

# 01 APPLICATION



Effective 3/01/2022

**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>SUBDIVISIONS</b>	<input type="checkbox"/> Final Sign off of EPC Site Plan(s) (Forms P2)	<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form V2)
<input type="checkbox"/> Major – Preliminary Plat (Forms S & S1)	<input checked="" type="checkbox"/> Amendment to Site Plan (Forms P & P2)	<input type="checkbox"/> Vacation of Public Right-of-way (Form V)
<input type="checkbox"/> Major – Bulk Land Plat (Forms S & S1)	<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Vacation of Public Easement(s) DRB (Form V)
<input type="checkbox"/> Extension of Preliminary Plat (Form S1)	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S1)	<input type="checkbox"/> Vacation of Private Easement(s) (Form V)
<input type="checkbox"/> Minor Amendment - Preliminary Plat (Forms S & S2)	<input type="checkbox"/> Minor Amendment to Infrastructure List (Form S2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Minor - Final Plat (Forms S & S2)	<input type="checkbox"/> Temporary Deferral of SW (Form V2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S2)
<input type="checkbox"/> Minor – Preliminary/Final Plat (Forms S & S2)	<input type="checkbox"/> Sidewalk Waiver (Form V2)	<input type="checkbox"/> Sketch Plan Review and Comment (Form P2)
<b>SITE PLANS</b>	<input type="checkbox"/> Waiver to IDO (Form V2)	<b>APPEAL</b>
<input type="checkbox"/> DRB Site Plan (Forms P & P2)	<input type="checkbox"/> Waiver to DPM (Form V2)	<input type="checkbox"/> Decision of DRB (Form A)

**BRIEF DESCRIPTION OF REQUEST**

American Gypsum Company, LLC is planning to install a new vertical roller mill as well as replace existing mills and kettles. The new mill will be located on a currently paved area of the existing facility property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

**APPLICATION INFORMATION**

Applicant/Owner: American Gypsum Company, LLC		Phone: 231-631-7635
Address: 5960 Berkshire Lane, Suite 800		Email: carey.slater@americangypsum.com
City: Dallas	State: TX	Zip: 75225
Professional/Agent (if any): Industrial Ally, Inc.		Phone: 636-692-5595 x29
Address: 1422 Elbridge Payne Rd. Suite 120		Email: kaela.louie@industrial-ally.com
City: Chesterfield	State: MO	Zip: 63017
Proprietary Interest in Site: Owner's Engineer		List all owners: American Gypsum Company, LLC

**SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)**

Lot or Tract No.: 10-170-6325338020199	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code: 101706325338020199
Zone Atlas Page(s): D-17-Z	Existing Zoning: NR-GM	Proposed Zoning NR-GM
# of Existing Lots: 1	# of Proposed Lots: 1	Total Area of Site (Acres): 54.12

**LOCATION OF PROPERTY BY STREETS**

Site Address/Street: 4600 Paseo Del Norte	Between: Tiburon Street	and: El Pueblo
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**CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)**

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I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name: Kaela Louie	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent

## FORM P2: SITE PLAN – DRB

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

- SKETCH PLAN – DRB
- SITE PLAN – DRB
- MAJOR AMENDMENT TO SITE PLAN – DRB
- EXTENSION OF SITE PLAN – DRB

- NA Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- 01 PDF of application as described above
- 02 Zone Atlas map with the entire site clearly outlined and labeled
- 03 Letter of authorization from the property owner if application is submitted by an agent
- 04 Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*
- 05 Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-6(l)(3)
- NA Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P)  
*Note: If requesting more than allowed by deviation, a Variance – ZHE or Variance – DRB will be required, as applicable.*
- 06 Proof of Pre-Application Meeting with City staff per IDO Section 14-16-6-4(B) *(not required for Extension)*
- 07 Proof of Neighborhood Meeting per IDO Section 14-16-6-4(C) *(not required for extension)*
  - 07 Office of Neighborhood Coordination neighborhood meeting inquiry response
  - 07 Proof of email with read receipt OR Certified Letter offering meeting to applicable associations
  - 07 Completed neighborhood meeting request form(s)
  - 07 If a meeting was requested or held, copy of sign-in sheet and meeting notes
- 08 Sign Posting Agreement
- 09 Required notices with content per IDO Section 14-16-6-4(K)(1) *(not required for extension)*
  - 09 Office of Neighborhood Coordination notice inquiry response
  - 09 Copy of notification letter, completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing to affected Neighborhood Association representatives.
  - 09 Proof of emailed notice to affected Neighborhood Association representatives
  - 09 Buffer map and list of property owners within 100 feet (excluding public rights-of-way) provided by Planning Department or created by applicant, copy of notifying letter, completed notification forms(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b), and proof of first-class mailing
- 10 Completed Site Plan Checklist
- 11 Site Plan and related drawings
- 12 Copy of the original approved Site Plan or Master Development Plan *(for amendments and extensions)*
- NA Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C)
- NA Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for all commercial and multifamily site plans except if the development is industrial or the multifamily is less than 25 units
- NA Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2.)(d.) if site is within a designated landfill buffer zone
- 13 Infrastructure List, if required

## FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS - EPC

**Please refer to the DRB public meeting schedules for meeting dates and deadlines. Your attendance is required.**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other on-line resources such as Dropbox or FTP. PDF *shall be organized* with the Development Review Application and this Form P2 at the front followed by the remaining documents *in the order provided on this form*.

- \_\_\_ Interpreter Needed for Hearing? \_\_\_\_\_ if yes, indicate language: \_\_\_\_\_
- \_\_\_ PDF of application as described above
- \_\_\_ Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ Solid Waste Department signature on Site Plan
- \_\_\_ Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ Approved Grading and Drainage Plan
- \_\_\_ Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan *(not required for Master Development Plans)*
- \_\_\_ Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ Site Plan and related drawings
- \_\_\_ Infrastructure List, if require





RE: 1576 American Gypsum Major Amendment



Chinchilla, Antonio R. <achinchilla@cabq.gov>

To Maggie Guy

Cc Wensley, Clint R.; Barnes, Brian K.

You replied to this message on 6/1/2022 3:33 PM.



Reply

Reply All

Forward



Wed 6/1/2022 3:22 PM

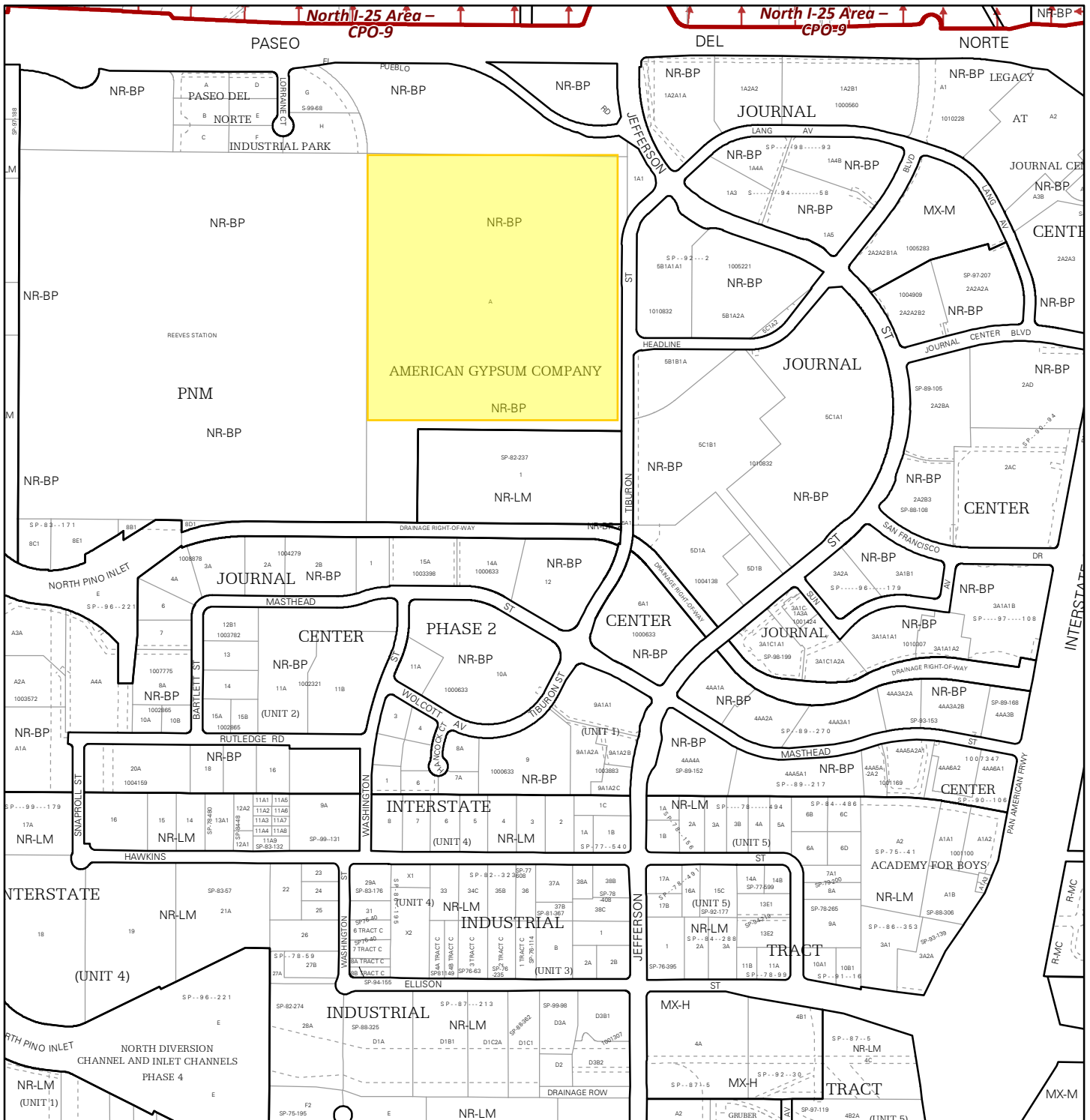
Good Afternoon Ms. Maggie Guy,

I have reviewed your Building Permit 2022-207667 and I have no objections to approving the layout. Our Department will not require you to submit a Fire 1 Plan. Please accept this email as an official approval from the Fire Marshal's Office Plans Check Division. And please feel free to forward this email to the DRB to inform them your Plan has been reviewed and approved. If there are any questions or concerns please feel free to call our office.

Lieutenant Antonio Chinchilla  
Fire Marshal's Office Plans Check Division  
**Albuquerque Fire Rescue**  
600 2<sup>nd</sup> ST NW  
Albuquerque NM 87102  
Tel 505-924-3611




# 02 ZONE ATLAS MAP



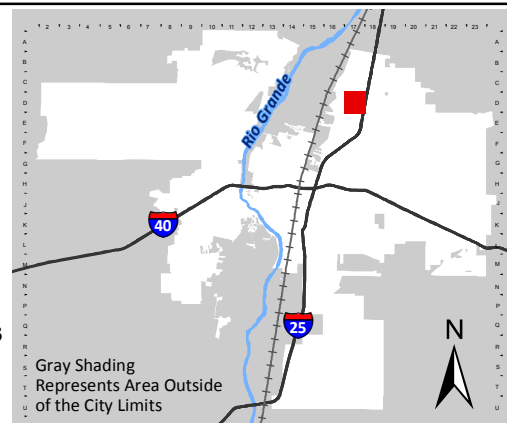
For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**D-17-Z**



Gray Shading  
Represents Area Outside  
of the City Limits

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Feet  
0 250 500 1,000





Tim Keller, Mayor



April 26, 2019

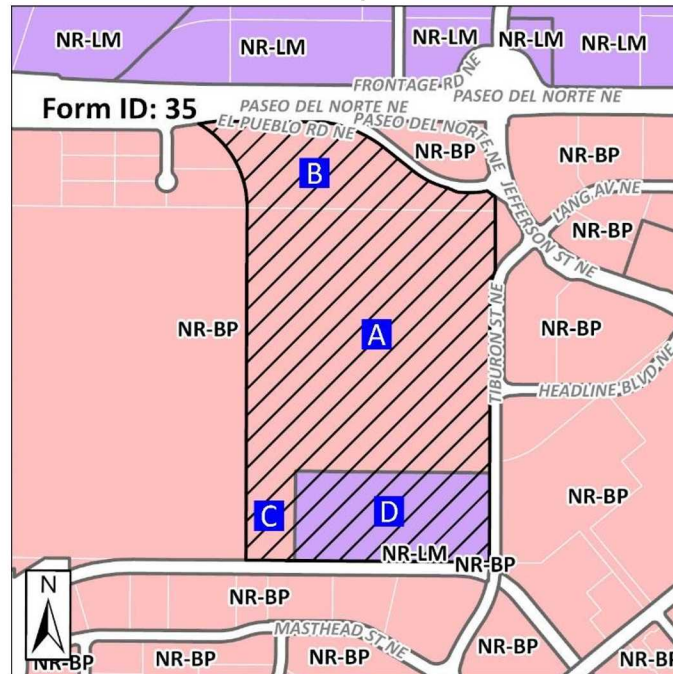
Dear property owner,

The Planning Department has received the Request and Agreement Form for a voluntary zoning conversion for the property indicated in the table below. This process was authorized by City Council through [Resolution 18-29](#) directing the Planning Department to create a process for property owners to opt in to a one-year, voluntary zone conversion process at no cost to the property owner.

The table below provides an overview of the requested conversion and Planning staff recommendations. See map on the next page to confirm the area recommended for conversion (the subject property).

<b>Zoning Conversion Request</b>	
Form ID (for your reference)	35A
Applicant Name	Steven Wentzel
Subject Property Address	4600 Paseo del Norte NE
Zip Code	87109
Owner Name*	AMERICAN GYPSUM INC
Owner Address*	3811 TURTLE CREEK BLVD SUITE 1200 DALLAS TX 75219-4424
Legal Description*	TR OF LAND IN E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (EXCLPORT OUT TO R/W) CONT 43.3900;
UPC Code*	101706325338020199
Current Zoning**	NR-BP
Requested Zoning	NR-GM
* From 2018 Bernalillo County Assessor records	
** From the City of Albuquerque Official Zoning Map	
<b>Staff Recommendation</b>	
Recommended Zone District	NR-GM
Criteria 1 – Nonconforming Use	Yes
Criteria 2 – Voluntary Downzone	No
Criteria 3 – Floating Zone Line	No
Criteria 4 – Prior Special Use Zoning	No
Criteria 5 – Size Thresholds	No
Notes	The existing use on the property is heavy manufacturing and became nonconforming with the adoption of the IDO. Heavy manufacturing is first allowed as a permissive primary use in the NR-GM zone district, so NR-GM is an appropriate zone conversion.

## Map



*The subject property is indicated with hatching.*

The recommended zoning conversion described above will be included in the follow-up zoning conversion process. It will be submitted as a group with other properties that also qualify for this process. The application is anticipated to be submitted in May 2019, for an EPC Hearing in July 2019. You are not required to attend the hearing, but you are welcome to send in written comments and/or attend the hearing to observe or give verbal comments. EPC Hearings start at 8:30 am and are held in the Basement Hearing Room in the Plaza del Sol building, 600 2<sup>nd</sup> St. NW. More information about the agenda will be sent out in our email newsletter, or you can find it on the City webpage: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>.

If you included an email address in your request, it has been added to our email list. You will receive periodic project update email newsletters at that address. Those updates will also be posted on the ABC-Z project webpage. If you would like to add or change your email address in our records, please contact us using any of the methods described below.

If you would like to talk to Planning Staff about the recommended conversion, if you have any concerns about the information in this letter or the map, or if you would like to opt out of this process, please email [abctoz@cabq.gov](mailto:abctoz@cabq.gov), visit the project website [www.abc-zone.com](http://www.abc-zone.com), or phone the Planning Department at (505) 924-3860 and ask to speak to someone on the ABC-Z Planning Team.

Sincerely,

Long Range Planning Staff, City of Albuquerque

Email: [abctoz@cabq.gov](mailto:abctoz@cabq.gov)

Phone: 505-924-3860

Web: [www.abc-zone.com](http://www.abc-zone.com)

CC:

Steve Wentzel c/o AMERICAN GYPSUM INC, 3811 TURTLE CREEK BLVD SUITE 1200 DALLAS TX 75219-4424

Steve Wentzel, [steve.wentzel@americangypsum.com](mailto:steve.wentzel@americangypsum.com)

Asset Management, [jaim@assetmanagementnm.com](mailto:jaim@assetmanagementnm.com)

# **03 LETTER OF AUTHORIZATION**



**TO:** City of Albuquerque  
**FROM:** Carey Slater, American Gypsum – Albuquerque Plant Manager  
**SUBJECT:** Alternative Landscape Plan of Authorization for Industrial Ally  
**DATE:** August 31<sup>st</sup>, 2022

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I, Carey Slater, hereby authorize representatives from Industrial Ally to submit a major site plan amendment, DRB application on behalf of American Gypsum's Albuquerque Plant.

Please contact me if you have any questions.

Carey W Slater  
Plant Manager – Albuquerque Plant  
[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)  
(505) 346-2142

# **04** ARCHAEOLOGICAL CERTIFICATE



**City of Albuquerque**  
P.O. Box 1293 Albuquerque, NM 87103  
**Planning Department**  
Alan Varela, Interim Director

**Tim Keller, Mayor**  
**Sarita Nair, CAO**

**DATE:** 4/28/2022

**SUBJECT:** Albuquerque Archaeological Ordinance - Compliance Documentation

**Case Number(s):** PR-2022-006920  
**Agent:** Maggie Guy, Industrial Ally  
**Applicant:** American Gypsum Company, LLC  
**Legal Description:** TR E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E  
**Zoning:** NR-GM  
**Acreage:** 43.39  
**Zone Atlas Page(s):** D-17-Z

**CERTIFICATE OF NO EFFECT:**  Yes  No

**CERTIFICATE OF APPROVAL:**  Yes  No

**SUPPORTING DOCUMENTATION:**

Historic Google Earth images, NMCRIS records, CABQ Historic Aerials

**SITE VISIT:** N/A

**RECOMMENDATIONS:**


Historic images indicate there have been facilities on this property since at least 1961, and by 1996 the entire property had been disturbed by previous development. NMCRIS 108378 may have covered the northern and eastern edges of this property.

CERTIFICATE OF NO EFFECT ISSUED-under 6-5(A) (3)(a) criterion 1 "an archaeological investigation has been conducted..." and criterion 2 "The property has been disturbed through previous land use"

**SUBMITTED BY:**

**SUBMITTED TO:**

Planning, Development Services

 4/28/2022  
Date  
Douglas H. M. Boggess, MA, RPA  
Senior Principal Investigator  
Acting City Archaeologist  
Lone Mountain Archaeological Services, Inc.

# **05 JUSTIFICATION LETTER**

Jolene Wolfley  
Development Review Board Chair  
Plaza Del Sol  
600 2nd St. NW  
Albuquerque, NM 87102

Dear Ms. Wolfley,

Industrial Ally, agent for American Gypsum Company (“the Developer”), is seeking approval for a Major Site Plan Amendment reviewed by the Development Review Board, including a waiver to the required Sidewalk per IDO Section 14-16-6-6(P)(3), as well as an Alternative Landscaping Plan to meet the requirements within IDO 5-6. Granting this request will allow for the installation and commission of new equipment for a vertical roller mill. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining and emissions control.

The subject site is located at 4600 Paseo Del Norte, Albuquerque, New Mexico. This site is zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon. Currently, the grinding and calcining activities are executed in a mill building and consists of three (3) mills and four (4) kettles that produce the calcined gypsum or stucco. American Gypsum is in pursuant of a new vertical roller mill (VRM) installation to replace all the existing mills and kettles. The new mill will be located on a currently paved area of the existing facility property and the existing mills and kettles will remain operational while the new mill and associated equipment is installed and commissioned. Along with the new VRM system, the project will include the following new systems:

- Gypsum truck unloading system
- Gypsum rock crushing system
- Gypsum rock storage and feeding
- Product screening
- Conditioning screw tower
- Stucco cooling system
- Stucco transport to the existing stucco storage bins
- Startup storage bin
- Land plaster transport to existing bins

In addition to increasing the efficiency and reliability of raw material receiving, grinding, calcining and emissions control, this project will update the property’s landscaping and



will provide a visually appealing view from the street and for pedestrians. It will also allow for the addition of a 10' Trail, which will be safer for both cyclists and pedestrians.

**6-6(I)(3)(a) The Site Plan complies with all applicable provisions of this IDO, the DPM, other adopted City regulations, and any conditions specifically applied to development of the property in a prior permit or approval affecting the property.**

The subject site is zoned NR-GM; Non-Residential-General Manufacturing, and is located within a heavy manufacturing area. The applicant is requesting a sidewalk waiver per IDO Section 14-16-6-6(P)(3) and is outlined below. Aside from the requested waiver, the proposed Site Plan complies with all other applicable City Standards.

**6-6(I)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, and any burdens on those systems have been mitigated to the maximum extent practicable.**

As stated above, the subject site is located within a designated Non-Residential Heavy Manufacturing area. The applicant has taken several measures to ensure the proposed additions and enhancements do not place any additional burden on the above items included in 6-6(I)(3)(b):

- An approved Grading and Drainage Plan which accommodates the proposed additions and enhancements.
- Coordination with the utility providers to ensure the proposed additions and enhancements do not cause any burden.
- Coordination with Fire Marshall, to determine if Fire 1 Plan was needed

**6-6(I)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any standards applicable in the zone district the subject property is in.**

The subject site is not located within an approved Master Development Plan.

## Sidewalk Waiver Description

The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, excepting that section of the sidewalk shown on the attached Site Plan. This request is justified for the reasons set forth below.

1. There is an existing pedestrian and bike path that largely surrounds the Property, located on El Pueblo and Tiburon, as shown in the attached Exhibit A. This existing path is safe for pedestrians and bikes, avoiding the manufacturing traffic for the Project.
2. The Project is a manufacturing site. It contains no attractions or services for pedestrians, nor does the surrounding area. Pedestrian traffic is not desirable in or around the Property given the manufacturing traffic and activities. Immediately north of the site, Paseo del Norte is a limited access right of way inappropriate for pedestrian or bike traffic. Keeping all pedestrian and bike traffic directed to the existing path is safest and most appropriate, given the surrounding right of way and land use constraints.
3. There are obstructions and slopes around the northeast corner of the property which would prevent sidewalk construction in the area and disrupt connectivity around the site.
4. Waiving the sidewalks would allow that space to be used for landscaping instead. Such greenspace would better benefit the public travelling on Tiburon, El Pueblo, Paseo del Norte, and the existing pedestrian path compare to an additional sidewalk with little utility.
5. The Applicant is proposing to construct a section of trail along Tiburon from Headline to the south end of the property by the railroad. This portion of the trail will provide some utility to pedestrians.

This request meets the criteria for a DRB waiver, IDO Section 6-6(P)(3):

*(a) Any of the following applies:*

- 1. There are pre-existing obstructions that cannot be easily or economically relocated or should not be altered, such as grades, fills, water courses, natural topographic features, man-made obstructions, or utility lines.*
- 2. The area or site has been recognized as having historical, archeological, and/or architectural significance by the City State, or federal government, and a Waiver is needed and appropriate to maintain such historical, archeological, and/or architectural significance.*

*3. The established neighborhood character or landscaping on the site would be damaged to a degree that outweighs the public interest in the City's normal technical standards in that location.*

*4. Varying from the normal requirements and standards will encourage flexibility, economy, effective use of open space, or ingenuity in design of a subdivision, in accordance with accepted principles of site planning.*

This request is justified by (a)(1), (a)(3), and (a)(4). As described above, slope issues and obstructions reasonably prevent connectivity of a sidewalk around the Property's northeast corner. The character of this area is industrial and inconsistent with pedestrian and bike traffic. Further, granting the request would allow better landscape development at the edges of the Property. Finally, waiving the side on the Applicant's side of Tiburon and El Pueblo encourages the effective use of the existing trail, which is well-designed and maintained for safe recreational and commuter use.

*(b) The Waiver will not be materially contrary to the public safety, health, or welfare.*

As stated above, constructing the sidewalk as envisioned in the IDO would potentially divert pedestrian traffic from the connected, existing trail, into an industrial area where pedestrian traffic is undesirable. It will ensure that pedestrians do not have to contend with crossing the business and truck traffic that occurs in and out of the subject site. Therefore, the waiver is consistent with public safety, health, and welfare.

*(c) The Waiver does not cause significant material adverse impacts on surrounding properties.*

The waiver would not adversely affect the surrounding properties (with similar industrial uses) or the nearby pedestrian trail. On the contrary, it would promote appropriate use of the trail and pedestrian traffic flow through safe areas.

*(d) The Waiver will not hinder future planning, public right-of-way acquisition, or the financing or building of public infrastructure improvements.*

The waiver will not have any impacts on current or future public infrastructure planning or improvements.

*(e) The Waiver will not conflict significantly with the goals and provisions of any City, County, or AMAFCA adopted plan or policy, this IDO, or any other City code or ordinance.*

The waiver does not conflict with any of the above, particularly as the Property is not within areas that encourage a robust pedestrian network, and the request actually furthers many Comprehensive Plan goals. Goal 6.1 Plan, develop, operate, and maintain a transportation system to support the planned character of existing and future land uses); Goal 6.3 (Plan, develop, operate, and maintain a transportation system that provides safe access and mobility for all roadway users); Goal 6.7 (Implement and maintain an effective and efficient transportation system in a coordinated and cost-

effective manner); Goal 6.8 (Provide transportation investments that are responsive to context and natural setting); Policy 6.7.1(b) (Prioritize transportation projects that show high return on investment from lower construction and maintenance costs and higher property values and gross receipts taxes)

*(f) The Waiver will not allow, encourage, or make possible undesired development in the 100-year Floodplain.*

This criterion is not applicable to the request.

*(g) The Waiver will not materially undermine the intent and purpose of this IDO or the applicable zone district.*

This request is consistent with the NR-GM zoning for the Property and similar uses in the surrounding areas, which do not provide pedestrian-oriented services or destinations.

*(h) The Waiver does not allow a lot or type of development that does not meet the applicable Development Standards for the zone district where the lot is located, unless a deviation to such standards is within the thresholds established by Subsection 14-16-6-4(P) (Deviations) and is granted by the DRB as part of this approval.*

This criterion is not applicable to the request.

*(i) The Waiver approved is the minimum necessary to provide redress without being inconsistent with the provisions of this Subsection 14-16-6-6(P).*

The Applicant is proposing to build the portion of the trail that may provide some connectivity and utility to pedestrian users to Headline Blvd. This limits the waiver to address only the most problematic portions of a new sidewalk.

*(j) If the request is a for a Waiver to IDO sidewalk requirements, the area is of low-intensity land use to an extent that the normal installation of sidewalks will not contribute to the public welfare, and the absence of a sidewalk will not create a gap in an existing sidewalk system extended to 1 or more sides of the subject property.*

The absence of a sidewalk will not create any gaps in the existing sidewalk system and the waiver will contribute to the public welfare through better safety. This is a high-intensity land use area, with low pedestrian traffic, which is appropriately channeled to the existing pedestrian path to the north and east. This path is designed to safely transport pedestrians and bikes between industrial uses and the limited access Paseo del Norte safely and without creating conflicts with the adjacent intense uses and automotive traffic.

For the forgoing reasons, the requested sidewalk waiver is supported by the IDO criteria and we respectfully request that the waiver be granted.

The project team provided all adjacent Neighborhood Associations an opportunity to meet and discuss the proposed amendment prior to this submittal. A neighborhood meeting was held on May 6, 2022 with the representatives of American Gypsum. None of the neighborhoods were in attendance and no issues with proposed development were brought up. Based upon the rationale presented in this letter, we respectfully request approval of the proposed site plan to facilitate the development of the American Gypsum Equipment Installation. If you have any questions or need clarification of anything contained herein, please contact me at 973-600-2548 or [kaela.louie@industrial-ally.com](mailto:kaela.louie@industrial-ally.com).

**Sincerely**

Industrial Ally, Inc.

*Kaela Louie*

Kaela Louie

Engineering Project Manager

**9/8/2022**

# **006 PROOF OF PRE-APPLICATION MEETING**



Carey Slater <Carey.Slater@americangypsum.com> on behalf of F

Accept Tentative Decline Propose New Time

Required Kaela Louie; Aranda, James M.; Trujillo, Concetta M.; Nick Alexander; Palmer, Jeffrey; Carey Slater; Webb, Robert L.

Wed 9/7/2022 2:07 PM

This meeting has been adjusted to reflect your current time zone. It was initially created in the following time zone: (UTC-07:00) Mountain Time (US & Canada).

Friday, April 15, 2022 2:00 PM-3:00 PM https://cabq.zoom.us/j/88558589310

2 PM	[EXT] FW: [EXT] Meeting about 43-acre site at 4600 Paseo del Norte NE <a href="https://cabq.zoom.us/j/88558589310">https://cabq.zoom.us/j/88558589310</a> Rodenbeck, Jay B.
3 PM	

-----Original Appointment-----

From: Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

Sent: Friday, April 8, 2022 11:22 AM

To: Rodenbeck, Jay B.; Aranda, James M.; Trujillo, Concetta M.; Nick Alexander; Palmer, Jeffrey; Carey Slater; Webb, Robert L.

Subject: [EXT] Meeting about 43-acre site at 4600 Paseo del Norte NE

When: Friday, April 15, 2022 1:00 PM-2:00 PM (UTC-07:00) Mountain Time (US & Canada).

Where: <https://cabq.zoom.us/j/88558589310>

Jay Rodenbeck is inviting you to a scheduled Zoom meeting.

Join Zoom Meeting

<https://cabq.zoom.us/j/88558589310>



Rodenbeck, Jay B. <jrodenbeck@cabq.gov>

To Kaela Louie

Reply Reply All Forward

Thu 6/23/2022 10:33 AM

You replied to this message on 6/23/2022 10:42 AM.



**From:** Rodenbeck, Jay B. <>

**Sent:** Thursday, June 23, 2022 8:53 AM

**To:** 'Carey Slater' <Carey.Slater@americangypsum.com>; Wolfley, Jolene <jwolfley@cabq.gov>; Webb, Robert L. <rwebb@cabq.gov>

**Subject:** FW: Contacts for American Gypsum Project

**From:** Rodenbeck, Jay B. <>

**Sent:** Monday, April 18, 2022 4:47 PM

**To:** 'Maggie Guy' <maggie.guy@industrial-ally.com>; Carey Slater <Carey.Slater@americangypsum.com>; Webb, Robert L. <rwebb@cabq.gov>

**Cc:** Cade Kiddoo <Cade.Kiddoo@americangypsum.com>; Scott Turek <sturek@eaglematerials.com>

**Subject:** RE: Contacts for American Gypsum Project

Good afternoon Maggie,

Per our meeting on Friday, staff informed your team that you will need to apply for a Major Site Plan Amendment – DRB for your proposed development at 4600 Paseo del Norte NE. Before you apply for your Major Site Plan Amendment – DRB, you need to apply for a Pre-Application meeting with City staff such as a Sketch Plan or a PRT to go over your application. Because your Major Site Plan Amendment – DRB would be heard by the DRB, I would recommend applying for a Sketch Plan, which would also be heard by the DRB. While applying for a Sketch Plan, you can also apply for your Archaeological Certificate, which is a requirement for Major Site Plan Amendment – DRB applications which are larger than 5 acres in size (like this site). The following are the application forms and submittal requirements for a Sketch Plan and an Archaeological Certificate:

**Sketch Plan:**

1. Completed and signed/dated application sheets (Development\_Review\_Application and Form S2 are attached to this message)
2. Zone Atlas map with the entire site clearly outlined and labeled (attached to this message)
3. Letter describing, explaining, and justifying the request.
4. Scale drawing of the proposed subdivision plat.
5. Site sketch with measurements showing structures, parking, building setbacks, adjacent rights-of-way and street improvements, if there is any existing land use.
6. A PDF file of the complete application, including all plans and documents, emailed to me and to [PlanningDRB@cabq.gov](mailto:PlanningDRB@cabq.gov) . For files larger than 9 MB in size, please send an email to [PlanningDRB@cabq.gov](mailto:PlanningDRB@cabq.gov) and request that staff send you a link via Smartfile to upload the files to.

The application fee is \$51. You can pay the fee online once you submit your application submittal and our clerks accept the application submittal.

**Archaeological Certificate:**

1. Completed and signed/dated application sheets (DRB\_EPC\_Application and Form P3 are attached to this message)
2. Zone Atlas map with the entire site clearly outlined and labeled (attached to this message)
3. Include a letter of authorization from the property owner if the application is submitted by an agent.
4. Fill out the "date, subject, and submitted by" sections of the attached blank Archaeological Certificate form.
5. A PDF file of the complete application, including all plans and documents, emailed to me and to [PlanningDRB@cabq.gov](mailto:PlanningDRB@cabq.gov) . For files larger than 9 MB in size, please send an email to [PlanningDRB@cabq.gov](mailto:PlanningDRB@cabq.gov) and request that staff send you a link via Smartfile to upload the files to.



The application fee is \$265.20. You can pay the fee online once you submit your application submittal and our clerks accept the application submittal. Once staff process your Archaeological Certificate application, we (staff) will distribute your application to the acting City Archaeologist for review. The acting City Archaeologist will then submit a completed Archaeological Certificate to City staff, which we will forward to you to include in your Major Site Plan Amendment – DRB.

**Major Site Plan Amendment - DRB:**

Once you have gone through a pre-application meeting such as the Sketch Plat with City staff and have received a completed Archaeological Certificate from the acting City Archaeologist, you can then apply for your Major Site Plan Amendment – DRB. For your Major Site Plan Amendment – DRB, on Form P2 you will need to submit the required items under “Major Amendment to Site Plan – DRB” as well as submit and receive approval on all the required items on Form P which Hydrology, Transportation, and Water Authority staff members require and receive each of their signatures on Form P. I would suggest contacting Ernest Armijo in Hydrology at [earmijo@cabq.gov](mailto:earmijo@cabq.gov), Jeanne Wolfenbarger in Transportation at [jwolfenbarger@cabq.gov](mailto:jwolfenbarger@cabq.gov), and Edwin Bergeron in the Water Authority at [ebergeron@abcwua.org](mailto:ebergeron@abcwua.org) to confirm their submittal and approval requirements on Form P.

You will also need to notify all affected Neighborhood Association representatives by both email and mail about the Major Amendment to Site Plan – DRB application as well as notify all property owners within 100 feet by mail. Attached are notification forms you will need to complete and send to the affected Neighborhood Association representatives and property owners. On the notification forms, you will need to note that the DRB meeting will be held remotely, and include the Zoom invitation link as follows: <https://cabq.zoom.us/j/81711919604>. You will also need to include the Zone Atlas Map sheet and at least one Site Plan sheet in your notifications.

In addition to the notifications, you will need to offer a neighborhood meeting to the affected Neighborhood Association representatives via email. Attached is a Neighborhood Meeting form which needs to be completed and sent to the affected Neighborhood Association representatives. If the affected Neighborhood Association representatives want a neighborhood meeting, you will need to contact Tyson Hummell in our ADR office at [thummell@cabq.gov](mailto:thummell@cabq.gov) and/or at (505) 768-4500 to schedule a facilitated neighborhood meeting.

To obtain the contact list of affected Neighborhood Association representatives, you need to contact the Office of Neighborhood Coordination at [once@cabq.gov](mailto:once@cabq.gov) and/or at 505-768-3334.

To obtain the contact list of property owners within 100 feet and the buffer map, you need to contact our main office line at (505) 924-3860.

I have also included a blank Sign Posting Agreement form as well for the Major Site Plan Amendment – DRB application. Once your Major Site Plan Amendment- DRB is accepted and processed by City staff, signs notifying the public of your Major Site Plan – DRB application will need to be posted within 15 days of your first DRB hearing along the frontages of streets/roadways fronting the site (at our office you will pick up blank signs to fill out).

I would first recommend applying for your Sketch Plan and Archaeological Certificate applications, then start working on your notifications, neighborhood meeting requests, and working with Hydrology, Transportation, and Water Authority staff members on the requirements for Form P (for the Major Site Plan Amendment – DRB submittal) once you have received DRB comments on your Sketch Plan.



**Jay Rodenbeck**

Planning Manager

o 505.924.3994

e [jrodenbeck@cabq.gov](mailto:jrodenbeck@cabq.gov)

[cabq.gov/planning](http://cabq.gov/planning)

# **007 PROOF OF NEIGHBORHOOD MEETING**

**From:** Carmona, Dalaina L. <[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov)>  
**Sent:** Thursday, September 30, 2021 9:58 AM  
**To:** Carey Slater <[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)>  
**Subject:** [EXT] 4600 Paseo del Norte Public Notice Inquiry

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Doyle	Kimbrough	<a href="mailto:newmexmba@aol.com">newmexmba@aol.com</a>	2327 Campbell Road NW		Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	<a href="mailto:peggynorton@yahoo.com">peggynorton@yahoo.com</a>	P.O. Box 70232		Albuquerque	NM	87197	5058509293	5053459567
District 4 Coalition of Neighborhood Associations	Daniel	Regan	<a href="mailto:dreganabq@gmail.com">dreganabq@gmail.com</a>	4109 Chama Street NE		Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffie	<a href="mailto:mgriffie@noreste.org">mgriffie@noreste.org</a>	PO Box 90986		Albuquerque	NM	87199	5052800082	
Alameda North Valley Association	Steve	Wentworth	<a href="mailto:anvanews@aol.com">anvanews@aol.com</a>	8919 Boe Lane NE		Albuquerque	NM	87113		5058973052
Alameda North Valley Association	Mark	Rupert	<a href="mailto:mwr505@hotmail.com">mwr505@hotmail.com</a>	909 Tijeras Avenue NW	#214	Albuquerque	NM	87102		5052702462

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



Confidentiality Notice: This e-mail, including all attachments is for the sole use of the intended recipient(s) and may contain confidential and privileged information. Any unauthorized review, use, disclosure or distribution is prohibited unless specifically provided under the New Mexico Inspection of Public Records Act. If you are not the intended recipient, please contact the sender and destroy all copies of this message.

**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Wednesday, September 29, 2021 4:33 PM

**To:** Office of Neighborhood Coordination <[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Fence Permit

Contact Name

Carey Slater

Telephone Number

(505) 346-2142

Email Address

[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)

Company Name

American Gypsum Company

Company Address

4600 Paseo del Norte

City

Albuquerque

State

NM

ZIP

87113

Legal description of the subject site for this project:

Zone Atlas Page D17

Physical address of subject site:

4600 Paseo del Norte

Subject site cross streets:

Paseo del Norte & Jefferson

Other subject site identifiers:

This site is located on the following zone atlas page:

---

NOTICE: This electronic mail message is intended exclusively for the recipient(s) to whom it is addressed. This message, together with any attachment(s), may contain confidential, privileged and/or proprietary information. Any unauthorized review, use, printing, retention, copying, disclosure, dissemination or distribution is strictly prohibited. If you have received this message in error, please immediately advise the sender by reply e-mail and delete all copies of this message. American Gypsum Company LLC disclaims all responsibility and liability for the accuracy and content of this attachment and for any damages or losses arising from any inaccuracies, errors, viruses (e.g., worms, trojan horses, etc.), or other items of a destructive nature, which may be contained in this email and its attachments and shall not be liable for direct, indirect, consequential or special damages in connection with this e-mail message or its attachments.

## Proposed Neighborhood Meeting: Site Plan Amendment

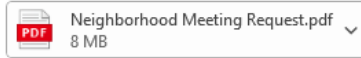


Maggie Guy

To [peggynorton@yahoo.com](mailto:peggynorton@yahoo.com); [newmexmba@aol.com](mailto:newmexmba@aol.com); [dlreganabq@gmail.com](mailto:dlreganabq@gmail.com); [mgriffie@noreste.org](mailto:mgriffie@noreste.org); [anvanews@aol.com](mailto:anvanews@aol.com)

Fri 4/22/2022 10:44 AM

[Reply](#) [Reply All](#) [Forward](#)  



Good morning,

Attached you will find a notice and associated information for a neighborhood meeting request regarding a major site amendment. This proposed project is to allow for additional modernized equipment to be installed at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM.

Should you like to attend the meeting or have any further questions regarding the proposed project don't hesitate to reach out.

Thank you,



**Maggie Guy**

Engineering Project Manager

[1422 Elbridge Payne Road, Suite 120](#)

[Chesterfield, MO 63017](#)

636-692-5595 x 8 (Office)

636-577-6695 (Cell)

636-778-9718 (Fax)

\*\*\*\* EXPERTISE WHEN YOU NEED IT MOST \*\*\*\*

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 4.21.22

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: North Valley Coalition

Name of NA Representative\*: Peggy Norton

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: peggynorton@yahoo.com

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: maggie.guy@industrial-ally.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

May 6th 2:00PM: Hampton Inn & Suites located at 4412 the 25 Way, Albuquerque, NM

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 4600 Paseo Del Norte  
Location Description \_\_\_\_\_
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* [if applicable] Maggie Guy, Industrial Ally
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Instillation of additional modernized equipment, including maintenance structure

to expand the lifespan of the plant operation

5. This type of application will be decided by<sup>\*</sup>:  City Staff  
OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  Development Review Board (DRB)
  - Landmarks Commission (LC)  Environmental Planning Commission (EPC)
  - City Council
6. Where more information about the project can be found<sup>\*4</sup>:  
Contact Owner's Engineer Representative, Maggie Guy, at [maggie.guy@industrial-ally.com](mailto:maggie.guy@industrial-ally.com) or (636)-692-5595 X 8

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>\*5</sup> D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:  
 Deviation(s)       Variance(s)       Waiver(s)  
Explanation:  
No exceptions have been requested, this project is limited to expanding in way of an  
equipment enclosure on an existing paved area.
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] 43.39 acres
  - b. IDO Zone District Atlas Page D-17-Z, Zone NR-GM
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] Industrial manufacturing
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: newmexmba@aol.com [Other Neighborhood Associations, if any]

dlreganabq@gmail.com

mgriffee@noreste.org

anvanews@aol.com

\_\_\_\_\_

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



**Industrial Ally**  
Engineering and Construction Services

# American Gypsum Pre-Application Review

04.21.2022

***EXPERTISE WHEN YOU NEED IT MOST***

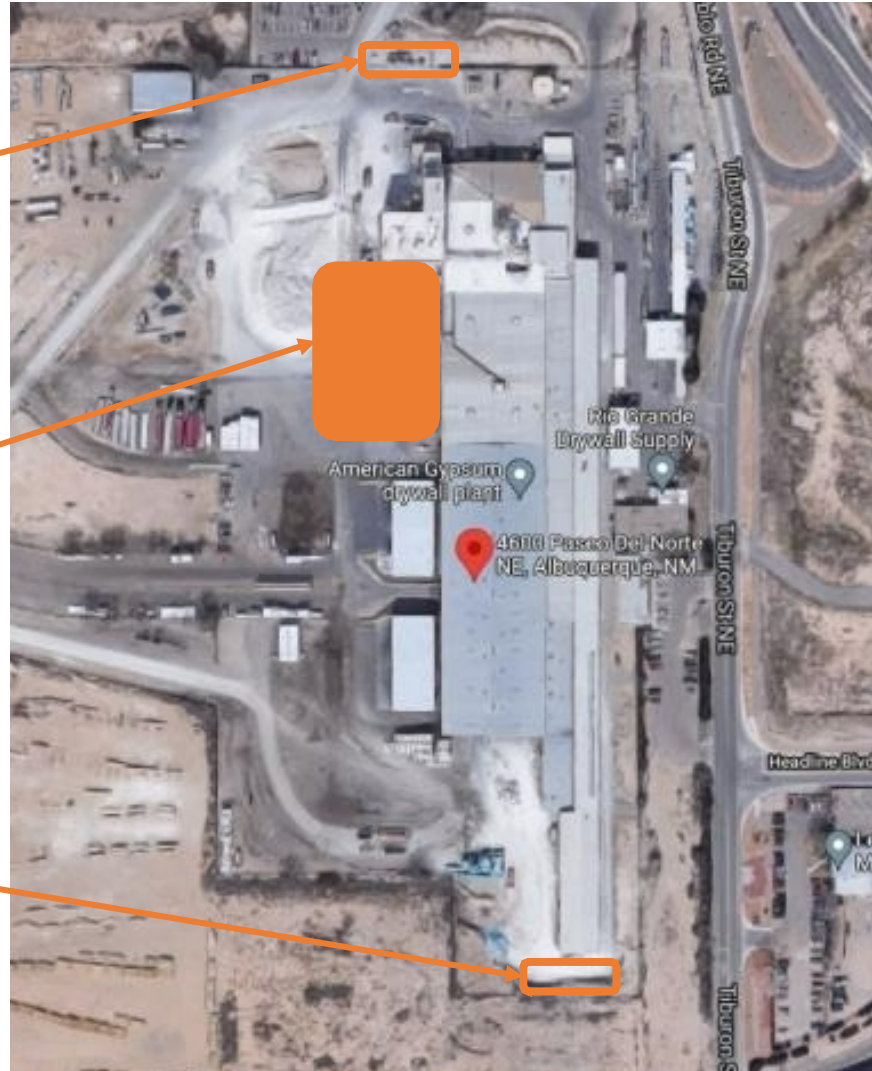
# 4600 Paseo Del Norte NE



- Plant Originally Built in 1960's
  - Capacity Increase & Modernization in Late 1990's
- First American Gypsum Plant
  - Purchased in 1985 by Centex/American Gypsum
- Current Employment:
  - 84 Total Employees - 71 Hourly, 13 Salaried
  - This Plant Supports Another 25 Employees Shared with Bernalillo
- Manufacture Approximately 23 Different Types of Gypsum Wallboard with 83 SKU's
- Production Capacity Over 429 Million Square Feet per Year



# American Gypsum Wallboard Modernization Project



Elec. Substation  
(to be expanded)

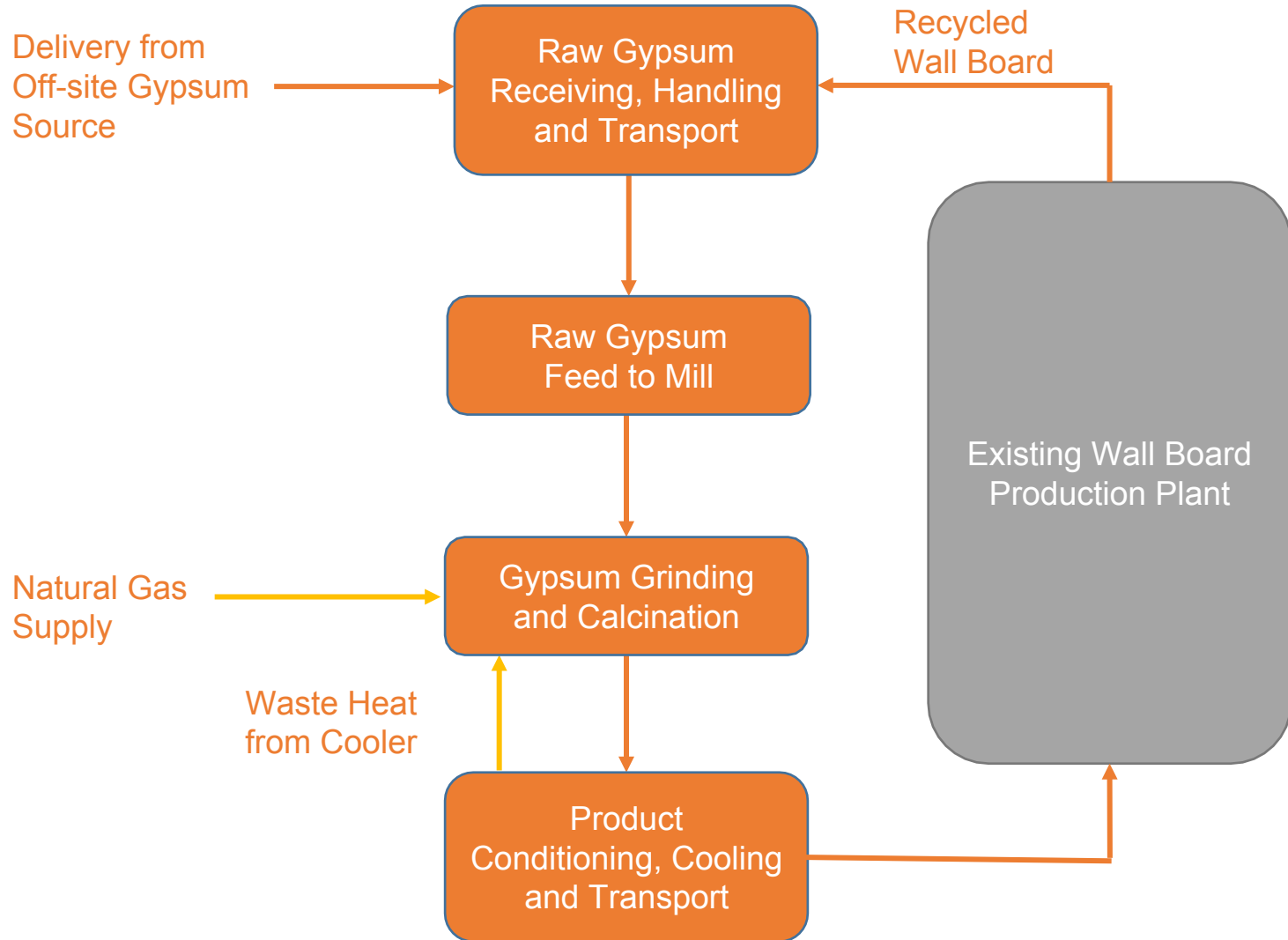
Main  
Project Area

Recycle Area

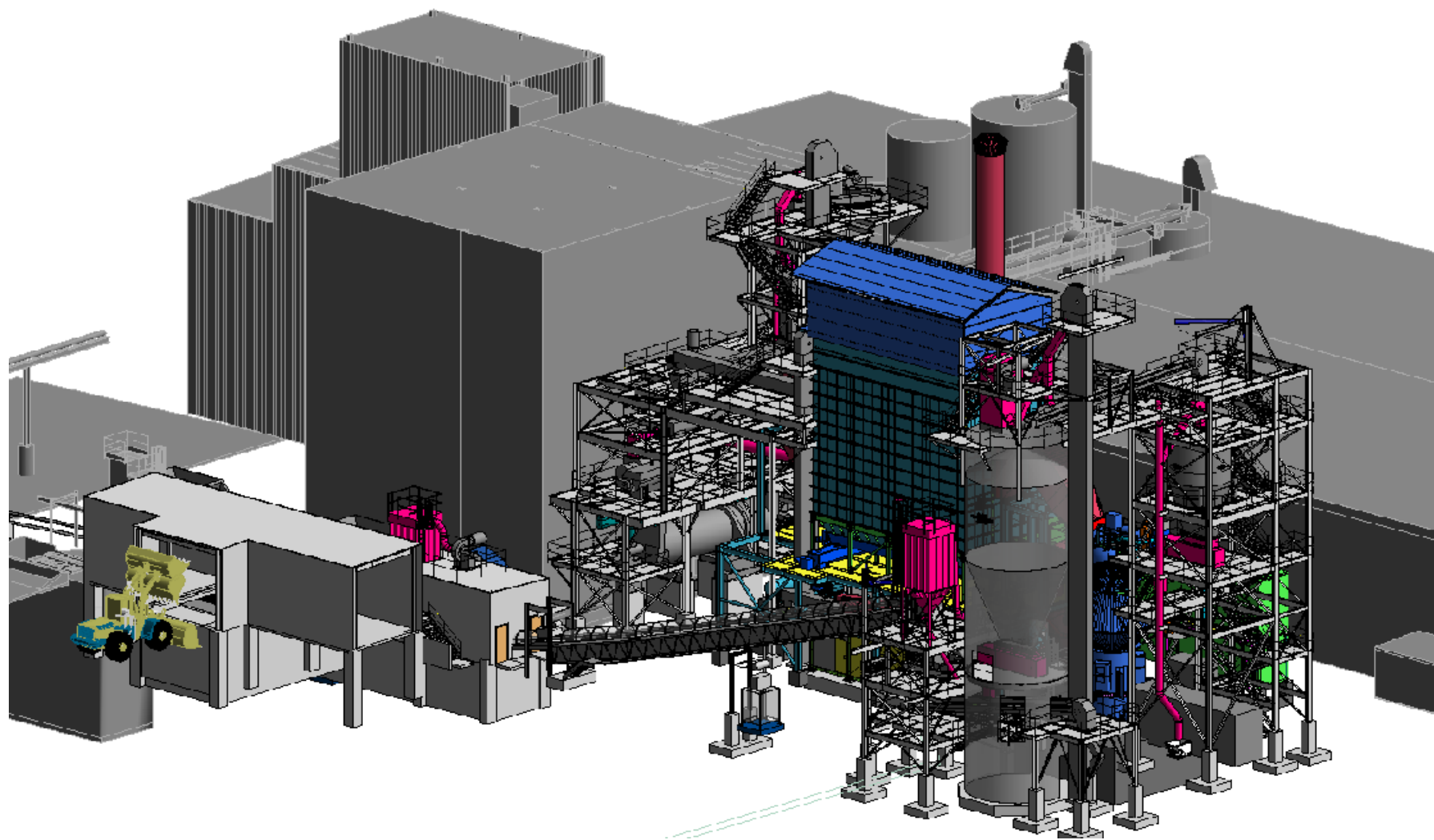
## Project Goals:

- ♣ Maintain exist. production rates
- ♣ Increase lifespan of plant
- ♣ Improve reliability and quality

# Process Block Flow



# Plant Overall Looking Northeast

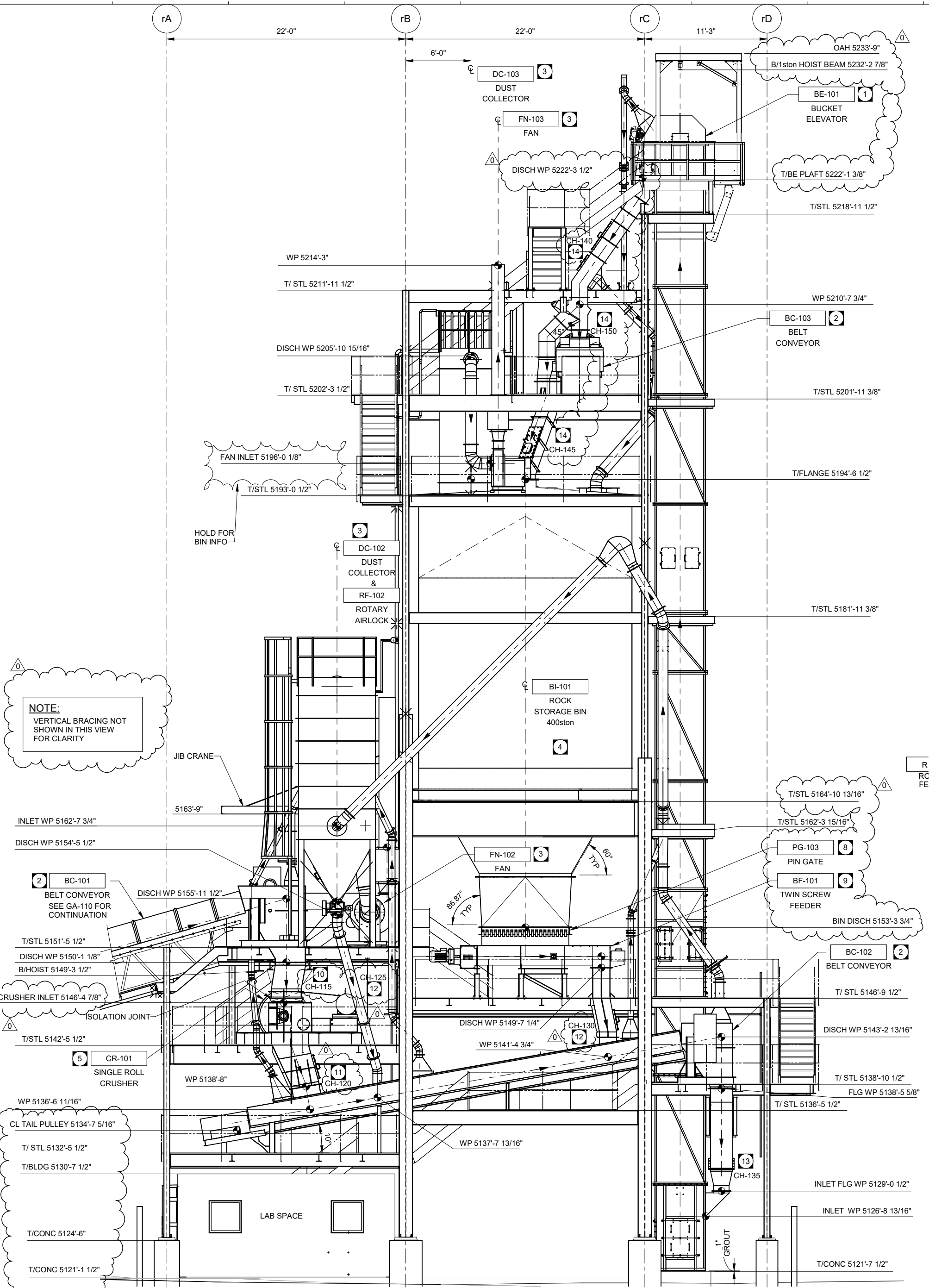


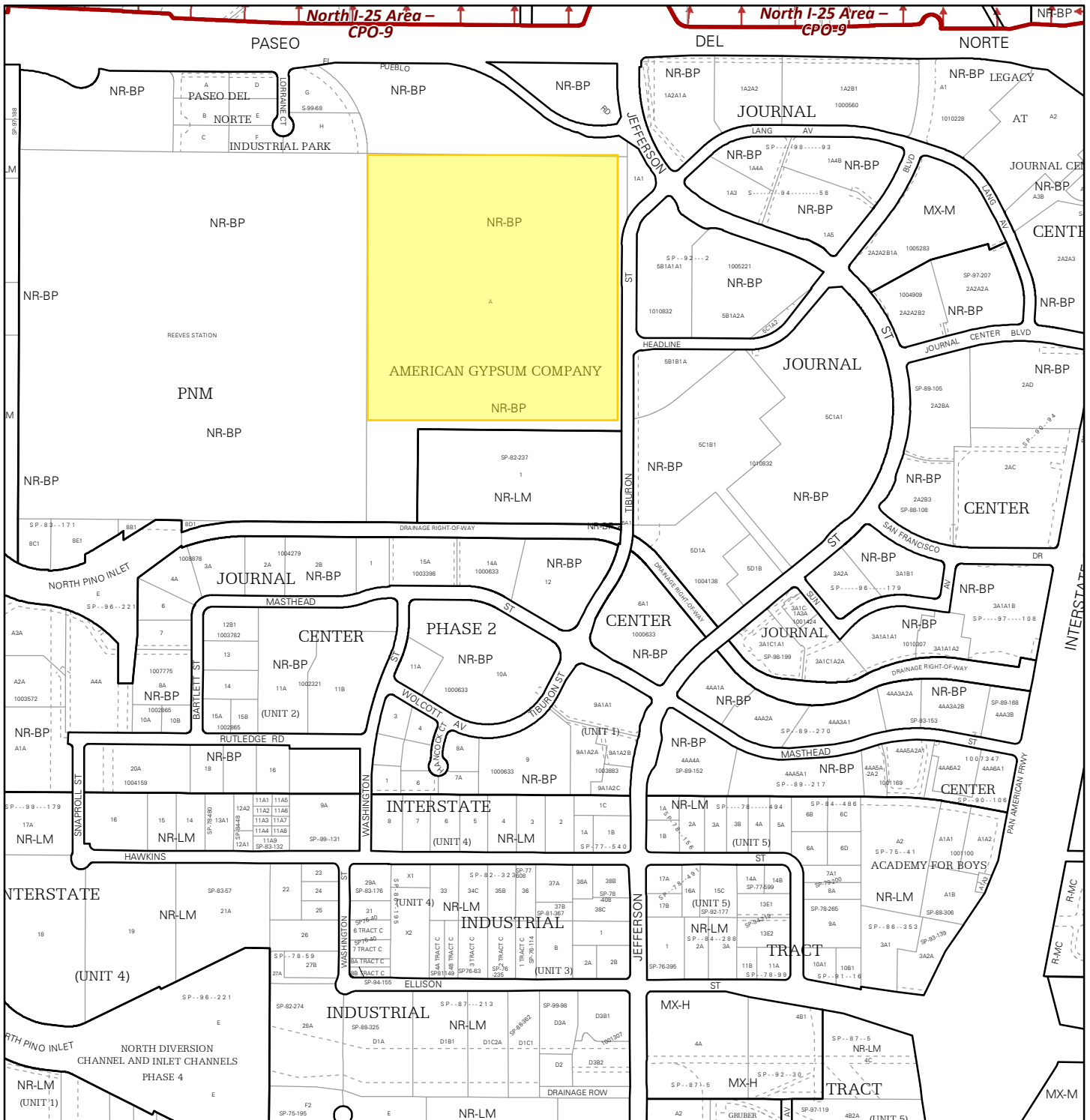
# Integrated Development Ordinance





# Highest Elevation Point





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

## IDO Zone Atlas May 2018

**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**D-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

North Arrow

Scale: 0 250 500 1,000 Feet

**IDO Pre-Submittal Neighborhood Meeting  
 American Gypsum Company  
 4600 Paseo del Norte, Albuquerque NM 87113  
 Mill Modernization Project - Vertical Roller Mill Installation**

**Meeting Date: Friday, May 6, 2022  
 Meeting Location: Hampton Inn & Suites  
 4412 the 25 Way, Albuquerque NM  
 Meeting Time: 2:00 PM**

**\*\*\*Please Note This Meeting Will Be Recorded\*\*\***

	Name (First & Last)	Email Address	Neighborhood Association
1	CADE KLDDOO	CADE.KLDDOO@AMERICANGYPSUM.COM	AMERICAN GYPSUM
2	CAREY SLATER	CAREY.SLATER@AMERICANGYPSUM.COM	AMERICAN GYPSUM
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			

# **08 SIGN POSTING AGREEMENT**

# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from \_\_\_\_\_ To \_\_\_\_\_

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
\_\_\_\_\_  
(Applicant or Agent)

9/7/2022  
\_\_\_\_\_  
(Date)

I issued \_\_\_\_\_ signs for this application, \_\_\_\_\_, \_\_\_\_\_  
(Date) (Staff Member)

**PROJECT NUMBER:** \_\_\_\_\_

**From:** Carmona, Dalaina L. <[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov)>  
**Sent:** Thursday, September 30, 2021 9:58 AM  
**To:** Carey Slater <[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)>  
**Subject:** [EXT] 4600 Paseo del Norte Public Notice Inquiry

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	Address Line 2	City	State	Zip	Mobile Phone	Phone
North Valley Coalition	Doyle	Kimbrough	<a href="mailto:newmexmba@aol.com">newmexmba@aol.com</a>	2327 Campbell Road NW		Albuquerque	NM	87104	5052490938	5053441364
North Valley Coalition	Peggy	Norton	<a href="mailto:peggynorton@yahoo.com">peggynorton@yahoo.com</a>	P.O. Box 70232		Albuquerque	NM	87197	5058509293	5053459567
District 4 Coalition of Neighborhood Associations	Daniel	Regan	<a href="mailto:dreganabq@gmail.com">dreganabq@gmail.com</a>	4109 Chama Street NE		Albuquerque	NM	87109	5052802549	
District 4 Coalition of Neighborhood Associations	Mildred	Griffie	<a href="mailto:mgriffie@noreste.org">mgriffie@noreste.org</a>	PO Box 90986		Albuquerque	NM	87199	5052800082	
Alameda North Valley Association	Steve	Wentworth	<a href="mailto:anvanews@aol.com">anvanews@aol.com</a>	8919 Boe Lane NE		Albuquerque	NM	87113		5058973052
Alameda North Valley Association	Mark	Rupert	<a href="mailto:mwr505@hotmail.com">mwr505@hotmail.com</a>	909 Tijeras Avenue NW	#214	Albuquerque	NM	87102		5052702462

**PLEASE NOTE:** The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project. Please use this online link to find the required forms you will need to submit. <https://www.cabq.gov/planning/urban-design-development/public-notice>. Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s): <http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido#page=393>

Thanks,



*Dalaina L. Carmona*

Senior Administrative Assistant  
Office of Neighborhood Coordination  
Council Services Department  
1 Civic Plaza NW, Suite 9087, 9<sup>th</sup> Floor  
Albuquerque, NM 87102  
505-768-3334

[dlcarmona@cabq.gov](mailto:dlcarmona@cabq.gov) or [ONC@cabq.gov](mailto:ONC@cabq.gov)

Website: [www.cabq.gov/neighborhoods](http://www.cabq.gov/neighborhoods)



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**From:** [webmaster=cabq.gov@mailgun.org](mailto:webmaster=cabq.gov@mailgun.org) [<mailto:webmaster=cabq.gov@mailgun.org>] **On Behalf Of** [webmaster@cabq.gov](mailto:webmaster@cabq.gov)

**Sent:** Wednesday, September 29, 2021 4:33 PM

**To:** Office of Neighborhood Coordination <[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)>

**Cc:** Office of Neighborhood Coordination <[onc@cabq.gov](mailto:onc@cabq.gov)>

**Subject:** Public Notice Inquiry Sheet Submission

Public Notice Inquiry For:

Other (please specify in field below)

If you selected "Other" in the question above, please describe what you are seeking a Public Notice Inquiry for below:

Fence Permit

Contact Name

Carey Slater

Telephone Number

(505) 346-2142

Email Address

[Carey.Slater@americangypsum.com](mailto:Carey.Slater@americangypsum.com)

Company Name

American Gypsum Company

Company Address

4600 Paseo del Norte

City

Albuquerque

State

NM

ZIP

87113

Legal description of the subject site for this project:

Zone Atlas Page D17

Physical address of subject site:

4600 Paseo del Norte

Subject site cross streets:

Paseo del Norte & Jefferson

Other subject site identifiers:

This site is located on the following zone atlas page:

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NOTICE: This electronic mail message is intended exclusively for the recipient(s) to whom it is addressed. This message, together with any attachment(s), may contain confidential, privileged and/or proprietary information. Any unauthorized review, use, printing, retention, copying, disclosure, dissemination or distribution is strictly prohibited. If you have received this message in error, please immediately advise the sender by reply e-mail and delete all copies of this message. American Gypsum Company LLC disclaims all responsibility and liability for the accuracy and content of this attachment and for any damages or losses arising from any inaccuracies, errors, viruses (e.g., worms, trojan horses, etc.), or other items of a destructive nature, which may be contained in this email and its attachments and shall not be liable for direct, indirect, consequential or special damages in connection with this e-mail message or its attachments.



[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: North Valley Coalition

Name of NA Representative\*: Peggy Norton

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: peggynorton@yahoo.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* 4600 Paseo Del Norte  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* [if applicable] Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

#### Summary of project/request<sup>2</sup>\*: \_\_\_\_\_

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*:

- Zoning Hearing Examiner (ZHE)                       Development Review Board (DRB)
- Landmarks Commission (LC)                       Environmental Planning Commission (EPC)

Date/Time\*: October 19th, 2022, Time is TBD

Location\*<sup>3</sup>: ZOOM Meeting

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

By contacting Kaela Louie at [kaela.louie@industrial-ally.com](mailto:kaela.louie@industrial-ally.com) or 636-692-5595 x29

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

- Deviation(s)                       Variance(s)                       Waiver(s)

Explanation\*:

A separate sidewalk waiver will be submitted to waive the 6' foot sidewalk requirement  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

The meeting was held on May 6th 2022, but none of the neighborhood associations were in attendance.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 54.12
- 2. IDO Zone District NR-GM
- 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
- 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: newmexmba@aol.com, dlreganabq@gmail.com, mgriffee@noreste.org [Other Neighborhood Associations, if any]  
anvanews@aol.com, mwr505@hotmail.com

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**North Valley Coalition**

**ATTN: Doyle Kimbrough**

**2327 Campbell Road NW**

**Albuquerque, NM 87104**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Doyle Kimbrough,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

9/8/2022

**District 4 Coalition**

**ATTN: Mildred Griffiee**

**PO Box 90986**

**Albuquerque, NM 87199**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Mildred Griffiee,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

9/8/2022

**District 4 Coalition**

**ATTN: Daniel Regan**

**4109 Chama Street NE**

**Albuquerque, NM 87109**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Daniel Regan,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

9/8/2022

**North Valley Coalition**

**ATTN: Peggy Norton**

**PO Box 70232**

**Albuquerque, NM 87197**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Peggy Norton,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

9/8/2022

**Alameda North Valley Association**

**ATTN: Mark Rupert**

**909 Tijeras Avenue NW**

**Albuquerque, NM 87102**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Mark Rupert,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

9/8/2022

**Alameda North Valley Association**

**ATTN: Steve Wentworth**

**8919 Boe Lane NE**

**Albuquerque, NM 87113**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Steve Wentworth,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

Industrial Ally, Inc.  
1422 Eldridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Mark Rupert  
908 Tijeras Ave NW  
R 214  
Albuquerque NM 87102

Industrial Ally, Inc.  
1422 Eldridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Misara Office  
PO Box 40986  
Albuquerque NM 87199

Industrial Ally, Inc.  
1422 Eldridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Steve Winters  
8919 Bol Lane NE  
Albuquerque NM 87113

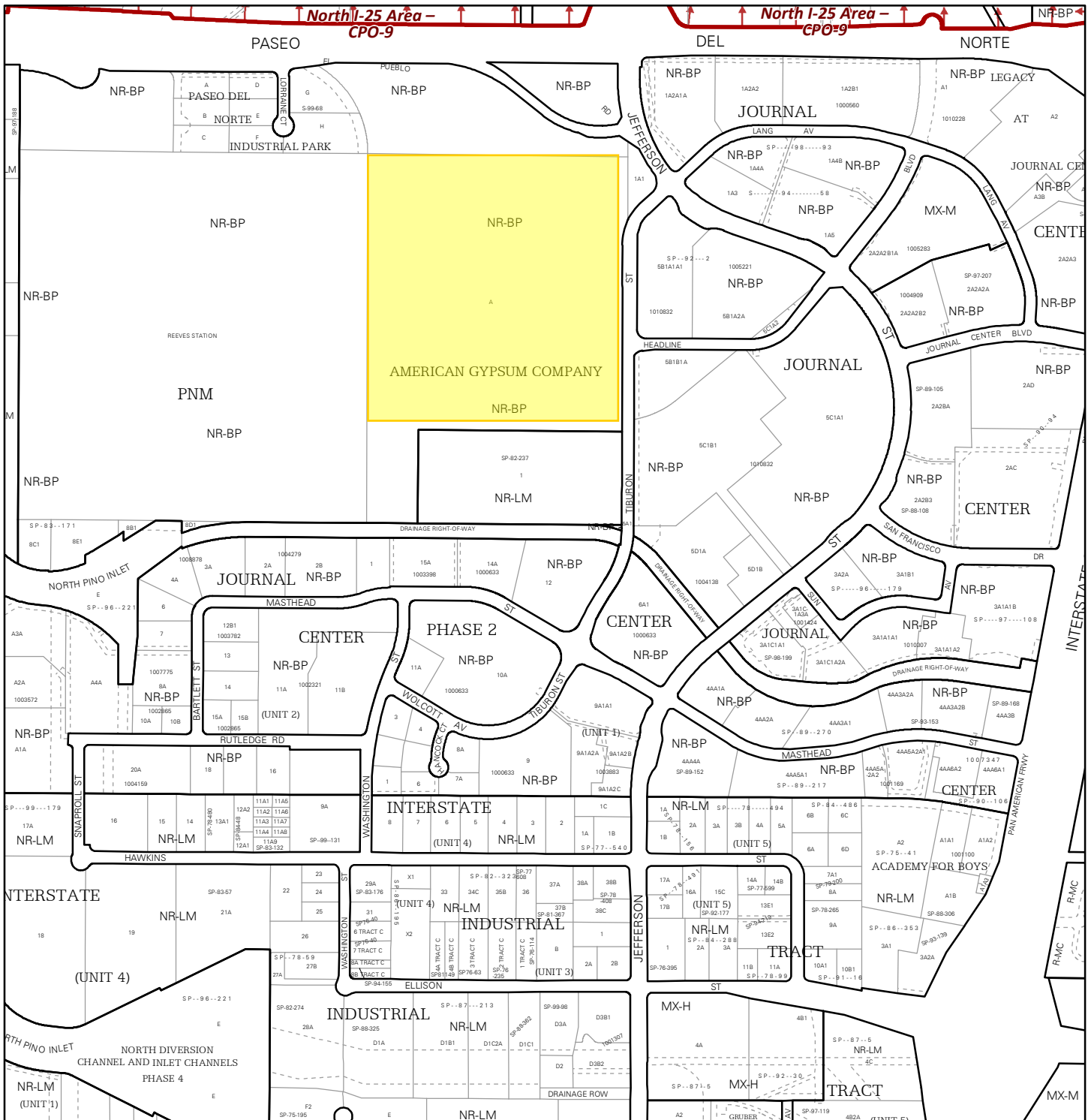
Industrial Ally, Inc.  
1422 Eldridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Deyle Kimbrough  
2377 Campbell Rd NW  
Albuquerque NM 87109

Industrial Ally, Inc.  
1422 Eldridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Peggy Norton  
PO Box 70232  
Albuquerque NM 87107






For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

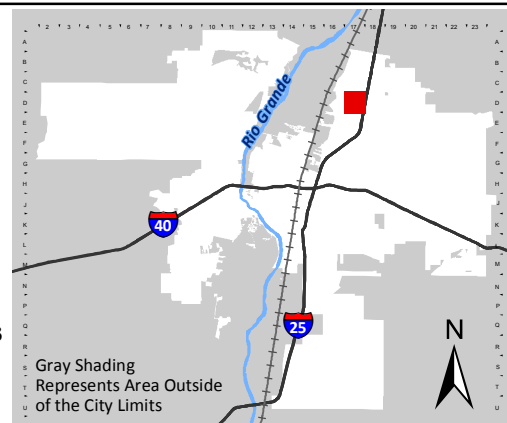
## IDO Zone Atlas

### May 2018











**IDO Zoning information as of May 17, 2018**  
The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).

Zone Atlas Page:  
**D-17-Z**



Gray Shading  
Represents Area Outside  
of the City Limits

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

Feet

0    250    500    1,000



**Tim Keller, Mayor**



April 26, 2019

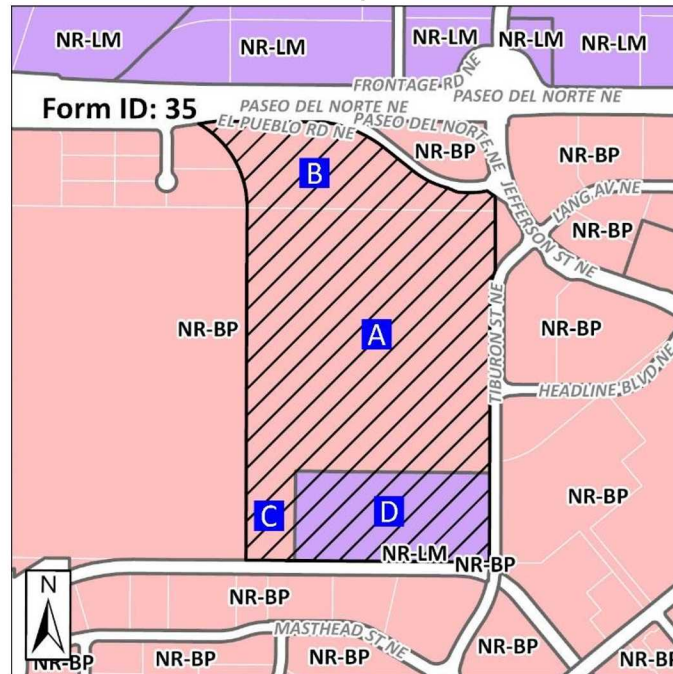
Dear property owner,

The Planning Department has received the Request and Agreement Form for a voluntary zoning conversion for the property indicated in the table below. This process was authorized by City Council through [Resolution 18-29](#) directing the Planning Department to create a process for property owners to opt in to a one-year, voluntary zone conversion process at no cost to the property owner.

The table below provides an overview of the requested conversion and Planning staff recommendations. See map on the next page to confirm the area recommended for conversion (the subject property).

<b>Zoning Conversion Request</b>	
Form ID (for your reference)	35A
Applicant Name	Steven Wentzel
Subject Property Address	4600 Paseo del Norte NE
Zip Code	87109
Owner Name*	AMERICAN GYPSUM INC
Owner Address*	3811 TURTLE CREEK BLVD SUITE 1200 DALLAS TX 75219-4424
Legal Description*	TR OF LAND IN E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (EXCLPORT OUT TO R/W) CONT 43.3900;
UPC Code*	101706325338020199
Current Zoning**	NR-BP
Requested Zoning	NR-GM
* From 2018 Bernalillo County Assessor records	
** From the City of Albuquerque Official Zoning Map	
<b>Staff Recommendation</b>	
Recommended Zone District	NR-GM
Criteria 1 – Nonconforming Use	Yes
Criteria 2 – Voluntary Downzone	No
Criteria 3 – Floating Zone Line	No
Criteria 4 – Prior Special Use Zoning	No
Criteria 5 – Size Thresholds	No
Notes	The existing use on the property is heavy manufacturing and became nonconforming with the adoption of the IDO. Heavy manufacturing is first allowed as a permissive primary use in the NR-GM zone district, so NR-GM is an appropriate zone conversion.

## Map



*The subject property is indicated with hatching.*

The recommended zoning conversion described above will be included in the follow-up zoning conversion process. It will be submitted as a group with other properties that also qualify for this process. The application is anticipated to be submitted in May 2019, for an EPC Hearing in July 2019. You are not required to attend the hearing, but you are welcome to send in written comments and/or attend the hearing to observe or give verbal comments. EPC Hearings start at 8:30 am and are held in the Basement Hearing Room in the Plaza del Sol building, 600 2<sup>nd</sup> St. NW. More information about the agenda will be sent out in our email newsletter, or you can find it on the City webpage: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>.

If you included an email address in your request, it has been added to our email list. You will receive periodic project update email newsletters at that address. Those updates will also be posted on the ABC-Z project webpage. If you would like to add or change your email address in our records, please contact us using any of the methods described below.

If you would like to talk to Planning Staff about the recommended conversion, if you have any concerns about the information in this letter or the map, or if you would like to opt out of this process, please email [abctoz@cabq.gov](mailto:abctoz@cabq.gov), visit the project website [www.abc-zone.com](http://www.abc-zone.com), or phone the Planning Department at (505) 924-3860 and ask to speak to someone on the ABC-Z Planning Team.

Sincerely,

Long Range Planning Staff, City of Albuquerque

Email: [abctoz@cabq.gov](mailto:abctoz@cabq.gov)

Phone: 505-924-3860

Web: [www.abc-zone.com](http://www.abc-zone.com)

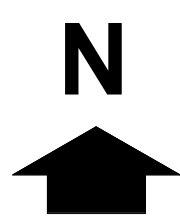
CC:

Steve Wentzel c/o AMERICAN GYPSUM INC, 3811 TURTLE CREEK BLVD SUITE 1200 DALLAS TX 75219-4424

Steve Wentzel, [steve.wentzel@americangypsum.com](mailto:steve.wentzel@americangypsum.com)

Asset Management, [jaim@assetmanagementnm.com](mailto:jaim@assetmanagementnm.com)

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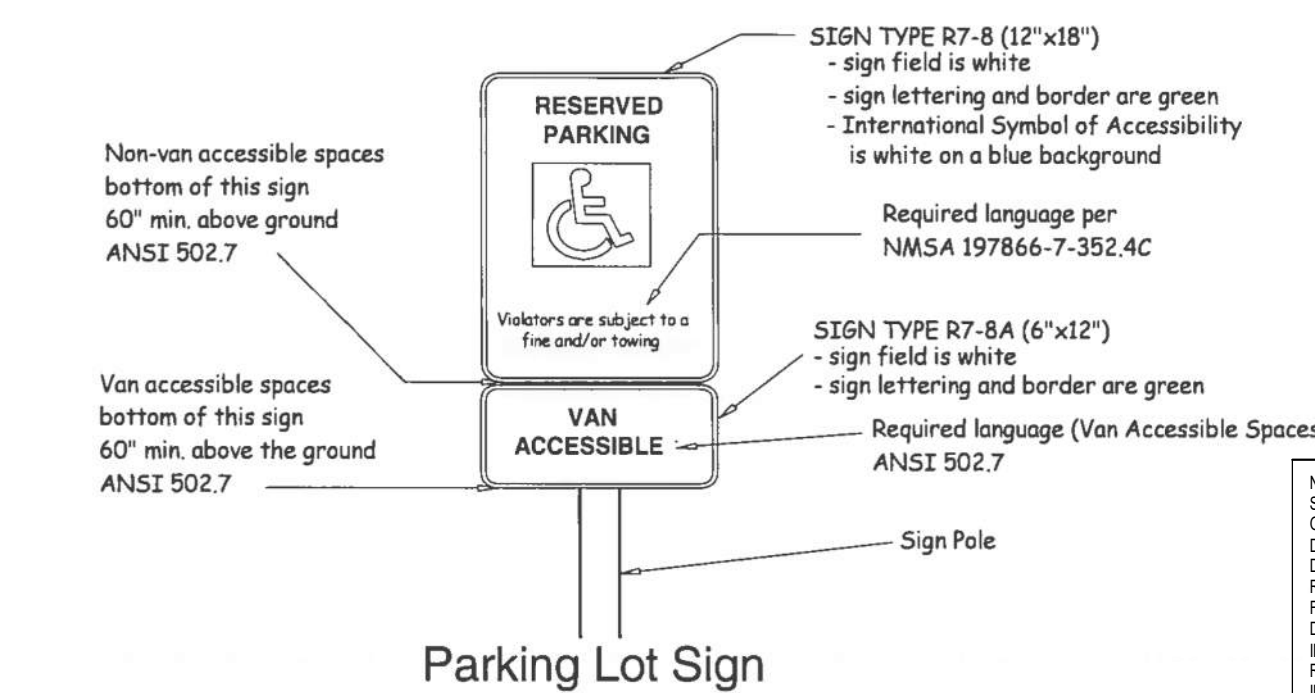
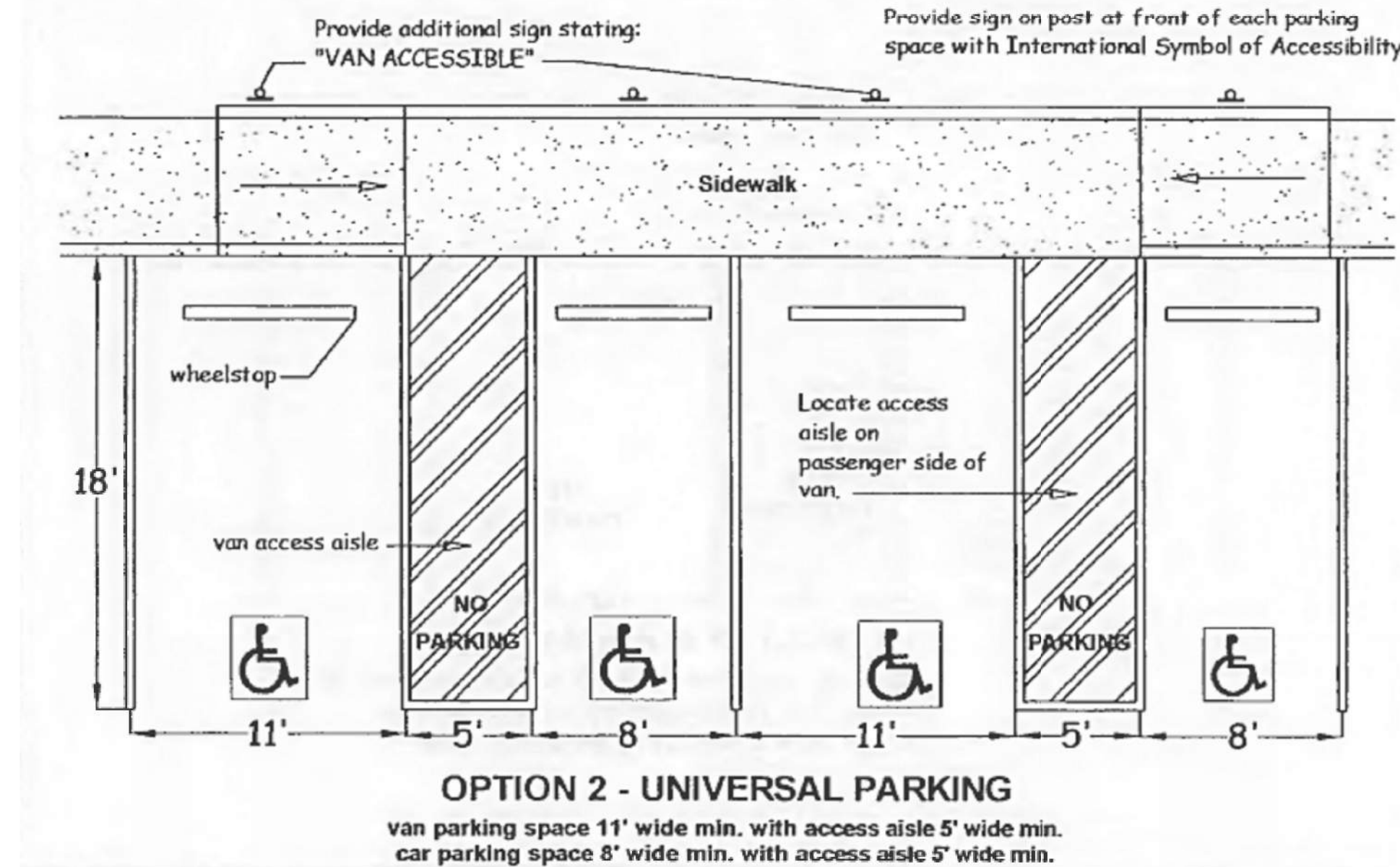
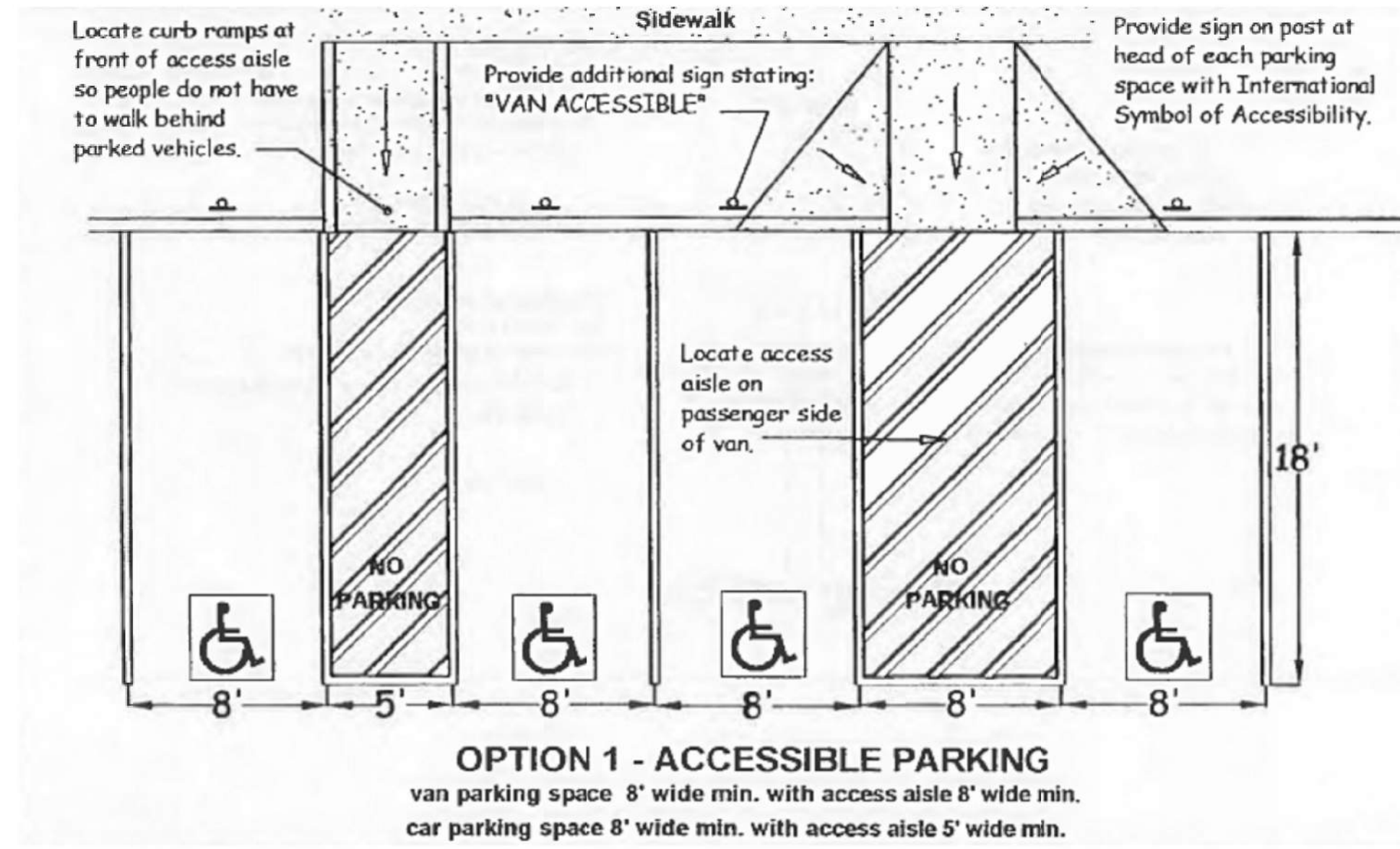
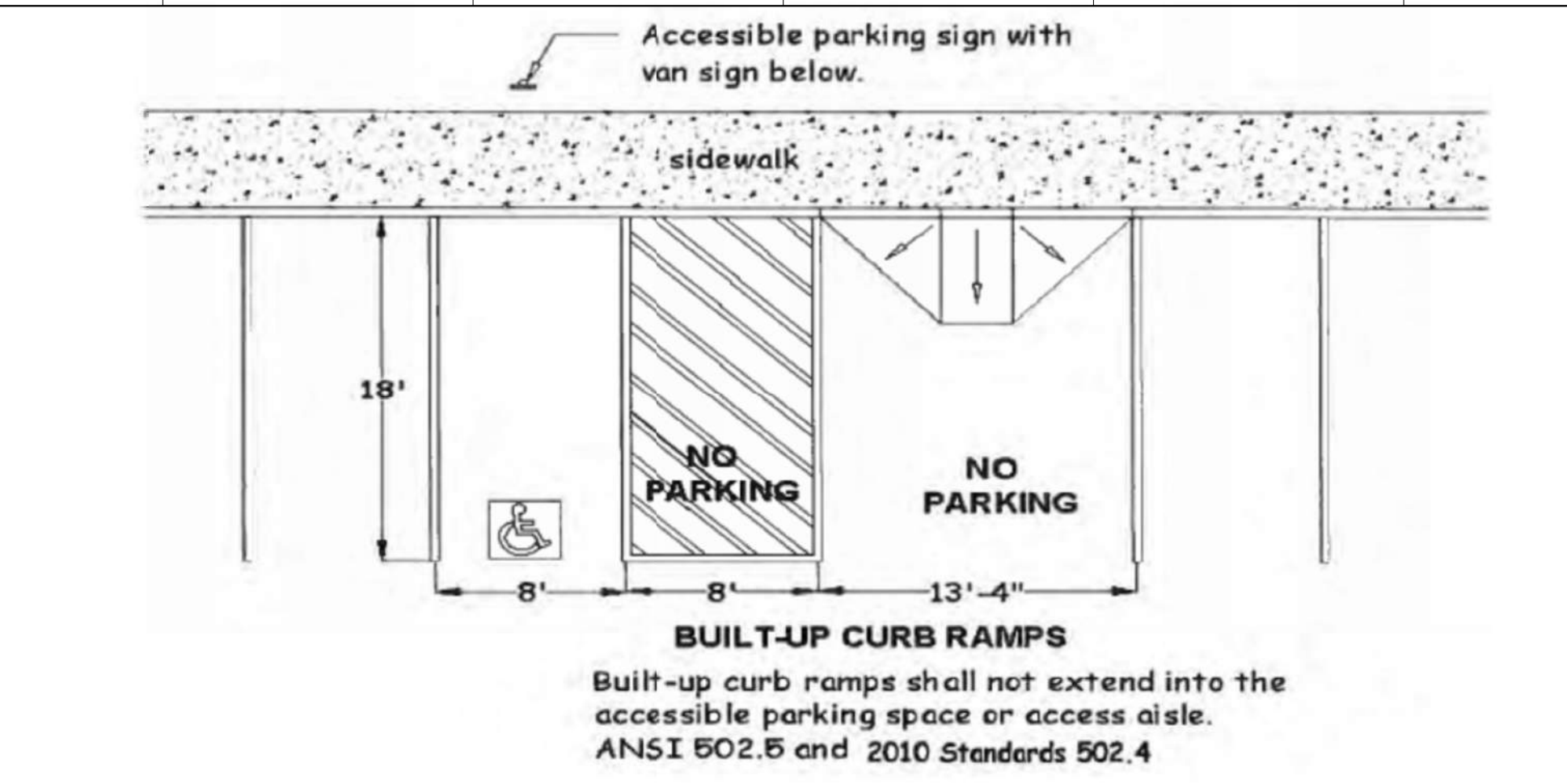


### TRAFFIC CIRCULATION LAYOUT

1" = 50'-0"

EXISTING PARKING SPACES		
TOTAL PARKING SPACES INCLUDING ACCESSIBLE SPACES	TOTAL ACCESSIBLE SPACES INCLUDING VAN ACCESSIBLE SPACES	TOTAL VAN ACCESSIBLE SPACES
69	4	1

NMBC TABLE 1106.1 - NUMBER OF ACCESSIBLE PARKING SPACES			
NMBC Table 1106 is based on 66-7-352.4 NMSA 1978 and provides more accessible parking in smaller lots than IBC 1106.1 and 2010 Standards.			
TOTAL PARKING SPACES	TOTAL REQUIRED ACCESSIBLE PARKING SPACES	NUMBER REQUIRED TO BE VAN ACCESSIBLE (IBC 1106.5 Van Parking)	NOTES
1-25	1	1	
26-35	2	1	
36-50	3	1	
51-100	4	1	
101-500	8	2	
501-800	12	2	
801-1,000	16	3	
Over 1,000	20 spaces plus 1 space for every 100 spaces, or fraction thereof, over 1,000	1 of every 6 accessible parking spaces, or fraction thereof	



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 NOT FOR CONSTRUCTION



DATE: 09/12/22  
 NAME: DANA ALWINDAW  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 28595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

DESIGNED: MCV DATE: 06/15/22  
 DRAWN: APV DATE: 06/15/22  
 CHECKED: MCV DATE: 06/15/22  
 SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
 Engineering and Construction Services

1422 Elbridge Payne Rd, Suite 120  
 Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL**  
**OVERALL PLANT**  
**CIVIL**  
**TRAFFIC CIRCULATION LAYOUT**

IA DRAWING NUMBER	
<b>1576-CC-111</b>	
CLIENT DRAWING NUMBER	
REV. <b>0</b>	DWG. SCALE: As indicated

# SITE DATA

**LEGAL DESCRIPTION**  
 LOT 'A' LAND OF AMERICAN GYPSUM COMPANY

**AREA**  
 1,949,631 SF / 44.5739 ACRES PER JULY 2014 BOUNDARY SURVEY  
 1,860,066.4 SF / 43.39 ACRES PER ABO GIS  
 APPROX 28 ACRES REMAIN UNDEVELOPED  
 EXISTING STRUCTURES ON SITE OCCUPY 218,566 SF  
 TOTAL STRUCTURE AREA PROPOSED 233,696 SF  
 350,504 SF OF EXISTING ASPHALT PAVING

**ZONING**  
 ZONED "IP" PER 1987 ANNEXATION AGREEMENT

**USE**  
 MANUFACTURING, DISTRIBUTION, AND WAREHOUSING OF GYPSUM PRODUCTS

**PROPOSED STRUCTURES**  
 15,140 SF GYPSUM RECEIVING, HANDLING, AND MILL OPERATIONS

# PARKING CRITERIA

1 PER 3 EMPLOYEES ON LARGEST SHIFT  
 = 48.3 = 16 SPACES

OFFICE AREA = 16,342 / 200 = 82 SPACES

WAREHOUSE = 69,912 / 2,000 SF = 45 SPACES

TOTAL = 143 SPACES

LESS CITY BUS REDUCTION = 14 SPACES

TOTAL REQUIRED = 129 SPACES

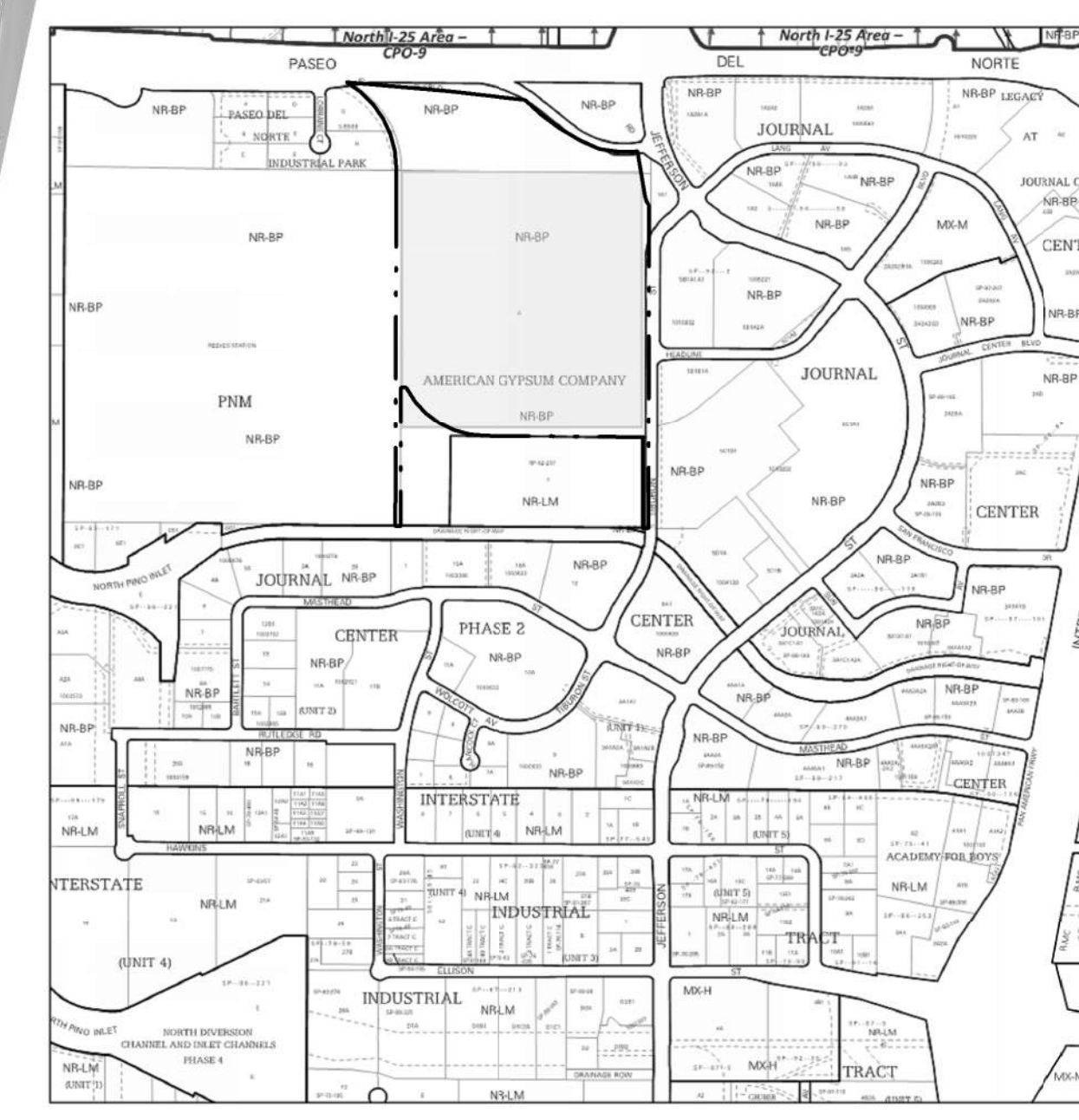
TOTAL PROVIDED = 69 SPACES

INCLUDES (4) ACCESSIBLE SPACES  
 INCLUDES (1) VAN ACCESSIBLE SPACE

BICYCLE RACK RAILING @ GUARDSHACK FOR 20-30 SPACES

# STRUCTURES

- 1 (E) MAIN BUILDING DRYWALL, MANUFACTURING, OFFICES, & WAREHOUSE 175,766 SF
- 2 (E) OFFICE BUILDING 3,433 SF
- 3 (E) OFFICE BUILDING 4,343 SF
- 4 (E) WAREHOUSE 3,200 SF
- 5 (E) OPEN STORAGE SHED 675 SF
- 6 (E) OPEN STORAGE SHED 2,067 SF
- 7 (E) OPEN STORAGE SHED 1,455 SF
- 8 (E) OPEN STORAGE SHED 3,423 SF
- 9 (E) OPEN STORAGE SHED 404 SF
- 10 (E) GUARD SHACK 320 SF
- 11 (E) MAINTENANCE SHOP 3,880 SF
- 12 (E) MANUFACTURING BUILDING 5,670 SF
- 13 (E) OPEN STORAGE SHED 7,000 SF
- 14 (E) OPEN STORAGE SHED 7,000 SF
- 15 (P) GYPSUM RECEIVING EQUIPMENT & STRUC 3,860 SF
- 16 (P) GYPSUM HANDLING EQUIPMENT & STRUC 620 SF
- 17 (P) MILL OPERATIONS EQUIPMENT & STRUC 11,460 SF
- 18 (P) LOAD TARPING AREA ROOF 6,000 SF



**SITE DEVELOPMENT PLAN**  
 1" = 100'-0"

LEGEND			
(E)	EXISTING	(LD)	LED LIGHTING HEIGHT ABOVE GRADE
(P)	PROPOSED	(X'X')	INCANDESCENT LIGHTING HEIGHT ABOVE GRADE
---	PROPERTY LINE	(M)	METAL HALIDE LIGHTING HEIGHT ABOVE GRADE
---	EASEMENT		
---	FENCE		

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DATE: 09/12/22  
 NAME: DANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 26595

REV	DATE	DESCRIPTION	ISSUED FOR PERMIT	BY	CHK	APP
0	09/12/22			JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
 DRAWN: APV DATE: 06/15/22  
 CHECKED: MCW DATE: 06/15/22  
 SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
 Engineering and Construction Services

1422 Ebridge Payne Rd, Suite 120  
 Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL**  
**OVERALL PLANT**  
**CIVIL**  
**SITE DEVELOPMENT PLAN**

IA DRAWING NUMBER  
**1576-CC-121**  
 CLIENT DRAWING NUMBER

REV. **0** DWG. SCALE: **1" = 100'-0"**



LANDSCAPE NOTES:  
Street Landscaping,  
Street Trees, Shrubs

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	HxS	H2O USE
<b>Trees</b>				
8	2" cal	Chinaberry <i>Melia azedarach umbraculiformis</i>	25x20	L
1	2" cal	Netleaf Hackberry <i>Celtis reticulata</i>	25x25	L
8	2" cal	Honey Mesquite <i>Prosopis glandulosa</i>	30x30	L+
16	2" cal	Desert Willow <i>Chilopsis linearis</i>	20x25	L
12	2" cal	Jujube or Chinese Date <i>Zizyphus jujuba</i>	25x25	L+
20	2" cal	Scrubbean Mesquite <i>Prosopis pubescens</i>	20x20	L+
11	2" cal	Goldenball Leadtree <i>Leucaena retusa</i>	15x20	L+
82	Total Trees			

- 5567 Asphalt Bike Trail
- 54430 Native seed area
- 16021 2-4" Cobble, seed plating
- 38463 3/4" - 1" Gravel, seed plating

Proposed Fence  
Property Line

**GROUND TREATMENT NOTES:**

The area must be seeded with a native mix per City Standard specification 1012.3 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

ALL AREAS: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked.

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed.

Native-grass seed mix shall be 50%/50% (by weight) combination of *Bouteloua gracilis* "Hachita" Blue Grama, and *Buchloe dactyloides* - Buffalo grass / addition of Apache plum and *Chamaea* seeds) applied at a rate of 100#LBS/AC, or as specified on the plans.

Maintenance will be per City of Albuquerque Specification 1012.3.1 and 1012.3.2.

Contractor must seed the area during/after the first growing season.

**LANDSCAPE NOTES:**

It is the intent of this plan to provide an alternative landscape plan in lieu of the traditional IDO required landscape plan.

The AL6 (Alternative Landscape Plan) would provide a landscape buffer, approximately 20' wide, along the street frontage on the west starting at the railroad tracks, moving east along El Pueblo Rd., and continuing south along Tiburon St. to the south, ending at the railroad tracks.

Plantings proposed are the City's recommended tree list.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netleaf apricot (100' length) with 3 loops at a final radius of 6' from tree trunk, pinned in place. Netleaf shall have emitters 12" o.c. with a flow of 1 gph. Drip and Bubbler systems to be tied to 1/2" poly pipe with rain caps at each end.

Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

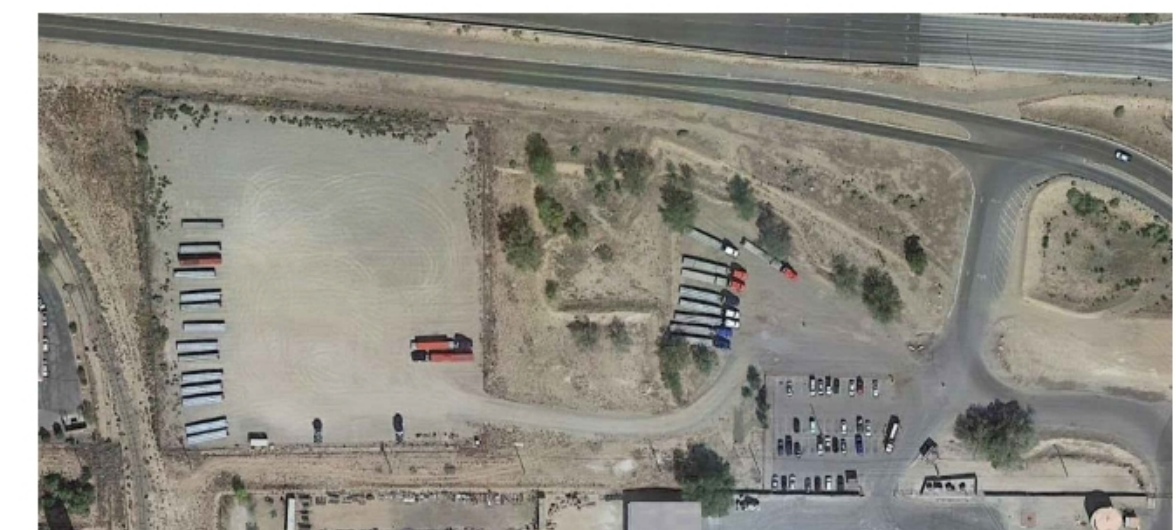
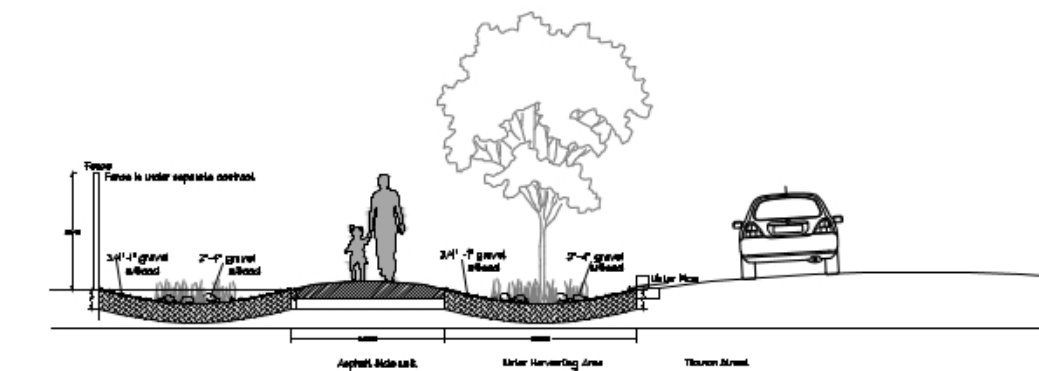
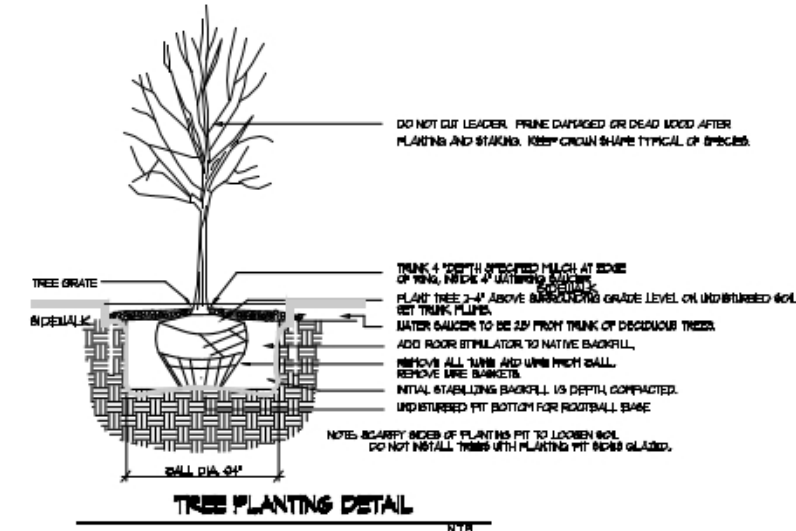
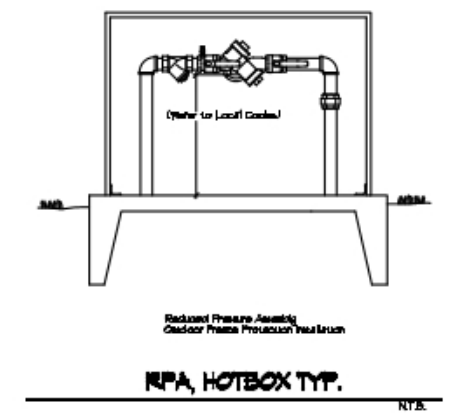
Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

No Irrigation system for native seeding areas is required.



Scrubbean Mesquite



Honey Mesquite



Chinaberry



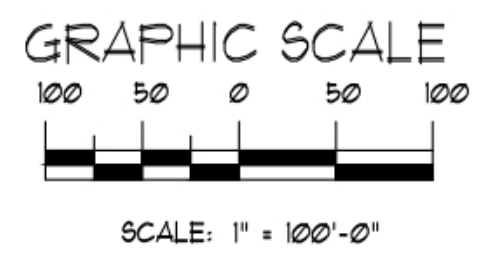
Netleaf Hackberry



Goldenball Lead tree

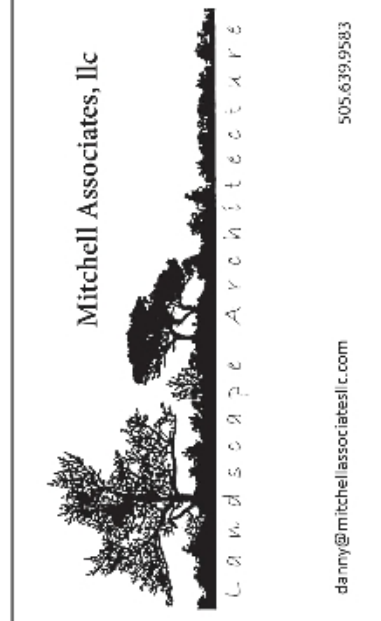


Chinese Date/ Jujube



**Alternative Landscape Plan**

**American Gypsum  
4600 Paseo del Norte  
Albuquerque, NM 87115**

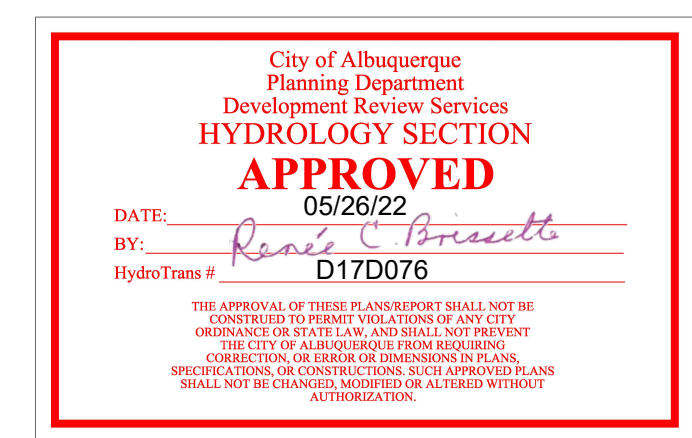
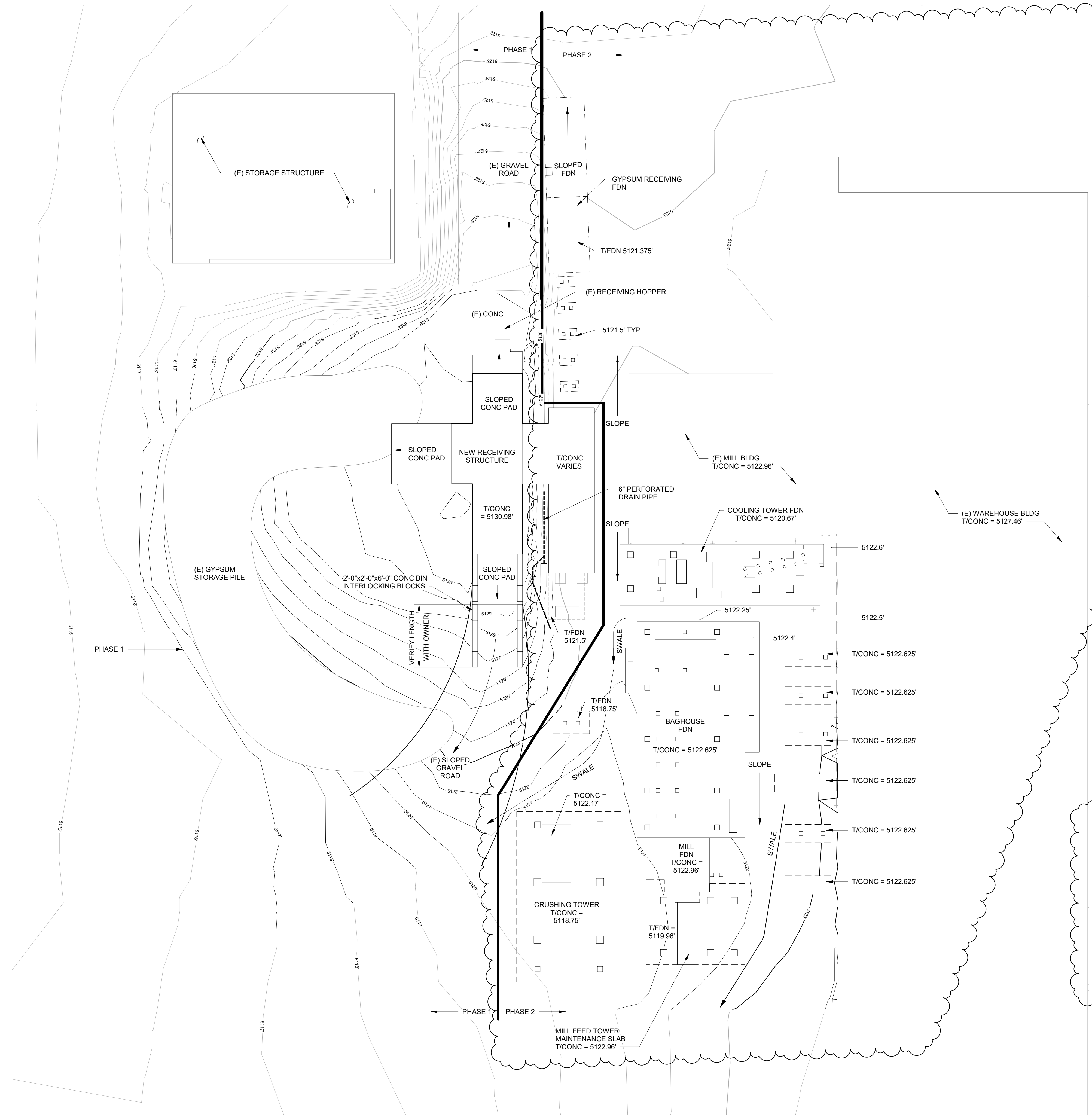


Seal:  
Landscape Architect  
STATE OF NEW MEXICO  
DANNY O. MITCHELL  
2358  
REGISTERED  
LANDSCAPE ARCHITECT  
August 15, 2022

DRAWING NO:  
**LS-101**

DESIGNED BY:	DATE:	REVISIONS
D. Mitchell		
Drawn By: Pariz	Date:	Comment
Approved By: dm		
Date:		
NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.		
File ID:		

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**NOTE:**  
 THE PROPOSED NEW CONSTRUCTION AREA IS LOCATED MAINLY WITHIN BASIN 'C' OF THE PREVIOUSLY PREPARED DRAINAGE PLAN BY BILLY O. MCCARTHY P.E. FOR GL ENGINEERING DATED 10/06/2014. THE PREVIOUS ANALYSIS CONSIDERED THE EASTERN HALF (50%) OF BASIN 'C', NEAREST THE BUILDINGS, AS IMPERVIOUS (LAND TREATMENT D). ONE OF THE NEW STRUCTURES IS ALSO LOCATED WITHIN BASIN 'D'. BASIN 'D' WAS CONSIDERED AS 75% IMPERVIOUS. ALL THE PROPOSED NEW CONSTRUCTION IS ENTIRELY WITHIN THE PORTIONS OF THE BASINS THAT WERE CONSIDERED IMPERVIOUS. THE EXISTING SURFACE COVER AT THE PROPOSED NEW CONSTRUCTION AREA CONSISTS MOSTLY OF ASPHALT PAVING WITH A SMALL PORTION OF THE AREA CONSISTING OF A GYPSUM AGGREGATE PILE. DUE TO THE STEEP SLOPES AND TENDENCY FOR THE ROCK PILE TO COMPACT IT WAS PREVIOUSLY CONSIDERED AS IMPERVIOUS. THEREFORE, SINCE THE NEW CONSTRUCTION WILL INVOLVE ONLY DISRUPTIONS AND MODIFICATIONS TO IMPERVIOUS AREAS ON THE SITE, THERE ARE NO ALTERATIONS REQUIRED TO THE EXISTING RETENTION POND CAPACITIES. A COPY OF THE PREVIOUS DRAINAGE PLANS ARE INCLUDED AS SHEET CC-108.

**N**  
 ENLARGED GRADING PLAN  
 1" = 20'-0"

**ISSUED FOR CONSTRUCTION**

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 DANA ALWINDAWY  
 NEW MEXICO  
 26595  
 PROFESSIONAL ENGINEER  
 Dana Alwindawy

AMERICAN GYPSUM		DESIGNED: MCW	DATE: 01/17/22
4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113		DRAWN: APV	DATE: 01/17/22
		CHECKED: MCW	DATE: 01/18/22
		SMACC APPR: -	DATE: -

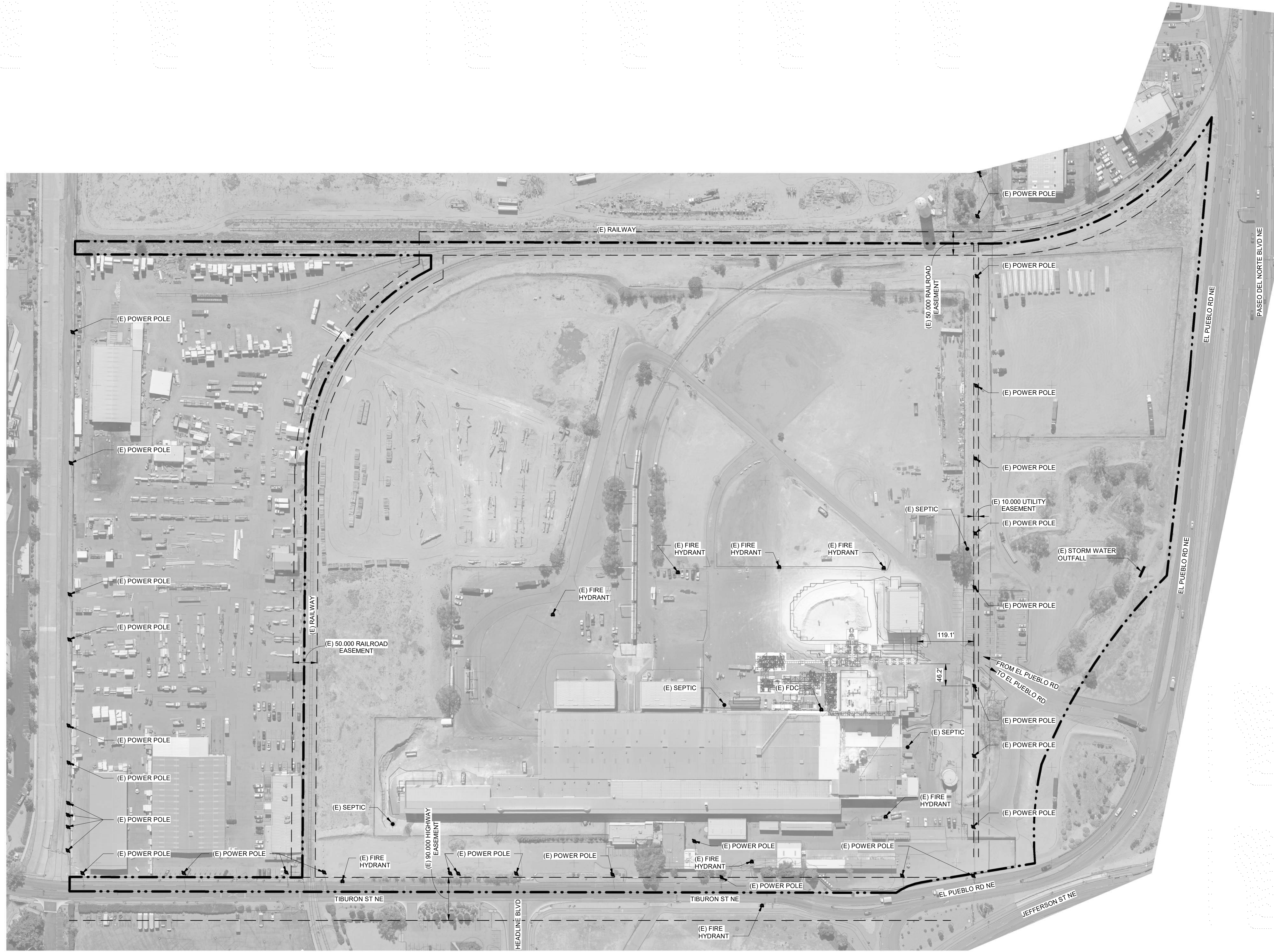
REV	DATE	DESCRIPTION
1	02/11/22	REVISED FOR PERMIT
0	11/01/21	ISSUED FOR CONSTRUCTION

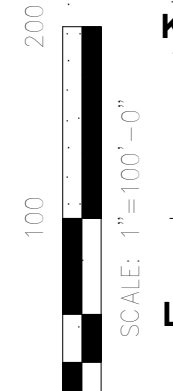
IA DRAWING NUMBER	1576-CC-104
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
1	As indicated

**VERTICAL GRINDING / CALCINING MILL  
 OVERALL PLANT  
 CIVIL  
 UPDATED GRADING PLAN**

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**N**  
**UTILITY PLAN**  
 1" = 100'-0"



**PRELIMINARY**  
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*Dana Alwindawny*

DATE: 09/12/22  
 NAME: DANA ALWINDAWNY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 26595

**VERTICAL GRINDING / CALCINING MILL**  
**OVERALL PLANT**  
**CIVIL**  
**UTILITY PLAN**

IA DRAWING NUMBER	
<b>1576-CC-122</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>1" = 100'-0"</b>

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

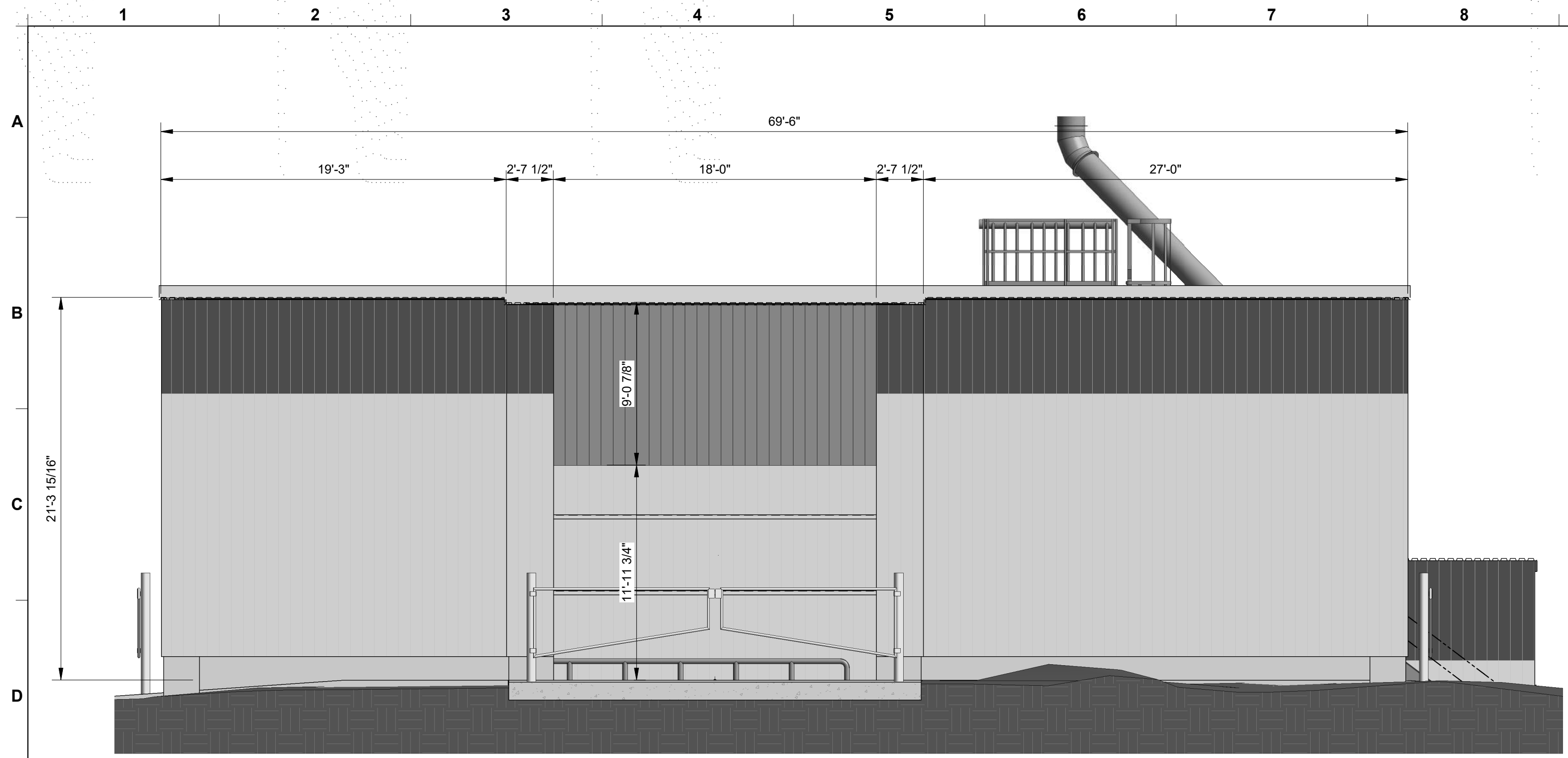
DESIGNED: MCW	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCW	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21

**Industrial Ally**  
 Engineering and Construction Services  
 1422 Elbridge Payne Rd, Suite 120  
 Chesterfield, MO 63017

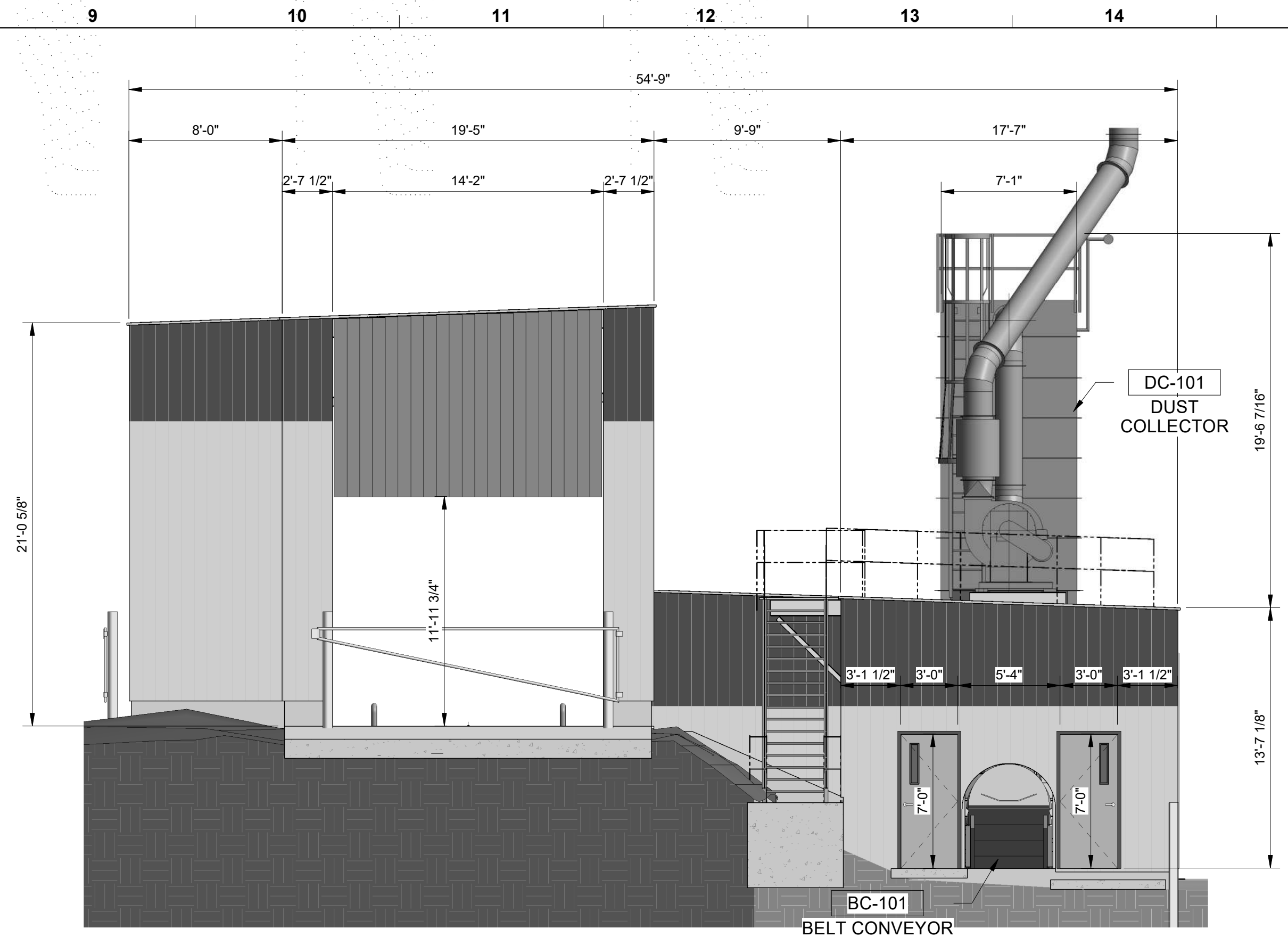
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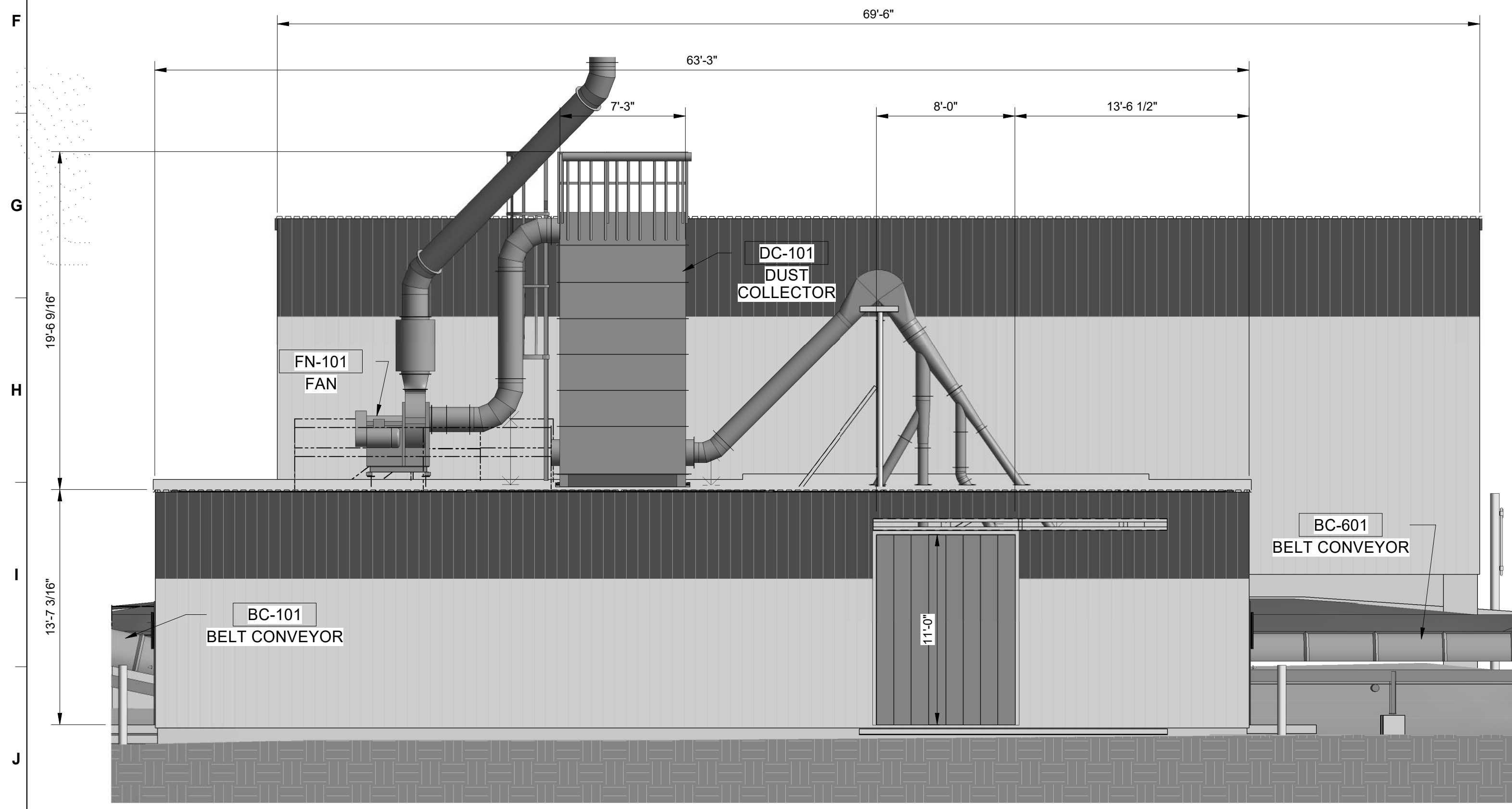
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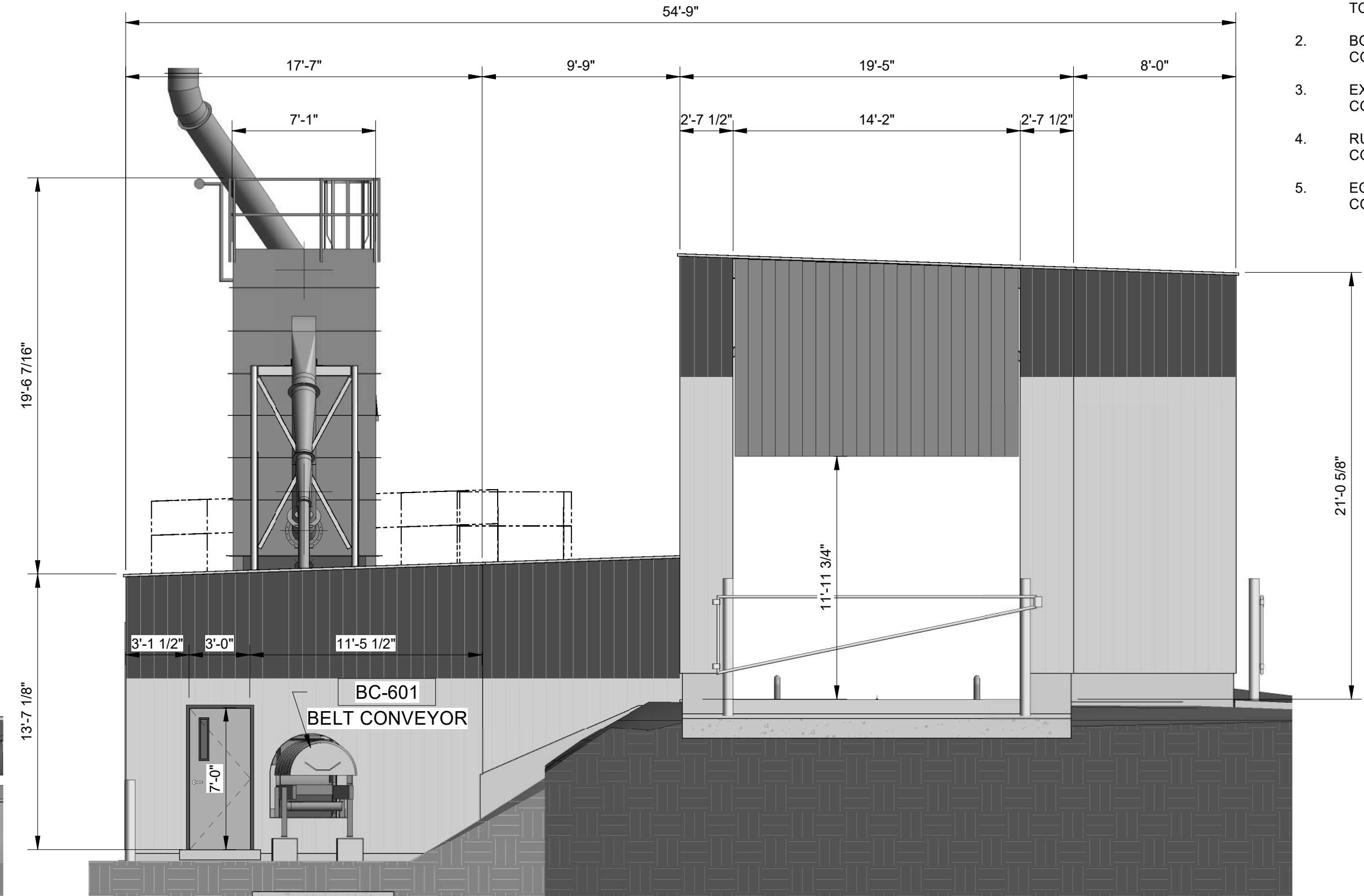
**GYPSUM RECEIVING WEST ELEVATION**  
3/16" = 1'-0"



**GYPSUM RECEIVING SOUTH ELEVATION**  
3/16" = 1'-0"

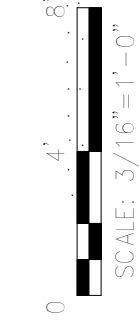


**GYPSUM RECEIVING EAST ELEVATION**  
3/16" = 1'-0"



**GYPSUM RECEIVING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING: COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL: COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR: COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN: COLOR: CLEAR.
  - EQUIPMENT: COLOR: TO BE DETERMINED.



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**DANA ALWINDAWY**  
NEW MEXICO  
28595  
PROFESSIONAL ENGINEER  
Dana Alwindawy

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 28595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



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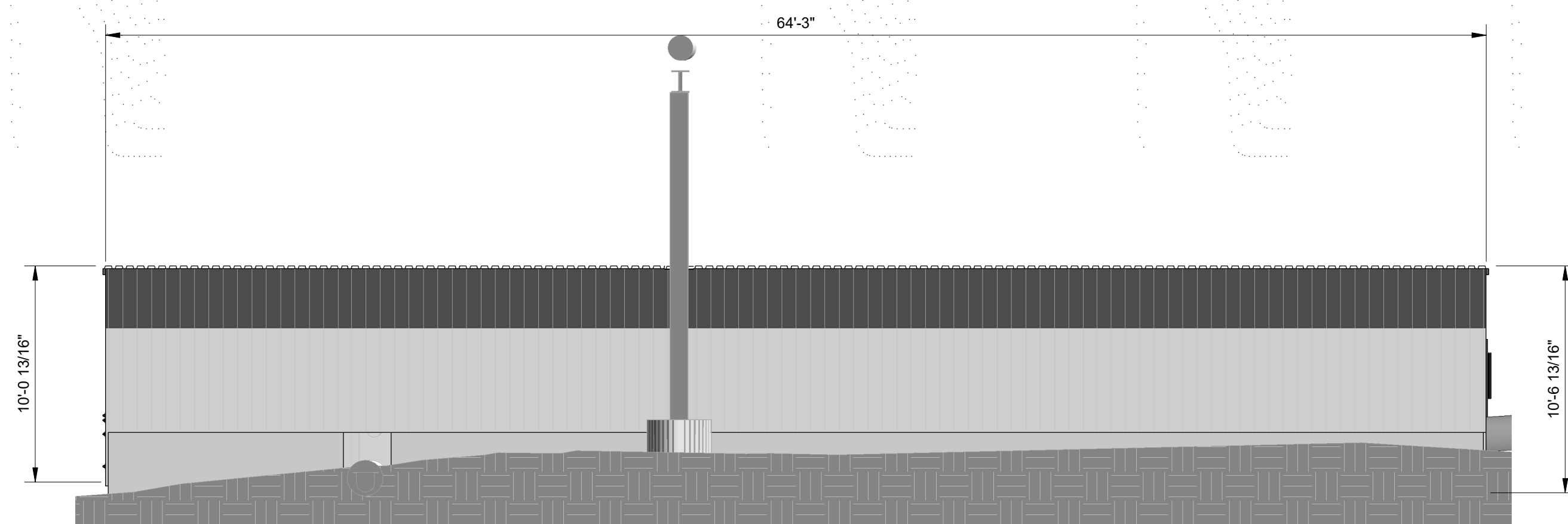
INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	<b>1576-CC-201</b>
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
0	3/16" = 1'-0"

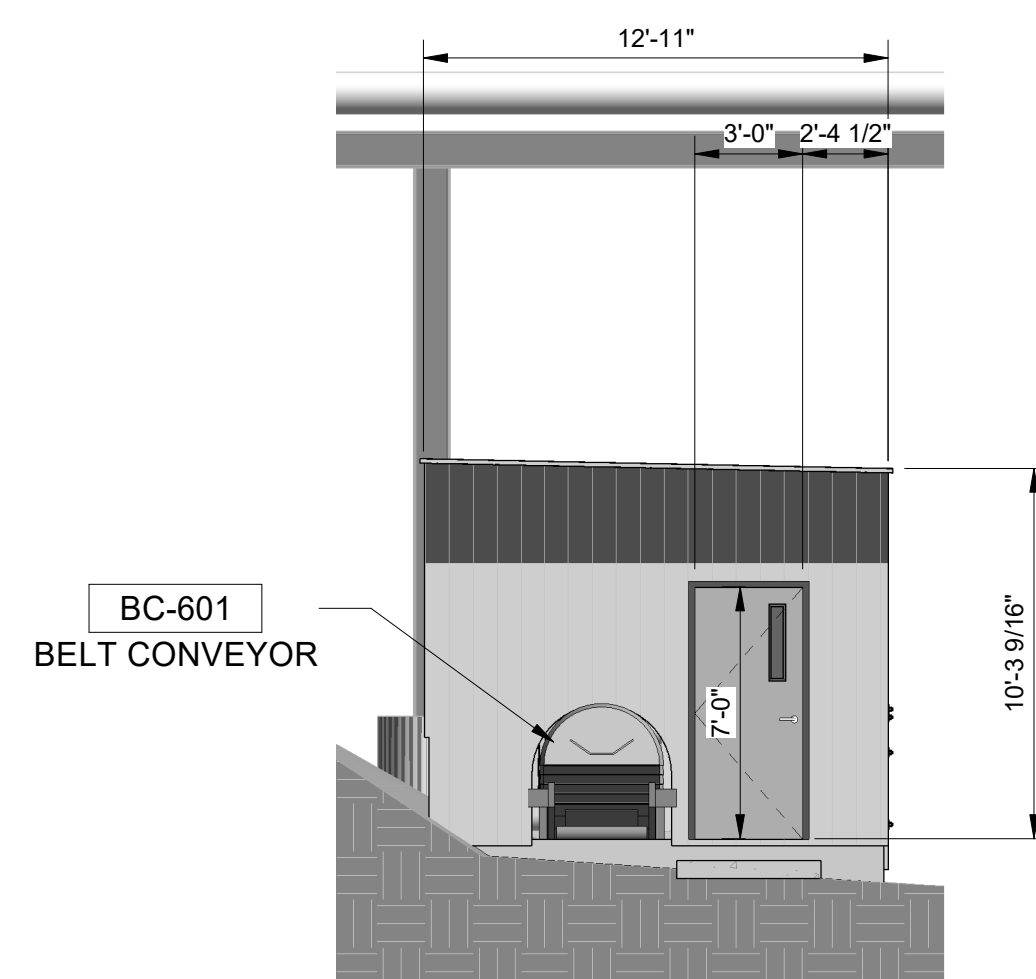
9/8/2022 5:05:52 PM

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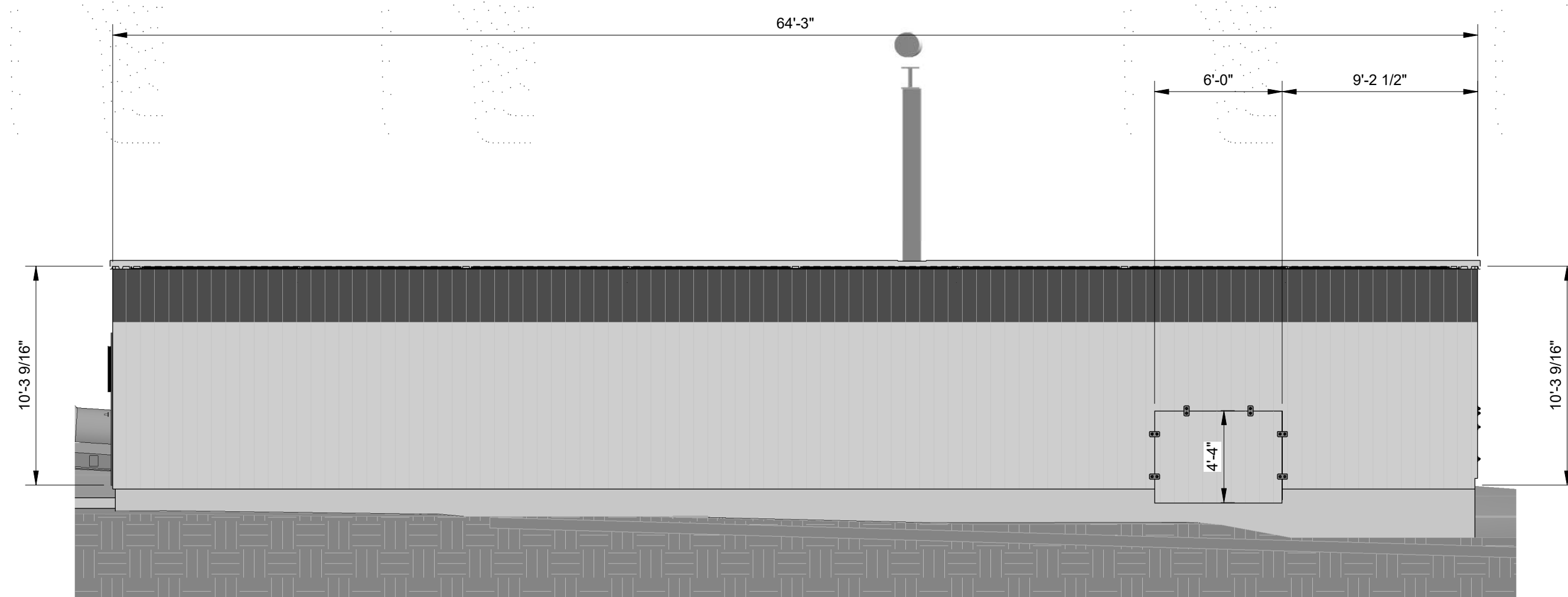
**GYPSUM HANDLING WEST ELEVATION**

3/16" = 1'-0"



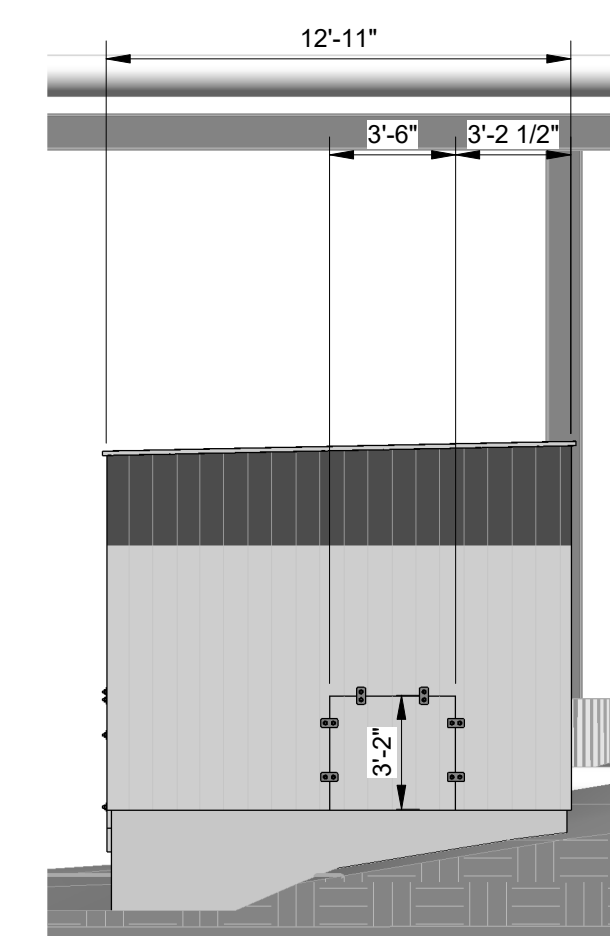
**GYPSUM HANDLING SOUTH ELEVATION**

3/16" = 1'-0"



**GYPSUM HANDLING EAST ELEVATION**

3/16" = 1'-0"



**GYPSUM HANDLING NORTH ELEVATION**

3/16" = 1'-0"

**NOTES:**

- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
- BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
- EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
- RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
- EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



<b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
DESIGNED: MCW	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCW	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21

<b>Industrial Ally</b> Engineering and Construction Services	
1422 Elbridge Payne Rd, Suite 120 Chesterfield, MO 63017	
INDUSTRIAL ALLY PROJECT NUMBER: 1576	

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
STRUCTURE ELEVATIONS**

**CIVIL**

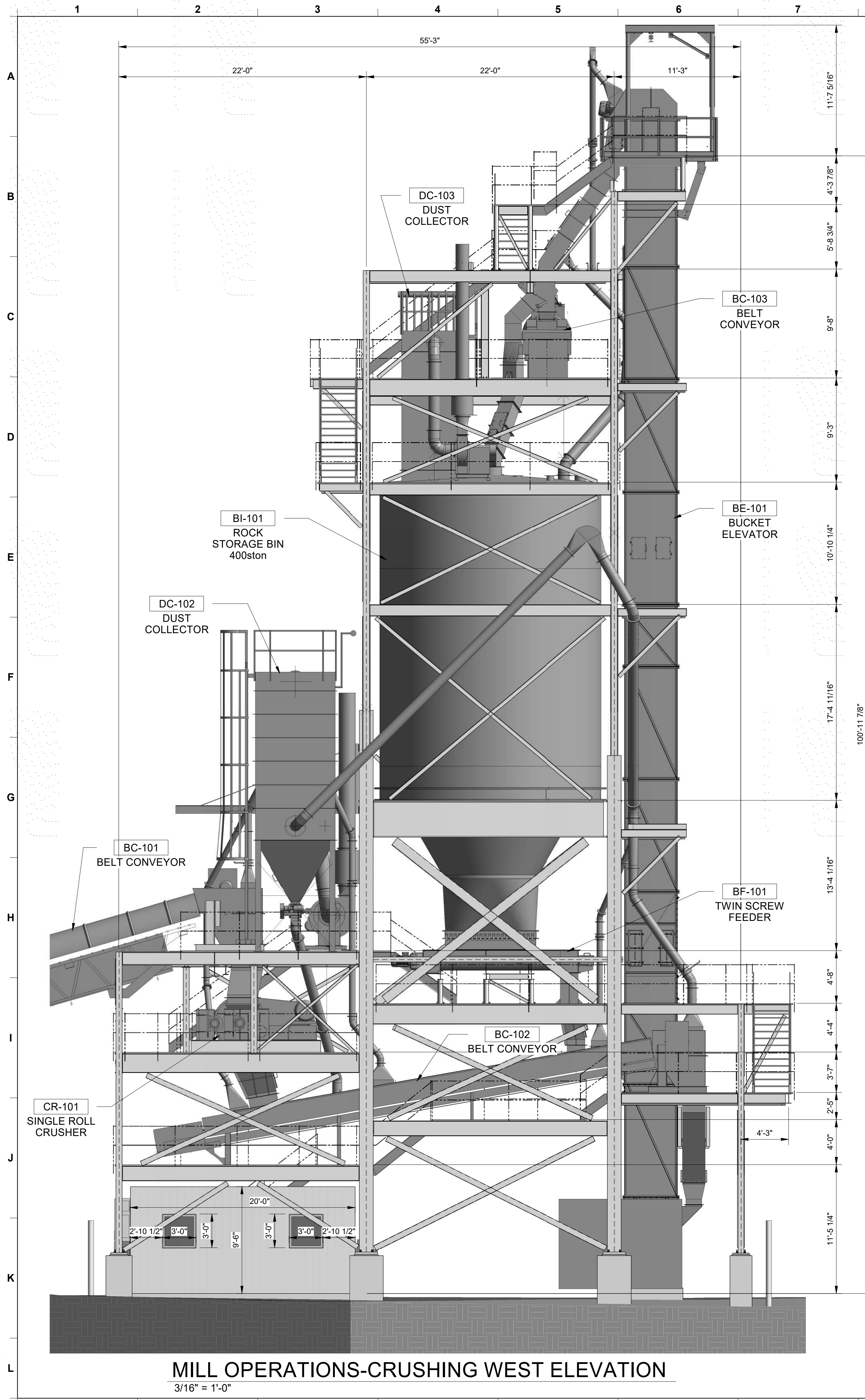
IA DRAWING NUMBER	
<b>1576-CC-202</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

**FOR PERMIT ONLY**  
NOT FOR CONSTRUCTION

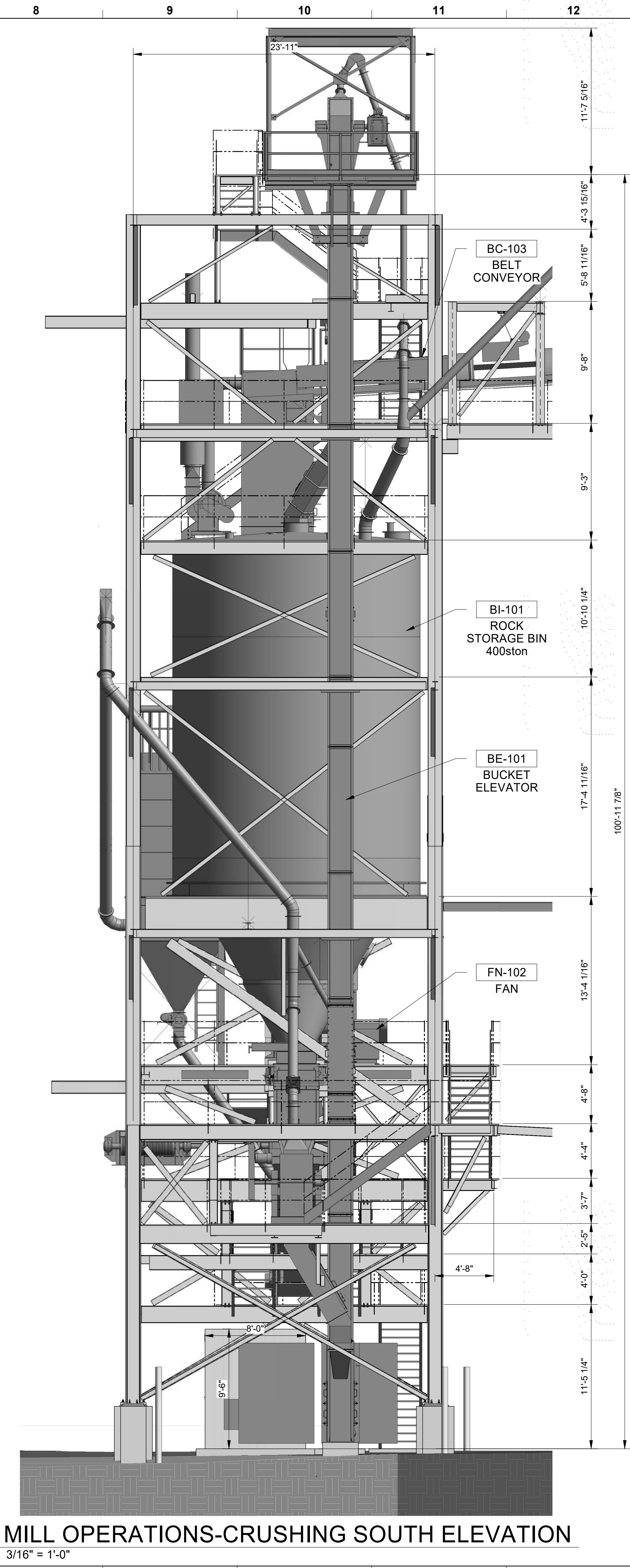
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Dana Alwindawy  
DATE: 09/12/22  
NAME: DIANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

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**MILL OPERATIONS-CRUSHING WEST ELEVATION**  
 3/16" = 1'-0"



**MILL OPERATIONS-CRUSHING SOUTH ELEVATION**  
 3/16" = 1'-0"

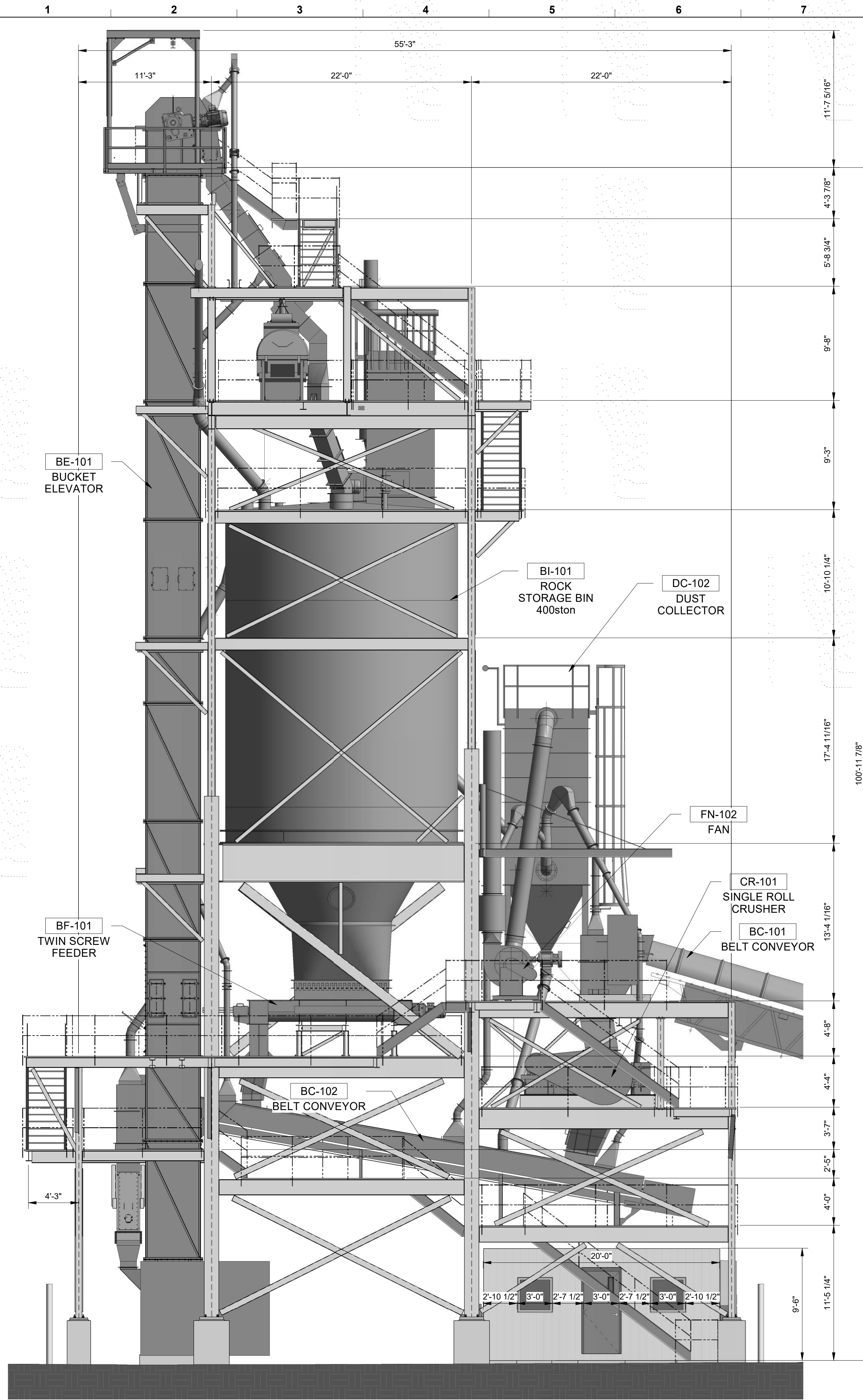
- NOTES:**
- METAL SIDING:  
 COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
 COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
 COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
 COLOR: CLEAR.
  - EQUIPMENT:  
 COLOR: TO BE DETERMINED.

**FOR PERMIT ONLY**  
 NOT FOR CONSTRUCTION

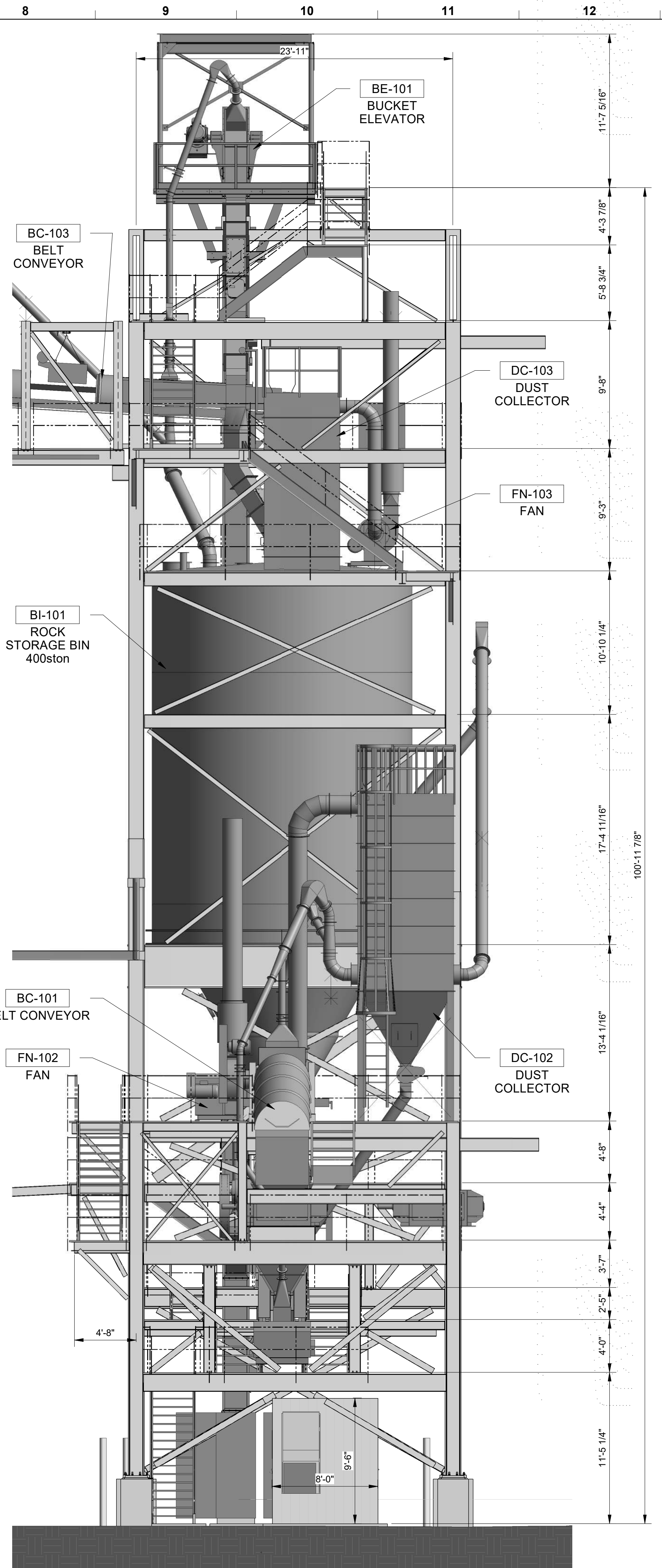
NOTE: THIS SEAL APPLIES ONLY TO THIS DOCUMENT. I DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THIS PROJECT OR ANY OTHER PROJECT.  
  
 DATE: 09/12/22  
 NAME: DANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO.: 26595

 <b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
<b>DESIGNED:</b> MCW <b>DRAWN:</b> APV <b>CHECKED:</b> MCW <b>SMACC APPR:</b> WEH	<b>DATE:</b> 06/15/22 <b>DATE:</b> 06/15/22 <b>DATE:</b> 06/15/22 <b>DATE:</b> 08/04/21
<b>INDUSTRIAL ALLY</b> Engineering and Construction Services 1422 Elbridge Payne Rd, Suite 120 Chesterfield, MO 63017 INDUSTRIAL ALLY PROJECT NUMBER: 1576	
<b>VERTICAL GRINDING / CALCINING MILL          OVERALL PLANT          CIVIL          STRUCTURE ELEVATIONS</b>	
<b>IA DRAWING NUMBER</b> <b>1576-CC-203</b> <b>CLIENT DRAWING NUMBER</b>	
<b>REV.</b> <b>0</b>	<b>DWG. SCALE:</b> <b>3/16" = 1'-0"</b>

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**MILL OPERATIONS-CRUSHING EAST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-CRUSHING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

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**DANA ALWINDAWY**  
NEW MEXICO  
28595  
PROFESSIONAL ENGINEER

*Dana Alwindawy*

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 28595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017

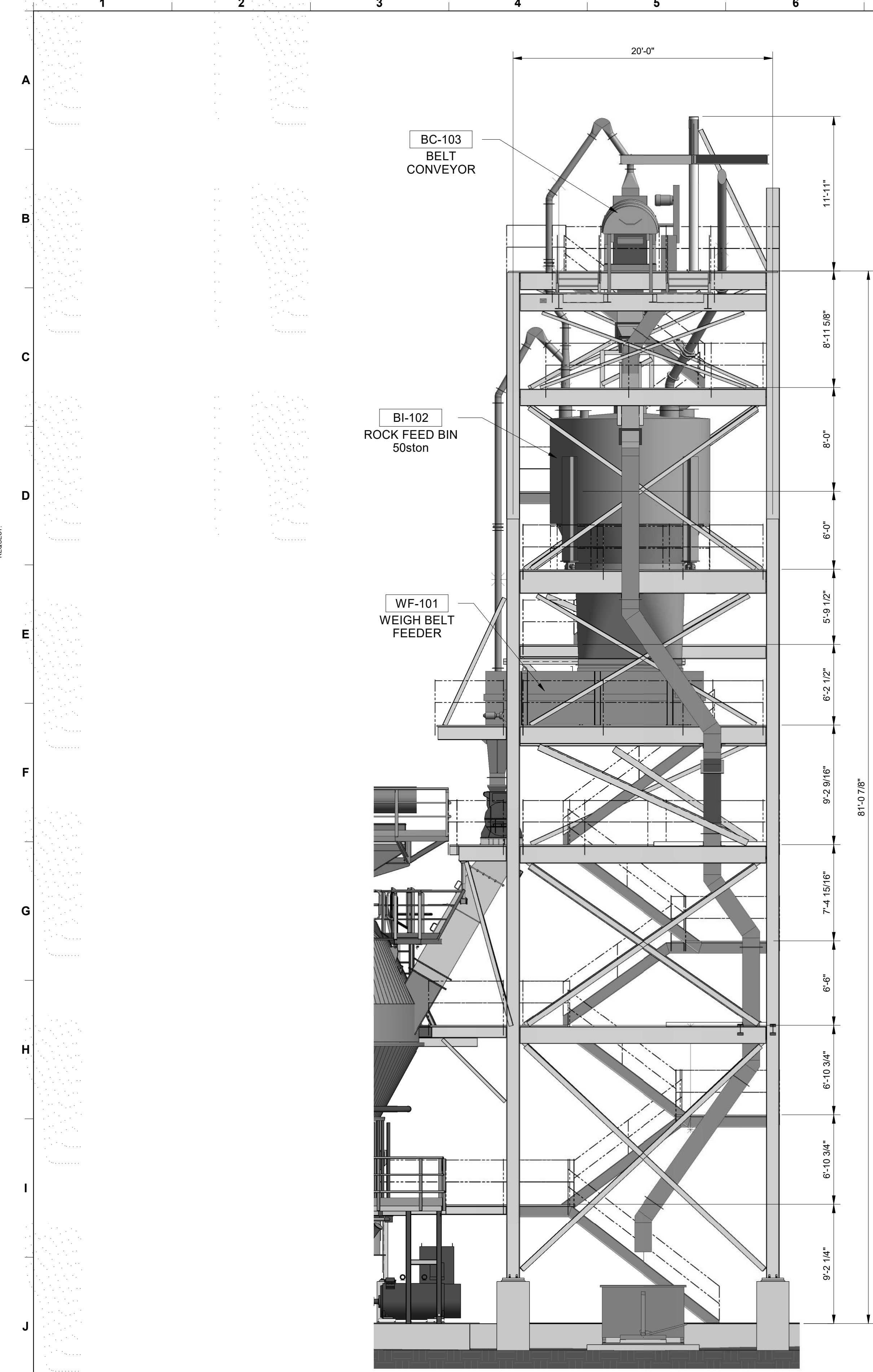
INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

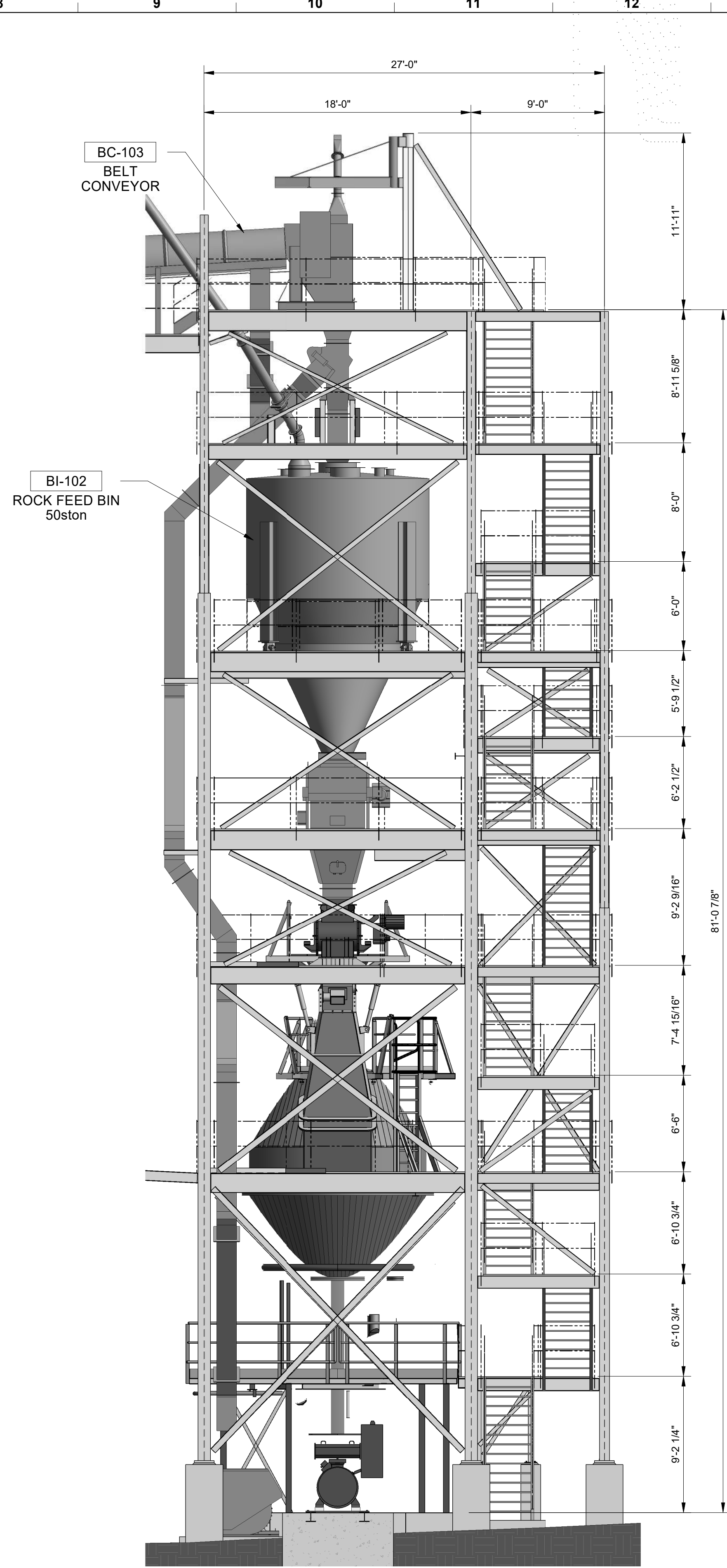
IA DRAWING NUMBER  
**1576-CC-204**  
CLIENT DRAWING NUMBER

REV.	DWG. SCALE:
0	3/16" = 1'-0"

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**MILL OPERATIONS-FEED WEST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-FEED SOUTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED:	MCW	DATE:	06/15/22
DRAWN:	APV	DATE:	06/15/22
CHECKED:	MCW	DATE:	06/15/22
SMACC APPR:	WEH	DATE:	08/04/21

**Industrial Ally**  
Engineering and Construction Services  
1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017  
INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

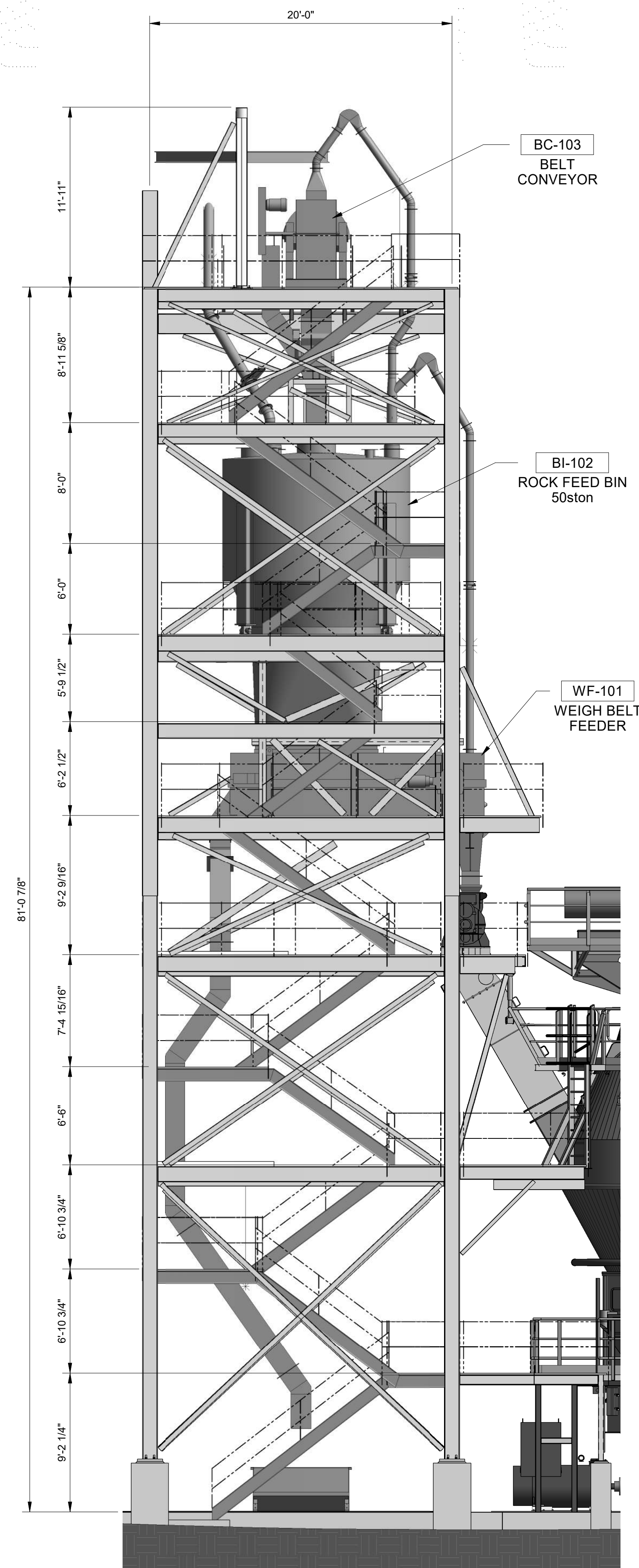
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CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	3/16" = 1'-0"

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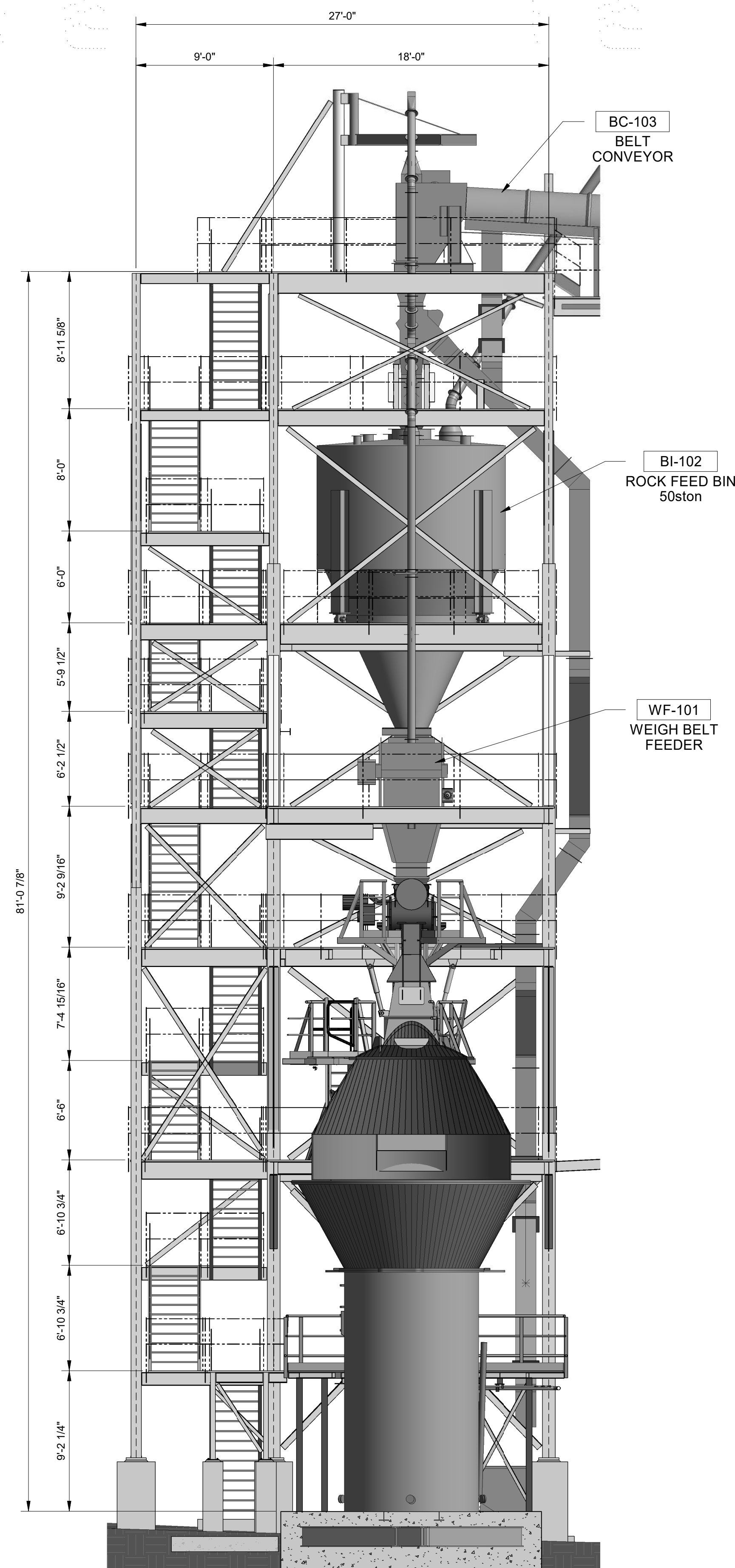
Dana Alwindawny  
DATE: 09/12/22  
NAME: DIANA ALWINDAWNY  
DISCIPLINE: STRUCTURAL  
LICENSE NO.: 26595

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**MILL OPERATIONS-MILL EAST ELEVATION**  
3/16" = 1'-0"



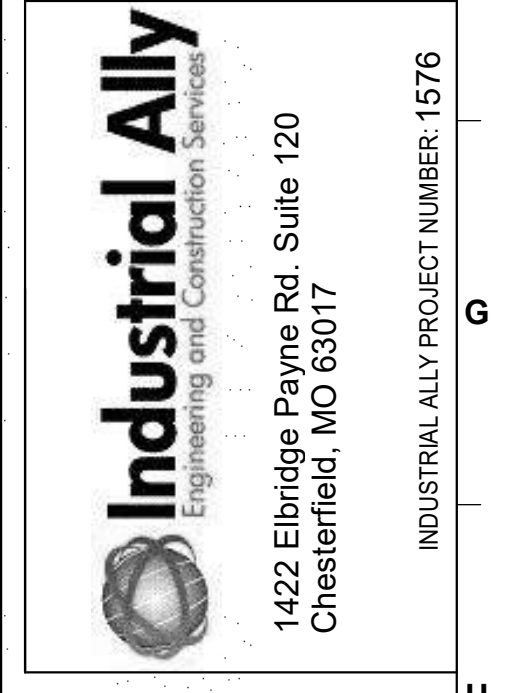
**MILL OPERATIONS-MILL NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



<b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
DESIGNED: MCV	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCV	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21



**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

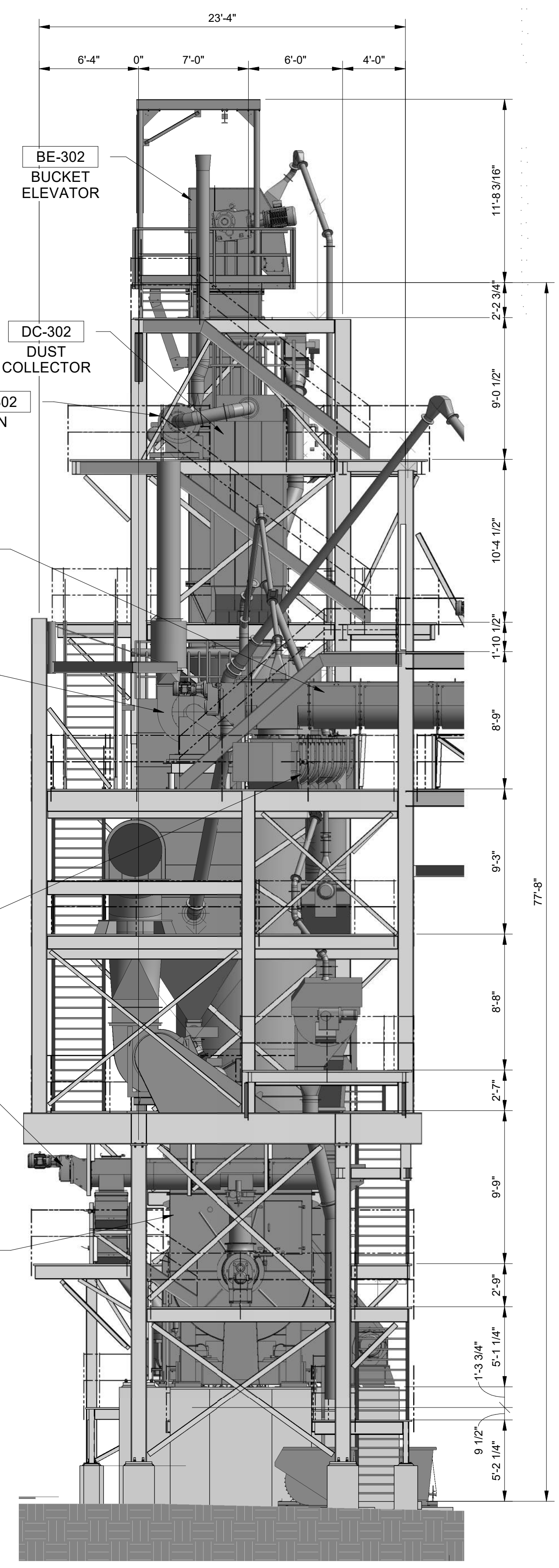
IA DRAWING NUMBER	
<b>1576-CC-206</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	3/16" = 1'-0"

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NOT FOR CONSTRUCTION

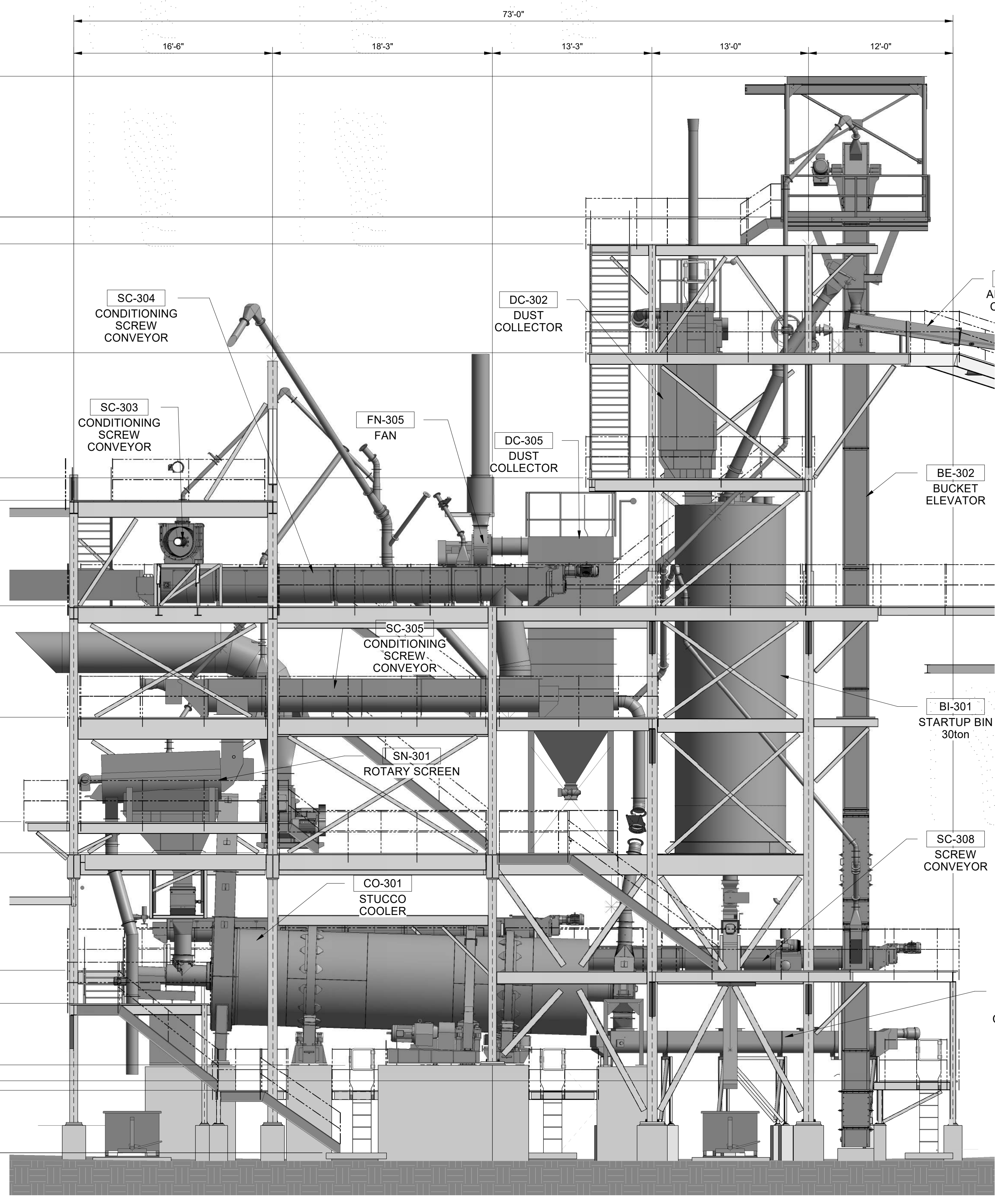
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Dana Alwindawny  
DATE: 09/12/22  
NAME: DIANA ALWINDAWNY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

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**MILL OPERATIONS-COOLING WEST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-COOLING SOUTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-207</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER

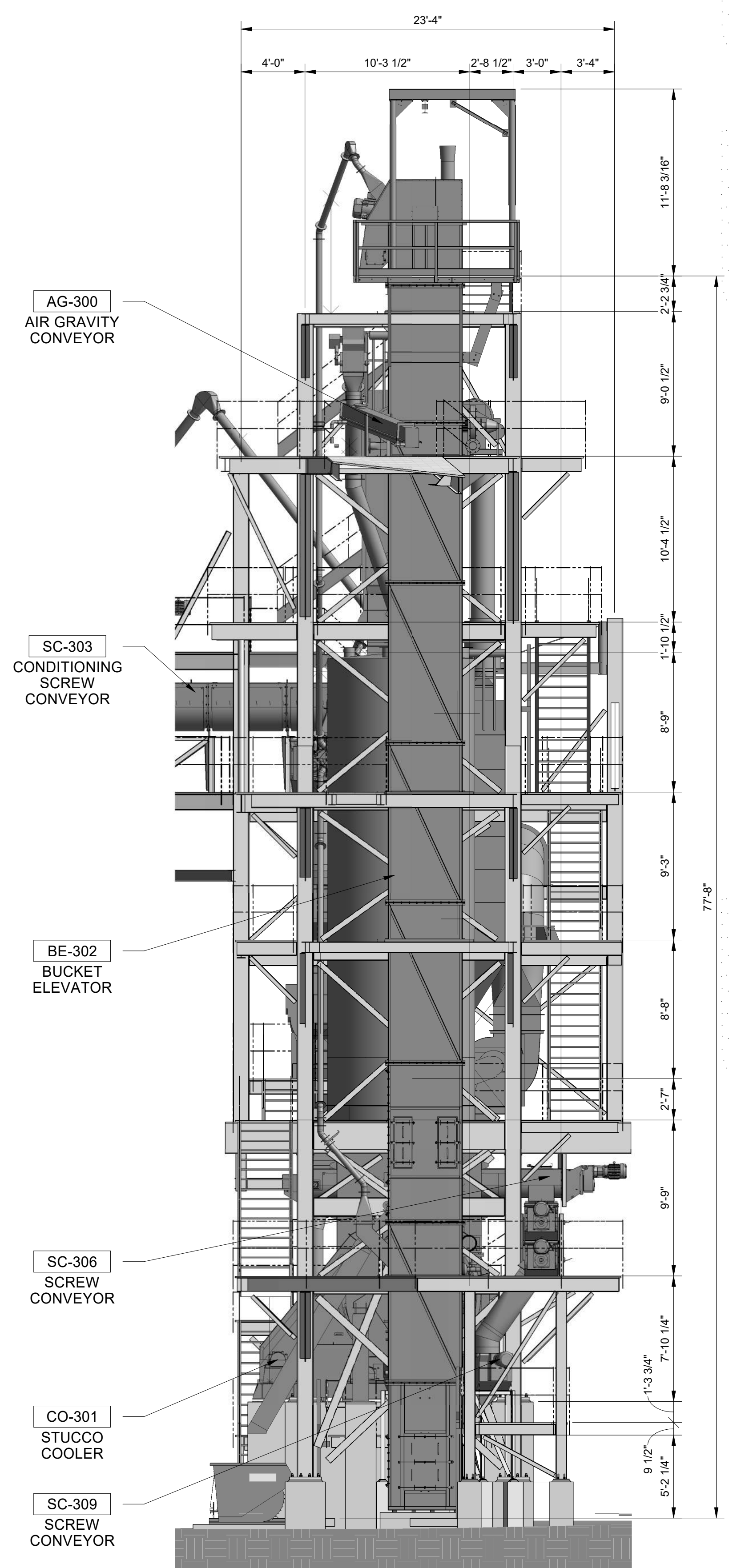
Dana Alwindawy

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

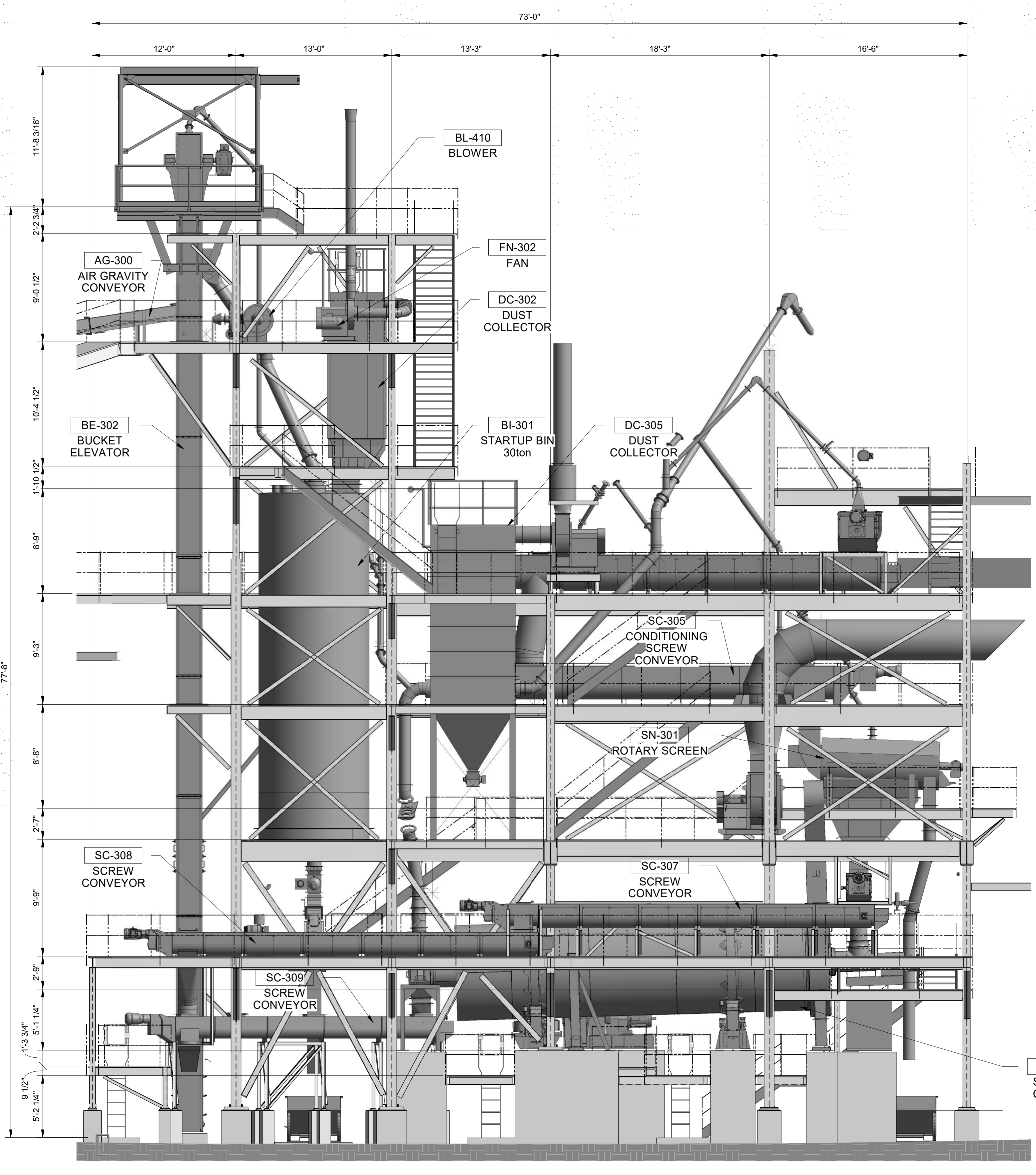
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K  
L



**MILL OPERATIONS-COOLING EAST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-COOLING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services  
1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-208</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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NOTE: THIS SEAL APPLIES ONLY TO THIS DOCUMENT. I DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT OR ANY OTHER PROJECT.

DANA ALWINDAWNY  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER  
Dana Alwindawny

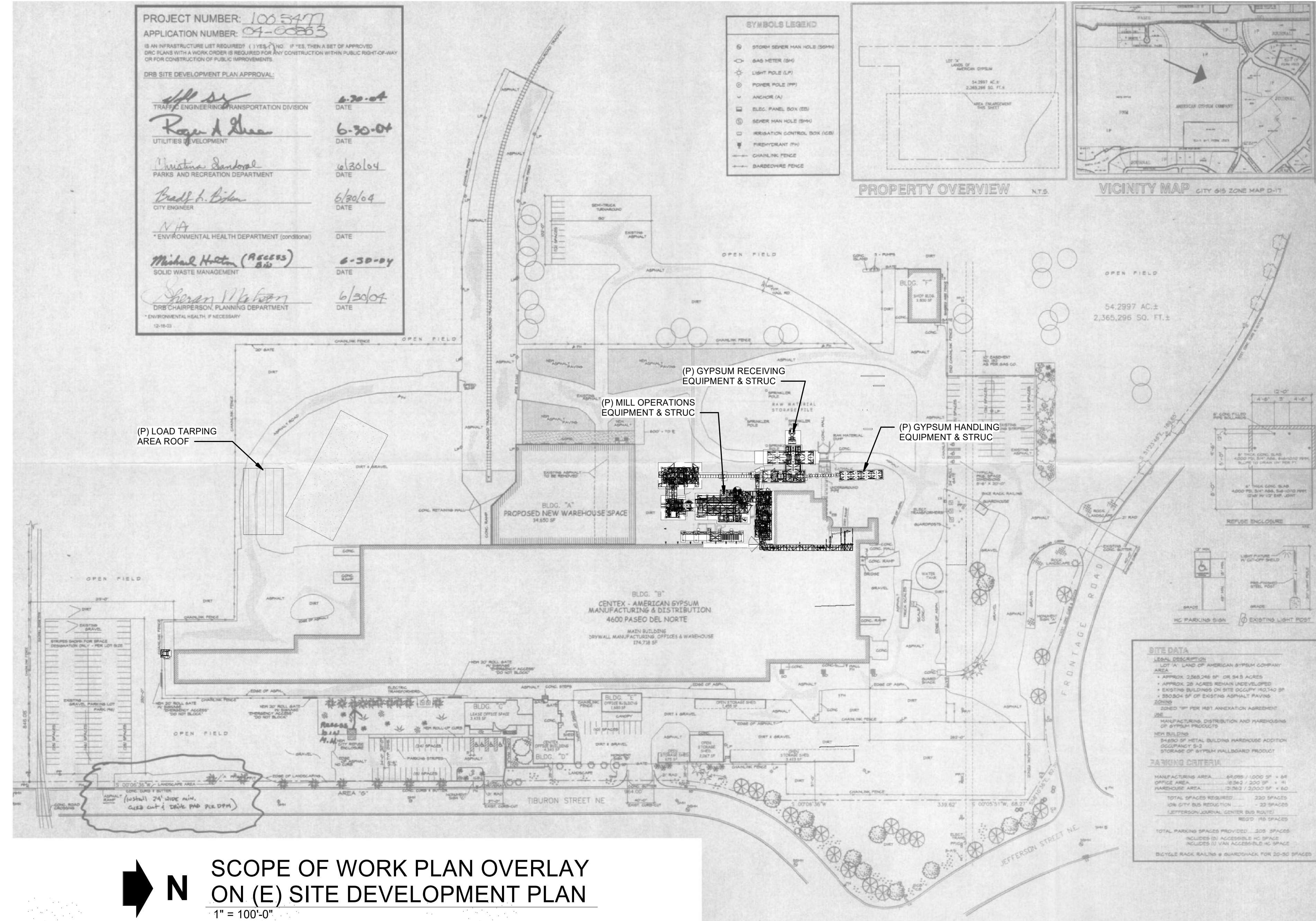
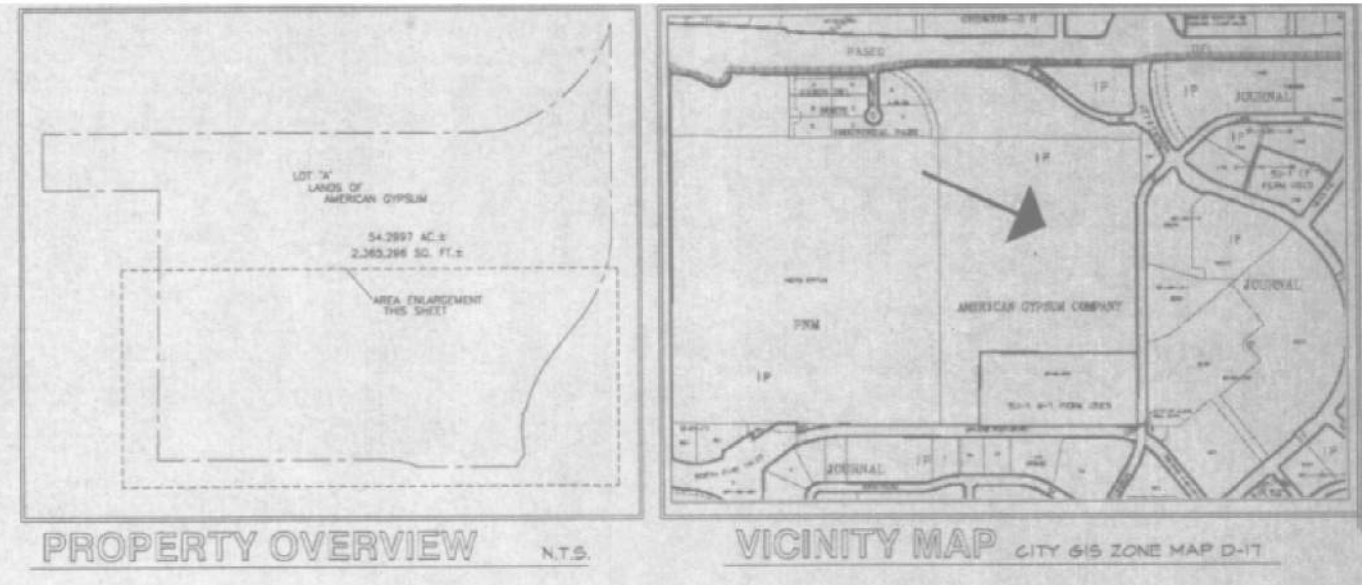
DATE: 09/12/22  
NAME: DANA ALWINDAWNY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595



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PROJECT NUMBER: 100-5477  
 APPLICATION NUMBER: 04-00003  
 IS AN INFRASTRUCTURE LIST REQUIRED? (YES/NO) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.  
 DRB SITE DEVELOPMENT PLAN APPROVAL:  
 TRAFFIC ENGINEERING/TRANSPORTATION DIVISION DATE: 6-30-04  
 UTILITIES DEVELOPMENT DATE: 6-30-04  
 PARKS AND RECREATION DEPARTMENT DATE: 6/20/04  
 CITY ENGINEER DATE: 6/20/04  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONSENT) DATE: N/A  
 SOLID WASTE MANAGEMENT DATE: 6-30-04  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE: 6/30/04

- SYMBOLS LEGEND**
- STORM SEWER MAN HOLE (SMH)
  - 44S METER (SM)
  - LIGHT POLE (LP)
  - POWER POLE (PP)
  - ANCHOR (A)
  - ELEC. PANEL BOX (PB)
  - SEWER MAN HOLE (SMH)
  - IRRIGATION CONTROL BOX (ICB)
  - FIREHYDRANT (FH)
  - CHARALING FENCE
  - BARBEDWIRE FENCE



**SITE DATA**  
 LEGAL DESCRIPTION  
 LOT 1A, LINE OF AMERICAN GYPSUM COMPANY  
 AREA: APPROX. 2,365,296 SQ. FT. OR 54.2997 AC.  
 APPROX. 20 ACRES REMAIN UNDEVELOPED  
 EXISTING BUILDINGS ON SITE OCCUPY MOST OF SECTION 50 OF EXISTING AGRICULTURAL ZONING  
 ZONING: 50-100' PER NEW AGRICULTURE AGREEMENT  
 USE: MANUFACTURING, DISTRIBUTION AND WAREHOUSING OF GYPSUM PRODUCTS  
 SITE BUILDING: BASED ON METAL BUILDING HARDWARE ADDITION EQUIPMENT & STORAGE OF GYPSUM MANUFACTURED PRODUCT  
**PAVING CRITERIA**  
 MANUFACTURING AREA: 100' x 100' @ 40' x 40' SPACING  
 OFFICE AREA: 100' x 100' @ 40' x 40' SPACING  
 WAREHOUSE AREA: 100' x 100' @ 40' x 40' SPACING  
 TOTAL SPACES REQUIRED: 200 SPACES  
 ON CITY SUB REDUCTION: 20 SPACES  
 LEASING/JOURNAL CENTER SUB REDUCTION: 10 SPACES  
 TOTAL PAVING SPACES PROVIDED: 200 SPACES  
 INCLUDES 10 ACCESSIBLE AC SPACES  
 INCLUDES 10 ADA ACCESSIBLE AC SPACES  
 BICYCLE RACK BUILDING & SURROUNDING FOR 20-30 SPACES

**SCOPE OF WORK PLAN OVERLAY ON (E) SITE DEVELOPMENT PLAN**  
 1" = 100'-0"

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113  
 DESIGNED: MCW DATE: 06/15/22  
 DRAWN: APV DATE: 06/15/22  
 CHECKED: MCW DATE: 06/15/22  
 SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
 Engineering and Construction Services  
 1422 Ebridge Payne Rd, Suite 120  
 Chesterfield, MO 63017  
 INDUSTRIAL ALLY PROJECT NUMBER: 1576








**VERTICAL GRINDING / CALCINING MILL OVERALL PLANT CIVIL SCOPE OF WORK PLAN**





IA DRAWING NUMBER	
1576-CC-120	
CLIENT DRAWING NUMBER	
REV. 0	DWG. SCALE: 1" = 100'-0"

NOTE: THIS SEAL APPLIES ONLY TO THIS DOCUMENT. I DECLARE ANY RESPONSIBILITY FOR ALL OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT OR ANY OTHER PROJECT.  
**DANA ALWINDAWY**  
 NEW MEXICO PROFESSIONAL ENGINEER  
 26595  
 Dana Alwindawy  
 DATE: 09/12/22  
 NAME: DANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 26595

**FOR PERMIT ONLY**  
 NOT FOR CONSTRUCTION

## American Gypsum - Major Site Plan Amendment

 Kaela Louie  
To  peggynorton@yahoo.com;  newmexmba@aol.com;  Dan Regan;  Mildred Griffie;  anvanews@aol.com;  mwr505@hotmail.com

 Reply  Reply All  Forward  

Mon 9/12/2022 10:44 AM

Good Morning,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at: <http://www.cabq.gov/planning/boards-commissions>. A letter as well as additional information will be mailed to you this week, but in the meantime, if additional information is requested, please let me know.

Thank you,

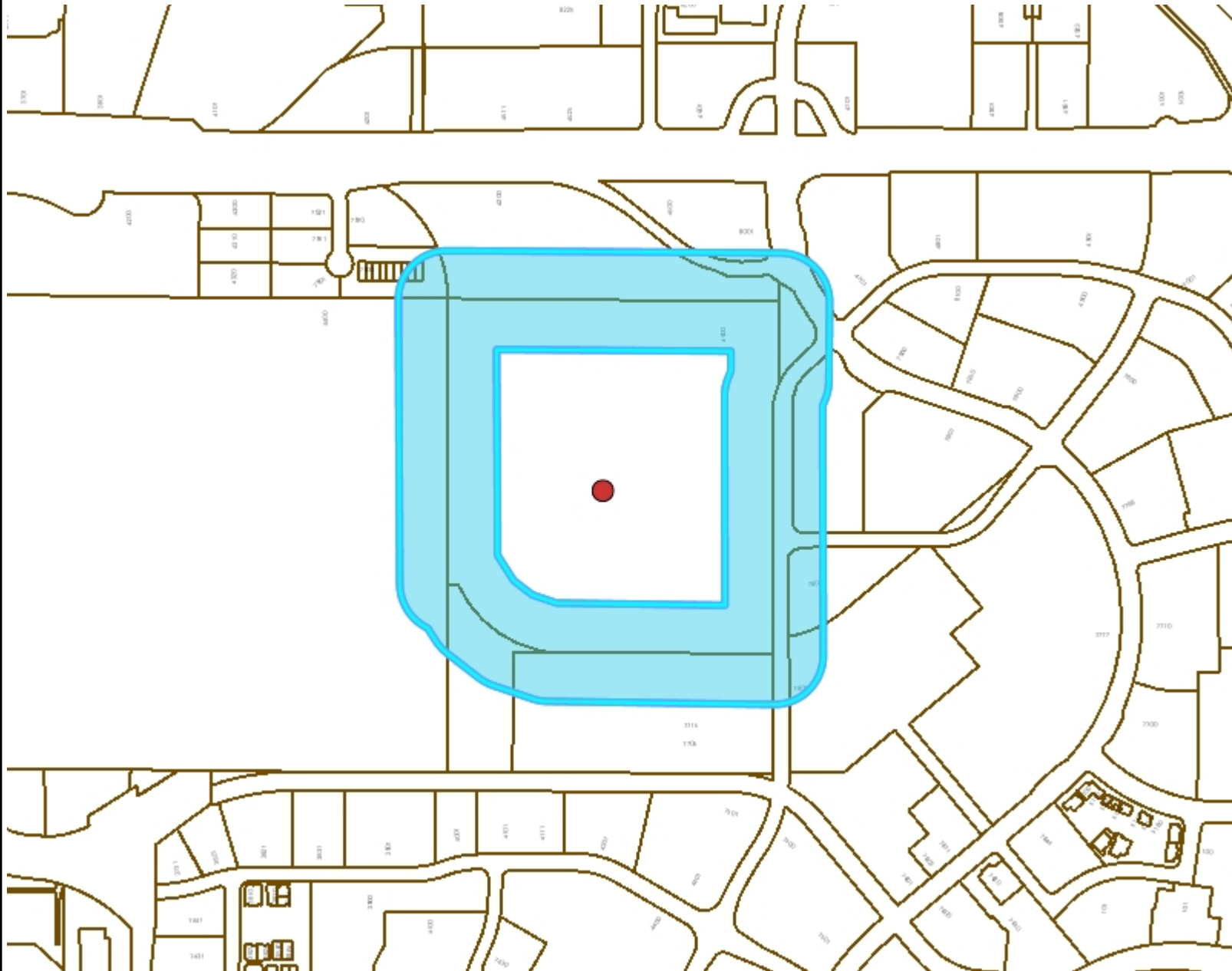


**Kaela Louie**  
Project Manager  
[1422 Elbridge Payne Road, Suite 120](#)  
[Chesterfield, MO 63017](#)  
636-692-5595 x 29 (Office)  
973-600-2548 (Cell)  
636-778-9718 (Fax)

\*\*\*\* EXPERTISE WHEN YOU NEED IT MOST \*\*\*\*



# 4600 Paseo Del Norte



## Legend

□ Bernalillo County Parcels

## Notes

Buffer: 200 ft.  
ROW: Jefferson St - 100 ft.

1,202 0 601 1,202 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
6/28/2022 © City of Albuquerque

1: 7,212

The City of Albuquerque ("City") provides the data on this website as a service to the public. The City makes no warranty, representation, or guaranty as to the content, accuracy, timeliness, or completeness of any of the data provided at this website. Please visit <http://www.cabq.gov/abq-data/abq-data-disclaimer-1> for more information.  
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

LOS MOCHOS LL PARTNERSHIP  
2323 MOUNTAIN RD NW  
ALBUQUERQUE NM 87104

JOURNAL PUBLISHING CO ETAL  
7777 JEFFERSON ST NE  
ALBUQUERQUE NM 87103-4343

AMERICAN GYPSUM INC  
3811 TURTLE CREEK BLVD SUITE 1200  
DALLAS TX 75219-4424

AMERICAN GYPSUM INC  
3811 TURTLE CREEK BLVD SUITE 1200  
DALLAS TX 75219-4424

NEW MEXICO DEPARTMENT OF  
TRANSPORTATION  
PO BOX 1149  
SANTA FE NM 87504-1149

NEW MEXICO DEPARTMENT OF  
TRANSPORTATION  
PO BOX 1149  
SANTA FE NM 87504-1149

CHI-WIK ENTERPRISES LLC  
PO BOX 26777  
ALBUQUERQUE NM 87125-6777

JOURNAL PUBLISHING CO ETAL  
7777 JEFFERSON ST NE  
ALBUQUERQUE NM 87109-4343

PUBLIC SERVICE CO OF NM  
ALVARADO SQUARE  
ALBUQUERQUE NM 87158

CHI-WIK ENTERPRISES LLC  
PO BOX 26777  
ALBUQUERQUE NM 87125-6777

COTTONWOOD CLASSICAL  
FOUNDATION INC  
7801 JEFFERSON ST NE  
ALBUQUERQUE NM 87109-4351

IRONSTONE BANK ATTN: FACILITIES  
PO BOX 27131  
RALEIGH NC 27611-7131

RODRIGUEZ DANIEL & JULIE  
7900 LORRAINE CT NE UNIT G  
ALBUQUERQUE NM 87113

BDJ ENTERPRISES LLC ATTN: BRAD  
JACOBSON  
8316 CUTLER AVE NE  
ALBUQUERQUE NM 87110-4719

SIERRA BLUE PROPERTIES LLC  
11051 ELENA DR NE  
ALBUQUERQUE NM 87122-4402

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: BDJ Enterprises LLC ATTN: Brad Jacobson

Mailing Address\*: 8316 Cutler Ave. NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations were in attendance.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 54.12
  2. IDO Zone District NR-GM
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**BDJ Enterprises LLC**  
**ATTN: Brad Jacobson**  
**8316 Cutler Ave. NE**  
**Albuquerque, NM 87110**

**RE: American Gypsum Mill Upgrade**  
**Request for Major Site Plan Amendment – DRB Approval**  
**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Brad Jacobson,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>



Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: CHI-WIK Enterprises LLC

Mailing Address\*: PO Box 2677 Albuquerque NM 87125

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* [if applicable] Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

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5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

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- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 54.12
  2. IDO Zone District NR-GM
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

---

<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**CHI-WIK Enterprises LLC**

**PO Box 26777**

**Albuquerque, NM 87125**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear CHI-WIK Enterprises LLC,

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<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Cottonwood Classical Foundation Inc.

Mailing Address\*: 7801 Jefferson St. NE, Albuquerque NM 87109

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

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- 6. Where more information about the project can be found\*<sup>3</sup>:  
By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
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Explanation\*:  
 The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment  
prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations  
were in attendance.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>



[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 54.12
  - 2. IDO Zone District NR-GM
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**Cottonwood Classical Foundation INC**

**7801 Jefferson St. NE**

**Albuquerque, NM 87109**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Cottonwood Classical Foundation,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: New Mexico Department of Transportation

Mailing Address\*: PO Box 1149, Santa Fe NM 87504

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
 The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations were in attendance.

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- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 54.12
  - 2. IDO Zone District NR-GM
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  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**IDO Interactive Map**

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**New Mexico Department of Transportation**

**PO Box 1149**

**Santa FE, NM 87504**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear New Mexico DOT,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**



[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Ironstone Bank ATTN: Facilities

Mailing Address\*: PO Box 27131, Raleigh NC 27611

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
 The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment  
prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations  
were in attendance.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 54.12
  2. IDO Zone District NR-GM
  3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**IDO Interactive Map**

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9/8/2022

**Ironstone Bank**

**ATTN: Facilities**

**PO Box 27131**

**Raleigh, NC 27611**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Ironstone Bank,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

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Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Journal Publishing CO ETAL

Mailing Address\*: 7777 Jefferson St. NE, Albuquerque NM 87103

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
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Summary of project/request<sup>1</sup>\*:

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property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

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  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

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**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
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Explanation\*:  
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**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

1. Area of Property [typically in acres] 54.12
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**Useful Links**

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9/8/2022

**Journal Publishing CO ETAL**

**7777 Jefferson St. NE**

**Albuquerque, NM 87103**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Journal Publishing CO ETAL,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

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<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Los Mochos LL Partnership

Mailing Address\*: 2323 Mountain Rd. NW Albuquerque NM 87104

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations were in attendance.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 54.12
  - 2. IDO Zone District NR-GM
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**Los Mochos LL Partnership**

**2323 Mountain RD NW**

**Albuquerque, NM 87104**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Los Mochos LL Partnership,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Public Service Co of NM

Mailing Address\*: 8316 Cutler Ave. NE, Albuquerque NM 87110

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.



[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>3</sup>:

By contacting Kaela Louie at [kaela.louie@industrial-ally.com](mailto:kaela.louie@industrial-ally.com) or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)       Variance(s)       Waiver(s)

**Explanation\*:**

The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations were in attendance.

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:

- a. Location of proposed buildings and landscape areas.\*
- b. Access and circulation for vehicles and pedestrians.\*
- c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

<sup>3</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>4</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 54.12
  - 2. IDO Zone District NR-GM
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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9/8/2022

**Public Service CO of NM**

**Alvarado Square**

**Albuquerque, NM 87158**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Public Service CO of NM,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Daniel & Julie Rodriguez

Mailing Address\*: 7900 Lorraine CT NE Unit G, Albuquerque NM 87113

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
  - Environmental Planning Commission (EPC)

<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
 Deviation(s)       Variance(s)       Waiver(s)

Explanation\*:  
 The Property for the above project is approximately 54.12 acres in size, zoned NR-GM and is located at the southwest corner of El Pueblo and Tiburon, very near Paseo del Norte and Jefferson Blvd. The Property is legally described as: TR of Land in E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (Excl port out to R/W) CONT 43.3900. The Property is located outside of designated Comprehensive Plan centers, and El Pueblo and Tiburon are both major collectors. DPM Table 7.2.29 therefore sets a six-foot sidewalk for the Project. The applicant is requesting a Waiver for this sidewalk requirement, and is proposing the addition of a 10' Trail.

- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations were in attendance.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 54.12
  - 2. IDO Zone District NR-GM
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

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**IDO Interactive Map**

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9/8/2022

**Daniel & Julie Rodriguez**  
**7900 Lorraine CT NE Unit G**  
**Albuquerque, NM 87113**

**RE: American Gypsum Mill Upgrade**  
**Request for Major Site Plan Amendment – DRB Approval**  
**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Daniel & Julie Rodriguez,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

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<http://www.cabq.gov/planning/boards-commissions>



Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

[Note: Items with an asterisk (\*) are required.]

**Public Notice of a Proposed Project in the City of Albuquerque  
for Decisions Requiring a Meeting or Hearing  
Mailed to a Property Owner**

Date of Notice\*: 9/8/2022

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Property Owner within 100 feet\*: Sierra Blue Properties LLC

Mailing Address\*: 11051 Elena Dr. NE, Albuquerque NM 87122

**Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)**

1. Subject Property Address\* 4600 Paseo Del Norte, Albuquerque NM 87113  
Location Description Between Tiburon Street & El Pueblo
2. Property Owner\* American Gypsum Company, LLC
3. Agent/Applicant\* *[if applicable]* Kaela Louie, Industrial Ally, Inc.
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan Major Site Plan Amendment
  - Subdivision \_\_\_\_\_ (Minor or Major)
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  - Waiver
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Summary of project/request<sup>1</sup>\*:

American Gypsum Company, LLC is modernizing its process with a new vertical roller mill to replace existing roller mills and kettles. The new mill will be located on a currently paved area of the existing facility  
property. The new equipment will increase the efficiency and reliability of raw material receiving, grinding, calcining, and emissions control.

5. This application will be decided at a public meeting or hearing by\*:
  - Zoning Hearing Examiner (ZHE)
  - Development Review Board (DRB)
  - Landmarks Commission (LC)
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<sup>1</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

Date/Time\*: October 19th, 2022

Location\*<sup>2</sup>: Meeting is through ZOOM. ZOOM Agenda and zoom link can be retrieved at the link below:

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To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

- 6. Where more information about the project can be found\*<sup>3</sup>:  
By contacting Kaela Louie at kaela.louie@industrial-ally.com or 636-692-5595 x29

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

- 1. Zone Atlas Page(s)\*<sup>4</sup> D-17-Z
- 2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above
- 3. The following exceptions to IDO standards have been requested for this project\*:  
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Explanation\*:  
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- 4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes     No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:  
All adjacent neighborhoods were provided the opportunity to meet and discuss the proposed amendment prior to this submittal. The meeting was held on May 6, 2022, but none of the neighborhood associations were in attendance.

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
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  - c. Maximum height of any proposed structures, with building elevations.\*

<sup>2</sup> Physical address or Zoom link

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[Note: Items with an asterisk (\*) are required.]

- d. **For residential development\***: Maximum number of proposed dwelling units.
- e. **For non-residential development\***:
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

**Additional Information:**

From the IDO Zoning Map<sup>5</sup>:

- 1. Area of Property [typically in acres] 54.12
  - 2. IDO Zone District NR-GM
  - 3. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - 4. Center or Corridor Area [if applicable] \_\_\_\_\_
- Current Land Use(s) [vacant, if none] \_\_\_\_\_
- 

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

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<sup>5</sup> Available here: <https://tinurl.com/idozoningmap>

9/8/2022

**Sierra Blue Properties LLC**

**11051 Elena Dr. NE**

**Albuquerque NM 87122**

**RE: American Gypsum Mill Upgrade**

**Request for Major Site Plan Amendment – DRB Approval**

**4600 Paseo Del Norte, NE, Albuquerque, NM 87113**

Dear Public Sierra Blue Properties LLC,

Industrial Ally, agent for American Gypsum, is seeking approval of a Major Site Plan Amendment to install modernized equipment at the American Gypsum Plant located at 4600 Paseo Del Norte, Albuquerque, NM. The next step in our entitlement process is to file an application for approval of a Major Amendment to a previously approved American Gypsum Site Development Plan with the Development Review Board (DRB). In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Section 14-16-6-4(K) we are notifying you of this DRB application.

The request is a Major Amendment to the previously approved Site Plan. The facility manufactures gypsum wallboard, and work is being done to modernize the gypsum grinding system to increase efficiency and reliability. New equipment will be installed and replace the current system. Specifically, three roller mills and four calcining kettles will be replaced with a state-of-the-art high efficiency vertical roller mill. This request also includes a waiver to the IDO sidewalk requirements. This waiver would waive the requirement in favor of focusing on landscaping and the construction of a 10' trail that will provide connectivity to the south of Headline Blvd. By doing this, it will be a safer option for pedestrians who are utilizing the recreational trail.

As required by IDO Table 6-1-1, we are making you aware of the DRB Public Hearing date of October 19th, 2022, at which time the application will be reviewed and decided on by the City of Albuquerque. Due to COVID-19 public health restrictions, this hearing will be held over ZOOM. You can retrieve the appropriate meeting information and agenda at the DRB website found at:

<http://www.cabq.gov/planning/boards-commissions>

Sincerely,

*Kaela Louie*

---

Kaela Louie

Engineering Project Manager

**Attachments: Zone Atlas Map, Preliminary Site Plan, Preliminary Building Elevations**

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

La Moneda Classic Tomatoes  
7801 Jefferson St. NE  
Albuquerque NM 87109

Los Machos LLC  
2325 Mountain Rd. NW  
Albuquerque NM 87109

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Uni-Milk Enterprises LLC  
PO Box 26777  
Albuquerque NM 87125

Daniel + Julie Rodriguez  
7900 Lorraine Ct NE  
Unit G  
Albuquerque NM 87113

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

BOJ Enterprises LLC  
Attn: Brad Jacobson  
8316 Custer Ave NE  
Albuquerque NM 87110

Toryna Publishing Co LLC  
7777 Jefferson St. NE  
Albuquerque NM 87103

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

PUBLIC SERVICE COMPANY  
ABERDEEN SQUARE  
ALBUQUERQUE NM 87158

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

NEW MEXICO DOT  
PO BOX 1149  
SANTA FE NM 87504

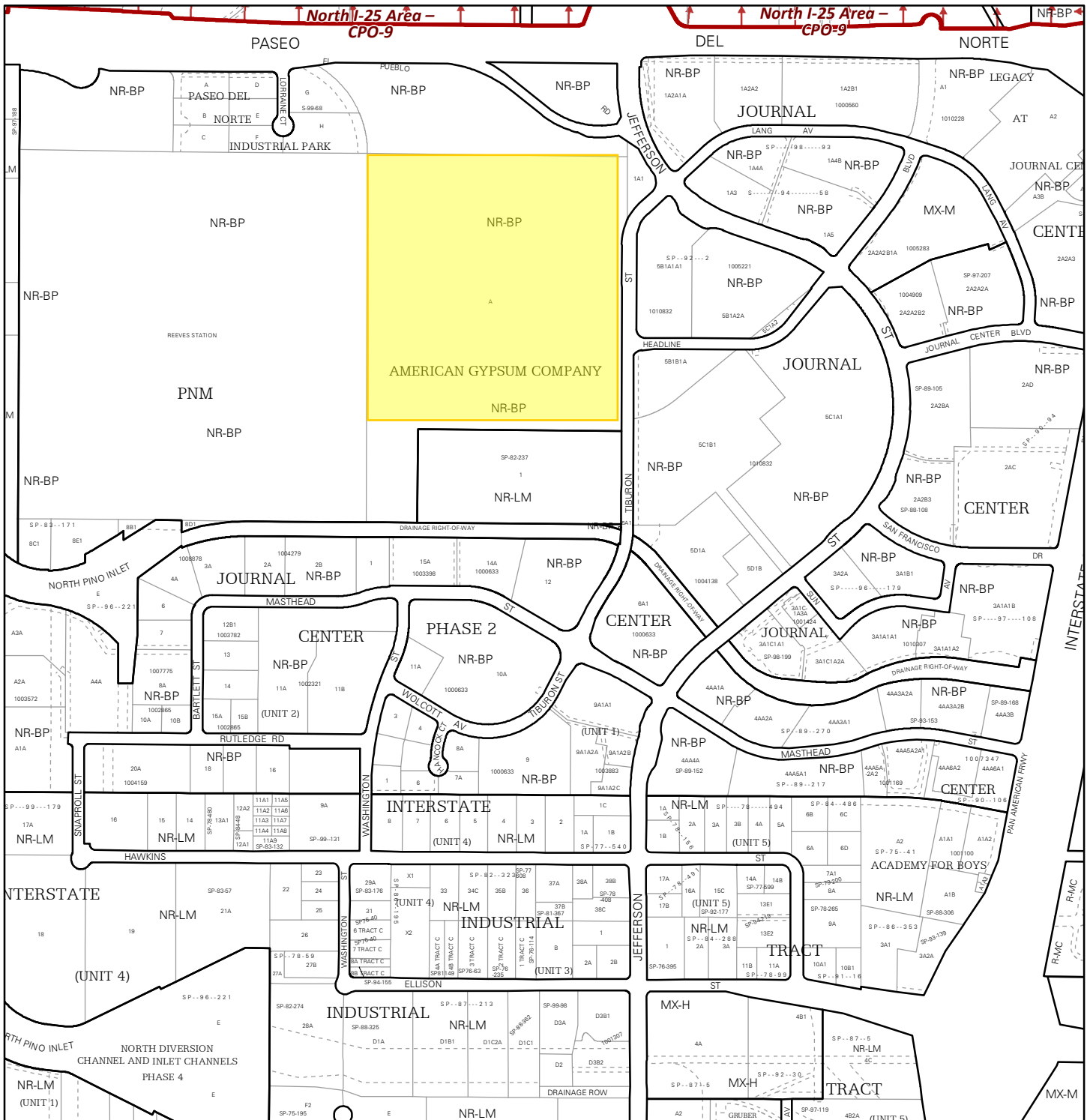
Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Sierra Bive Properties LLC  
11051 E 17th Dr. NE  
Albuquerque NM 87122

Industrial Ally, Inc.  
1422 Elbridge Payne Road  
Suite 120  
Chesterfield, MO 63017

Ironstone Bank  
AHN: Facilities  
PO BOX 27131  
Raleigh NC 27611





For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas

## May 2018

Albuquerque Geographic Information System

**IDO Zoning information as of May 17, 2018**

**The Zone Districts and Overlay Zones are established by the Integrated Development Ordinance (IDO).**

**Zone Atlas Page:**  
**D-17-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading Represents Area Outside of the City Limits

N  
0 250 500 1,000 Feet



**Tim Keller, Mayor**



April 26, 2019

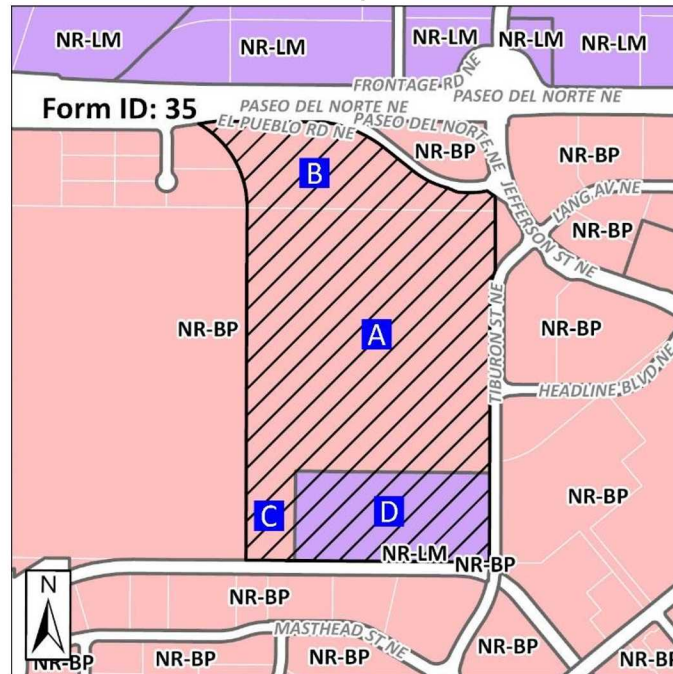
Dear property owner,

The Planning Department has received the Request and Agreement Form for a voluntary zoning conversion for the property indicated in the table below. This process was authorized by City Council through [Resolution 18-29](#) directing the Planning Department to create a process for property owners to opt in to a one-year, voluntary zone conversion process at no cost to the property owner.

The table below provides an overview of the requested conversion and Planning staff recommendations. See map on the next page to confirm the area recommended for conversion (the subject property).

<b>Zoning Conversion Request</b>	
Form ID (for your reference)	35A
Applicant Name	Steven Wentzel
Subject Property Address	4600 Paseo del Norte NE
Zip Code	87109
Owner Name*	AMERICAN GYPSUM INC
Owner Address*	3811 TURTLE CREEK BLVD SUITE 1200 DALLAS TX 75219-4424
Legal Description*	TR OF LAND IN E1/2 NW1/4 & W1/2 NE1/4 SEC 23 T11N R3E (EXCLPORT OUT TO R/W) CONT 43.3900;
UPC Code*	101706325338020199
Current Zoning**	NR-BP
Requested Zoning	NR-GM
* From 2018 Bernalillo County Assessor records ** From the City of Albuquerque Official Zoning Map	
<b>Staff Recommendation</b>	
Recommended Zone District	NR-GM
Criteria 1 – Nonconforming Use	Yes
Criteria 2 – Voluntary Downzone	No
Criteria 3 – Floating Zone Line	No
Criteria 4 – Prior Special Use Zoning	No
Criteria 5 – Size Thresholds	No
Notes	The existing use on the property is heavy manufacturing and became nonconforming with the adoption of the IDO. Heavy manufacturing is first allowed as a permissive primary use in the NR-GM zone district, so NR-GM is an appropriate zone conversion.

## Map



*The subject property is indicated with hatching.*

The recommended zoning conversion described above will be included in the follow-up zoning conversion process. It will be submitted as a group with other properties that also qualify for this process. The application is anticipated to be submitted in May 2019, for an EPC Hearing in July 2019. You are not required to attend the hearing, but you are welcome to send in written comments and/or attend the hearing to observe or give verbal comments. EPC Hearings start at 8:30 am and are held in the Basement Hearing Room in the Plaza del Sol building, 600 2<sup>nd</sup> St. NW. More information about the agenda will be sent out in our email newsletter, or you can find it on the City webpage: <http://www.cabq.gov/planning/boards-commissions/environmental-planning-commission/epc-agendas-reports-minutes>.

If you included an email address in your request, it has been added to our email list. You will receive periodic project update email newsletters at that address. Those updates will also be posted on the ABC-Z project webpage. If you would like to add or change your email address in our records, please contact us using any of the methods described below.

If you would like to talk to Planning Staff about the recommended conversion, if you have any concerns about the information in this letter or the map, or if you would like to opt out of this process, please email [abctoz@cabq.gov](mailto:abctoz@cabq.gov), visit the project website [www.abc-zone.com](http://www.abc-zone.com), or phone the Planning Department at (505) 924-3860 and ask to speak to someone on the ABC-Z Planning Team.

Sincerely,

Long Range Planning Staff, City of Albuquerque

Email: [abctoz@cabq.gov](mailto:abctoz@cabq.gov)

Phone: 505-924-3860

Web: [www.abc-zone.com](http://www.abc-zone.com)

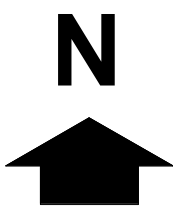
CC:

Steve Wentzel c/o AMERICAN GYPSUM INC, 3811 TURTLE CREEK BLVD SUITE 1200 DALLAS TX 75219-4424

Steve Wentzel, [steve.wentzel@americangypsum.com](mailto:steve.wentzel@americangypsum.com)

Asset Management, [jaim@assetmanagementnm.com](mailto:jaim@assetmanagementnm.com)

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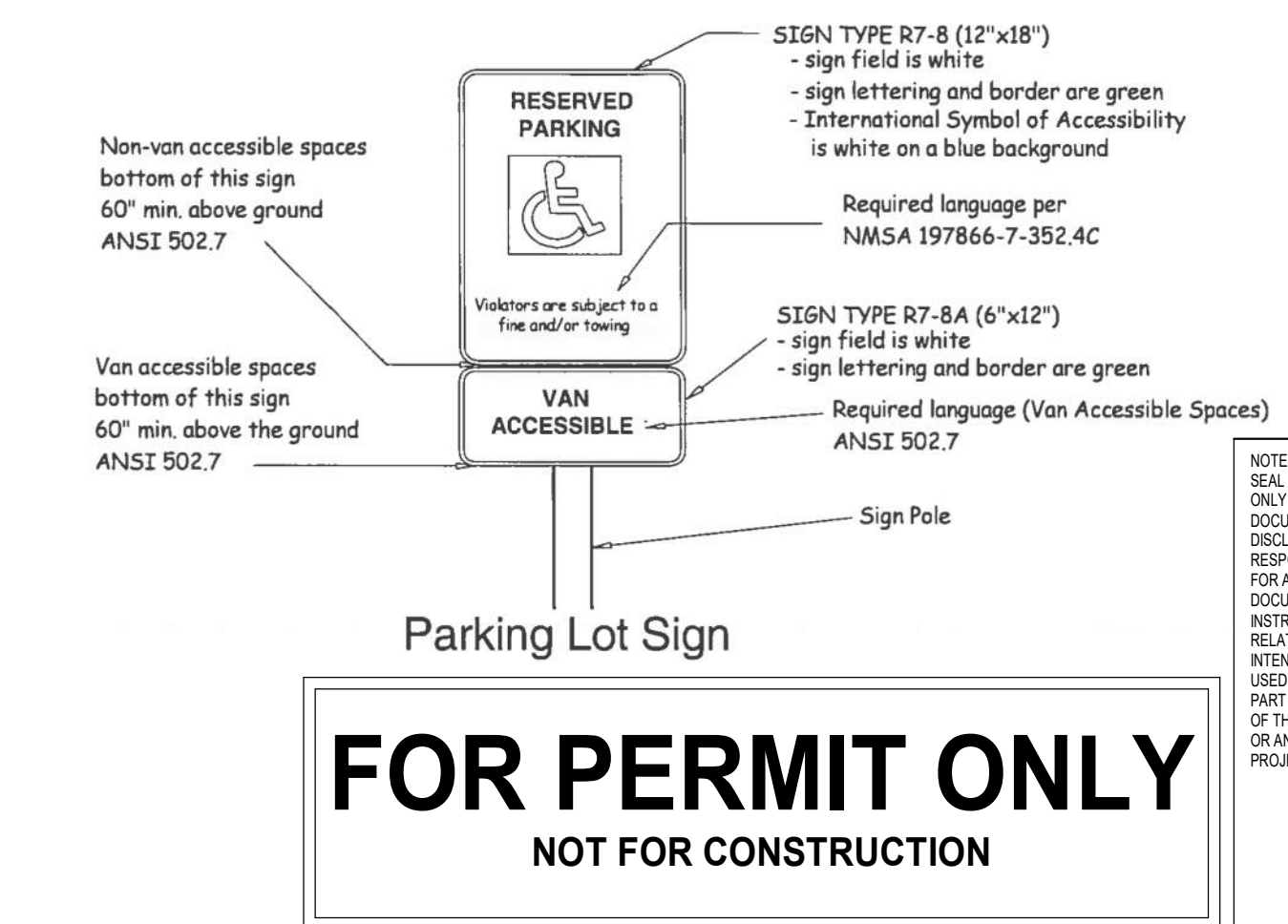
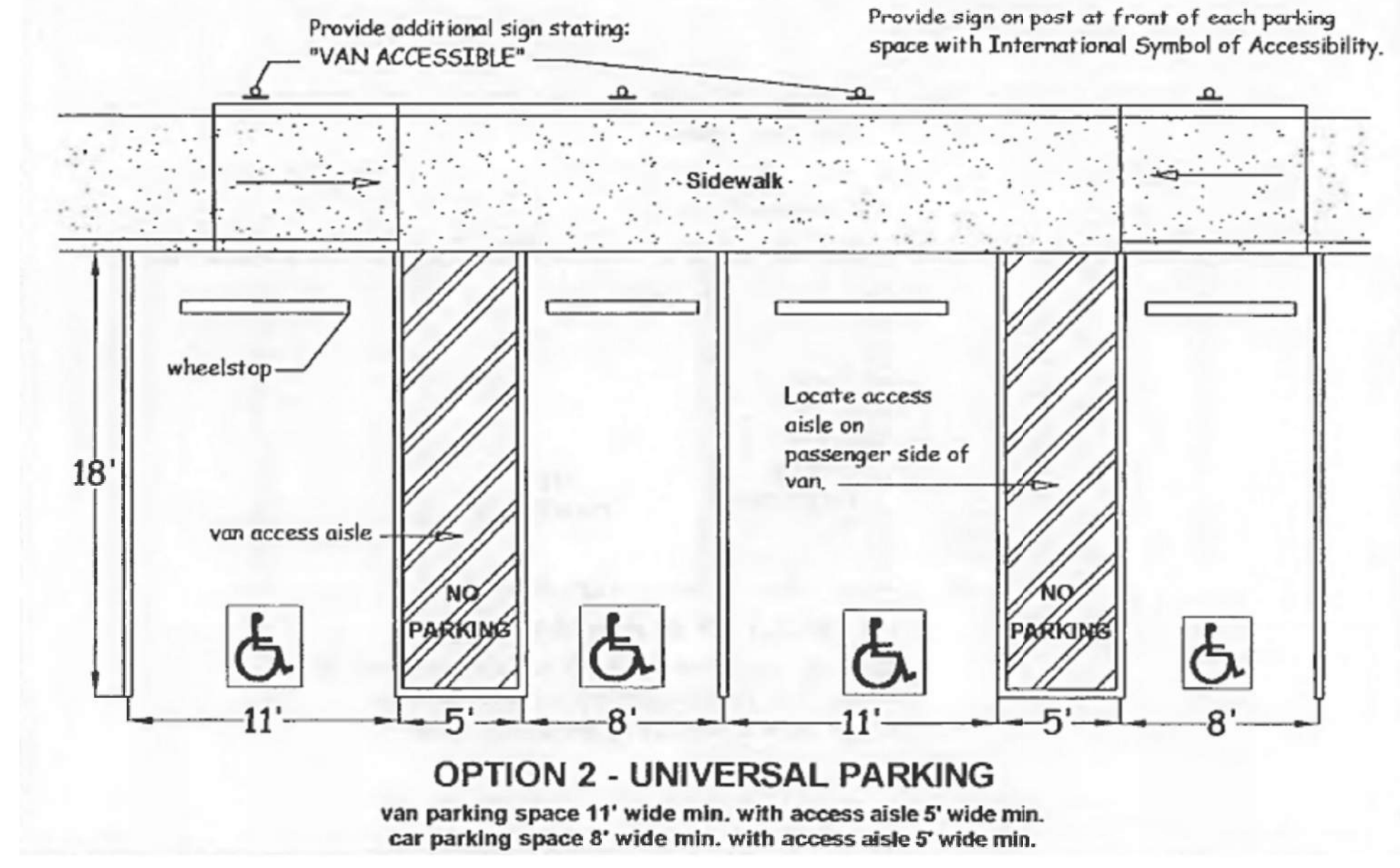
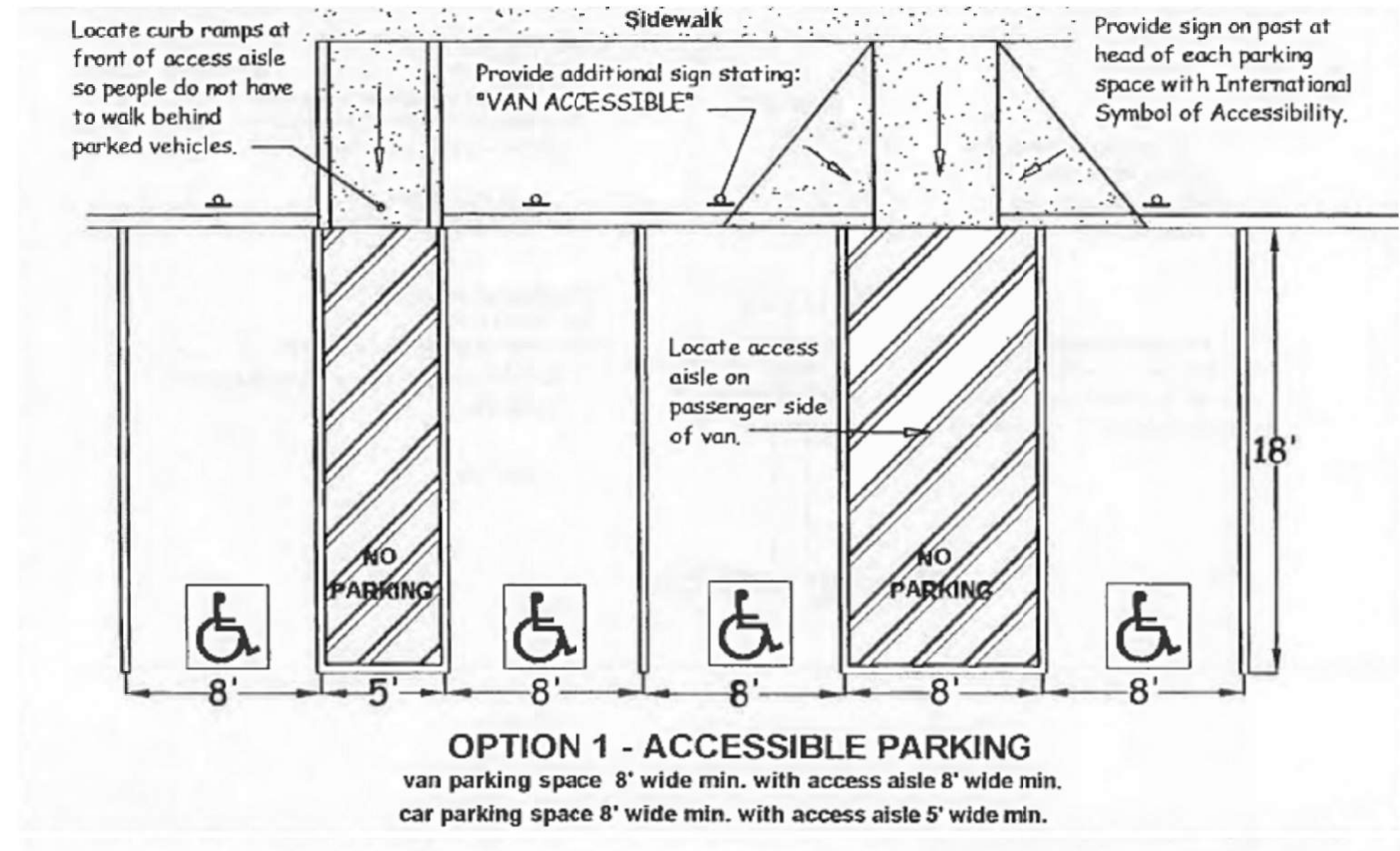
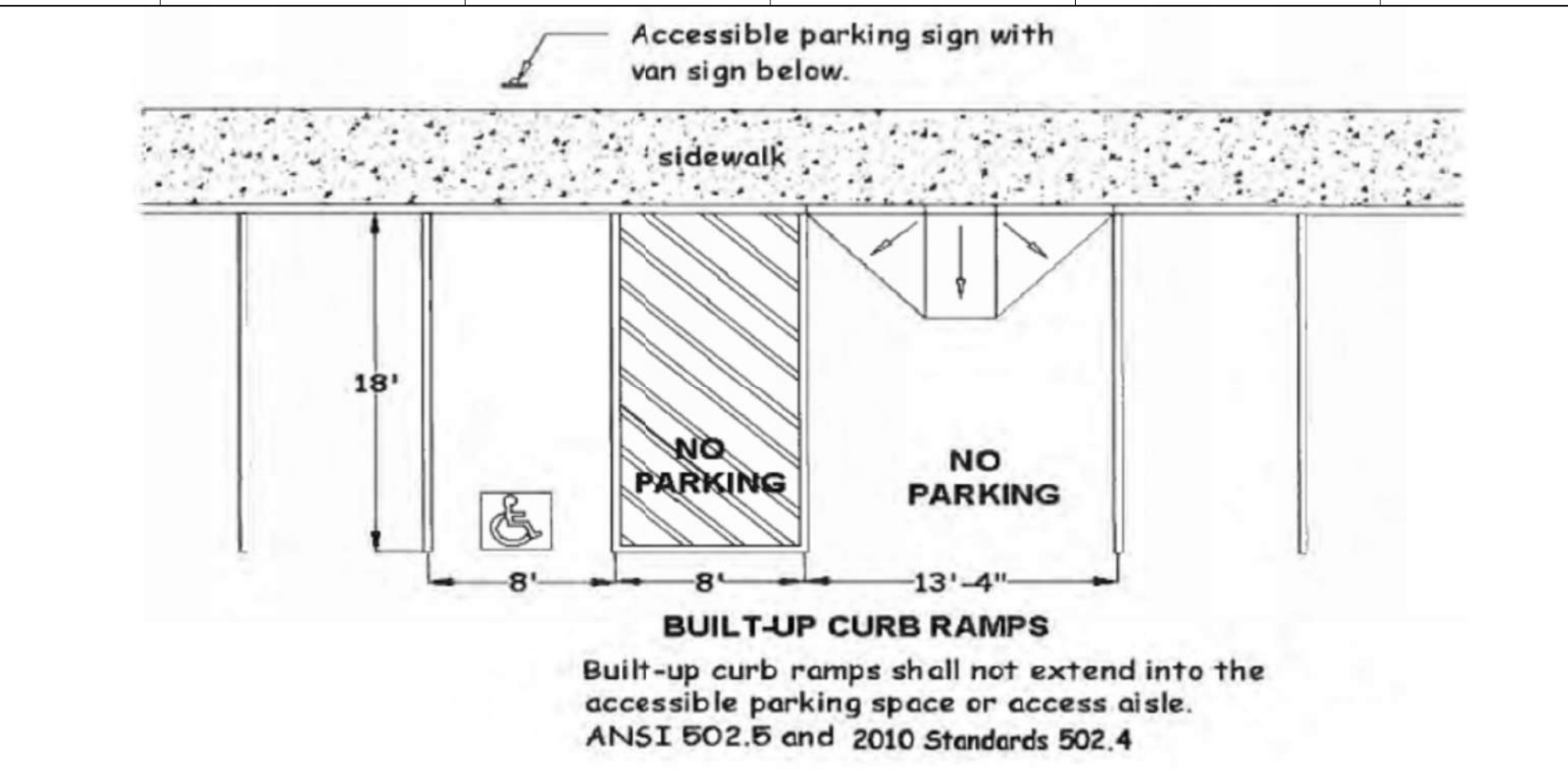


**TRAFFIC CIRCULATION LAYOUT**

1" = 50'-0"

EXISTING PARKING SPACES		
TOTAL PARKING SPACES INCLUDING ACCESSIBLE SPACES	TOTAL ACCESSIBLE SPACES INCLUDING VAN ACCESSIBLE SPACES	TOTAL VAN ACCESSIBLE SPACES
69	4	1

NMBC TABLE 1106.1 - NUMBER OF ACCESSIBLE PARKING SPACES			
NMBC Table 1106 is based on 66-7-352.4 NMSA 1978 and provides more accessible parking in smaller lots than IBC 1106.1 and 2010 Standards.			
TOTAL PARKING SPACES	TOTAL REQUIRED ACCESSIBLE PARKING SPACES	NUMBER REQUIRED TO BE VAN ACCESSIBLE (IBC 1106.5 Van Parking)	NOTES
1-25	1	1	
26-35	2	1	
36-50	3	1	
51-100	4	1	
101-500	8	2	
501-1,000	12	2	
1,001-5,000	16	3	
5,001-10,000	20	4	
Over 1,000	20 spaces plus 1 space for every 100 spaces, or fraction thereof, over 1,000	1 of every 6 accessible parking spaces, or fraction thereof	



NOTE: THIS SEAL APPLIES ONLY TO THIS DOCUMENT. I DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THIS PROJECT OR ANY OTHER PROJECT.

**DANA ALWINDAWY**  
NEW MEXICO  
28595  
PROFESSIONAL ENGINEER

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 28595

**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113

DESIGNED: MCV DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCV DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services  
1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017  
INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
TRAFFIC CIRCULATION LAYOUT**

IA DRAWING NUMBER  
**1576-CC-111**  
CLIENT DRAWING NUMBER

REV. **0** DWG. SCALE: As indicated

DATE: 09/12/22  
BY: JJB  
CHK: KL  
APP: KL

ISSUED FOR PERMIT  
DATE: 09/12/22  
DESCRIPTION

REV DATE

9/12/2022 11:51:46 AM  
DRAWING FORMAT: ARCH D - 24"x36"

# SITE DATA

**LEGAL DESCRIPTION**  
 LOT 'A' LAND OF AMERICAN GYPSUM COMPANY

**AREA**  
 1,949,631 SF / 44.5739 ACRES PER JULY 2014 BOUNDARY SURVEY  
 1,860,068.4 SF / 43.39 ACRES PER ABO GIS  
 APPROX 28 ACRES REMAIN UNDEVELOPED  
 EXISTING STRUCTURES ON SITE OCCUPY 218,566 SF  
 TOTAL STRUCTURE AREA PROPOSED 233,696 SF  
 350,504 SF OF EXISTING ASPHALT PAVING

**ZONING**  
 ZONED "IP" PER 1987 ANNEXATION AGREEMENT

**USE**  
 MANUFACTURING, DISTRIBUTION, AND WAREHOUSING OF GYPSUM PRODUCTS

**PROPOSED STRUCTURES**  
 15,140 SF GYPSUM RECEIVING, HANDLING, AND MILL OPERATIONS

# PARKING CRITERIA

1 PER 3 EMPLOYEES ON LARGEST SHIFT  
 = 48.3 = 16 SPACES

OFFICE AREA = 16,342 / 200 = 82 SPACES

WAREHOUSE = 69,912 / 2,000 SF = 45 SPACES

TOTAL = 143 SPACES

LESS CITY BUS REDUCTION = 14 SPACES

TOTAL REQUIRED = 129 SPACES

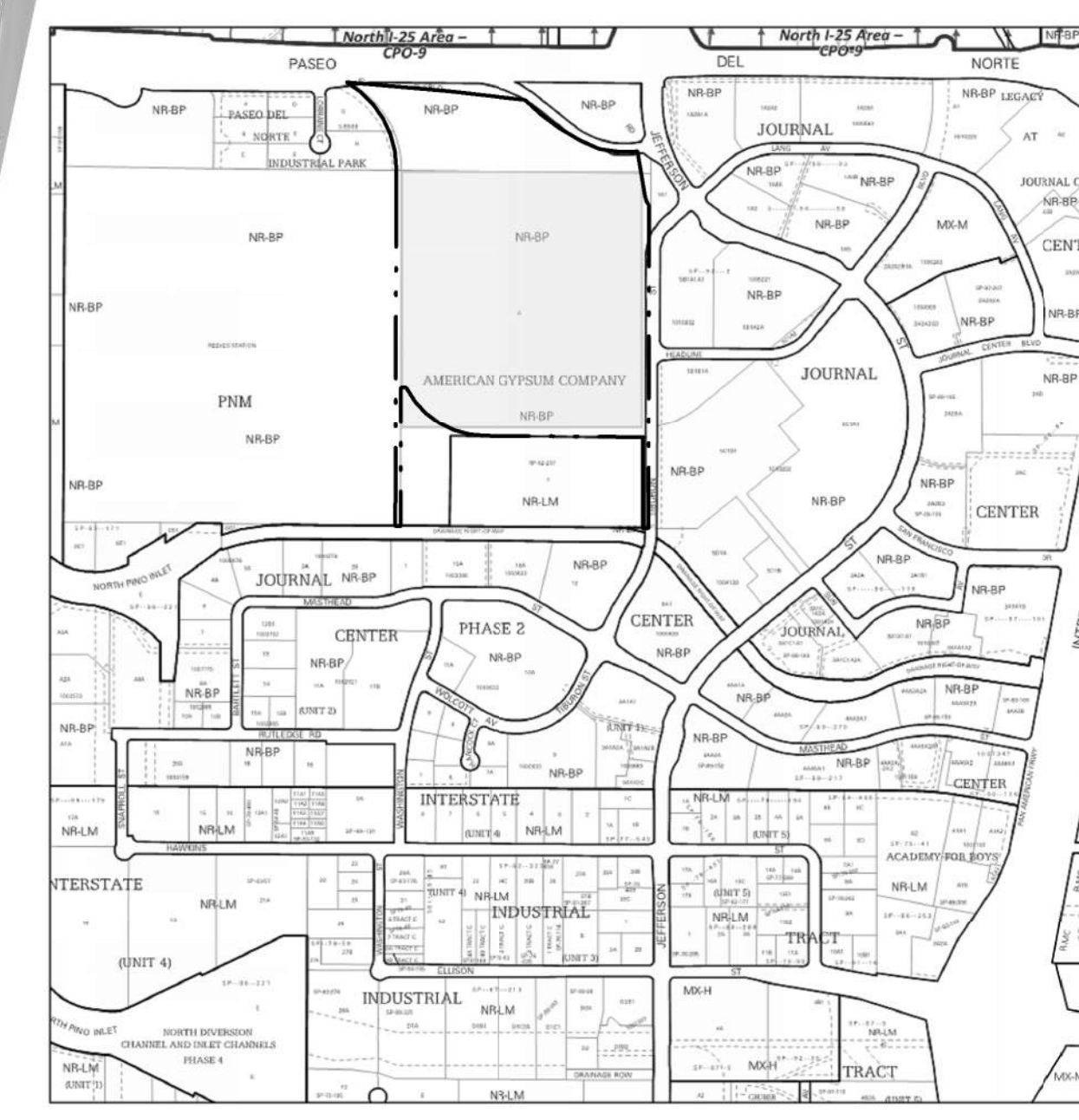
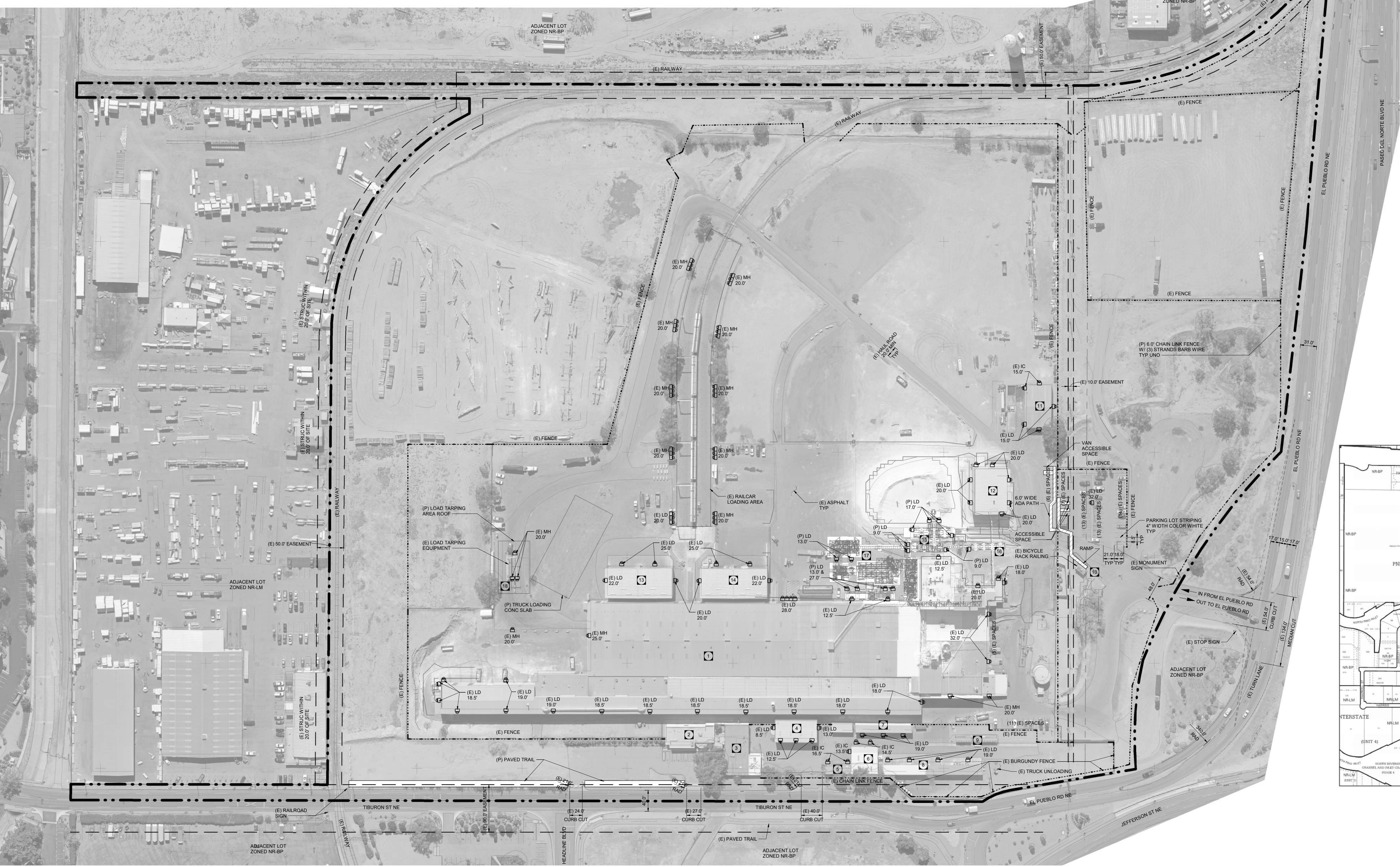
TOTAL PROVIDED = 69 SPACES

INCLUDES (4) ACCESSIBLE SPACES  
 INCLUDES (1) VAN ACCESSIBLE SPACE

BICYCLE RACK RAILING @ GUARDSHACK FOR 20-30 SPACES

# STRUCTURES

- 1 (E) MAIN BUILDING DRYWALL, MANUFACTURING, OFFICES, & WAREHOUSE 175,766 SF
- 2 (E) OFFICE BUILDING 3,433 SF
- 3 (E) OFFICE BUILDING 4,343 SF
- 4 (E) WAREHOUSE 3,200 SF
- 5 (E) OPEN STORAGE SHED 675 SF
- 6 (E) OPEN STORAGE SHED 2,067 SF
- 7 (E) OPEN STORAGE SHED 1,455 SF
- 8 (E) OPEN STORAGE SHED 3,423 SF
- 9 (E) OPEN STORAGE SHED 404 SF
- 10 (E) GUARD SHACK 320 SF
- 11 (E) MAINTENANCE SHOP 3,880 SF
- 12 (E) MANUFACTURING BUILDING 5,670 SF
- 13 (E) OPEN STORAGE SHED 7,000 SF
- 14 (E) OPEN STORAGE SHED 7,000 SF
- 15 (P) GYPSUM RECEIVING EQUIPMENT & STRUC 3,860 SF
- 16 (P) GYPSUM HANDLING EQUIPMENT & STRUC 620 SF
- 17 (P) MILL OPERATIONS EQUIPMENT & STRUC 11,460 SF
- 18 (P) LOAD TARPING AREA ROOF 6,000 SF



## SITE DEVELOPMENT PLAN

1" = 100'-0"

### LEGEND

- (E) EXISTING
- (P) PROPOSED
- PROPERTY LINE
- - - EASEMENT
- FENCE
- LD LED LIGHTING HEIGHT ABOVE GRADE
- XX INCANDESCENT LIGHTING HEIGHT ABOVE GRADE
- MH METAL HALIDE LIGHTING HEIGHT ABOVE GRADE

**FOR PERMIT ONLY**  
 NOT FOR CONSTRUCTION



DATE: 09/12/22  
 NAME: DANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 26595

REV	DATE	DESCRIPTION	ISSUED FOR PERMIT	JOB	KL	APP
0	09/12/22					



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
 DRAWN: APV DATE: 06/15/22  
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**OVERALL PLANT**  
**CIVIL**  
**SITE DEVELOPMENT PLAN**

IA DRAWING NUMBER	1576-CC-121
CLIENT DRAWING NUMBER	
REV.	0
DWG. SCALE:	1" = 100'-0"



LANDSCAPE NOTES:  
Street Landscaping,  
Street Trees, Shrubs

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	HxS	H2O USE
8	2" cal	Chinaberry <i>Melia azedarach umbraculiformis</i>	25x20	L
1	2" cal	Netleaf Hackberry <i>Celtis reticulata</i>	25x25	L
8	2" cal	Honey Mesquite <i>Prosopis glandulosa</i>	30x30	L+
16	2" cal	Desert Willow <i>Chilopsis linearis</i>	20x25	L
12	2" cal	Jujube or Chinese Date <i>Zizyphus jujuba</i>	25x25	L+
20	2" cal	Scrubbean Mesquite <i>Prosopis pubescens</i>	20x20	L+
11	2" cal	Goldenball Leadtree <i>Leucaena retusa</i>	15x20	L+
82	Total Trees			

- 5567 Asphalt Bike Trail
- 54430 Native seed area
- 16021 2-4" Cobble, seed plating
- 38463 3/4" - 1" Gravel, seed plating

Proposed Fence  
Property Line

**GROUND TREATMENT NOTES:**

The area must be seeded with a native mix per City Standard specification 1012.3 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

ALL AREAS: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed.

Native-grass seed mix shall be 50%/50% (by weight) combination of *Bouteloua gracilis* "Hachita" Blue Grama, and *Buchloe dactyloides* - Buffalo grass / addition of Apache plum and *Chamaea* seeds) applied at a rate of 100#LBS/AC, or as specified on the plans.

Maintenance will be per City of Albuquerque Specification 1012.3.1 and 1012.3.2

Contractor must seed the area during/after the first growing season.

**LANDSCAPE NOTES:**

It is the intent of this plan to provide an alternative landscape plan in lieu of the traditional IDO required landscape plan.

The ALP (Alternative Landscape Plan) would provide a landscape buffer, approximately 20' wide, along the street frontage on the west starting at the railroad tracks, moving east along El Pueblo Rd., and continuing south along Tiburon St. to the south, ending at the railroad tracks.

Plantings proposed are the City's recommended tree list.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (100' length) with 3 loops at a final radius of 6' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1 gph. Drip and Bubbler systems to be tied to 1/2" poly pipe with rain caps at each end.

Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

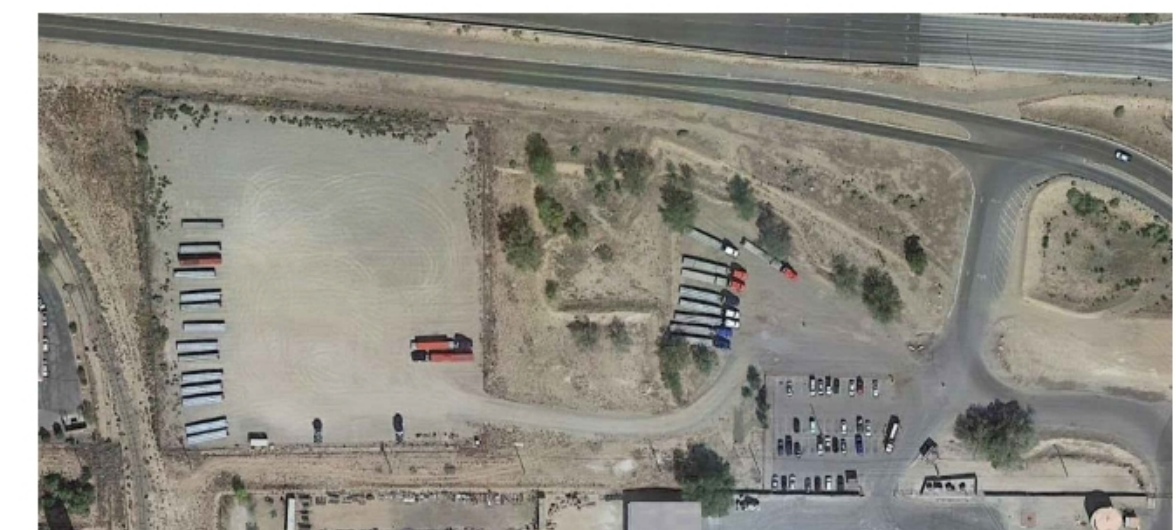
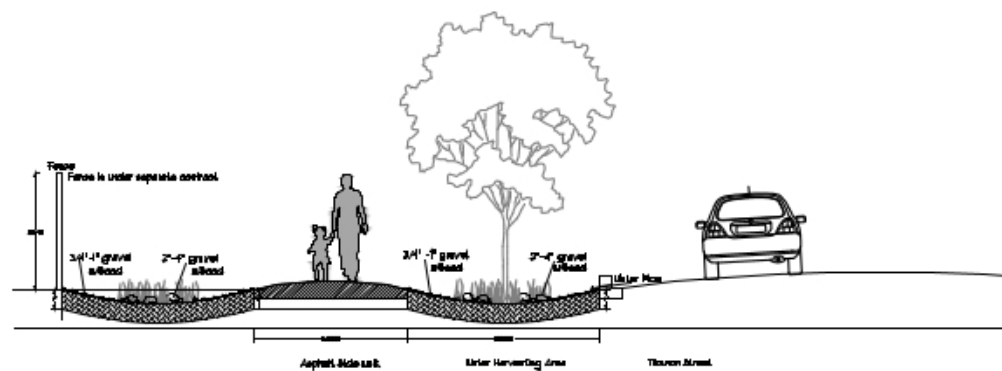
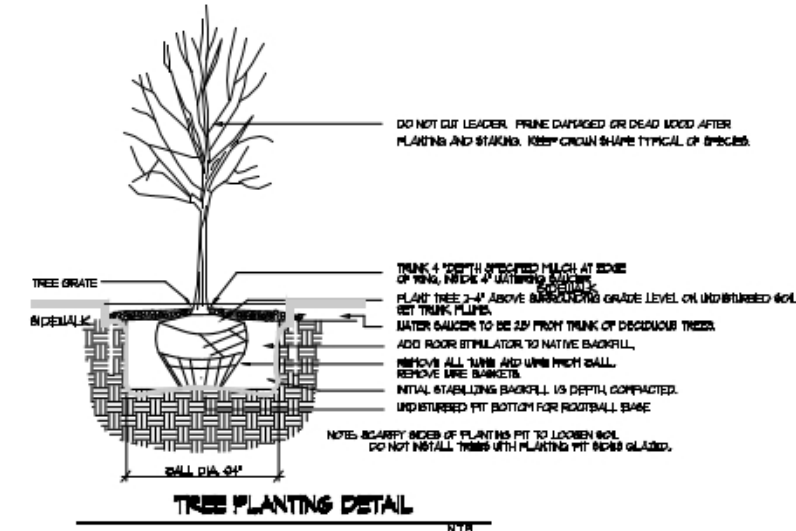
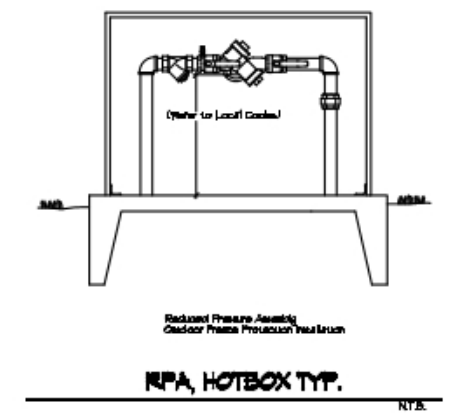
Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

No Irrigation system for native seeding areas is required.



Scrubbean Mesquite



Honey Mesquite



Chinaberry



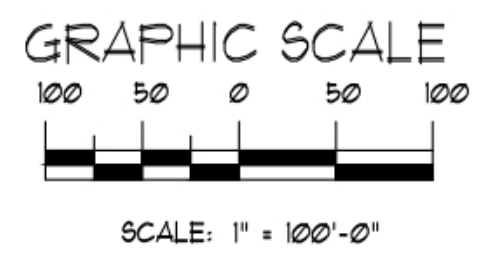
Netleaf Hackberry



Goldenball Lead tree

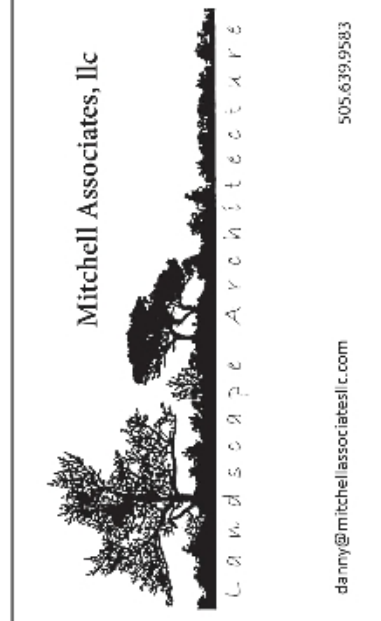


Chinese Date/ Jujube



**Alternative Landscape Plan**

**American Gypsum  
4600 Paseo del Norte  
Albuquerque, NM 87115**



Seal:  
Landscape Architect  
STATE OF NEW MEXICO  
DANNY O. MITCHELL  
2359  
REGISTERED  
LANDSCAPE ARCHITECT  
August 15, 2022

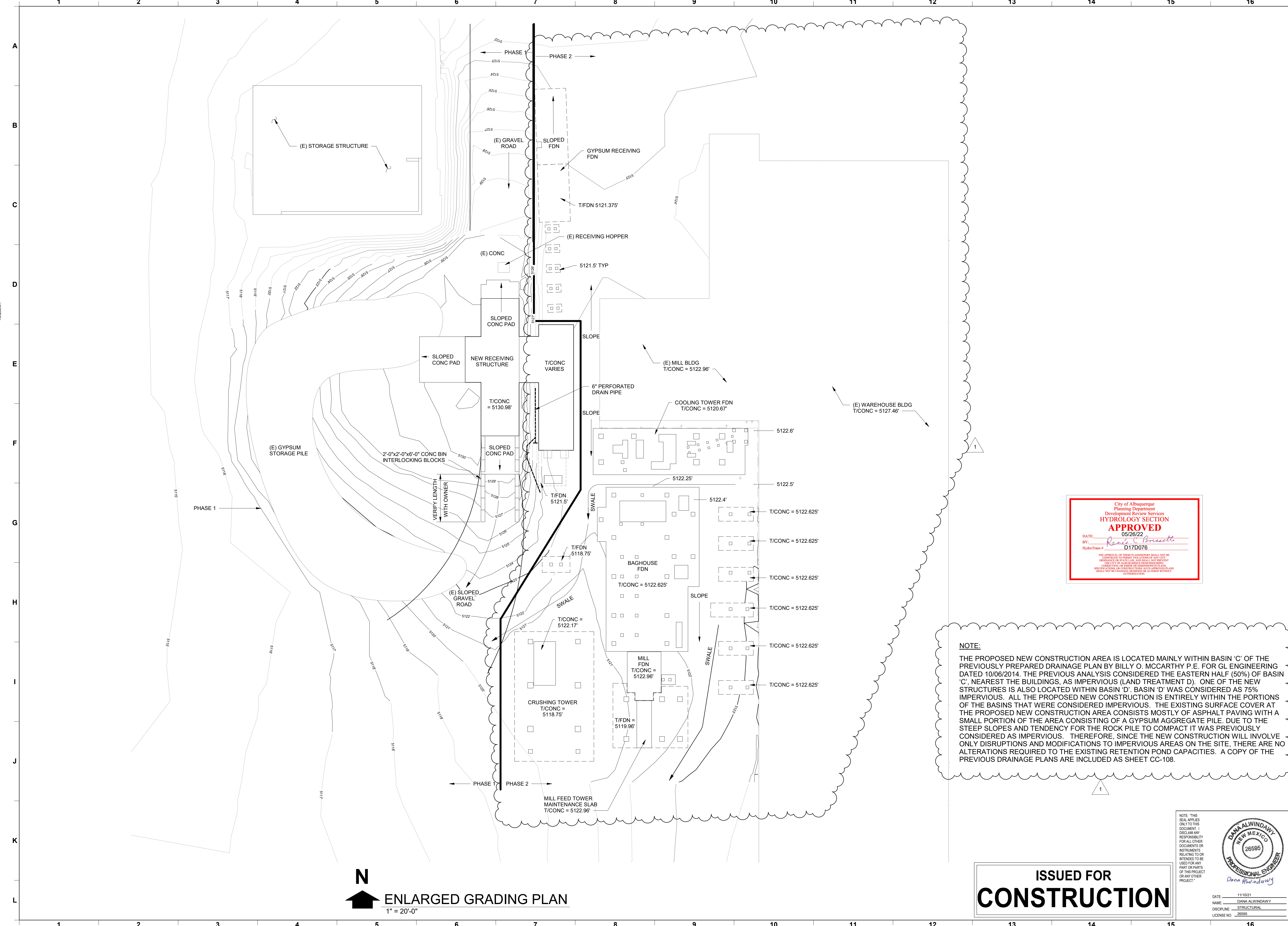
DRAWING NO:  
**LS-101**

Designed By: D. Mitchell  
Drawn By: Pariz  
Approved By: dm  
Date: NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.

REVISIONS  
Comment  
Date:

File ID:

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**N**  
**ENLARGED GRADING PLAN**  
 1" = 20'-0"

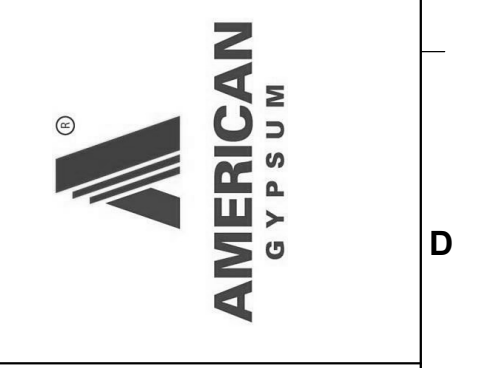
City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 05/26/22  
 BY: *Ross C. Brissett*  
 HydroTrans # D17D076  
THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF ANY KIND BY THE CITY OF ALBUQUERQUE. THE CITY OF ALBUQUERQUE IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DOCUMENT. THE CITY OF ALBUQUERQUE SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THESE PLANS.

**NOTE:**  
 THE PROPOSED NEW CONSTRUCTION AREA IS LOCATED MAINLY WITHIN BASIN 'C' OF THE PREVIOUSLY PREPARED DRAINAGE PLAN BY BILLY O. MCCARTHY P.E. FOR GL ENGINEERING DATED 10/06/2014. THE PREVIOUS ANALYSIS CONSIDERED THE EASTERN HALF (50%) OF BASIN 'C', NEAREST THE BUILDINGS, AS IMPERVIOUS (LAND TREATMENT D). ONE OF THE NEW STRUCTURES IS ALSO LOCATED WITHIN BASIN 'D'. BASIN 'D' WAS CONSIDERED AS 75% IMPERVIOUS. ALL THE PROPOSED NEW CONSTRUCTION IS ENTIRELY WITHIN THE PORTIONS OF THE BASINS THAT WERE CONSIDERED IMPERVIOUS. THE EXISTING SURFACE COVER AT THE PROPOSED NEW CONSTRUCTION AREA CONSISTS MOSTLY OF ASPHALT PAVING WITH A SMALL PORTION OF THE AREA CONSISTING OF A GYPSUM AGGREGATE PILE. DUE TO THE STEEP SLOPES AND TENDENCY FOR THE ROCK PILE TO COMPACT IT WAS PREVIOUSLY CONSIDERED AS IMPERVIOUS. THEREFORE, SINCE THE NEW CONSTRUCTION WILL INVOLVE ONLY DISRUPTIONS AND MODIFICATIONS TO IMPERVIOUS AREAS ON THE SITE, THERE ARE NO ALTERATIONS REQUIRED TO THE EXISTING RETENTION POND CAPACITIES. A COPY OF THE PREVIOUS DRAINAGE PLANS ARE INCLUDED AS SHEET CC-108.

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 Dana Alwindawy  
 PROFESSIONAL ENGINEER

**ISSUED FOR CONSTRUCTION**

REV	DATE	DESCRIPTION	BY	CHK	APP
1	02/11/22	REVISED FOR PERMIT	APV	MCW	DA
0	11/01/21	ISSUED FOR CONSTRUCTION	APV	MCW	DA



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113  
 DESIGNED: MCW DATE: 01/17/22  
 DRAWN: APV DATE: 01/17/22  
 CHECKED: MCW DATE: 01/18/22  
 SMACC APPR: - DATE: -

**Industrial Ally**  
 Engineering and Construction Services  
 1422 Elbridge Payne Rd, Suite 120  
 Chesterfield, MO 63017  
 INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
 OVERALL PLANT  
 CIVIL  
 UPDATED GRADING PLAN**

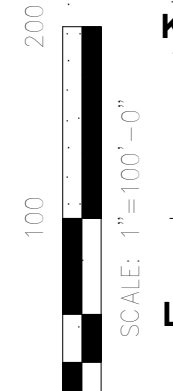
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CLIENT DRAWING NUMBER	
REV. 1	DWG. SCALE: As indicated

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**UTILITY PLAN**  
1" = 100'-0"



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DATE: 09/12/22  
NAME: DANA ALWINDAWNY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
UTILITY PLAN**

IA DRAWING NUMBER  
**1576-CC-122**  
CLIENT DRAWING NUMBER

REV. **0** DWG. SCALE: **1" = 100'-0"**

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

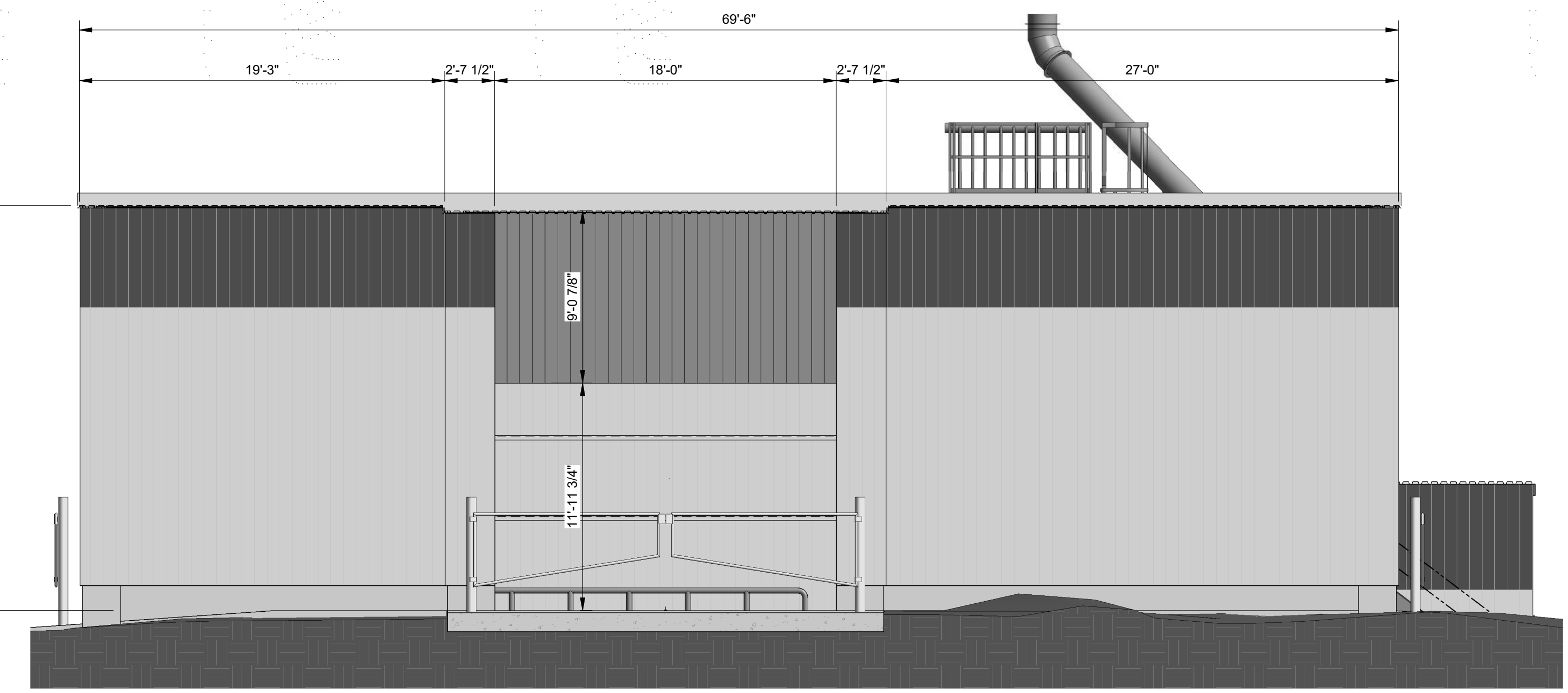
DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services  
1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017

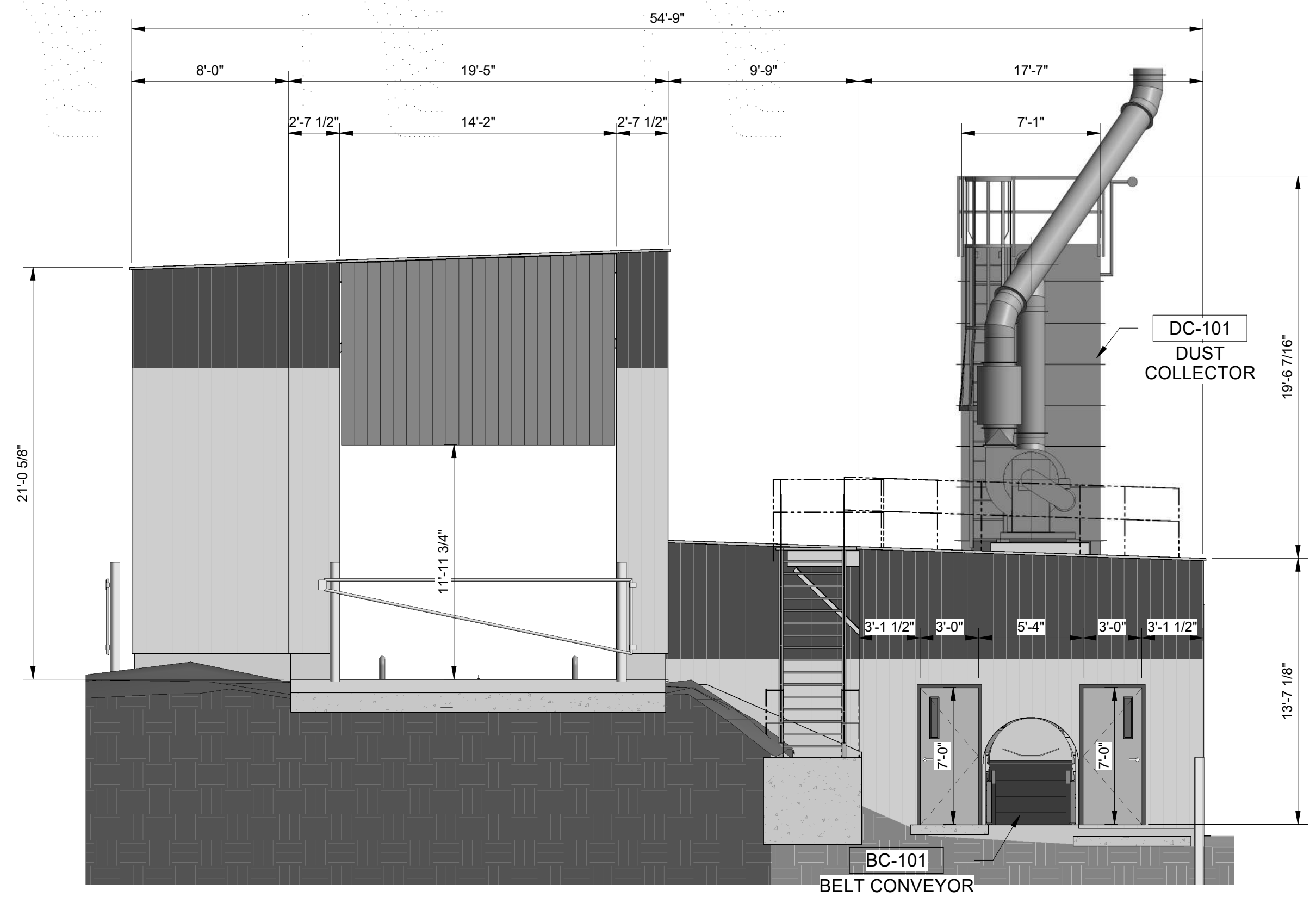
INDUSTRIAL ALLY PROJECT NUMBER: 1576



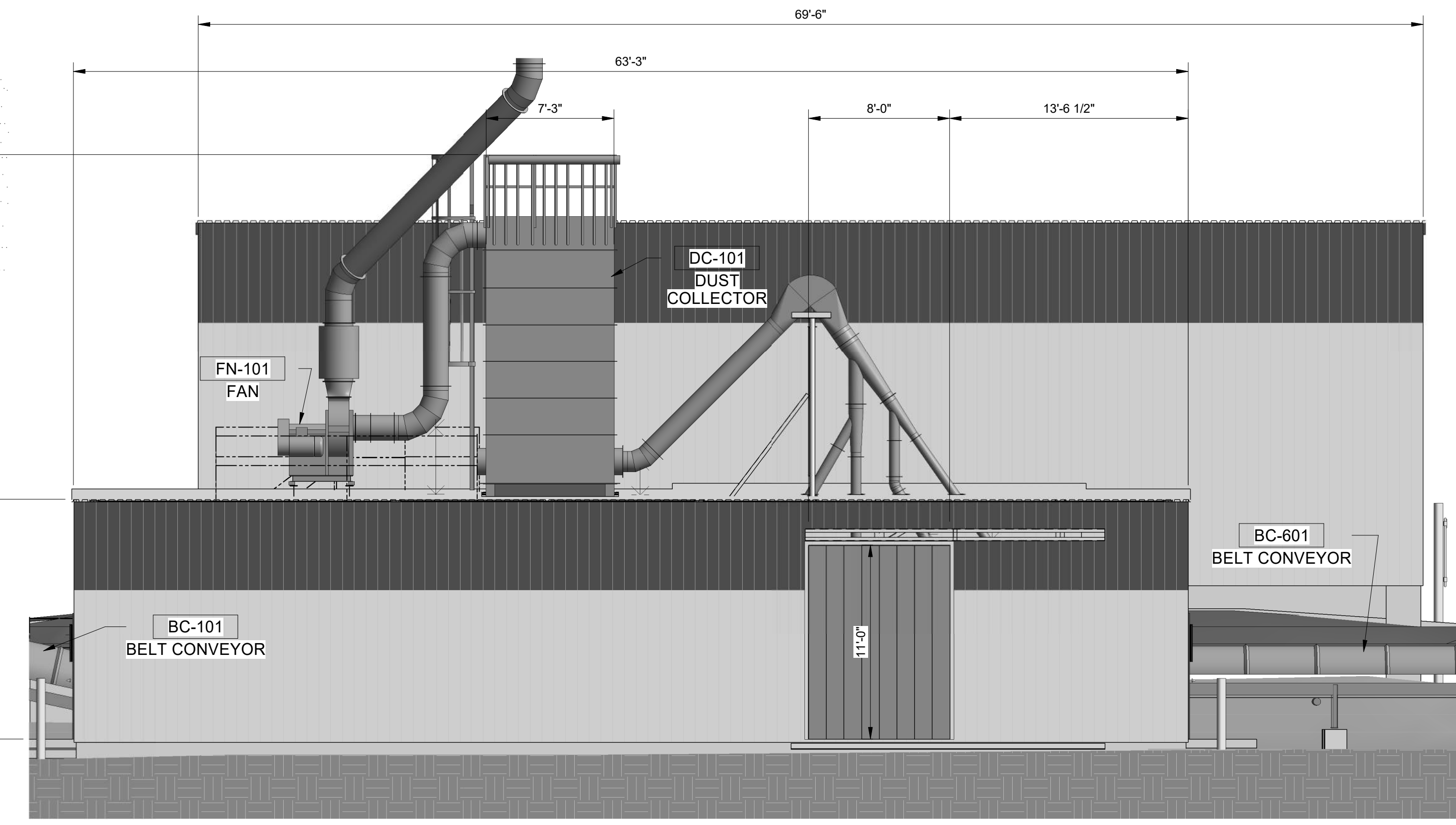
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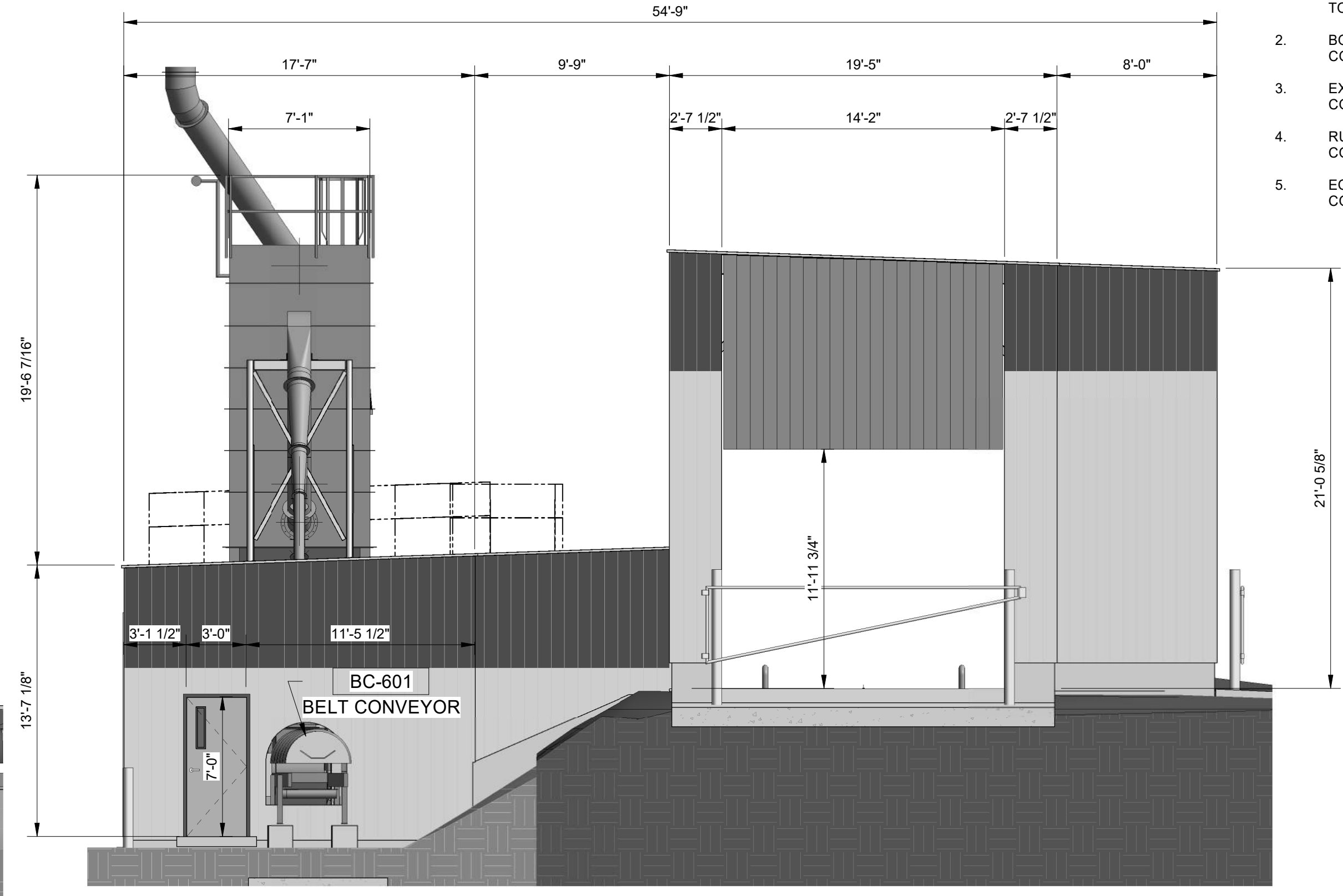
**GYPHUM RECEIVING WEST ELEVATION**  
3/16" = 1'-0"



**GYPHUM RECEIVING SOUTH ELEVATION**  
3/16" = 1'-0"



**GYPHUM RECEIVING EAST ELEVATION**  
3/16" = 1'-0"



**GYPHUM RECEIVING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

SCALE: 3/16" = 1'-0"

**FOR PERMIT ONLY**  
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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER  
*Dana Alwindawy*

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

AMERICAN GYPSUM		ISSUED FOR PERMIT	CHK	APP
0	09/12/22	DESCRIPTION	JJB	KL
REV	DATE	DESCRIPTION	BY	CHK
0	09/12/22	ISSUED FOR PERMIT	JJB	KL

**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services  
1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017  
INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

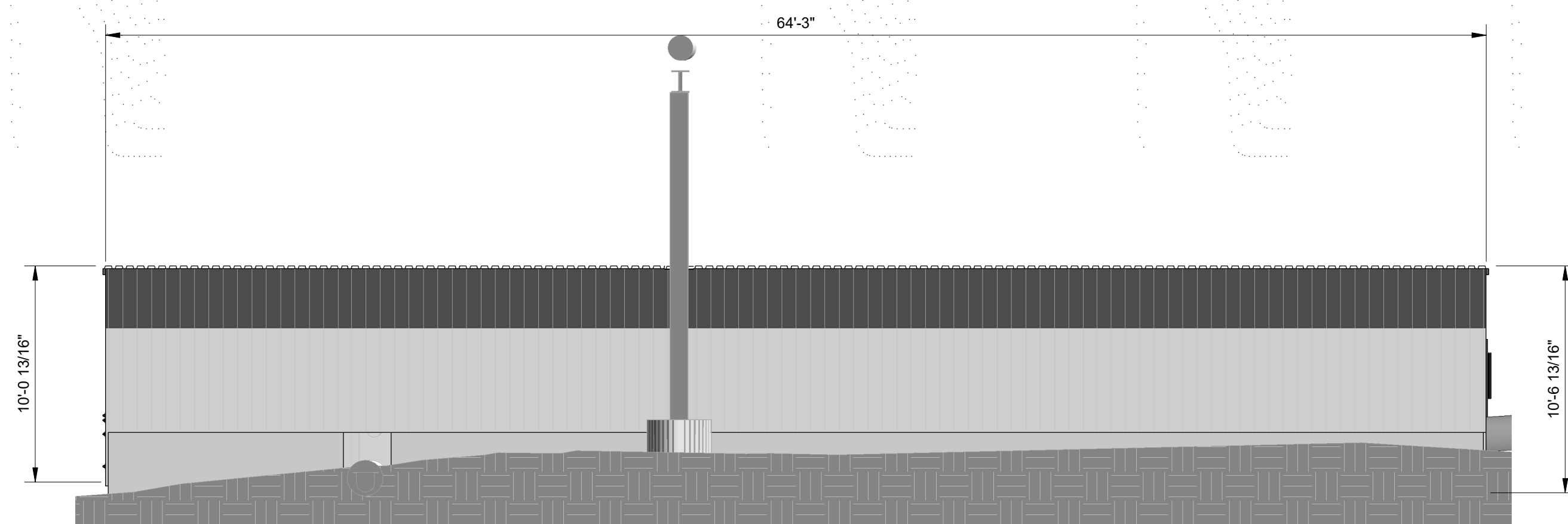
IA DRAWING NUMBER  
**1576-CC-201**  
CLIENT DRAWING NUMBER

REV. 0 DWG. SCALE: 3/16" = 1'-0"

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

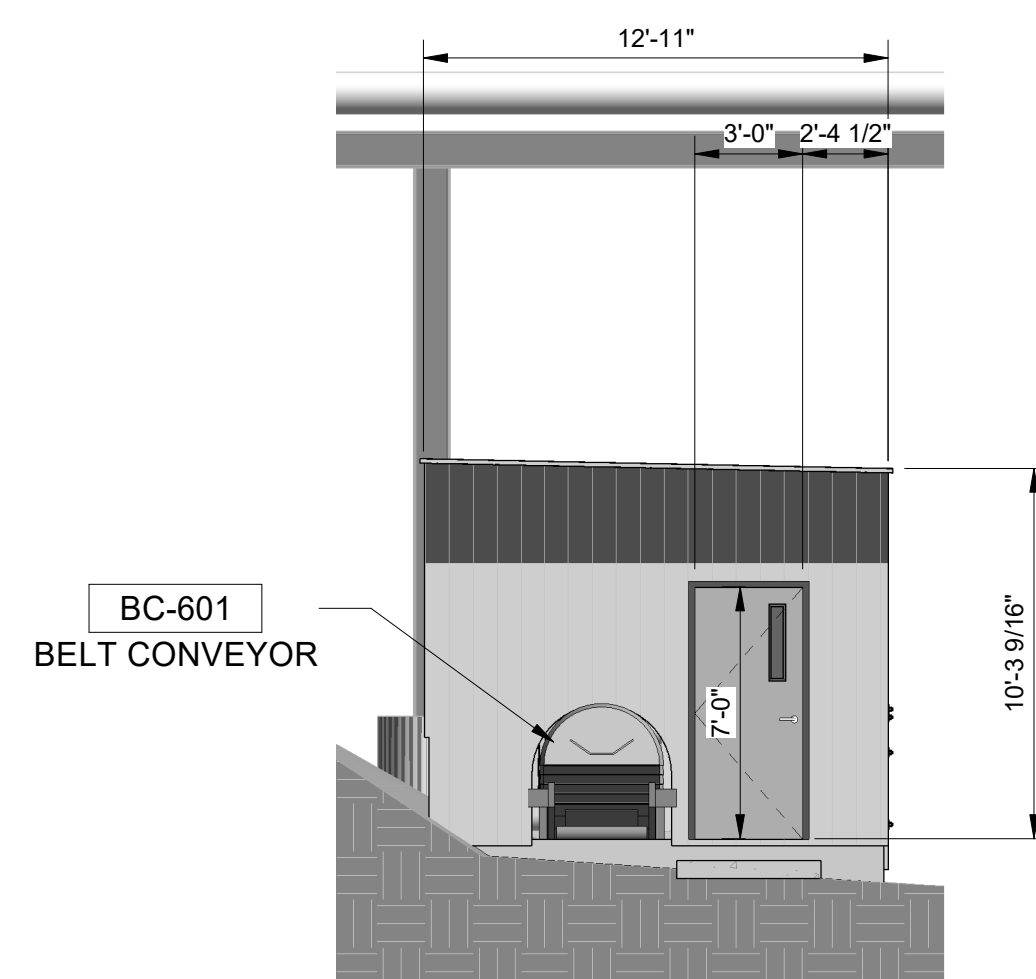
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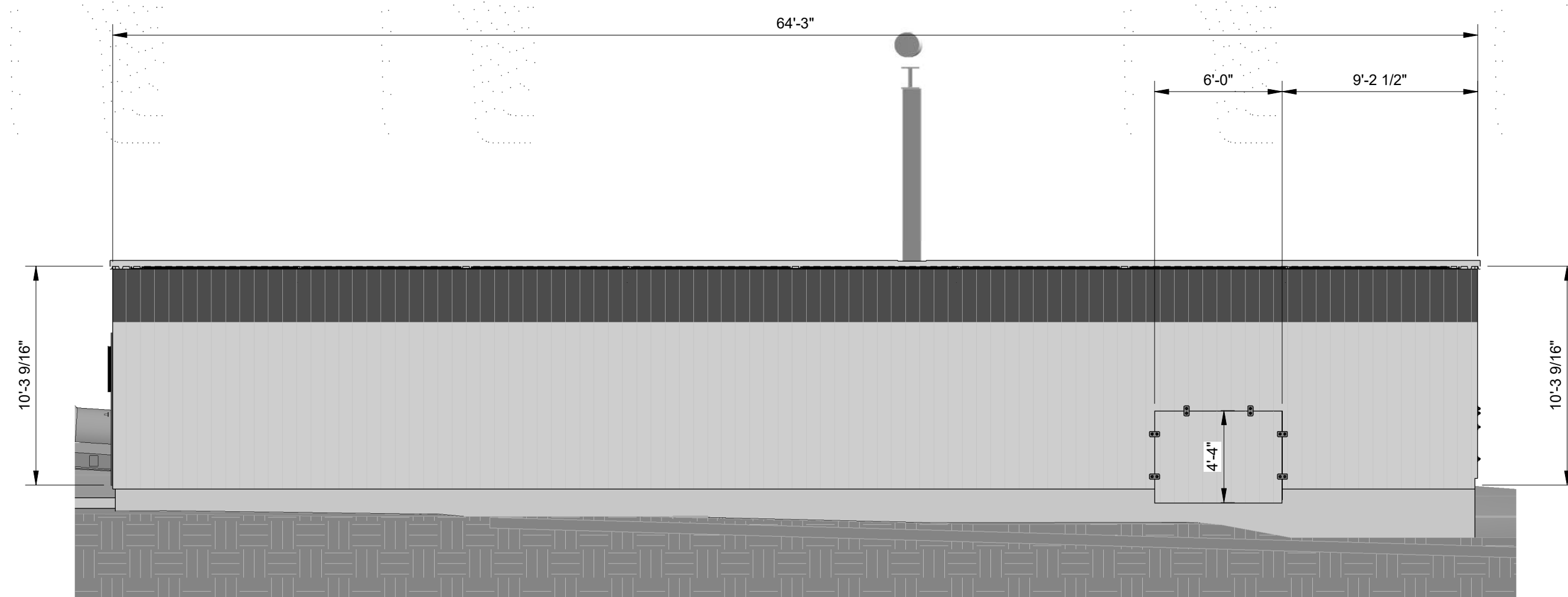
**GYPSUM HANDLING WEST ELEVATION**

3/16" = 1'-0"



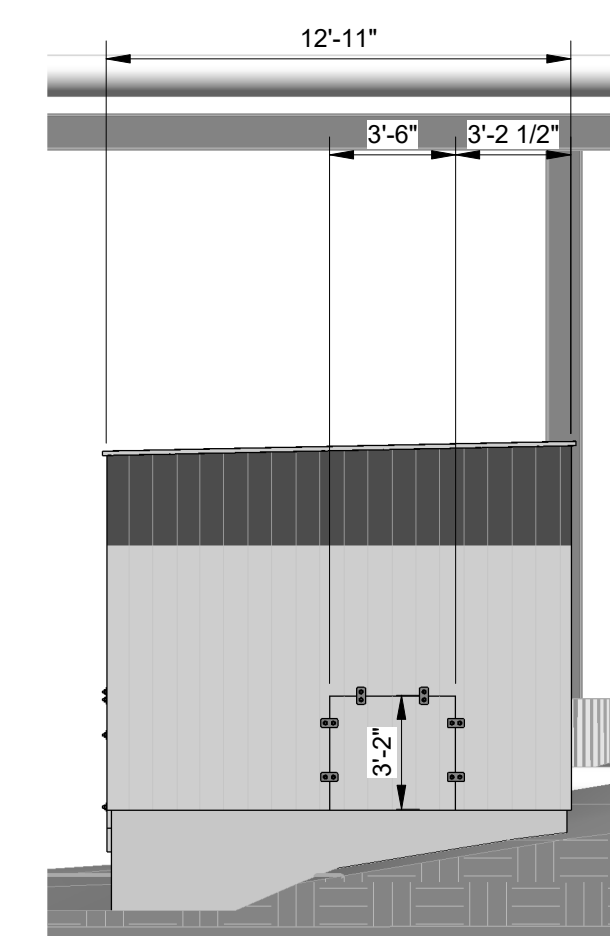
**GYPSUM HANDLING SOUTH ELEVATION**

3/16" = 1'-0"



**GYPSUM HANDLING EAST ELEVATION**

3/16" = 1'-0"



**GYPSUM HANDLING NORTH ELEVATION**

3/16" = 1'-0"

**NOTES:**

- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
- BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
- EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
- RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
- EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



<b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
DESIGNED: MCW	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCW	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21

<b>Industrial Ally</b> Engineering and Construction Services	
1422 Elbridge Payne Rd, Suite 120 Chesterfield, MO 63017	
INDUSTRIAL ALLY PROJECT NUMBER: 1576	

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
STRUCTURE ELEVATIONS**

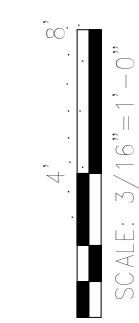
**CIVIL**

IA DRAWING NUMBER	
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CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
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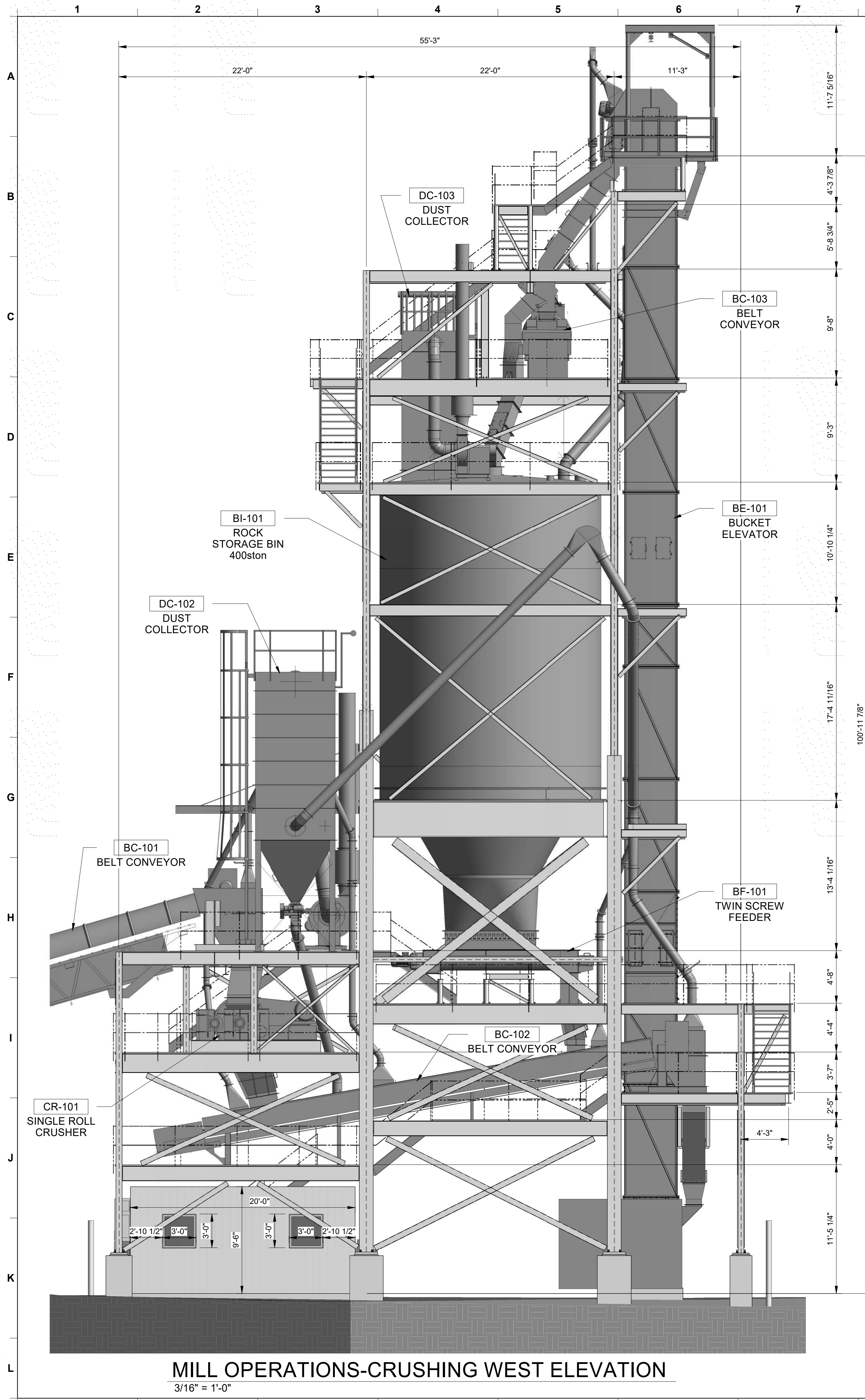
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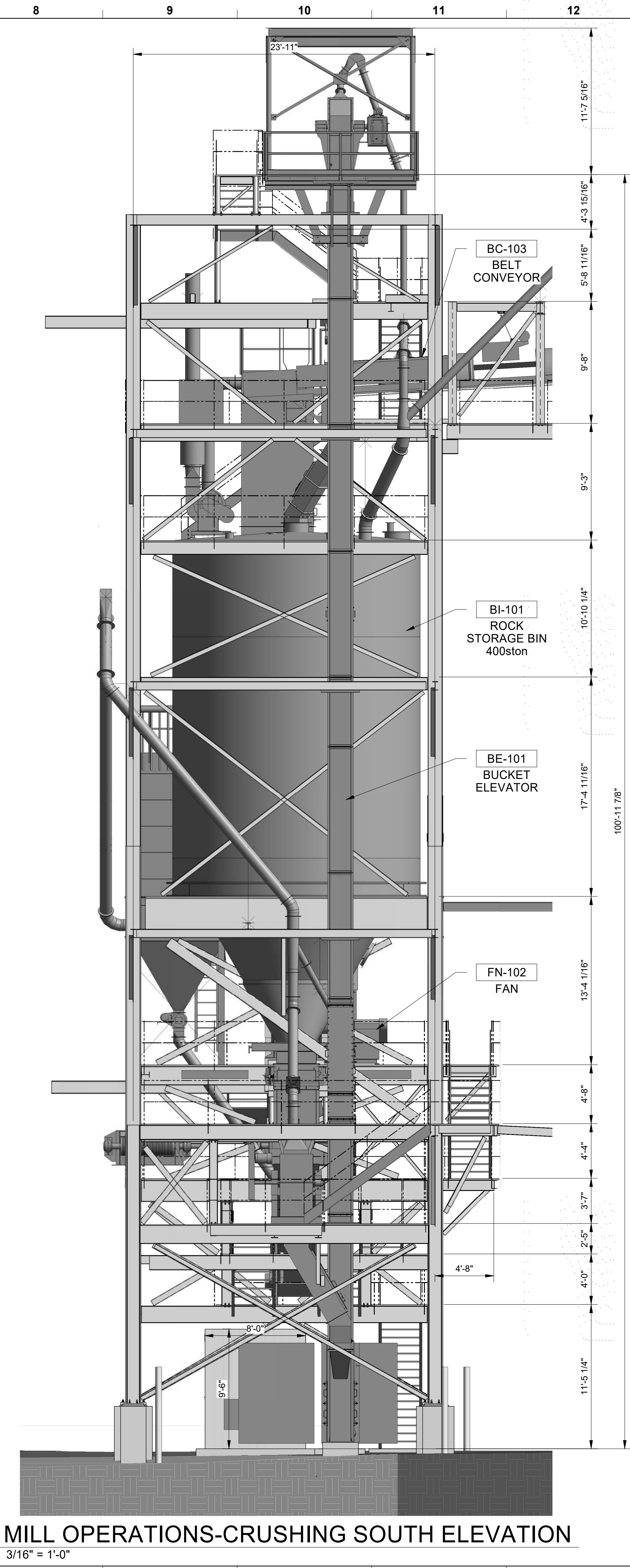
Dana Alwindawy  
DATE: 09/12/22  
NAME: DIANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595



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**MILL OPERATIONS-CRUSHING WEST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-CRUSHING SOUTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER  
*Dana Alwindawy*

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO.: 26595

AMERICAN GYPSUM		ISSUED FOR PERMIT	BY	CHK	APP
4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113		0	JJB	KL	KL
DESIGNED: MCW	DATE: 06/15/22	REV	DATE	DESCRIPTION	
DRAWN: APV	DATE: 06/15/22	0	09/12/22	ISSUED FOR PERMIT	
CHECKED: MCW	DATE: 06/15/22				
SMACC APPR: WEH	DATE: 08/04/21				

**AMERICAN GYPSUM**

**Industrial Ally**  
Engineering and Construction Services  
1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017  
INDUSTRIAL ALLY PROJECT NUMBER: 1576

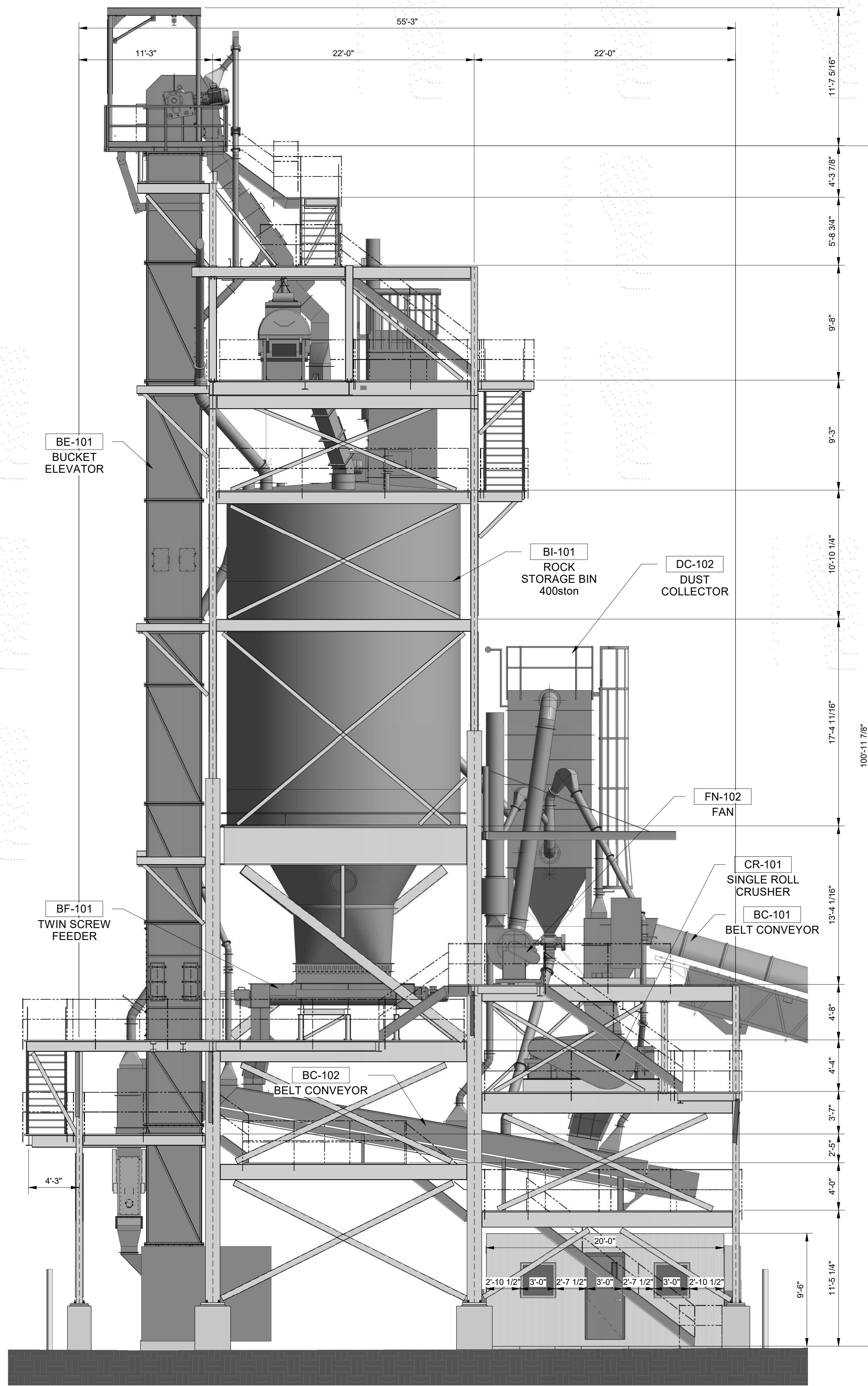
**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

**IA DRAWING NUMBER  
1576-CC-203  
CLIENT DRAWING NUMBER**

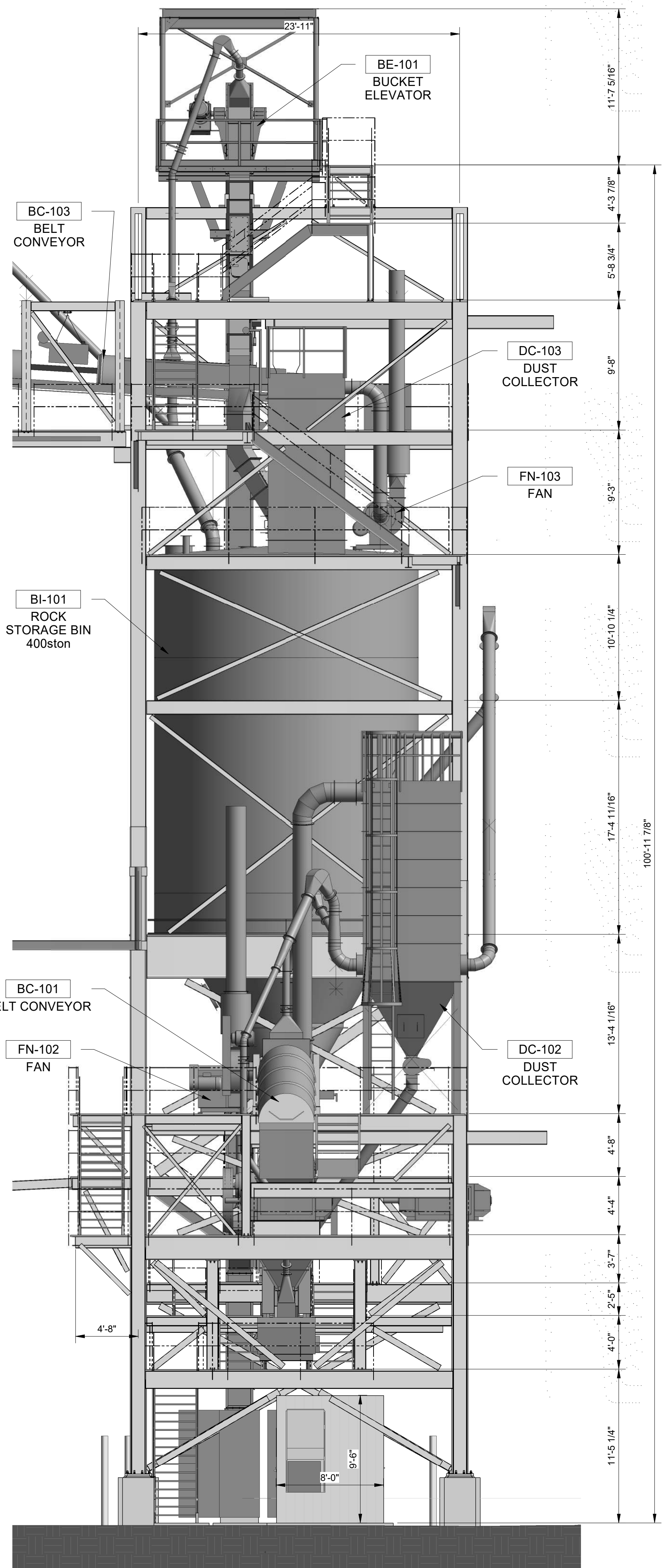
REV.	DWG. SCALE:
0	3/16" = 1'-0"

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO.: 26595

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**MILL OPERATIONS-CRUSHING EAST ELEVATION**  
 3/16" = 1'-0"



**MILL OPERATIONS-CRUSHING NORTH ELEVATION**  
 3/16" = 1'-0"

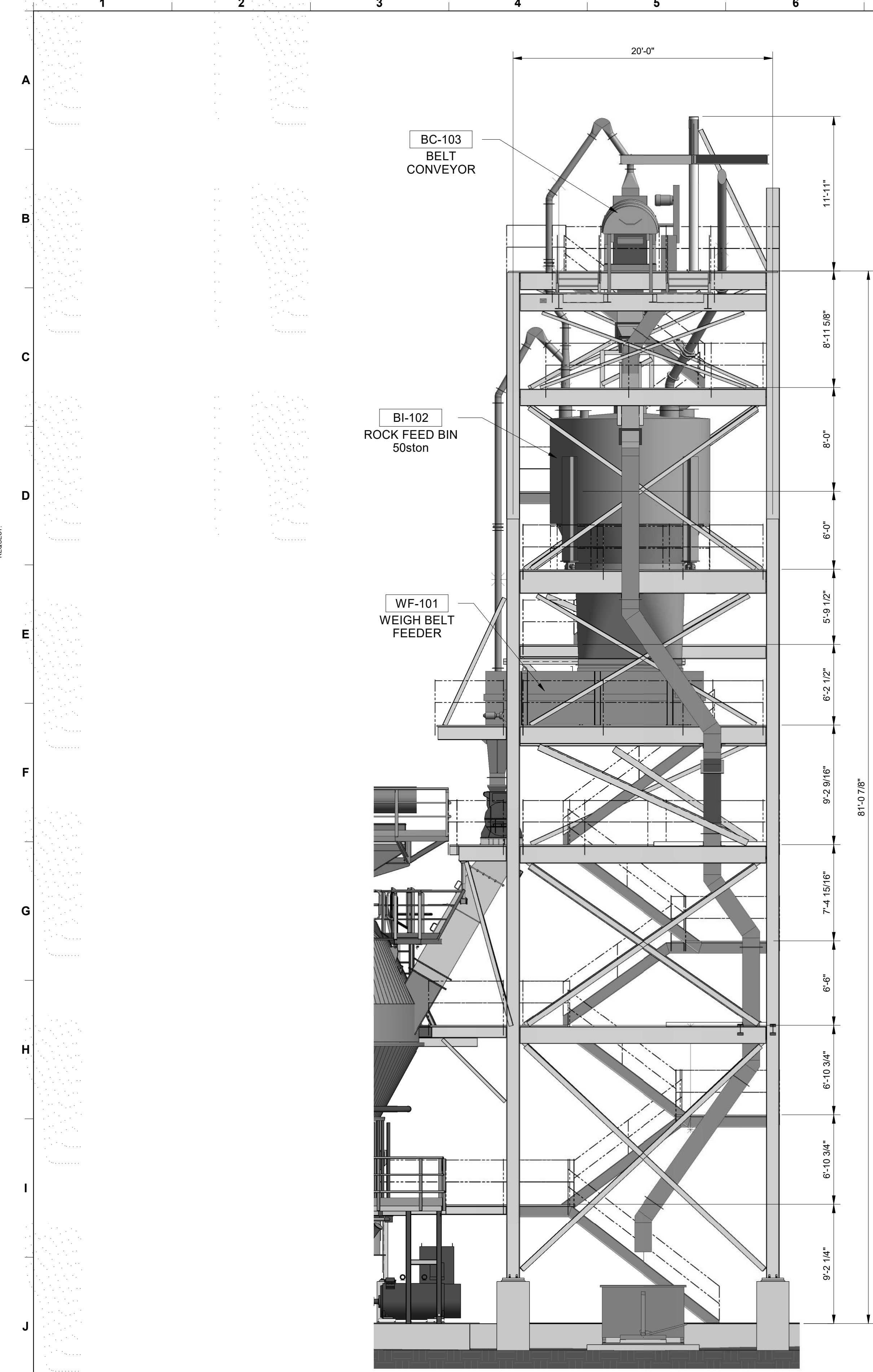
- NOTES:**
- METAL SIDING: COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL: COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR: COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN: COLOR: CLEAR.
  - EQUIPMENT: COLOR: TO BE DETERMINED.

**FOR PERMIT ONLY**  
 NOT FOR CONSTRUCTION

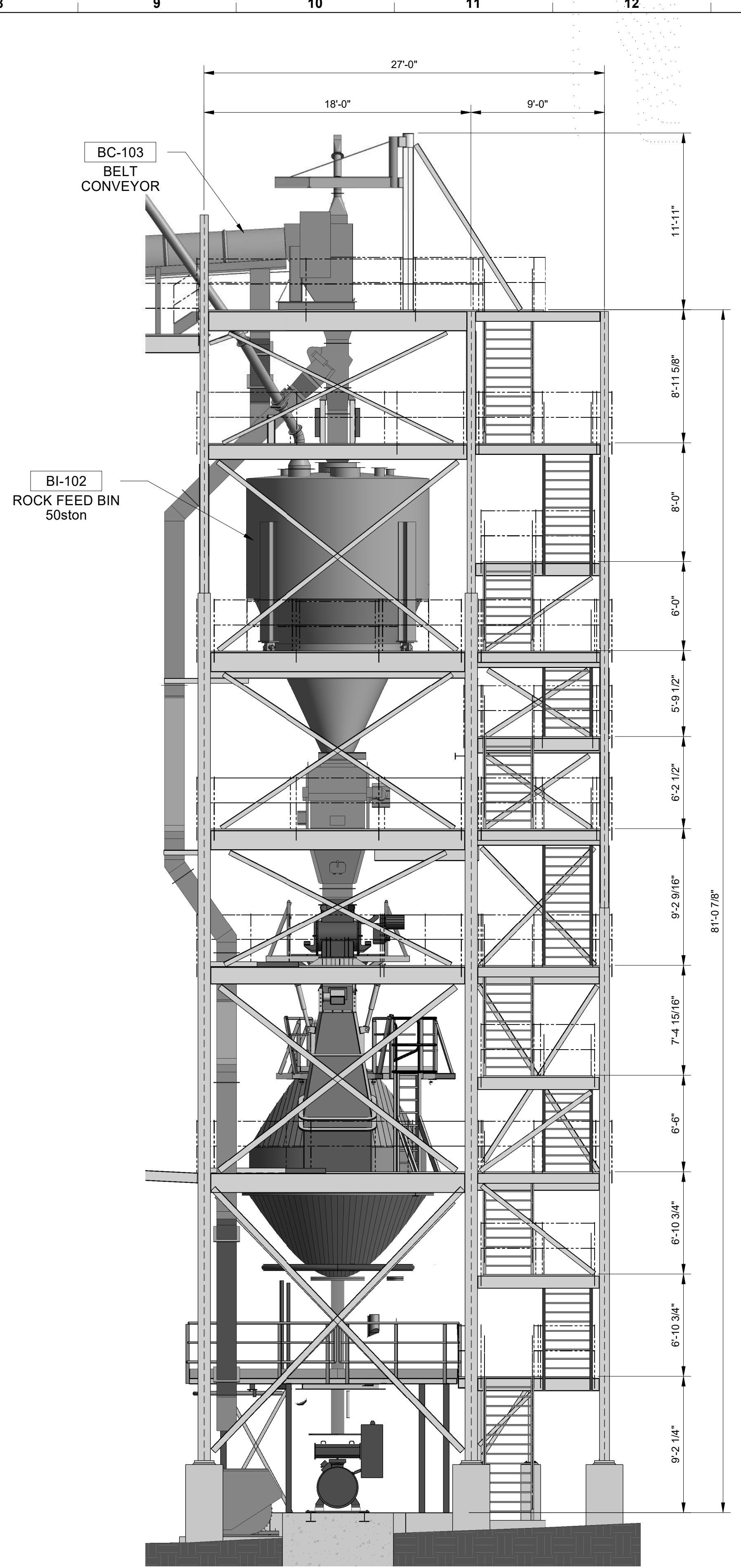
NOTE: THIS SEAL APPLIES ONLY TO THIS DOCUMENT. I DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THIS PROJECT OR ANY OTHER PROJECT.  
  
 DATE: 09/12/22  
 NAME: DANA ALWINDAWNY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO.: 28595

 <b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
<b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	DESIGNED: MCV DATE: 06/15/22 DRAWN: APV DATE: 06/15/22 CHECKED: MCV DATE: 06/15/22 SMACC APPR: WEH DATE: 08/04/21
<b>Industrial Ally</b> Engineering and Construction Services 1422 Elbridge Payne Rd, Suite 120 Chesterfield, MO 63017 INDUSTRIAL ALLY PROJECT NUMBER: 1576	<b>VERTICAL GRINDING / CALCINING MILL          OVERALL PLANT          CIVIL          STRUCTURE ELEVATIONS</b>
IA DRAWING NUMBER <b>1576-CC-204</b> CLIENT DRAWING NUMBER	REV. 0 DWG. SCALE: 3/16" = 1'-0" DATE: 09/12/22 BY: JKB CHECKED: KL APPR: KL

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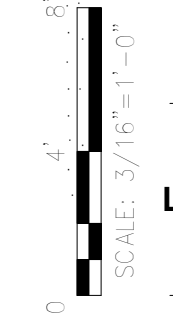


**MILL OPERATIONS-FEED WEST ELEVATION**  
 SCALE: 3/16" = 1'-0"



**MILL OPERATIONS-FEED SOUTH ELEVATION**  
 SCALE: 3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
 COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
 COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
 COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
 COLOR: CLEAR.
  - EQUIPMENT:  
 COLOR: TO BE DETERMINED.



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DATE: 09/12/22  
 NAME: DANA ALWINDAWNY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO.: 26595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

DESIGNED:	MCW	DATE:	06/15/22
DRAWN:	APV	DATE:	06/15/22
CHECKED:	MCW	DATE:	06/15/22
SMACC APPR:	WEH	DATE:	08/04/21

**Industrial Ally**  
 Engineering and Construction Services

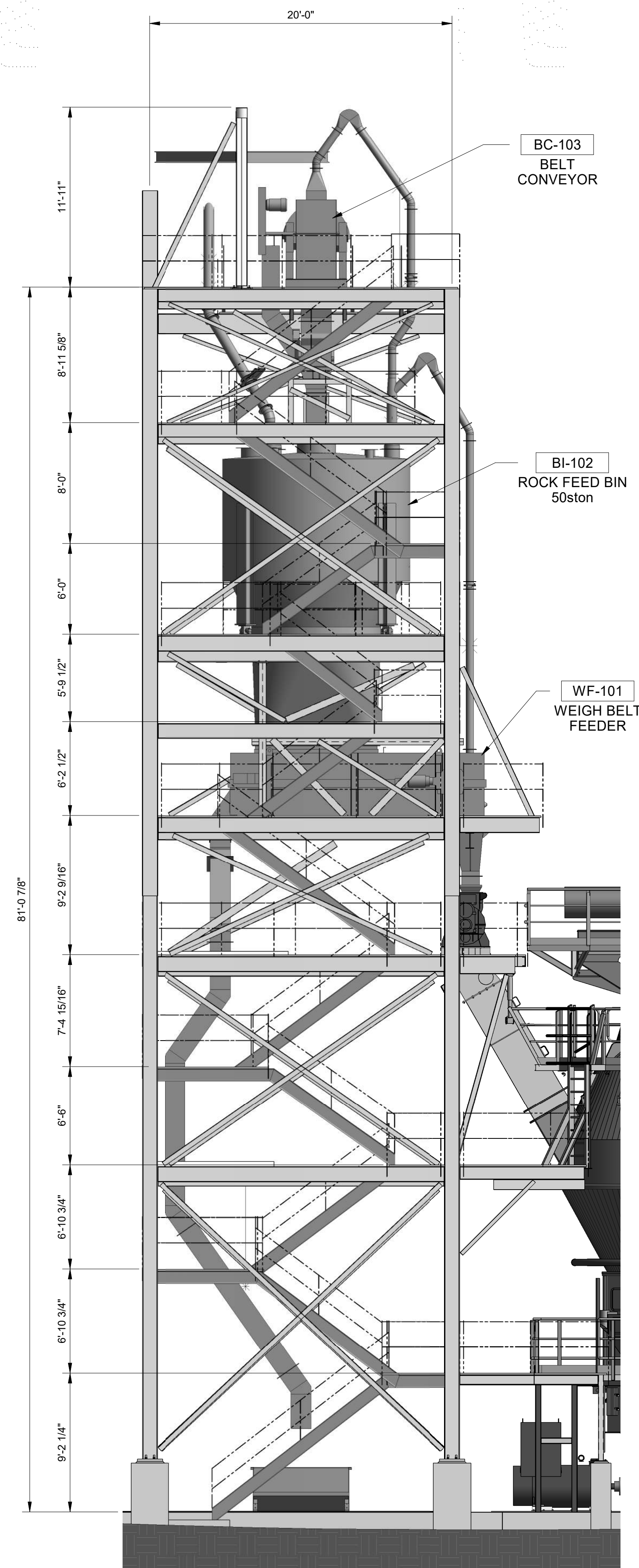
1422 Elbridge Payne Rd, Suite 120  
 Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

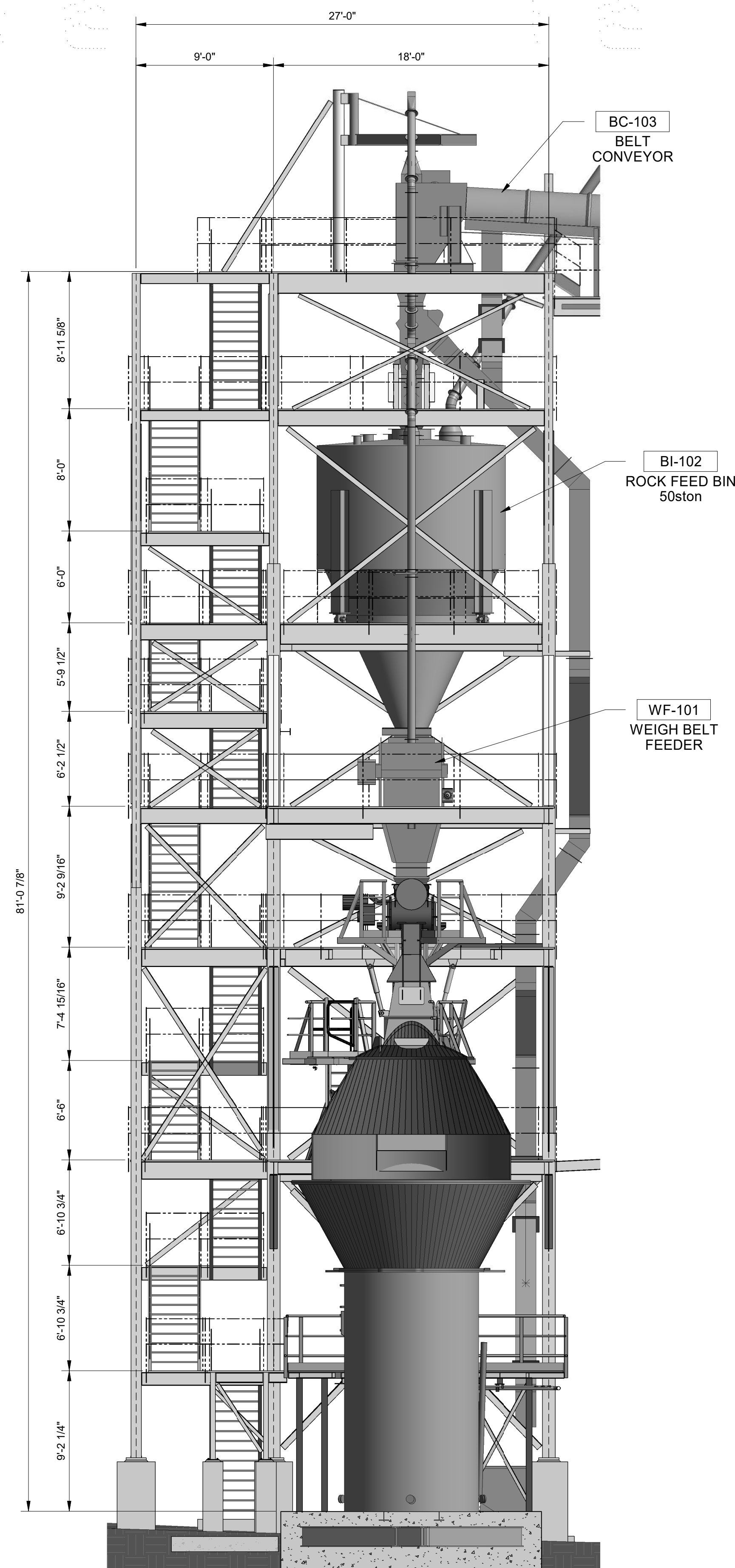
**VERTICAL GRINDING / CALCINING MILL  
 OVERALL PLANT  
 CIVIL  
 STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-205</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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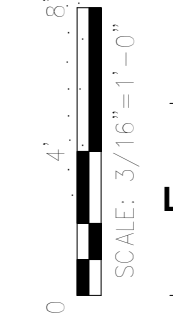


**MILL OPERATIONS-MILL EAST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-MILL NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.



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NOT FOR CONSTRUCTION

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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER  
*Dana Alwindawy*

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCV DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCV DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

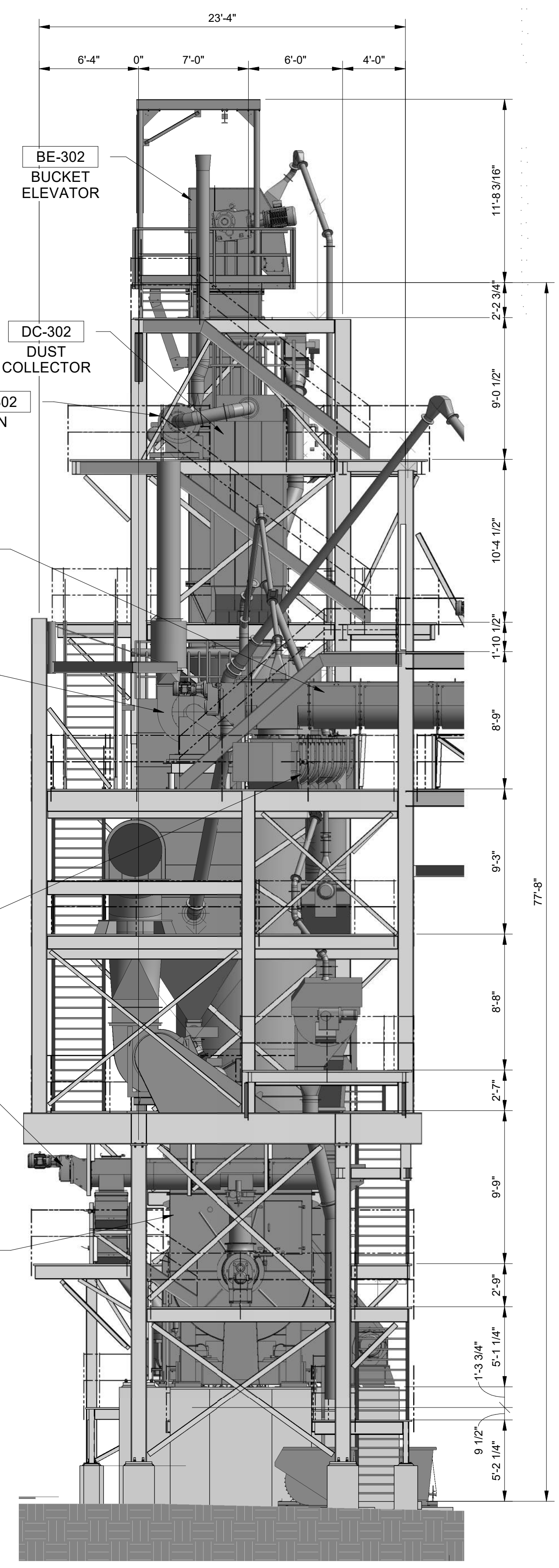
1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

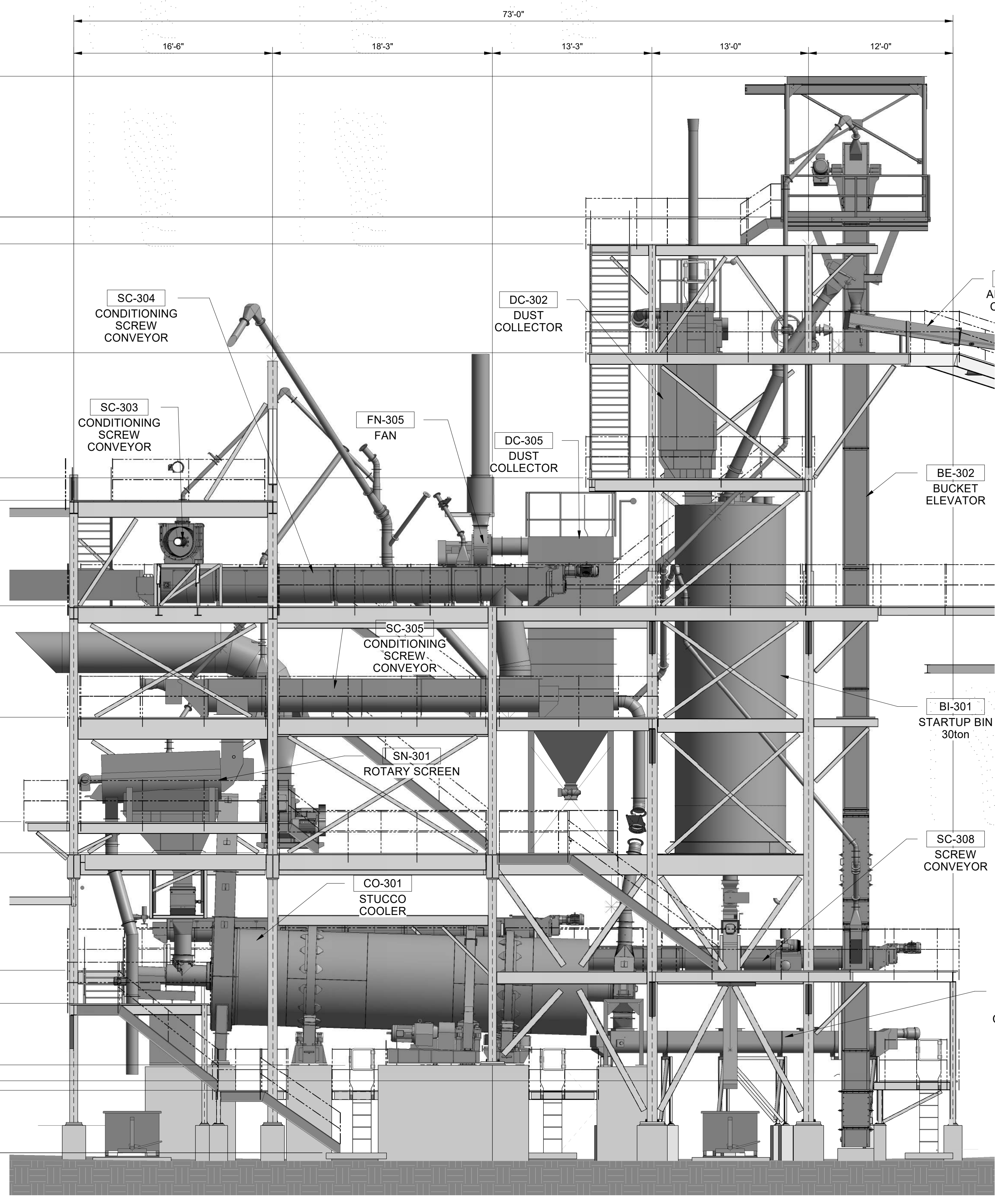
**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-206</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	3/16" = 1'-0"

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**MILL OPERATIONS-COOLING WEST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-COOLING SOUTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-207</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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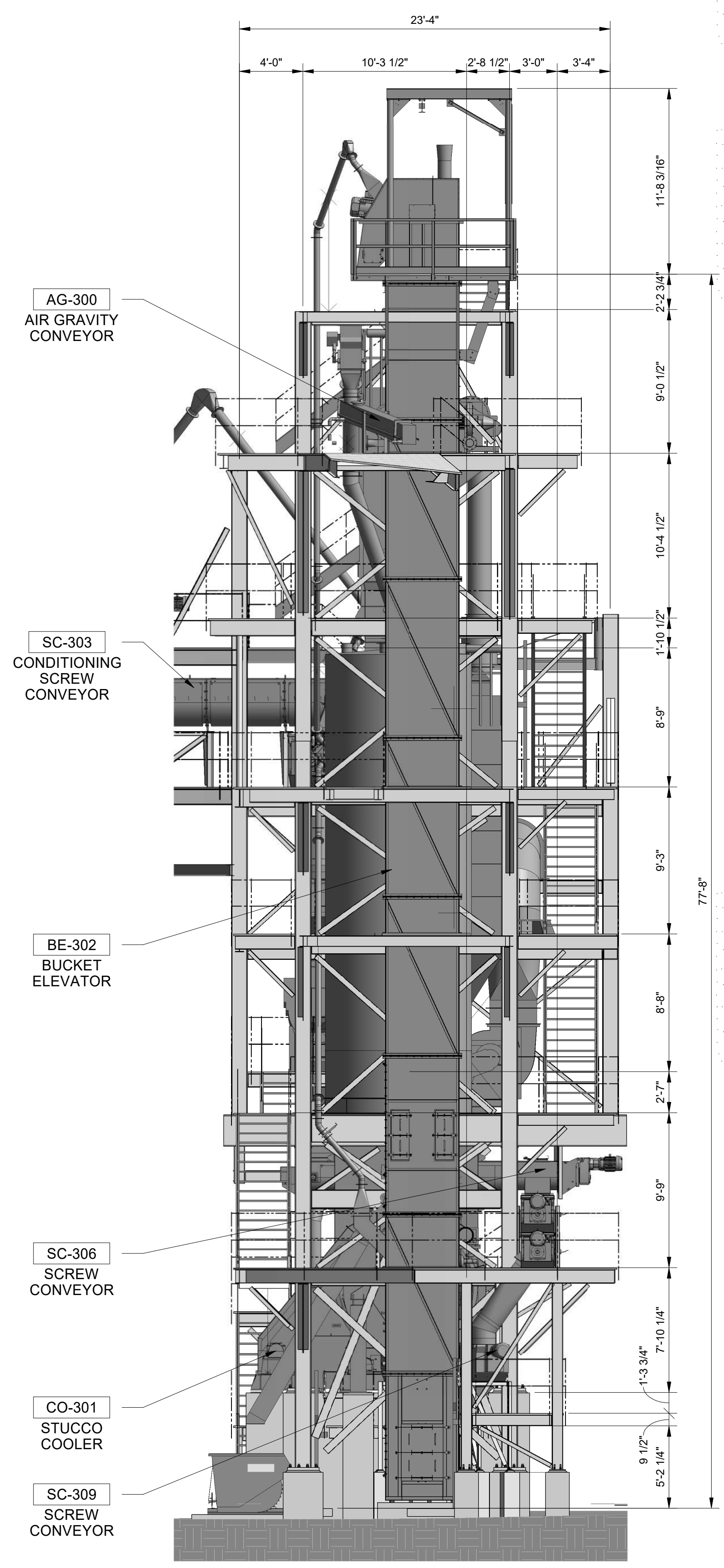
DANA ALWINDAWY  
NEW MEXICO  
PROFESSIONAL ENGINEER  
26595  
Dana Alwindawy

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

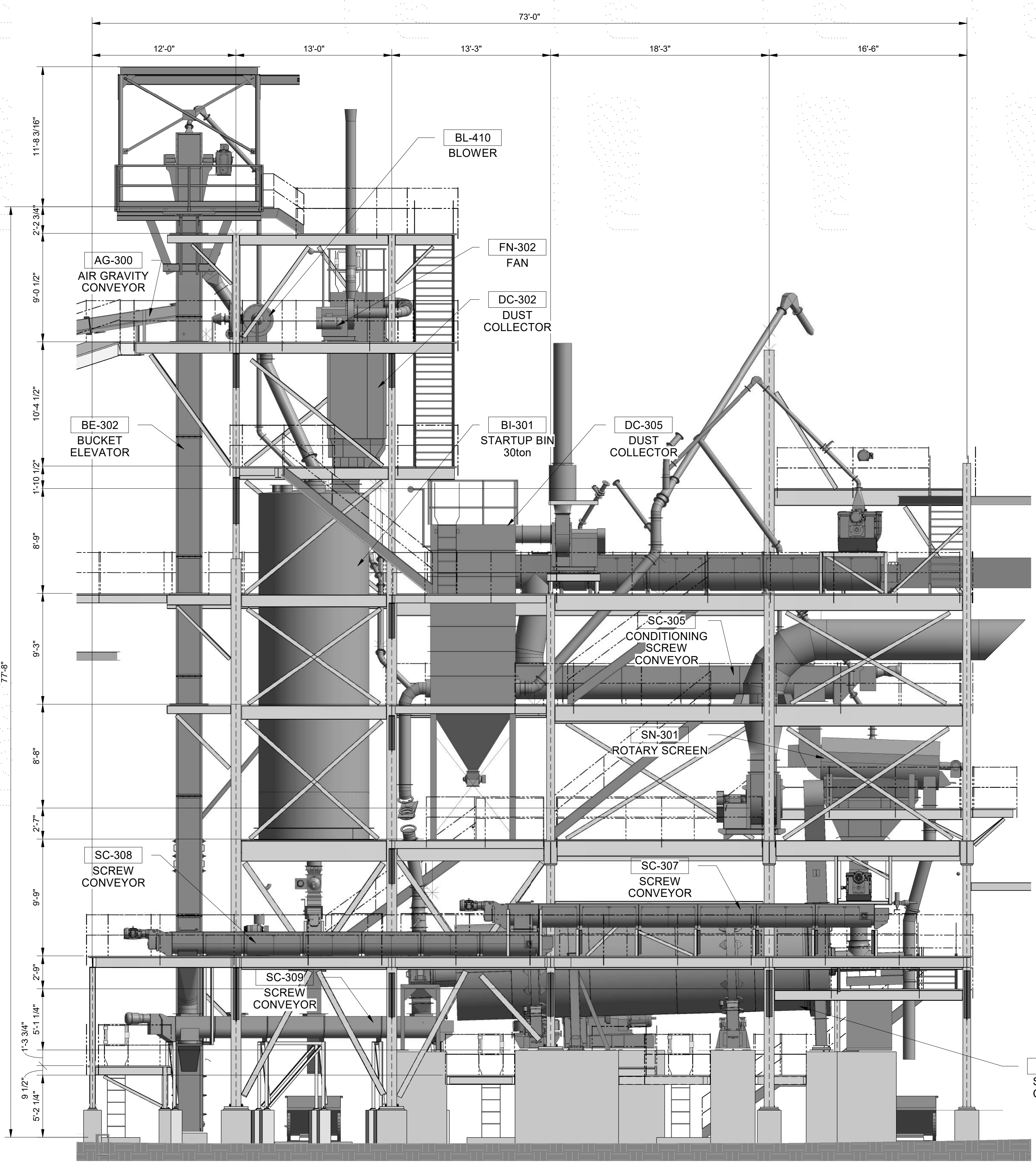
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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17

A  
B  
C  
D  
E  
F  
G  
H  
I  
J  
K  
L



**MILL OPERATIONS-COOLING EAST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-COOLING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



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4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

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SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-208</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER

DANA Alwindawy

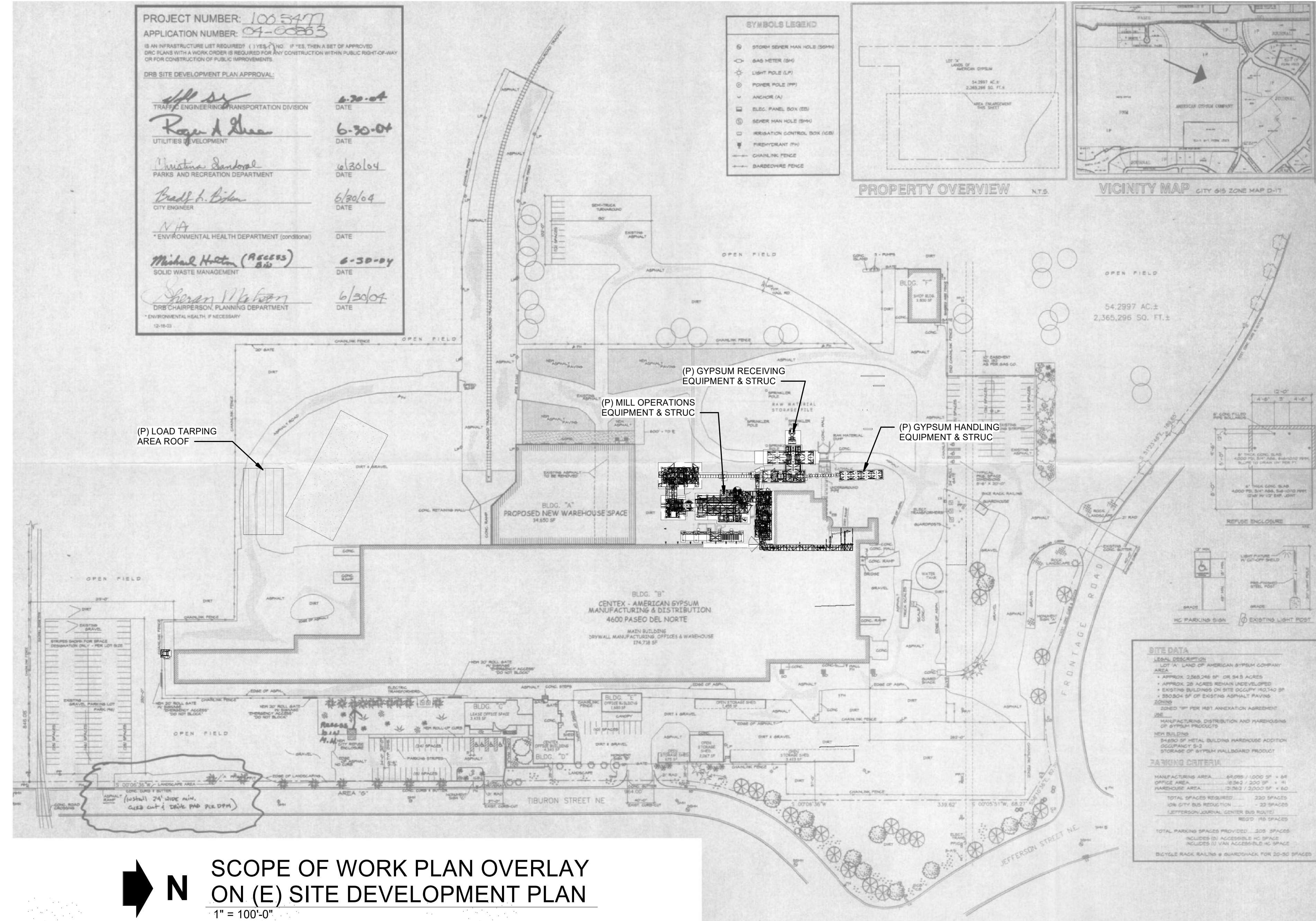
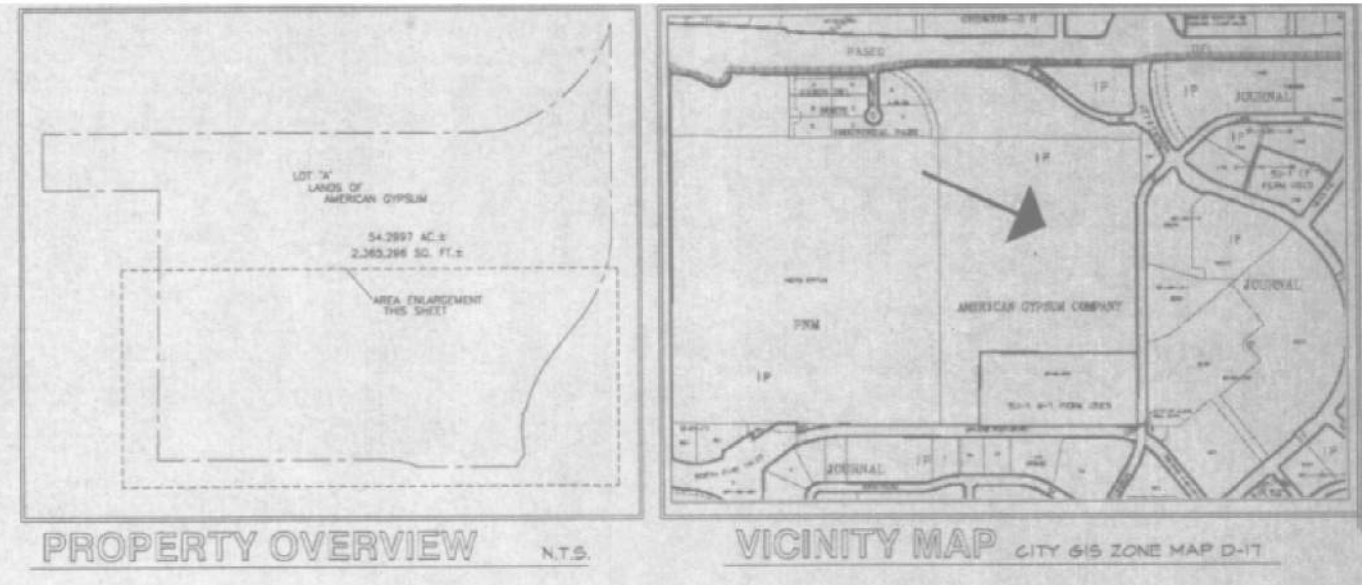
DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595



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PROJECT NUMBER: 100-5477  
 APPLICATION NUMBER: 04-00003  
 IS AN INFRASTRUCTURE LIST REQUIRED? (YES/NO) IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.  
 DRB SITE DEVELOPMENT PLAN APPROVAL:  
 TRAFFIC ENGINEERING/TRANSPORTATION DIVISION DATE: 6-30-04  
 UTILITIES DEVELOPMENT DATE: 6-30-04  
 PARKS AND RECREATION DEPARTMENT DATE: 6/20/04  
 CITY ENGINEER DATE: 6/20/04  
 ENVIRONMENTAL HEALTH DEPARTMENT (CONSENT) DATE: N/A  
 SOLID WASTE MANAGEMENT DATE: 6-30-04  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE: 6/30/04

- SYMBOLS LEGEND**
- STORM SEWER MAN HOLE (SMH)
  - 4-8" WATER (W)
  - LIGHT POLE (LP)
  - POWER POLE (PP)
  - ANCHOR (A)
  - ELEC. PANEL BOX (PB)
  - SEWER MAN HOLE (SMH)
  - IRRIGATION CONTROL BOX (ICB)
  - FIREHYDRANT (FH)
  - CHARALING FENCE
  - BARBED WIRE FENCE



**SITE DATA**  
 GENERAL DESCRIPTION  
 LOT "A" LAND OF AMERICAN GYPSUM COMPANY  
 APPROX. 2,365,296 SQ. FT. OR 54.3 ACRES  
 APPROX. 20 ACRES REMAIN UNDEVELOPED  
 EXISTING BUILDINGS ON SITE OCCUPY MOST OF SOUTHWEST CORNER OF EXISTING INDUSTRIAL PARKING ZONE  
 ZONED "M" PER NEW AMERICAN AGREEMENT  
 MANUFACTURING, DISTRIBUTION AND WAREHOUSES OF GYPSUM PRODUCTS  
 TYPE OF BUILDING: BLDG. "A" THROUGH "L"  
 STORAGE OF GYPSUM PALLETTIZED PRODUCT  
**PAVING CRITERIA**  
 MANUFACTURING AREA: 1,000 SQ. FT. = 100 SPACES  
 OFFICE AREA: 1,000 SQ. FT. = 10 SPACES  
 WAREHOUSE AREA: 1,000 SQ. FT. = 10 SPACES  
 TOTAL SPACES REQUIRED: 300 SPACES  
 ON-CITY SUB REDUCTION: 30 SPACES  
 LEASING/JOURNAL CENTER SUB REDUCTION: 10 SPACES  
 TOTAL PAVING SPACES PROVIDED: 230 SPACES  
 INCLUDES 10 ACCESSIBLE WC SPACES  
 INCLUDES 10 ADA ACCESSIBLE WC SPACES  
 BICYCLE RACK BUILDING & SURROUNDING FOR 20-30 SPACES

**➔ N** SCOPE OF WORK PLAN OVERLAY ON (E) SITE DEVELOPMENT PLAN  
 1" = 100'-0"

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113  
 DESIGNED: MCW DATE: 06/15/22  
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**Industrial Ally**  
 Engineering and Construction Services  
 1422 Ebridge Payne Rd, Suite 120  
 Chesterfield, MO 63017  
 INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
 OVERALL PLANT  
 CIVIL  
 SCOPE OF WORK PLAN**

IA DRAWING NUMBER  
**1576-CC-120**  
 CLIENT DRAWING NUMBER  
 REV. 0 DWG. SCALE: 1" = 100'-0"

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 DATE: 09/12/22  
 NAME: DANA ALWINDAWNY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO.: 26595

# **010 SITE PLAN CHECKLIST**

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

***I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.***

*Haley ES*      9/7/2022

**Applicant or Agent Signature / Date**

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

**The electronic format must be organized in the above manner.**

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

**NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.**

**NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.**

## SHEET #1 - SITE PLAN

### A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less    1" = 10'  
1.0 - 5.0 acres                1" = 20'  
Over 5 acres                    1" = 50'  
Over 20 acres                  1" = 100'

# SITE PLAN CHECKLIST

- ✓3. Bar scale
- ✓4. North arrow
- ✓5. Legend
- ✓6. Scaled vicinity map
- ✓7. Property lines (clearly identify)
- ✓8. Existing and proposed easements (identify each)
- NA9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- ✓A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- ✓B. Square footage of each structure
- ✓C. Proposed use of each structure
- ✓D. Signs (freestanding) and other improvements
- ✓E. Walls, fences, and screening: indicate height, length, color and materials
- ✓F. Dimensions of all principal site elements or typical dimensions
- ✓G. Loading facilities
- ✓H. Site lighting (indicate height & fixture type)
- ✓I. Indicate structures within 20 feet of site
- ✓J. Elevation drawing of refuse container and enclosure, if applicable.
- ✓K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- ✓A. Parking layout with spaces numbered per aisle and totaled.
  - ✓1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - ✓2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - ✓3. On street parking spaces
- ✓B. Bicycle parking & facilities
  - ✓1. Bicycle racks – location and detail
  - NA2. Other bicycle facilities, if applicable
- ✓C. Vehicular Circulation (Refer to DPM and IDO)
  - ✓1. Ingress and egress locations, including width and curve radii dimensions
  - ✓2. Drive aisle locations, including width and curve radii dimensions
  - ✓3. End aisle locations, including width and curve radii dimensions
  - ✓4. Location & orientation of refuse enclosure, with dimensions
  - ✓5. Loading, service area, and refuse service locations and dimensions
- ✓D. Pedestrian Circulation
  - ✓1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- ~~NA~~ 3. Location and description of amenities, including patios, benches, tables, etc.
- E. Off-Street Loading
  - 1. Location and dimensions of all off-street loading areas
- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
  - ~~NA~~ 1. Location and dimensions of vehicle stacking spaces and queuing lanes
  - ~~NA~~ 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
  - ~~NA~~ 3. Striping and Sign details for one-way drive through facilities

### 3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
  - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
  - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
  - 3. Location of traffic signs and signals related to the functioning of the proposal
  - 4. Identify existing and proposed medians and median cuts
  - 5. Sidewalk widths and locations, existing and proposed
  - ~~NA~~ 6. Location of street lights
  - 7. Show and dimension clear sight triangle at each site access point
  - 8. Show location of all existing driveways fronting and near the subject site.
- B. Identify Alternate transportation facilities within site or adjacent to site
  - 1. Bikeways and bike-related facilities
  - 2. Pedestrian trails and linkages
  - 3. Transit facilities, including routes, bus bays and shelters existing or required

### 4. Phasing

- ~~NA~~ A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - ~~NA~~ C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
  - ✓ A. Existing, indicating whether it is to be preserved or removed.
  - ✓ B. Proposed, to be established for general landscaping.
  - ✓ C. Proposed, to be established for screening/buffering.
- ✓ 8. Describe irrigation system – Phase I & II . . .
- ✓ 9. Planting Beds, indicating square footage of each bed
- NA 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- ✓ 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- ✓ 14. Planting or tree well detail
- ✓ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ✓ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- ✓ 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

### SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Building footprints
- NA 7. Location of Retaining walls

#### B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas, erosion and sediment control facilities.
- ✓ 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

## SITE PLAN CHECKLIST

### SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

### SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

#### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

#### B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

# **011 SITE PLAN AND RELATED DRAWINGS**



# SITE DATA

**LEGAL DESCRIPTION**  
 LOT 'A' LAND OF AMERICAN GYPSUM COMPANY

**AREA**  
 1,949,631 SF / 44.5739 ACRES PER JULY 2014 BOUNDARY SURVEY  
 1,860,068.4 SF / 43.39 ACRES PER ABO GIS  
 APPROX 28 ACRES REMAIN UNDEVELOPED  
 EXISTING STRUCTURES ON SITE OCCUPY 218,566 SF  
 TOTAL STRUCTURE AREA PROPOSED 233,696 SF  
 350,504 SF OF EXISTING ASPHALT PAVING

**ZONING**  
 ZONED "IP" PER 1987 ANNEXATION AGREEMENT

**USE**  
 MANUFACTURING, DISTRIBUTION, AND WAREHOUSING OF GYPSUM PRODUCTS

**PROPOSED STRUCTURES**  
 15,140 SF GYPSUM RECEIVING, HANDLING, AND MILL OPERATIONS

# PARKING CRITERIA

1 PER 3 EMPLOYEES ON LARGEST SHIFT  
 = 48.3 = 16 SPACES

OFFICE AREA = 16,342 / 200 = 82 SPACES

WAREHOUSE = 69,912 / 2,000 SF = 45 SPACES

TOTAL = 143 SPACES

LESS CITY BUS REDUCTION = 14 SPACES

TOTAL REQUIRED = 129 SPACES

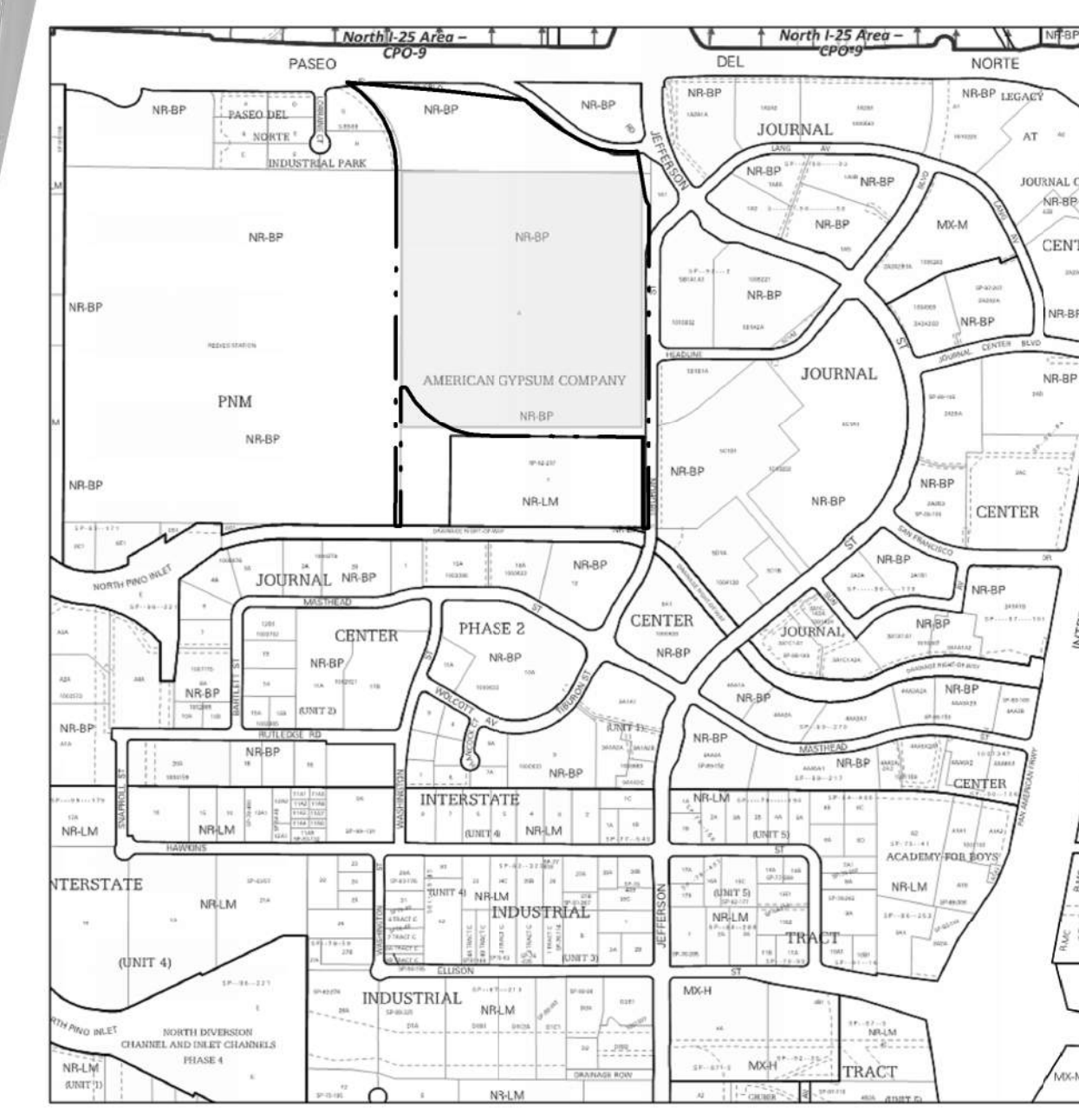
TOTAL PROVIDED = 69 SPACES

INCLUDES (4) ACCESSIBLE SPACES  
 INCLUDES (1) VAN ACCESSIBLE SPACE

BICYCLE RACK RAILING @ GUARDSHACK FOR 20-30 SPACES

# STRUCTURES

- 1 (E) MAIN BUILDING DRYWALL, MANUFACTURING, OFFICES, & WAREHOUSE 175,766 SF
- 2 (E) OFFICE BUILDING 3,433 SF
- 3 (E) OFFICE BUILDING 4,343 SF
- 4 (E) WAREHOUSE 3,200 SF
- 5 (E) OPEN STORAGE SHED 675 SF
- 6 (E) OPEN STORAGE SHED 2,067 SF
- 7 (E) OPEN STORAGE SHED 1,455 SF
- 8 (E) OPEN STORAGE SHED 3,423 SF
- 9 (E) OPEN STORAGE SHED 404 SF
- 10 (E) GUARD SHACK 320 SF
- 11 (E) MAINTENANCE SHOP 3,880 SF
- 12 (E) MANUFACTURING BUILDING 5,670 SF
- 13 (E) OPEN STORAGE SHED 7,000 SF
- 14 (E) OPEN STORAGE SHED 7,000 SF
- 15 (P) GYPSUM RECEIVING EQUIPMENT & STRUC 3,860 SF
- 16 (P) GYPSUM HANDLING EQUIPMENT & STRUC 620 SF
- 17 (P) MILL OPERATIONS EQUIPMENT & STRUC 11,460 SF
- 18 (P) LOAD TARPING AREA ROOF 6,000 SF



## SITE DEVELOPMENT PLAN

1" = 100'-0"

### LEGEND

- (E) EXISTING
- (P) PROPOSED
- PROPERTY LINE
- - - EASEMENT
- FENCE
- LD LED LIGHTING HEIGHT ABOVE GRADE
- X.X INCANDESCENT LIGHTING HEIGHT ABOVE GRADE
- MH METAL HALIDE LIGHTING HEIGHT ABOVE GRADE

**FOR PERMIT ONLY**  
 NOT FOR CONSTRUCTION



DATE: 09/12/22  
 NAME: DIANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 26595

REV	DATE	DESCRIPTION	ISSUED FOR PERMIT	JOB	CHK	APP
0	09/12/22					



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**VERTICAL GRINDING / CALCINING MILL**  
**OVERALL PLANT**  
**CIVIL**  
**SITE DEVELOPMENT PLAN**

IA DRAWING NUMBER	1576-CC-121
CLIENT DRAWING NUMBER	
REV.	0
DWG. SCALE:	1" = 100'-0"



LANDSCAPE NOTES:  
Street Landscaping,  
Street Trees, Shrubs

**LANDSCAPE LEGEND**

QTY	SIZE	COMMON/BOTANICAL	HxS	H2O USE
8	2" cal	Chinaberry <i>Melia azedarach umbraculiformis</i>	25x20	L
1	2" cal	Netleaf Hackberry <i>Celtis reticulata</i>	25x25	L
8	2" cal	Honey Mesquite <i>Prosopis glandulosa</i>	30x30	L+
16	2" cal	Desert Willow <i>Chilopsis linearis</i>	20x25	L
12	2" cal	Jujube or Chinese Date <i>Zizyphus jujuba</i>	25x25	L+
20	2" cal	Scrubbean Mesquite <i>Prosopis pubescens</i>	20x20	L+
11	2" cal	Goldenball Leadtree <i>Leucaena retusa</i>	15x20	L+
82	Total Trees			

- 5567 Asphalt Bike Trail
- 54430 Native seed area
- 16021 2-4" Cobble, seed plating
- 38463 3/4" - 1" Gravel, seed plating

Proposed Fence  
Property Line

**GROUND TREATMENT NOTES:**

The area must be seeded with a native mix per City Standard specification 1012.3 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

ALL AREAS: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed.

Native-grass seed mix shall be 50%/50% (by weight) combination of *Bouteloua gracilis* "Hachita" Blue Grama, and *Buchloe dactyloides* - Buffalo grass / addition of Apache plum and *Chamaea* seeds) applied at a rate of 100#LBS/AC, or as specified on the plans.

Maintenance will be per City of Albuquerque Specification 1012.3.1 and 1012.3.2

Contractor must seed the area during/after the first growing season.

**LANDSCAPE NOTES:**

It is the intent of this plan to provide an alternative landscape plan in lieu of the traditional IDO required landscape plan.

The AL6 (Alternative Landscape Plan) would provide a landscape buffer, approximately 20' wide, along the street frontage on the west starting at the railroad tracks, moving east along El Pueblo Rd., and continuing south along Tiburon St. to the south, ending at the railroad tracks.

Plantings proposed are the City's recommended tree list.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (100' length) with 3 loops at a final radius of 6' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 1 gph. Drip and Bubbler systems to be tied to 1/2" poly pipe with rain caps at each end.

Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system shall be as indicated on the Utility Plan, Civil drawings. Landscape Contractor point of connection and responsibility shall begin downstream of the point of connection.

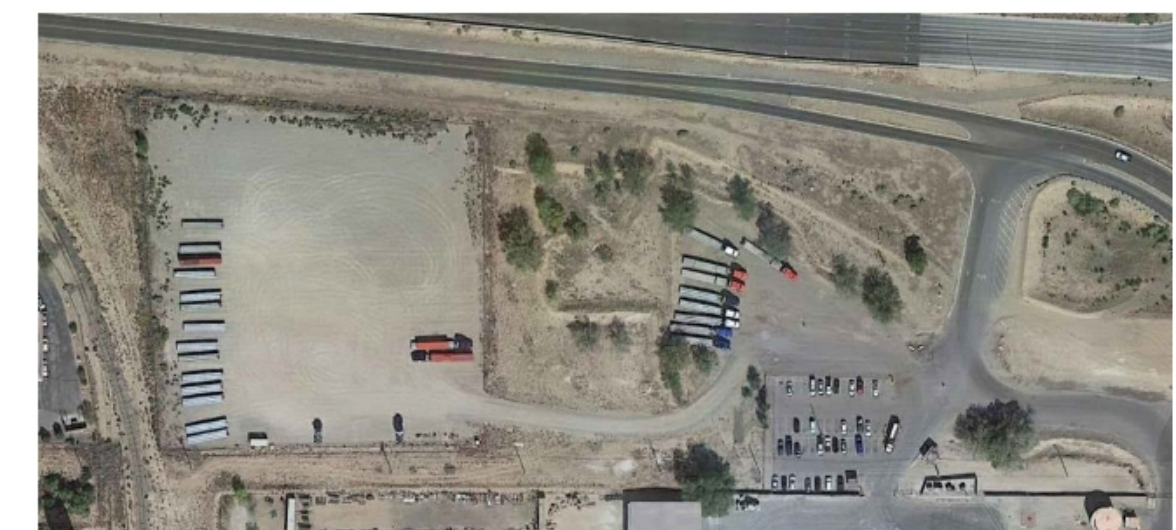
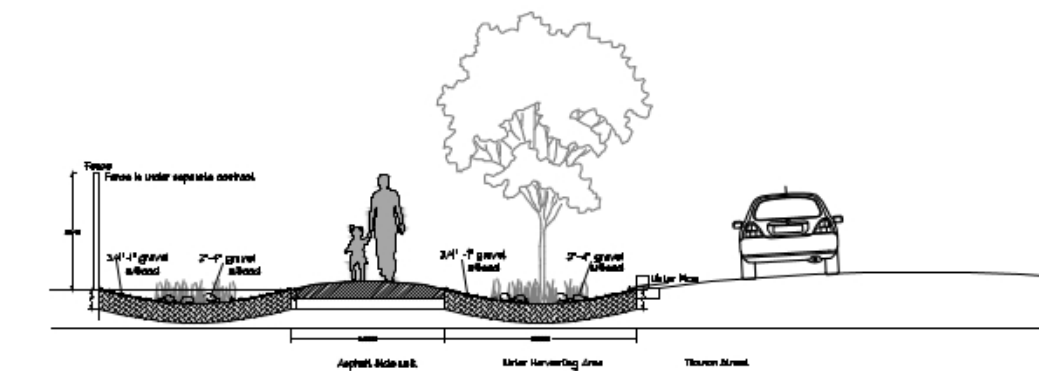
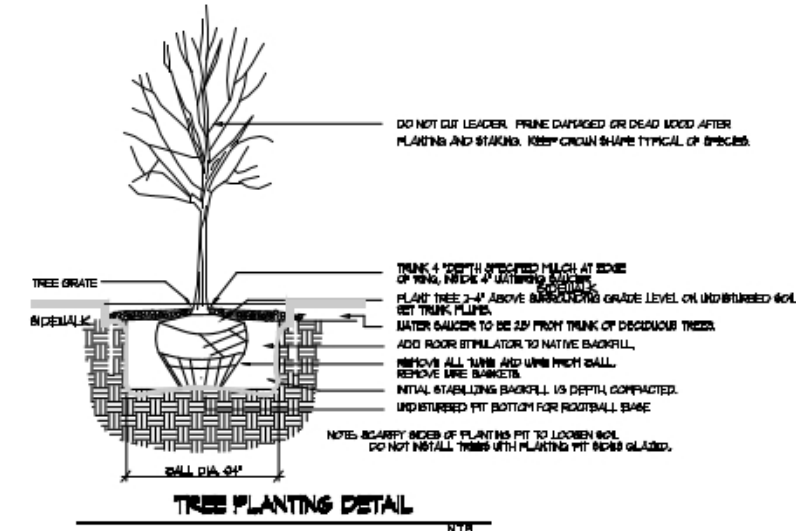
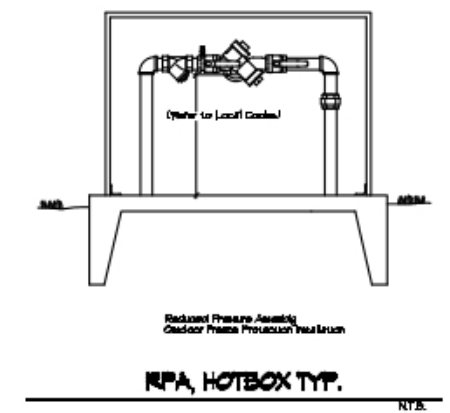
Irrigation will be operated by smart irrigation system automatic controller, capable of multi-programming ability.

Location of controller to be field determined and power source for controller to be provided by the owner.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source for irrigation system shall be the responsibility of the Property Owner.

No Irrigation system for native seeding areas is required.



Scrubbean Mesquite



Honey Mesquite



Chinaberry



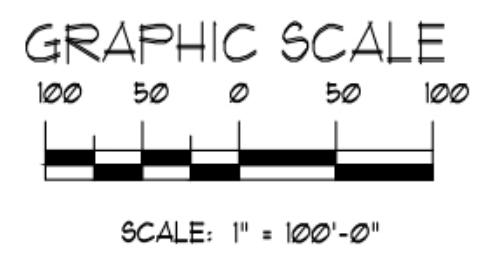
Netleaf Hackberry



Goldenball Lead tree

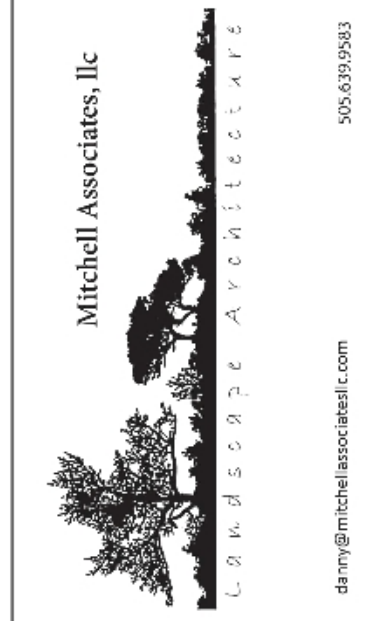


Chinese Date/ Jujube



**Alternative Landscape Plan**

**American Gypsum  
4600 Paseo del Norte  
Albuquerque, NM 87115**



DRAWING NO: **LS-101**

DESIGNED BY: D. Mitchell  
DRAWN BY: J. Ruiz  
APPROVED BY: dm

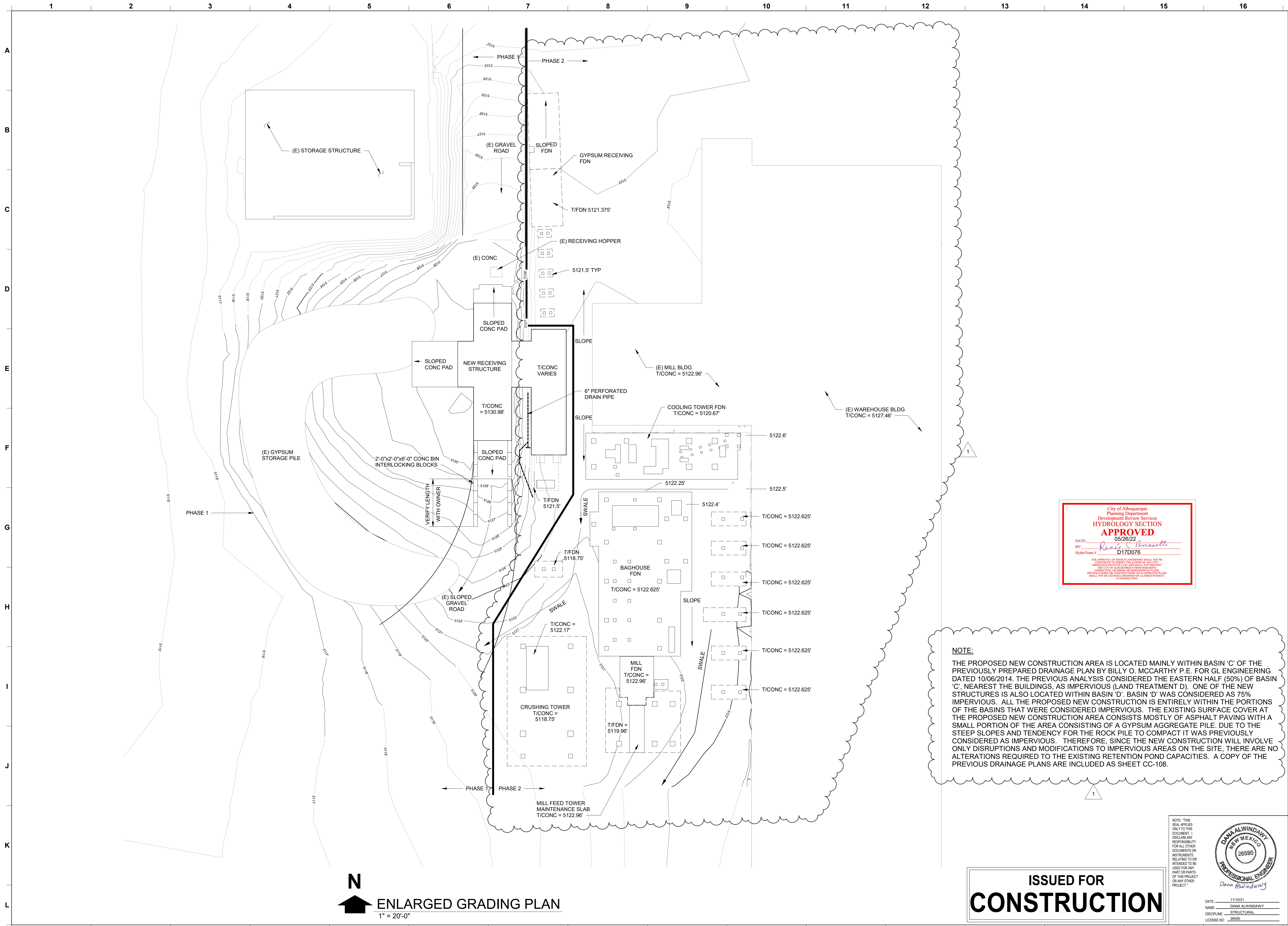
DATE: NEW MEXICO ONE CALL STATEWIDE - 811 OR 1-800-321-ALERT (2537) www.nmonecall.org Call two working days before you dig.

REVISIONS

Comment	Date:

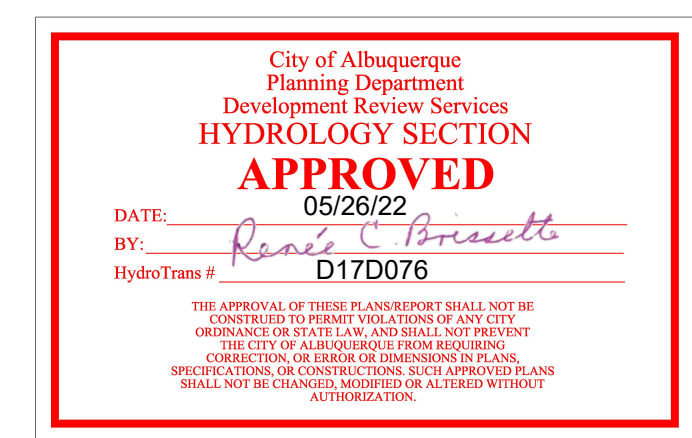
FILE ID:

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**N**  
**ENLARGED GRADING PLAN**  
1" = 20'-0"

**NOTE:**  
THE PROPOSED NEW CONSTRUCTION AREA IS LOCATED MAINLY WITHIN BASIN 'C' OF THE PREVIOUSLY PREPARED DRAINAGE PLAN BY BILLY O. MCCARTHY P.E. FOR GL ENGINEERING DATED 10/06/2014. THE PREVIOUS ANALYSIS CONSIDERED THE EASTERN HALF (50%) OF BASIN 'C', NEAREST THE BUILDINGS, AS IMPERVIOUS (LAND TREATMENT D). ONE OF THE NEW STRUCTURES IS ALSO LOCATED WITHIN BASIN 'D'. BASIN 'D' WAS CONSIDERED AS 75% IMPERVIOUS. ALL THE PROPOSED NEW CONSTRUCTION IS ENTIRELY WITHIN THE PORTIONS OF THE BASINS THAT WERE CONSIDERED IMPERVIOUS. THE EXISTING SURFACE COVER AT THE PROPOSED NEW CONSTRUCTION AREA CONSISTS MOSTLY OF ASPHALT PAVING WITH A SMALL PORTION OF THE AREA CONSISTING OF A GYPSUM AGGREGATE PILE. DUE TO THE STEEP SLOPES AND TENDENCY FOR THE ROCK PILE TO COMPACT IT WAS PREVIOUSLY CONSIDERED AS IMPERVIOUS. THEREFORE, SINCE THE NEW CONSTRUCTION WILL INVOLVE ONLY DISRUPTIONS AND MODIFICATIONS TO IMPERVIOUS AREAS ON THE SITE, THERE ARE NO ALTERATIONS REQUIRED TO THE EXISTING RETENTION POND CAPACITIES. A COPY OF THE PREVIOUS DRAINAGE PLANS ARE INCLUDED AS SHEET CC-108.



**ISSUED FOR CONSTRUCTION**

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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER  
DATE: 11/19/21  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

AMERICAN GYPSUM	
4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
DESIGNED: MCW	DATE: 01/17/22
DRAWN: APV	DATE: 01/17/22
CHECKED: MCW	DATE: 01/18/22
SMACC APPR: -	DATE: -

AMERICAN GYPSUM	APV	MCW	DA
REVISION	DATE	DESCRIPTION	BY
1	02/11/22	REVISED FOR PERMIT	APV
0	11/10/21	ISSUED FOR CONSTRUCTION	APV

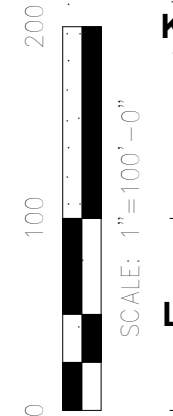
  

VERTICAL GRINDING / CALCINING MILL OVERALL PLANT CIVIL	INDUSTRIAL ALLY PROJECT NUMBER: 1576
INDUSTRIAL ALLY	1422 Elbridge Payne Rd, Suite 120, Chesterfield, MO 63017

IA DRAWING NUMBER	1576-CC-104
CLIENT DRAWING NUMBER	
REV. 1	DWG. SCALE: As indicated


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**N**  
**UTILITY PLAN**  
 1" = 100'-0"

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

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DATE: 09/12/22  
 NAME: DANA ALWINDAWNY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 26595

**VERTICAL GRINDING / CALCINING MILL**  
**OVERALL PLANT**  
**CIVIL**  
**UTILITY PLAN**

IA DRAWING NUMBER	
<b>1576-CC-122</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>1" = 100'-0"</b>

REV	DATE	DESCRIPTION	BY	CHK	APP
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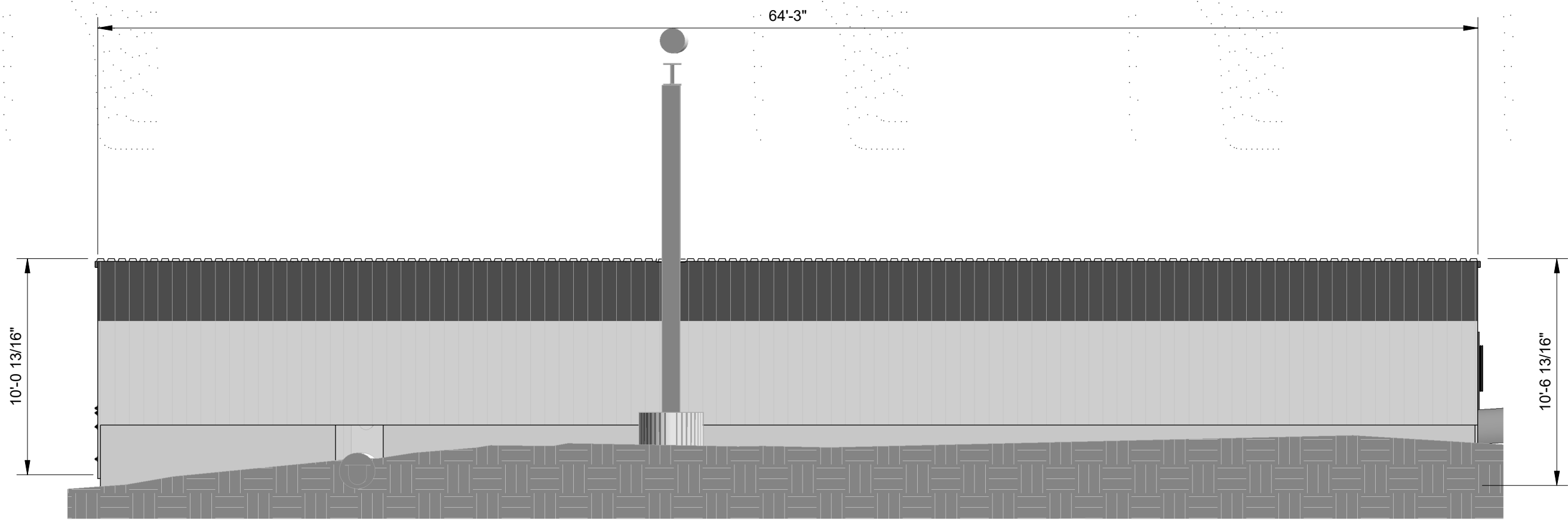
**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

DESIGNED: MCW	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCW	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21

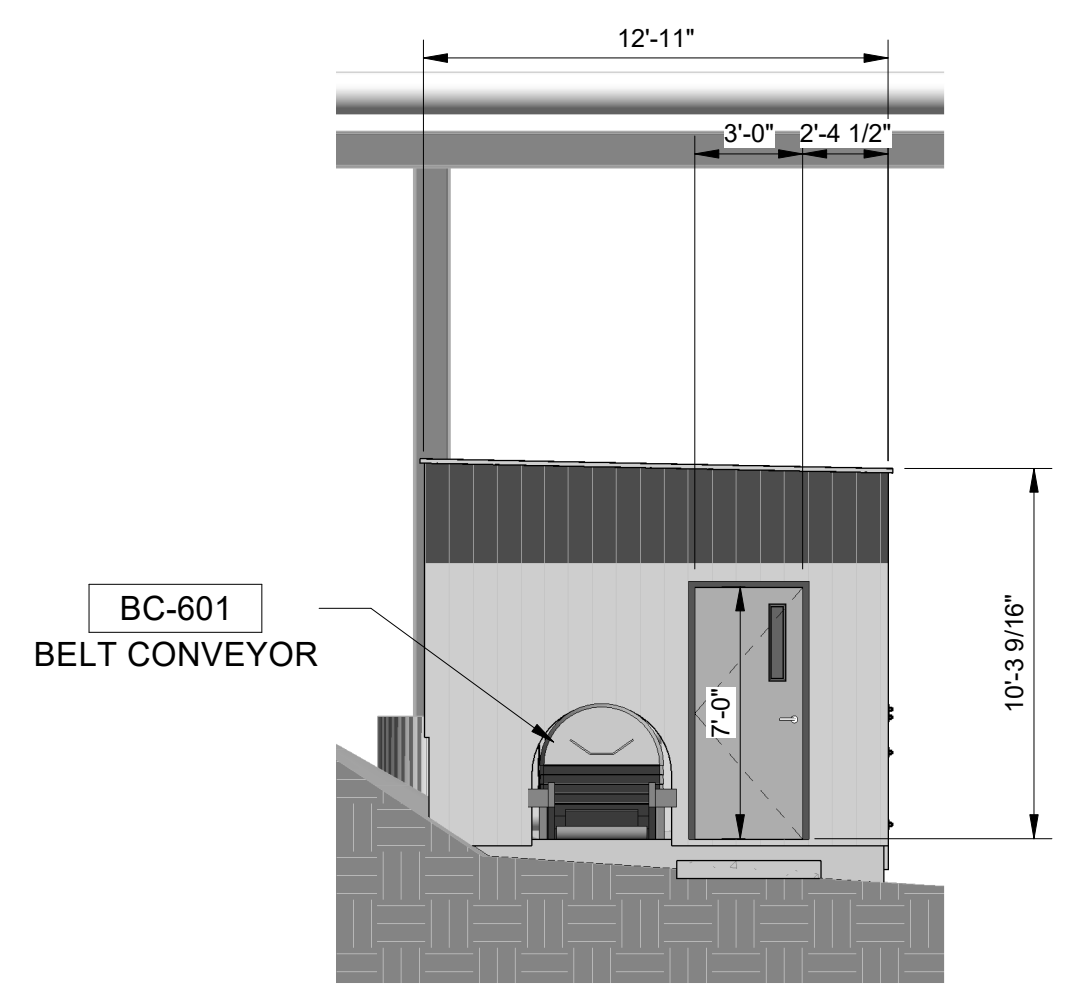
**Industrial Ally**  
Engineering and Construction Services  
 1422 Elbridge Payne Rd, Suite 120  
 Chesterfield, MO 63017  
 INDUSTRIAL ALLY PROJECT NUMBER: 1576



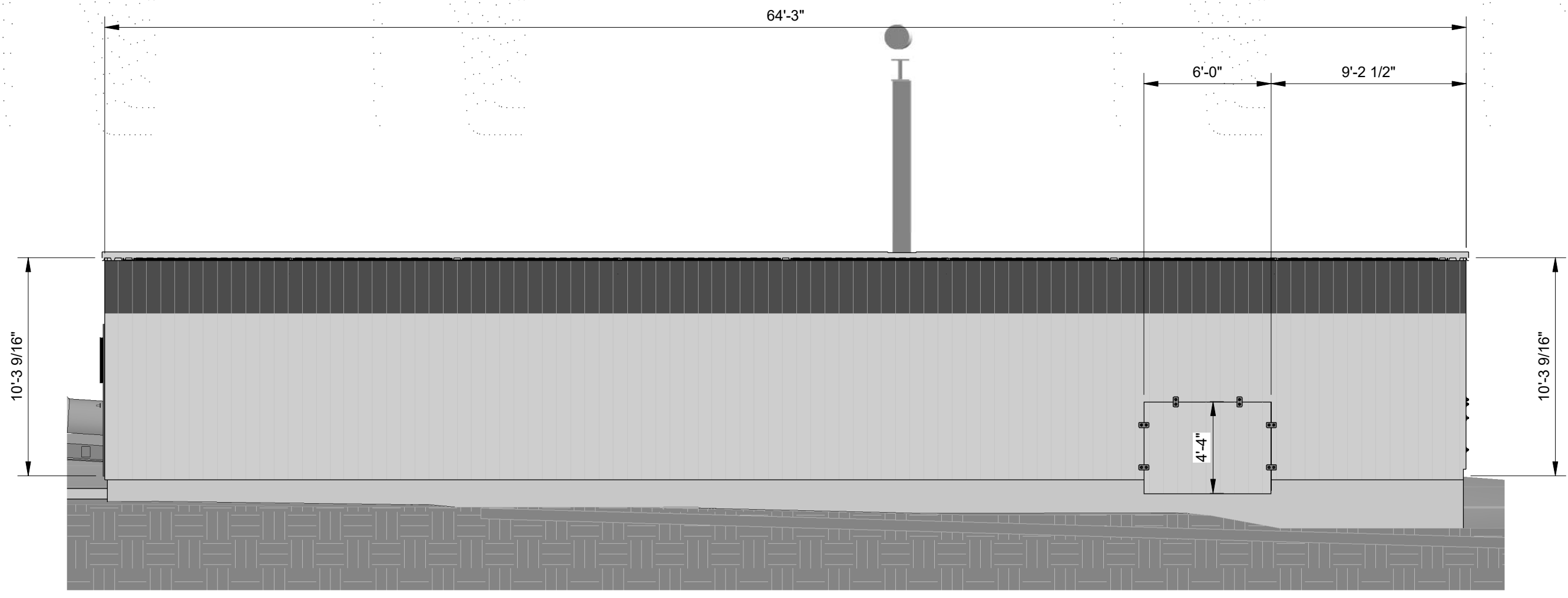
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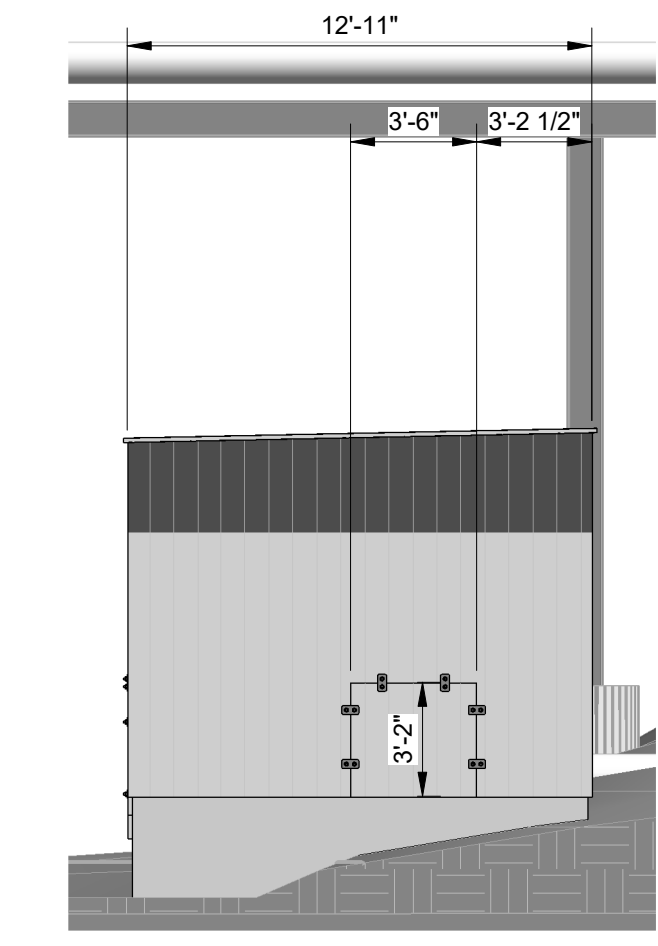
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3/16" = 1'-0"



**GYPSUM HANDLING SOUTH ELEVATION**  
3/16" = 1'-0"



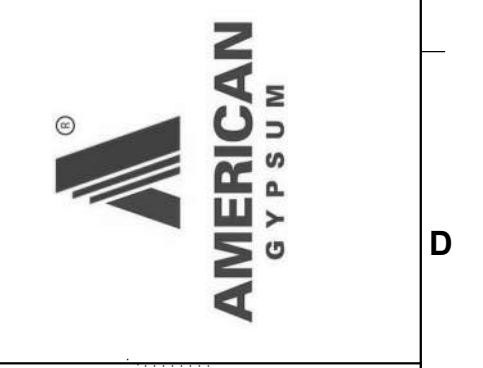
**GYPSUM HANDLING EAST ELEVATION**  
3/16" = 1'-0"



**GYPSUM HANDLING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



<b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113	
DESIGNED: MCW	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCW	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21

<b>Industrial Ally</b> Engineering and Construction Services	
1422 Elbridge Payne Rd, Suite 120 Chesterfield, MO 63017	
INDUSTRIAL ALLY PROJECT NUMBER: 1576	

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
STRUCTURE ELEVATIONS**

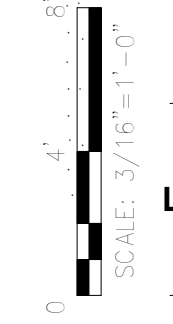
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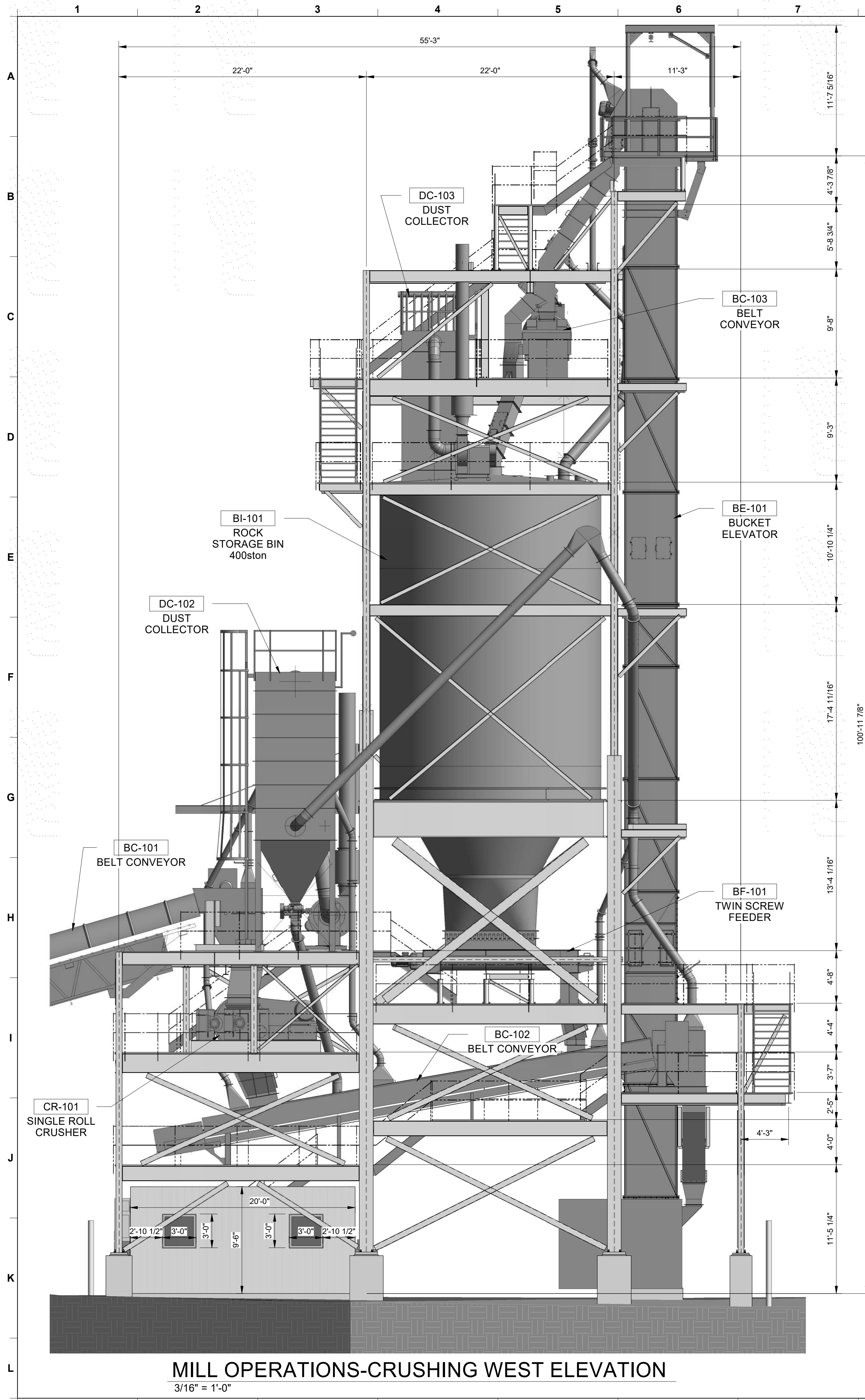
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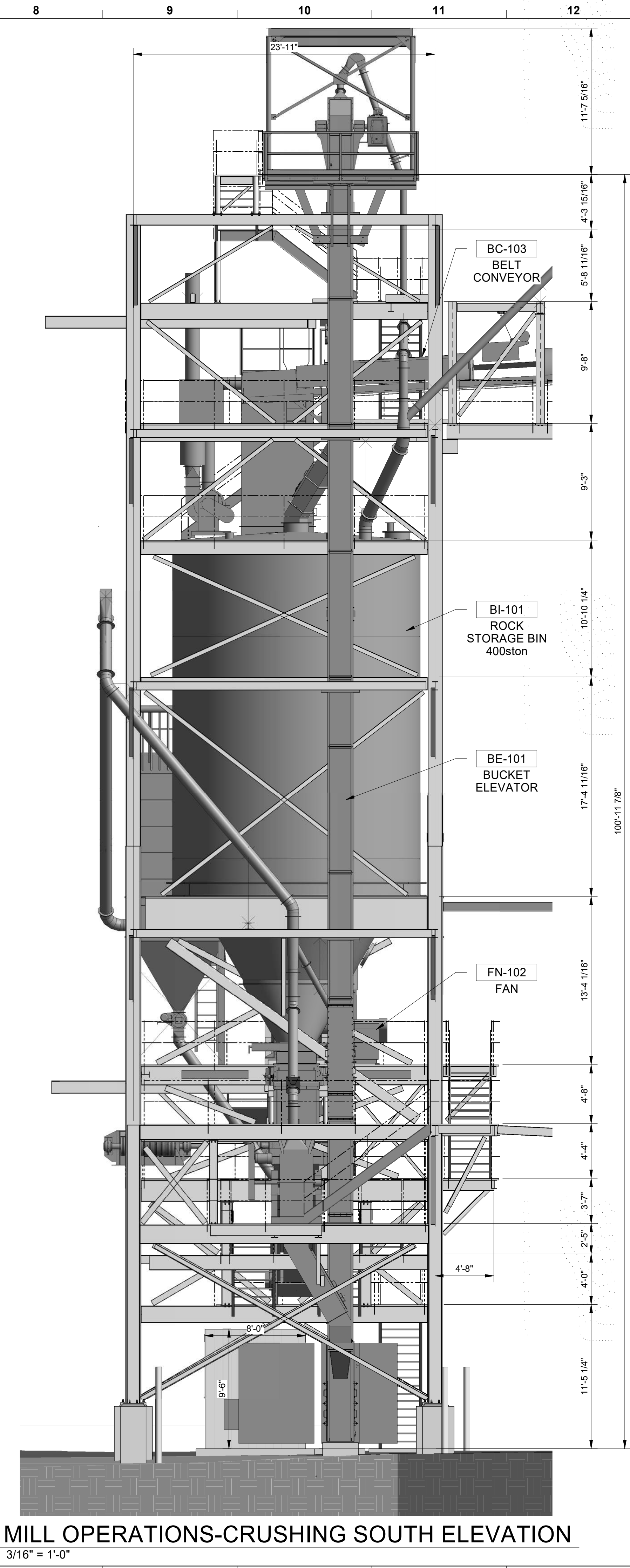
Dana Alwindawy  
DATE: 09/12/22  
NAME: DIANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595



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**MILL OPERATIONS-CRUSHING WEST ELEVATION**  
 3/16" = 1'-0"



**MILL OPERATIONS-CRUSHING SOUTH ELEVATION**  
 3/16" = 1'-0"

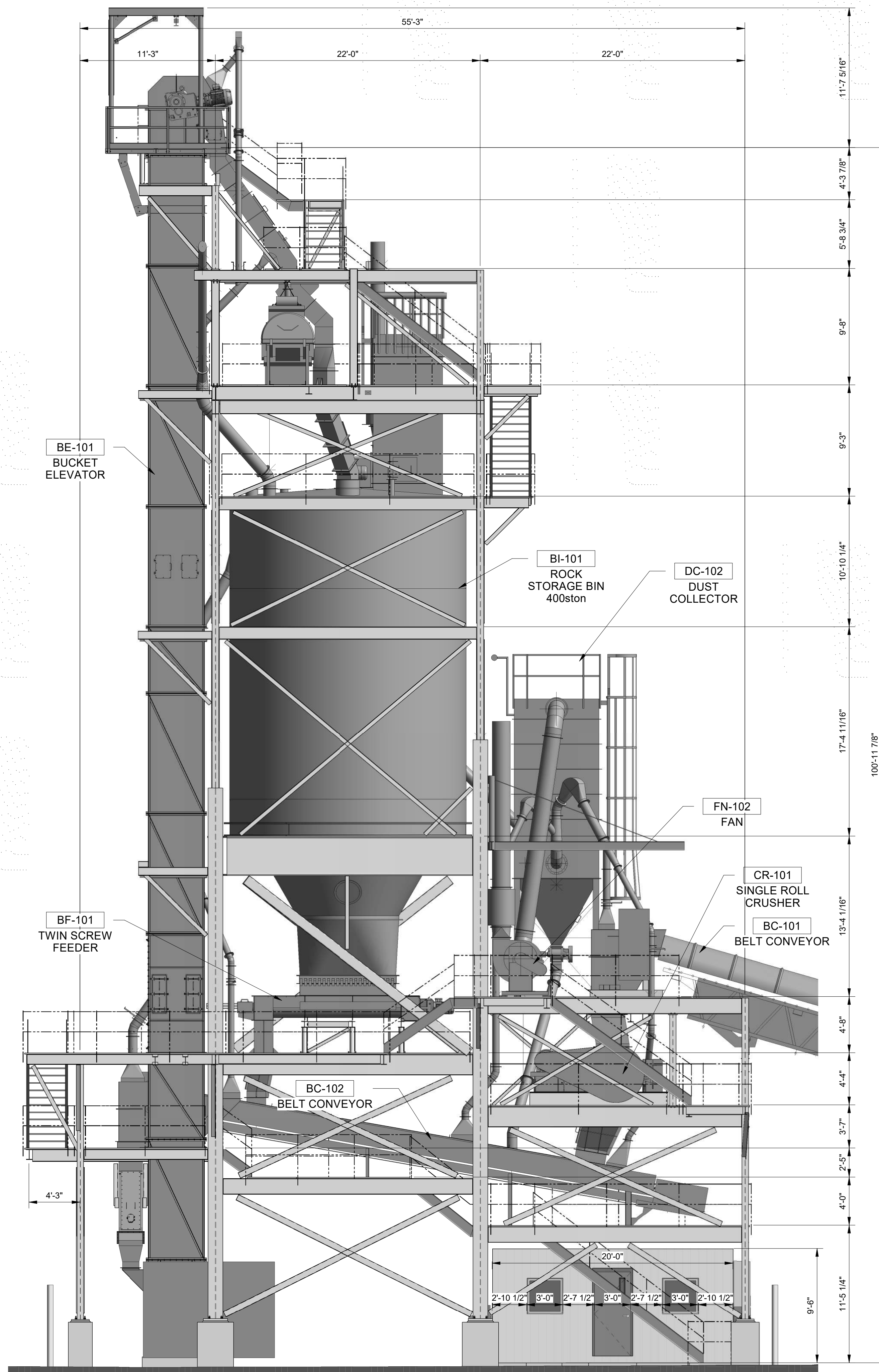
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- METAL SIDING:  
 COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
 COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
 COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
 COLOR: CLEAR.
  - EQUIPMENT:  
 COLOR: TO BE DETERMINED.

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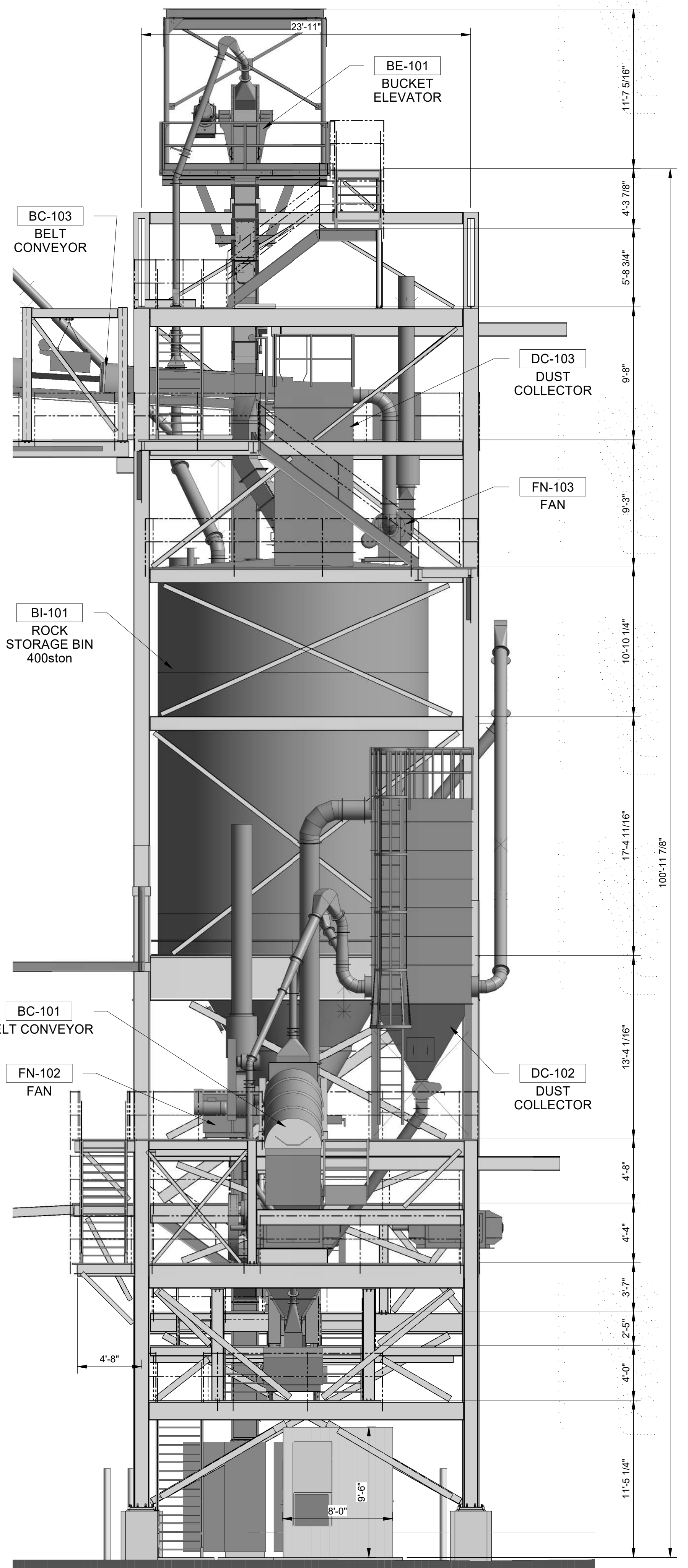
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 DATE: 09/12/22  
 NAME: DANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO.: 26595

 <b>AMERICAN GYPSUM</b> 4600 Paseo Del Norte Blvd NE, Albuquerque, NM 87113													
<b>DESIGNED:</b> MCW <b>DRAWN:</b> APV <b>CHECKED:</b> MCW <b>SMACC APPR:</b> WEH	<b>DATE:</b> 06/15/22 <b>DATE:</b> 06/15/22 <b>DATE:</b> 06/15/22 <b>DATE:</b> 08/04/21												
<b>INDUSTRIAL ALLY</b> Engineering and Construction Services 1422 Elbridge Payne Rd, Suite 120 Chesterfield, MO 63017 INDUSTRIAL ALLY PROJECT NUMBER: 1576													
<b>VERTICAL GRINDING / CALCINING MILL          OVERALL PLANT          CIVIL          STRUCTURE ELEVATIONS</b>													
<b>IA DRAWING NUMBER</b> <b>1576-CC-203</b> <b>CLIENT DRAWING NUMBER</b>													
<b>REV.</b> <b>0</b>	<b>DWG. SCALE:</b> <b>3/16" = 1'-0"</b>												
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REV	DATE	DESCRIPTION	BY	CHK	APP								
0	09/12/22	ISSUED FOR PERMIT	JB	KL	KL								

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**MILL OPERATIONS-CRUSHING EAST ELEVATION**  
 3/16" = 1'-0"



**MILL OPERATIONS-CRUSHING NORTH ELEVATION**  
 3/16" = 1'-0"

- NOTES:**
- METAL SIDING: COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL: COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR: COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN: COLOR: CLEAR.
  - EQUIPMENT: COLOR: TO BE DETERMINED.

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**DANA ALWINDAWY**  
 NEW MEXICO  
 28595  
 PROFESSIONAL ENGINEER

DANA ALWINDAWY  
 DATE: 09/12/22  
 NAME: DANA ALWINDAWY  
 DISCIPLINE: STRUCTURAL  
 LICENSE NO: 28595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
 4600 Paseo Del Norte Blvd NE,  
 Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
 DRAWN: APV DATE: 06/15/22  
 CHECKED: MCW DATE: 06/15/22  
 SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
 Engineering and Construction Services

1422 Elbridge Payne Rd, Suite 120  
 Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

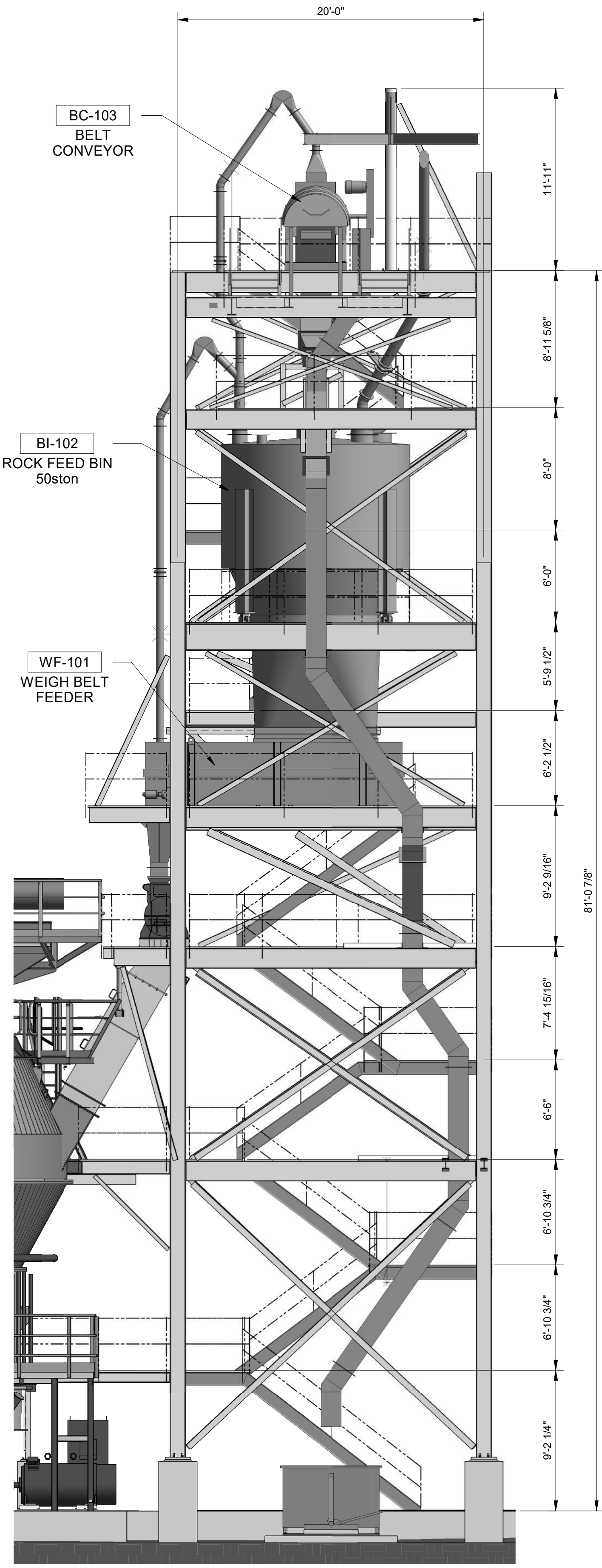
**VERTICAL GRINDING / CALCINING MILL**  
**OVERALL PLANT**  
**CIVIL**  
**STRUCTURE ELEVATIONS**

IA DRAWING NUMBER  
**1576-CC-204**  
 CLIENT DRAWING NUMBER

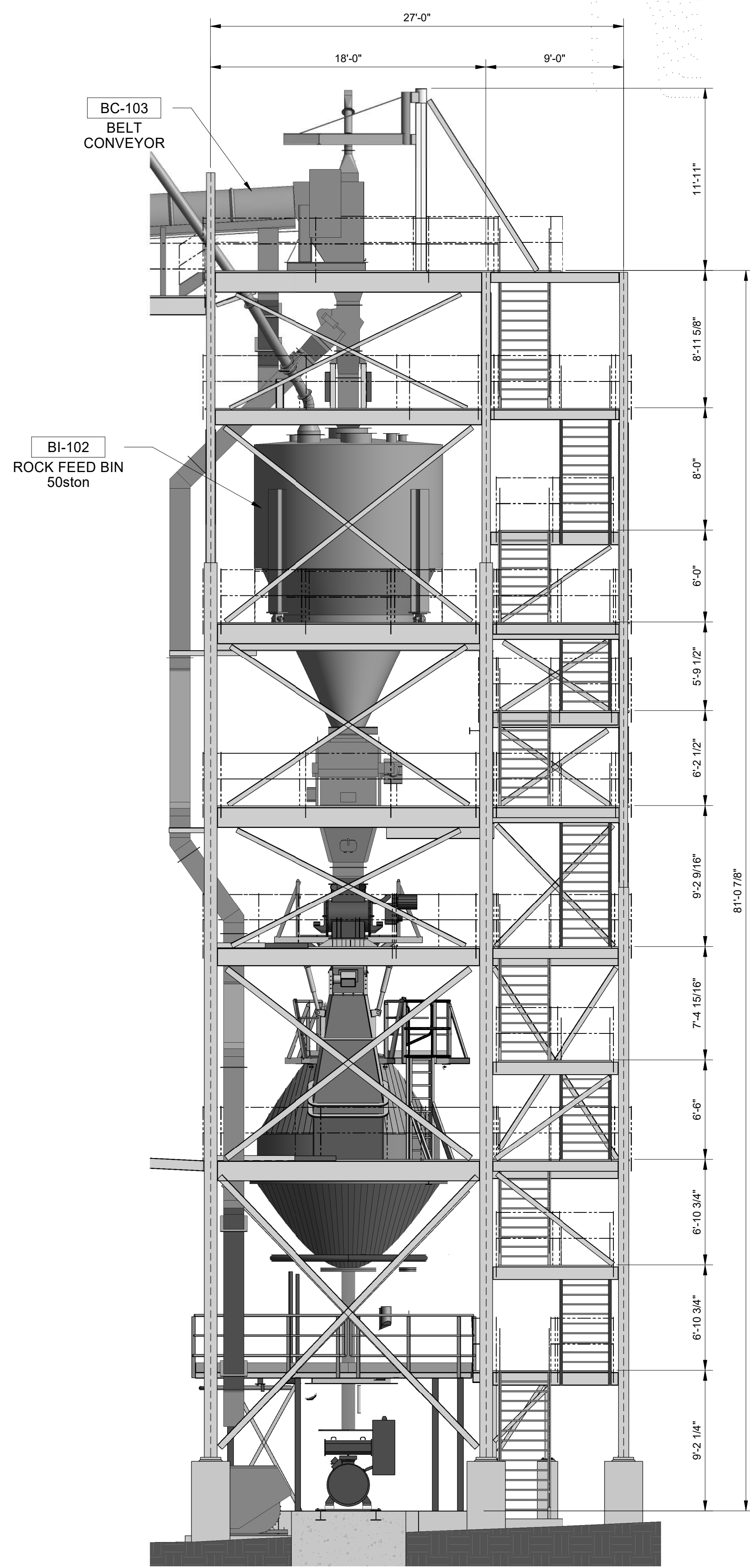
REV. **0** DWG. SCALE: **3/16" = 1'-0"**



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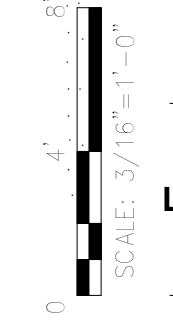


MILL OPERATIONS-FEED WEST ELEVATION  
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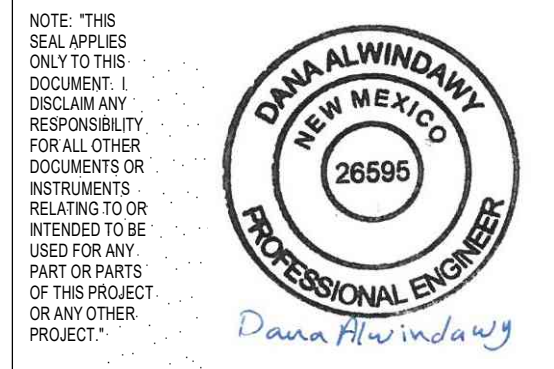


MILL OPERATIONS-FEED SOUTH ELEVATION  
3/16" = 1'-0"

- NOTES:
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COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
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COLOR: PURE WHITE.
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COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

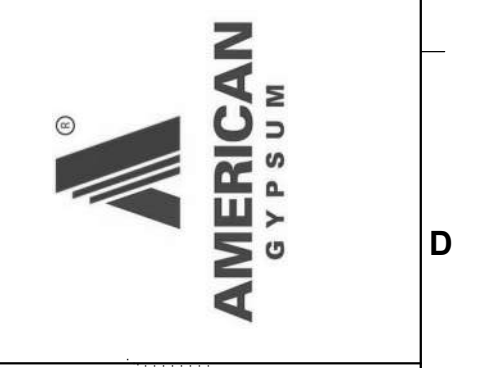


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DATE: 09/12/22  
NAME: DANA ALWINDAWNY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



AMERICAN GYPSUM  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
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SMACC APPR: WEH	DATE: 08/04/21

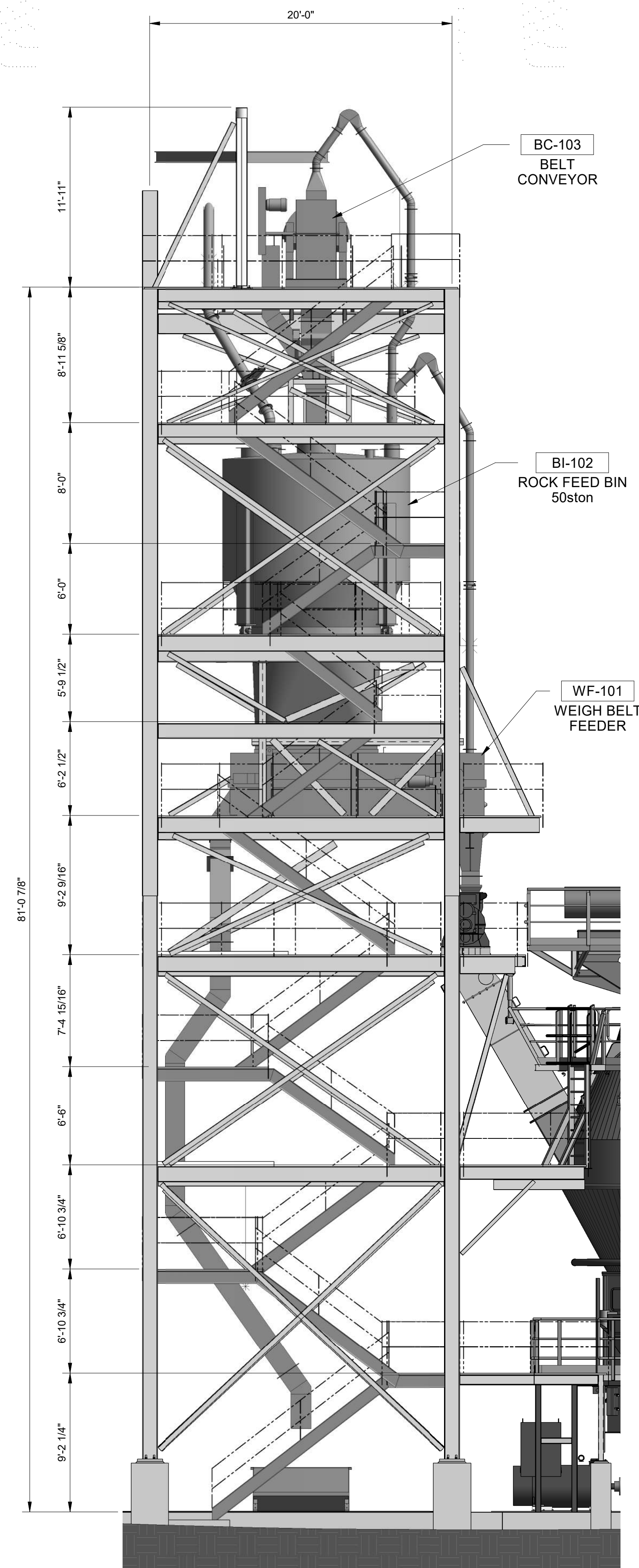
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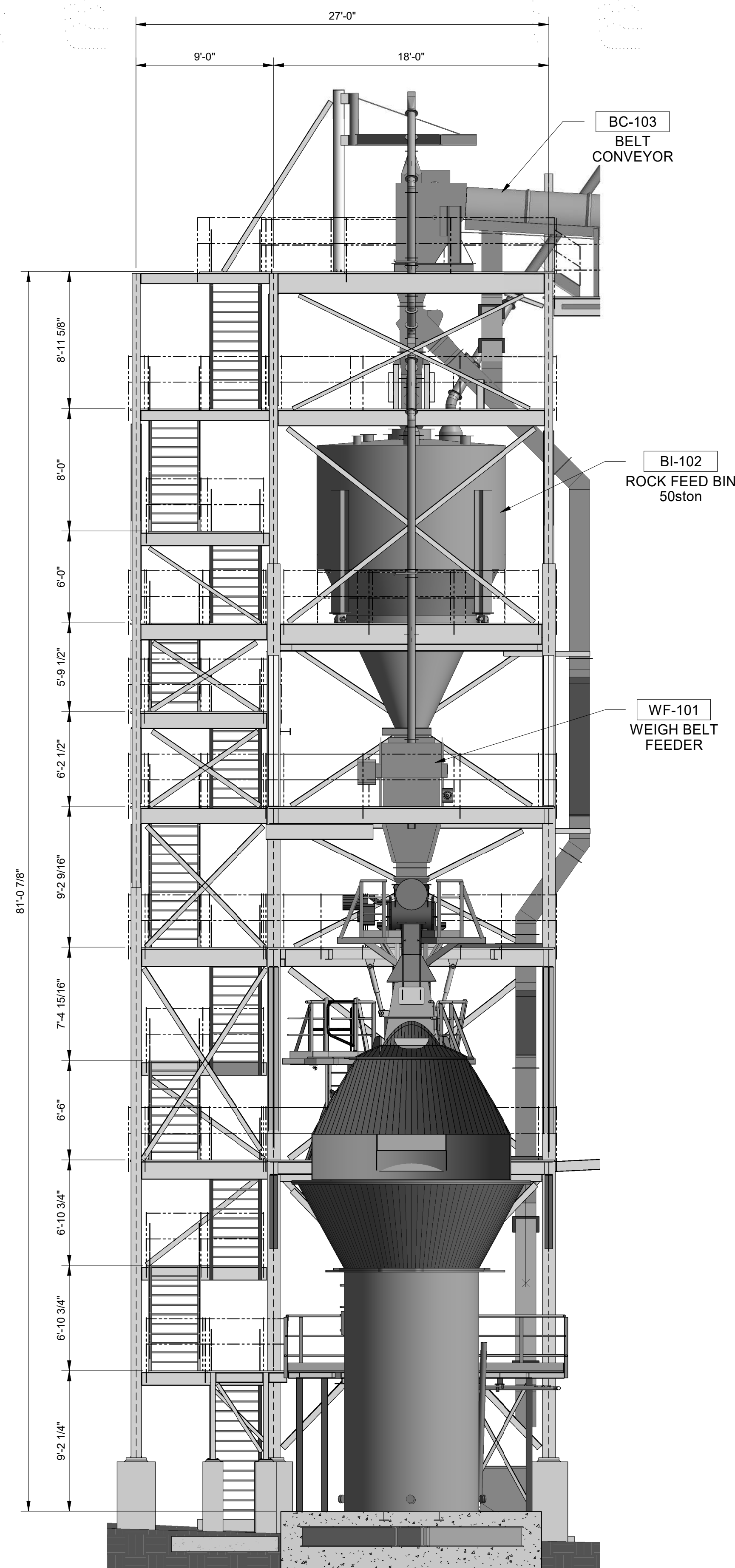
VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS

IA DRAWING NUMBER	1576-CC-205
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REV.	DWG. SCALE:
0	3/16" = 1'-0"

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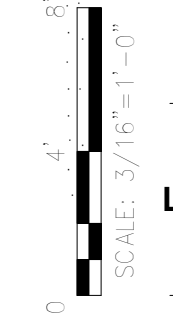


**MILL OPERATIONS-MILL EAST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-MILL NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.



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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER

*Dana Alwindawy*

DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCV	DATE: 06/15/22
DRAWN: APV	DATE: 06/15/22
CHECKED: MCV	DATE: 06/15/22
SMACC APPR: WEH	DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

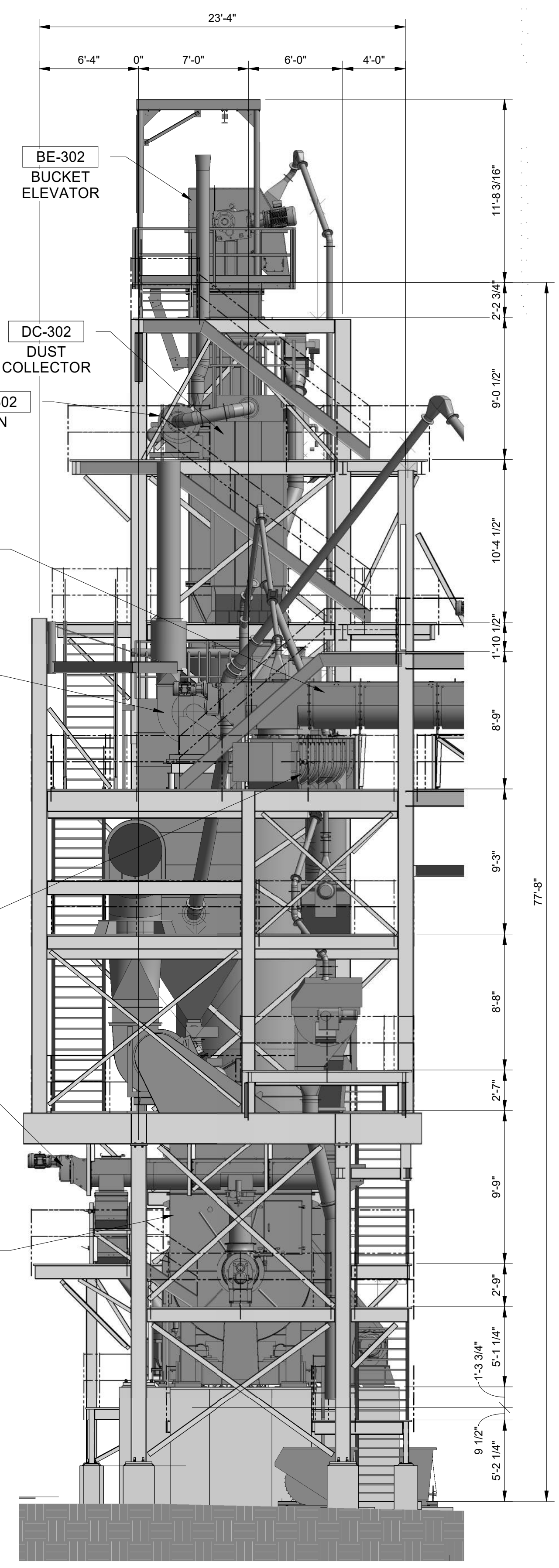
1422 Elbridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

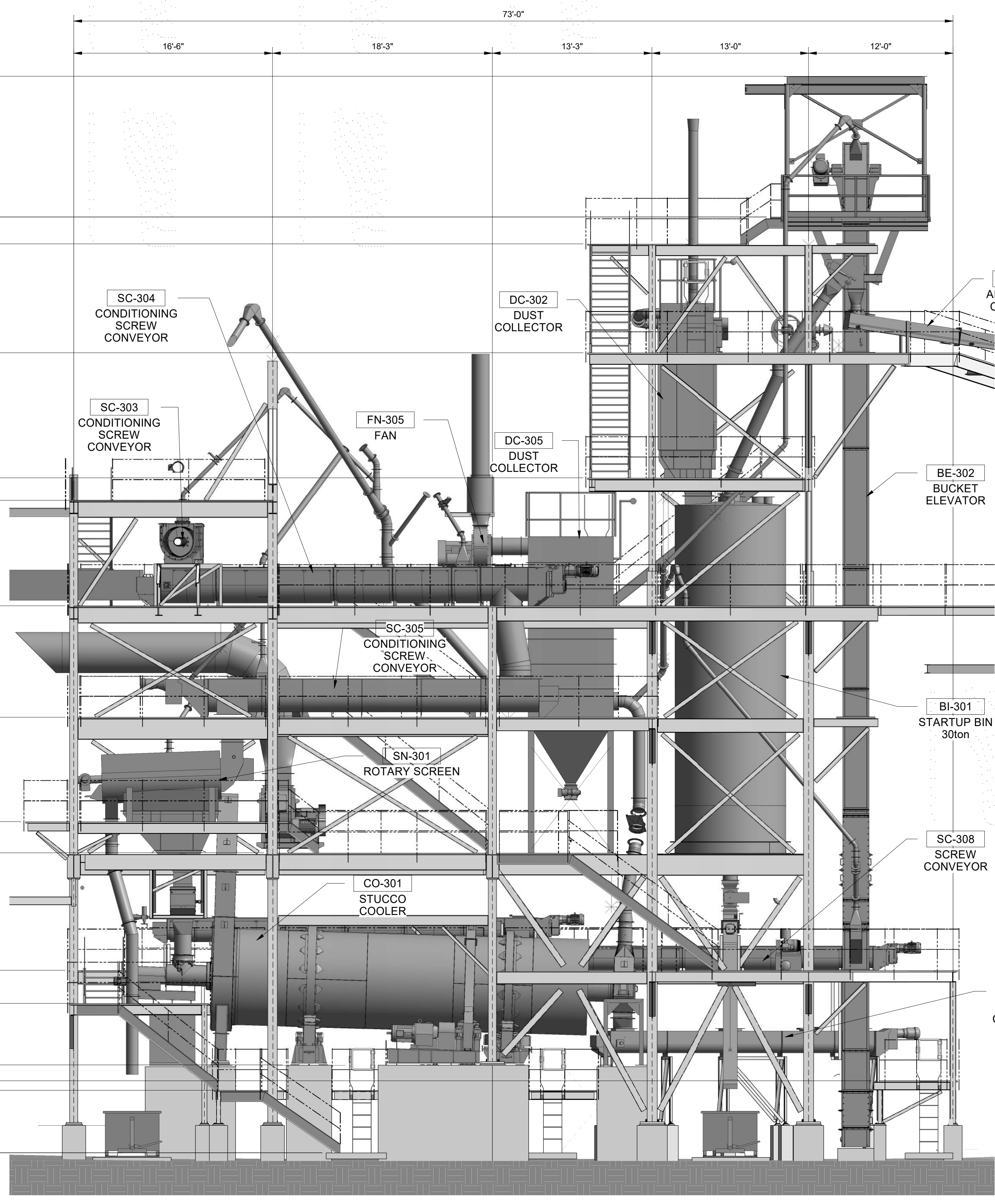
**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-206</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	3/16" = 1'-0"

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**MILL OPERATIONS-COOLING WEST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-COOLING SOUTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services

1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-207</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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**DANA ALWINDAWY**  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER

Dana Alwindawy

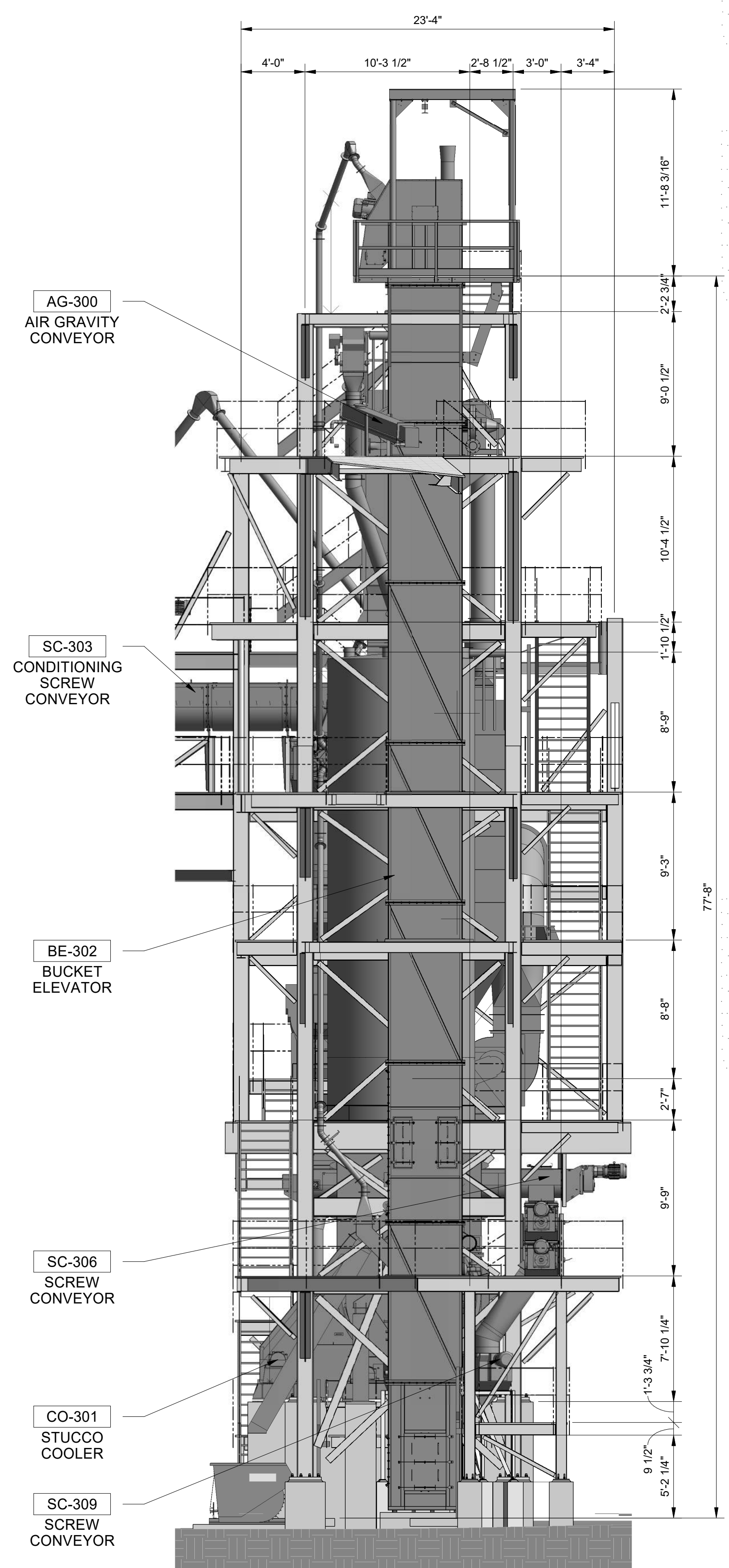
DATE: 09/12/22  
NAME: DANA ALWINDAWY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595

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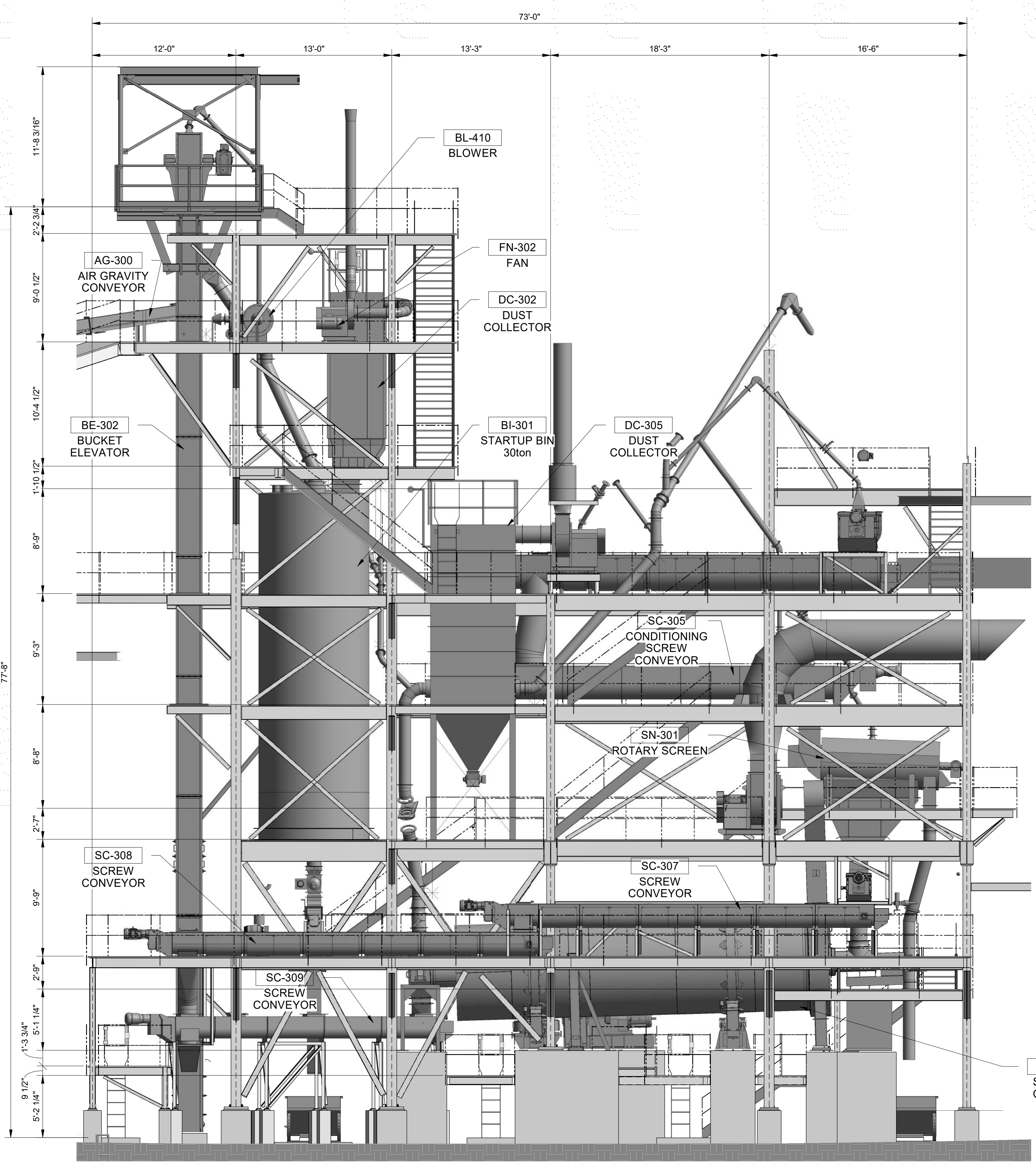
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**MILL OPERATIONS-COOLING EAST ELEVATION**  
3/16" = 1'-0"



**MILL OPERATIONS-COOLING NORTH ELEVATION**  
3/16" = 1'-0"

- NOTES:**
- METAL SIDING:  
COLOR: COOL EGYPTIAN WHITE EXCEPT  
TOP AREA TO BE COOL COLONIAL RED.
  - BOLLARD, GATE, OR HANDRAIL:  
COLOR: SAFETY YELLOW.
  - EXPOSED STRUCTURAL STEEL, ROOF, OR DOOR:  
COLOR: PURE WHITE.
  - RUBBER STRIP CURTAIN:  
COLOR: CLEAR.
  - EQUIPMENT:  
COLOR: TO BE DETERMINED.

REV	DATE	DESCRIPTION	BY	CHK	APP
0	09/12/22	ISSUED FOR PERMIT	JJB	KL	KL



**AMERICAN GYPSUM**  
4600 Paseo Del Norte Blvd NE,  
Albuquerque, NM 87113

DESIGNED: MCW DATE: 06/15/22  
DRAWN: APV DATE: 06/15/22  
CHECKED: MCW DATE: 06/15/22  
SMACC APPR: WEH DATE: 08/04/21

**Industrial Ally**  
Engineering and Construction Services  
1422 Ebridge Payne Rd, Suite 120  
Chesterfield, MO 63017

INDUSTRIAL ALLY PROJECT NUMBER: 1576

**VERTICAL GRINDING / CALCINING MILL  
OVERALL PLANT  
CIVIL  
STRUCTURE ELEVATIONS**

IA DRAWING NUMBER	
<b>1576-CC-208</b>	
CLIENT DRAWING NUMBER	
REV.	DWG. SCALE:
<b>0</b>	<b>3/16" = 1'-0"</b>

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DANA ALWINDAWNY  
NEW MEXICO  
26595  
PROFESSIONAL ENGINEER  
Dana Alwindawny

DATE: 09/12/22  
NAME: DANA ALWINDAWNY  
DISCIPLINE: STRUCTURAL  
LICENSE NO: 26595



# **012 ORIGINAL APPROVED SITE PLAN**

PROJECT NUMBER: 1003477  
 APPLICATION NUMBER: 04-00863

IS AN INFRASTRUCTURE LIST REQUIRED? ( ) YES (X) NO. IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

*[Signature]* 6-30-04  
 TRAFFIC ENGINEERING/TRANSPORTATION DIVISION DATE

*[Signature]* 6-30-04  
 UTILITIES DEVELOPMENT DATE

*[Signature]* 6/30/04  
 PARKS AND RECREATION DEPARTMENT DATE

*[Signature]* 6/30/04  
 CITY ENGINEER DATE

*[Signature]* N/A  
 \* ENVIRONMENTAL HEALTH DEPARTMENT (conditional) DATE

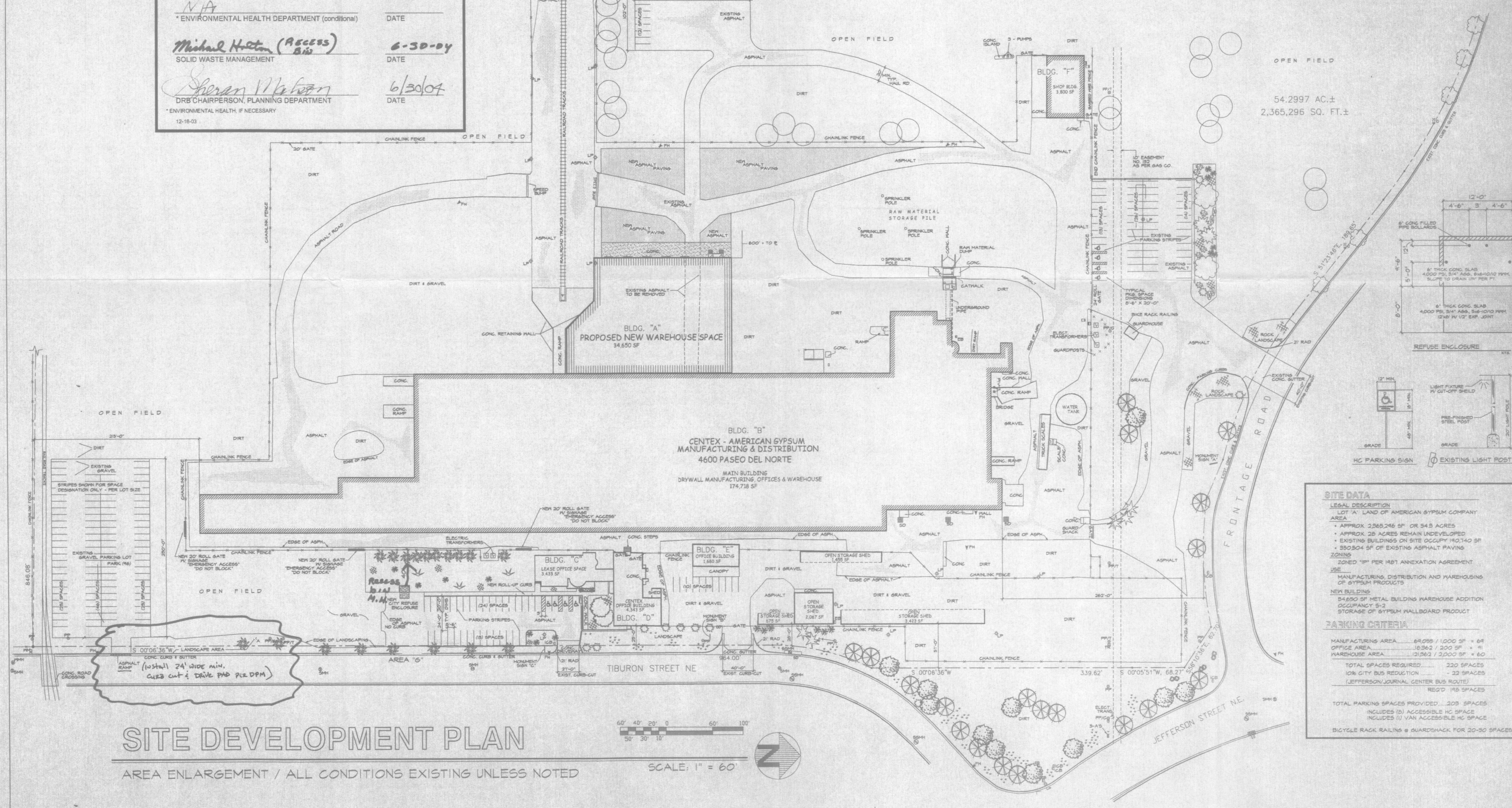
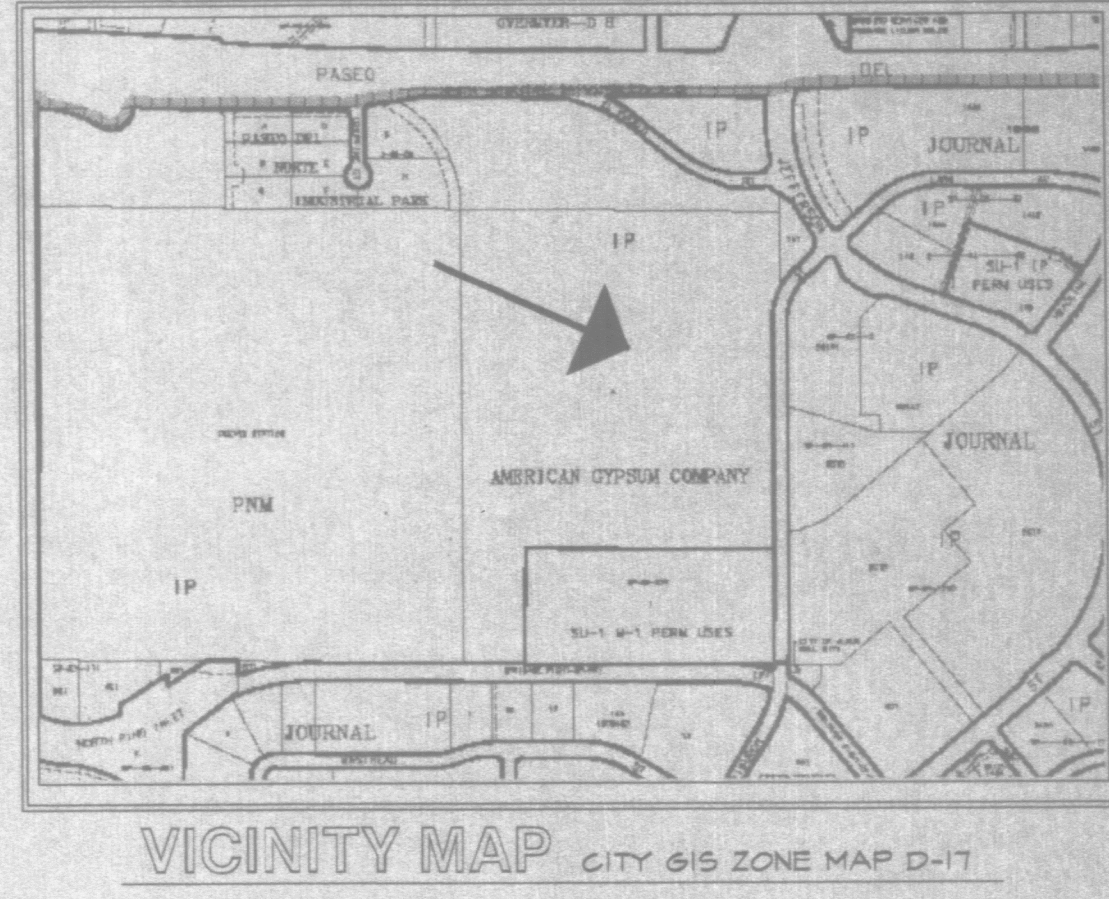
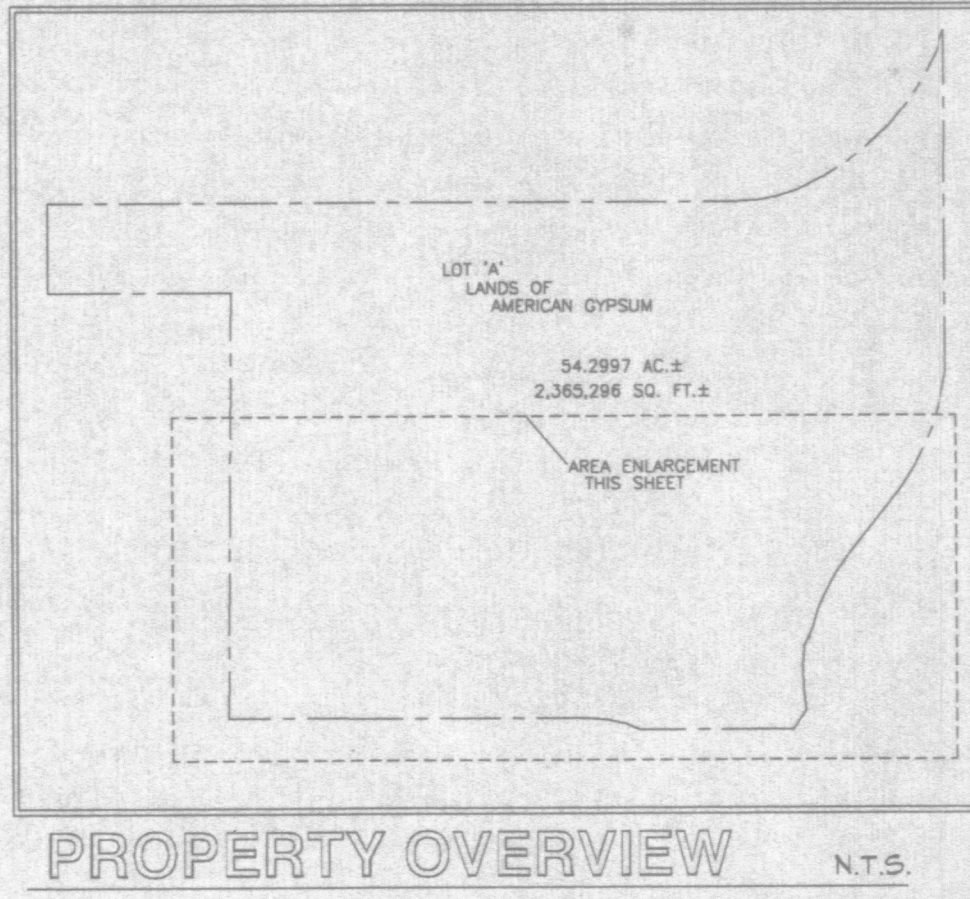
*[Signature]* 6-30-04  
 SOLID WASTE MANAGEMENT DATE

*[Signature]* 6/30/04  
 DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

12-18-03

**SYMBOLS LEGEND**

- ⊙ STORM SEWER MAN HOLE (SSMH)
- ⊙ GAS METER (GM)
- ⊙ LIGHT POLE (LP)
- ⊙ POWER POLE (PP)
- ⊙ ANCHOR (A)
- ⊙ ELEC. PANEL BOX (EB)
- ⊙ SEWER MAN HOLE (SMH)
- ⊙ IRRIGATION CONTROL BOX (ICB)
- ⊙ FIREHYDRANT (FH)
- CHAINLINK FENCE
- BARBEDWIRE FENCE



**SITE DATA**

**LEGAL DESCRIPTION**  
 LOT 'A' LAND OF AMERICAN GYPSUM COMPANY AREA

- APPROX. 2,365,296 SF OR 54.3 ACRES
- APPROX. 28 ACRES REMAIN UNDEVELOPED
- EXISTING BUILDINGS ON SITE OCCUPY 190,740 SF
- 380,804 SF OF EXISTING ASPHALT PAVING

**ZONING**  
 ZONED 'I1' PER 1981 ANNEXATION AGREEMENT

**USE**  
 MANUFACTURING, DISTRIBUTION AND WAREHOUSING OF GYPSUM PRODUCTS

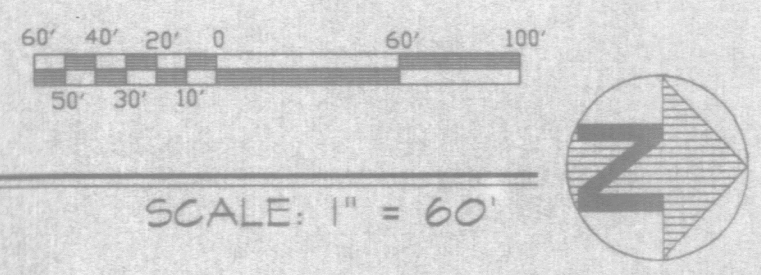
**NEW BUILDING**  
 34,650 SF METAL BUILDING WAREHOUSE ADDITION  
 OCCUPANCY S-3  
 STORAGE OF GYPSUM WALLBOARD PRODUCT

**PARKING CRITERIA**

MANUFACTURING AREA	69,055 / 1,000 SF = 69
OFFICE AREA	18,362 / 200 SF = 91
WAREHOUSE AREA	12,962 / 2,000 SF = 6
<b>TOTAL SPACES REQUIRED</b>	<b>230 SPACES</b>
100 CITY BUS REDUCTION	22 SPACES
(JEFFERSON JOURNAL CENTER BUS ROUTE)	
REG'D 140 SPACES	
<b>TOTAL PARKING SPACES PROVIDED</b>	<b>208 SPACES</b>
INCLUDES (1) ACCESSIBLE HC SPACE	
INCLUDES (1) VAN ACCESSIBLE HC SPACE	
BICYCLE RACK RAILING & GUARDSHACK FOR 20-30 SPACES	

**SITE DEVELOPMENT PLAN**

AREA ENLARGEMENT / ALL CONDITIONS EXISTING UNLESS NOTED



REVISION

SHIVER CONSTRUCTION CO. DESIGN/BUILD

AMERICAN GYPSUM PLANT

ALBUQUERQUE, NEW MEXICO

4600 PASEO DEL NORTE

1112 BROADWAY BLVD. NE ALBUQUERQUE, NEW MEXICO 87102 PHONE (505) 344-3461 FAX (505) 764-8198 www.ShiverConstructionCompany.com

A NEW WAREHOUSE ADDITION FOR:

SHEET G1 OF 4 TOTAL PAGES

5/26/04 DATE

P-04-09 PROJECT NO.

*Zhang*



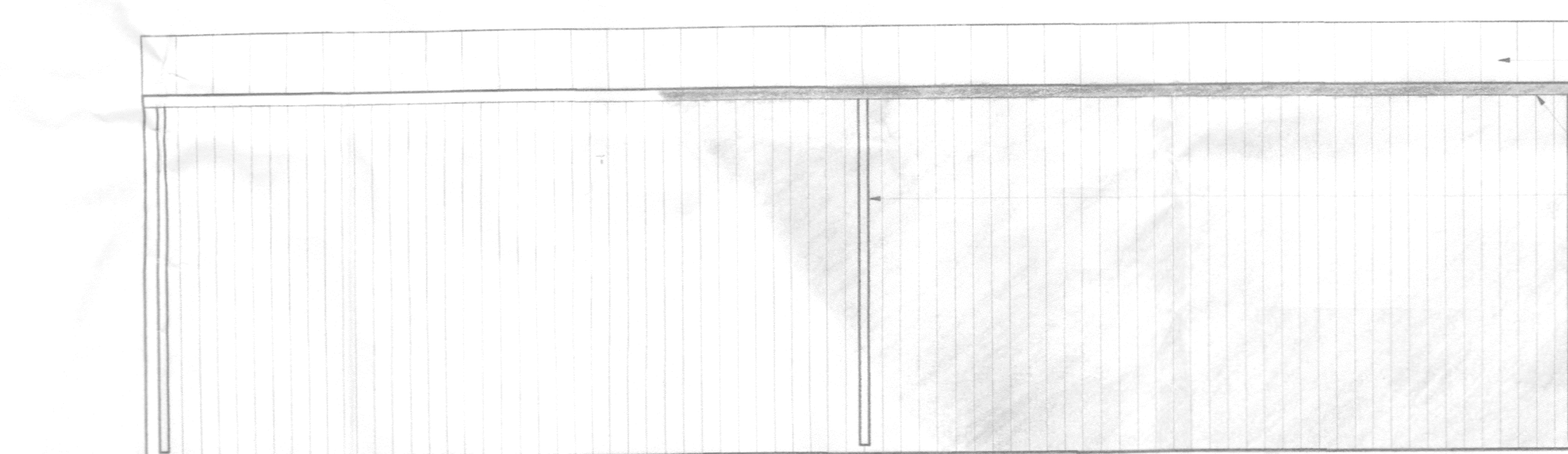




View From East - Existing 6

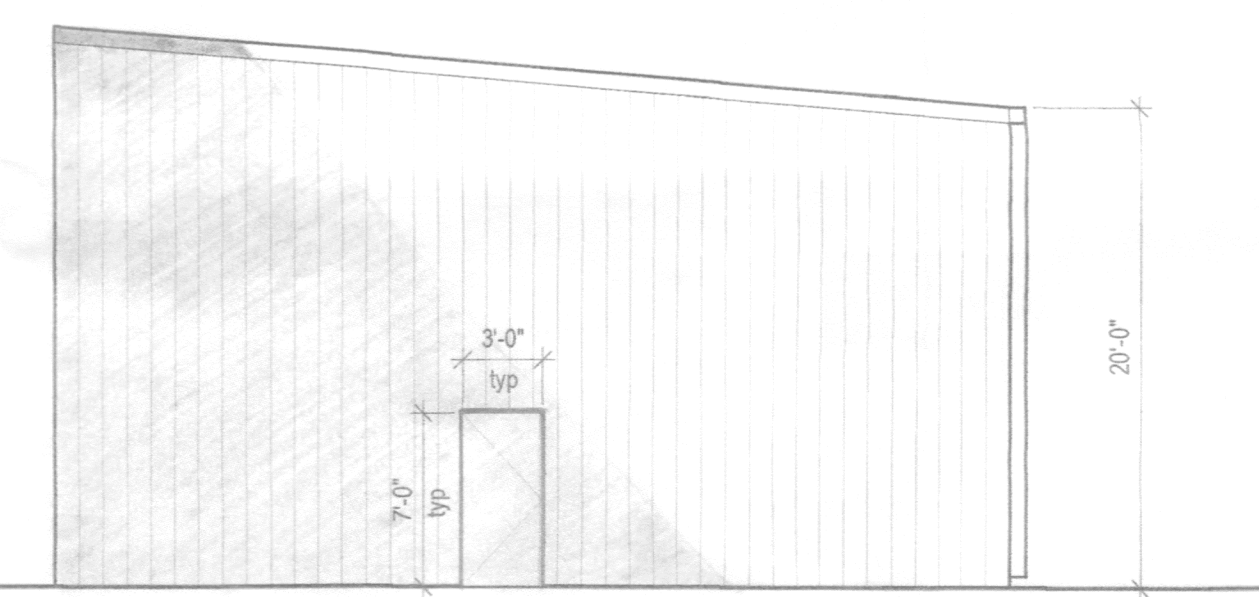


View From East - Proposed 5

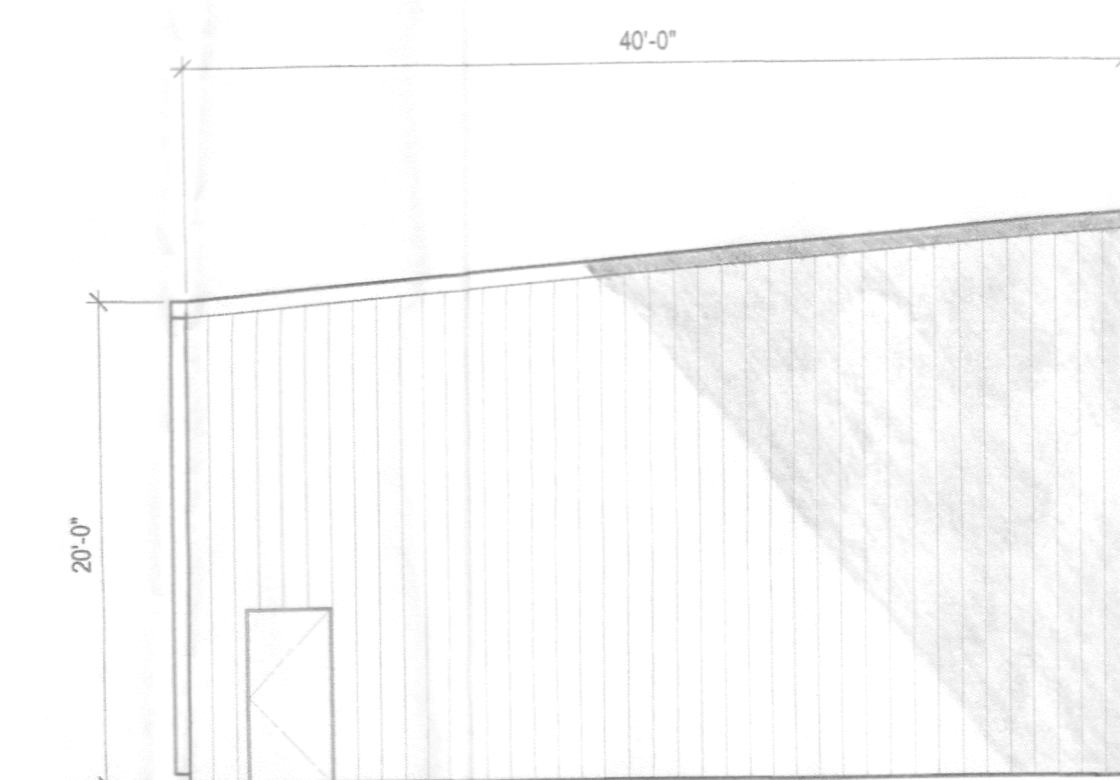


West Elevation  
Scale: 1/8" = 1'-0" 4

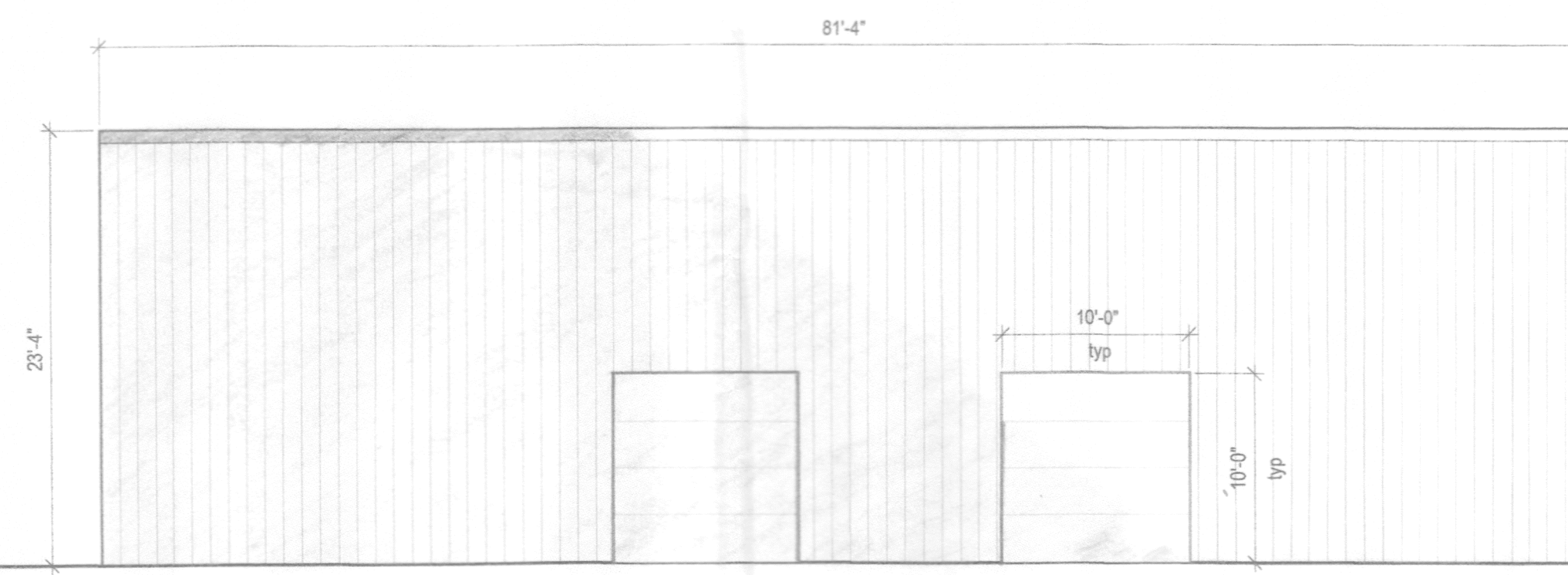
Standing Seam Metal Roof, Galvalume Finish  
Factory-painted metal gutter & downspout. Color to match wall.



North Elevation  
Scale: 1/8" = 1'-0" 3



South Elevation  
Scale: 1/8" = 1'-0" 2



East Elevation  
Scale: 1/8" = 1'-0" 1



**EXTERIOR FINISHES**

WALLS: Factory-painted metal panels with 12" ribs.  
COLOR: LIGHT TAN

TRIM: Factory-painted metal. COLOR: MEDIUM BLUE

ROOF: Standing Seam Metal. FINISH: GALVALUME

WALK-IN DOORS: Factory-painted metal (final locations subject to change)

ROLL-UP DOORS: Factory-painted metal (final locations subject to change)

MARK	DATE	DESCRIPTION

GDDA PROJECT NO: 14-105

DATE: 8/6/2014

DRAWN BY: cg/dd

CHECKED BY: cg/dd

SET NO:  
SHEET TITLE:

C2

CABQ FILING INFO:  
DRB PROJ #: 1003477

A New Warehouse for:  
**RIO GRANDE DRYWALL SUPPLY**  
4600 Paseo Del Norte Blvd NE  
Albuquerque, NM 87109

G. DONALD DUDLEY AIA  
ARCHITECTURE INTERIORS PLANNING  
AIA NCARB LEED AP

SIMMS TOWER STUDIO B50  
400 GOLD AVENUE SW  
ALBUQUERQUE, NEW MEXICO  
87102  
TEL: 505.243.8100

PROJECT NUMBER: 1003477  
 APPLICATION NUMBER: 04-00003

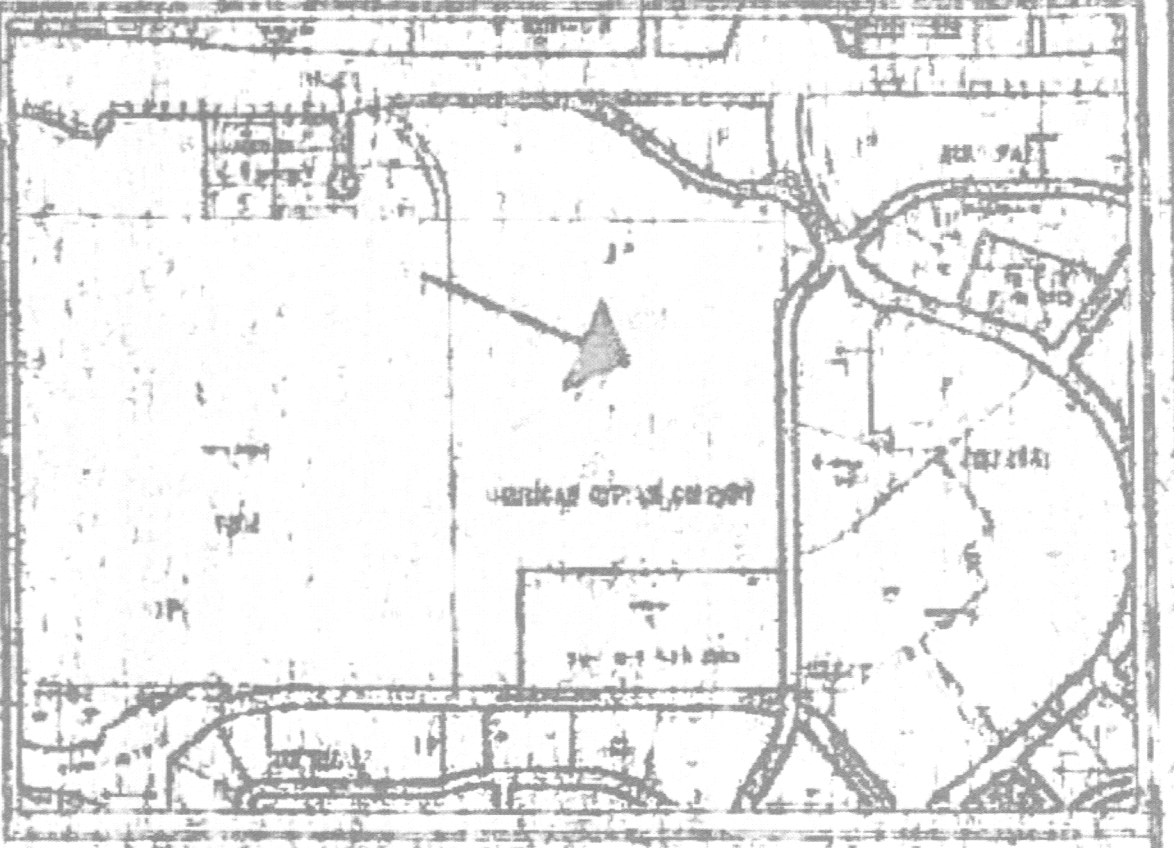
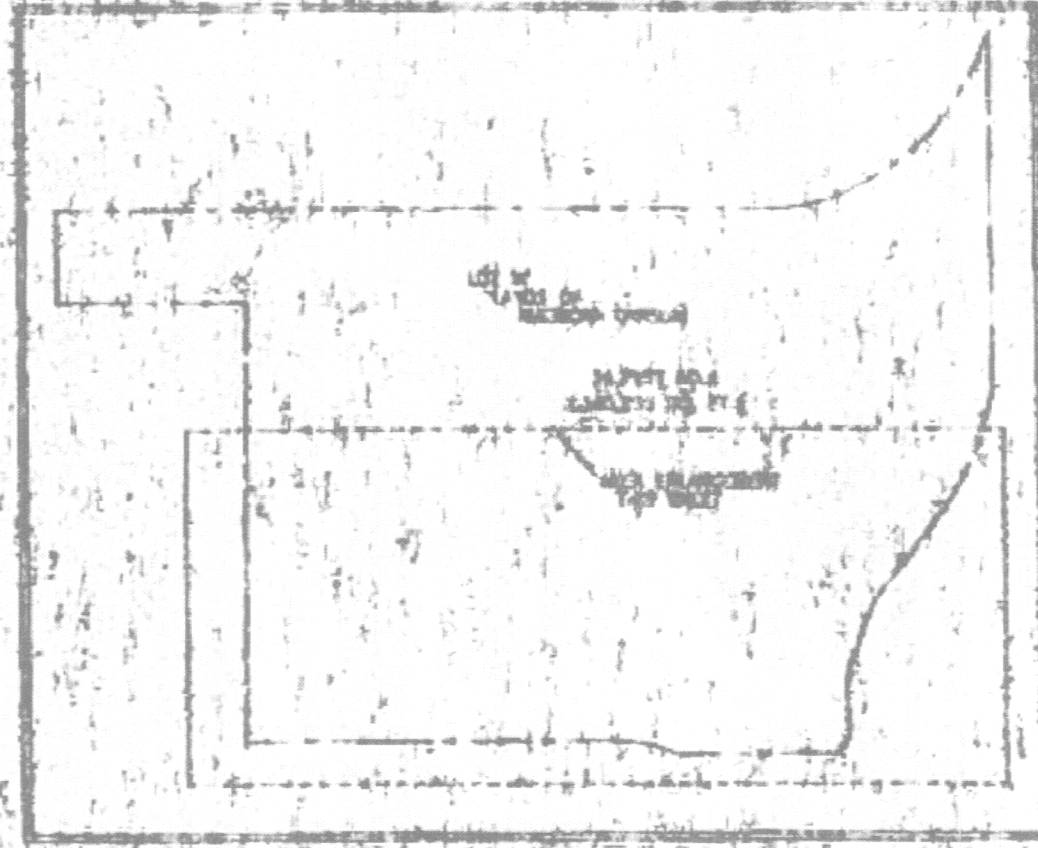
IN AN INDUSTRIAL USE ZONING DISTRICT, THE CITY ENGINEER SHALL REVIEW AND APPROVE THE SITE DEVELOPMENT PLAN AND THE CONSTRUCTION OF THE PROJECT SHALL BE SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL.

**DESIGN DEVELOPMENT PLAN APPROVAL:**

TRANSPORTATION DEPARTMENT	11/20/15
DATE	
Public Works	11/20/15
DATE	
Parks and Recreation Department	11/20/15
DATE	
City Engineer	11/20/15
DATE	
Environmental Health Department	11/20/15
DATE	
Public Works (Parks)	11/20/15
DATE	
Public Works (Parks)	11/20/15
DATE	

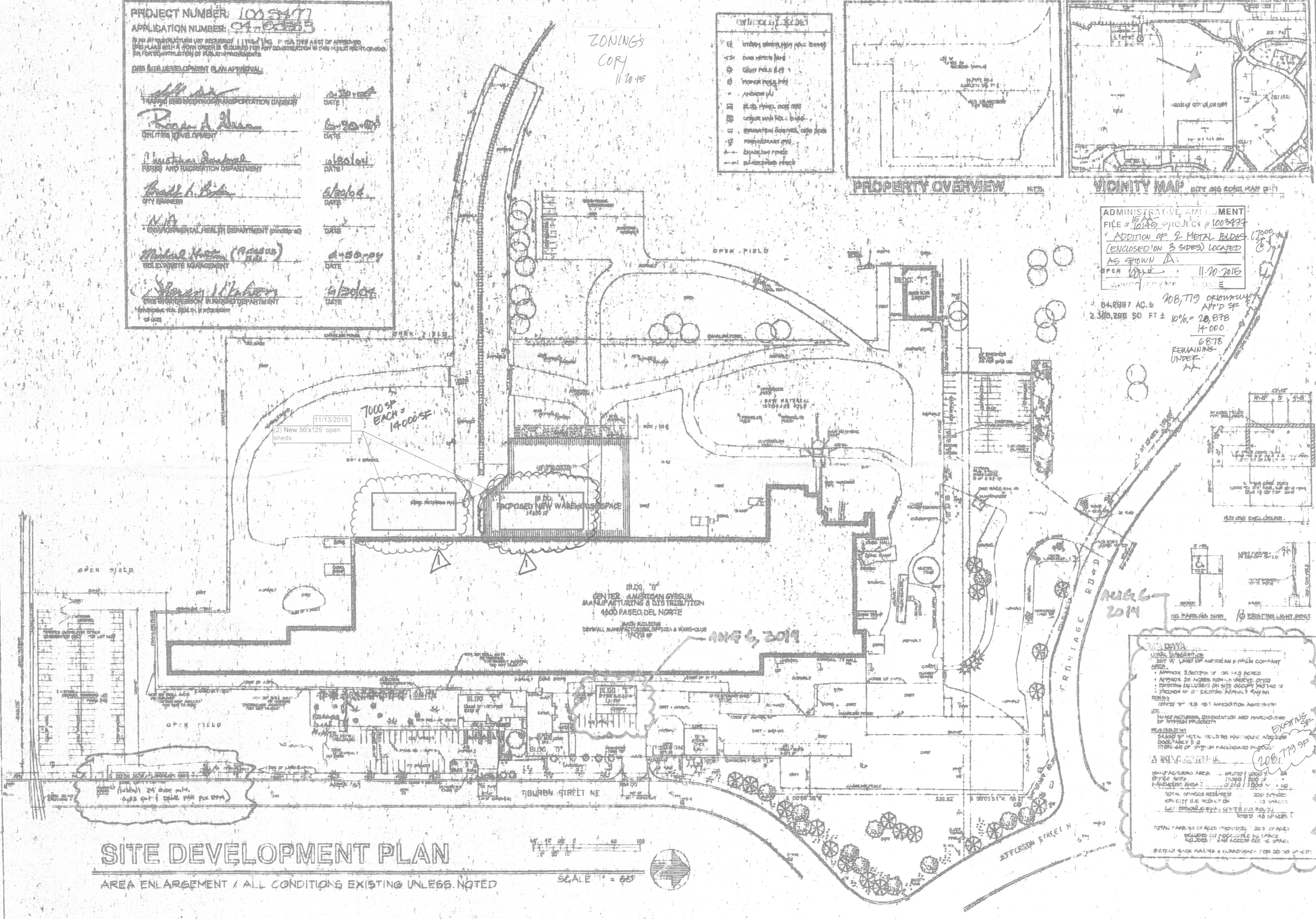
ZONING'S  
 COPY  
 11/20/15

- SYMBOLS:**
- 1. Existing building footprints
  - 2. New building footprints
  - 3. Existing parking spaces
  - 4. New parking spaces
  - 5. Existing trees
  - 6. New trees
  - 7. Existing utility lines
  - 8. New utility lines
  - 9. Existing easements
  - 10. New easements
  - 11. Existing fences
  - 12. New fences
  - 13. Existing walls
  - 14. New walls
  - 15. Existing roads
  - 16. New roads



**ADMINISTRATIVE AMENDMENT**  
 FILE # 10140 PROJECT # 1003477  
 ADDITION OF 2 METAL BLDGS (7000 sq ft)  
 (ENCLOSED ON 3 SIDES) LOCATED AS SHOWN A:  
 APPROVED DATE: 11/20/2015

04.0987 AC. ±  
 2,380,285 SQ. FT. ±  
 10% = 238,028 SQ. FT.  
 6878 REMAINING UNDER A.A.



11/13/2015  
 (2) New 56'x125' open sheds  
 7000 SF EACH = 14,000 SF

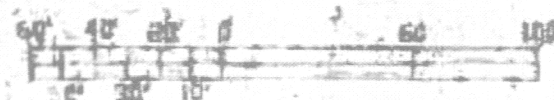
BLDG. 6  
 CENTER - AMERICAN GYPSUM  
 MANUFACTURING & DISTRIBUTION  
 4600 PASEO DEL NORTE

11/13/2015

11/13/2015

**SITE DEVELOPMENT PLAN**

AREA ENLARGEMENT / ALL CONDITIONS EXISTING UNLESS NOTED



SCALE 1" = 60'



**NOTES:**

- 1. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 2. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 3. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 4. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 5. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 6. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 7. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 8. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 9. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.
- 10. APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE USED FOR OPEN SPACE.

REVISIONS

SHIVER CONSTRUCTION CO.  
 DESIGN/ENGINEER  
 4600 PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE: (505) 765-7878  
 FAX: (505) 765-7878  
 WWW.SHIVERCONSTRUCTION.COM

A NEW WAREHOUSE ADDITION FOR  
 AMERICAN GYPSUM PLANT  
 ALBUQUERQUE, NEW MEXICO  
 4600 PASEO DEL NORTE

SHEET  
 G1  
 OF  
 4  
 TOTAL PAGES

11/20/15  
 DATE

P-04-04  
 PROJECT NO.

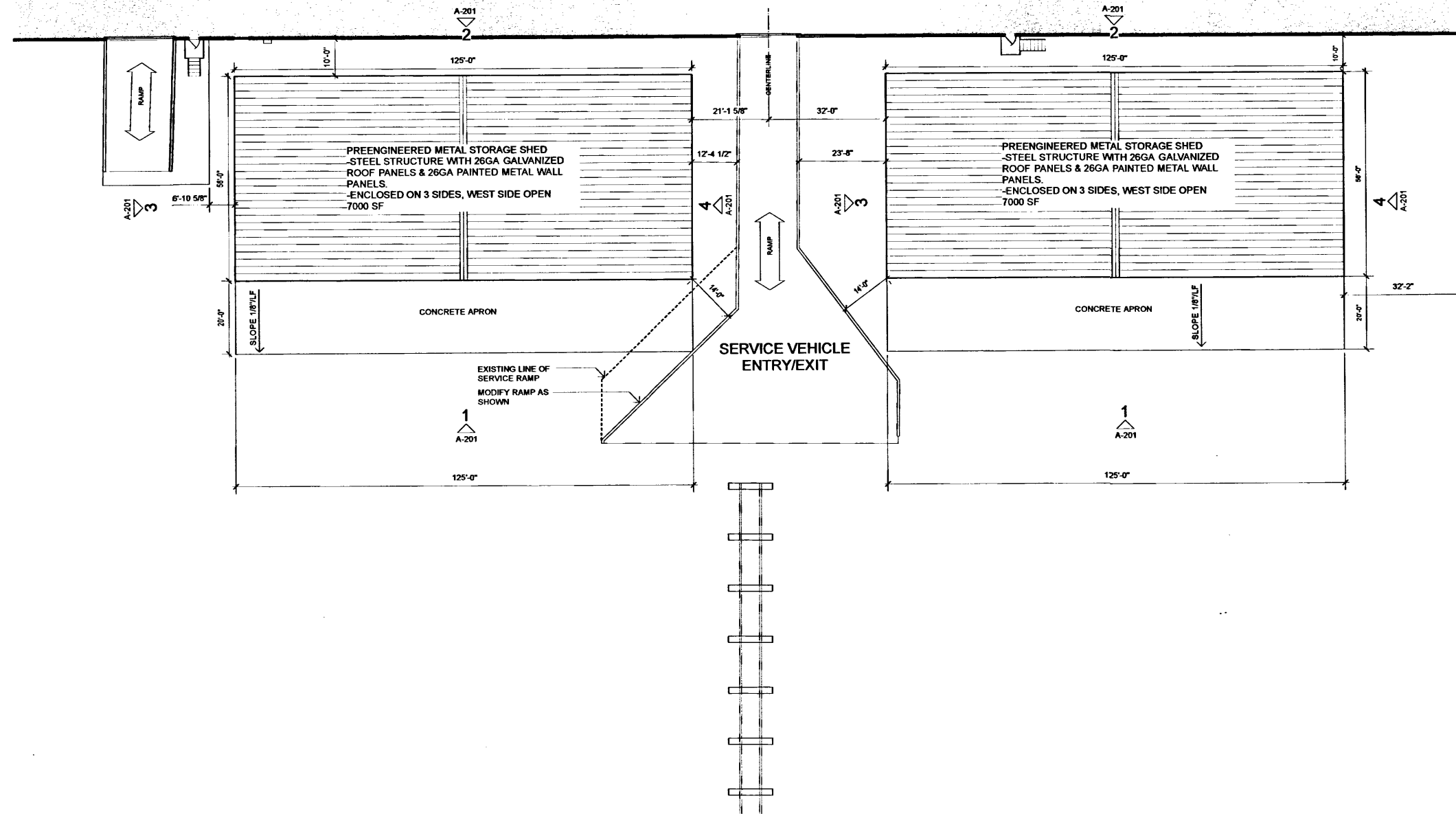
# 1 GENERAL NOTES

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
  - A. THESE GENERAL NOTES, PLANS AND SPECIFICATIONS
  - B. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS
2. CONTRACT DOCUMENTS TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT THAN APPLICABLE CODES, ORDINANCES, STANDARDS AND STATUTES. CODES, ORDINANCES, STANDARDS AND STATUTES TAKE PRECEDENCE WHEN THEY ARE MORE STRINGENT OR CONFLICT WITH DRAWINGS AND SPECIFICATIONS. WHERE CONFLICTS OCCUR, CONTRACTOR IS RESPONSIBLE FOR NOTIFYING OWNER.
3. UNLESS OTHERWISE SPECIFIED, SPECIFIC REFERENCES TO CODES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS OR REQUIREMENTS OF REGULATORY AGENCIES, WHEN USED TO SPECIFY REQUIREMENTS FOR MATERIALS OR DESIGN ELEMENTS, SHALL MEAN THE LATEST EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BIDS, OR THE DATE OF THE CHANGE ORDER OR FIELD ORDER, AS APPLICABLE.
4. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE SUBCONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGER SCALE OVER SMALLER SCALE.
5. THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS NOTED OTHERWISE OR SHOWN ON THE DRAWINGS.
6. DISCREPANCIES: THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS. WHERE IN THE OPINION OF THE CONTRACTOR A DISCREPANCY EXISTS, THE CONTRACTOR SHALL PROMPTLY REPORT IT TO THE OWNER FOR PROPER CLARIFICATION OR ADJUSTMENT.
7. OMISSIONS: IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS THE CONSTRUCTION OF SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED ON THE DRAWINGS AND SPECIFICATIONS. IF THERE IS ANY DOUBT CONCERNING THE SIMILARITY OF THE CONDITION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND REQUEST CLARIFICATION.
8. THE CONTRACTOR SHALL VERIFY R.O. SIZES FOR ALL WINDOWS AND DOORS.
9. ALL EXTERIOR DIMENSIONS LISTED AS "TO FIN" ARE TO FINISHED FACES AND GRID LINES. ALL INTERIOR DIMENSIONS ARE TO GRID LINES AND FACE OF STUDS UNLESS NOTED OTHERWISE.
10. THE CONTRACTOR SHALL VERIFY THAT THERE ARE NO CONFLICTS BETWEEN OPENINGS IN WALLS OR SLABS AND STRUCTURAL, MECHANICAL, ELECTRICAL AND/OR PLUMBING REQUIREMENTS. IN THE EVENT THAT A CONFLICT OCCURS THE CONTRACTOR SHALL NOTIFY THE OWNER. SLEEVES OF REQUIRED DIMENSIONS SHALL BE LOCATED AND PROVIDED BY THE TRADE REQUIRING SUCH SLEEVES AND SHALL BE PROVIDED FOR ALL PENETRATIONS THROUGH CONCRETE AND MASONRY CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE ALL BLOCKING, BACKING AND/OR ADDITIONAL SUPPORTING STRUCTURE AS REQUIRED FOR ITEMS CALLED FOR IN THE DRAWINGS AND SPECIFICATIONS WHETHER THE BLOCKING, BACKING, AND/OR ADDITIONAL SUPPORTING STRUCTURE IS SPECIFICALLY SHOWN IN THE DRAWINGS OR NOT. ALL BLOCKING AND BACKING MATERIALS SHALL BE NEW.

# 1 SITE PLAN

SCALE 1/16" = 1'-0"

## AMERICAN GYPSUM DRYWALL PLANT



SHAW-TOWNE STUDIO INC  
400 GOLD AVENUE NW  
ALBUQUERQUE, NEW MEXICO  
505 243-1100

G. DONALD DUDLEY AIA  
ARCHITECT  
ARCHITECTURE INTERIOR PLANNING  
AIA NO. 18048

PROJECT:  
American Gypsum Storage Sheds

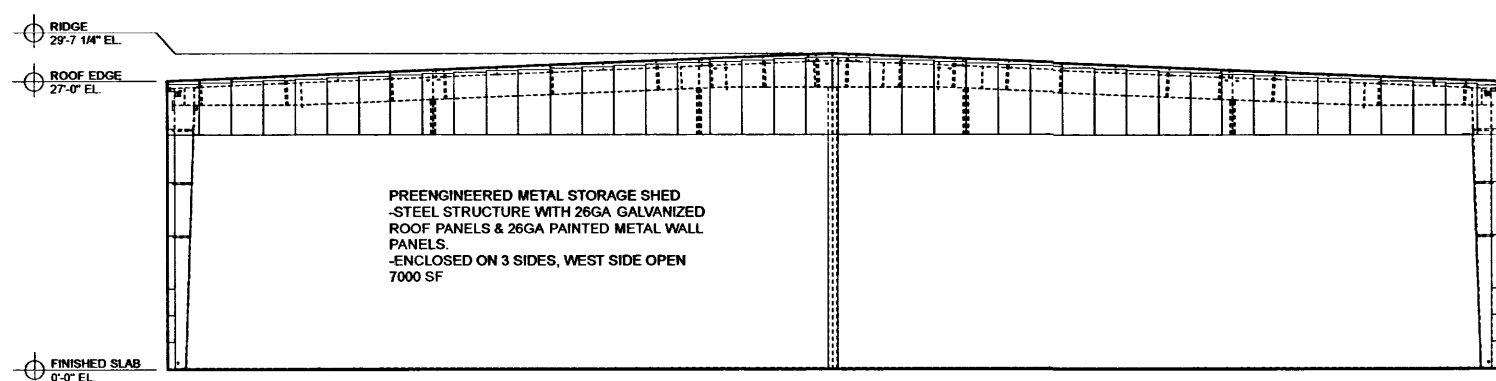
4600 Paseo Del Norte BLVD. NE.  
Albuquerque, NM 87113

PROJECT:  
GDDA PROJECT NO:

DATE: 11/20/2015

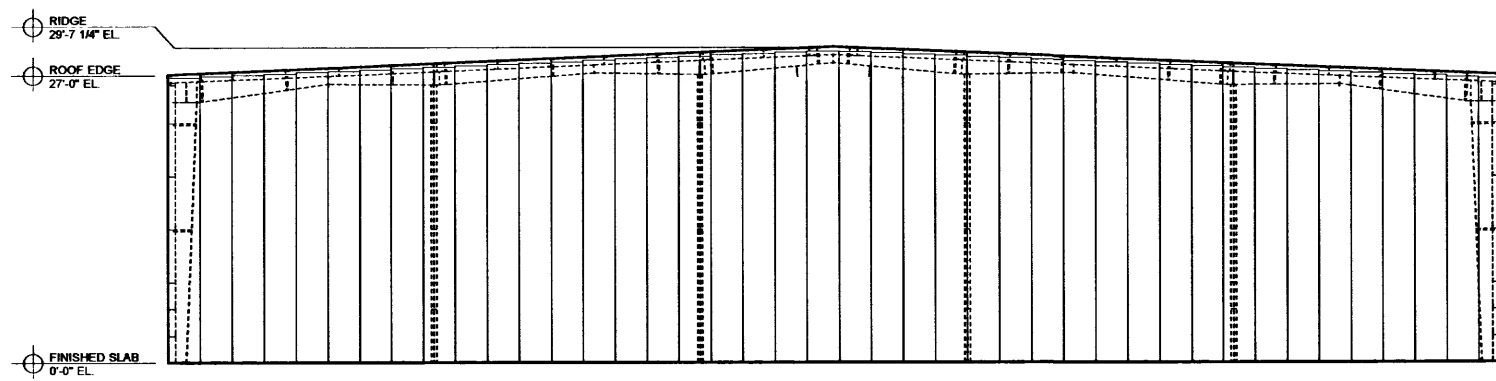
AS-101

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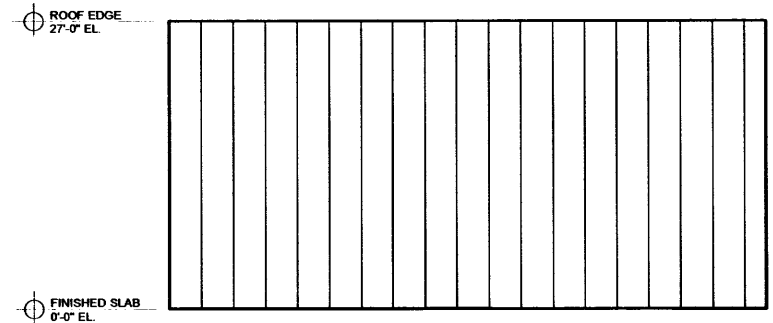
**1 WEST ELEVATION**

SCALE: 1/8" = 1'-0"



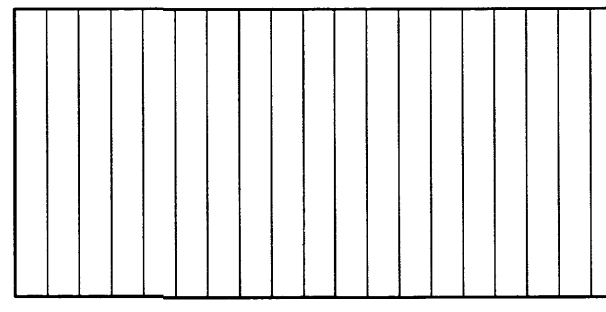
**2 EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**3 NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**4 SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

PREENGINEERED METAL STORAGE SHED  
-STEEL STRUCTURE WITH 26GA GALVANIZED  
ROOF PANELS & 26GA PAINTED METAL WALL  
PANELS  
-ENCLOSED ON 3 SIDES, WEST SIDE OPEN  
7000 SF

SIMS TOWER STUDIO LLC  
400 GOLD AVENUE NW  
ALBUQUERQUE, NEW MEXICO  
TEL: 505.243.4100

G. DONALD DUDLEY AIA  
**ARCHITECT**  
ARCHITECTURE INTERIOR PLANNING  
AN NCARB LICENSED FIRM

BUILDING: **American Gypsum Storage Sheds**

4600 Paseo Del Norte BLVD. NE.  
Albuquerque, NM 87113

PROJECT:

GDDA PROJECT NO:

DATE: 11/20/2015

**A-201**





CITY OF  
Albuquerque

Legal Department  
P.O. Box 2248 • Albuquerque, NM 87103  
(505) 768-4500 • FAX (505) 768-4525

Martin I. Chavez, Mayor

Robert M. White, City Attorney

January 15, 1998

VIA FACSIMILE 768-1529

Mr. Marshall G. Martin, Esq.  
HINKLE, COX, EATON,  
COFFIELD & HENSLEY  
P.O. Box 2043  
Albuquerque, NM 87103-2043

Re: American Gypsum's Building Permit

Dear Mr. Marshall:

In response to your most recent letter of January 8th, it is still the City's position that your client must conform with the life safety codes in doing any construction on the property, whether a major expansion or not.

As far as contract law goes, reading the contract the way you suggest is impossible because that would mean that the City meant to do something illegal, i.e., allow Centex to not comply with the Fire and Building Codes. The City cannot waive compliance with these codes and could not have intended to in the Agreement with Centex because that would make that clause of the contract illegal. This was negotiated with Centex and was the reason the contract requires compliance with all City Ordinances, including the Fire Code.

I am somewhat puzzled by your client's willingness to disregard the City's life safety codes. As you know, the City Fire Code, Building Code and other technical codes are merely straight adoptions of the state and national standards - they are hardly novel to the City of Albuquerque and pose no unusual hardship on your client's project. As a practical matter, your client's seemingly willing disregard of these generic minimum requirements could in fact render the project uninsurable.

I was one of the attorneys who participated in negotiating the original Agreement and my own recollection is, as stated in my last letter, that the waiver in question was only intended to cover existing zoning and land use regulations as part of the annexation of the Centex plant into the City. The Agreement provided that if Centex wanted to expand by

Good for You, Albuquerque!



15057681529: # 2 / 3

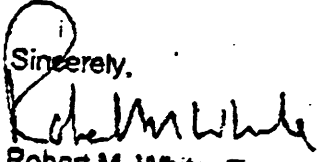
1-16-98 : 9:07AM : CITY OF ALBUQUERQUE-

SENT BY: LEGAL DEPARTMENT

Mr. Marshall Martin  
January 15, 1998  
Page Two

Centex plant into the City. The Agreement provided that if Centex wanted to expand by an amount less than 25% it would not have to provide a site development plan and comply with City Zoning Codes. It was clear that if expansion was done under the zoning that the property owner would have to comply with the Building Codes. The life safety codes in the Albuquerque Ordinances were specifically excluded from the Agreement.

This has been reviewed and discussed with our client and continues to be the position of the City.

Sincerely,  
  
Robert M. White, Esq.  
City Attorney

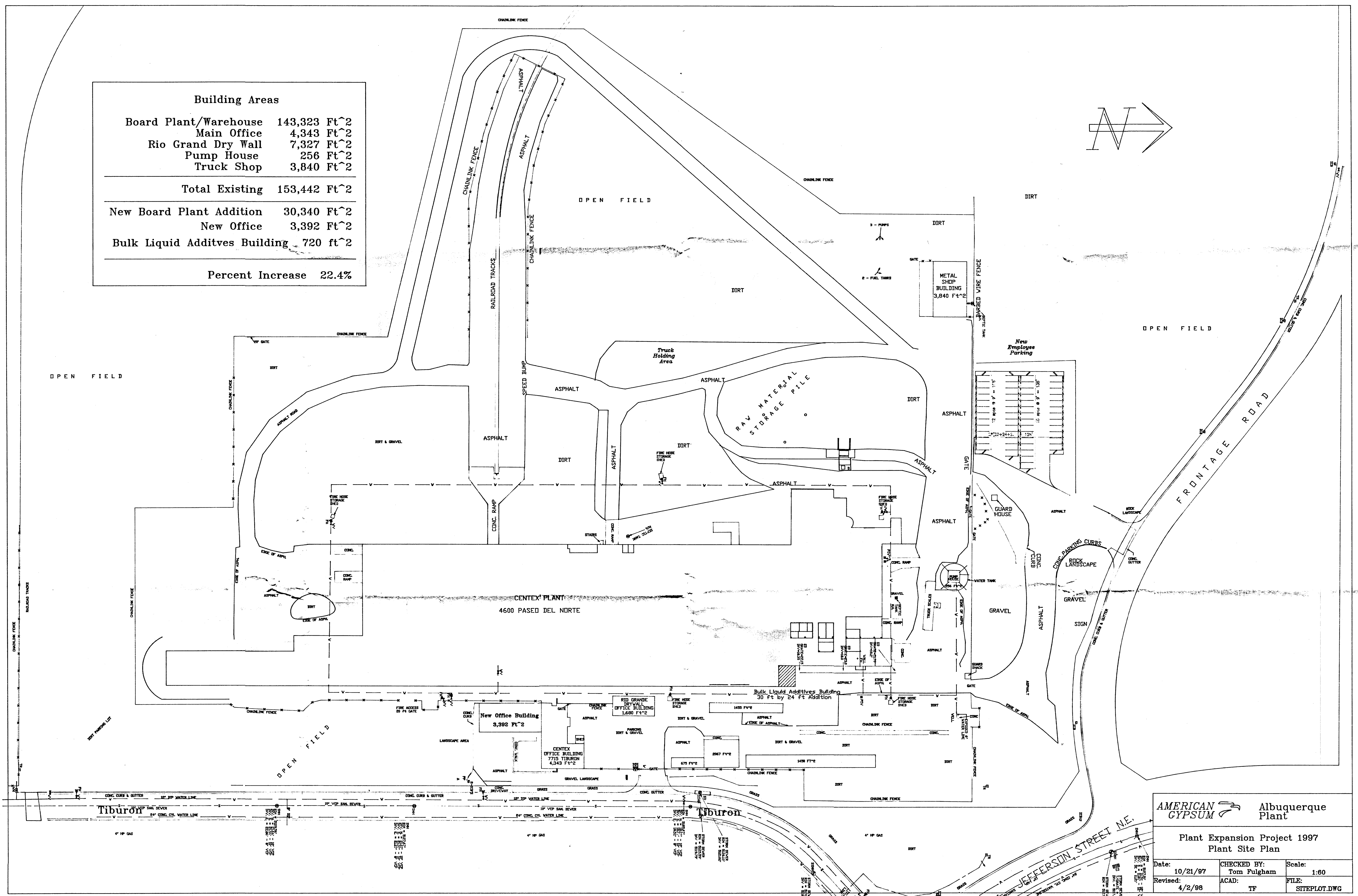
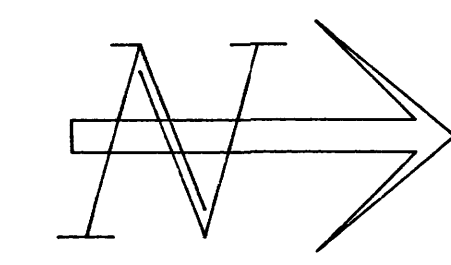
cc: Bob Williams  
Building Section Supervisor

15057681529: # 3/ 8

: 1-16-98 : 9:06AM : CITY OF ALBUQUERQUE-

SENT BY: LEGAL DEPARTMENT

Building Areas	
Board Plant/Warehouse	143,323 Ft <sup>2</sup>
Main Office	4,343 Ft <sup>2</sup>
Rio Grand Dry Wall	7,327 Ft <sup>2</sup>
Pump House	256 Ft <sup>2</sup>
Truck Shop	3,840 Ft <sup>2</sup>
<hr/>	
Total Existing	153,442 Ft <sup>2</sup>
<hr/>	
New Board Plant Addition	30,340 Ft <sup>2</sup>
New Office	3,392 Ft <sup>2</sup>
Bulk Liquid Additives Building	720 ft <sup>2</sup>
<hr/>	
Percent Increase	22.4%



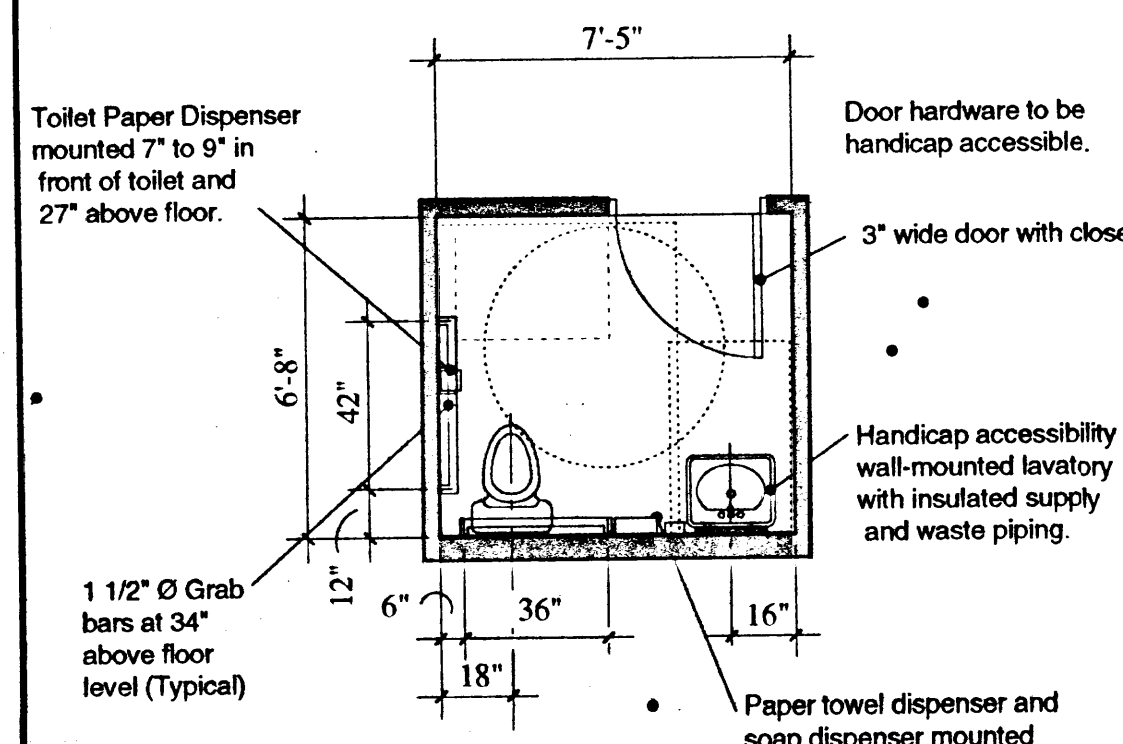
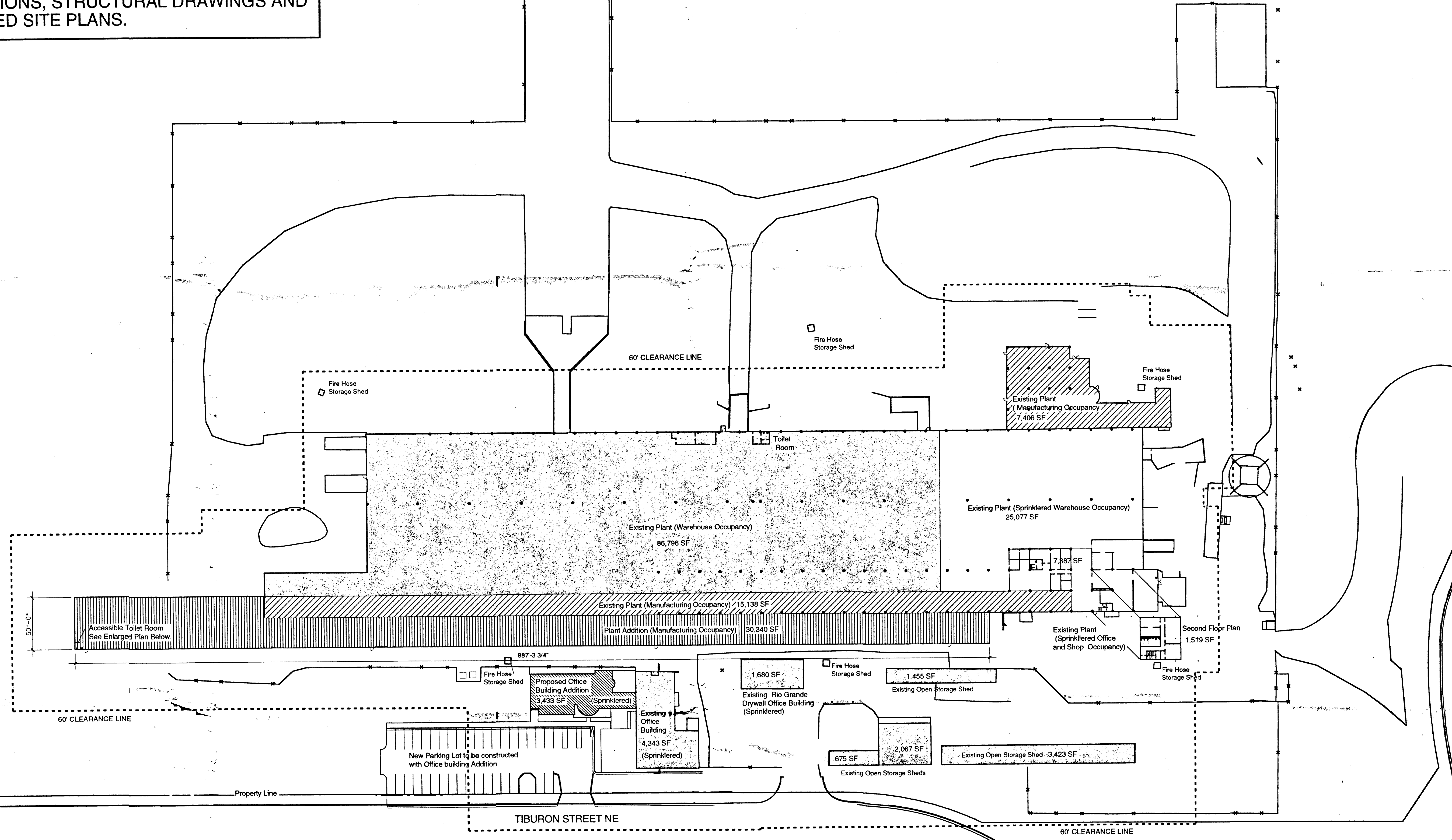
**AMERICAN GYPSUM** Albuquerque Plant

Plant Expansion Project 1997  
Plant Site Plan

Date:	10/21/97	CHECKED BY:	Tom Fulgham	Scale:	1:60
Revised:	4/2/98	ACAD:	TF	FILE:	SITEPLOT.DWG



SEE OTHER SHEETS IN THIS SUBMITTAL SET FOR ENLARGED FLOOR PLANS, ELEVATIONS, STRUCTURAL DRAWINGS AND DETAILED SITE PLANS.



Single Use Handicap Toilet Facility  
Scale: 1/4" = 1'-0"

Design Data		B-2 Occupancy	
<b>B-4 Occupancy</b>		<b>Existing - On Site</b>	
Existing in Plant		Existing Office Building (Sprinklered)	4,343 SF
Manufacturing	22,544 SF	Rio Grande Drywall Office Building (Sprinklered)	1,680
Warehousing (Sprinklered)	86,796 SF	Proposed Addition	3,433 SF
Accessory Office and Shops (Sprinklered)	25,077 SF	Office Building (Sprinklered)	4,343 SF
New Plant Addition	8,906 SF	<b>Total B-2 (Sprinklered)</b>	<b>9,456 SF</b>
Manufacturing	30,340 SF		
Rio Grande Drywall Warehousing (Open-Air Storage Sheds)	7,620 SF		
<b>Subtotals B-4 Occupancy</b>		<b>Total Combined B-2 and B-4 Occupancy</b>	<b>190,739 SF</b>
Sprinklered	33,983 SF		
Unsprinklered	147,300 SF		
<b>Total B-4</b>	<b>181,283 SF</b>		
<b>Construction Type</b>		<b>Type VN - Existing Office Building (Sprinklered)</b>	
Type II N - Existing Plant		Rio Grande Drywall Office Building (Sprinklered)	
Plant Addition			
Office Building Addition (Sprinklered)			
Rio Grande Drywall Storage Sheds			

**Maximum Allowable Square Footage**  
Two or More Buildings of B-4 (Type II construction) and B-2 Occupancy (Sprinklered) on the same property: Unlimited with 60 foot public ways or yards.

**Code Justification:**  
Buildings on the Same Property: Exception to Paragraph 504 (c):  
Two or more buildings on the same property may be considered as portions of one building if the aggregate area of such buildings is within the limits specified in Section 505 for a single building.

When the buildings so considered house different occupancies or are of different types of construction, the area shall be that allowed for the most restrictive occupancy or construction.

**B-4 Occupancy:**  
Unlimited, per paragraph 506 b, when one story, Type II construction and entirely surrounded by public ways or yards not less than 60 feet in width.

**B-2 Occupancy:**  
Unlimited, per paragraph 506 b, if building is only one or two stories, and provided with an approved automatic sprinkler system throughout and is entirely surrounded by public ways or yards not less than 60 feet in width.

Note: Actual Number of Employees in the Entire Plant Building on Any Single Shift Is 15

**Exit Calculations for Plant Addition**  
Square footage: 30,340 SF  
Load Factor (Manufacturing): 200SF/ person  
Maximum allowable Occupants: 30,340/200 = 151 occupants  
Required exist width in inches: 151 x 2 = 30.34"  
Exit width provided: 3-34" doors = 102"  
3 doors required to meet 150' max. travel distance from any point in new addition.



ARCHITECTURAL SITE PLAN AND CODE DATA

AMERICAN GYPSUM (CENTEX) PLANT ADDITION  
4600 PASEO DEL NORTE NE  
ALBUQUERQUE, NEW MEXICO  
JANUARY 1998

MAHLMAN & MILES ARCHITECTS  
414-1/2 CENTRAL S.E. #4  
ALBUQUERQUE, NEW MEXICO 87102/ 505-243-0101

A-1

# **013 INFRASTRUCTURE LIST**

Current DRC  
Project Number: \_\_\_\_\_

**FIGURE 12**

Date Submitted: 9/12/2022

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Date Site Plan Approved: \_\_\_\_\_

Date Preliminary Plat Approved: \_\_\_\_\_

Date Preliminary Plat Expires: \_\_\_\_\_

DRB Project No.: PR-2022-006939

DRB Application No.: \_\_\_\_\_

American Gypsum Site Pan

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
			Addition of paved trail to Headline Blvd.	4600 Paseo Del Norte	Tiburon	El Pueblo	/	/	/
							/	/	/
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Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
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The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private Inspector	P.E.	City Cnst Engineer	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
Approval of Creditable Items:							Approval of Creditable Items:			
Impact Fee Administrator Signature							Date	City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

2 \_\_\_\_\_  
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3 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**AGENT / OWNER** **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

_____ NAME (print)	_____ DRB CHAIR - date	_____ PARKS & RECREATION - date
_____ FIRM	_____ TRANSPORTATION DEVELOPMENT - date	_____ AMAFCA - date
_____ SIGNATURE - date	_____ UTILITY DEVELOPMENT - date	_____ CODE ENFORCEMENT - date
	_____ CITY ENGINEER - date	_____ _____ - date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER