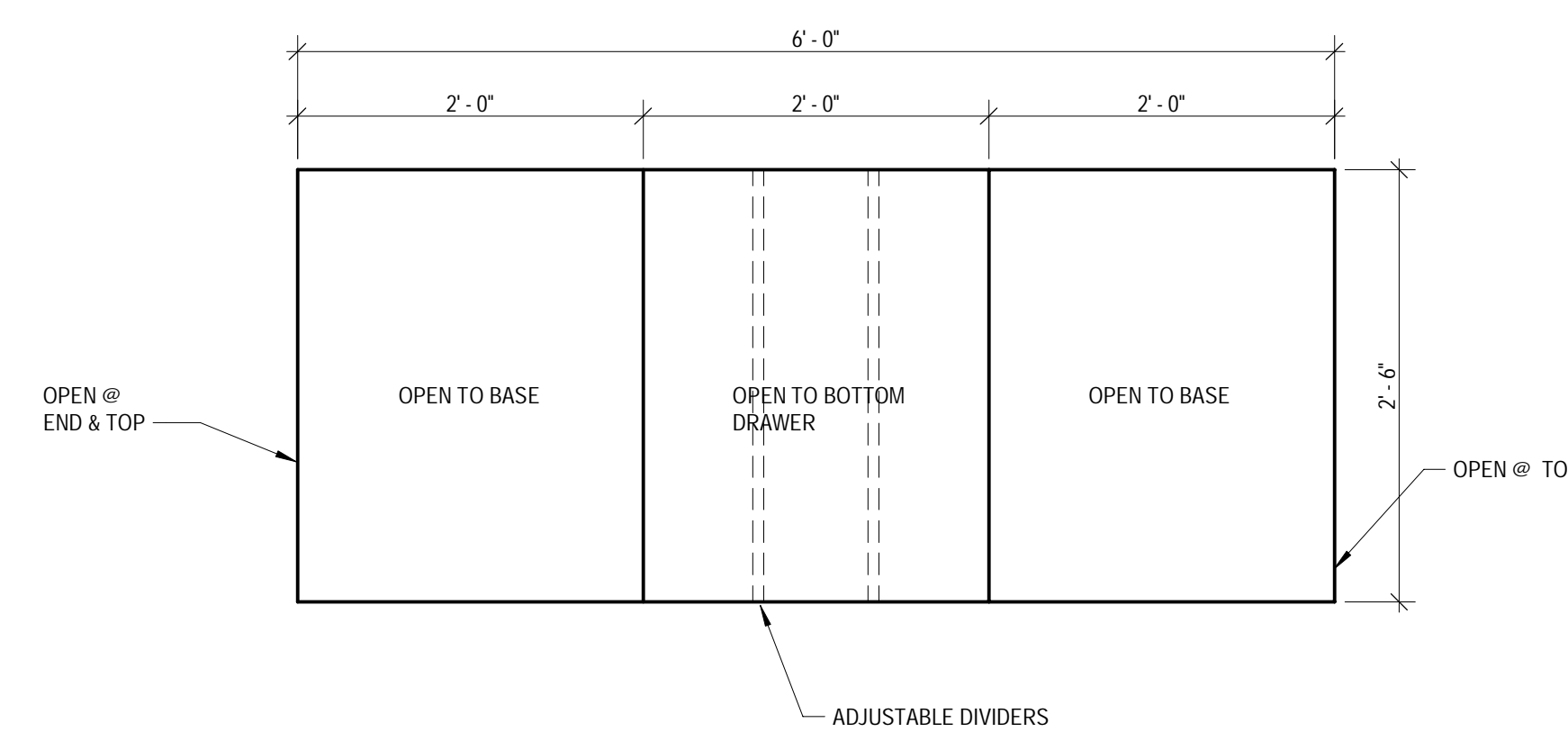
10 BACK CABINET DETAILS - SECTION  
SCALE: 1" = 1'-0"



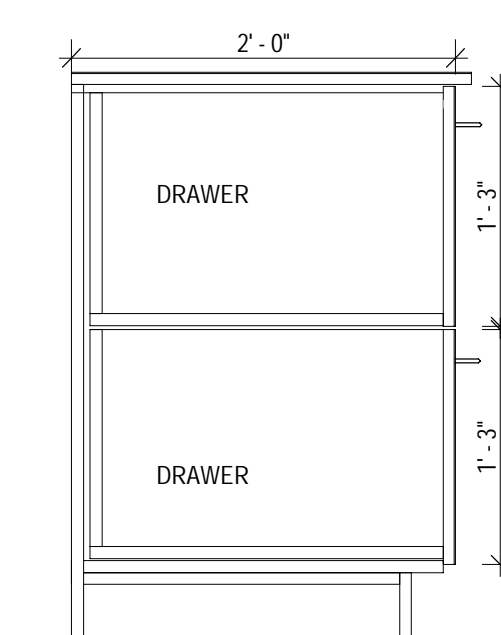
6 UPPER CABINETS SECTION @ KIDS CLUB & STAFF LOUNGE  
SCALE: 1" = 1'-0"



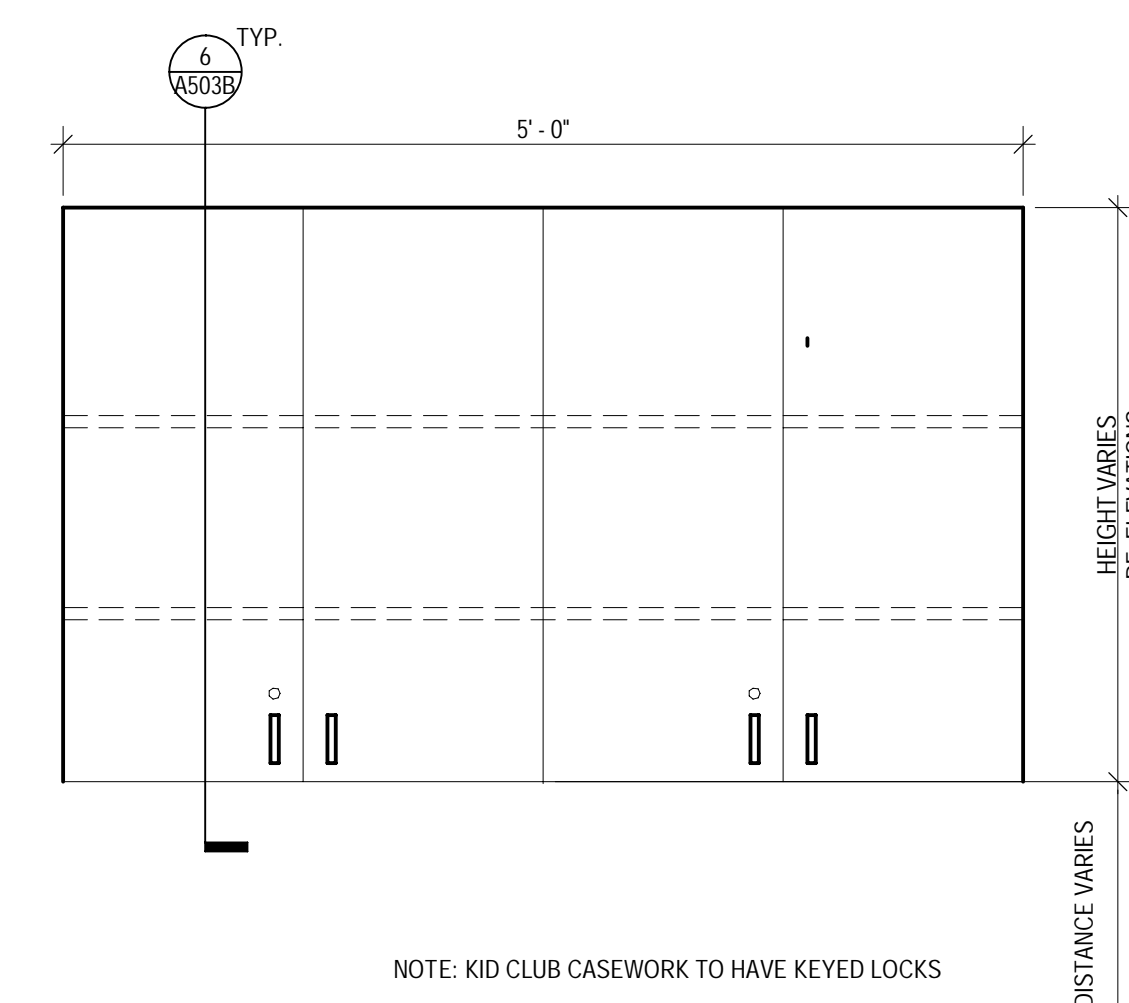
2 KIDS FRONT DESK - SECTION  
SCALE: 1" = 1'-0"



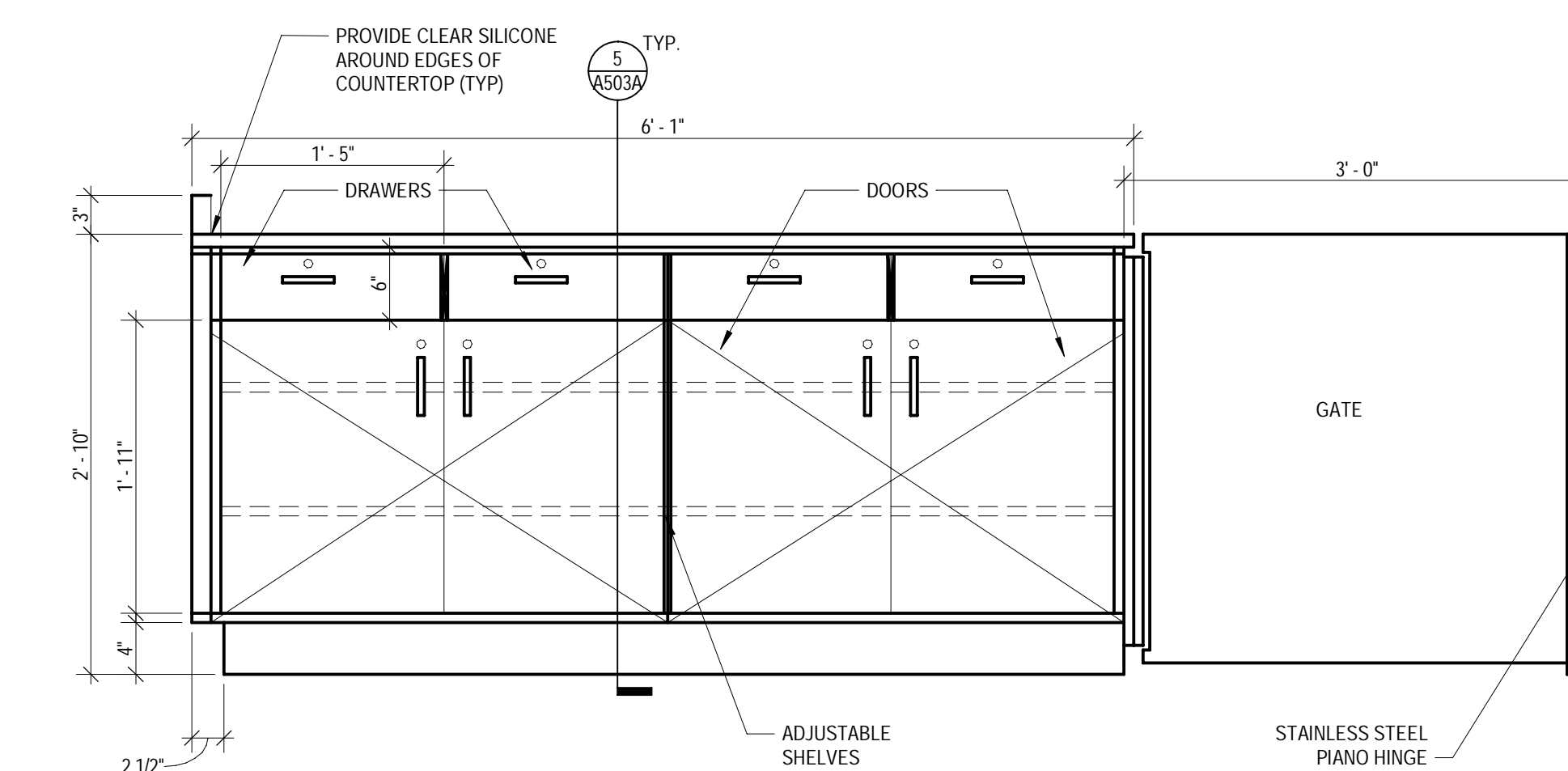
12 BACK CABINET DETAILS - PLAN VIEW  
SCALE: 1" = 1'-0"



9 BACK CABINET DETAILS - SECTION  
SCALE: 1" = 1'-0"



5 KIDS CLUB - CRAFT AREA UPPER CABINETS - ELEVATION  
SCALE: 1" = 1'-0"



1 KIDS FRONT DESK - ELEVATION  
SCALE: 1" = 1'-0"

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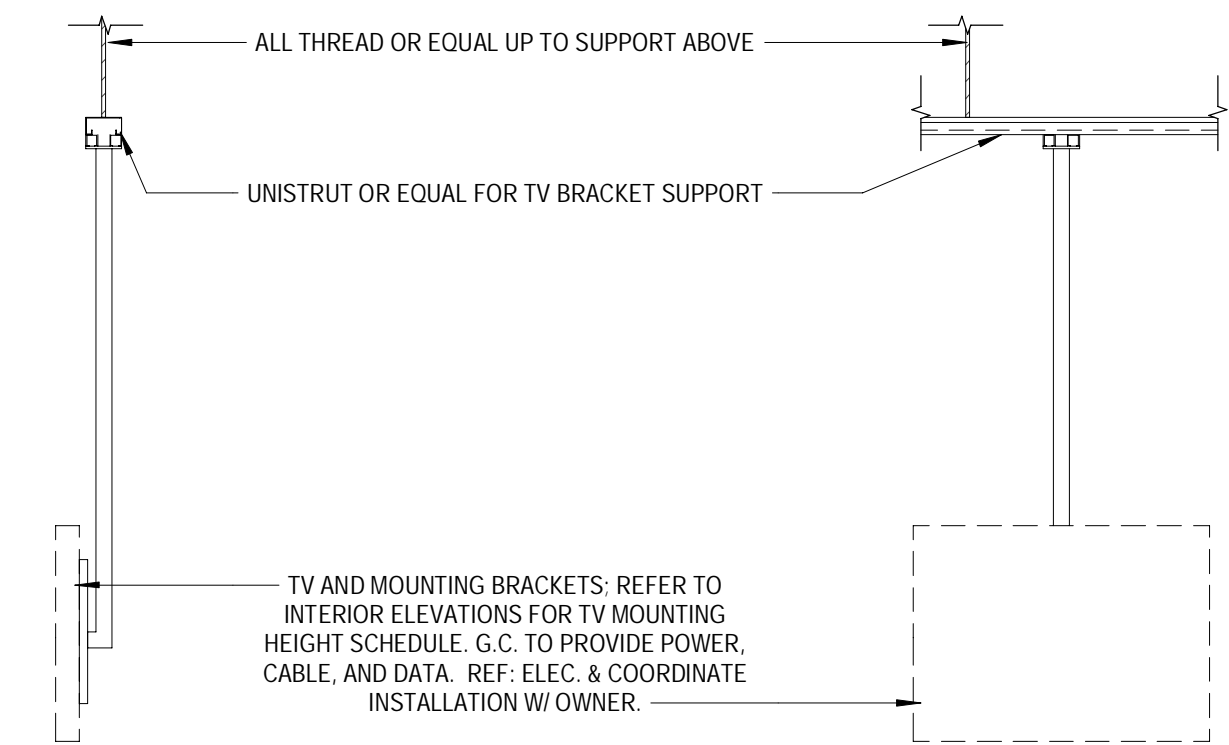
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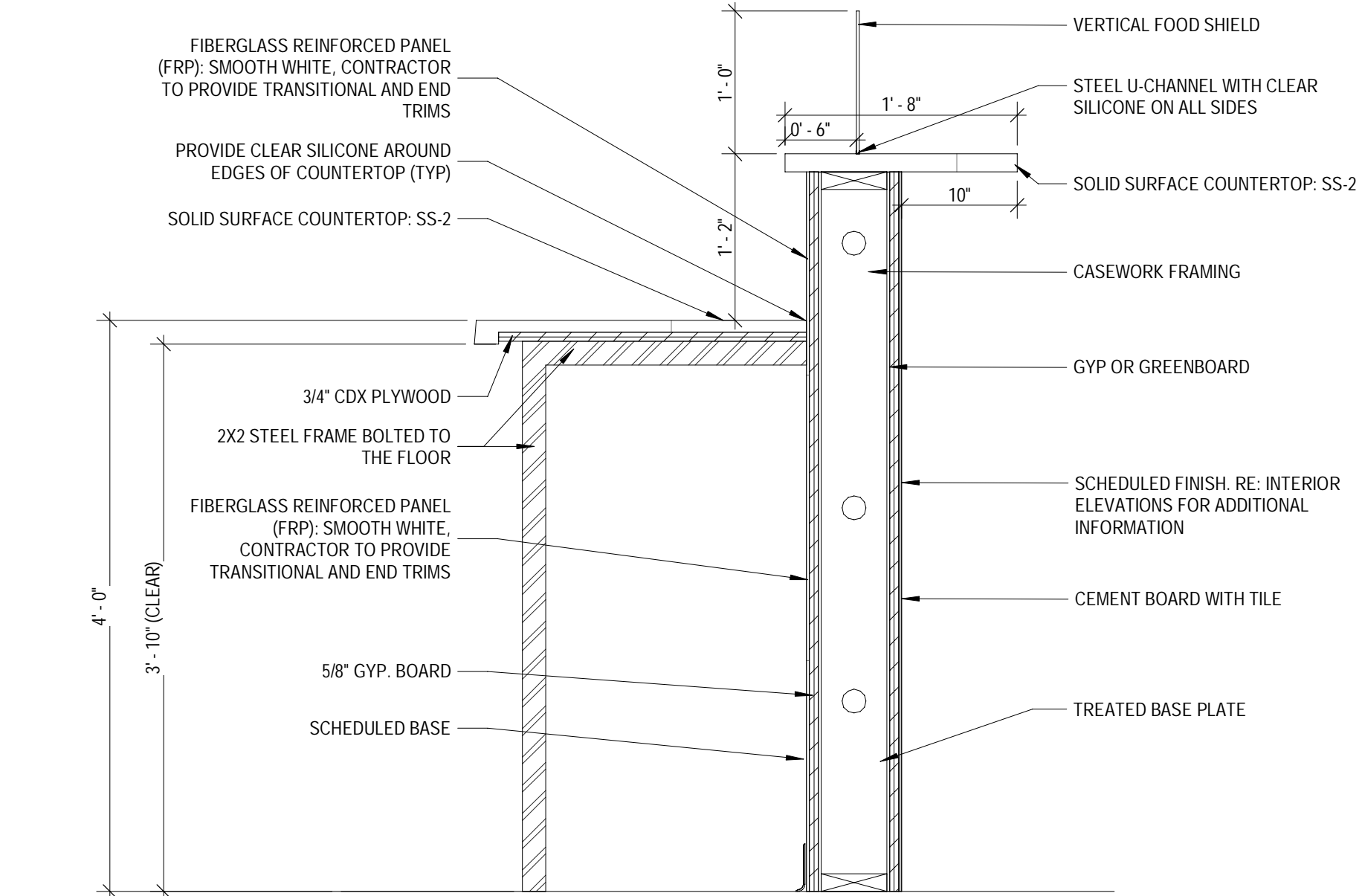
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MILLWORK & MISC. DETAILS

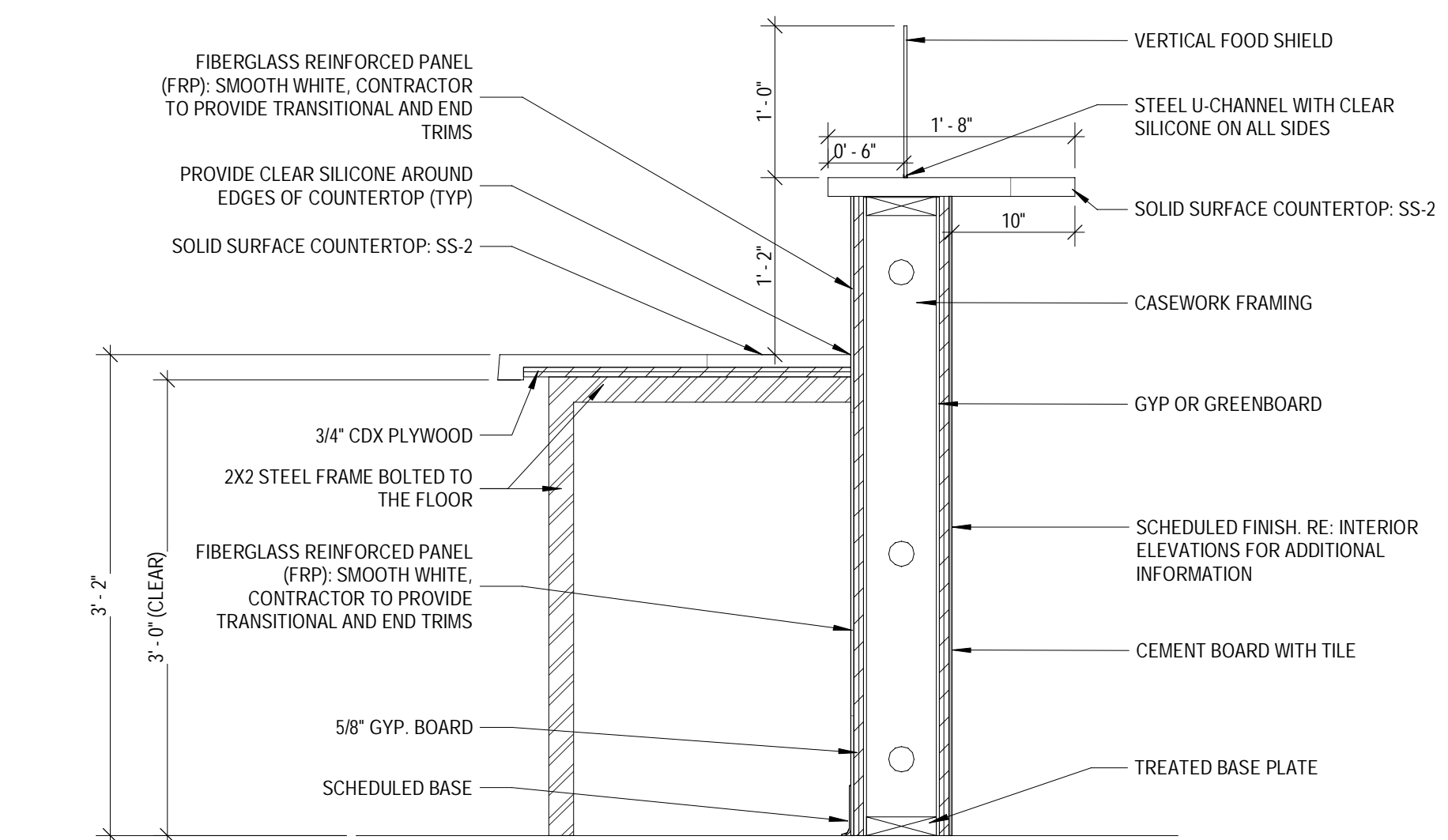
A503C



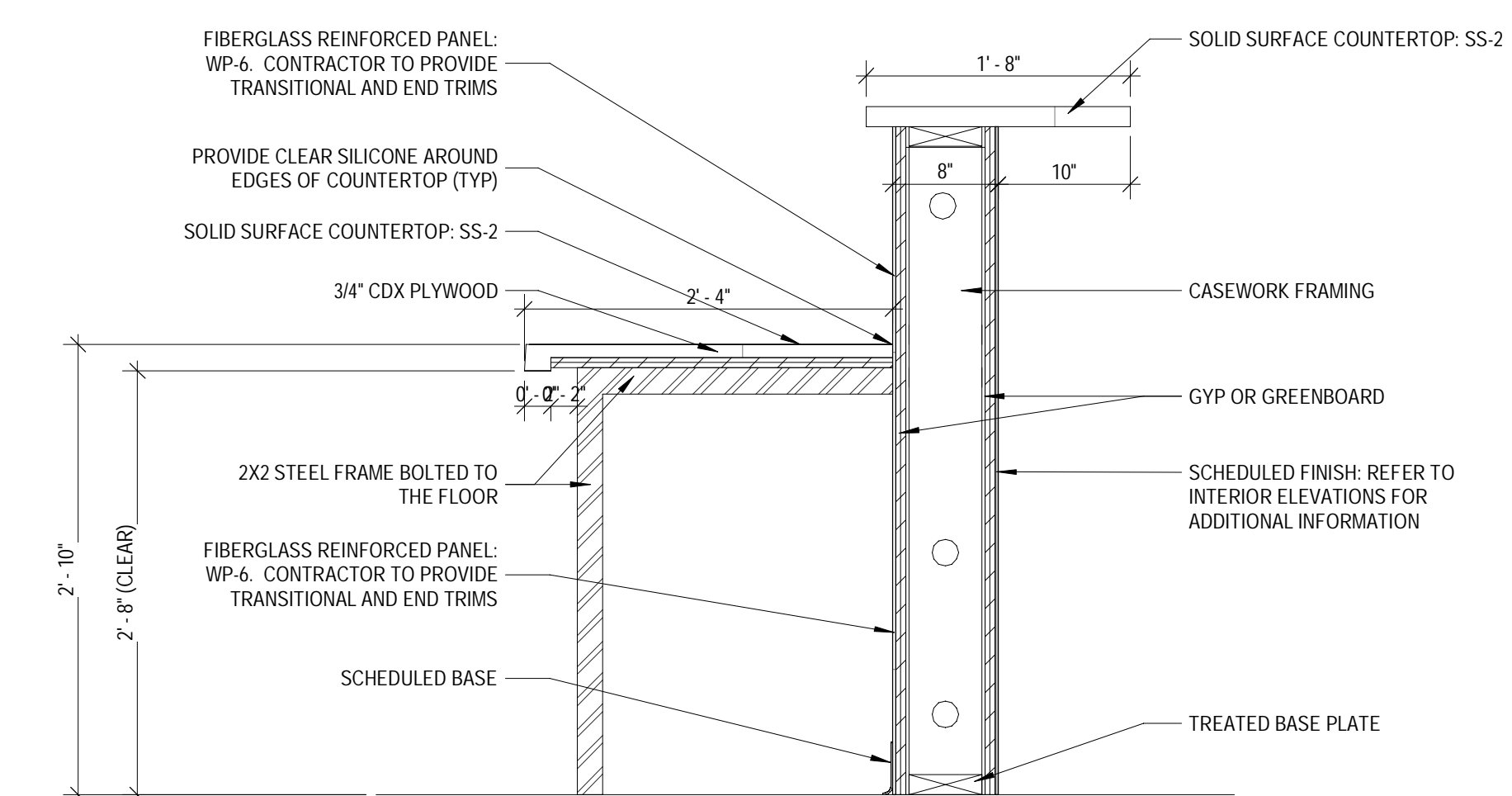
4 HANGING TV  
SCALE: 1/2" = 1'-0"



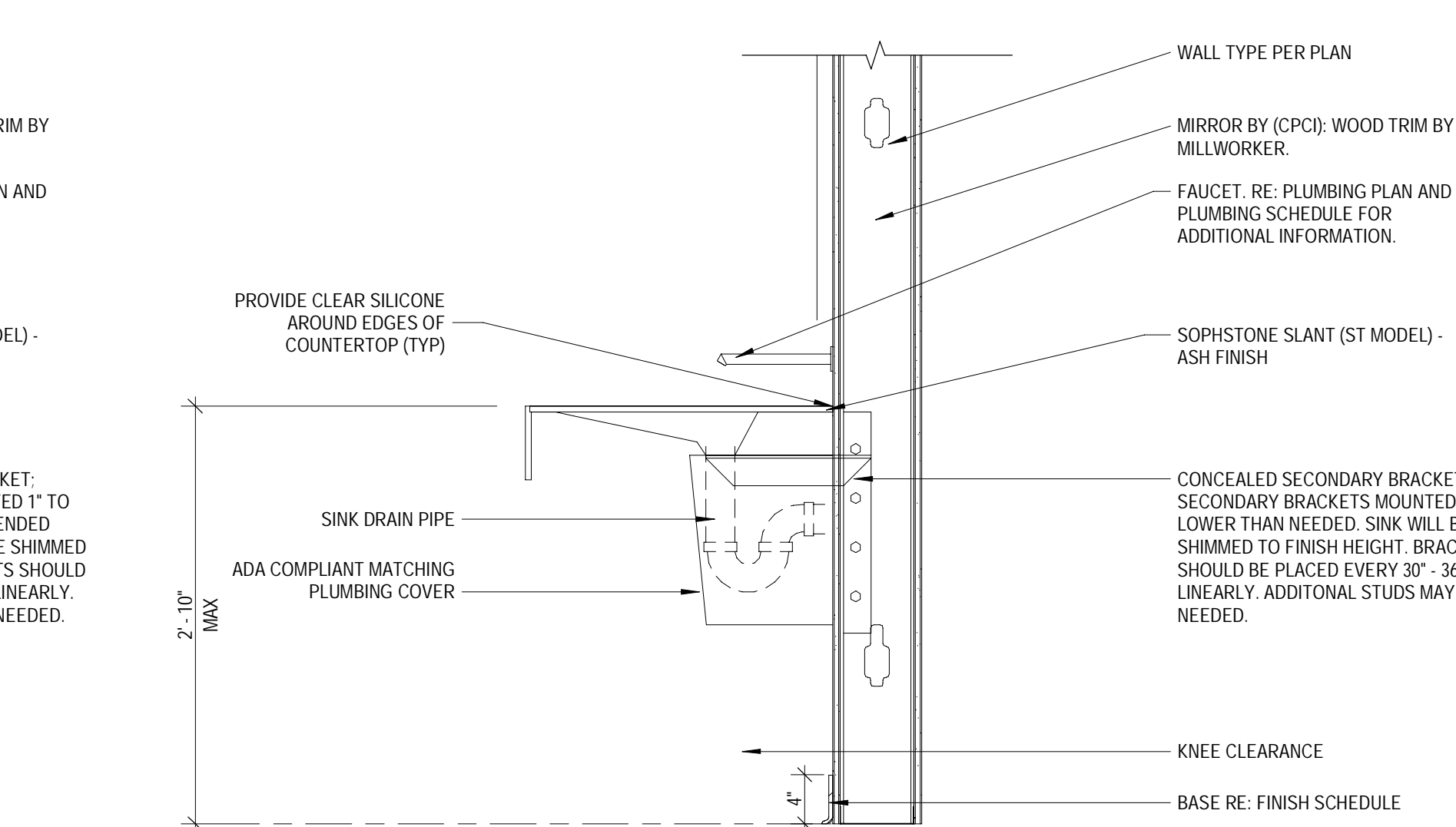
3 SECTION @ SMOOTHIE BAR HIGHER COUNTER  
SCALE: 1" = 1'-0"



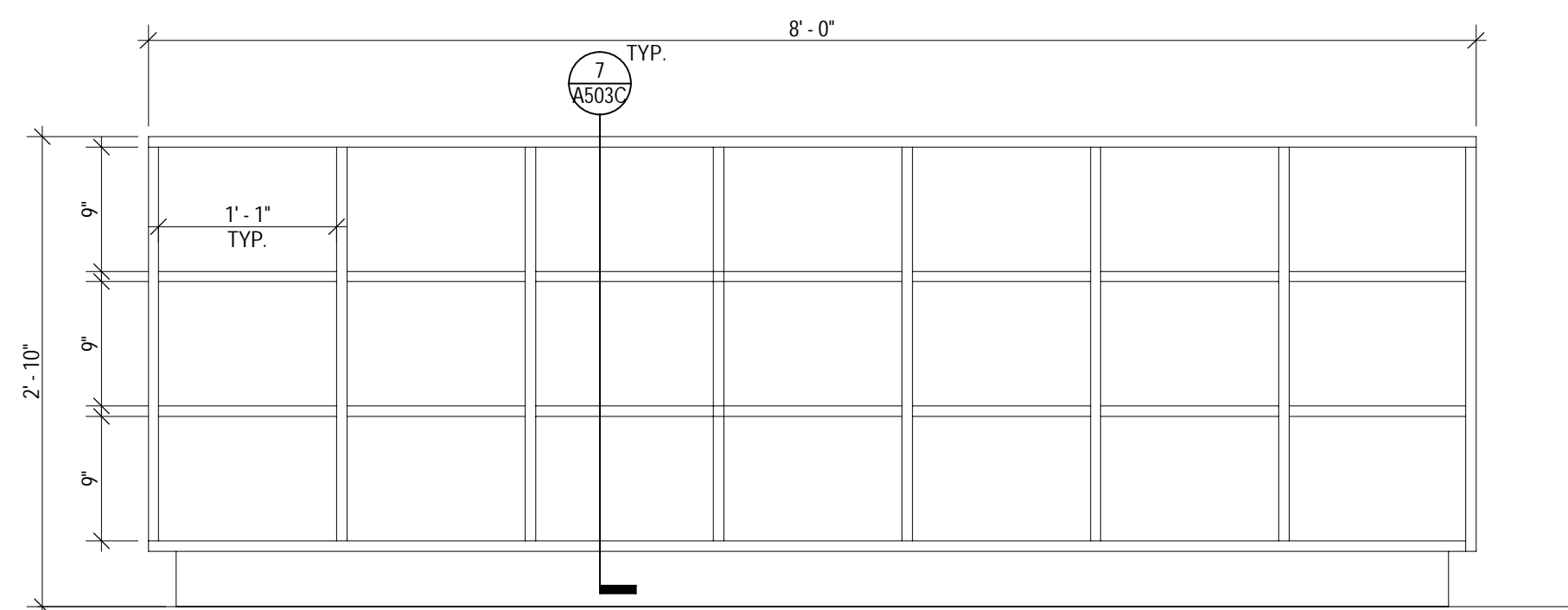
2 SECTION @ SMOOTHIE BAR  
SCALE: 1" = 1'-0"



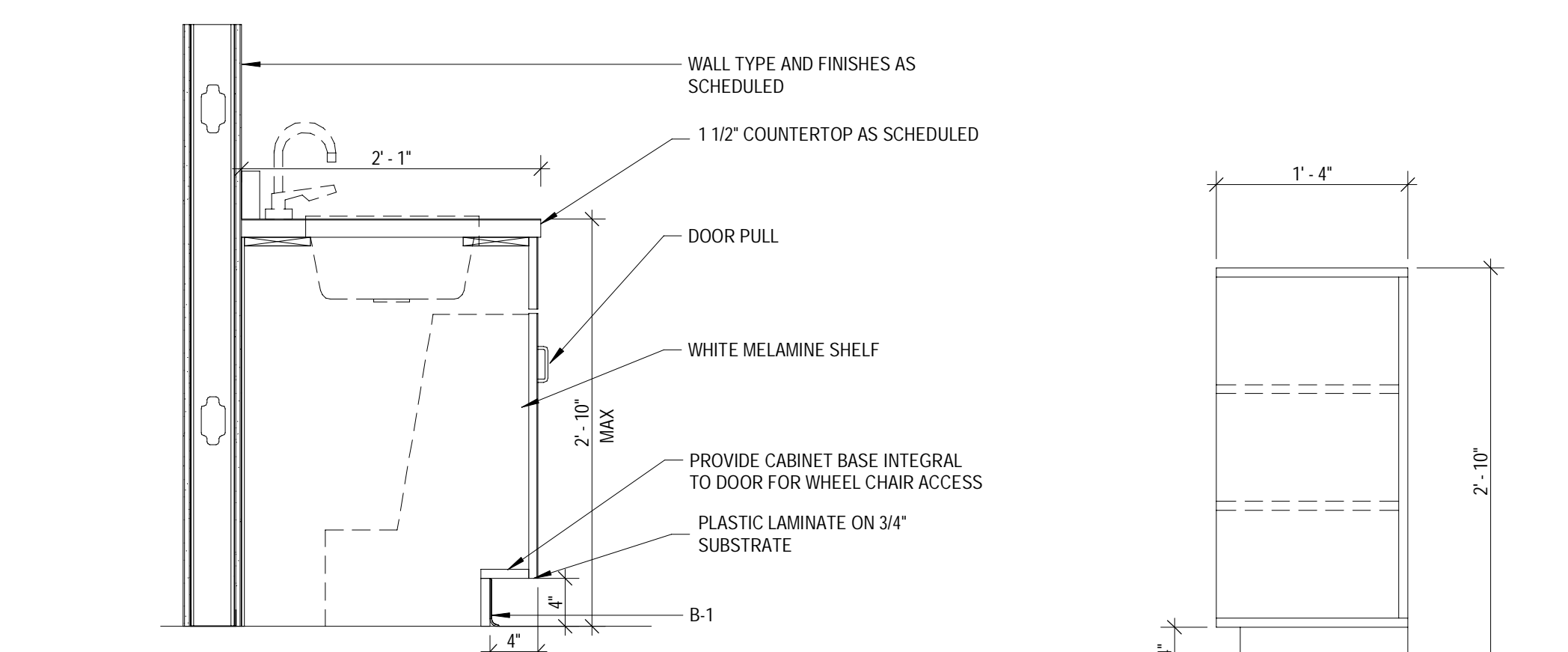
1 SECTION @ SMOOTHIE BAR - ADA  
SCALE: 1" = 1'-0"



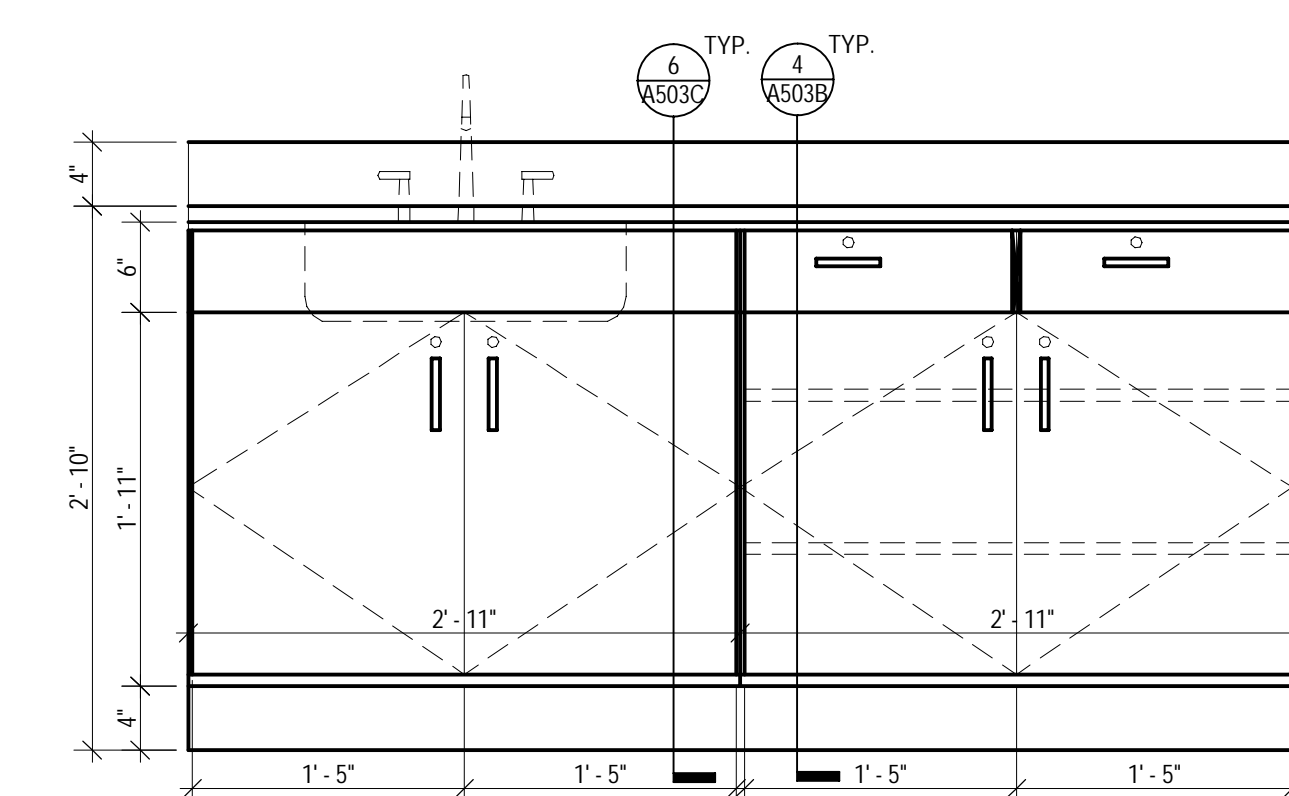
11 WET VANITY - SECTION  
SCALE: 1" = 1'-0"



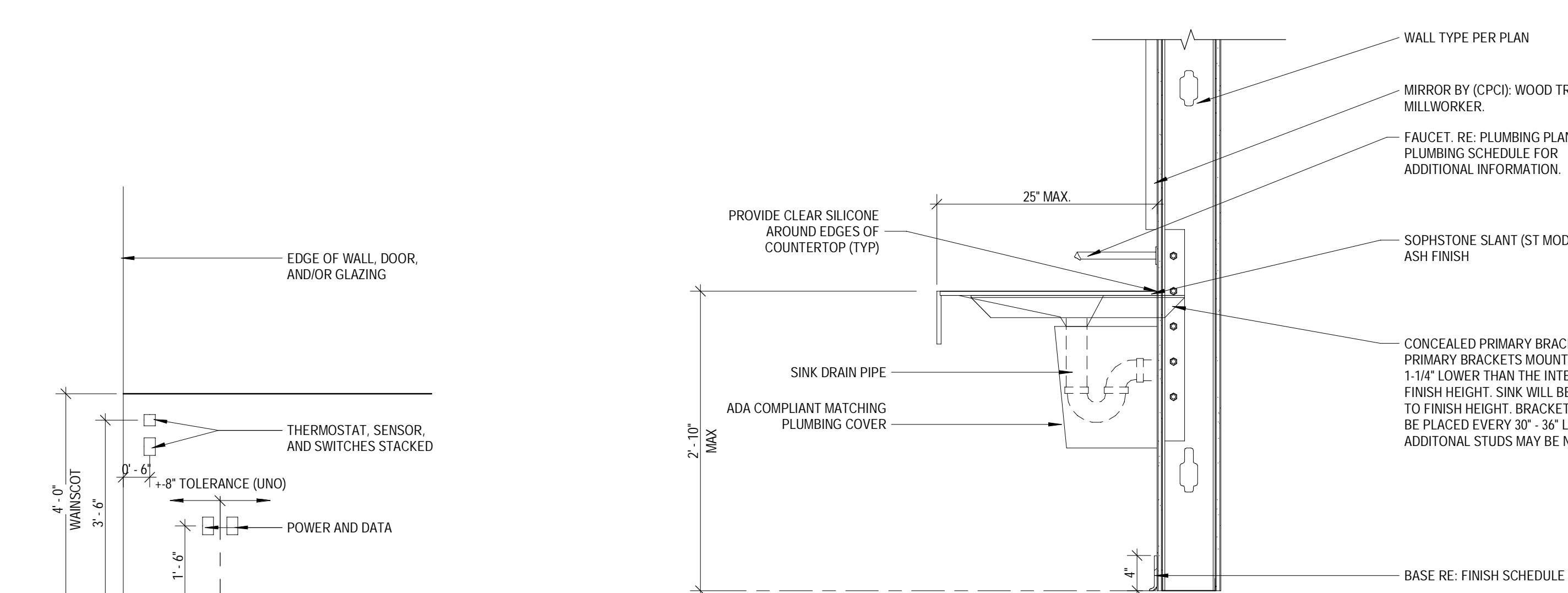
8 KID'S CLUB CUBBY - FRONT ELEVATION  
SCALE: 1" = 1'-0"



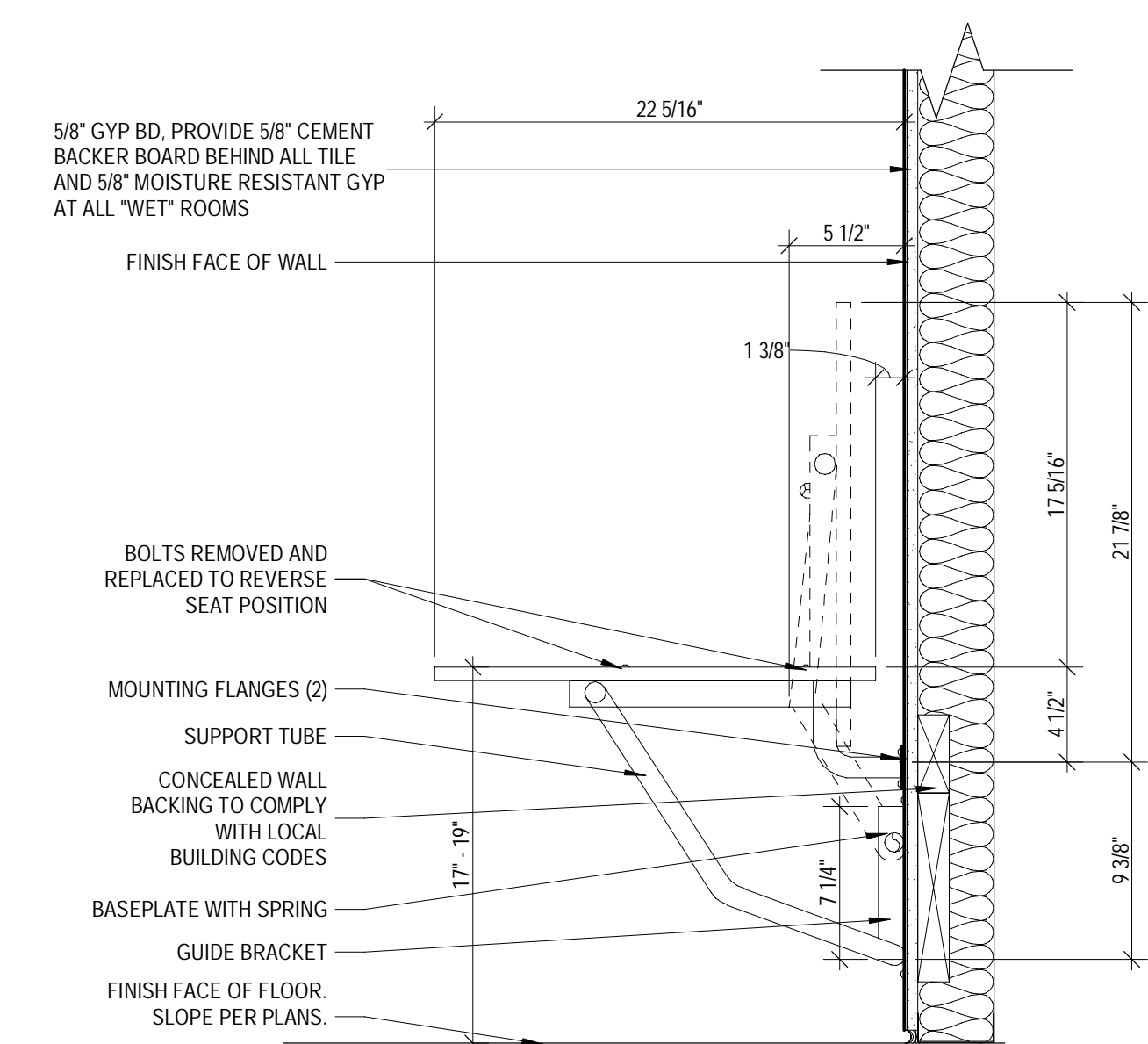
6 STAFF LOUNGE MILLWORK - LOWER CABINETS SECTION  
SCALE: 1" = 1'-0"



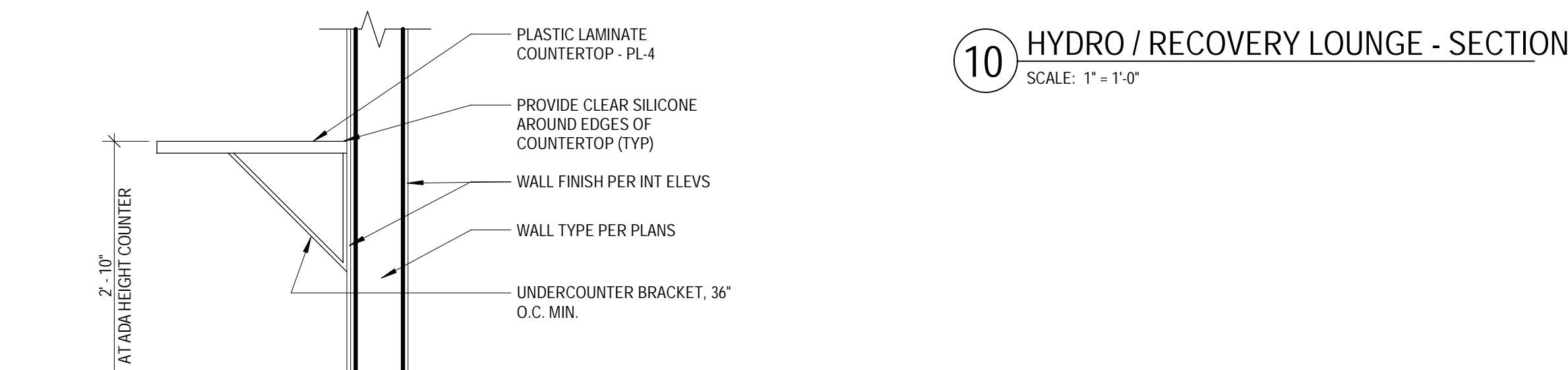
5 STAFF LOUNGE MILLWORK - LOWER CABINETS ELEVATION  
SCALE: 1" = 1'-0"



16 WALL SWITCHES AT WAINSCOT  
SCALE: 1/2" = 1'-0"

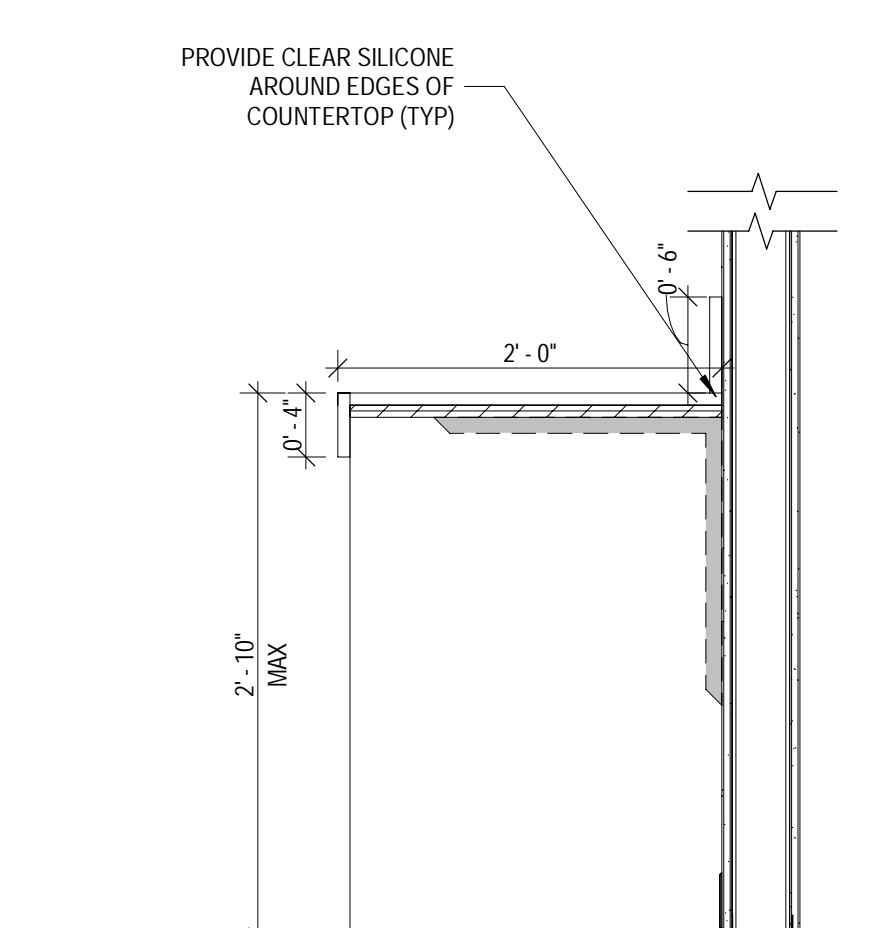


14 ADA SHOWER BENCH DETAIL  
SCALE: 1/2" = 1'-0"

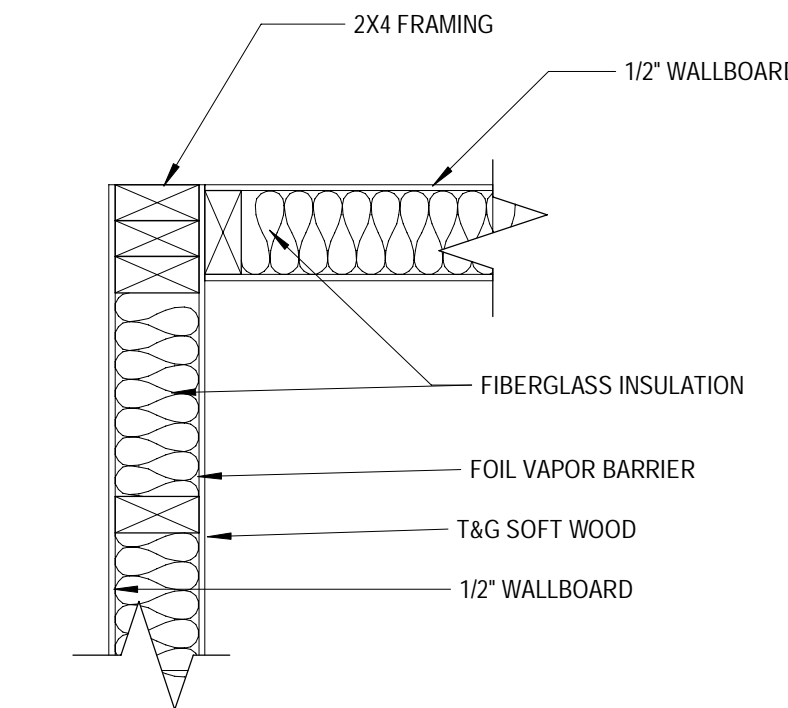


10 HYDRO / RECOVERY LOUNGE - SECTION  
SCALE: 1" = 1'-0"

13 COUNTERTOP DETAIL  
SCALE: 3/4" = 1'-0"



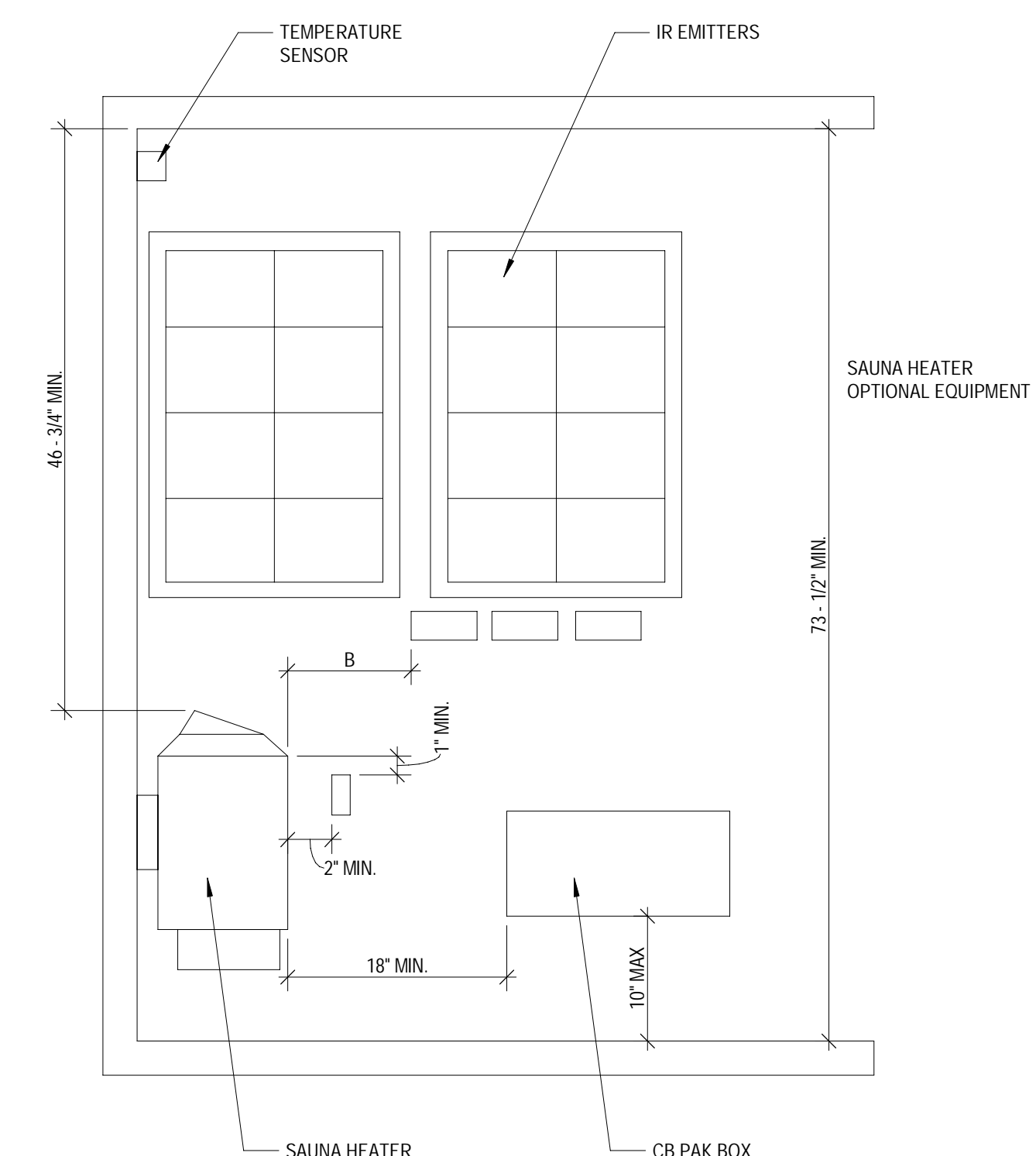
12 DRY VANITY SECTION  
SCALE: 1" = 1'-0"



TYPICAL PRE-CUT WALL CONSTRUCTION

3 TYP. PRE-CUT WALL CONST

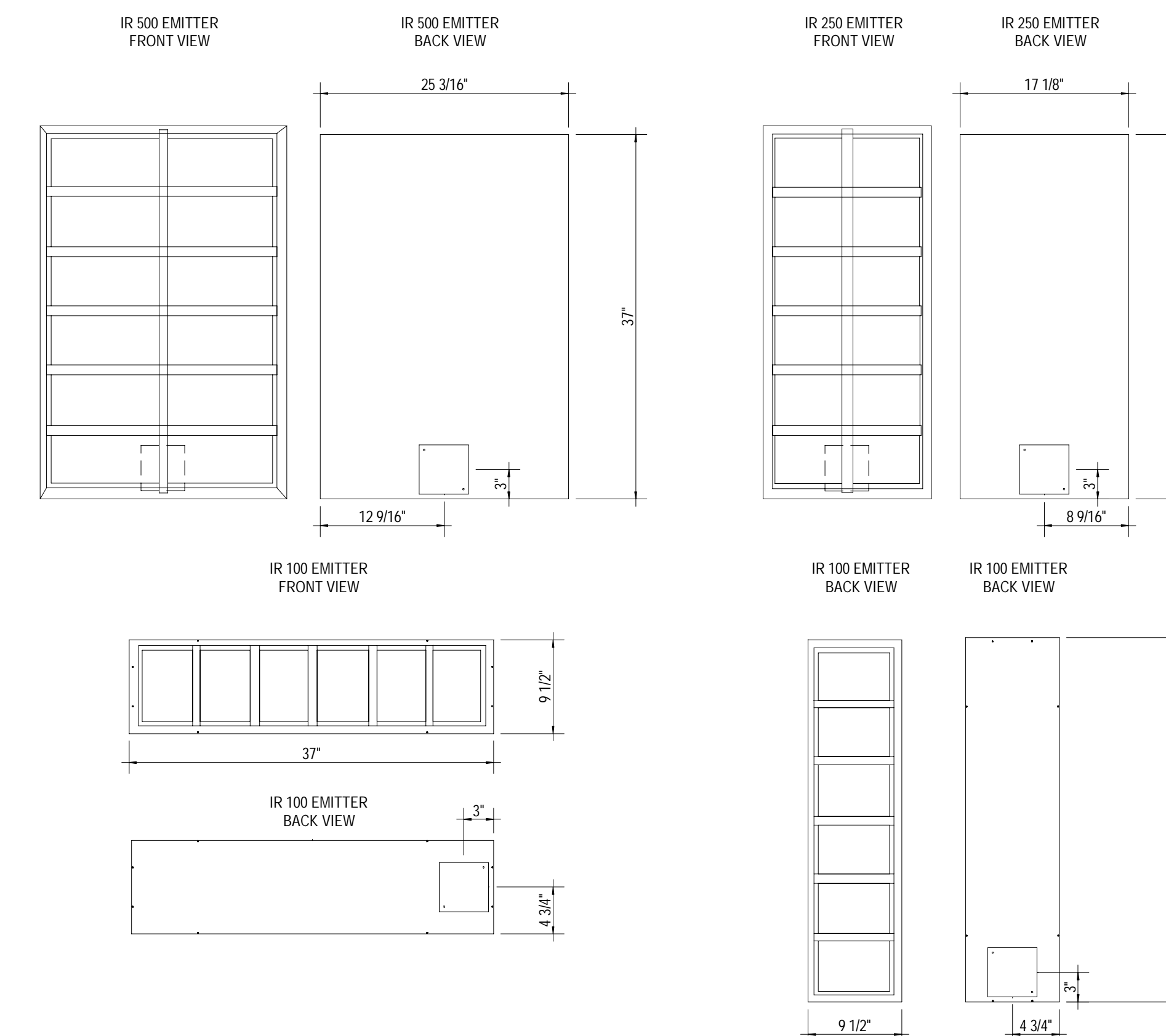
SCALE: 1/12" = 1'-0"



MINIMUM DISTANCE TO COMBUSTIBLE MATERIAL

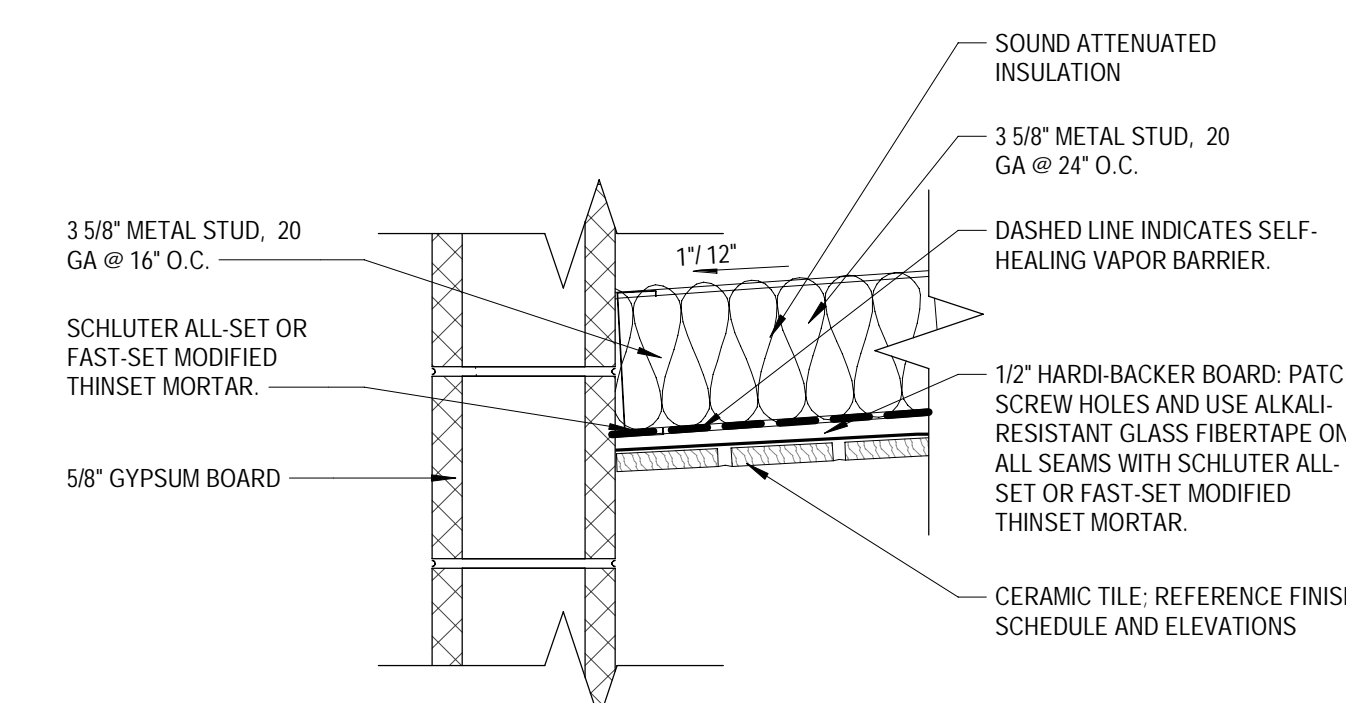
2 SAUNA ELEVATION 2

SCALE: 1" = 1'-0"



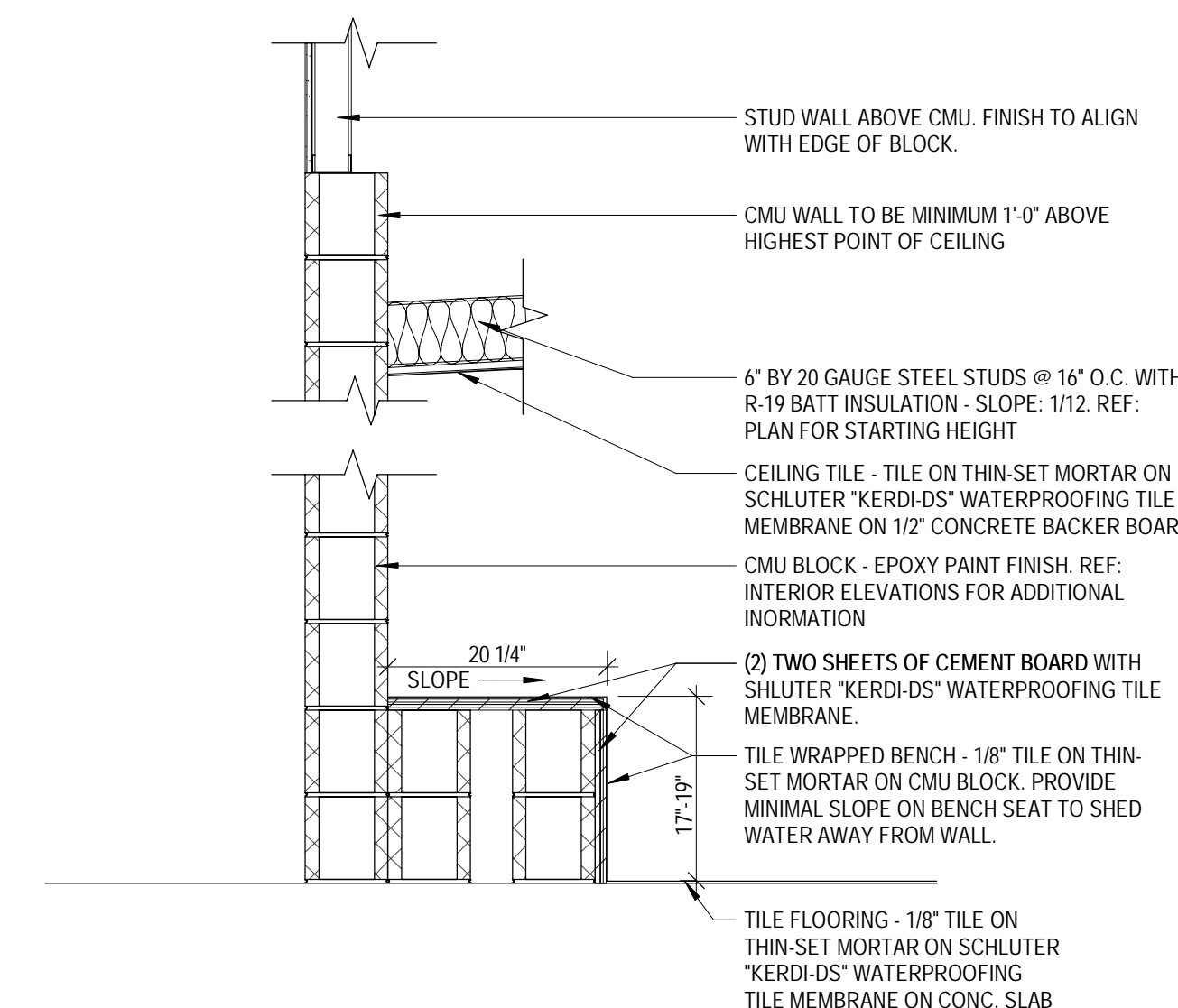
5 SAUNA ELECT INSTALLATION

SCALE: 1" = 1'-0"



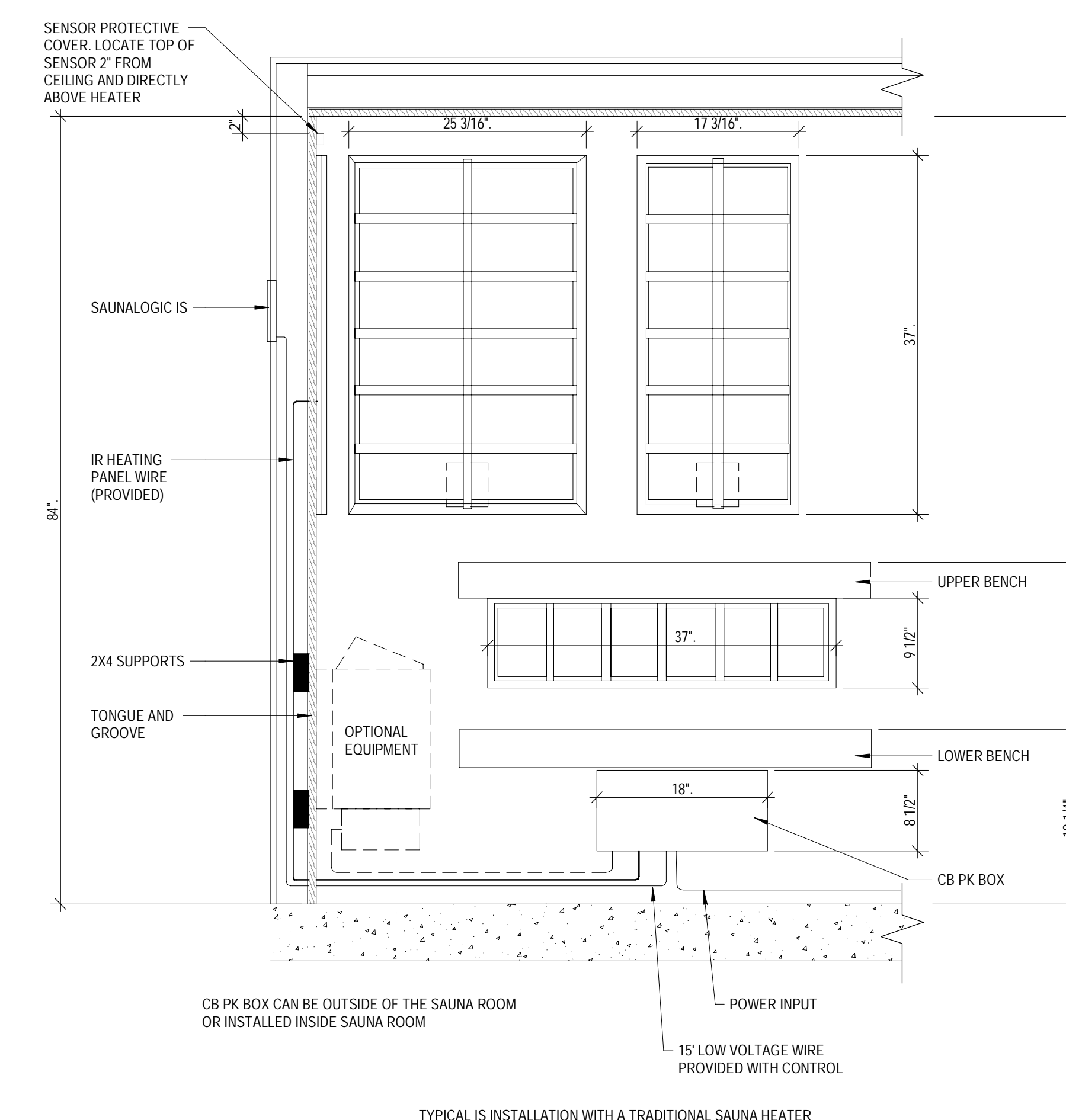
7 SOFFIT - SECTION @ STEAM ROOM - CMU

SCALE: 1/12" = 1'-0"



6 SECTION DETAIL @ STEAM ROOM

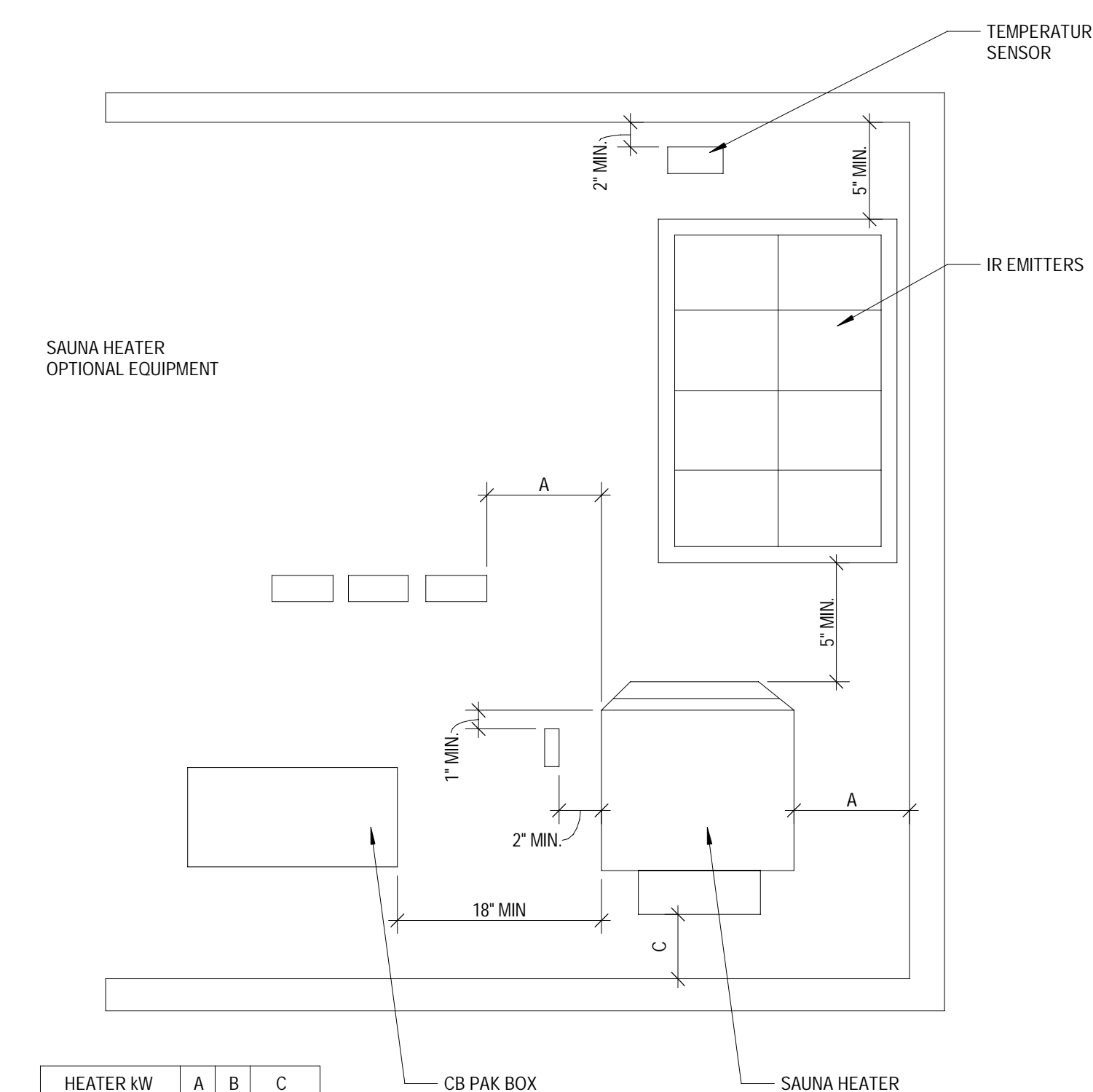
SCALE: 3/4" = 1'-0"



TYPICAL IS INSTALLATION WITH A TRADITIONAL SAUNA HEATER

4 SAUNA TYPICAL IS INSTALL DETAIL

SCALE: 1" = 1'-0"



MINIMUM DISTANCE TO COMBUSTIBLE MATERIAL

1 SAUNA ELEVATION 1

SCALE: 1" = 1'-0"

HEATER KW	A	B	C
3.0kW	2'	5"	5"
4.5kW	3'	4"	6-1/2"
6.0kW	4'	5"	6-1/2"
8.0kW	5'	6"	6-1/2"

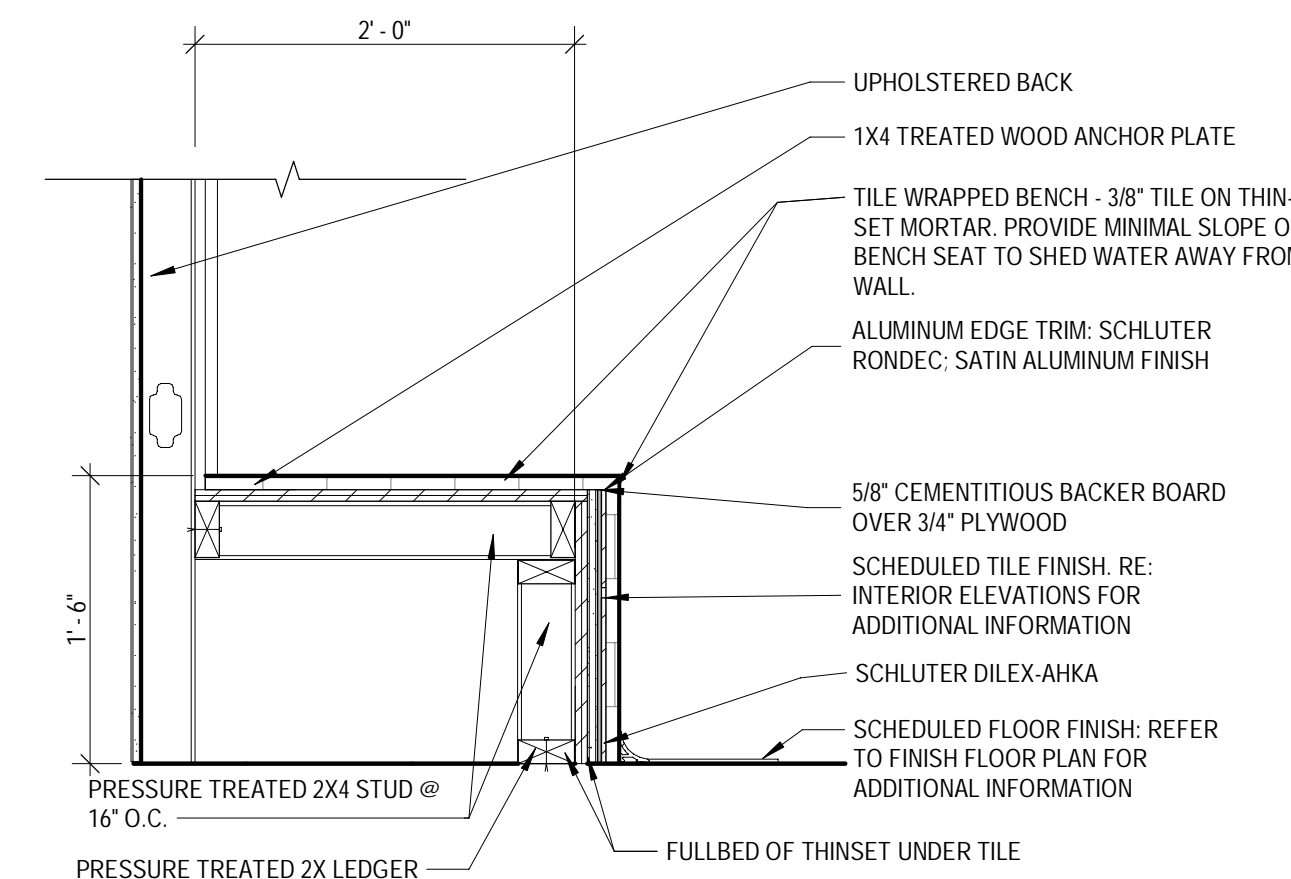
#	Date	Issue/Description
12/17/21	25% SUBMITTAL	
01/05/22	75% SUBMITTAL	
01/14/22	PERMIT SET	
01/31/22	100% SUBMITTAL	
03/11/22	PERMIT SET	

Project No:	21603901A
Drawn By:	LPW
Checked By:	GAR

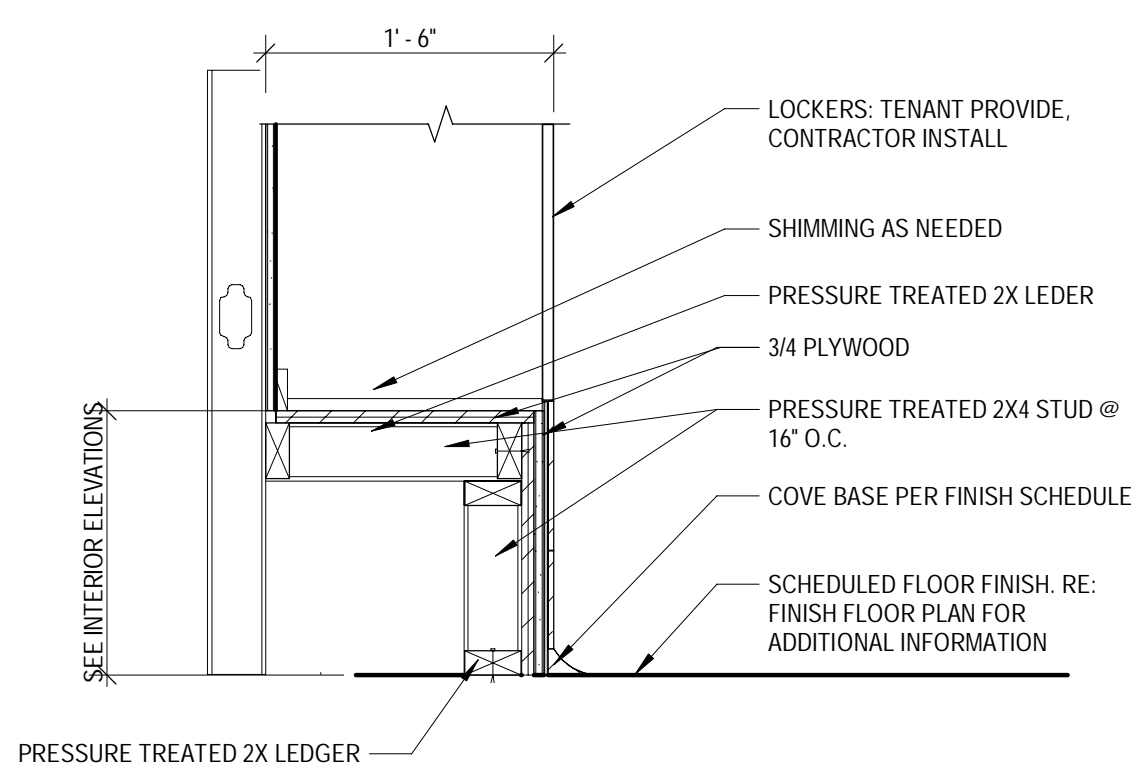
#	Date	Issue/Description
12/17/21		25% SUBMITTAL
01/05/22		75% SUBMITTAL
01/14/22		PERMIT SET
01/31/22		100% SUBMITTAL
03/11/22		PERMIT SET

Project No:	21603901A
Drawn By:	LPW
Checked By:	GAR

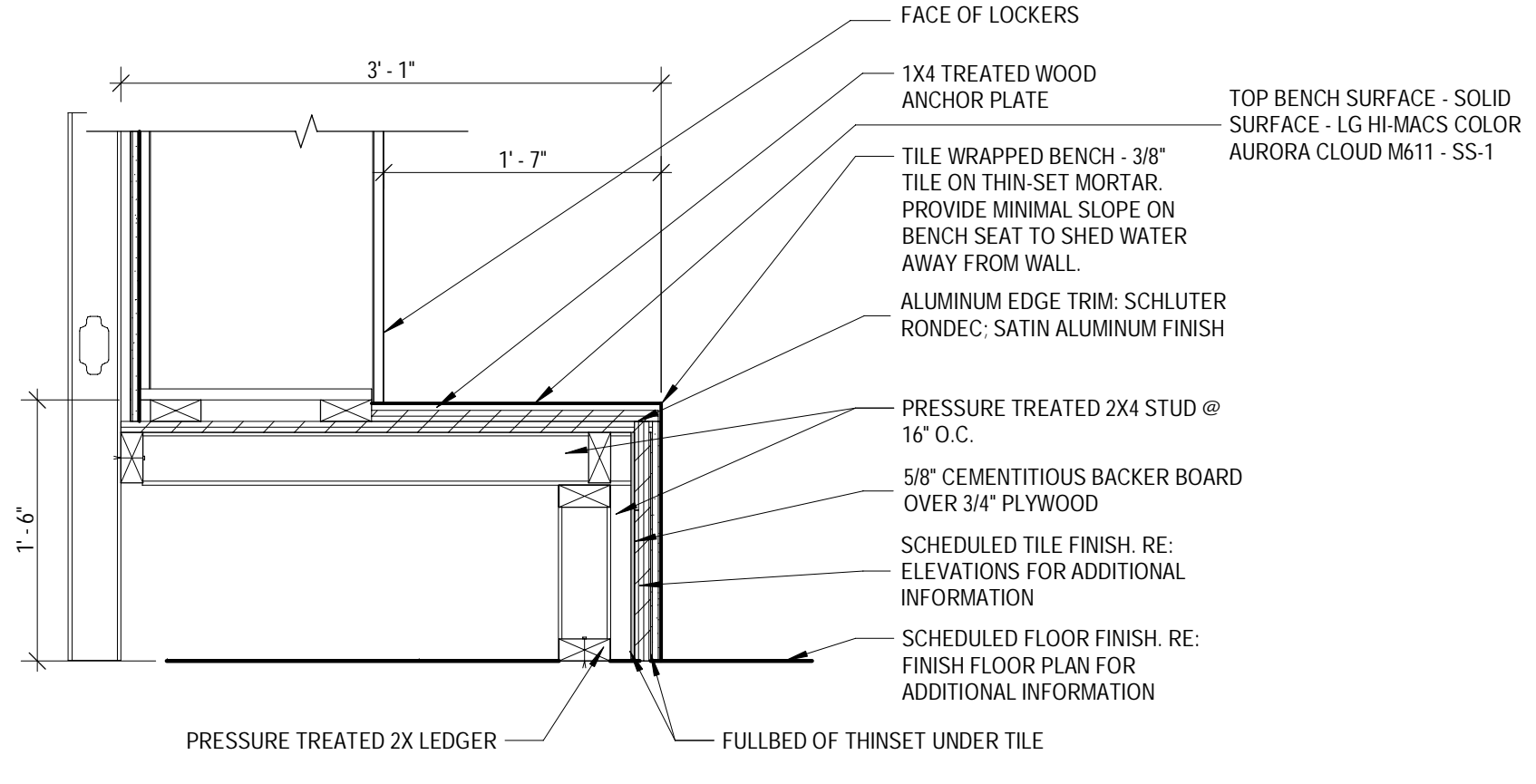
MISC. DETAILS & FLOOR TRANSITIONS



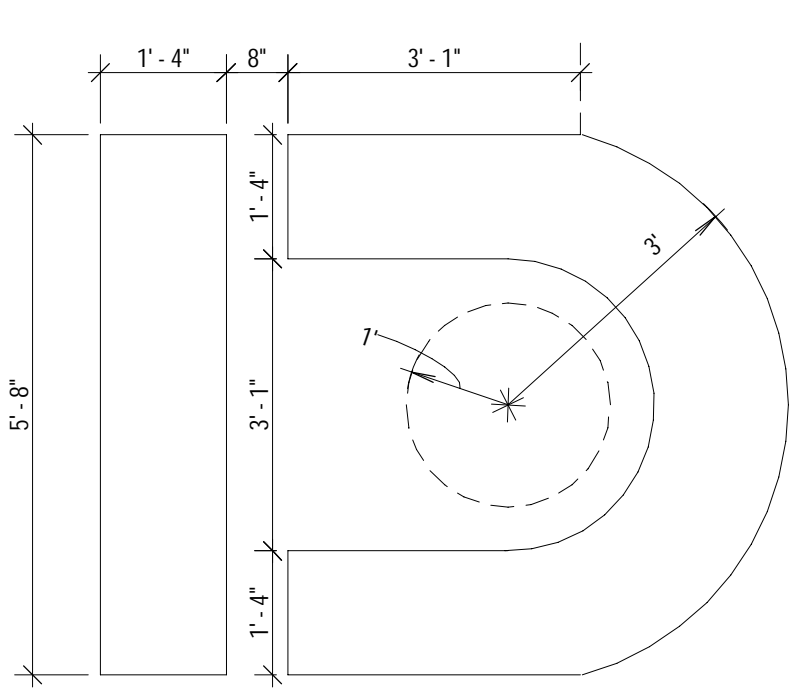
5 SECTION AT RECEPTION BENCH  
SCALE: 1" = 1'-0"



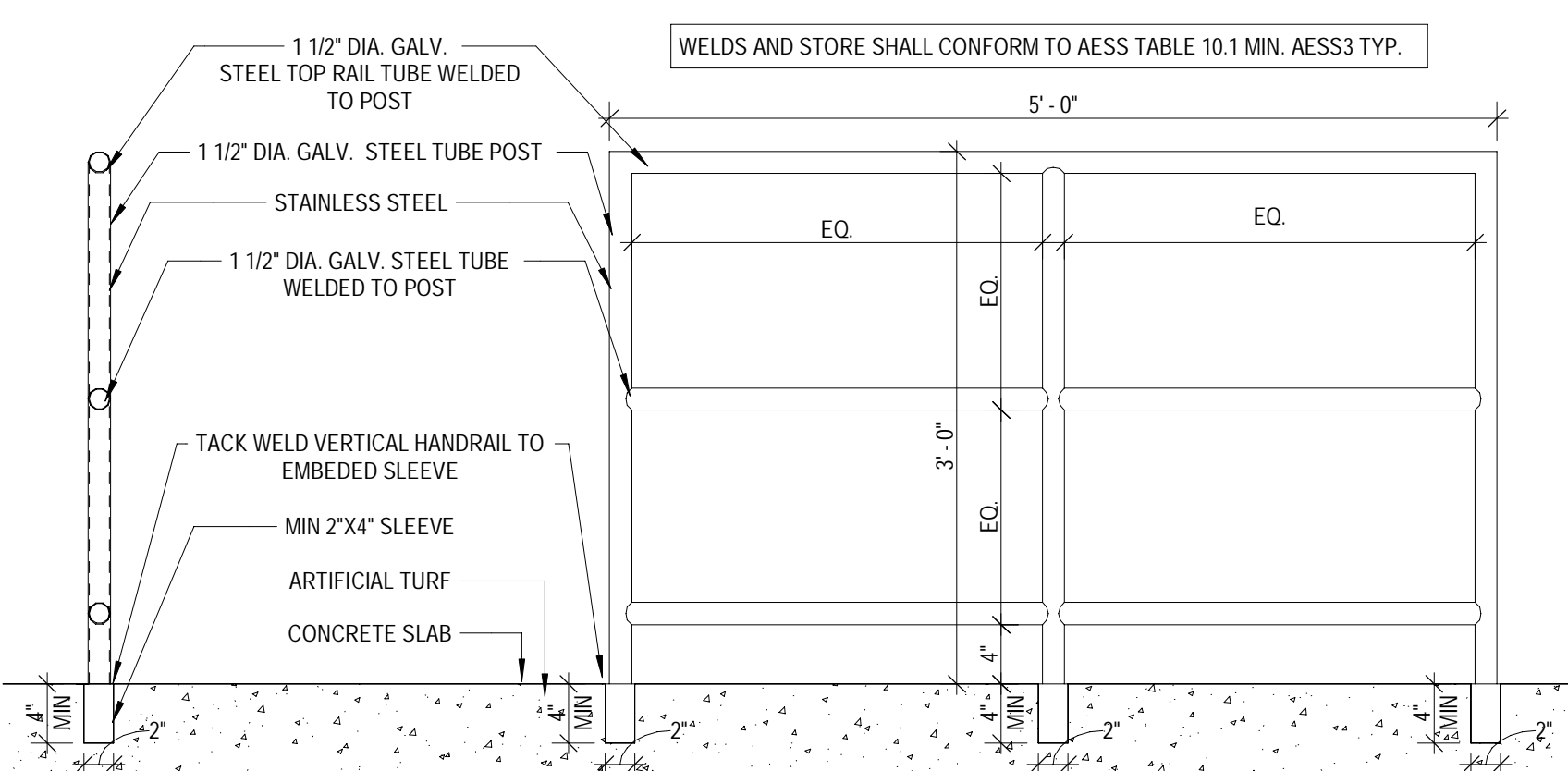
4 ADA LOCKER BASES SECTION  
SCALE: 1" = 1'-0"



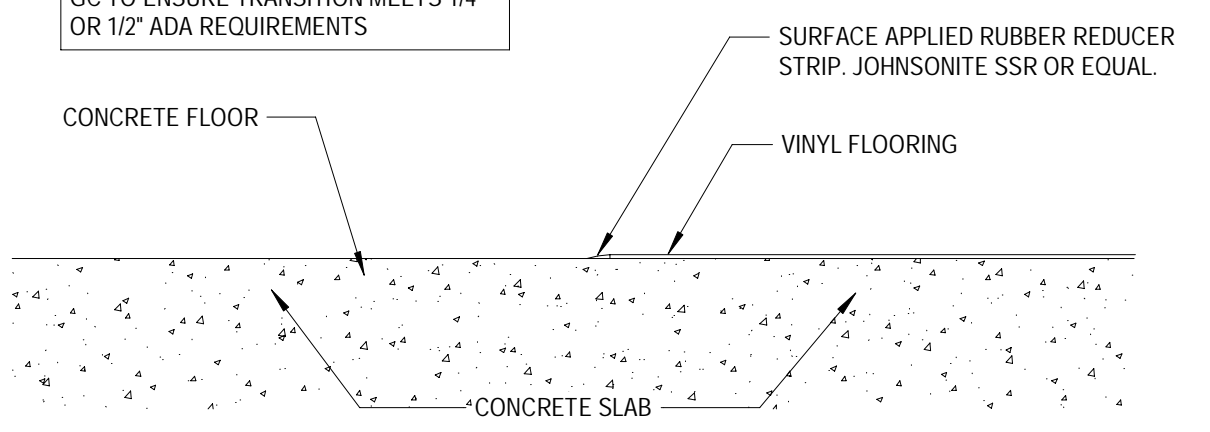
3 SECTION AT LOCKER ROOM BENCH  
SCALE: 1" = 1'-0"



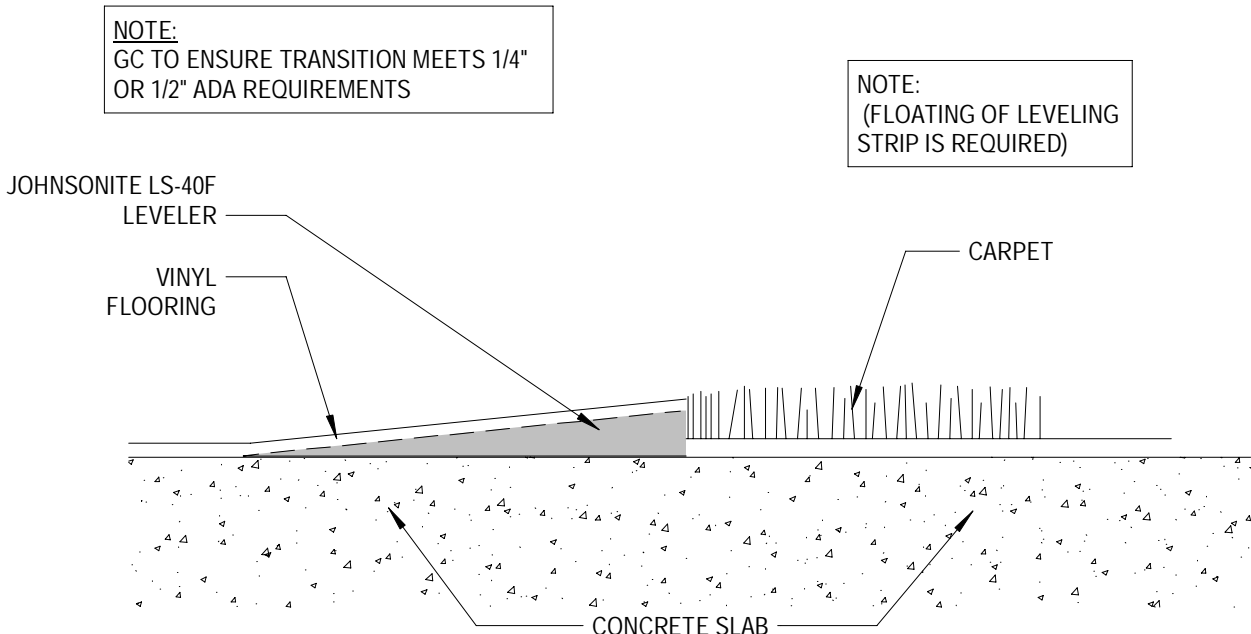
2 TURF LOGO LAYOUT  
SCALE: 1/2" = 1'-0"



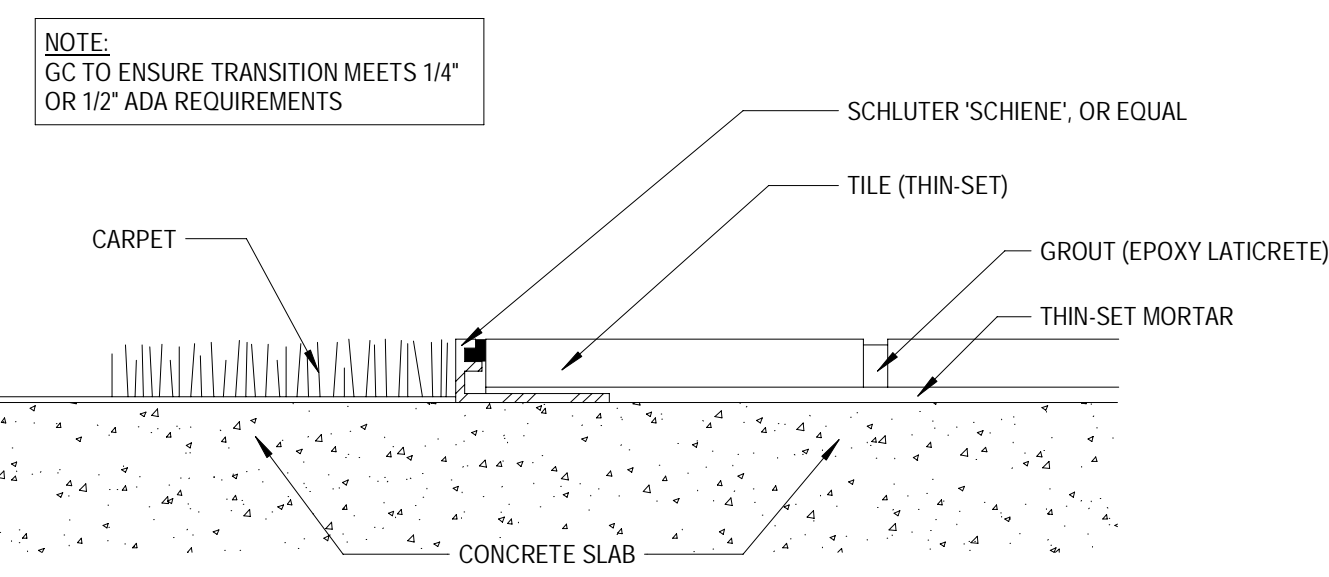
1 TURF SLED LANE GUARD  
SCALE: 1" = 1'-0"



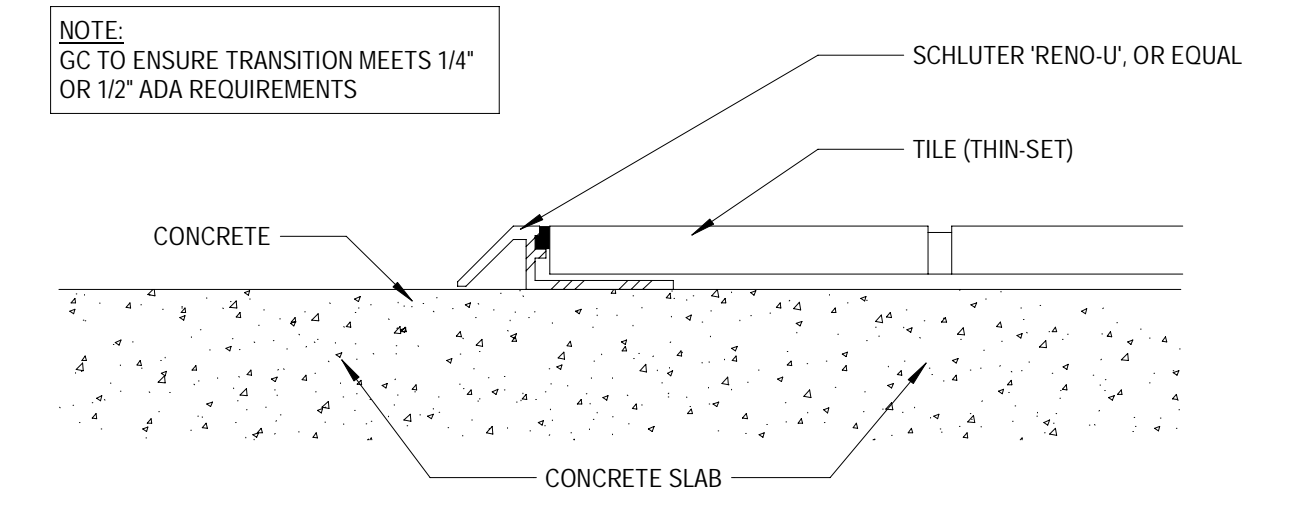
11 CONCRETE TO VINYL  
SCALE: 1 1/2" = 1'-0"



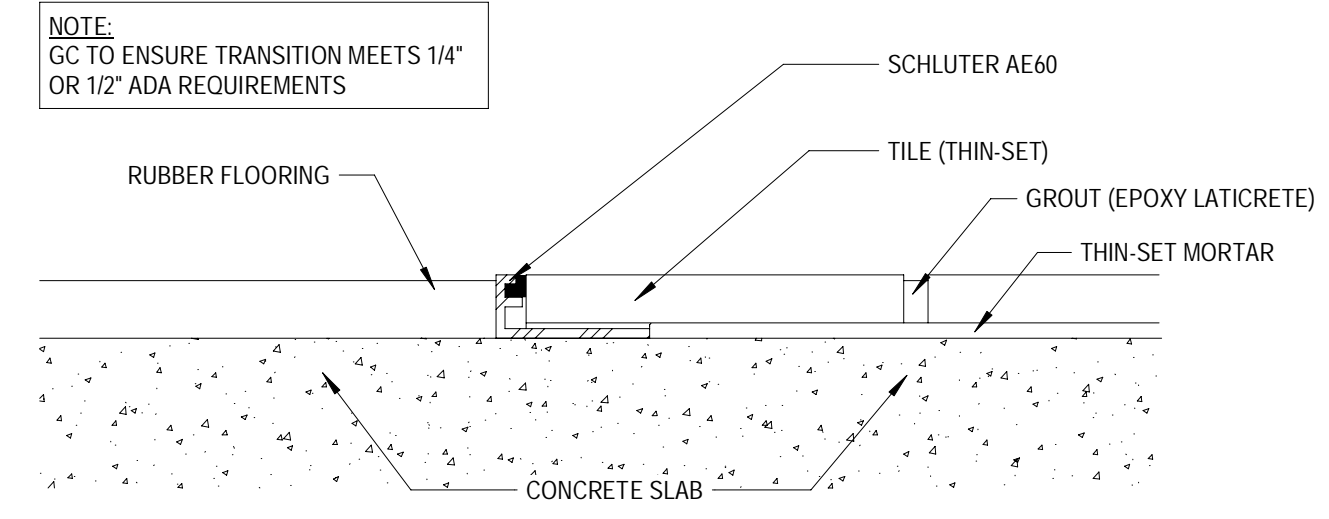
10 VINYL TO CARPET  
SCALE: 1 1/2" = 1'-0"



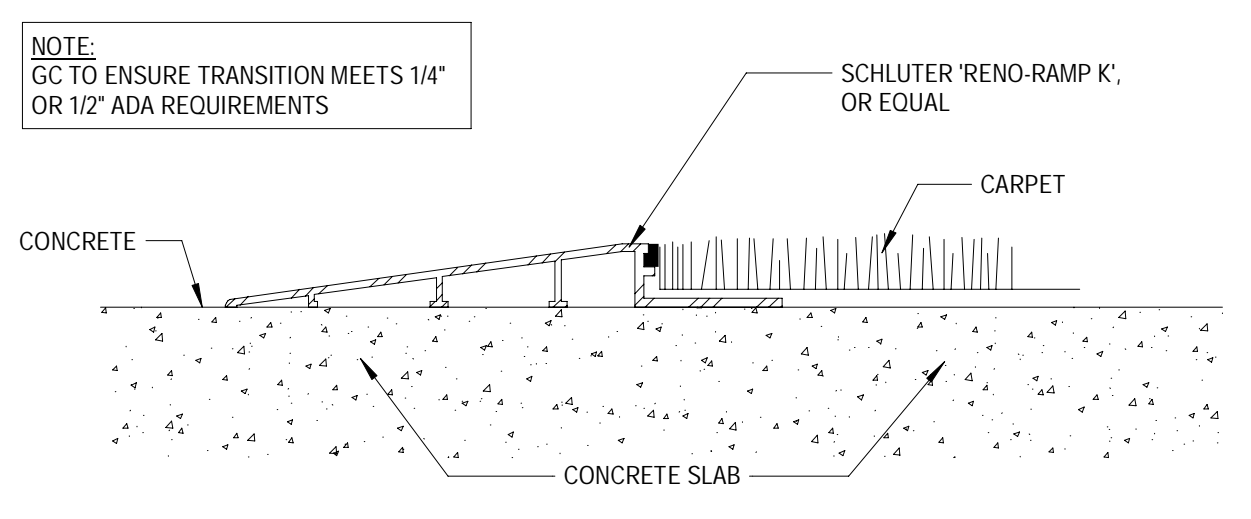
9 CARPET TO TILE  
SCALE: 1 1/2" = 1'-0"



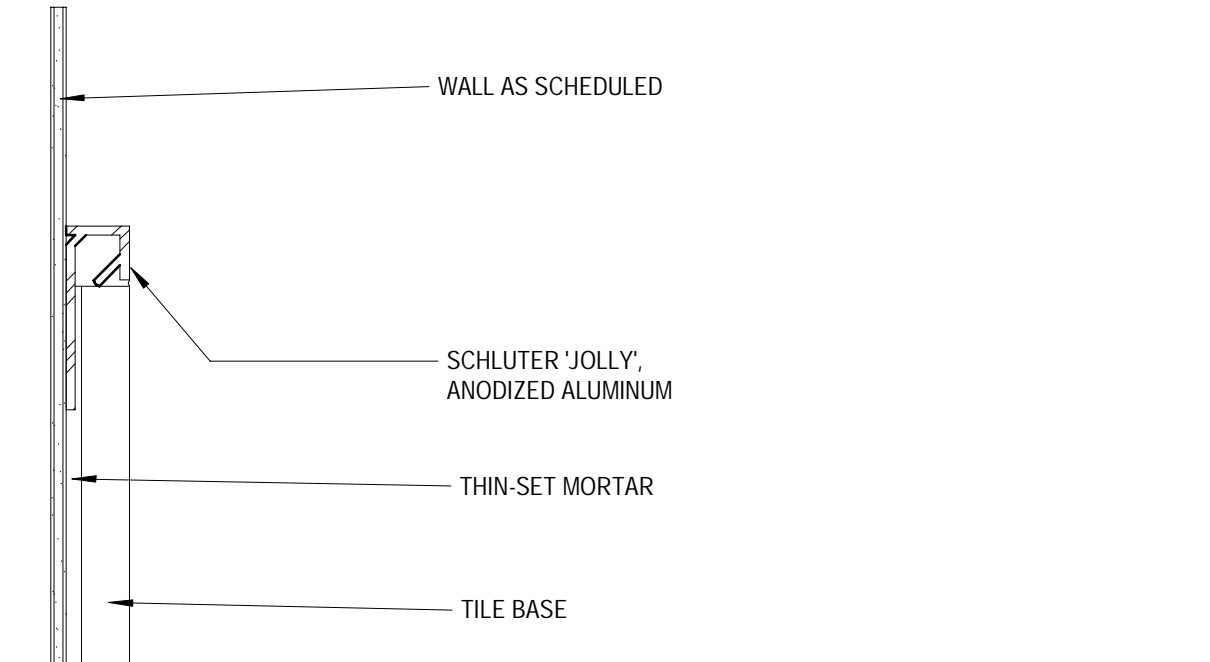
8 CONCRETE TO TILE  
SCALE: 1 1/2" = 1'-0"



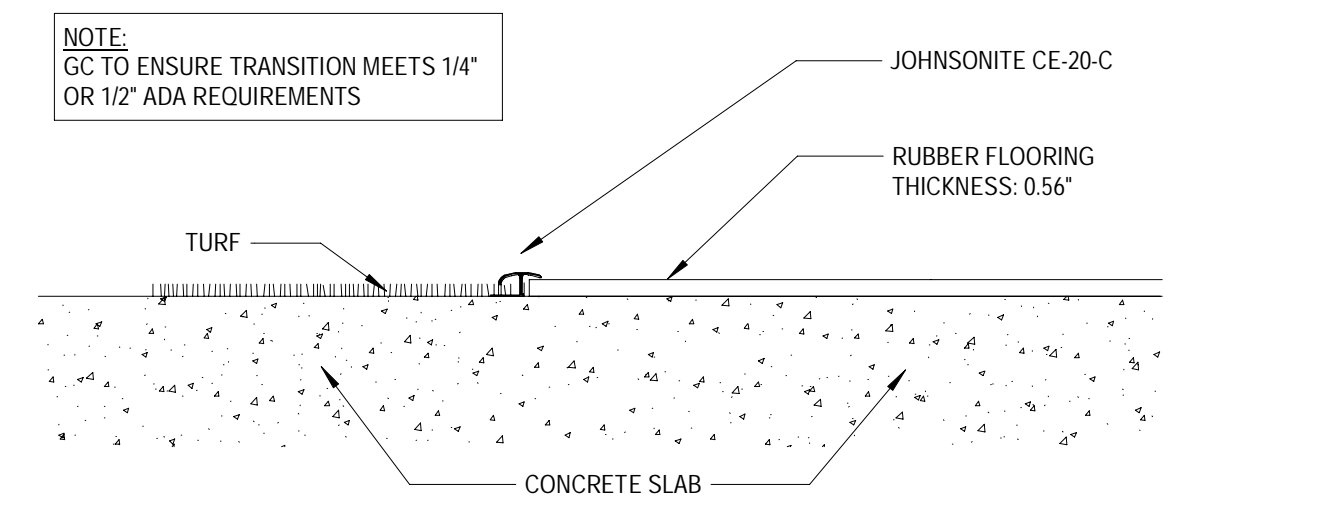
7 RUBBER TO TILE  
SCALE: 1 1/2" = 1'-0"



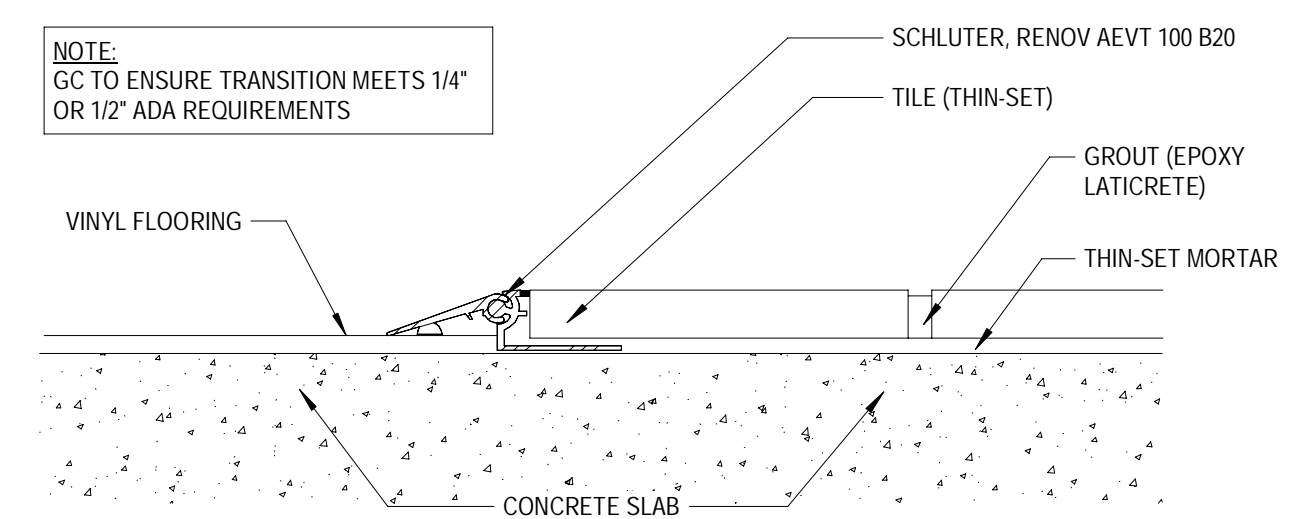
6 CONCRETE TO CARPET  
SCALE: 1 1/2" = 1'-0"



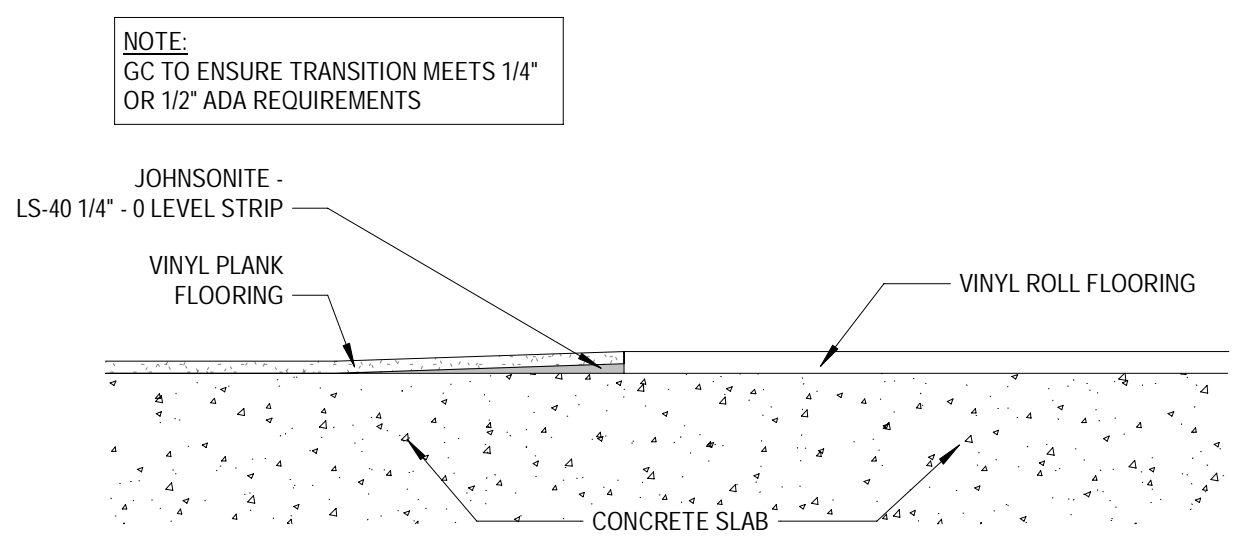
17 TILE BASE TO WALL  
SCALE: 1 1/2" = 1'-0"



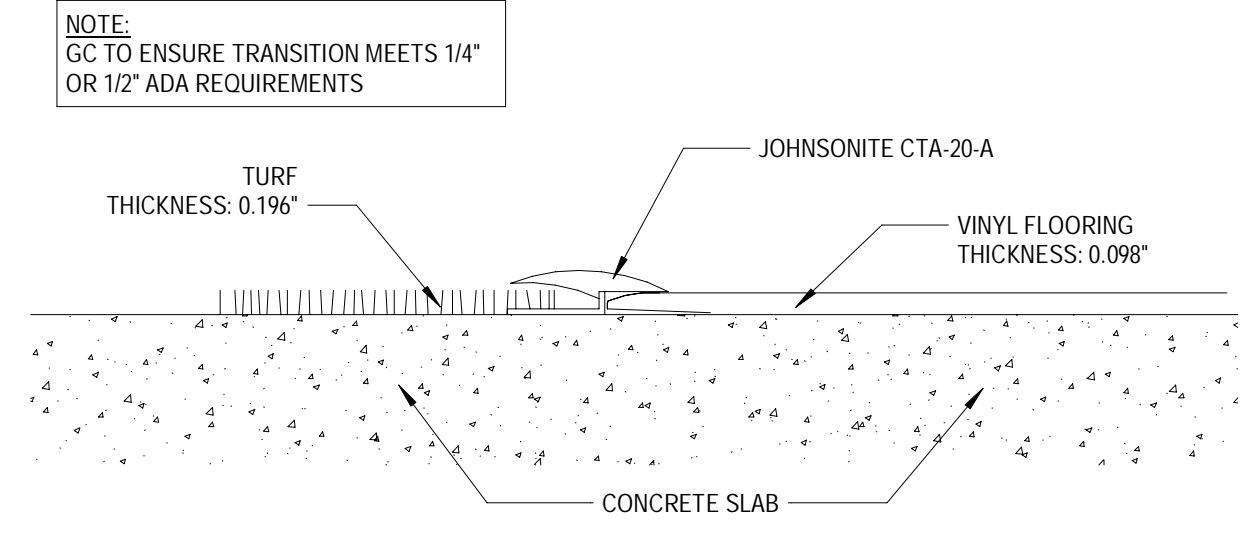
16 VINYL TO RUBBER  
SCALE: 1 1/2" = 1'-0"



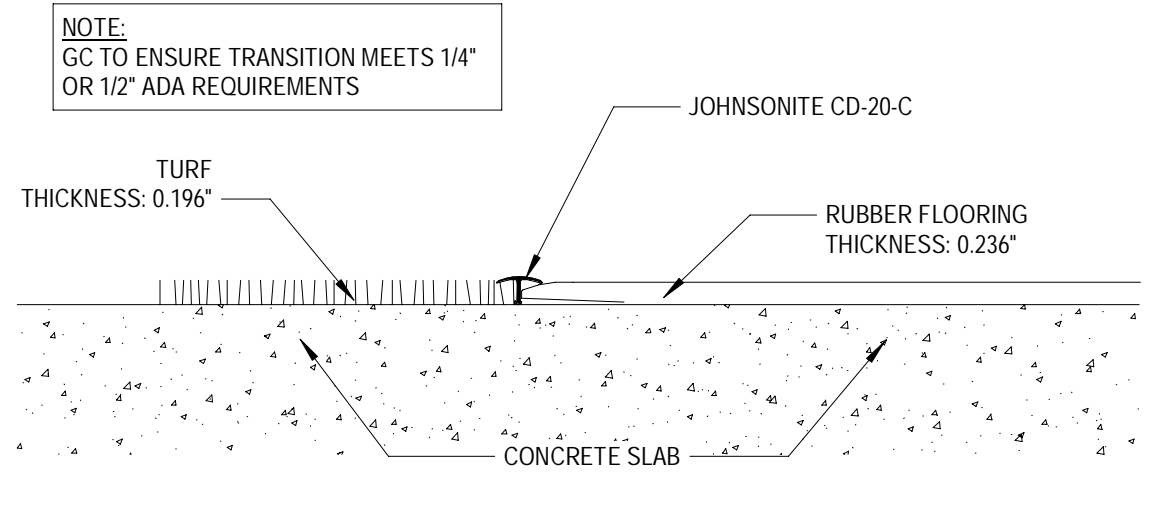
15 VINYL TO TILE  
SCALE: 1 1/2" = 1'-0"



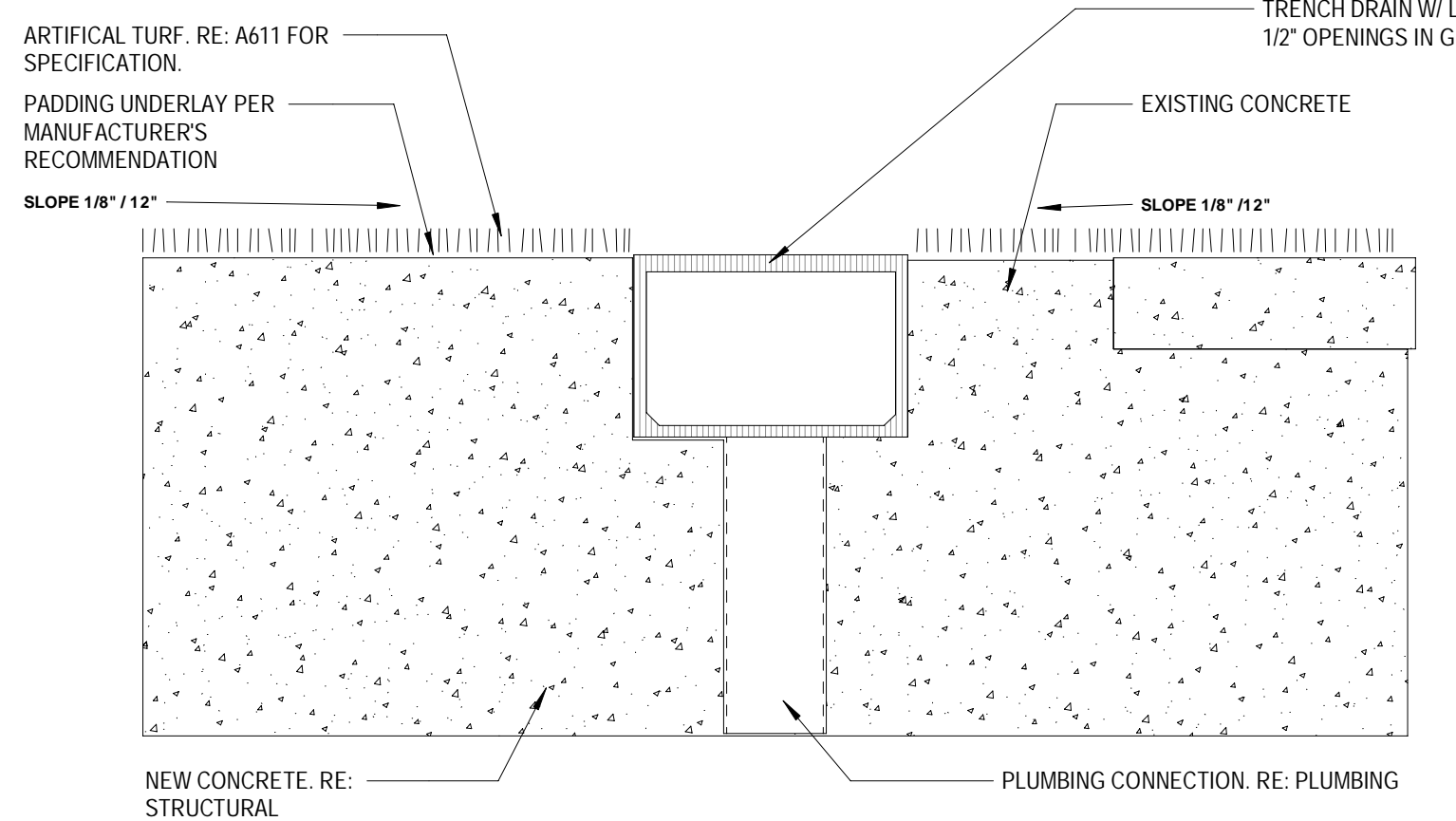
14 VINYL PLANK TO VINYL ROLL  
SCALE: 1 1/2" = 1'-0"



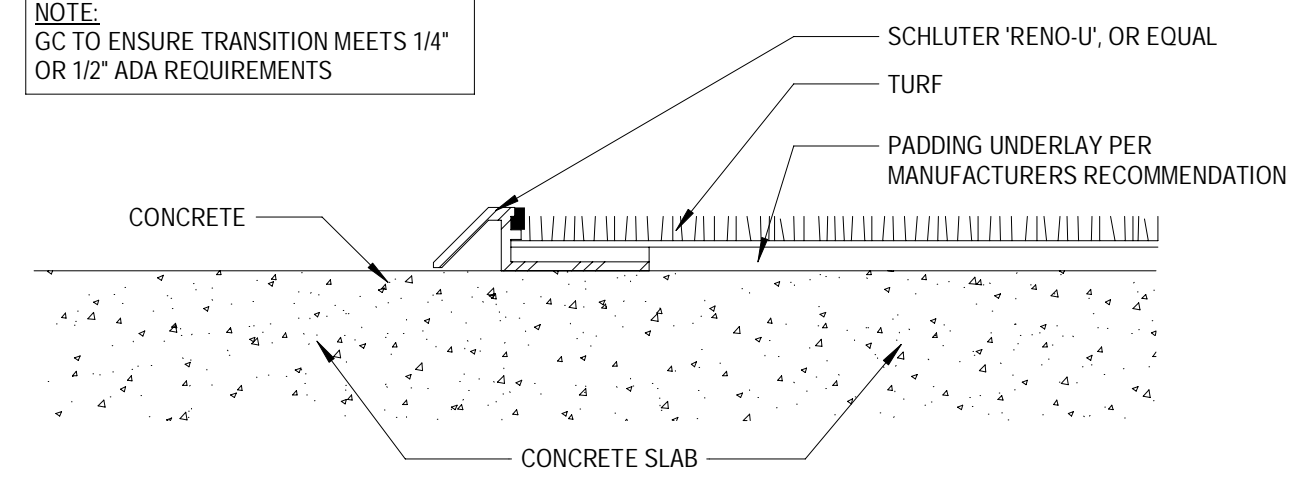
13 TURF TO VINYL  
SCALE: 1 1/2" = 1'-0"



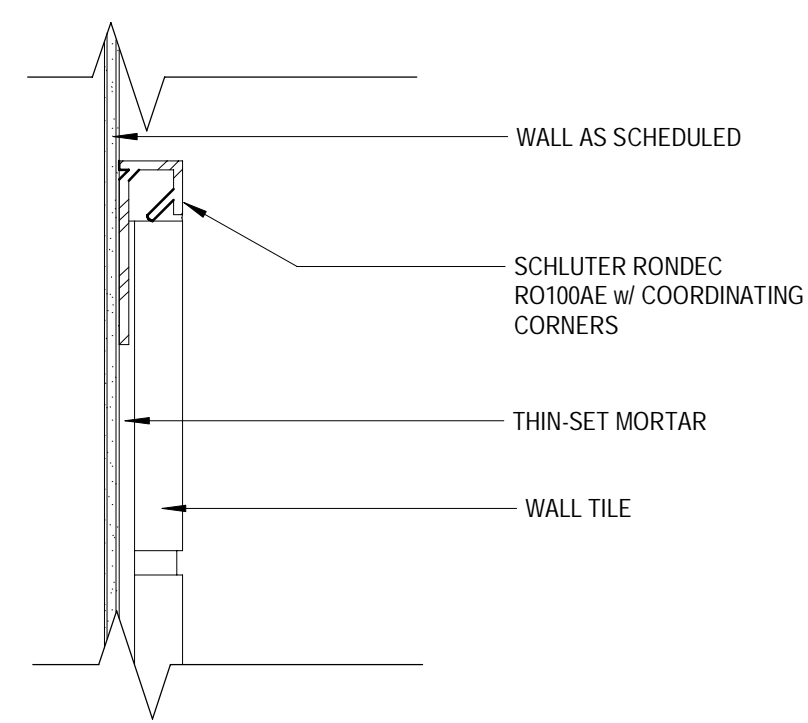
12 TURF TO RUBBER FLOORING  
SCALE: 1 1/2" = 1'-0"



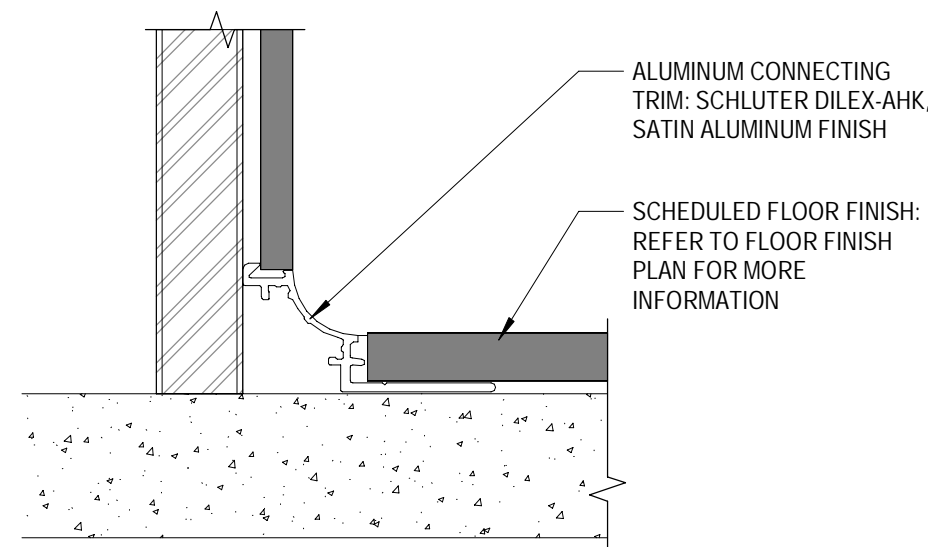
23 SECTION @ EXTERIOR TURF DRAIN  
SCALE: 1 1/2" = 1'-0"



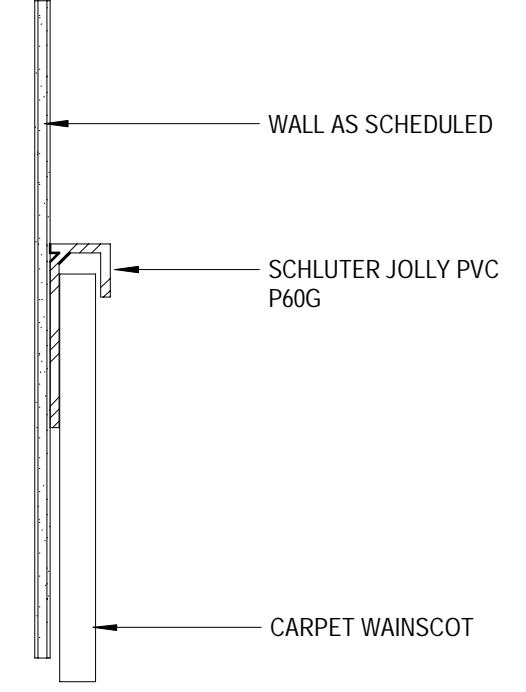
22 CONCRETE TO TURF  
SCALE: 1 1/2" = 1'-0"



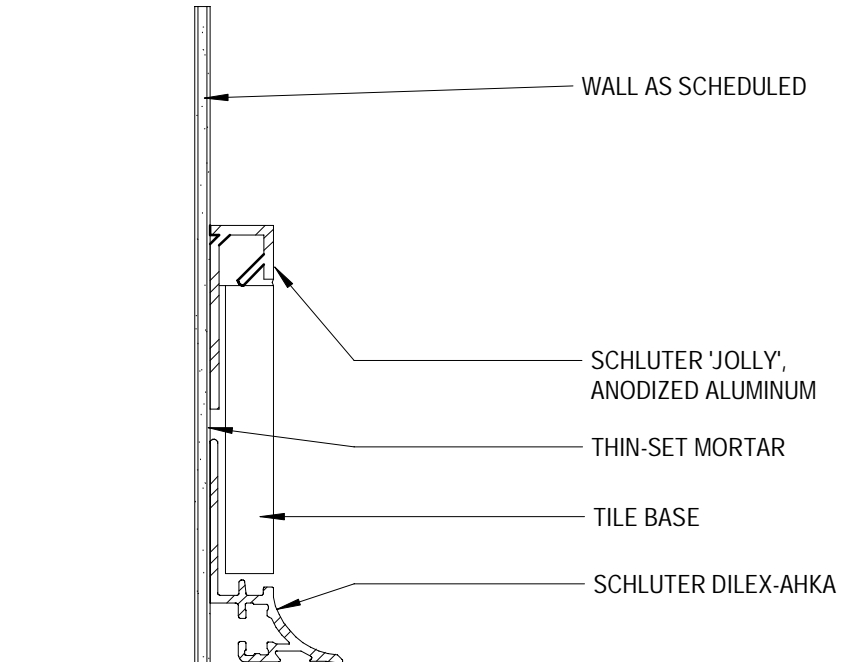
21 TILE TO WALL  
SCALE: 1 1/2" = 1'-0"



20 TILE EDGE JOINT @ SMOOTHIE  
SCALE: 1 1/2" = 1'-0"



19 CARPET WAINSCOT  
SCALE: 1 1/2" = 1'-0"



18 TILE BASE TO DRYWALL @ SMOOTHIE  
SCALE: 1 1/2" = 1'-0"



Mitchell C. Smith, Architect

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COORS & CENTRAL - CHUZE ALBUQUERQUE

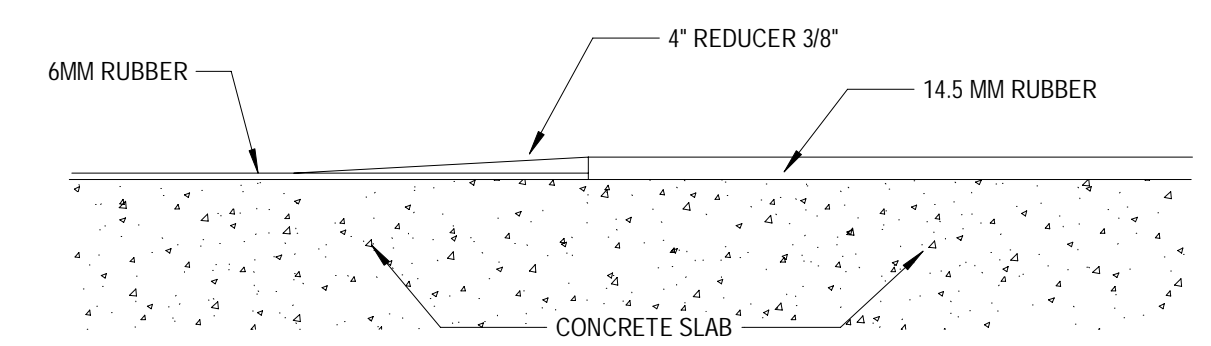
6600 CENTRAL AVE. SW  
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21		25% SUBMITTAL
01/05/22		75% SUBMITTAL
01/14/22		PERMIT SET
01/31/22		100% SUBMITTAL
03/11/22		PERMIT SET

Project No:	21603901A
Drawn By:	BAO
Checked By:	GAR

FLOOR TRANSITIONS

A505.1

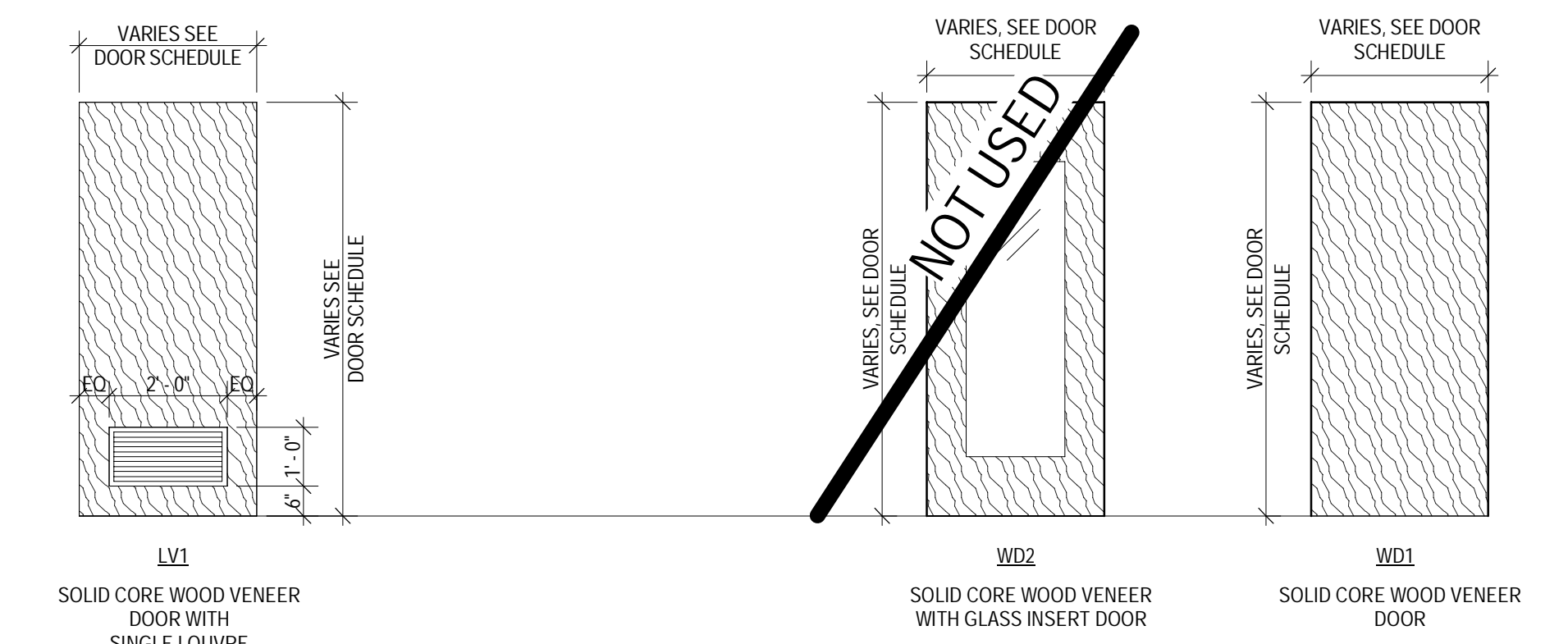
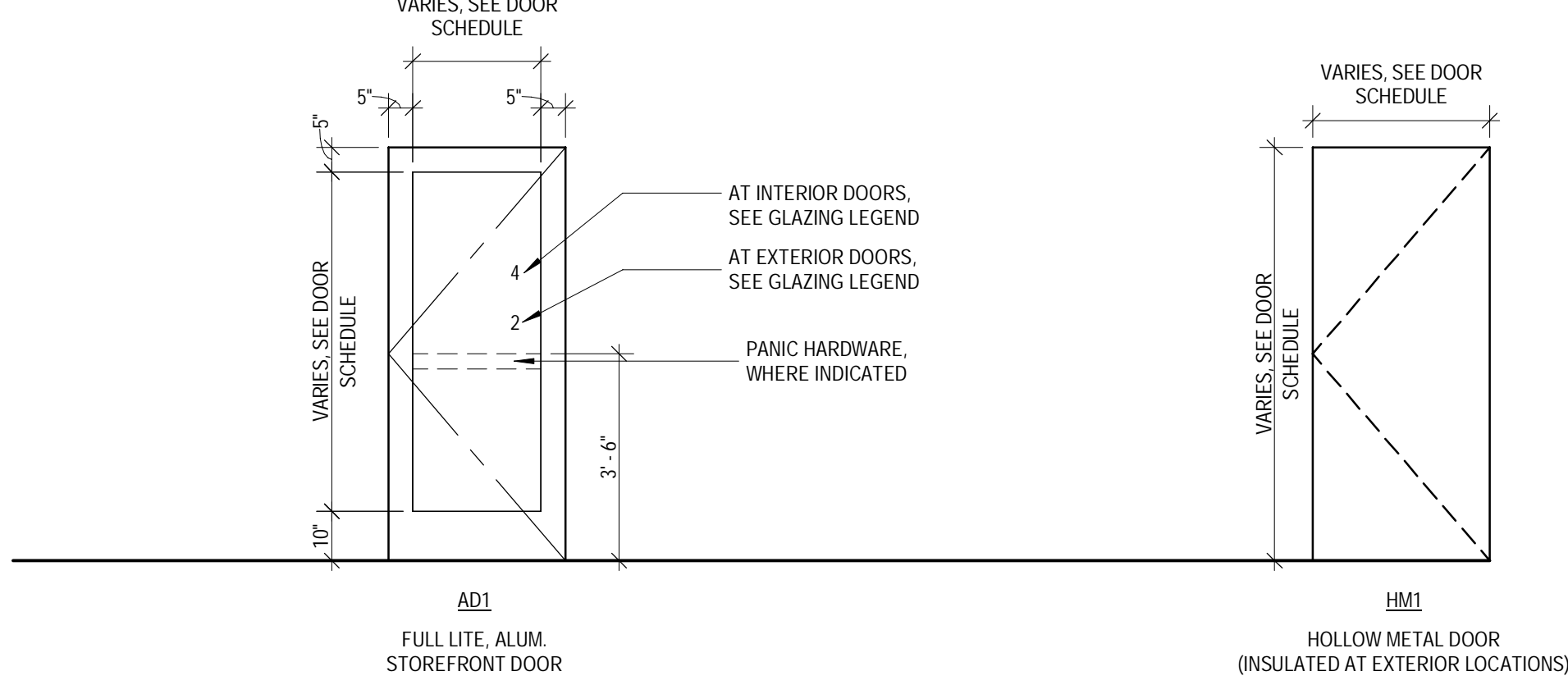


1 RUBBER TO RUBBER  
SCALE: 1 1/2" = 1'-0"

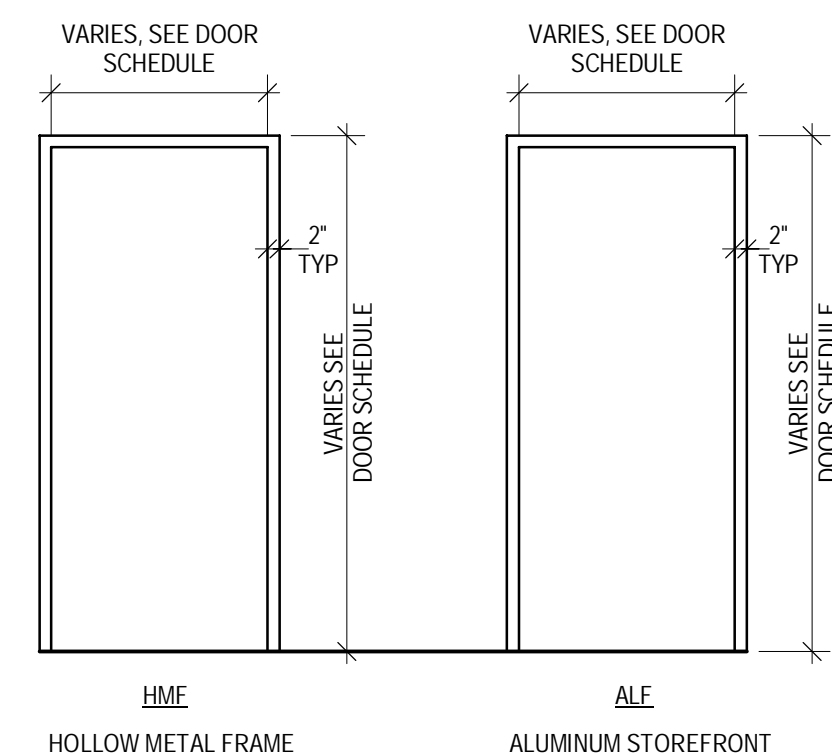




### DOOR TYPES

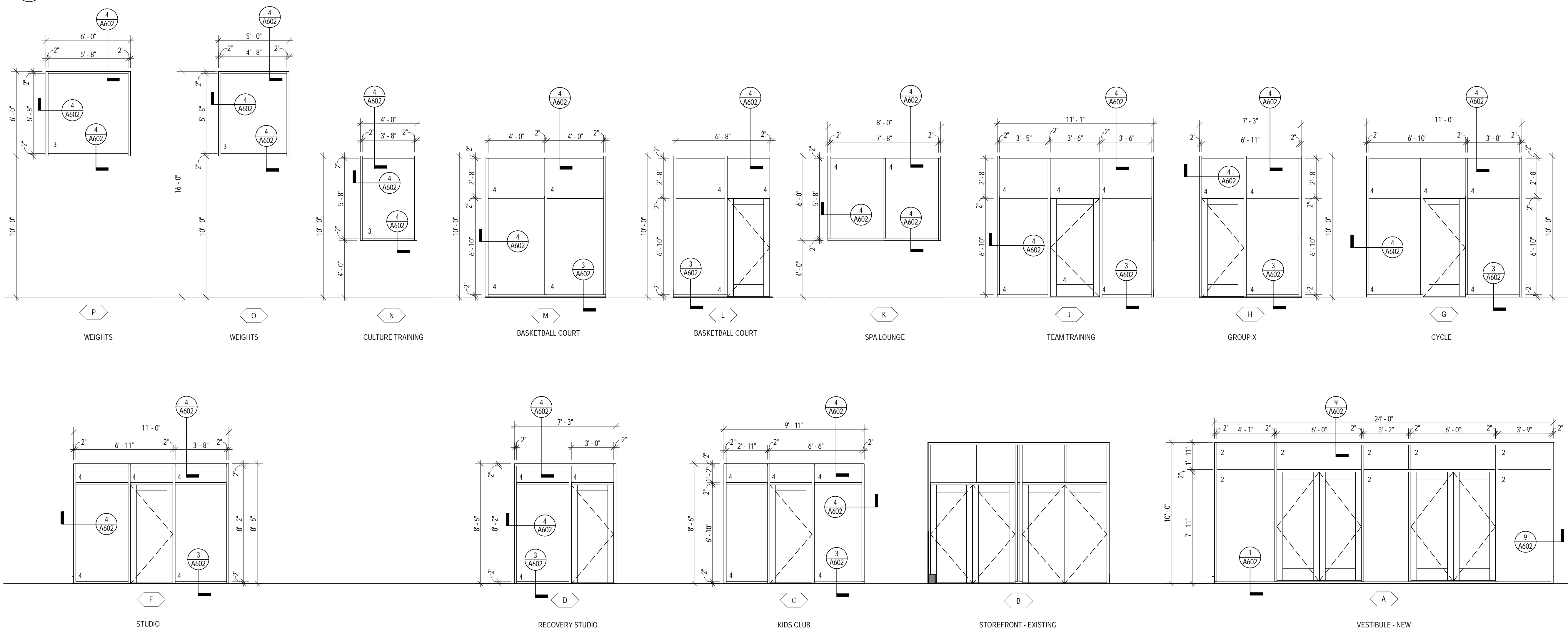


### FRAME TYPES



### 4 DOOR & FRAME TYPES

SCALE: 3/8" = 1'-0"



### DOOR SCHEDULE

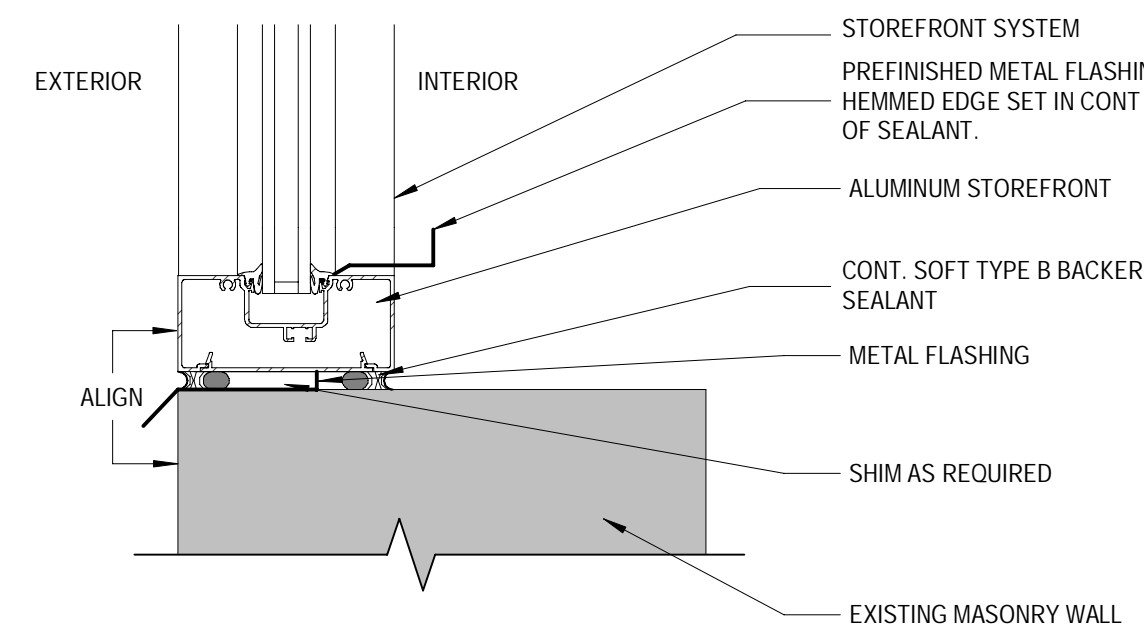
REFER TO SPECIFICATIONS FOR HARDWARE 08/11/11

MARK	LOCATION	DOOR TYPE	DOOR FINISH	DOOR SIZE			FRAME TYPE	FRAME FINISH	FRAME DETAIL		HARDWARE SET	REMARKS
				WIDTH	HEIGHT	THICKNESS			HEAD	JAMB		
101A	VESTIBULE	AD1	MATCH EXISTING	6'-0"	7'-0"	0'-0 1/4"	ALUM	ETR	ETR	AL-01		PROVIDE NEW STOREFRONT DOOR IN EXISTING OPENING AND MATCH EXISTING FINISH OPENING
101B	VESTIBULE	AD1	MATCH EXISTING	6'-0"	7'-0"	0'-0 1/4"	ALUM	ETR	ETR	AL-01		PROVIDE NEW STOREFRONT DOOR IN EXISTING OPENING AND MATCH EXISTING FINISH OPENING
101C	LOBBY	AD1	CLEAR ANODIZED	6'-0"	7'-9"	0'-0 1/4"	ALUM	CLEAR	11A602	11A602	AL-01	
101H	LOBBY	AD1	CLEAR ANODIZED	6'-0"	7'-9"	0'-0 1/4"	ALUM	CLEAR	11A602	11A602	AL-01	
106	SMOOTHIE STORAGE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
107	ADA RESTROOM	WD1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-05	
108	KIDS CLUB ENTRY	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	
112	KIDS RESTROOM	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
113	STORAGE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
114	RECOVERY STUDIO	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-01	ACCESS CARD SCANNER INSTALLED ON LOBBY SIDE
115	TANNING	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	8A602	7A602	HW-05	
116	TANNING	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	8A602	7A602	HW-05	
117	IR SAUNA	LV1		3'-0"	7'-0"	0'-1 3/4"			1A602	BY OTHERS	SAUNA VENDOR	
118	IR SAUNA	LV1		3'-0"	7'-0"	0'-1 3/4"			1A602	BY OTHERS	SAUNA VENDOR	
119	IR SAUNA	LV1		3'-0"	7'-0"	0'-1 3/4"			1A602	BY OTHERS	SAUNA VENDOR	
122	STUDIO	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	
123	CYCLE	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	
124	GROUP X	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	
124B	UTILITY CL.	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
125	TEAM TRAINING	AD1	CLEAR ANODIZED	3'-6"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	
127	STAFF LOUNGE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	1A602	6A602	HW-04	
128	OFFICE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	1A602	6A602	HW-04	
129	LAUNDRY	LV5	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	1A602	6A602	HW-03	
130	IT/AV	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
131	SPA LOUNGE	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-2"	ALUM	CLEAR	4A602	4A602	AL-04	ACCESS CARD SCANNER INSTALLED ON LOCKER ROOM SIDE
132	JANITOR	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
133	SPA LOUNGE	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-2"	ALUM	CLEAR	4A602	4A602	AL-04	ACCESS CARD SCANNER INSTALLED ON LOCKER ROOM SIDE
134	JANITOR	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
135A	BASKETBALL/PICKLE BALL COURT	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	
135B	BASKETBALL/PICKLE BALL COURT	HM1		6'-0"	7'-0"	0'-1 3/4"	HMF	P3	ETR	ETR	HW-01	EXISTING DOOR TO REMAIN IN PLACE. REPLACE HARDWARE
136	STEAM ROOM	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-2"	ALUM	CLEAR	4A602	4A602	AL-03	FRAMELESS DOOR
138	SAUNA	AD1	CLEAR ANODIZED	3'-0"	7'-0"	0'-1 3/4"	ALUM	CLEAR	4A602	4A602	AL-03	FRAMELESS DOOR
142	WEIGHTS	HM1		7'-0"	8'-0"	0'-1 3/4"	HMF	P3	ETR	ETR	HW-01	EXISTING DOOR TO REMAIN IN PLACE. REPLACE HARDWARE
144A	CULTURE TRAINING ROOM	WD1	PAINT P-3	6'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-08	
144B	CULTURE TRAINING ROOM	WD1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-08	
145	OFFICE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
146	OFFICE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
147	OFFICE	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-04	
164	ELEC. CLOSET	LV1	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	HMF	P3	6A602	6A602	HW-06	
165	ELECTRICAL ROOM	ETR	PAINT P-3	4'-0"	8'-0"	0'-1 3/4"	ETR	ETR	ETR	ETR		EXISTING TO REMAIN
166	ELECTRICAL ROOM	ETR	PAINT P-3	3'-0"	7'-0"	0'-1 3/4"	ETR	ETR	ETR	ETR		EXISTING TO REMAIN
167	CIRCULATION	HM1	PAINT P-3	3'-4"	7'-0"	0'-1 3/4"	ETR	ETR	ETR	HW-01		EXISTING DOOR TO REMAIN IN PLACE. REPLACE HARDWARE
168	CIRCULATION	HM1	PAINT P-3	6'-0"	7'-0"	0'-1 3/4"	HMF	P3	ETR	ETR	HW-01	EXISTING DOOR TO REMAIN IN PLACE. REPLACE HARDWARE

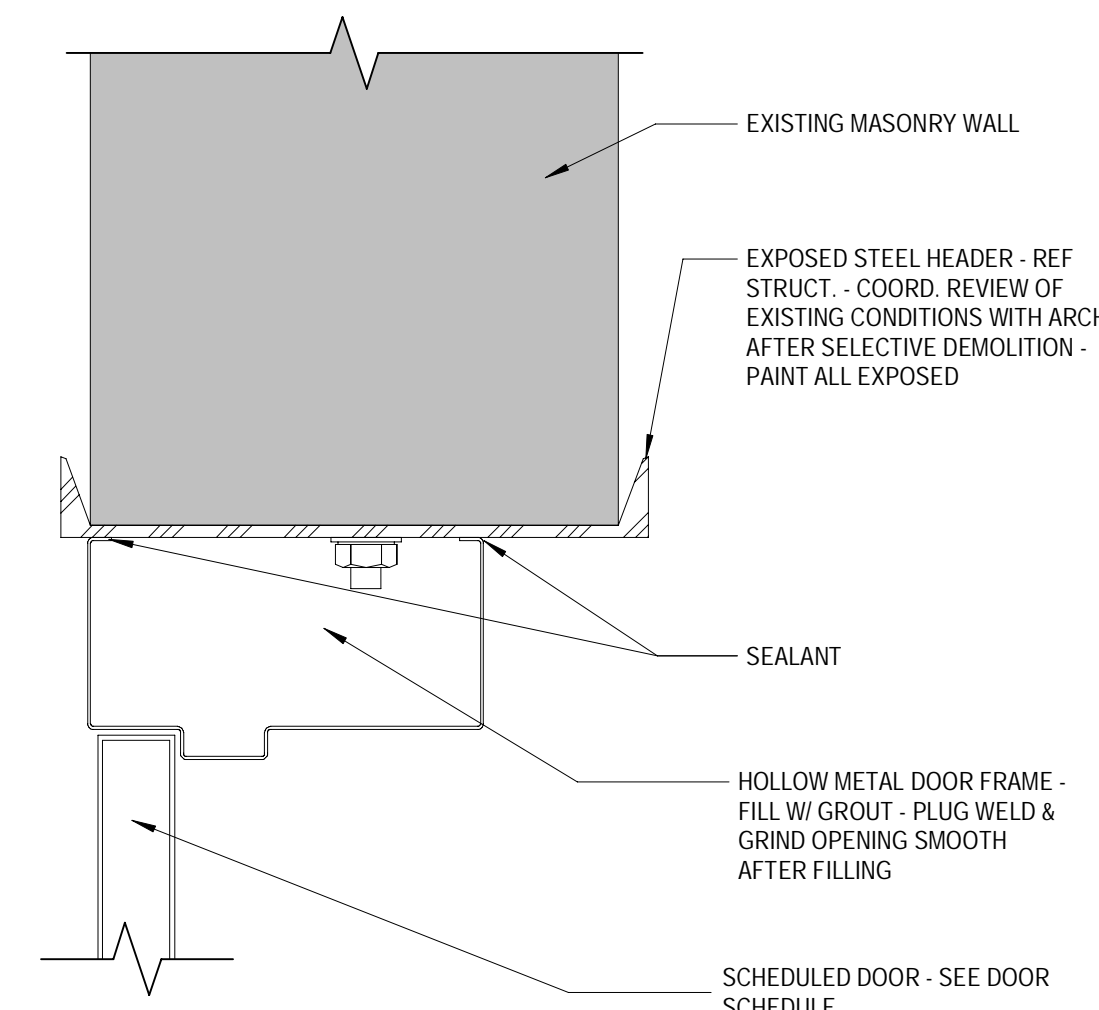
### HARDWARE SCHEDULE

NOTE: ALL PANIC HARDWARE IN KIDS CLUB SHALL BE 48" A.F.F. @ TOP OF HARDWARE

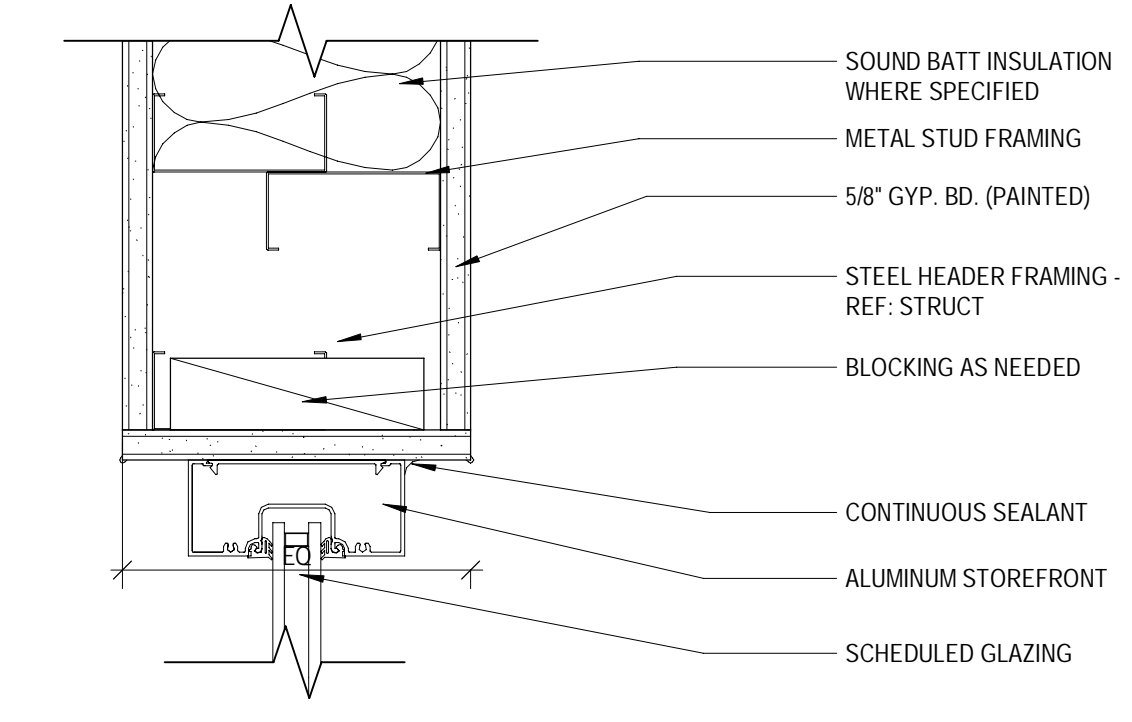
MARK	LOCATION	DOOR TYPE	DOOR FINISH	DOOR SIZE	FRAME TYPE	FRAME FINISH	FRAME DETAIL	HARDWARE SET	REMARKS
3 EA								58B1 4.5 X 4.5 NRP	630 IVE
1 EA								3549A-E0	626 VON
1 EA								3549A-NL-OP-38862VON	626 VON
1 EA								8400 8" X 2" LDW	630 IVE
1 EA								LG12	630 IVE
1 EA								16ACLNGP	630 IVE
1 SET								130NACLNGP	628 ZER
1 EA								200NACLNGP	630 IVE
1 EA								613ALNGP	630 IVE
OPERATIONAL DESCRIPTION									
1. DOOR IS EXIT ONLY. ENTRY IS NOT ALLOWED.									
2. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS.									
6 EA								58B1 4.5 X 4.5 NRP	630 IVE
1 EA								STOREROOM KEYPAD LOCK	630 IVE
1 EA								LG12	630 IVE
1 EA								SC71 FA	689 FAL
1 EA								8400 8" X 2" LDW B4E	630 IVE
OPERATIONAL DESCRIPTION									
1. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS.									
3 EA								58B1HW 4.5 X 4.5 NRP	630 IVE
1 EA								PASSAGE SET	630 IVE
1 EA								SC71 FA	689 FAL
1 EA								8400 8" X 2" LDW	630 IVE
1 EA								WS406/407CVX	630 IVE
OPERATIONAL DESCRIPTION									
1. DOOR IS ALWAYS UNLOCKED FOR PASSAGE IN EITHER DIRECTION.									
3 EA								58B1 4.5 X 4.5 NRP	630 IVE
1 EA								STOREROOM KEYPAD LOCK	630 IVE
1 EA								SC81 RW/PA	689 FAL
1 EA								WS406/407CVX	630 IVE
3 EA								SB4	630 IVE
OPERATIONAL DESCRIPTION									
1. DOOR IS ALWAYS LOCKED. UNLOCKED BY KEYPAD.									
2. INSIDE LEVER ALWAYS ALLOWS EGRESS.									
3 EA								58B1HW 4.5 X 4.5 NRP	630 IVE
1 EA								PRIVACY SET	630 IVE
1 EA								SC81 RW/PA	689 FAL
1 EA								WS406/407CVX	630 IVE
3 EA								SB4	630 IVE
OPERATIONAL DESCRIPTION									
1. INSIDE LEVER ALWAYS ALLOWS EGRESS.									
1 EA								CONTINUOUS HINGE	626 IVE
1 EA								PANIC HARDWARE	626 FAL
1 EA								DOGGING THUMBTURN	626 SCH
1 SET								FSIC HOUSING	626 SCH
1 SET								FSIC CORE(S)	626 SCH
1 SET								TEMP. CORE(S)	626 SCH
1 EA								DOOR PULL	630 IVE
2 EA								SURFACE CLOSER	689 FAL
3 EA								KICK PLATE	630 IVE
4 EA								WALL STOP/HOLDER	626 IVE
5 EA								GASKET	719 ZER
OPERATIONAL DESCRIPTION									
1. DOOR IS UNLOCKED/LOCKED BY KEY.									
2. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS.									
1 SET								BACK TO BACK PULL HANDLES	BRUSHED CHROME
1 EA								INDICATOR LOCK	BRUSHED CHROME
3 EA								BACK PLATE HINGES	BRUSHED CHROME
6 EA								HINGE	630 IVE
1 EA								STOREROOM KEYPAD LOCK	630 IVE
1 EA								LOCK GUARD	630 IVE
1 EA								SURFACE CLOSER	689 FAL
1 EA								KICK PLATE	630 IVE
1 EA								PANIC HARDWARE	626 FAL
OPERATIONAL DESCRIPTION									
1. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS.									
2 EA								CONTINUOUS HINGE	626 IVE
1 EA								PANIC HARDWARE	626 VON
1 EA								PANIC HARDWARE	626 VON
1 EA								INDICATOR	638 IVE
1 EA								DEARBOLT	689 FAL
2 EA								MORTISE CYLINDER	626 SCH
1 SET								PULL/PUSH BAR	630 IVE
2 EA								SURFACE CLOSER	689 FAL
2 EA								FLOOR STOP	626 IVE
1 SET								WEATHER STRIP	628 BYO
2 EA								DOOR SWEEP	628 BYO
1 EA								THRESHOLD	626 BYO
OPERATIONAL DESCRIPTION									
1. DOOR IS LOCKED/UNLOCKED BY KEY.									
2. INSIDE PANIC TOUCHBAR ALWAYS ALLOWS EGRESS.									
3. USE BRONZE HARDWARE.									
1 EA								CONTINUOUS HINGE	630 IVE
1 EA								PUSH/PULL BAR	630 IVE
1 EA								SURFACE CLOSER	630 IVE
1 EA								FLOOR STOP	628 IVE
1 EA								CARD READER	628 IVE
1 EA								MAGNETIC LOCK	628 IVE
OPERATIONAL DESCRIPTION									



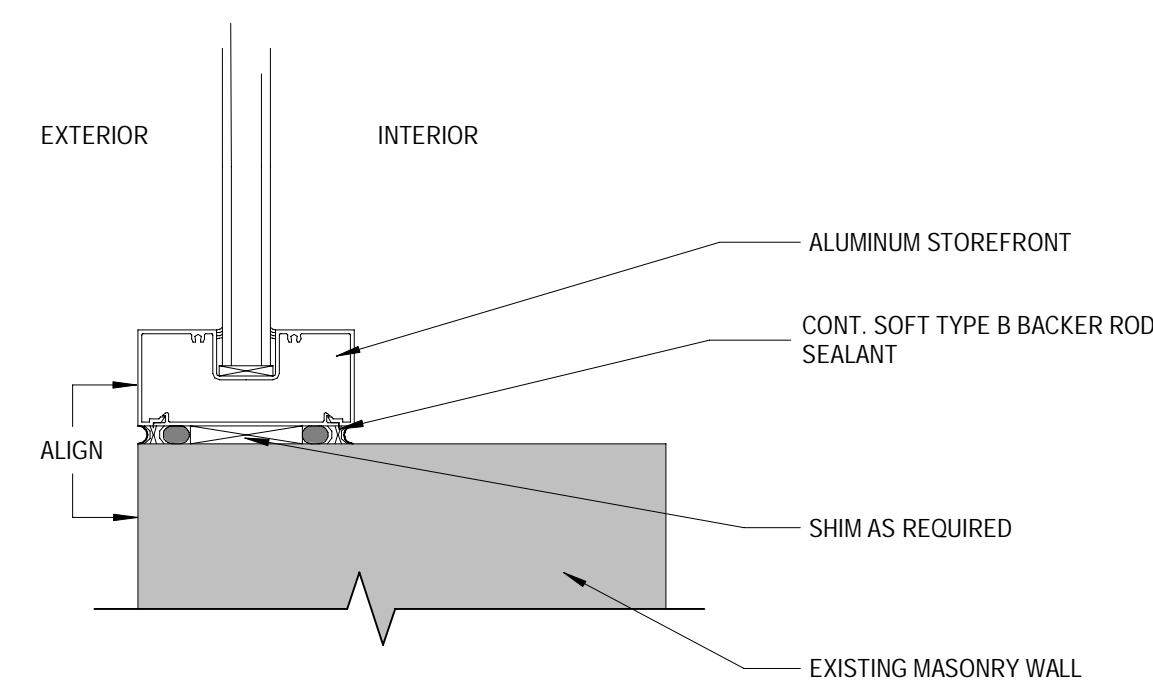
12 SILL DETAIL @ EXT. CLERESTORY  
SCALE: 3" = 1'-0"



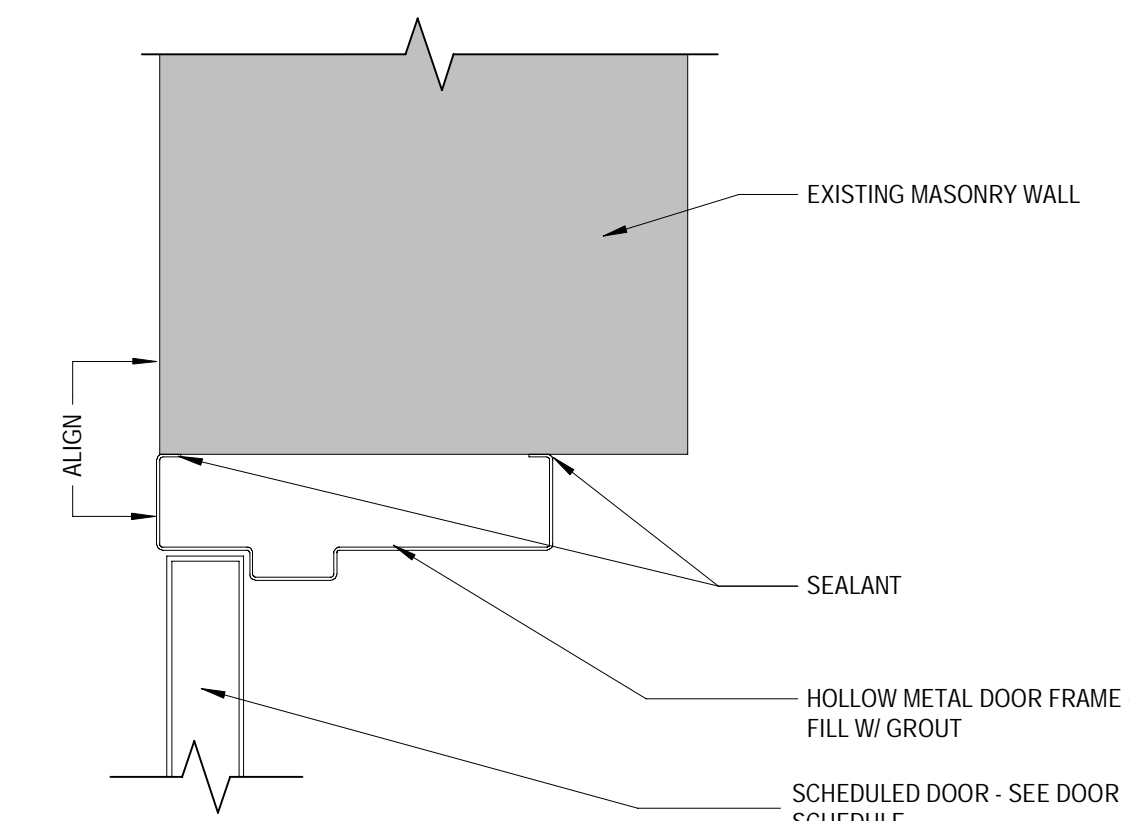
8 HEAD DETAIL @ EXT. HOLLOW METAL  
SCALE: 3" = 1'-0"



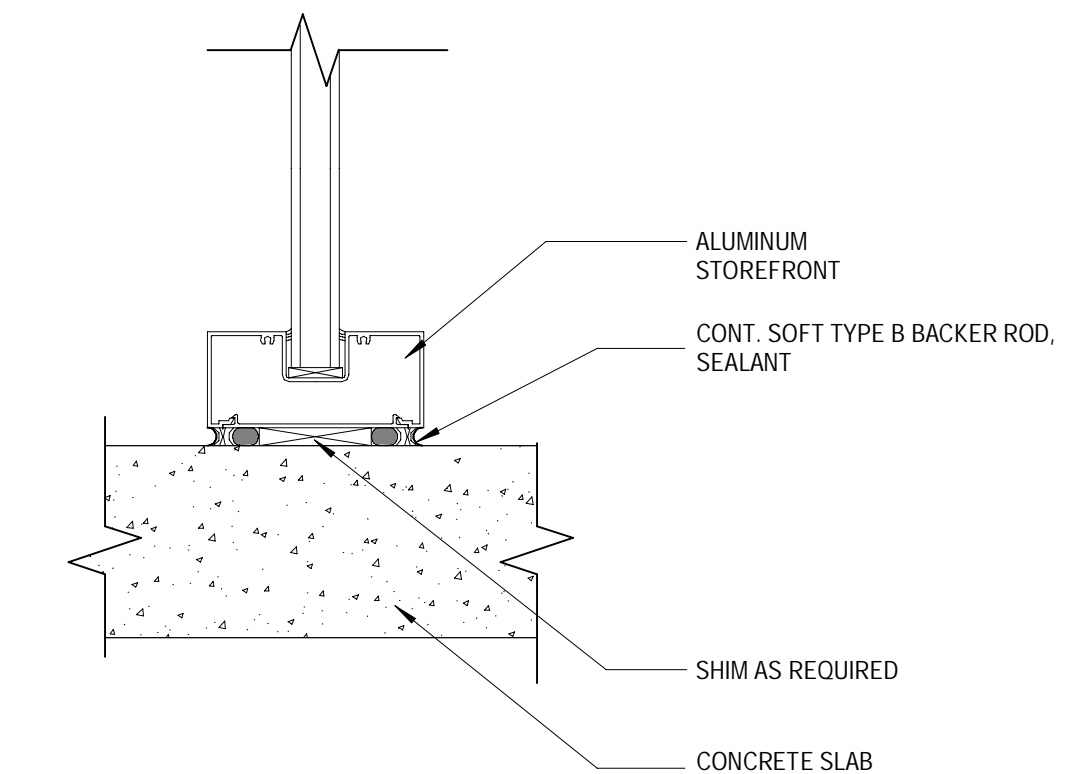
4 HEAD/JAMB DETAIL @ INT. STOREFRONT  
SCALE: 3" = 1'-0"



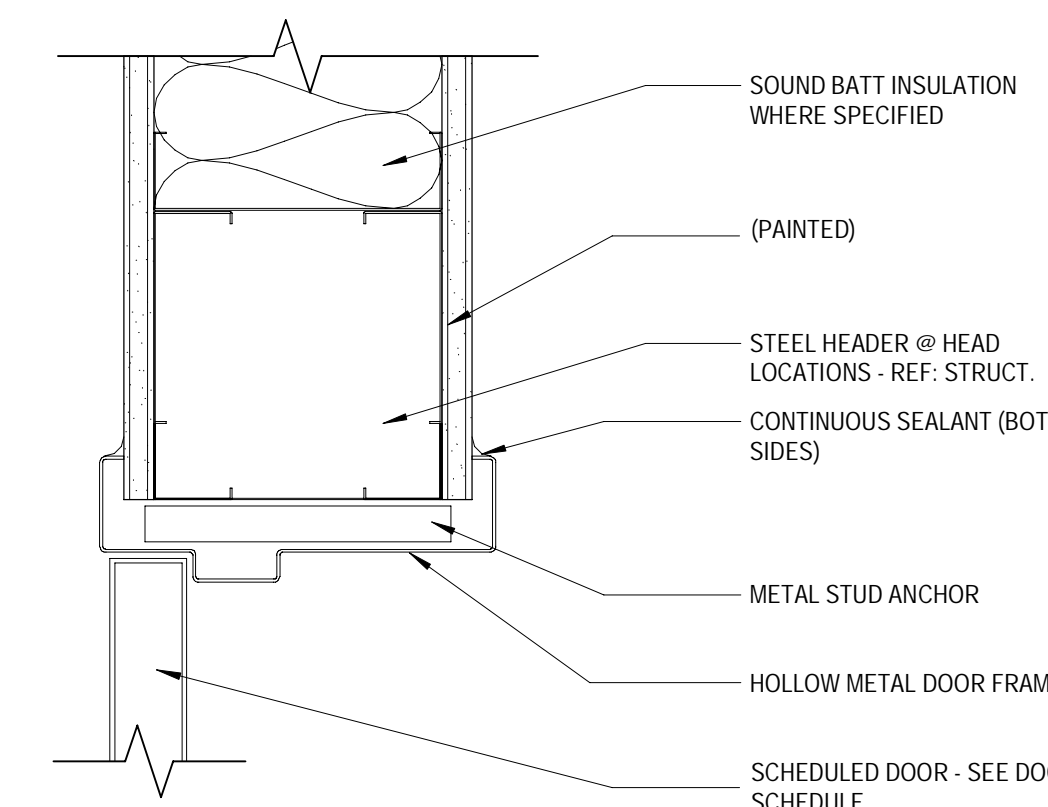
11 JAMB DETAIL @ EXT. STOREFRONT  
SCALE: 3" = 1'-0"



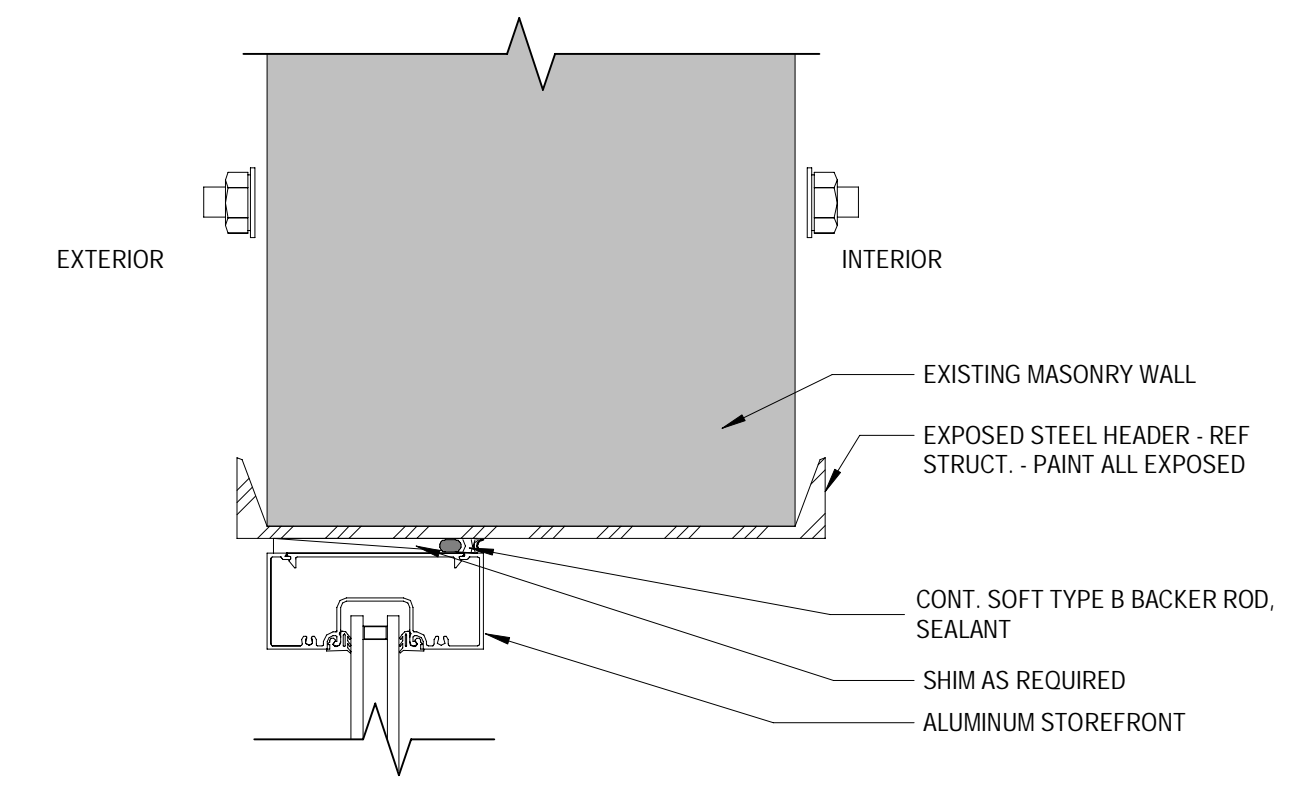
7 JAMB DETAIL @ EXT. HOLLOW METAL  
SCALE: 3" = 1'-0"



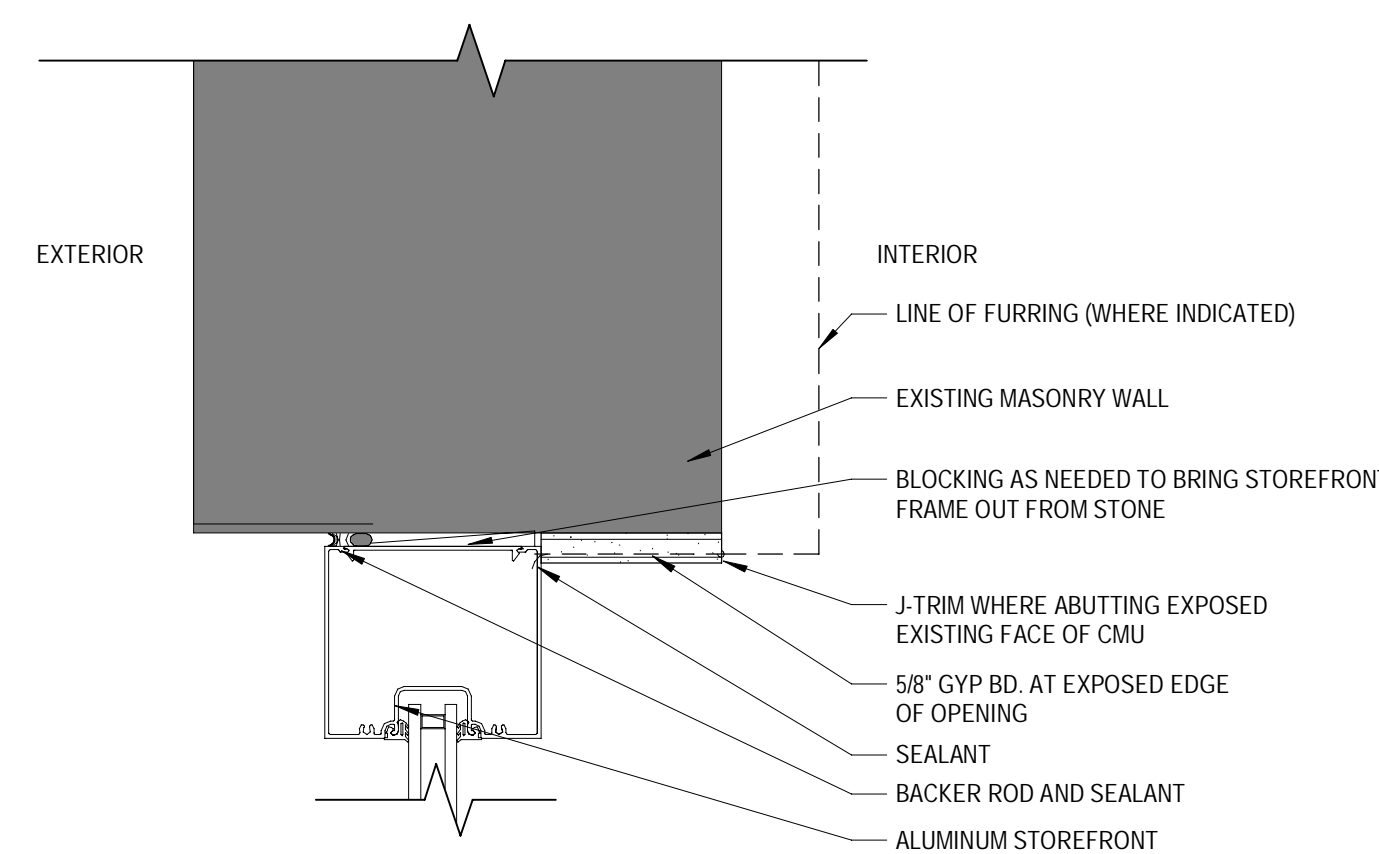
3 SILL DETAIL @ INT. STOREFRONT  
SCALE: 3" = 1'-0"



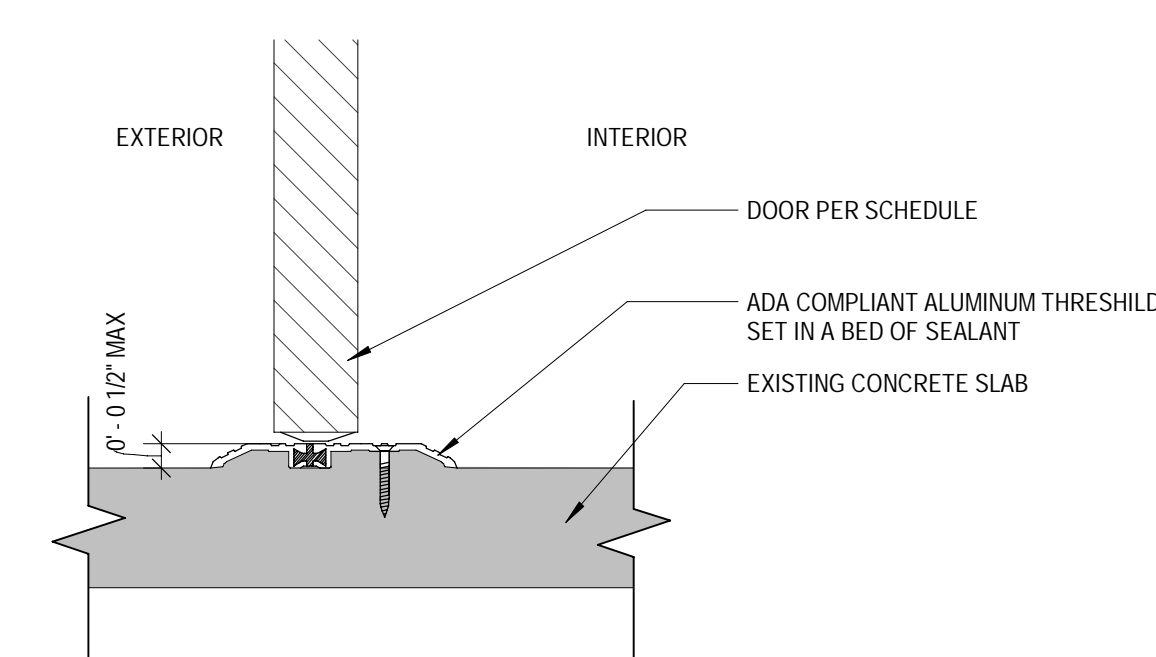
6 HEAD/JAMB DETAIL @ INT. HOLLOW METAL  
SCALE: 3" = 1'-0"



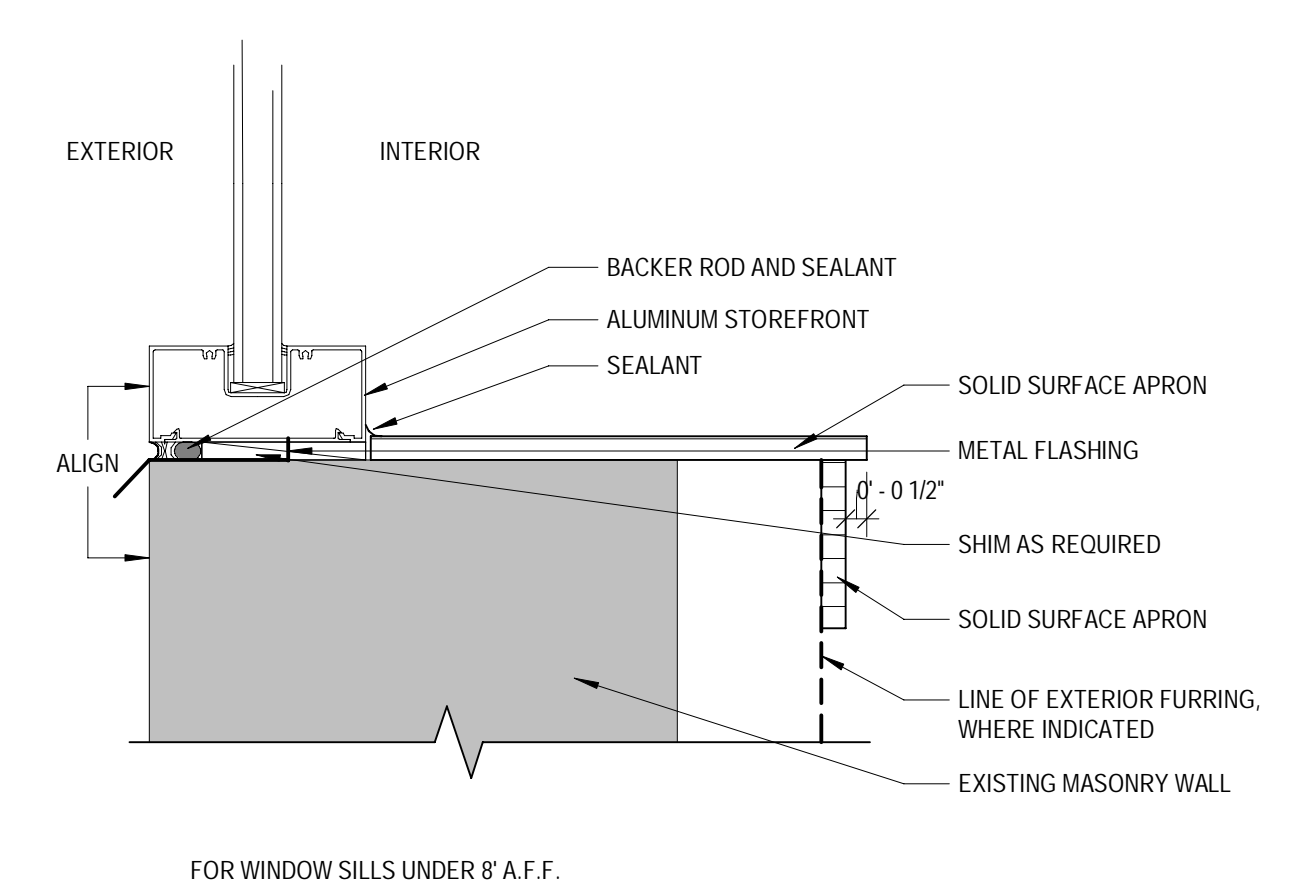
2 HEAD DETAIL @ NEW OPENING THROUGH EXISTING WALL  
SCALE: 3" = 1'-0"



9 JAMB DETAIL @ EXT. STOREFRONT  
SCALE: 3" = 1'-0"



5 THRESHOLD DETAIL  
SCALE: 3" = 1'-0"



1 SILL DETAIL @ EXT. WALL  
SCALE: 3" = 1'-0"

#	Date	Issue/Description
12	12/17/21	25% SUBMITTAL
11	01/05/22	75% SUBMITTAL
10	01/14/22	PERMIT SET
9	01/31/22	100% SUBMITTAL
8	03/11/22	PERMIT SET
7		
6		
5		
4		
3		
2		
1		

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

**MATERIAL SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	PRODUCT NAME	MODEL #	SIZE	COLOR	FINISH	SPEC	REMARKS
<b>PLASTIC LAMINATE</b>									
PL-1	PLASTIC LAMINATE	FORMICA	LAMINATE COMMERCIAL	9283-NG	-	WALNUT RIFTWOOD	NATURAL GRAIN	064166	
PL-2	PLASTIC LAMINATE	ARBORITE	-	P394-VL	-	ARCTIC SNOW	VELVATEX	064166	
PL-3	PLASTIC LAMINATE	WILSONART	HIGH PRESSURE LAMINATE	8201K-12	-	GREY ELM	12 SOFT GRAIN	064166	
PL-4	PLASTIC LAMINATE	FORMICA	LAMINATE COMMERCIAL	6220-58	-	SMOKE QUARSTONE	MATTE	064166	
PL-5	PLASTIC LAMINATE	ARBORITE	-	P386-CA	-	INDIGO TWILL	CASHMERE	064166	
PL-6	PLASTIC LAMINATE	ARBORITE	-	W445-EV	-	AFROMOSIA CONGO	EVERGRAIN	064166	
PL-7	PLASTIC LAMINATE	CHEMETAL	150 SERIES - MAGNETIC LAMINATE	151	4' X 8'	BLACK MAGNETIC CHALKBOARD	-	064166	
<b>RESILIENT FLOORING</b>									
RF-1	LUXURY VINYL TILE	KARNDÉAN	OPUS	WP322	6" X 36" 2.5MM	CANITIA	-	096519	
RF-2	LUXURY VINYL TILE	ECORE ATHLETIC-POLYFLOR	EXPOXA COMMERCIAL PUR	4077	12" X 36" 2.5MM	BIRCH TRUNK	-	096519	
RF-3	LUXURY VINYL TILE	PATCRAFT	METALLIX FACET	I315V	12" X 32.5" 5MM	00400 ALKALINE BLUE	-	096519	
RF-4	LUXURY VINYL TILE	PATCRAFT	METALLIX FACET	I315V	12" X 32.5" 5MM	00530 ALUMINUM	-	096519	
RF-5	LUXURY VINYL TILE	PATCRAFT	METALLIX FACET	I315V	12" X 32.5" 5MM	00570 PEWTER	-	096519	
RF-6	RESILIENT SHEET	SHAW CONTRACT	NATURELIFE-WOOD II	0002V-08265	6W, 75LF, 2.2MM	TEAK	-	096516	REF A111 FOR INSTALLATION. DIRECT GLUE
RF-7	VINYL SHEET ROLL	ECORE ATHLETIC	ELEVATE BOUNCE2	ES205	6W, 30LF, 7MM	CHOCOLATE	-	096516	
RF-8	VINYL SHEET ROLL	ECORE ATHLETIC	ELEVATE BOUNCE2	ES206	6W, 30LF, 7MM	GRAPHITE	-	096516	
RF-9	RUBBER	ECORE ATHLETIC	EVERLAST BASIC ROLLS	RBRLIC-000371	4W, 25LF OR 50LF, 6MM	COATED ROCKY MOUNTAINS 8916	-	096516	
RF-10	RUBBER	ECORE ATHLETIC	EVERLAST BASIC ROLLS	RBRLIC-001335	4W, 25LF OR 50LF, 6MM	COATED NIGHT SKY GRAY 9335	-	096516	
RF-11	RUBBER	ECORE ATHLETIC	EVERLAST BASIC ROLLS	RBRLIC-001334	4W, 25LF OR 50LF, 6MM	COATED PACIFIC BLUE 9333	-	096516	
RF-12	RUBBER	ECORE ATHLETIC	PERFORMANCE BEAST PLUS	ES103	4W, 25LF, 14.5MM	BLUE JAYS	-	196516	
<b>SOLID SURFACE</b>									
SS-1	QUARTZ	LG HI-MACS	SOLID SURFACE	M611	-	AURORA CLOUD	-	123661.19	
SS-2	QUARTZ	LG HI-MACS	SOLID SURFACE	W001	-	ICE QUEEN	-	123661.19	
<b>TILE</b>									
T-1	PORCELAIN TILE	FLORIDA TILE	TIDES	FT128115	12" X 24" X 3/8"	MARINE FOG	MATTE	093013	INSTALL PATTERN: HORIZONTAL RUNNING BOND. INSTALL AT 45 DEGREE ANGLE AT LOBBY AREA. GROUT: GR-1 AND GR-2; SEE FINISH PLAN FOR LOCATION.
T-2	PORCELAIN TILE	DALTILE	INDUSTRIAL PARK	IP09	12" X 24" X 3/8"	CHARCOAL GRAY	MATTE	093013	INSTALL PATTERN: HORIZONTAL RUNNING BOND. GROUT: GR-4
T-3	PORCELAIN TILE	ATLAS CONCORDE	FORGE	-	12" X 24" X 3/8"	ALUMINUM	MATTE	093013	INSTALL PATTERN: HORIZONTAL RUNNING BOND. GROUT: GR-5
T-4	PORCELAIN TILE	DALTILE	RIVER MARBLE	RM92	12" X 24" X 3/8"	SILVER SPRINGS	POLISHED	093013	INSTALL PATTERN: HORIZONTAL RUNNING BOND. GROUT: GR-5
T-5	PORCELAIN TILE	DALTILE	PORTFOLIO	PF09	12" X 24" X 3/8"	CHARCOAL	MATTE	093013	INSTALL PATTERN: HORIZONTAL RUNNING BOND. GROUT: GR-3
T-6	PORCELAIN TILE	DALTILE	AMBASSADOR	AM36	12" X 24" X 3/8"	WANDERLUST WHITE	POLISHED	093013	INSTALL PATTERN: HORIZONTAL RUNNING BOND. GROUT: GR-2
T-7	GLASS TILE	DALTILE	COLOR WAVE	CW32	1" X 6" X 5/16"	CAPRI BREEZE	GLOSSY	093013	INSTALL PATTERN: VERTICAL STACK BOND. GROUT: GR-4
T-8	PORCELAIN TILE	DALTILE	CONTINENTAL SLATE	CS53	3" X 3" X 1/4" MOSAIC	ASIAN BLACK	MATTE	093013	GROUT: GR-4
T-9	CERAMIC TILE	DALTILE	SLATE ATTACHE	SA07	2" X 2" X 1/4" MOSAIC	META DARK GRAY	MATTE	093013	GROUT: GR-4
T-10	CERAMIC TILE	DALTILE	SEMI-GLOSS AND MATTE	K101	4-1/4" X 4-1/4" 1/4"	WHITE	GLOSSY	093013	INSTALL PATTERN: STACK BOND. GROUT: GR-6
T-11	CERAMIC TILE	IRIS CERAMICA	SHADES OF BLIND	754777	4" X 12" 7MM THICK	WHITE	SATIN	093013	INSTALL PATTERN: HERRINGBONE. LIGHTEST SIDE SHOULD BE AT BOTTOM OF ANGLED TILE SO COLOR FADES DOWN GROUT: GR-5
T-12	CERAMIC TILE	IRIS CERAMICA	SLIDE	754896	4" X 12" 7MM THICK	OCEAN	GLOSSY	093013	INSTALL PATTERN: HORIZONTAL RANDOM RUNNING BOND. USE 3 COLORS IN EQUAL PERCENTAGES (33.3% EACH) IN A RANDOM COLOR PATTERN (TILE WIDTHS VARY) GROUT: GR-5
T-13	CERAMIC TILE	ANATOLIA	SOHO	50-604	4" X 16" 8MM THICK	TAUPE GLOSSY	GLOSSY	093013	INSTALL PATTERN: HORIZONTAL RANDOM RUNNING BOND. GROUT: GR-5
T-14	CERAMIC TILE	ANATOLIA	SOHO	50-603	4" X 16" 8MM THICK	WARM GREY GLOSSY	GLOSSY	093013	INSTALL PATTERN: HORIZONTAL RANDOM RUNNING BOND. GROUT: GR-5
<b>WALL PROTECTION</b>									
WP-1	WALLCOVERING	MDC WALLCOVERINGS	WATERWOOD	MWV5704	5254"	ISLAND TIME	-	097200	
WP-2	WALL PROTECTION SPECIALTIES	CONSTRUCTION SPECIALTIES	ACROVYN BY DESIGN	CHUZE CUSTOM	4' X 10'	CHUZE CUSTOM	-	102600	CYCLE ROOM 'CYCLE MURAL'; RECOVERY STUDIO 'RECOVERY IVY GRAPHIC'; RETAIL AREA 'RETAIL GRAPHIC'
WP-3	WALL PROTECTION SPECIALTIES	CONSTRUCTION SPECIALTIES	ACROVYN BY DESIGN	CHUZE CUSTOM	4' X 4', 4' X 8'	CHUZE CUSTOM	-	102600	KIDS CLUB ACTIVITY AREA 'KIDS GRAPHIC'
WP-4	WALL PROTECTION SPECIALTIES	CONSTRUCTION SPECIALTIES	ACROVYN SOLID COLORS	PRODUCT 162	4' X 8'	CHARCOAL	-	102600	
WP-5	WALLCOVERING	MODULAR ARTS	DUNE PANEL	-	32" X 32"	-	-	097200	INSTALL PER MANUFACTURER INSTRUCTIONS AND PROVIDED INSTALLATION KIT. FACE SCREW PANELS TO SUBSTRATE. GLUE PANEL TO PANEL EDGES WITH ADHESIVE PROVIDED. DO NOT GLUE BACK. SPACKLE PANEL JOINTS AND SAND SMOOTH WITH MANUFACTURER PROVIDED JOINT COMPOUND.
WP-6	FIBERGLASS REINFORCED PANEL	USFRP	FRP STANDARD	S2SC-48	4' X 8'	WHITE	SMOOTH	097200	
<b>WOOD</b>									
WD-1	WOOD CLADDING	FIBERON	CONCORDIA HORIZON	-	5.5" X 20"	TUDOR BROWN	-	074643	40% QUANTITY
WD-2	WOOD CLADDING	FIBERON	CONCORDIA HORIZON	-	5.5" X 20"	IPE	-	074643	60% QUANTITY
WD-3	PANELS	SHERWIN WILLIAMS	MNWAX PRO SERIES SPAR URETHANE	-	-	ESPRESSO	SATIN	-	
WD-4	BAMBOO	SHAW	NATURAL BAMBOO - MUSE STRAND	SW743-00008	5.5" X 72.8"	CHICORY	-	096223	WALL PANELING AT RECEPTION
<b>GROUT</b>									
GR-1	GROUT	CUSTOM BUILDING PRODUCTS	STANDARD CEMENT GROUT	-	-	19 PEWTER	-	093013	
GR-2	GROUT	CUSTOM BUILDING PRODUCTS	WATER-CLEANABLE EPOXY GROUT	-	-	19 PEWTER	-	093013	
GR-3	GROUT	CUSTOM BUILDING PRODUCTS	STANDARD CEMENT GROUT	-	-	370 DOVE GRAY	-	093013	
GR-4	GROUT	CUSTOM BUILDING PRODUCTS	WATER-CLEANABLE EPOXY GROUT	-	-	370 DOVE GRAY	-	093013	
GR-5	GROUT	CUSTOM BUILDING PRODUCTS	WATER-CLEANABLE EPOXY GROUT	-	-	335 WINTER GRAY	-	093013	
GR-6	GROUT	CUSTOM BUILDING PRODUCTS	WATER-CLEANABLE EPOXY GROUT	-	-	381 WINTER WHITE	-	093013	

**MATERIAL SCHEDULE**

TAG	DESCRIPTION	MANUFACTURER	PRODUCT NAME	MODEL #	SIZE	COLOR	FINISH	SPEC	REMARKS
<b>BASE</b>									
B-1	VINYL WALL BASE	TARKETT / JOHNSONITE	TRADITIONAL VINYL (TYPE TV) - TOE	-	4' / 6'	20 CHARCOAL	-	096513	4" @ MILLWORK 6" ALL OTHER LOCATIONS
B-2	PORCELAIN TILE COVE BASE	DALTILE	INDUSTRIAL PARK	P-36C9T	6" X 12"	IP09 CHARCOAL GRAY	MATTE	096513	GROUT - GR-4
B-3	PORCELAIN TILE COVE BASE	DALTILE	CONTINENTAL SLATE	S-36C9T	6" X 12"	CS53 ASIAN BLACK	MATTE	096513	GROUT - GR-4
B-4	PORCELAIN TILE	FLORIDA TILE	TIDES	FT128115	6"	MARINE FOG	MATTE	096513	GROUT - GR-1
B-5	RUBBER WALL BASE	ECORE ATHLETIC	EVERLAST BASIC ROLLS	8916	6", 6MM	CHUZE CUSTOM BLACK	-	096513	
B-6	RUBBER WALL BASE	ECORE ATHLETIC	EVERLAST BASIC ROLLS	D031620B	6", 6MM	CHUZE CUSTOM GRAY	-	096513	
B-7	RUBBER WALL BASE	ECORE ATHLETIC	EVERLAST BASIC ROLLS	D071119C	6", 6MM	CHUZE CUSTOM BLUE	-	096513	
<b>CARPET</b>									
CPT-1	CARPET TILE	SHAW	VANTAGE	5T086	24" X 24"	84407 AZURE HEATHER	-	096813	INSTALL PATTERN: QUARTER TURN
CPT-2	CARPET TILE	SHAW	PATH	5T034	24" X 24"	34549 LAVA	-	096813	INSTALL PATTERN: QUARTER TURN
CPT-3	CARPET WALLCOVERING	SHAW	WHSPER	60751	54" WIDE ROLL	00502 FLINT	-	097200	
<b>CONCRETE</b>									
CONC-1	SEALED CONCRETE	EUCUID CHEMICAL	WB244 BARRICADE	-	-	-	-	099100	LIGHT BROOM FINISH IN POOL AREAS
<b>TURF</b>									
TF-1	ARTIFICIAL TURF GRASS	SPORTTURF	FAST GRASS 40	AT740	5MM THICK	GREEN	-	325200	
TF-2	ARTIFICIAL TURF GRASS	SPORTTURF	FAST GRASS 40	AT740	5MM THICK	CHUZE CUSTOM - GRAY WITH WHITE NUMBERS/HASH MARKS	-	325200	
TF-3	ARTIFICIAL TURF GRASS	SPORTTURF	FAST GRASS 40	AT740	5MM THICK	CHUZE CUSTOM - WHITE LOGO PANEL	-	325200	
<b>PAINT</b>									
P-1	PAINT	SHERWIN WILLIAMS	-	SW 6903	-	CHEERFUL	SATIN / FLAT	099113, 099123	
P-2	PAINT	SHERWIN WILLIAMS	-	SW 6788	-	SATIN	SATIN	099123	
P-3	PAINT	SHERWIN WILLIAMS	-	SW 7074	-	SOFTWARE	SATIN	099123	
P-4	PAINT	SHERWIN WILLIAMS	-	SW 8917	-	SHELL WHITE	SATIN / FLAT	099123	
P-5	PAINT	SHERWIN WILLIAMS	-	SW 7643	-	PUSSYWILLOW	SEMI-GLOSS	099123	
P-6	PAINT	SHERWIN WILLIAMS	-	SW 6503	-	BOSPORUS	SEMI-GLOSS	099123	
P-7	PAINT	SHERWIN WILLIAMS	-	SW 9135	-	WHIRLPOOL	SEMI-GLOSS	099123	
P-8	PAINT	SHERWIN WILLIAMS	-	SW 0055	-	LIGHT FRENCH GRAY	SEMI-GLOSS	099123	
P-9	PAINT	SHERWIN WILLIAMS	-	SW 6717	-	LIME RICKEY	SEMI-GLOSS	099123	
P-10	PAINT	SHERWIN WILLIAMS	-	SW 6783	-	AMALFI	SEMI-GLOSS	099123	
P-11	PAINT	SHERWIN WILLIAMS	-	SW 7618	-	DEEP SEA DIVE	SATIN	099123	
P-12	PAINT	SHERWIN WILLIAMS	SW CHALKBOARD PAINT BY ASSOCIATED PAINT (PRODUCT #9740507). TINTED TO SW9135 WHIRLPOOL. FLAT FINISH	SW 9135	-	WHIRLPOOL	SEMI-GLOSS / FLAT	099123	NOT REGULARLY STOCKED. LEAD TIME ESTIMATED AT 7-10 DAYS
P-13	PAINT	SHERWIN WILLIAMS	-	SW 7018	-	DOVETAIL	SEMI-GLOSS / FLAT	099123	
P-14	PAINT	SHERWIN WILLIAMS	-	SW 7014	-	EIDER WHITE	FLAT	099113, 099123	
P-15	PAINT	SHERWIN WILLIAMS	-	SW 7068	-	GRIZZLE GRAY	FLAT	099113, 099123	
P-16	PAINT	SHERWIN WILLIAMS	-	SW 7069	-	IRON ORE	FLAT	099123	
P-17	PAINT	PAINT ON SCREEN	DIAMOND INFUSED PROJECTION SCREEN	-	-	CRYSTAL WHITE	-	099123	

**ROOM FINISH SCHEDULE**

ROOM NUMBER	ROOM	FLOOR				WALL FINISH			CEILING		REMARKS
		MATERIAL	BASE	CARPET	PAINT	TILE	WALL PROTECTION	WOOD	MAIN	SOFFIT	
100	CIRCULATION	RF-1	B-1	-	P-4	-	-	-	C-2	-	
101	VESTIBULE	CPT-2	B-1	-	P-4	-	-	-	C-2	-	
102	LOBBY	CPT-1	B-1	-	P-4, P-1	-	-	-	C-2	-	
103	CHECK-IN	T-1	B-4	-	P-1, P-3, P-4	-	-	WD-4	C-5, P-4	-	PAINT COLOR VARIES. SEE ROOMS INTERIOR ELEVATIONS FOR MORE INFORMATION
104	RETAIL	T-1	B-4	-	P-3	-	-	-	C-2	C-5	
105	SMOOTHIE	T-1	B-2	-	P-1, P-2	T-5, T-6, T-7	-	-	C-5, P-4	-	
106	SMOOTHIE STORAGE	T-1	B-2	-	P-4	-	WP-6	-	C-1	-	WP-6 4"W X 8"H ADJACENT TO MOP SINK
107	ADA RESTROOM	CONC-1	B-2	-	P-5	-	WP-6	-	C-1	-	WP-6 ALL WALLS TO 4'-6" AFF
108	KID'S CLUB ENTRY	RF-3, RF-4, RF-5	B-1	-	P-8, P-2	-	WP-4	-	C-1	-	WP-4 ALL WALLS TO 4'-0" AFF
109	KID'S CLUB	RF-6	B-1	-	P-1, P-2, P-8	-	WP-4	-	C-1	-	WP-4 ALL WALLS TO 4'-0" AFF
110	KID'S CLUB ACTIVITY	TF-1, TF-2	B-1	-	P-1	-	WP-3	-	C-1	-	WP-3 ALL WALLS TO 4'-0" AFF
111	KID'S CLUB CINEMA	RF-6	B-1	-	P-10	-	WP-4	-	C-1	-	
112	KID'S RESTROOM	T-2	B-2	-	P-8, P-10	-	WP-6	-	C-1	-	WP-6 ALL WALLS TO 4'-0" AFF
113	STORAGE w/ MOP SINK	CONC-1	B-1	-	P-4	-	WP-6	-	C-1	-	WP-6 4"W X 8"H ADJACENT TO MOP SINK
114	RECOVERY STUDIO	RF-1	B-1	-	P-2, P-3, P-4	-	WP-2	-	C-4	-	
115/116	TANNING	RF-1	B-1	-	P-1, P-4	-	-	-	C-1	-	
117/118/119	SALINA	T-8	B-3	-	P-3	-	-	-	C-6	-	EPOXY 2-PART SYSTEM PAINT. REF PROJECT MANUAL
120	HYDRO	RF-1	B-1	-	P-3	-	WP-1	-	C-4	-	
121	CIRCULATION	RF-1	B-1	-	P-4	-	-	-	C-2	-	
122	STUDIO ENTRY	RF-1	B-1	-	P-4	-	-	-	C-5	-	
123	CYCLE	RF-9	B-5	-	P-2, P-3	-	WP-2	-	C-7, P-16	-	PAINT COLOR VARIES. SEE ROOMS INTERIOR ELEVATIONS FOR MORE INFORMATION.
124	GROUP X	RF-6	B-1	-	P-1, P-3, P-4	-	WP-4	-	C-1	-	PAINT COLOR VARIES. SEE ROOMS INTERIOR ELEVATIONS FOR MORE INFORMATION.
125	TEAM TRAINING	RF-9	B-5	-	P-2, P						