



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE, or City Staff (Form A)

APPLICATION INFORMATION

Applicant: John Maguire, Broadstone Net Lease, LLC		Phone: 585-287-6500
Address: 800 Clinton Square		Email:
City: Rochester	State: New York	Zip: 14604
Professional/Agent (if any): Douglas Heller AIA, Mullen Heller Architecture		Phone: 505-268-4144
Address: 1718 Central Avenue SW Suite D		Email: doug@mullenheller.com
City: Albuquerque	State: New Mexico	Zip: 87102
Proprietary Interest in Site: Owner	List all owners:	

BRIEF DESCRIPTION OF REQUEST

A new 2,000sf classroom addition to the existing Pima Medical Institute campus building.

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No.: Tract 1A	Block:	Unit:
Subdivision/Addition: Pavilions at San Mateo	MRGCD Map No.:	UPC Code: 101705929110840209
Zone Atlas Page(s): H-17-Z	Existing Zoning: NR-C	Proposed Zoning: NR-C
# of Existing Lots: 1	# of Proposed Lots:	Total Area of Site (acres): 4.28

LOCATION OF PROPERTY BY STREETS

Site Address/Street: 4400 Cutler Ave NE Between: Washington St. and: San Mateo Blvd. NE

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

EPC #Z-95-92, DRB #96-141

Signature:	Date: 4/18/2022
Printed Name: Douglas Heller, AIA	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date:	Fee Total:
Staff Signature:	Date:
	Project #

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and label

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
 - Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan



800 Clinton Square | Rochester, NY 14604
www.broadstone.com | 585.287.6500

April 14, 2022

City of Albuquerque
Planning Department
Urban Design & Development Department
600 2nd Street NW
Albuquerque, NM 87102

**Re: Letter of Authorization
4400 Cutler Ave., NW, Albuquerque, NM
Owner of Tract 1A: Broadstone PMI Portfolio LLC**

To Whom It May Concern:

Broadstone Net Lease Inc. is the managing member of Broadstone Net Lease, LLC, the sole member of Landlord.

Per your request, we are submitting this letter to allow Mullen Heller Architecture P.C. to function as our agent for all building permitting and planning processes related to the proposed modular building addition approved under Albuquerque Fire Marshal's Permit Number FP-21-0002893 for the following site:

Tract 1A Revised Plat of Pavilions at San Mateo Cont. 4.2761 ACM/L

Sincerely,
Broadstone Real Estate, LLC

A handwritten signature in black ink, appearing to read "John Maguire", with a long horizontal flourish extending to the right.


John Maguire
VP, Property Management



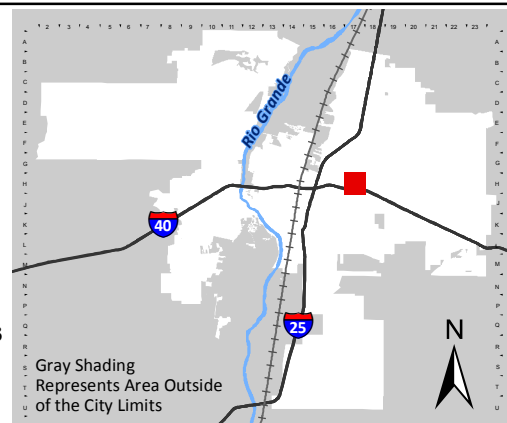
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018











IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).



Gray Shading
Represents Area Outside of the City Limits

Zone Atlas Page:
H-17-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

0 250 500 1,000 Feet

April 18, 2022

City of Albuquerque
Planning Department
600 2nd Street NW. Albuquerque, NM 87102

Re: **Letter of Justification**
Administrative Amendment – Site Development Plan for Building Permit
EPC #Z-95-92, DRB #96-141
4400 Cutler Ave. NE, Albuquerque NM 87110

This letter accompanies the supporting documents that propose to administratively amend the Site Development Plan for Building Permit for The Pavilions at San Mateo, approved by the Environmental Planning Commission on September 21, 1995.

The scope of this project is a new prefabricated classroom building on the Pima Medical Institute campus at 4400 Cutler Avenue NE.

This project is allowed to be approved as a Minor Amendment per Table 6-4-4 in the IDO, as the proposed building's area is below the 10% threshold. The current campus building is 44,877sf, and the proposed building results in less than a 5% increase in total building area. Additionally, the requirements for a Minor Amendment, as noted in the IDO Section 6-4(Z)(1)(a), are met; specifically, major public infrastructure is not needed, site circulation is not affected by the proposed building and no variances are needed.

Scope of the Project

Since Pima Medical Institute moved into the former Circuit City building at The Pavilions in 2008, the campus' enrollment has increased every year, most notably during the worldwide pandemic when individuals chose to pursue professions in the medical industry. As such, the school has nearly outgrown its current campus and is in need of additional classroom space to accommodate its growing enrollment.

The proposed 2,000sf prefabricated building will be located adjacent to the existing campus building. Access to it will be via stairs and an accessible ramp outside the building.

Prior to preparing this Amendment, the Planning Department's Pre-Review Team determined there is no distinction between a 'prefabricated' building and a traditionally built structure, therefore this project will be subject to the relevant IDO guidelines.

Site Development Plan Design Guidelines

The approved Site Development Plan from 1995 notes general design guidelines such as building colors, setbacks, etc. While this building will not necessarily meet all of those guidelines, the proposed building will be situated to comply with the required setbacks and designed to blend with the aesthetics of the overall shopping center.

The base and roof trim of the proposed building will be colored to match the darker grey band of the existing campus building and the body will be the lighter grey.

The proposed building is similar in size and scale to the shopping center's pad buildings along Cutler Avenue, which will blend the proposed building within the center.

Site Work and Site Approvals

The site work needed to accommodate the proposed building is minimal. The site currently has more parking than required per the IDO's on-site parking requirements. The location of the proposed building will remove six existing parking spaces, and minimal landscape will be removed and replaced.

A Fire Safety Site Plan indicating the proposed building has been approved by the Fire Marshal, which is attached.

A Traffic Circulation Site Plan has been submitted to the Transportation Department and is in the process of being reviewed.

Summary

While we understand the proposed building may not be a traditional structure, the school continues to invest in the campus to provide state-of-the-art medical training, as well as new classroom space to accommodate students' needs. The proposed building will integrate with the existing building, and shopping center, through its location scale and colors.

We appreciate your consideration of this amendment. Please feel free to contact me if you have any questions.

Sincerely,

Mullen Heller Architecture, PC



Douglas Heller, AIA, LEED AP

Attachments: Approved Fire Safety Site Plan Sheet Fire 1
PRT Notes 21-150

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-150 Date: 08/11/21 Time: N/A (sent via email to)

Address: 4400 Cutler NE

AGENCY REPRESENTATIVES

Planning: Catalina Lehner (clehner@cabq.gov) James Aranda (imaranda@cabq.gov)

Zoning/Code Enforcement: Carl Garcia (cagarcia@cabq.gov)

Fire Marshal: Antonio Chinchilla (achinchilla@cabq.gov) or call 505-924-3611 (if needed)

Transportation: Jeanne Wolfenbarger (jwolfenbarger@cabq.gov)

Hydrology: Ernest Armijo, P.E. (earmijo@cabq.gov)

Solid Waste: Herman Gallegos (hgallegos@cabq.gov)

Water Authority: David Gutierrez - dggutierrez@abcwua.org or call 505.289.3307; 505.241.9630

PRT DISCUSSIONS ARE FOR INFORMATIONAL PURPOSES ONLY!

THEY ARE NON-BINDING AND DO NOT CONSTITUTE ANY KIND OF APPROVAL.

*Additional research may be necessary to determine the exact type of application and/or process needed.
Factors unknown at this time and/or thought of as minor could become significant as the case progresses.*

REQUEST: 2,000 sf modular addition building

SITE INFORMATION:

Zone: NR-C

Size: Approx. 4.27 acres

Use: Non-Residential Commercial

Overlay zone: N/A

Comp Plan Area of: Consistency

Comp Plan Corridor: Commuter (I-40)

Comp Plan Center: N/A

MPOS or Sensitive Lands: X Flood zone

Parking: 14-16 5-5

MR Area: Mid Heights

Landscaping: 14-16 5-6

Street Trees: 14-16 5-6(D)(1)

Use Specific Standards: Allowable Uses, Table 4-2-1

Dimensional Standards: [Table 5-1-3: Non-residential Zone District Dimensional Standards](#)

*Neighborhood Organization/s: N/A

**This is preliminary information only. Neighborhood Organization information is only accurate when obtained from the Office of Neighborhood Coordination (ONC) at www.cabq.gov/neighborhoods.resources.*

PROCESS:

Type of Action: 6-4(Z) AMENDMENTS OF PRE-IDO APPROVALS

Review and Approval Body: Staff Is this a PRT requirement? No (Table 6-1-1)

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-150 Date: 08/11/21 Time: N/A (sent via email)

Address: 4400 Cutler NE

NOTES:

See the **Integrated Development Ordinance**

<https://documents.cabq.gov/planning/IDO/IDO-2019-Effective-2020-11-02.pdf>

Download Forms & Applications

<https://www.cabq.gov/planning/online-forms>

New Public Notice Forms

We have created forms for all email/mailed public notice and for Pre-submittal Neighborhood Meetings.

Please complete these forms for public notice:

- Neighborhood Meeting - <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>
- Public Notice - <http://www.cabq.gov/planning/urban-design-development/public-notice>

Records requests

To request a site plan and/or Notice of Decision, please use ABQ Records web page:

<https://www.cabq.gov/clerk/public-records>

Please include the site's address and the Case Tracking #s (see Zoning Comments) in your request.

Requests to Inspect Public Records

Any person may submit their request to inspect public records to the Office of the City Clerk by clicking on the following link to request records using our ABQ Records portal. <https://cabq.nextrequest.com/>

This enables us to respond to requests in the order in which they are received. Plus, it's a better way to share large files.

File Submittal

For Administrative Amendments, DRB, EPC, hydrology and traffic submittals, e-mail electronic files to PLNDRS@cabq.gov. For questions about an application submittal or the submittal process itself, please contact Jay Rodenbeck at jrodenbeck@cabq.gov and/or to Maggie Gould at mgould@cabq.gov.

For other questions, please contact the Planning representative at the top of the PRT Notes.

For Building Safety Plan Review, contact Building Safety at 924-3963. Website:

<https://www.cabq.gov/planning/building-safety-permits>

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-150 Date: 08/11/21 Time: N/A (sent via email)

Address: 4400 Cutler NE

Zoning Comments

PRT 21-150

PROPERTY INFORMATION

- Address: 4400 CUTLER AV NE
- Lot: 1A Block: 0000
- Subdivision: PAVILIONS AT SAN MATEO
- Type: Consistency
- Calculated GIS Acres: 4.2745
- IDO Zoning: **NR-C**
- Old Zoning Designation: C-3
- Old Zoning Category: COMMERCIAL

CASE HISTORY

- 1007856 Approved Site Development Plan

APPLICANT'S QUESTIONS

- Contact Hydrology for questions in regards drainage plan requirement @ 505-924-3986 Ernest Armijo
- Contact Transportation for TCL questions @ 505-924-3991 speak to Jeanne
- Reach out to Development Services for Amendments @ 505-924-3994 speak to Jay Rodenbeck

PROCESS

- 6-4(Z) AMENDMENTS OF PRE-IDO APPROVALS

As always, if you have specific questions pertaining to zoning and/or development standards you are encouraged to reach out to the zoning counter at (505) 924-3857 option 1.

Transportation Development Comments

PRT 21-150 (4400 Cutler NE.)

Information for Site Development – Transportation Development

For additional information contact Nilo Salgado (924-3630) or Jeanne Wolfenbarger (924-3991)

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-150 Date: 08/11/21 Time: N/A (sent via email)

Address: 4400 Cutler NE

General comments below:

Curb Cuts

- Follow DPM guidelines for commercial curb cuts.
- Location of drive with respect to intersection depends on classification of the street. (See attached table.) Classification of street is according to the Long Range Master Plan developed by MRCOG.

Clear Sight Triangle at Access Points and Intersections

- Clear sight triangle (See attached hand-outs.) Nothing opaque should be in the triangle.

Private Site and Parking Lot Design

- Follow DPM and IDO Guidelines for Site and Parking Lot Design. Current ADA standards must be followed including required number of handicapped parking spaces and drive aisles, ADA access to public right-of-way, and ADA access to on-site buildings.
- See the Traffic Circulation Layout (TCL) Checklist. A TCL is required for any change or addition to a building > 500 sq. ft. or if the parking or circulation is changed. (This includes a repaving of parking lot.) Drawing must be stamped by a registered engineer or architect.
- When developing a parking lot layout, include all dimensioning for construction purposes. Also include all curb, curb ramp and signage details.
- Parking Calculations must be provided and per the requirements in the IDO. Number of vehicular spaces, motorcycle spaces, and bicycle spaces shall be specified and follow IDO requirements.
- Shared access/parking agreement is required if access/parking is shared with parking lot adjacent to site. (This can be established on a plat if submittal of a plat is required or by an agreement.)
- Existing driveways that are not being used are required to be removed and replaced with standard curb and sidewalk to match existing.

Traffic Studies

- See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination.

Platting and Public Infrastructure Requirements for Roadways

- When submitting to DRB, all public roadway improvements that are required shall be shown on an infrastructure list. Public improvements must be included on a public work order set of drawings.
- All public roadway facilities must be within public right-of-way including the entire width of the public sidewalk, all public curb ramps, overhead utilities, traffic signals and lighting, etc.

PRE-APPLICATION REVIEW TEAM (PRT) MEETING NOTES

PA# 21-150 Date: 08/11/21 Time: N/A (sent via email)

Address: 4400 Cutler NE

- Curb and sidewalk are required along entire frontage of property. Follow IDO/DPM for specific width requirements.
- Depending on site's use of an adjacent alleyway and on type of use for proposed site, alleyway improvements are required. This would include paving and/or proper right-of-way dedication to meet current width standards.
- For any private access easements on plats, all beneficiaries and maintenance responsibilities must be listed.
- Due to sight distance concerns and to construct sufficient curb ramps, right-of-way dedication is required to add curves to corners of properties at intersections if they are not already developed. See Table 23.3 of the DPM.
- Any private structures that are located within public right-of-way such as fences and walls shall either be removed or else a revocable permit with the City is required in which an annual fee is paid per year, based on square footage of the encroachment.

If you would have additional questions or would like to schedule a follow-up Zoom meeting please contact Diego Ewell at dewell@cabq.gov

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20' **1"=30' to allow largest site on the sheet.**
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- NA I. Indicate structures within 20 feet of site
- NA J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN NA

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN **NA**

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN NA

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage NA

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

D . R . B . S U B M I T T A L

P A V I L I O N S A T S A N M A T E O

A P R O J E C T O F K I T C H E L L D E V E L O P M E N T

PROJECT DATA

ARCHITECTS:

DCSW, INC.
105 4TH ST. S.W.
ALBUQUERQUE, N.M. 87102
PROJECT ARCHITECT: DAVE DEKKER
PH. NO. (505) 843-9639

GREENBERG FARROW ARCHITECTURE
15101 RED HILL AVENUE
TUSTIN, CA. 92780
PROJECT ARCHITECT: MIKE ELKIN
PH. NO. (714) 259-0500

CIVIL ENGINEER:

BH, INC.
7500 JEFFERSON N.E.
ALBUQUERQUE, N.M. 87109
PROJECT ENGINEER: JAMES TOPMILLER
PH. NO. (505) 823-1000

LANDSCAPE ARCHITECTS:

BH, INC.
7500 JEFFERSON N.E.
ALBUQUERQUE, N.M. 87109
LANDSCAPE ARCHITECT: GEORGE RADNOVICH

LOCATION MAP



ARCHITECTURAL:

- A-1
- A-2
- A-3
- A-4
- A-5
- A-6
- A-7
- A-8

CIVIL:

- C-1

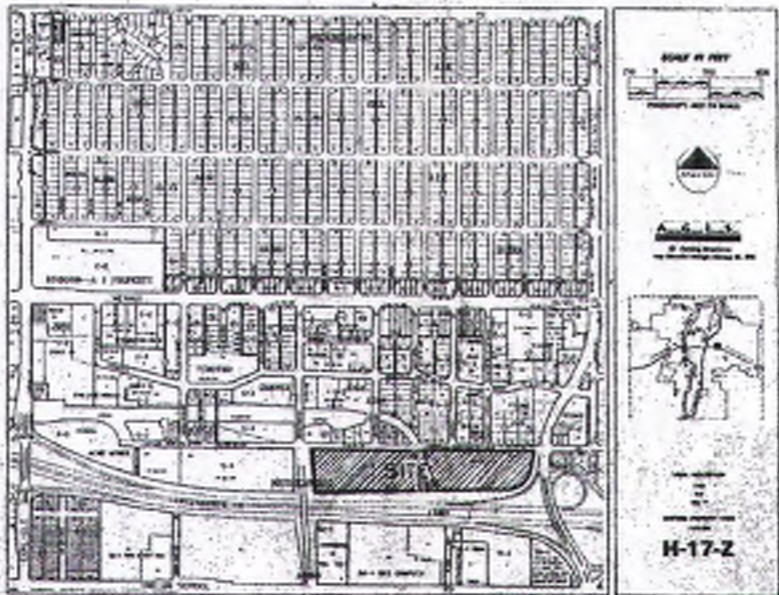
LANDSCAPE:

- L-1

SHEET LIST

- COVER SHEET
- 1" = 60'-0" SITE PLAN / SITE DETAILS
- 1" = 30'-0" WEST SITE PLAN
- 1" = 30'-0" EAST SITE PLAN
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS
- BUILDING ELEVATIONS - CIRCUIT CITY
- CIVIL (GRADING, DRAINAGE & UTILITIES PLAN)
- LANDSCAPE PLAN

VICINITY / ZONE MAP



CASE NUMBER: 7-95-92

This plan is submitted with the specific site development plan approved by the Environmental Planning Commission (EPC) on 10/15/96 and that the findings in the Official Notice have been complied with.

SITE DEVELOPER: *Robert W. Kane* 4-24-96
 Date
 Public Engineer, Transportation Division
Ed Heng 10-15-96
 Date
 Public Engineer, Transportation Division
Robert W. Kane 6-20-96
 Date
 Public Engineer, Transportation Division
John Kelly 9/20/96
 Date
 AMAPCA

**The Pavilions
at San Mateo**

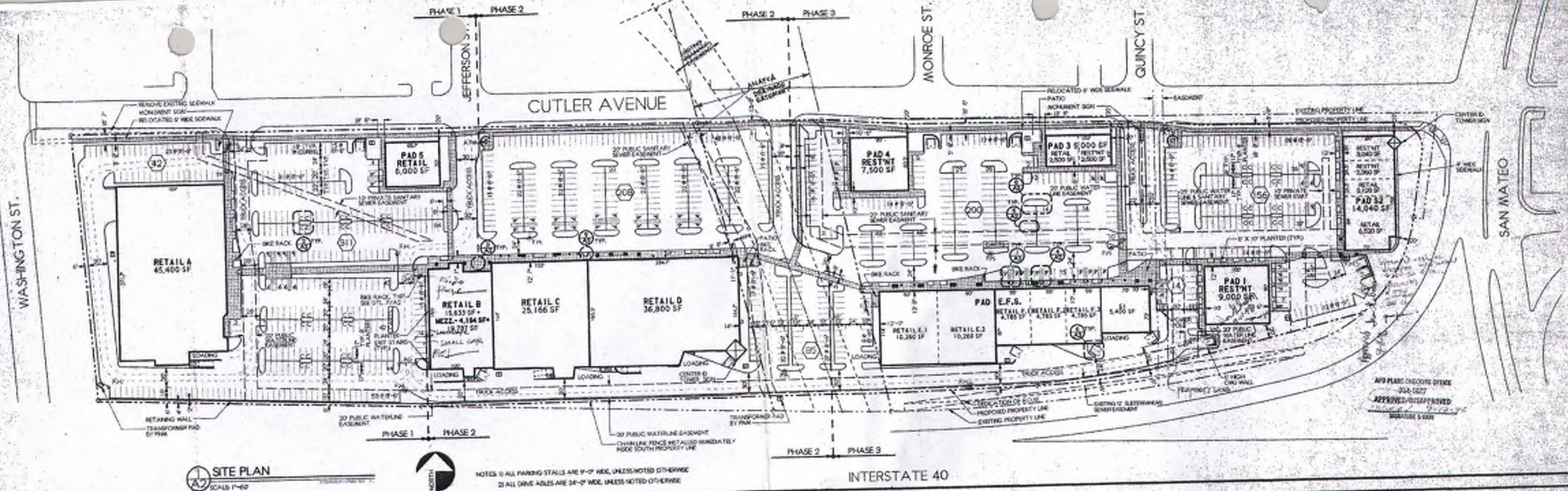
COVER SHEET

GREENBERG FARROW ARCHITECTURE
ARCHITECTS • ENGINEERS • PLANNERS
15101 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92780
TEL: (714) 259-0500 FAX: (714) 259-0500

**KITCHELL
DEVELOPMENT**

DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION CONTAINED HEREIN AND IS NOT PROVIDING ANY GUARANTEE AS TO THE ACCURACY OF THE INFORMATION. THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION CONTAINED HEREIN AND IS NOT PROVIDING ANY GUARANTEE AS TO THE ACCURACY OF THE INFORMATION. THE DESIGNER HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE INFORMATION CONTAINED HEREIN AND IS NOT PROVIDING ANY GUARANTEE AS TO THE ACCURACY OF THE INFORMATION.

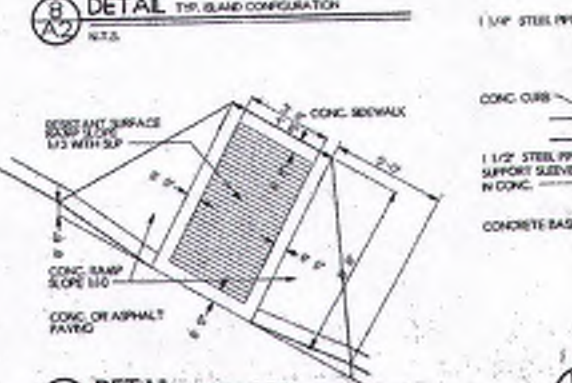
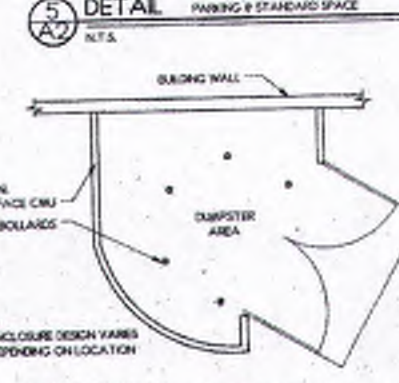
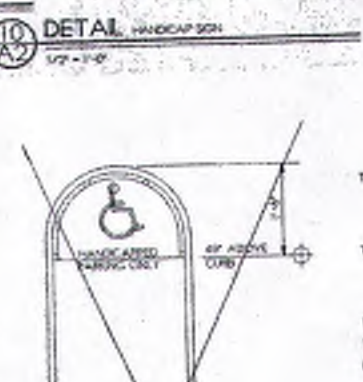
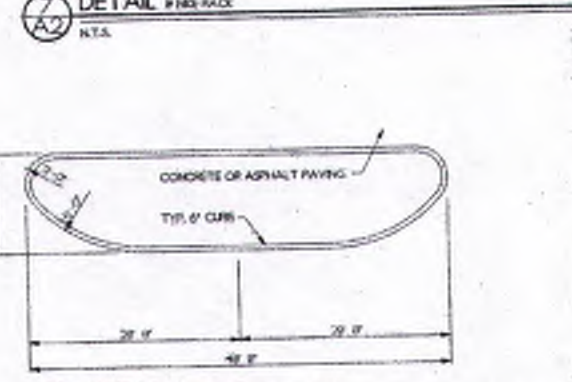
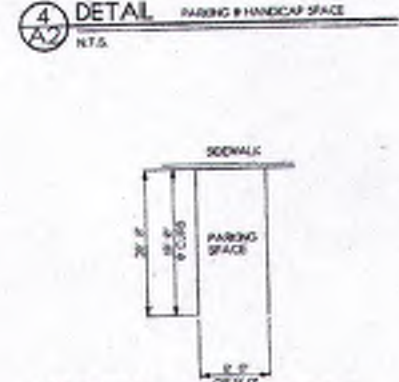
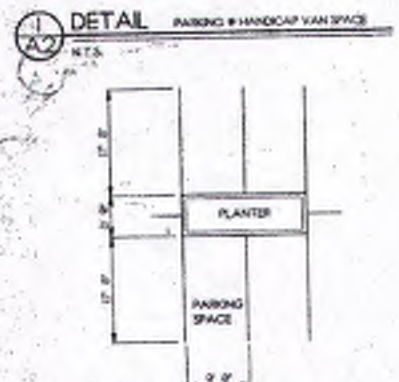
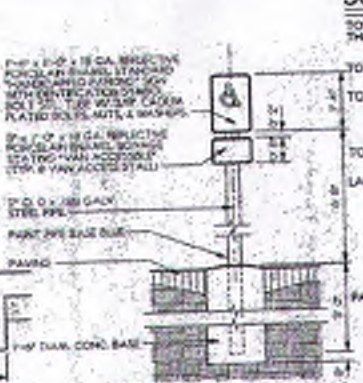
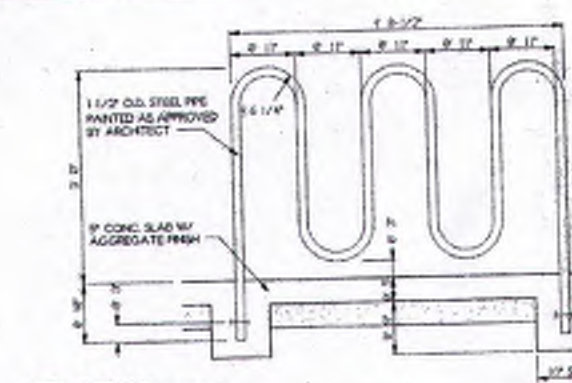
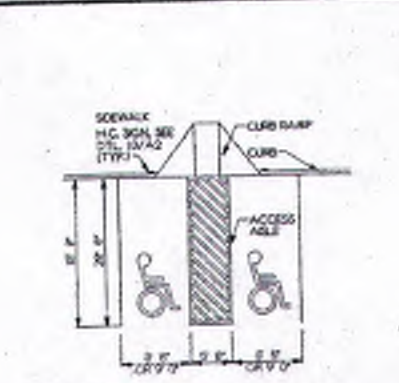
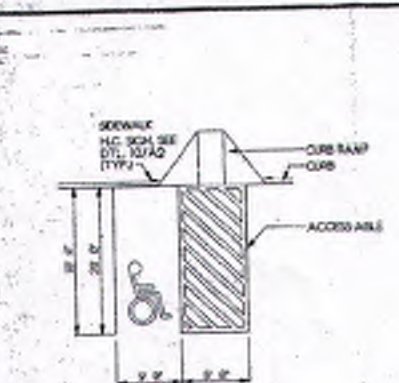
DCSW	DATE	08-08-96
DATE	08-08-96	
SHEETS	8	
OF	8	



1 SITE PLAN
SCALE 1"=40'

NOTES:
 1) ALL PARKING STALLS ARE 9'-0" WIDE, UNLESS NOTED OTHERWISE
 2) ALL DRIVE AISLES ARE 24'-0" WIDE, UNLESS NOTED OTHERWISE

INTERSTATE 40



SUMMARY

TOTAL BUILDING SQUARE FOOTAGE SHALL NOT EXCEED GREATER THAN 10% OF 200,000 SF.

TOTAL LAND AREA	190,000 ACRES
TOTAL BUILDING AREA	208,968 SF.
TOTAL BUILDING FOOTPRINT	204,814 SF.
LAND/BUILDING BASED ON FOOTPRINT	24.74%
PARKING / PAVING AREA	457,071 SF.
SEWERAGE	95,770 SF.
LANDSCAPE	100,372 SF. = 17.56%
PARKING REQUIRED	
RESTAURANTS PAD 1	85,000 SF. = 220 SEATS + 34 74 SPACES
RESTAURANTS PAD 4	87,500 SF. = 100 SEATS + 34 63 SPACES
RESTAURANTS 52	85,240 SF. = 30 SEATS + 44 13 SPACES
RESTAURANTS 53	82,380 S.F. = 25 SEATS + 44 7 SPACES
PAD 2	82,900 SF. = 44 SEATS + 44 11 SPACES
TOTAL	24,430 SF. = 105 SPACES
TOTAL SPACES REQUIRED LESS 10% BUS LINE CREDIT	100 SPACES
TOTAL PARKING PROVIDED	100 SPACES
TOTAL SMALL CAR SPACES PROVIDED	44 SPACES/4,308
HANDICAP SPACES	

BLDG. PAD	SPACES REQ'D
RETAIL A	3
RETAIL B	4
RETAIL C	6
RETAIL D	9
RETAIL E	8
RETAIL F	4
RETAIL SI	2
RETAIL S2	4
P1	4
P2	2
P4	4
P5	2

TOTAL HC SPACES REQ'D: 59 SPACES
 TOTAL HC VAN SPACES REQ'D: 7 SPACES
 TOTAL HC SPACES PROVIDED: 59 SPACES
 TOTAL HC VAN SPACES PROVIDED: 12 SPACES

GENERAL NOTES

NOTES:
 ALL BUILDING MOUNTED SIGNS SHALL BE INTERNALLY ILLUMINATED WITH LETTERS 9" HIGH MAXIMUM 9" HIGH SIGNS AND 3" HIGH MAXIMUM 3" HIGH SIGNS. SEE PAD BLDG. DESIGN DRAWINGS BELOW FOR OTHER NOTES.
 REFUSE: 10 DUMPSTERS @ 8 CURB YDS. & 3 COMPACTORS
 SITE LIGHTING: THE PARKING LOT WILL BE ILLUMINATED BY MAX. 32' HIGH LIGHT POLES MOUNTED 15' TO 20' TO PREVENT THE EXPOSURE OF DIRECT LIGHT TO SURROUNDING AREAS. THE SECURITY LIGHTING WILL NOT EXTEND BEYOND PROPERTY LINES. WALL FIXTURES WILL BE LOCATED ALONG THE BACKS OF STORES.
 ACCESS/EASEMENTS: CROSS LOT ACCESS & PARKING EASEMENTS ARE TO BE PROVIDED ON ALL COMMERCIAL TRACTS BY REPLAT IN EVENT OF PAD PARCEL SALES. FROM PEDESTRIAN CIRCULATION, THERE WILL BE A CONTINUOUS SEAWALK ALONG THE N LINE RETAIL STORES, NORTH-SOUTH PEDESTRIAN PATHS WILL BE CONCRETE W/ SPECIAL PAVING @ DRIVE CROSSINGS.
 DESIGN GUIDELINES FOR ALL BLDGS: ALL BLDGS. SHALL BE CONSTRUCTED W/ ARCHITECTURAL MATERIALS, COLORS, & DETAILS INDICATED ON THESE ELEVATIONS INCLUDING METAL ROOFS, SYNTHETIC PLASTER, CERAMIC ACCENT TILE (SPOT-FACE CERAMIC).
 DESIGN GUIDELINES FOR PAD BLDGS: PAD BLDGS. ALONG CUTLER AVE. & SAN MATEO SHALL MAINTAIN A 20' SETBACK FROM THE PROPERTY LINE. ACTUAL BLDG. CONFIGURATION & SETTING MAY VARY FROM CONCEPTUAL LOCATIONS. PAD BLDGS. ARE PERMITTED TO HAVE NON-ARCHITECTURAL SIGNAGE ON THE STREET SIDE OF THEIR BLDG. @ A MAX. HT. OF 9'-0" PROVIDED HOWEVER, THAT IF SUBSTANTIALLY IDENTICAL W/ BLDG. MOUNTED SIGNAGE, THE PAD BLDG. MUST CHOOSE OTHER BLDG. MOUNTED SIGNAGE OR NON-ARCHITECTURAL SIGNAGE, BUT NOT BOTH, TO BE READ FROM CUTLER OR SAN MATEO MOMENT SIGNAGE NOT TO EXCEED 60".
 PAD BLDGS. SHALL NOT EXCEED 30'-0" IN HEIGHT AND WILL VARY DEPENDING ON USFS REQUIREMENTS.

PHASING

IT IS THE INTENT OF THE DEVELOPER TO BUILD OUT THIS PROJECT IN PHASES AS SHOWN ABOVE. PAD BLDGS. SHALL BE PERMITTED AND CONSTRUCTED INDEPENDENT OF THE PHASING SEQUENCE. THE PHASING SEQUENCE SHALL BE AS FOLLOWS:
PHASE 1: RETAIL A BLDG. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 1 AREA.
PHASE 2: RETAIL B/C/D BLDGS. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 2 AREA.
PHASE 3: ANY REMAINING PAD BLDG. COMPLETE WITH ALL CURBS, PAVING, PARKING, STRIPING, LIGHTPOLES AND LANDSCAPING WITHIN THE PHASE 3 AREA.
SEWERAGE: The sewerage and grading concept for this site is shown on the development plan. The sewerage and grading plan shall be approved under the original site development plan submitted. Prior to permit application, the applicant shall submit a copy of this plan to the City for review and approval. The City shall not be held responsible for any errors or omissions in this plan. The developer shall be held responsible for all changes affecting grading and drainage.

The Pavilions at San Mateo

SITE PLAN / SITE DETAILS

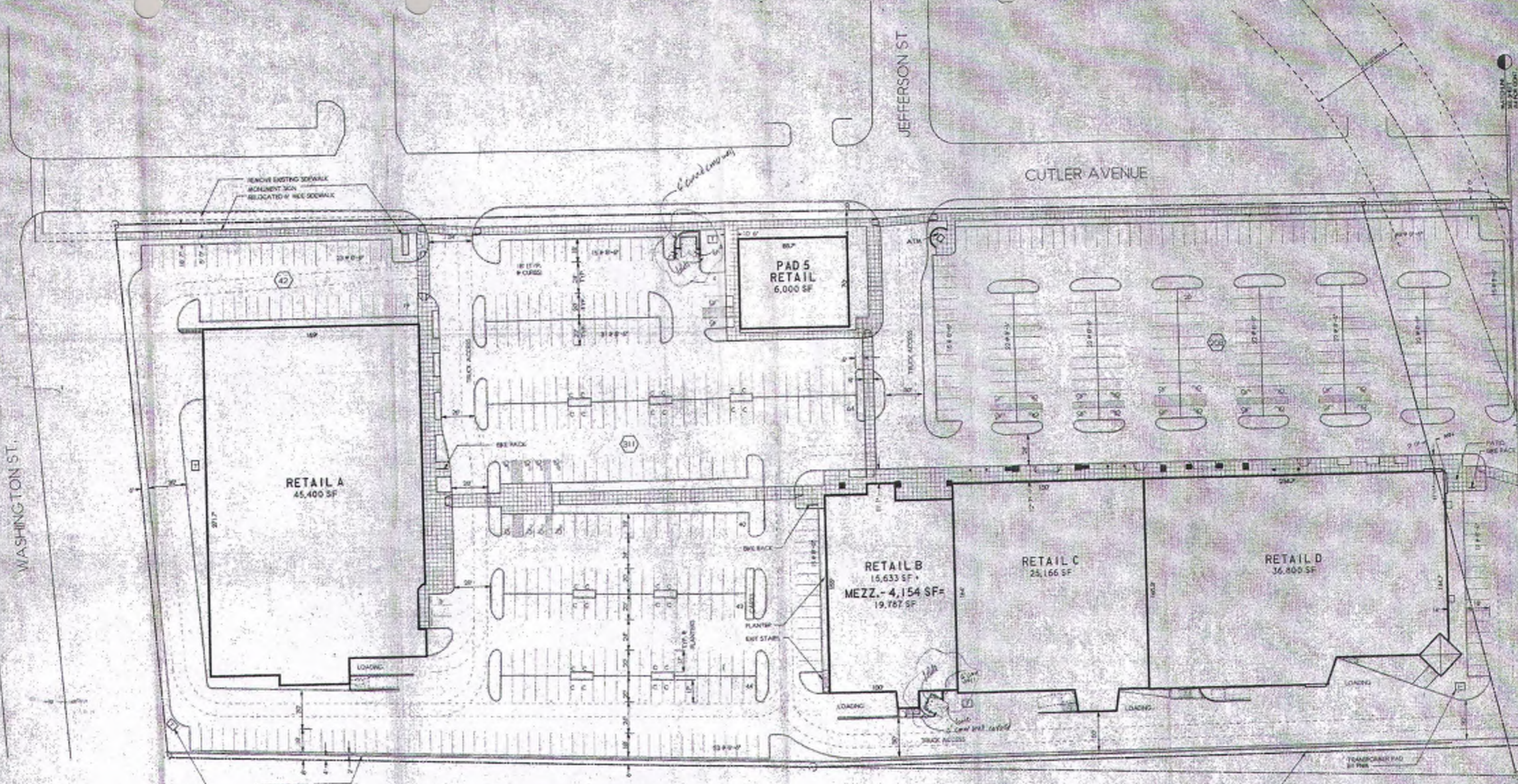
GREENBERG FARROW ARCHITECTURE
 ARCHITECTURE • ENGINEERING • PLANNING
 18191 RED HILL AVENUE, SUITE 200
 FOLSOM, CA 95630
 TEL: (916) 982-8888 FAX: (916) 982-8888

BCSW

KITCHELL DEVELOPMENT

DECLARATIONS FOR GENERAL INFORMATION ONLY. ANY & ALL FEATURES, MATERIALS, FINISHES, ETC. INDICATED ON THESE DRAWINGS OR CONTAINED HEREIN ARE FOR ILLUSTRATIVE PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DATE: 08-30-06
SHEET: A2 of 8



**The Pavilions
at San Mateo**

1" = 30'-0"
WEST SITE PLAN

SITE PLAN
SCALE 1"=30'

GREENBERG FARROW ARCHITECTURE
ARCHITECTS • INTERIORS • PLANNING
11511 240 AVE. SUITE 200
SAN MATEO, CALIFORNIA 94066
TEL: (415) 948-8888 FAX: (415) 948-8188

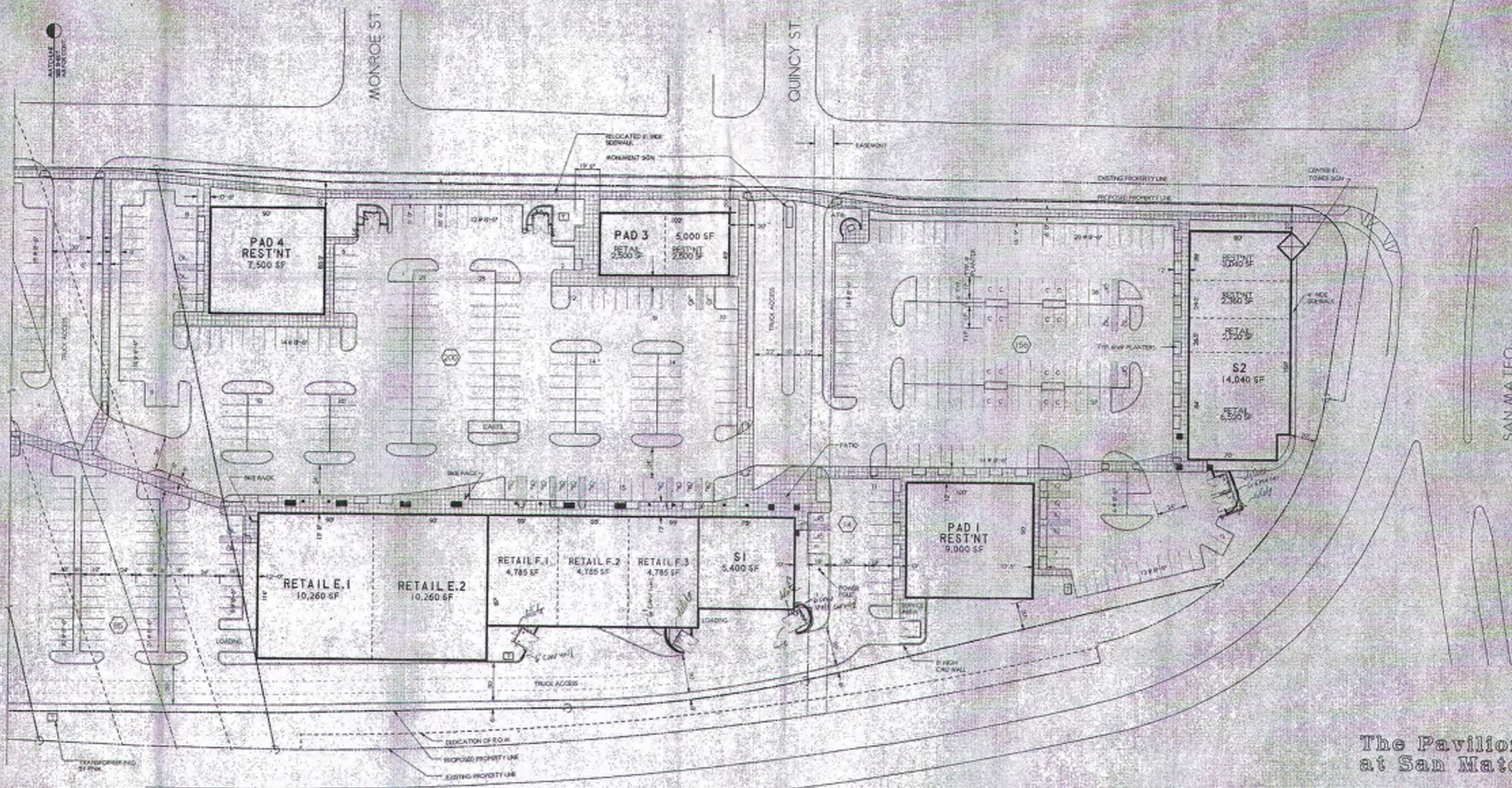
**KITCHELL
DEVELOPMENT**

UNLESS OTHERWISE NOTED, THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL REALTORS, ARCHITECTS, ENGINEERS, CONTRACTORS, OR OTHER PROFESSIONALS USING THIS DRAWING FOR ANY PURPOSES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THIS DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF GREENBERG FARROW ARCHITECTURE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DIMENSIONS AND LOCATIONS SHALL BE BASED ON THE SURVEY AND AS SHOWN ON THE SITE PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL DIMENSIONS AND LOCATIONS SHALL BE BASED ON THE SURVEY AND AS SHOWN ON THE SITE PLAN.

DCSW

NO.:	
DATE:	
BY:	
CHECKED BY:	
APPROVED BY:	
SCALE:	
PROJECT NO.:	

GFA JOB NO. 09-001
DATE 09-01-09
SHEET 02-01-09
A3 of 8



INTERSTATE 40

The Pavilions at San Mateo

1" = 30'-0"
EAST SITE PLAN

SITE PLAN
SCALE 1"=30'

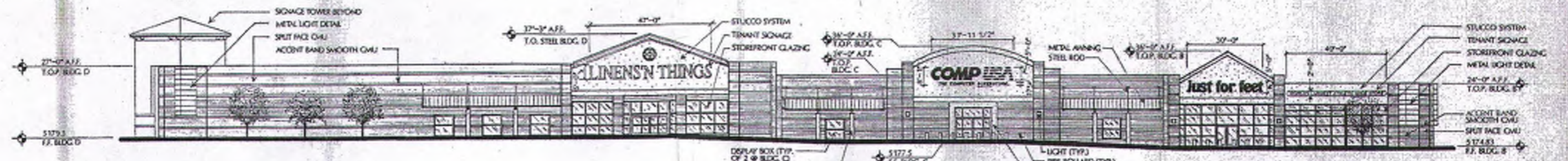
KITCHELL DEVELOPMENT

DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL PERMITS, MATERIALS & OTHER INFORMATION IMPACTING HEREON OR CONTAINED HEREON ARE FOR ILLUSTRATIVE PURPOSES ONLY. THE CLIENT'S RESPONSIBILITY FOR ALL PERMITS, MATERIALS & OTHER INFORMATION IMPACTING HEREON IS NOT TO BE DELEGATED TO ANY PARTY AND IS NOT TO BE CONSIDERED A REPRESENTATION AND WARRANTY BY THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT OR ANY OTHER PARTY. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CLIENT OR ANY OTHER PARTY.

GREENBERG FARKOW ARCHITECTURE
ARCHITECTURE • ENGINEERING • PLANNING
15181 RED HILL AVENUE, SUITE 200
TUSTIN, CALIFORNIA 92680
TEL: (714) 834-8888 FAX: (714) 834-8444

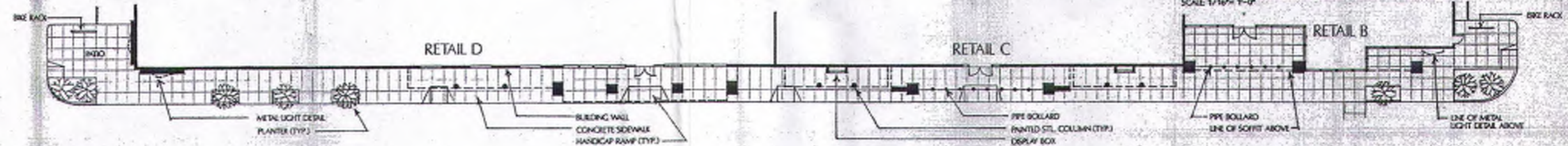
DCSW	DATE
	09/02/20
	03/07/20
	A4 of 8

G.P.A. JOB NO. 09/02/20
DATE 03/07/20
SHEET A4 of 8



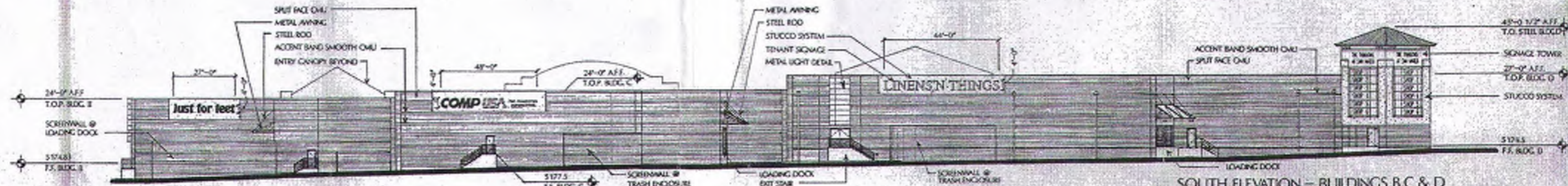
NORTH ELEVATION - BUILDINGS B, C & D

SCALE: 1/16" = 1'-0"



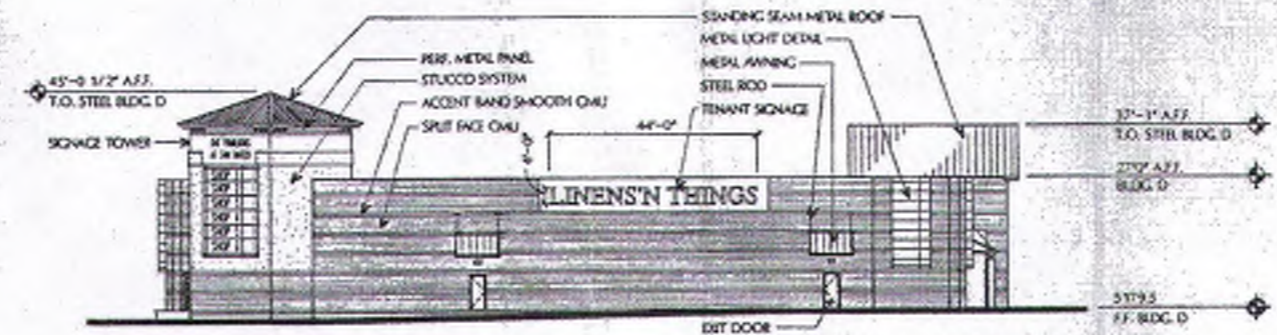
ENTRY SIDEWALK PLAN - BUILDINGS B, C & D

SCALE: 1/16" = 1'-0"



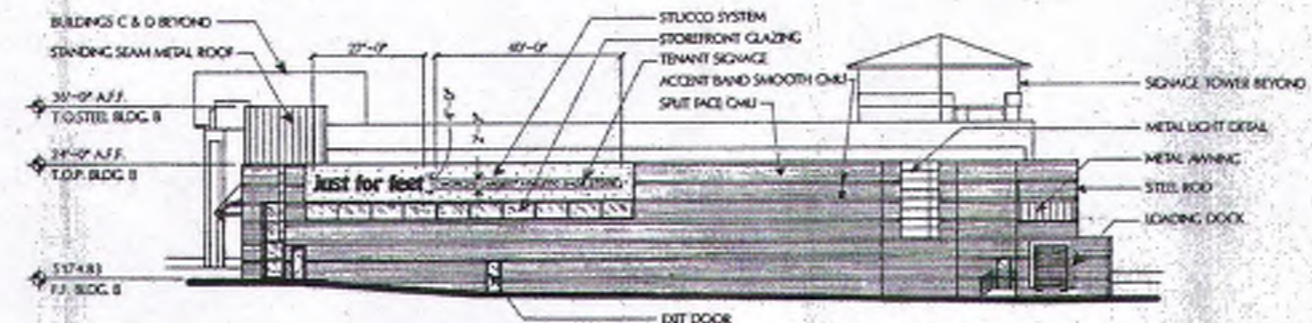
SOUTH ELEVATION - BUILDINGS B, C & D

SCALE: 1/16" = 1'-0"



EAST ELEVATION - BUILDINGS B, C & D

SCALE: 1/16" = 1'-0"



WEST ELEVATION - BUILDINGS B, C & D

SCALE: 1/16" = 1'-0"

The Pavilions at San Mateo

BUILDING ELEVATIONS



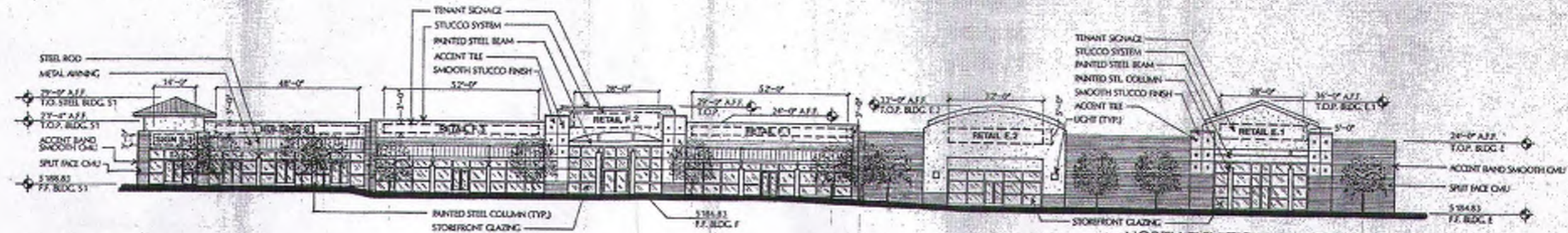
GREENBERG FARROW ARCHITECTURE + ENGINEERING + PLANNING
18181 RED HILL AVENUE, SUITE 200
TOLSON, CALIFORNIA 94068
TEL: 650-998-8888 FAX: 650-998-8888



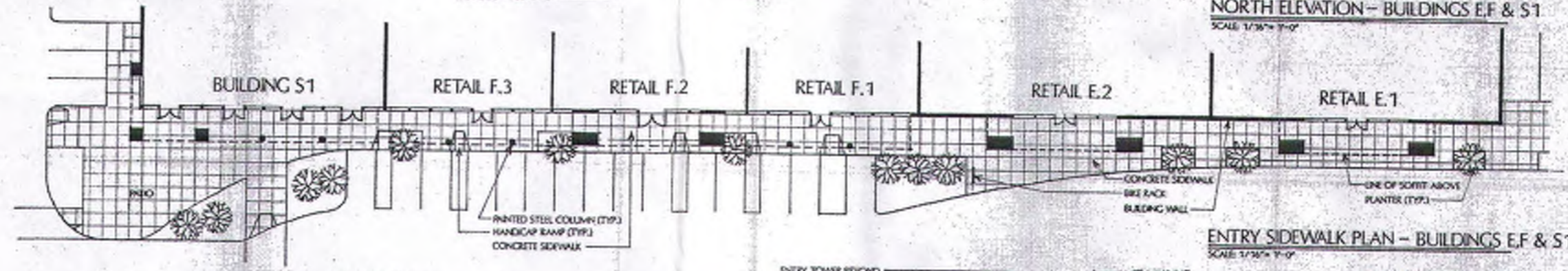
DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL FEATURES, MATERIALS & OTHER INFORMATION PERTAINING TO THIS DRAWING ARE SUBJECT TO MODIFICATION WITHOUT NOTICE. ANY INFORMATION TO BE RELIED UPON BY ANY PARTY IS NOT INTENDED TO CONSTITUTE REPRESENTATION AND ALL TO THE SIZE & NATURE OF IMPROVEMENTS TO BE CONSTRUCTED. THE PRELIMINARY PLAN WAS BASED ON DATA FURNISHED TO GREENBERG FARROW ARCHITECTURE AND IS SUBJECT TO VERIFICATION BY CERTIFIED SURVEY, ETC. & COVERING ADDRESS ALL UNBUILT & SITE CONDITIONS SHOULD BE FIELD VERIFIED.



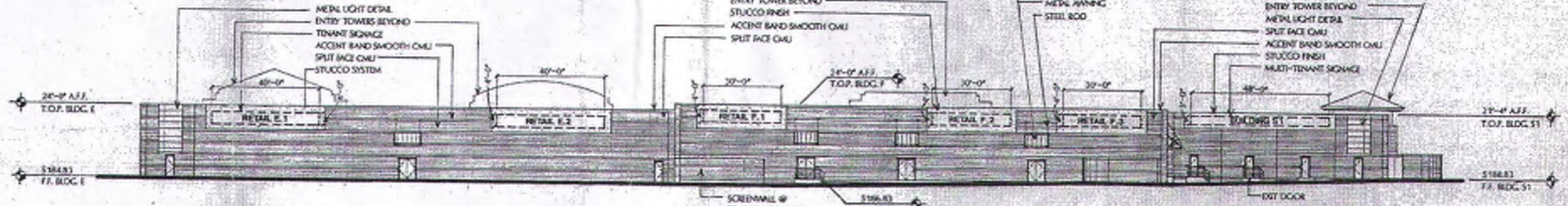
DATE: 08-08-06
G.F.A. JOB NO: 060302
DATE: 08-08-06
SHEET: A5 of 8



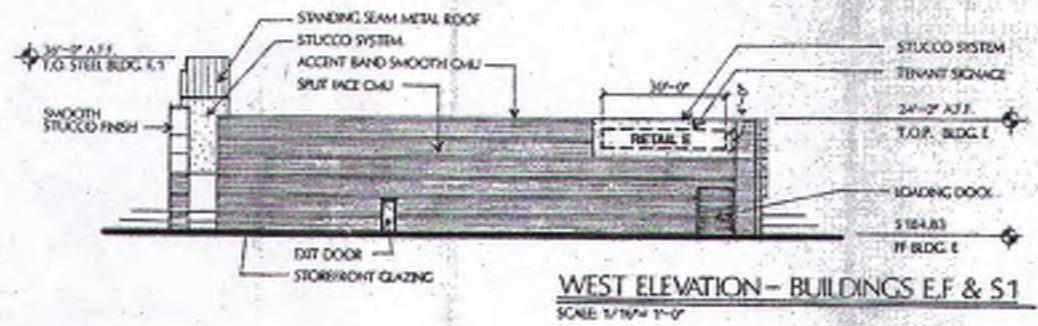
NORTH ELEVATION - BUILDINGS E, F & S1
SCALE: 1/16" = 1'-0"



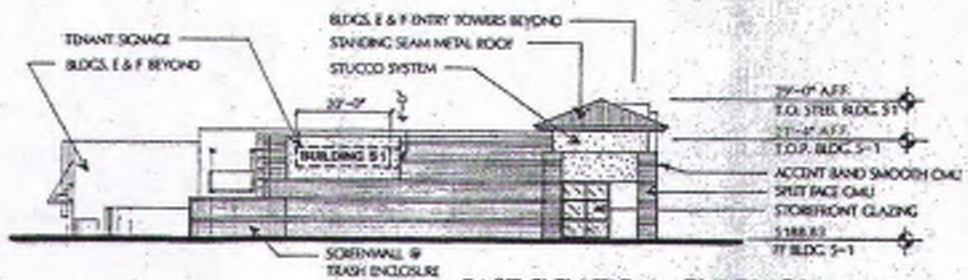
ENTRY SIDEWALK PLAN - BUILDINGS E, F & S1
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION - BUILDINGS E, F & S1
SCALE: 1/16" = 1'-0"



WEST ELEVATION - BUILDINGS E, F & S1
SCALE: 1/16" = 1'-0"



EAST ELEVATION - BUILDINGS E, F & S1
SCALE: 1/16" = 1'-0"

The Pavilions at San Mateo

BUILDING ELEVATIONS

GREENERG FARROW ARCHITECTURE + ENGINEERS + PLANNERS
18181 RED HILL AVENUE, SUITE 200
DUBLIN, CALIFORNIA 94568
TEL: (925) 835-8888 FAX: (925) 835-8888

KITCHELL DEVELOPMENT

DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY AND ALL FEATURES, MATERIALS & OTHER INFORMATION SHOWN HEREON OR CONTAINED HEREIN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE SUBJECT TO MODIFICATION WITHOUT NOTICE AND ARE NOT INTENDED TO BE RELIED UPON BY ANY PARTY & ARE NOT INTENDED TO CONSTITUTE REPRESENTATIONS AND AS TO THE SITE'S NATURE OF IMPROVEMENTS TO BE CONSTRUCTED OR THE PRELIMINARY PLAN WAS BASED ON DATA FURNISHED TO GREENERG FARROW ARCHITECTURE AND IS SUBJECT TO MODIFICATION BY CHANGING LOCAL LAWS, ORDINANCES, REGULATIONS, AND GOVERNING AGENCIES. ALL DIMENSIONS & SITE CONDITIONS SHALL BE FIELD VERIFIED.

DATE	08-01-05
BY	ALMADRO, JR.
CHECKED BY	ALMADRO, JR.
DATE	08-01-05
BY	ALMADRO, JR.
CHECKED BY	ALMADRO, JR.

G.P.A. JOB NO.	960031
DATE	08-01-05
SHEET	A6 of 8

SIGNAGE NOTE:

All building mounted signs shall be internally, individually lit letters, 5'-0" high maximum at anchors and 3'-0" high maximum at shop and pad buildings. Building mounted signage is limited to the square footage area shown in the elevations.

ELEVATION COLOR AND MATERIAL PALETTE:

CMU

1. Split-face CMU field: A blend of 2 colors, (Crego) Burgundy with scoria and Crego Tan in a ratio of 3:2 or 2:3 between accent bands of CMU. The ratio will vary with building location.
2. Smooth CMU accent: (Crego) Petroglyph black with scoria at 4'-0" O.C.
3. Smooth CMU accent insets at building transitions and insets shall be the following colors:
(Crego) Burgundy with scoria, Crego Tan and (Crego) Petroglyph black with scoria.

STUCCO

Stucco colors shall be one of the following:

1. Off White - Coral
2. Off White - Rose
3. Blue Gray - Slate
4. Warm Gray - Ash

TILE

Tile accents may be used at entry areas for an accent color. The color shall be similar to storefront colors.

METAL FINISHES

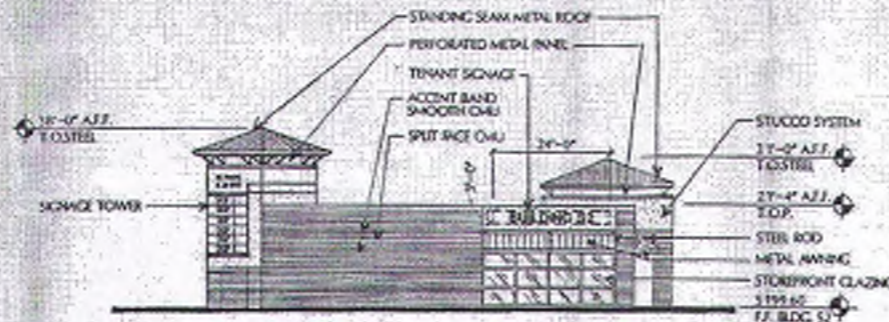
1. Pitched roof - Galvanized metal
2. Fascia - Galvanized metal
3. Awnings - Galvanized metal
 - 3.1. Canvas awnings shall be in the color range of storefront finishes.
 - 3.2. No plastic awnings shall be allowed.
4. Cable - Galvanized metal
5. Brackets - Galvanized metal
6. Storefront - Shall be one of the following, Kawneer colors:
 - A. Sterling Gray
 - B. Arctic Blue
 - C. Tropical Jade
 - D. Red
 - E. Burgundy
7. Metal column enclosures - Tropical Jade
8. Column Capital - Sterling Gray and Arctic Blue
9. Metal light panel - Tropical Jade

SIGNAGE

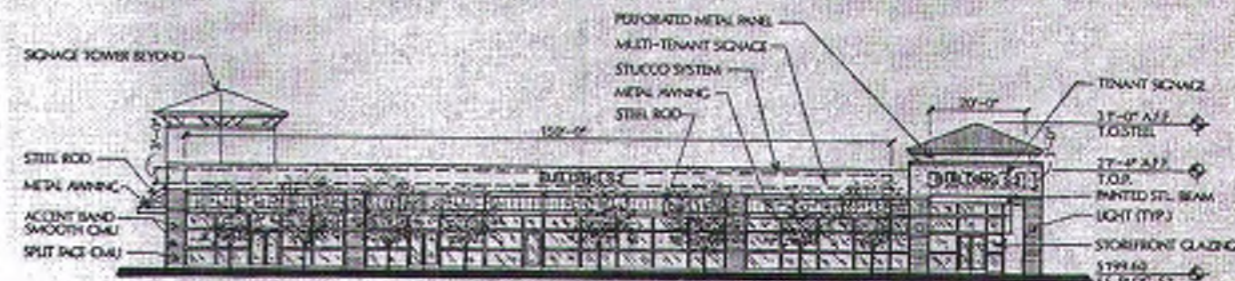
1. Tenant signage individual letters shall match the color palette of metal finish colors: Sterling Gray, Arctic Blue.
2. Center Identification Signage: Tropical Jade
 - A. Solid face back lit from metal face at monument signs.
 - B. Individually lit letters for building mounted signage.

PAD ARCHITECTURE

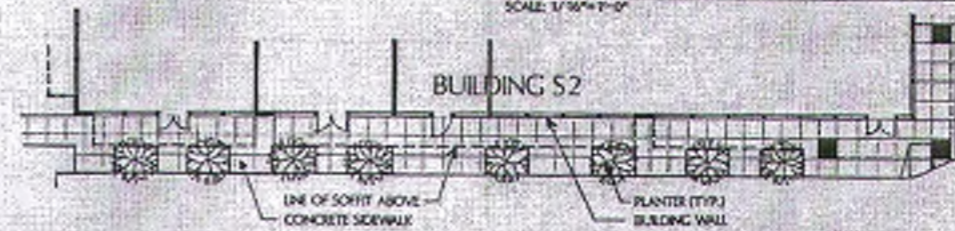
Structures will be designed to comply to the design standards of the center. Walls shall be of split face field CMU with an accent smooth band of CMU at a minimum of 4'-0" O.C. Pitched roof materials shall be standing seam to match the center. Building parapet heights shall not exceed 23'-0" A.F.F. Pitched roof may exceed 28'-0" A.F.F. Signage shall comply to the center standards. Mechanical equipment shall be screened. Dumpster enclosures shall match the center standard enclosure. The approval of the exterior elevations of these structures will be delegated to the City of Albuquerque Planning Staff.



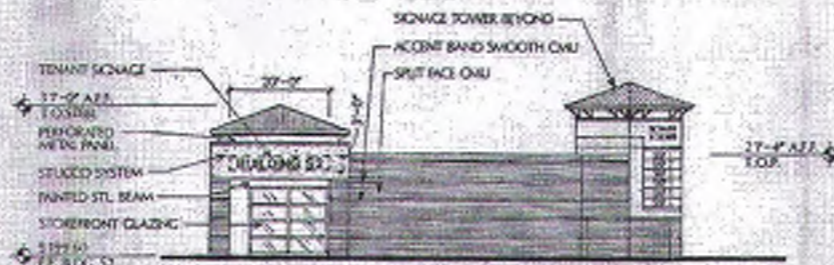
NORTH ELEVATION - BUILDING S2
SCALE: 1/16" = 1'-0"



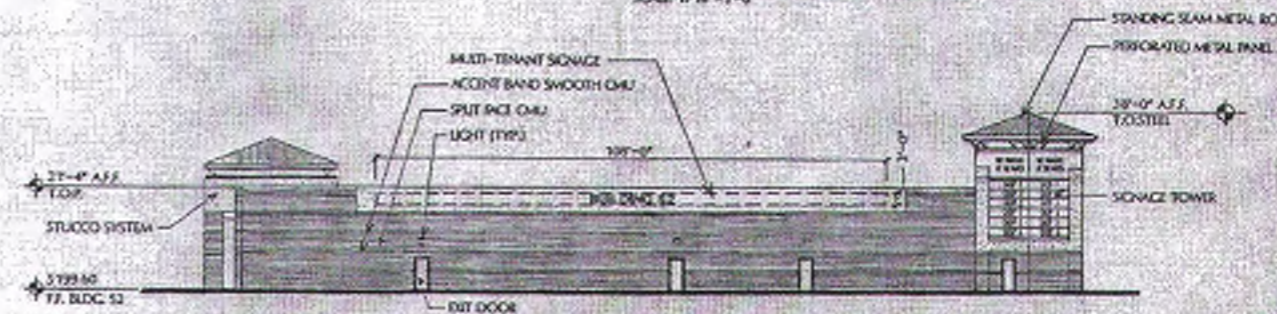
WEST ELEVATION - BUILDING S2
SCALE: 1/16" = 1'-0"



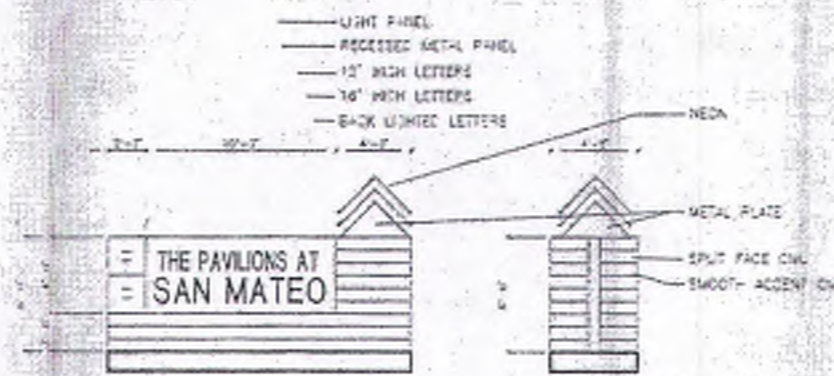
ENTRY SIDEWALK PLAN - BUILDING S2
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION - BUILDING S2
SCALE: 1/16" = 1'-0"



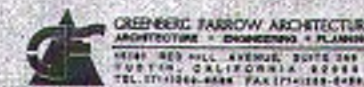
EAST ELEVATION - BUILDING S2
SCALE: 1/16" = 1'-0"



MONUMENT SIGN
SCALE: 1/4" = 1'-0"

The Pavilions at San Mateo

BUILDING ELEVATIONS



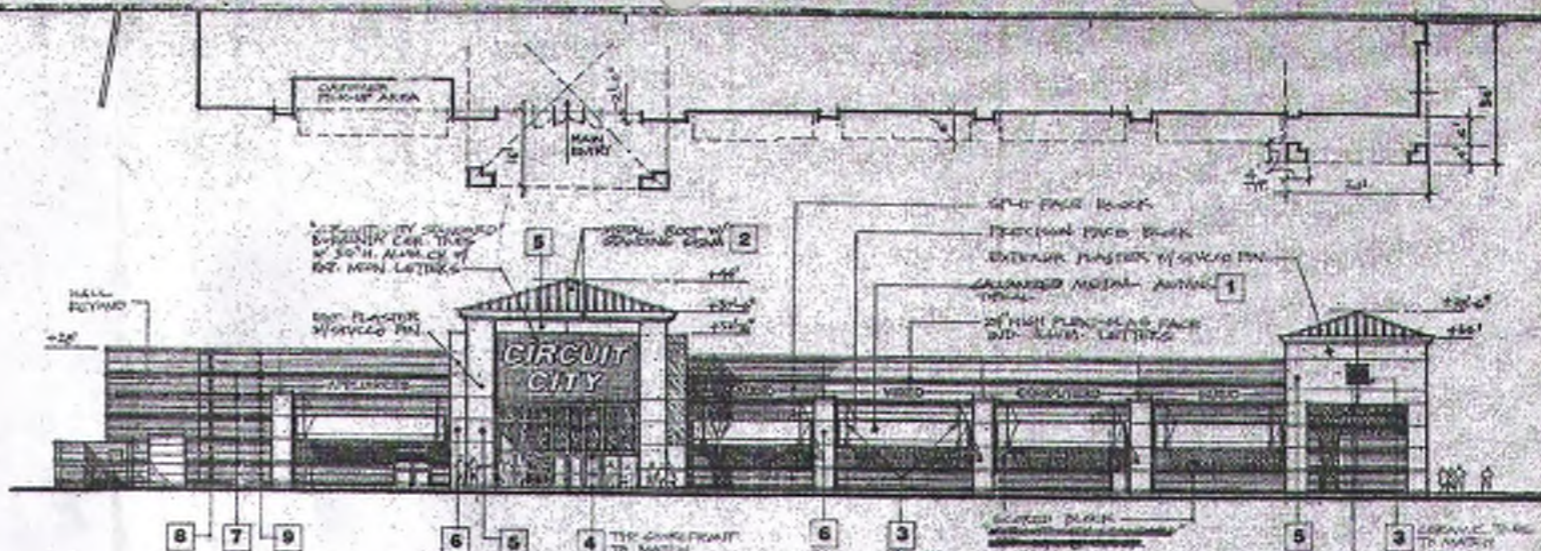
DISCLAIMER: THIS DRAWING IS FOR GENERAL INFORMATION ONLY. ANY S.A.L. REVISIONS, MATTERS & OTHER INFORMATION CONTAINED HEREIN OR CONTAINED HEREIN ARE FOR ILLUSTRATIVE PURPOSES ONLY. ANY SUBJECT TO MODIFICATION WITHOUT NOTICE. ANY INTENT TO BE USED BY ANY PARTY IS NOT INTENDED TO CONSTITUTE REPRESENTATION AS TO THE S.A.L. NATURE OF IMPROVEMENTS TO BE CONSTRUCTED. FOR THAT ANY IMPROVEMENTS WILL BE CONSTRUCTED, THE PRELIMINARY PLAN SHALL BE SUBMITTED TO THE CITY OF ALBUQUERQUE FOR REVIEW AND APPROVAL. ANY CHANGES TO THE PRELIMINARY PLAN SHALL BE MADE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT. ANY CHANGES TO THE PRELIMINARY PLAN SHALL BE MADE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT. ANY CHANGES TO THE PRELIMINARY PLAN SHALL BE MADE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE PLANNING DEPARTMENT.

DATE:	08-08-26
DATE:	08-08-26
SHEET:	A7 of 8

LEGEND:

1. GALVANIZED METAL
2. STERLING GRAY
3. ARCTIC BLUE
4. TROPICAL JADE
5. CORAL STUCCO FINISH
6. ROSE STUCCO FINISH
7. SMOOTH CHARCOAL CMU
8. LIGHT CANYON RED CMU
9. CANYON RED CMU

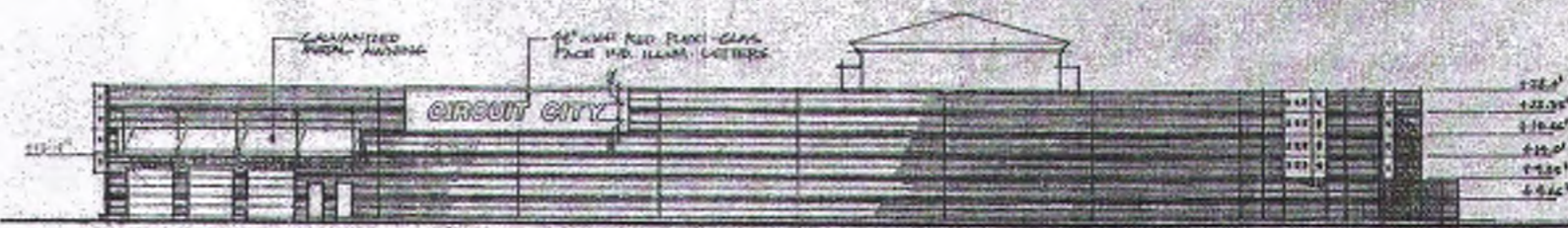
NOTE: ALL COLORS AND MATERIALS SHALL MATCH THE CORRESPONDING STANDARD SHOPPING CENTER COLORS AND MATERIALS.



EAST ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



WEST ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

DATE: FEBRUARY 1996
 DRAWN BY: J. G. GIBSON
 CHECKED BY: J. G. GIBSON
 APPROVED BY: J. G. GIBSON
 ARCHITECTS: LEIDENFROST/HOROWITZ & ASSOCIATES
 1122 TOLSON SQUARE
 OAKLAND, CALIFORNIA 94612
 (415) 434-4000
 OWNER: LEIDENFROST/HOROWITZ & ASSOCIATES, A.L.A.
 1122 TOLSON SQUARE
 OAKLAND, CALIFORNIA 94612
 (415) 434-4000

ELEVATIONS

CIRCUIT CITY STORE
 ALBUQUERQUE, NEW MEXICO
 CIRCUIT CITY STORE, INC.
 5950 MAYLAND DR., RICHMOND, VA, 23235

REV
 A
 B
 A7

City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: September 22, 1995

OFFICIAL NOTIFICATION OF DECISION

Kitchell Development Co.
26 Executive Park
Ste 100
Irvine, Ca 92714-6779

FILE: Z-95-92

1007872

LEGAL DESCRIPTION: Lots C and D, Netherwood Park Addition, zoned C-3 and C-2 respectively, located on the south side of Cutler Avenue NE, between San Mateo Boulevard NE and Washington Street NE, containing approximately 20 acres (H-17).

On September 21, 1995 the Environmental Planning Commission voted to approve Z-95-92, your request for site development plan approval, based on the following Findings and subject to the following Conditions:

Findings:

1. Many of the transportation improvements required for this development are under the jurisdiction of the State Highway Department which is not obligated to furnish them per the desires of this developer. The developer will be responsible for obtaining the appropriate agreements prior to final sign-off.
2. The applicant must receive approval of the State Highway Department in order to use the drainage easement area for the required parking.
3. This project represents one of the last significant undeveloped commercial locations in this developed area. The floor area ratio of 0.25 is consistent with other existing development in the area.
4. The project will generate traffic which in turn will increase the air pollution in this critical monitoring area. That increase may effect periodic air quality pollution exceedances. The development contains some measures for mitigation of the situation. These measures along with others and including infrastructure improvements can reduce the project's impact.
5. The plan, with minor changes to the landscaping plan, circulation plan and signage plan meets the applicable plans and policies.

Conditions:

1. A note shall be added to the site plan stating that no drive-throughs are permitted. The applicant shall provide an automatic teller machine at a location easily accessible to employees. The applicant shall participate in any future transportation management program that might apply to this site. The applicant must provide an incentive program for the use of mass transit mutually acceptable to the Environmental Health Department and to the developer.
2. Future approvals for pad sites and minor modifications provided that these adhere strictly to the approved design standards are delegated to the Development Review Board. An additional note shall be added stating that building mounted sign area is limited to 6 percent of the elevation to which it is applied.
3. The parking provided must meet the minimum required. A minimum of 18 feet of landscaping is required at the front of the site and periodic landscaped shopping cart return areas must be provided. This may reduce the number of parking spaces, in turn generating a need to reduce the square footage on site or adjust the use mix to lower the requirement.
4. Gravel may be used as an accent material but not as a ground cover. One additional shade tree per end island and planter should be provided.
5. The applicant must receive approval for the use of the Embudo Arroyo Channel from the State Highway Department, which owns the land, and AMAFCA which controls the easement.

PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(c) OFF-STREET PARKING CALCULATION:
WHEN A CALCULATION OF REQUIRED PARKING SPACES RESULTS IN A FRACTION OF A SPACE, THE NUMBER OF REQUIRED PARKING SPACES SHALL BE ROUNDED DOWN TO THE NEAREST WHOLE NUMBER.

PER TABLE 5-5-1, OFF-STREET PARKING REQUIREMENTS:
VOCATIONAL SCHOOL: 3 SPACES / 1,000 SQ FT

EXISTING BUILDING:	44,877 SF / 1,000 = 44.88
PROPOSED CLASSROOM BUILDING:	2,000 SF / 1,000 = 2.00
TOTAL PARKING REQUIRED:	46.88

TOTAL PARKING REQUIRED: 46 x 3 = 138

PROVIDED PARKING:	
EXISTING REGULAR SPACES	= 232
EXISTING COMPACT SPACES	= 20
NEW MOTORCYCLE SPACES	= 5
EXISTING ADA SPACES	= 12
TOTAL PROVIDED	= 269

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-(C)(8)(a) WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND AS ADJUSTED BY SECTION 14-16-5-5(C)(5), 3 - (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

PER ADAG:

TOTAL PARKING IN PROJECT LOT: 201-300, 7 ADA ACCESSIBLE PARKING SPACES SHALL BE PROVIDED.
PROVIDED: 12 ADA ACCESSIBLE PARKING SPACES.

REQUIRED MOTORCYCLE SPACES:

PER IDO 5-5(D)(1) IN ADDITION TO PARKING SPACES REQUIRED BY TABLE 5-5-1, AT LEAST THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES FOR MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS LISTED IN TABLE 5-5-4 SHALL BE PROVIDED ON THE SITE FOR ALL USES EXCEPT RESIDENTIAL USES. THE MINIMUM NUMBER OF REQUIRED OFF-STREET PARKING SPACES PROVIDED ON SITE, REGARDLESS OF THE MINIMUM REQUIREMENT FOR OFF-STREET PARKING.

MOTORCYCLE SPACES PROVIDED: 5 SPACES

REQUIRED BICYCLE SPACES:

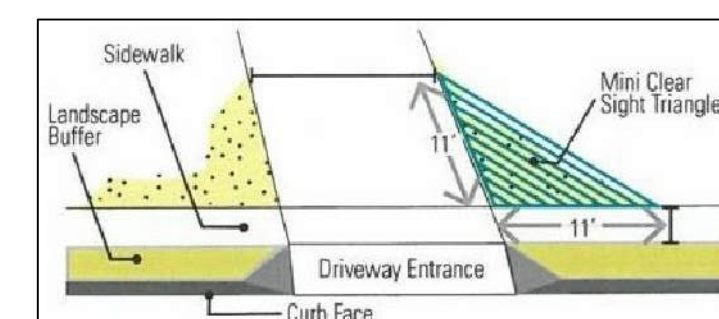
PER IDO 5-5(E)(1) AND TABLE 5-5-5, UNLESS SPECIFIED OTHERWISE IN THE IDO, ALL DEVELOPMENT SHALL PROVIDE ON-SITE PARKING SPACES FOR BICYCLES, WHERE THE MINIMUM BICYCLE PARKING IS BASED ON THE TOTAL NUMBER OF OFF-STREET PARKING SPACES PROVIDED ON SITE, REGARDLESS OF THE MINIMUM REQUIREMENT FOR OFF-STREET PARKING.

USE: VOCATIONAL SCHOOL 3 SPACES / 1,000 SQ. FT. GFA
REQUIRED BICYCLE SPACES: 2,000 SF PROPOSED BUILDING

6 SPACES REQUIRED AND PROVIDED

CLEAR SIGHT TRIANGLE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



PROJECT DESCRIPTION:

THIS PROJECT IS NEW CONSTRUCTION OF A 2,000 SF NEW CLASSROOM BUILDING, ASSOCIATED SITE WORK AND LANDSCAPING, AND AN ADA ACCESSIBLE RAMP AND STAIRS. THE PROPOSED BUILDING WILL BE LOCATED NORTH OF AND ADJACENT TO AN EXISTING VOCATIONAL SCHOOL AND IS PART OF THE SCHOOL CAMPUS.

13 PARKING SPACES WILL BE REMOVED FOR THE ADDITION OF THE NEW BUILDING. THERE IS NO MODIFICATION TO THE EXISTING SITE OTHER THAN THE WORK ASSOCIATED WITH THE NEW CLASSROOM.

THE CAMPUS IS SITUATED IN THE PAVILIONS AT SAN MATEO, AN EXISTING RETAIL SHOPPING DISTRICT WITH A MIX OF RETAIL, RESTAURANT AND SERVICE TENANTS. EXISTING INFRASTRUCTURE INCLUDES STANDARD, COMPACT AND HC PARKING, EXISTING FIRE HYDRANTS, SIDEWALKS, BICYCLE SPACES, LOADING DOCK AND SOLID WASTE DUMPSTER.



BUBBLED AREA INDICATES NEW WORK.

BUILDING ADDRESS: 4400 CUTLER AVE NE ALBUQUERQUE, NM 87110
LEGAL DESCRIPTION: TR 1A REVISED PLAT OF PAVILIONS AT SAN MATEO CONT 4.2761 ACM/L OR 186,267 SF M/L

OCCUPANCY GROUP: B
IDO ZONING INFORMATION: NR-C: COMMERCIAL ZONE DISTRICTS
SITE ACREAGE: 4.28 ACRES
BUILDING GROSS SQUARE FOOTAGE: EXISTING BUILDING: 44,877 GSF
PROPOSED CLASSROOM BUILDING: 2,000 GSF
TOTAL BUILDINGS: 46,877 GSF
PROJECT PHASING: THE PROPOSED CLASSROOM BUILDING SHALL BE COMPLETED UNDER ONE PHASE.

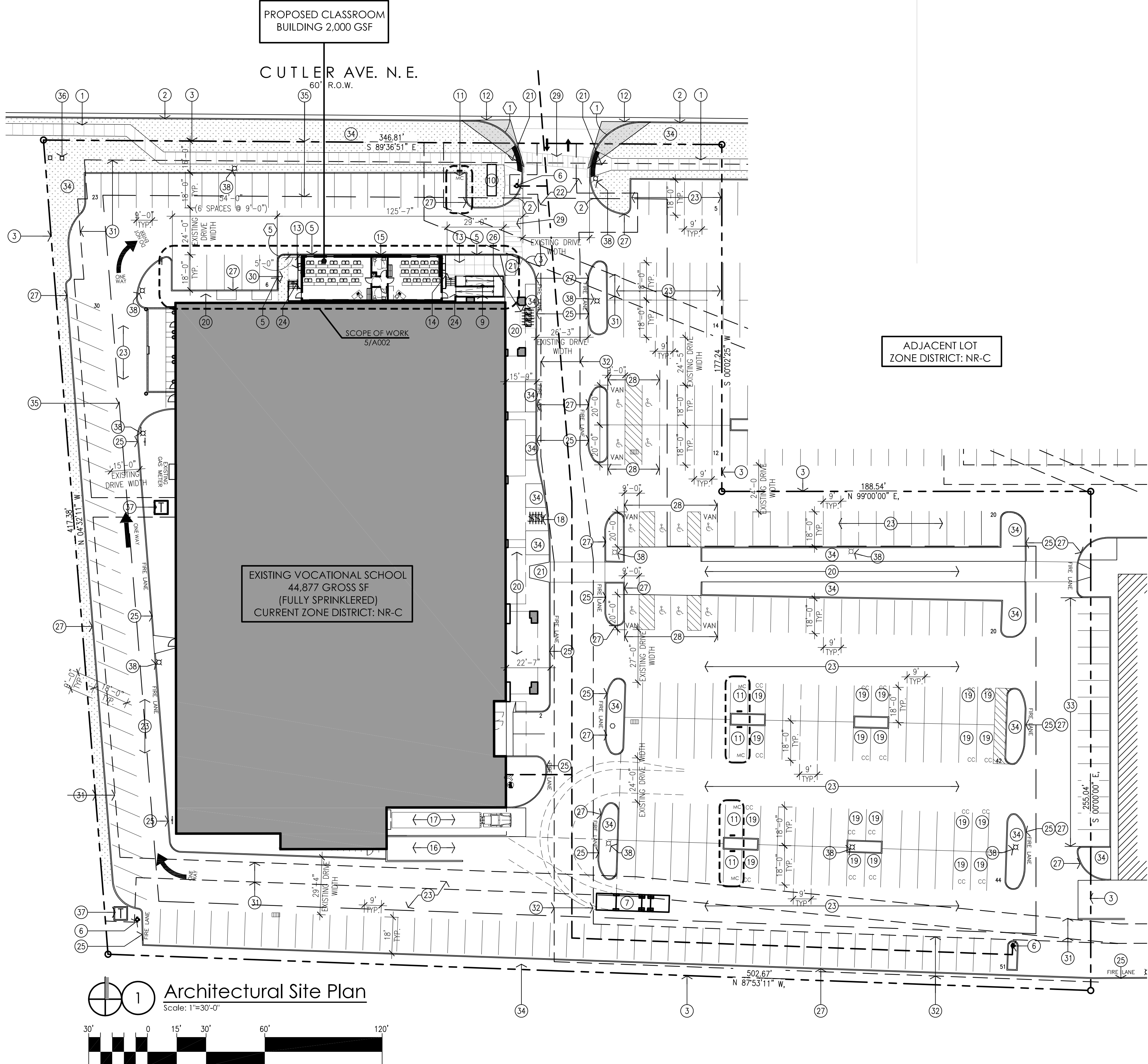
EXISTING RADIUS INFORMATION: ① = 25'-0" ③ = 21'-6" ⑤ = 3'-0"
② = 23'-6" ④ = 3'-0"

GENERAL NOTES:

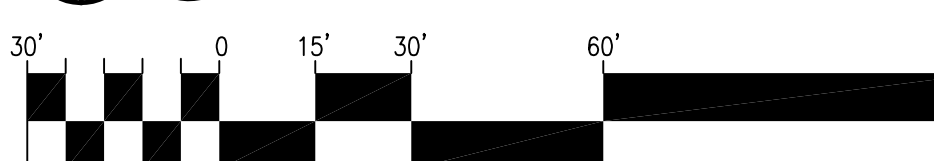
- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
- [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
- [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
- [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
- [H] ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
- [I] BUILDING ELEVATIONS FOR NEW CLASSROOM BUILDING WILL BE REQUIRED TO BE APPROVED VIA ADMINISTRATIVE AMENDMENT AND COMPLY WITH THE DESIGN REGULATIONS AND AESTHETICS CREATED BY THE TWO BUILDINGS IN THIS SUBMITTAL.
- [J] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
- [K] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
- [L] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
- [M] ALL SITE LIGHTING IS EXISTING TO REMAIN 'AS IS'.

KEYED NOTES:

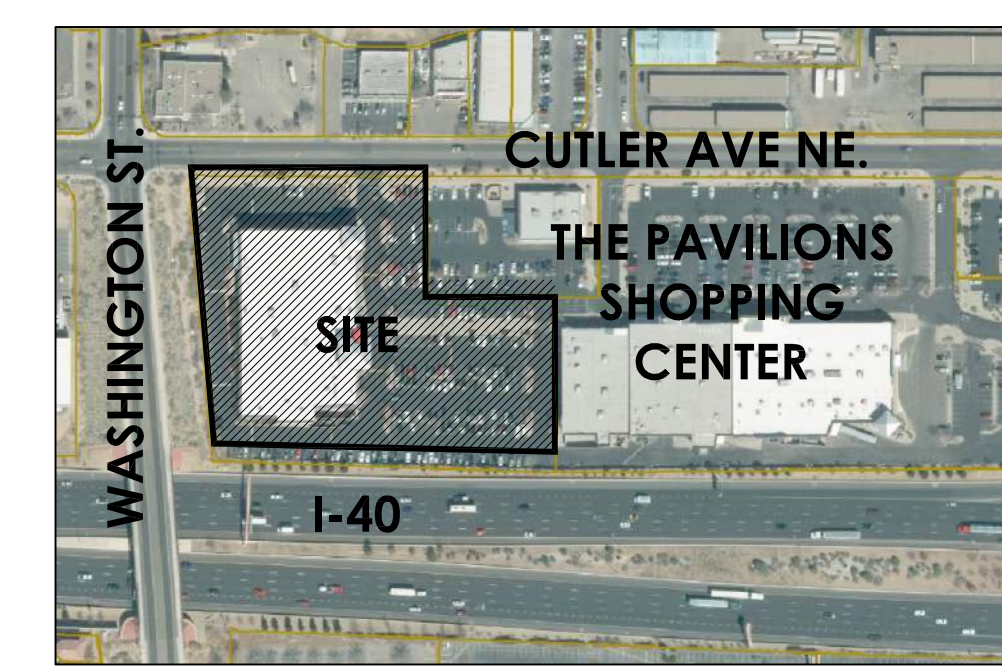
- [1] EXISTING CITY SIDEWALK TO REMAIN.
- [2] EXISTING CITY CURB AND GUTTER TO REMAIN.
- [3] EXISTING PROPERTY LINE.
- [4] NOT USED.
- [5] PROPOSED HEADER CURB.
- [6] EXISTING FIRE HYDRANT TO REMAIN.
- [7] CITY REFUSE TRUCK AND TURNING RADIUS, FOR REFERENCE ONLY.
- [8] NOT USED.
- [9] PROPOSED ADA ACCESSIBLE RAMP.
- [10] EXISTING SIGNAGE TO REMAIN.
- [11] PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE. SEE DETAIL 4/TCLO02.
- [12] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- [13] PROPOSED CONCRETE SIDEWALK 4" WIDE MINIMUM WITH CONTROL JOINTS EVERY 5'-0" WITH EXPANSION JOINTS EVERY 20'-0".
- [14] PROPOSED FIRE DEPARTMENT KNOX BOX.
- [15] PROPOSED PAINTED CURB 'FIRE LANE'.
- [16] EXISTING TRASH COMPACTOR TO REMAIN.
- [17] EXISTING LOADING DOCK TO REMAIN.
- [18] EXISTING BICYCLE PARKING TO REMAIN.
- [19] EXISTING COMPACT PARKING SPACE TO REMAIN.
- [20] EXISTING SIDEWALK TO REMAIN.
- [21] EXISTING SIDEWALK RAMP TO REMAIN.
- [22] EXISTING ENTRY DRIVE TO REMAIN.
- [23] EXISTING ASPHALT PARKING LOT TO REMAIN.
- [24] PROPOSED STAIR AND LANDING.
- [25] EXISTING PAINTED FIRE LANE TO REMAIN.
- [26] PROPOSED BIKE RACK WITH 6 SPACES. SEE DETAIL 1/A002.
- [27] EXISTING CURB TO REMAIN.
- [28] EXISTING HC PARKING AND ACCESS AISLE TO REMAIN.
- [29] EXISTING DESIGNATED CROSSWALK TO REMAIN.
- [30] PROPOSED LANDSCAPE AREA.
- [31] EXISTING 10' UTILITY EASEMENT.
- [32] EXISTING 20' WATERLINE EASEMENT.
- [33] THESE SPACES NOT COUNTED IN PARKING CALCULATIONS AS THEY ARE OVER THE PROPERTY LINE.
- [34] EXISTING LANDSCAPE TO REMAIN.
- [35] EXISTING BUILDING SETBACK.
- [36] EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- [37] EXISTING TRANSFORMER TO REMAIN.
- [38] EXISTING SITE LIGHT TO REMAIN.



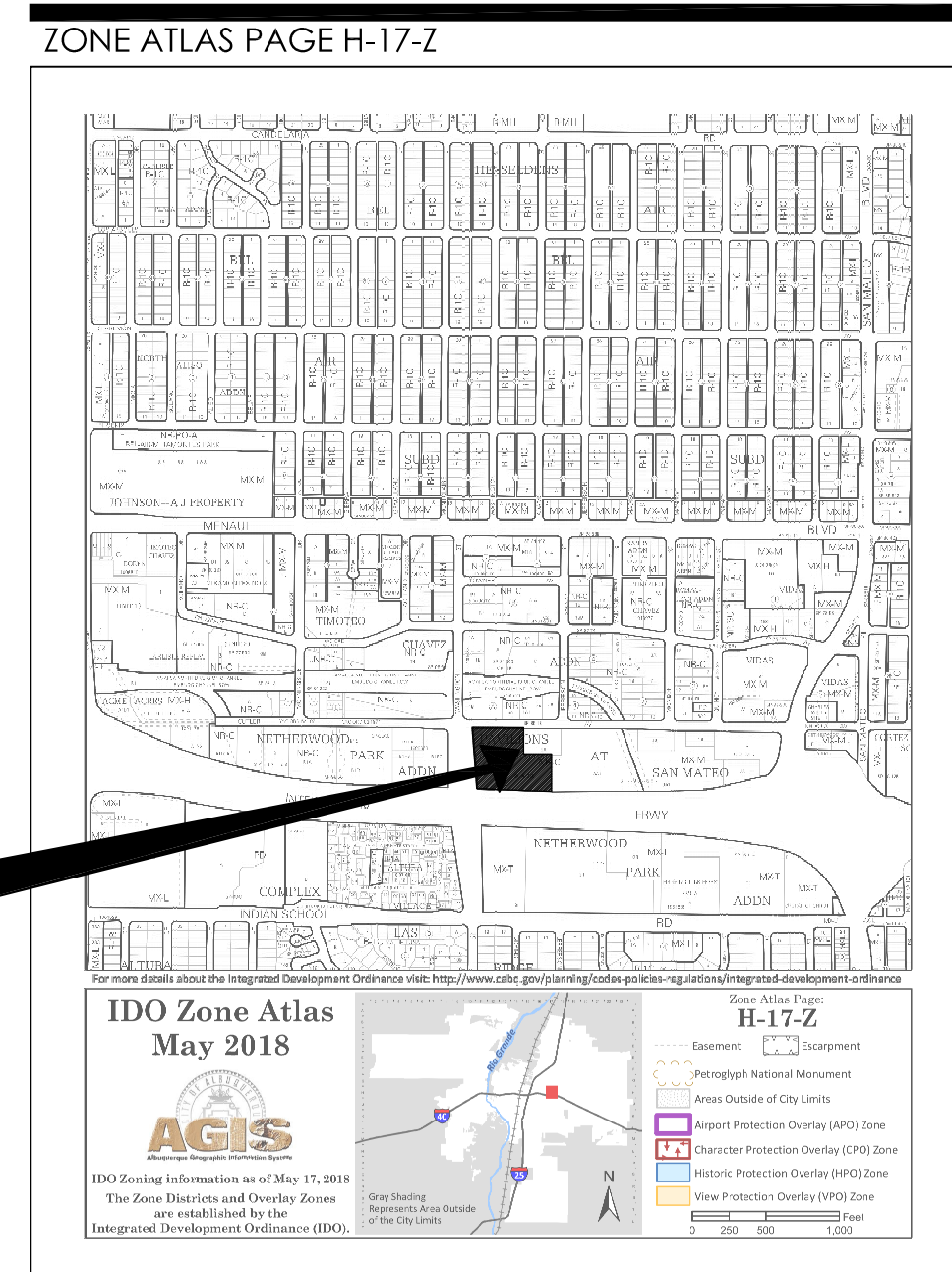
Architectural Site Plan
Scale: 1"=30'-0"



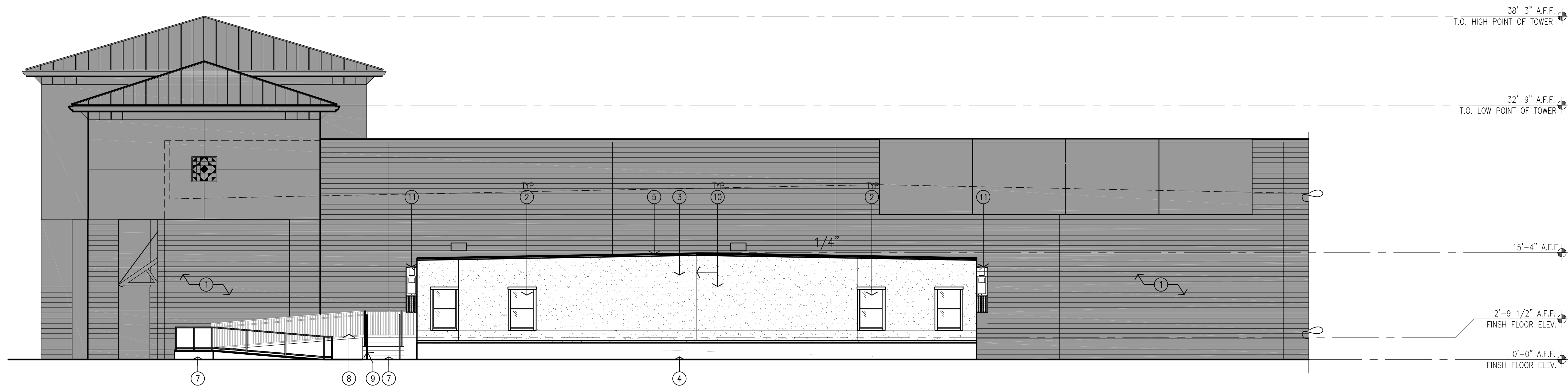
VICINITY MAP



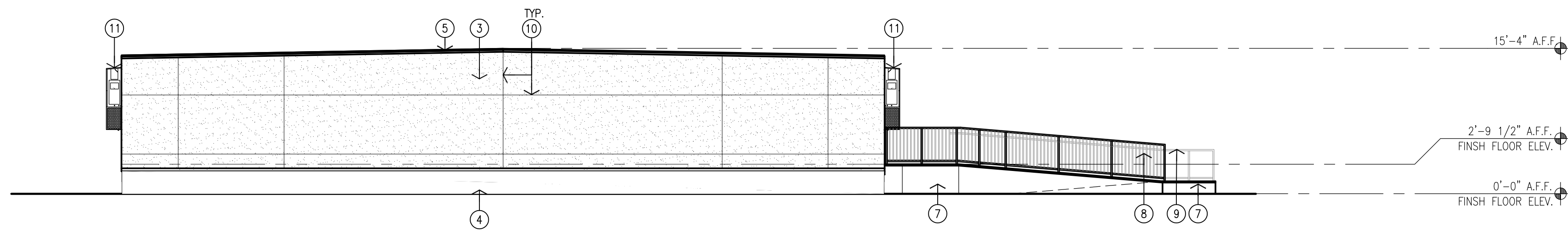
ZONING MAP



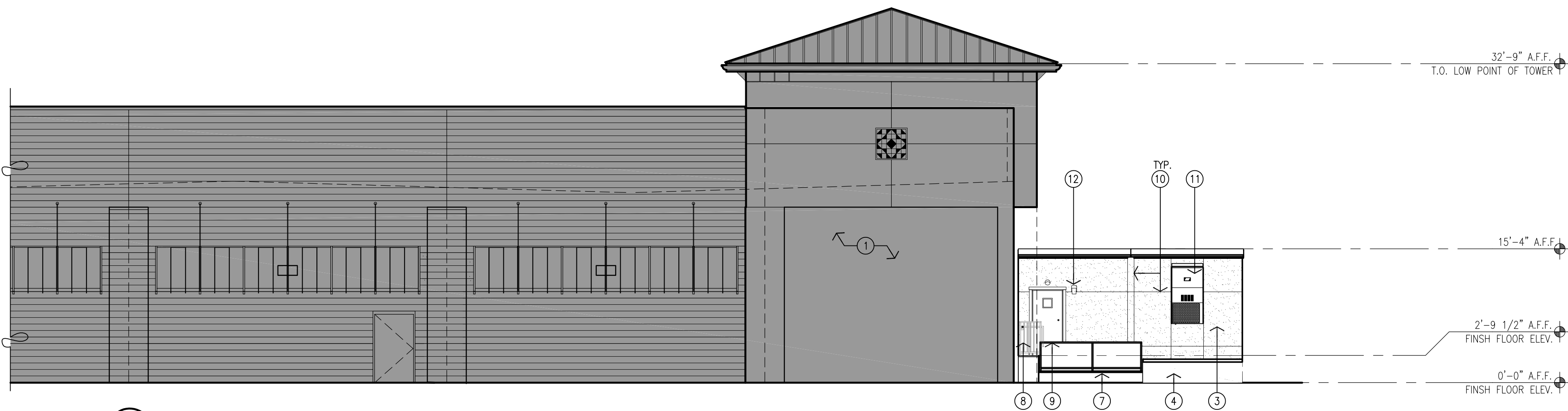
SITE



1 North Elevation
Scale: 1/8"=1'-0"



2 South Elevation
Scale: 1/8"=1'-0"



3 East Elevation
Scale: 1/8"=1'-0"



4 West Elevation
Scale: 1/8"=1'-0"

- KEYED NOTES:
- [1] EXISTING EXTERIOR MASONRY WALL.
 - [2] NEW WINDOW.
 - [3] NEW STUCCO SYSTEM. COLOR TO MATCH EXISTING BUILDING.
 - [4] NEW WOOD SKIRTING COLOR TO MATCH EXISTING BUILDING.
 - [5] NEW EPDM ROOFING SYSTEM.
 - [6] NEW HOLLOW METAL DOOR AND TRIM.
 - [7] NEW COMPOSITE DECKING STAIR AND RAMP SYSTEM.
 - [8] NEW GUARDRAIL SYSTEM.
 - [9] NEW HANDRAIL SYSTEM.
 - [10] NEW STUCCO CONTROL JOINT.
 - [11] NEW MECHANICAL EQUIPMENT. REFER TO MECHANICAL.
 - [12] NEW WALL PACK.

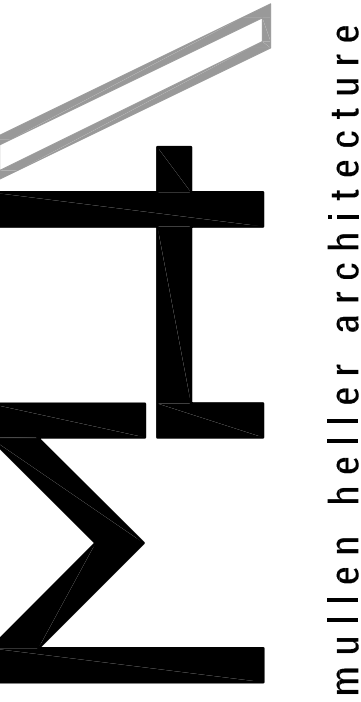
THERE IS NO NEW SIGNAGE PROPOSED FOR THIS PHASE OF THE PROJECT

DESCRIPTION

BY

DATE

REV



PRELIMINARY
NOT FOR
CONSTRUCTION

MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVENUE SW | STE. D
ALBUQUERQUE, NM | 87109
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER 20-08

DRAWN BY AG/MP

PROJECT MGR JDH

DATE 04-13-22

PHASE CD

PROJECT
Pima Medical Institute New Classroom Building
4400 Cutler Ave. NE
Albuquerque, NM 87110

TITLE
Exterior Elevations

SHEET
A401

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

*In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. **Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.***

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.
Achieved Achieved in Part Evaluated Only
2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.
Achieved Achieved in Part Evaluated Only
3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.
Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.
 Achieved Achieved in Part Evaluated Only
5. Design should allow for natural ventilation as much as possible.
 Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.
 Achieved Achieved in Part Evaluated Only
7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.
 Achieved Achieved in Part Evaluated Only
8. North facing windows are encouraged as they require little to no shading.
 Achieved Achieved in Part Evaluated Only
9. Any west facing building entries and windows should mitigate solar effects.
 Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.
 Achieved Achieved in Part Evaluated Only
11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.
 Achieved Achieved in Part Evaluated Only
12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.
 Achieved Achieved in Part Evaluated Only
13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.
 Achieved Achieved in Part Evaluated Only
14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.
 Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.

Signature of Project Architect/License No.
NM License Number: 2827

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that **summer sun** be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of **winter sun** should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**