

PLAT OF  
**LOT 9-A, BLOCK 3**  
**BUENA VISTA HEIGHTS**  
 (A REPLAT OF LOTS 9 & 10, BLOCK 3,  
 BUENA VISTA HEIGHTS)  
 WITHIN THE  
**TOWN OF ALBUQUERQUE GRANT**  
**PROJECTED SECTION 21**  
**TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M.**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**MARCH, 2022**

DOC# 2022046251  
 05/11/2022 10:24 AM Page: 1 of 2  
 PLAT R: \$25.00 B: 2022C P: 0041 Linda Stover, Bernalillo County

**DESCRIPTION**

A tract of land situate within the Town of Albuquerque Grant, projected Section 21, Township 10 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being all of LOTS 9 & 10, BLOCK 3, BUENA VISTA HEIGHTS, as the same is shown and designated on said plat, filed for record in the office of the County Clerk of Bernalillo County, New Mexico, on September 6, 1923, in Plat Book A01, Page 094 and Plat Book C02, Page 049, and containing 0.3849 acres more or less.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. Public Service Company of New Mexico (PNM) for the installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. New Mexico Gas Company (NMGCO) for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
3. Lumen for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and enclosures.

4. Comcast for the installation, maintenance, and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said right-of-way and easement, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right-of-way and easement to extend services to customers of Grantee, and to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, PNM, NMGCO, LUMEN and COMCAST did not conduct a title search of the properties shown hereon. Consequently, PNM, NMGCO, LUMEN and COMCAST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**SOLAR NOTE**

No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of this plat.

PROJECT NUMBER: PR-2022-006885  
 Application Number: SD-2022-00067

**PLAT APPROVAL**

Utility Approvals: RJA 03/16/2022

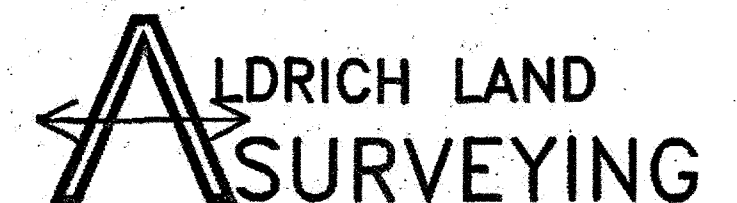
Public Service Company of New Mexico	Date
<u>Jeff Estvanko</u> Digitally signed by Jeff Estvanko Date: 2022.03.14 13:16:03 -06'00'	2022.03.14
New Mexico Gas Company	Date
<u>Abdul A. Bhuayan</u>	3/14/2022
Lumen	Date
<u>Mike Morton</u>	03/14/2022
Comcast	Date
City Approvals:	
<u>Loren N. Risenhoover P.S.</u>	3/24/2022
City Surveyor	Date
N/A	
Real Property Division	Date
<u>Jeanne Wolfenbarger</u>	Apr 27, 2022
Traffic Engineering, Transportation Division	Date
<u>Blaine Carter</u>	Apr 27, 2022
Albuquerque-Bernalillo County Water Utility Authority	Date
<u>Cheryl Campbell</u>	Apr 27, 2022
Parks and Recreation Department	Date
<u>[Signature]</u>	3/21/2022
AMAFCA	Date
<u>Ernest Armijo</u>	Apr 27, 2022
City Engineer/Hydrology	Date
<u>[Signature]</u>	Apr 27, 2022
Code Enforcement	Date
N/A	
Solid Waste Management	Date
<u>[Signature]</u>	Apr 27, 2022
DRB Chairperson, Planning Department	Date

**SURVEYOR'S CERTIFICATION**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

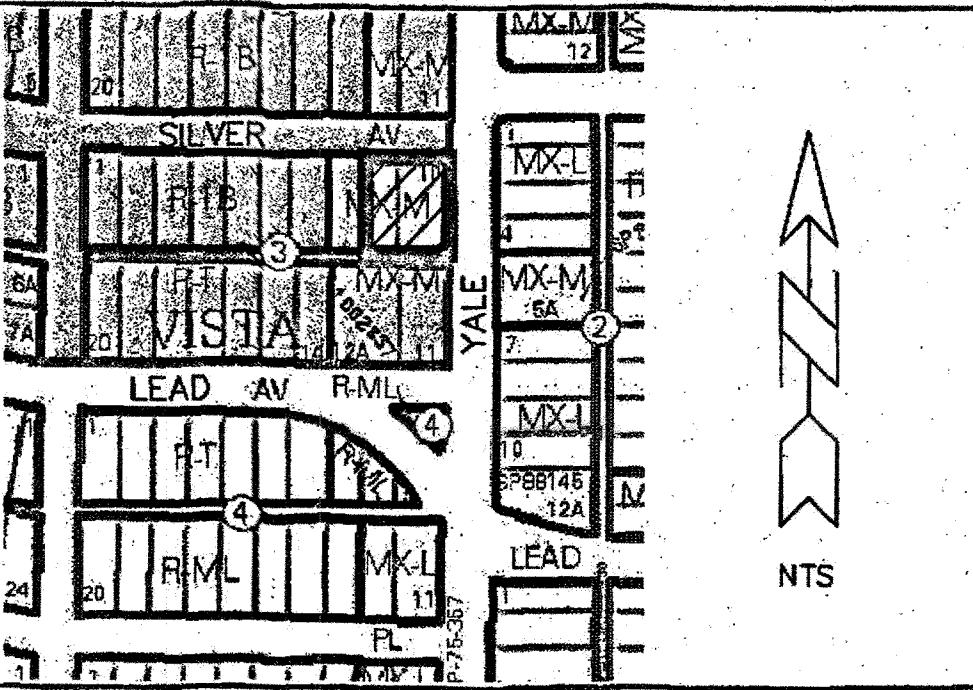


[Signature]  
 Timothy Aldrich, P.S. No. 7719  
 03-01-2022  
 Date



P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990  
 (1)

Drawn By: TA	Date: 03-01-22
Checked By: TA	Drawing Name: 21110PLT.DWG
Job No.: 21-110	Sheet: 1 of 2



LOCATION MAP K-15-Z

**PURPOSE OF PLAT**

1. To create Lot 9-A as shown hereon.
2. To grant easements as shown hereon.

**SUBDIVISION DATA**

1. Project No.: PR-2022-006885
2. Application No.: SD-2022-00067
3. Zone Atlas Index No.: K-15-Z
4. Total Number of Lots created: 1
5. Total Number of existing Lots: 2
6. Gross Subdivision Acreage: 0.3849 Acres

**NOTES**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is the plat of record entitled:

"BUENA VISTA HEIGHTS,  
 (09-06-1923, A01-094 & C02-049)

all being records of Bernalillo County, New Mexico.

5. Field Survey: August, 2021.
6. Title Report(s): None provided
7. Address of Property: 2132 Silver Avenue SE and 201 Yale Boulevard SE, Albuquerque, New Mexico 87106
8. City of Albuquerque, New Mexico IDO Zone: MX-M
9. 100 Year Flood Zone Designation: ZONE X, as shown on Panel 353 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated August 16, 2012.
10. Unless shown otherwise all points are set 1/2" rebar with cap or PK nail with tag "LS 7719".

**FREE CONSENT**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby consent to the creation of lot as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to the granting of easements as shown hereon. Said owner(s) and/or proprietor(s) do hereby consent to all the foregoing and do hereby certify that this subdivision is their free act and deed. Said owner(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Owner: United Enterprises, Inc., a New Mexico corporation

[Signature] 3/8/2022  
 Allen Lewis, President Date



STATE OF NEW MEXICO  
 BERNALILLO COUNTY  
 On this 8<sup>th</sup> day of March, 2022, this instrument was acknowledged before me by Allen Lewis, President of United Enterprises, Inc., a New Mexico corporation, on behalf of said corporation.  
[Signature]  
 Notary Public 2022C-41

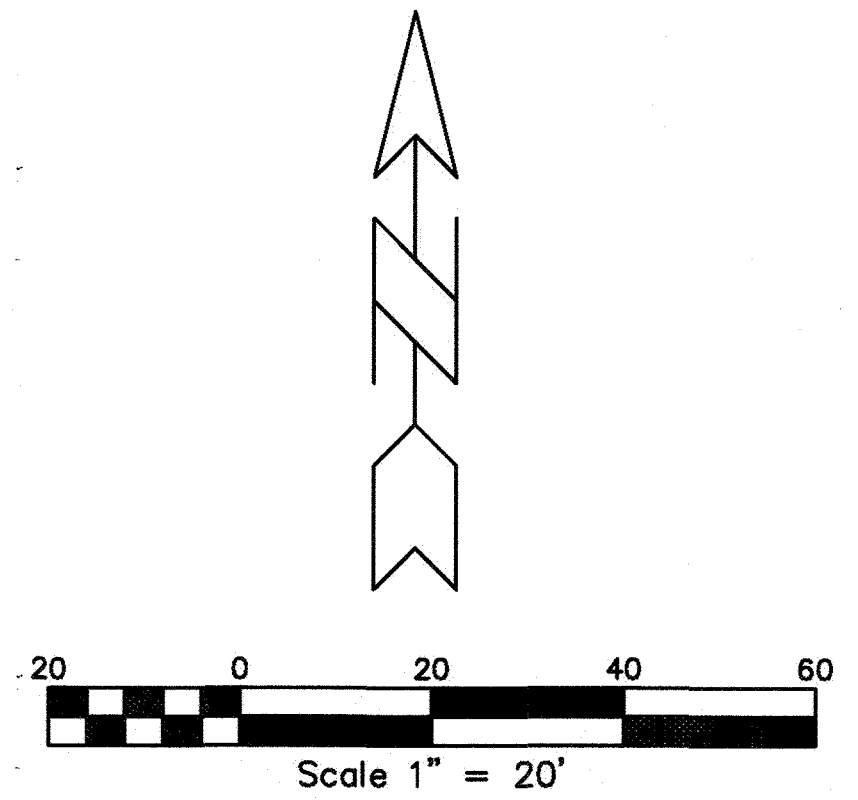
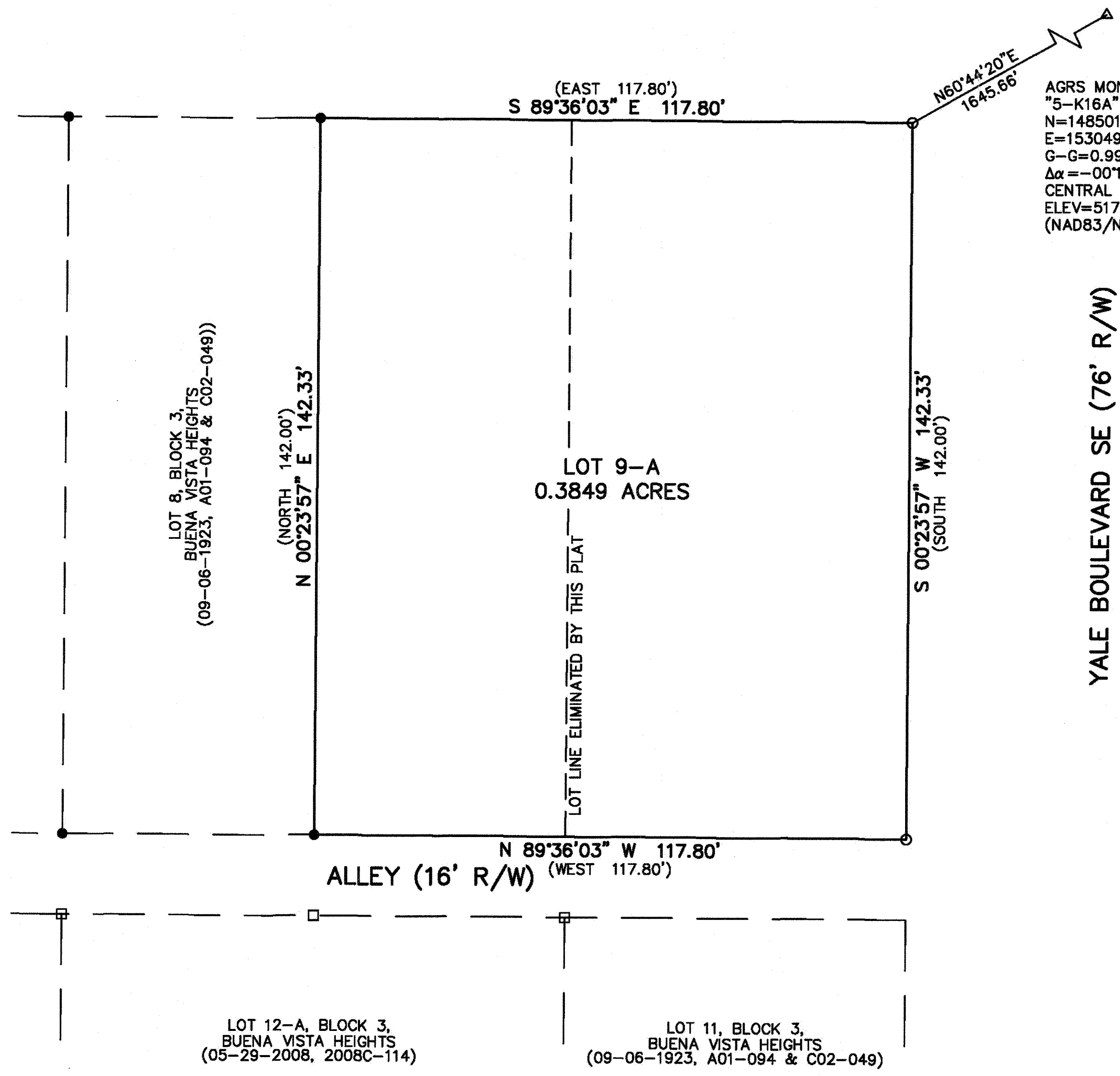
TRUSTED TO CERTIFY THAT TAXES ARE CURRENT AND  
 END OF UPC# 1015 057516210 42411, 1015 057510210 42412  
 PROPERTY OWNER OF RECORD:  
 United Enterprises, Inc.  
 BERNALILLO COUNTY TREASURER'S OFFICE:  
[Signature]

DOCH 2022046251  
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- PROPERTY CORNERS
- FOUND 5/8" REBAR WITH CAP "LS 7719"
  - FOUND 1/2" REBAR
  - SET 1/2" REBAR WITH CAP "LS 7719"

SILVER AVENUE SE (60' R/W)



Drawn By:	TA	Date:	03-01-22
Checked By:	TA	Drawing Name:	21110PLT.DWG
Job No.:	21-110	Sheet:	2 of 2

**ALDRICH LAND SURVEYING**  
 P.O. BOX 30701, ALBQ., N.M. 87190  
 505-884-1990

2022C-41

(2)