# $A^{\rm City\,of}_{lbuquerque}$



## DEVELOPMENT REVIEW APPLICATION

flective 4:17/19

Please check the appropriate box and	refer to suppl	emental forms for sub	amittal requirements. All fe	es must l		pplication.
Administrative Decisions	1000		Iblic Meeting or Hearing	1	Decisions	
Archaeological Certificate (Form P3)		Site Plan – EPC includir rm P1)	ng any Variances - EPC		ption or Amendment of C Fadity Plan (Form Z)	Comprehensive
Historic Certificate of Appropriateness (Form L)		Master Development Pla	an (Form P1)		olich or Amendment of F allor (Form L)	listoric
Alternative Signage Plan (Form P3)		Historic Certificate of Ap	propriateness Major	Ame	indirent of IDO Text (Fo	m Z)
X Minor Amendment to Site Plan (Form F	23) 🗌 (	Demolition Outside of H	PO (Form L)	Anne	exation of Land (Form Z	1
WTF Approval (Form W1)	- El F	-listoric Design Standar	ds and Guidelines (Form L)	Ame	indrent to Zoning Map -	- EPC (Form Z)
		Nireless Telecommunic rm W2)	ations Facility Waiver	C Ame	indirent to Zoning Map	- Council (Form Z)
				Appeal	s	
				Deci A)	SIGIDY EPC LC. ZHE	or City Staff (Form
APPLICATION INFORMATION	l					
Applicant Cheis Joves			and the second	Pho	one 505-836	-2206
Address 7500 LA MORAD	A Pl. N	la			all KHUNTLP	
City Alb. Mal			State: NM	Zip		
	istaine	1585 1.400		Pho	one 505 269-7	879
Accress 7500 LA MALA		to 276 UN	USER RIVD		all ACL/9850	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
CL AN	PANCHO		State: MM	Zip.		not ent
Proprietary Interest in Site			List all owners.		-07.57	
			24'X34'@B		U	
SITE INFORMATION (Accuracy of the e	xisting legal	description is crucial	Attach a separate sheet if	necessa	ry.)	
Lot or Tract No 9			Block 0000	Uni		
Subdivision Addition ADDED BUISI	VESS H	rek NR-C	MRGCD Map No.	UP	C Core 201304604	5 04263 SW
Zone Atlas Page(s) H-10-2		Existing Zoning SO	1	Pro	pose: Zoning	
# of Existing Lots		# of Proposed Lots		Tot	al Ana of Site (acres)	
LOCATION OF PROPERTY BY STREET	S					
Site Address/Street		Between:		and:		Less - Les Les
CASE HISTORY (List any current or priv	or project and	d case number(s) that	may be relevant to your re	quest.)		
- Aug		No. 14				
Signature	<b></b>	1 11	_	Dat	1:2-8-20	22
Printed Name: Slewk	evea	tetto	5	34	Appleant or X Agent	
FOR OFFICIAL USE ONLY						
Case Numbers	Action	Fees	Case Numbers		Action	Fees
Meeting/Hearing Date:				Fee	e Tolai	
Staff Signature			Date:	Pro	ject #	

## FORM P3: ADMINISTRATIVE DECISIONS AND MINOR AMENDMENTS

A single PDF file of the complete application including all plans and documents being submitted must be emailed to PLNDRS@cabg.gov prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided on a CD.

- INFORMATION REQUIRED FOR ALL ADMINISTRATIVE DECISIONS OR AMENDMENTS
  - Letter of authorization from the property owner if application is submitted by an agent
  - Zone Atlas map with the entire site clearly outlined and labeled

## ARCHEOLOGICAL CERTIFICATE

- \_\_\_\_ Archaeological Compliance Documentation Form with property information section completed
- Only the information above is required unless the City Archaeologist determines that the application does not qualify for a Certificate of No Effect, in which case a treatment plan prepared by a gualified archaeologist that adequately mitigates any archeological impacts of the proposed development must be submitted and reviewed for a Certificate of Approval per the criteria in IDO Section 14-16-6-5(A)(3)(b)

## MINOR AMENDMENT TO SITE PLAN - ADMIN, EPC, or DRB

- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Y)(2)
- The approved Site Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval
- The proposed Site Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.
- Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

## Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

## MINOR AMENDMENT TO SITE DEVELOPMENT PLAN APPROVED PRIOR TO THE EFFECTIVE DATE OF THE IDO

- X Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(Z)(1)(a)
- The approved Site Development Plan being amended
- Copy of the Official Notice of Decision associated with the prior approval NA
- X The proposed Site Development Plan, with changes circled and noted
- Refer to the Site Plan Checklist for information needed on the proposed Site Plan.

## Site M Completed Site & Building Design Considerations Form in accordance with IDO Section 5-2(D) for new commercial and multifamily development except if the development is industrial or the multifamily is less than 25 units

Minor Amendments must be within the thresholds established in IDO TABLE 6-4-4. Any amendment beyond these thresholds is considered a Major Amendment and must be processed through the original decision-making body for the request.

## ACCELERATED EXPIRATION SITE PLAN

- \_\_\_\_\_ Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-4(X)(2)(c)
- Site Plan to be Expired

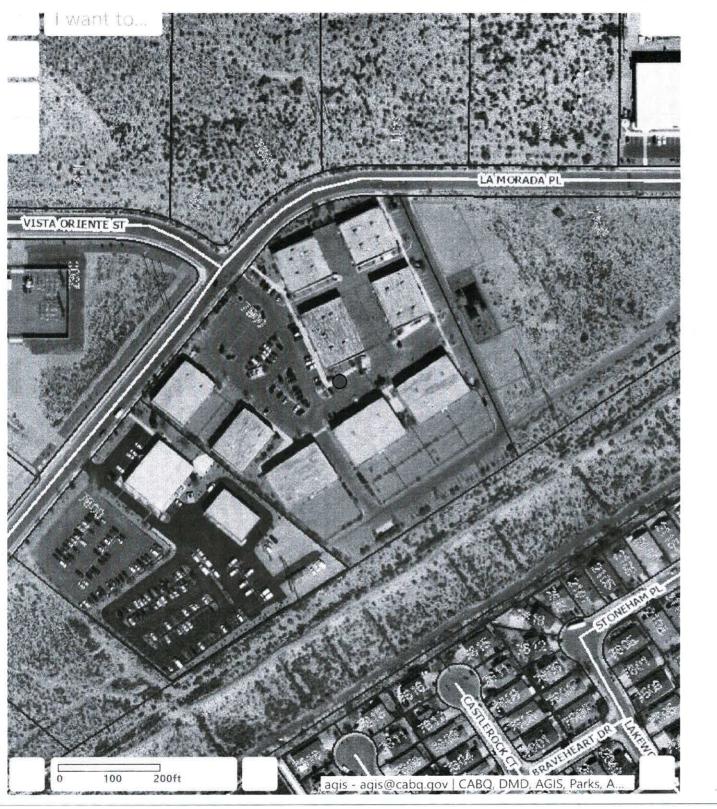
## ALTERNATIVE SIGNAGE PLAN

- Proposed Alternative Signage Plan compliant with IDO Section 14-16-5-12(F)(5)
- Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-6-5(C)(3)(b)
- Required notices with content per IDO Section 14-16-6-4(K)
- Office of Neighborhood Coordination notice inquiry response and proof of emailed notice to affected Neighborhood Association representatives
- Sign Posting Agreement

## ALTERNATIVE LANDSCAPE PLAN

Justification letter describing, explaining, and justifying the request per the criteria in IDO Section 14-16-5-6(C)(16) Landscape Plan

I, the applicant or agent, acknowledge that if any scheduled for applic meeting or hearing, if req ignature: rinted Name:	r required information is not submitted wit uired, or otherwise processed until it is co	th this application, the application will not be omplete.           Date:         1         08         1022         1           Date:         1         08         1022         1
OR OFFICIAL USE ONLY		
Project Number:	Case Numbers	I D III COM
	7 <del>.</del>	
	1¥	
taff Signature:		
Date:		



## City Address: 7500 LA MORADA PL NW

## County Address: 7500 LA MORADA



4/21/2022 <u>www.cabq.gov/gis</u> City of Albuquerque Property Report

)wnership Data from <u>Bernalillo County Assessor</u> County Assessor's data for tax year 2018)
)wner Name: EARLIER LEARNING SOLUTIONS FOUNDATION INC
)wner Address: 7500 LA MORADA NW, ALBUQUERQUE NM 87120-1765
JPC: 101005911229820102
'ax Year: 2018 Tax District: A1A
.egal Description: TR 9 PLAT FOR LADERA BUSINESS PARK UNIT 1 CONT 7.2637 (C
'roperty Class: C Document Number: 2013046045 042613 SW-E
\cres: 7.26

Jity Zoning and Services
DO Zone District: NR-C
DO District Definition: Commercial
JId Zoning Designation: SU-1
JId Zoning Description: LIGHT INDUSTRIAL
.and Use: 08 | Educational
.ot: 9 Block: 0000 Subdivision: LADERA BUSINESS PARK UNIT 1
'olice Beat: 636 Area Command: NORTHWEST
urisdiction: ALBUQUERQUE
'one Atlas Page: H10 (opens in new window)
Jity Neighborhood Association: Ladera West NA
Lesidential Trash Pickup:

## 'olitical Districts

**:ity Council District:** <u>1 - Louie Sanchez</u> **:ounty Commission District:** 1 - Debbie O'Malley **IM House of Representatives:** Joy Garratt **IM Senate:** Jacob R. Candelaria

School Districts **Ilementary:** TRES VOLCANES COM. COLLABORATIVE **Iiddle:** JIMMY CARTER (8TH)/TRES VOLCANES CCC (6TH & 7TH)







**Chris Jones, Executive Director** 

Kyle Hunt, Director of Operations

Albuquerque Bilingual Academy 7500 La Morada Pl NW Albuquerque, NM 87120

1/4/22 Creative Recreational Designs, Inc PO Box 15919 Rio Rancho, NM 87174 BCL Enterprises

PO Box 15223 Rio Rancho, NM 87174

RE: Letter of Authorization

To whom it may concern,

This is an official notice that the New Mexico state charter school Albuquerque Bilingual Academy gives authorization to Creative Recreational Designs and BCL Enterprises to apply for the required permits for installation of outdoor classroom space including shade structures and other fixed items.

Thank you for your assistance in this matter,

Chris Jones, Executive Director cjones@lpelc.com

Kyle Hunt, Director of Operations khunt@lpelc.com



**Chris Jones, Executive Director** 

Kyle Hunt, Director of Operations

Albuquerque Bilingual Academy 7500 La Morada Pl NW Albuquerque, NM 87120

1/4/22

City of Albuquerque Planning Department

**RE:** Letter of Justification

To whom it may concern,

This is an official request that the New Mexico state charter school Albuquerque Bilingual Academy would like to install outdoor shade structures/classroom areas at its main site located at 7500 La Morada PI NW Albuquerque, NM 87120. These outdoor classroom spaces will help our school maintain social distancing while providing students with safer spaces to gather to complete schoolwork.

Per Table 6-4(Z)(1)(a) of the IDO pertaining to Allowable Minor Amendments; these planned additions do not increase the gross floor space, are not higher than the surrounding buildings, and do not make use of a fence. Therefore, these shade structures are to be considered a minor amendment. Furthermore, the locations chosen for the shade structures do not require changes to access or circulation of patterns on the site. This project will not require major public infrastructure. Please let contact the school at an email below or our main line 505-836-7706 if there are any additional questions or concerns.

Thank you for your assistance in this matter,

Chris Jones, Executive Director cjones@lpelc.com

Kyle Hunt, Director of Operations khunt@lpelc.com



**Chris Jones, Executive Director** 

Kyle Hunt, Director of Operations

Albuquerque Bilingual Academy 7500 La Morada Pl NW Albuquerque, NM 87120

1/4/22

City of Albuquerque Planning Department

RE: Letter of Justification

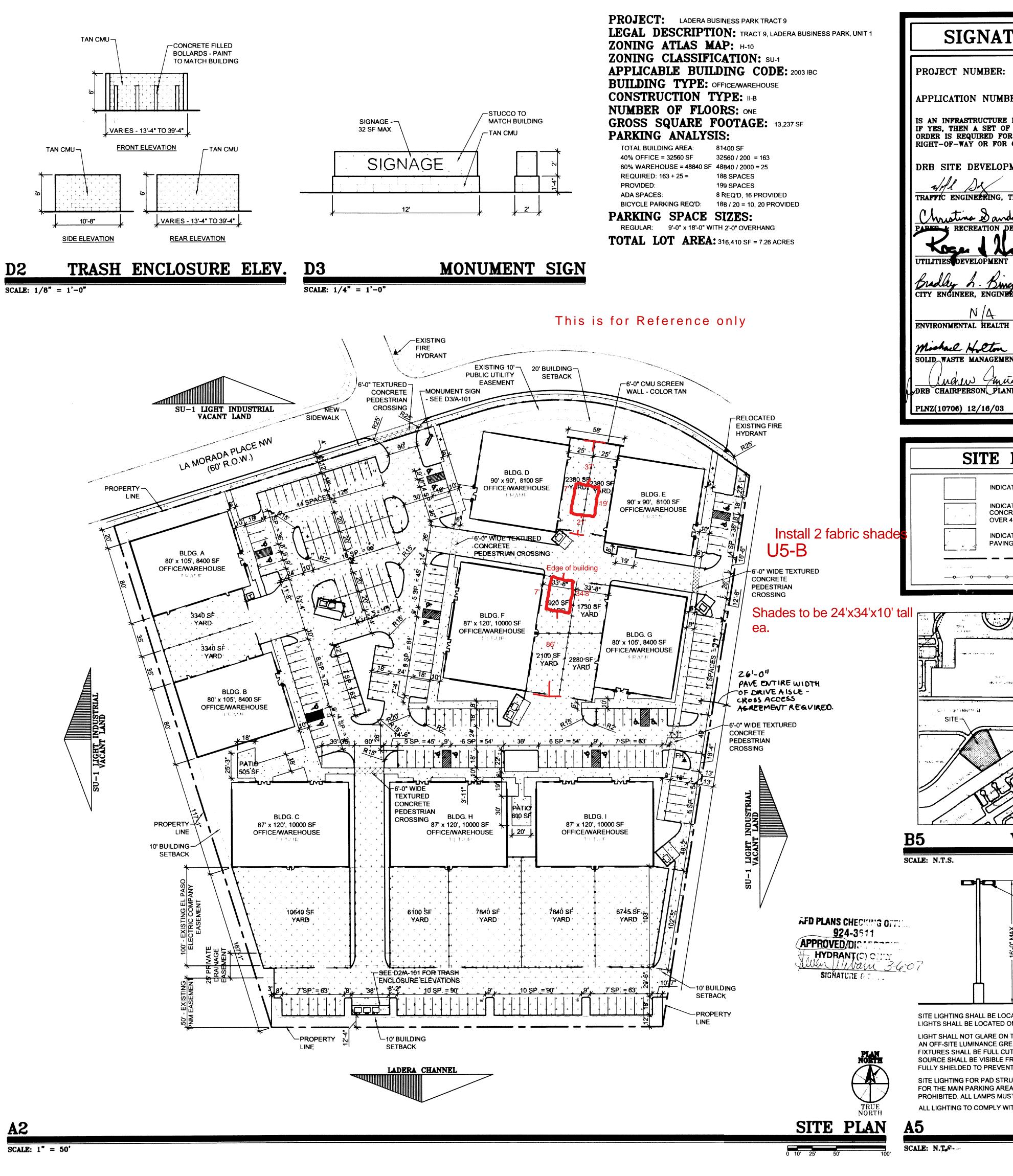
To whom it may concern,

This is an official request that the New Mexico state charter school, Albuquerque Bilingual Academy, would like to install outdoor shade structures/classroom areas at its main site located at 7500 La Morada PI NW Albuquerque, NM 87120. These outdoor classroom spaces will help our school maintain social distancing while providing students with safer spaces to gather to complete schoolwork. These planned additions <u>do not entail structures that are larger in height than the surrounding buildings nor do</u> they add to the gross floor area and are therefore minor structures. These structures will not affect any of our other permanent structures on campus and <u>do not affect the circulation or access patterns of</u> the area. Please contact the school at one of the emails below or our main line 505-836-7706 if there are any additional questions or concerns.

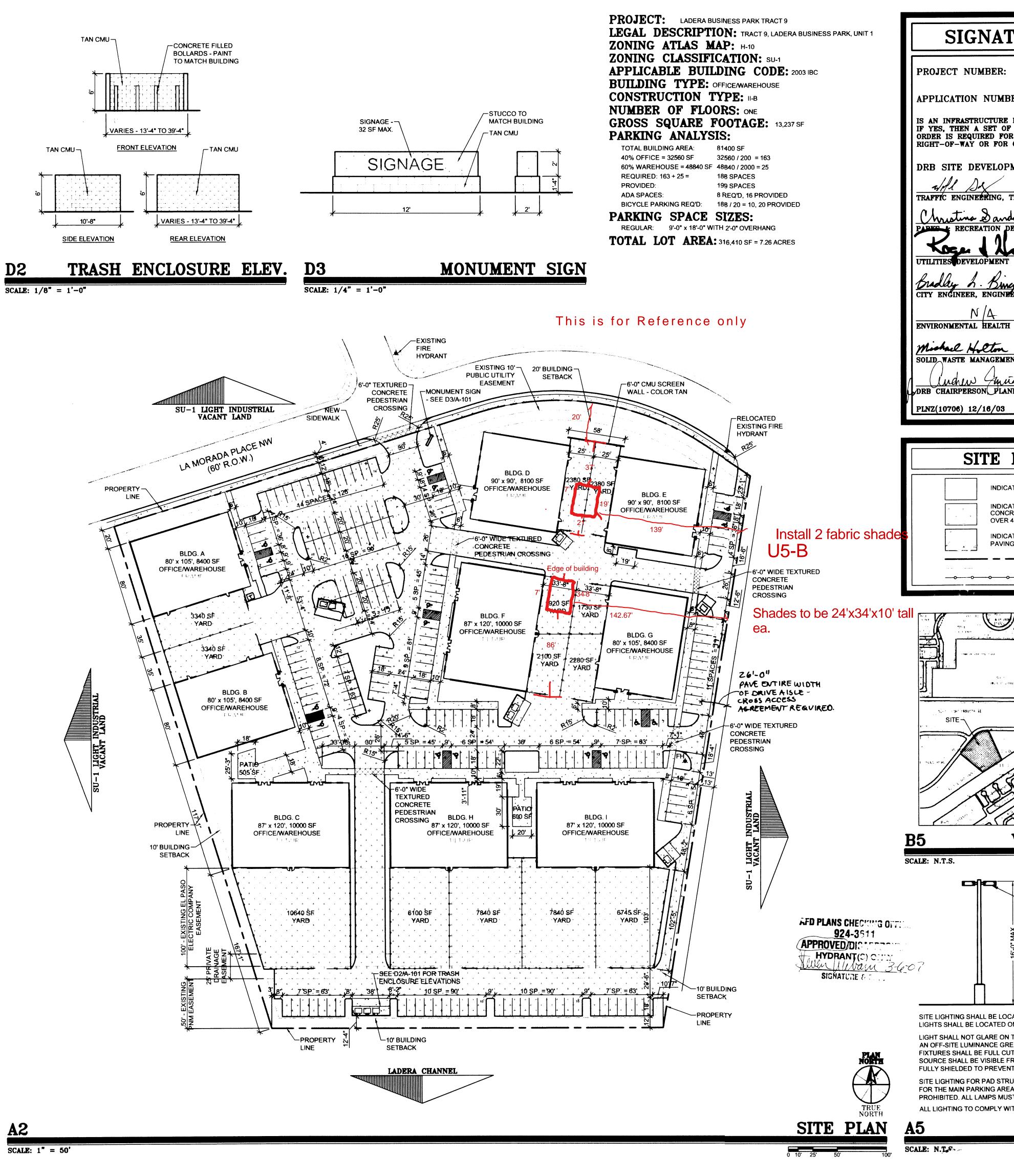
Thank you for your assistance in this matter,

Chris Jones, Executive Director cjones@lpelc.com

Kyle Hunt, Director of Operations khunt@lpelc.com



LIST REQUIRED? () YES ( $\times$ ) NO APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: TRANSPORTATION DIVISION DATE OVAL EPARTMENT DATE JUL EPARTMENT DATE JUL EPARTMENT JUL EPARTMENT DATE JUL EPARTMENT JUL EPARTMENT DATE JUL 2/12/07 DATE JUL JUL 2/12/07 DATE JUL JUL JUL JUL JUL JUL JUL JUL	A CLAUDIO VIGIL ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330
ER: $\frac{1}{2}$ ( ) YES ( ) NO APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: MENT PLAN APPROVAL: TRANSPORTATION DIVISION DATE DATE DATE DATE $\frac{3/14/07}{DATE}$ ERING DIVISION / AMAFCA DATE 7/12/01	ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
LIST REQUIRED? () YES ( $\times$ ) NO APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: TRANSPORTATION DIVISION DATE DATE DATE DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE	ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: $\frac{7-12-07}{DATE}$ TRANSPORTATION DIVISION DATE $\frac{3/14/07}{DATE}$ EPARTMENT DATE $\frac{3/14/07}{DATE}$ ERING DIVISION / AMAFCA DATE $\frac{7/12/01}{201}$	ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
TRANSPORTATION DIVISION $\frac{7-12-07}{DATE}$ $\frac{100}{DATE}$ EPARTMENT DATE $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$	1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
EPARTMENT EPARTMENT DATE JATE	Albuquerque, New Mexico Phone: (505) 842-1113
EPARTMENT DATE DATE DATE DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO	Albuquerque, New Mexico Phone: (505) 842-1113
ERING DIVISION / AMAFCA DATE 7/12/01	
ERING DIVISION / AMAFCA DATE 7/12/01	
	OWNERSHIP OF INSTRUMENTS OF SERVICE All design concepts, details, specifications, plans, computer files, field data, notes
DEPARTMENT (conditional) DATE	and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of
3/0/07	Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights,
K- 7/12/07	including the copyright thereto.
NING DEPARTMENT DATE	CONSULTANTS
PLAN LEGEND	
TES EXTENT OF LANDSCAPE AREA	
TES EXTENT OF NEW ASPHALTIC RETE PAVING. MINIMUM 2" OF ASPHALT 4" BASE COURSE.	PROFESSIONAL SEAL
TES EXTENT OF NEW CONCRETE G AND CONCRETE SIDEWALKS. PROPERTY LINE.	
EASEMENT BOUNDARIES	
	PRELIMENT TO
	LADERA BUSINESS
	PARK
	TRACT 9
	7500 LA MORADA PL, NW
VICINITY MAP H-10	ALBUQUERQUE, NEW MEXICO
SQUARE MODULAR BOX TYPE METAL HALIDE AREA LIGHT FIXTURE - WHITE FINISH ON SQUARE WHITE	
	MARK DATE DESCRIPTION
	PROJECT NUMBER:06270DRAWING FILE:06270\3DESDEV\LBP f-101DRAWN BY:LH
ATED SO AS NOT TO GLARE ON TO ADJACENT SITES. IN THE SITE AND THE BUILDING.	DRAWN BY:       LH         CHECK BY:       COPYRIGHT:         COPYRIGHT:       CLAUDIO VIGIL ARCHITECTS 2005         DATE:       MARCH 5 2007
TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE EATER THAN 100 FOOT LAMBERTS. ALL LIGHT TOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT	DATE: MARCH 5 2007 SHEET TITLE
ROM THE SITE PERIMETER. ALL LAMPS MUST BE T FUGITIVE LIGHT BEYOND THE PROPERTY LINE. JCTURES IS TO MATCH THE SITE LIGHTING PROVIDED	SITE PLAN FOR
A. EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE BT BE SHIELDED SHOE BOX TYPE FIXTURES. TH THE NIGHT SKY PROTECTION ACT.	BUILDING PERMIT
LIGHTING DETAIL	SHEET NUMBER A-101



LIST REQUIRED? () YES ( $\times$ ) NO APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: TRANSPORTATION DIVISION DATE OVAL EPARTMENT DATE JUL EPARTMENT DATE JUL EPARTMENT JUL EPARTMENT DATE JUL EPARTMENT JUL EPARTMENT DATE JUL 2/12/07 DATE JUL JUL 2/12/07 DATE JUL JUL JUL JUL JUL JUL JUL JUL	A CLAUDIO VIGIL ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330
ER: $\frac{1}{2}$ ( ) YES ( ) NO APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: MENT PLAN APPROVAL: TRANSPORTATION DIVISION DATE DATE DATE DATE $\frac{3/14/07}{DATE}$ ERING DIVISION / AMAFCA DATE 7/12/01	ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
LIST REQUIRED? () YES ( $\times$ ) NO APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: TRANSPORTATION DIVISION DATE DATE DATE DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE J/12/07 DATE	ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
APPROVED DRC PLANS WITH A WORK ANY CONSTRUCTION WITHIN PUBLIC CONSTRUCTION OF PUBLIC IMPROVEMENTS MENT PLAN APPROVAL: $\frac{7-12-07}{DATE}$ TRANSPORTATION DIVISION DATE $\frac{3/14/07}{DATE}$ EPARTMENT DATE $\frac{3/14/07}{DATE}$ ERING DIVISION / AMAFCA DATE $\frac{7/12/01}{201}$	ARCHITECTS 1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
TRANSPORTATION DIVISION $\frac{7-12-07}{DATE}$ $\frac{100}{DATE}$ EPARTMENT DATE $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$ $\frac{31007}{DATE}$	1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113
EPARTMENT EPARTMENT DATE JATE	Albuquerque, New Mexico Phone: (505) 842-1113
EPARTMENT DATE DATE DATE DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO7 DATE JANO	Albuquerque, New Mexico Phone: (505) 842-1113
ERING DIVISION / AMAFCA DATE 7/12/01	
ERING DIVISION / AMAFCA DATE 7/12/01	
	OWNERSHIP OF INSTRUMENTS OF SERVICE All design concepts, details, specifications, plans, computer files, field data, notes
DEPARTMENT (conditional) DATE	and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of
3/0/07	Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights,
K- 7/12/07	including the copyright thereto.
NING DEPARTMENT DATE	CONSULTANTS
PLAN LEGEND	
TES EXTENT OF LANDSCAPE AREA	
TES EXTENT OF NEW ASPHALTIC RETE PAVING. MINIMUM 2" OF ASPHALT 4" BASE COURSE.	PROFESSIONAL SEAL
TES EXTENT OF NEW CONCRETE G AND CONCRETE SIDEWALKS. PROPERTY LINE.	
EASEMENT BOUNDARIES	
	PRELIMENT TO
	LADERA BUSINESS
	PARK
	TRACT 9
	7500 LA MORADA PL, NW
VICINITY MAP H-10	ALBUQUERQUE, NEW MEXICO
SQUARE MODULAR BOX TYPE METAL HALIDE AREA LIGHT FIXTURE - WHITE FINISH ON SQUARE WHITE	
	MARK DATE DESCRIPTION
	PROJECT NUMBER:06270DRAWING FILE:06270\3DESDEV\LBP f-101DRAWN BY:LH
ATED SO AS NOT TO GLARE ON TO ADJACENT SITES. IN THE SITE AND THE BUILDING.	DRAWN BY:       LH         CHECK BY:       COPYRIGHT:         COPYRIGHT:       CLAUDIO VIGIL ARCHITECTS 2005         DATE:       MARCH 5 2007
TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE EATER THAN 100 FOOT LAMBERTS. ALL LIGHT TOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT	DATE: MARCH 5 2007 SHEET TITLE
ROM THE SITE PERIMETER. ALL LAMPS MUST BE T FUGITIVE LIGHT BEYOND THE PROPERTY LINE. JCTURES IS TO MATCH THE SITE LIGHTING PROVIDED	SITE PLAN FOR
A. EXPOSED, I.E. UNSHIELDED LIGHT FIXTURES ARE BT BE SHIELDED SHOE BOX TYPE FIXTURES. TH THE NIGHT SKY PROTECTION ACT.	BUILDING PERMIT
LIGHTING DETAIL	SHEET NUMBER A-101

### GENERAL NOTES DESIGN LOADS E. H.DINGLOUDE INTERNATIONAL BUILDING CODE CODE FPR CONT. + alter SNOW OAD in prite 115 MPO Cand 150 P2P1: web Fider Off WINDLEADS Tables Green KEW LADINGSKY II A CXPORABE 7.

115 MPH AGLORIDID THE UTILIZATE WHICH SPEED MARY OF ASCE 7, WHICH CHARLENT TO THE NOMINAL WHICH SPLED OF AN MONIACTORIDING ASCE 726 AND 180 (2015) UP (INTEL

### STRUCTURAL STEEL

- ALL THREE OPAL SHAPES THALL BE DOLD FORMED HS? AS IN ASDC SPADE C. UNLESS STREAMING REPORT TOTICAL MICHANICAL PROPERTIES FOR HSS PRODUCTS.
- 50,000 P/1 Y6 LU 62,000 P/0 11 NBLE SCHOOL AND RECTANDERS. IN DOM PREMIET DI ULTONO PULLIFENSILE POARD PIPE
- ALL DAVARIZED STELL 1985 PRODUCTS ARE MARKACEURED PER ASTM 4500, LYPICAL MECHANICAL PROPERTIES ACHIEVED FOR CALVARIZED TUBE PRODUCTS 45:000 PSTYELU / 46:000 PSTENSILE HOND TOBE
- ALC PLATES SHALL COMPLY WITH ASTM AST, GPADE 53
- ALL STEEL CHERNS SHALL BE THULD COMPETING IN PROFECTION USING THE INCLUE LEED TROPACING GOAT PROCESS TURING OHD LEED INTERNALLY COATED WITH ZING AND DECKARD COMMINS TOWNING INTERCHARGED AS MAIN ACTIVED THE AUTO THE A COMPACT.
- STPUCTORAL STEEL SHALL RE DETAILED, PARPICATED AND ERPLITED IN ACCORDANCE WITH A 1510 SPECIFICATIONS.
- AUTHATISS CHECK MANNESS ALL BRITAWED STANL BE BERCUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ADECKAM WEDNA SYCALE IN AWSOLD I SPICOTICATIONS ALL WEDS SHALL BE SOM INVOLVEMENT, ERACHTER SYN OF SWITH STATISTICATION ARAMONT ALL WEDS STALL DAYL OF THE UNIT SO THERME SHOWN OF INTERSOM ARAMONT ALL WEDS STALL DAYL OF THE UNIT SO THERME SHOWN OF MUSERS ON ARAMONT ALL WEDS STALL DAYL OF THE UNIT SO THERME SOME SHOWN OF MUSERS
- SHOP CONFECTIONS SHALL BE WELDED UNLESS NOTED CYLERAVISE FIELD CONNECTIONS SHALL BE AN INSIGNED ON THE DRAWINGS IF PEDUREDLAL, IF ALL IT WELDS SHALL BE A MINIMUM OF THE UNLESS OTHERWISE NOTED FIELD VELDS SHALL HUT SEAL OWED
- ALL HIGH STRENGTH BOLTS SHALL COMPLY WITH ASTME MISSIGNAL ALSS PRAVABLED. ALL NUTS SHALL COMPLY WITH ASTM AND MASHERS SHALL COMPLY WITH ASTME THE
- ALL HIGH STRENGTH BOLTS SHALL BE DIGHTLDR D TO A SHUG HIGHT CONDITION <sup>30</sup> ACL STANLESS STEEL ROLTS ( STUDY SHALL COMPLY WITH ASTM 5-593, ALLOY CROUP 1 OP 2 ALL NUTS SHALL COMPLY WITH ASTM F 644 ALLOY GROUP 1 CR 2
- HE AS FOLLOWS
- \* PENCIE HARDNEES (ASTM D-0063)
- \* HUMIDLEY (APTM 152247) \* SULVENT RESISTANCE (POLMETHOD) - SUDBLIRUELY SLI DOFTNEUS
- FABRIC SPECIFICATION
- CABRIC SHALL BE A HIGH OPPISITY OFFICIENT/LENE WITH ULTRA VIOLET ADDITIVES WITH INCOOPILARENT AND TAPE CONSTRUCTION GRINVLA STABLE MATERIAL AND RACHEL INCOOPILATENT AND TAPE CONSTRUCTION GRINVLA STABLE MATERIAL AND RACHEL INCOOPILATENT AND TAPE CONSTRUCTION GRINVLA STABLE MATERIAL AND RACHEL

	Part of the rest mending same	TOUGH ANT UND AND AND THE	471
2		SOLD COLORS	STRIPL COLORS
	CAR STPENGTO	WARE 220 4027 1.6	WAPP 102 9894 T U
		WEFT GEL 9797 UR	WE-1-401-2411 B
	BURST STRENGTH	17 ZONE PSIA	11 Delite PistA
	FADDAY	MINISTUM FACENCIAL FR	C YEARS

- UFE EXPECTANCY A MINIMUM OF BY EARS CONTINUOUS EXPOSURE TO THE SUN
- TIRE TEST ON PARKED NEVA 701 FEST 2 AND ASTM F RA
- THREAD-THE TEFLON USED MEET THE FOLLOWING SPECIFICATIONS HIGH STRENDTH. CON BREMERING, WENT LUMETATION, PARISE TLLY, ADMASING NUMETATION DAY RADIATION MASHINT LOGI STITCH. 2201 DENER, CHANG, TTCH THREAD, 2800 DENER,

### AIRCRAFT CABLE

- WRE ROPI CARLESHALL IN ACTOSTRAND CORE GALVAR/ED WHE ROPE WITH A EPERAND STRENGTE VALUE OF 14 400 LEV (VER DIAVETER)
- AND THE STATE AND A THE AND A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION OF THE CANODY AND THREEDONE UNTER THE LAND CHARGE ANY LONG THE PERIMETER OF THE CANODY AND THREEDONE UNTER THE LAND CHARGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY, LA TANDA APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY AND APPENDIAGE ANY LONG TERMS AND PROVIDED UNTER UNDEPENDENT RAY AND APPENDIAGE ANY LONG TERMS AND APPENDIAGE ANY LONG APPENDIAGE APPENDIAGE ANY LONG APPENDIAGE APPENDIAG

HE HE SPLIT WA SPLIT LOCK WA	NUT SOLT SHER SHER COLUMN				P 056		EXTENSION DOM	eter JVM	Глад 2 РАЛИС АКТОР СЛИ АЛУЛИ на топ боло на со старинат на топ боло на со старинат на топ боло на со старинат на топ боло на селаторинат на со старинат отръсна напоскато изгализация ШСС ПОСКАТОРА СООТ 51 САЗ ЦАЛО 2011 ГО речуляется та со со са се состати алу на бола старистотото старистото старистото старистото старистото
	LIST OF 1	<u>ISOM</u> MATERIALS	etric View			NOTICE			055,641,000 LTZ 000. Bruckeren tenten
ITEN RecYER		Elegis (Elec- Successionelles	301-681-946 -2010/3-01			CEDING \$ PSE IS ANTICIPATED			ΩΕ. 12,
035F8/01	7 NP-P	TQ12-1092(T).P2	My ILE IF C	TABING TOPIN LUS IC (	CHEMONIC IN VARIOUS EXC	2LI URG 115 MPH ARL ANDOP	ALCO SEC NOTESTICK C	CORVED/002	E-9 By MP
BC4.1		1.6 (g. 102) 45394 4225	36.1991 No.2993			CODE ANALYSIS			George By MF
ECA II No.1		1180-1215(A-194-20) 11215(4) + ATMEA 5	No.5.47	BUILDING	OCCUPANCY	CONSTRUCTION TYPE	AREA (SOFT)	OCCUPANT LOAD	Aug-oviet By MP
AL-OP		DORE DOTAS	10 <sup>-2</sup> -2 <sup>-2</sup>	SHADE STRUCTURE	11	- V-6	4,1-	N/A	DRAWING DESCRIPTION
E 1 1 A 1997	4. ALLAMEDA	VMI III CAT DE LAS	302475	en 15° x 30° 0°					NOTES / LOM
G <sub>R O</sub> RN	4 4.133.07	PUEND TUBER?	$PP(G_{i,j}) \approx r_{i,j}/r_{i} \approx 2p_{i}$						101007000
0.15902		193680 104043	() E1(e) ) //						
400.		Prayer (date) Prayer (date)	All whether a start Marcia Marcia				01	AS	DWP.
( s8(.)		E DIM ACCOUNTED	(9817) (9817)			and the second second	(HU)	MER	PACE
	2000.0K8		19975		0	Digitally signed Thomas R. Sad Date: 2021.09	ller 🔒	13371 E	1009

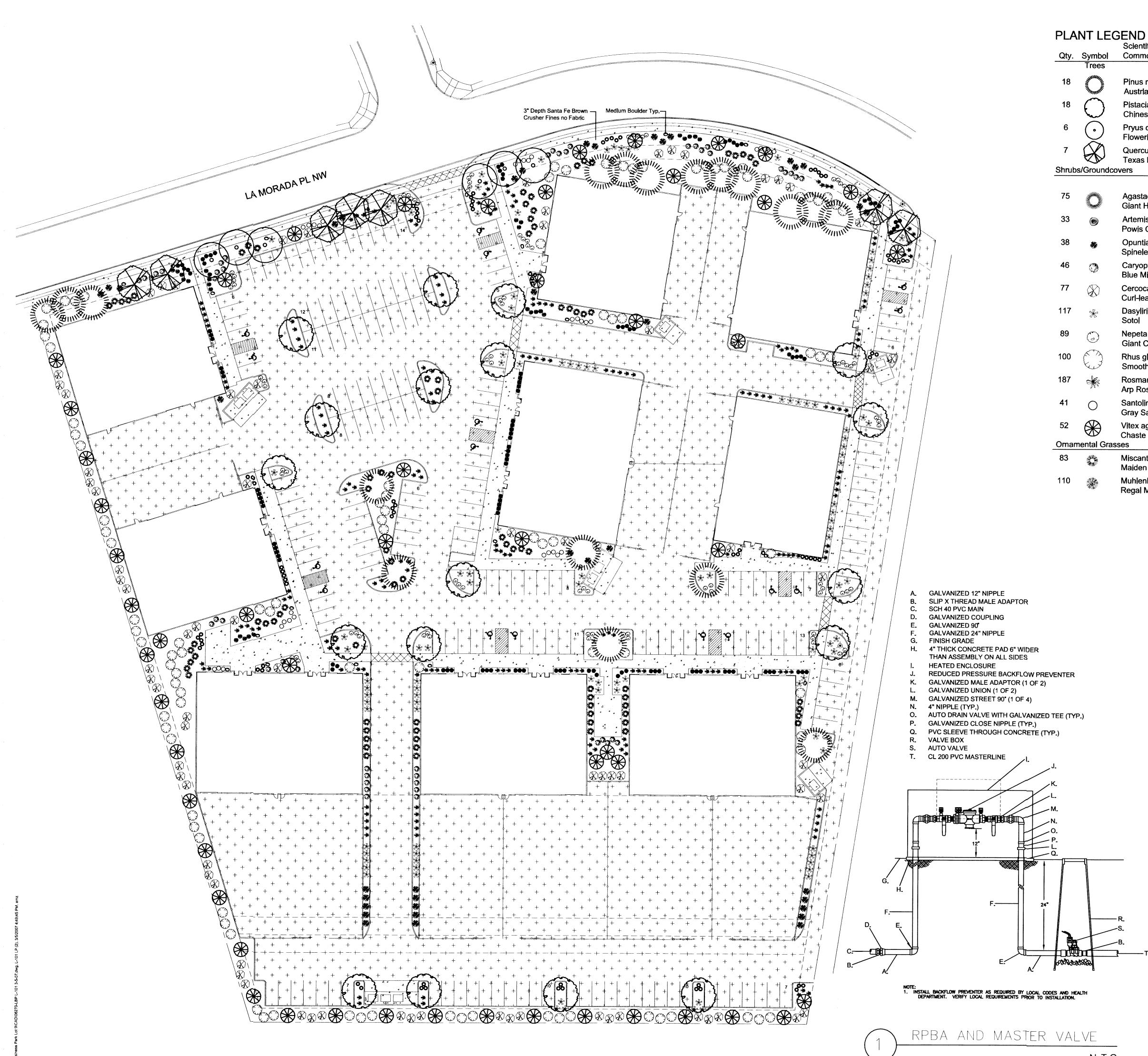
'10:27:42 -05'00

PROFESSIONAL

NC







N.T.S.

Scientific Name Common Name	Size	Water Use	Area
		······································	· · · · · · · · · · · · · · · · · · ·
Pinus nigra Austrian Pine	5'-6'	Medium	
Pistacia chinensis Chinese Pistache	2" B&B	Medium +	
Pryus calleryana Nowering Pear	2" B&B	Medium +	
Quercus buckleyi Texas Red Oak rs	2" B&B	Medium	
gastache cana iant Hyssop	1-Gal	Medium	8sf x 75= 600sf
rtemisia 'Powis Castle' owis Castle Sage	1-Gal	Low +	24sf x 33= 792sf
)puntia sp. pineless Prickly Pear	1-Gal	Medium	30sf x 38= 1140sf
aryopteris clandonensis lue Mist	1-Gal	Medium	32sf x 46= 1472sf
ercocarpus ledifolios url-leaf Mtn. Mahogany	5-Gal	Low +	50sf x 77= 3850sf
asylirion wheeleri otol	5-Gal	Low+	20sf x 117= 2340sf
epeta mussini iant Catmint	1-Gal	Medium	8sf x 89= 712sf
hus glabra mooth Sumac	5-Gal	Low+	50sf x 100= 5000sf
osmarinus officinalis 'Arp' rp Rosemary	5-Gal	Low +	36sf x 187= 6732sf
antolina chamaecyparissus ray Santolina	1-Gal	Low	24sf x 41= 984sf
itex agnus-castus haste Tree S	5-Gal	Medium	50sf x 52 = 2600sf
iscanthus sinensis 'Gracillimus' aiden Grass	5-Gal	Medium	20sf x 83= 1660sf
ublembergie contilerie IDe sel Mist			

Muhlenbergia capillaris 'Regal Mist' Regal Mis

15sf x 110= 1650sf TOTAL PROVIDED = 29532sf TOTAL REQUIRED= 35251sf X.75 =26438sf

# SITE DATA

GROSS LOT AREA	
LESS BUILDING(S)	
NET LOT AREA	

_316410	S
81400	S
235010	S

REQUIRED LANDSCAPE 15% OF NET LOT AREA	35251	SF
PROPOSED LANDSCAPE	50292	0  SF
PERCENT OF NET LOT AREA	21	0, %
		/0

REQUIRED STREET TREES PROVIDED AT 25' O.C. SPACING ALONG STREET 25 REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (195 SPACES/10) 19

# PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

# NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

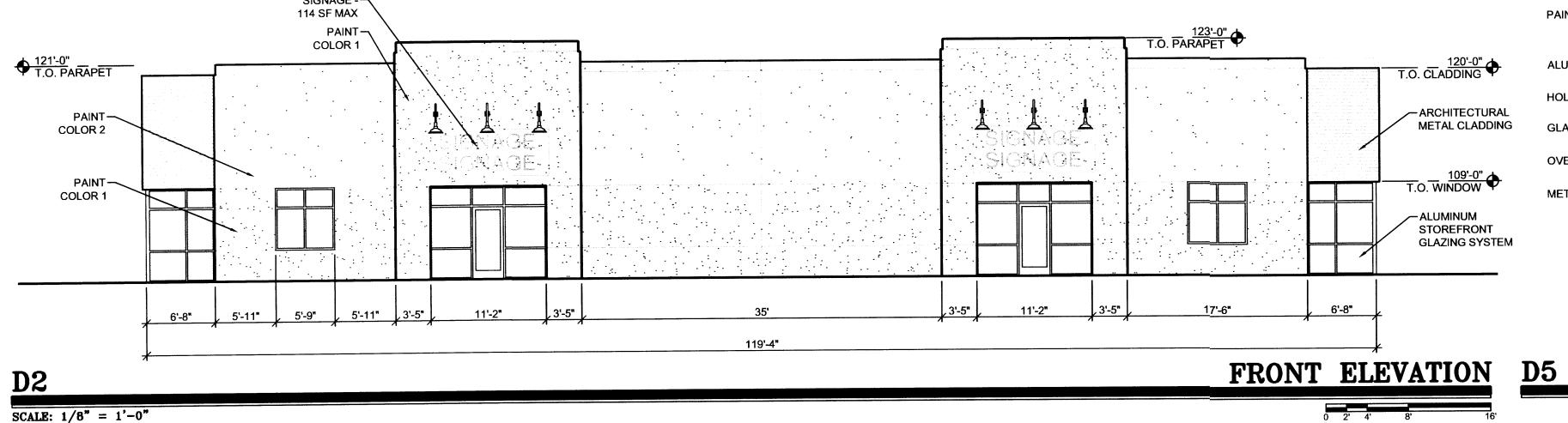
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.



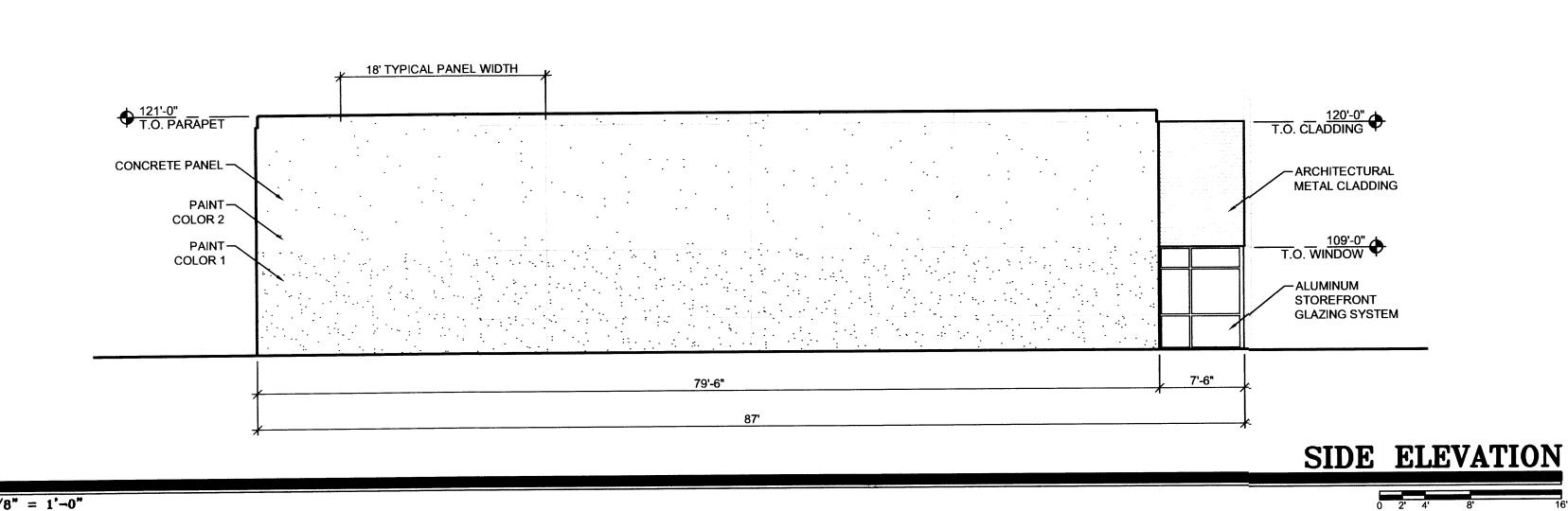
# SIGNAGE - – 114 SF MAX PAINT-



SCALE:  $1/8^{"} = 1'-0"$ 

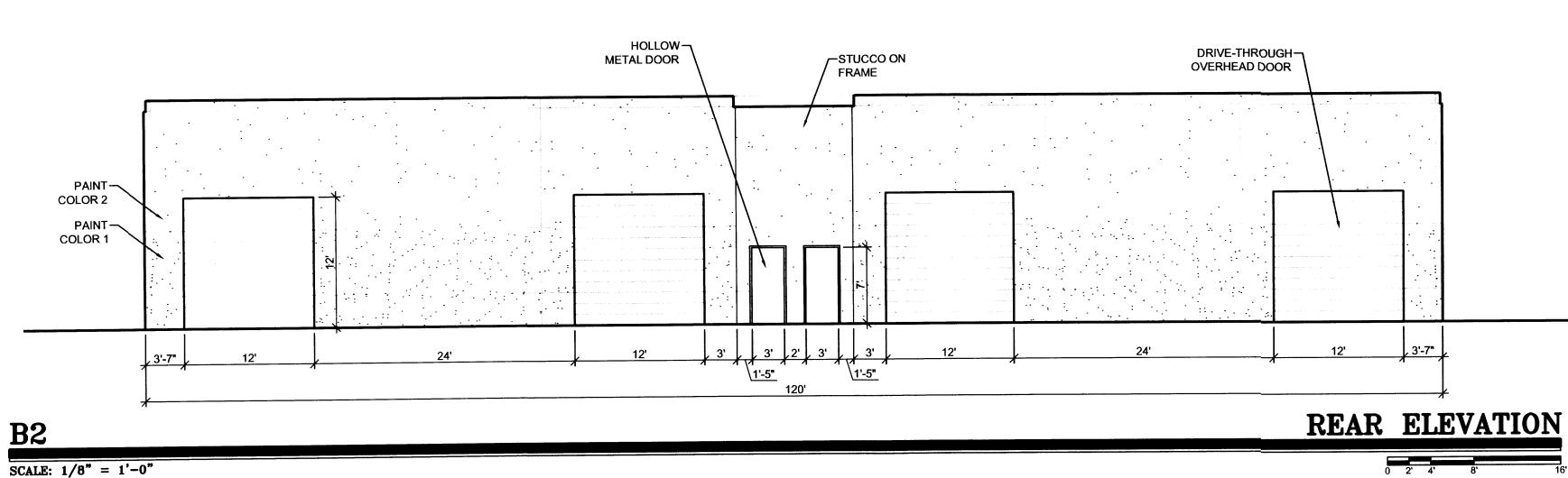
4

4.1

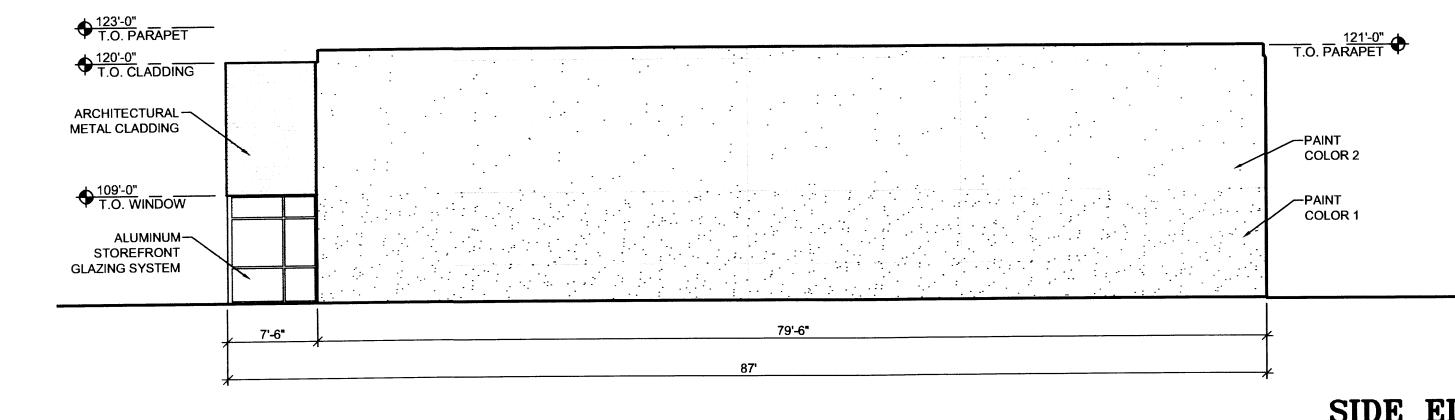


SCALE: 1/8" = 1'-0"

**C2** 



SCALE: 1/8" = 1'-0"



**A2** SCALE: 1/8" = 1'-0"

# MATERIAL

PAINT:

T.O. CLADDING •

ARCHITECTURAL METAL CLADDING

T.O. WINDOW - ALUMINUM

STOREFRONT GLAZING SYSTEM ALUMINUM STOREFRONT:

HOLLOW METAL DOORS & FRAMES: MEDIUM TAN GLAZING:

OVERHEAD DOORS:

METAL CLADDING:

# COLOR

COLOR 1: DARK TAN COLOR 2: MEDIUM TAN CLEAR ANODIZED ALUMINUM

BLUE SEMI-REFLECTIVE

DARK TAN DUSTY BLUE

1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330

# **COLORS LEGEND**

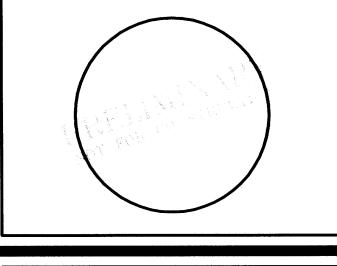
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto. CONSULTANTS

PROFESSIONAL SEAL

CLAUDIO VIGIL

ARCHITECTS

OWNERSHIP OF INSTRUMENTS OF SERVICE



# LADERA BUSINESS PARK

# TRACT 9

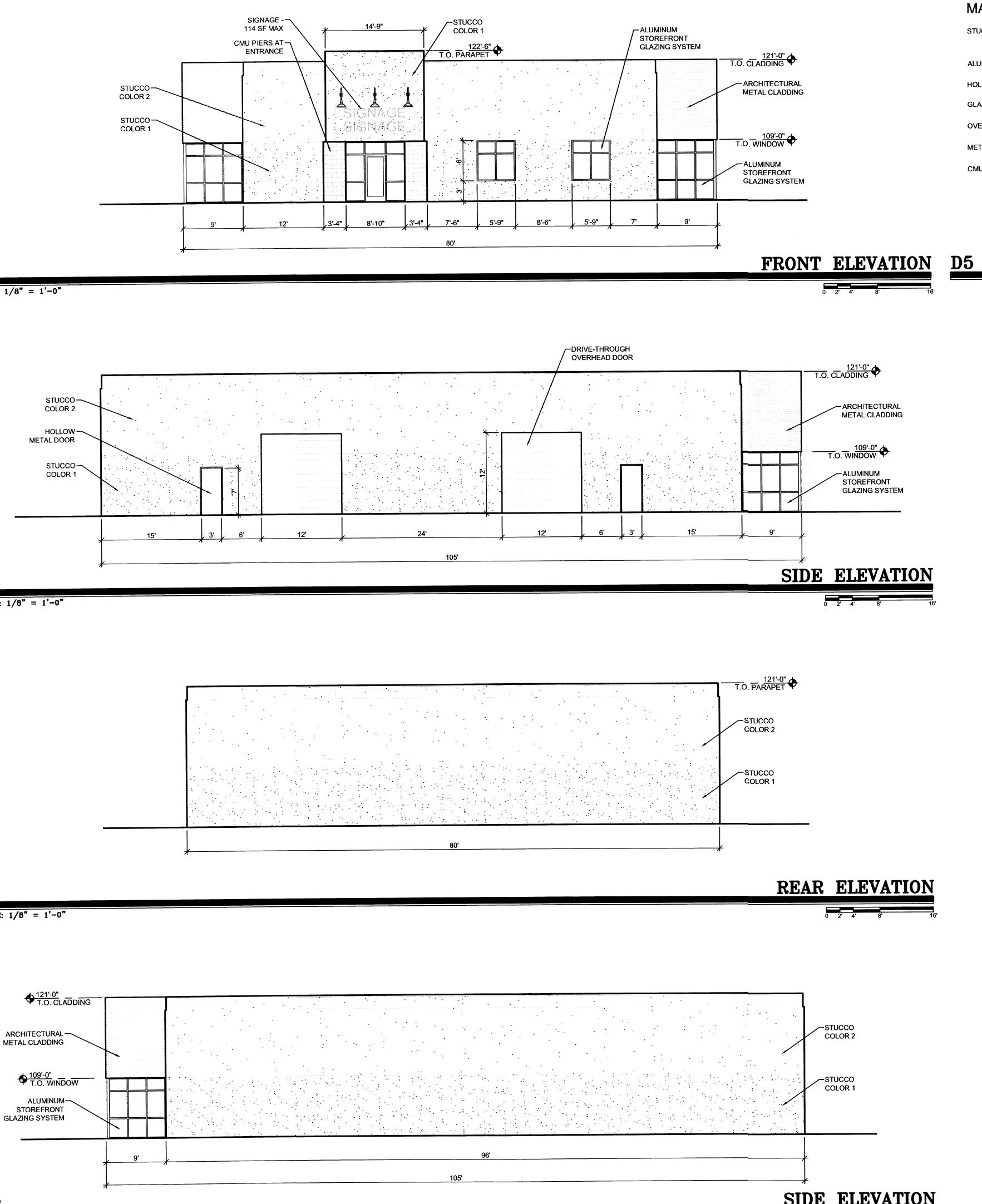
7500 LA MORADA PL, NW Albuquerque, NEW MEXICO

-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
_	-	-
MARK	DATE	DESCRIPTION
MARK	DATE	DESCRIPTION
MARK	DATE	DESCRIPTION
	DATE T NUMBER:	DESCRIPTION 06270
PROJEC		
PROJEC	T NUMBER: G FILE:	06270
PROJEC	T NUMBER: G FILE: BY:	06270 06270\3DESDEV\LBP A-201
PROJEC DRAWIN DRAWN	T NUMBER: G FILE: BY: BY:	06270 06270\3DESDEV\LBP A-201

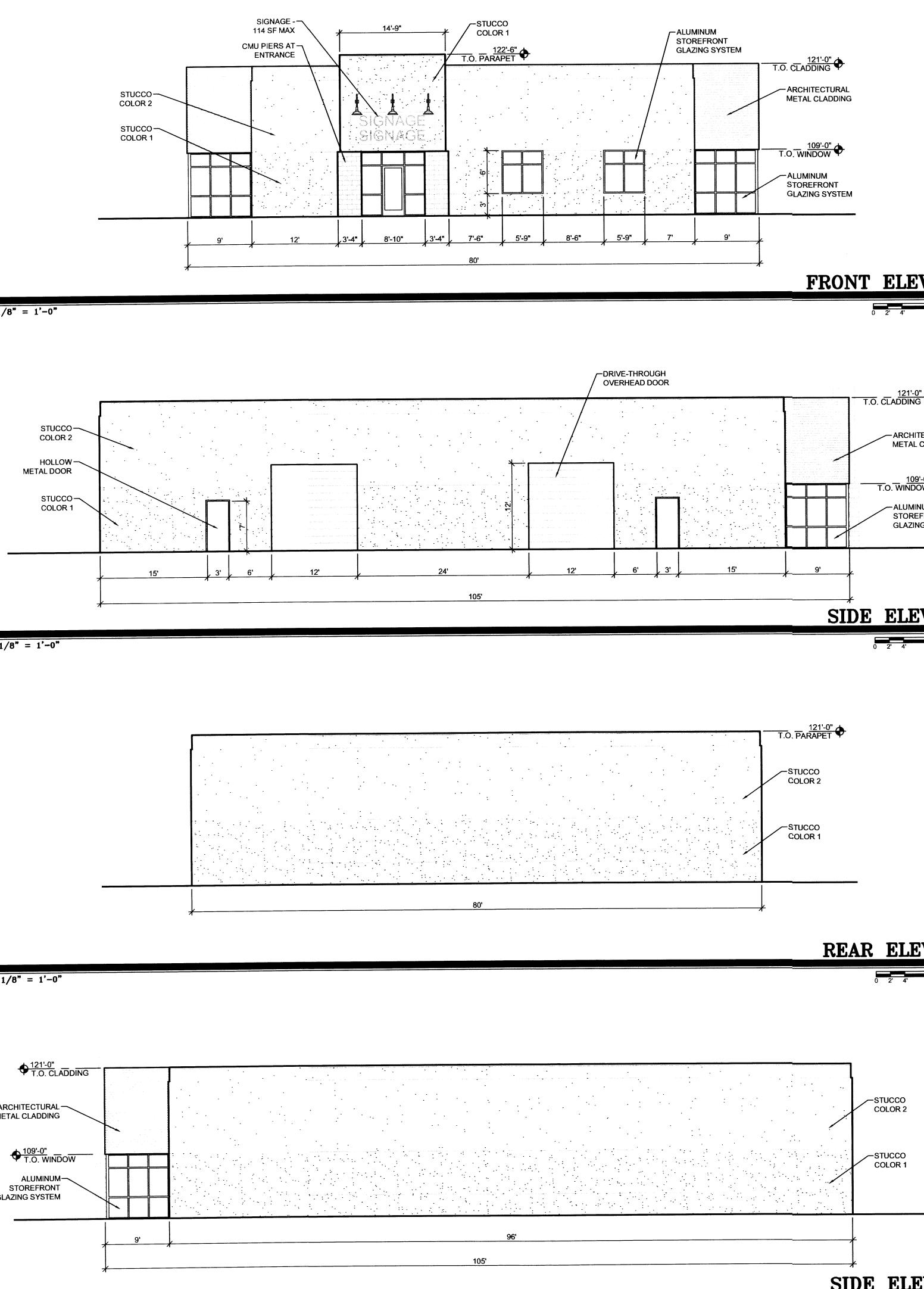
SHEET TITLE BUILDINGS C, F, H, I SHEET NUMBER A-201



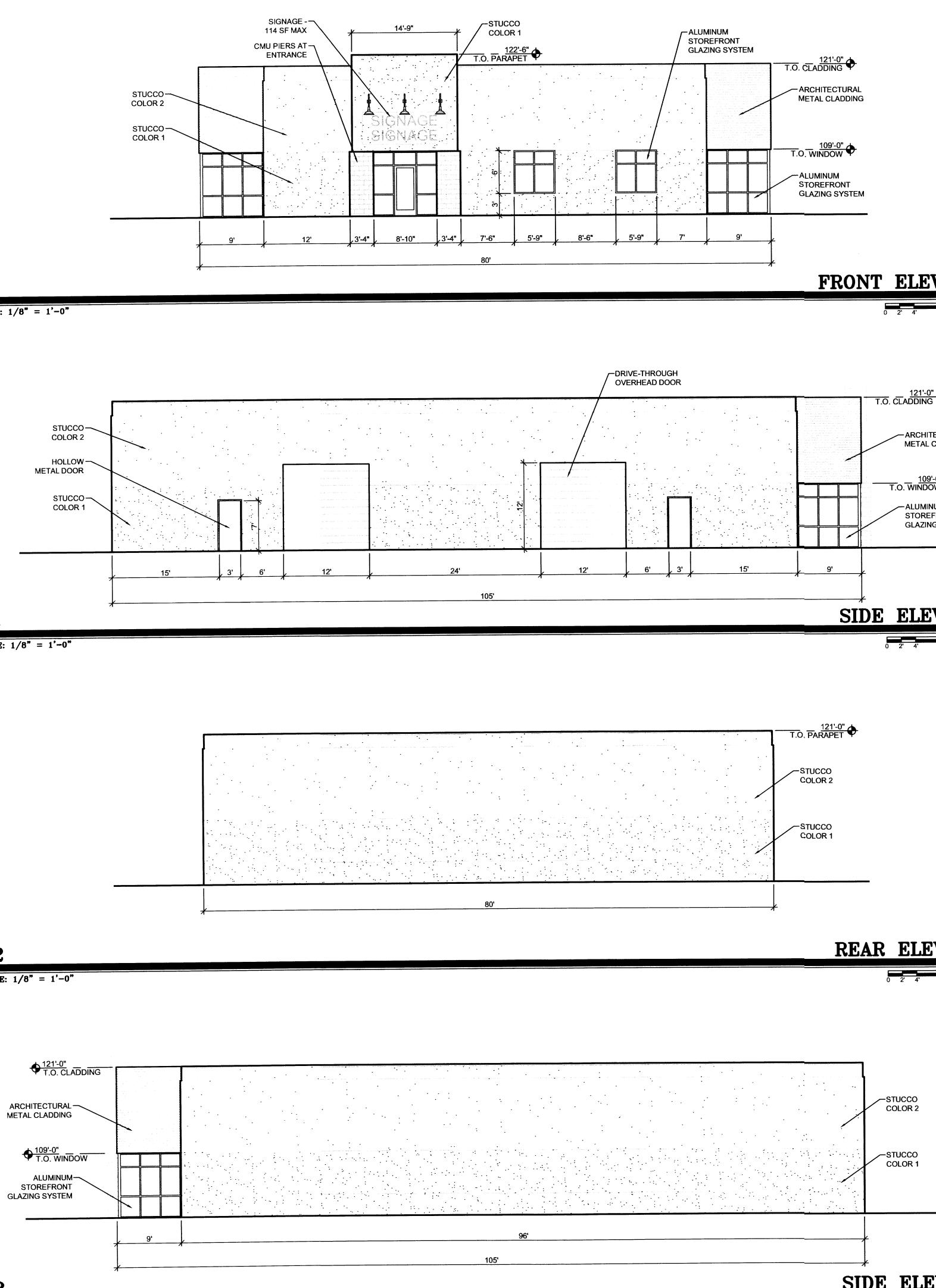
SIDE ELEVATION



SCALE:  $1/8^{"} = 1'-0"$ 

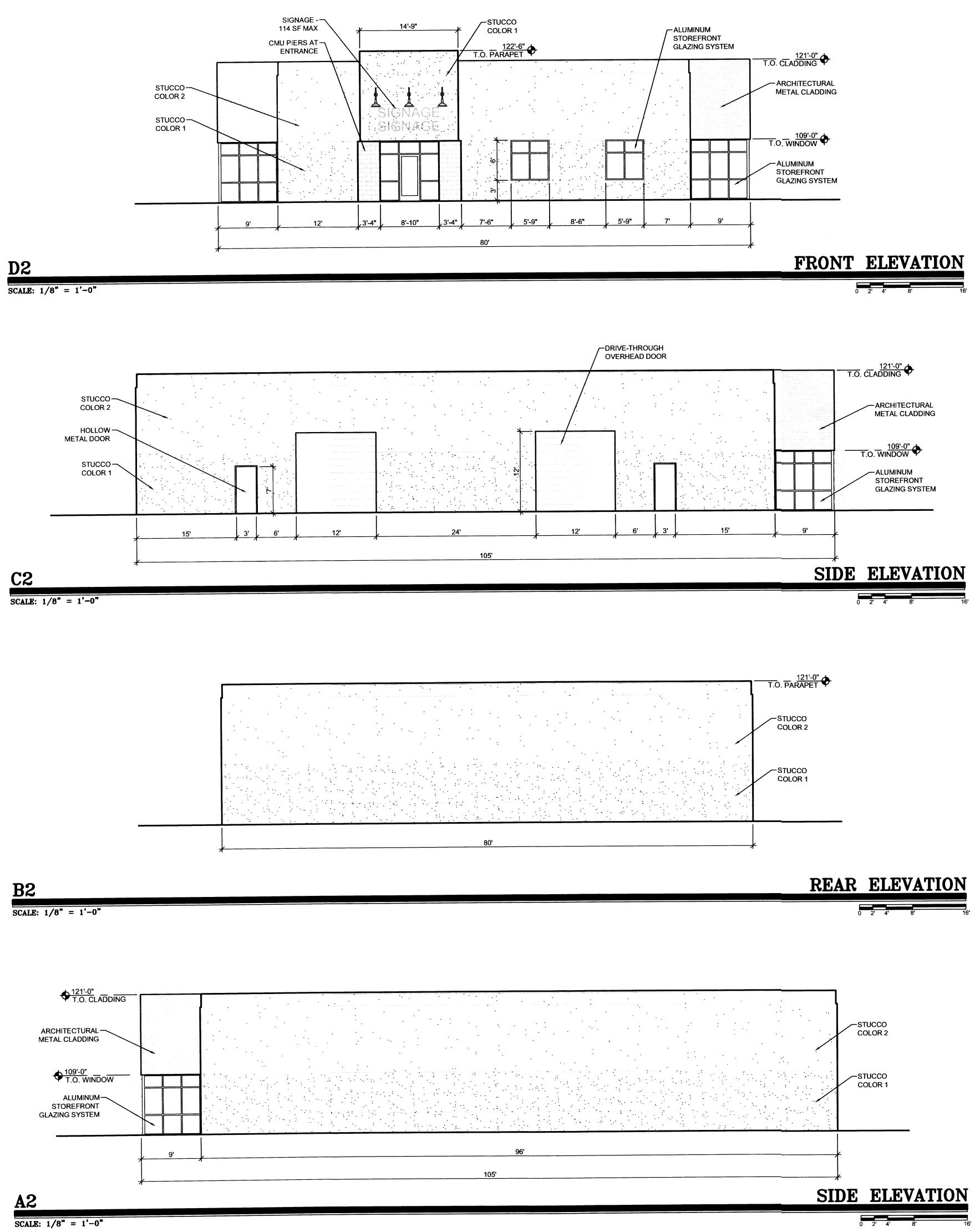


SCALE:  $1/8^{"} = 1'-0"$ 



# **B2**

SCALE:  $1/8^{"} = 1'-0"$ 



SCALE: 1/8" = 1'-0"

# MATERIAL

ALUMINUM STOREFRONT:

STUCCO:

GLAZING:

CMU:

OVERHEAD DOORS:

METAL CLADDING:

COLOR

COLOR 1: DARK TAN COLOR 2: MEDIUM TAN

CLEAR ANODIZED ALUMINUM HOLLOW METAL DOORS & FRAMES: MEDIUM TAN

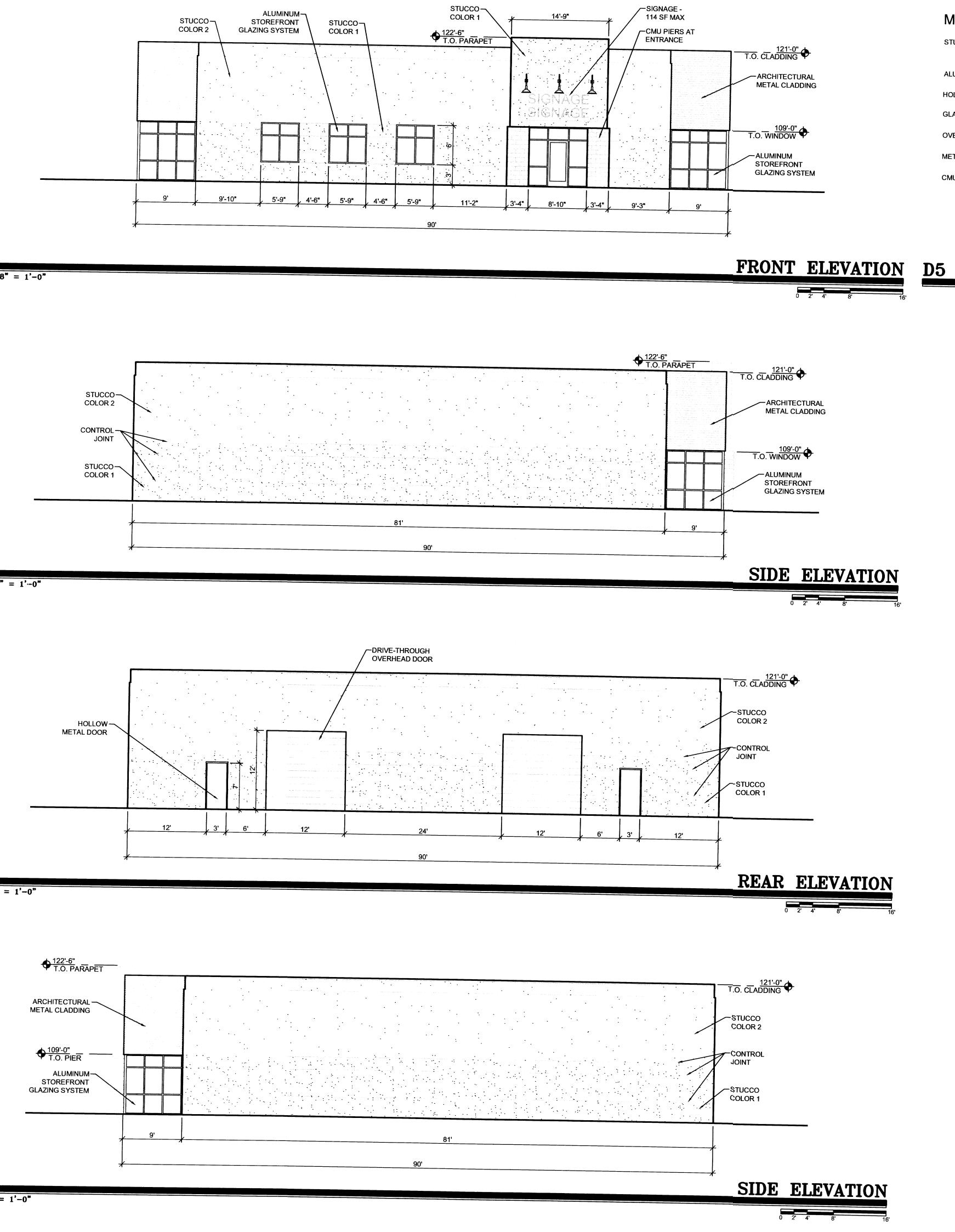
> BLUE SEMI-REFLECTIVE DARK TAN

DUSTY BLUE

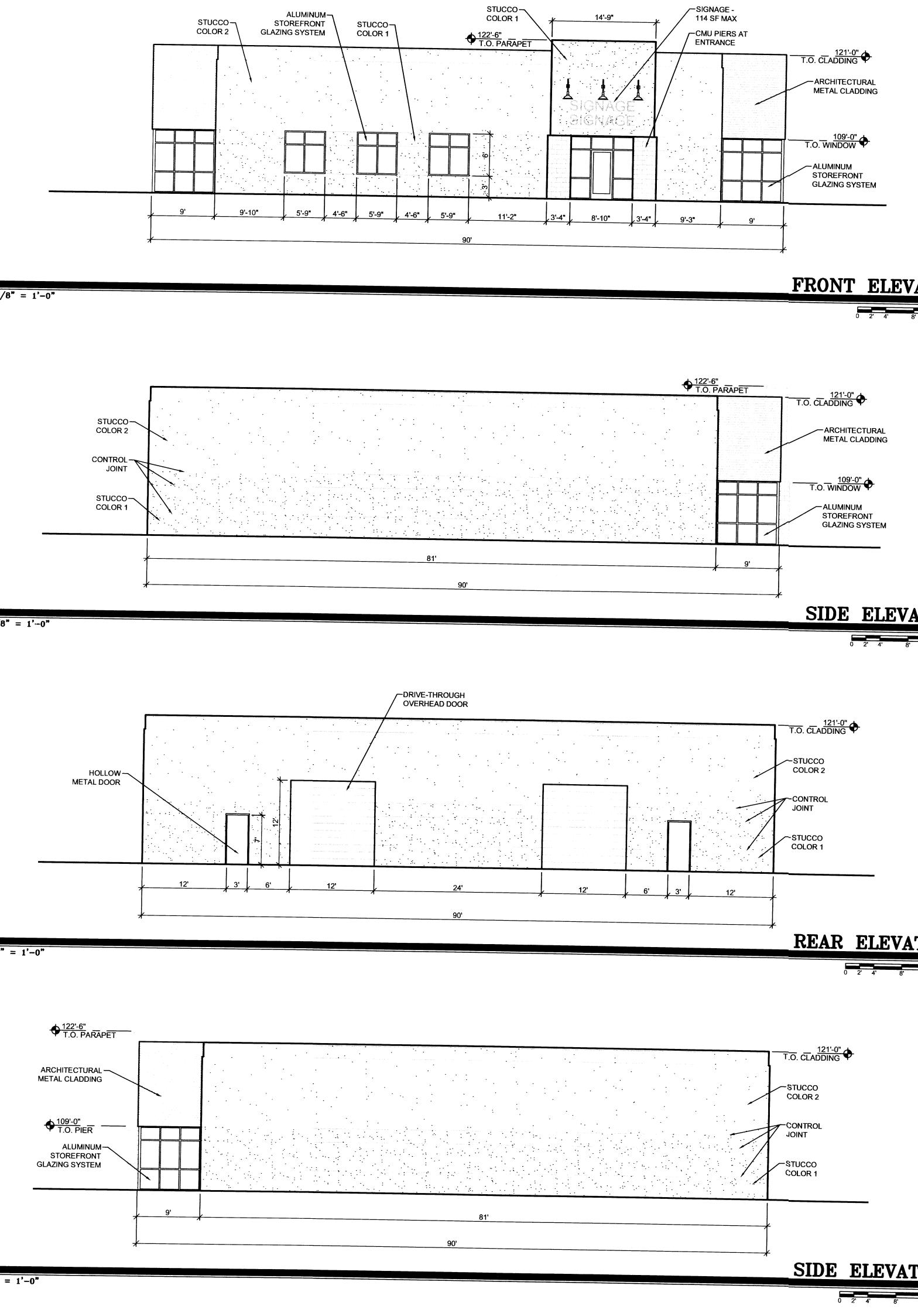
TAN

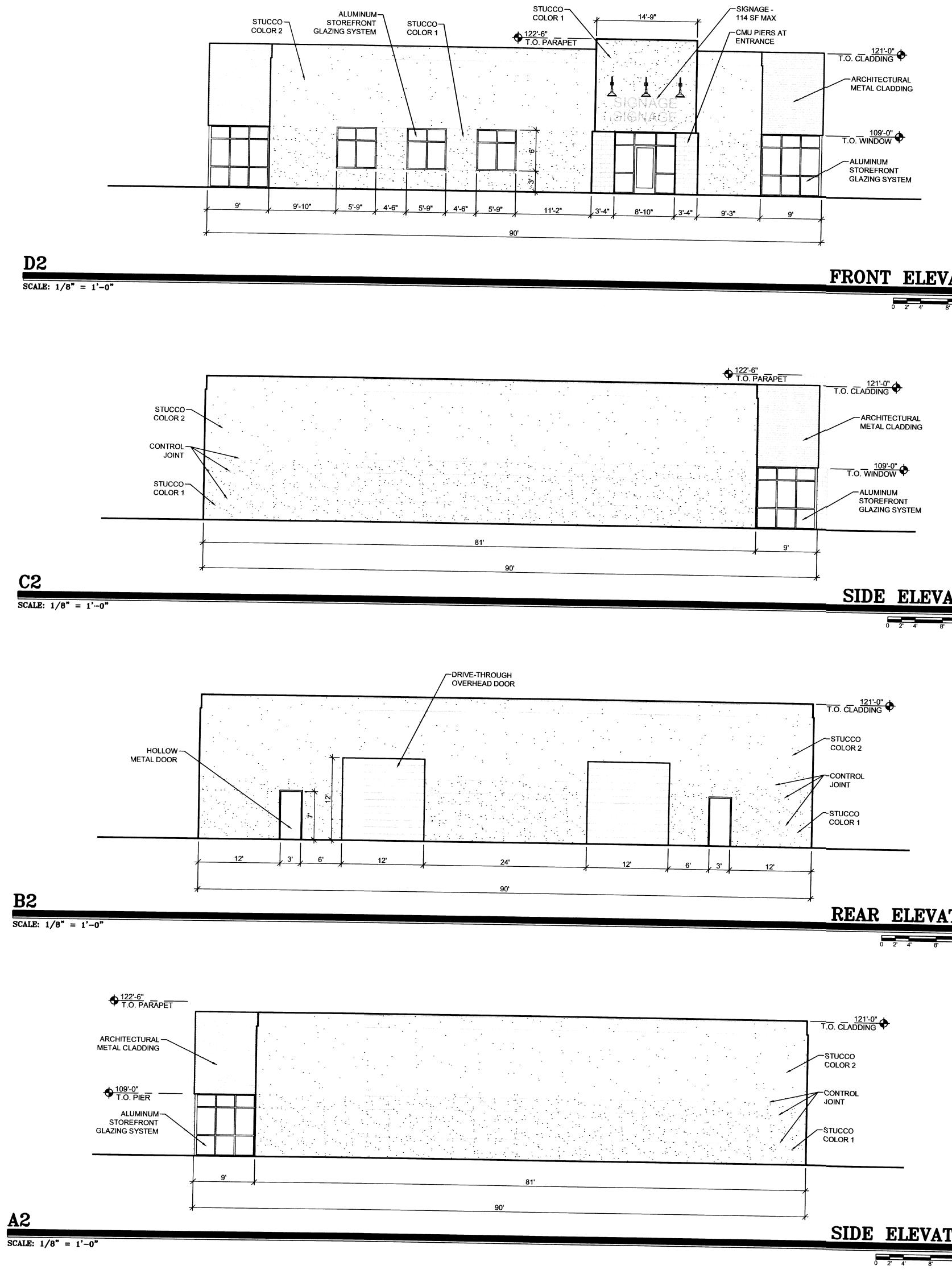
# **COLORS LEGEND**

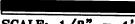
CLAUDIO VIGIL ARCHITECTS
1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330
OWNERSHIP OF INSTRUMENTS OF SERVICE All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.
CONSULTANTS
PROFESSIONAL SEAL
LADERA BUSINESS PARK TRACT 9 7500 LA MORADA PL, NW ALBUQUERQUE, NEW MEXICO
-     -       -     -       -     -       -     -       -     -       -     -       MARK     DATE       DESCRIPTION
PROJECT NUMBER:06270DRAWING FILE:06270\3DESDEV\LBP A-201DRAWN BY:LHCHECK BY:LHCOPYRIGHT:CLAUDIO VIGIL ARCHITECTS 2005DATE:MARCH 5, 2007
SHEET TITLE BUILDINGS A, B, G
SHEET NUMBER A-202

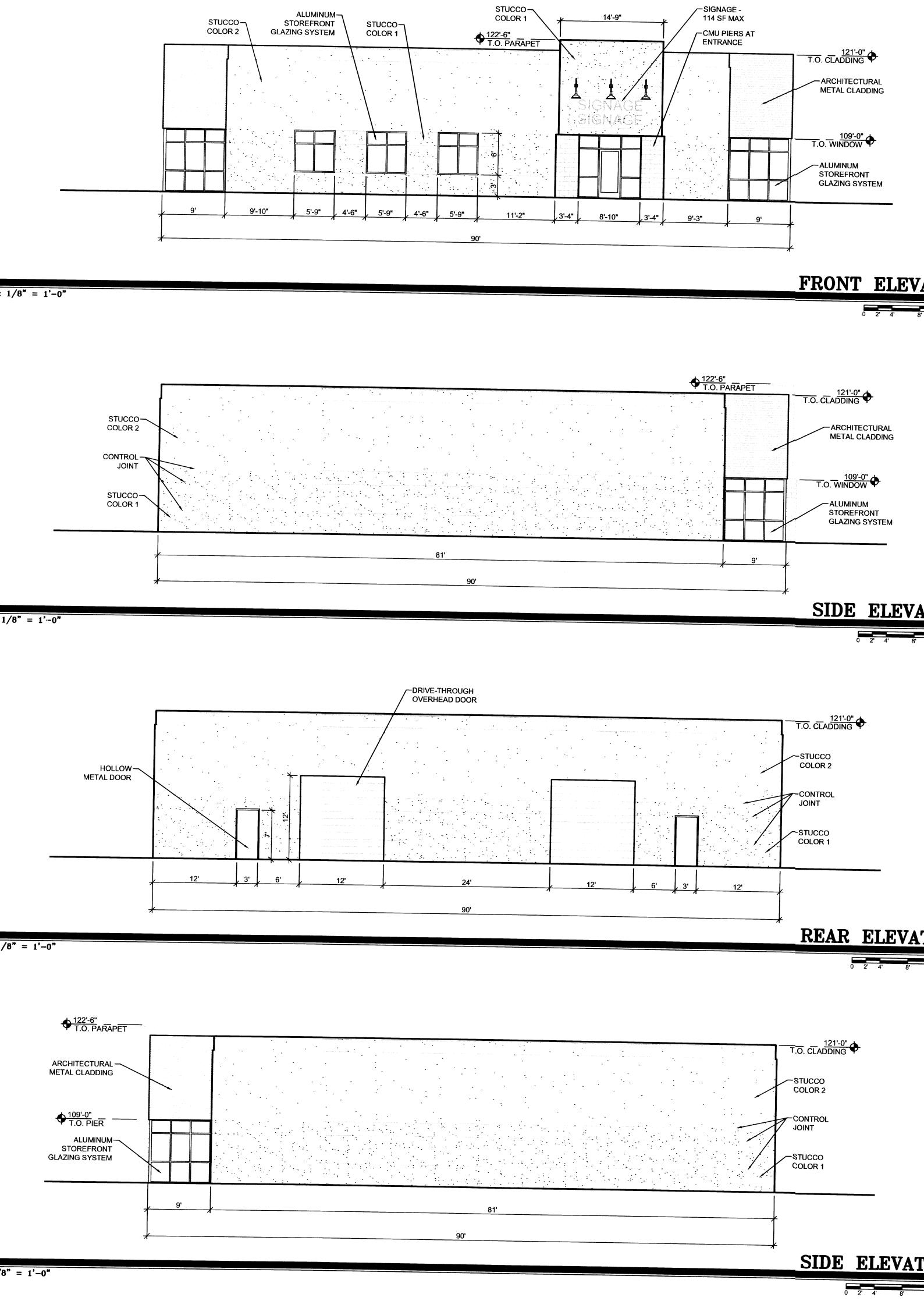












SCALE: 1/8" = 1'-0"

4

## MATERIAL

STUCCO:

ALUMINUM STOREFRONT:

HOLLOW METAL DOORS & FRAMES: MEDIUM TAN GLAZING:

OVERHEAD DOORS:

METAL CLADDING:

CMU:

# COLOR

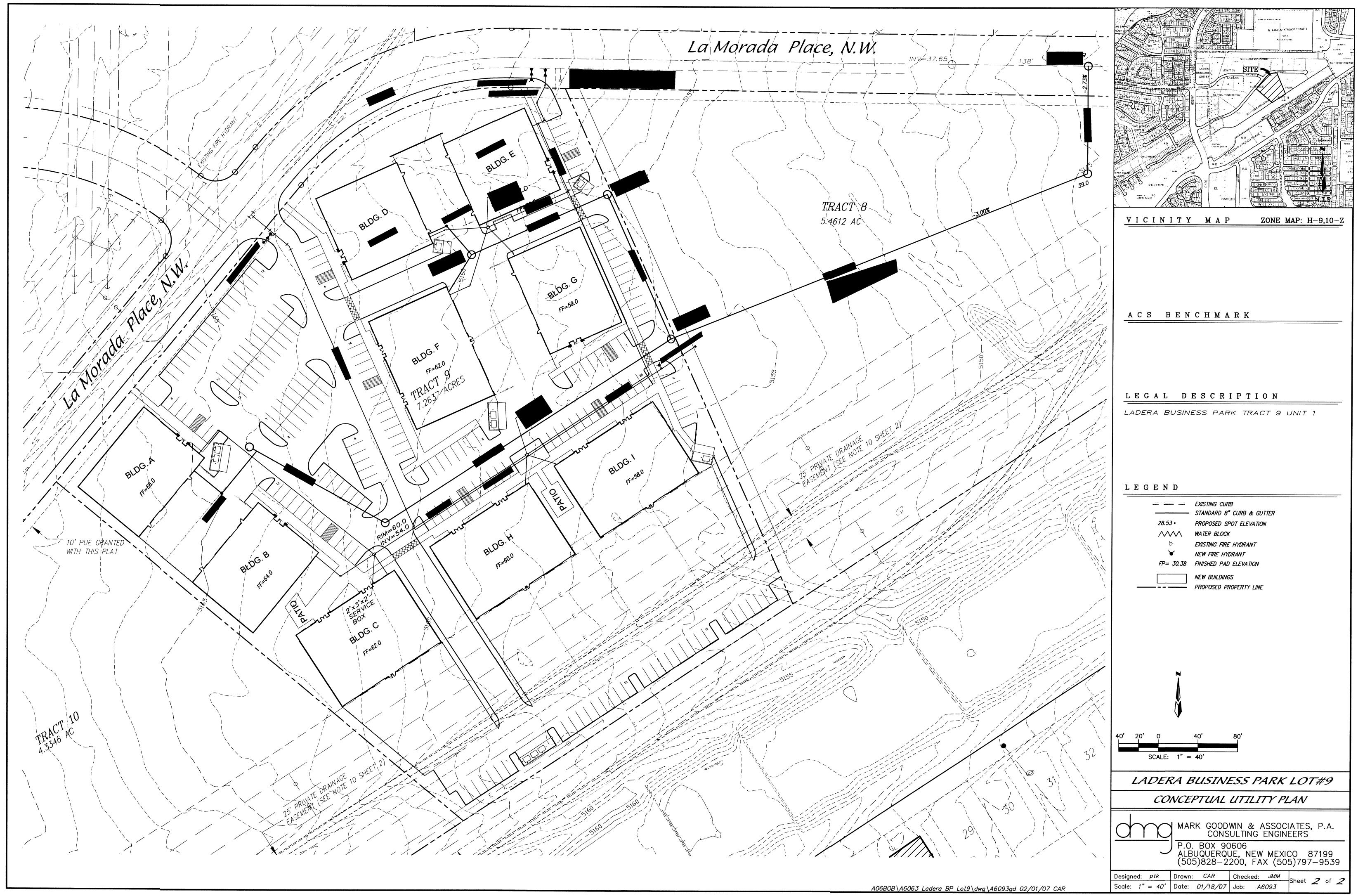
COLOR 1: DARK TAN COLOR 2: MEDIUM TAN

CLEAR ANODIZED ALUMINUM BLUE SEMI-REFLECTIVE DARK TAN DUSTY BLUE

TAN

# **COLORS LEGEND**

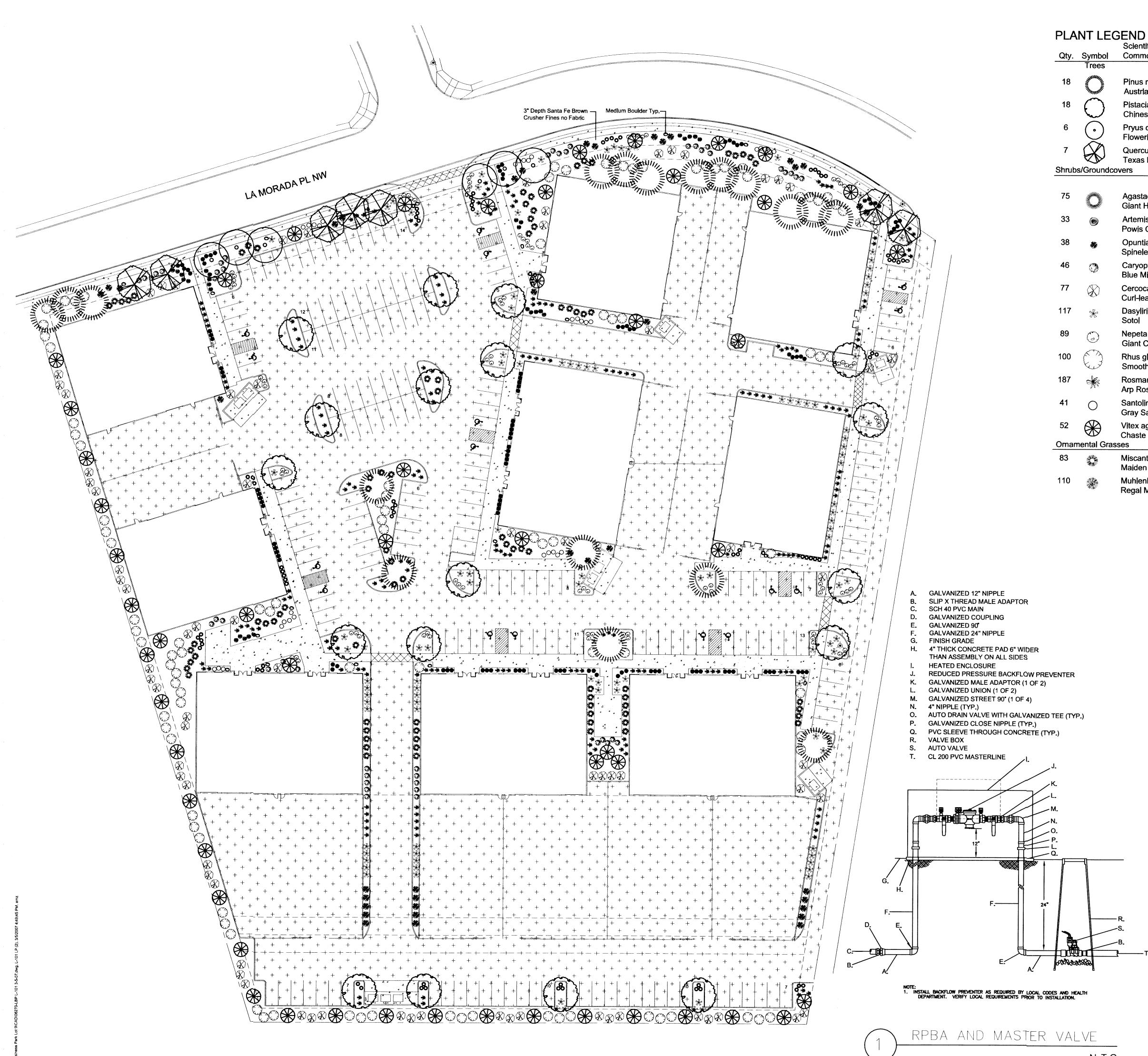
CLAUDIO VIGIL ARCHITECTS
1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330
OWNERSHIP OF INSTRUMENTS OF SERVICE All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.
CONSULTANTS
PROFESSIONAL SEAL
A CARLER AND A CONTRACT OF A C
LADERA BUSINESS PARKTRACT 97500 LA MORADA PL, NW ALBUQUERQUE, NEW MEXICO
-       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         MARK       DATE       DESCRIPTION
PROJECT NUMBER:06270DRAWING FILE:06270\3DESDEV\LBP A-201DRAWN BY:LHCHECK BY:LHCOPYRIGHT:CLAUDIO VIGIL ARCHITECTS 2005DATE:MARCH 5, 2007
SHEET TITLE BUILDINGS D, E
SHEET NUMBER A-203



4 10 1







N.T.S.

Scientific Name	Size	Water Use	Area
	0126	vvaler 03e	
Pinus nigra Austrian Pine	5'-6'	Medium	
Pistacia chinensis Chinese Pistache	2" B&B	Medium +	
Pryus calleryana Nowering Pear	2" B&B	Medium +	
Quercus buckleyi Texas Red Oak rs	2" B&B	Medium	
gastache cana iant Hyssop	1-Gal	Medium	8sf x 75= 600sf
rtemisia 'Powis Castle' owis Castle Sage	1-Gal	Low +	24sf x 33= 792sf
)puntia sp. pineless Prickly Pear	1-Gal	Medium	30sf x 38= 1140sf
aryopteris clandonensis lue Mist	1-Gal	Medium	32sf x 46= 1472sf
ercocarpus ledifolios url-leaf Mtn. Mahogany	5-Gal	Low +	50sf x 77= 3850sf
asylirion wheeleri otol	5-Gal	Low+	20sf x 117= 2340sf
epeta mussini iant Catmint	1-Gal	Medium	8sf x 89= 712sf
hus glabra mooth Sumac	5-Gal	Low+	50sf x 100= 5000sf
osmarinus officinalis 'Arp' rp Rosemary	5-Gal	Low +	36sf x 187= 6732sf
antolina chamaecyparissus ray Santolina	1-Gal	Low	24sf x 41= 984sf
itex agnus-castus haste Tree	5-Gal	Medium	50sf x 52 = 2600sf
iscanthus sinensis 'Gracillimus' aiden Grass	5-Gal	Medium	20sf x 83= 1660sf
ublembergie eentliede IDe val Mitait	501		

Muhlenbergia capillaris 'Regal Mist' Regal Mis

15sf x 110= 1650sf TOTAL PROVIDED = 29532sf TOTAL REQUIRED= 35251sf X.75 =26438sf

# SITE DATA

GROSS LOT AREA	
LESS BUILDING(S)	
NET LOT AREA	

_316410	S
81400	S
235010	S

REQUIRED LANDSCAPE 15% OF NET LOT AREA	35251	SF
PROPOSED LANDSCAPE	50292	0  SF
PERCENT OF NET LOT AREA	21	0, %
		/0

REQUIRED STREET TREES PROVIDED AT 25' O.C. SPACING ALONG STREET 25 REQUIRED PARKING LOT TREES PROVIDED AT 1 PER 10 SPACES (195 SPACES/10) 19

# PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

# NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

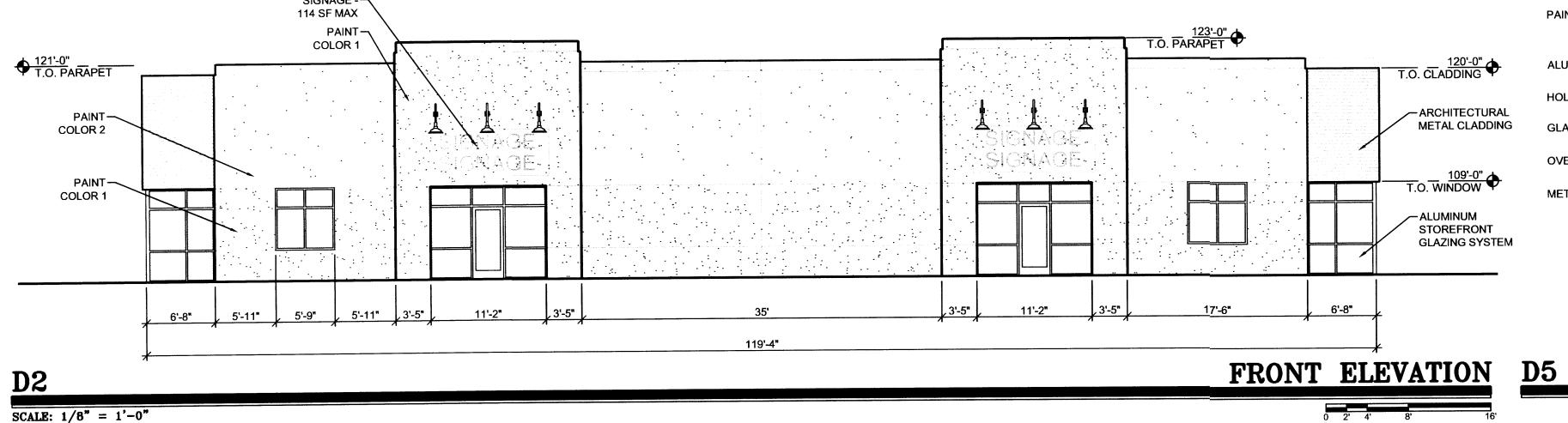
APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.



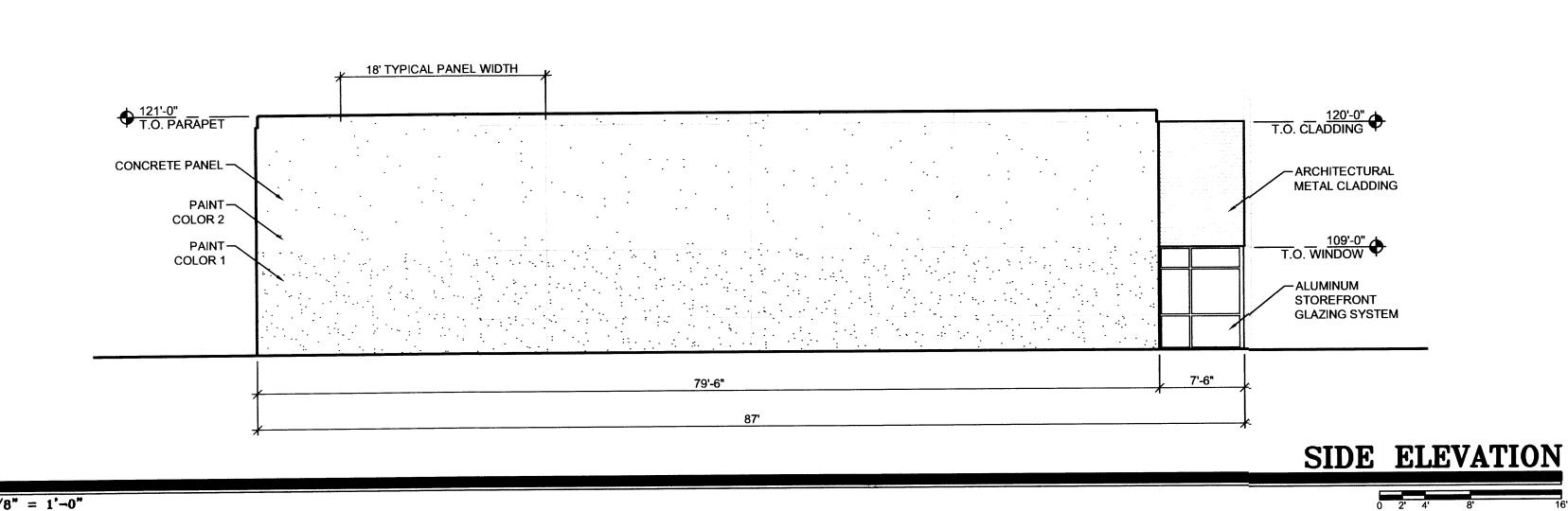
# SIGNAGE - – 114 SF MAX PAINT-



SCALE:  $1/8^{"} = 1'-0"$ 

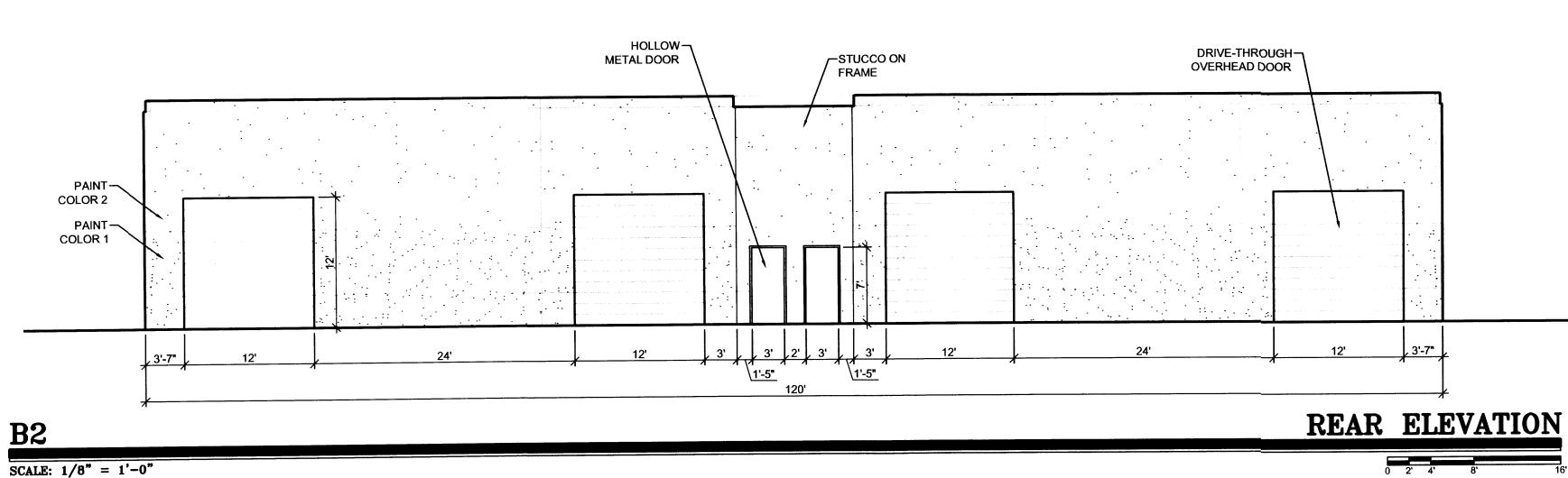
4

4.1

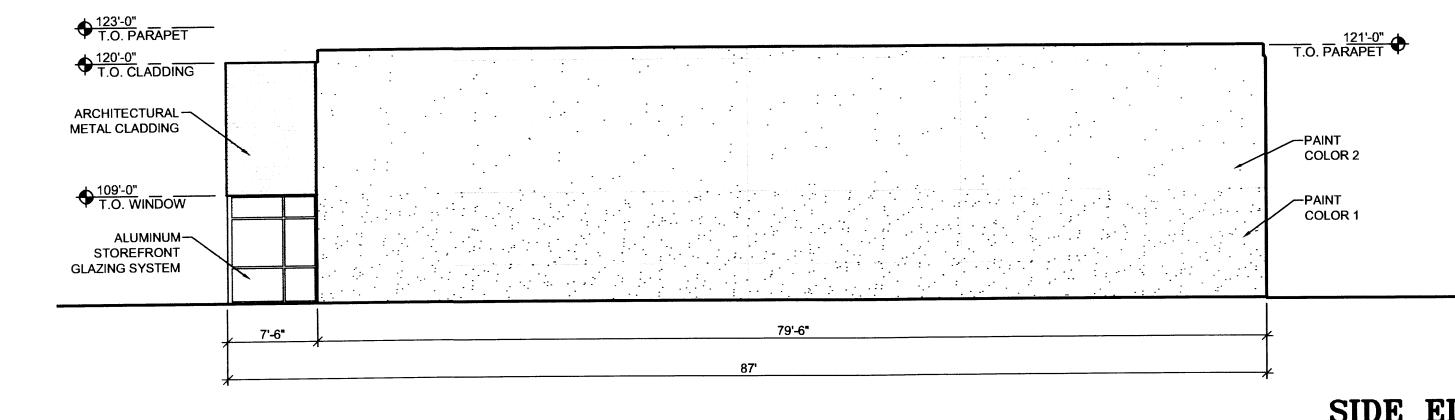


SCALE: 1/8" = 1'-0"

**C2** 



SCALE: 1/8" = 1'-0"



**A2** SCALE: 1/8" = 1'-0"

# MATERIAL

PAINT:

T.O. CLADDING •

ARCHITECTURAL METAL CLADDING

T.O. WINDOW - ALUMINUM

STOREFRONT GLAZING SYSTEM ALUMINUM STOREFRONT:

HOLLOW METAL DOORS & FRAMES: MEDIUM TAN GLAZING:

OVERHEAD DOORS:

METAL CLADDING:

# COLOR

COLOR 1: DARK TAN COLOR 2: MEDIUM TAN CLEAR ANODIZED ALUMINUM

BLUE SEMI-REFLECTIVE

DARK TAN DUSTY BLUE

1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330

# **COLORS LEGEND**

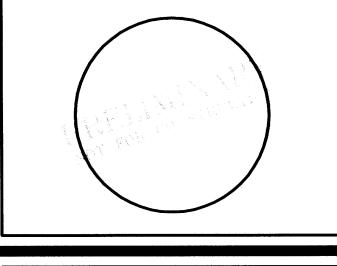
All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto. CONSULTANTS

PROFESSIONAL SEAL

CLAUDIO VIGIL

ARCHITECTS

OWNERSHIP OF INSTRUMENTS OF SERVICE



# LADERA BUSINESS PARK

# TRACT 9

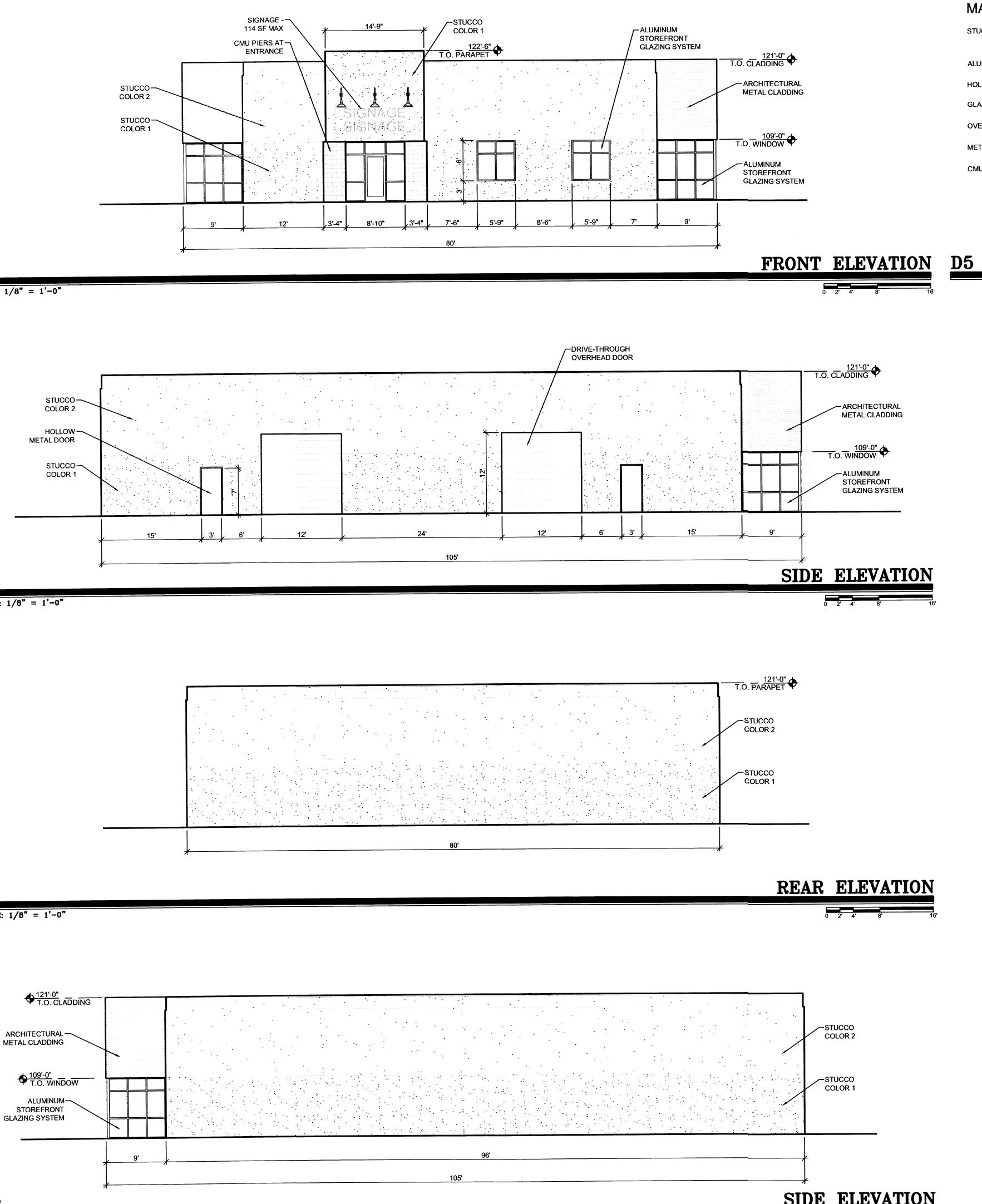
7500 LA MORADA PL, NW Albuquerque, NEW MEXICO

-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
_	-	-
MARK	DATE	DESCRIPTION
MARK	DATE	DESCRIPTION
MARK	DATE	DESCRIPTION
	DATE T NUMBER:	DESCRIPTION 06270
PROJEC		
PROJEC	T NUMBER: G FILE:	06270
PROJEC	T NUMBER: G FILE: BY:	06270 06270\3DESDEV\LBP A-201
PROJEC DRAWIN DRAWN	T NUMBER: G FILE: BY: BY:	06270 06270\3DESDEV\LBP A-201

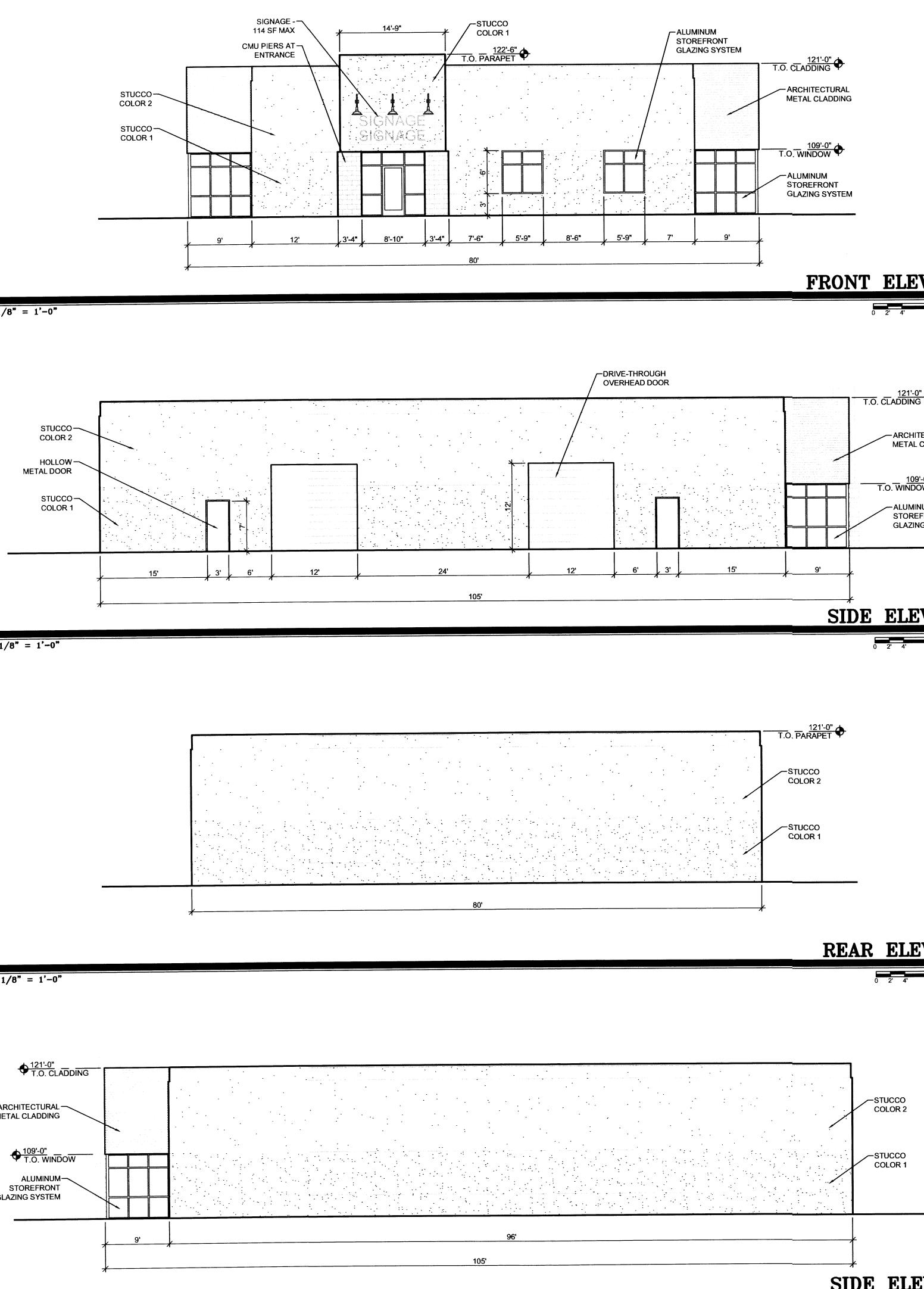
SHEET TITLE BUILDINGS C, F, H, I SHEET NUMBER A-201



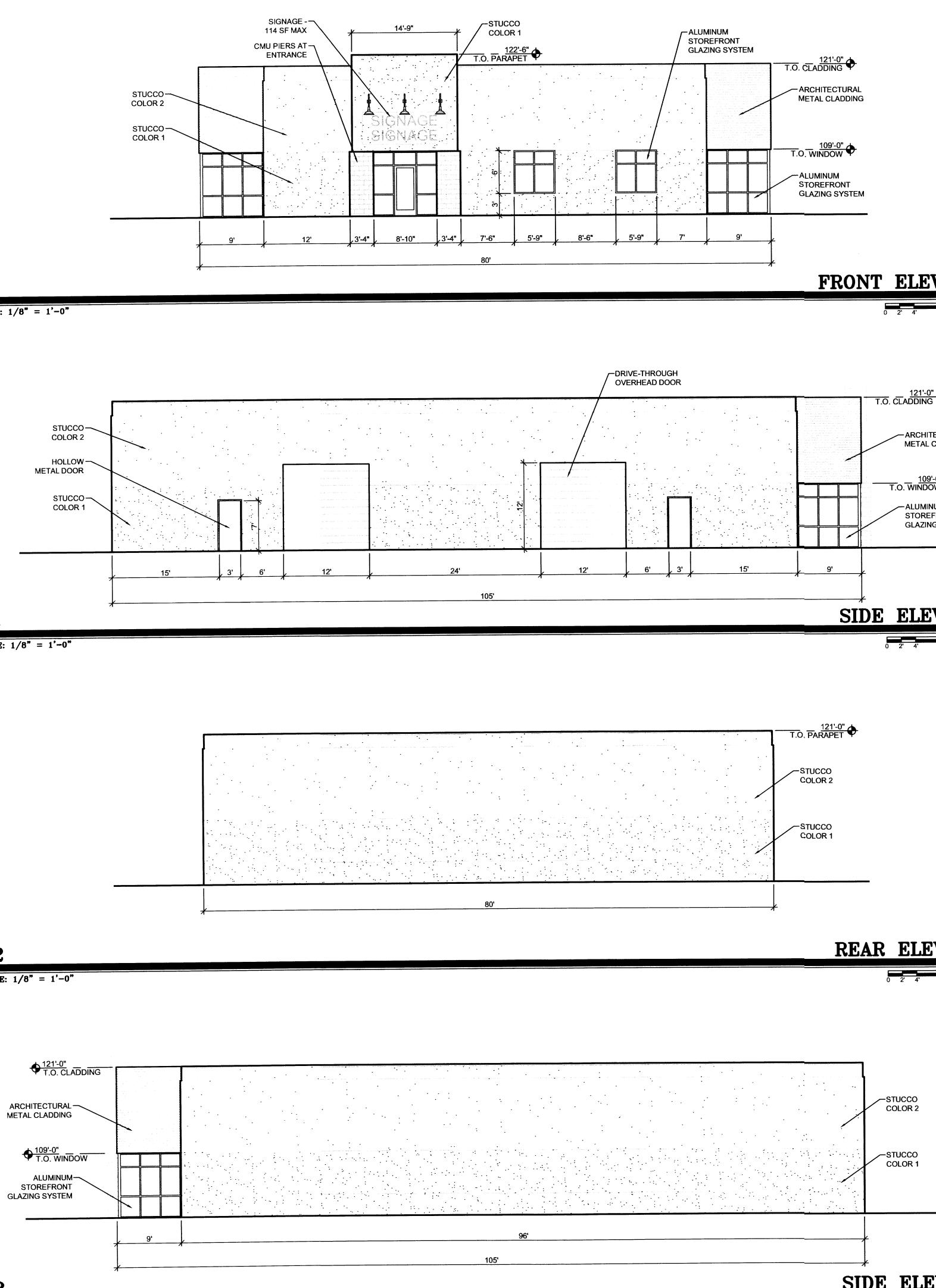
SIDE ELEVATION



SCALE:  $1/8^{"} = 1'-0"$ 

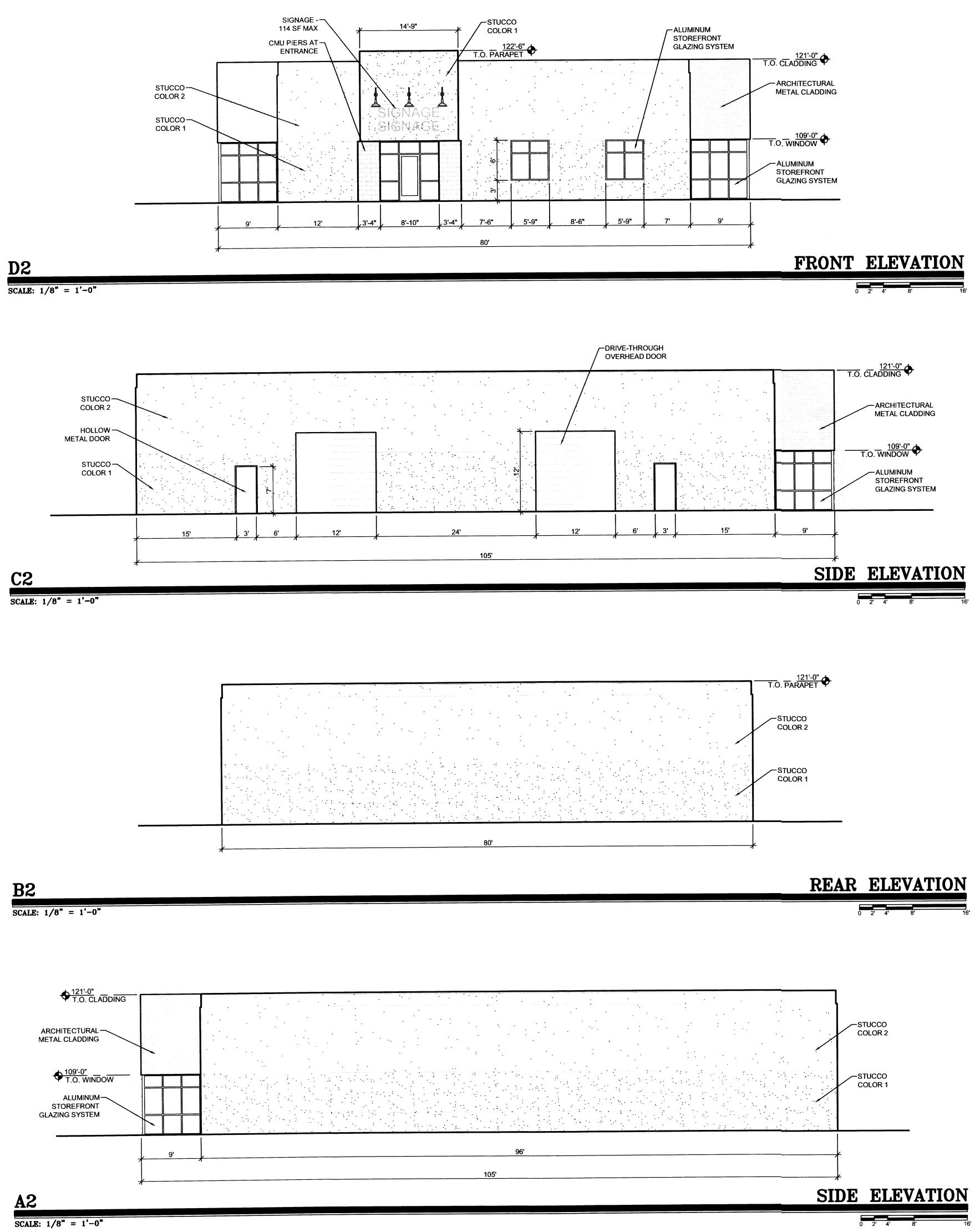


SCALE:  $1/8^{"} = 1'-0"$ 



# **B2**

SCALE:  $1/8^{"} = 1'-0"$ 



SCALE: 1/8" = 1'-0"

# MATERIAL

ALUMINUM STOREFRONT:

STUCCO:

GLAZING:

CMU:

OVERHEAD DOORS:

METAL CLADDING:

COLOR

COLOR 1: DARK TAN COLOR 2: MEDIUM TAN

CLEAR ANODIZED ALUMINUM HOLLOW METAL DOORS & FRAMES: MEDIUM TAN

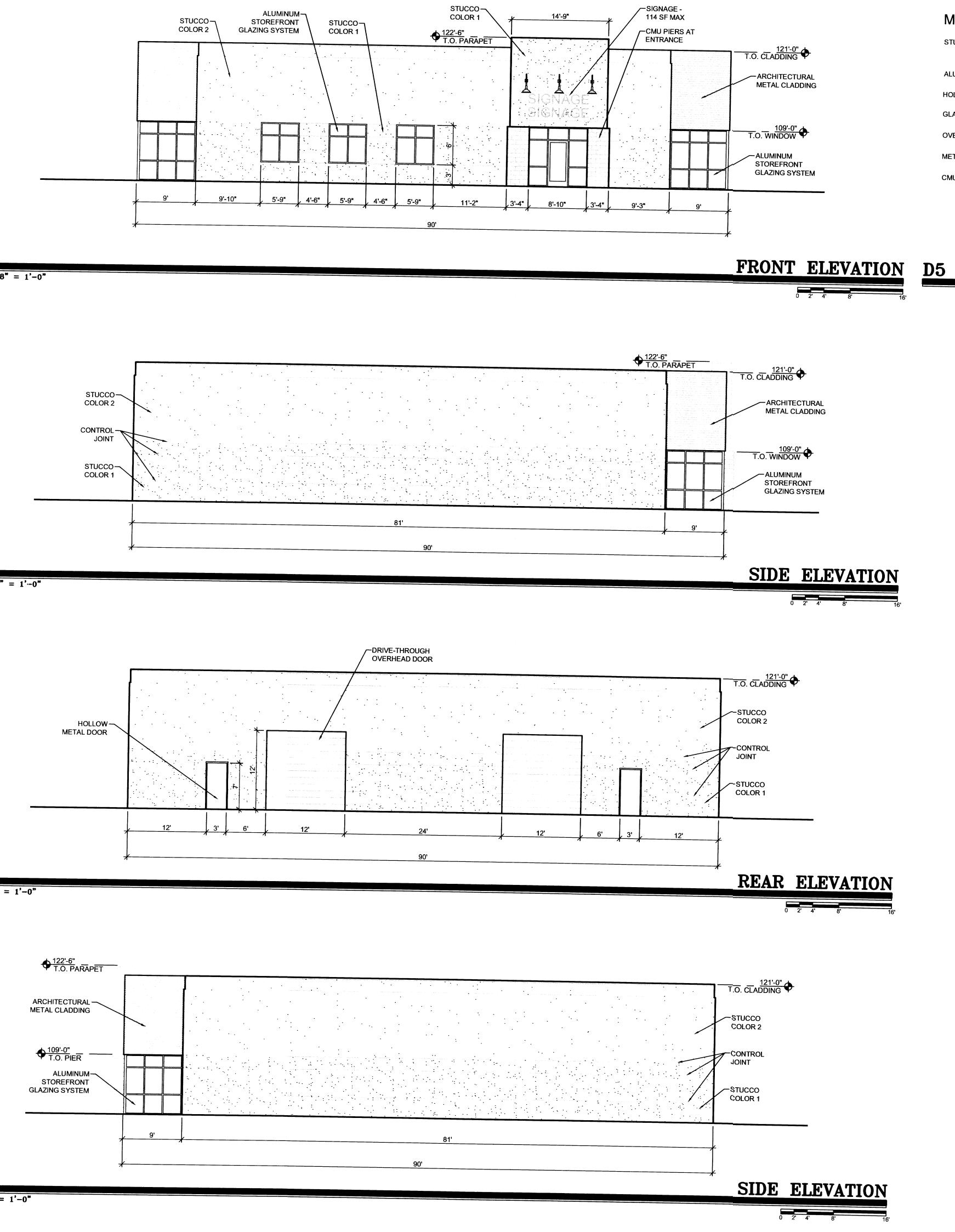
> BLUE SEMI-REFLECTIVE DARK TAN

DUSTY BLUE

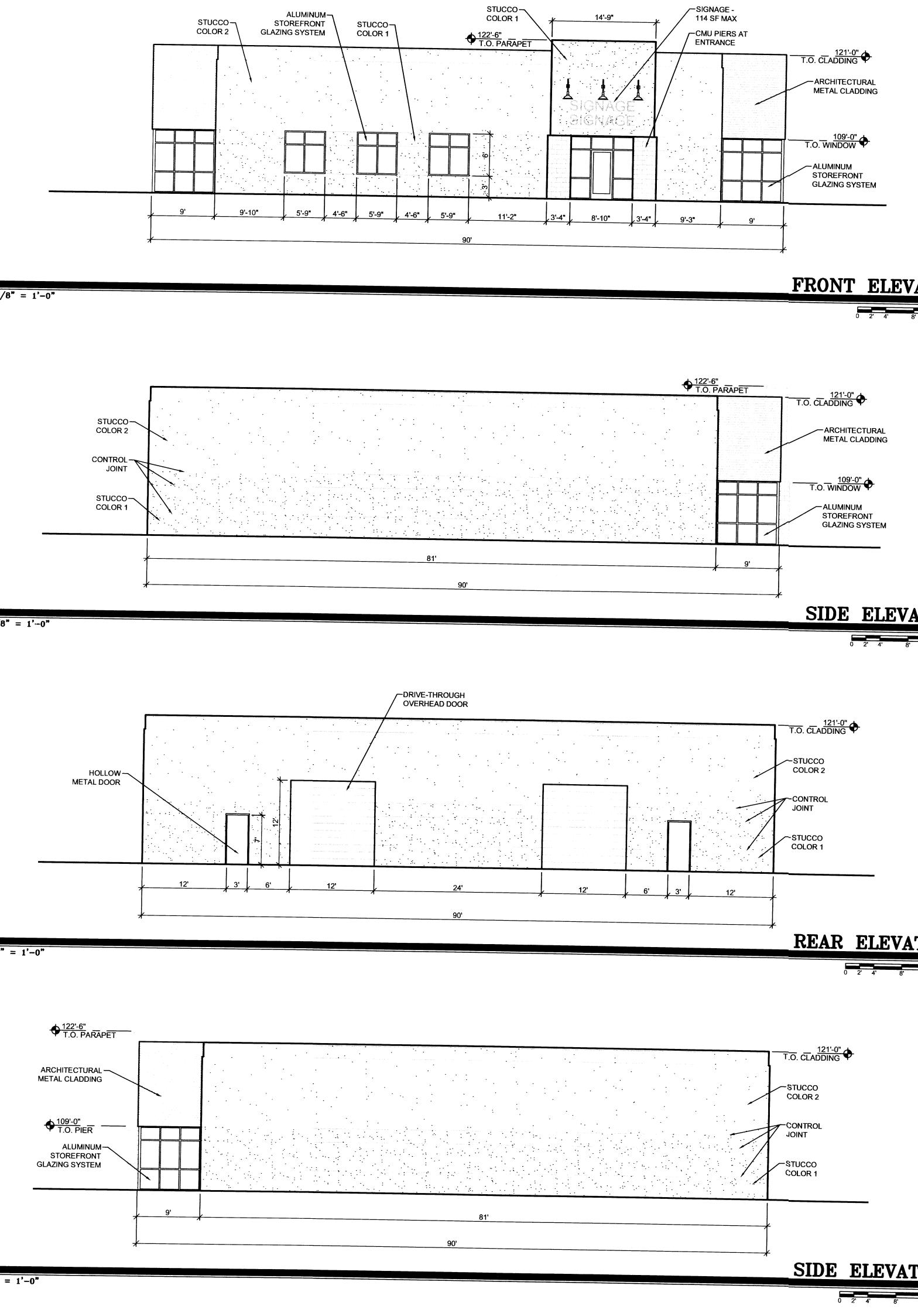
TAN

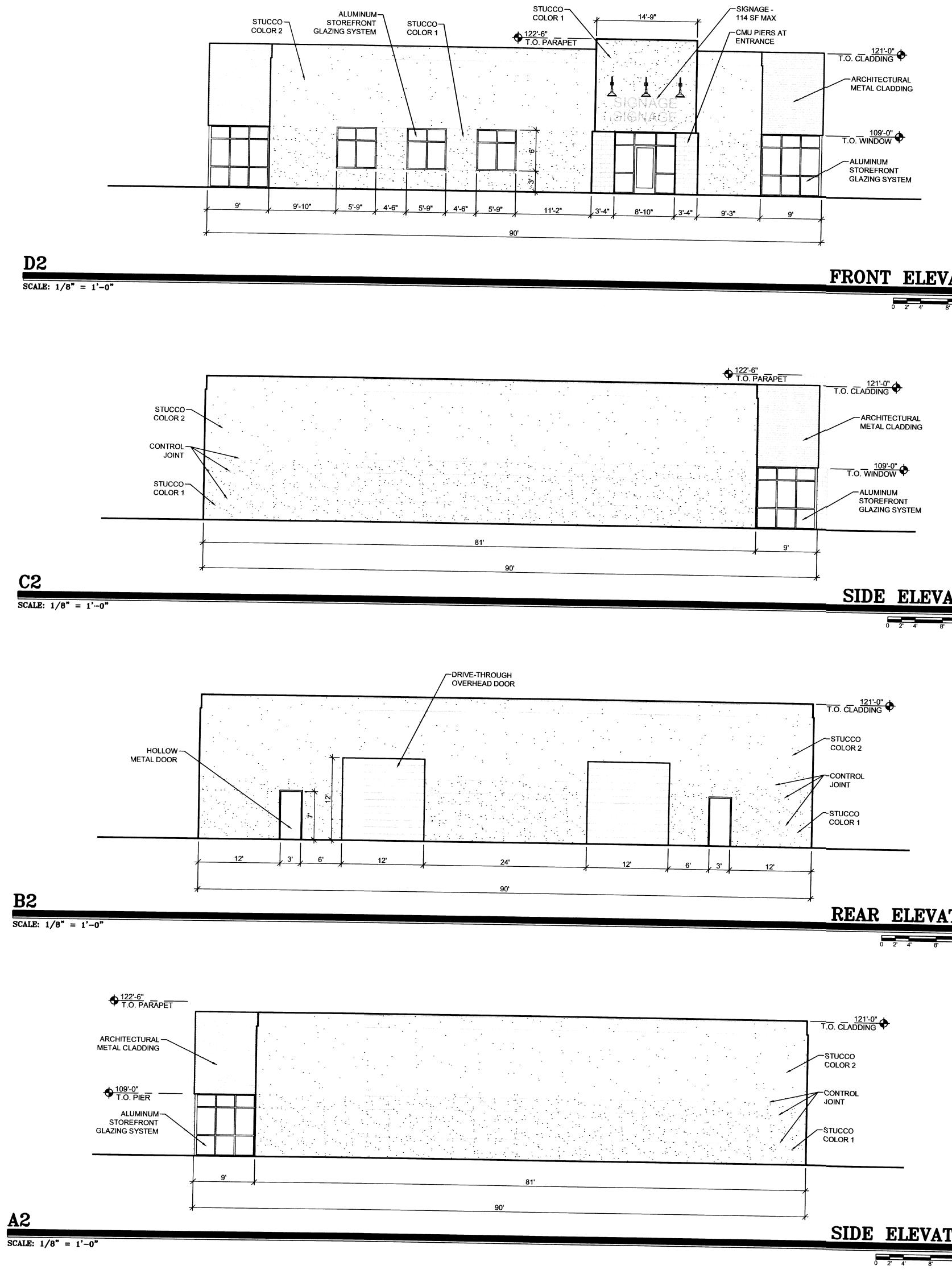
# **COLORS LEGEND**

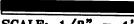
CLAUDIO VIGIL ARCHITECTS
1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330
OWNERSHIP OF INSTRUMENTS OF SERVICE All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.
CONSULTANTS
PROFESSIONAL SEAL
LADERA BUSINESS PARK TRACT 9 7500 LA MORADA PL, NW ALBUQUERQUE, NEW MEXICO
-     -       -     -       -     -       -     -       -     -       -     -       MARK     DATE       DESCRIPTION
PROJECT NUMBER:06270DRAWING FILE:06270\3DESDEV\LBP A-201DRAWN BY:LHCHECK BY:LHCOPYRIGHT:CLAUDIO VIGIL ARCHITECTS 2005DATE:MARCH 5, 2007
SHEET TITLE BUILDINGS A, B, G
SHEET NUMBER A-202

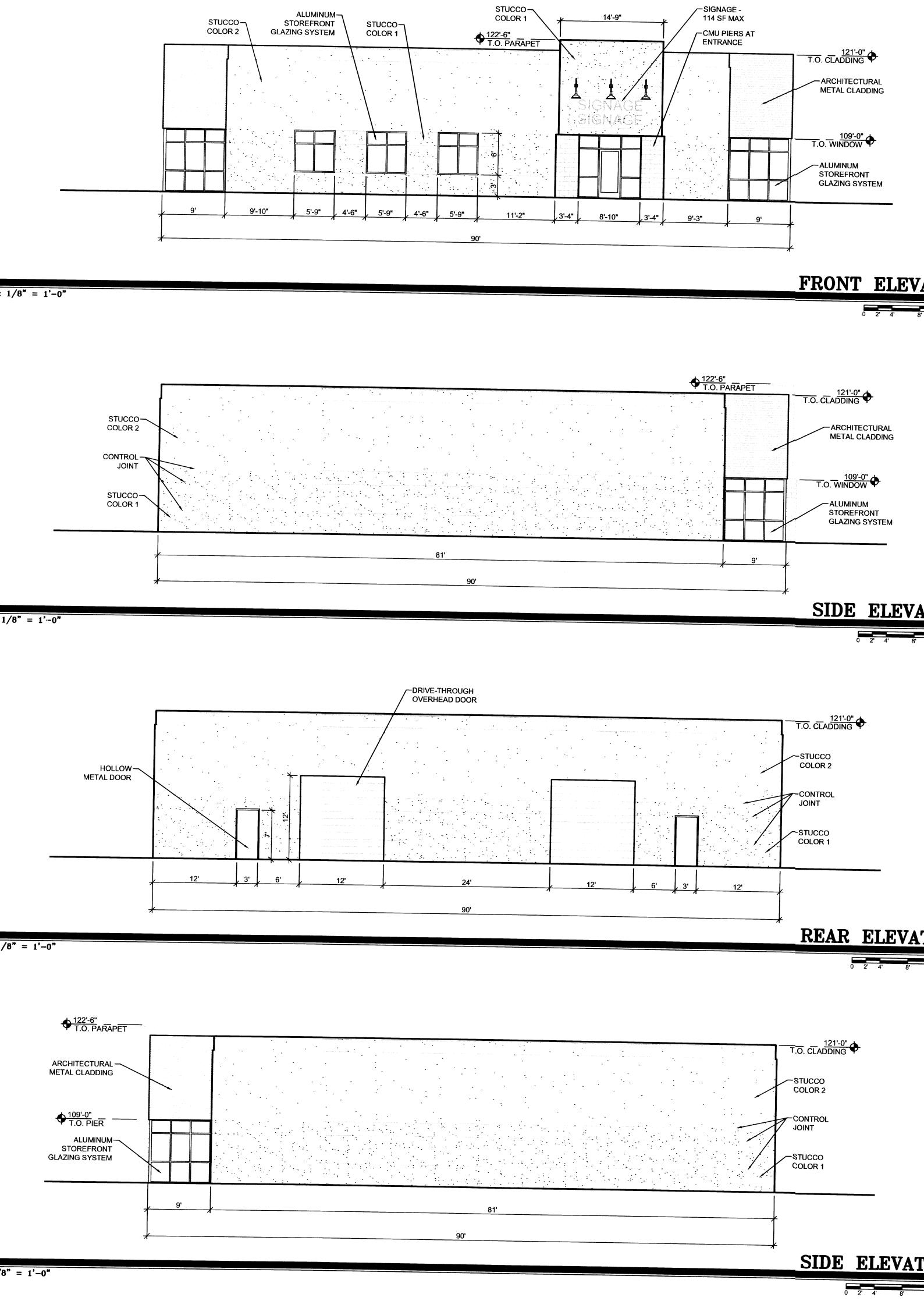












SCALE: 1/8" = 1'-0"

4

## MATERIAL

STUCCO:

ALUMINUM STOREFRONT:

HOLLOW METAL DOORS & FRAMES: MEDIUM TAN GLAZING:

OVERHEAD DOORS:

METAL CLADDING:

CMU:

# COLOR

COLOR 1: DARK TAN COLOR 2: MEDIUM TAN

CLEAR ANODIZED ALUMINUM BLUE SEMI-REFLECTIVE DARK TAN DUSTY BLUE

TAN

# **COLORS LEGEND**

CLAUDIO VIGIL ARCHITECTS
1801 Rio Grande Boulevard, N.W. Albuquerque, New Mexico Phone: (505) 842-1113 Fax: (505) 842-1330
OWNERSHIP OF INSTRUMENTS OF SERVICE All design concepts, details, specifications, plans, computer files, field data, notes and other documents and instruments prepared by Ambysis P.C., D.B.A. Claudio Vigil Architects, as instruments of service shall remain the property of Ambysis P.C., Claudio Vigil Architects, P.C. Architect shall retain all common law, statutory and other reserved rights, including the copyright thereto.
CONSULTANTS
PROFESSIONAL SEAL
A CARLER AND A CONTRACT OF A C
LADERA BUSINESS PARKTRACT 97500 LA MORADA PL, NW ALBUQUERQUE, NEW MEXICO
-       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         -       -         MARK       DATE       DESCRIPTION
PROJECT NUMBER:06270DRAWING FILE:06270\3DESDEV\LBP A-201DRAWN BY:LHCHECK BY:LHCOPYRIGHT:CLAUDIO VIGIL ARCHITECTS 2005DATE:MARCH 5, 2007
SHEET TITLE BUILDINGS D, E
SHEET NUMBER A-203



4 10 1

### GENERAL NOTES

## DESIGN LOADS

BUILDING CODE	INTERNATIONAL BUILDING CODE 2015
LIVE LOADS	5 PSF
SNOW LOAD	5 PSF
WIND LOADS	115 MPH* and 180 MPH with Fabric Off
	3-Sec. Gust. BISK CATEGORY II & EXPOSURE C

115 MPH ACCORDING THE ULTIMATE WIND SPEED MAPS OF ASCE 7-10 IS EQUIVALENT TO THE NOMINAL WIND SPEED OF 90 MPH ACCORDING ASCE 7-05 AND IBC 2015 EQ 16-33

### STRUCTURAL STEEL

1. ALL STRUCTURAL SHAPES SHALL BE COLD FORMED HSS ASTM A500 GRADE C. UNLESS OTHERWISE NOTED. TYPICAL MECHANICAL PROPERTIES FOR HSS PRODUCTS

	SQUARE AND RECTANGULAR	50,000 PSI YIELD / 62,000 PSI TENSILE
	ROUND PIPE	46,000 PSI YIELD / 62,000 PSI TENSILE
2.	ALL GALVANIZED STEEL TUBE PRODUCTS ARE MECHANICAL PROPERTIES ACHIEVED FOR GA	

ROUND TUBE 45 000 PSI VIELD / 48 000 PSI TENSILE

ALL PLATES SHALL COMPLY WITH ASTM A572 GRADE 50.

- ALL STEEL TUBING SHALL BE TRIPLE COATED FOR RUST PROTECTION USING THE IN-LINE ALL O LECL I UDING SHALL BE INPLE COATED FOR RUST PROTECTION USING THE IN-LINE ELECTROPLATING COAT PROCESS, TUBING SHALL BE INTERNALLY COATED WITH ZINC AND ORGANIC COATINGS TO PREVENT CORROSION AS MANUFACTURED BY ALLIED TUBE & CONDUIT.
- STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
- ALL SHOP WELDS SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE ALE ORD WELDS ONE DE CASO DI RACOMANDA SALL VELOS SHALLES I CONTRA ON TH AMERICAN WELDING SOCIETY (AWS) D1.1 SPECIFICATIONS ALL VELOS SHALLES CONTINUOUS WHERE LENGTH IS NOT GIVEN, UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE WEAKER MEMBER. ALL WELDS SHALL BE MADE USING E70XX.045 WIRE.
- SHOP CONNECTIONS SHALL BE WELDED UNLESS NOTED OTHERWISE. FIELD CONNECTIONS SHALL BE AS INDICATED ON THE DRAWINGS (IF REQUIRED). ALL FILLET WELDS SHALL BE A MIMINUM OF 31/6" UNLESS OTHERWISE NOTED. FIELD WELDS SHALL NOT BE ALLOWED. ALL HIGH STRENGTH BOLTS SHALL COMPLY WITH ASTM F3125 GRADE A325 (GALVANIZED)
- ALL NUTS SHALL COMPLY WITH ASTM A563DH, AND WASHERS SHALL COMPLY WITH ASTM F436.
- ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.
- 10. ALL STAINLESS STEEL BOLTS / STUDS SHALL COMPLY WITH ASTM F-593, ALLOY GROUP 1 OR 2 ALL NUTS SHALL COMPLY WITH ASTM F-594 ALLOY GROUP 1 OR 2.
- ALL STRUCTURAL STEEL SHALL BE POWDER COATED WITH ONE SHOP COAT (2.5 MILS MIN.) OF ZINC-RICH PRIMER, UNDERCOAT, AND FINISH COAT, OR EQUIVALENT PAINT SYSTEM. THIS COAT IS A WEATHER RESISTANT POWDER COATING BASE ON POLYESTER TGIC 11 (MANUFACTURED BY SHERWIN WILLIAMS, ASKO NOBEL, PPG OR TIGER DRYLAC). TO ACHIEVE OPTIMUM ADHESION, IT IS RECOMMENDED THAT THE PROPER TREATMENT AND DRYING TAKE PLACE BEFORE COATING. POLYESTER POWDER (TGIC) SPECIFICATIONS SHALL BE AS FOLLOWS
- PENCIL HARDNESS (ASTM D-3363).
- HUMIDITY (ASTM D-2247).
- \* SOLVENT RESISTANCE (PCI METHOD) 50 DBL RUBS SL. SOFTNESS.

### FABRIC SPECIFICATION

FABRIC SHALL BE A HIGH DENSITY POLYETHYLENE WITH ULTRA VIOLET ADDITIVES, WITH MONOFILAMENT AND TAPE CONSTRUCTION GIVING A STABLE MATERIAL AND RACHEL KNITTED TO ENSURE MATERIAL WILL NOT UNRAVEL IF CUT

2.		SOLID COLORS	STRIPE COLORS		
	TEAR STRENGTH	WARP 220.4622 LB	WARP 182.9836 LB		
		WEFT 462.9707 LB	WEFT 401.2413 LB		
	BURST STRENGTH	37.7098 PSIA	33.0686 PSIA		
	FADING	MINIMUM FADING AFTER 5 YE	ARS		

- LIFE EXPECTANCY: A MINIMUM OF 8 YEARS CONTINUOUS EXPOSURE TO THE SUN
- FIRE TEST ON FABRIC: NFPA 701 TEST 2 AND ASTM E 84
- THREAD-PTFE (TEFLON) USED MEET THE FOLLOWING SPECIFICATIONS: HIGH STRENGTH, LOW SHRINKAGE, WIDE TEMPERATURE RANGE, FLEX ABRASION RESISTANT AND UV RADIATION IMMUNITY. LOCKSTITCH 1200 DENIER, CHAINSTITCH THREAD 2400 DENIER,

### AIRCRAFT CABLE

- WIRE ROPE CABLE SHALL BE 7x19 STRAND CORE GALVANIZED WIRE ROPE WITH A BREAKING STRENGTH VALUE OF 14.400 LBS (3/8" DIAMETER)
- CABLES SHALL BE FED THROUGH THE FABRIC SLEEVES ABOUND THE PERIMETER OF THE CANOPY AND TENSIONED UNTIL THE FABRIC PANELS (DESIGNED PURPOSEFULLY UNDERSIZED) REACH A TAUNT APPEARANCE. ANY LONG TERM CABLE SAG SHALL BE MINIMIZED DURING THE MAINTENANCE HE-TIGHTENING VISITS AS REQUIRED.

COLUMN	CABLE CLAMP	RDGE	EXTENSION RAFTER COLUMN	
LIST OF MATERIALS	SMI PART No.	FABRIC TOP NEEDS TO BE REMOVED IF SNOW EXCEED	NOTICE DING 5 PSF IS ANTICIPATED	

ITEM	QTY	DESCRIPTION	SMI PART No.	
RAFTER	4	UNPAINTED 350RAF-F5	350RAF-F5	
CROSSPIECE	2	UNPAINTED 350CP-F5	350CP-F5	
BOLT	4	BOLT,HEX,1/2"-13 x 4-1/2",GLV ASTM A325	309108	
HEX NUT	4	NUT,HEX,1/2",GLV 1213 A 194 2H	308069	
NUT 8		WASHER, FLAT, 1/2" GLV ASTM F436	307622	
WASHER	4	WASHER, SPLIT LOCK, 1/2", GLV	307625	
CABLE CLAMPS 4		CLAMPS,CABLE,3/8" DF GLV	307629	
COLUMN		4.5 GA 07 ROUND TUBING	PIH-450-146-300-SIN	
EXTENSION	4	3.5 GA 08 ROUND TUBING	EXT-350-177	
RIDGE	1	3.5 GA 08 ROUND TUBING	RID-350-182	
FABRIC	1	FABRIC SHADESURE NAVY BLUE	200000SNB	
CABLE	1	WIRE ROPE, 7x19, 3/8", GALV	308175	

SP

FABRIC TOP NEEDS TO BE REMOVED IF WINDS EXCEEDING 115 MPH ARE ANTICIPATED. SEE NOTES FOR DESIGN LOADS

### CODE ANALYSIS

					Design By:	MP				
BUILDING	OCCUPANCY	CONSTRUCTION TYPE AREA (SQFT) OCCUPANT		CCUPANCY CONSTRUCTION TYPE AREA (SQFT) OCCUPANT LC		CONSTRUCTION TYPE AREA (SQFT) OCCUPANT LOAD	ISTRUCTION TYPE AREA (SQFT) OCCUPANT LOAD	OCCUPANT LOAD	Approved By:	MP
SHADE STRUCTURE 24' 0" x 34' 0"	U	V-B	816	N/A	DRAWING DE					
					NO	TES / LOM				
			NA	SR. SADI	DWG.					
			(HONe		PAGE					
	C	Digitally signed Thomas R. Sa		12271 ×	,	1000				
		D	192002	ISSI BUN	×					

THE PROFESSIONAL

Date: 2021.09.30 / Marca Sala '10:27:42 -05'00



NC

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF USA SHADE

AND FABRIC STRUCTURES AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. USASHADE

CORPORATE HEADQUARTERS

2580 ESTERS BLVD., SUITE 100

DFW AIRPORT, TX 75261 800-966-5005

CLARK COUNTY MANUFACTURER CERTIFICATION NUMBER (NEVADA):

Creative Recreational Designs

79707-Alburquerque Bilingual

4 Post HIP 401

24' 0" x 34' 0" x 10' 0"e SCALE: AS NOTED

в

CERTIFICATIONS: IAS CERTIFICATION No: FA-428

CUSTOMER

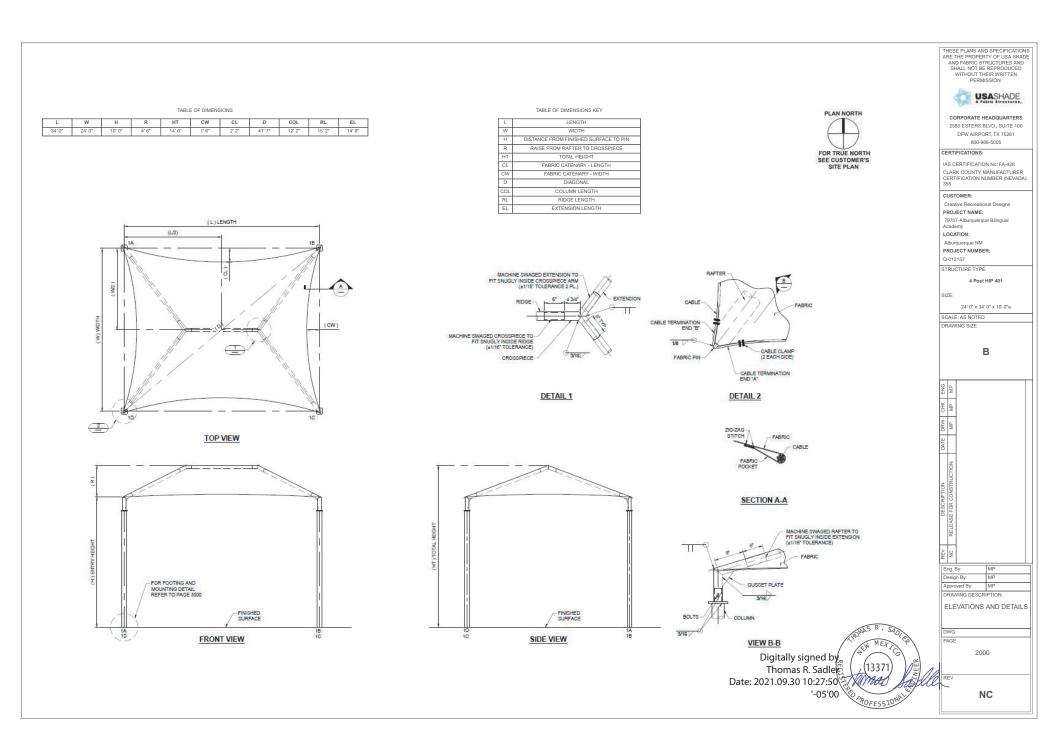
ademy LOCATION:

PROJECT NAME

Alburquerque NM PROJECT NUMBER: 0-012157

STRUCTURE TYPE

SIZE:



REINFORCED CONCRETE NOTES

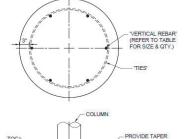
CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE ACI 301 AND BUILDING CODE ACI 318. CONCRETE SPECIFICATIONS SHALL BE AS FOLLOWS: 1.

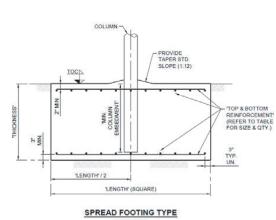
• 28 DAY STRENGTH: 2500 PSI

- SLUMP: 3-5
- \* PORTLAND CEMENT SHALL CONFORM TO C-150 \* AGGREGATE SHALL CONFORM TO ASTM C-33
- ALL REINFORCEMENT STEEL SHALL CONFORM TO ASTM A-615 GRADE 60; AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ACI SPECIFICATION FOR STRUICTURAL CONCRETE ACI 301, ACI DETAILING MANUAL AND CRSI MANUAL OF STANDARD PRACTICE.
- 3. ALL ANCHOR BOLTS SET IN NEW CONCRETE (WHEN APPLICABLE) SHALL COMPLY WITH ASTM F-1554 GRADE 55 (GALVANIZED).
- 4. ALL NON-SHRINK GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE ALL NON-SHRING GROUT SHALL HAVE A MINIMUM 28 DATS COMPRESSIVE STRENGTH OF 5000 PS), AND SHALL COMPLY THE REQUIREMENTS OF ASTM C109, ASTM C939, ASTM C1090, ASTM C1107, WHEN APPLICABLE.
- 5 SOIL PARAMETERS FOR FOOTING ANALYSIS; TABLE 1806.2, CLASS : 5 - 1500(PSI) 6
- FOR SPREAD FOOTING, EDGE OF COLUMN OR ANCHOR BOLTS MUST BE SET AT LEAST 12" FROM THE EDGE OF SPREAD FOOTING EDGE.
- 7. FOR DRILLED PIER, THE EDGE OF COLUMN MUST BE SET AT LEAST 3/4" FROM REBAR WITHIN DRILLED PIER
- 8. SPREAD FOOTING ALLOWED TO BE ROTATED AS REQUIRED.

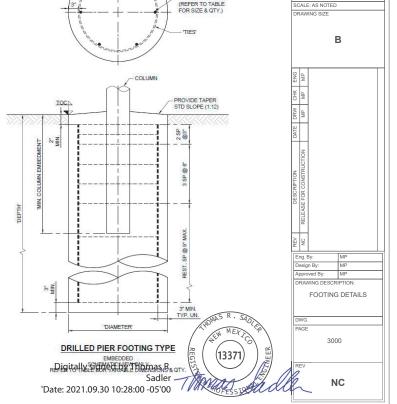
TABLE FOR SPREAD FOOTING												
LENGTH	THICKNESS		TOP AN	ID BOTT	OM REINFORCE	MENT	EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)		DIAMETER	DEPTH	V
(FT)	(FT)	QTY.	SIZE		SPACING	i (IN)	(IN)	(IN)				-
4.50	3.00	6	#5	0	9.5	O.C.E.W.	33	19		(FT)	(FT)	Q
									1	2.00	6.00	

TABLE FOR NON-CONSTRAINED DRILLED PIER FOOTING								
DIAMETER				TIES			MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)	
(FT)	(FT)	QTY.	SIZE	QTY.	Ø LOOP (FT)	SIZE	(IN)	(IN)
2.00	6.00	6	#6	11	1.5	#3	33	19





EMBEDDED SCHEMATIC VIEW ONLY REFER TO TABLE FOR VARIABLE DIMENSIONS



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF USA SHADE

AND FABRIC STRUCTURES AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. USASHADE

CORPORATE HEADQUARTERS

2580 ESTERS BLVD., SUITE 100

DFW AIRPORT, TX 75261 800-966-5005 CERTIFICATIONS:

IAS CERTIFICATION No: FA-428

CUSTOMER: Creative Recreational Designs PROJECT NAME: 79707-Alburguerque Bilingual

Academy

Q-012157

SIZE:

I OCATION.

Alburquerque NM PROJECT NUMBER:

STRUCTURE TYPE:

CLARK COUNTY MANUFACTURER CERTIFICATION NUMBER (NEVADA): 355

4 Post HIP 401

24' 0" x 34' 0" x 10' 0"e

PLAN NORTH

FOR TRUE NORTH SEE CUSTOMER'S

SITE PLAN

## GENERAL NOTES

## **DESIGN LOADS**

BUILDING CODE	INTERNATIONAL BUILDING CODE 2015
LIVE LOADS	5 PSF
SNOW LOAD	5 PSF
WIND LOADS	115 MPH* and 180 MPH with Fabric Off
	3-Sec. Gust, RISK CATEGORY II & EXPOSURE C

\* 115 MPH ACCORDING THE ULTIMATE WIND SPEED MAPS OF ASCE 7-10 IS EQUIVALENT TO THE NOMINAL WIND SPEED OF 90 MPH ACCORDING ASCE 7-05 AND IBC 2015 EQ 16-33.

## STRUCTURAL STEEL

1.	ALL STRUCTURAL SHAPES SHALL BE COLD FORMED HSS ASTM A500 GRADE C. UNLESS	
	OTHERWISE NOTED. TYPICAL MECHANICAL PROPERTIES FOR HSS PRODUCTS:	

	SQUARE AND RECTANGULAR	50,000 PSI YIELD / 62,000 PSI TENSILE
	ROUND PIPE	46,000 PSI YIELD / 62,000 PSI TENSILE
2		

 ALL GALVANIZED STEEL TUBE PRODUCTS ARE MANUFACTURED PER ASTM A500, TYPICAL MECHANICAL PROPERTIES ACHIEVED FOR GALVANIZED TUBE PRODUCTS:

## ROUND TUBE 45,000 PSI YIELD / 48,000 PSI TENSILE

- 3. ALL PLATES SHALL COMPLY WITH ASTM A572 GRADE 50.
- 4. ALL STEEL TUBING SHALL BE TRIPLE COATED FOR RUST PROTECTION USING THE IN-LINE ELECTROPLATING COAT PROCESS. TUBING SHALL BE INTERNALLY COATED WITH ZINC AND ORGANIC COATINGS TO PREVENT CORROSION AS MANUFACTURED BY ALLIED TUBE & CONDUIT.
- 5. STRUCTURAL STEEL SHALL BE DETAILED, FABRICATED AND ERECTED IN ACCORDANCE WITH A.I.S.C. SPECIFICATIONS.
- 6. ALL SHOP WELDS SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN WELDING SOCIETY (AWS) D1.1 SPECIFICATIONS. ALL WELDS SHALL BE CONTINUOUS WHERE LENGTH IS NOT GIVEN, UNLESS OTHERWISE SHOWN OR NOTED ON DRAWINGS. ALL WELDS SHALL DEVELOP THE FULL STRENGTH OF THE WEAKER MEMBER. ALL WELDS SHALL BE MADE USING E70XX .045 WIRE.
- SHOP CONNECTIONS SHALL BE WELDED UNLESS NOTED OTHERWISE. FIELD CONNECTIONS SHALL BE AS INDICATED ON THE DRAWINGS (IF REQUIRED). ALL FILLET WELDS SHALL BE A MINIMUM OF 3/16" UNLESS OTHERWISE NOTED. FIELD WELDS SHALL NOT BE ALLOWED.
- ALL HIGH STRENGTH BOLTS SHALL COMPLY WITH ASTM F3125 GRADE A325 (GALVANIZED). ALL NUTS SHALL COMPLY WITH ASTM A563DH, AND WASHERS SHALL COMPLY WITH ASTM F436.
- 9. ALL HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION.
- 10. ALL STAINLESS STEEL BOLTS / STUDS SHALL COMPLY WITH ASTM F-593, ALLOY GROUP 1 OR 2 ALL NUTS SHALL COMPLY WITH ASTM F-594 ALLOY GROUP 1 OR 2.
- 11. ALL STRUCTURAL STEEL SHALL BE POWDER COATED WITH ONE SHOP COAT (2.5 MILS MIN.) OF ZINC-RICH PRIMER, UNDERCOAT, AND FINISH COAT, OR EQUIVALENT PAINT SYSTEM. THIS COAT IS A WEATHER RESISTANT POWDER COATING BASED ON POLYESTER TGIC (MANUFACTURED BY SHERWIN WILLIAMS, ASKO NOBEL, PPG OR TIGER DRYLAC). TO ACHIEVE OPTIMUM ADHESION, IT IS RECOMMENDED THAT THE PROPER TREATMENT AND DRYING TAKE PLACE BEFORE COATING. POLYESTER POWDER (TGIC) SPECIFICATIONS SHALL BE AS FOLLOWS:
- PENCIL HARDNESS (ASTM D-3363).
- HUMIDITY (ASTM D-2247).
- SOLVENT RESISTANCE (PCI METHOD) 50 DBL RUBS SL. SOFTNESS.

## FABRIC SPECIFICATION

 FABRIC SHALL BE A HIGH DENSITY POLYETHYLENE WITH ULTRA VIOLET ADDITIVES, WITH MONOFILAMENT AND TAPE CONSTRUCTION GIVING A STABLE MATERIAL AND RACHEL KNITTED TO ENSURE MATERIAL WILL NOT UNRAVEL IF CUT

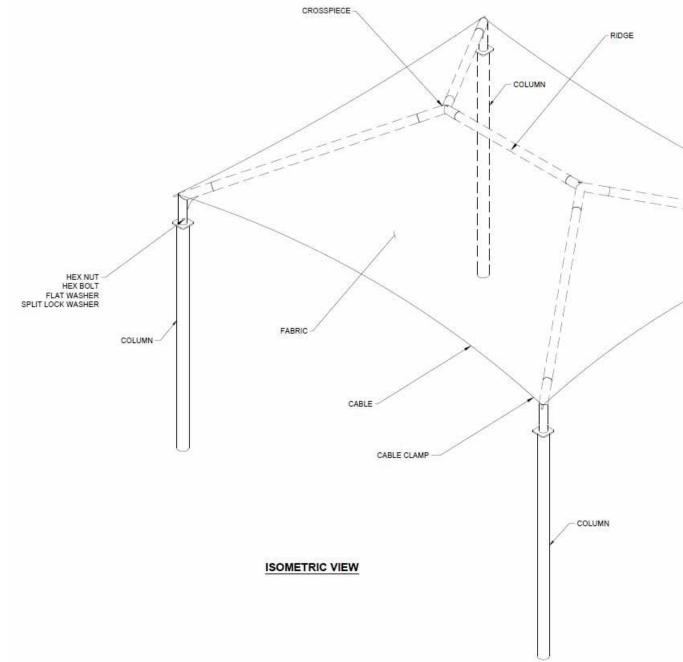
2.		SOLID COLORS	STRIPE COLORS			
	TEAR STRENGTH	WARP 220.4622 LB	WARP 182.9836 LB			
		WEFT 462.9707 LB	WEFT 401.2413 LB			
	BURST STRENGTH	37.7098 PSIA	33.0686 PSIA			
	FADING	MINIMUM FADING AFTER 5 YEARS				

LIFE EXPECTANCY: A MINIMUM OF 8 YEARS CONTINUOUS EXPOSURE TO THE SUN

- 3. FIRE TEST ON FABRIC: NFPA 701 TEST 2 AND ASTM E 84
- 4. THREAD-PTFE (TEFLON) USED MEET THE FOLLOWING SPECIFICATIONS: HIGH STRENGTH, LOW SHRINKAGE, WIDE TEMPERATURE RANGE, FLEX ABRASION RESISTANT AND UV RADIATION IMMUNITY. LOCKSTITCH - 1200 DENIER. CHAINSTITCH THREAD - 2400 DENIER.

## AIRCRAFT CABLE

- 1. WIRE ROPE CABLE SHALL BE 7x19 STRAND CORE GALVANIZED WIRE ROPE WITH A BREAKING STRENGTH VALUE OF 14,400 LBS (3/8" DIAMETER)
- 2. CABLES SHALL BE FED THROUGH THE FABRIC SLEEVES AROUND THE PERIMETER OF THE CANOPY AND TENSIONED UNTIL THE FABRIC PANELS (DESIGNED PURPOSEFULLY UNDERSIZED) REACH A TAUNT APPEARANCE. ANY LONG TERM CABLE SAG SHALL BE MINIMIZED DURING THE MAINTENANCE RE-TIGHTENING VISITS AS REQUIRED.



## LIST OF MATERIALS

ITEM	QTY	DESCRIPTION	SMI PART No.
RAFTER	4	UNPAINTED 350RAF-F5	350RAF-F5
CROSSPIECE	2	UNPAINTED 350CP-F5	350CP-F5
BOLT	4	BOLT,HEX,1/2"-13 x 4-1/2",GLV ASTM A325	309108
HEX NUT	4	NUT,HEX,1/2",GLV 1213 A 194 2H	308069
NUT	8	WASHER, FLAT, 1/2" GLV ASTM F436	307622
WASHER	4	WASHER, SPLIT LOCK, 1/2", GLV	307625
CABLE CLAMPS 4		CLAMPS,CABLE,3/8" DF GLV	307629
COLUMN	4	4.5 GA 07 ROUND TUBING	PIH-450-146-300-SIN
EXTENSION	4	3.5 GA 08 ROUND TUBING	EXT-350-177
RIDGE 1		3.5 GA 08 ROUND TUBING	RID-350-182
FABRIC	1	FABRIC SHADESURE NAVY BLUE	20000SNB
CABLE	1	WIRE ROPE, 7x19, 3/8", GALV	308175

- FABRIC TOP NEEDS TO BE REMOVED IF SNOW EXCE
- FABRIC TOP NEEDS TO BE REMOVED IF WINDS EXC

BUILDING	OCCUPANCY
SHADE STRUCTURE 24' 0" x 34' 0"	U

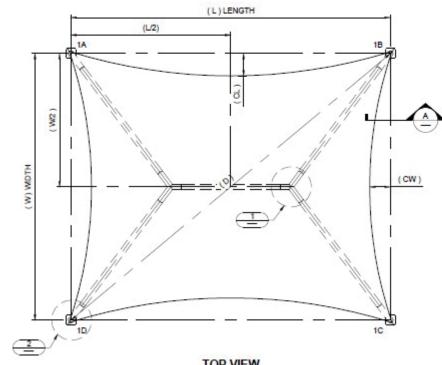
			THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF USA SHADE AND FABRIC STRUCTURES AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.					
EX		ER	PERMISSION. CORPORATE HEADQUARTERS 2580 ESTERS BLVD., SUITE 100 DFW AIRPORT, TX 75261 800-966-5005 CERTIFICATION SC: IAS CERTIFICATION NO: FA-428 CLARK COUNTY MANUFACTURER CERTIFICATION NUMBER (NEVADA): 355 CUSTOMER: Creative Recreational Designs PROJECT NAME: 79707-Alburquerque Bilingual Academy					
			LOCATION: Alburquerque NM PROJECT NUMBER: Q-012157					
			STRUCTURE TYPE: 4 Post HIP 401					
	COLUM	AN .	SIZE: 24' 0" x 34' 0" x 10' 0"e					
			SCALE: AS NOTED DRAWING SIZE					
			В					
	U		E NG					
			MP MP					
			DATE DF					
NOTICE			DESCRIPTION RELEASE FOR CONSTRUCTION					
NOTICE EEDING 5 PSF IS ANTICIPATED								
CEEDING 115 MPH ARE ANTICIPATI	ED. SEE NOTES FOR DE	SIGN LUADS	Eng. By: MP Design By: MP					
CONSTRUCTION TYPE V-B	<b>AREA (SQFT)</b> 816	OCCUPANT LOAD N/A	Approved By: MP DRAWING DESCRIPTION: NOTES / LOM					
	REGISTER	N MEXICO 13371 DFESSIONAL	DWG. PAGE 1000 REV <b>NC</b>					
	POFESSIONAL							

TABLE OF DIMENSIONS

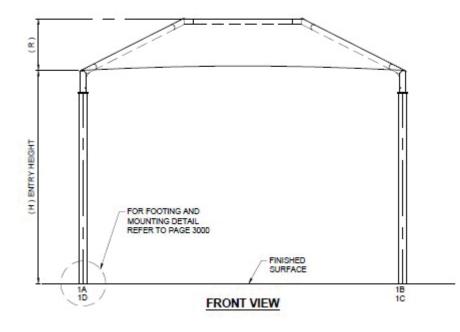
L	w	н	R	НТ	CW	CL	D	COL	RL	EL
34' 0"	24' 0"	10' 0"	4' 6"	14' 6"	1' 6"	2' 2"	41' 7"	12' 2"	15' 2"	14' 9"

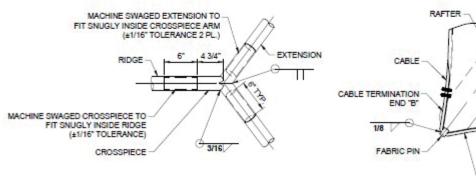
TABLE OF DIMENSIONS KEY

L	LENGTH
W	WIDTH
н	DISTANCE FROM FINISHED SURFACE TO PIN
R	RAISE FROM RAFTER TO CROSSPIECE
HT	TOTAL HEIGHT
CL	FABRIC CATENARY - LENGTH
CW	FABRIC CATENARY - WIDTH
D	DIAGONAL
COL	COLUMN LENGTH
RL	RIDGE LENGTH
EL	EXTENSION LENGTH





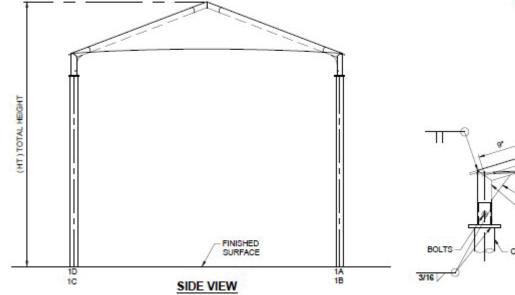




DETAIL 1







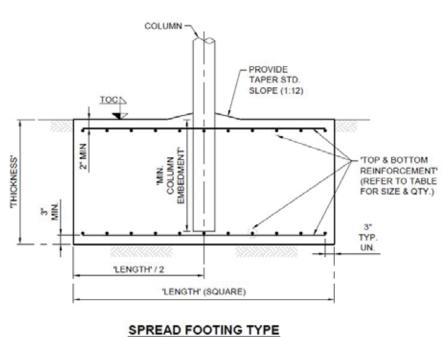
	THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF USA SHADE AND FABRIC STRUCTURES AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.
PLAN NORTH	CORPORATE HEADQUARTERS 2580 ESTERS BLVD., SUITE 100 DFW AIRPORT, TX 75261 800-966-5005 CERTIFICATIONS:
SEE CUSTOMER'S SITE PLAN	IAS CERTIFICATION No: FA-428 CLARK COUNTY MANUFACTURER CERTIFICATION NUMBER (NEVADA): 355
	CUSTOMER: Creative Recreational Designs PROJECT NAME: 79707-Alburquerque Bilingual Academy LOCATION: Alburquerque NM PROJECT NUMBER: Q-012157
	STRUCTURE TYPE: 4 Post HIP 401
FABRIC	SIZE: 24' 0" x 34' 0" x 10' 0"e SCALE: AS NOTED
CABLE CLAMP (2 EACH SIDE)	DRAWING SIZE
- CABLE TERMINATION END "A"	
	MP CHK ENG
	DATE
SECTION A-A	DESCRIPTION RELEASE FOR CONSTRUCTION
MACHINE SWAGED RAFTER TO FIT SNUGLY INSIDE EXTENSION (±1/16" TOLERANCE)	
FABRIC	
GUSSET PLATE	Eng. By:         MP           Design By:         MP           Approved By:         MP           DRAWING DESCRIPTION:         ELEVATIONS AND DETAILS
COLUMN	
VIEW B-B	DWG. PAGE 2000
REGISTIONAL END	REV NC

## REINFORCED CONCRETE NOTES

- CONCRETE WORK SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN CONCRETE INSTITUTE SPECIFICATION FOR STRUCTURAL CONCRETE ACI 301 AND BUILDING CODE ACI 318. CONCRETE SPECIFICATIONS 1. SHALL BE AS FOLLOWS:
- 28 DAY STRENGTH: 2500 PSI
- SLUMP: 3-5
- PORTLAND CEMENT SHALL CONFORM TO C-150
- AGGREGATE SHALL CONFORM TO ASTM C-33
- 2. ALL REINFORCEMENT STEEL SHALL CONFORM TO ASTM A-615 GRADE 60; AND ALL REINFORCEMENT SEEL SHALL CONFORM TO ASTM ASTS GROUP OF AN AND STATE AND AND A STATE AND AND A STATE AND A STAT AND CRSI MANUAL OF STANDARD PRACTICE.
- 3. ALL ANCHOR BOLTS SET IN NEW CONCRETE (WHEN APPLICABLE) SHALL COMPLY WITH ASTM F-1554 GRADE 55 (GALVANIZED).
- 4. ALL NON-SHRINK GROUT SHALL HAVE A MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 5000 PSI, AND SHALL COMPLY THE REQUIREMENTS OF ASTM C109, ASTM C939, ASTM C1090, ASTM C1107, WHEN APPLICABLE.
- 5. SOIL PARAMETERS FOR FOOTING ANALYSIS; TABLE 1806.2, CLASS : 5 - 1500(PSI)
- 6. FOR SPREAD FOOTING, EDGE OF COLUMN OR ANCHOR BOLTS MUST BE SET AT LEAST 12" FROM THE EDGE OF SPREAD FOOTING EDGE.
- 7. FOR DRILLED PIER, THE EDGE OF COLUMN MUST BE SET AT LEAST 3/4" FROM REBAR WITHIN DRILLED PIER.
- 8. SPREAD FOOTING ALLOWED TO BE ROTATED AS REQUIRED.

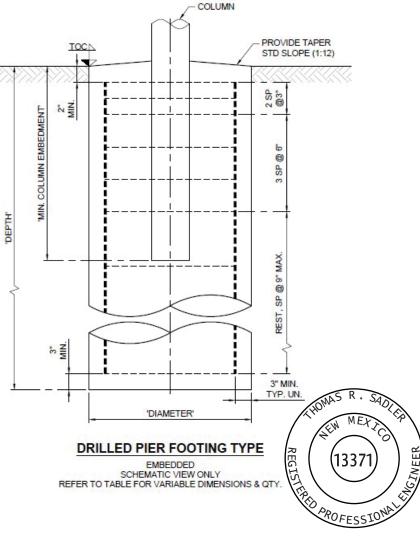
TABLE FOR SPREAD FOOTING									
LENGTH	THICKNESS		TOP AN	ND BOT	OM REINFORCE	MENT	MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)	DI
(FT)	(FT)	QTY.	SIZE		SPACING	G (IN)	(IN)	(IN)	
4.50	3.00	6	#5	@	9.5	O.C.E.W.	33	19	

TABLE FOR NON-CONSTRAINED DRILLED PIER FOOTING								
DIAMETER	DEPTH	VERTICA	L REBAR		TIES		MIN. COLUMN EMBEDMENT (EMBED)	MIN. ANCHOR EMBEDMENT (RECESS. & SURFACE)
(FT)	(FT)	QTY.	SIZE	QTY.	Ø LOOP (FT)	SIZE	(IN)	(IN)
2.00	6.00	6	#6	11	1.5	#3	33	19

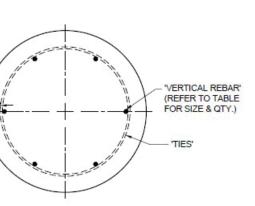


## EMBEDDED

SCHEMATIC VIEW ONLY REFER TO TABLE FOR VARIABLE DIMENSIONS







	1	WITHOUT TH PERMI	EIR WRITTEN SSION.	
	N.	US US	ASHADE	
	сс	RPORATE H	EADQUARTERS	
	25	80 ESTERS B DFW AIRPOI	LVD., SUITE 100	
		800-96		
CE	RTI	FICATIONS:		
С	LAR ERT		N No: FA-428 IANUFACTURER JMBER (NEVADA):	:
		OMER:	Designe	
		tive Recreatior	lai Designs	
	970 cade	7-Alburquerqu emy	e Bilingual	
L	CA	TION:		
		querque NM	R:	
Q	-012	2157		
ST	RU	CTURE TYPE:	:	
		4 Post I	HIP 401	
SIZ	ZE:			
		24' 0" x 34'	0" x 10' 0"e	
		E: AS NOTED		
UF	~~VV	ING SIZE		
			<b>`</b>	
		E	3	
ENG	МΡ			
CHK	MP			
DRW	MP			
DATE				
DESCRIPTION	RELEASE FOR CONSTRUCTION			
REV	NC			
	ng. E esig	By: In By:	MP MP	
		oved By:	MP	_
D	RAV	VING DESCR		1
		FOOTING	DETAILS	
	WG.			
P	AGE		0	
		300	U	
R	EV			
		Ν	С	
-	-			-

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF USA SHADE AND FABRIC STRUCTURES AND

SHALL NOT BE REPRODUCED