



Please check the appropriate box and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

Administrative Decisions	Decisions Requiring a Public Meeting or Hearing	Policy Decisions
<input type="checkbox"/> Archaeological Certificate (Form P3)	<input type="checkbox"/> Site Plan – EPC including any Variances – EPC (Form P1)	<input type="checkbox"/> Adoption or Amendment of Comprehensive Plan or Facility Plan (Form Z)
<input type="checkbox"/> Historic Certificate of Appropriateness – Minor (Form L)	<input type="checkbox"/> Master Development Plan (Form P1)	<input type="checkbox"/> Adoption or Amendment of Historic Designation (Form L)
<input type="checkbox"/> Alternative Signage Plan (Form P3)	<input type="checkbox"/> Historic Certificate of Appropriateness – Major (Form L)	<input type="checkbox"/> Amendment of IDO Text (Form Z)
<input checked="" type="checkbox"/> Minor Amendment to Site Plan (Form P3)	<input type="checkbox"/> Demolition Outside of HPO (Form L)	<input type="checkbox"/> Annexation of Land (Form Z)
<input type="checkbox"/> WTF Approval (Form W1)	<input type="checkbox"/> Historic Design Standards and Guidelines (Form L)	<input type="checkbox"/> Amendment to Zoning Map – EPC (Form Z)
	<input type="checkbox"/> Wireless Telecommunications Facility Waiver (Form W2)	<input type="checkbox"/> Amendment to Zoning Map – Council (Form Z)
		Appeals
		<input type="checkbox"/> Decision by EPC, LC, ZHE or City Staff (Form A)

APPLICATION INFORMATION

Applicant: <u>Chris Jones</u>		Phone: <u>505-836-7706</u>
Address: <u>7500 LA MORADA PL. NW</u>		Email: <u>KHUNTLP@ELC.COM</u>
City: <u>Alb. NM</u>	State: <u>NM</u>	Zip:
Professional Agent (if any): <u>RCL ENTERPRISES INC</u>		Phone: <u>505-269-7979</u>
Address: <u>7500 LA MORADA PL. NW 276 UNSER BLVD</u>		Email: <u>RCL1985@AOL.COM</u>
City: <u>Albuquerque Rio Rancho</u>	State: <u>NM</u>	Zip: <u>87124</u>
Proprietary Interest in Site:	List all owners:	

BRIEF DESCRIPTION OF REQUEST

ADD 2 FABRIC SHADES 24'X34' @ Building 0 #F

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)

Lot or Tract No: <u>9</u>	Block: <u>0000</u>	Unit: <u>1</u>
Subdivision/Addition: <u>LADDER BUSINESS PARK NR-C</u>	MRGCD Map No:	UPC Code: <u>2013046045 042613 SW8</u>
Zone Atlas Page(s): <u>H-10-2</u>	Existing Zoning: <u>SO-1</u>	Proposed Zoning:
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (acres):

LOCATION OF PROPERTY BY STREETS

Site Address/Street: _____ Between: _____ and: _____

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

Signature: [Signature] Date: 2-8-2022

Printed Name: Glenn Benedetto Applicant or Agent

FOR OFFICIAL USE ONLY

Case Numbers	Action	Fees	Case Numbers	Action	Fees

Meeting/Hearing Date: _____ Fee Total: _____

Staff Signature: _____ Date: _____ Project #: _____

FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabq.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS

- Letter of authorization from the property owner if application is submitted by an agent
- Zone Atlas map with the entire site clearly outlined and labeled

ARCHEOLOGICAL CERTIFICATE

- Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a qualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

MINOR AMENDMENT TO SITE PLAN – ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

ACCELERATED EXPIRATION SITE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

ALTERNATIVE SIGNAGE PLAN

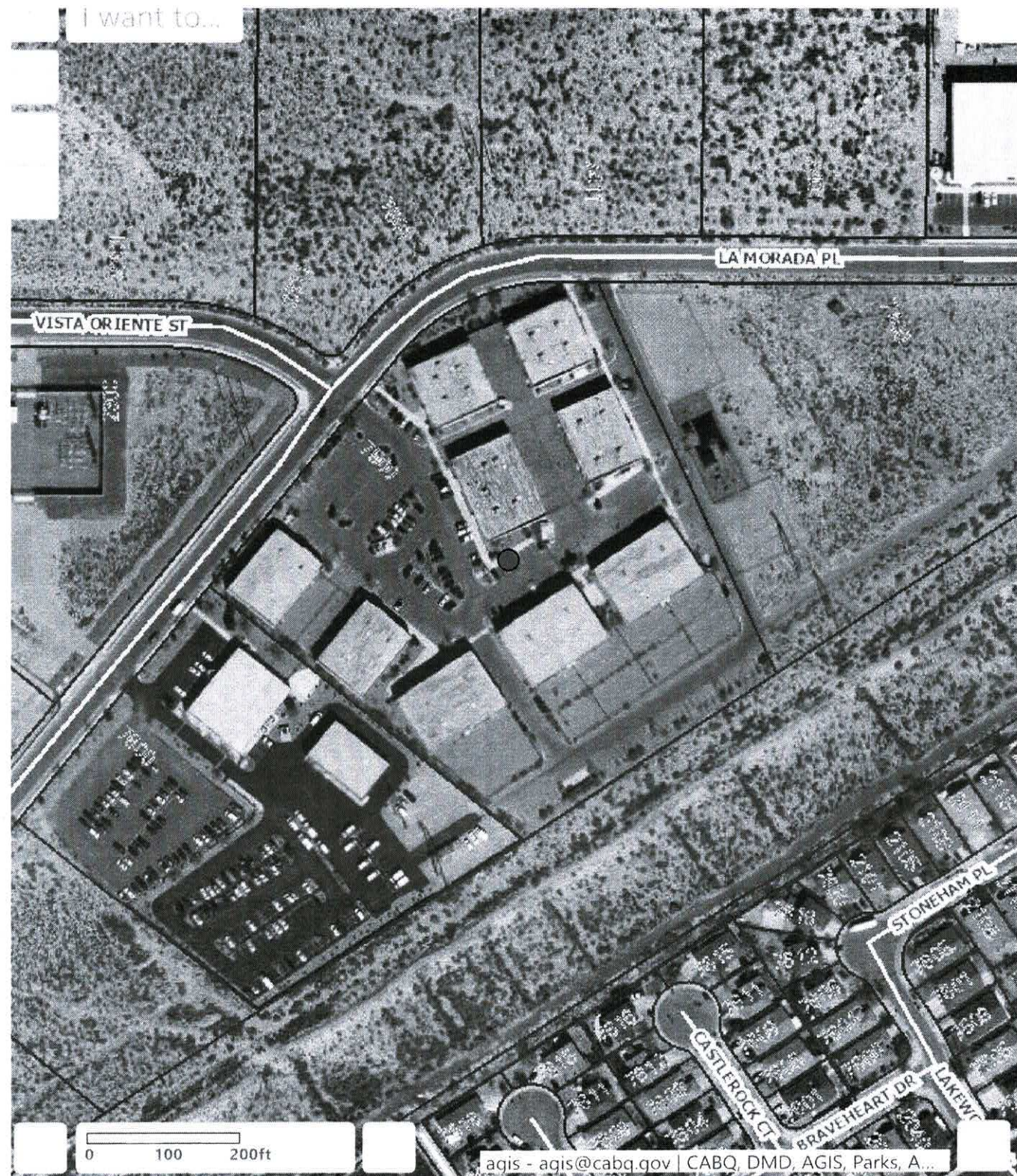
- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

ALTERNATIVE LANDSCAPE PLAN

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16)
- Landscape Plan

<p><i>I, the applicant or agent, acknowledge that if any required information is not submitted with this application, the application will not be scheduled for a public meeting or hearing, if required, or otherwise processed until it is complete.</i></p>	
Signature:	Date: 1-08-2022
Printed Name: <u>Glenn Rowedetto</u>	<input type="checkbox"/> Applicant or <input checked="" type="checkbox"/> Agent
FOR OFFICIAL USE ONLY	
Project Number: _____	Case Numbers: _____
Staff Signature: _____	
Date: _____	

I want to...



City Address: 7500 LA MORADA PL NW

County Address: 7500 LA MORADA

4/21/2022

www.cabq.gov/gis

City of Albuquerque Property Report



Ownership Data from Bernalillo County Assessor

County Assessor's data for tax year 2018)

Owner Name: EARLIER LEARNING SOLUTIONS FOUNDATION INC

Owner Address: 7500 LA MORADA NW, ALBUQUERQUE NM 87120-1765

JPC: 101005911229820102

Tax Year: 2018 **Tax District:** A1A

Legal Description: TR 9 PLAT FOR LADERA BUSINESS PARK UNIT 1 CONT 7.2637

AC

Property Class: C **Document Number:** 2013046045 042613 SW-E

Acres: 7.26

City Zoning and Services

DO Zone District: NR-C

DO District Definition: Commercial

Old Zoning Designation: SU-1

Old Zoning Description: LIGHT INDUSTRIAL

Land Use: 08 | Educational

Lot: 9 **Block:** 0000 **Subdivision:** LADERA BUSINESS PARK UNIT 1

Police Beat: 636 **Area Command:** NORTHWEST

Jurisdiction: ALBUQUERQUE

Zone Atlas Page: [H10](#) (opens in new window)

City Neighborhood Association: Ladera West NA

Residential Trash Pickup:

Political Districts

City Council District: [1 - Louie Sanchez](#)

County Commission District: 1 - Debbie O'Malley

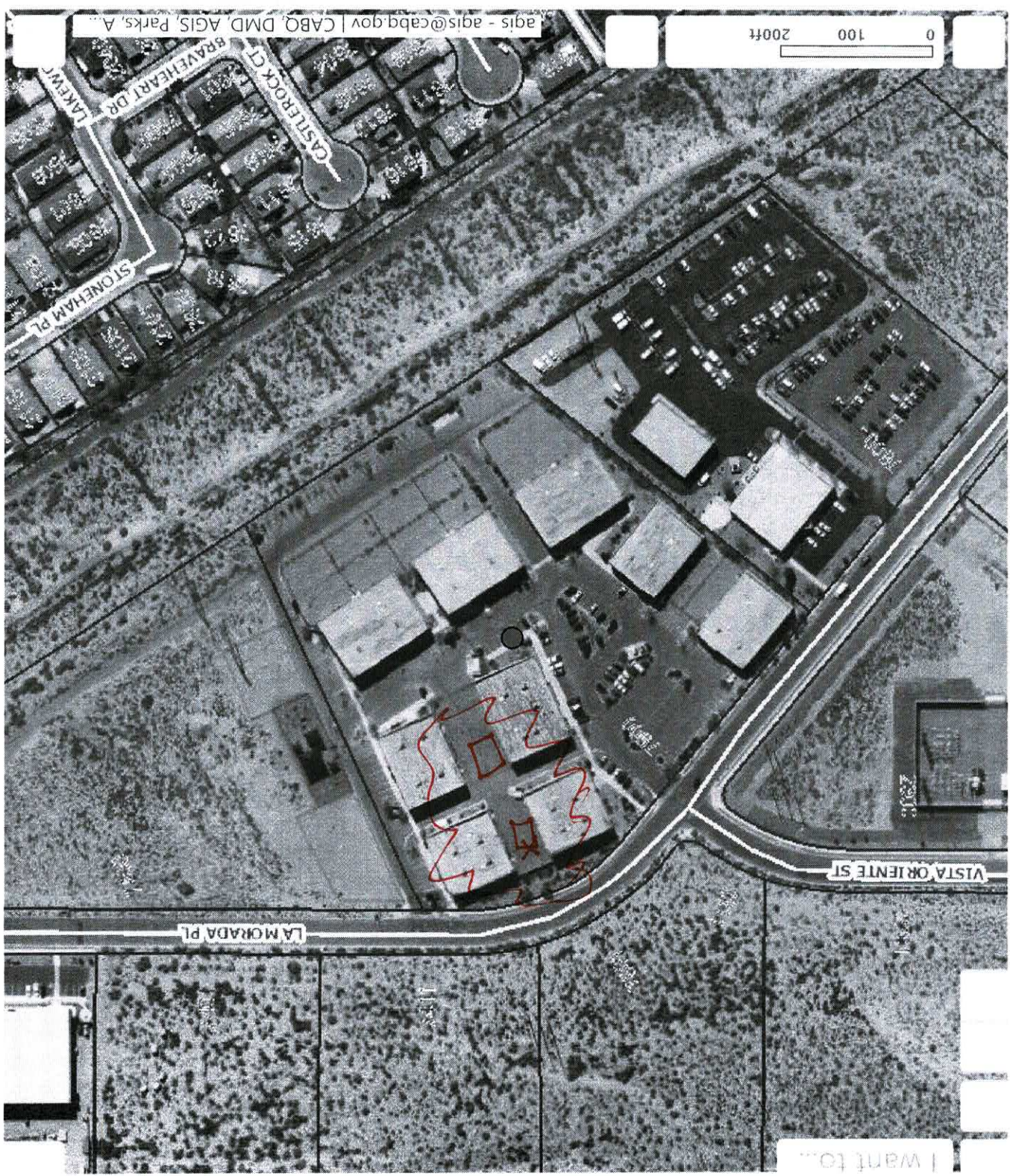
IM House of Representatives: Joy Garratt

IM Senate: Jacob R. Candelaria

School Districts

Elementary: TRES VOLCANES COM. COLLABORATIVE

Middle: JIMMY CARTER (8TH)/TRES VOLCANES CCC (6TH & 7TH)



For Reference Only

I want to...



Chris Jones, Executive Director

Kyle Hunt, Director of Operations

**Albuquerque Bilingual Academy
7500 La Morada Pl NW
Albuquerque, NM 87120**

1/4/22

Creative Recreational Designs, Inc
PO Box 15919 Rio Rancho, NM 87174
BCL Enterprises
PO Box 15223 Rio Rancho, NM 87174

RE: Letter of Authorization

To whom it may concern,

This is an official notice that the New Mexico state charter school Albuquerque Bilingual Academy gives authorization to Creative Recreational Designs and BCL Enterprises to apply for the required permits for installation of outdoor classroom space including shade structures and other fixed items.

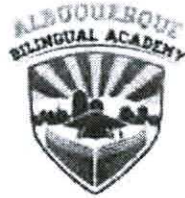
Thank you for your assistance in this matter,

A handwritten signature in blue ink, appearing to read "Chris Jones", with a long horizontal flourish extending to the right.

Chris Jones, Executive Director
cjones@lpehc.com

A handwritten signature in black ink, appearing to read "Kyle Hunt", with a long horizontal flourish extending to the right.

Kyle Hunt, Director of Operations
khunt@lpehc.com



Chris Jones, Executive Director

Kyle Hunt, Director of Operations

**Albuquerque Bilingual Academy
7500 La Morada Pl NW
Albuquerque, NM 87120**

1/4/22

City of Albuquerque Planning Department

RE: Letter of Justification

To whom it may concern,

This is an official request that the New Mexico state charter school Albuquerque Bilingual Academy would like to install outdoor shade structures/classroom areas at its main site located at 7500 La Morada Pl NW Albuquerque, NM 87120. These outdoor classroom spaces will help our school maintain social distancing while providing students with safer spaces to gather to complete schoolwork.

Per Table 6-4(Z)(1)(a) of the IDO pertaining to Allowable Minor Amendments; these planned additions do not increase the gross floor space, are not higher than the surrounding buildings, and do not make use of a fence. Therefore, these shade structures are to be considered a minor amendment. Furthermore, the locations chosen for the shade structures do not require changes to access or circulation of patterns on the site. This project will not require major public infrastructure. Please let contact the school at an email below or our main line 505-836-7706 if there are any additional questions or concerns.

Thank you for your assistance in this matter,

A handwritten signature in blue ink, appearing to read "Chris Jones", is written over a faint circular stamp or watermark.

Chris Jones, Executive Director
cjones@lpehc.com

A handwritten signature in blue ink, appearing to read "Kyle Hunt", is written over a faint circular stamp or watermark.

Kyle Hunt, Director of Operations
khunt@lpehc.com



Chris Jones, Executive Director

Kyle Hunt, Director of Operations

Albuquerque Bilingual Academy
7500 La Morada PI NW
Albuquerque, NM 87120

1/4/22

City of Albuquerque Planning Department

RE: Letter of Justification

To whom it may concern,

This is an official request that the New Mexico state charter school, Albuquerque Bilingual Academy, would like to install outdoor shade structures/classroom areas at its main site located at 7500 La Morada PI NW Albuquerque, NM 87120. These outdoor classroom spaces will help our school maintain social distancing while providing students with safer spaces to gather to complete schoolwork. These planned additions **do not entail structures that are larger in height than the surrounding buildings nor do they add to the gross floor area and are therefore** minor structures. These structures will not affect any of our other permanent structures on campus and **do not affect the circulation or access patterns of the area.** Please contact the school at one of the emails below or our main line 505-836-7706 if there are any additional questions or concerns.

Thank you for your assistance in this matter,

A handwritten signature in blue ink, appearing to read "Chris Jones", with a long horizontal flourish extending to the right.

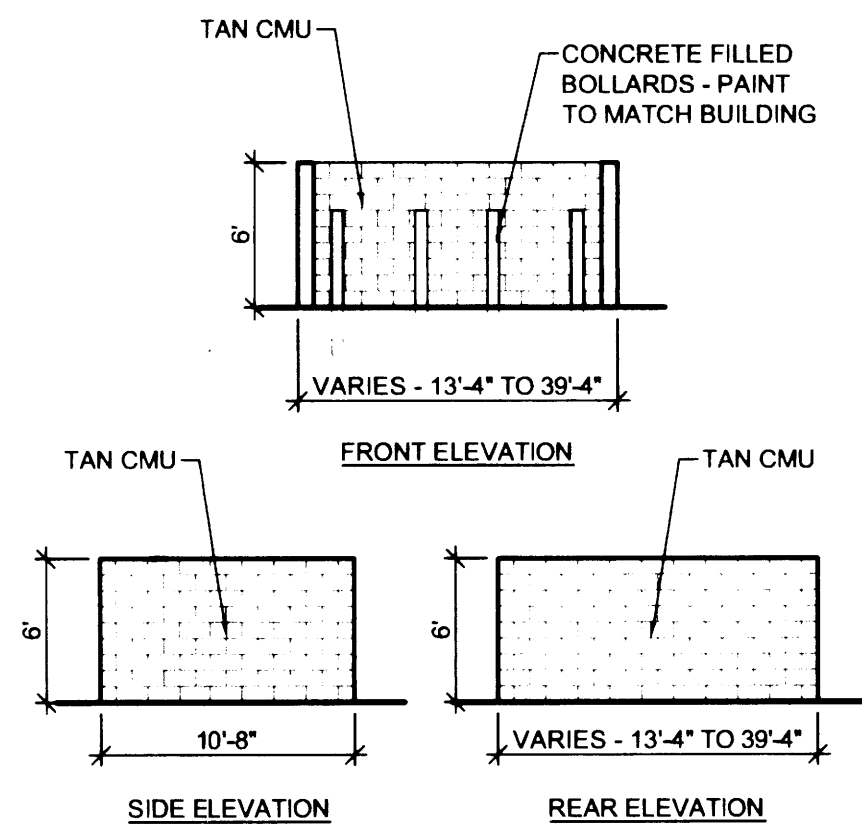
Chris Jones, Executive Director

cjones@lpehc.com

A handwritten signature in black ink, appearing to read "Kyle Hunt", with a stylized, cursive script.

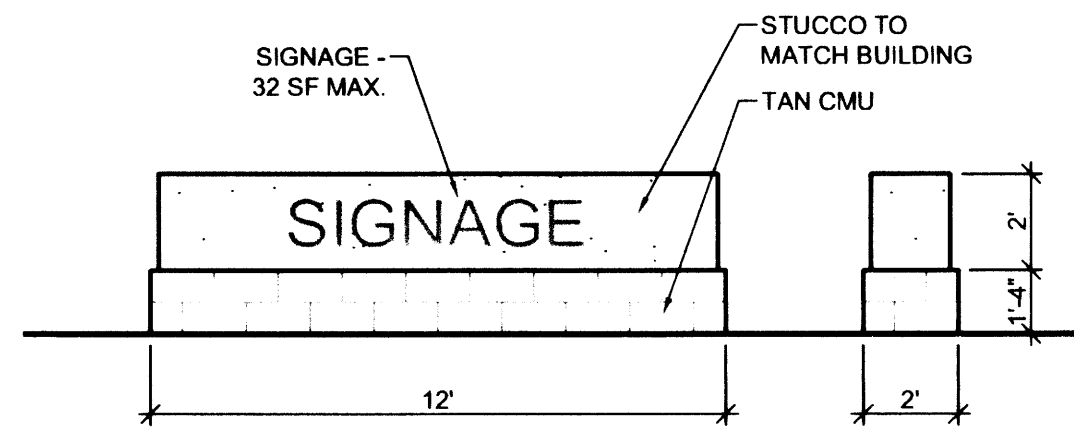
Kyle Hunt, Director of Operations

khunt@lpehc.com



D2 TRASH ENCLOSURE ELEV.

SCALE: 1/8" = 1'-0"

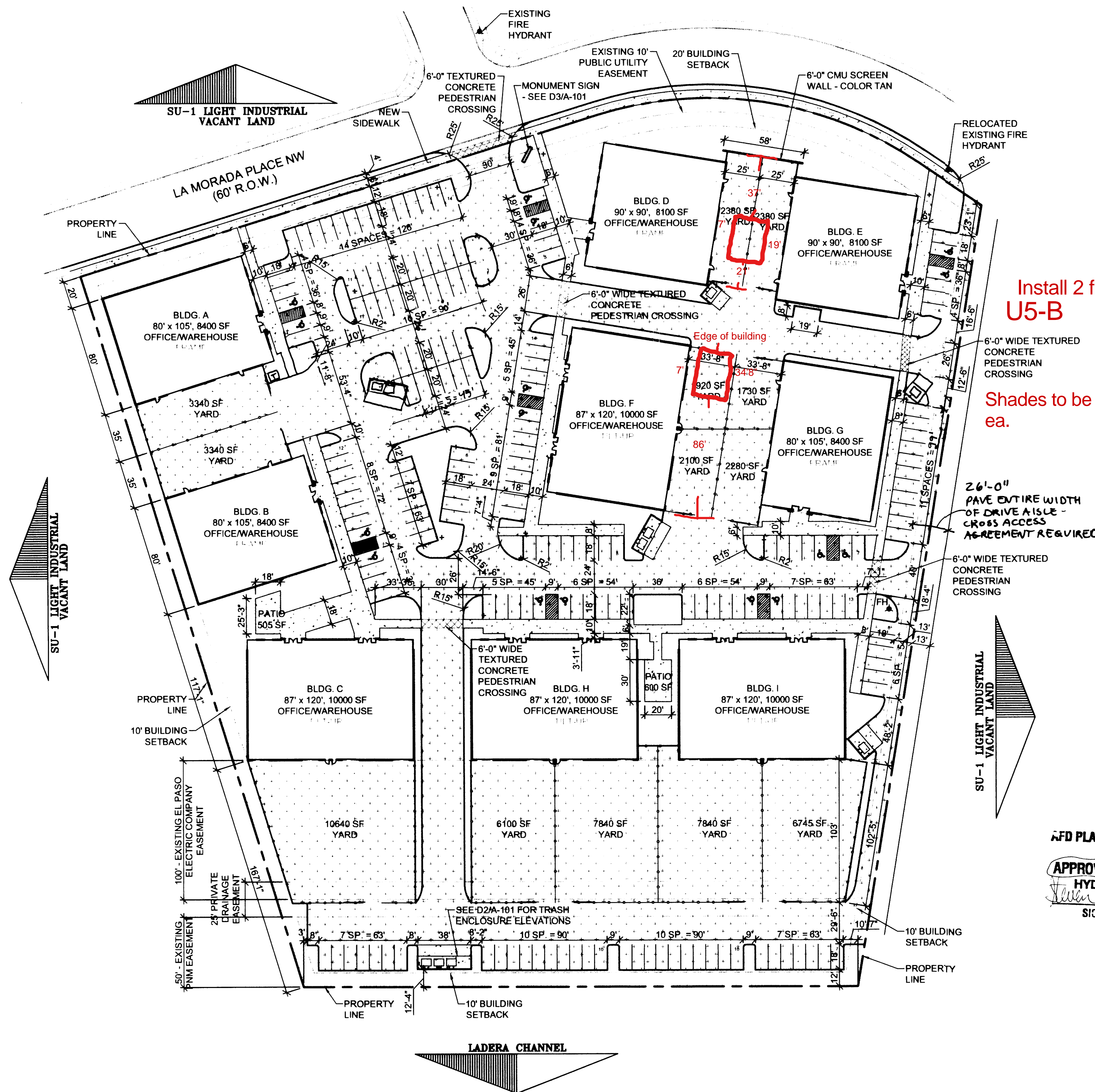


D3 MONUMENT SIGN

SCALE: 1/4" = 1'-0"

PROJECT: LADERA BUSINESS PARK TRACT 9
LEGAL DESCRIPTION: TRACT 9, LADERA BUSINESS PARK, UNIT 1
ZONING ATLAS MAP: H-10
ZONING CLASSIFICATION: SU-1
APPLICABLE BUILDING CODE: 2003 IBC
BUILDING TYPE: OFFICE/WAREHOUSE
CONSTRUCTION TYPE: II-B
NUMBER OF FLOORS: ONE
GROSS SQUARE FOOTAGE: 13,237 SF
PARKING ANALYSIS:
 TOTAL BUILDING AREA: 81400 SF
 40% OFFICE = 32560 SF 32560 / 200 = 163
 60% WAREHOUSE = 48840 SF 48840 / 2000 = 25
 REQUIRED: 163 + 25 = 188 SPACES
 PROVIDED: 199 SPACES
 ADA SPACES: 8 REQ'D, 16 PROVIDED
 BICYCLE PARKING REQ'D: 188 / 20 = 10, 20 PROVIDED
PARKING SPACE SIZES:
 REGULAR: 9'-0" x 18'-0" WITH 2'-0" OVERHANG
TOTAL LOT AREA: 316,410 SF = 7.26 ACRES

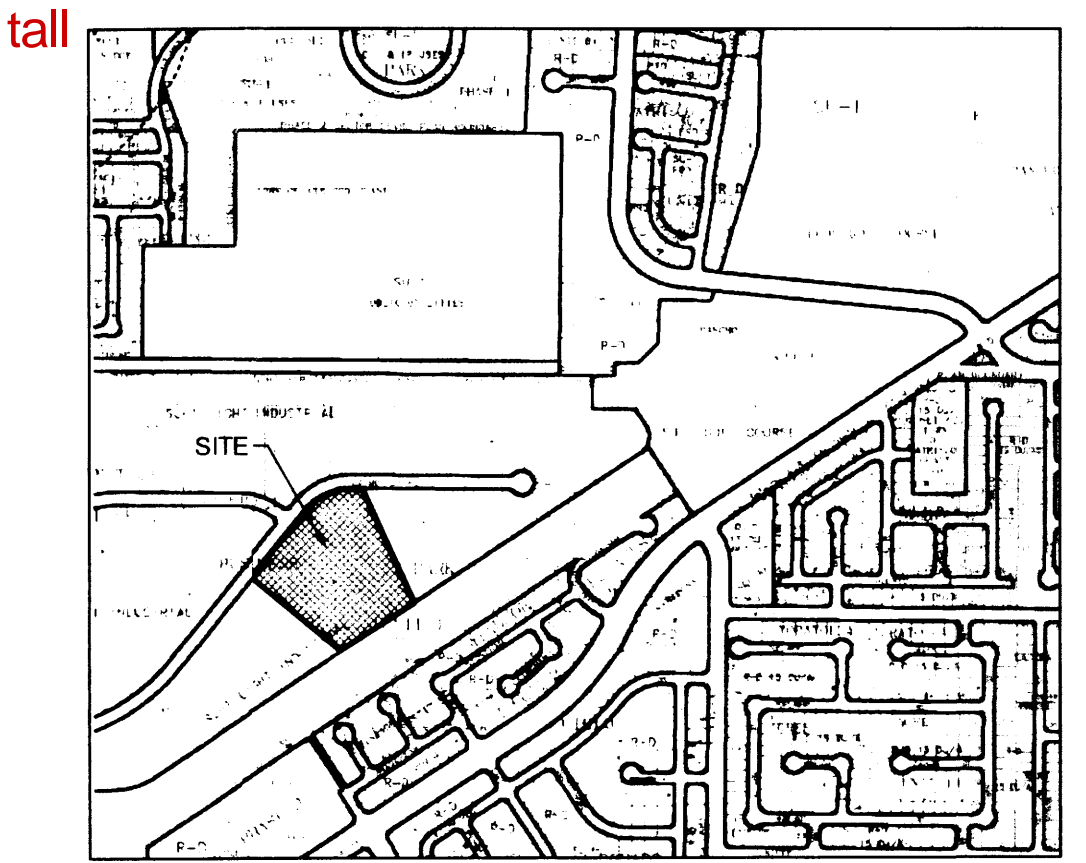
This is for Reference only



Install 2 fabric shades U5-B
 Shades to be 24'x34'x10' tall ea.

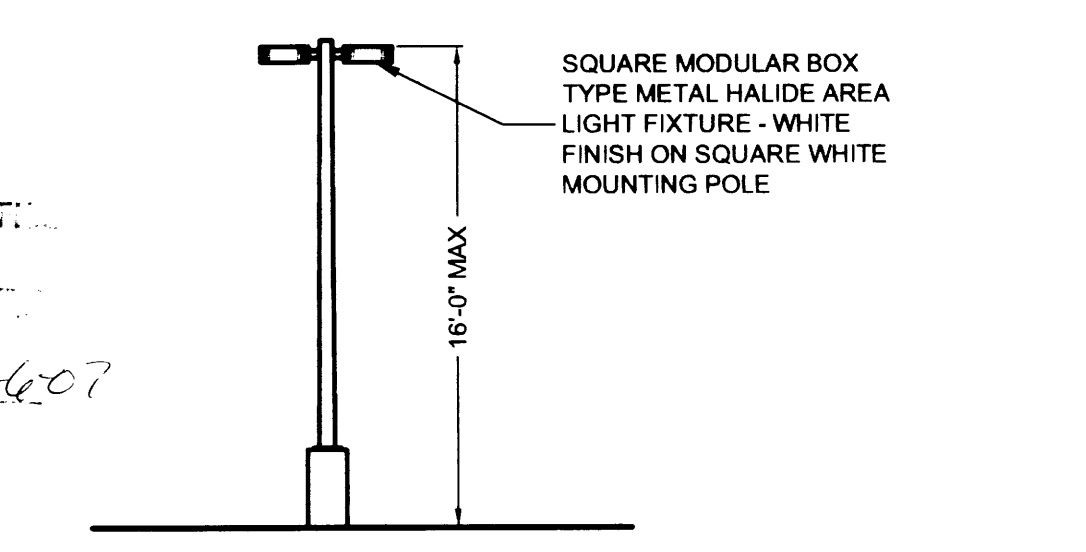
SIGNATURE BLOCK	
PROJECT NUMBER:	1005348
APPLICATION NUMBER:	07046-00043, 01026-00270
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i>	7-12-07
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	3/14/07
RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	3/14/07
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	7/12/07
CITY ENGINEER, ENGINEERING DIVISION / AMAPCA	DATE
N/A	7/12/07
ENVIRONMENTAL HEALTH DEPARTMENT (conditional)	DATE
<i>[Signature]</i>	3/0/07
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	7/12/07
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
PLNZ(10706) 12/16/03	

SITE PLAN LEGEND	
[Symbol]	INDICATES EXTENT OF LANDSCAPE AREA
[Symbol]	INDICATES EXTENT OF NEW ASPHALTIC CONCRETE PAVING. MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.
[Symbol]	INDICATES EXTENT OF NEW CONCRETE PAVING AND CONCRETE SIDEWALKS.
[Symbol]	PROPERTY LINE
[Symbol]	EASEMENT BOUNDARIES
[Symbol]	6'-0" TALL CHAIN LINK FENCE



B5 VICINITY MAP H-10

SCALE: N.T.S.



SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ON TO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.
 LIGHT SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE GREATER THAN 100 FOOT LAMBERTS. ALL LIGHT FIXTURES SHALL BE FULL CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER. ALL LAMPS MUST BE FULLY SHIELDED TO PREVENT FUGITIVE LIGHT BEYOND THE PROPERTY LINE.
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 ALL LIGHTING TO COMPLY WITH THE NIGHT SKY PROTECTION ACT.

A5 LIGHTING DETAIL

SCALE: N.T.S.

A2

SCALE: 1" = 50'

SITE PLAN

SCALE: 1" = 50'

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 842-1113
 Fax: (505) 842-1330

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CONSULTANTS

NAME	DATE

PROFESSIONAL SEAL



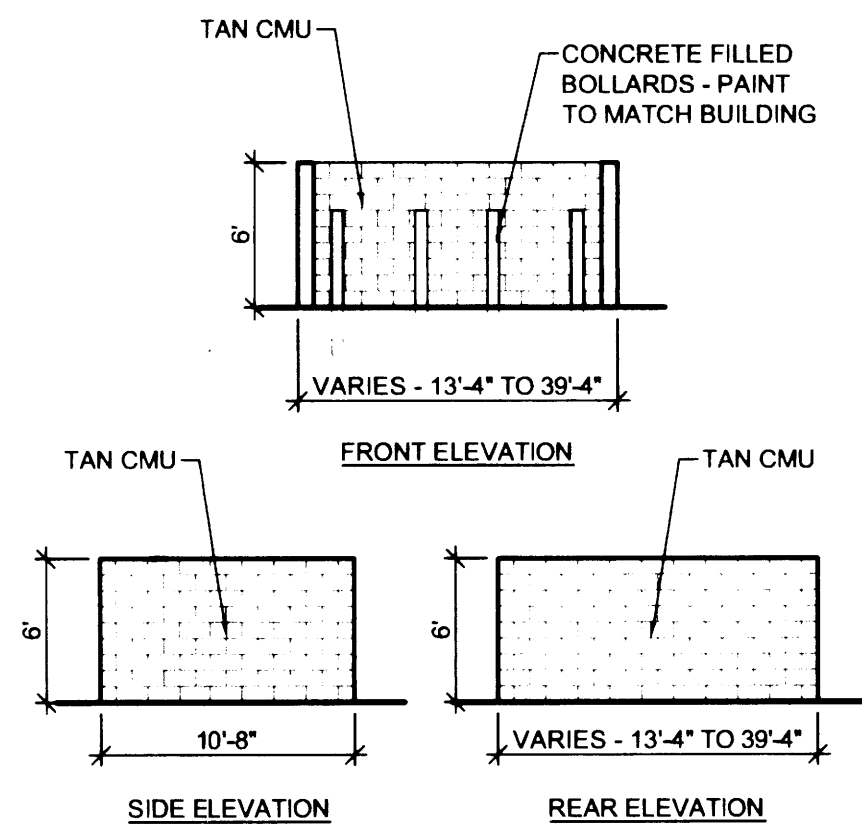
LADERA BUSINESS PARK TRACT 9
 7500 LA MORADA PL, NW
 ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06270
 DRAWING FILE: 06270\3DESDEVLPB-101
 DRAWN BY: LH
 CHECK BY:
 COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
 DATE: MARCH 5, 2007

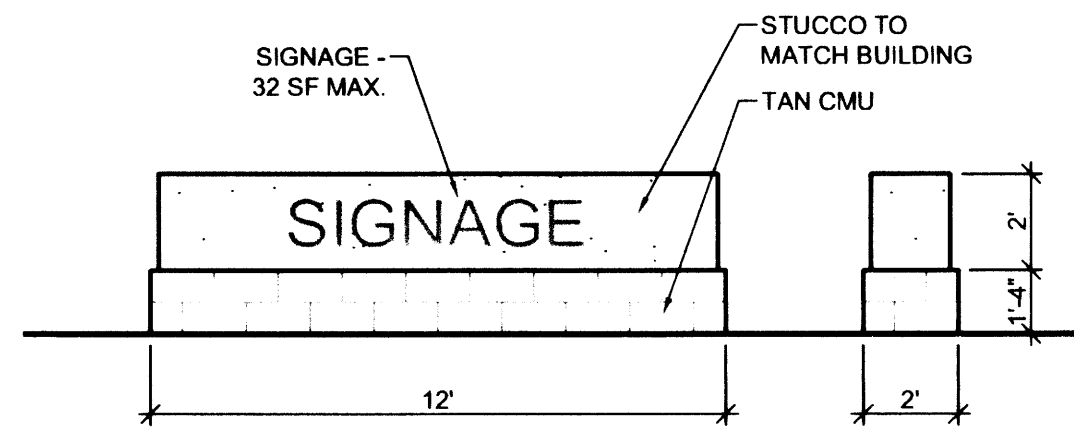
SHEET TITLE SITE PLAN FOR BUILDING PERMIT

SHEET NUMBER
A-101



D2 TRASH ENCLOSURE ELEV.

SCALE: 1/8" = 1'-0"

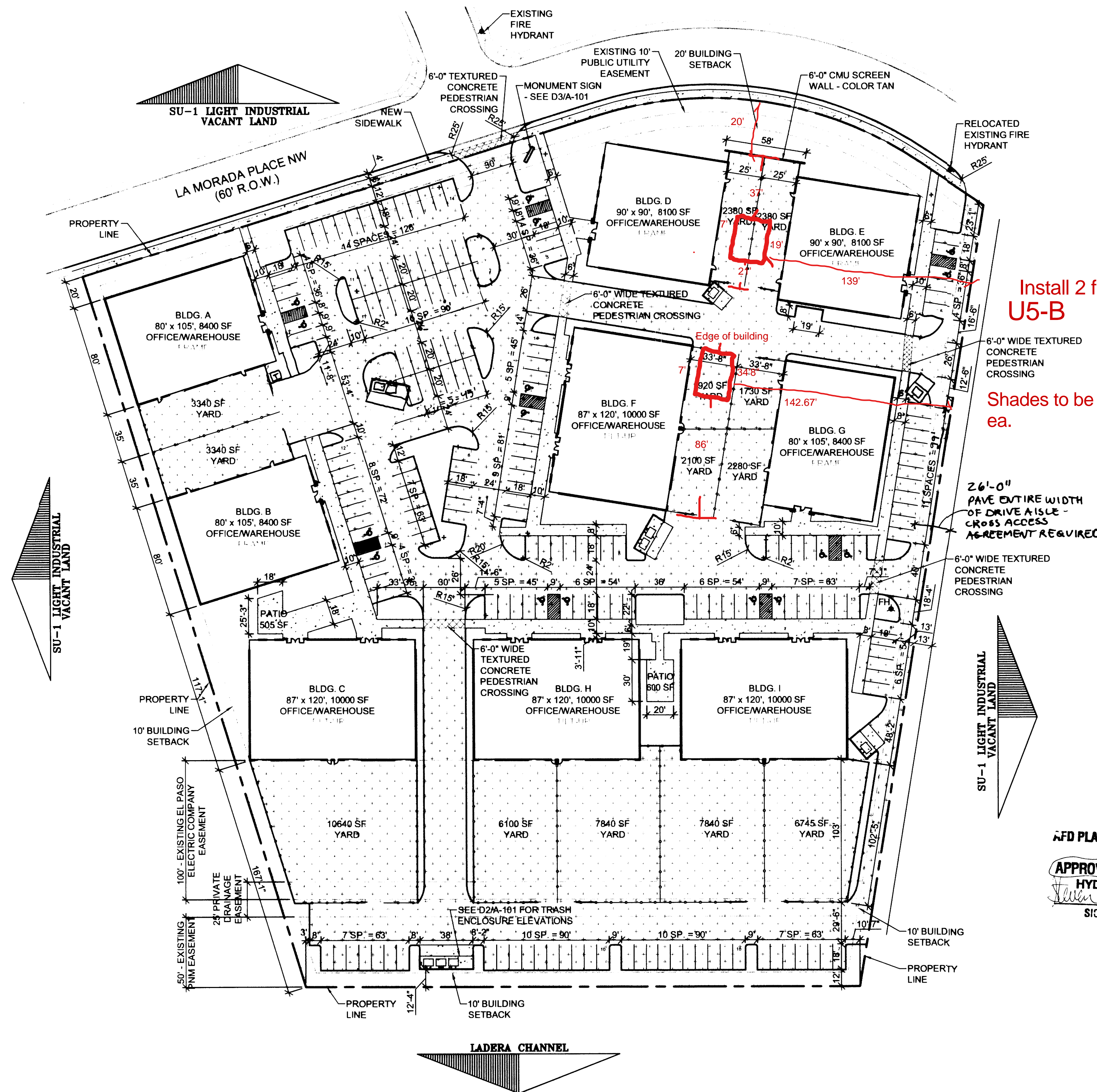


D3 MONUMENT SIGN

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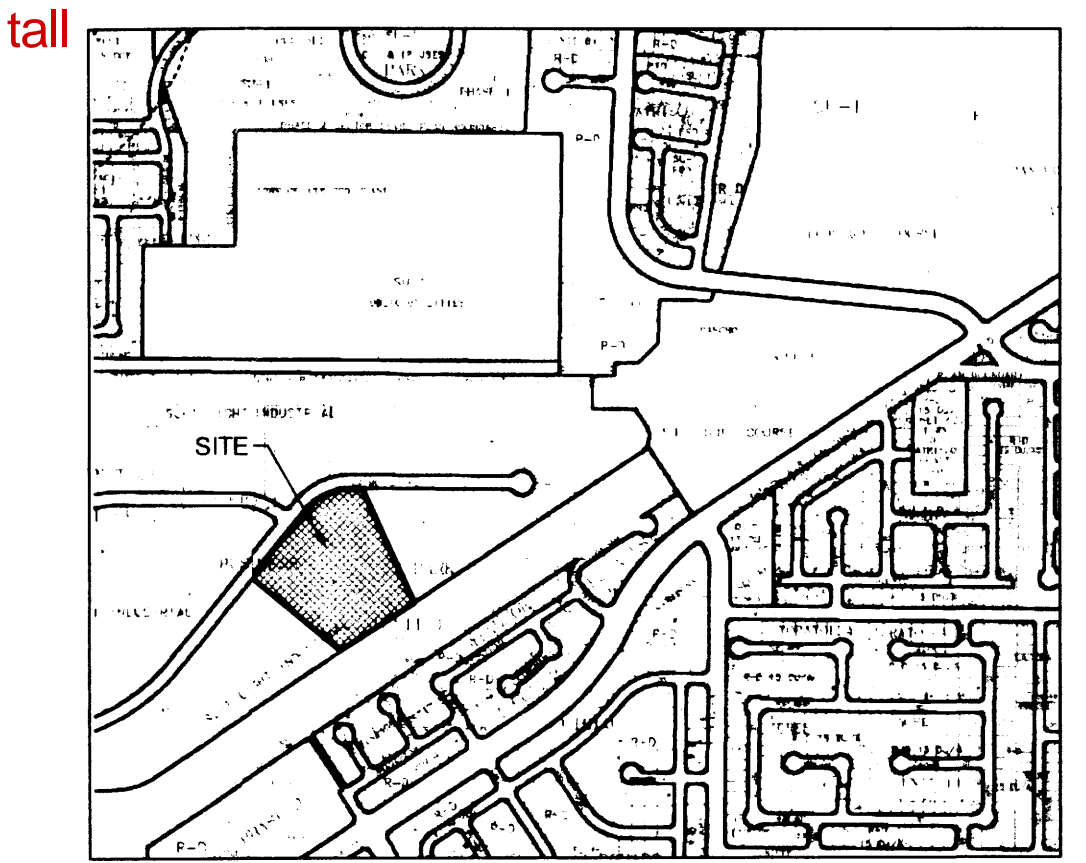
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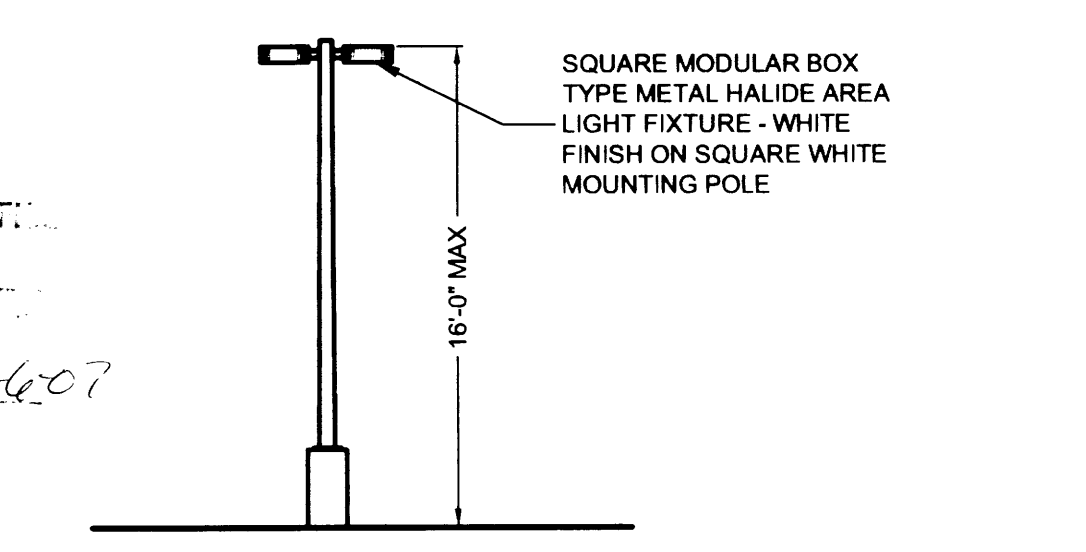
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SITE PLAN

SCALE: 1" = 50'

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CONSULTANTS

PROFESSIONAL SEAL



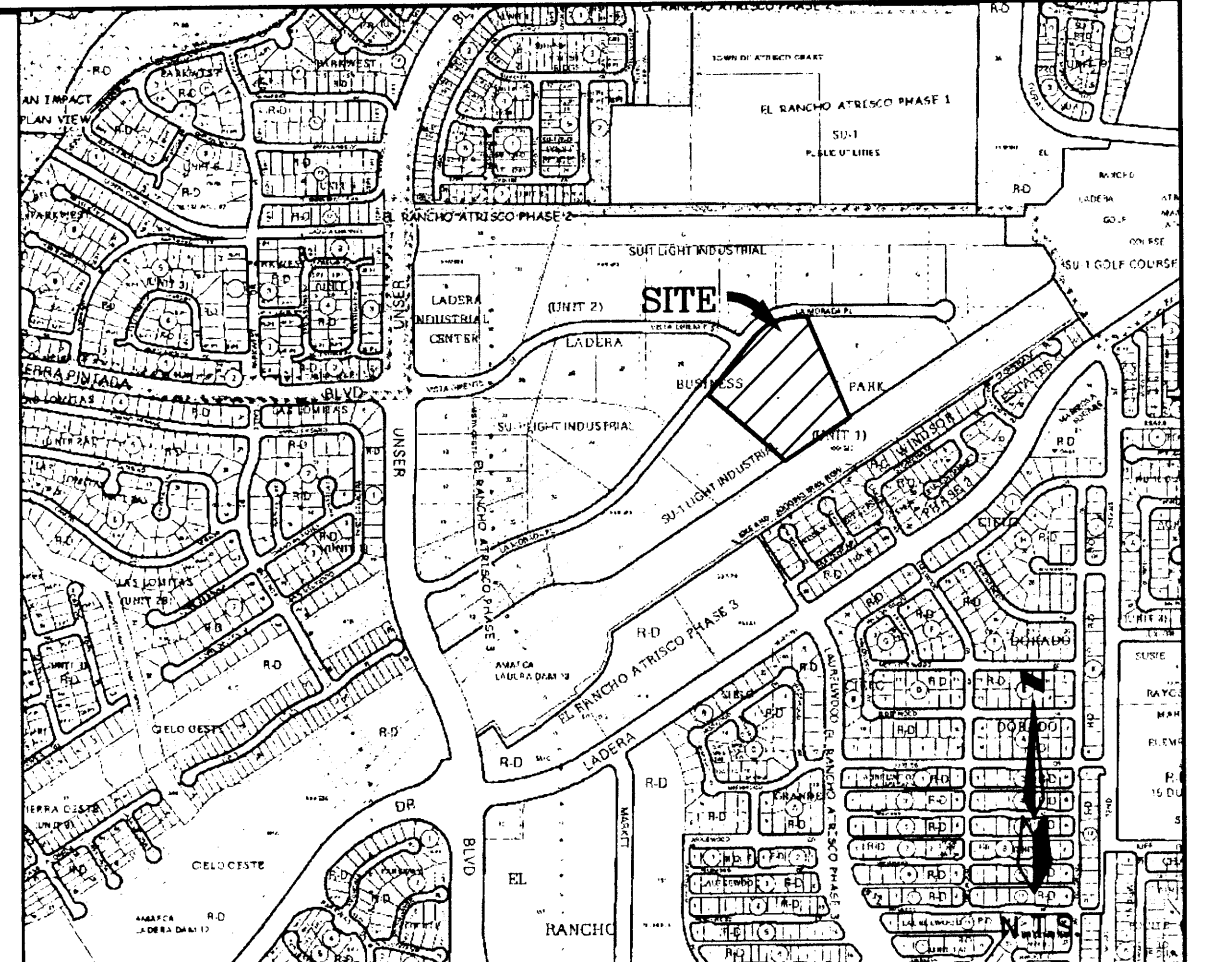
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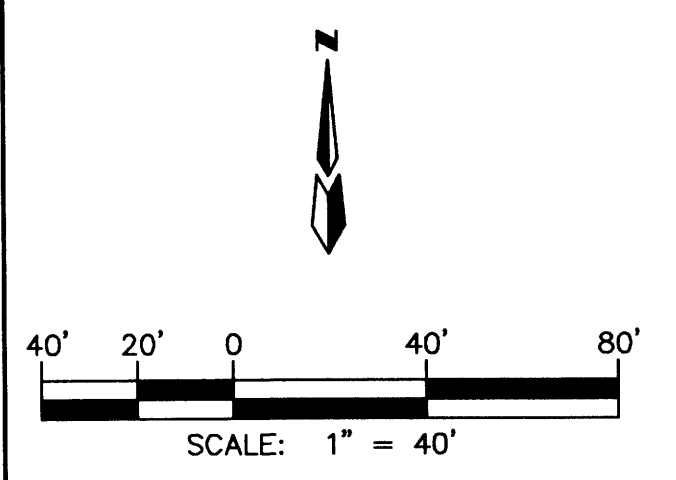


VICINITY MAP ZONE MAP: H-9,10-Z

ACS BENCHMARK

LEGAL DESCRIPTION
LADERA BUSINESS PARK TRACT 9 UNIT 1

- LEGEND**
- — — — — EXISTING CURB
 - — — — — EXISTING TOP OF CURB
 - — — — — EXISTING FLOWLINE
 - x 00.00 EXISTING SPOT ELEVATION
 - — — — — STANDARD 8" CURB & GUTTER
 - 28.53' PROPOSED SPOT ELEVATION
 - ~ ~ ~ ~ ~ WATER BLOCK
 - ⊙ NEW FIRE HYDRANT
 - FP= 30.38 FINISHED PAD ELEVATION
 - ▭ NEW BUILDINGS
 - — — — — PROPOSED PROPERTY LINE
 - PROPOSED FLOW DIRECTION
 - FP=58.00 PROPOSED FINISH PAD ELEVATION
 - 55.60 PROPOSED SPOT ELEVATION

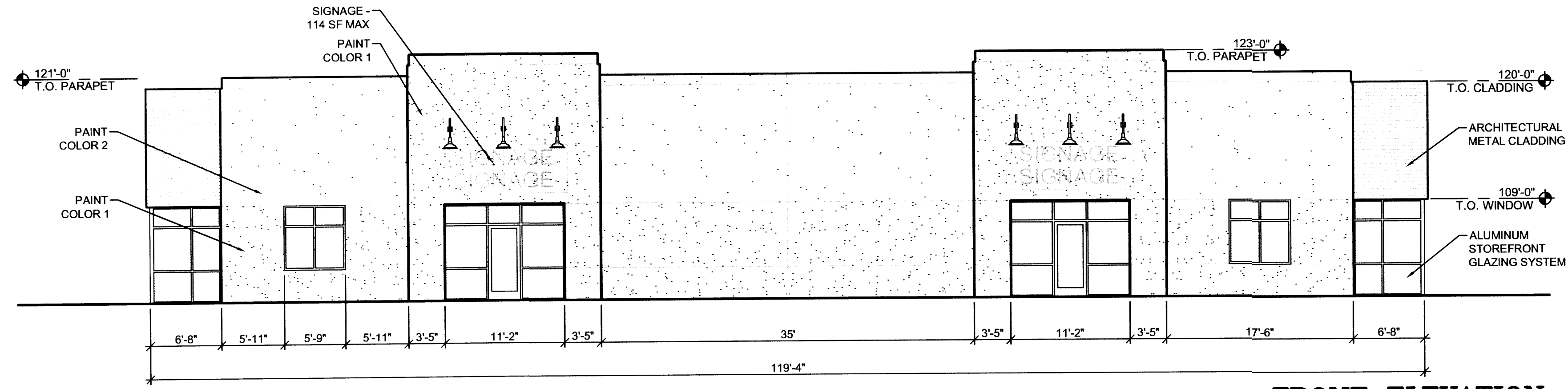


**LADERA BUSINESS PARK LOT #9
CONCEPTUAL GRADING & DRAINAGE PLAN**

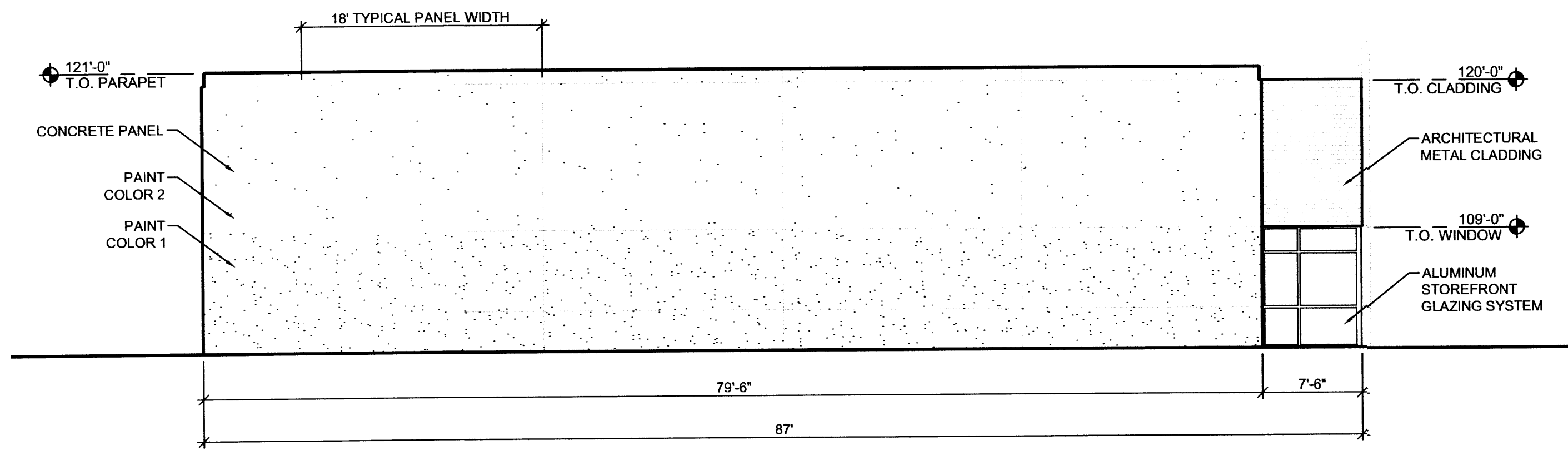
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: *ptk* Drawn: *CAR* Checked: *JMM* Sheet **I** of **2**
Scale: 1" = 40' Date: 01/18/07 Job: A6093

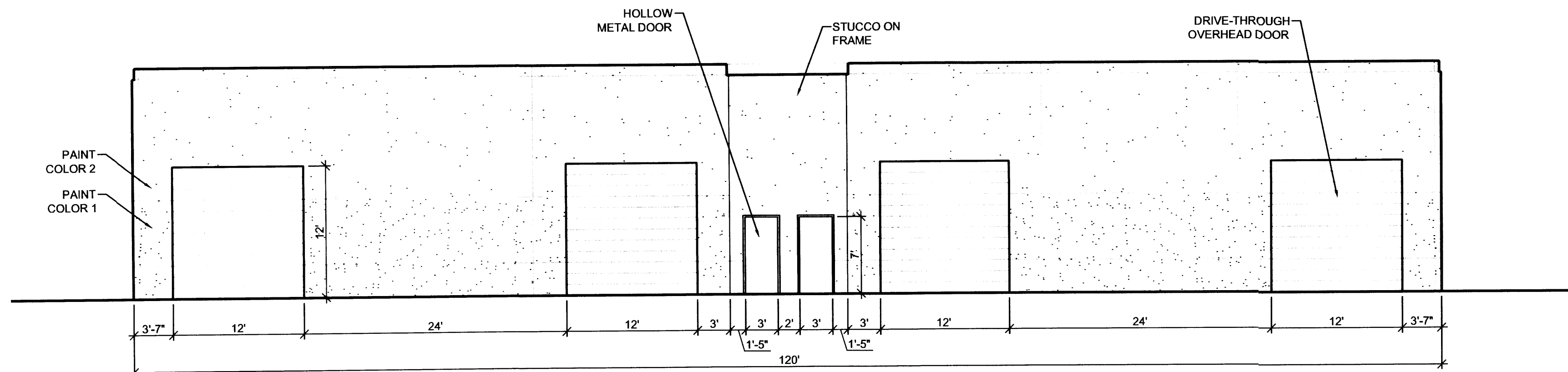
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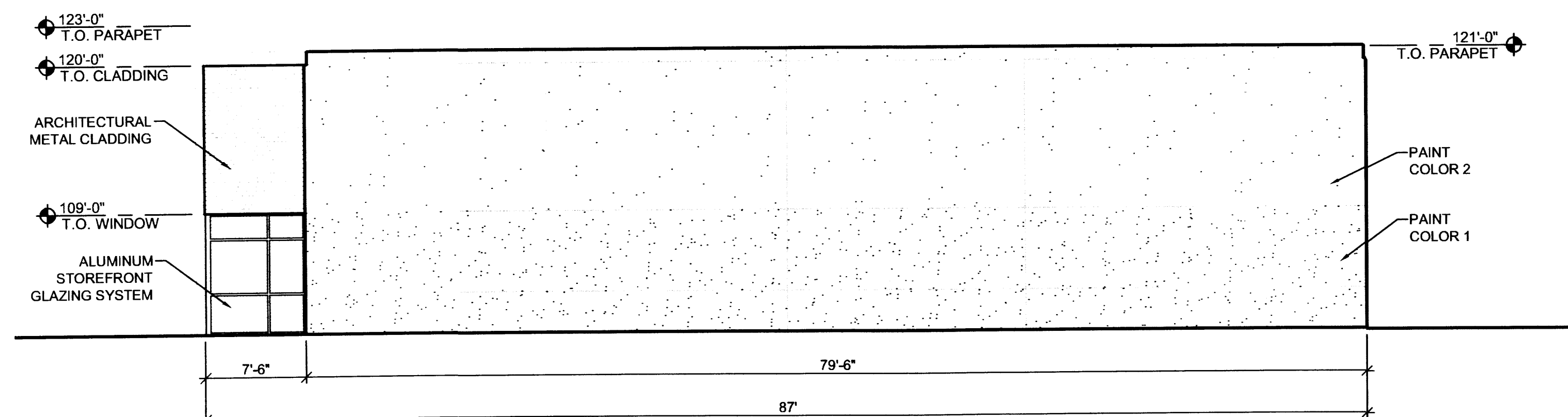
D2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"



C2 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



B2 REAR ELEVATION
SCALE: 1/8" = 1'-0"



A2 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL	COLOR
PAINT:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE

D5 COLORS LEGEND

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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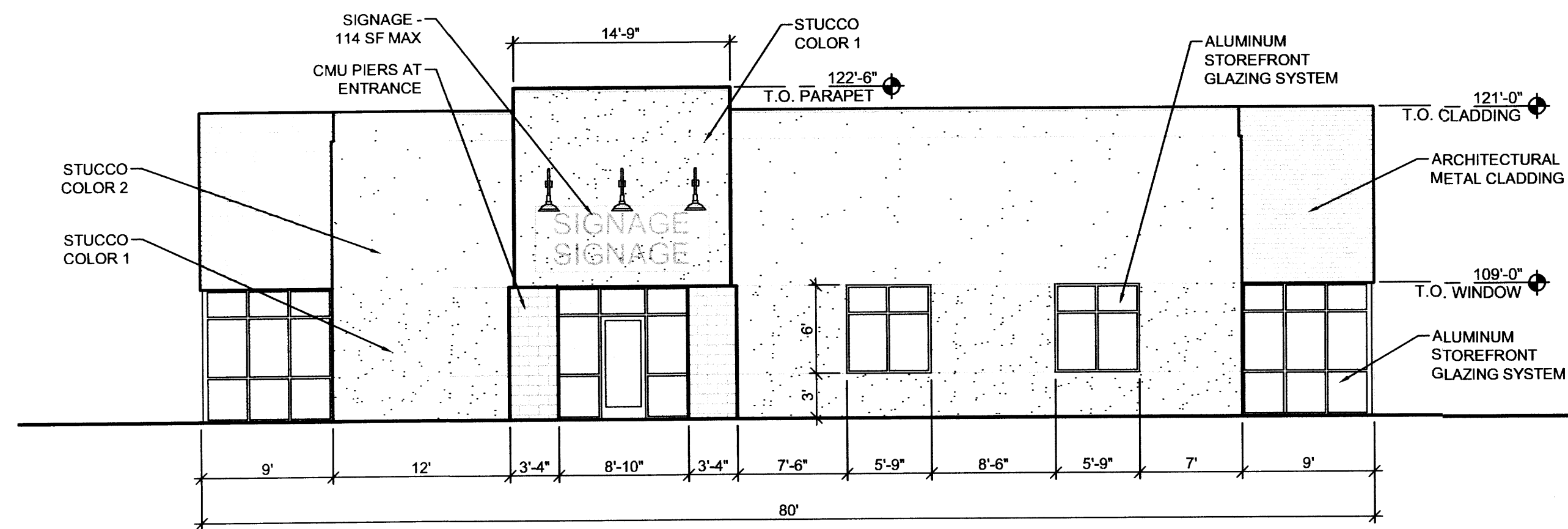
LADERA BUSINESS PARK TRACT 9
7500 LA MORADA PL, NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06270
DRAWING FILE: 062703DESDEVLBP A-201
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
DATE: MARCH 5, 2007

SHEET TITLE
BUILDINGS C, F, H, I

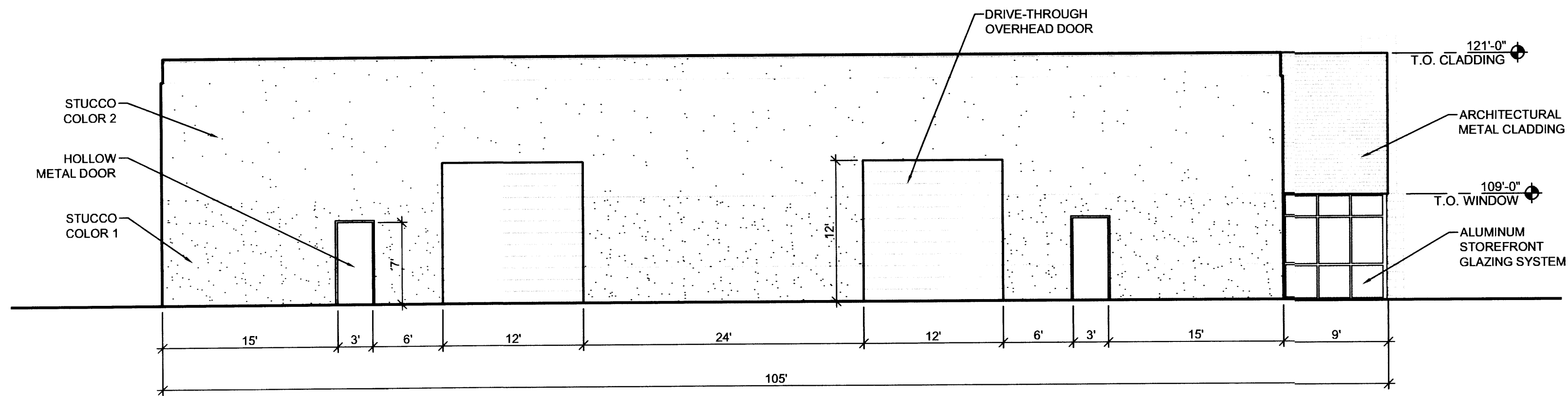
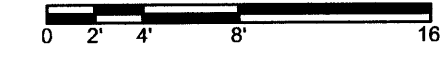
SHEET NUMBER
A-201



FRONT ELEVATION

D2

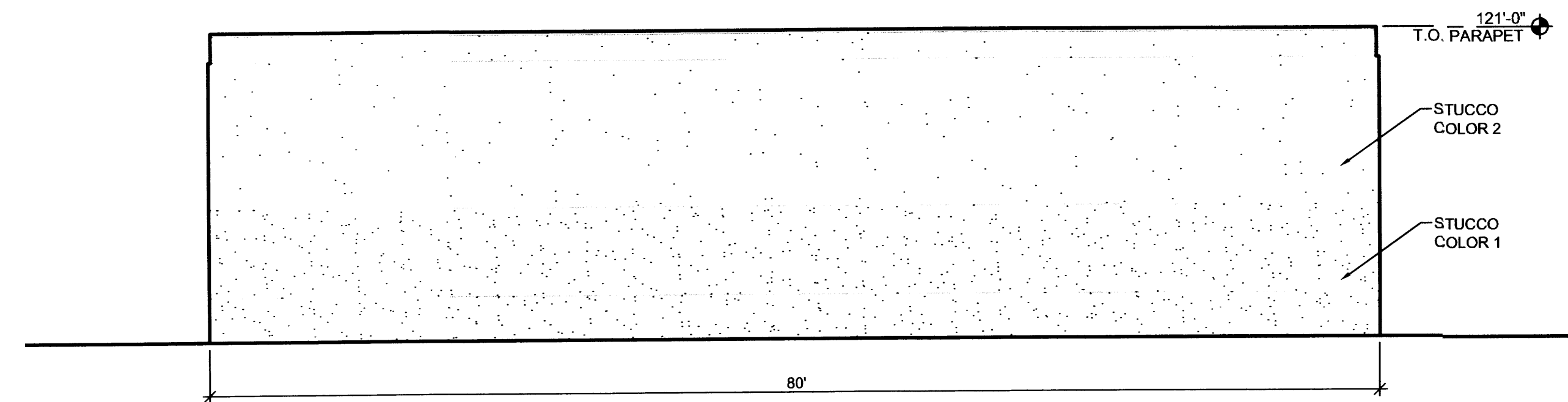
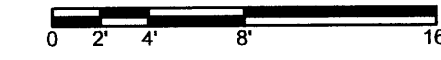
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SIDE ELEVATION

C2

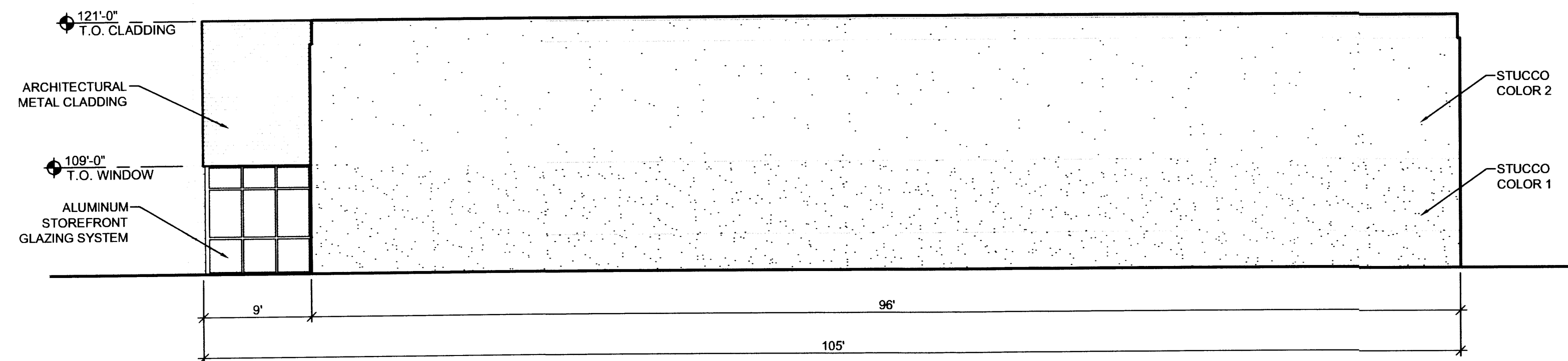
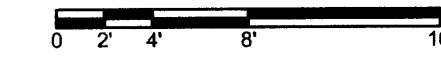
SCALE: 1/8" = 1'-0"



REAR ELEVATION

B2

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

A2

SCALE: 1/8" = 1'-0"



MATERIAL

STUCCO:

ALUMINUM STOREFRONT:

HOLLOW METAL DOORS & FRAMES:

GLAZING:

OVERHEAD DOORS:

METAL CLADDING:

CMU:

COLOR

COLOR 1: DARK TAN

COLOR 2: MEDIUM TAN

CLEAR ANODIZED ALUMINUM

MEDIUM TAN

BLUE SEMI-REFLECTIVE

DARK TAN

DUSTY BLUE

TAN

D5

COLORS LEGEND



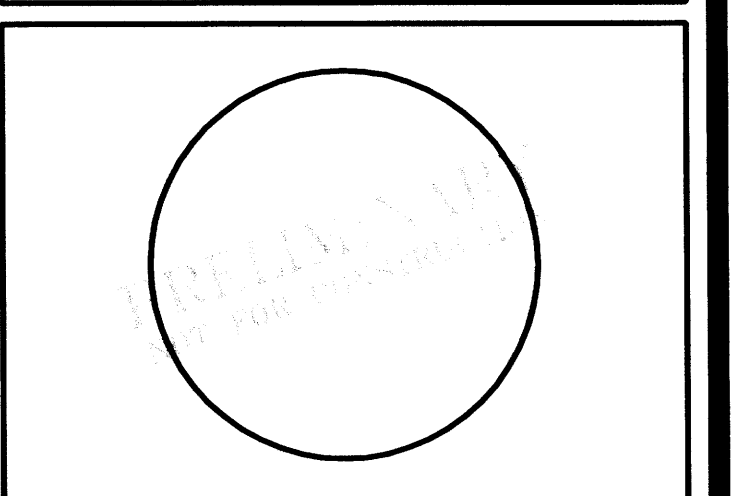
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Albuquerque, New Mexico
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PROFESSIONAL SEAL



LADERA BUSINESS PARK

TRACT 9

7500 LA MORADA PL, NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

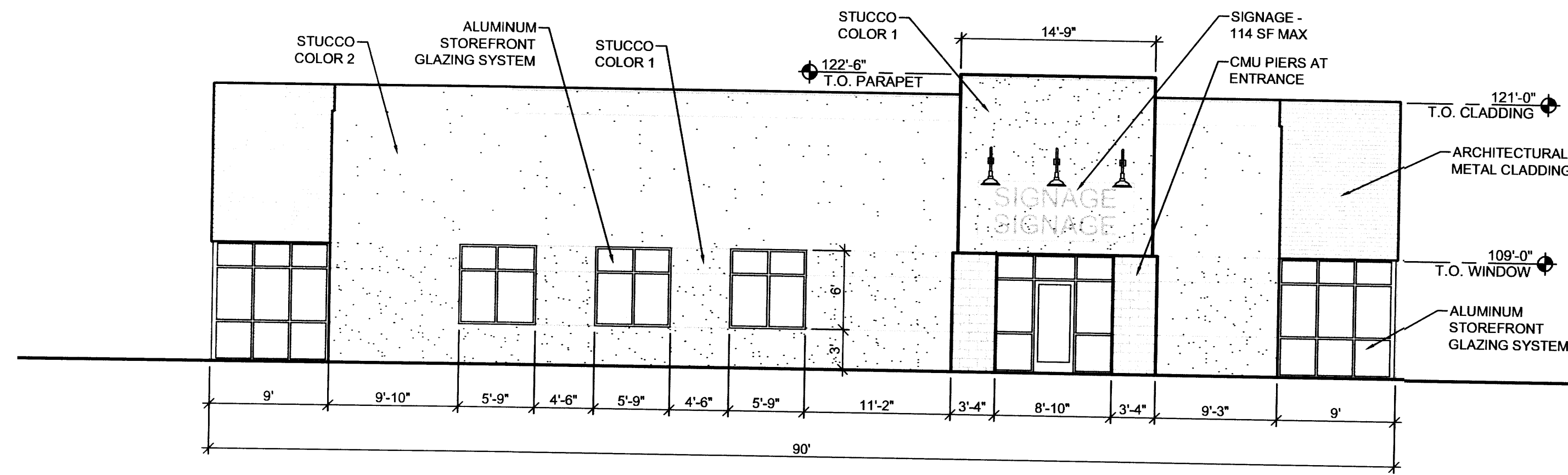
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DRAWING FILE: 06270\3DESDEVLBP A-201
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
DATE: MARCH 5, 2007

SHEET TITLE

BUILDINGS A, B, G

SHEET NUMBER

A-202



D2

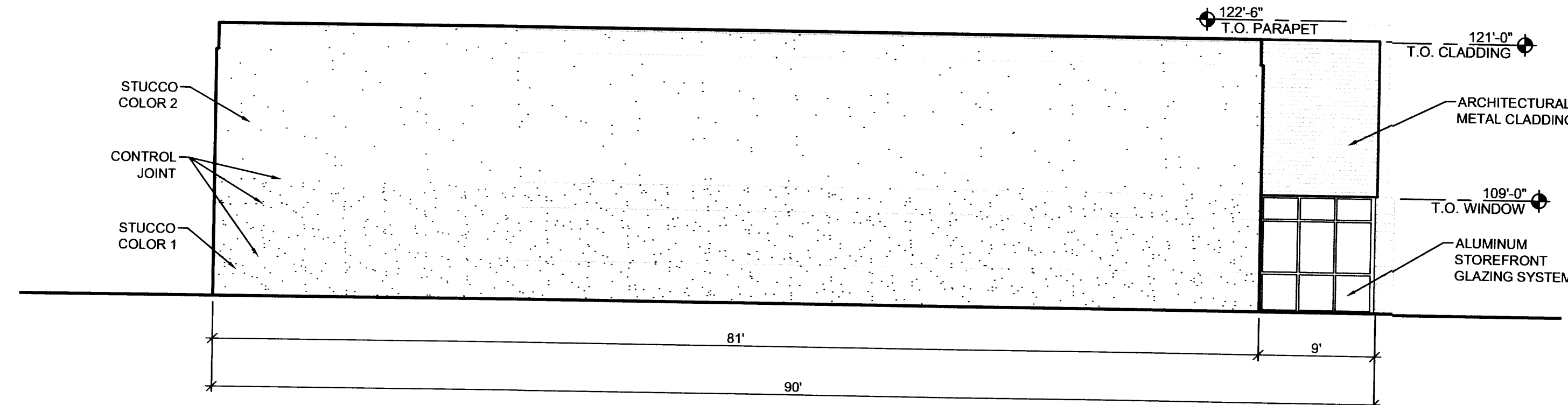
SCALE: 1/8" = 1'-0"

FRONT ELEVATION

D5

COLORS LEGEND

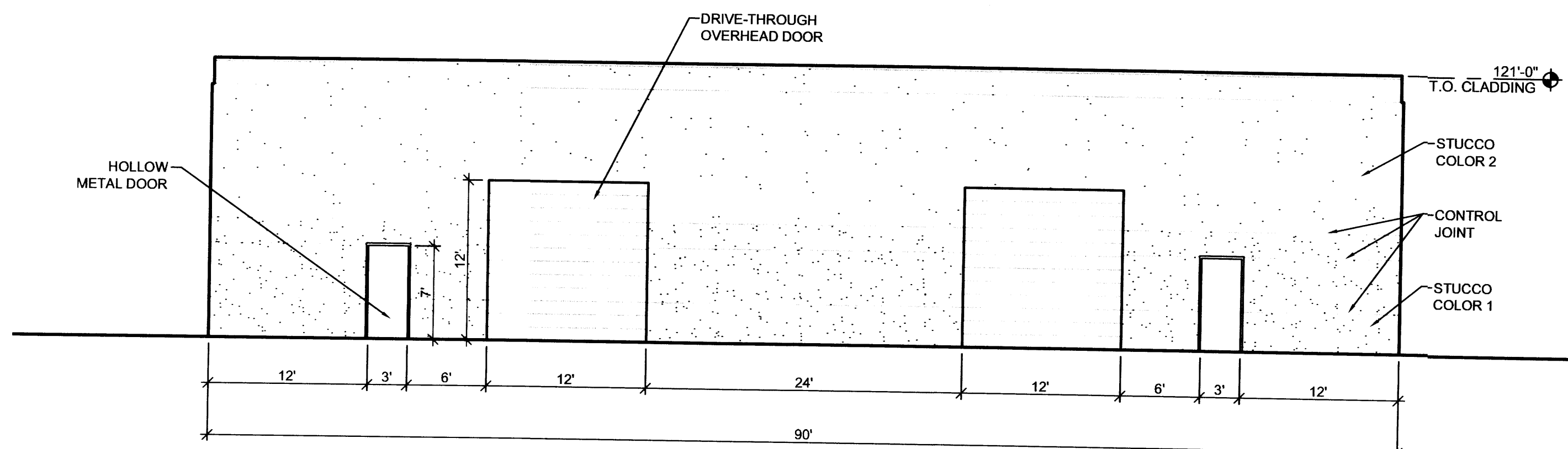
MATERIAL	COLOR
STUCCO:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE
CMU:	TAN



C2

SCALE: 1/8" = 1'-0"

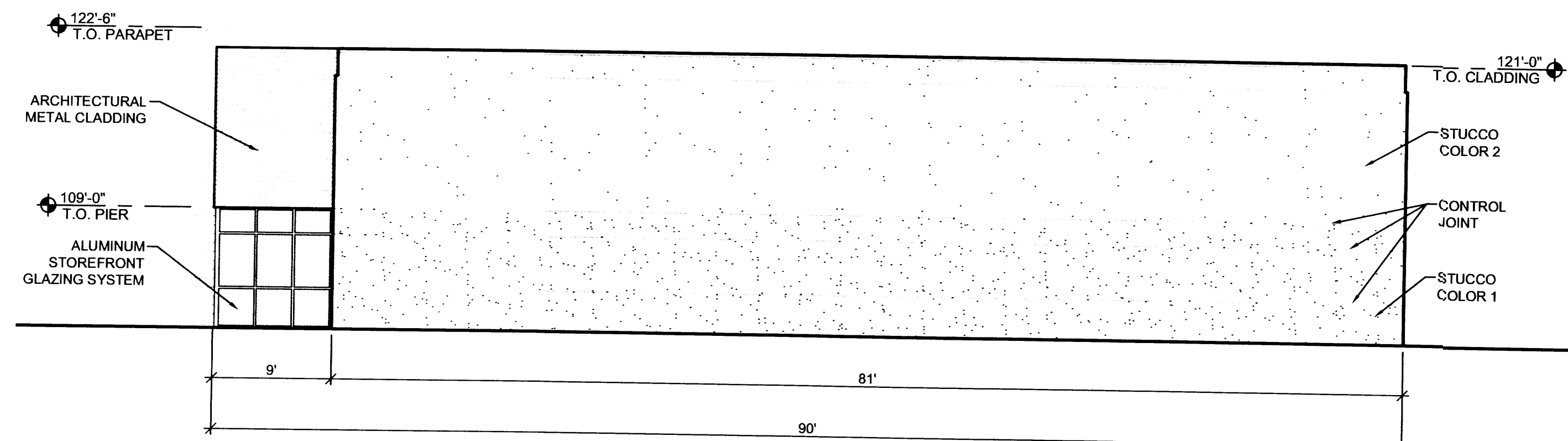
SIDE ELEVATION



B2

SCALE: 1/8" = 1'-0"

REAR ELEVATION



A2

SCALE: 1/8" = 1'-0"

SIDE ELEVATION



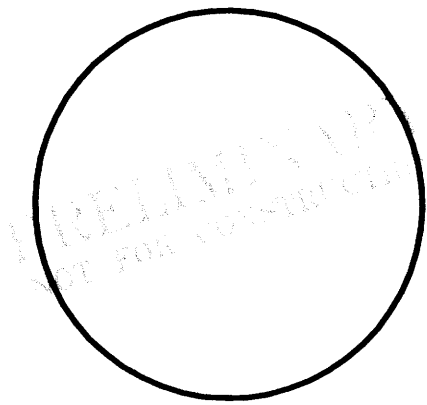
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LADERA BUSINESS PARK

TRACT 9

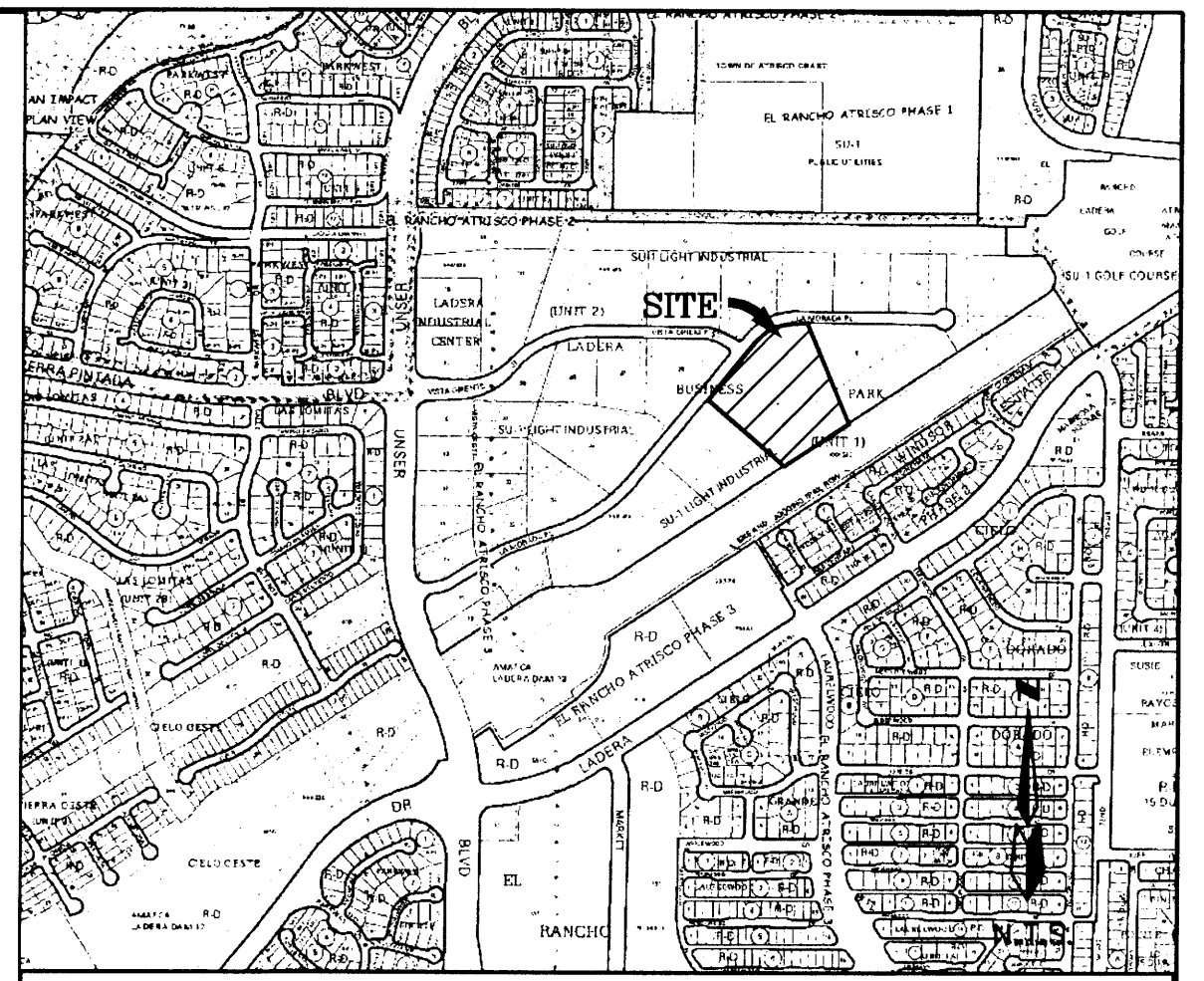
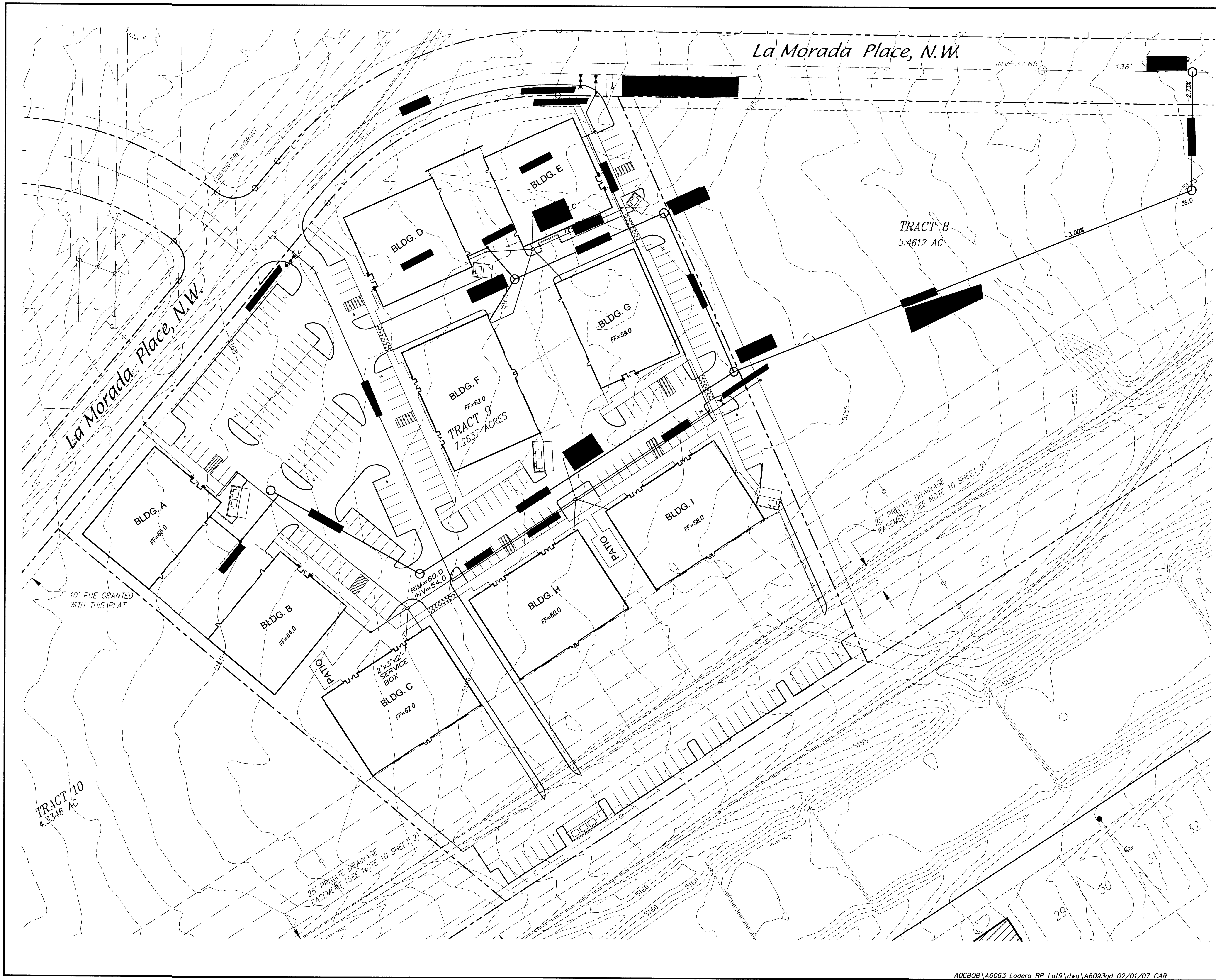
7500 LA MORADA PL, NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06270
DRAWING FILE: 06270\3DESDEVLBP A-201
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
DATE: MARCH 5, 2007

SHEET TITLE
BUILDINGS D, E

SHEET NUMBER
A-203

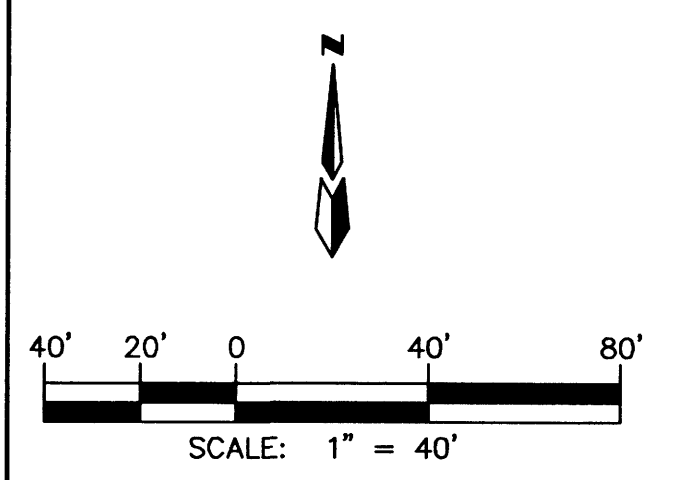


VICINITY MAP ZONE MAP: H-9,10-Z

ACS BENCHMARK

LEGAL DESCRIPTION
LADERA BUSINESS PARK TRACT 9 UNIT 1

- LEGEND
- — — — — EXISTING CURB
 - — — — — STANDARD 8" CURB & CUTTER
 - 28.53+ PROPOSED SPOT ELEVATION
 - ▲▲▲▲▲ WATER BLOCK
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ NEW FIRE HYDRANT
 - FP= 30.38 FINISHED PAD ELEVATION
 - ▭ NEW BUILDINGS
 - - - - - PROPOSED PROPERTY LINE



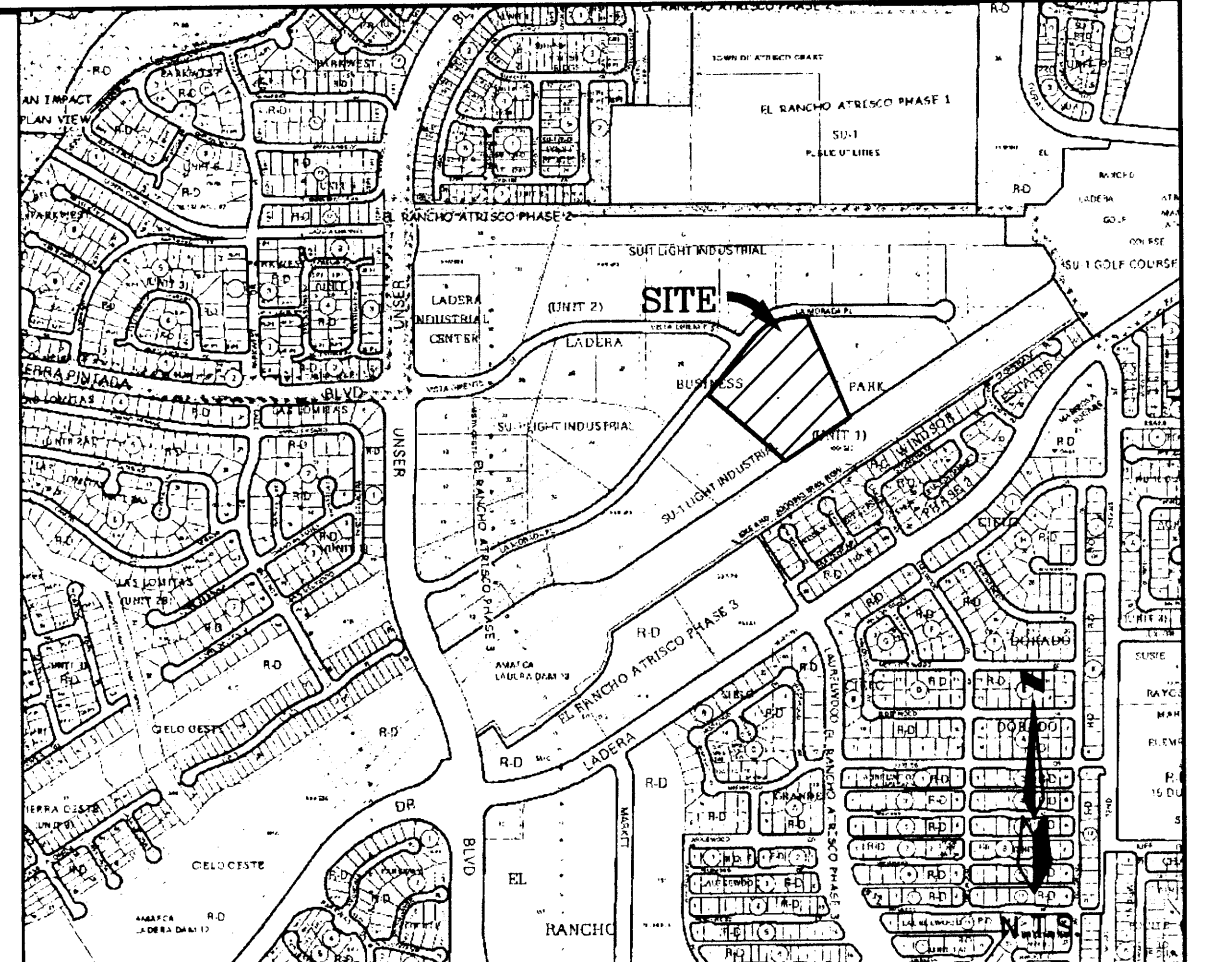
LADERA BUSINESS PARK LOT #9
CONCEPTUAL UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: *ptk* Drawn: *CAR* Checked: *JMM* Sheet 2 of 2
Scale: 1" = 40' Date: 01/18/07 Job: A6093

I:\JOBS\A6093 Ladera BP Lot 9\A6093.dwg, 2/1/2007 6:16:45 AM, Charles

A06B08\A6063 Ladera BP Lot9.dwg\A6093qd 02/01/07 CAR



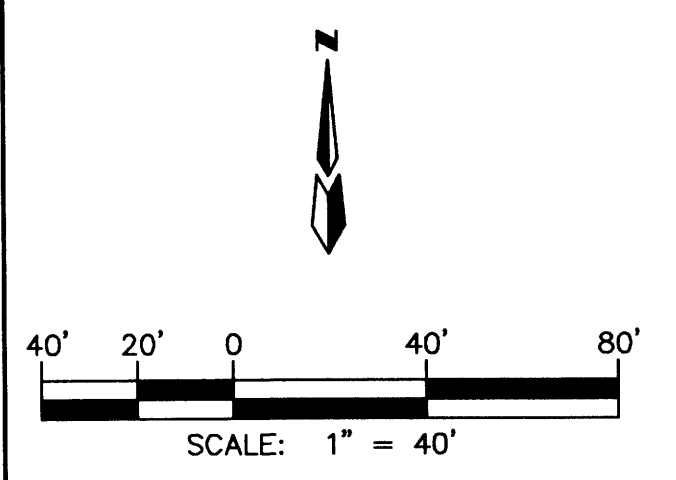
VICINITY MAP ZONE MAP: H-9,10-Z

ACS BENCHMARK

LEGAL DESCRIPTION
LADERA BUSINESS PARK TRACT 9 UNIT 1

LEGEND

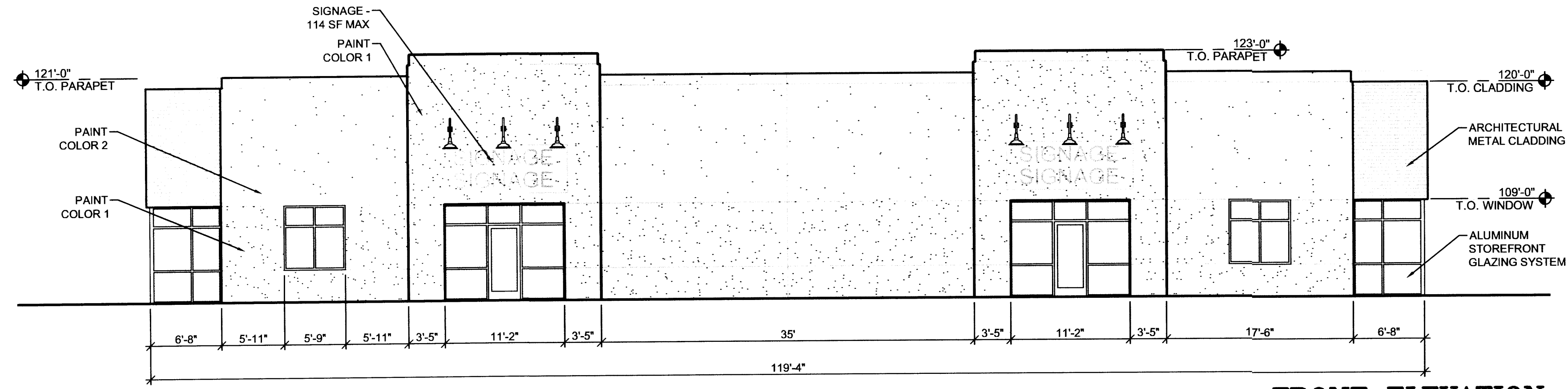
	EXISTING CURB
	EXISTING TOP OF CURB
	EXISTING FLOWLINE
	EXISTING SPOT ELEVATION
	STANDARD 8" CURB & GUTTER
	PROPOSED SPOT ELEVATION
	WATER BLOCK
	NEW FIRE HYDRANT
	FINISHED PAD ELEVATION
	NEW BUILDINGS
	PROPOSED PROPERTY LINE
	PROPOSED FLOW DIRECTION
	PROPOSED FINISH PAD ELEVATION
	PROPOSED SPOT ELEVATION



LADERA BUSINESS PARK LOT #9
CONCEPTUAL GRADING & DRAINAGE PLAN

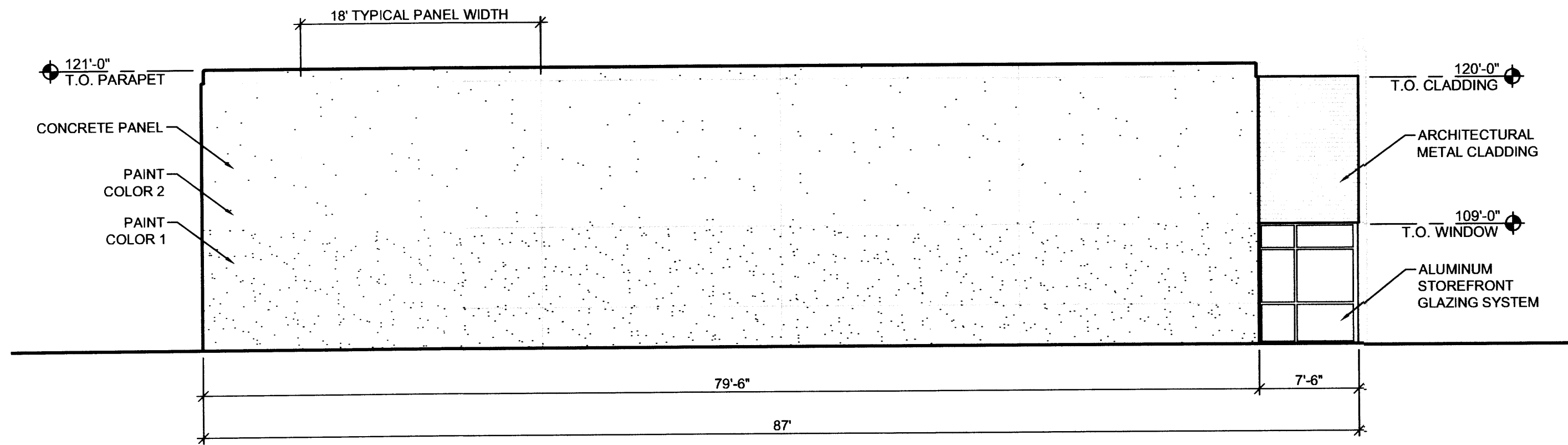
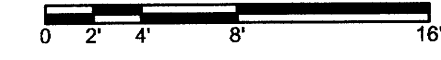
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: *ptk* Drawn: *CAR* Checked: *JMM* Sheet **I** of **2**
Scale: 1" = 40' Date: 01/18/07 Job: A6093



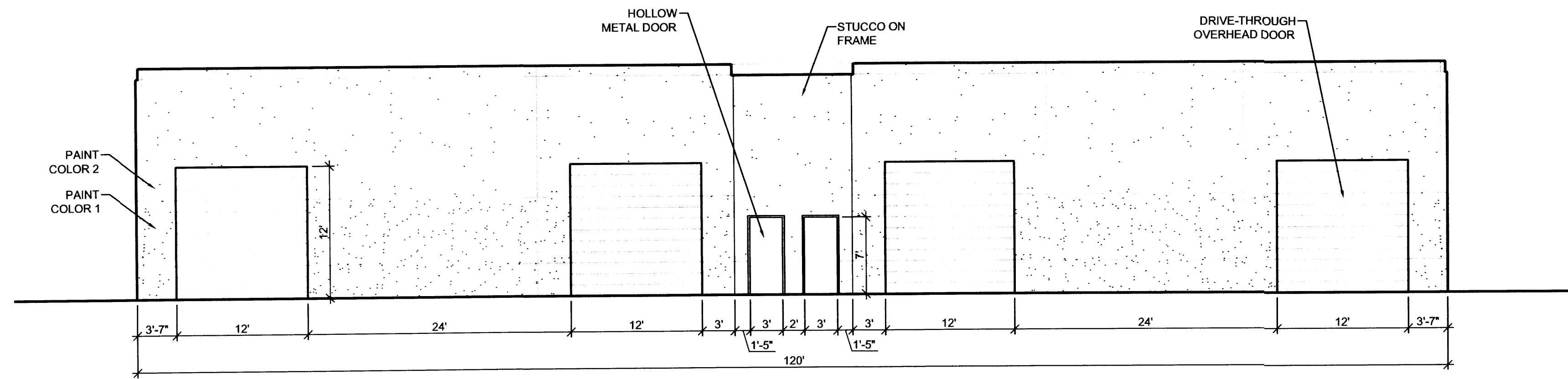
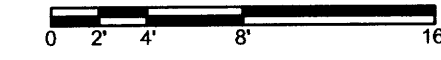
D2 **FRONT ELEVATION**

SCALE: 1/8" = 1'-0"



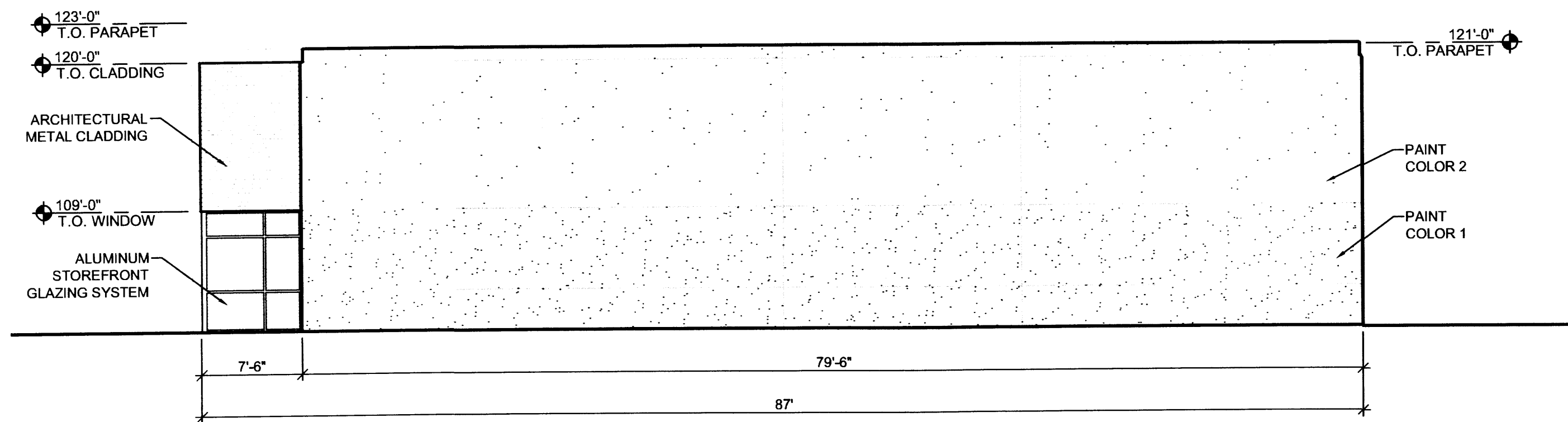
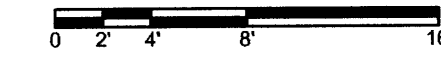
C2 **SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



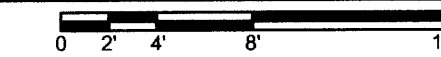
B2 **REAR ELEVATION**

SCALE: 1/8" = 1'-0"



A2 **SIDE ELEVATION**

SCALE: 1/8" = 1'-0"



MATERIAL	COLOR
PAINT:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE

D5 **COLORS LEGEND**



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Albuquerque, New Mexico
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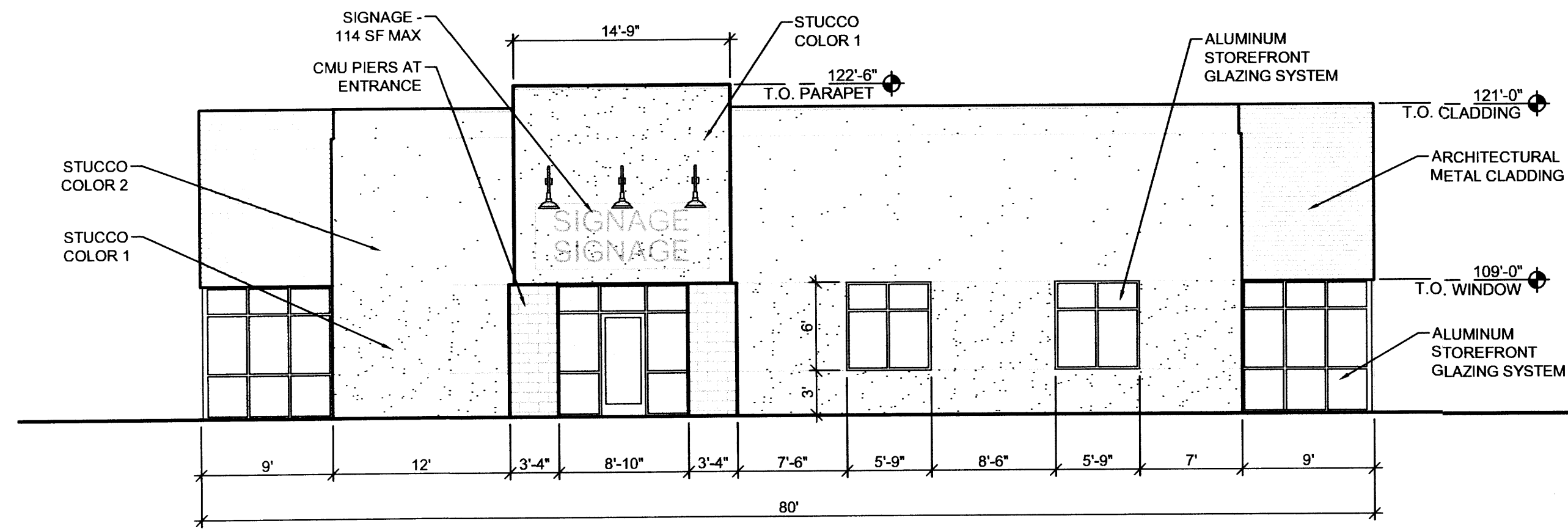
LADERA BUSINESS PARK
TRACT 9
7500 LA MORADA PL, NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06270
DRAWING FILE: 062703DESDEVLBP A-201
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
DATE: MARCH 5, 2007

SHEET TITLE
BUILDINGS C, F, H, I

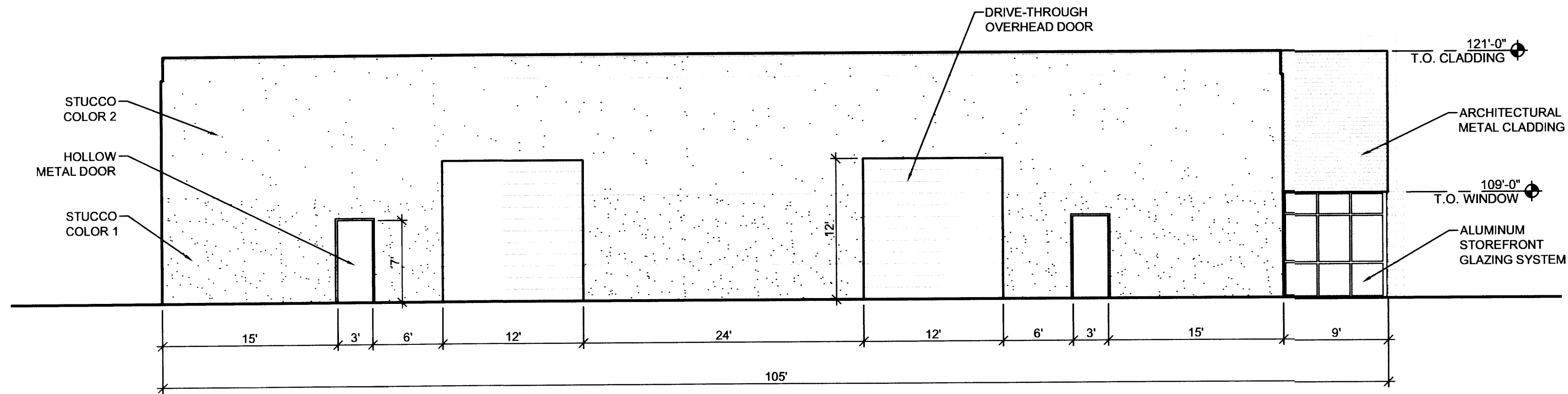
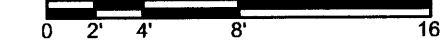
SHEET NUMBER
A-201



FRONT ELEVATION

D2

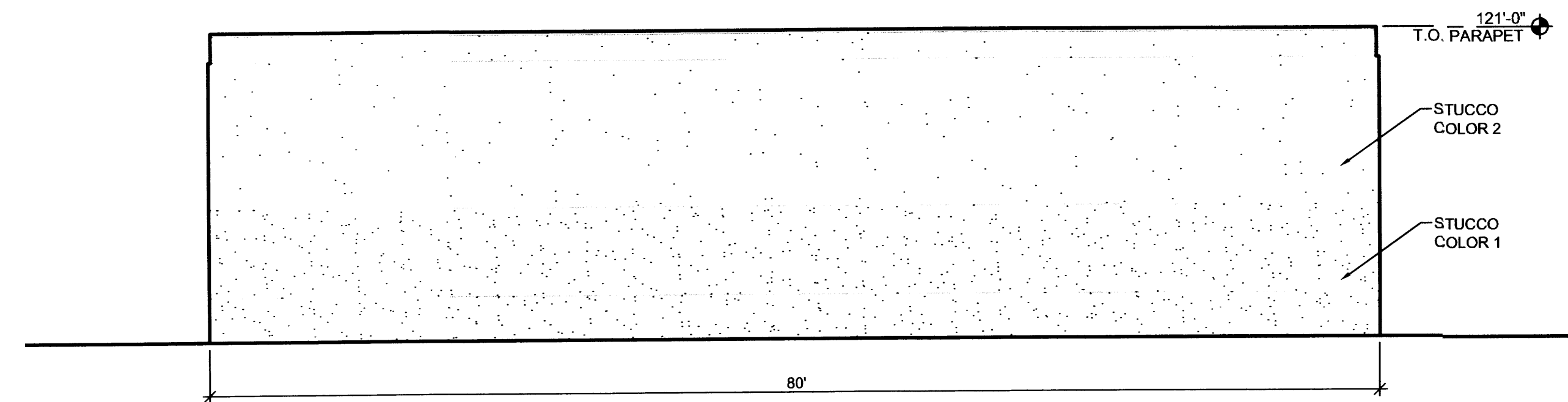
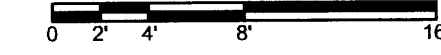
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SIDE ELEVATION

C2

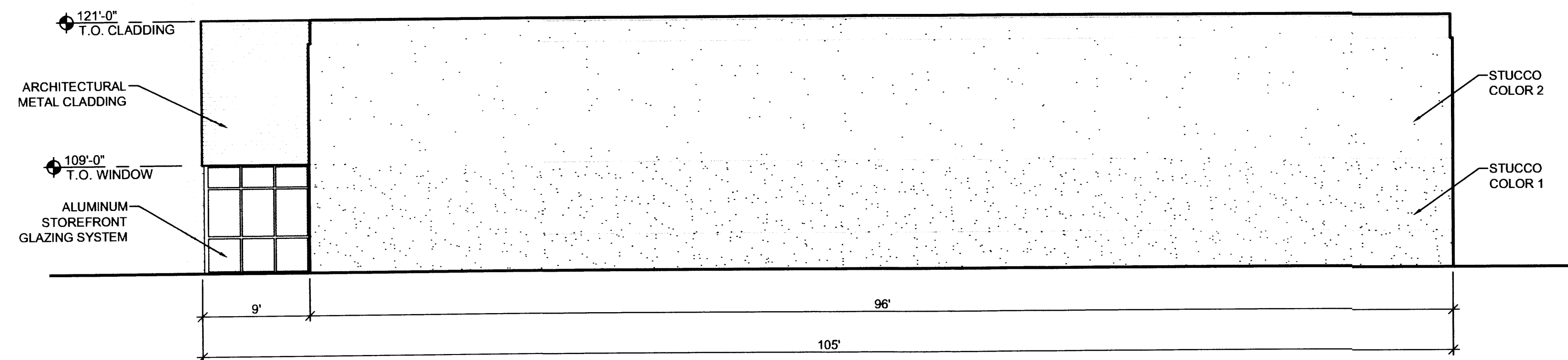
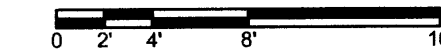
SCALE: 1/8" = 1'-0"



REAR ELEVATION

B2

SCALE: 1/8" = 1'-0"



SIDE ELEVATION

A2

SCALE: 1/8" = 1'-0"



MATERIAL

COLOR

STUCCO:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE
CMU:	TAN

D5

COLORS LEGEND



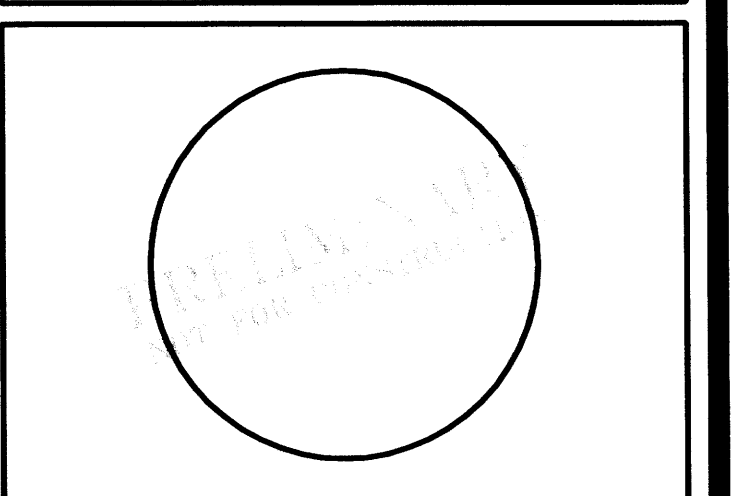
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LADERA BUSINESS PARK

TRACT 9

7500 LA MORADA PL, NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

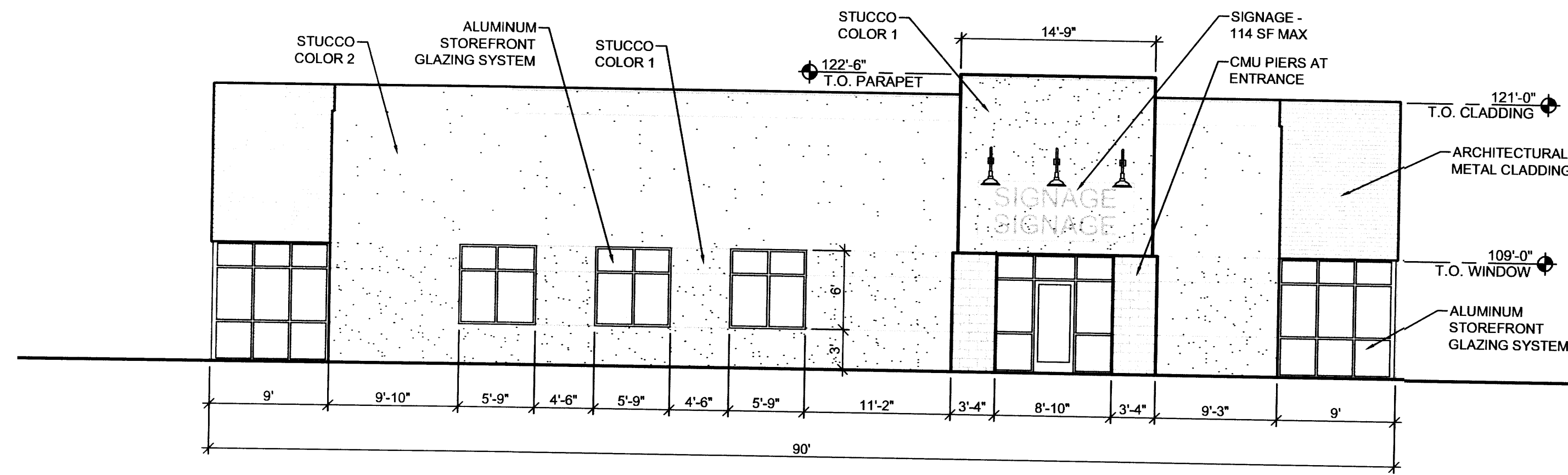
PROJECT NUMBER:	06270
DRAWING FILE:	06270\3DESDEVLBP A-201
DRAWN BY:	LH
CHECK BY:	
COPYRIGHT:	CLAUDIO VIGIL ARCHITECTS 2005
DATE:	MARCH 5, 2007

SHEET TITLE

BUILDINGS A, B, G

SHEET NUMBER

A-202



D2

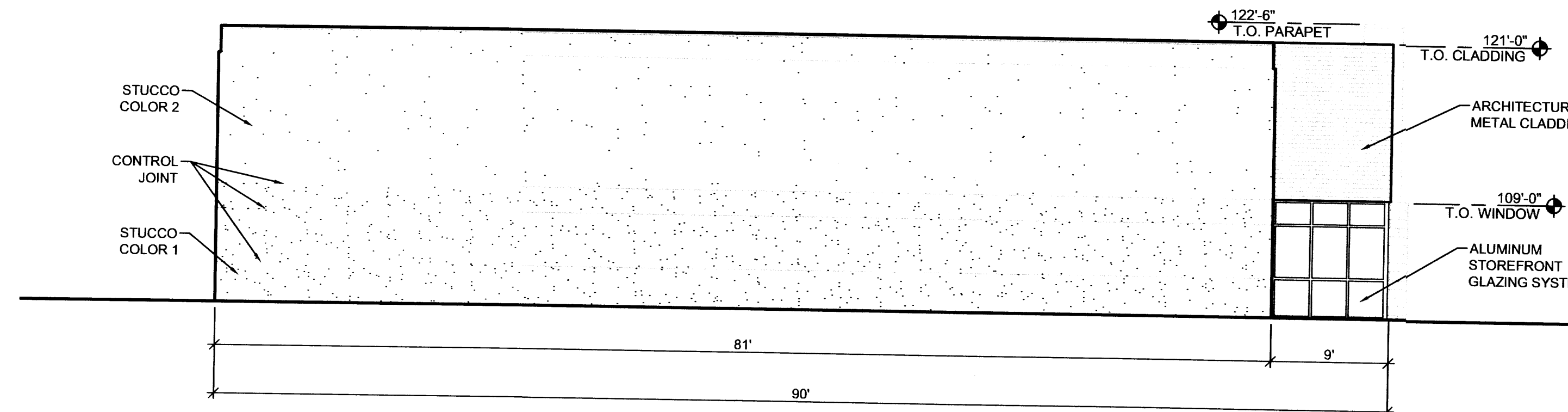
SCALE: 1/8" = 1'-0"

FRONT ELEVATION

D5

COLORS LEGEND

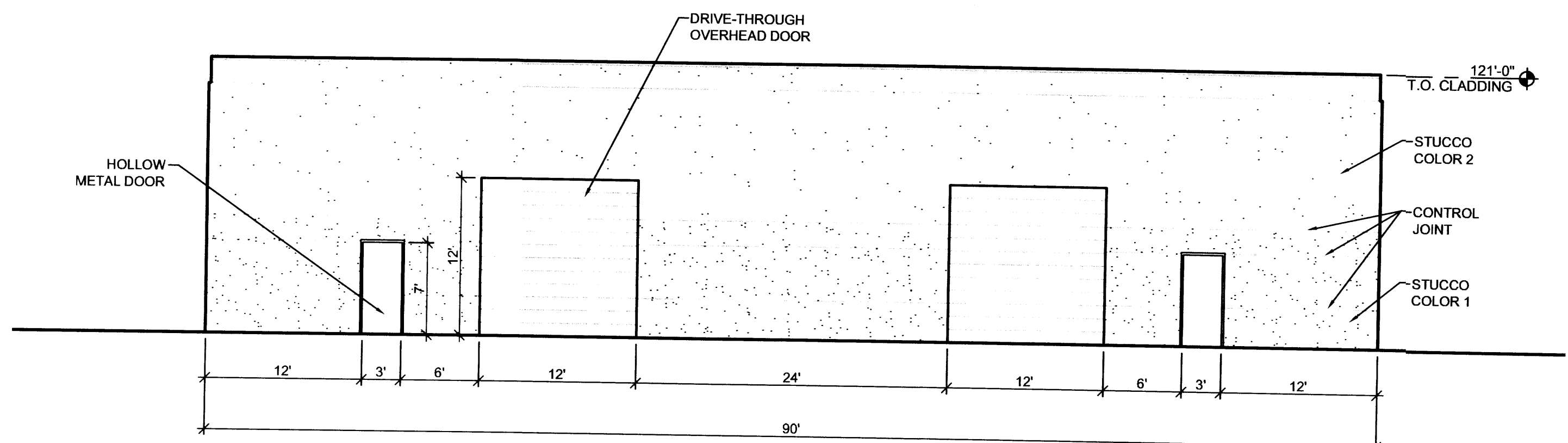
MATERIAL	COLOR
STUCCO:	COLOR 1: DARK TAN COLOR 2: MEDIUM TAN
ALUMINUM STOREFRONT:	CLEAR ANODIZED ALUMINUM
HOLLOW METAL DOORS & FRAMES:	MEDIUM TAN
GLAZING:	BLUE SEMI-REFLECTIVE
OVERHEAD DOORS:	DARK TAN
METAL CLADDING:	DUSTY BLUE
CMU:	TAN



C2

SCALE: 1/8" = 1'-0"

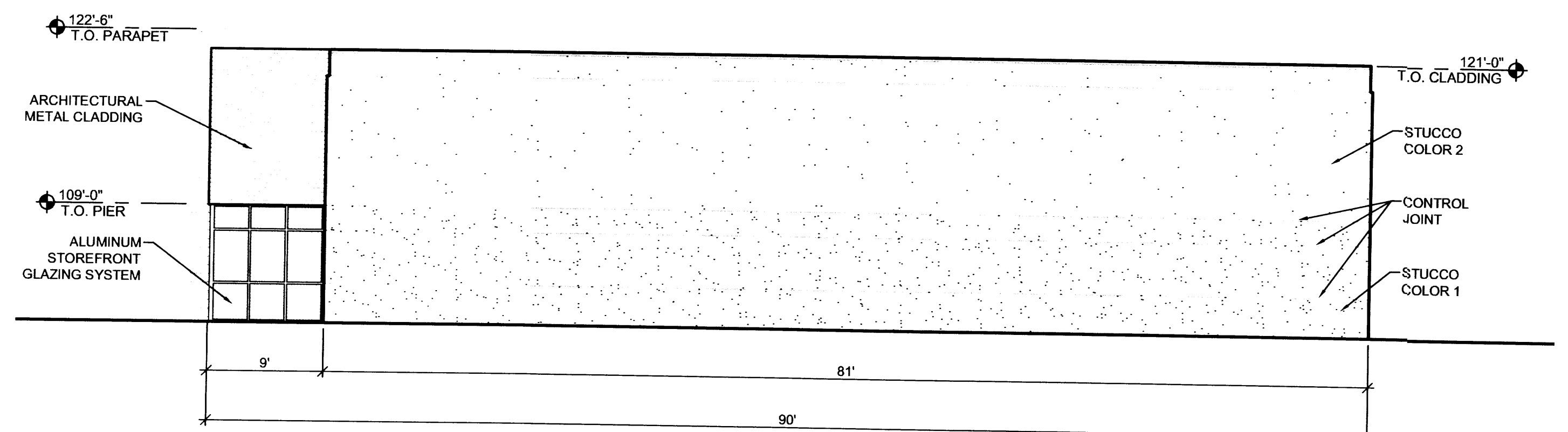
SIDE ELEVATION



B2

SCALE: 1/8" = 1'-0"

REAR ELEVATION



A2

SCALE: 1/8" = 1'-0"

SIDE ELEVATION



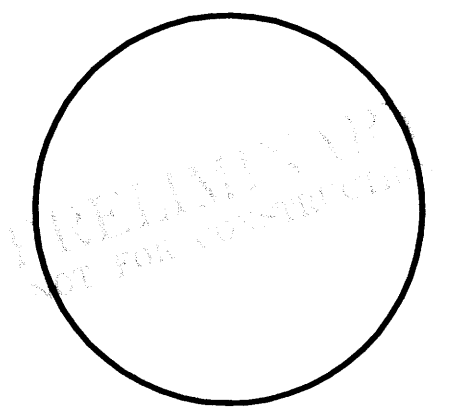
CLAUDIO VIGIL
ARCHITECTS

1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
Fax: (505) 842-1330

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PROFESSIONAL SEAL



LADERA
BUSINESS
PARK

TRACT 9

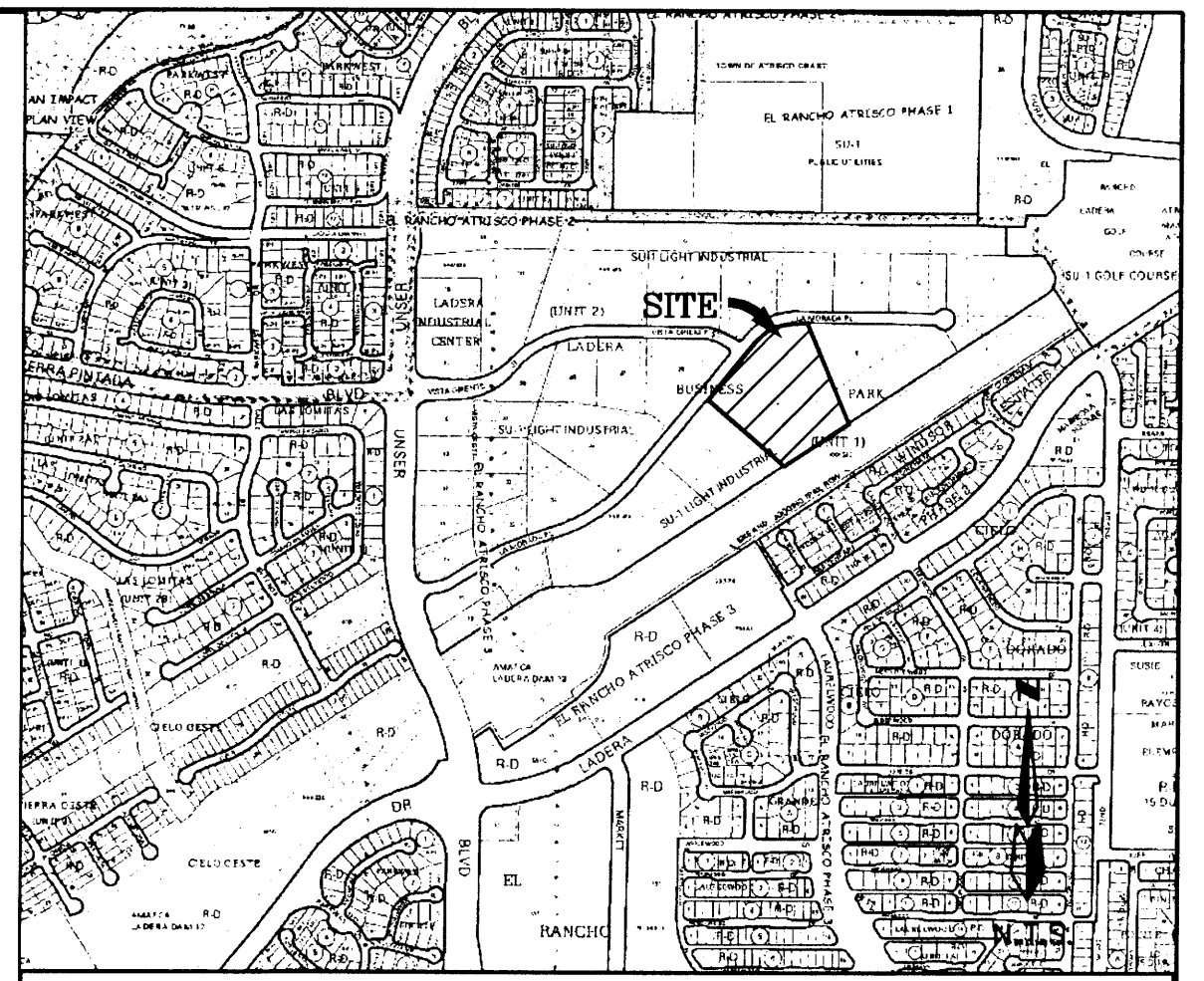
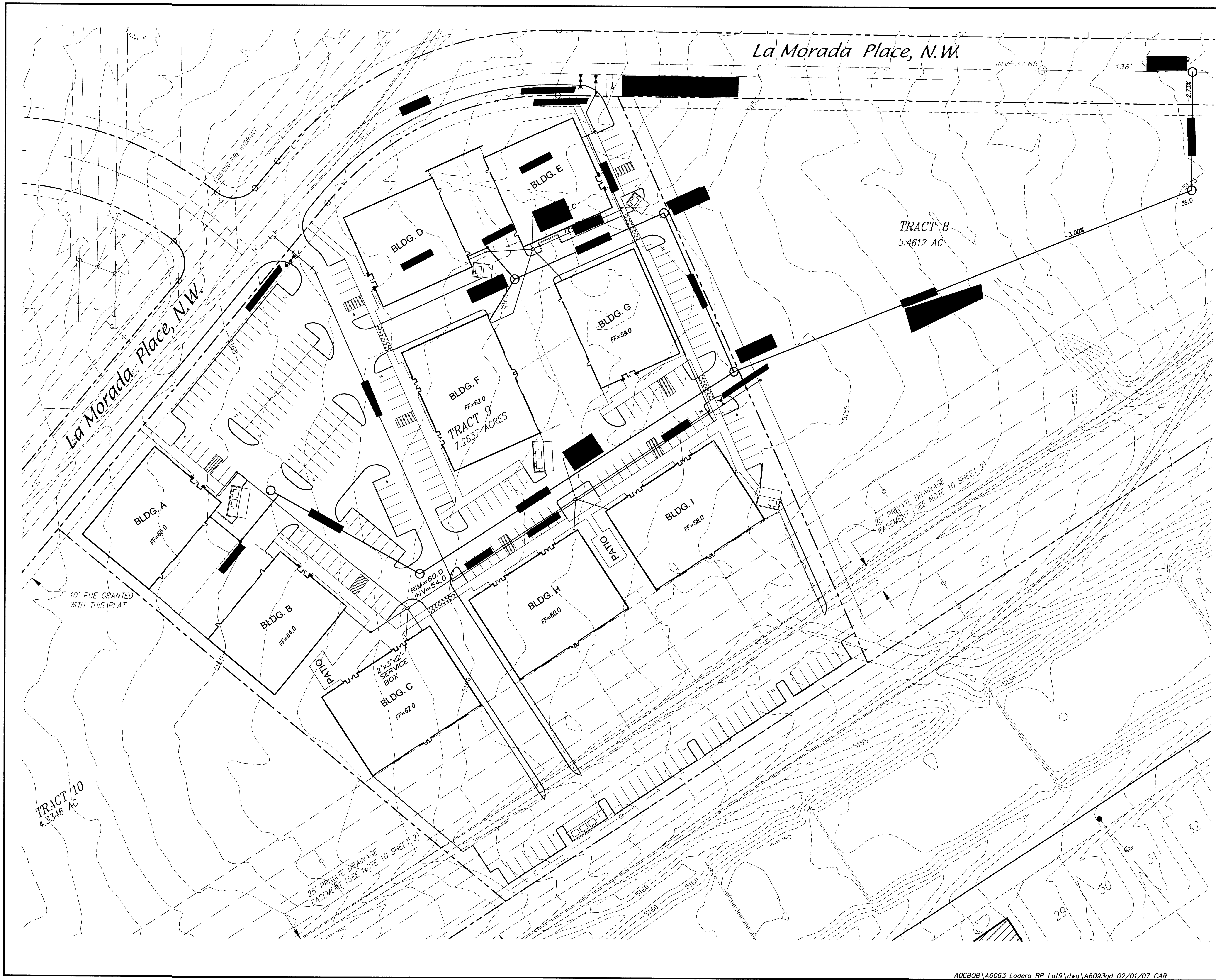
7500 LA MORADA PL, NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

PROJECT NUMBER: 06270
DRAWING FILE: 06270\3DESDEVLBP A-201
DRAWN BY: LH
CHECK BY:
COPYRIGHT: CLAUDIO VIGIL ARCHITECTS 2005
DATE: MARCH 5, 2007

SHEET TITLE
BUILDINGS D, E

SHEET NUMBER
A-203

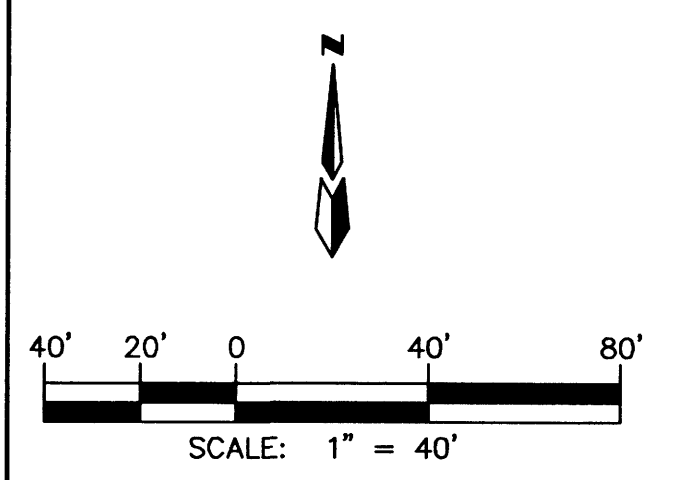


VICINITY MAP ZONE MAP: H-9,10-Z

ACS BENCHMARK

LEGAL DESCRIPTION
LADERA BUSINESS PARK TRACT 9 UNIT 1

- LEGEND
- — — — — EXISTING CURB
 - — — — — STANDARD 8" CURB & CUTTER
 - 28.53+ PROPOSED SPOT ELEVATION
 - ▲▲▲▲▲ WATER BLOCK
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ NEW FIRE HYDRANT
 - FP= 30.38 FINISHED PAD ELEVATION
 - ▭ NEW BUILDINGS
 - - - - - PROPOSED PROPERTY LINE



LADERA BUSINESS PARK LOT#9
CONCEPTUAL UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: *ptk* Drawn: *CAR* Checked: *JMM* Sheet 2 of 2
Scale: 1" = 40' Date: 01/18/07 Job: A6093

I:\JOBS\A6093 Ladera BP Lot 9\A6093.dwg, 2/1/2007 6:16:45 AM, Charles

A06B08\A6063 Ladera BP Lot9.dwg\A6093qd 02/01/07 CAR

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CORPORATE HEADQUARTERS
2580 ESTERS BLVD., SUITE 100
DFW AIRPORT, TX 75261
800-966-5005

CERTIFICATIONS:
IAS CERTIFICATION No: FA-428
CLARK COUNTY MANUFACTURER CERTIFICATION NUMBER (NEVADA): 355

CUSTOMER:
Creative Recreational Designs
PROJECT NAME:
79707-Albuquerque Bilingual Academy
LOCATION:
Albuquerque NM
PROJECT NUMBER:
Q-012157

STRUCTURE TYPE:
4 Post HIP 401
SIZE:
24' 0" x 34' 0" x 10' 0"

SCALE: AS NOTED
DRAWING SIZE:

B

REV	DESCRIPTION	DATE	DRW	CHK	ENG
NC	RELEASE FOR CONSTRUCTION				
				MP	MP
				MP	MP

Eng. By: MP
Design By: MP
Approved By: MP

DRAWING DESCRIPTION:
ELEVATIONS AND DETAILS

DWG. PAGE 2000

REV **NC**

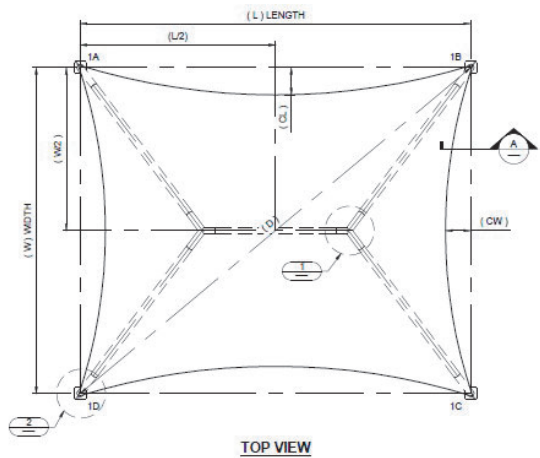


TABLE OF DIMENSIONS

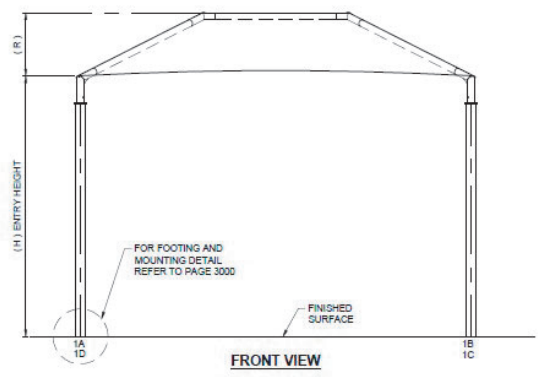
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TABLE OF DIMENSIONS KEY

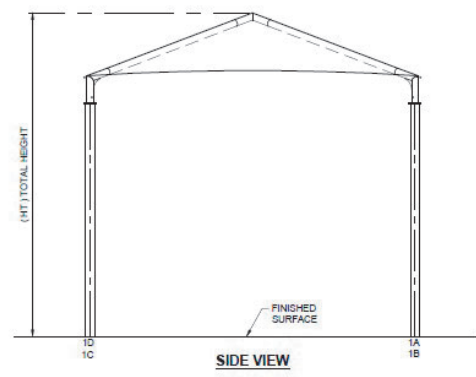
L	LENGTH
W	WIDTH
H	DISTANCE FROM FINISHED SURFACE TO PIN
R	RAISE FROM RAFTER TO CROSSPIECE
HT	TOTAL HEIGHT
CL	FABRIC CATENARY - LENGTH
CW	FABRIC CATENARY - WIDTH
D	DIAGONAL
COL	COLUMN LENGTH
RL	RIDGE LENGTH
EL	EXTENSION LENGTH



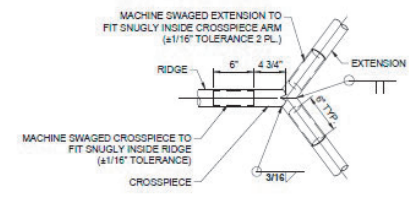
TOP VIEW



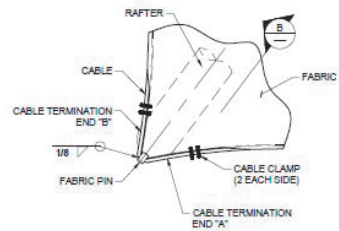
FRONT VIEW



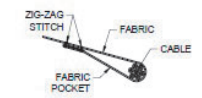
SIDE VIEW



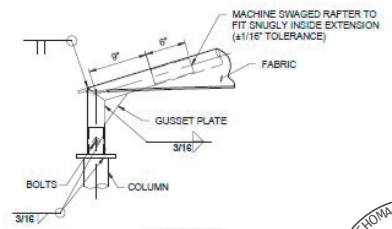
DETAIL 1



DETAIL 2

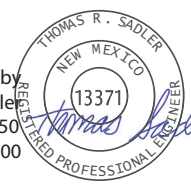


SECTION A-A



VIEW B-B

Digitally signed by Thomas R. Sadler
Date: 2021.09.30 10:27:50
'-05'00





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 - SLUMP: 3-5
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 - AGGREGATE SHALL CONFORM TO ASTM C-33
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- SOIL PARAMETERS FOR FOOTING ANALYSIS; TABLE 1806.2, CLASS - 5 - 1500(P/SI)
- FOR SPREAD FOOTING, EDGE OF COLUMN OR ANCHOR BOLTS MUST BE SET AT LEAST 12" FROM THE EDGE OF SPREAD FOOTING EDGE.
- FOR DRILLED PIER, THE EDGE OF COLUMN MUST BE SET AT LEAST 34" FROM REBAR WITHIN DRILLED PIER.
- SPREAD FOOTING ALLOWED TO BE ROTATED AS REQUIRED.

TABLE FOR SPREAD FOOTING								
LENGTH		THICKNESS		TOP AND BOTTOM REINFORCEMENT			MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS & SURFACE)
(FT)	(FT)	QTY.	SIZE	SPACING (IN)		(IN)	(IN)	
4.50	3.00	6	#5	@	9.5	O.C.E.W.	33	19

TABLE FOR NON-CONSTRAINED DRILLED PIER FOOTING								
DIAMETER		DEPTH	VERTICAL REBAR		TIES		MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS & SURFACE)
(FT)	(FT)	(FT)	QTY.	SIZE	QTY.	Ø LOOP (FT)	SIZE	(IN)
2.00	6.00	6.00	6	#6	11	1.5	#3	33

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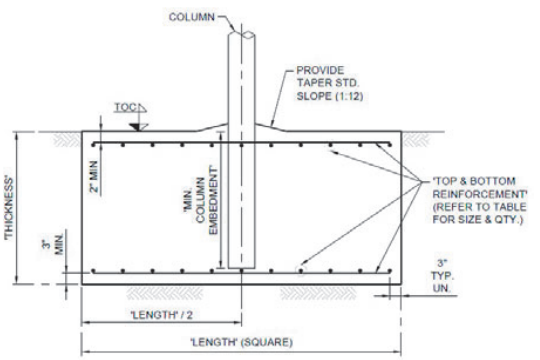
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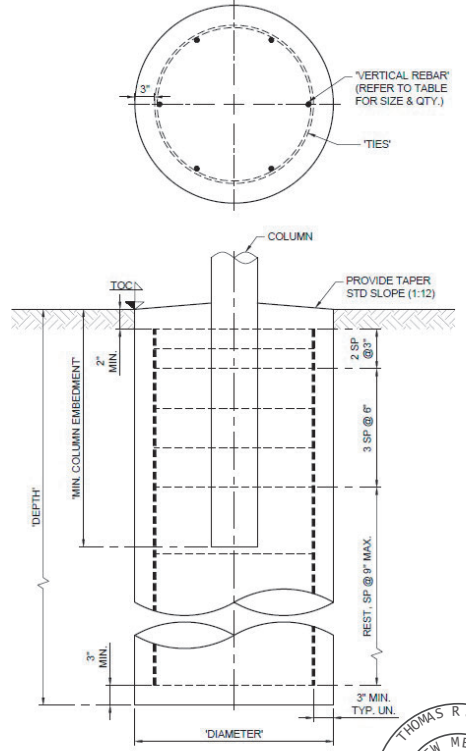
DRAWING DESCRIPTION:
FOOTING DETAILS

DWG. PAGE 3000

REV NC



SPREAD FOOTING TYPE
EMBEDDED SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS



DRILLED PIER FOOTING TYPE

EMBEDDED SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS & QTY.

Digitally signed by Thomas R. Sadler
Sadler
Date: 2021.09.30 10:28:00 -05'00



GENERAL NOTES

DESIGN LOADS

BUILDING CODE	INTERNATIONAL BUILDING CODE 2015
LIVE LOADS	5 PSF
SNOW LOAD	5 PSF
WIND LOADS	115 MPH* and 180 MPH with Fabric Off
	3-Sec. Gust, RISK CATEGORY II & EXPOSURE C

* 115 MPH ACCORDING TO THE ULTIMATE WIND SPEED MAPS OF ASCE 7-10 IS EQUIVALENT TO THE NOMINAL WIND SPEED OF 90 MPH ACCORDING TO ASCE 7-05 AND IBC 2015 EQ. 16-33.

STRUCTURAL STEEL

- ALL STRUCTURAL SHAPES SHALL BE COLD FORMED HSS ASTM A500 GRADE C. UNLESS OTHERWISE NOTED. TYPICAL MECHANICAL PROPERTIES FOR HSS PRODUCTS:

SQUARE AND RECTANGULAR	50,000 PSI YIELD / 62,000 PSI TENSILE
ROUND PIPE	46,000 PSI YIELD / 62,000 PSI TENSILE
- ALL GALVANIZED STEEL TUBE PRODUCTS ARE MANUFACTURED PER ASTM A500, TYPICAL MECHANICAL PROPERTIES ACHIEVED FOR GALVANIZED TUBE PRODUCTS:

ROUND TUBE	45,000 PSI YIELD / 48,000 PSI TENSILE
------------	---------------------------------------
- ALL PLATES SHALL COMPLY WITH ASTM A572 GRADE 50.
- ALL STEEL TUBING SHALL BE TRIPLE COATED FOR RUST PROTECTION USING THE IN-LINE ELECTROPLATING COAT PROCESS. TUBING SHALL BE INTERNALLY COATED WITH ZINC AND ORGANIC COATINGS TO PREVENT CORROSION AS MANUFACTURED BY ALLIED TUBE & CONDUIT.
- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
- ALL SHOP WELDS SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN WELDING SOCIETY (AWS) D1.1 SPECIFICATIONS. ALL WELDS SHALL BE CONTINUOUS WHERE LENGTH IS NOT GIVEN, UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS. ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE WEAKER MEMBER. ALL WELDS SHALL BE MADE USING E70XX .045 WIRE.
- SHOP CONNECTIONS SHALL BE WELDED UNLESS NOTED OTHERWISE. FIELD CONNECTIONS SHALL BE AS INDICATED ON THE DRAWINGS (IF REQUIRED). ALL FILLET WELDS SHALL BE A MINIMUM OF 3/16" UNLESS OTHERWISE NOTED. FIELD WELDS SHALL NOT BE ALLOWED.
- ALL HIGH STRENGTH BOLTS SHALL COMPLY WITH ASTM F3125 GRADE A325 (GALVANIZED). ALL NUTS SHALL COMPLY WITH ASTM A563DH, AND WASHERS SHALL COMPLY WITH ASTM F436.
- ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.
- ALL STAINLESS STEEL BOLTS / STUDS SHALL COMPLY WITH ASTM F-593, ALLOY GROUP 1 OR 2. ALL NUTS SHALL COMPLY WITH ASTM F-594 ALLOY GROUP 1 OR 2.
- ALL STRUCTURAL STEEL SHALL BE POWDER COATED WITH ONE SHOP COAT (2.5 MILS MIN.) OF ZINC-RICH PRIMER, UNDERCOAT, AND FINISH COAT, OR EQUIVALENT PAINT SYSTEM. THIS COAT IS A WEATHER RESISTANT POWDER COATING BASED ON POLYESTER TGIC (MANUFACTURED BY SHERWIN WILLIAMS, ASKO NOBEL, PPG OR TIGER DRYLAC). TO ACHIEVE OPTIMUM ADHESION, IT IS RECOMMENDED THAT THE PROPER TREATMENT AND DRYING TAKE PLACE BEFORE COATING. POLYESTER POWDER (TGIC) SPECIFICATIONS SHALL BE AS FOLLOWS:
 - PENCIL HARDNESS (ASTM D-3363).
 - HUMIDITY (ASTM D-2247).
 - SOLVENT RESISTANCE (PCI METHOD) - 50 DBL RUBS SL. SOFTNESS.

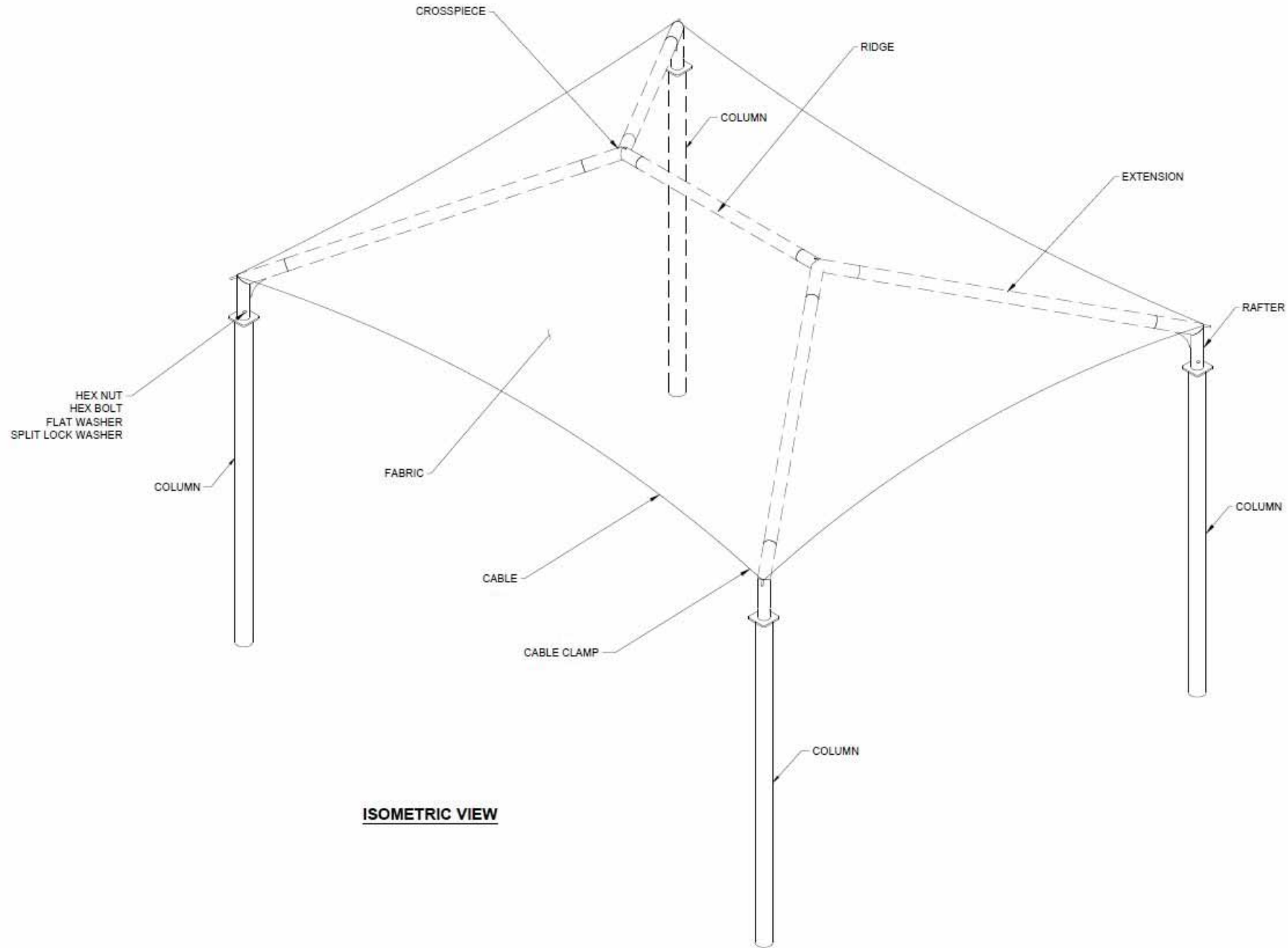
FABRIC SPECIFICATION

- FABRIC SHALL BE A HIGH DENSITY POLYETHYLENE WITH ULTRA VIOLET ADDITIVES, WITH MONOFILAMENT AND TAPE CONSTRUCTION GIVING A STABLE MATERIAL AND RACHEL KNITTED TO ENSURE MATERIAL WILL NOT UNRAVEL IF CUT
- | | | |
|----------------|------------------------------|----------------------|
| | <u>SOLID COLORS</u> | <u>STRIPE COLORS</u> |
| TEAR STRENGTH | WARP 220.4622 LB | WARP 182.9836 LB |
| | WEFT 462.9707 LB | WEFT 401.2413 LB |
| BURST STRENGTH | 37.7098 PSIA | 33.0686 PSIA |
| FADING | MINIMUM FADING AFTER 5 YEARS | |

LIFE EXPECTANCY: A MINIMUM OF 8 YEARS CONTINUOUS EXPOSURE TO THE SUN
- FIRE TEST ON FABRIC: NFPA 701 TEST 2 AND ASTM E 84
- THREAD-PTFE (TEFLON) USED MEET THE FOLLOWING SPECIFICATIONS: HIGH STRENGTH, LOW SHRINKAGE, WIDE TEMPERATURE RANGE, FLEX ABRASION RESISTANT AND UV RADIATION IMMUNITY. LOCKSTITCH - 1200 DENIER. CHAINSTITCH THREAD - 2400 DENIER.

AIRCRAFT CABLE

- WIRE ROPE CABLE SHALL BE 7x19 STRAND CORE GALVANIZED WIRE ROPE WITH A BREAKING STRENGTH VALUE OF 14,400 LBS (3/8" DIAMETER)
- CABLES SHALL BE FED THROUGH THE FABRIC SLEEVES AROUND THE PERIMETER OF THE CANOPY AND TENSIONED UNTIL THE FABRIC PANELS (DESIGNED PURPOSEFULLY UNDERSIZED) REACH A TAUNT APPEARANCE. ANY LONG TERM CABLE SAG SHALL BE MINIMIZED DURING THE MAINTENANCE RE-TIGHTENING VISITS AS REQUIRED.



ISOMETRIC VIEW

LIST OF MATERIALS

ITEM	QTY	DESCRIPTION	SMI PART No.
RAFTER	4	UNPAINTED 350RAF-F5	350RAF-F5
CROSSPIECE	2	UNPAINTED 350CP-F5	350CP-F5
BOLT	4	BOLT,HEX,1/2"-13 x 4-1/2",GLV ASTM A325	309108
HEX NUT	4	NUT,HEX,1/2",GLV 1213 A 194 2H	308069
NUT	8	WASHER,FLAT,1/2" GLV ASTM F436	307622
WASHER	4	WASHER,SPLIT LOCK, 1/2",GLV	307625
CABLE CLAMPS	4	CLAMPS,CABLE,3/8" DF GLV	307629
COLUMN	4	4.5 GA 07 ROUND TUBING	PIH-450-146-300-SIN
EXTENSION	4	3.5 GA 08 ROUND TUBING	EXT-350-177
RIDGE	1	3.5 GA 08 ROUND TUBING	RID-350-182
FABRIC	1	FABRIC SHADESURE NAVY BLUE	200000SNB
CABLE	1	WIRE ROPE, 7x19, 3/8",GALV	308175

NOTICE

- FABRIC TOP NEEDS TO BE REMOVED IF SNOW EXCEEDING 5 PSF IS ANTICIPATED
- FABRIC TOP NEEDS TO BE REMOVED IF WINDS EXCEEDING 115 MPH ARE ANTICIPATED. SEE NOTES FOR DESIGN LOADS

CODE ANALYSIS

BUILDING	OCCUPANCY	CONSTRUCTION TYPE	AREA (SQFT)	OCCUPANT LOAD
SHADE STRUCTURE 24' 0" x 34' 0"	U	V-B	816	N/A



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800-966-5005

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79707-Albuquerque Bilingual Academy

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PROJECT NUMBER:

Q-012157

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4 Post HIP 401

SIZE:

24' 0" x 34' 0" x 10' 0"e

SCALE: AS NOTED

DRAWING SIZE

B

REV	NC	DESCRIPTION FOR CONSTRUCTION	DATE	DRW	MP	CHK	MP	ENG	MP

Eng. By:	MP
Design By:	MP
Approved By:	MP

DRAWING DESCRIPTION:

NOTES / LOM

DWG. PAGE

1000

REV **NC**

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DWG. PAGE
2000

REV
NC

TABLE OF DIMENSIONS

L	W	H	R	HT	CW	CL	D	COL	RL	EL
34' 0"	24' 0"	10' 0"	4' 6"	14' 6"	1' 6"	2' 2"	41' 7"	12' 2"	15' 2"	14' 9"

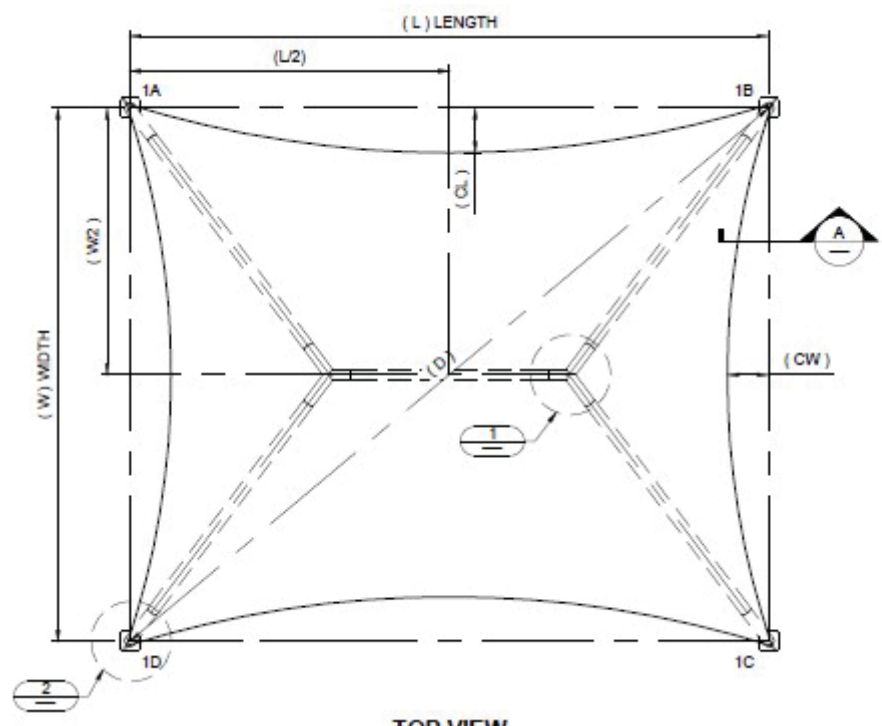
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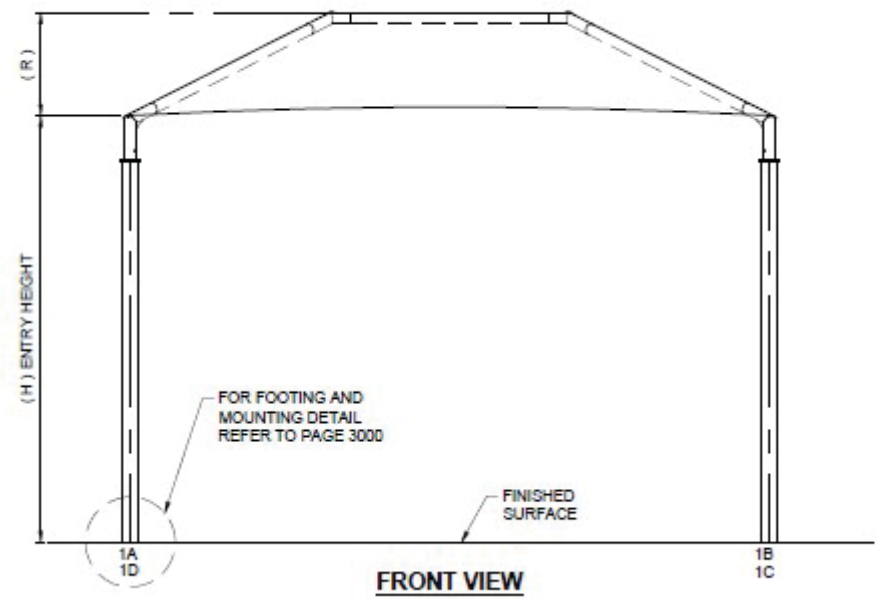
PLAN NORTH



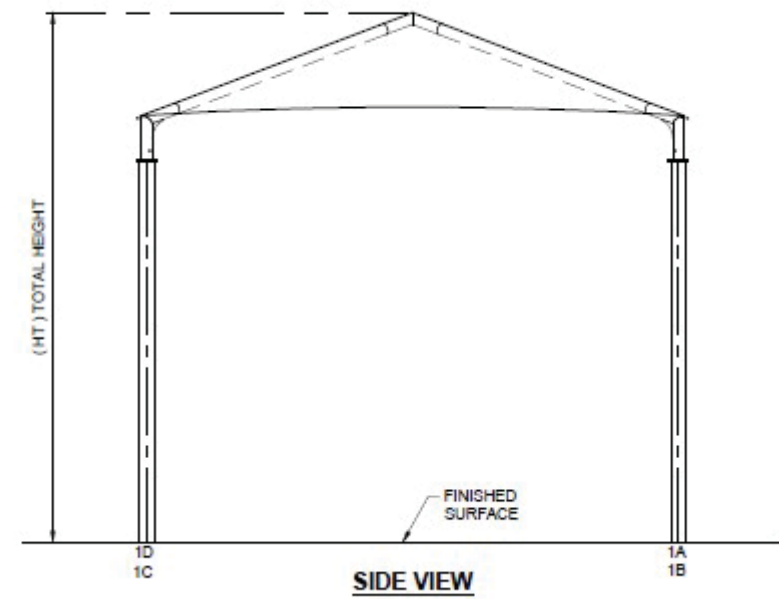
FOR TRUE NORTH
SEE CUSTOMER'S
SITE PLAN



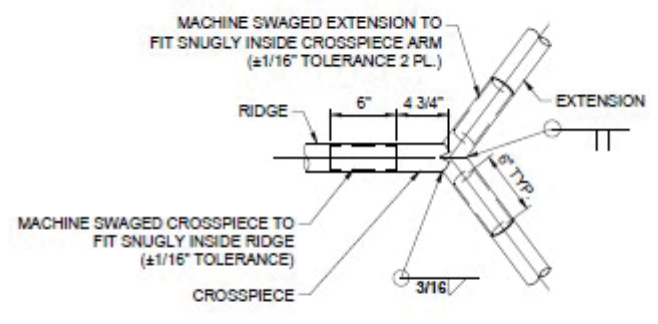
TOP VIEW



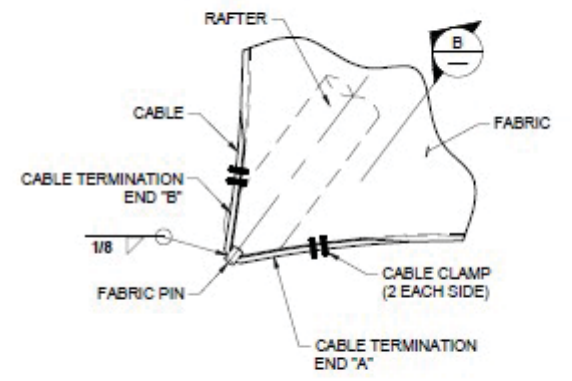
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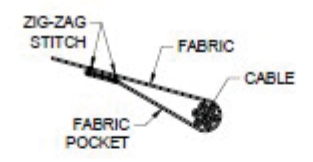
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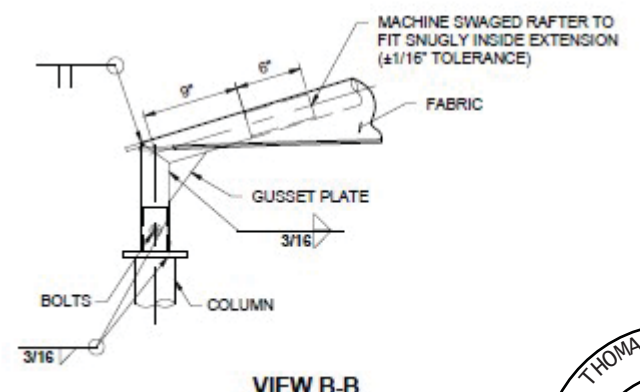
DETAIL 1



DETAIL 2



SECTION A-A



VIEW B-B



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		QTY.	SIZE	SPACING (IN)			
(FT)	(FT)					(IN)	(IN)
4.50	3.00	6	#5	@	9.5	O.C.E.W.	33

TABLE FOR NON-CONSTRAINED DRILLED PIER FOOTING							
DIAMETER	DEPTH	VERTICAL REBAR		TIES		MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)
		QTY.	SIZE	QTY.	Ø LOOP (FT)		
(FT)	(FT)					(IN)	(IN)
2.00	6.00	6	#6	11	1.5	#3	33



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USASHADE
A Fabric Structures, Inc.

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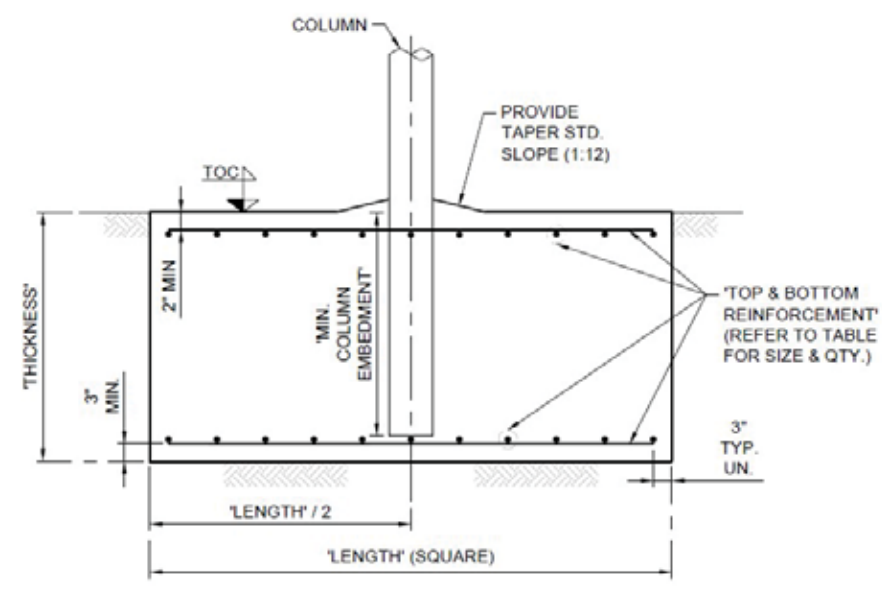
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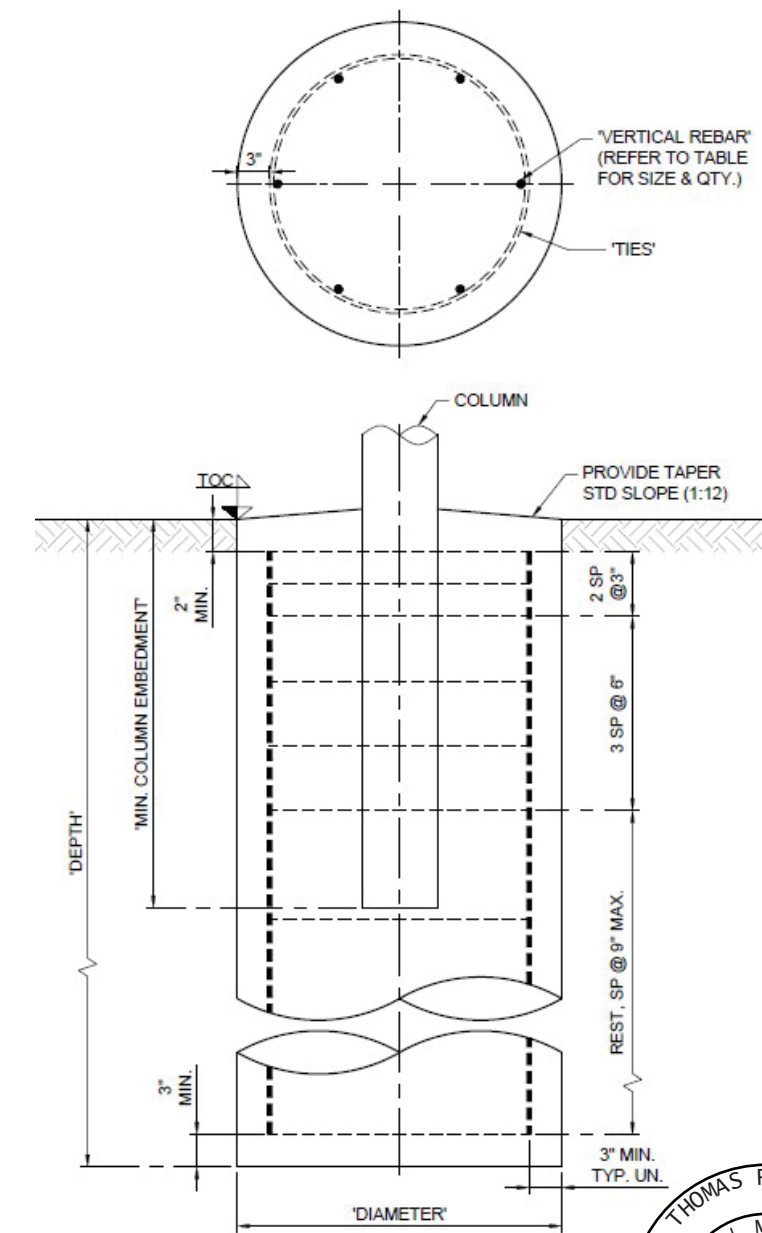
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FOOTING DETAILS

DWG. PAGE
3000

REV
NC



SPREAD FOOTING TYPE
EMBEDDED SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS



DRILLED PIER FOOTING TYPE
EMBEDDED SCHEMATIC VIEW ONLY
REFER TO TABLE FOR VARIABLE DIMENSIONS & QTY.

