



UPTOWN CONNECT

D.F.T. SITE DEVELOPMENT PLAN SUBMITTAL

11.10.2025

DFT SHEET LIST	
Sheet Number	Sheet Name
SDP 1.1	SITE DEVELOPMENT PLAN
SDP 1.2	ENLARGED SITE PLAN
SDP 1.3	SITE DETAILS
SDP 4.1	BLDG #2 - EXTERIOR ELEVATIONS
SDP 4.2	BLDG #2 - EXTERIOR ELEVATIONS
SDP 4.3	BLDG #3 - EXTERIOR ELEVATIONS
SDP 4.4	BLDG #3 - EXTERIOR ELEVATIONS
SDP 4.5	BLDG #4 - EXTERIOR ELEVATIONS

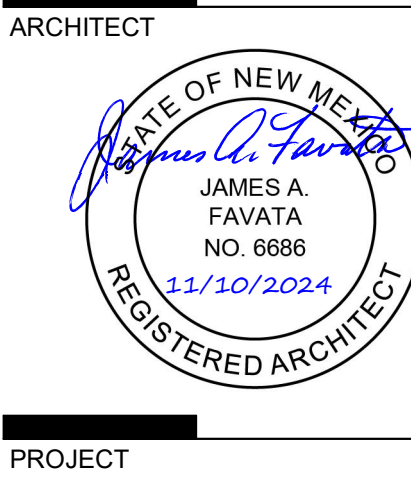
PROJECT NUMBER: _____

Application Number: _____

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date



UPTOWN CONNECT
2121 INDIANA ST NE & 6501 INDIAN SCHOOL RD NE
ALBUQUERQUE NM 87110

OWNER AND OWNER'S CONSULTANTS

OWNER

PALINDROME COMMUNITIES
412 NW 5TH AVE, SUITE 200
PORTLAND, OR 97209
(480) 687-8966

CIVIL ENGINEER

ISAACSON & ARFMAN, INC.
128 MONROE STREET NE
ALBUQUERQUE, NM 87108
(505) 268-8828

MECHANICAL ENGINEER

TESTUDO ENGINEERING
7007 WYOMING BLVD NE STE E1
ALBUQUERQUE, NM 87109
(505) 554-1282

ELECTRICAL ENGINEER

CMTA
1331 TYLER ST NE, SUITE 201
MINNEAPOLIS, MN 55413
(612) 249-5600

PLUMBING ENGINEER

PLUMBING SUB-CONTRACTOR
RODGERS PLUMBING &
HEATING CO., INC
5105 WILLIAM ST SE.
ALBUQUERQUE, NM 87105
(505) 243-9703

GENERAL CONTRACTOR

PACIFICAP CONSTRUCTION
615 S. FARMER AVE. SUITE 1003
TEMPE, AZ 85281
(480) 687-8966

MECH. SUB-CONTRACTOR
INSTALLATION SERVICE HEATING
& COOLING (ISHC)
7500 SECOND STREET NW
ALBUQUERQUE, NM 87107
505-792-5103

ELEC. SUB-CONTRACTOR
MAGNUM ELECTRIC, INC.
471 CHRISTIANSON DR. W
WEST FARGO, NC 58078
(701) 551-3240

ARCHITECT & ARCHITECT'S CONSULTANTS

ARCHITECT

DEKKER
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700

LANDSCAPE ARCHITECT

DEKKER
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700

STRUCTURAL ENGINEER

DEKKER
7601 JEFFERSON NE, SUITE 100
ALBUQUERQUE, NM 87109
(505) 761-9700

PARKING CONSULTANT

WGI
8910 PURDUE RD, SUITE 210
INDIANAPOLIS, IN 46268
(317) 735-3349

POOL CONSULTANT

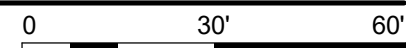
AQUATICS ENGINEER CONSULTANTS
PO BOX 10836
FARGO, ND 58106
(710) 730-6370

DATE: 11/10/2025

PROJECT NO: 20-0010

ISSUE PURPOSE

DFT SITE DEVELOPMENT PLAN



PROJECT DATA

LEGAL DESCRIPTION:
TR E-2A1 PLAT OF TRS E-2A1 & E-2A2JEANNEDALE ADDN CONT 1.4507 AC ML AND TR E-2A2 PLAT OF TRS E-2A1 & E-2A2JEANNEDALE ADDN CONT 1.4802 AC ML

SITE AREA:
2.93 ACRES

ZONE ATLAS PAGE:
H-18-Z

ZONING:
MIXED USE - HIGH INTENSITY ZONE DISTRICT (MX-H)

LAND USE:
MIXED USE: MULTIFAMILY RESIDENTIAL, RETAIL, OFFICE, RESTAURANT, PARKING, AND TRANSIT

ABC COMPREHENSIVE PLAN DESIGNATIONS:
UPTOWN URBAN CENTER (UC), PREMIUM TRANSIT STATION AREA (PT), MAJOR TRANSIT CORRIDOR AREA (MT)

BUILDING SETBACKS:
FRONT: 0' MIN / 15' MAX
SIDE: 0' MIN / N.A. MAX
REAR: 0' MIN / 15' MAX
REAR: 0' MIN / N.A. MAX

BUILDING HEIGHT:
MAX ALLOWED: 75'-0" PER I.D.O. TABLE 2-4-7 UC-MS-PT + 24' BLDG HEIGHT BONUS FOR STRUCTURED PARKING = 99'-0" MAX ALLOWED HEIGHT
MAX PROVIDED: 80'-0"

BUILDING OCCUPANCY:**NORTH AREA**

LEVEL B1 (BLDG 1) = GROUP S-2
LEVEL 1 (BLDG 1) = GROUP S-2 & B
LEVELS 2-6 (BLDG 2) = GROUP R-2

SOUTH AREA

LEVEL B1 (BLDG 1) = GROUP S-2
LEVEL 1 (BLDG 1) = GROUP A-2, B
LEVEL 2 (BLDG 3) = GROUP A-3, R-2
LEVELS 3-5 (BLDG 3) = GROUP R-2

BLDG 4 (DOG PARK)

LEVEL 1 = GROUP B

CONSTRUCTION TYPE: (SECTION 602.2)

BUILDING 1: LOWER LEVEL AND FIRST FLOOR:
BUILDING 2: 2ND THROUGH 6TH FLOORS:
BUILDING 3: 2ND THROUGH 5TH FLOORS:
BUILDING 4: 1ST LEVEL

TYPE 1A**TYPE VA****TYPE VB****BUILDING AREAS:****(NORTH AREA)**

LEVEL B1 = 77,390 SF

LEVEL 1 = 13,851 SF

LEVEL 2 = 39,687 SF

LEVEL 3 = 39,687 SF

LEVEL 4 = 39,600 SF

LEVEL 5 = 39,600 SF

LEVEL 6 = 39,600 SF

TOTAL = 289,415 SF

(SOUTH AREA)

LEVEL 1 = 7,969 SF

LEVEL 2 = 4,527 SF

LEVEL 3 = 4,369 SF

LEVEL 4 = 4,369 SF

LEVEL 5 = 4,369 SF

TOTAL = 25,603 SF

BLDG 4 (DOG PARK)

LEVEL 1 = 820 SF

SPRINKLERED:

YES, NFPA 13

FIRE FLOW:

2730 GPM REQUIRED & ACHIEVED

HYDRANTS REQUIRED:

3 HYDRANTS REQUIRED, 5 EXISTING AVAILABLE, 2 NEW PROPOSED W/ PROJECT

SOLID WASTE NARRATIVE:

TRASH SHALL BE MANAGED ON SITE WITH AN INTERNAL MINI-MAC COMPACTOR AND TRASH CHUTE SERVING THE RESIDENTS IN THE NORTH TOWER. THE INTERNAL COMPACTOR SHALL BE SERVED WITH A TOTAL OF 16 ROLLING 2-YARD CARTS. AT THE SOUTH TOWER, VALET TRASH REMOVAL WILL BE PROVIDED TO RESIDENTS, WITH BUILDING MAINTENANCE STAFF DEPOSITING COLLECTED TRASH AT A GROUND-LEVEL TRASH ROOM SERVED BY 8 ROLLING 2-YARD CARTS. TRASH WILL BE WHEELED OUT TO THE COLLECTION AREA ALONG INDIANA STREET BY SOLID WASTE PERSONNEL AND BUILDING MAINTENANCE STAFF ON SERVICE DAYS.

AT THE NORTH BUILDING, RECYCLING SHALL BE MANAGED ON EACH LEVEL BY TWO 50 GALLON ROLLING RECYCLING BINS (12 TOTAL ON SITE), COLLECTED BY BUILDING MANAGEMENT AND PLACED AT THE STREET COLLECTION ZONE ON COLLECTION DAYS. AT THE SOUTH TOWER RECYCLING TO BE COLLECTED IN RECYCLABLES LOCATED THROUGHOUT THE PUBLIC AREAS, AND VIA VALET COLLECTION AT THE RESIDENTIAL UNITS.

UNIT DATA

UNIT TYPE	DESCRIPTION	GSF	#UNITS	TOTAL
S1	STUDIO	432	69	29,808
S2	STUDIO	513	35	17,955
S3	not used			
S4	STUDIO	485	16	7,760
A1	1-BEDROOM	617	15	9,255
A2	1-BEDROOM	793	40	31,720
A3	2-BEDROOM	497	6	2,982
B1	2-BEDROOM	810	38	30,780
C1	3-BEDROOM	1,057	20	21,140
TOTAL: 239*				151,400

PARKING CALCULATIONS

TABLE 5-5-1 UC-MS-PT**REQUIRED PARKING SPACES:**

MULTIFAMILY: 1 SPACE / 1,000 SF: 239 X 1 = 239.0 SPACES
CO-WORK: 3 SPACES / 1,000 SF: 7,573 X 3 = 20.2 SPACES
RETAIL: 3 SPACES / 1,000 SF: 2,567 X 3 = 5.4 SPACES
AMENITY SPACE: 3 SPACES / 1,000 SF: 10,333 X 3 = 17.6 SPACES
RESTAURANT & TAP ROOM: 5.6 SPACES / 1,000 SF: 2,679 X 5.6 = 29.0 SPACES
TOTAL REQUIRED: 311.2 SPACES

PARKING REDUCTIONS & CREDITS:
30% PROXIMITY TO TRANSIT: 311.2 X .30 = 93.4 SPACES
5% TRANSIT SHELTER: 311.2 X .05 = 15.6 SPACES
MULTI-USE MULTIPLIER REDUCTION: (239 + 29) - ((239 + 29) / 1.1) = 24.0 SPACES
2 PER EV CHARGER CREDIT = +1 EXTRA SPACE PER EV SPACE: 12.0 SPACES
TOTAL REDUCTION = 145 SPACES

TOTAL REQUIRED PARKING: 166 SPACES
(24 ROD ACCESSIBLE SPACES - 1 PER AFFORDABLE ACCESSIBLE DWELLING UNIT)

TOTAL PROVIDED PARKING: 211 SPACES
(12 EV SPACES, 42 EV CAPABLE SPACES PROVIDED) (GARAGE: 183) (SURFACE: 28)

MOTORCYCLE PARKING CALCULATION:

REQUIRED SPACES: 5 SPACES
PROVIDED SPACES (INCLUDED IN THE 218 PROVIDED ABV.): 5 SPACES

BICYCLE PARKING (PER HOUSING NEW MEXICO/MFA 2025 DESIGN STANDARDS)

REQUIRED SPACES: 0.5 / UNIT (239 X 0.5) = 120 BICYCLE PARKING SPACES
PROVIDED SPACES: 120 TOTAL SPACES PROVIDED (24 SECURED SPACES REQ'D & PROVIDED)

BANK PARKING CALCULATIONS-
FOR REFERENCE ONLY**TABLE 5-5-1 UC-MS-PT****REQUIRED PARKING SPACES:**

BANK: 2 SPACES / 1,000 SF: 9,303 X 2 = 18 SPACES

PARKING REDUCTIONS & CREDITS:
30% PROXIMITY TO TRANSIT: 18 X .30 = -6 SPACES
TOTAL REQUIRED PARKING: 12 SPACES

TOTAL PROVIDED PARKING: 23 SPACES

MOTORCYCLE PARKING CALCULATION TABLE 5-5-4:

REQUIRED SPACES: 1 SPACES
PROVIDED SPACES: 1 SPACES

BICYCLE PARKING TABLE 5-5-5

REQUIRED SPACES: 3 SPACES
PROVIDED SPACES: 3 TOTAL SPACES PROVIDED

GENERAL SHEET NOTES

- SITE PLAN DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE TO FACE OF CURB, OR WALL, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- SITE PLAN SHALL COMPLY WITH LOCAL, FEDERAL AND ACCESSIBILITY STANDARDS & GUIDELINES, INCLUDING THE 2021 INTERNATIONAL FIRE CODE (IFC).
- VERIFY EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
- UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY. COORDINATE LOCATION AND INSTALLATION. SEE CIVIL.
- AN ACCESSIBLE ROUTE, IN COMPLIANCE WITH ACCESSIBILITY STANDARDS OF THE PROJECT, CONNECTS FROM THE BUILDING TO ACCESSIBLE PARKING SPACES AND TO ALL SITE AMENITIES AS REQUIRED.
- ALL LIGHT FIXTURES AND LIGHTING DESIGN SHALL COMPLY WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO); SECTION 14-16-5-8 OUTDOOR LIGHTING.
- REFER TO CIVIL FOR PAVING PLAN AND PAVING DETAILS.
- STREETS, PARKING SPACES, AND ASSOCIATED DRIVES TO BE ASPHALT UNLESS NOTED OTHERWISE. BUS LANES TO BE CONCRETE.
- SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
- PROVIDE POURABLE SEALANT AT ALL EXPANSION JOINTS IN CONCRETE SIDEWALK, WHERE EXPANSION JOINT MATERIAL IS PROVIDED BETWEEN WALLS AND SIDEWALKS AND BETWEEN ASPHALT AND CONCRETE JOINTS.
- PROVIDE AIR ENTRAINED CONCRETE WITH MEDIUM BROOM FINISH AT ALL SITE CONCRETE. SLOPE ALL CONCRETE SIDEWALKS TO DRAIN, TYP. RE: CIVIL FOR SPOT ELEVATIONS, AND GRADING AND DRAINAGE REQUIREMENTS.
- EXISTING LANDSCAPE AREAS ADJACENT TO THE PROJECT SITE ARE TO BE PROTECTED DURING DEMOLITION AND CONSTRUCTION.
- LANDSCAPE AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS AND PLANTING BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE PERMITTED IN THE CLEAR SIGHT TRIANGLE.
- ALL RAMP, SIDEWALKS, CURBS AND GUTTERS IN THE R.O.W. SHALL BE INSTALLED PER CITY OF ALBUQUERQUE STANDARD DRAWINGS.
- WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH APPROVED PLANS PER CITY OF ALBUQUERQUE.
- ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

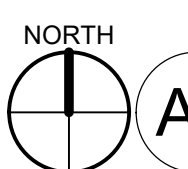
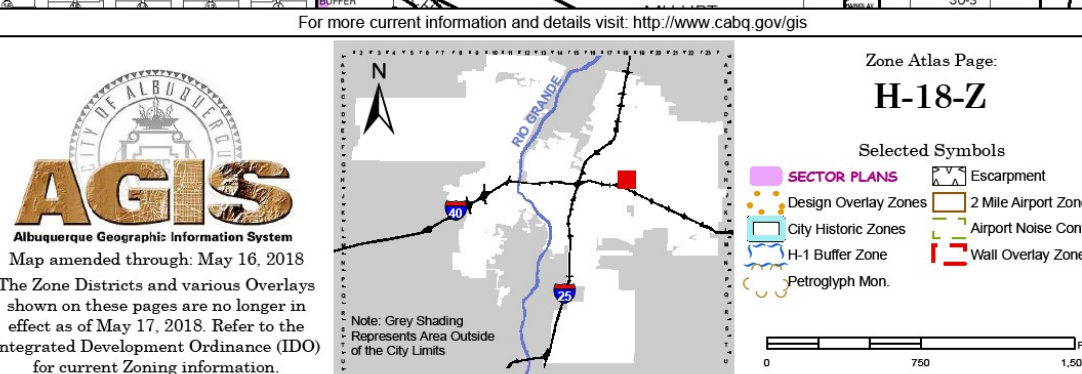
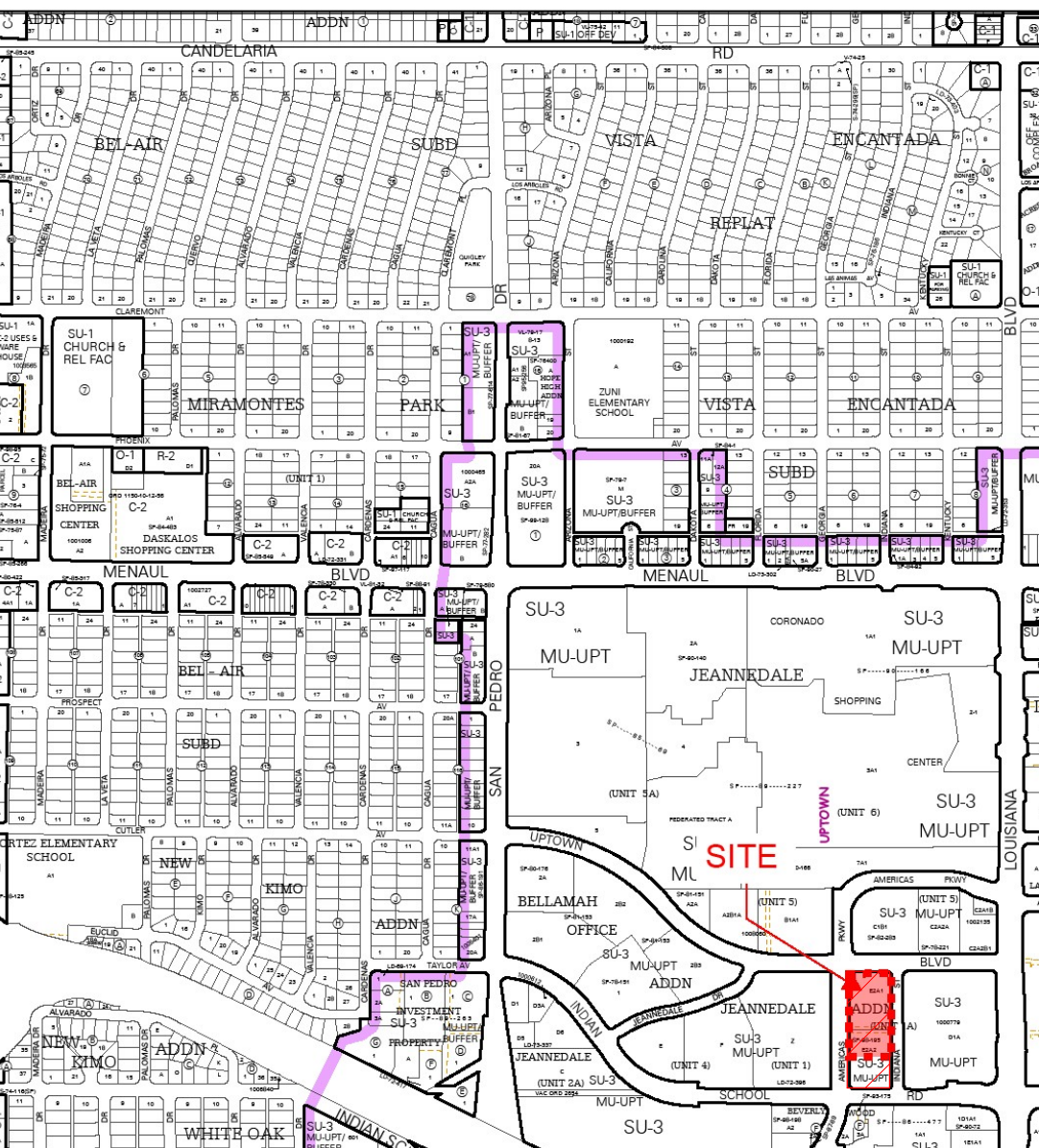
SHEET KEYNOTES

- | | | | |
|----|-----------------------------------|----|---|
| 10 | RAISED PLANTING AREA | 31 | 6" CONCRETE CURB |
| 15 | ACCESSIBLE ROUTE | 32 | ACCESSIBLE PEDESTRIAN RAMP |
| 17 | CLEAR SITE TRIANGLE | 37 | GAS METER |
| 20 | NEW WATER METER BOX | 59 | ONE-WAY SIGNAGE |
| 21 | ELECTRIC METERS | 60 | DO NOT ENTER SIGNAGE |
| 24 | BIKE RACKS | 62 | EXISTING PROPERTY LINE TO BE RELOCATED, PER DHO PLAT APPLICATION PLT-2025-00059 |
| 25 | WATER FEATURE - SPLASH PAD | 67 | REFUSE ROOM |
| 26 | LINE OF ROOF ABOVE | 80 | FREE-STANDING STEEL OVERHEAD SHADE STRUCTURE |
| 29 | GATE | 81 | LOCATION FOR POSSIBLE 2-STOP ELEVATOR |
| 30 | NO PARKING - FIRE LANE CURB PAINT | 82 | PLACE-HOLDER BUS STOP, DESIGN PENDING COORDINATION WITH ABO RIDE |

SITE LEGEND

- LANDSCAPED AREA
- EXTRA HEAVY DUTY CONCRETE (RATED FOR UP TO 75,000 LBS)
- HEAVY DUTY CONCRETE (<75,000 LBS)
- COLORLED, STAMPED CONCRETE
- NEW EASEMENTS
- PROPERTY LINE
- SETBACK (SEE DIMENSION FOR ADDITIONAL DETAILS)
- LINE OF BUILDING ABOVE
- ACCESSIBLE ROUTE
- FIRE LANE STRIPING MARKING FIRE ACCESS LANE
- REFUSE TRUCK ROUTE
- EXISTING FIRE HYDRANT LOCATION
- FIRE HYDRANT LOCATION, RE: CIVIL
- FIRE DEPARTMENT CONNECTION (FDC) WALL MOUNTED
- TRANSFORMER, RE: ELECTRICAL
- PROPOSED 20' LIGHT POLE
- BIKE RACKS

ZONE ATLAS



SITE PLAN - ENLARGED

1" = 20'-0"



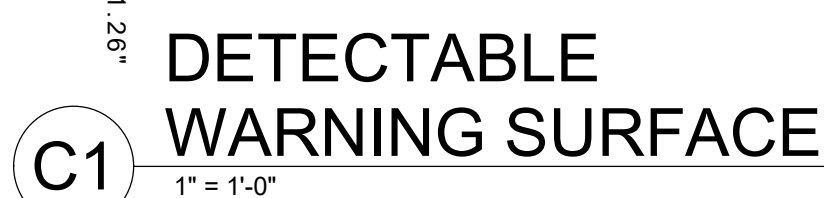
E2 FIRE LANE SIGNAGE



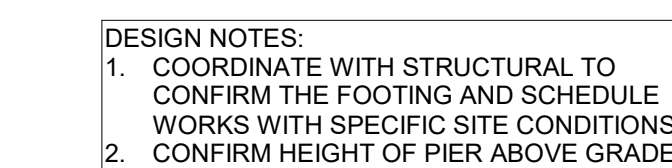
E4 DIRECTIONAL PAVEMENT
ARROW



D2 CURB AND GUTTER
1 1/2" = 1'-0"



C2 ACCESSIBLE CURB RAMP
1/4" = 1'-0"



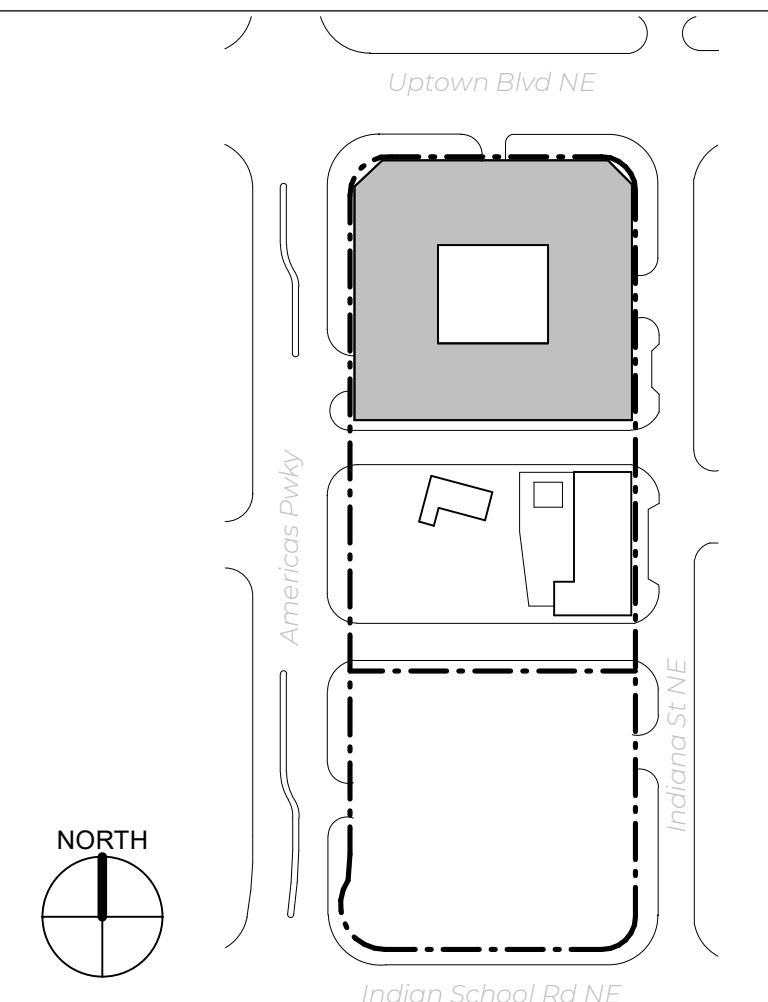
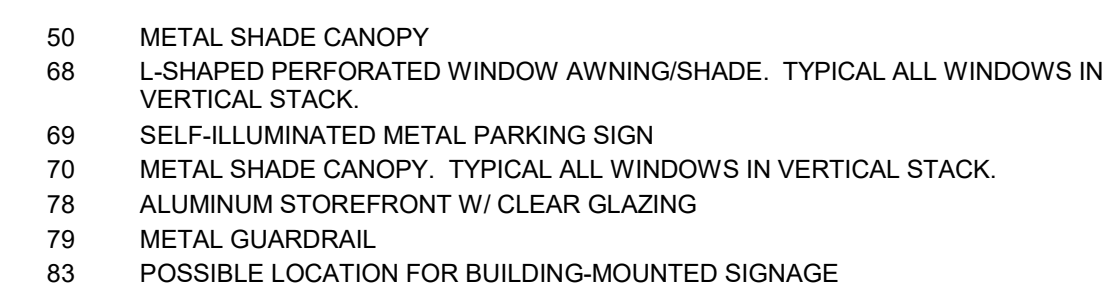
F'c = 4000 PSI CONCRETE MINIMUM



A3 SITE FURNITURE MOUNT
1 1/2" = 1'-0"

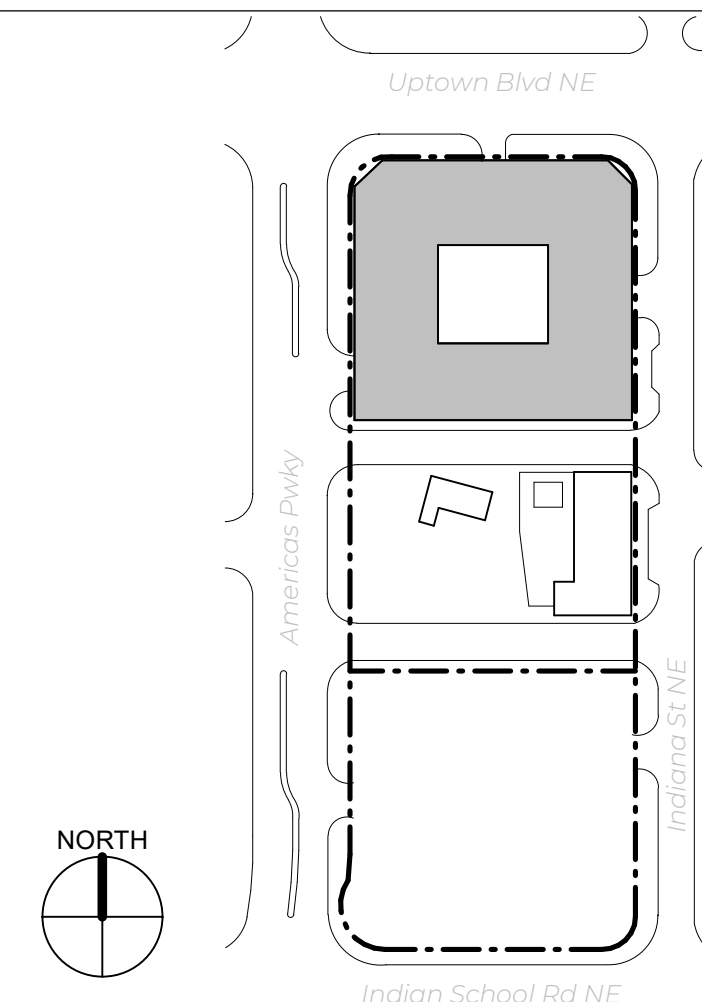
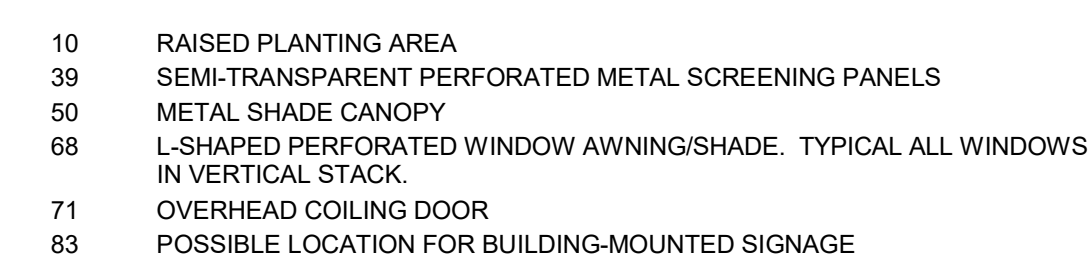


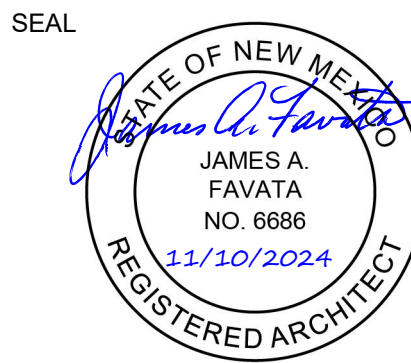
SDP 1.3



A horizontal scale bar with tick marks at 0, 4', 8', and 16 feet. The segments between 0 and 4', 4' and 8', and 8' and 16' are of equal length.

SDP 4.2



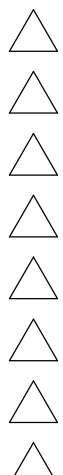


PROJECT

UPTOWN CONNECT
2121 INDIANA ST NE & 6501 INDIAN SCHOOL RD NE
ALBUQUERQUE NM 87110

DFT SITE
DEVELOPMENT
PLAN

REVISIONS



DRAWN BY Dekker
REVIEWED BY Dekker
DATE 11/10/2025
PROJECT NO 20-0010

DRAWING NAME

BLDG #3 -
EXTERIOR
ELEVATIONS

SHEET NO

SDP 4.3

GENERAL SHEET NOTES

- A. BUILDINGS SHALL HAVE HIGHLY VISIBLE SIGNAGE WITH CONTRASTING COLORS, LIT FROM DUSK UNTIL DAWN.
B. ROOF GUTTERS AND DOWNSPOUTS DIRECT DRAINAGE AWAY FROM BUILDING TO USE IN LANDSCAPE AREAS.
C. WATER IS DIVERTED AWAY FROM BUILDING WALLS AND FOUNDATIONS BY SLOPING THE EXTERIOR GRADE AWAY FROM THE BUILDING. RE: CIVIL PLANS
D. REFER TO FLOOR PLANS FOR WINDOW AND DOOR TYPES AND LOCATIONS.
E. ALL CHANGE IN COLOR PLANE SHALL HAPPEN AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
F. FINISH FLOOR INDICATED AS 100'-0". RE: CIVIL FOR FINISH GRADES. ALL VERTICAL DIMENSIONS ARE FROM 100'-0".
G. ALL STEEL ELEMENTS ARE TO BE PRIMED AND PAINTED, UNLESS NOTED OTHERWISE.
H. PAINT WALL AND ROOF MOUNTED EQUIPMENT ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
I. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
J. LOCATE HORIZONTAL CONTROL JOINTS AT FLOOR DECK AT LEVELS 2, 3, 4, 5, & 6.
K. LOCATE VERTICAL CONTROL JOINTS AT WINDOW AND DOOR EDGES.
L. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

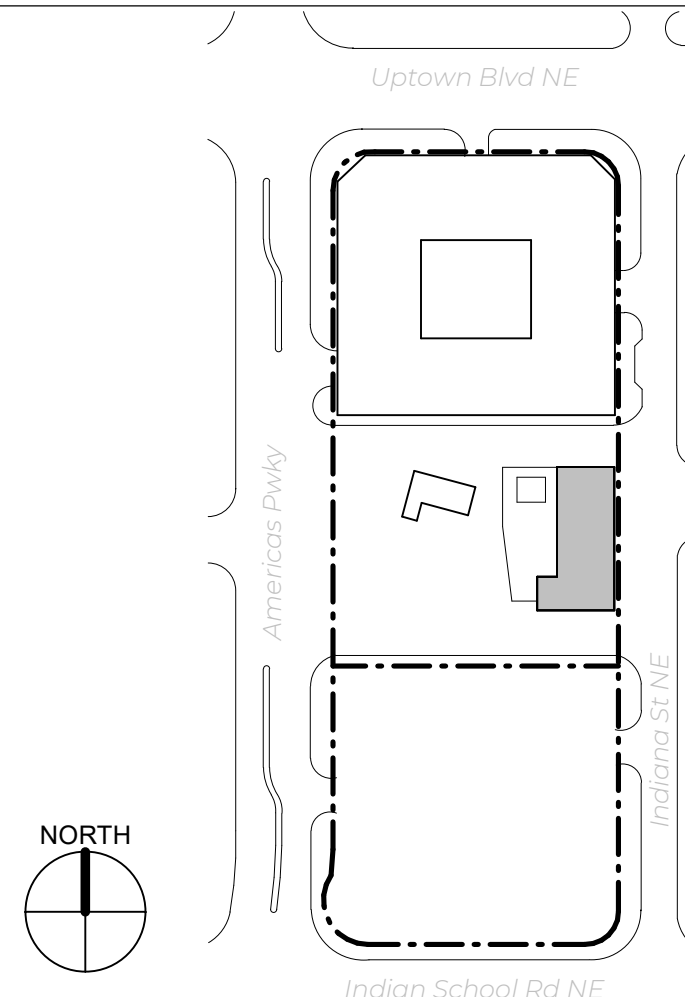
SHEET KEYNOTES

- 21 ELECTRIC METERS
28 ABQ RIDE BUS STOP
37 GAS METER
72 WOOD-LOOK 1.5" X 3.5" COMPOSITE BATTENS
73 GLASS GUARDRAIL
83 POSSIBLE LOCATION FOR BUILDING-MOUNTED SIGNAGE

BUILDING ELEVATION LEGEND

3-COAT PORTLAND CEMENT STUCCO - COLOR: S1	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC3
3-COAT PORTLAND CEMENT STUCCO - COLOR: S2	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC4
3-COAT PORTLAND CEMENT STUCCO - COLOR: S3	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC5
3-COAT PORTLAND CEMENT STUCCO - COLOR: S4	BOX CORRUGATED METAL PANEL - COLOR: MP1
3-COAT PORTLAND CEMENT STUCCO - COLOR: S5	COMPOSITE METAL PANEL - COLOR: MP2
BRICK VENEER - COLOR: B1	COMPOSITE METAL PANEL - COLOR: MP3
OPEN JOINT FIBER CEMENT BOARD - COLOR: FC1	COMPOSITE METAL PANEL - COLOR: MP4
OPEN JOINT FIBER CEMENT BOARD - COLOR: FC2	COMPOSITE METAL PANEL - COLOR: MP5

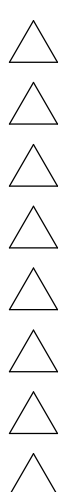
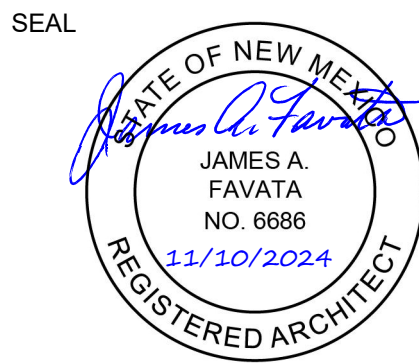
KEY PLAN



C3 PLAZA BUILDING - EAST ELEVATION
1/8" = 1'-0"



A3 PLAZA BUILDING - SOUTH ELEVATION
1/8" = 1'-0"



GENERAL SHEET NOTES

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B. ROOF GUTTERS AND DOWNSPOUTS DIRECT DRAINAGE AWAY FROM BUILDING TO USE IN LANDSCAPE AREAS.
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I. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
J. LOCATE HORIZONTAL CONTROL JOINTS AT FLOOR DECK AT LEVELS 2, 3, 4, 5, & 6;
K. LOCATE VERTICAL CONTROL JOINTS AT WINDOW AND DOOR EDGES.
L. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

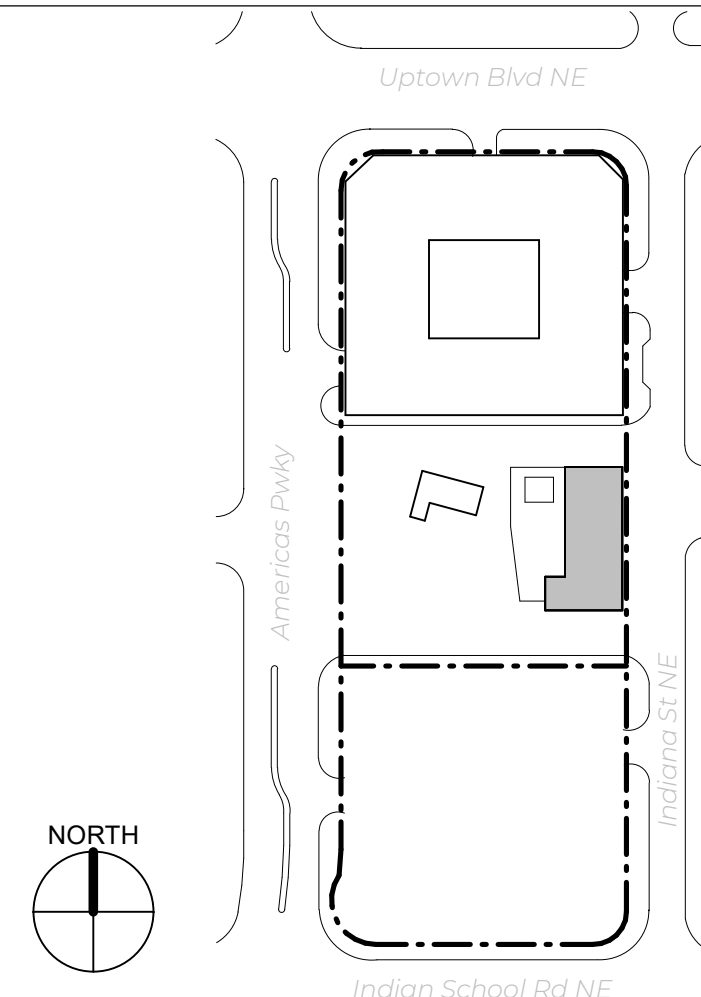
SHEET KEYNOTES

- 12 ABQ RIDE DIGITAL DISPLAY BOARD
28 ABQ RIDE BUS STOP
50 METAL SHADE CANOPY
71 OVERHEAD COILING DOOR
72 WOOD-LOOK 1.5" X 3.5" COMPOSITE BATTENS
73 GLASS GUARDRAIL
74 18" DEEP PERFORATED METAL SHADE FINIS
83 POSSIBLE LOCATION FOR BUILDING-MOUNTED SIGNAGE

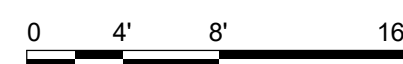
BUILDING ELEVATION LEGEND

3-COAT PORTLAND CEMENT STUCCO - COLOR: S1	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC3
3-COAT PORTLAND CEMENT STUCCO - COLOR: S2	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC4
3-COAT PORTLAND CEMENT STUCCO - COLOR: S3	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC5
3-COAT PORTLAND CEMENT STUCCO - COLOR: S4	BOX CORRUGATED METAL PANEL - COLOR: MP1
3-COAT PORTLAND CEMENT STUCCO - COLOR: S5	COMPOSITE METAL PANEL - COLOR: MP2
BRICK VENEER - COLOR: B1	COMPOSITE METAL PANEL - COLOR: MP3
OPEN JOINT FIBER CEMENT BOARD - COLOR: FC1	COMPOSITE METAL PANEL - COLOR: MP4
OPEN JOINT FIBER CEMENT BOARD - COLOR: FC2	COMPOSITE METAL PANEL - COLOR: MP5

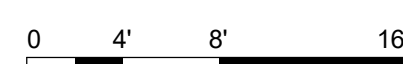
KEY PLAN



C3 PLAZA BUILDING - WEST ELEVATION
1/8" = 1'-0"



A1 PLAZA BUILDING - NORTH ELEVATION
1/8" = 1'-0"



GENERAL SHEET NOTES

- A. BUILDINGS SHALL HAVE HIGHLY VISIBLE SIGNAGE WITH CONTRASTING COLORS, LIT FROM DUSK UNTIL DAWN.
B. ROOF GUTTERS AND DOWNSPOUTS DIRECT DRAINAGE AWAY FROM BUILDING TO USE IN LANDSCAPE AREAS.
C. WATER IS DIVERTED AWAY FROM BUILDING WALLS AND FOUNDATIONS BY SLOPING THE EXTERIOR GRADE AWAY FROM THE BUILDING. RE: CIVIL PLANS
D. REFER TO FLOOR PLANS FOR WINDOW AND DOOR TYPES AND LOCATIONS.
E. ALL CHANGE IN COLOR PLANE SHALL HAPPEN AT INSIDE CORNERS, UNLESS NOTED OTHERWISE.
F. FINISH FLOOR INDICATED AS 100'-0". RE: CIVIL FOR FINISH GRADES. ALL VERTICAL DIMENSIONS ARE FROM 100'-0".
G. ALL STEEL ELEMENTS ARE TO BE PRIMED AND PAINTED, UNLESS NOTED OTHERWISE.
H. PAINT WALL AND ROOF MOUNTED EQUIPMENT ITEMS THAT ARE NOT PRE-FINISHED TO MATCH COLOR OF ADJACENT SURFACE, UNLESS NOTED OTHERWISE.
I. REFER TO REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.
J. LOCATE HORIZONTAL CONTROL JOINTS AT FLOOR DECK AT LEVELS 2, 3, 4, 5, & 6.
K. LOCATE VERTICAL CONTROL JOINTS AT WINDOW AND DOOR EDGES.
L. SEE REFLECTED CEILING PLANS FOR EXTERIOR SOFFIT HEIGHTS.

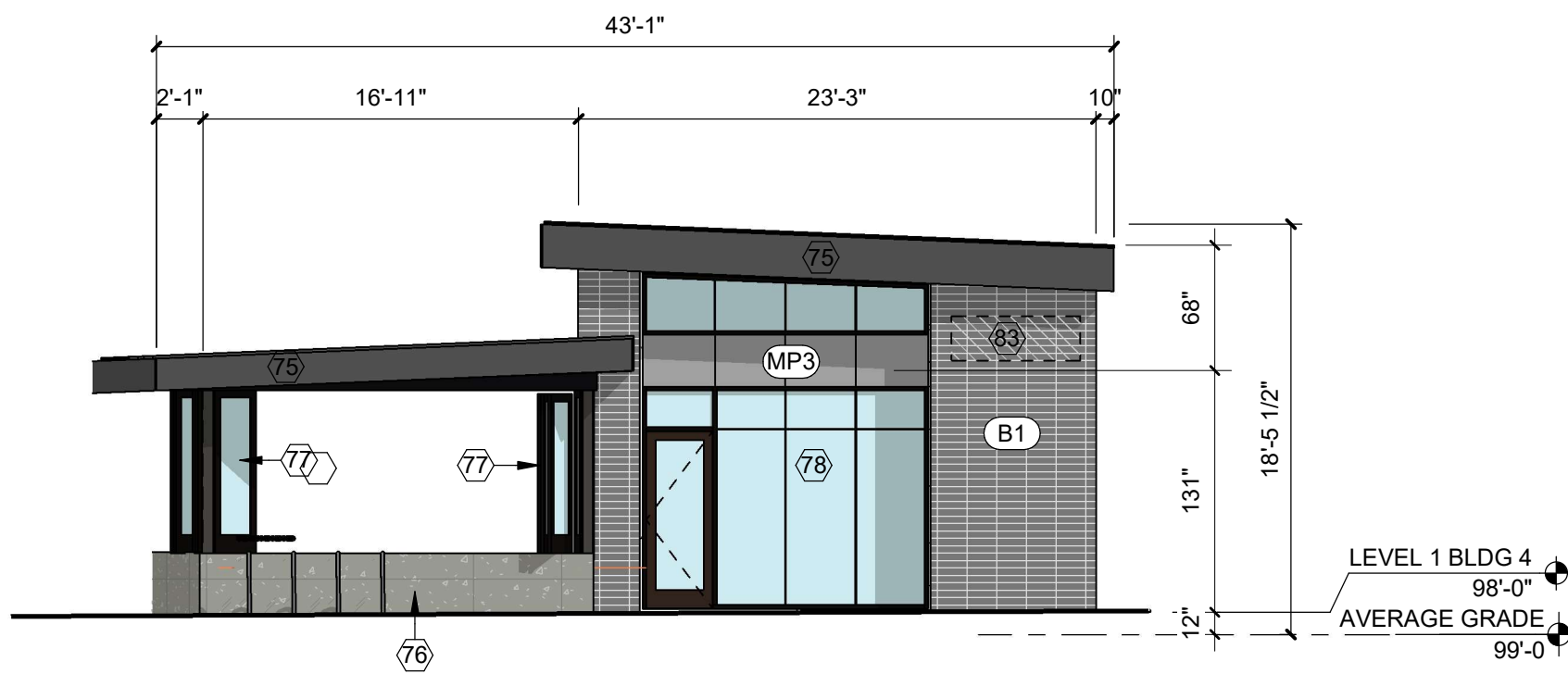
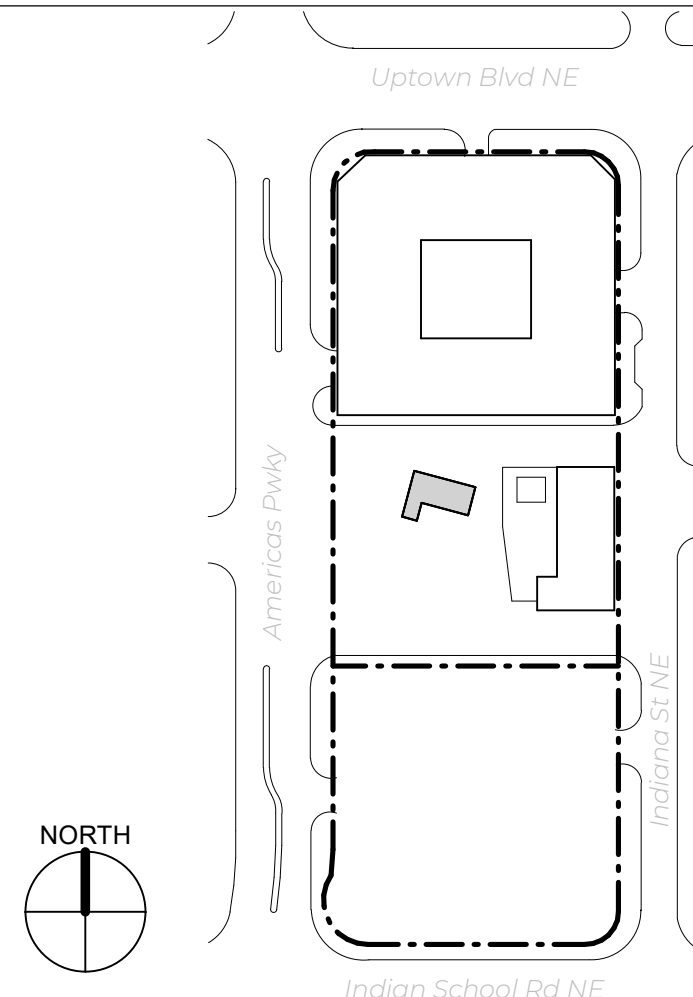
SHEET KEYNOTES

- 12 ABO RIDE DIGITAL DISPLAY BOARD
29 GATE
75 METAL ROOF FASCIA
76 CAST CONCRETE SITE WALL
77 OPERABLE GLAZED WALL SHUTTERS
78 ALUMINUM STOREFRONT W/ CLEAR GLAZING
79 METAL GUARDRAIL
83 POSSIBLE LOCATION FOR BUILDING-MOUNTED SIGNAGE

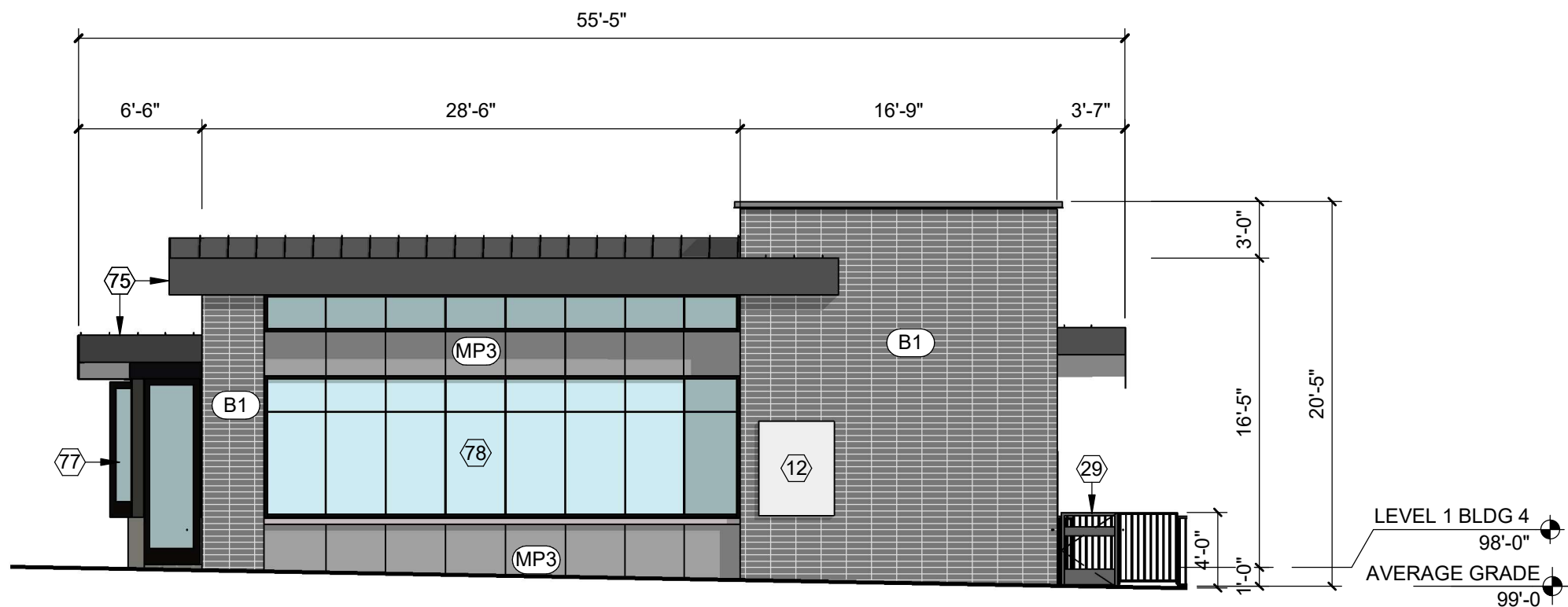
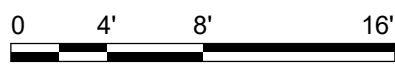
BUILDING ELEVATION LEGEND

	3-COAT PORTLAND CEMENT STUCCO - COLOR: S1		OPEN JOINT FIBER CEMENT BOARD - COLOR: FC3
	3-COAT PORTLAND CEMENT STUCCO - COLOR: S2		OPEN JOINT FIBER CEMENT BOARD - COLOR: FC4
	3-COAT PORTLAND CEMENT STUCCO - COLOR: S3		OPEN JOINT FIBER CEMENT BOARD - COLOR: FC5
	3-COAT PORTLAND CEMENT STUCCO - COLOR: S4		BOX CORRUGATED METAL PANEL - COLOR: MP1
	3-COAT PORTLAND CEMENT STUCCO - COLOR: S5		COMPOSITE METAL PANEL - COLOR: MP2
	BRICK VENEER - COLOR: B1		COMPOSITE METAL PANEL - COLOR: MP3
	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC1		COMPOSITE METAL PANEL - COLOR: MP4
	OPEN JOINT FIBER CEMENT BOARD - COLOR: FC2		COMPOSITE METAL PANEL - COLOR: MP5

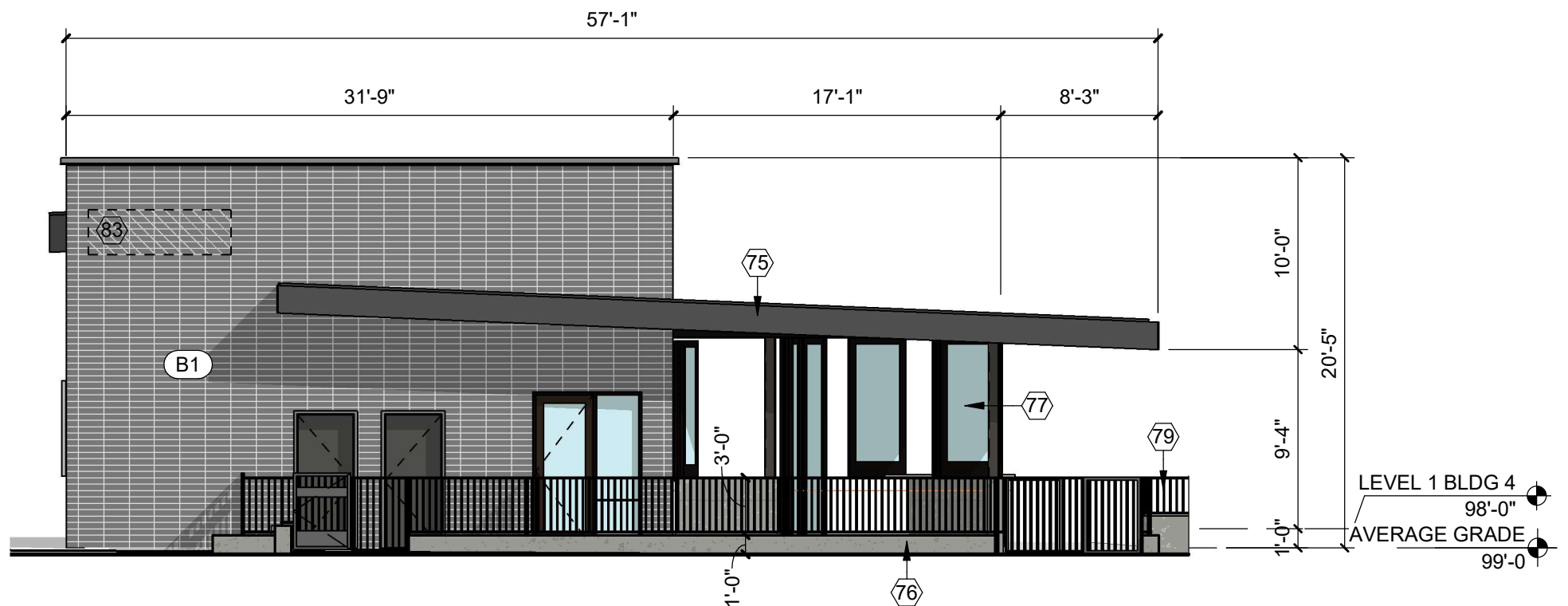
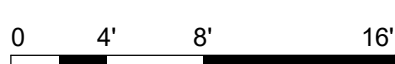
KEY PLAN



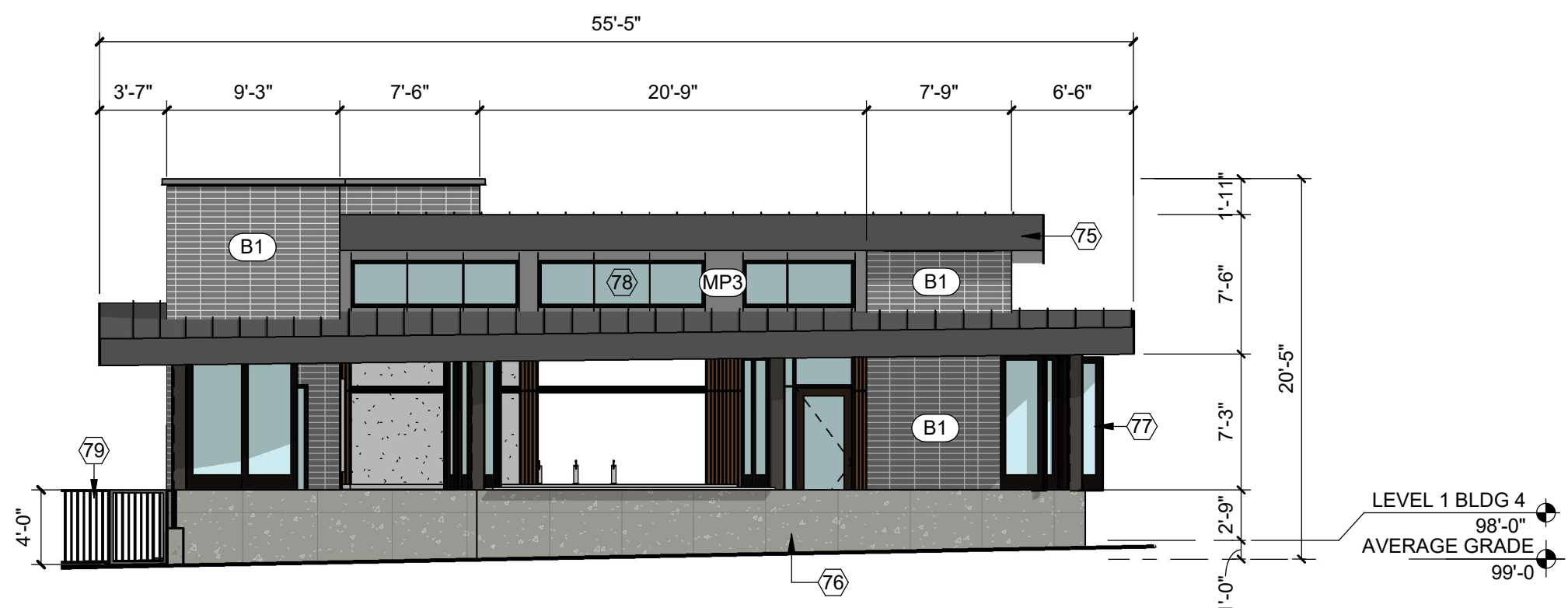
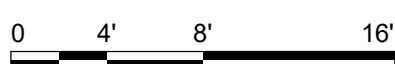
D3 BUILDING 3 - EAST ELEVATION
1/8" = 1'-0"



C3 BUILDING 3 - NORTH ELEVATION
1/8" = 1'-0"



B3 BUILDING 3 - WEST ELEVATION
1/8" = 1'-0"



A3 BUILDING 3 - SOUTH ELEVATION
1/8" = 1'-0"

