

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

MG2 Corporation

1101 Second Ave, Ste 100
Seattle, WA 98101

206 962 6500
MG2.com

03/11/2022

Jay Rodenbeck,
City of Albuquerque
Planning Department
Plaza Del Sol Building 600 NW
Albuquerque, NM 87102

Re: Chuze Albuquerque Minor Site Amendment
6600 Central Ave. SW
Albuquerque, NM 87121

MG2 Project Number: 21603901A

Subject: Chuze Albuquerque Administrative Amendment

The purpose of this letter is to authorize MG2 to act as agent on behalf of Chuze Fitness pertaining to any, and all submittals made to the City of Albuquerque for the above referenced site.

Should you require any additional information regarding this matter, please contact me at 949.705.0747
Thank you.

Sincerely,



Matthew McClellan, MG2
Associate
t.949.707.0747



Tim Fiumara
Construction Project Manager
Chuze Fitness



Joe R. Rollins
Director of Real State
United Supermarkets LLC



Zone Atlas



City Zone Atlas Pages

200ft

City of Albuquerque, Bernalillo County, NM, Bureau of Land Management, Esri, HERE, Garmin, GeoTechnologies, Inc., NGA, USGS

MG2 Corporation

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Seattle, WA 98101

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MG2.com

03/11/2022

Jay Rodenbeck,
City of Albuquerque
Planning Department
Plaza Del Sol Building 600 NW
Albuquerque, NM 87102

Re: Chuze Albuquerque Minor Site Amendment
6600 Central Ave. SW
Albuquerque, NM 87121

MG2 Project Number: 21603901A

Subject: Chuze Albuquerque /Justification letter

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO – 2020 Annual Update) the Applicant (Chuze Fitness) respectfully requests to the City of Albuquerque, an Application for an Administrative site Amendment (AA) review from the previously approved site plan.

The proposed design for Chuze Fitness Albuquerque was submitted to building department for review with the permit number BP-2022-01930 and required by transportation department plan checker Ernest Gomez to be coordinated with Building and Development Services for the proposed Minor Administrative Amendment (AA).

The purpose of this letter is to provide the City justification for the Application on behalf of the Applicant ("Justification Letter") based on the compliance per section IDO 6-4(Z)(1)(a) Minor Amendments as required by the jurisdiction.

A new Chuze Fitness Gym is proposed at the existing site and building location at: 6600 Central Ave. SW., Albuquerque, NM 87121. The area of the remodel will be 50,845 SF of a total of a leased space of 50,845 SF. No additions/modifications to the existing building exterior are proposed. The fitness center will only be open for business during normal Chuze business hours, this generally ranges from as early as 7:00 AM to as late as 10:00 PM, Chuze Fitness will provide a new gym center to the community with a proposed full equipment and amenities on the interior of the existing building, providing as well minor site modification for a new trash enclosure, as required by the department of Solid waste in coordination with the permit revision permit number # BP-2022-01930, proposed location for future building signage as a reference only, not part of this submittal and also accessible parking restriping, all this work is proposed without changes to the existing approved requirements and site development plan on record.

The proposed design is also in compliance per the IDO Table 6-4-4 as presented in the information per the latest revised drawings as part of this (AA) package and do not require any public infrastructure or changes



to access or circulation patterns from the previously approved site, see attached documentation for your review and coordination.

Thank you for considering our proposal.

Should you require any additional information regarding this matter, please contact me at 949.705.0747

Sincerely,

A handwritten signature in black ink, appearing to read 'Matthew McClellan', with a long horizontal flourish extending to the right.

Matthew McClellan, MG2
Associate

98170 / reg. agency

RECEIVED

FEB 01 1999

200 N. 6th

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 22, 1999

Albertsons Inc.
250 E. Park Center Blvd.
Boise, ID 83706

OFFICIAL NOTIFICATION OF DECISION

FILE: Z-95-23-1

LEGAL DESCRIPTION: located on Central Avenue S.W., between Central Avenue and Coors Boulevard S.W., containing approximately 7.4 acres. (K-10) Walter Gelb, Staff Planner

On January 21, 1999, the Environmental Planning Commission voted to approve Z-95-23-1, an amendment to an existing site development plan, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for an amendment to a site development plan for building permit for approval of a gasoline fueling station on a 7.4 acre site located on the southwest corner of Central Avenue and Coors Boulevard.
2. The fueling station consists of a canopy which is 19 feet high, 76 by 24 feet, and a 70 square foot kiosk, and is proposed to be at the modifications the site p northeast portion of the site.
3. Transportation has identified numerous conditions of approval.
4. The site lighting detail should state that all lighting shall be full cut-off fixtures to minimize fugitive light on adjacent properties and right of way; the side building elevations shall have flood or security lighting that are full cut-off fixtures, but have enough coverage to provide adequate security lighting.
5. With modifications this request can be approved.

CONDITIONS:

1. Conditions of approval for the proposed amendment to the "site plan for building purposes" are as follows:

OFFICIAL NOTICE OF DECISION
JANUARY 21, 1999
Z-95-23-1
PAGE 2

- A TIS has been performed for this request. The implementation of and/or monetary contributions for mitigation measures as required by the *TIS negotiations* between the developer and the City must be completed prior to DRB sign-off.
 - The development of the site must meet all the requirements of previous actions taken by the DRB.
 - The fueling area must be isolated from the general parking areas and main circulation aisles. Channelization must be provided to create a physical barrier.
 - Provision of adequate stacking to ensure that waiting vehicles will not block main circulation aisles or spill over into the adjacent street.
 - The site access, circulation pattern, structure orientation / configuration must be constructed to the satisfaction of the Traffic Engineer.
 - Provision of adequate pedestrian circulation with handicapped features within the site and to the adjacent streets. Unidirectional handicapped ramps should be used at all entrances.
 - The site plan must identify surrounding uses and provide dimensions where appropriate, i.e., structures, streets, medians, drive aisles, parking spaces, walls, signs, etc.
 - Location of walls, fences and signs must meet the clear sight distance requirements.
 - Site grades must accommodate handicapped features and ADA requirements for pedestrian access and circulation.
 - Provision of street trees and landscaping in the areas between the curb and the sidewalks on Central and Coors Boulevards.
2. The lighting should be changed to down lighting to minimize any fugitive/reflected light and comply with the Zoning Code.
 3. the pedestrian paths shall be of an alternate textured material slightly raised were they cross vehicle circulation areas, this includes the old shopping center site.
 4. Landscaping must meet 15% of the net site.
 5. The site development plan must be submitted to the EPC site plan review committee before going to DRB.
 6. Signage shall be limited to 15% of the face of the canopy maximum.

IF YOU WISH TO APPEAL THIS DECISION, YOU MUST DO SO BY **FEBRUARY 5, 1999** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE OF \$50 IS REQUIRED AT THE TIME THE APPEAL IS FILED.

OFFICIAL NOTICE OF DECISION

JANUARY 21, 1999

Z-95-23-1

PAGE 3

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

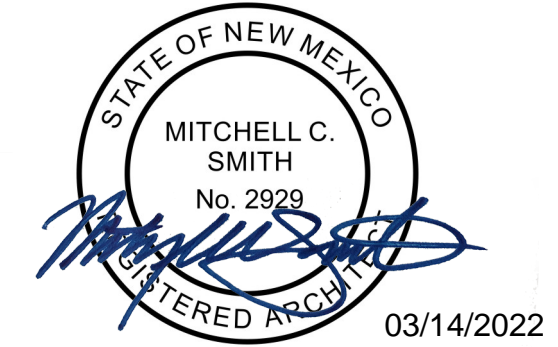
Sincerely,



Robert R. McCabe, AIA, APA
Planning Director

RM/WG/ac

cc: Kent Hanway, Arch., 200 N. 6th Street, Boise, ID. 83702
Johnny Pena, Alamosa Neigh. Assoc., 6525 Sunset Gardens SW, Albuquerque, NM 87121
Louis Tafoya, Alamosa Neigh. Assoc., 6411 Avalon Rd. NW, Albuquerque, NM 87121
Ron Garcia, Skyview West Neigh. Assoc., 7513 Lucca SW, Albuquerque, NM 87121



LINE TYPE LEGEND

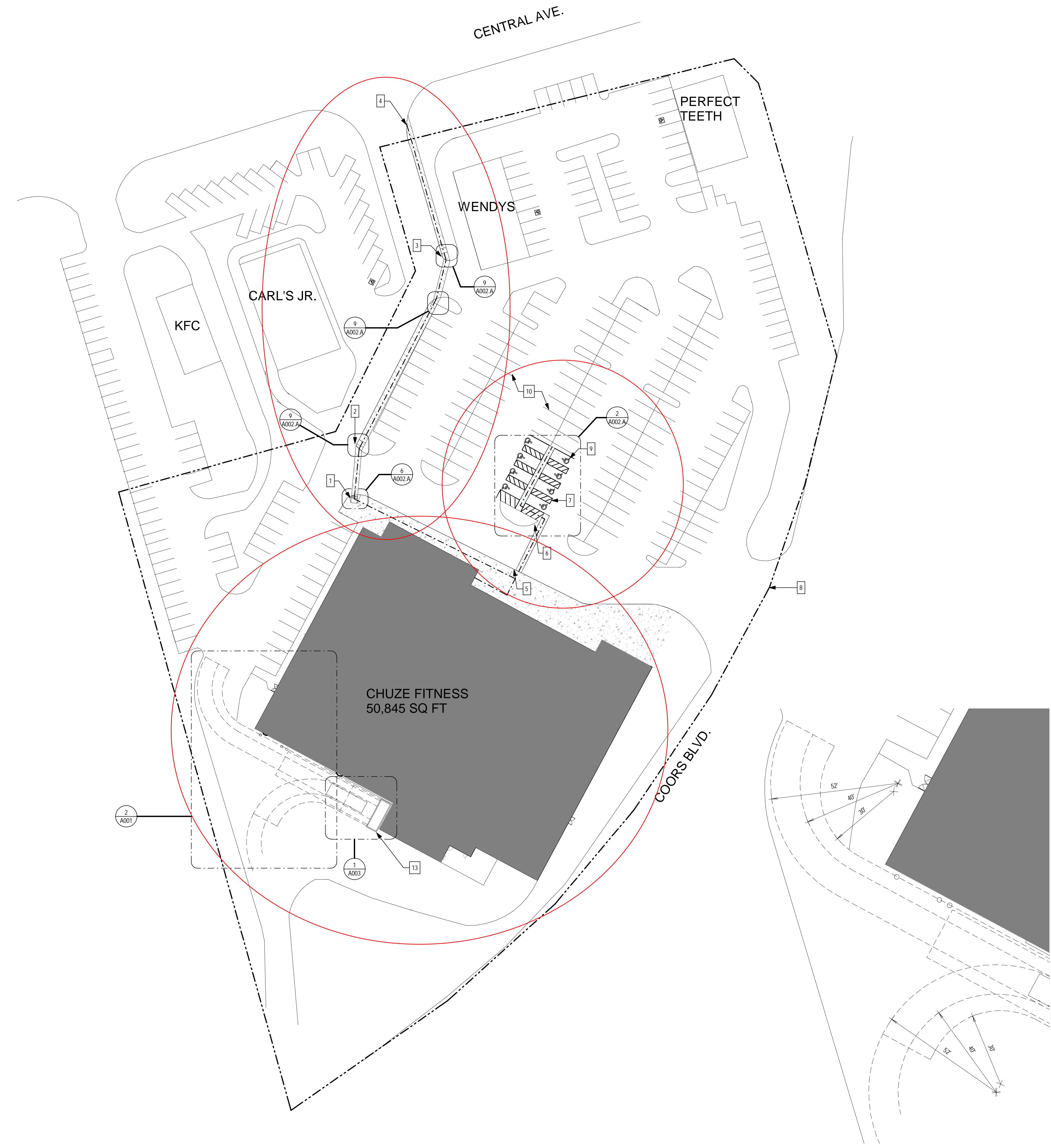
- PROPERTY LINE
- ADA POINT OF TRAVEL

PARKING SPACE CALCULATIONS

REQUIRED PARKING SPACES: 128 (2.5 SPACES PER 1000 SQ FT FLOOR AREA)
AVAILABLE PARKING SPACES: 382 AND 8 ADA SPACES REQUIRED; 2 VAN ACCESSIBLE, 8 PROVIDED TOTAL

KEYNOTES

1. FLARED RAMP TO BE REDONE TO MEET CURRENT ADA STANDARDS
2. GRIND DOWN ASPHALT AS REQUIRED TO REMOVE ABLUPT EDGES OVER 1/4"
3. EXISTING RAMP TO BE REDONE. INSTALL NEW TRUNCATED DOME
4. ACCESSIBLE PATH OF TRAVEL
5. EXISTING FLASH CURB CONDITION
6. PROVIDE CURB CUT FOR NEW ACCESSIBLE ROUTE
7. PROVIDE ALL NEW 4" STRIPING IN FEDERAL BLUE AT ACCESSIBLE PATH OF TRAVEL
8. PROPERTY LINE
9. REMOVE ALL EXISTING ACCESSIBLE PARKING SIGNAGE AND REPLACE WITH NEW CODE COMPLIANT SIGNAGE. RESTRIPE EXISTING PARKING WITH NEW ACCESSIBLE PATH OF TRAVEL
10. PARKING LOT TO BE SLURRY COATED AND RE-PAINTED BY LANDLORD
11. G.C. TO PROVIDE SIGNAGE AT ACCESSIBLE ROUTE PER DETAIL 7/A002.A
12. G.C. TO CONFIRM THE EXISTING SIGNAGE AT SITE ENTRANCE IN COMPLIANCE PER CODE AS NOTED ON DETAIL 8/A002.A
13. PROPOSED NEW TRASH ENCLOSURE



1 SITE PLAN
SCALE: 1" = 40'-0"

2 ENLARGED TRASH ENCLOSURE TURNING RADIUS
SCALE: 1" = 20'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

6600 CENTRAL AVE., SW
ALBUQUERQUE, NM 87121

#	Date	Issue/Description
12/17/21		25% SUBMITTAL
01/05/22		75% SUBMITTAL
01/14/22		PERMIT SET
01/31/22		100% SUBMITTAL
03/11/22		PERMIT SET

Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

SITE PLAN

A001



Mitchell C. Smith, Architect
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LINE TYPE LEGEND

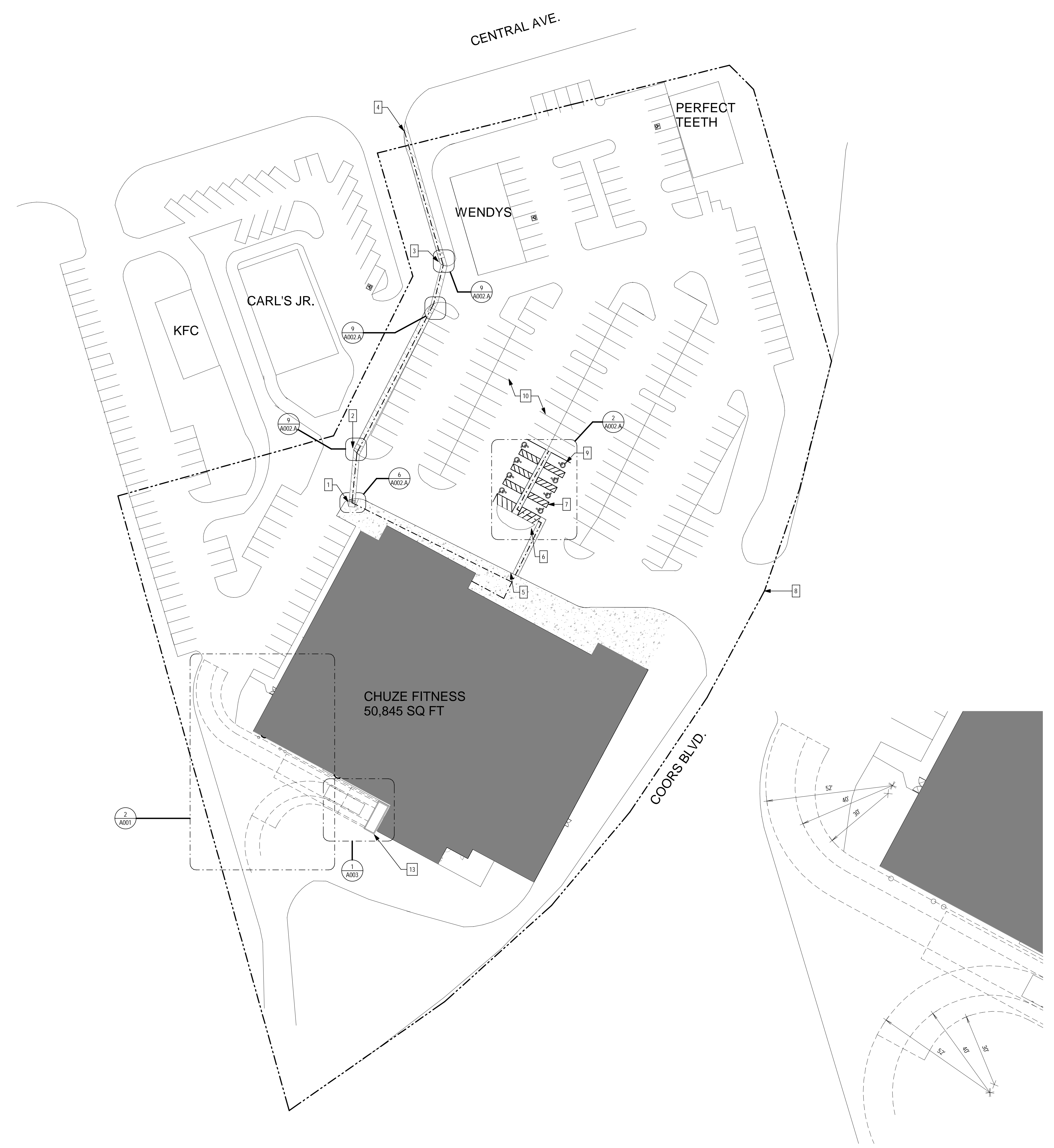
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01/14/22		PERMIT SET
01/31/22		100% SUBMITTAL
03/11/22		PERMIT SET

Project No: 21603901A
Drawn By: MG2
Checked By: MG2

SITE PLAN

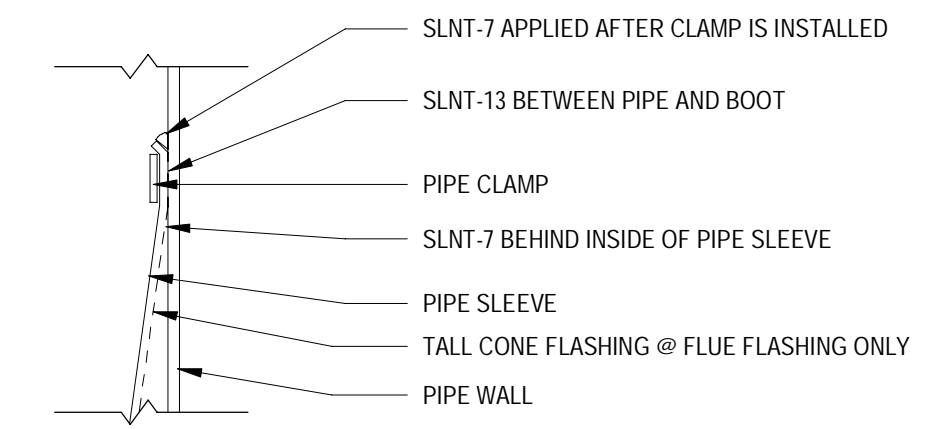
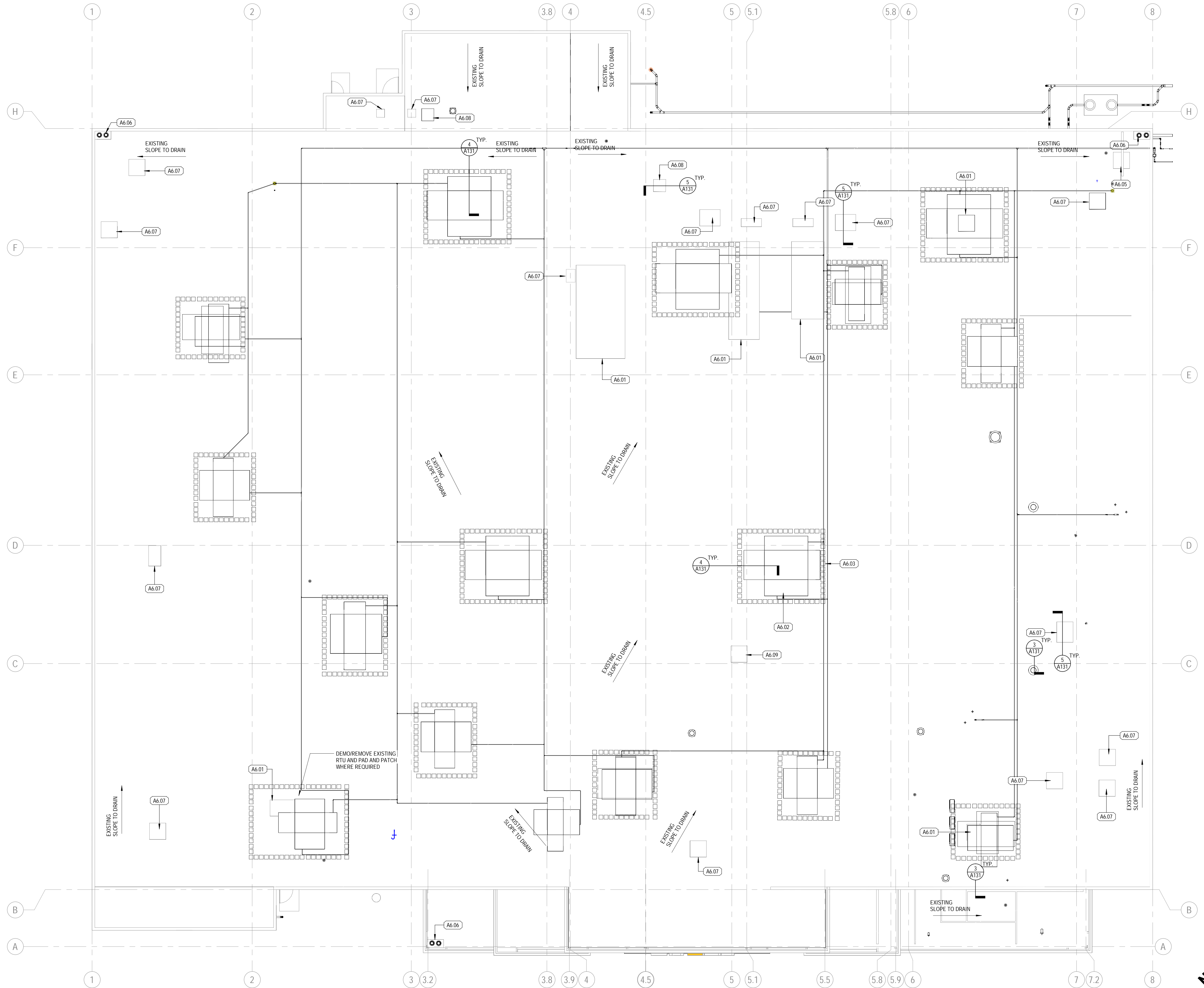
A001

ROOF PLAN NOTES:

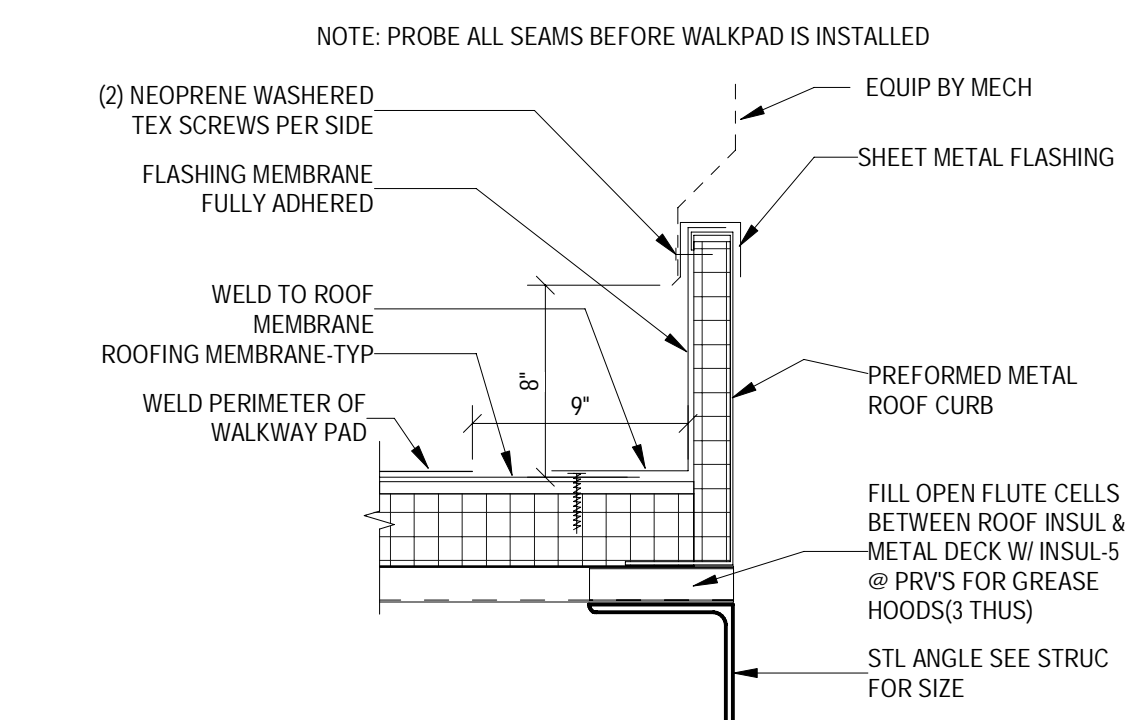
- CONTRACTOR TO COORDINATE WITH CHUZE CONSTRUCTION MANAGER & ARCHITECT FOR ALL NEW ROOF PENETRATIONS. ASSOCIATED WORK SHALL BE CONDUCTED IN ACCORDANCE WITH ROOFING MANUFACTURERS AND LANDLORDS REQUIREMENTS, TO PREVENT VOIDING ANY EXISTING ROOF WARRANTIES.
- INSTALL ALL NEW ROOFTOP EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED DETAILS AND SPECIFICATIONS FOR THE SPECIFIED WARRANTY.
- CONTRACTOR TO NOTIFY CHUZE CONSTRUCTION MANAGER & ARCHITECT OF ANY NEW ROOFTOP EQUIPMENT NOT PROPERLY SCREENED AND VISIBLE FROM RIGHT-OF-WAY, PRIOR TO START OF CONSTRUCTION.
- REFER TO MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL ITEMS ON OR THROUGH ROOF.
- MAINTAIN PROPER DRAINAGE AROUND ALL NEW ROOFTOP EQUIPMENT.
- CLEAN ROOF OF ALL CONSTRUCTION DEBRIS DURING CONSTRUCTION AND AT PROJECT COMPLETION.
- ALL ROOFING WORK TO BE PROVIDED BY LANDLORD ROOFING CONTRACTOR UNDER CONTRACTOR TO MAINTAIN ANY EXISTING WARRANTIES.
- PROVIDE PIPE FLASHINGS, CONDUIT FLASHINGS, MANUFACTURED GAS PIPING SUPPORTS AS REQUIRED FOR ALL NEW WORK. REF: 072200.

KEYNOTES

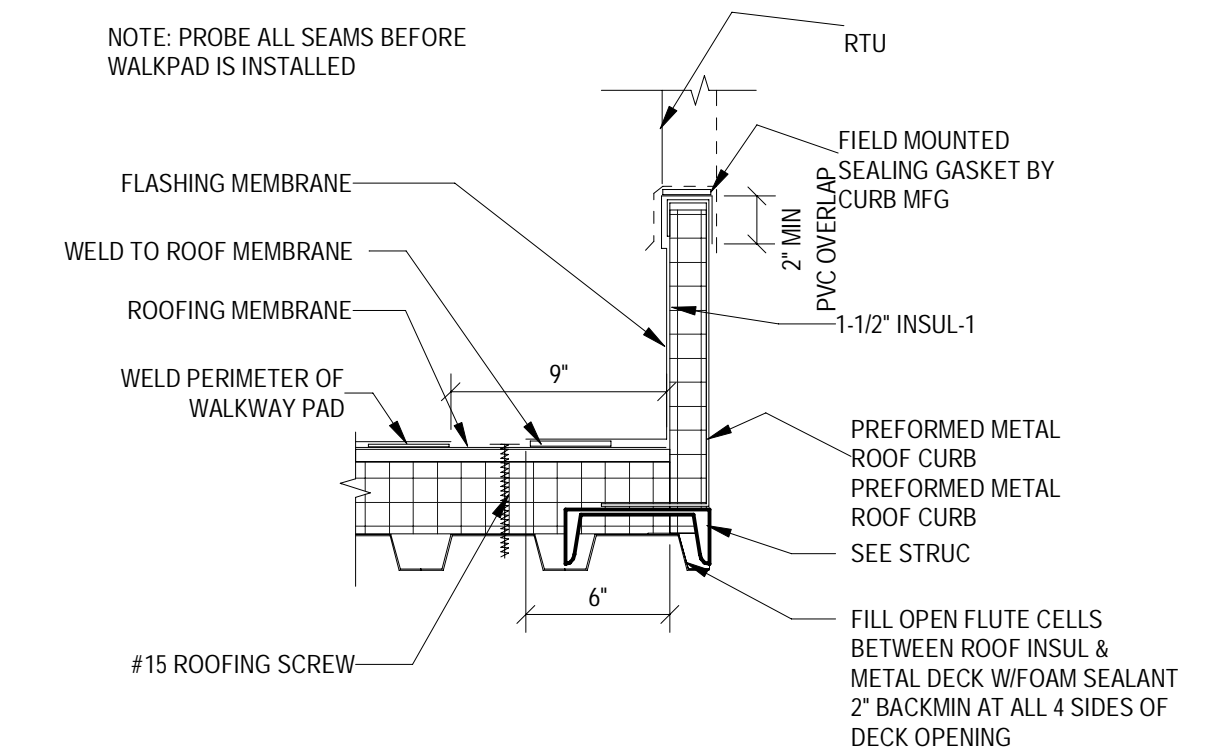
TAG	KEYNOTE REF: G002 RESPONSIBILITY SCHEDULE
A6.01	EXISTING ROOF TOP EQUIPMENT TO BE REMOVED; PATCH AND REPAIR ROOFING AS REQUIRED
A6.02	NEW ROOF TOP EQUIPMENT LOCATIONS; SEE MECHANICAL AND STRUCTURAL
A6.03	PROVIDE ROOF WALK PADS AT NEW ROOFTOP EQUIPMENT
A6.07	EXISTING EQUIPMENT TO BE REMOVED AND CAP EXISTING CURB. SEE DETAIL A131
A6.08	EXISTING ROOF HATCH ACCESS DOOR TO BE REMOVED; CAP EXISTING CURB; SEE DETAIL A131



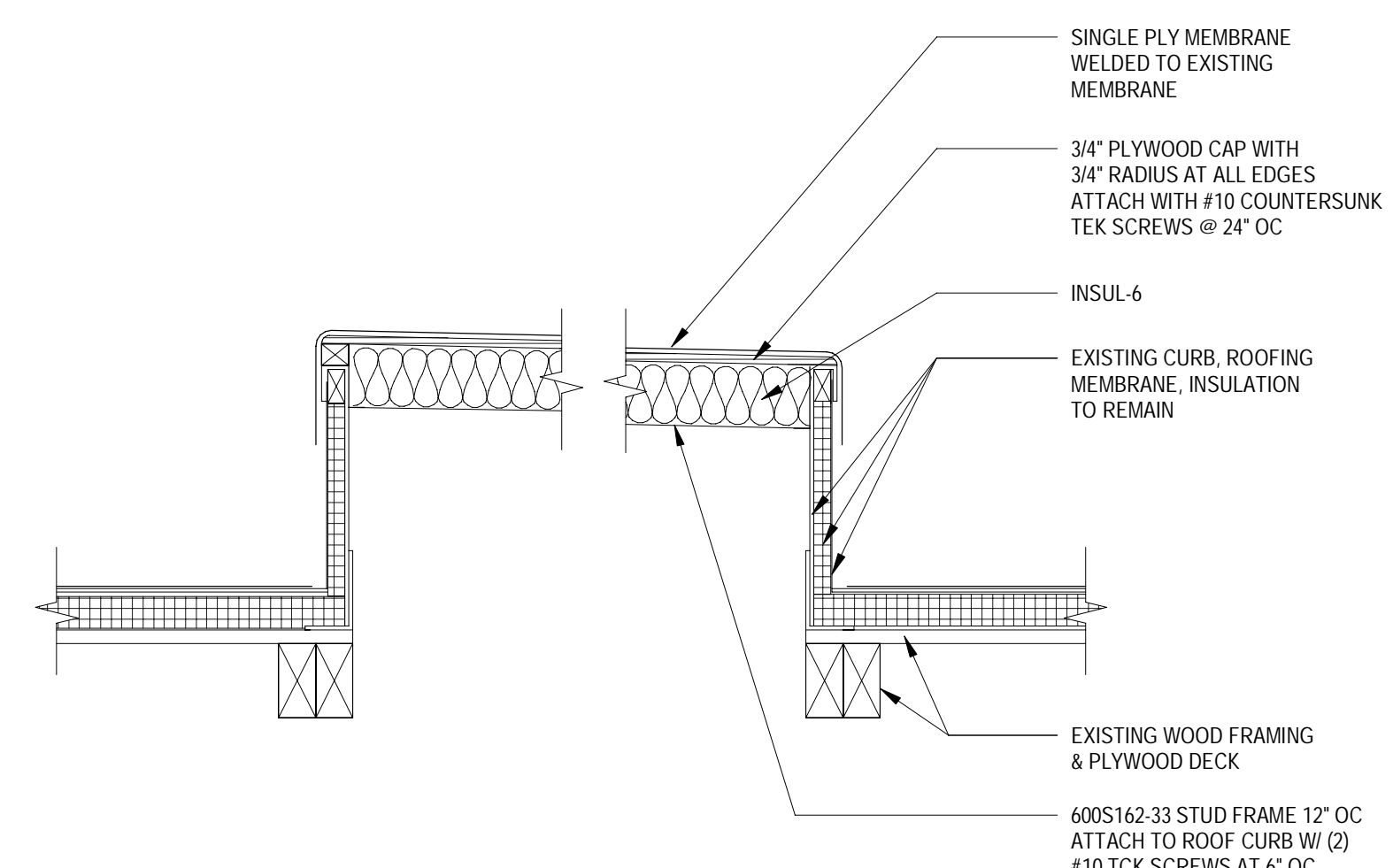
2 CLAMP DETAIL
SCALE: 3" = 1'-0"



3 FLASHING @ MISC ROOF CURB
SCALE: 1 1/2" = 1'-0"



4 FLASHING @ RTU CURB
SCALE: 1 1/2" = 1'-0"



5 RTU CURB CAP DETAIL
SCALE: 1 1/2" = 1'-0"

1 OVERALL ROOF PLAN
SCALE: 3/32" = 1'-0"

COORS & CENTRAL - CHUZE ALBUQUERQUE

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ALBUQUERQUE, NM 87121

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Project No:	21603901A
Drawn By:	MG2
Checked By:	MG2

OVERALL ROOF PLAN

A131