



**Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.**

<b>MISCELLANEOUS APPLICATIONS</b>	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms P & P2)	<b>PRE-APPLICATIONS</b>
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	<b>APPEAL</b>
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Administrative Decision (Form A)

<b>BRIEF DESCRIPTION OF REQUEST</b>

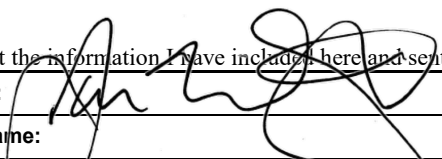
<b>APPLICATION INFORMATION</b>			
Applicant/Owner:		Phone:	
Address:		Email:	
City:	State:	Zip:	
Professional/Agent (if any):		Phone:	
Address:		Email:	
City:	State:	Zip:	
Proprietary Interest in Site:		List <u>all</u> owners:	

<b>SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)</b>		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

<b>LOCATION OF PROPERTY BY STREETS</b>		
Site Address/Street:	Between:	and:

<b>CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)</b>

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

<b>Signature:</b> 	<b>Date:</b>
<b>Printed Name:</b>	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

**FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022****\_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov). Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

**SITE PLAN DOCUMENTATION**

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- \_\_\_ 4) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- \_\_\_ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- \_\_\_ 7) Infrastructure List, if required for building of public infrastructure
- \_\_\_ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):  
[https://documents.cabq.gov/planning/development-review-board/Sensitive\\_lands\\_analysis\\_form.pdf](https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf)
- \_\_\_ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic\\_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

**SUPPORTIVE DOCUMENTATION**

- \_\_\_ 10) Completed Site Plan Checklist
- \_\_\_ 11) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- \_\_\_ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- \_\_\_ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

\_\_\_ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

\_\_\_ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

**PUBLIC NOTICE DOCUMENTATION**

\_\_\_ 17) Sign Posting Agreement

\_\_\_ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

\_\_\_ Office of Neighborhood Coordination neighborhood meeting inquiry response

\_\_\_ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

\_\_\_ Completed neighborhood meeting request form(s)

\_\_\_ If a meeting was requested or held, copy of sign-in sheet and meeting notes

\_\_\_ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

\_\_\_ Office of Neighborhood Coordination notice inquiry response

\_\_\_ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

\_\_\_ Proof of emailed notice to affected Neighborhood Association representatives

**\_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC**

A Single PDF file of the complete application including all documents being submitted must be emailed to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov) prior to making a submittal. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below.

- \_\_\_ 1) DFT Application form completed, signed, and dated
- \_\_\_ 2) Form P2 with all the submittal items checked/marked
- \_\_\_ 3) Zone Atlas map with the entire site clearly outlined and labeled
- \_\_\_ 4) Site Plan and related drawings
- \_\_\_ 5) Infrastructure List, if require
- \_\_\_ 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- \_\_\_ 7) Letter of authorization from the property owner if application is submitted by an agent
- \_\_\_ 8) Solid Waste Department signature on Site Plan
- \_\_\_ 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- \_\_\_ 10) Approved Grading and Drainage Plan
- \_\_\_ 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)

**FORM P: PRE-APPROVALS/SIGNATURES**

**Legal Description & Location:** Tract 4 Bulk Land Plat of the Trails Unit 3A (Being a Replat of Tracts 1 thru 8, OS-2 & OS-2 The Trails Unit 3 and Tract 12 the Trails Unit 2) Zone Atlas C-09-Z

**Job Description:** Bedrock Development, Tracts 4 & 5 of the Trails

**Hydrology:**

- |                             |                        |                  |
|-----------------------------|------------------------|------------------|
| • Grading and Drainage Plan | <u>  X  </u> Approved  | <u>      </u> NA |
| • AMAFCA                    | <u>      </u> Approved | <u>  X  </u> NA  |
| • Bernalillo County         | <u>      </u> Approved | <u>  X  </u> NA  |
| • NMDOT                     | <u>      </u> Approved | <u>  X  </u> NA  |
| • MRGCD                     | <u>      </u> Approved | <u>  X  </u> NA  |

Reggie Chan  
Hydrology Department

5/25/2023  
Date

**Transportation:**

- |                                      |                        |                  |
|--------------------------------------|------------------------|------------------|
| • Traffic Circulations Layout (TCL)  | <u>  X  </u> Approved  | <u>      </u> NA |
| • Traffic Impact Study (TIS)         | <u>  X  </u> Approved  | <u>      </u> NA |
| • Neighborhood Impact Analysis (NIA) | <u>      </u> Approved | <u>  X  </u> NA  |
| • Bernalillo County                  | <u>      </u> Approved | <u>  X  </u> NA  |
| • MRCOG                              | <u>      </u> Approved | <u>  X  </u> NA  |
| • NMDOT                              | <u>      </u> Approved | <u>  X  </u> NA  |
| • MRGCD                              | <u>      </u> Approved | <u>  X  </u> NA  |

Ernest Armijo  
Transportation Department

5/25/2023  
Date

**Albuquerque Bernalillo County Water Utility Authority (ABCWUA):**

- |  |                        |                  |
|--|------------------------|------------------|
| • Water/Sewer Availability Statement/Serviceability Letter | <u>  x  </u> Approved  | <u>      </u> NA |
| • ABCWUA Development Agreement                             | <u>  x  </u> Approved  | <u>      </u> NA |
| • ABCWUA Service Connection Agreement                      | <u>      </u> Approved | <u>  x  </u> NA  |

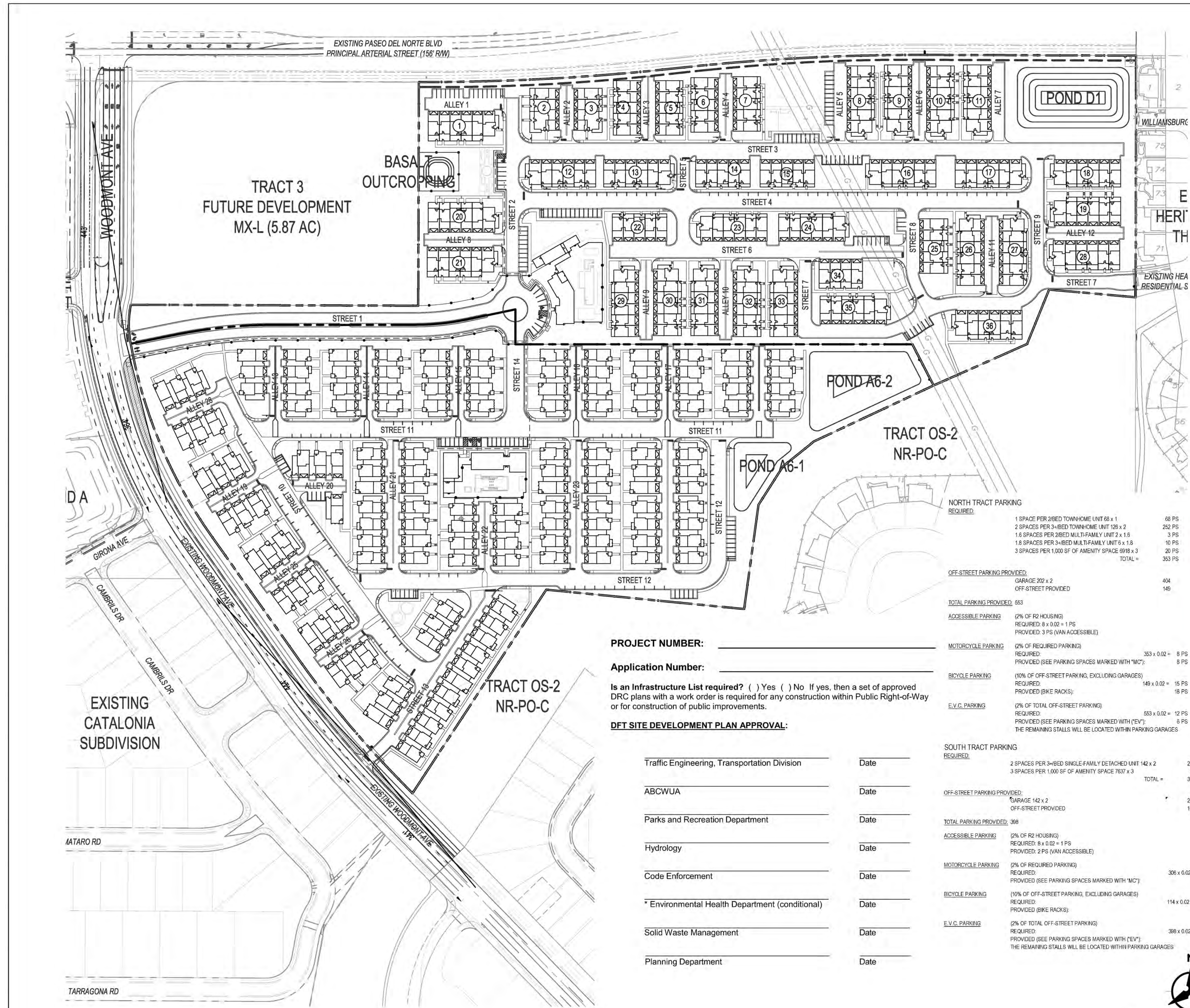
Sarah Luckie  
ABCWUA

5/30/2023  
Date

- |   |                        |                  |
|---|------------------------|------------------|
| <input type="checkbox"/> Infrastructure Improvements Agreement (IIA*) | <u>      </u> Approved | <u>      </u> NA |
| <input type="checkbox"/> Solid Waste Department Signature on the plan | <u>      </u> Approved | <u>      </u> NA |
| <input type="checkbox"/> Fire Marshall Signature on the plan          | <u>      </u> Approved | <u>      </u> NA |

\* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)





**GENERAL NOTES**

1. ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
2. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
3. STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
4. THERE ARE NO TRASH ENCLOSURES FOR THIS SITE. INDIVIDUAL UNITS WILL HAVE THEIR OWN TRASH BINS. AN EXHIBIT HAS BEEN SUBMITTED TO SOLID WASTE FOR THEIR APPROVAL.

**SITE DATA**

**LEGAL DESCRIPTION: TRACTS 4 AND 5 OF THE TRAILS UNIT 3A**  
**SITE AREA:**  
 NORTH TRACT: 18.78 ACRES  
 SOUTH TRACT: 18.29 ACRES  
**ZONING: R-ML**  
**PROPOSED LAND USE: RESIDENTIAL**  
**SETBACKS: AS SHOWN, SEE SITE PLAN.**  
**SIGNAGE: AS SHOWN, SEE SITE PLAN.**  
**WALLS AND FENCES: AS SHOWN, SEE SITE PLAN.**

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT - UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475, E = 1,483,655.030
GROUND TO GRID FACTOR = 0.99964660
DELTA ALPHA = 0° 16'58.96"
ELEVATION = 5624.950 (NAVD 88)

**ENGINEER'S SEAL**

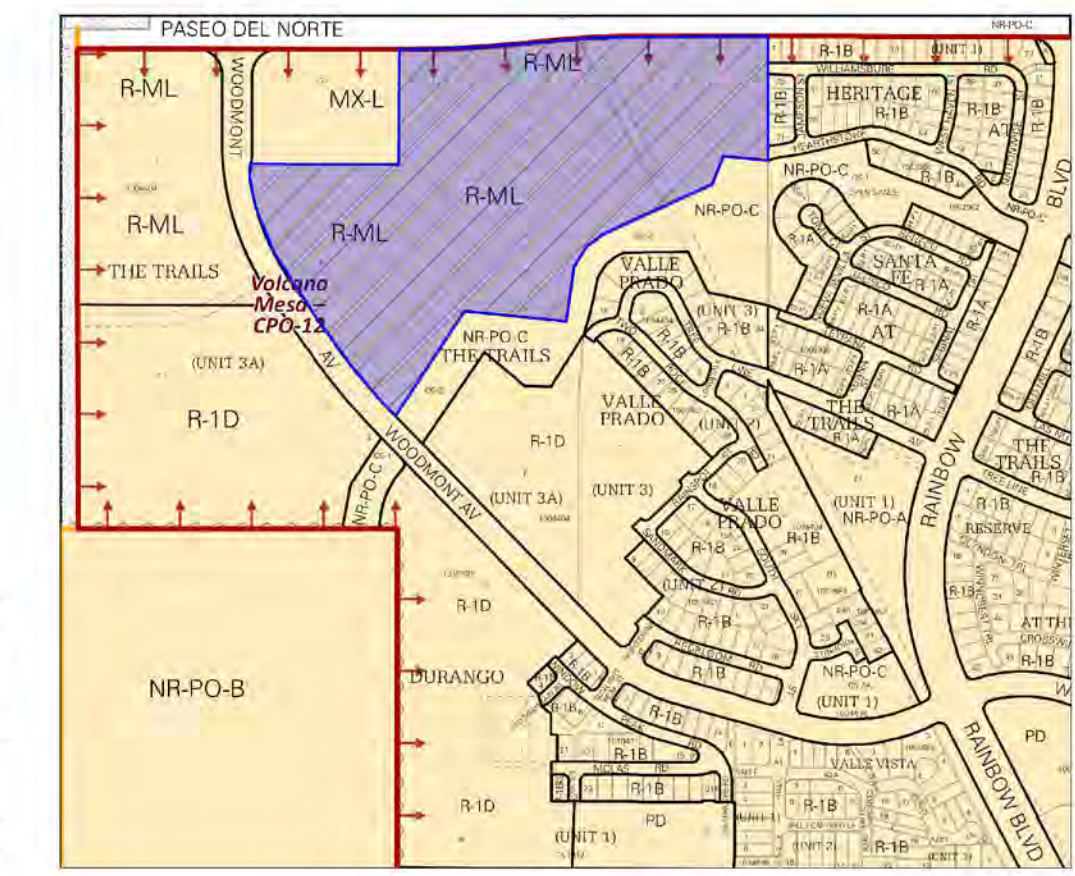


**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS ACCEPTED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	DESCRIPTION



**VICINITY MAP**  
ZONE ATLAS PAGE: C-09-Z

**LEGEND**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- ▭ SITE TRIANGLE

**Bohannon Huston**  
www.bhinc.com 800.877.5332



**PROJECT NUMBER:** \_\_\_\_\_  
**Application Number:** \_\_\_\_\_  
 Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

**NORTH TRACT PARKING**

REQUIRED:	1 SPACE PER 2-BED TOWNHOME UNIT 68 x 1	68 PS
	2 SPACES PER 3-BED TOWNHOME UNIT 126 x 2	252 PS
	1.5 SPACES PER 2-BED MULTI-FAMILY UNIT 2 x 1.5	3 PS
	1.5 SPACES PER 3-BED MULTI-FAMILY UNIT 5 x 1.8	10 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 6918 x 3	20 PS
	<b>TOTAL =</b>	<b>353 PS</b>

**OFF-STREET PARKING PROVIDED:**

GARAGE 202 x 2	404
OFF-STREET PROVIDED	146
<b>TOTAL PARKING PROVIDED:</b>	<b>553</b>

**ACCESSIBLE PARKING** (2% OF R2 HOUSING)  
 REQUIRED: 8 x 0.02 = 1 PS  
 PROVIDED: 3 PS (VAN ACCESSIBLE)

**MOTORCYCLE PARKING** (2% OF REQUIRED PARKING)  
 REQUIRED: 353 x 0.02 = 8 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "MC"): 8 PS

**BICYCLE PARKING** (10% OF OFF-STREET PARKING, EXCLUDING GARAGES)  
 REQUIRED: 149 x 0.02 = 15 PS  
 PROVIDED (BIKE RACKS): 16 PS

**E.V.C. PARKING** (2% OF TOTAL OFF-STREET PARKING)  
 REQUIRED: 553 x 0.02 = 12 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "EV"): 8 PS  
 THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES

**SOUTH TRACT PARKING**

REQUIRED:	2 SPACES PER 3-BED SINGLE-FAMILY DETACHED UNIT 142 x 2	284 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 7637 x 3	22 PS
	<b>TOTAL =</b>	<b>306 PS</b>

**OFF-STREET PARKING PROVIDED:**

GARAGE 142 x 2	284
OFF-STREET PROVIDED	114
<b>TOTAL PARKING PROVIDED:</b>	<b>398</b>

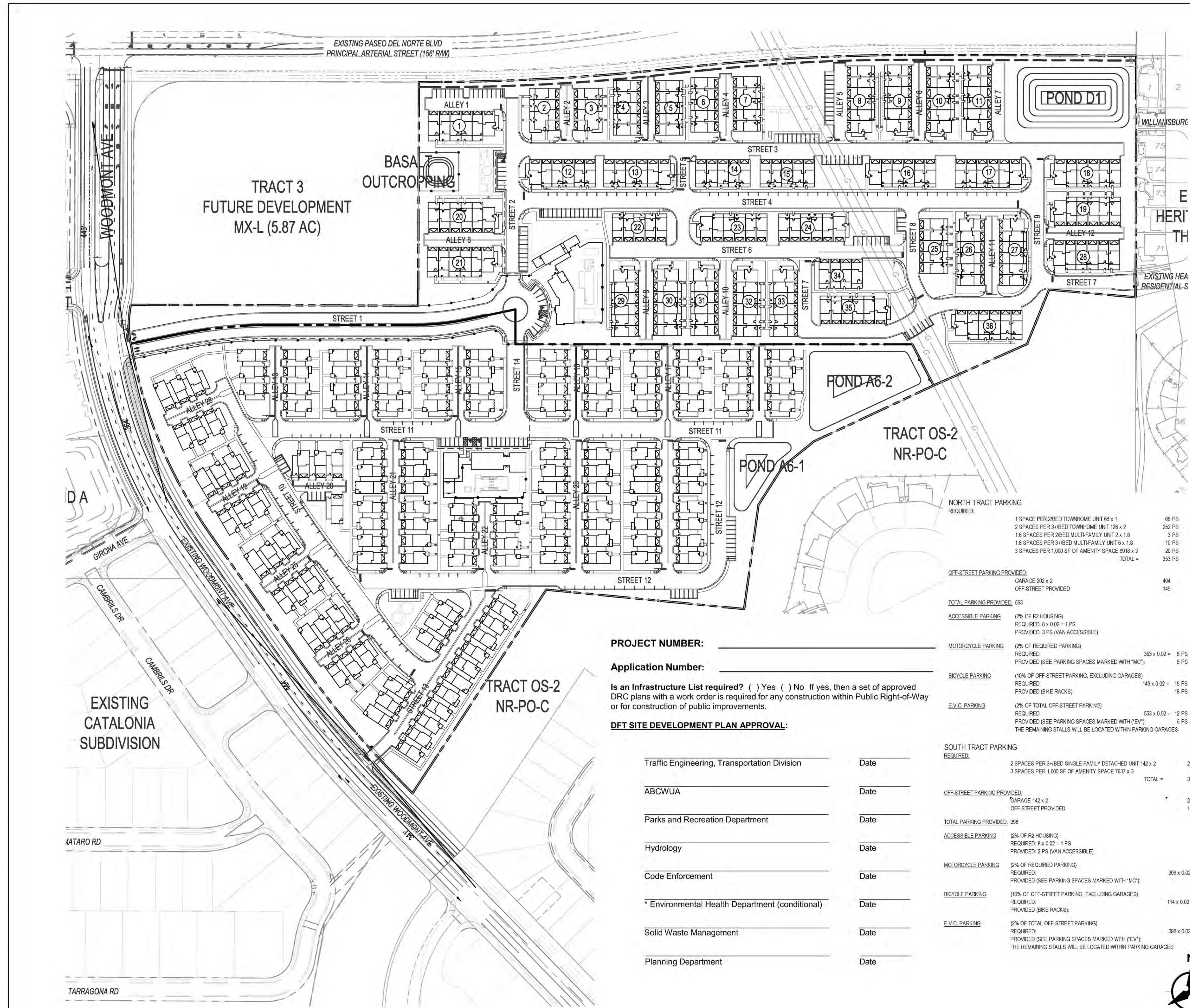
**ACCESSIBLE PARKING** (2% OF R2 HOUSING)  
 REQUIRED: 6 x 0.02 = 1 PS  
 PROVIDED: 2 PS (VAN ACCESSIBLE)

**MOTORCYCLE PARKING** (2% OF REQUIRED PARKING)  
 REQUIRED: 306 x 0.02 = 7 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "MC"): 8 PS

**BICYCLE PARKING** (10% OF OFF-STREET PARKING, EXCLUDING GARAGES)  
 REQUIRED: 114 x 0.02 = 12 PS  
 PROVIDED (BIKE RACKS): 12 PS

**E.V.C. PARKING** (2% OF TOTAL OFF-STREET PARKING)  
 REQUIRED: 398 x 0.02 = 8 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "EV"): 4 PS  
 THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES

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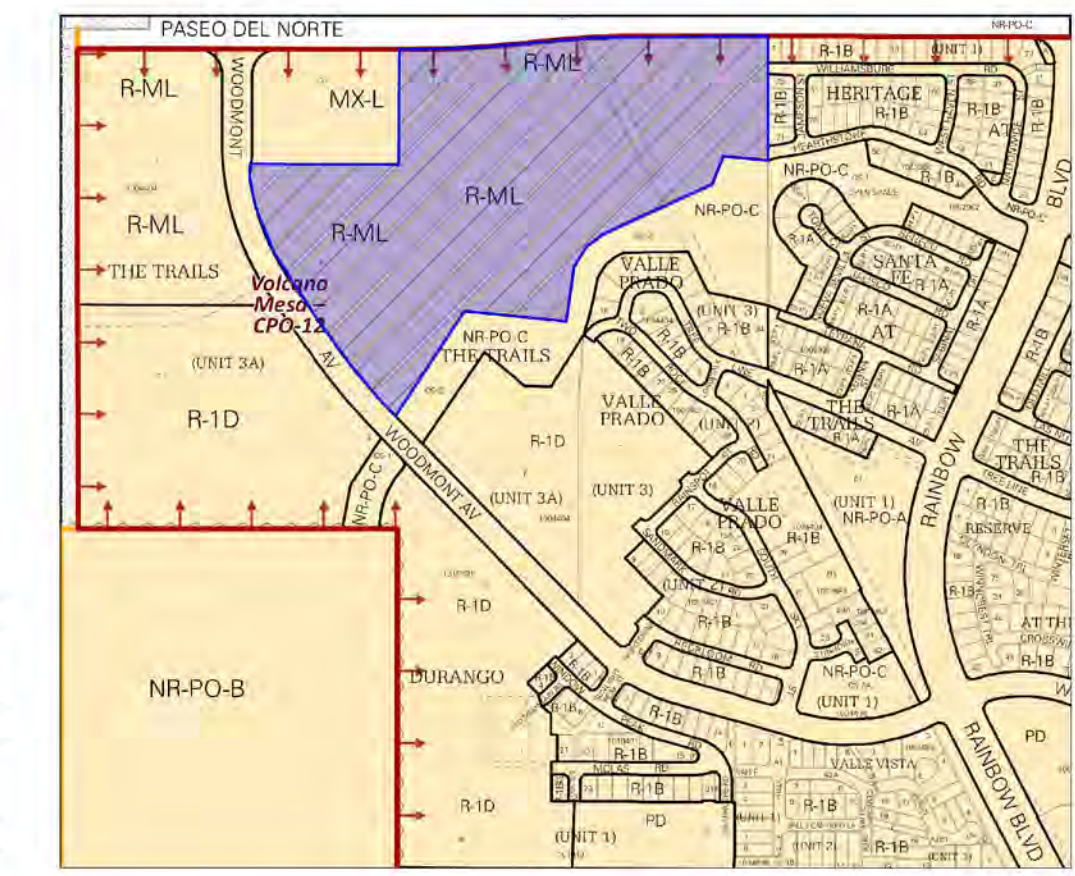


**GENERAL NOTES**

1. ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
2. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
3. STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
4. THERE ARE NO TRASH ENCLOSURES FOR THIS SITE. INDIVIDUAL UNITS WILL HAVE THEIR OWN TRASH BINS. AN EXHIBIT HAS BEEN SUBMITTED TO SOLID WASTE FOR THEIR APPROVAL.

**SITE DATA**

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**SETBACKS: AS SHOWN, SEE SITE PLAN.**  
**SIGNAGE: AS SHOWN, SEE SITE PLAN.**  
**WALLS AND FENCES: AS SHOWN, SEE SITE PLAN.**



**VICINITY MAP**  
ZONE ATLAS PAGE: C-09-Z

**LEGEND**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- ▭ SITE TRIANGLE

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**BEDROCK**  
**SITE PLAN COVER SHEET**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-000 OF 51

**PROJECT NUMBER:** \_\_\_\_\_

**Application Number:** \_\_\_\_\_

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

**NORTH TRACT PARKING**

REQUIRED:		
1 SPACE PER 2-BED TOWNHOME UNIT 68 x 1	68 PS	
2 SPACES PER 3-BED TOWNHOME UNIT 126 x 2	252 PS	
1.8 SPACES PER 2-BED MULTI-FAMILY UNIT 2 x 1.8	3 PS	
1.8 SPACES PER 3-BED MULTI-FAMILY UNIT 5 x 1.8	10 PS	
3 SPACES PER 1,000 SF OF AMENITY SPACE 6918 x 3	20 PS	
<b>TOTAL =</b>	<b>353 PS</b>	

**OFF-STREET PARKING PROVIDED:**

GARAGE 202 x 2	404
OFF-STREET PROVIDED	146
<b>TOTAL PARKING PROVIDED: 653</b>	

**ACCESSIBLE PARKING** (2% OF R2 HOUSING)  
 REQUIRED: 8 x 0.02 = 1 PS  
 PROVIDED: 3 PS (VAN ACCESSIBLE)

**MOTORCYCLE PARKING** (2% OF REQUIRED PARKING)  
 REQUIRED: 353 x 0.02 = 8 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "MC"): 8 PS

**BICYCLE PARKING** (10% OF OFF-STREET PARKING, EXCLUDING GARAGES)  
 REQUIRED: 149 x 0.02 = 15 PS  
 PROVIDED (BIKE RACKS): 16 PS

**E.V.C. PARKING** (2% OF TOTAL OFF-STREET PARKING)  
 REQUIRED: 553 x 0.02 = 12 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "EV"): 8 PS  
 THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES

**SOUTH TRACT PARKING**

REQUIRED:		
2 SPACES PER 3-BED SINGLE-FAMILY DETACHED UNIT 142 x 2	284 PS	
3 SPACES PER 1,000 SF OF AMENITY SPACE 7637 x 3	22 PS	
<b>TOTAL =</b>	<b>306 PS</b>	

**OFF-STREET PARKING PROVIDED:**

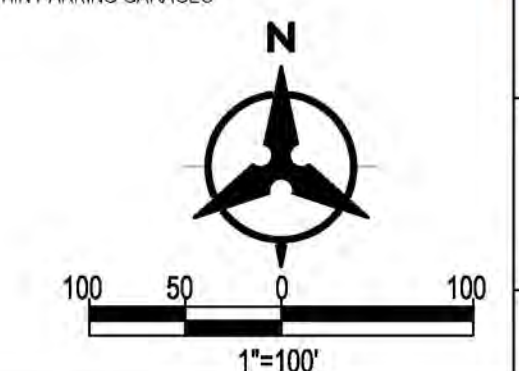
GARAGE 142 x 2	284
OFF-STREET PROVIDED	114
<b>TOTAL PARKING PROVIDED: 398</b>	

**ACCESSIBLE PARKING** (2% OF R2 HOUSING)  
 REQUIRED: 8 x 0.02 = 1 PS  
 PROVIDED: 2 PS (VAN ACCESSIBLE)

**MOTORCYCLE PARKING** (2% OF REQUIRED PARKING)  
 REQUIRED: 306 x 0.02 = 7 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "MC"): 8 PS

**BICYCLE PARKING** (10% OF OFF-STREET PARKING, EXCLUDING GARAGES)  
 REQUIRED: 114 x 0.02 = 12 PS  
 PROVIDED (BIKE RACKS): 12 PS

**E.V.C. PARKING** (2% OF TOTAL OFF-STREET PARKING)  
 REQUIRED: 386 x 0.02 = 8 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "EV"): 4 PS  
 THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES



**BENCH MARKS**  
 ALBUQUERQUE CONTROL SURVEY MONUMENT - UNION  
 GEOGRAPHIC POSITION (NAD 83)  
 N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
 N = 1,523,803.476 E = 1,483,665.030  
 GROUND TO GRID FACTOR = 0.99964660  
 DELTA ALPHA = 0° 16'58.96"  
 ELEVATION = 5624.950 (NAVD 88)



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE
BY	WORK STAGED BY	DATE
BY	INSPECTORS	DATE
BY	ACCEPTANCE BY	DATE
BY	FIELD VERIFICATION BY	DATE
BY	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

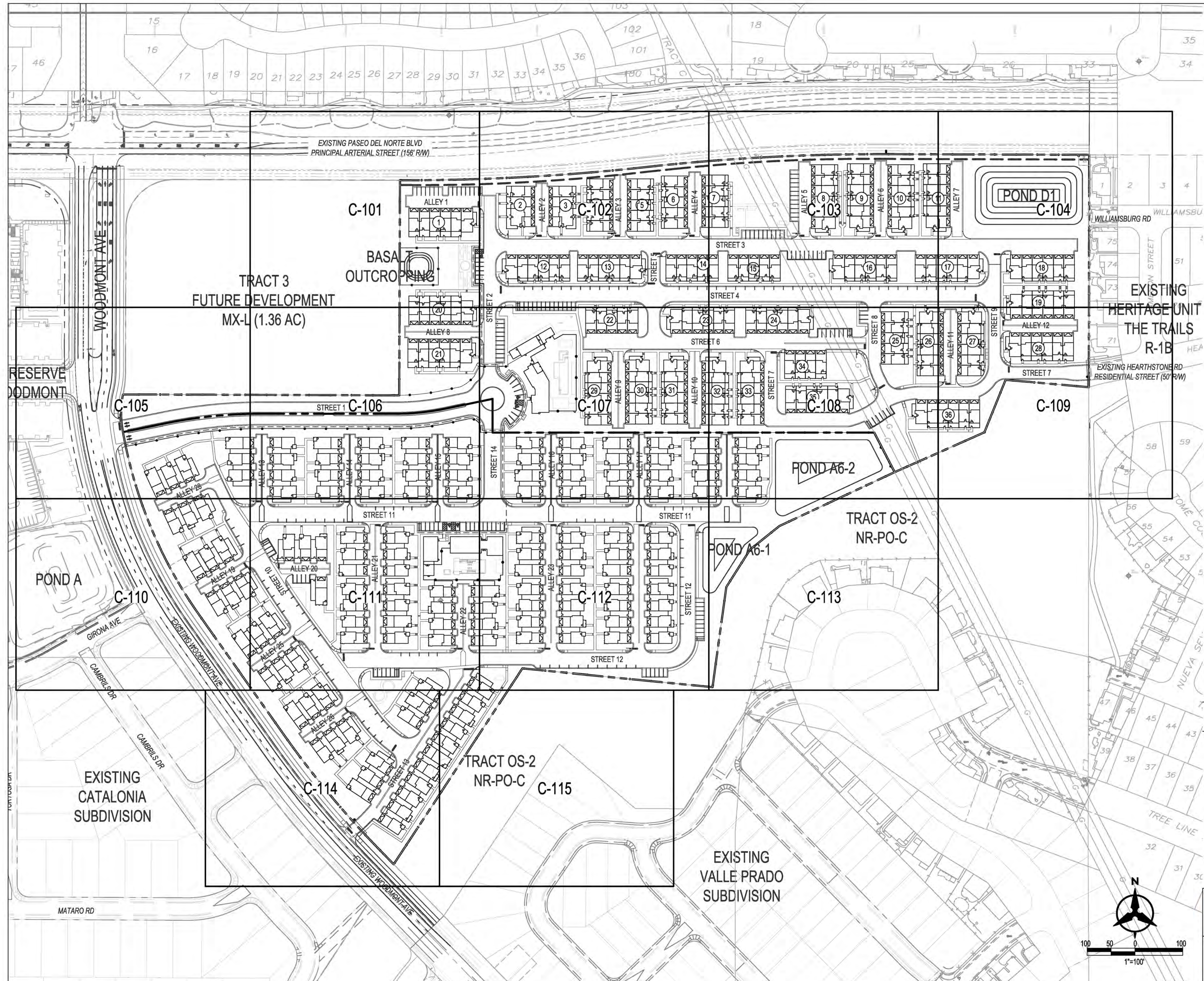
NO.	DATE	

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

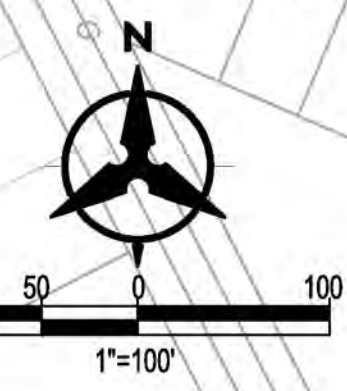
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**LEGEND**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE



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**BEDROCK OVERALL SITE PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-100 OF 51

**BENCH MARKS**  
ALBUQUERQUE CONTROL SURVEY MONUMENT \* UNION  
GEOGRAPHIC POSITION (NAD 83)  
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
N = 1,523,503.476, E = 1,483,655.030  
GROUND TO GRID FACTOR = 0.999864960  
DELTA ALPHA = 00° 16'58.96"  
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STAMPED BY <th>DATE</th>	DATE
INSPECTORS APPROVED BY <th>DATE</th>	DATE
FIELD VERIFICATION BY <th>DATE</th>	DATE
DRAWINGS CORRECTED BY <th>DATE</th>	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

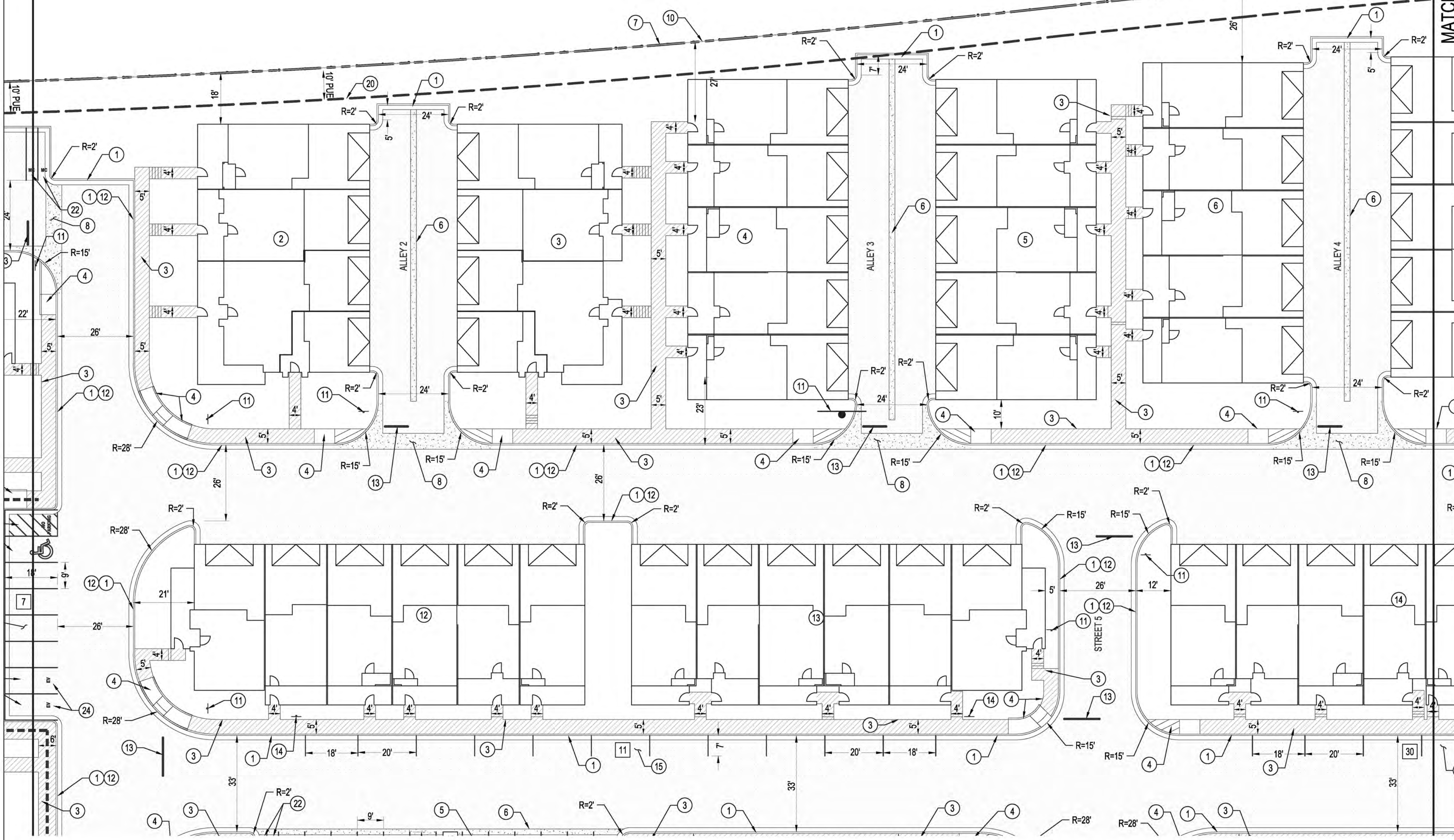
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MATCHLINE - SEE SHEET C-101

MATCHLINE - SEE SHEET C-102

EXISTING PASEO DEL NORTE BLVD  
PRINCIPAL ARTERIAL STREET (156' R/W)

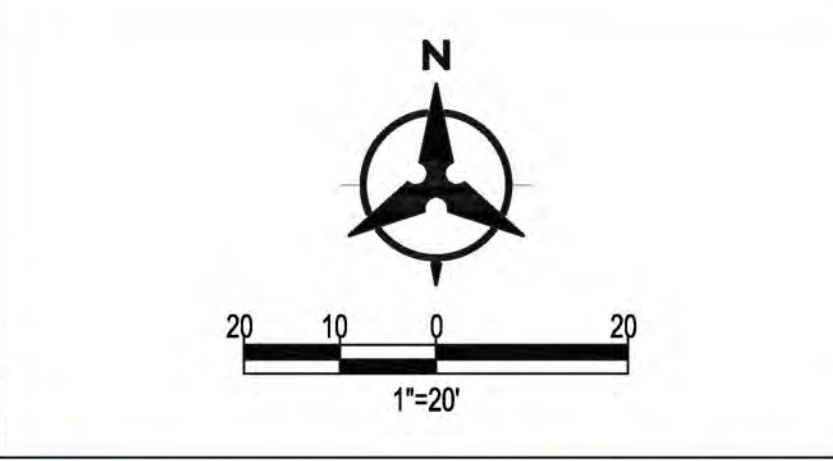


**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
4. ADA ACCESSIBLE CONCRETE RAMP PER C.O.A. STD. DTL.
5. STANDARD PARKING, 9' X 18' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
6. 2' ALLEY GUTTER
7. FENCE
8. VALLEY GUTTER PER C.O.A. STD. DWG. 2420
9. 10' VALLEY GUTTER
10. PROPERTY LINE
11. INSTALL STOP SIGN
12. PAINT CURB RED WITH "FIRE LANE" TEXT
13. STOP BAR
14. "NO PARKING DURING XX HOUR TO XX HOUR" SIGN
15. ON STREET PARKING, 7' X 20' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
16. PEDESTRIAN GATE
17. VEHICULAR GATE
18. PROPOSED MULTI-USE ASPHALT TRAIL. PLAN PER SIZE.
19. MOUNTABLE CURB
20. 10' PUBLIC UTILITY EASEMENT
21. ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475, E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS	DATE	APPROVED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

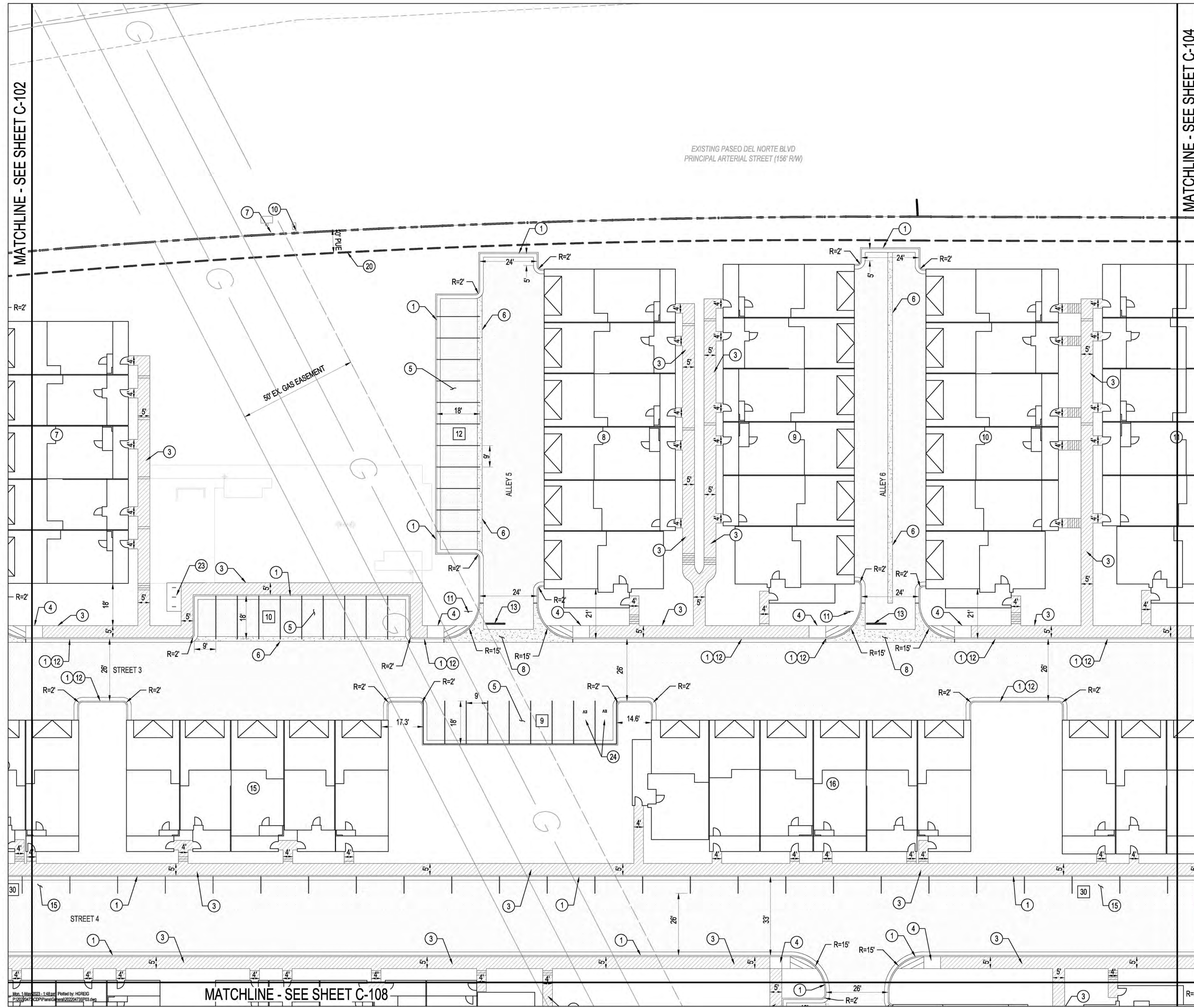
DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK SITE PLAN**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-102	OF	51
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Mon, 1 May 2023 1:47pm, Plotted by: H0RE0G  
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MATCHLINE - SEE SHEET C-106

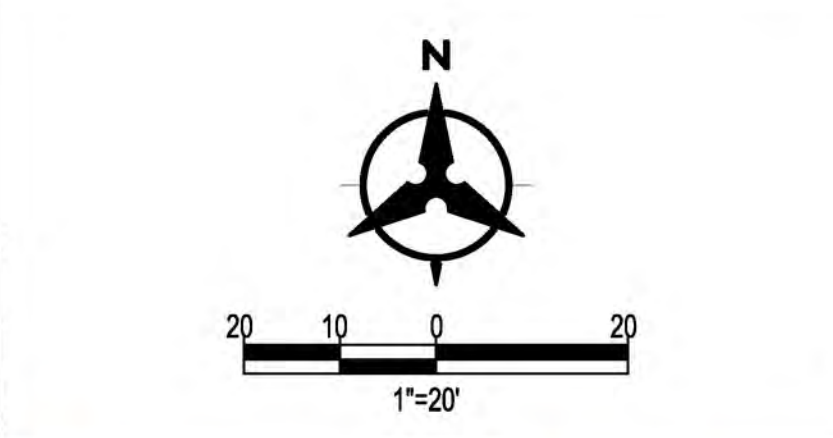


**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
4. ADA ACCESSIBLE CONCRETE RAMP PER C.O.A. STD. DTL.
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7. FENCE
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9. 10' VALLEY GUTTER
10. PROPERTY LINE
11. INSTALL STOP SIGN
12. PAINT CURB RED WITH "FIRE LANE" TEXT
13. STOP BAR
14. "NO PARKING DURING XX HOUR TO XX HOUR" SIGN
15. ON STREET PARKING, 7' X 20' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
16. PEDESTRIAN GATE
17. VEHICULAR GATE
18. PROPOSED MULTI-USE ASPHALT TRAIL. PLAN PER SIZE.
19. MOUNTABLE CURB
20. 10' PUBLIC UTILITY EASEMENT
21. ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

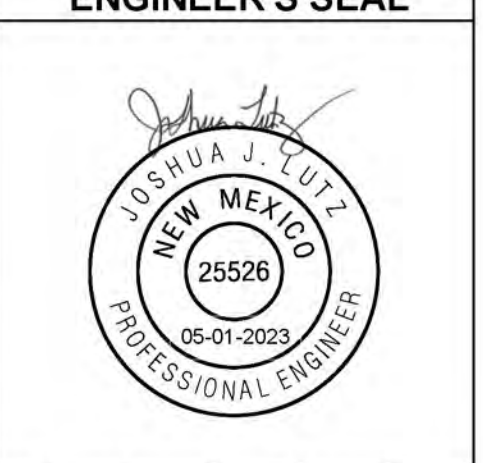
- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
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GROUND TO GRID FACTOR = 0.999664960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)



**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STAMPED BY <th>DATE</th>	DATE
INSPECTORS <th>DATE</th>	DATE
APPROVED BY <th>DATE</th>	DATE
FIELD VERIFICATION BY <th>DATE</th>	DATE
DRAWINGS CORRECTED BY <th>DATE</th>	DATE

**REVISIONS**

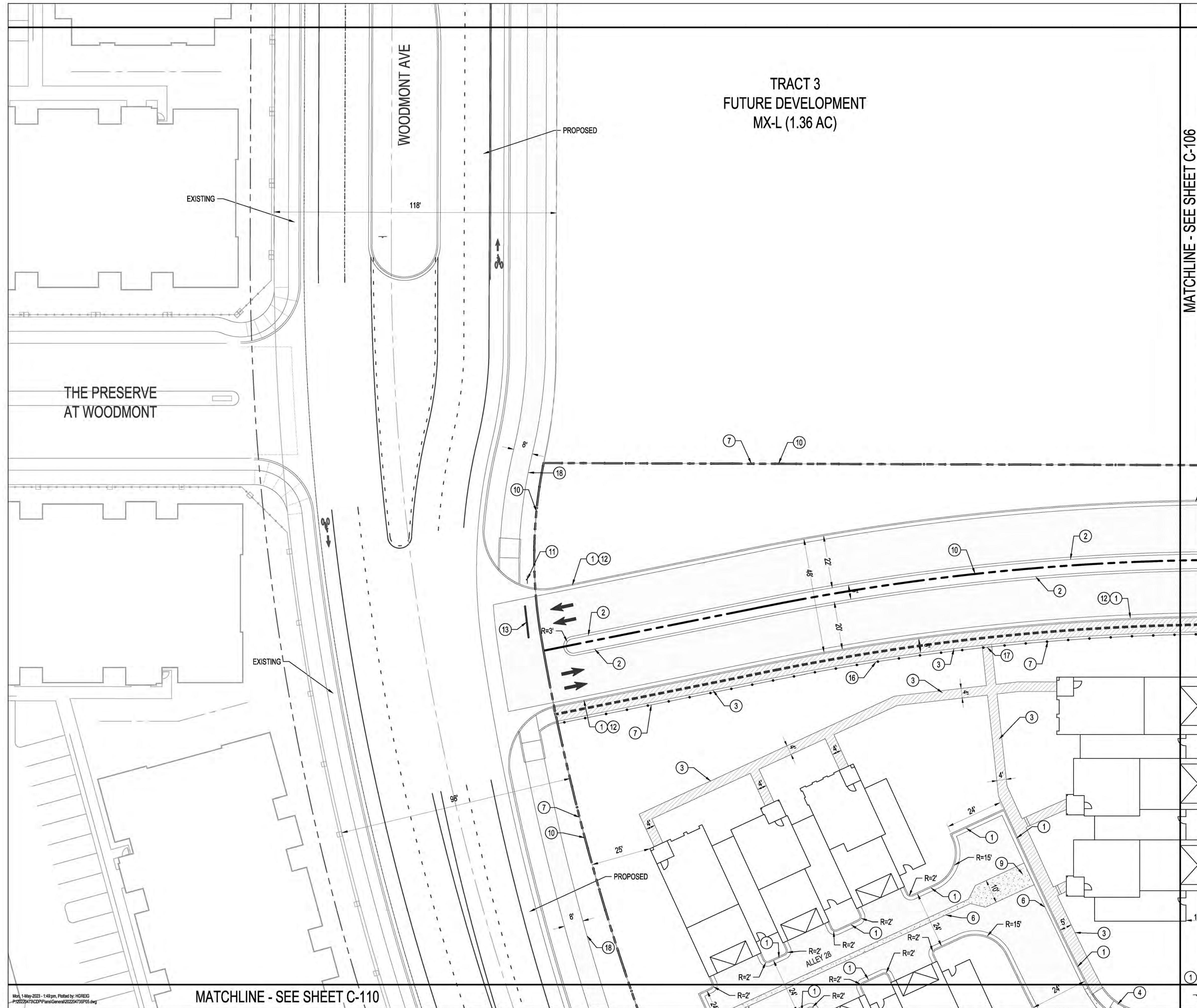
NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

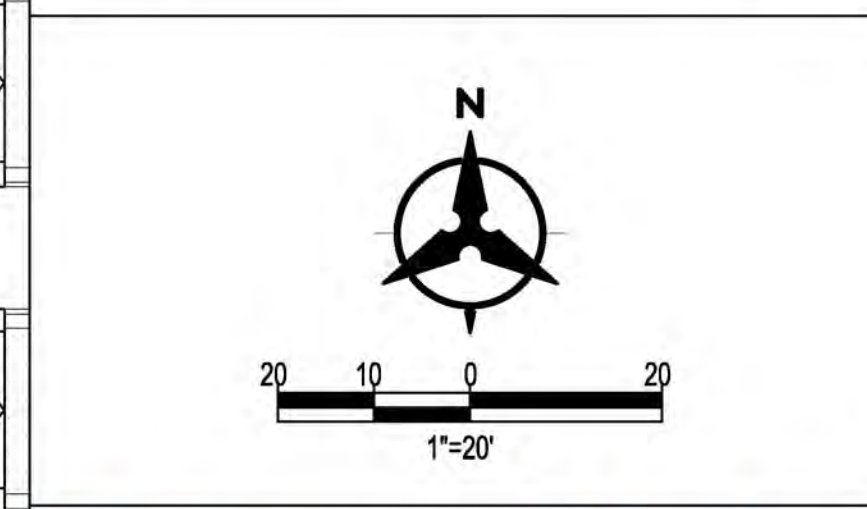
**BEDROCK SITE PLAN**





- SITE PLAN KEYED NOTES**
- STANDARD CURB AND GUTTER.
  - MEDIAN CURB AND GUTTER.
  - CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
  - ADA ACCESSIBLE CONCRETE RAMP PER C.O.A. STD. DTL.
  - STANDARD PARKING, 9' X 18' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
  - 2' ALLEY GUTTER
  - FENCE
  - VALLEY GUTTER PER C.O.A. STD. DWG. 2420
  - 10' VALLEY GUTTER
  - PROPERTY LINE
  - INSTALL STOP SIGN
  - PAINT CURB RED WITH "FIRE LANE" TEXT
  - STOP BAR
  - "NO PARKING DURING XX HOUR TO XX HOUR" SIGN
  - ON STREET PARKING, 7' X 20' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
  - PEDESTRIAN GATE
  - VEHICULAR GATE
  - PROPOSED MULTI-USE ASPHALT TRAIL. PLAN PER SIZE.
  - MOUNTABLE CURB
  - 10' PUBLIC UTILITY EASEMENT
  - ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
  - MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
  - BICYCLE RACK SEE DETAILS SHEET C-116
  - ELECTRIC VEHICLE PARKING

- LEGEND**
- ASPHALT PAVEMENT
  - CONCRETE SIDEWALK
  - CONCRETE VALLEY GUTTER
  - CROSS WALK
  - PROPERTY LINE
  - PROPOSED CURB & GUTTER
  - FENCE
  - NUMBER OF PARKING STALLS
  - ADA ACCESSIBLE ROUTE



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BENCH MARKS	
ALBUQUERQUE CONTROL SURVEY MONUMENT *UNION*	
GEOGRAPHIC POSITION (NAD 83)	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
N = 1,523,503.476, E = 1,483,655.030	
GROUND TO GRID FACTOR = 0.999664960	
DELTA ALPHA = 00° 16'58.86"	
ELEVATION = 5524.950 (NAVD 88)	

ENGINEER'S SEAL	

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTORS	DATE
ACCEPTED BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE

REVISIONS	
NO.	DATE

DESIGN	
DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

MATCHLINE - SEE SHEET C-101

MATCHLINE - SEE SHEET C-105

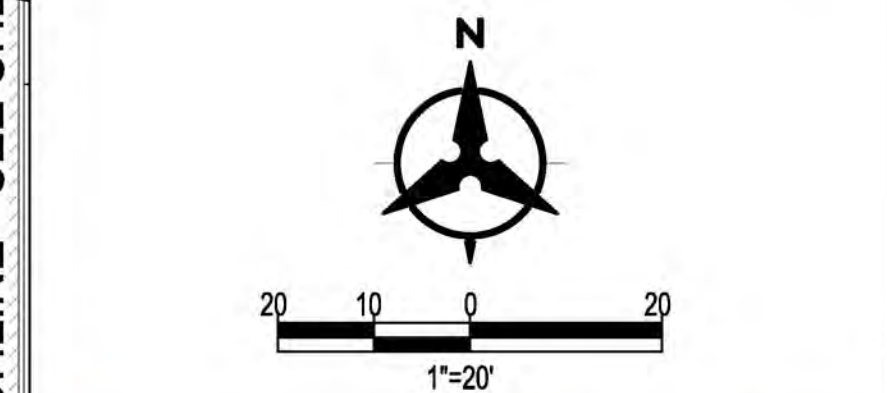
TRACT 3

**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
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19. MOUNTABLE CURB
20. 10' PUBLIC UTILITY EASEMENT
21. ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.476, E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999664960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK SITE PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-106 OF 51

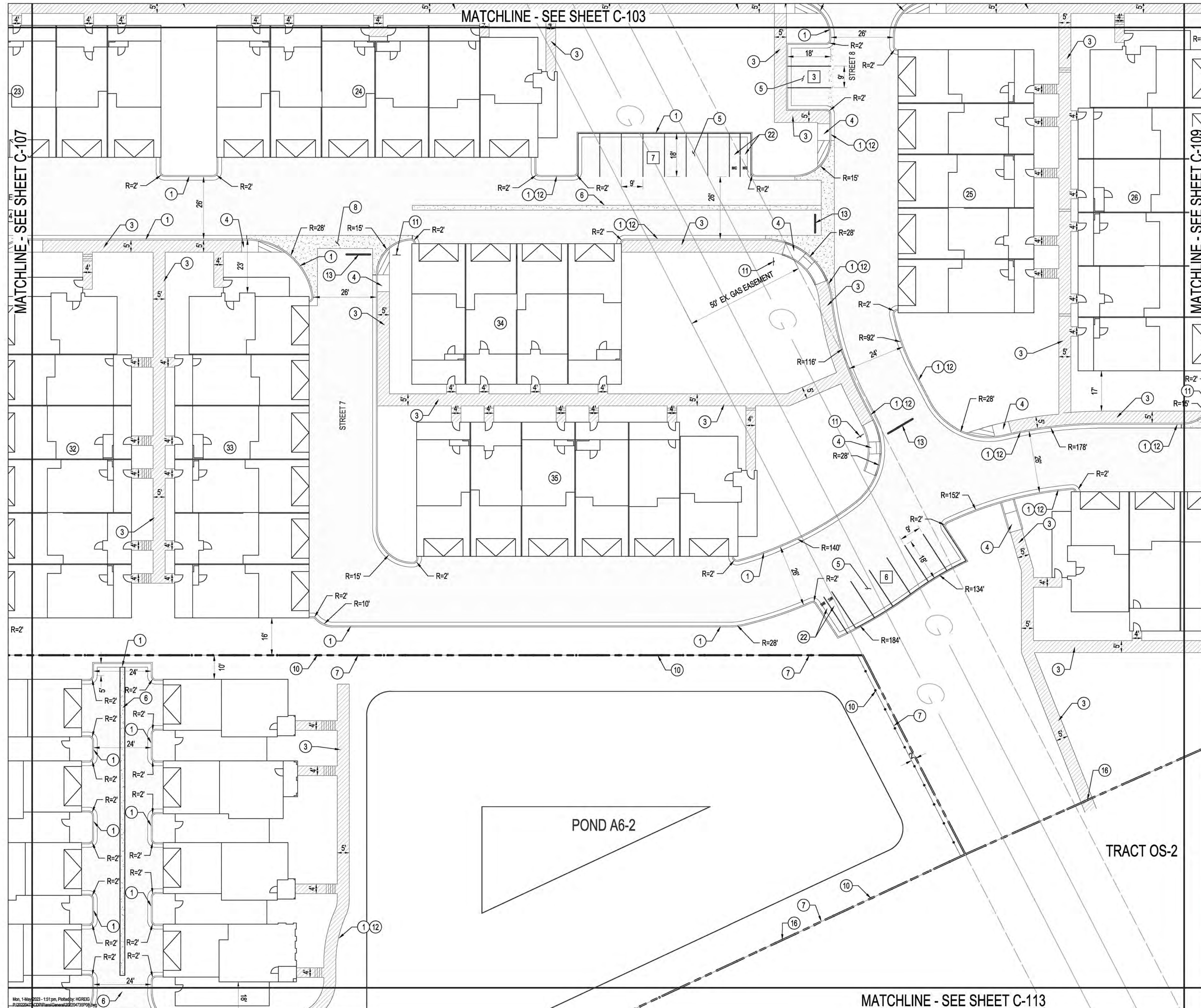
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MATCHLINE - SEE SHEET C-111

MATCHLINE - SEE SHEET C-107





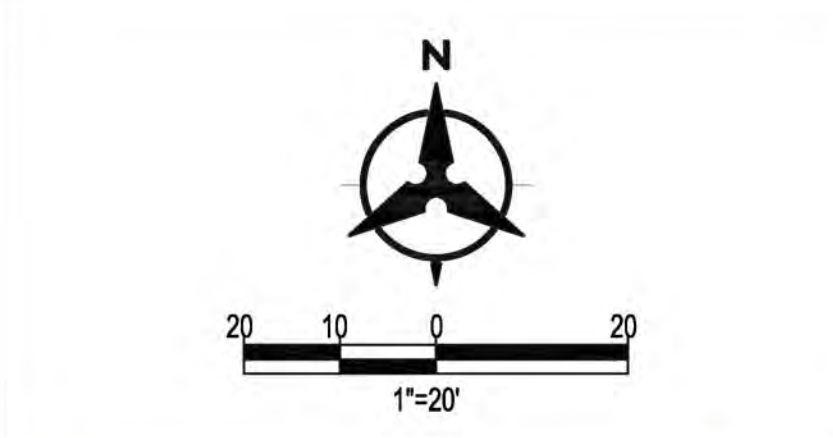


**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
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12. PAINT CURB RED WITH "FIRE LANE" TEXT
13. STOP BAR
14. "NO PARKING DURING XX HOUR TO XX HOUR" SIGN
15. ON STREET PARKING, 7' x 20' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
16. PEDESTRIAN GATE
17. VEHICULAR GATE
18. PROPOSED MULTI-USE ASPHALT TRAIL. PLAN PER SIZE.
19. MOUNTABLE CURB
20. 10' PUBLIC UTILITY EASEMENT
21. ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



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**BEDROCK SITE PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-108 OF 51

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475 E = 1,483,655.030
GROUND TO GRID FACTOR = 0.99964660
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS	DATE	ASSEMBLED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

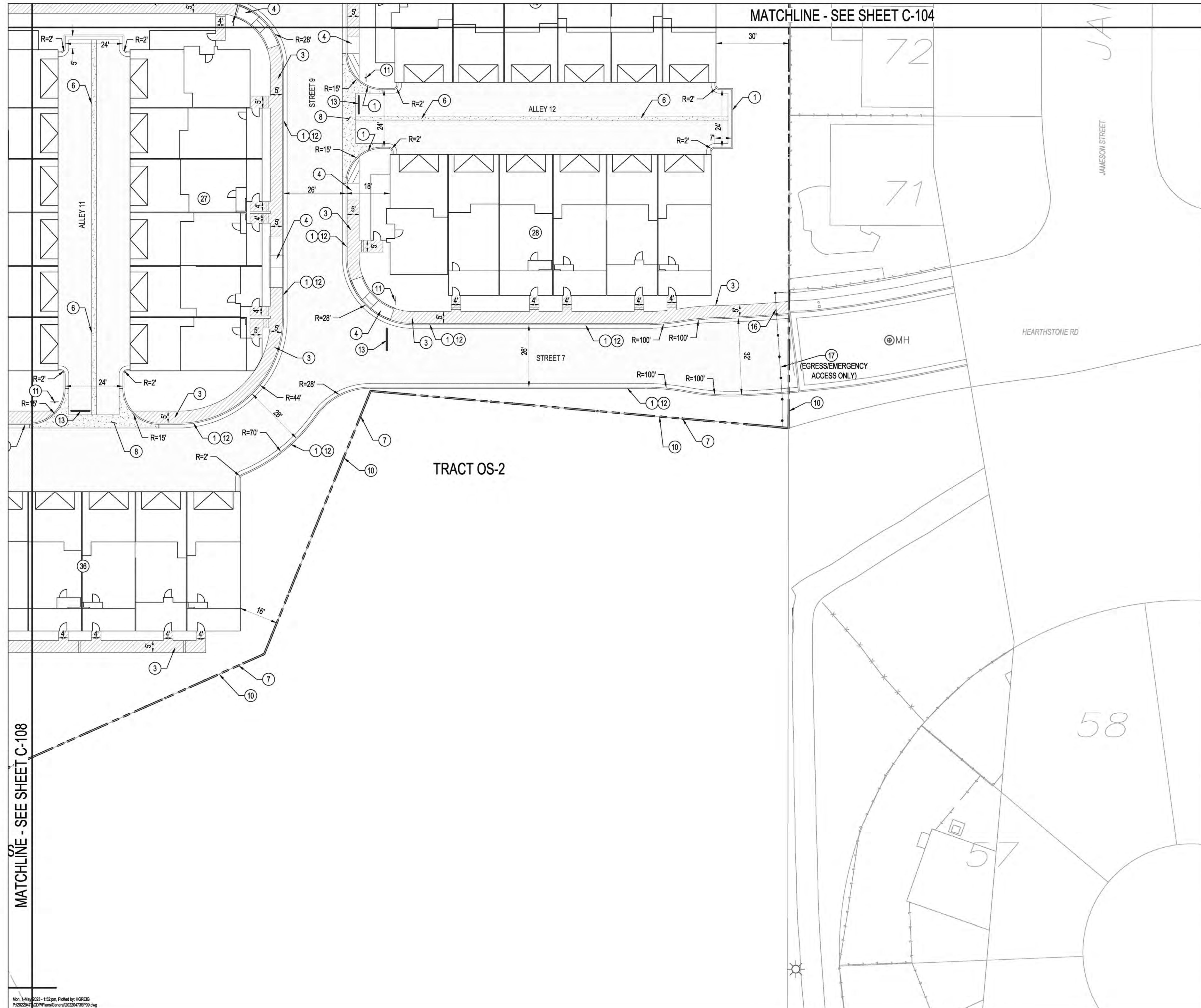
NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

Mon, 1 May 2023 - 1:51pm, Photo by: HGREIG  
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MATCHLINE - SEE SHEET C-113



MATCHLINE - SEE SHEET C-104

MATCHLINE - SEE SHEET C-108

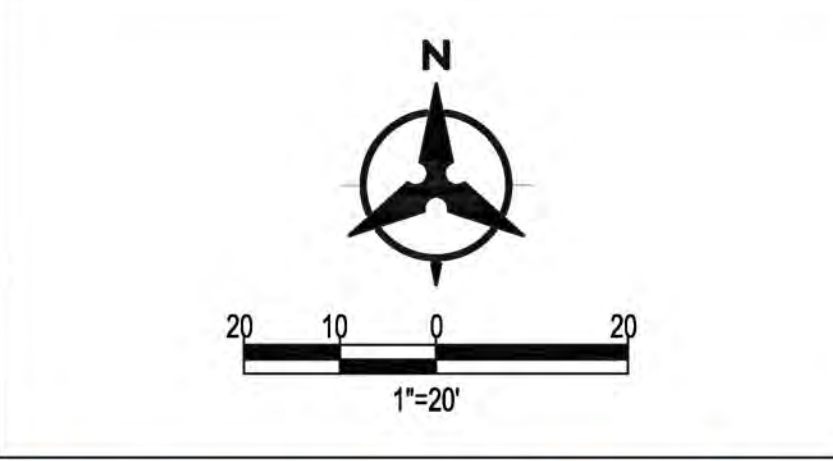
TRACT OS-2

**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
4. ADA ACCESSIBLE CONCRETE RAMP PER C.O.A. STD. DTL.
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20. 10' PUBLIC UTILITY EASEMENT
21. ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



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ENGINEER'S SEAL	
AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
INSPECTORS	DATE
APPROVED BY	DATE
FIELD VERIFICATION BY	DATE
DRAWINGS CORRECTED BY	DATE
REVISIONS	
NO.	DATE
DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK SITE PLAN**

Mon, 1 May 2023 - 1:52pm, Plotted by: HGREIG  
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MATCHLINE - SEE SHEET C-105

TRACT 11

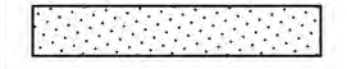
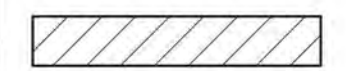


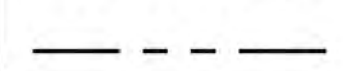




GIRONA AVE

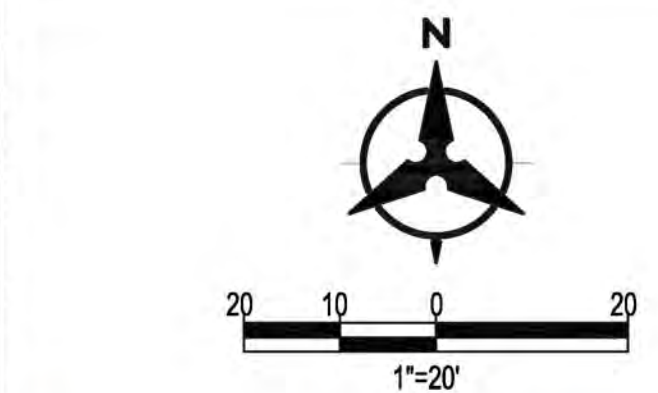
CAMBRIS DR

**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
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22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

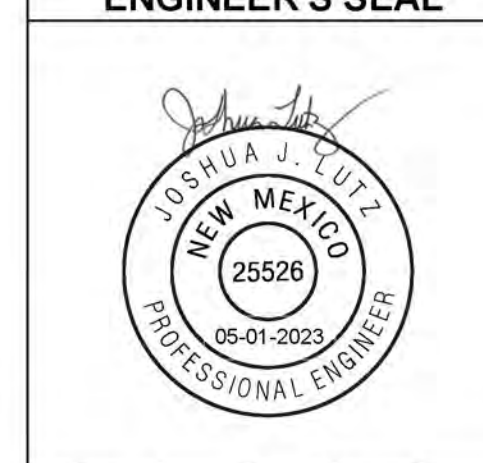
-  ASPHALT PAVEMENT
-  CONCRETE SIDEWALK
-  CONCRETE VALLEY GUTTER
-  CROSS WALK
-  PROPERTY LINE
-  PROPOSED CURB & GUTTER
-  FENCE
-  NUMBER OF PARKING STALLS
-  ADA ACCESSIBLE ROUTE



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
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GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)



**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STAMPED BY <th>DATE</th>	DATE
INSPECTORS <th>DATE</th>	DATE
APPROVED BY <th>DATE</th>	DATE
FIELD VERIFICATION BY <th>DATE</th>	DATE
DRAWINGS CORRECTED BY <th>DATE</th>	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

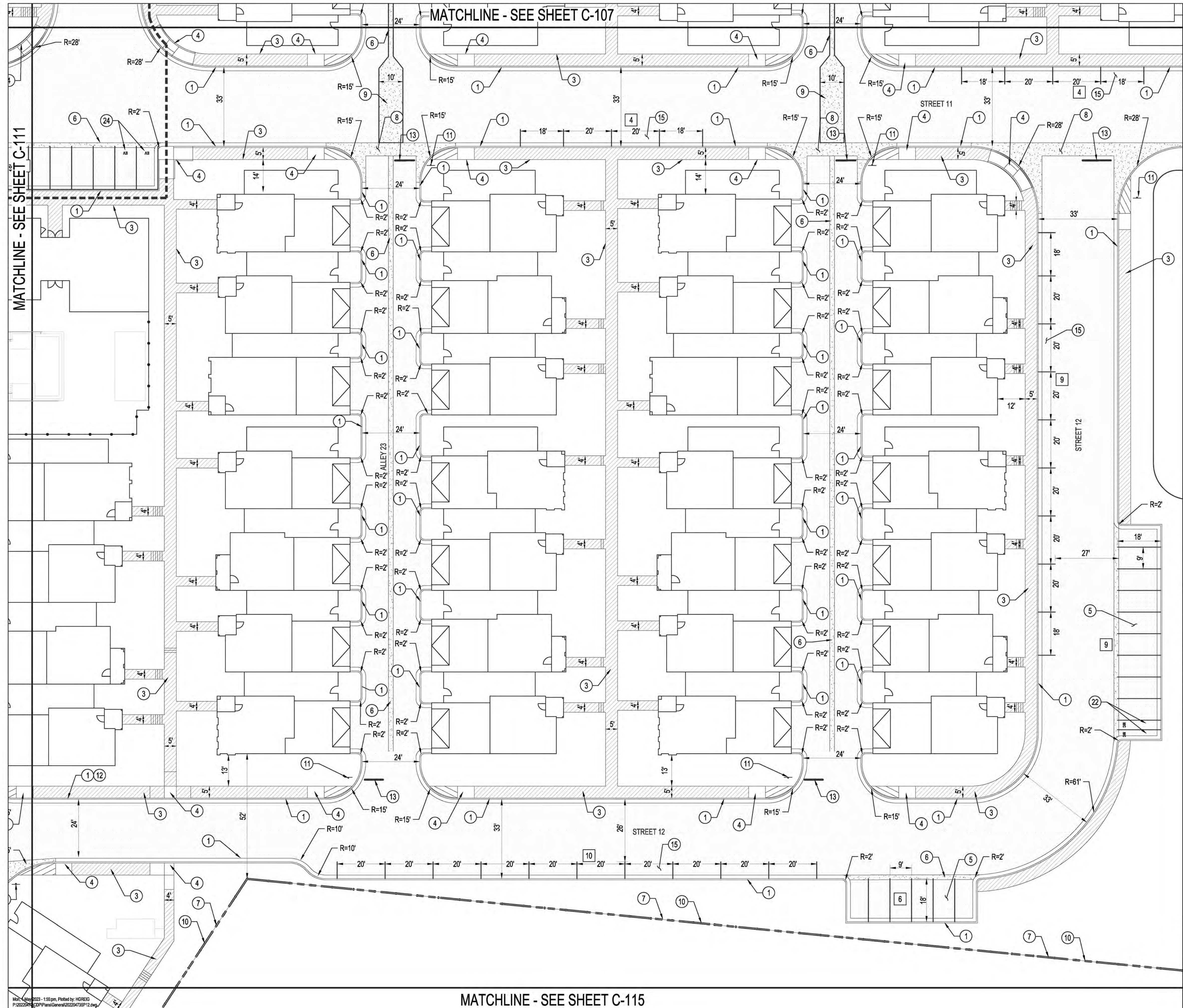
DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK SITE PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-110 OF 51

Mon, 1 May 2023 - 1:53pm, Plotted by: HOREG  
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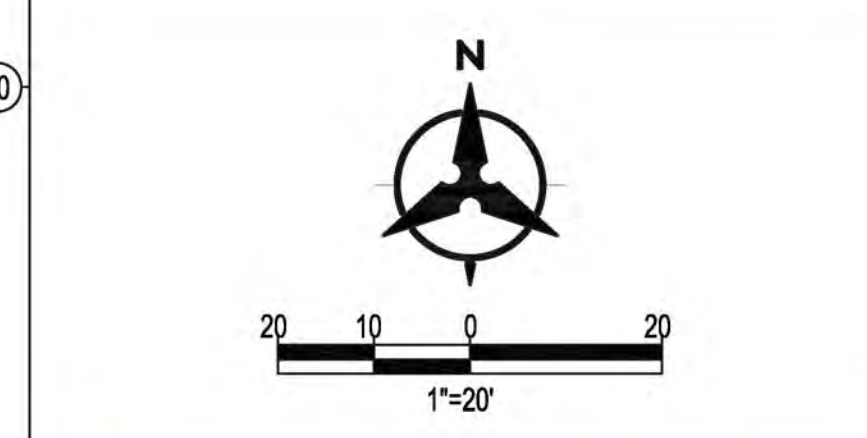


**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
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24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



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<b>ENGINEER'S SEAL</b>		
<b>AS-BUILT INFORMATION</b>		
CONTRACTOR	DATE	
WORK STARTED BY	DATE	
INSPECTORS	DATE	
APPROVED BY	DATE	
FIELD VERIFICATION BY	DATE	
DRAWINGS CORRECTED BY	DATE	
<b>REVISIONS</b>		
BY	DATE	
<b>DESIGN</b>		
DESIGNED BY	CHECKED BY	DRAWN BY
JL	JL	AR
<b>BEDROCK SITE PLAN</b>		
BHI PROJECT NO.	DWG NO.	SHEET OF
20220473		C-112 OF 51

Plot Date: 05/02/2023 1:55pm, Plotted by: H08REG  
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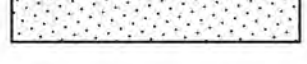
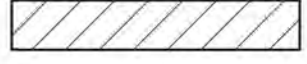

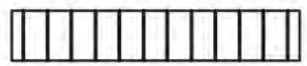
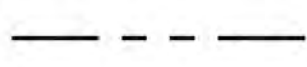



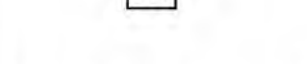
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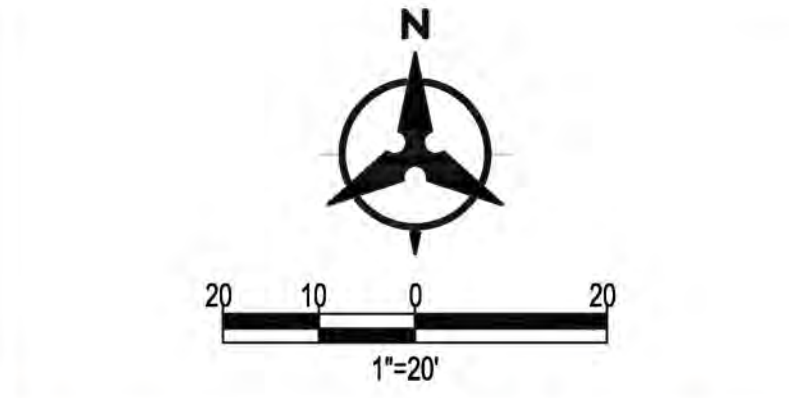
MATCHLINE - SEE SHEET C-108

**SITE PLAN KEYED NOTES**

1. STANDARD CURB AND GUTTER.
2. MEDIAN CURB AND GUTTER.
3. CONCRETE SIDEWALK. WIDTH VARIES; SEE PLAN FOR DIMENSIONS.
4. ADA ACCESSIBLE CONCRETE RAMP PER C.O.A. STD. DTL.
5. STANDARD PARKING, 9' X 18' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
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7. FENCE
8. VALLEY GUTTER PER C.O.A. STD. DWG. 2420
9. 10' VALLEY GUTTER
10. PROPERTY LINE
11. INSTALL STOP SIGN
12. PAINT CURB RED WITH "FIRE LANE" TEXT
13. STOP BAR
14. "NO PARKING DURING XX HOUR TO XX HOUR" SIGN
15. ON STREET PARKING, 7' X 20' UNLESS OTHERWISE NOTED. PAVEMENT MARKINGS ARE SHOWN FOR INFORMATION ONLY.
16. PEDESTRIAN GATE
17. VEHICULAR GATE
18. PROPOSED MULTI-USE ASPHALT TRAIL. PLAN PER SIZE.
19. MOUNTABLE CURB
20. 10' PUBLIC UTILITY EASEMENT
21. ADA ACCESS AISLE AND ADA "HANDICAP PARKING ONLY" SIGN. SEE DETAILS, SHEET C-116.
22. MOTORCYCLE PARKING AND MOTORCYCLE PARKING SIGN SEE DETAIL SHEET C-116
23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

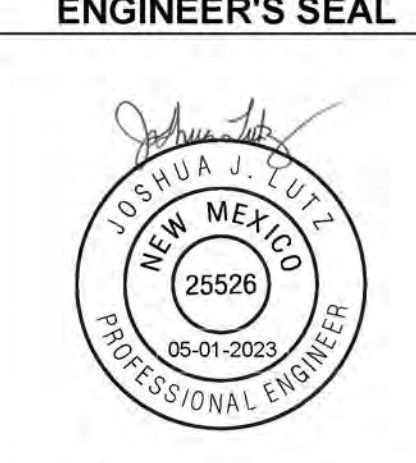
-  ASPHALT PAVEMENT
-  CONCRETE SIDEWALK
-  CONCRETE VALLEY GUTTER
-  CROSS WALK
-  PROPERTY LINE
-  PROPOSED CURB & GUTTER
-  FENCE
-  NUMBER OF PARKING STALLS
-  ADA ACCESSIBLE ROUTE



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.476 E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.1950 (NAVD 88)



**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STAMPED BY <th>DATE</th>	DATE
INSPECTOR'S ACCEPTANCE BY <th>DATE</th>	DATE
FIELD VERIFICATION BY <th>DATE</th>	DATE
DRAWINGS CORRECTED BY <th>DATE</th>	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

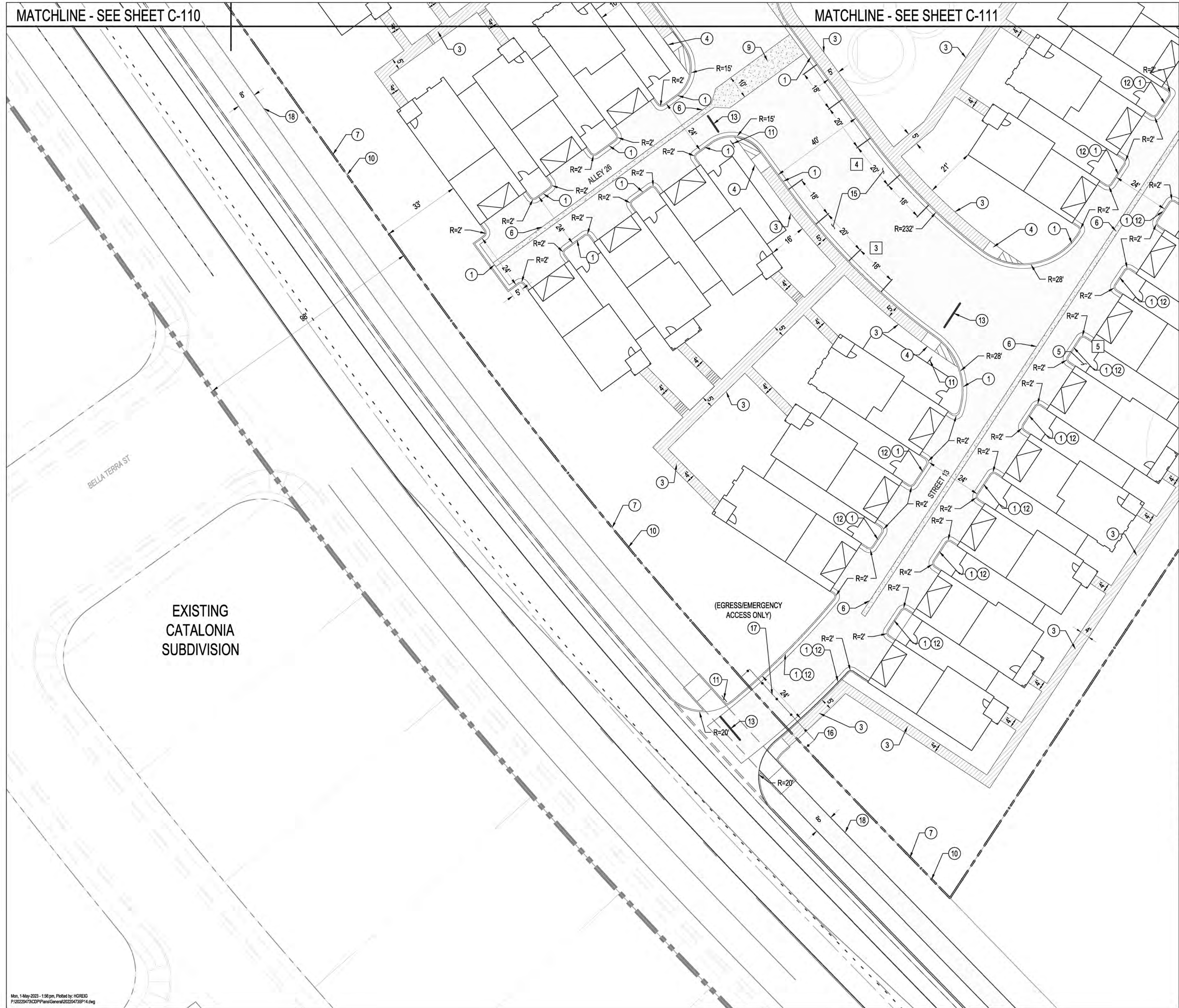
**BEDROCK SITE PLAN**

MATCHLINE - SEE SHEET C-112

Mon, 1 May 2023 - 1:55pm, Plotted by: H01REG  
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MATCHLINE - SEE SHEET C-110

MATCHLINE - SEE SHEET C-111



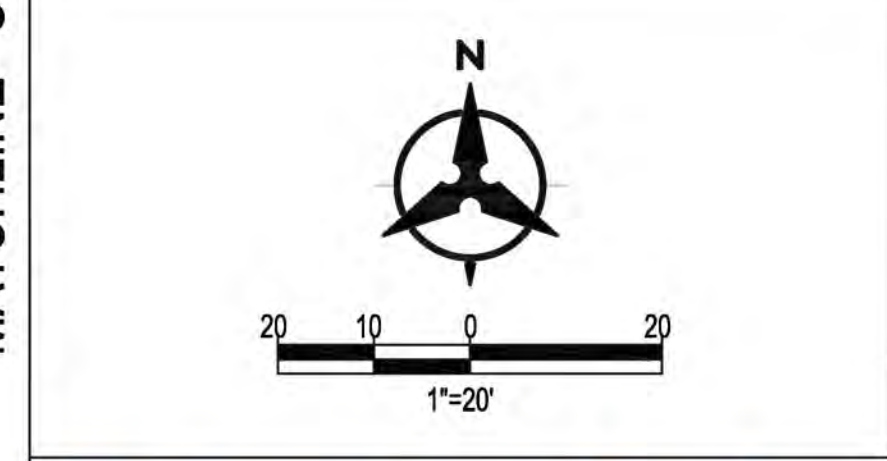
**○ SITE PLAN KEYED NOTES**

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23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE

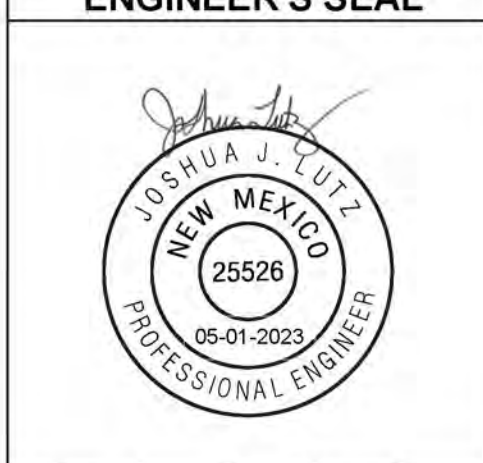
MATCHLINE - SEE SHEET C-115



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT *UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475 E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 00° 16'58.96"
ELEVATION = 5524.950 (NAVD 88)



**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS	DATE	ASSEMBLED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

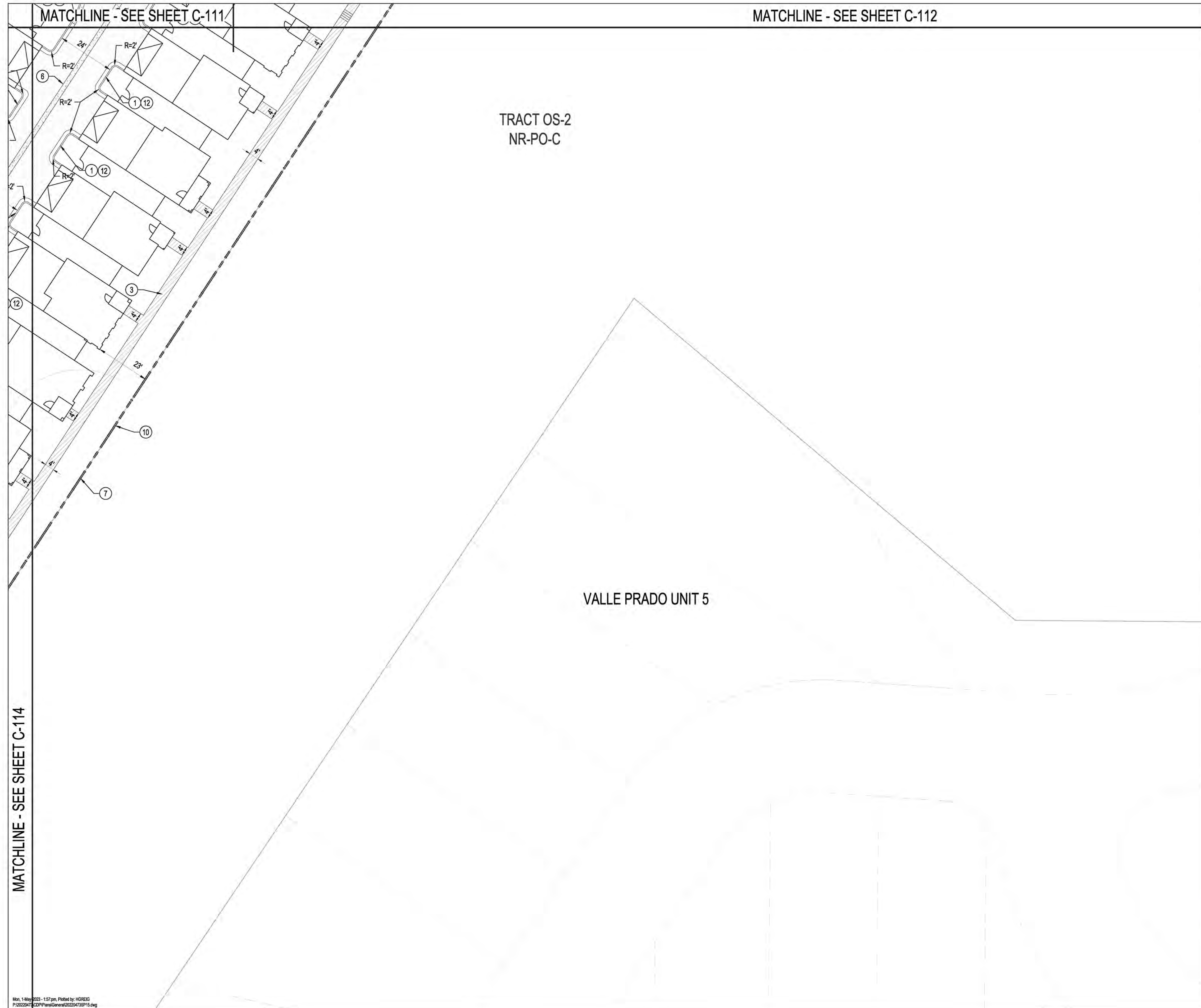
BY	DATE	DESCRIPTION

**DESIGN**

NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY
		JL	JL	AR

**BEDROCK SITE PLAN**

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MATCHLINE - SEE SHEET C-112

MATCHLINE - SEE SHEET C-111

TRACT OS-2  
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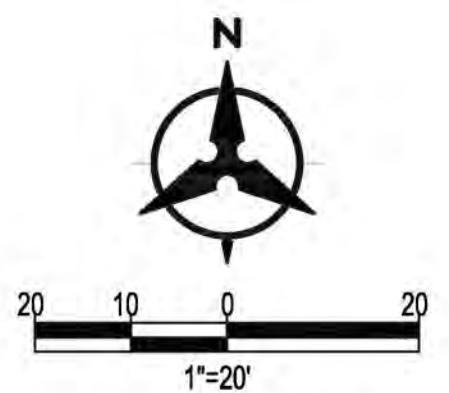
MATCHLINE - SEE SHEET C-114

**SITE PLAN KEYED NOTES**

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23. BICYCLE RACK SEE DETAILS SHEET C-116
24. ELECTRIC VEHICLE PARKING

**LEGEND**

- ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE VALLEY GUTTER
- CROSS WALK
- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- NUMBER OF PARKING STALLS
- ADA ACCESSIBLE ROUTE



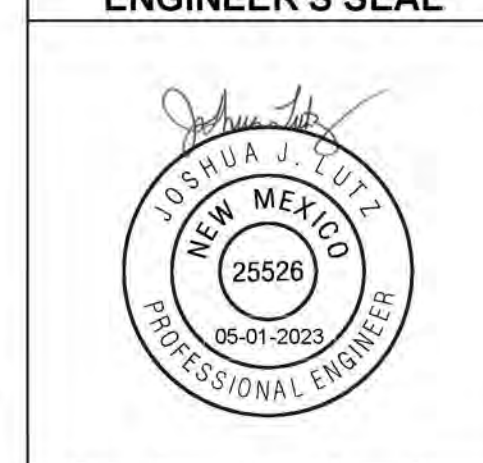
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**BEDROCK  
SITE PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-115 OF 51

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
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GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)



**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STAMPED BY <th>DATE</th>	DATE
INSPECTOR'S ACCEPTANCE BY <th>DATE</th>	DATE
FIELD VERIFICATION BY <th>DATE</th>	DATE
DRAWINGS CORRECTED BY <th>DATE</th>	DATE

**REVISIONS**

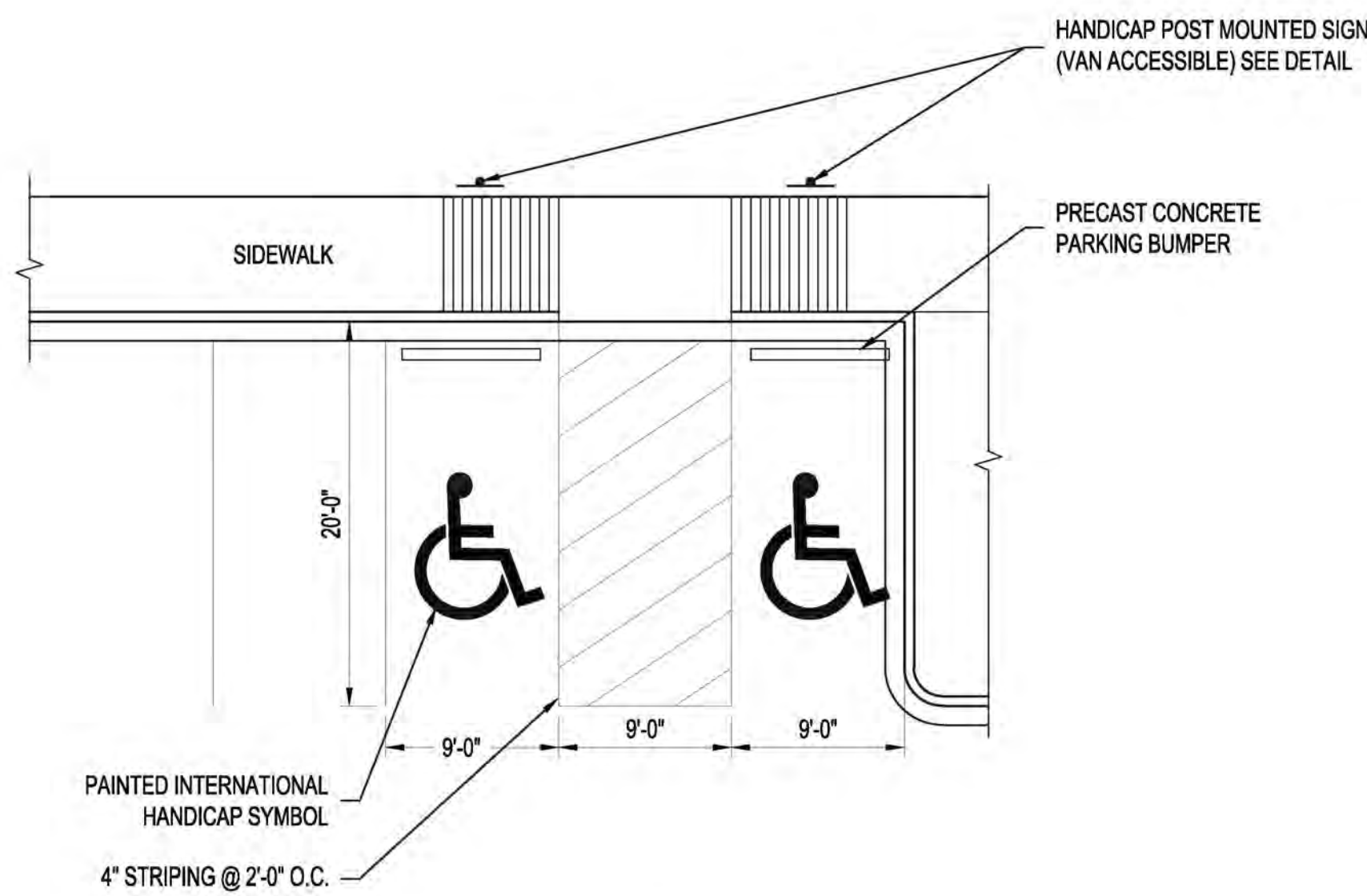
NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
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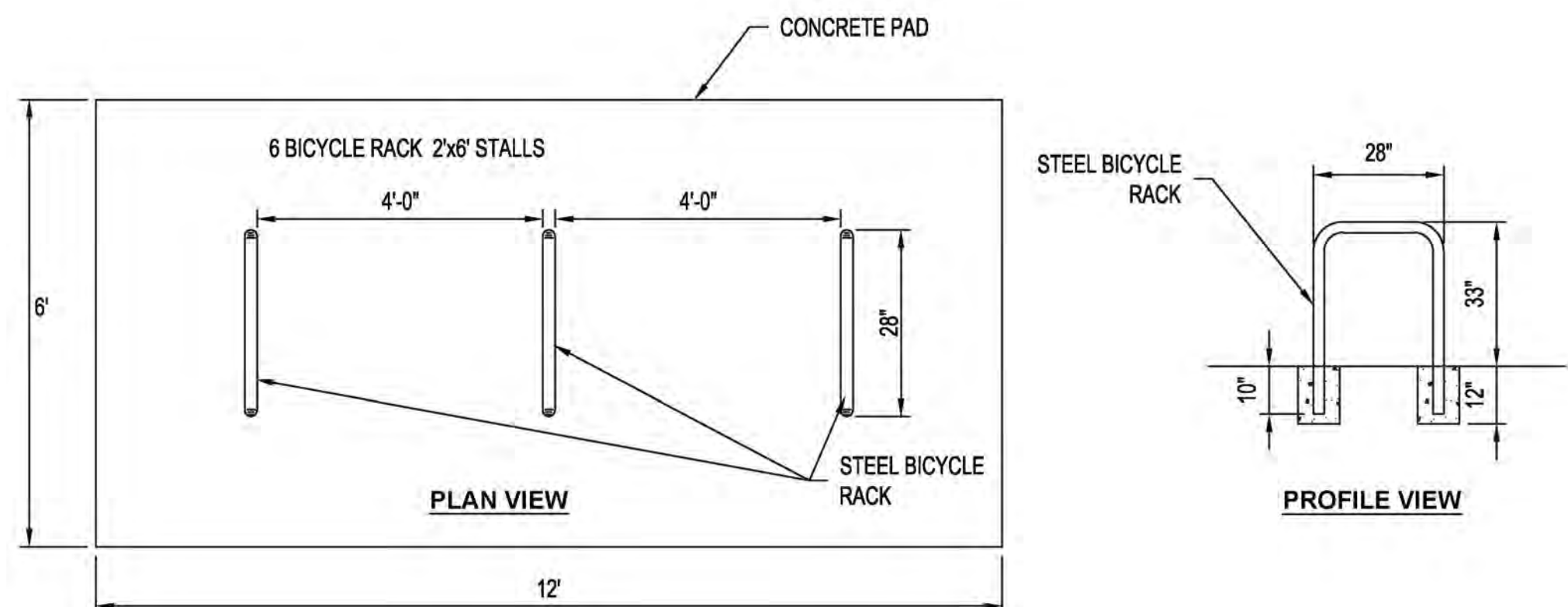
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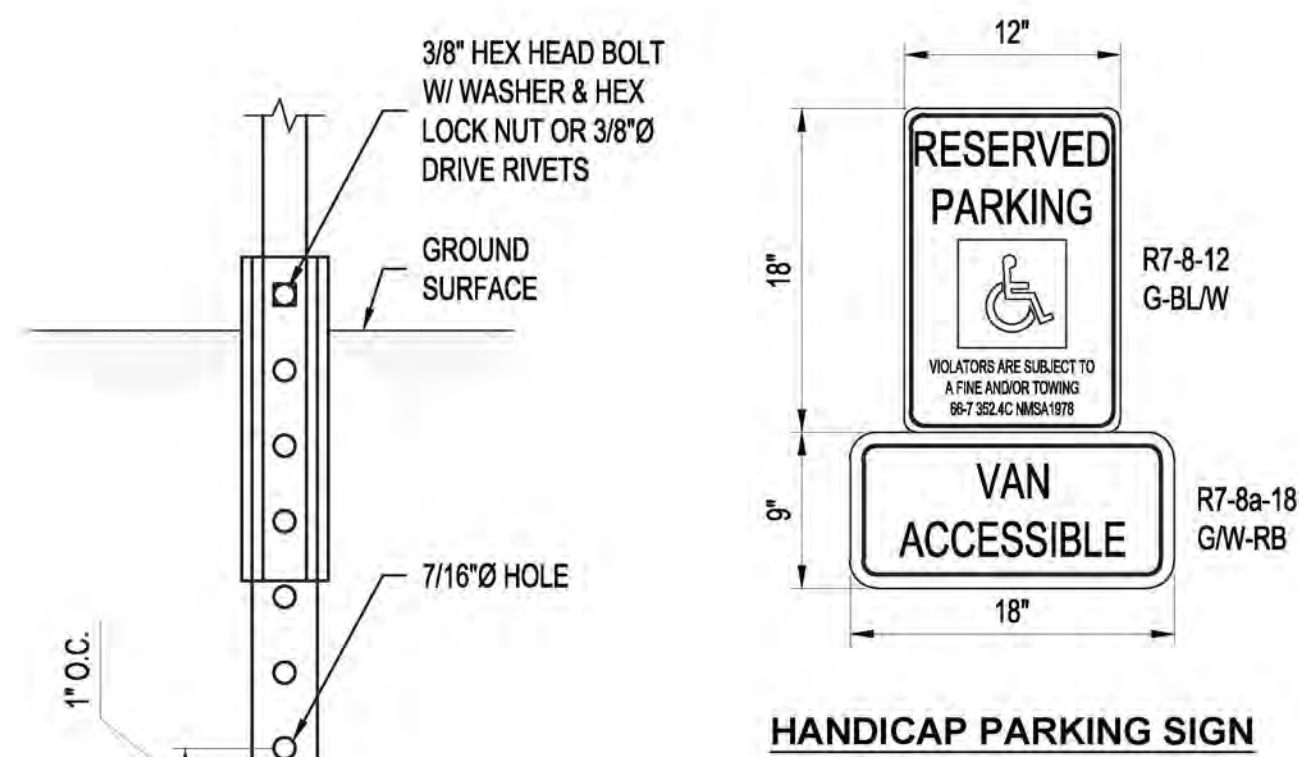
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NTS

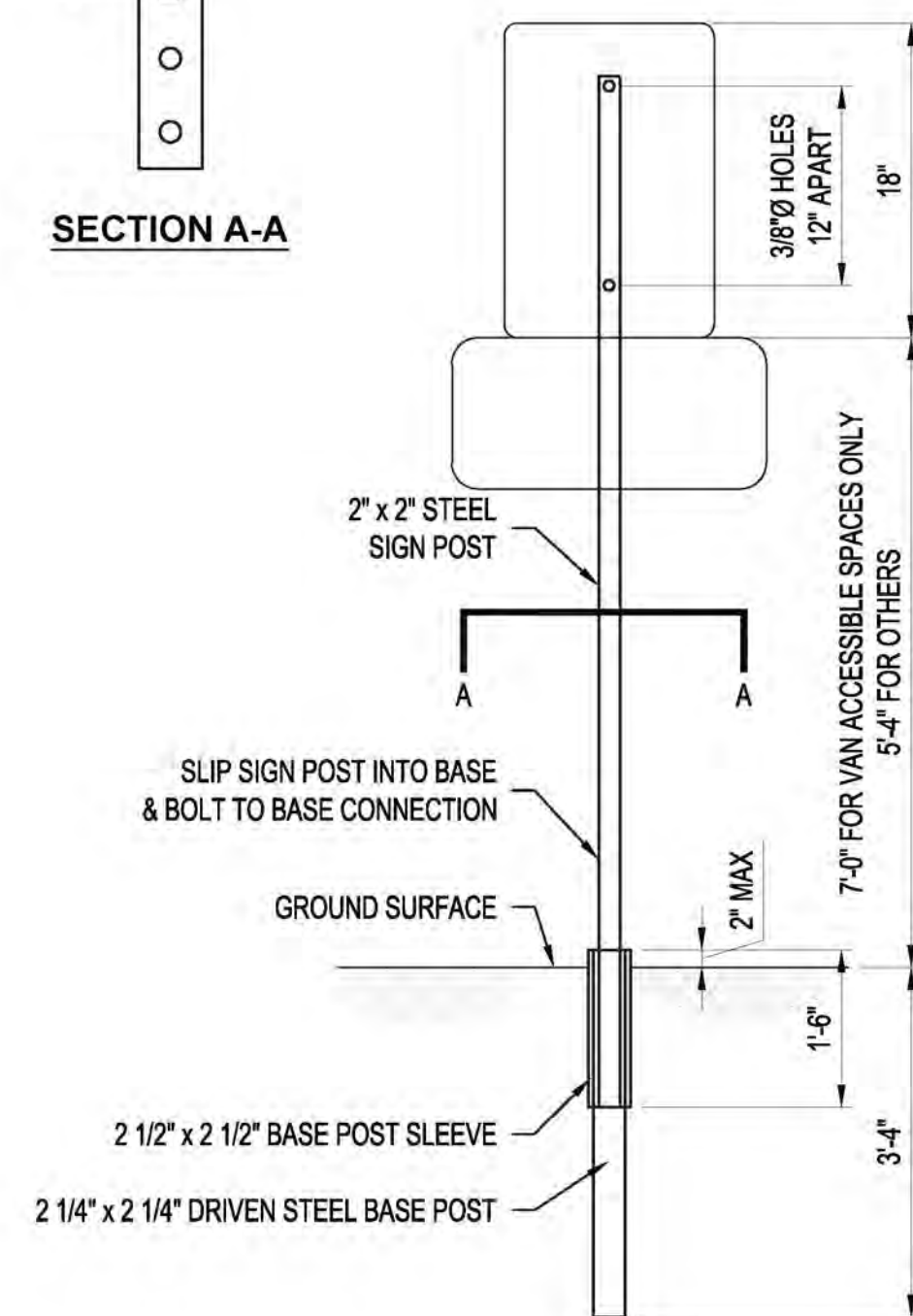


**BICYCLE PARKING RACK**

NTS

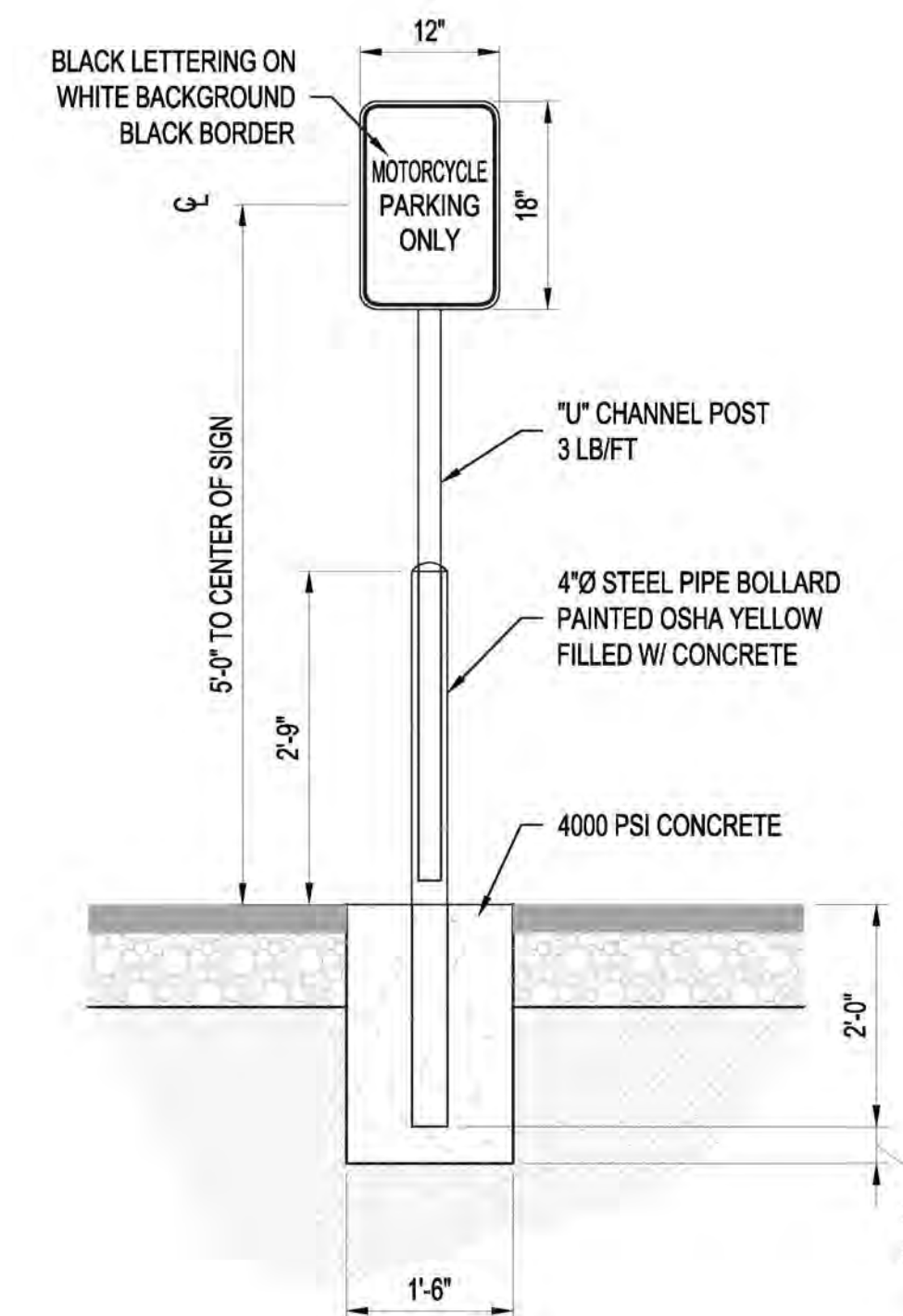


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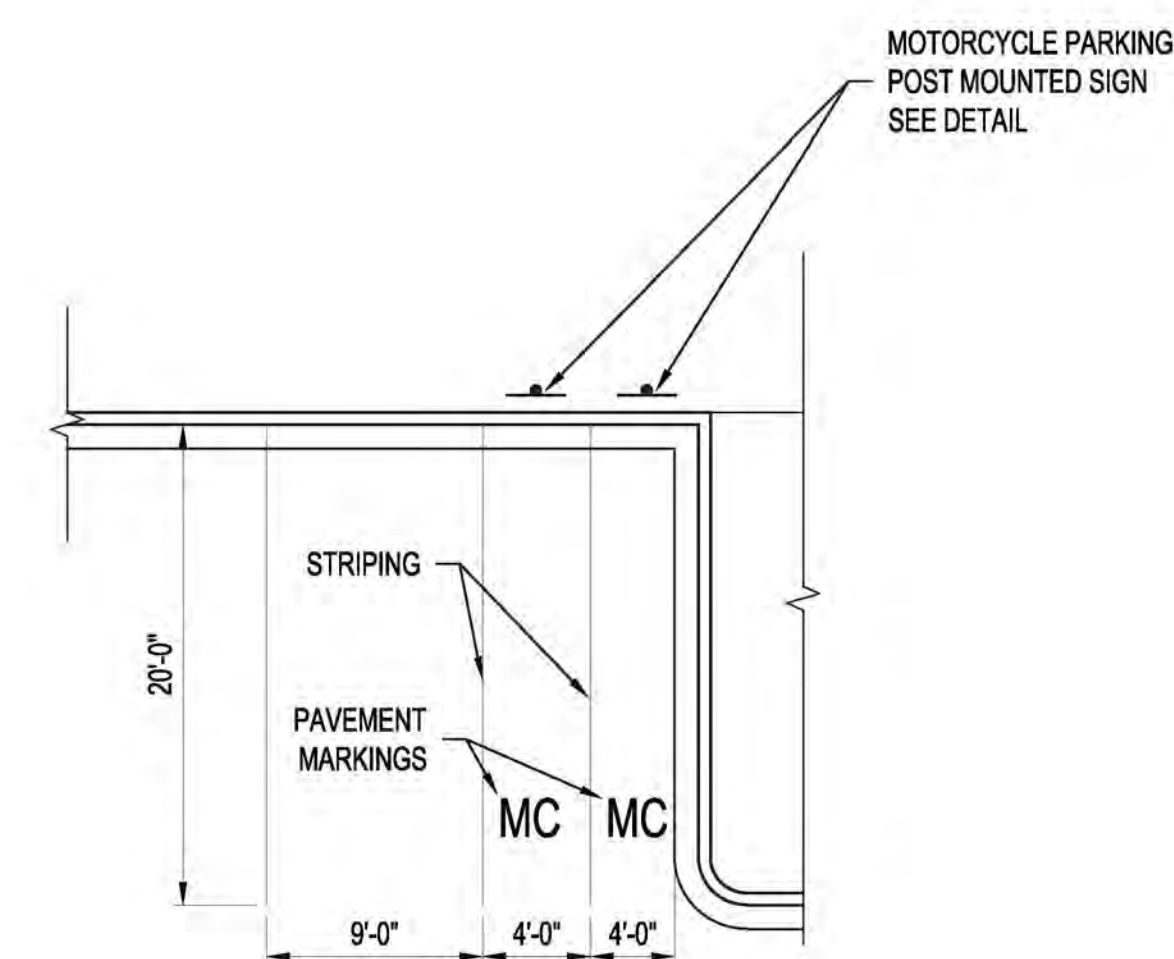
**ACCESSIBLE SPACE SIGN**

NTS



**MOTORCYCLE PARKING SIGN**

NTS



**TYPICAL MOTORCYCLE PARKING SPACE**

NTS

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION*
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
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**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS APPROVED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	BY

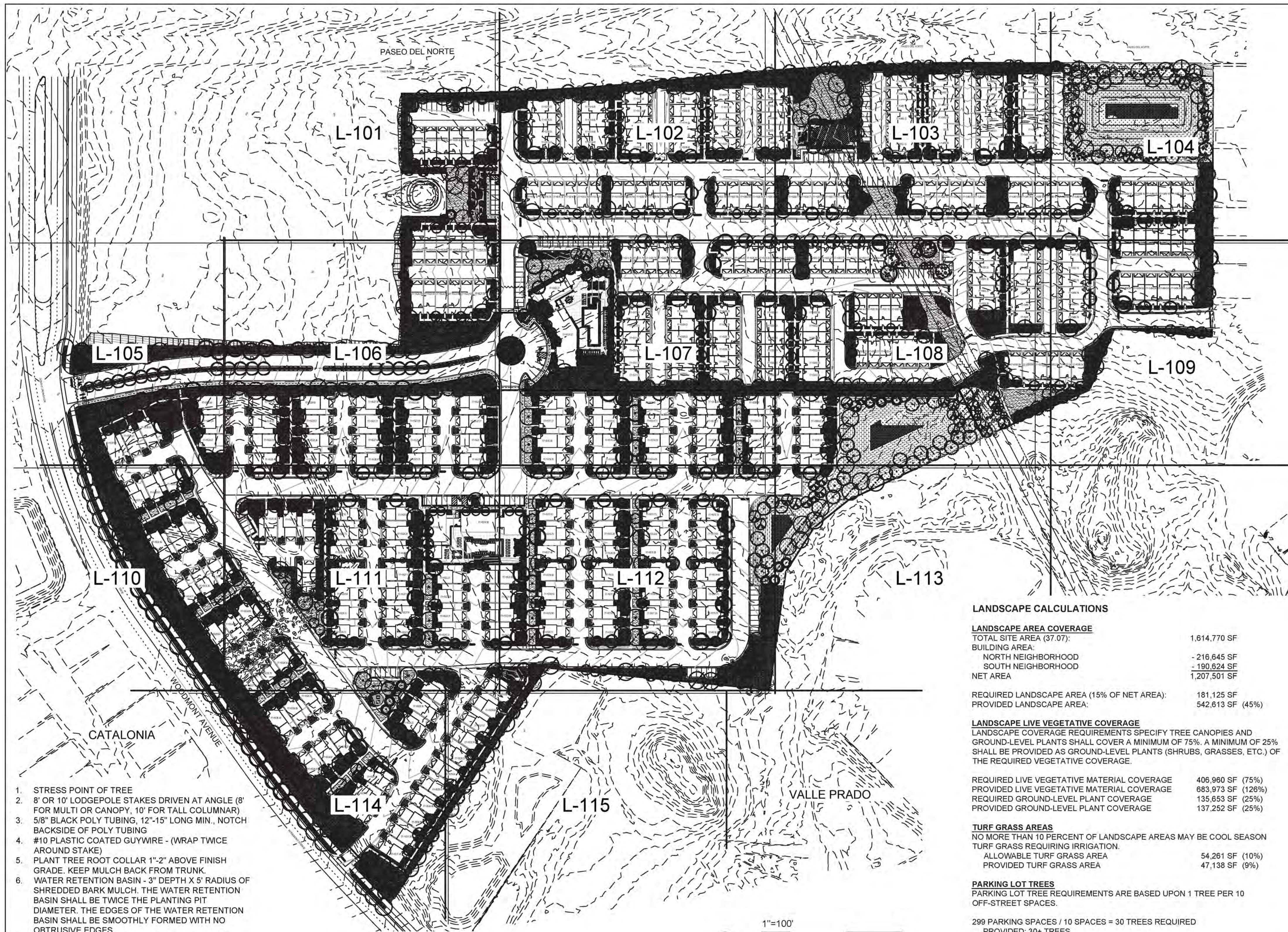
**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

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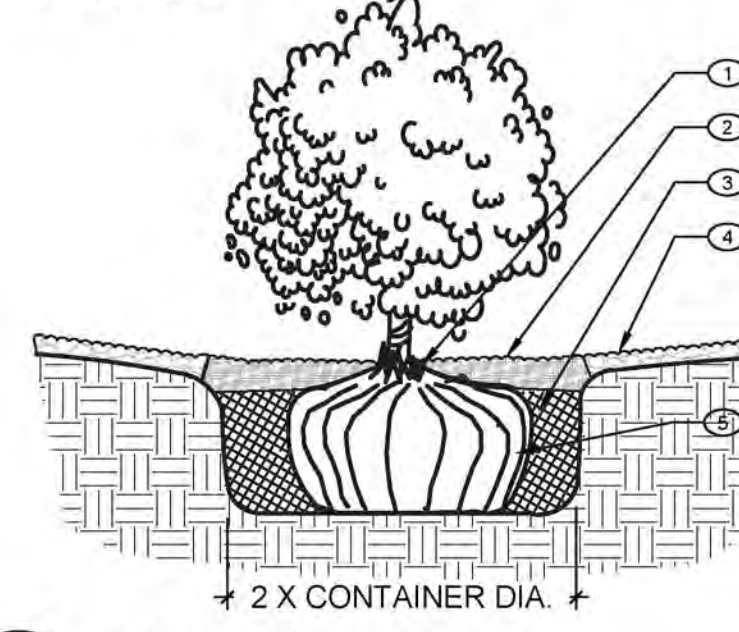
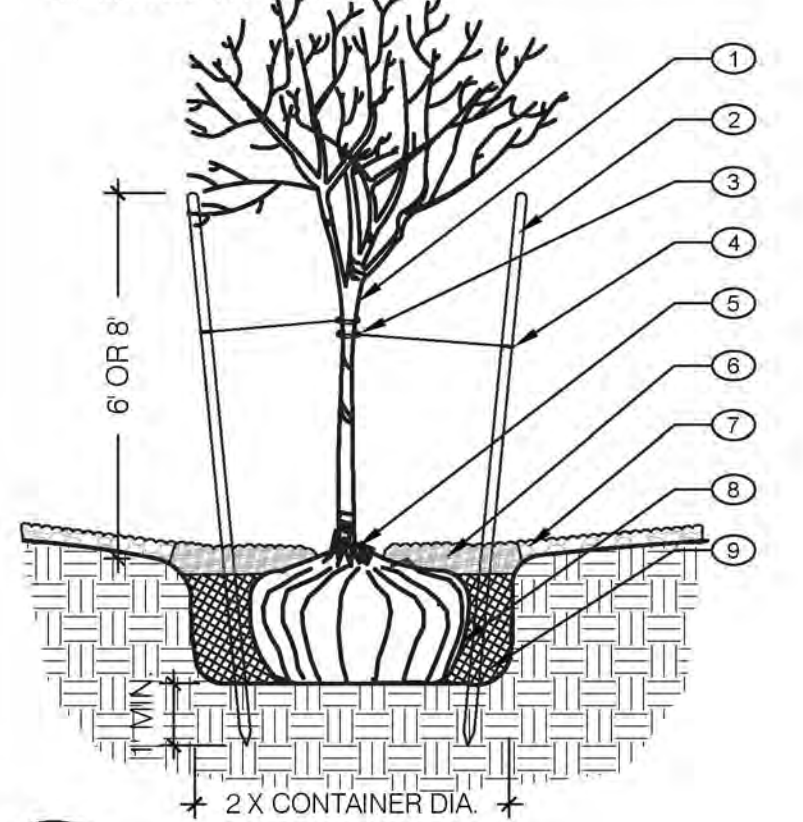
**BEDROCK SITE PLAN DETAILS**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-116	OF	51
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- STRESS POINT OF TREE
- 8" OR 10" LODGEPOLE STAKES DRIVEN AT ANGLE (8° FOR MULTI OR CANOPY, 10° FOR TALL COLUMNAR)
- 5/8" BLACK POLY TUBING, 12"-15" LONG MIN., NOTCH BACKSIDE OF POLY TUBING
- #10 PLASTIC COATED GUYWIRE - (WRAP TWICE AROUND STAKE)
- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE. KEEP MULCH BACK FROM TRUNK.
- WATER RETENTION BASIN - 3" DEPTH X 5' RADIUS OF SHREDDED BARK MULCH. THE WATER RETENTION BASIN SHALL BE TWICE THE PLANTING PIT DIAMETER. THE EDGES OF THE WATER RETENTION BASIN SHALL BE SMOOTHLY FORMED WITH NO OBTRUSIVE EDGES
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL WITH REMOVE ROPE AND BURLAP AFTER PLANTING
- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS

- PLANT TREE ROOT COLLAR 1"-2" ABOVE FINISH GRADE
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- SPECIFIED PLANTING MIX - WATER AND TAMP TO REMOVE AIR POCKETS
- 3" LAYER OF ROCK MULCH - SEE PLANTING PLAN
- ROOTBALL



**METHOD FOR COMPLYING WITH WATER CONSERVATION ORDINANCE**  
 THE PLANT PALETTE IS PREDOMINANTLY COMPRISED OF PLANTS WITH LOW TO MEDIUM WATER USE REQUIREMENTS, THEREBY MINIMIZING IRRIGATION NEEDS WHILE ENSURING THE VIABILITY OF THE PLANTS.

**PNM COORDINATION**  
 COORDINATION WITH PNM'S NEW SERVICE DELIVERY DEPARTMENT IS NECESSARY REGARDING PROPOSED TREE LOCATION AND HEIGHT, SIGN LOCATION AND HEIGHT, AND LIGHTING HEIGHT IN ORDER TO ENSURE SUFFICIENT SAFETY CLEARANCES.

SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO ELECTRIC UTILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET IN FRONT AND AT LEAST 5 FEET ON THE REMAINING THREE SIDES SURROUNDING ALL GROUND-MOUNTED EQUIPMENT FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.

**IRRIGATION**  
 IRRIGATION SYSTEM STANDARDS OUTLINED IN THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE SHALL BE STRICTLY ADHERED TO. THE SYSTEM SHALL BE COMPLETELY AUTOMATED AND INCLUDE REQUIRED BACKFLOW PREVENTION AND A SMART CONTROLLER. TREES WILL BE PROVIDED WITH (8) 2 GPH EMITTERS AND SHRUBS/ GROUNDCOVERS WILL BE PROVIDED WITH (2) 1 GPH EMITTERS. THE SYSTEM SHALL BE DESIGNED TO ALLOW FOR EXPANDABILITY AS THE TREES MATURE. TURF AREA IRRIGATION SHALL BE DESIGNED FOR MAXIMUM DISTRIBUTION UNIFORMITY.

**LANDSCAPE CALCULATIONS**

LANDSCAPE AREA COVERAGE	
TOTAL SITE AREA (37.07):	1,614,770 SF
BUILDING AREA:	
NORTH NEIGHBORHOOD	-216,645 SF
SOUTH NEIGHBORHOOD	-190,624 SF
NET AREA	1,207,501 SF
REQUIRED LANDSCAPE AREA (15% OF NET AREA):	181,125 SF
PROVIDED LANDSCAPE AREA:	542,613 SF (45%)

LANDSCAPE LIVE VEGETATIVE COVERAGE	
LANDSCAPE COVERAGE REQUIREMENTS SPECIFY TREE CANOPIES AND GROUND-LEVEL PLANTS SHALL COVER A MINIMUM OF 75%. A MINIMUM OF 25% SHALL BE PROVIDED AS GROUND-LEVEL PLANTS (SHRUBS, GRASSES, ETC.) OF THE REQUIRED VEGETATIVE COVERAGE.	
REQUIRED LIVE VEGETATIVE MATERIAL COVERAGE	406,960 SF (75%)
PROVIDED LIVE VEGETATIVE MATERIAL COVERAGE	683,973 SF (126%)
REQUIRED GROUND-LEVEL PLANT COVERAGE	135,653 SF (25%)
PROVIDED GROUND-LEVEL PLANT COVERAGE	137,252 SF (25%)

TURF GRASS AREAS	
NO MORE THAN 10 PERCENT OF LANDSCAPE AREAS MAY BE COOL SEASON TURF GRASS REQUIRING IRRIGATION.	
ALLOWABLE TURF GRASS AREA	54,261 SF (10%)
PROVIDED TURF GRASS AREA	47,138 SF (9%)

**PARKING LOT TREES**  
 PARKING LOT TREE REQUIREMENTS ARE BASED UPON 1 TREE PER 10 OFF-STREET SPACES.

299 PARKING SPACES / 10 SPACES = 30 TREES REQUIRED  
 PROVIDED: 30+ TREES

**STREET TREES**  
 STREET TREE REQUIREMENTS ARE BASED ON AN AVERAGE SPACING OF 25' O.C. REQUIRED/ PROVIDED:

WOODMONT AVENUE: 1,170 LF / 25 FEET PER TREE = 47 REQUIRED TREES  
 PROVIDED: 51 TREES

**NMDOT ROW**  
 A LANDSCAPING PERMIT SHALL BE PROVIDED TO THE NMDOT FOR ANY LANDSCAPING WITHIN NMDOT HIGHWAY RIGHT OF WAY. LANDSCAPE WITHIN THE NMDOT ROW SHALL BE MAINTAINED BY THE PERMITEE.

**CLEAR SIGHT DISTANCE**  
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE AREA.

**RESPONSIBILITY OF MAINTENANCE**  
 MAINTENANCE OF ALL PLANTING AND IRRIGATION, INCLUDING THOSE WITHIN THE PUBLIC R.O.W., SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

REVEGETATIVE SEEDING - AREAS SHALL BE RE-VEGETATED BY HYDROMULCH APPLICATION PER NATIVE SEEDING SPECIFICATION SECTION 92.3200. LIMITS OF RE-VEGETATED SEEDING SHOWN ON PLANS IS SCHEMATIC. CONTRACTOR SHALL APPLY RE-VEGETATED SEED TO LIMIT OF DISTURBANCE. SANDY SOILS MIX (20 LBS. PLUS PER ACRE TOTAL) OR EQUAL.

RE-VEGETATIVE SEEDING WITH 1"-4" GRAY ANGULAR ROCK OVER DIRT - NOTE: POND TREATMENT TO COMPLY WITH EPA CGP 2.2.14b

**PLANT LEGEND**

QTY.	SYMBOL	SCIENTIFIC NAME COMMON NAME (WATER USE)	SIZE	MATURE SIZE
<b>TREES</b>				
82		CELTIS RETICULATA NETLEAF HACKBERRY (L+)	2.5" CAL	25' HT. X 25' SPR.
115		CERCIS CANADENSIS V. TEXENSIS TEXAS REDBUD (M)	2.5" CAL	20' HT. X 20' SPR.
3		GLEDITSIA TRICANTHOS 'IMPERIAL' IMPERIAL HONEYLOCUST (M)	2.5" CAL	50' HT. X 45' SPR.
105		CHILOPSIS LINEARIS DESERT WILLOW (L+)	24" BOX	20' HT. X 25' SPR.
63		FORESTIERA NEOMEXICANA NEW MEXICO OLIVE (M)	15-GAL.	15' HT. X 12' SPR.
93		JUNIPERUS SCOPULORUM 'SKYROCKET' SKYROCKET JUNIPER (L+) "FEMALES ONLY"	15-GAL.	12' HT. X 4' SPR.
12		ACER FREMANII 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE (M)	2.5" CAL	40' HT. X 30' SPR.
22		ROBINIA 'PURPLE ROBE' PURPLE ROBE LOCUST (M)	2.5" CAL	30' HT. X 30' SPR.
74		PINUS EDARICA AFGHAN PINE (M)	8" HT. B&B	40' HT. X 18' SPR.
88		PINUS NIGRA AUSTRIAN PINE (M+)	8" HT. B&B	35' HT. X 25' SPR.
11		PISTACIA CHINENSIS CHINESE PISTACHE (M)	2.5" CAL	40' HT. X 30' SPR.
92		ULMUS PROPINQUA EMERALD SUNSHINE ELM (M)	2.5" CAL	35' HT. X 35' SPR.
93		ULMUS PARVIFOLIA 'EMER II' ALLEE ELM (M)	2.5" B&B	35' HT. X 35' SPR.
44		VITEX AGNUS-CASTUS CHASTE TREE (M)	15-GAL.	20' HT. X 20' SPR.
59		ULMUS CARPINFOLIA X PARVIFOLIA FRONTIER ELM (M)	2.5" CAL	25' HT. X 15' SPR.
<b>SHRUBS &amp; GROUNDCOVERS</b>				
448		ACHILLEA 'MOONSHINE' / 'PAPRIKA' MOONSHINE / PAPRIKA YARROW (M)	1-GAL.	2' HT. X 2' SPR.
366		AGASTACHE RUPESTRIS SUNSET HYSSOP (L)	1-GAL.	2' HT. X 2' SPR.
233		BUDDLEJA DAVIDII NANHOENSIS BUTTERFLY BUSH (M)	5-GAL.	5' HT. X 4' SPR.
425		CARYOPTERIS CLANDONENSIS BLUE MIST SPIREA (M)	5-GAL.	3' HT. X 4' SPR.
185		CAESALPINIA GILLIESII YELLOW BIRD OF PARADISE (L)	5-GAL.	5' HT. X 5' SPR.
108		LAGERSTROMIA INDICA 'DYNAMITE' CRAPE MYRTLE (M)	15-GAL.	15' HT. X 10' SPR.
291		ERICAMERIA NAUSEOSA CHAMISA (L)	5-GAL.	5' HT. X 5' SPR.
363		FALLUGIA PARADOXA APACHE PLUME (L)	5-GAL.	5' HT. X 5' SPR.
240		LAVANDULA AUGUSTIFOLIA 'HIDCOTE' LAVENDER 'HIDCOTE' (L+)	3-GAL.	2' HT. X 3' SPR.
348		CYTISUS SCOPARIUS 'LENAS BROOM' SCOTCH BROOM (M)	5-GAL.	4' HT. X 4' SPR.
251		ERICAMERIA LARICIFOLIA TURPENTINE BUSH (L)	5-GAL.	3' HT. X 4' SPR.
161		SPHAERALCEA COCCINEA SCARLET GLOBEMALLOW (L)	3-GAL.	3' HT. X 3' SPR.
176		SALVIA GREGGII CHERRY SAGE (L)	3-GAL.	3' HT. X 3' SPR.
375		SALVIA X 'ULTRA VIOLET' ULTRA VIOLET SAGE (L)	3 GAL.	3' HT. X 3' SPR.
111		JUNIPERUS HORIZONTALIS 'BLUE-CHIP' BLUE CHIP JUNIPER (L) "FEMALES ONLY"	5-GAL.	1' HT. X 6' SPR.
156		PINUS MUGO DWARF MUGO PINE (L)	5-GAL.	4' HT. X 5' SPR.
366		POTENTILLA FRUTICOSA SHRUBBY CINQUEFOIL (L)	5-GAL.	3' HT. X 3' SPR.
305		RHUS AROMATICA 'GROW LOW' GROW-LOW SUMAC (L)	5-GAL.	3' HT. X 4' SPR.
157		RHUS TRILOBATA 'AUTUMN AMBER' AUTUMN AMBER SUMAC (L)	5-GAL.	2' HT. X 6' SPR.
173		RHUS TRILOBATA THREE-LEAF SUMAC (L)	5-GAL.	5' HT. X 4' SPR.
48		SYRINGA VULGARIS COMMON LILAC (L)	5-GAL.	6' HT. X 6' SPR.
<b>DESERT ACCENTS</b>				
206		DASYLIRION WHEELERI BLUE SOTOL (RW)	5-GAL.	4' HT. X 4' SPR.
210		HESPERALOE PARVIFLORA 'RED' RED YUCCA (L+)	5-GAL.	3' HT. X 3' SPR.
207		HESPERALOE PARVIFLORA 'YELLOW' YELLOW YUCCA (L+)	5-GAL.	3' HT. X 3' SPR.
<b>ORNAMENTAL GRASSES</b>				
230		BOUTELLOUA GRACILIS BLONDE AMBITION GRASS (L)	1-GAL.	2' HT. X 2' SPR.
446		CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER GRASS (M)	5-GAL.	3' HT. X 2' SPR.
279		MUHLENBERGIA CAPILLARIS PINK MUHLY (L+)	5-GAL.	3' HT. X 3' SPR.
526		NOLINA MICROCARPA BEAR GRASS (RW)	5-GAL.	4' HT. X 4' SPR.
133		PENNISETUM A. 'HAMELN' HAMELN FOUNTAIN GRASS	1-GAL.	2' HT. X 2' SPR.
<b>LANDSCAPE BOULDERS AND GRAVEL MULCH</b>				
938		LANDSCAPE BOULDERS: BLACK BASALT (HARVESTED FROM SITE) AND PUEBLO ROSE. SIZE: 18-24 CF		
400,885 SF		LANDSCAPE AREA TREATMENT TO BE A COMBINATION OF SHREDDED BARK MULCH (3" DEPTH), SMOKE CRUSHER FINES (3" DEPTH), 3/4" COYOTE MIST ROCK GULCH (3" DEPTH, 1" ROSESTONE ROCK MULCH (3" DEPTH), 2"-4" BASALT COBBLE (6" DEPTH), AND 2"-4" 6"-8" BLUE SAIS COBBLE (6"-8" DEPTH) OVER FILTER FABRIC		
47,138 SF		KENTUCKY BLUEGRASS SOD		



**CONSENSUS**  
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 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
 www.consensusplanning.com

**DESCRIPTION**



6-1-23  
 - NOT FOR CONSTRUCTION -

LA TERRA

Bedrock  
 Albuquerque, NM

SUBMITTAL: JUNE 2023

**REVISIONS**

NO.	DATE	DESCRIPTION

PROJECT NO: 1866-06

CAD DWG FILE:

DESIGNED BY: CP

DRAWN BY: CP DATE: 6/23

CHECKED BY: CG DATE: 6/23

SHEET TITLE

OVERALL  
 LANDSCAPE PLAN

1 TREE PLANTING

SCALE: N.T.S.

2 SHRUB PLANTING

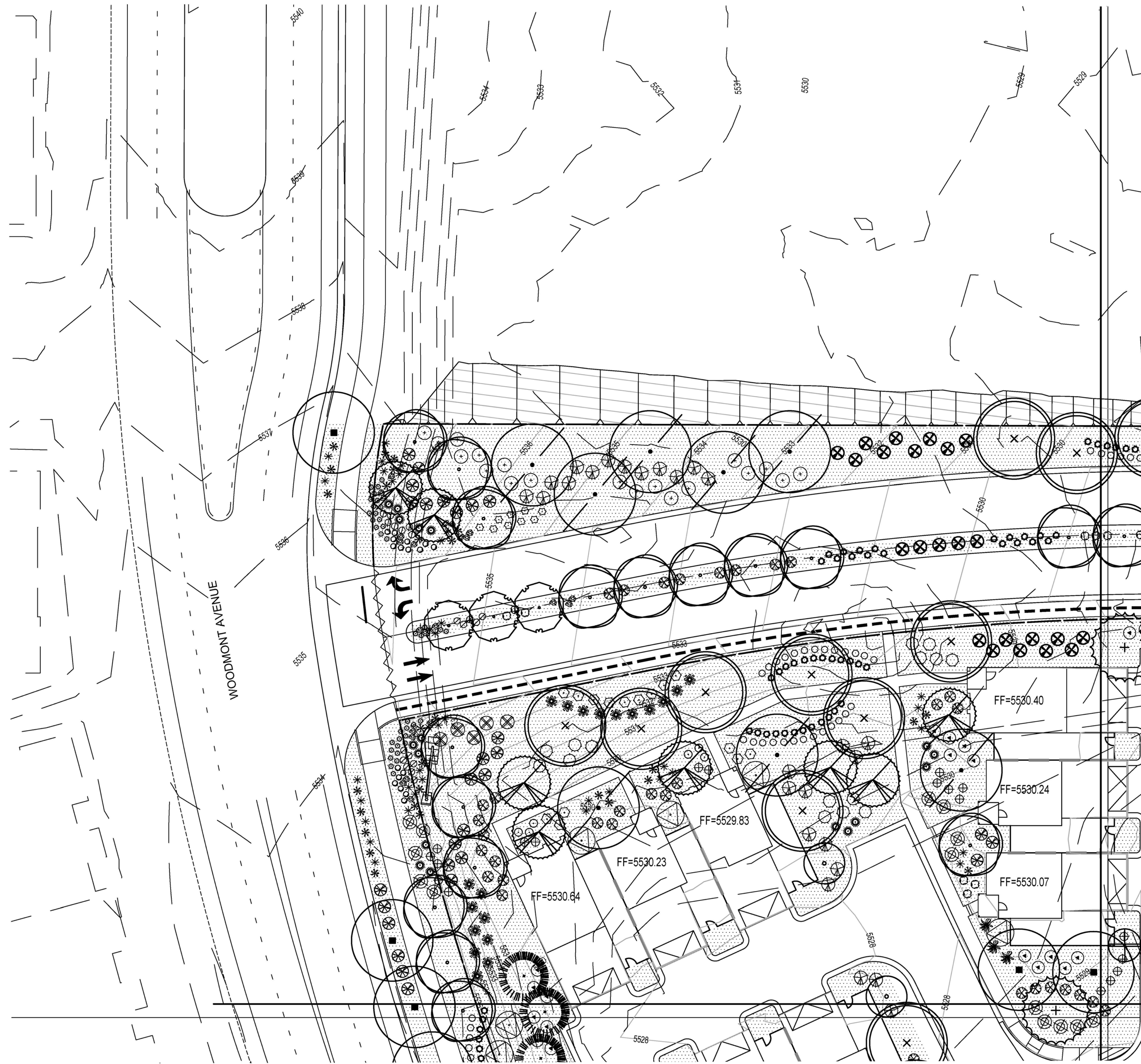
SCALE: N.T.S.











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**LA TERRA**

**Bedrock**  
 Albuquerque, NM

SUBMITTAL: JUNE 2023

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 1866-06

CAD DWG FILE:

DESIGNED BY: CP

DRAWN BY: CP DATE: 6/23

CHECKED BY: CG DATE: 6/23

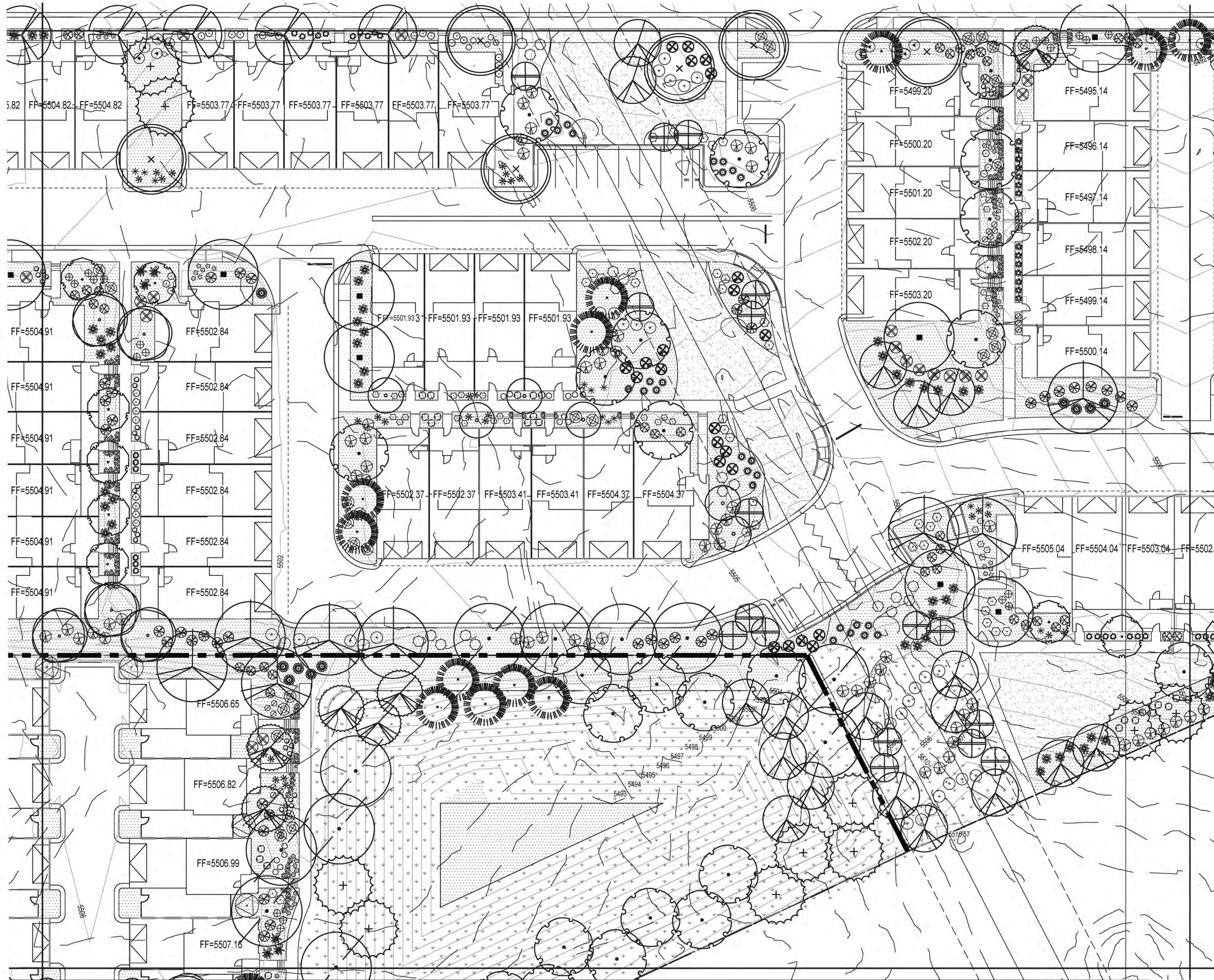
SHEET TITLE

**LANDSCAPE PLAN**  
 L-105









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DESCRIPTION



6-1-23  
 - NOT FOR CONSTRUCTION -

LA TERRA

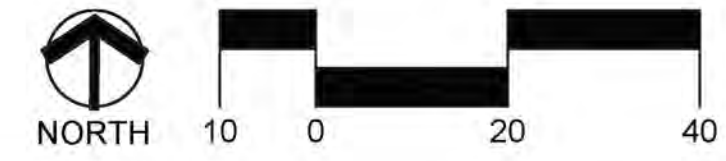
Bedrock  
 Albuquerque, NM

SUBMITTAL: JUNE 2023

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 1866-06  
 CAD DWG FILE:  
 DESIGNED BY: CP  
 DRAWN BY: CP DATE: 6/23  
 CHECKED BY: CG DATE: 6/23  
 SHEET TITLE



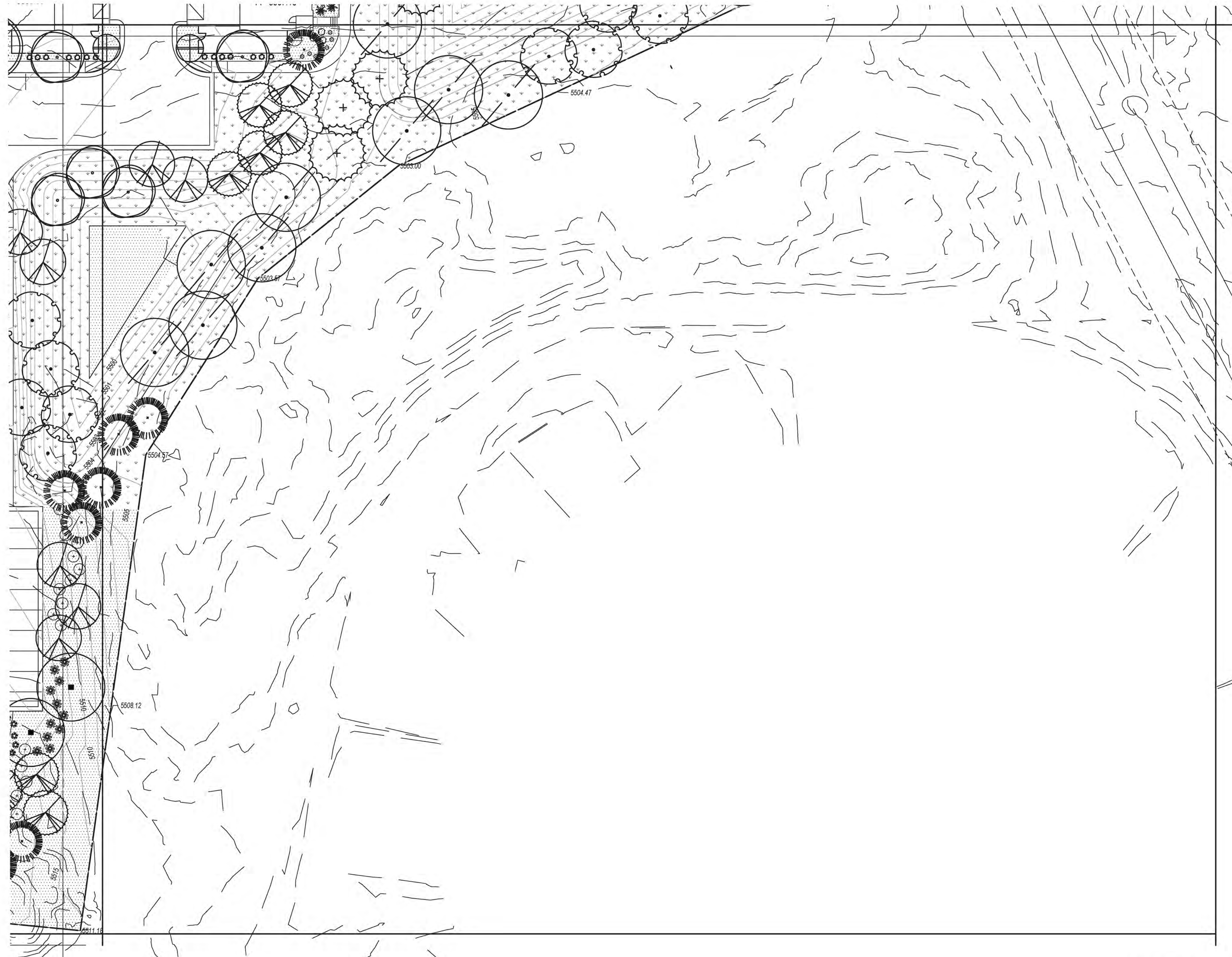
LANDSCAPE PLAN  
 L-108











**CONSENSUS**  
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 302 Eighth Street NW  
 Albuquerque, NM 87102  
 (505) 764-9801 Fax 842-5495  
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DESCRIPTION



6-1-23

- NOT FOR CONSTRUCTION -

LA TERRA

Bedrock  
 Albuquerque, NM

SUBMITTAL: JUNE 2023

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 1866-06

CAD DWG FILE:

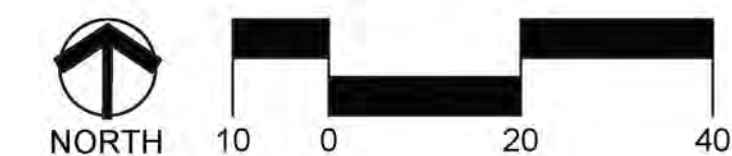
DESIGNED BY: CP

DRAWN BY: CP DATE: 6/23

CHECKED BY: CG DATE: 6/23

SHEET TITLE

LANDSCAPE PLAN  
 L-113









**DRAINAGE NARRATIVE**

**INTRODUCTION:**  
THE PROJECT IS LOCATED ON THE SOUTHEAST CORNER OF PASEO DEL NORTE AND WOODMONT AVE. THE SITE WILL CONSIST OF TOWNHOMES AND SINGLE FAMILY UNITS WITH ASSOCIATED PARKING, LANDSCAPING, AND SITE AMENITIES. PER FEMA COMMUNITY MAP PANEL #35001C0111G, THE SITE IS NOT LOCATED WITHIN A FLOODPLAIN. THE SITE IS IN RAINFALL ZONE 1 AS DEFINED BY THE DPM.

**EXISTING CONDITIONS:**  
TRACTS 3-5 OF THE TRAILS UNIT 3A ARE CURRENTLY UNDEVELOPED. THE SITE SLOPES TO THE NORTH AND EAST. RUNOFF SHEET FLOWS TO FUTURE POND A6 AND FUTURE POND D1 AS DEFINED BY THE MASTER DMP "UPDATE TO THE AMENDMENT TO DMP FOR THE TRAILS UNIT 1, 2 AND 3 PLATE 1".

**METHODOLOGY:**  
THE HYDRAULIC ANALYSIS PROVIDED WITH THIS DRAINAGE SUBMITTAL HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 6.2 OF THE CITY OF ALBUQUERQUE DPM. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED CONDITIONS BASIN DATA TABLE" ON THIS SHEET. THIS SITE WAS ANALYZED FOR THE 100-YEAR, 6-HOUR STORM EVENT. THIS PLAN DEMONSTRATES THE PROPOSED GRADING AND DRAINAGE CONCEPTS.

**PROPOSED:**  
THE PROPOSED SITE IS ALLOWED TO DISCHARGE FROM POND D1 INTO THE PUBLIC STORM DRAIN LOCATED WITHIN THE PASEO DEL NORTE RIGHT OF WAY. THESE FLOWS HAVE BEEN DEFINED BY THE AMENDMENT TO THE DMP FOR THE TRAILS UNITS 1, 2, AND 3" PREPARED BY THOMPSON ENGINEERING. BASINS 1-4 WILL EITHER SURFACE DRAIN OR BE CONVEYED BY A STORM DRAIN SYSTEM TO POND D1 AND BASINS 5-7 WILL EITHER SURFACE DRAIN OR BE CONVEYED BY A STORM DRAIN SYSTEM TO PONDS A6-1 AND A6-2. THE FLOW FROM OFFSITE BASIN A4 WILL BE CONVEYED THROUGH THE SITE VIA A STORM DRAIN NETWORK AND DISCHARGE TO POND A6-1. OFFSITE BASIN A4 HAS A MAXIMUM DISCHARGE RATE OF 23.1 CFS. POND A HAS AN EXISTING 36" STUB WHICH WILL BE REMOVED AND A NEW 18" CULVERT WILL BE INSTALLED. THE 18" STORM DRAIN CULVERT WILL BE EXTENDED AND CONVEYED THROUGH THE SITE TO POND A6-1. A PROPOSED PUBLIC STORM DRAIN WILL CONNECT POND A6-1 TO A6-2 AND THEN TO POND D1. POND D1 WILL OUTFALL VIA A 12" CULVERT AND CONNECT TO THE EXISTING STORM DRAIN LINE IN THE PASEO DEL NORTE RIGHT OF WAY. THE DISCHARGE FROM POND D1 WILL NOT EXCEED 14.7 CFS AS STATED BY THE MASTER DMP FROM THOMPSON ENGINEERING. THE OFFSITE/ PUBLIC INFRASTRUCTURE WILL BE SUBMITTED TO DRC FOR APPROVAL.

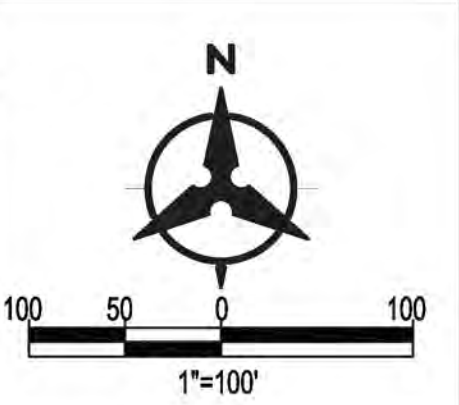
**CONCLUSION:**  
THE CALCULATED PEAK DISCHARGE FROM THE SITE IS IN COMPLIANCE WITH THE PREVIOUSLY APPROVED DRAINAGE REPORT. DETENTION PONDS WILL NOT BE REQUIRED. THE GRADING AND DRAINAGE PLAN AS PRESENTED IS IN CONFORMANCE WITH THE APPROVED MASTER DRAINAGE REPORT AND CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS. PLEASE ACCEPT THIS SUBMITTAL AS A FORMAL REQUEST FOR CONCEPTUAL PLAN APPROVAL.

**LEGEND**

- BASIN BOUNDARY
- 5320--- PROPOSED INDEX CONTOUR
- 5319--- PROPOSED INTERMEDIATE CONTOUR
- 5320--- EXISTING INDEX CONTOUR
- 5319--- EXISTING INTERMEDIATE CONTOUR
- >--- PROPOSED DRAINAGE SWALE
- >--- DIRECTION OF FLOW
- SD--- WATER BLOCK/GRADE BREAK
- SD--- PROPOSED STORM DRAIN PIPE
- SD--- PROPOSED STORM DRAIN MANHOLE
- SD--- PROPOSED STORM DRAIN INLETS

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**BEDROCK CONCEPTUAL DRAINAGE MANAGEMENT PLAN**



**BENCH MARKS**

###	###	###	###	###	###
###	###	###	###	###	###
###	###	###	###	###	###
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**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

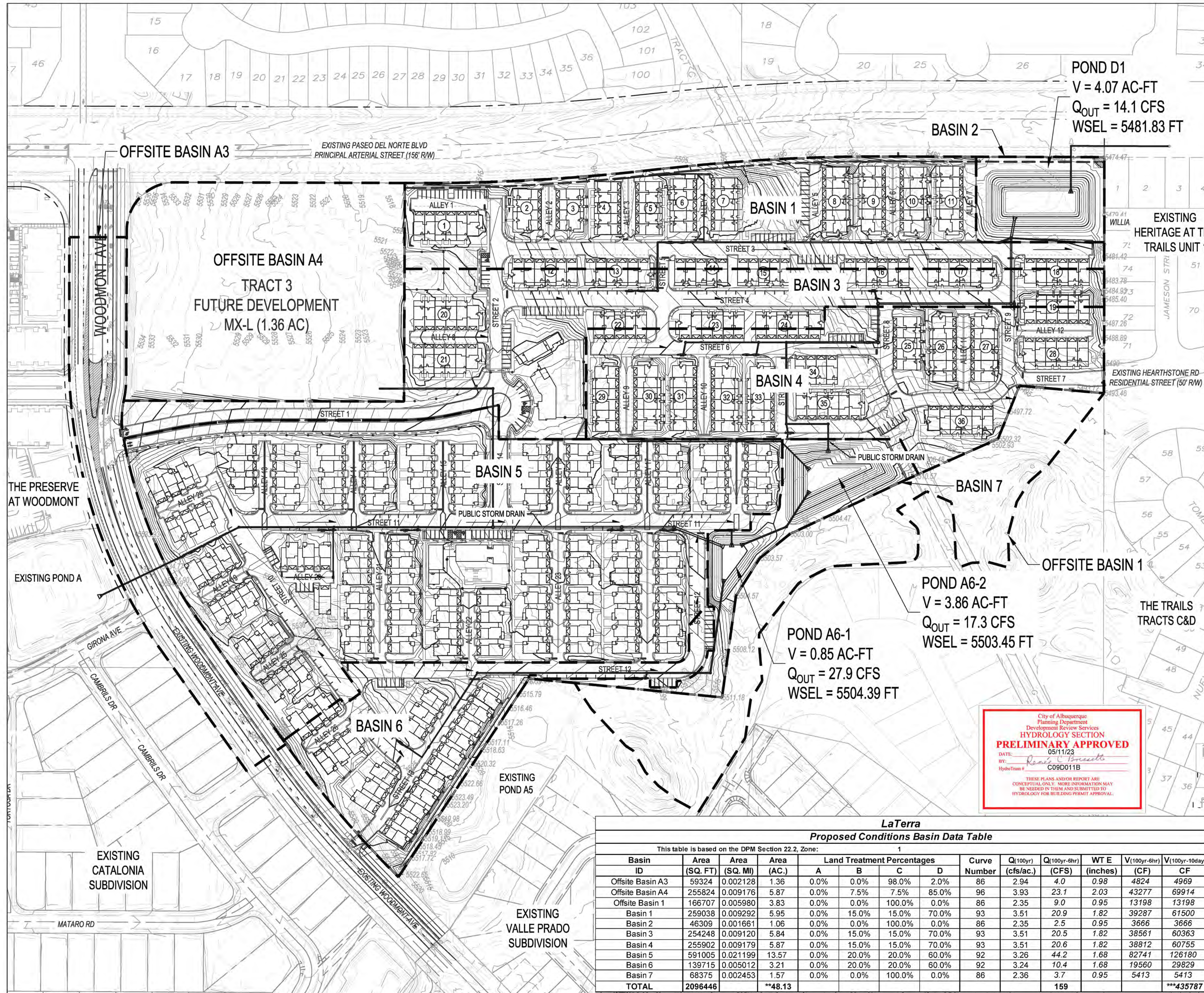
CONTRACTOR	DATE	DATE	DATE	DATE	DATE

**REVISIONS**

NO.	DATE	BY	DESCRIPTION

**DESIGN**

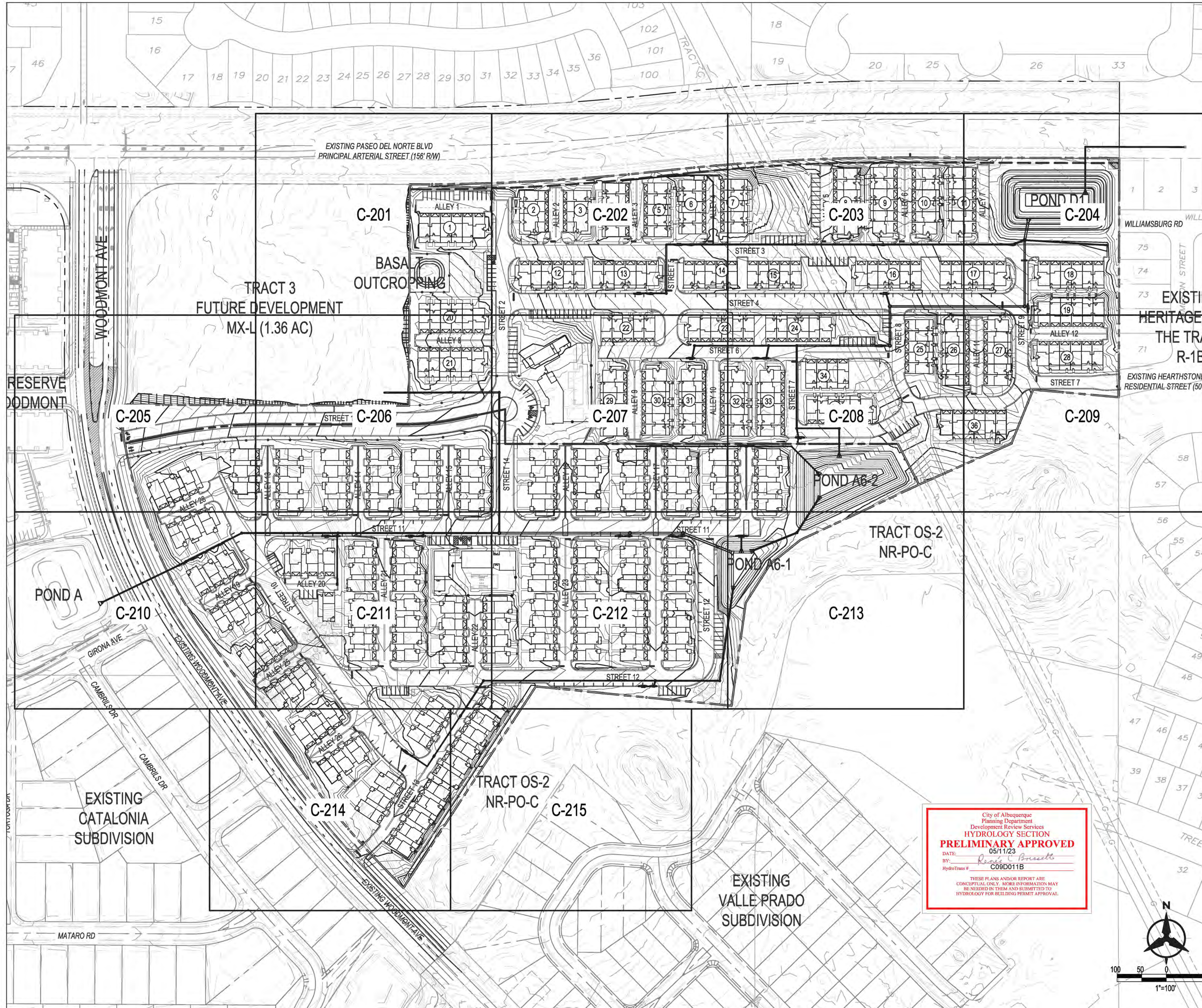
NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY



**LaTerra Proposed Conditions Basin Data Table**

This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (SQ. MI)	Area (AC.)	Land Treatment Percentages				Curve Number	Q(100yr) (cfs/ac)	Q(100yr-6hr) (CFS)	WTE (inches)	V(100yr-6hr) (CF)	V(100yr-10day) (CF)
				A	B	C	D						
Offsite Basin A3	59324	0.002128	1.36	0.0%	0.0%	98.0%	2.0%	86	2.94	4.0	0.98	4824	4969
Offsite Basin A4	255824	0.009176	5.87	0.0%	7.5%	7.5%	85.0%	96	3.93	23.1	2.03	43277	69914
Offsite Basin 1	166707	0.005980	3.83	0.0%	0.0%	100.0%	0.0%	86	2.35	9.0	0.95	13198	13198
Basin 1	259038	0.009292	5.95	0.0%	15.0%	15.0%	70.0%	93	3.51	20.9	1.82	39287	61500
Basin 2	46309	0.001661	1.06	0.0%	0.0%	100.0%	0.0%	86	2.35	2.5	0.95	3666	3666
Basin 3	254248	0.009120	5.84	0.0%	15.0%	15.0%	70.0%	93	3.51	20.5	1.82	38561	60363
Basin 4	255902	0.009179	5.87	0.0%	15.0%	15.0%	70.0%	93	3.51	20.6	1.82	38812	60755
Basin 5	591005	0.021199	13.57	0.0%	20.0%	20.0%	60.0%	92	3.26	44.2	1.68	82741	126180
Basin 6	139715	0.005012	3.21	0.0%	20.0%	20.0%	60.0%	92	3.24	10.4	1.68	19560	29829
Basin 7	68375	0.002453	1.57	0.0%	0.0%	100.0%	0.0%	86	2.36	3.7	0.95	5413	5413
<b>TOTAL</b>	<b>2096446</b>		<b>**48.13</b>							<b>159</b>			<b>***435787</b>



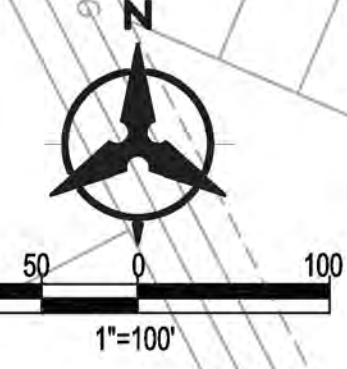
**GENERAL NOTES**

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**ROUGH GRADING NOTES**

1. GRADES SHOWN ON THE ROUGH GRADING PLAN REPRESENT FINISHED GRADES. FINISHED GRADES SHALL BE ADJUSTED TO ACCOUNT FOR PAVEMENT SECTION AND BUILDING FLOOR SLAB.
2. PRIOR TO SUBSTANTIAL COMPLETION OF ROUGH GRADING, CONTRACTOR SHALL PROVIDE CERTIFIED FINISHED GRADE, INCLUDING STOCKPILES (HARD COPY AND ELECTRONIC FORMAT - AUTOCAD PREFERRED) FROM A LICENSED SURVEYOR. TOPOGRAPHIC ACCURACY SHALL BE AS REQUIRED TO PROVIDE 1' CONTOUR INTERVAL.
3. FOR THE BUILDING AREA, OVER EXCAVATION AND BACKFILL SHALL OCCUR PER GEOTECHNICAL REPORT.
4. CONTRACTOR IS RESPONSIBLE FOR SWPPP PREPARATION AND IMPLEMENTATION.
5. FINISHED GRADE FOR PAVEMENT AREAS SHALL BE LEFT AS FOLLOWS:
  - A. SIDEWALKS: 4" BELOW PAVEMENT SURFACE ELEVATIONS SHOWN ON GRADING PLAN.
  - B. AUTOMOBILE PARKING AND DRIVE LANES: PER LIGHT DUTY PAVEMENT SECTION.
  - C. HEAVY TRUCK TRAFFIC (INCLUDING DELIVERY & TRASH TRUCKS): PER HEAVY DUTY PAVEMENT SECTION.
  - D. FLOOR SLAB: BELOW FINISHED FLOOR PER STRUCTURAL PLANS.

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 05/11/23  
 BY: *Ricardo Brumelle*  
 Hydrologist # C09D011B  
 THESE PLANS AND/OR REPORT ARE  
 CONCEPTUAL ONLY. MORE INFORMATION MAY  
 BE NEEDED ON THEM AND SUBMITTED TO  
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



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**BEDROCK  
OVERALL GRADING PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-200 OF 51

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475 E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999664660
DELTA ALPHA = 00° 16'58.96"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**

**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE	DATE	DATE	DATE	DATE

**REVISIONS**

NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY
		JL	JL	AR

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
 DATE: 05/11/23  
 BY: *Renee C. Branstetter*  
 HydroTeam # C09D011B

THREE PLANS AND/OR REPORT ARE  
 CONCEPTUAL ONLY. MORE INFORMATION MAY  
 BE NEEDED IN THEM AND SUBMITTED TO  
 HYDROLOGY FOR BUILDING PERMIT APPROVAL.

EXISTING PASEO DEL NORTE BLVD  
 PRINCIPAL ARTERIAL STREET (166' R/W)

**GRADING KEYED NOTES**

- INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
- CONSTRUCT 4' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
- CONSTRUCT 6' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
- CONSTRUCT TYPE "A" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
- CONSTRUCT NYLOPLAST STORM DRAIN INLET WITH DOME GRATE.
- CONSTRUCT TYPE "C" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- CONSTRUCT TYPE "D" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
- CONSTRUCT TYPE "A" DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
- INSTALL STORM DRAIN FLARED END SECTION. SIZE PER PLANS.

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.476, E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**LEGEND**

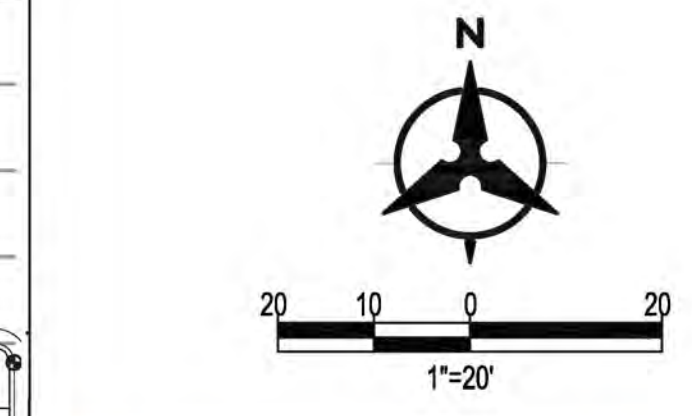
- PROPERTY LINE
- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER EASEMENT
- SLOPE BREAK
- RETAINING WALL
- PROPOSED UTILITY EASEMENT

**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS	DATE	APPROVED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

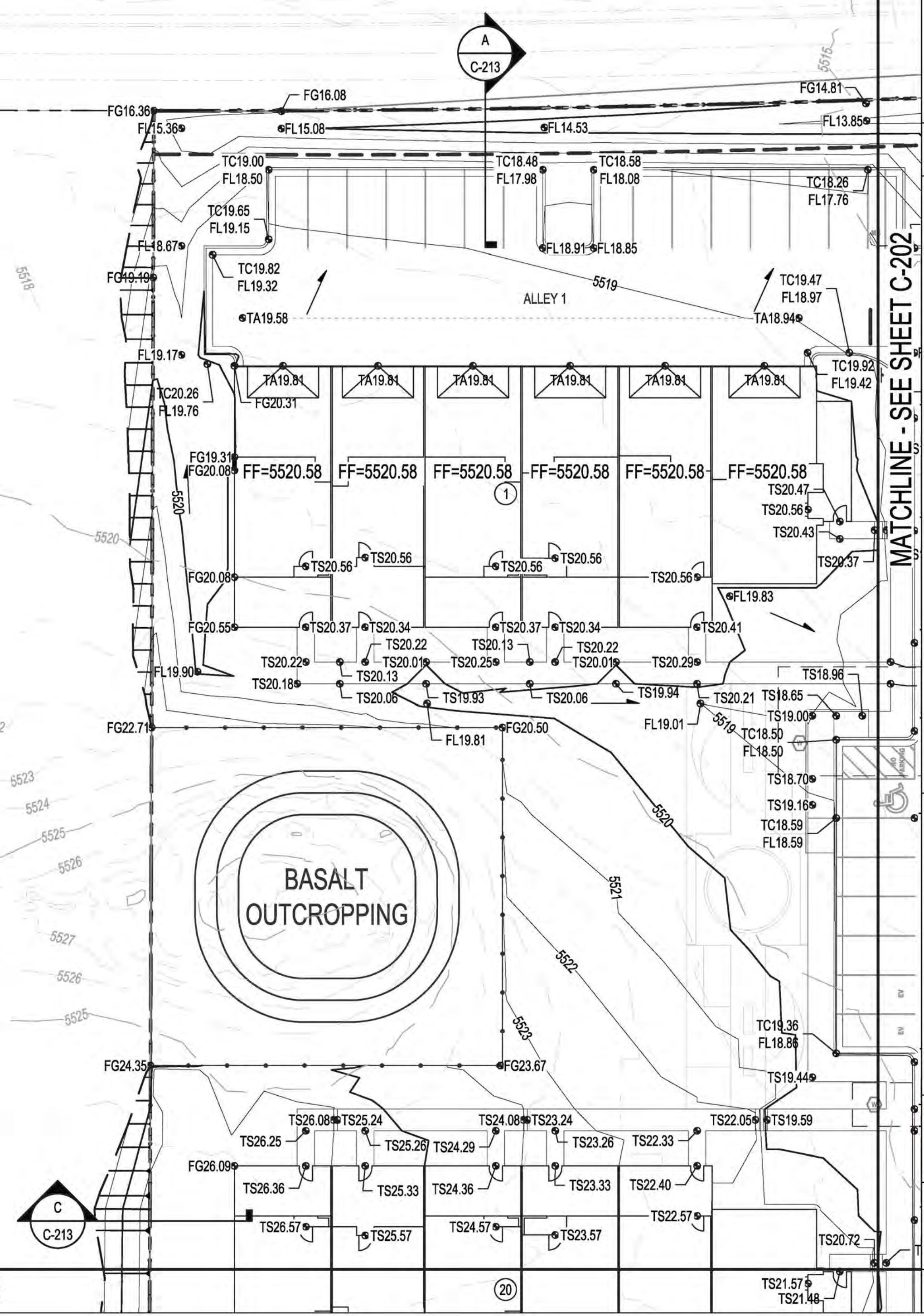
NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY



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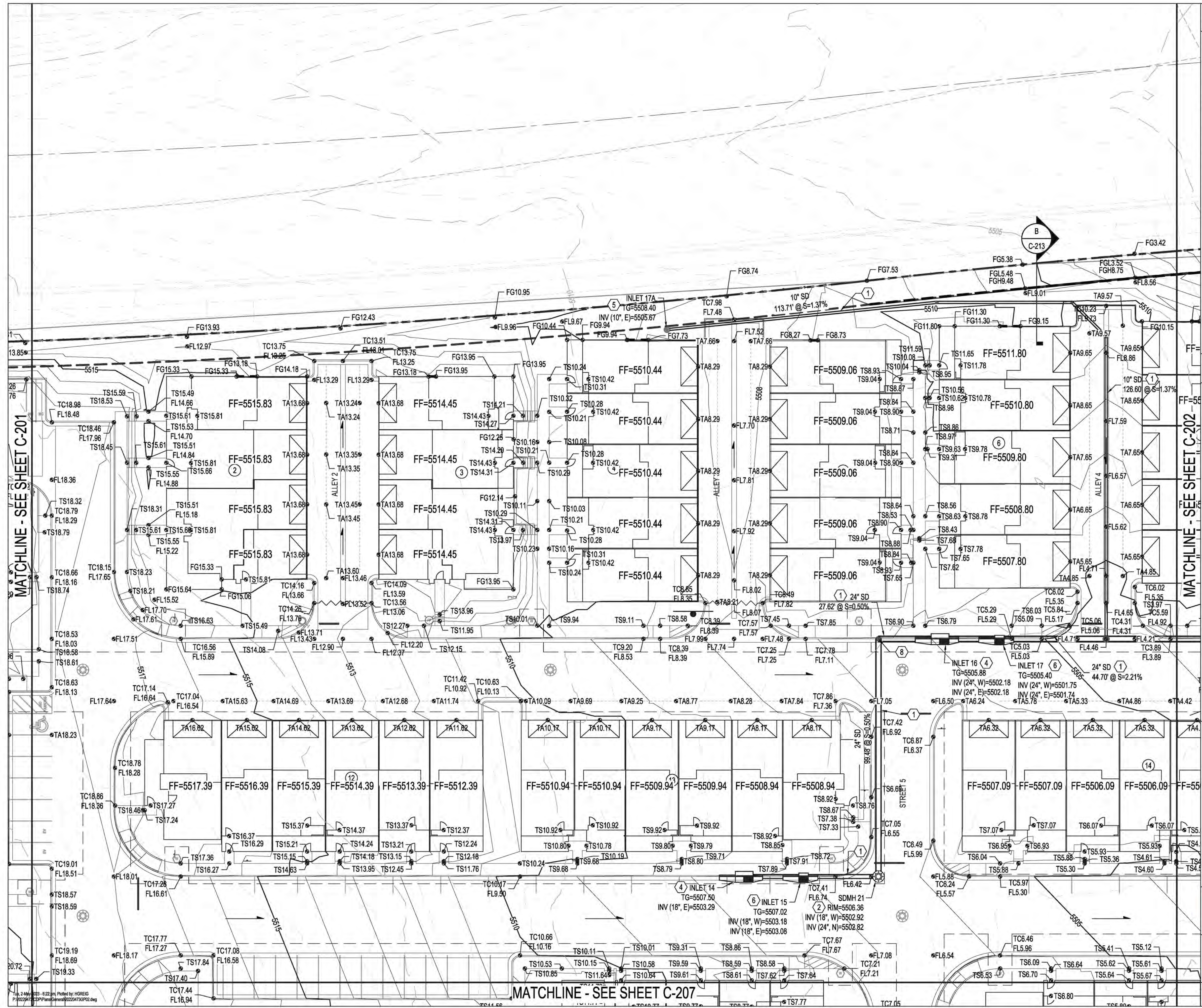
**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-201	OF	51
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MATCHLINE - SEE SHEET C-206

Tue, 2 May 2023 - 8:20am. Plotted by: HGREIG  
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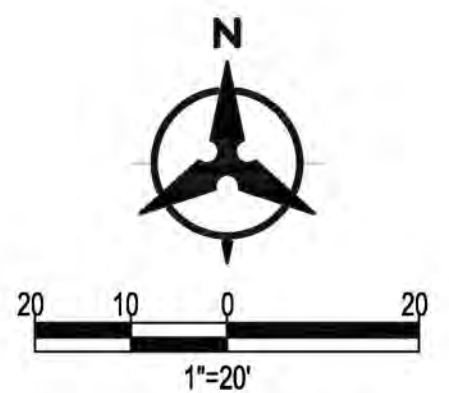
**GRADING KEYED NOTES**

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
5. CONSTRUCT NYLOPLAST STORM DRAIN INLET WITH DOME GRATE.
6. CONSTRUCT TYPE "C" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
7. CONSTRUCT TYPE "D" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
8. CONSTRUCT TYPE "A" DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
9. INSTALL STORM DRAIN FLARED END SECTION. SIZE PER PLANS.



**LEGEND**

- PROPERTY LINE
- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER EASEMENT
- SLOPE BREAK
- RETAINING WALL
- PROPOSED UTILITY EASEMENT



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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475; E = 1,483,655.030
GROUND TO GRID FACTOR = 0.99964960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS APPROVED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

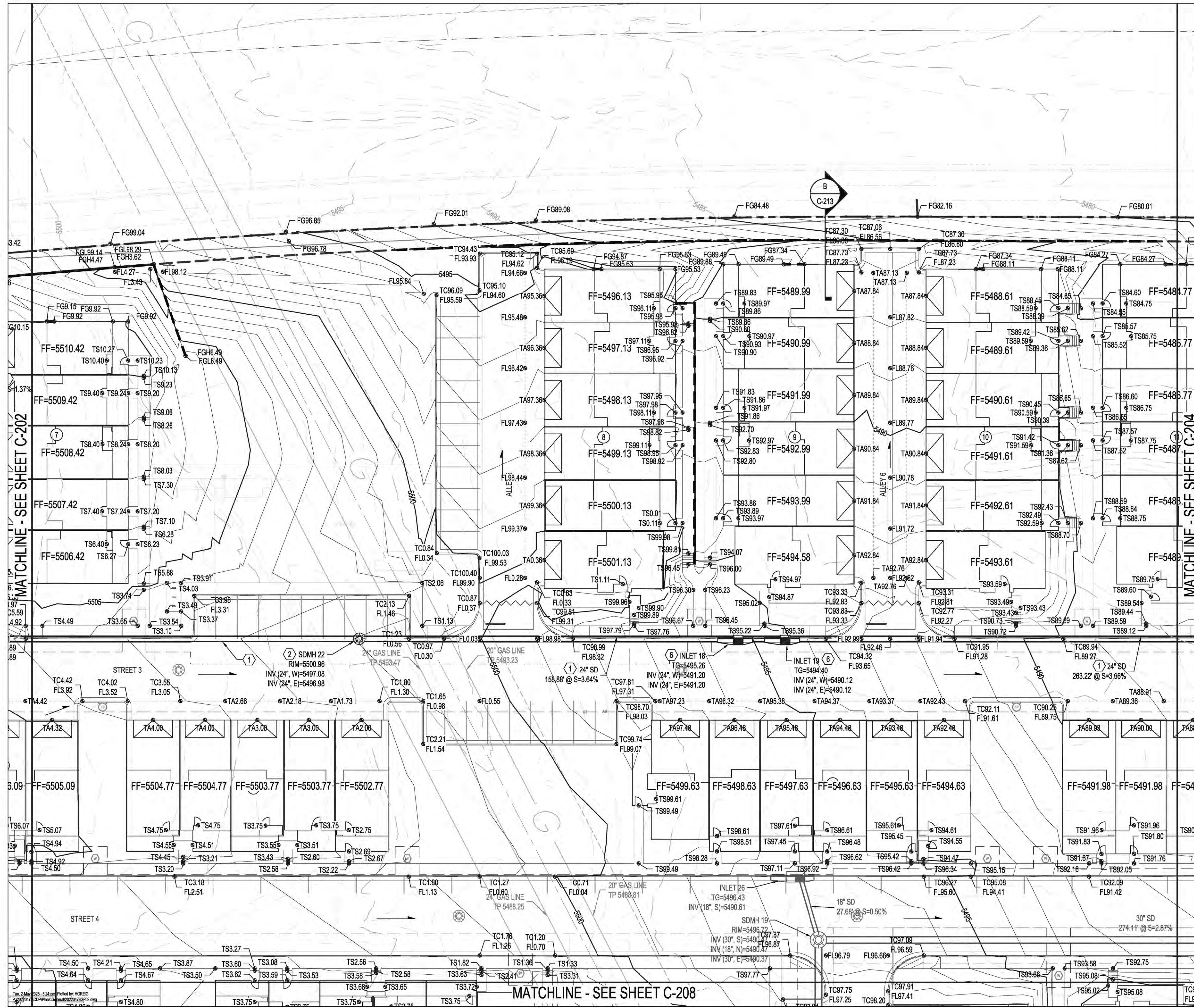
**REVISIONS**

NO.	DATE		

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK CONCEPTUAL GRADING PLAN**



**GRADING KEYED NOTES**

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4" DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
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**LEGEND**

- PROPERTY LINE
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
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- PROPOSED STORM DRAIN INLETS
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- PROPOSED WATER LINE
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ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
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**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS	DATE	ACCEPTED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

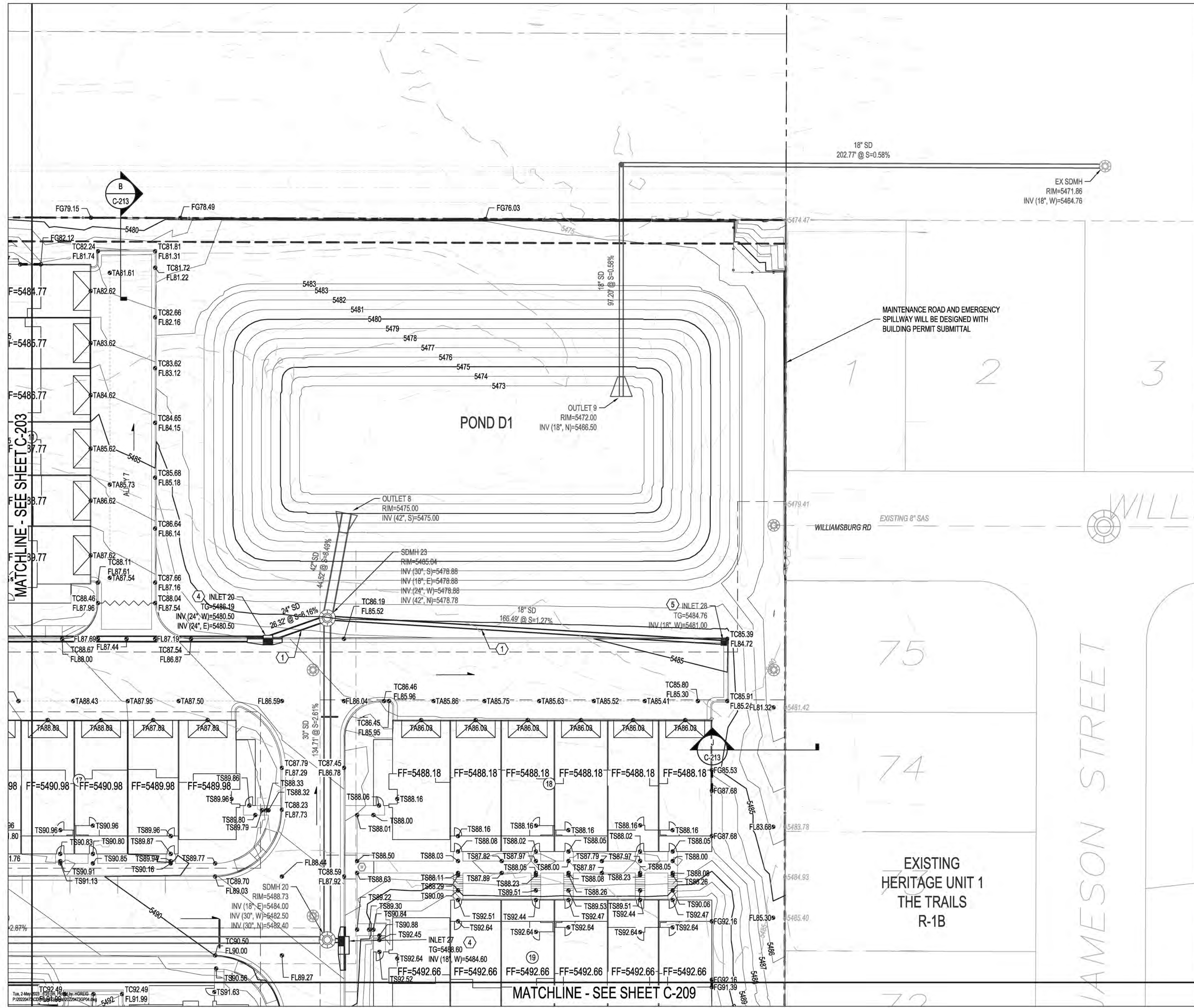
**REVISIONS**

NO.	DATE	DESIGN



**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-203	OF	51
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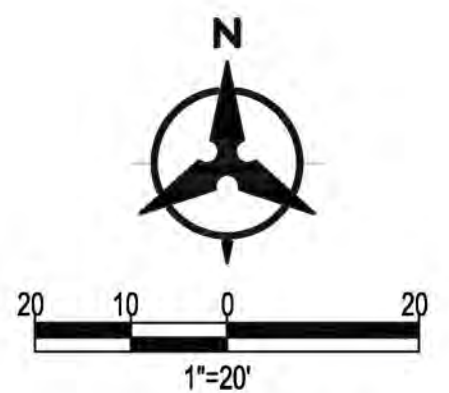
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- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
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- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER EASEMENT
- SLOPE BREAK
- RETAINING WALL
- PROPOSED UTILITY EASEMENT

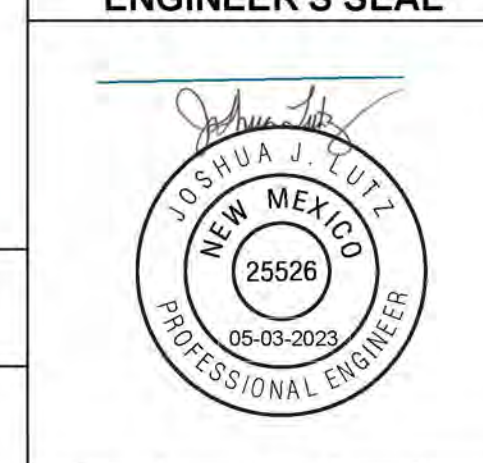


**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-204 OF 51

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"	
GEOGRAPHIC POSITION (NAD 83)	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
N = 1,523,503.476, E = 1,483,655.030	
GROUND TO GRID FACTOR = 0.999864960	
DELTA ALPHA = 00° 16'58.96"	
ELEVATION = 5524.950 (NAVD 88)	



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE	WORK STAGED BY	DATE	INSPECTORS ACCEPTED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	DESCRIPTION

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

Matchline - See Sheet C-203

Matchline - See Sheet C-209

MAINTENANCE ROAD AND EMERGENCY SPILLWAY WILL BE DESIGNED WITH BUILDING PERMIT SUBMITTAL

EXISTING HERITAGE UNIT 1 THE TRAILS R-1B

JAMESON STREET

WILLIAMSBURG RD

1 2 3

75

74

72

POND D1

OUTLET 9  
RIM=5472.00  
INV (18", N)=5466.50

OUTLET 8  
RIM=5475.00  
INV (42", S)=5475.00

SDMH 23  
RIM=5485.04  
INV (30", S)=5478.88  
INV (18", E)=5478.88  
INV (24", W)=5478.88  
INV (42", N)=5478.78

INLET 20  
TG=5486.19  
INV (24", W)=5480.50  
INV (24", E)=5480.50

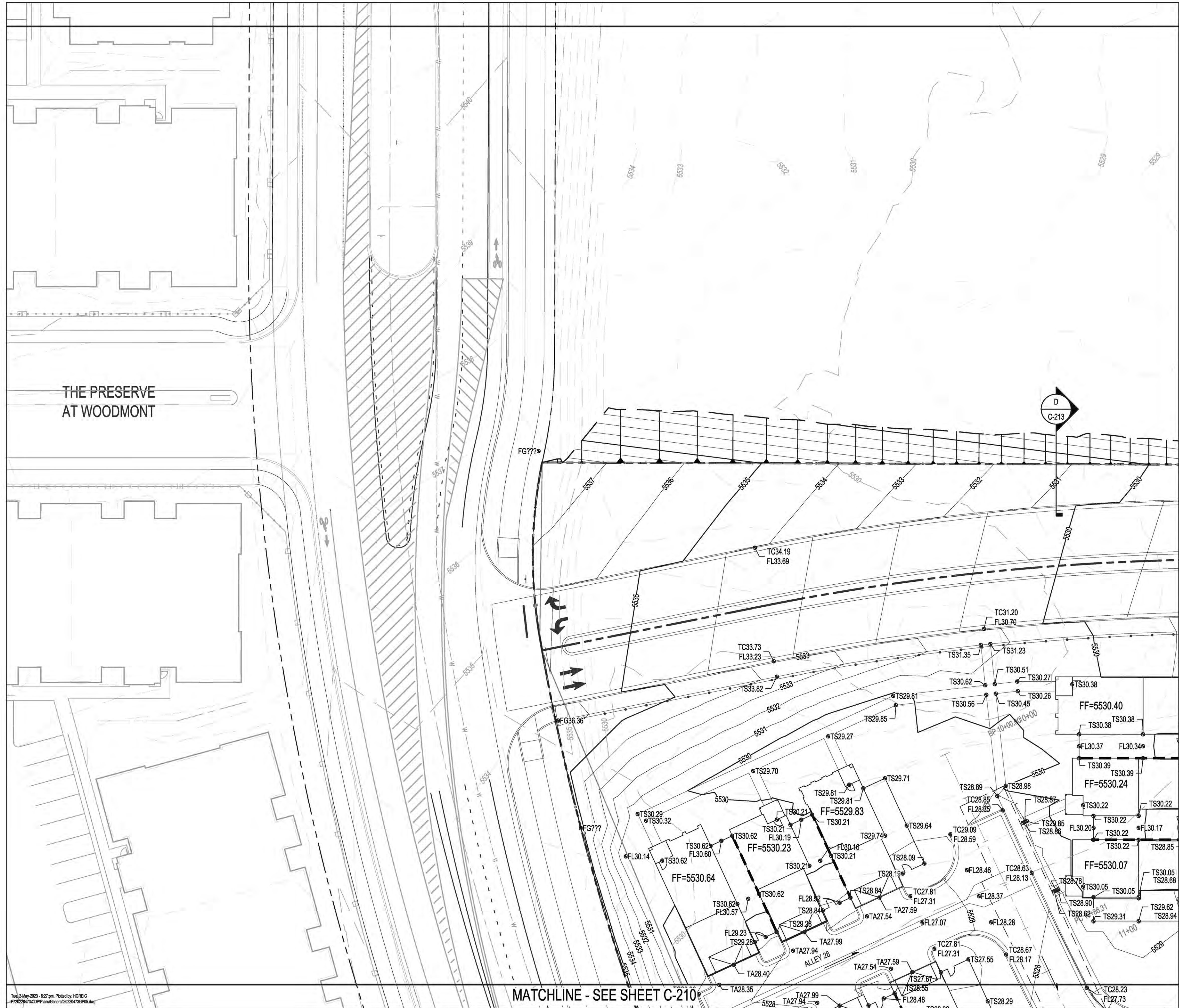
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TG=5484.76  
INV (18", W)=5481.00

SDMH 20  
RIM=5488.73  
INV (18", E)=5484.00  
INV (30", W)=5482.50  
INV (30", N)=5482.40

INLET 27  
TG=5488.60  
INV (18", W)=5484.60

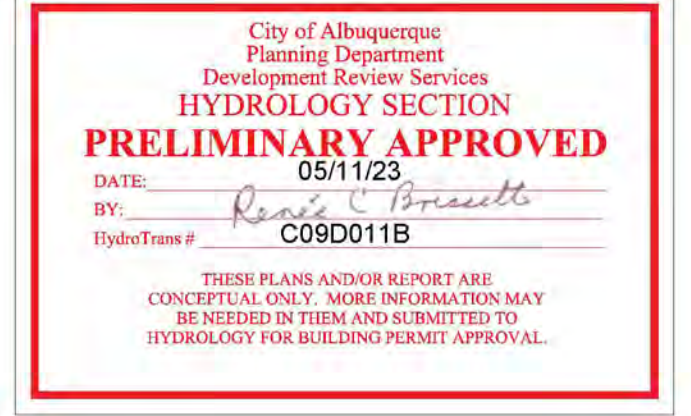
TC92.49  
FL91.99

TC92.49  
FL91.99



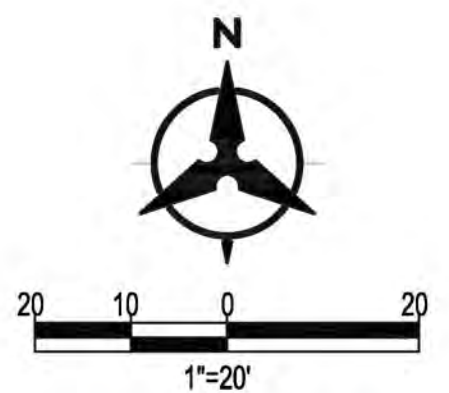
**GRADING KEYED NOTES**

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2. CONSTRUCT 4' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
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9. INSTALL STORM DRAIN FLARED END SECTION. SIZE PER PLANS.



**LEGEND**

- PROPERTY LINE
- 5320 PROPOSED INDEX CONTOUR
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- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
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- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER EASEMENT
- SLOPE BREAK
- RETAINING WALL
- PROPOSED UTILITY EASEMENT



**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-205	OF	51
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**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"	
GEOGRAPHIC POSITION (NAD 83)	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
N = 1,523,503.476, E = 1,483,655.030	
GROUND TO GRID FACTOR = 0.999664960	
DELTA ALPHA = 00° 16'58.86"	
ELEVATION = 5524.950 (NAVD 88)	

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS	DATE	APPROVED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

Tue, 2 May 2023 - 9:27 am. Plotted by: HGREIG  
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MATCHLINE - SEE SHEET C-210

MATCHLINE - SEE SHEET C-206



TRACT 3  
FUTURE DEVELOPMENT  
MX-L (1.36 AC)

MATCHLINE - SEE SHEET C-201

GRADING KEYED NOTES

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9. INSTALL STORM DRAIN FLARED END SECTION. SIZE PER PLANS.

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 05/11/23  
BY: *Renee C. Gonzalez*  
HydroTeam # C09D011B

THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**BENCH MARKS**

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**ENGINEER'S SEAL**



LEGEND

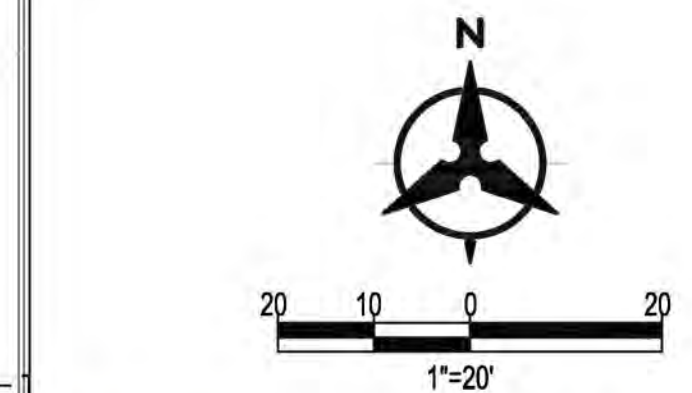
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- PROPOSED INTERMEDIATE CONTOUR
- EXISTING INDEX CONTOUR
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AS-BUILT INFORMATION

BY	CONTRACTOR	DATE	WORK STAGED BY	DATE	INSPECTORS ACCEPTED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

REVISIONS

NO.	DATE	DESIGN



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BEDROCK  
CONCEPTUAL GRADING PLAN

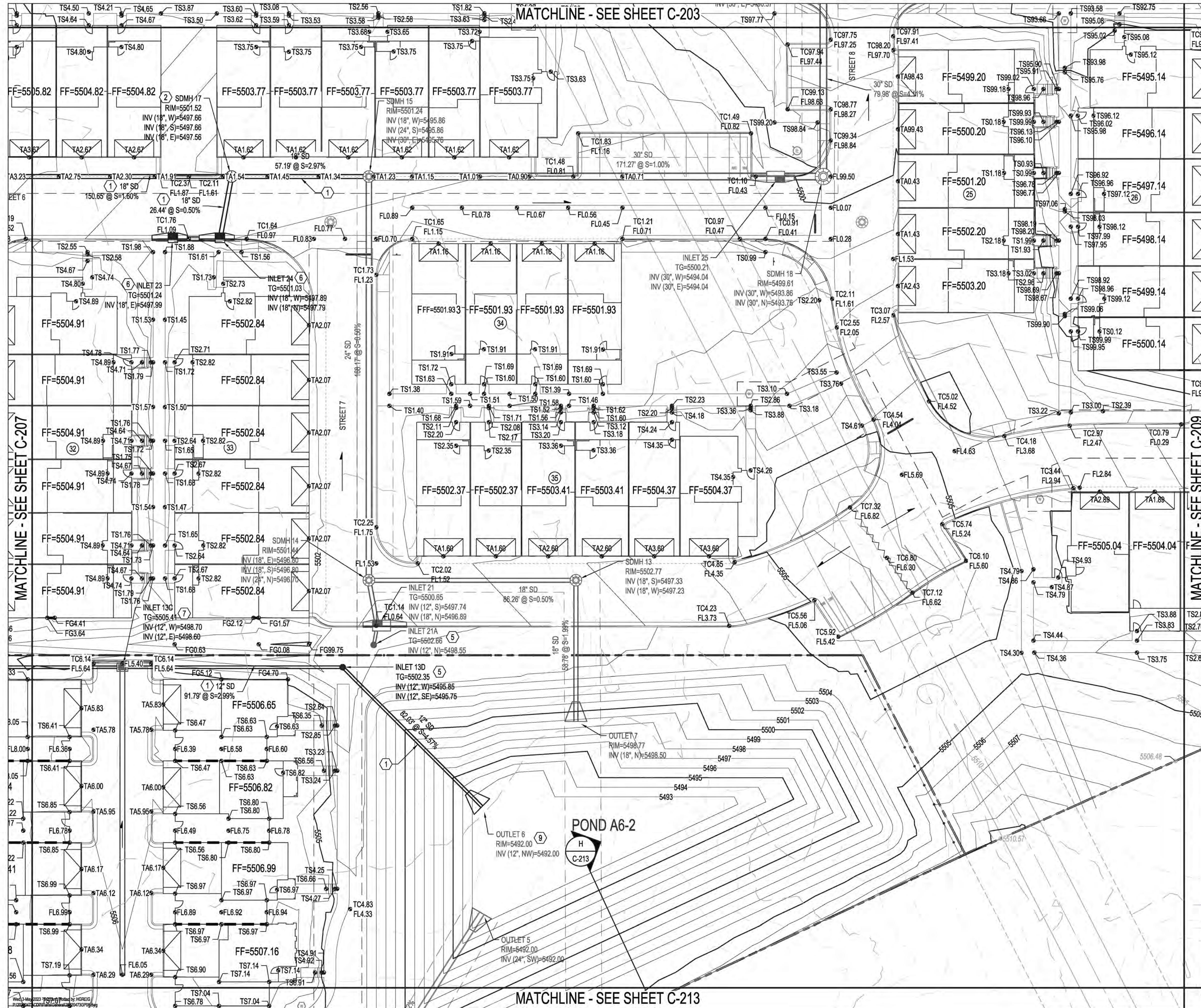
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MATCHLINE - SEE SHEET C-207

MATCHLINE - SEE SHEET C-211

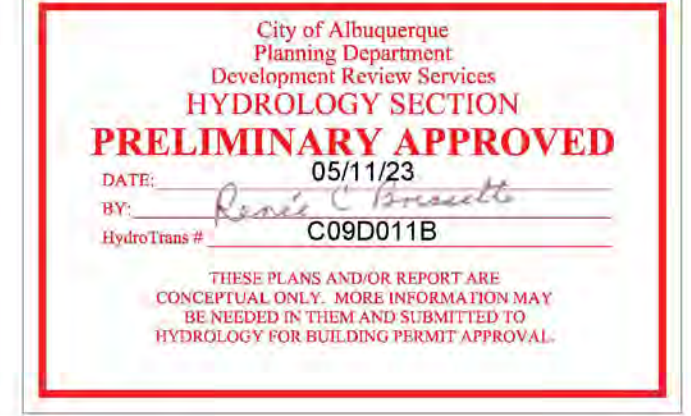
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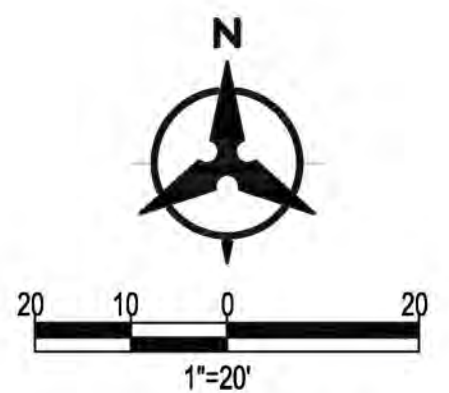
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- EXISTING INTERMEDIATE CONTOUR
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- DIRECTION OF FLOW
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- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
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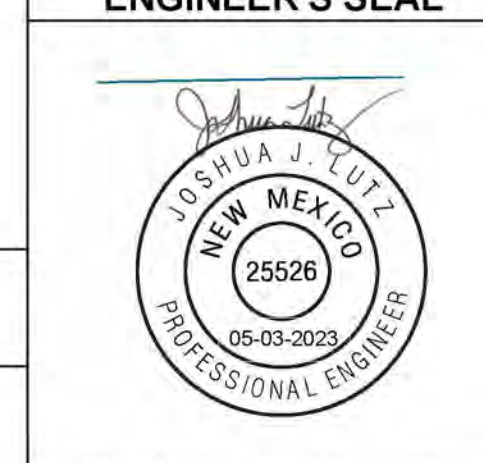
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**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-208 OF 51

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
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GROUND TO GRID FACTOR = 0.99964960
DELTA ALPHA = 00° 16'58.86"
ELEVATION = 5524.950 (NAVD 88)



**AS-BUILT INFORMATION**

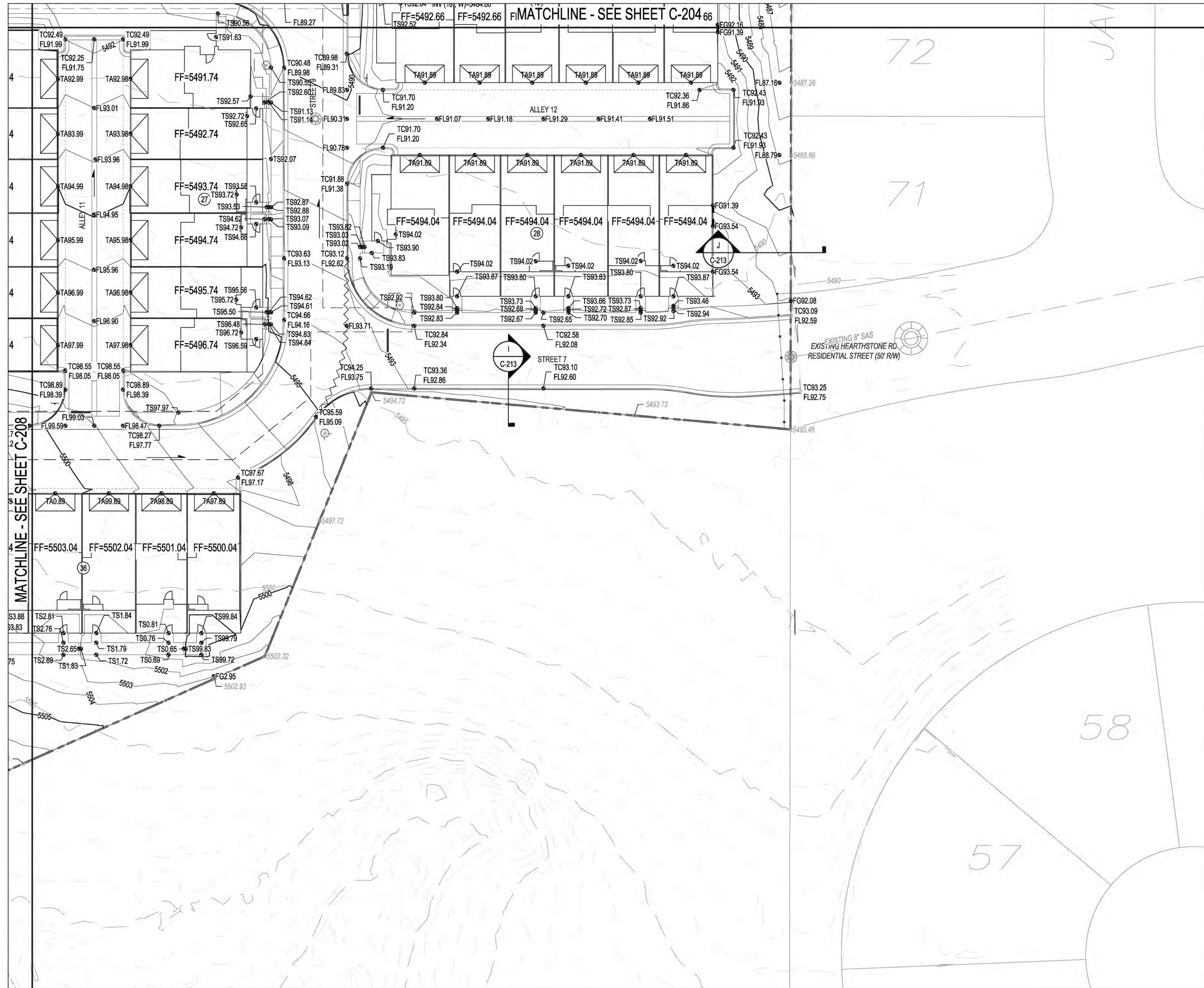
BY	CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS APPROVED BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

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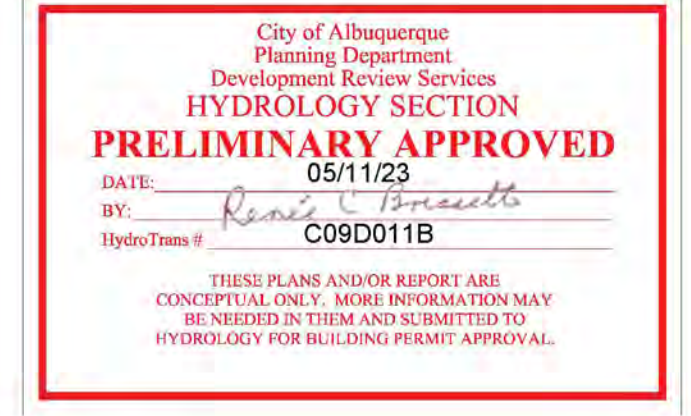
**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR



**GRADING KEYED NOTES**

1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
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**BENCH MARKS**

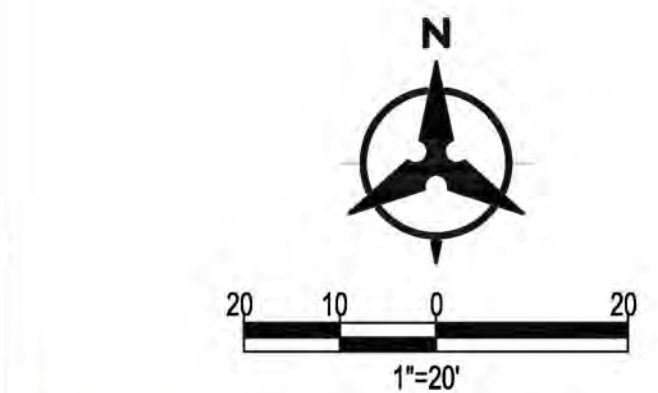
ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"	
GEOGRAPHIC POSITION (NAD 83)	
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**ENGINEER'S SEAL**



**LEGEND**

	PROPERTY LINE
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	PROPOSED DRAINAGE SWALE
	DIRECTION OF FLOW
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	PROPOSED STORM DRAIN CAP
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	SLOPE BREAK
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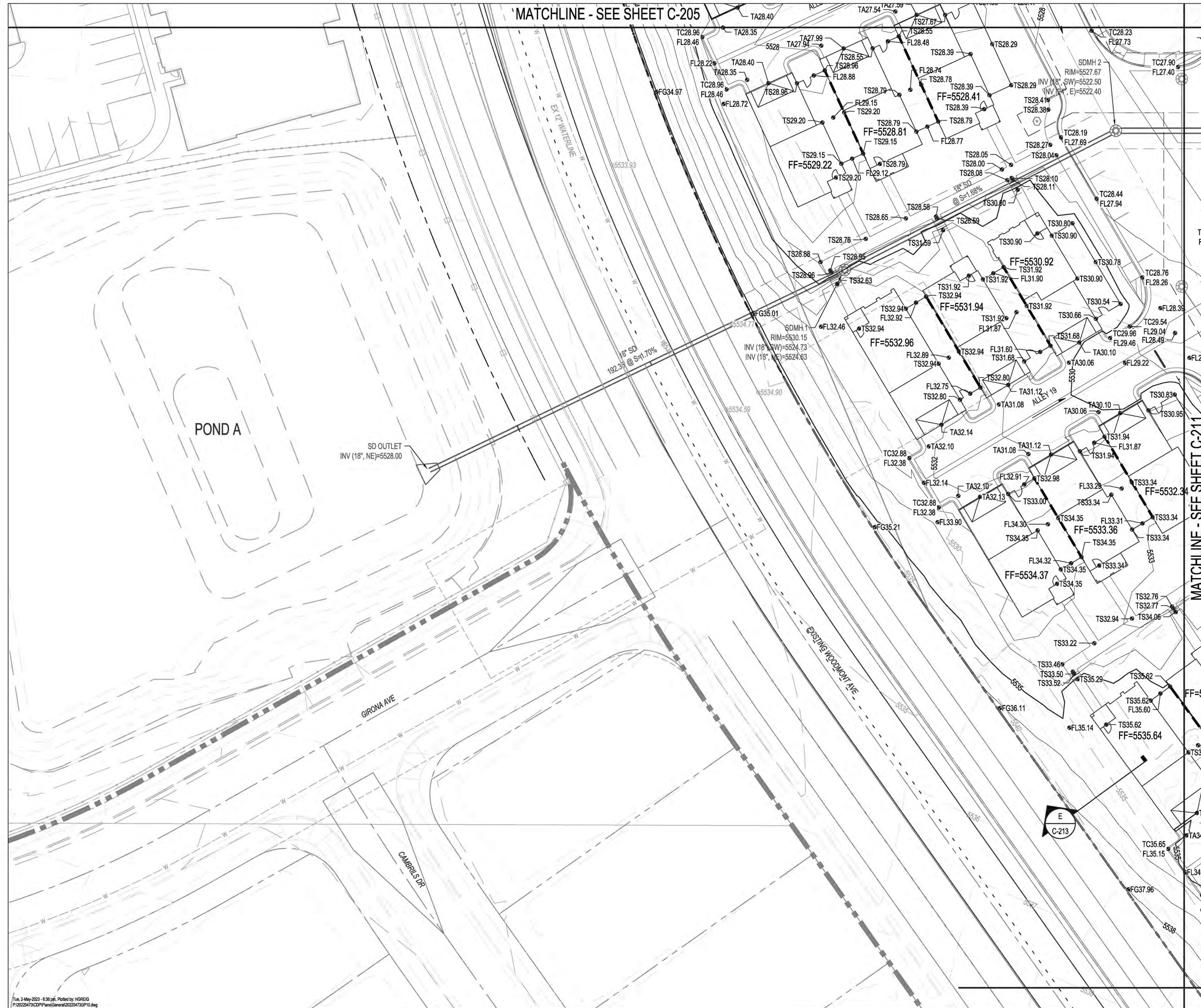
**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-209	OF	51
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MATCHLINE - SEE SHEET C-205

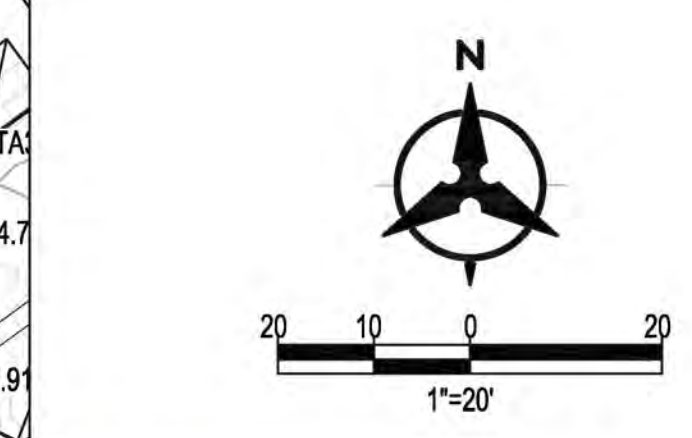
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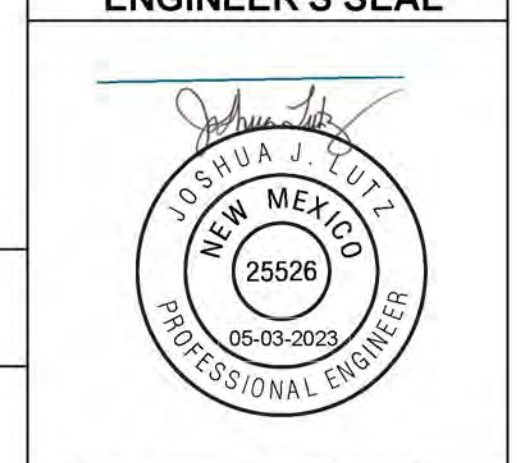


**Bohannon Huston**  
www.bhinc.com 800.877.5332

**BENCH MARKS**

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**REVISIONS**

NO.	DATE	DESCRIPTION

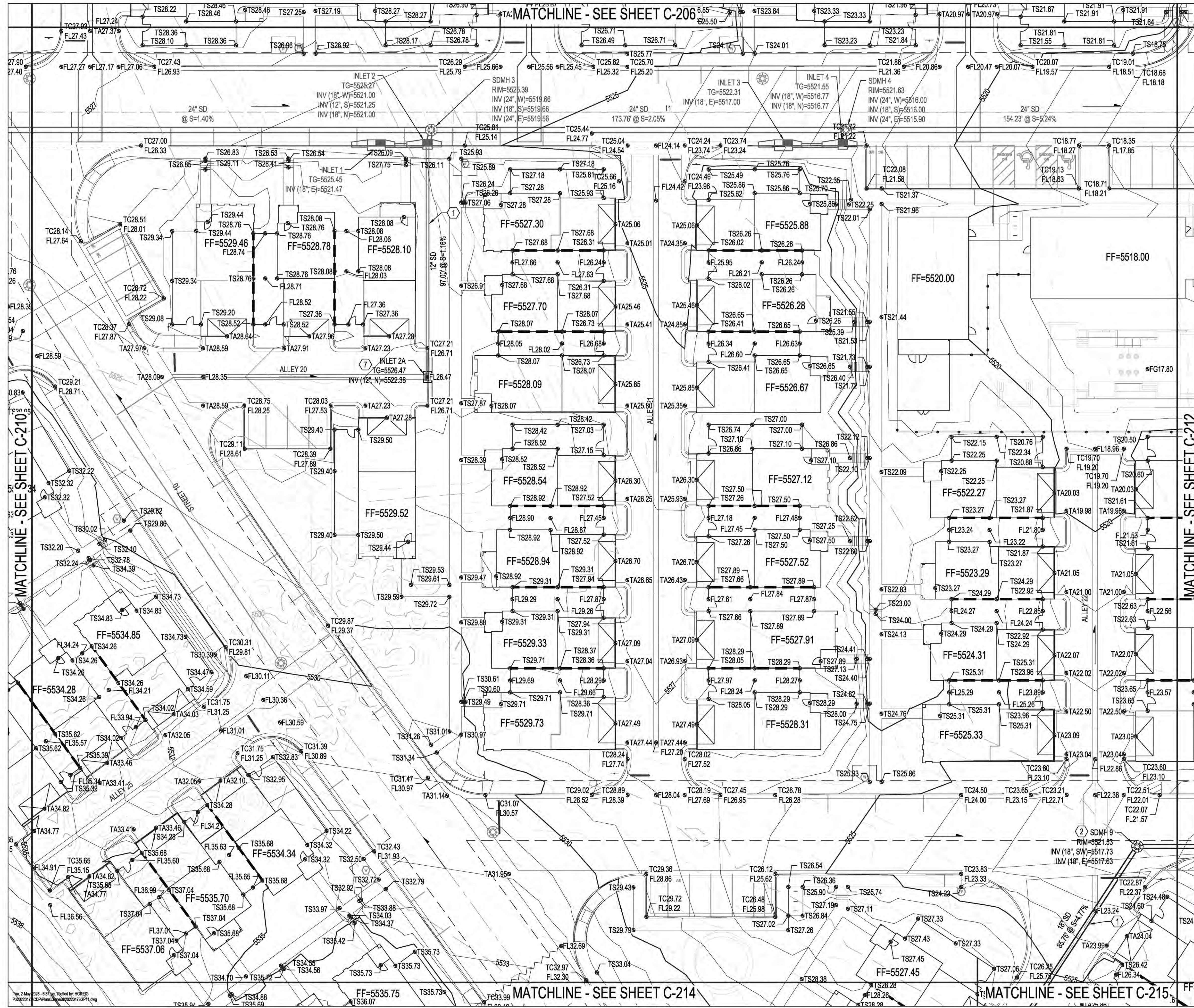
**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**BEDROCK CONCEPTUAL GRADING PLAN**

BHI PROJECT NO. 20220473 DWG NO. SHEET C-210 OF 51

Rev. 2 May 2023 - 6:36 pm. Plotted by: HGREIG  
P:\20220473\CDP\Plan\General\20220473GP10.dwg



**GRADING KEYED NOTES**

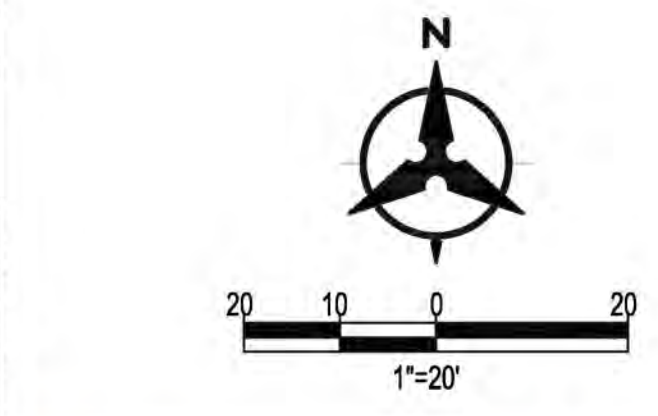
1. INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
2. CONSTRUCT 4' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
3. CONSTRUCT 6' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
4. CONSTRUCT TYPE "A" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
5. CONSTRUCT NYLOPLAST STORM DRAIN INLET WITH DOME GRATE.
6. CONSTRUCT TYPE "C" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
7. CONSTRUCT TYPE "D" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
8. CONSTRUCT TYPE "A" DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
9. INSTALL STORM DRAIN FLARED END SECTION. SIZE PER PLANS.

City of Albuquerque  
 Planning Department  
 Development Review Services  
**PRELIMINARY APPROVED**  
 DATE: 05/11/23  
 BY: *Rosario Brantlett*  
 HydroTeam # C09D011B

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED TO DESIGN AND SUBMIT TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**LEGEND**

- PROPERTY LINE
- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER EASEMENT
- SLOPE BREAK
- RETAINING WALL
- PROPOSED UTILITY EASEMENT



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 www.bhinc.com 800.877.5332

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.476; E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864960
DELTA ALPHA = 0° 16'58.96"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**

*Joshua J. Lutz*  
 BOHANNAN HUSTON  
 NEW MEXICO  
 25526  
 05-03-2023  
 PROFESSIONAL ENGINEER

**AS-BUILT INFORMATION**

CONTRACTOR	DATE	WORK STARTED BY	DATE	INSPECTORS ACCEPTANCE BY	DATE	FIELD VERIFICATION BY	DATE	DRAWINGS CORRECTED BY	DATE

**DESIGN**

NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY
		JL	JL	AR

**REVISIONS**

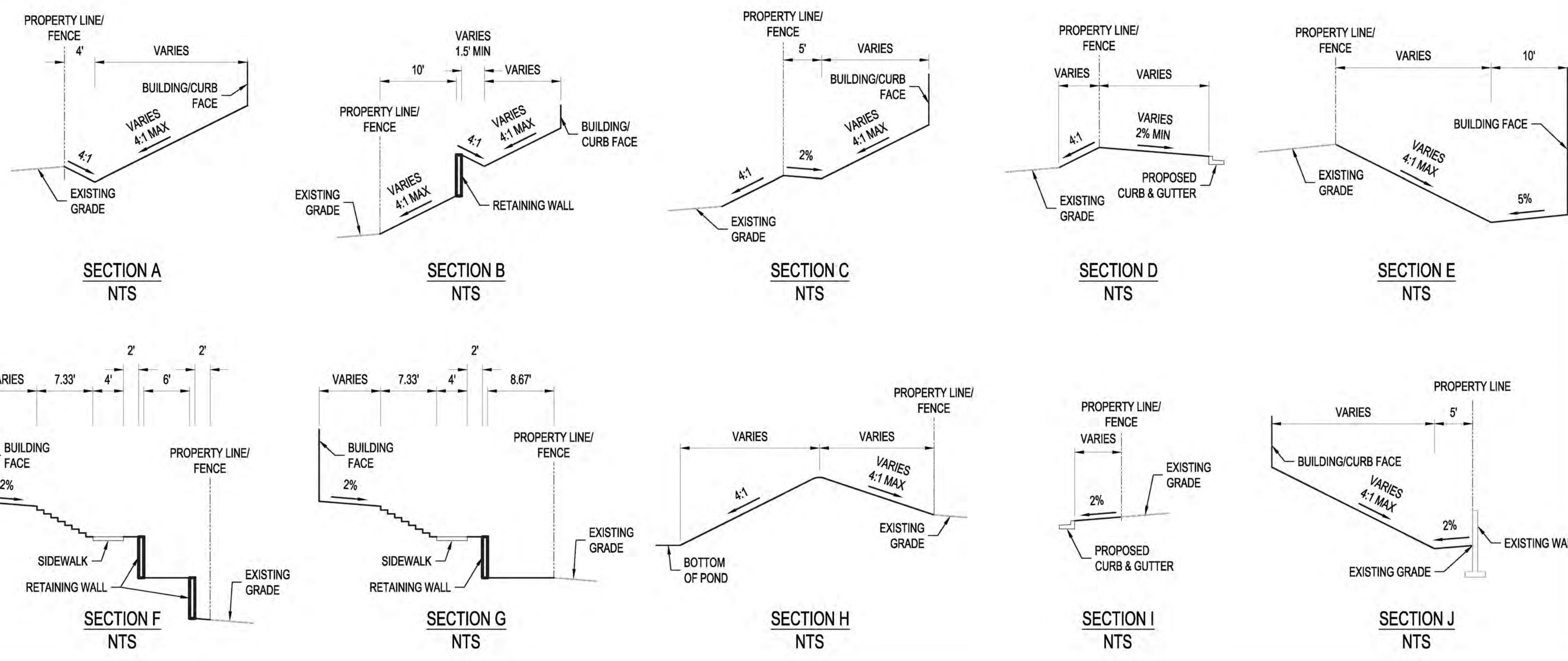
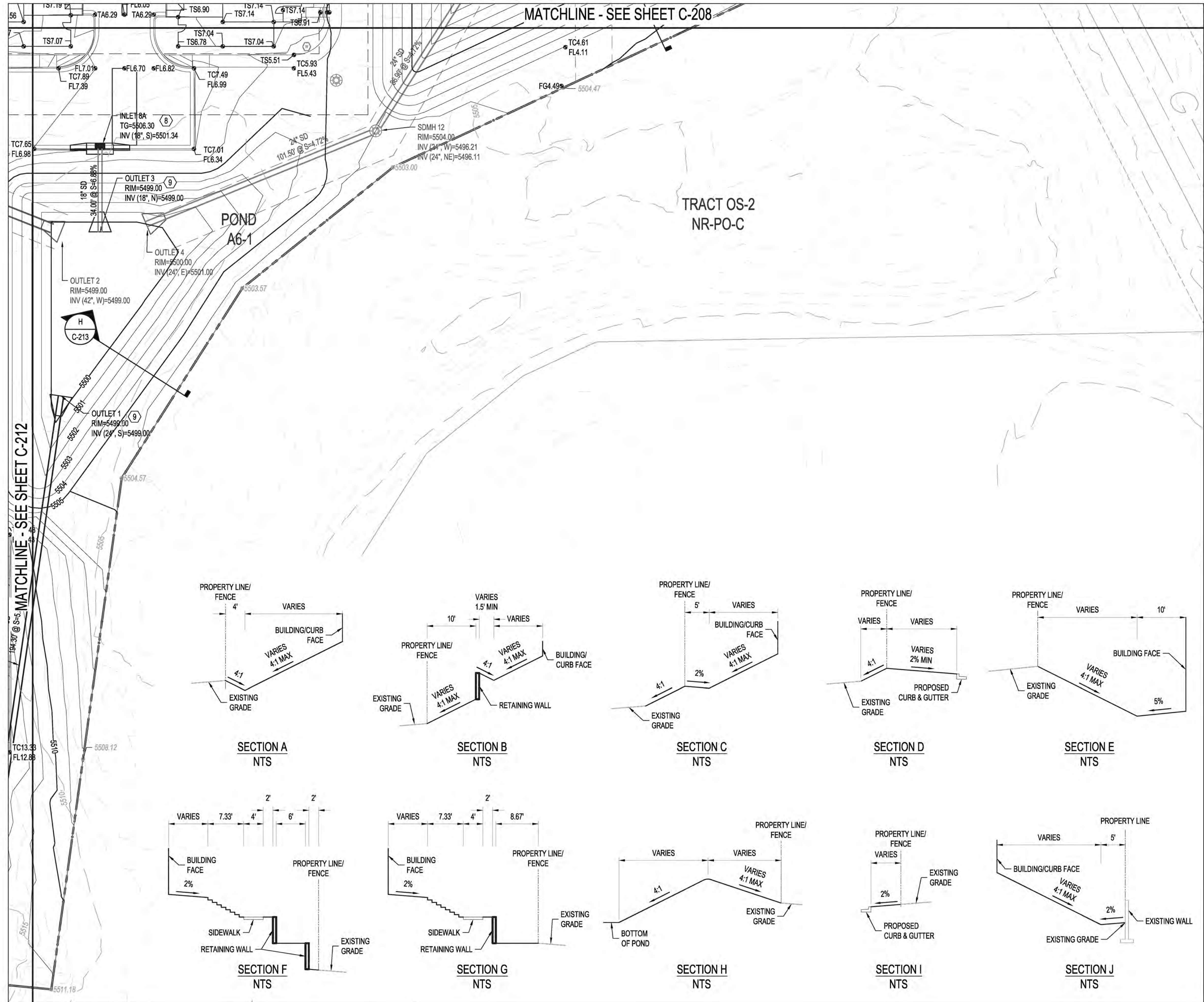
NO.	DATE	DESCRIPTION

**REVISIONS**

NO.	DATE	DESCRIPTION

Rev. 2-May-2023 - 6:37am. Revised by: HIRREG  
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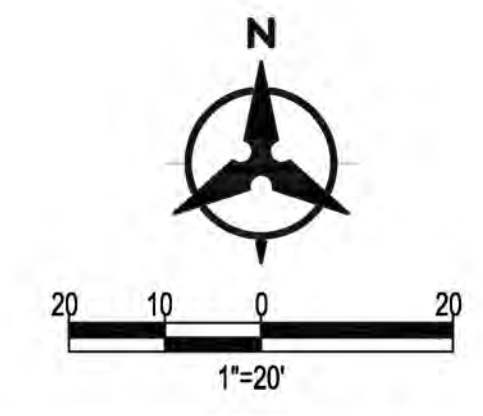
**GRADING KEYED NOTES**

- INSTALL STORM DRAIN PIPE. SEE PLAN FOR SIZE & SLOPE.
- CONSTRUCT 4' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
- CONSTRUCT 6' DIA TYPE "C" STORM DRAIN MANHOLE PER COA STD DWG 2101.
- CONSTRUCT TYPE "A" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
- CONSTRUCT NYLOPLAST STORM DRAIN INLET WITH DOME GRATE.
- CONSTRUCT TYPE "C" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2205.
- CONSTRUCT TYPE "D" SINGLE GRATE STORM DRAIN INLET PER COA STD DWG 2206.
- CONSTRUCT TYPE "A" DOUBLE GRATE STORM DRAIN INLET PER COA STD DWG 2201.
- INSTALL STORM DRAIN FLARED END SECTION. SIZE PER PLANS.



**LEGEND**

- PROPERTY LINE
- 5320 PROPOSED INDEX CONTOUR
- 5319 PROPOSED INTERMEDIATE CONTOUR
- 5320 EXISTING INDEX CONTOUR
- 5319 EXISTING INTERMEDIATE CONTOUR
- PROPOSED DRAINAGE SWALE
- DIRECTION OF FLOW
- WATER BLOCK/GRADE BREAK
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLETS
- PROPOSED STORM DRAIN CAP
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATER EASEMENT
- SLOPE BREAK
- RETAINING WALL
- PROPOSED UTILITY EASEMENT



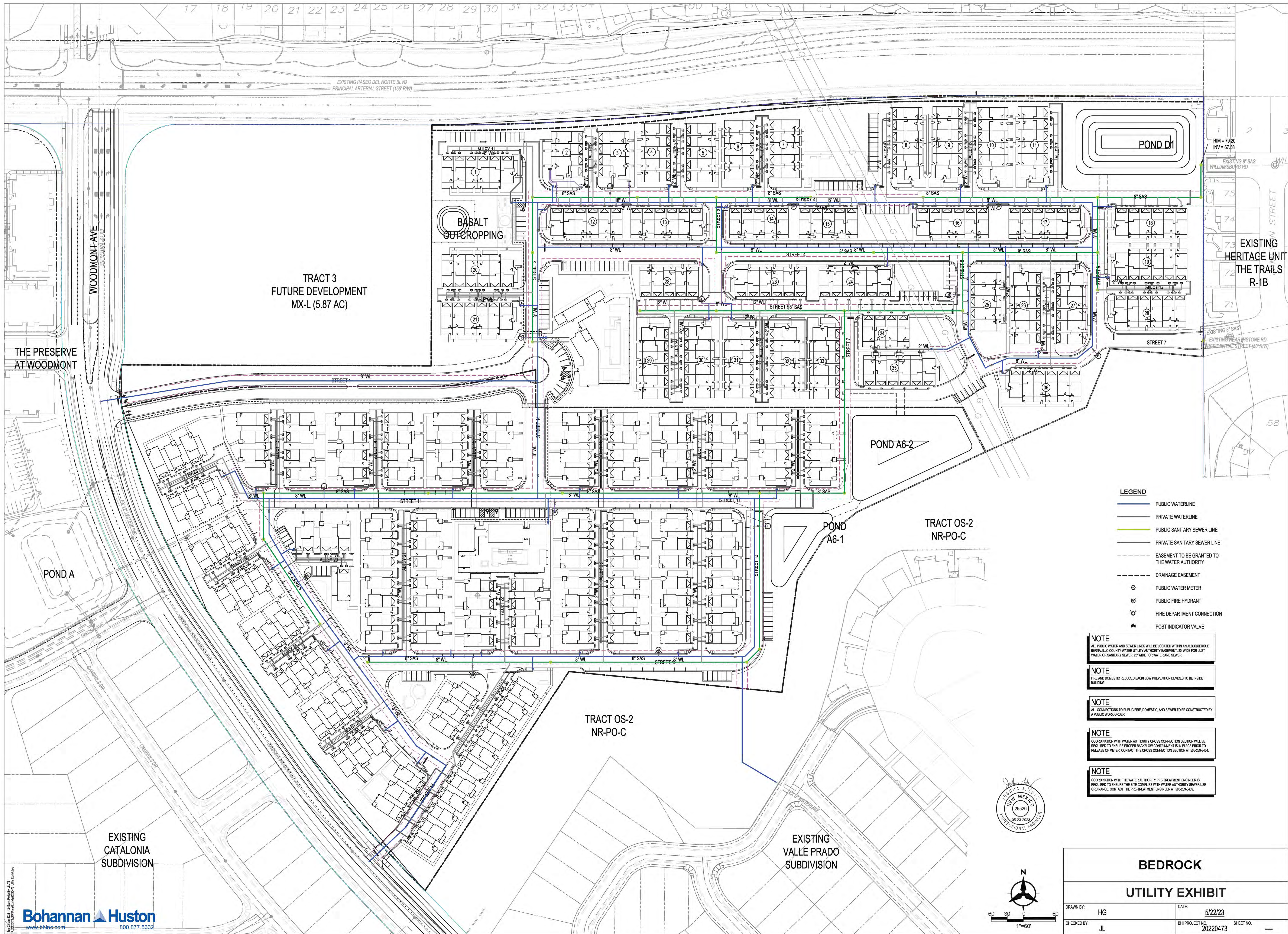
**Bohannon Huston**  
www.bhinc.com 800.877.5332

BENCH MARKS		ENGINEER'S SEAL		AS-BUILT INFORMATION		REVISIONS	
ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"		DATE		CONTRACTOR	DATE	NO.	
GEOGRAPHIC POSITION (NAD 83)		WORK STARTED BY		BY	DATE	DESIGNED BY	JL
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTORS		NO.		CHECKED BY	JL
N = 1,523,503.476; E = 1,483,655.030		APPROVED BY		NO.		DRAWN BY	AR
GROUND TO GRID FACTOR = 0.999864960		DATE		NO.			
DELTA ALPHA = 00° 16'58.86"		DATE		NO.			
ELEVATION = 5524.950 (NAVD 88)		DATE		NO.			

**BEDROCK CONCEPTUAL GRADING PLAN**

Wed, 3 May 2023, 9:25am; Plotted by: HGREIG; P:\20220473\CCP\PlanGeneral\20220473GP13.dwg





TRACT 3  
FUTURE DEVELOPMENT  
MX-L (5.87 AC)

BASALT  
OUTCROPPING

POND D1

RM = 79.20  
INV = 67.88

EXISTING  
HERITAGE UNIT  
THE TRAILS  
R-1B

POND A6-2

POND A6-1

TRACT OS-2  
NR-PO-C

TRACT OS-2  
NR-PO-C

EXISTING  
VALLE PRADO  
SUBDIVISION

EXISTING  
CATALONIA  
SUBDIVISION

- LEGEND**
- PUBLIC WATERLINE
  - PRIVATE WATERLINE
  - PUBLIC SANITARY SEWER LINE
  - PRIVATE SANITARY SEWER LINE
  - EASEMENT TO BE GRANTED TO THE WATER AUTHORITY
  - DRAINAGE EASEMENT
  - PUBLIC WATER METER
  - PUBLIC FIRE HYDRANT
  - FIRE DEPARTMENT CONNECTION
  - POST INDICATOR VALVE

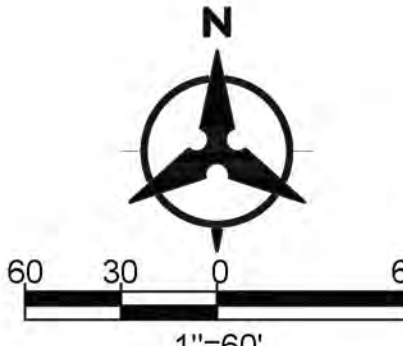
**NOTE**  
ALL PUBLIC WATER AND SEWER LINES WILL BE LOCATED WITHIN AN ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY EASEMENT, 20' WIDE FOR JUST WATER OR SANITARY SEWER, 25' WIDE FOR WATER AND SEWER.

**NOTE**  
FIRE AND DOMESTIC REDUCED BACKFLOW PREVENTION DEVICES TO BE INSIDE BUILDING.

**NOTE**  
ALL CONNECTIONS TO PUBLIC FIRE, DOMESTIC, AND SEWER TO BE CONSTRUCTED BY A PUBLIC WORK ORDER.

**NOTE**  
COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER. CONTACT THE CROSS CONNECTION SECTION AT 505-249-3454.

**NOTE**  
COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-249-3454.



<b>BEDROCK</b>			
<b>UTILITY EXHIBIT</b>			
DRAWN BY:	HG	DATE:	5/22/23
CHECKED BY:	JL	BHI PROJECT NO.:	20220473
		SHEET NO.:	---



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303.825.6400  
ktgy.com

LaTerra Development II, LLC  
1880 Century Park East, Ste 1017  
Los Angeles, CA 90067

**BEDROCK**  
ALBUQUERQUE, NM # 20220110

**CONCEPTUAL DESIGN**  
JUNE 2, 2023



TOWNHOME RENDERING

A0-1

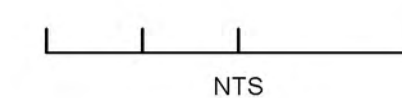


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Los Angeles, CA 90067

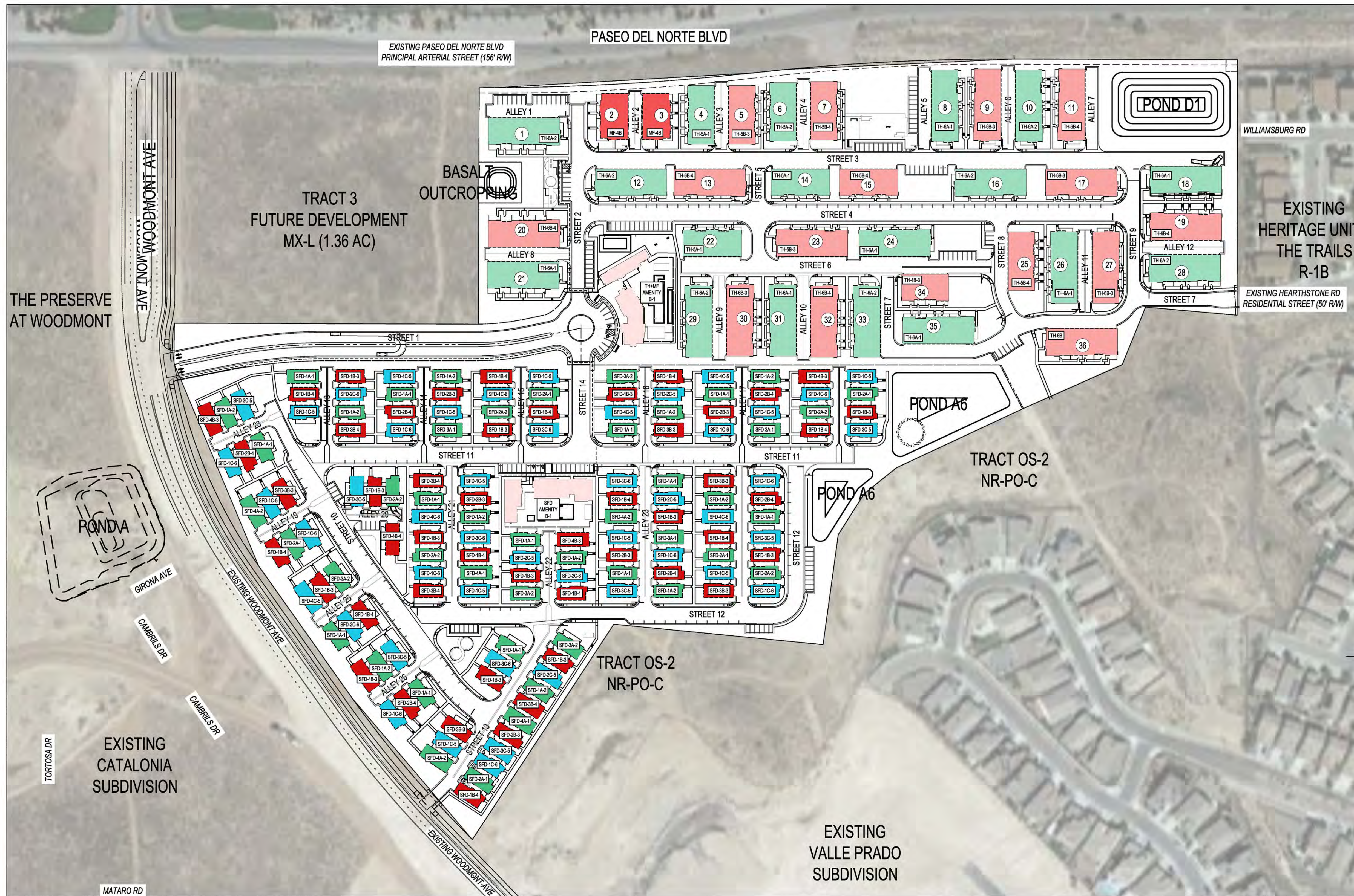
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY DETACHED RENDERING

A0-2



**PROJECT SUMMARY**

AREA	±37.0 AC
UNITS	344 DU
DENSITY	9.29 DU / AC
<b>MULTI-FAMILY &amp; TOWNHOME AREA SUMMARY</b>	
AREA	18.7 AC
UNITS	202 DU
DENSITY	10.8 DU / AC
<b>SFD CLUSTER AREA SUMMARY</b>	
AREA	18.3 AC
UNITS	142 DU
DENSITY	7.76 DU / AC

**PLAN KEY**

- TH ELEVATION STYLE A (SPANISH COLONIAL)
- TH ELEVATION STYLE B (MONTEREY)
- MF ELEVATION STYLE B (MONTEREY)
- SFD ELEVATION STYLE A (SPANISH COLONIAL)
- SFD ELEVATION STYLE B (MONTEREY)
- SFD ELEVATION STYLE C (DESERT CONTEMPORARY)
- AMENITY ELEVATION STYLE B (MONTEREY)

- HOUSING TYPE**
- TH - TOWNHOMES (SINGLE-FAMILY ATTACHED)
- MF - MULTI-FAMILY
- SFD - SINGLE-FAMILY DETACHED
- BUILDING PLEX / PLAN NUMBER
- COLOR/MATERIAL SCHEME**
- ELEVATION STYLE**
- A - SPANISH COLONIAL
- B - MONTEREY
- C - DESERT CONTEMPORARY

**Laterra ABQ BFR Elevation Style Mix** REVISED 4/18/2023

BUILDING TYPE	PLAN/PLEX NO.	# OF BUILDINGS/HOMES	ELEVATION STYLE		
			STYLE A (Spanish Colonial)	STYLE B (Monterey)	STYLE C (Desert Contemporary)
SFD	Plan 1 (1589)	69	23	23	23
	Plan 2 (1696)	28	10	11	7
	Plan 3 (1876)	27	7	9	11
	Plan 4 (2132)	18	6	6	6
<b>TOTAL</b>		<b>142</b>	<b>46</b>	<b>49</b>	<b>47</b>
SFD AMENITY		2		2	
TRADITIONAL TOWNHOME	B4	1		1	
	B5	8	4	4	
	B6	25	14	11	
<b>TOTAL</b>		<b>34</b>	<b>18</b>	<b>16</b>	
MULTI-FAMILY R2 BUILDING	B4 (R2) TOTAL	2		2	
TH/MF AMENITY		2		2	

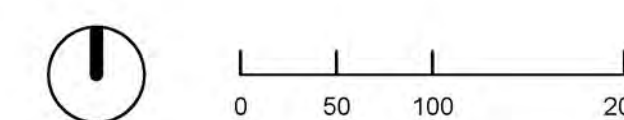


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

**CONCEPTUAL DESIGN**  
JUNE 2, 2023



CONCEPTUAL SITE PLAN-ELEVATION MIX

**A1-0**



FRONT PERSPECTIVE (SOUTHWEST)



FRONT PERSPECTIVE (WEST)



REAR PERSPECTIVE (EAST)

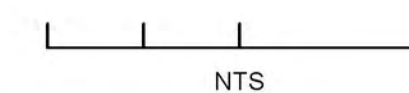


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ALBUQUERQUE, NM # 20220110

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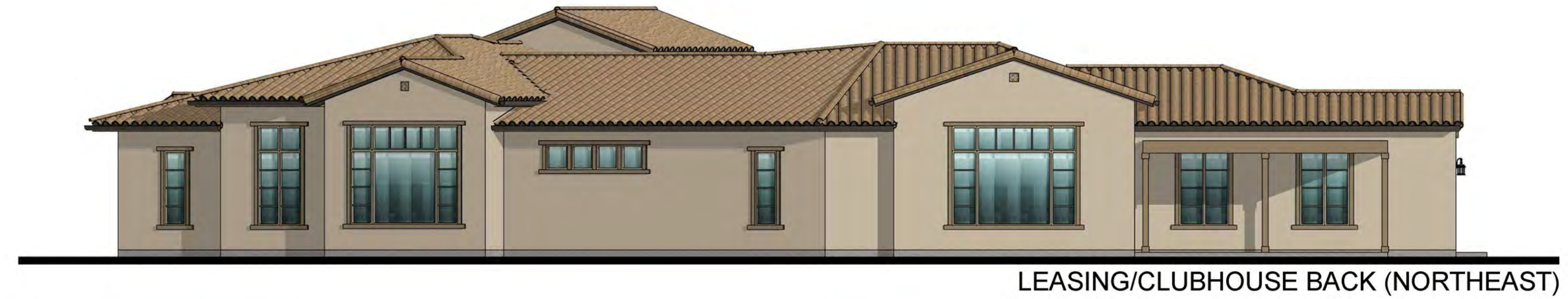


MF & TOWNHOME AMENITY PERSPECTIVES

A1-1



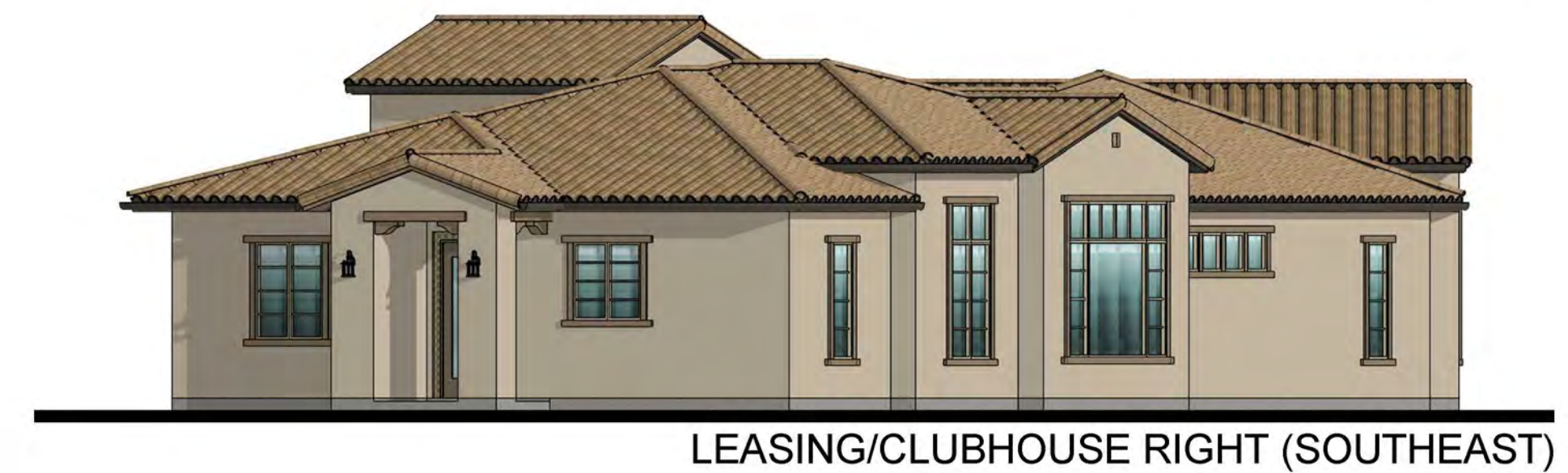
LEASING/CLUBHOUSE FRONT (SOUTHWEST)



LEASING/CLUBHOUSE BACK (NORTHEAST)



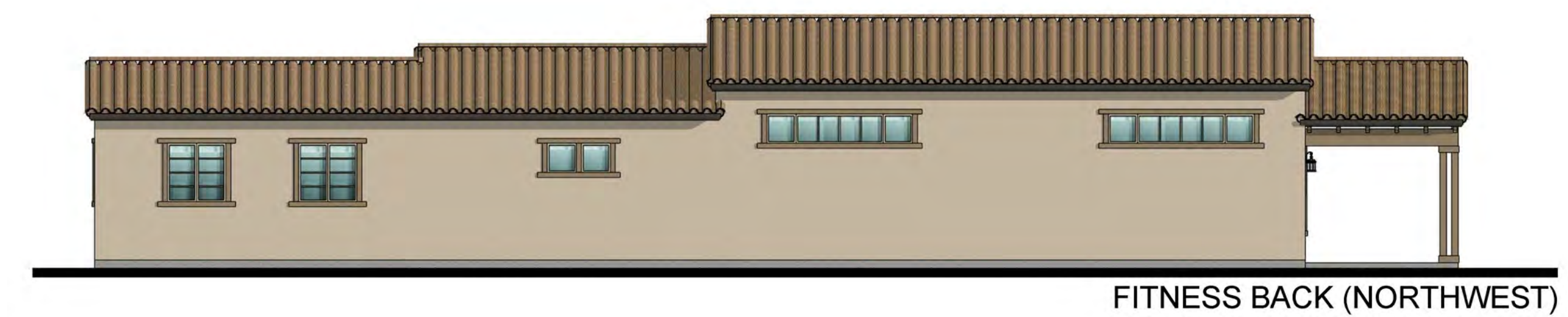
LEASING/CLUBHOUSE LEFT (NORTHWEST)



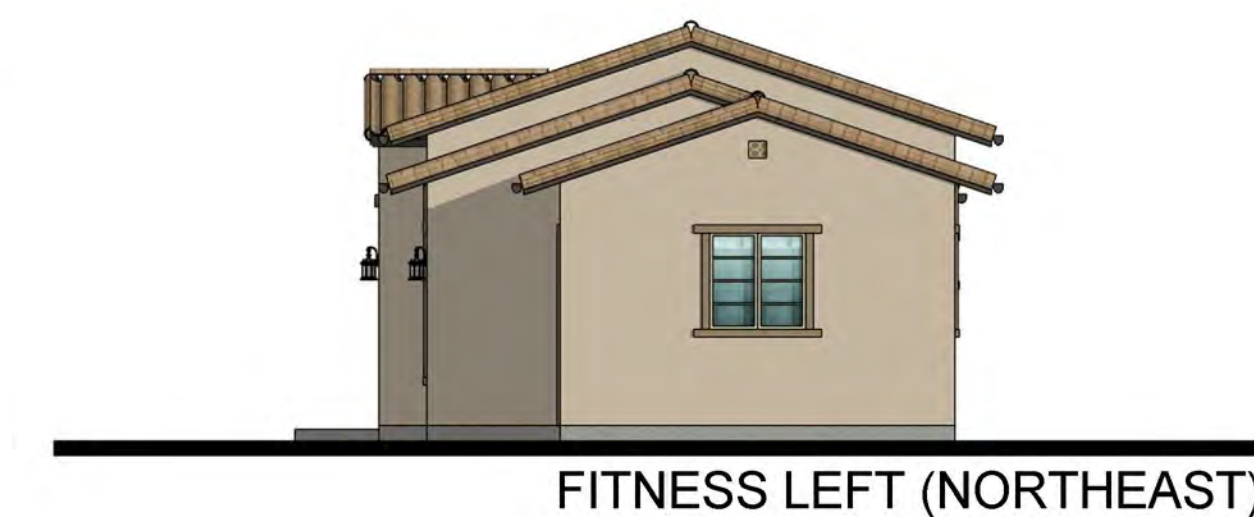
LEASING/CLUBHOUSE RIGHT (SOUTHWEST)



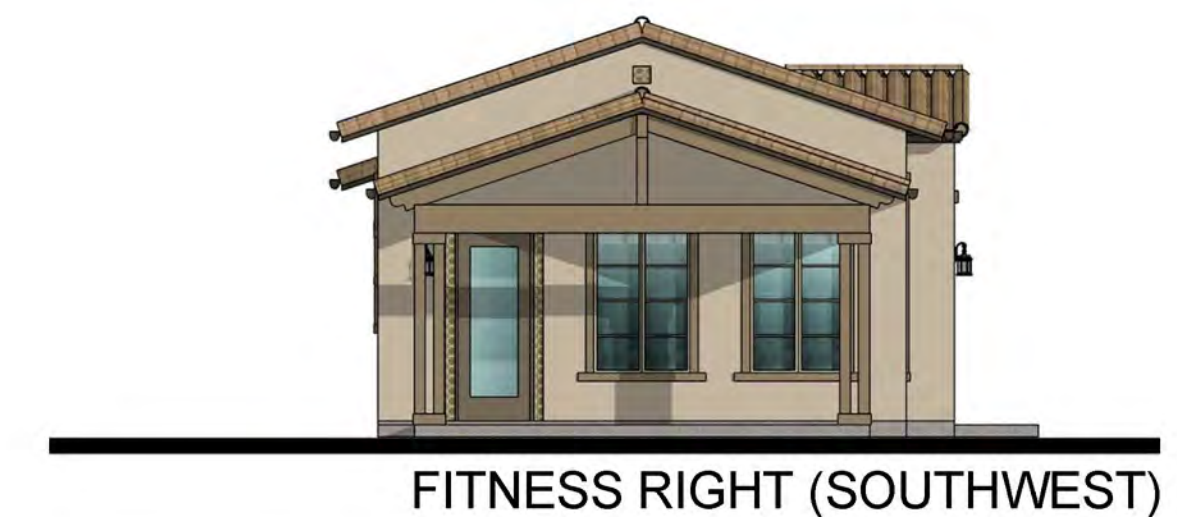
FITNESS FRONT (SOUTHWEST)



FITNESS BACK (NORTHWEST)



FITNESS LEFT (NORTHEAST)



FITNESS RIGHT (SOUTHWEST)

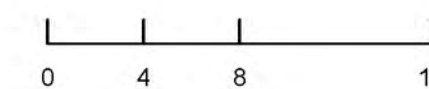


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



MF & TOWNHOME AMENITY ELEVATIONS

A1-2



FRONT PERSPECTIVE (NORTH)



FRONT PERSPECTIVE (NORTH)



REAR PERSPECTIVE (SOUTH)

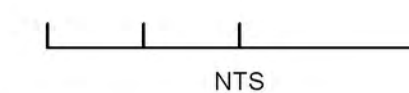


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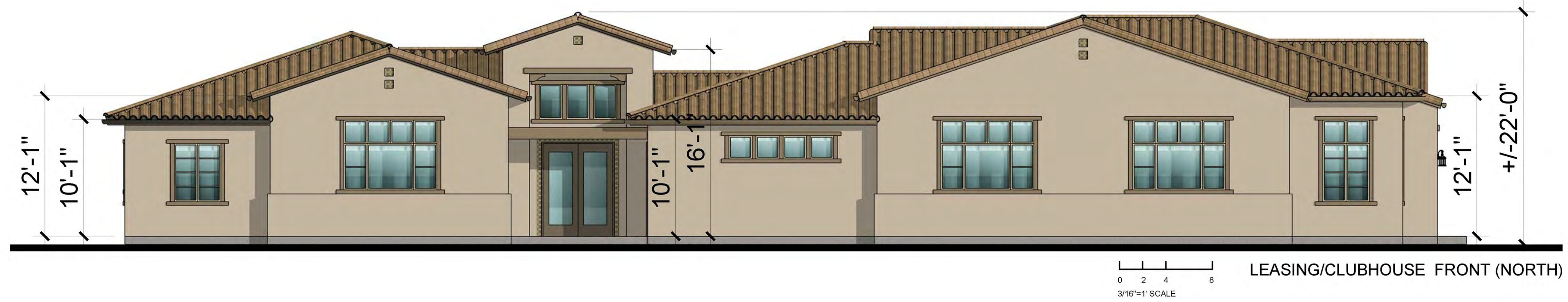
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

**CONCEPTUAL DESIGN**  
JUNE 2, 2023



SFD AMENITY PERSPECTIVES

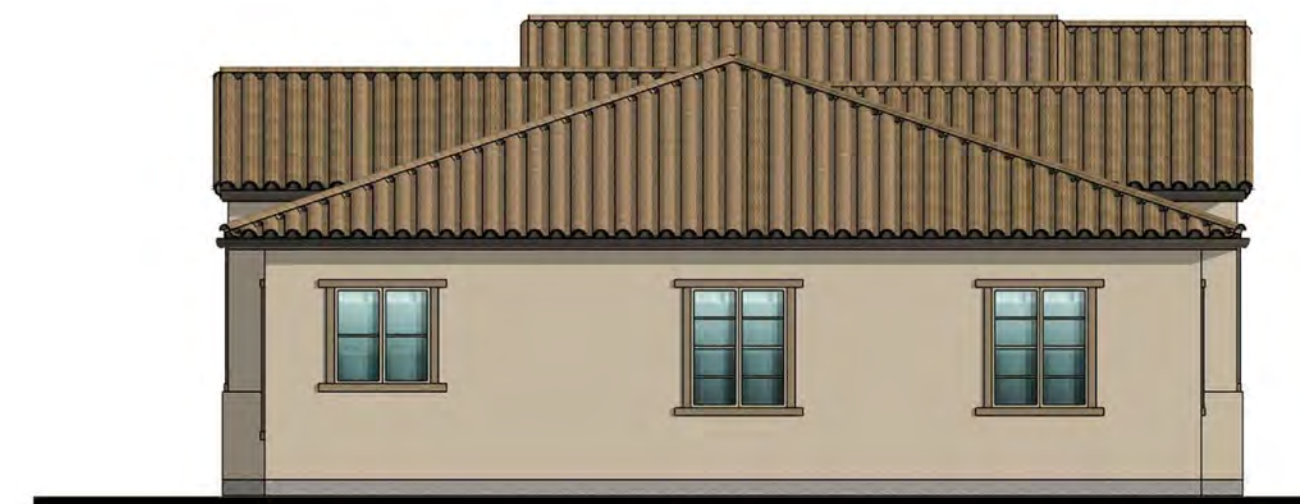
A1-3



LEASING/CLUBHOUSE FRONT (NORTH)



LEASING/CLUBHOUSE BACK (SOUTH)



LEASING/CLUBHOUSE LEFT (EAST)



LEASING/CLUBHOUSE RIGHT (WEST)



FITNESS FRONT (EAST)



FITNESS BACK (WEST)



FITNESS LEFT (NORTH)



FITNESS RIGHT (SOUTH)

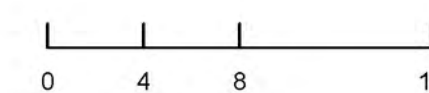


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
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SFD AMENITY ELEVATIONS

A1-4





PERSPECTIVE



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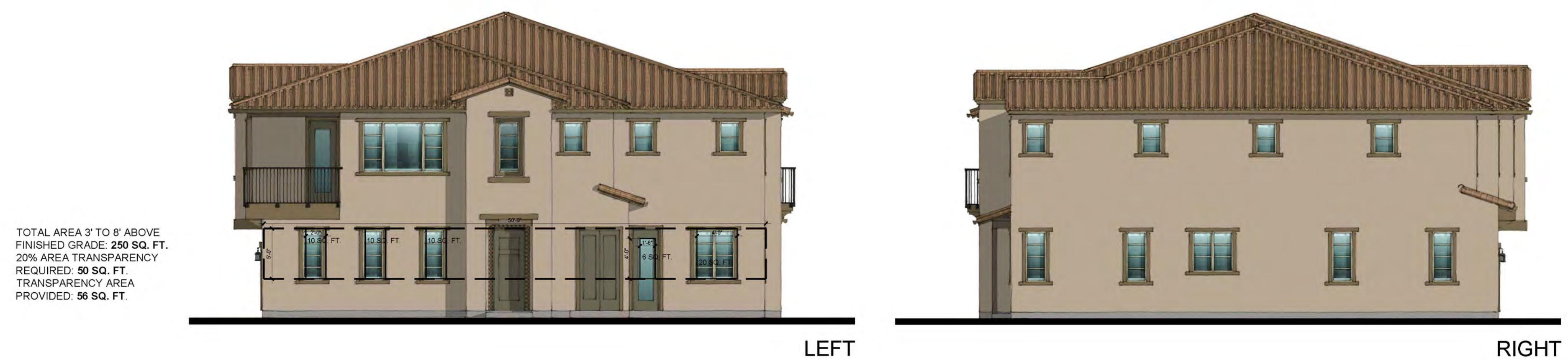


MULTI-FAMILY 4-PLEX B PERSPECTIVE

A2-1



TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 413 SQ. FT.  
 20% AREA TRANSPARENCY REQUIRED: 83 SQ. FT.  
 TRANSPARENCY AREA PROVIDED: 140 SQ. FT.



TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 250 SQ. FT.  
 20% AREA TRANSPARENCY REQUIRED: 50 SQ. FT.  
 TRANSPARENCY AREA PROVIDED: 56 SQ. FT.

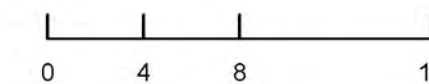


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**BEDROCK**  
 ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
 JUNE 2, 2023



MULTI-FAMILY 4-PLEX B ELEVATIONS

A2-2



PERSPECTIVE



ELEVATION



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**BEDROCK**  
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CONCEPTUAL DESIGN  
JUNE 2, 2023



TOWNHOME STREET SCENE

A3-1



PERSPECTIVE



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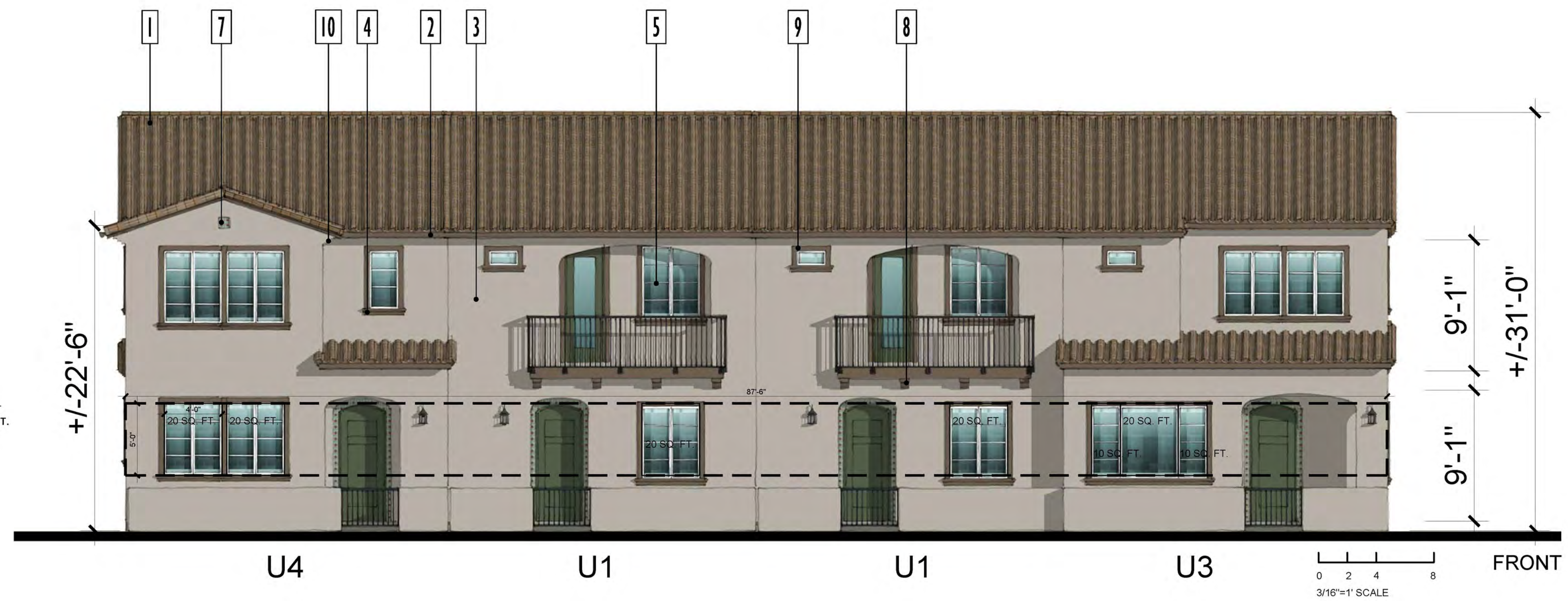
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



TOWNHOME 4-PLEX A PERSPECTIVE

A3-2



**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
- 8 WOOD OR COMPOSITE CORBEL
- 9 STUCCO FINISH TRIM
- 10 STUCCO FINISH EAVE DETAIL (WHERE SHOWN ON SPANISH)
- 11 WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES

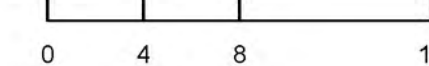


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



TOWNHOME 4-PLEX A ELEVATIONS

A3-3



PERSPECTIVE

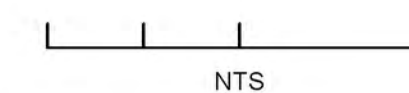


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



TOWNHOME 4-PLEX B PERSPECTIVE

A3-4



**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
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- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES

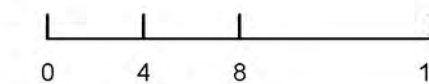


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
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TOWNHOME 4-PLEX B ELEVATION

A3-5



PERSPECTIVE



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TOWNHOME 5-PLEX A PERSPECTIVE

A3-6





### MATERIAL LEGEND

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
- 8 WOOD OR COMPOSITE CORBEL
- 9 STUCCO FINISH TRIM
- 10 STUCCO FINISH EAVE DETAIL (WHERE SHOWN ON SPANISH)
- 11 WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES

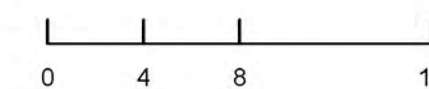


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TOWNHOME 5-PLEX A ELEVATIONS

A3-7



PERSPECTIVE

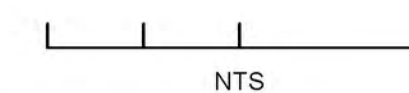


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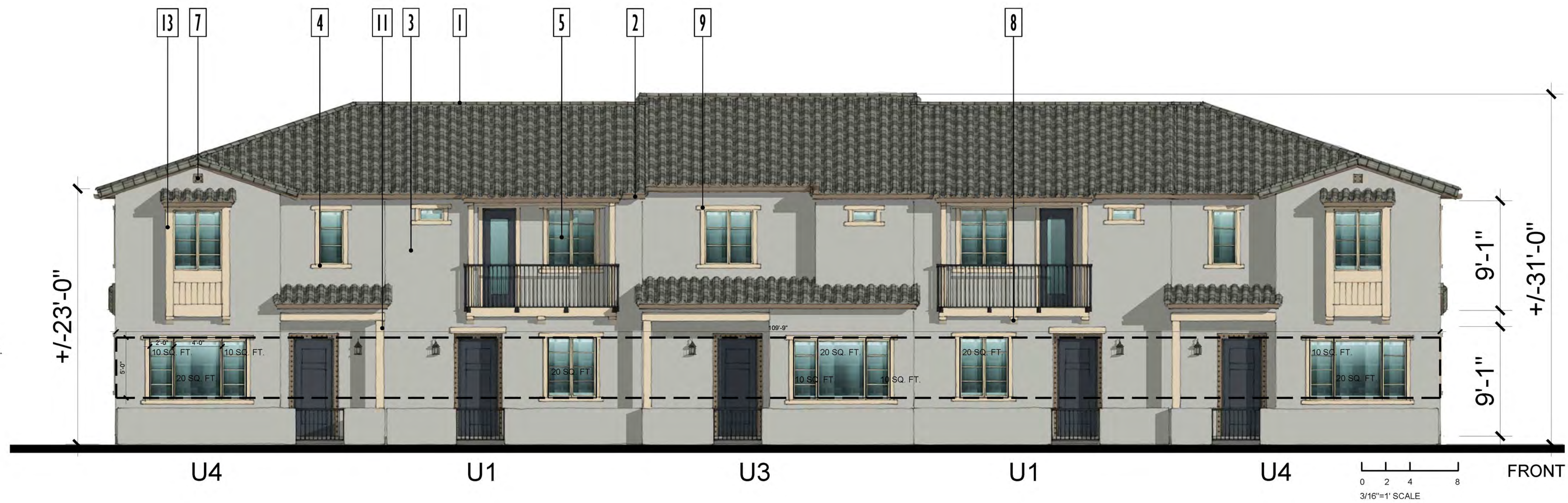
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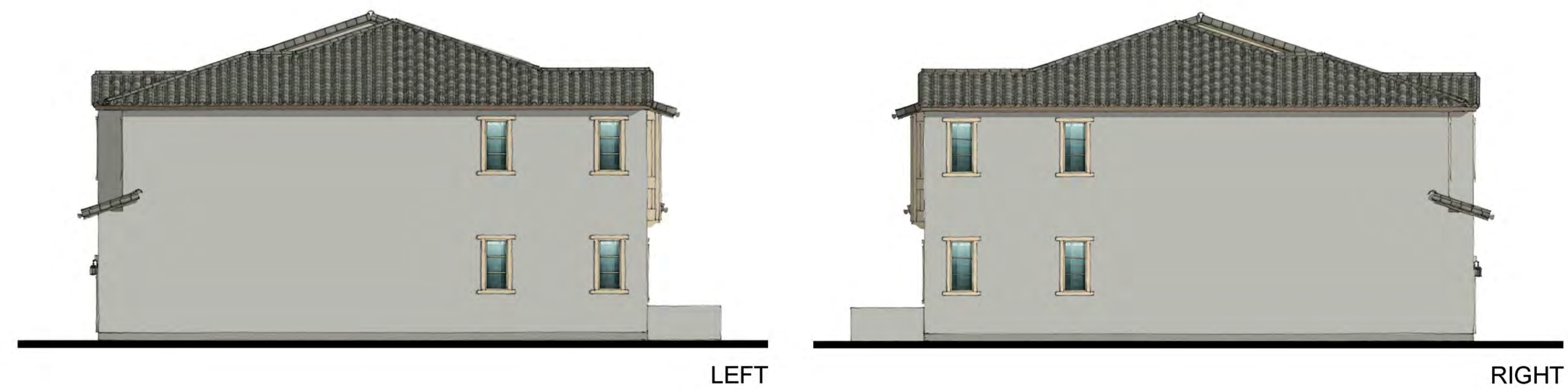
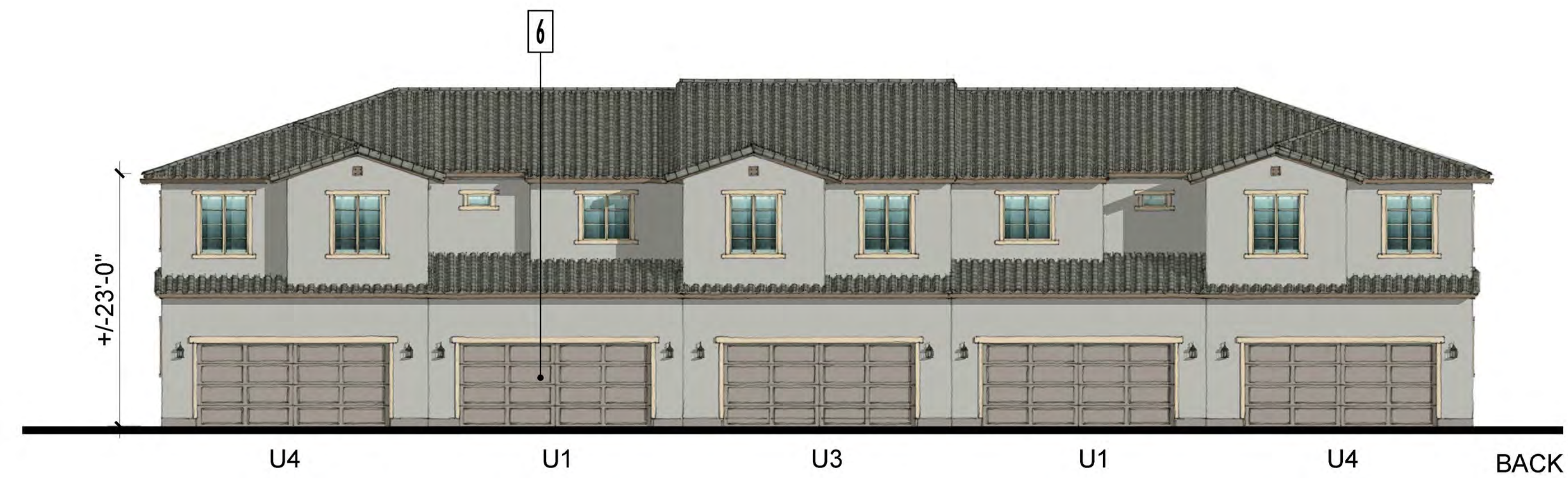
TOWNHOME 5-PLEX B PERSPECTIVE

**A3-8**



### MATERIAL LEGEND

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
- 8 WOOD OR COMPOSITE CORBEL
- 9 STUCCO FINISH TRIM
- 10 STUCCO FINISH EAVE DETAIL (WHERE SHOWN ON SPANISH)
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- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES

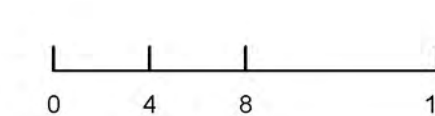


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TOWNHOME 5-PLEX B ELEVATION

A3-9



PERSPECTIVE



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TOWNHOME 6-PLEX A PERSPECTIVE

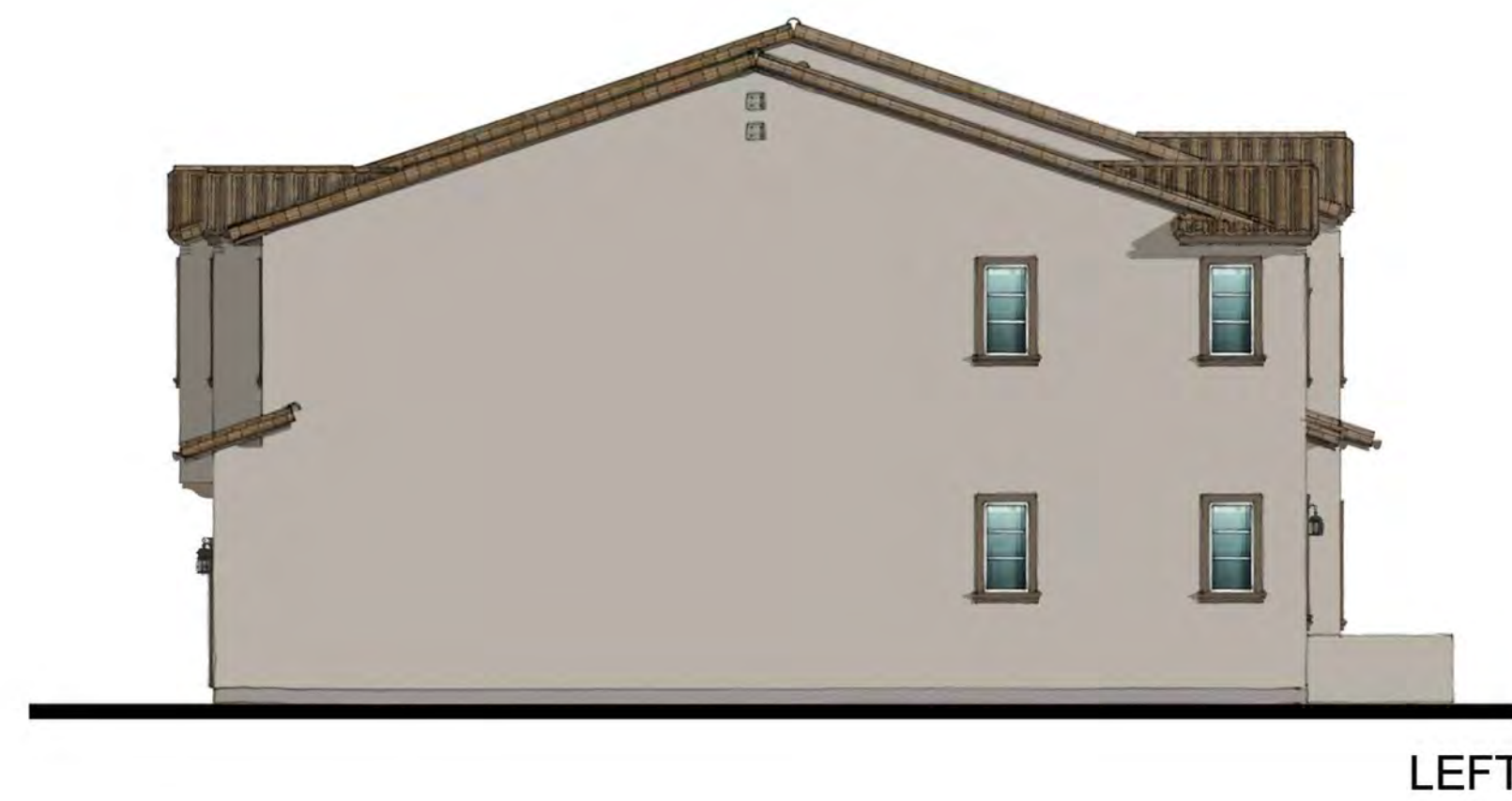
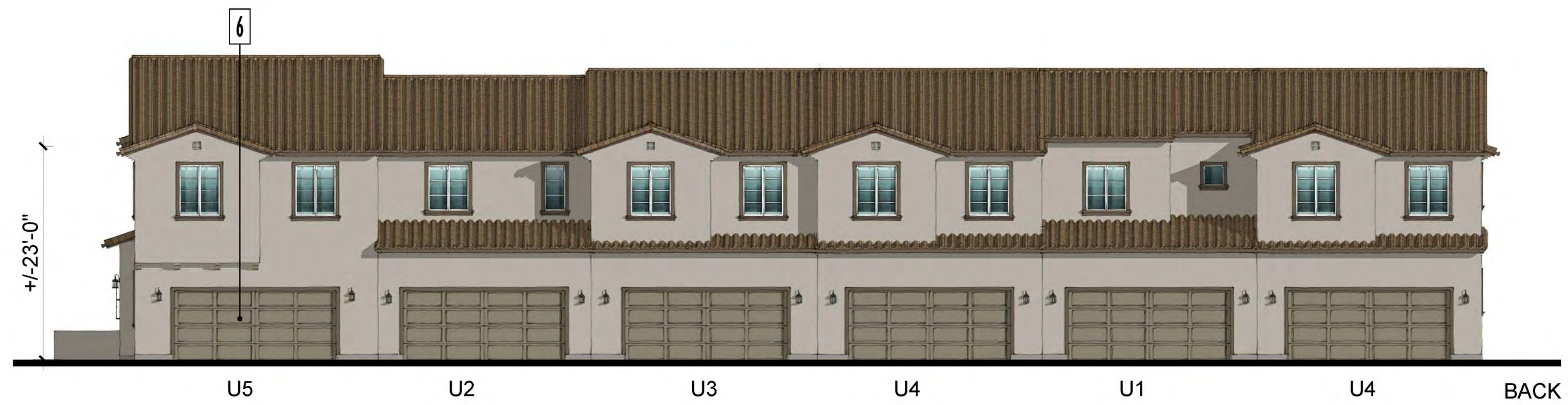
A3-10

TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 669 SQ. FT.  
20% AREA TRANSPARENCY REQUIRED: 134 SQ. FT.  
TRANSPARENCY AREA PROVIDED: 240 SQ. FT.



### MATERIAL LEGEND

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
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- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



LEFT



RIGHT

TOTAL AREA 3' TO 8' ABOUT FINISHED GRADE: 259 SQ. FT.  
20% AREA TRANSPARENCY REQUIRED: 50 SQ. FT.  
TRANSPARENCY AREA PROVIDED: 50 SQ. FT.

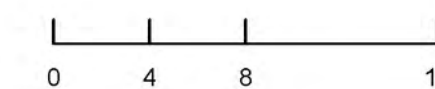


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TOWNHOME 6-PLEX A ELEVATIONS

A3-11



PERSPECTIVE



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TOWNHOME 6-PLEX B PERSPECTIVE

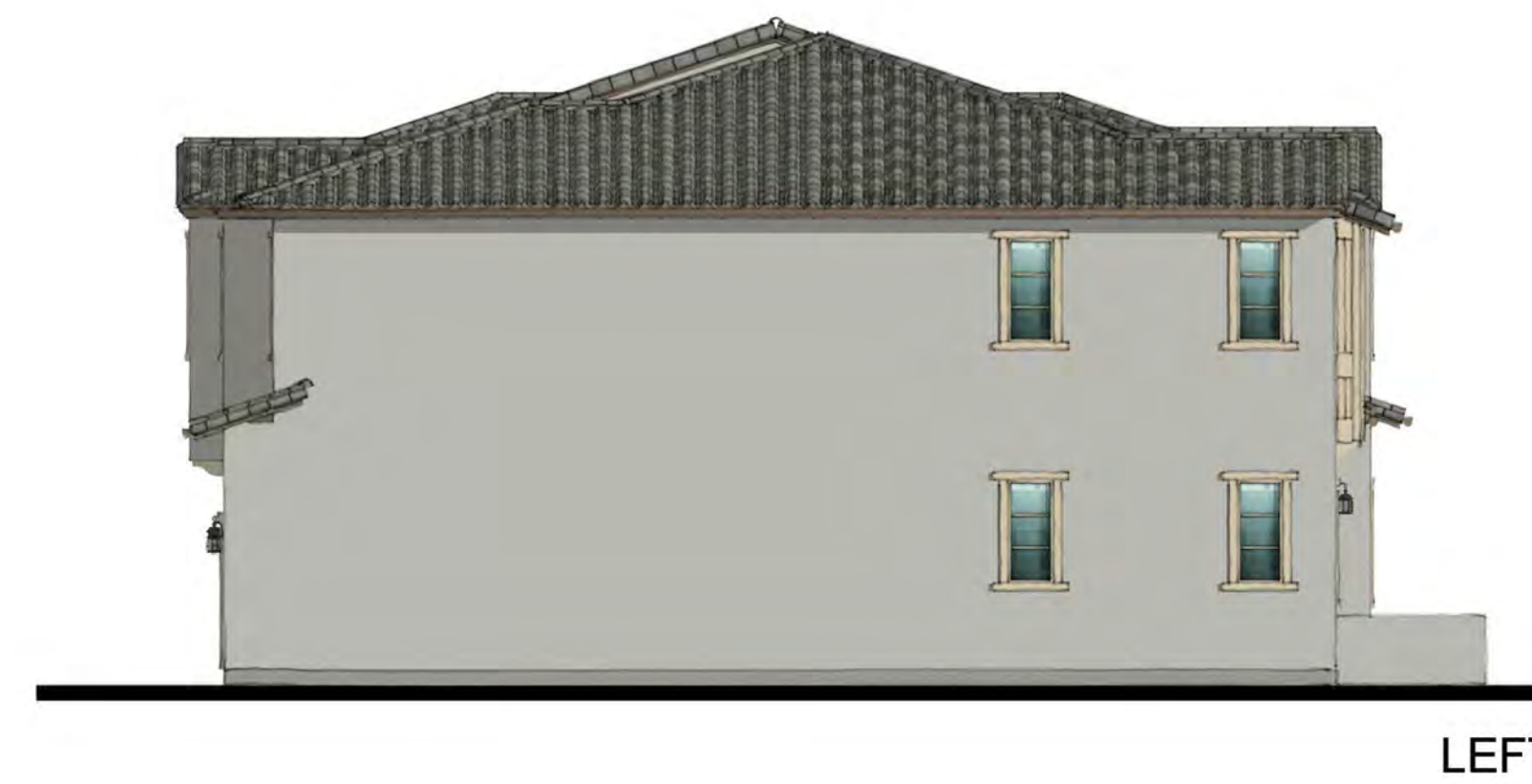
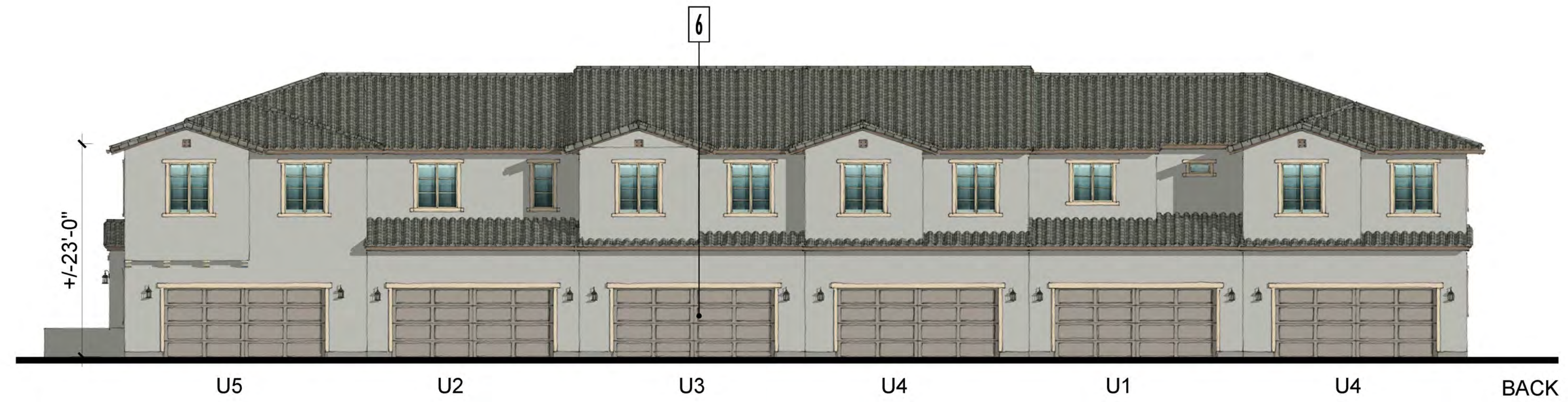
**A3-12**

TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 669 SQ. FT. 20% AREA TRANSPARENCY REQUIRED: 134 SQ. FT. TRANSPARENCY AREA PROVIDED: 240 SQ. FT.



**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
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TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 259 SQ. FT. 20% AREA TRANSPARENCY REQUIRED: 50 SQ. FT. TRANSPARENCY AREA PROVIDED: 50 SQ. FT.

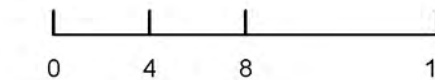


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TOWNHOME 6-PLEX B ELEVATION

A3-13



Plan 1  
Style B

Plan 2  
Style A

Plan 3  
Style C

Plan 4  
Style A

FRONT

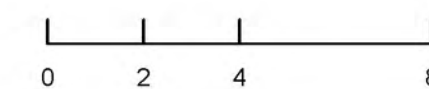


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SINGLE FAMILY STREET SCENE

**A4-1**





PERSPECTIVE



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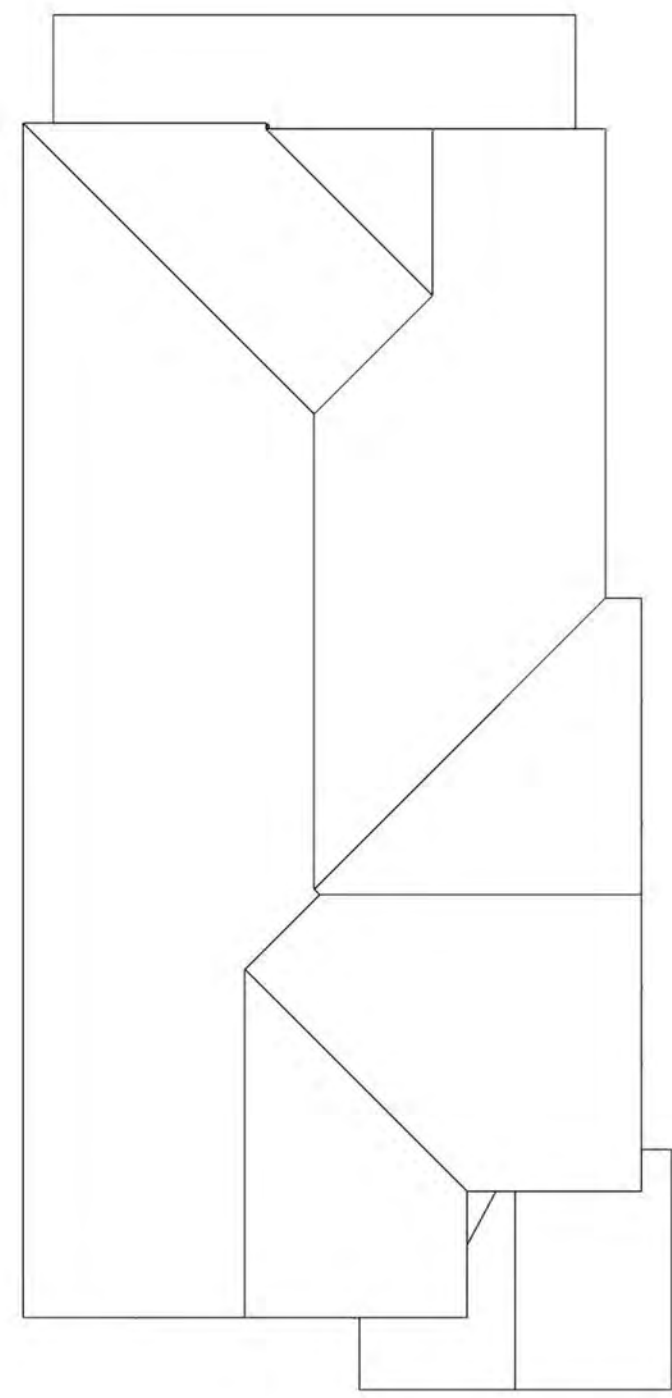
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SINGLE FAMILY PERSPECTIVE

A4-2



4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



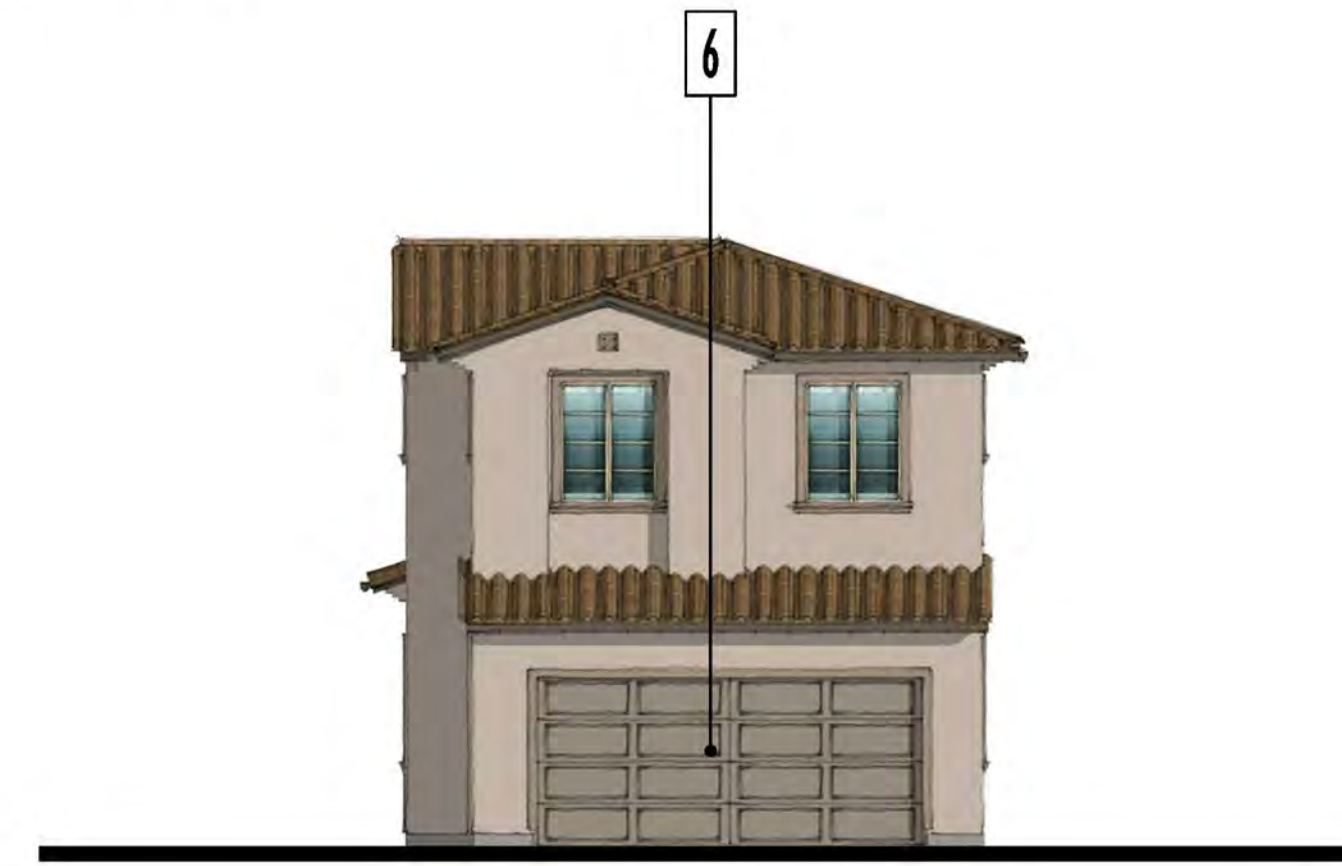
TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 120 SQ. FT. 20% AREA TRANSPARENCY REQUIRED: 24 SQ. FT. TRANSPARENCY AREA PROVIDED: 40 SQ. FT.

**MATERIAL LEGEND**

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- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

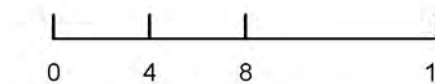


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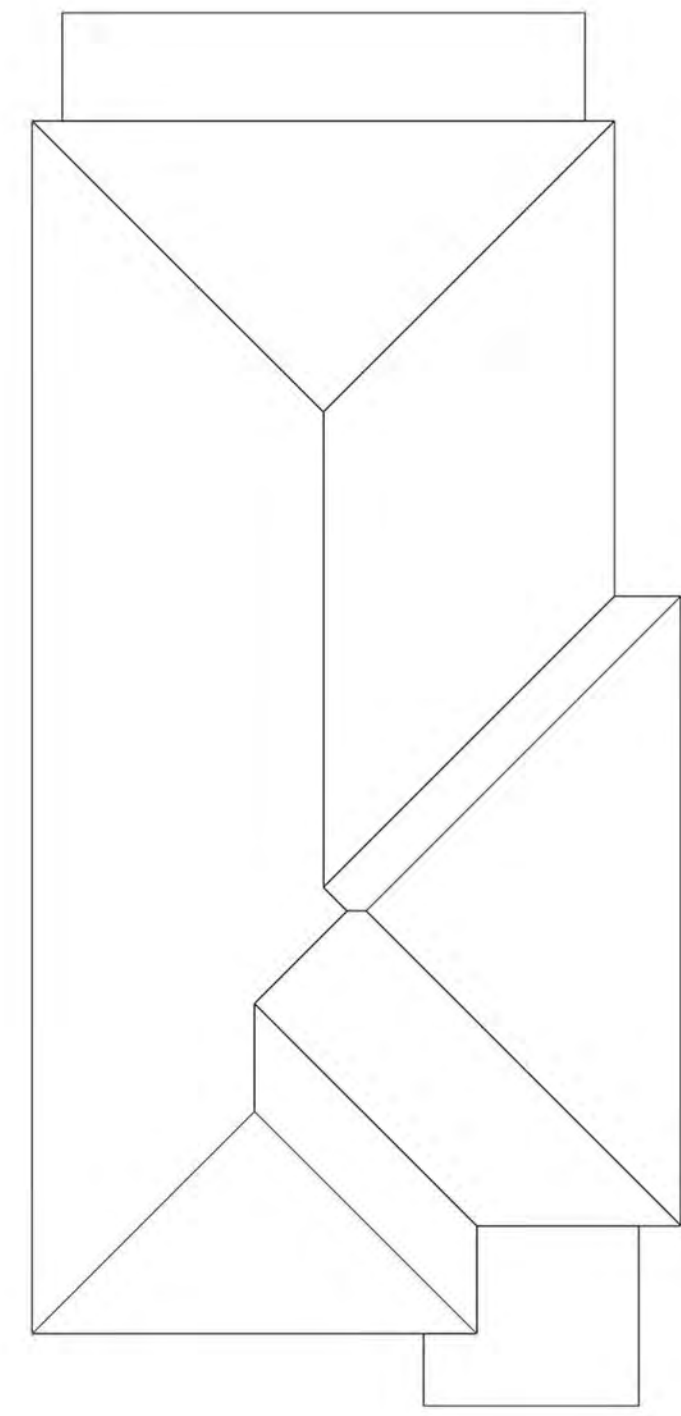
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JUNE 2, 2023



SINGLE FAMILY PLAN 1 A ELEVATIONS

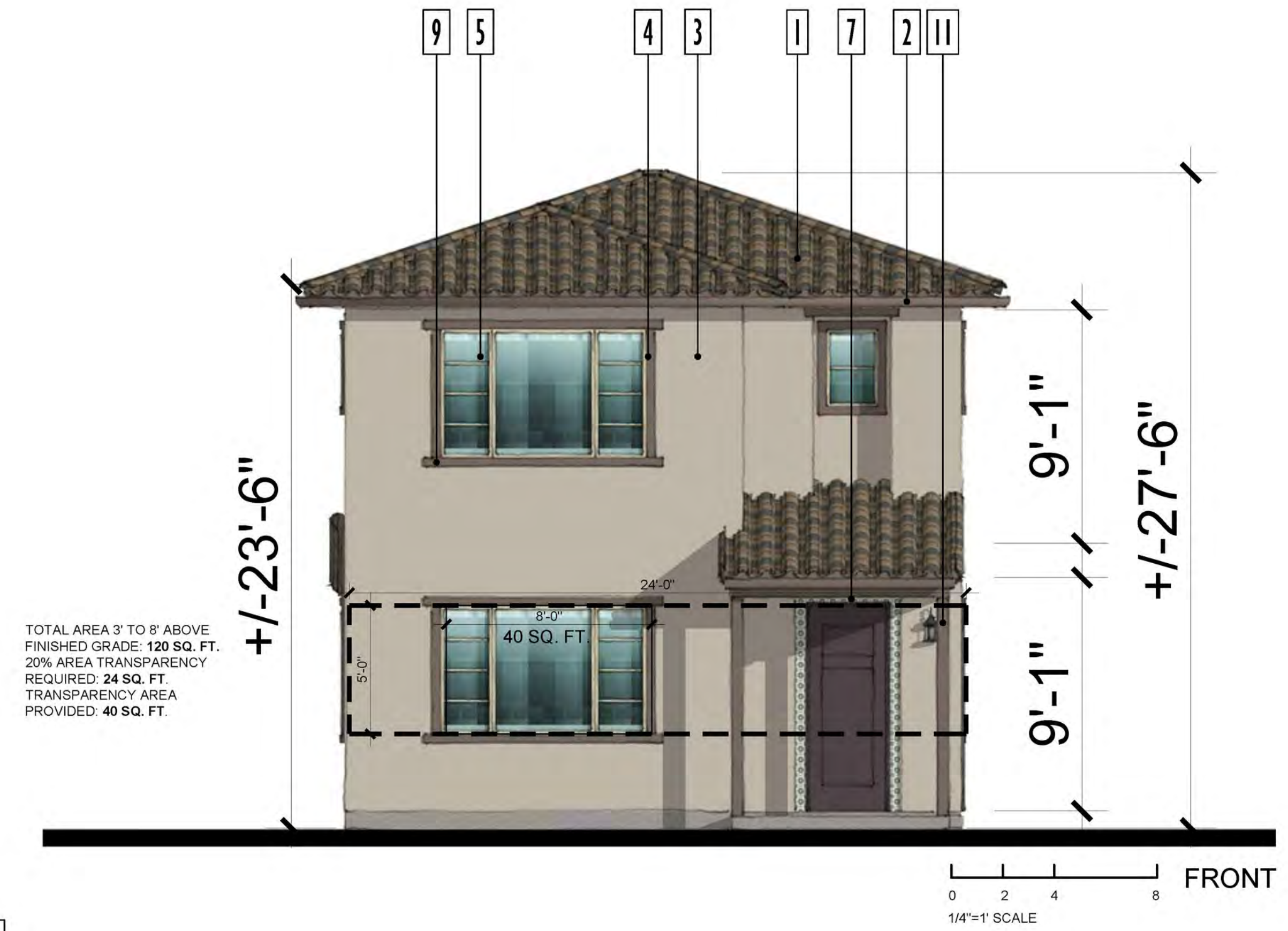
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4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE

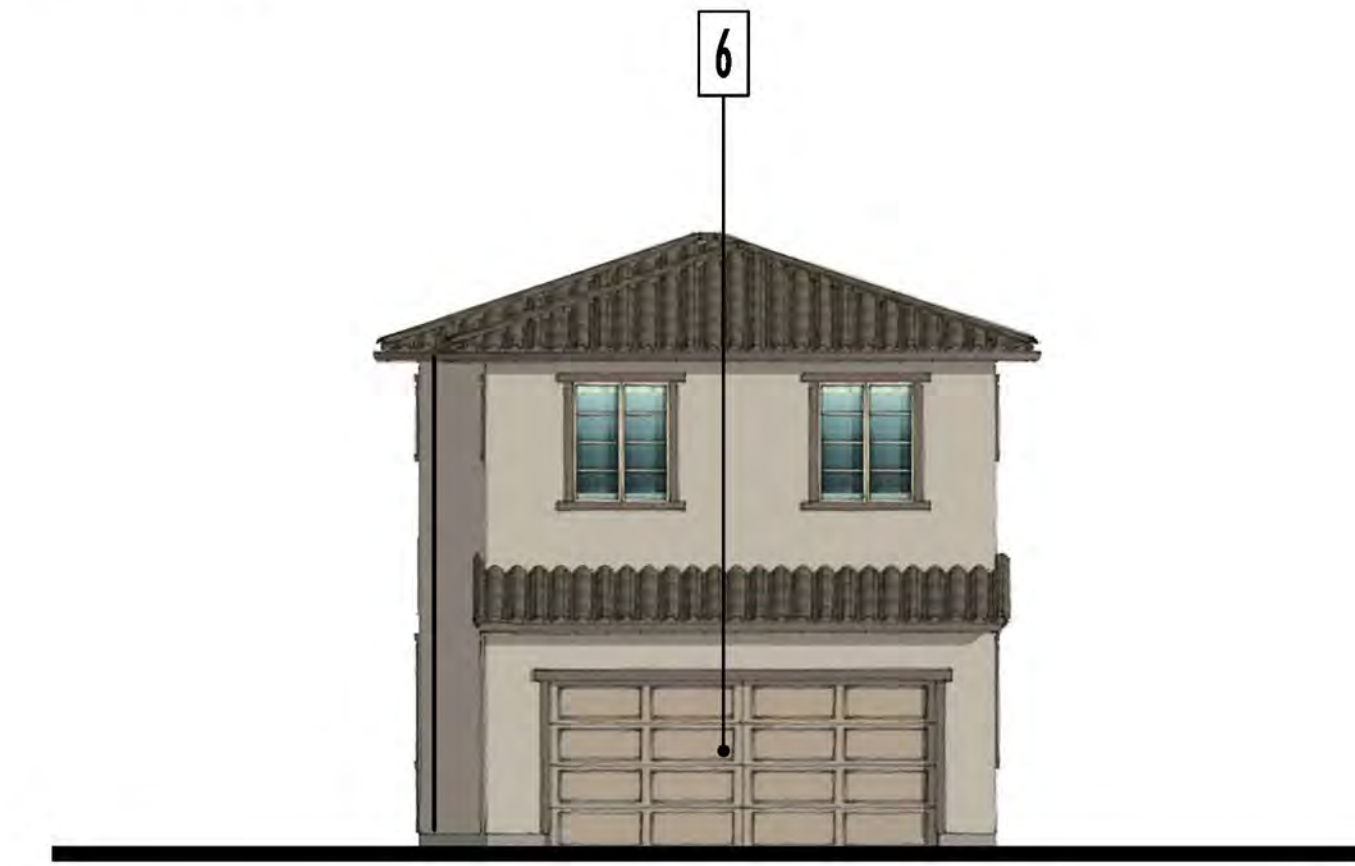


**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
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- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

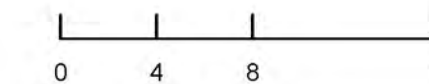


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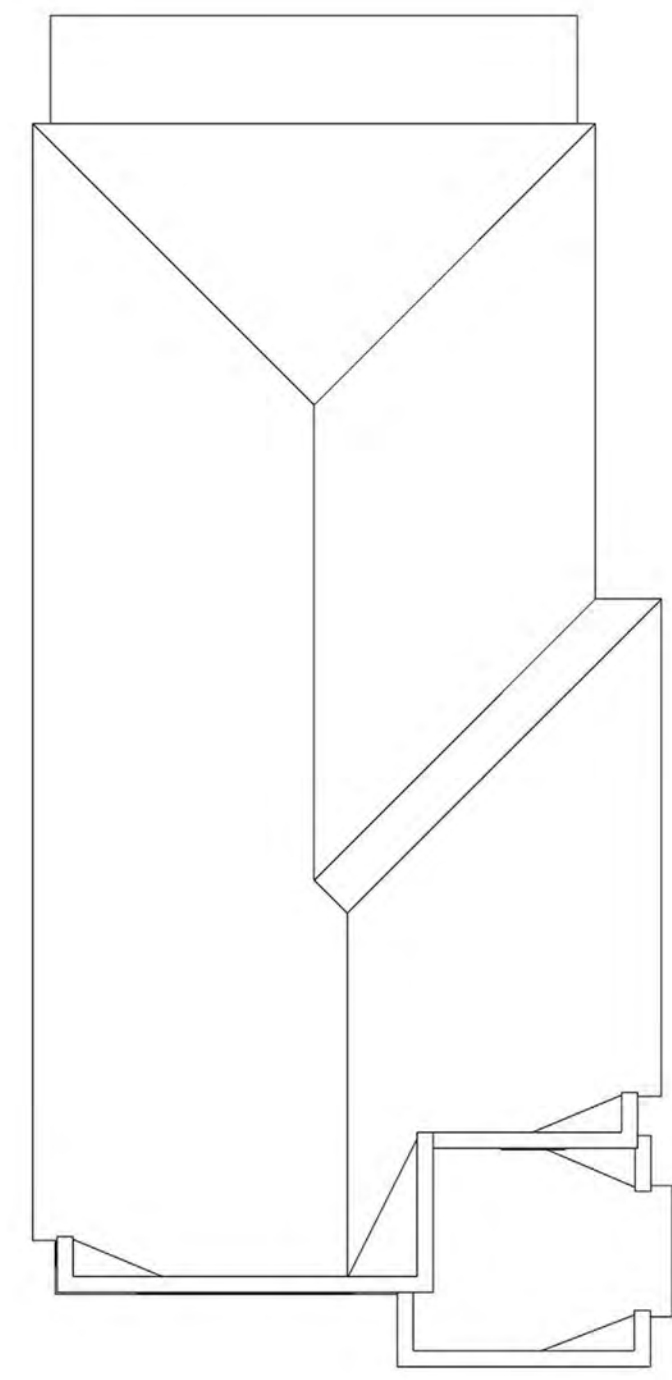
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SINGLE FAMILY PLAN 1 B ELEVATIONS

A4-4



3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 120 SQ. FT.  
20% AREA TRANSPARENCY REQUIRED: 24 SQ. FT.  
TRANSPARENCY AREA PROVIDED: 40 SQ. FT.

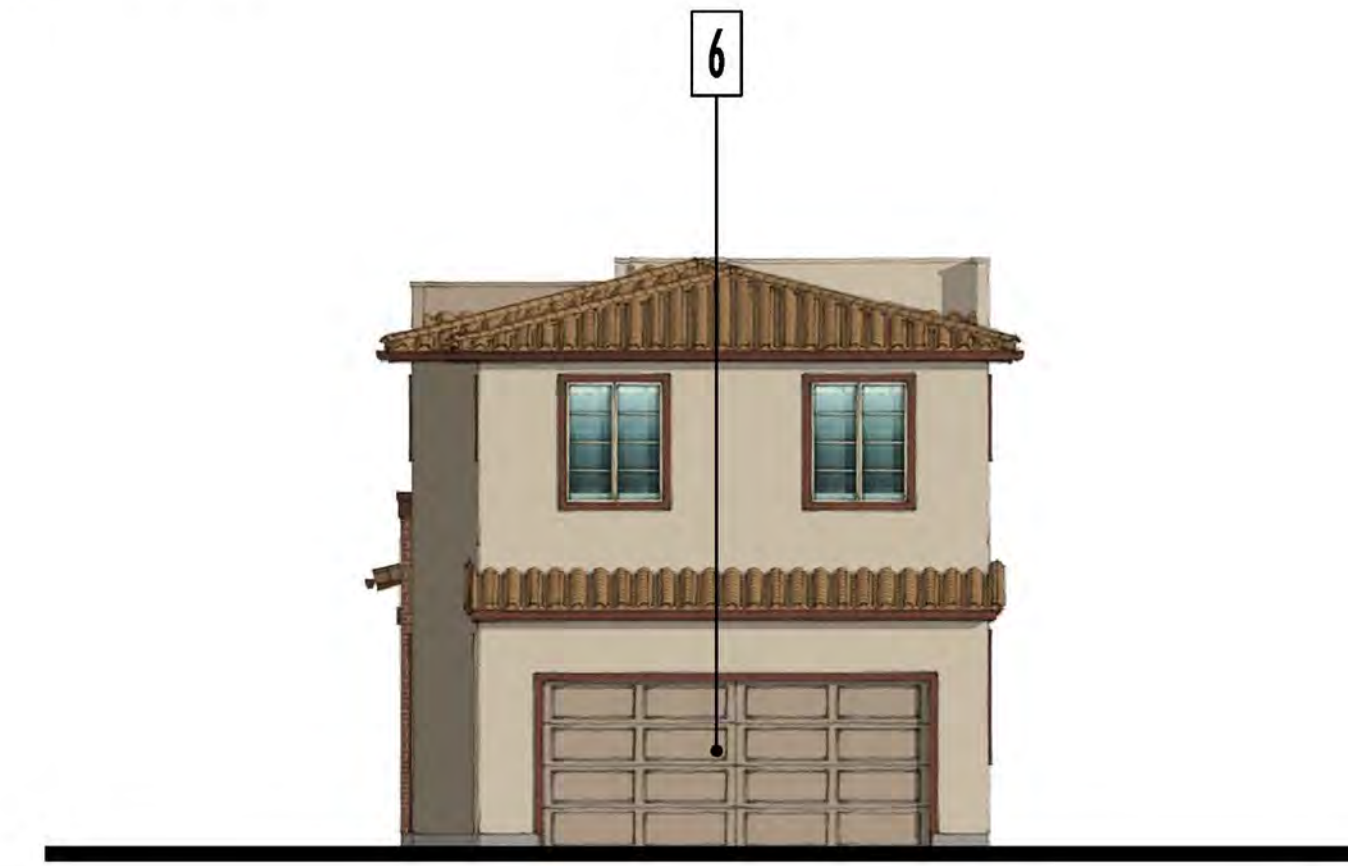
FRONT  
1/4"=1' SCALE

**MATERIAL LEGEND**

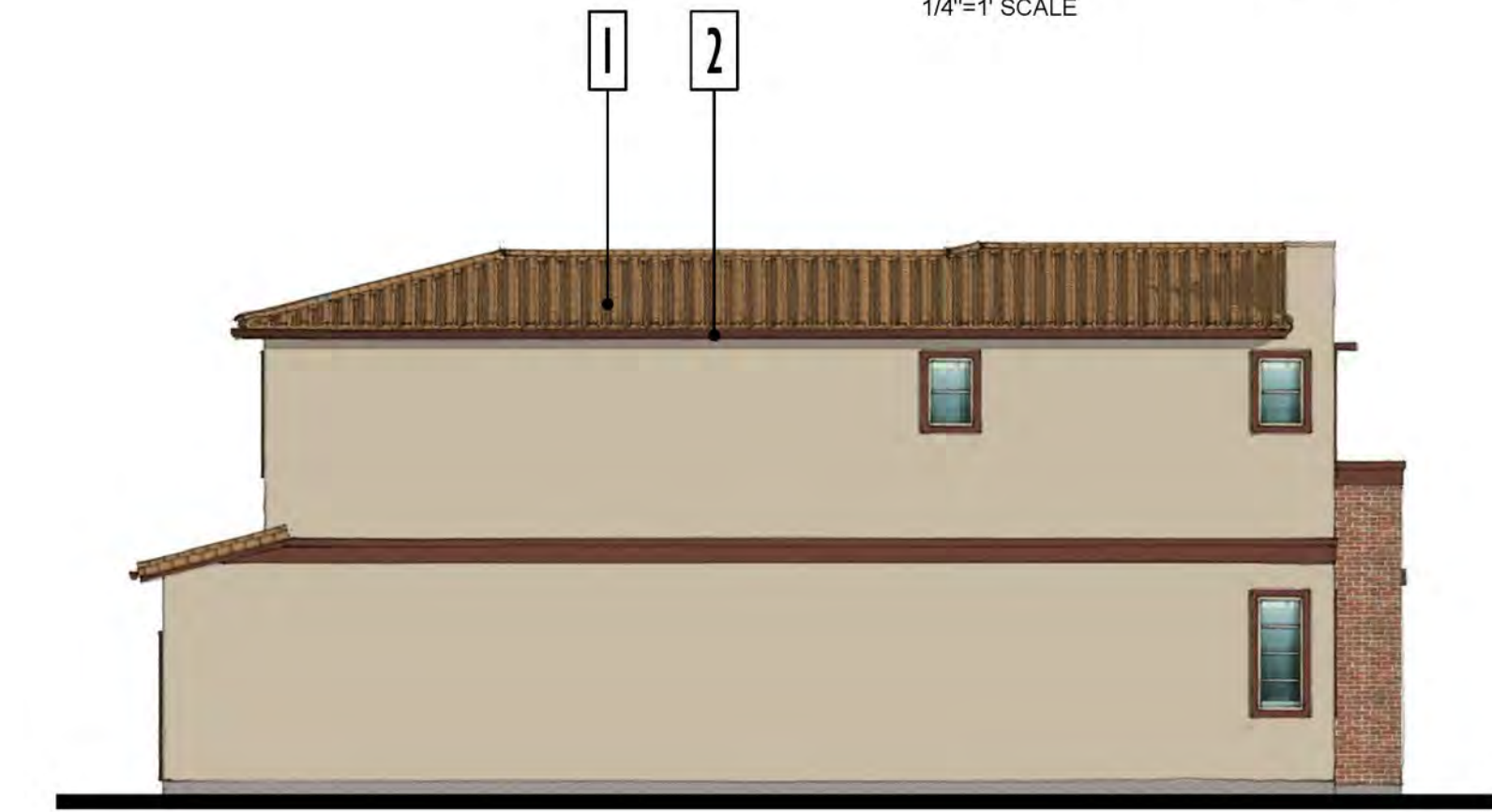
- 1 CONCRETE S-TILE ROOFING
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- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

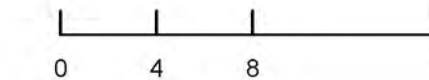


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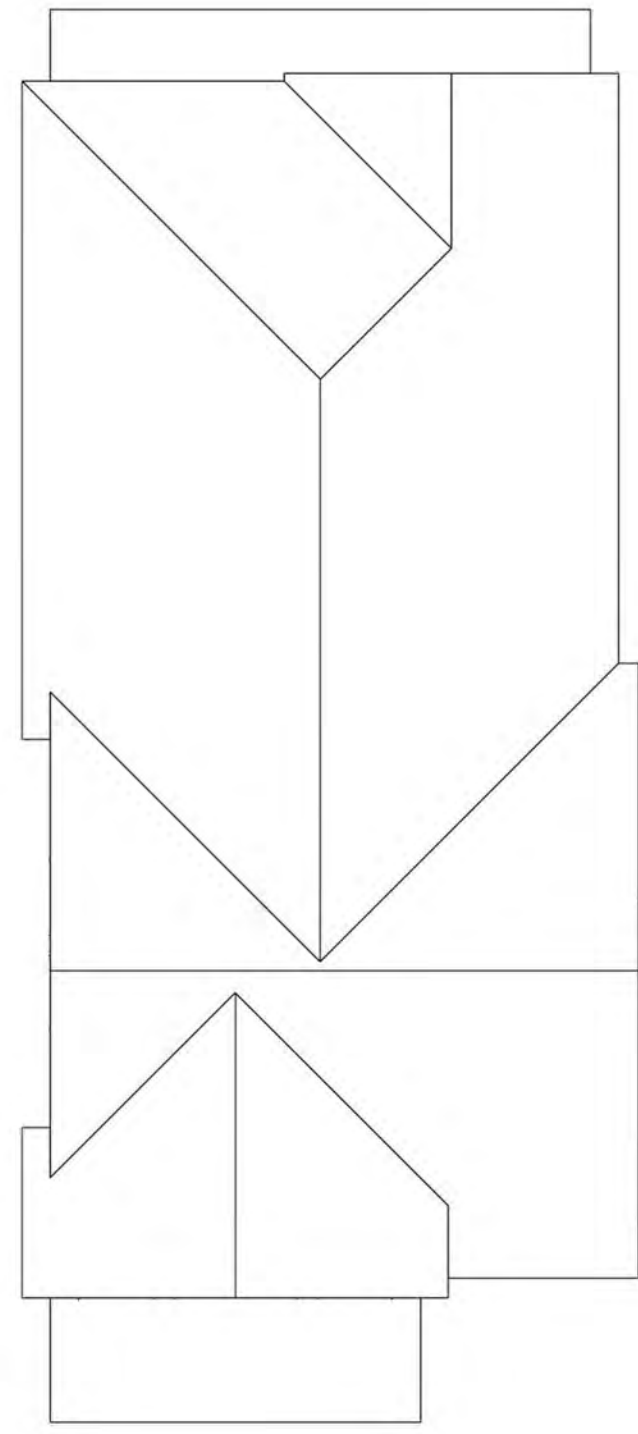
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SINGLE FAMILY PLAN 1 C ELEVATIONS

A4-5



4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE

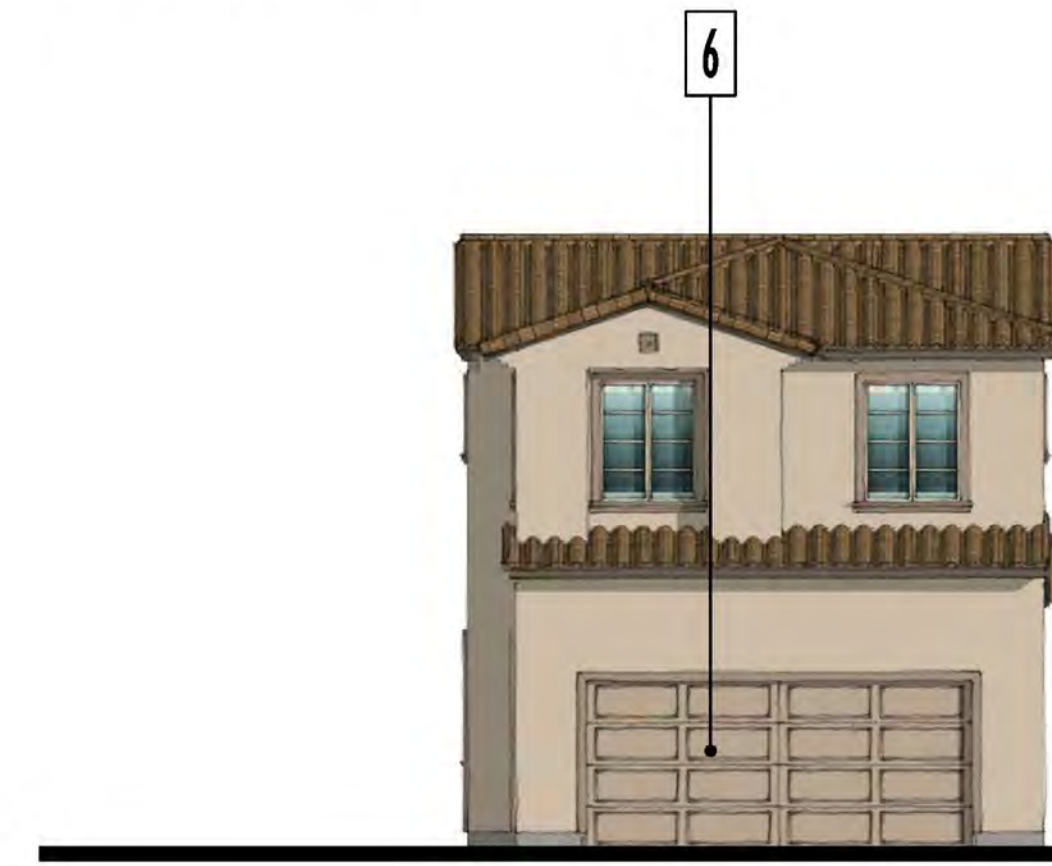


**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
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- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

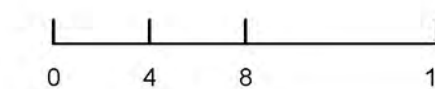


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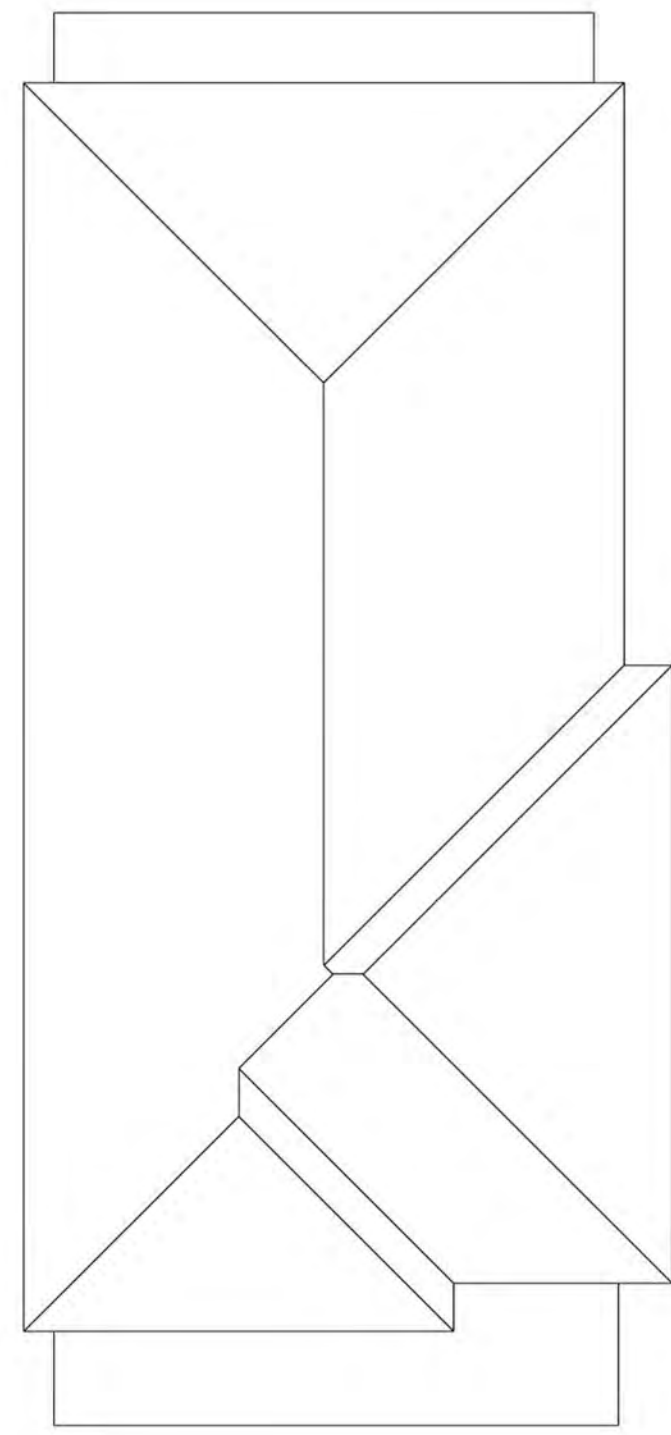
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SINGLE FAMILY PLAN 2 A ELEVATIONS

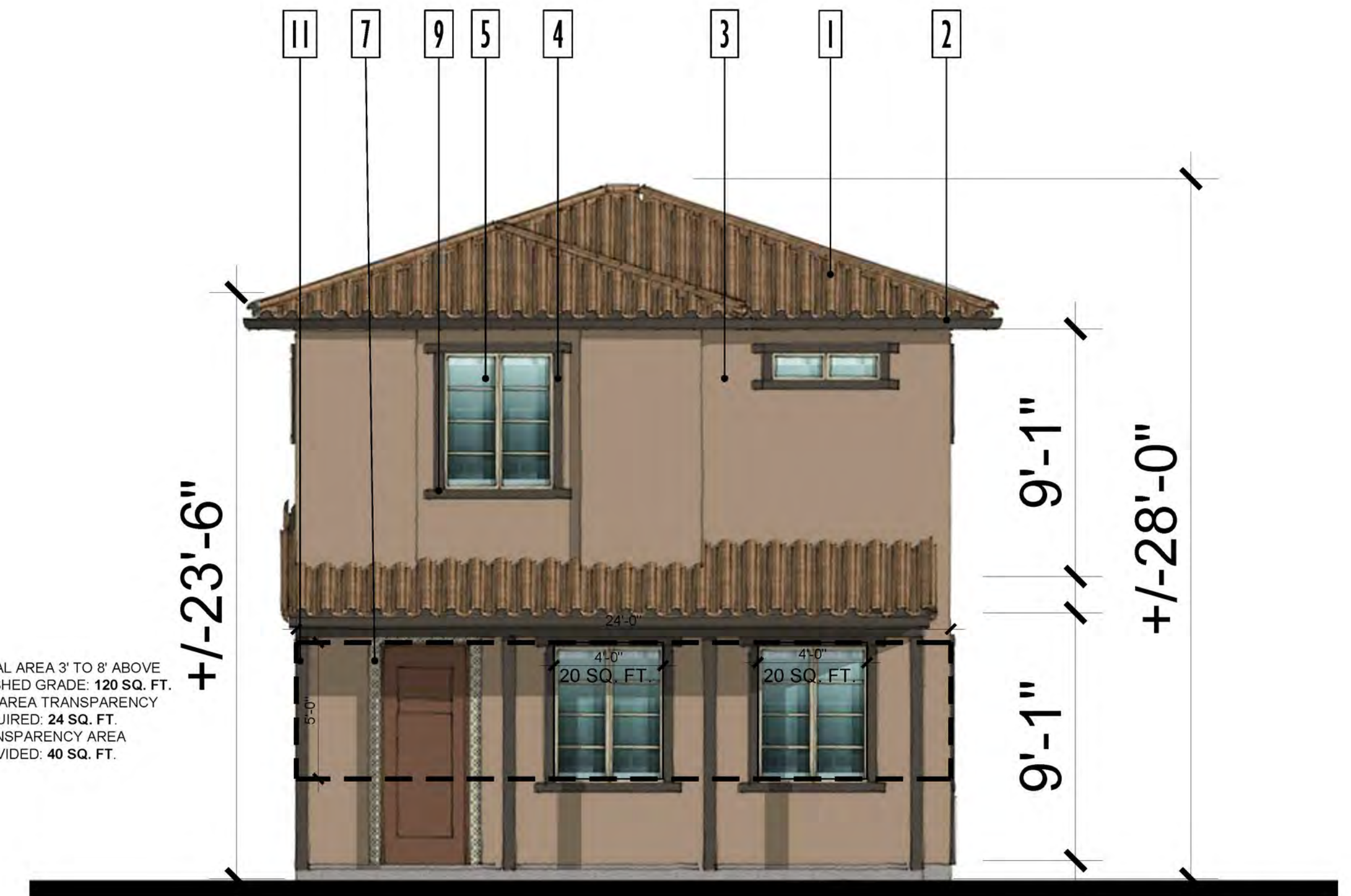
A4-6



4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 120 SQ. FT. 20% AREA TRANSPARENCY REQUIRED: 24 SQ. FT. TRANSPARENCY AREA PROVIDED: 40 SQ. FT.

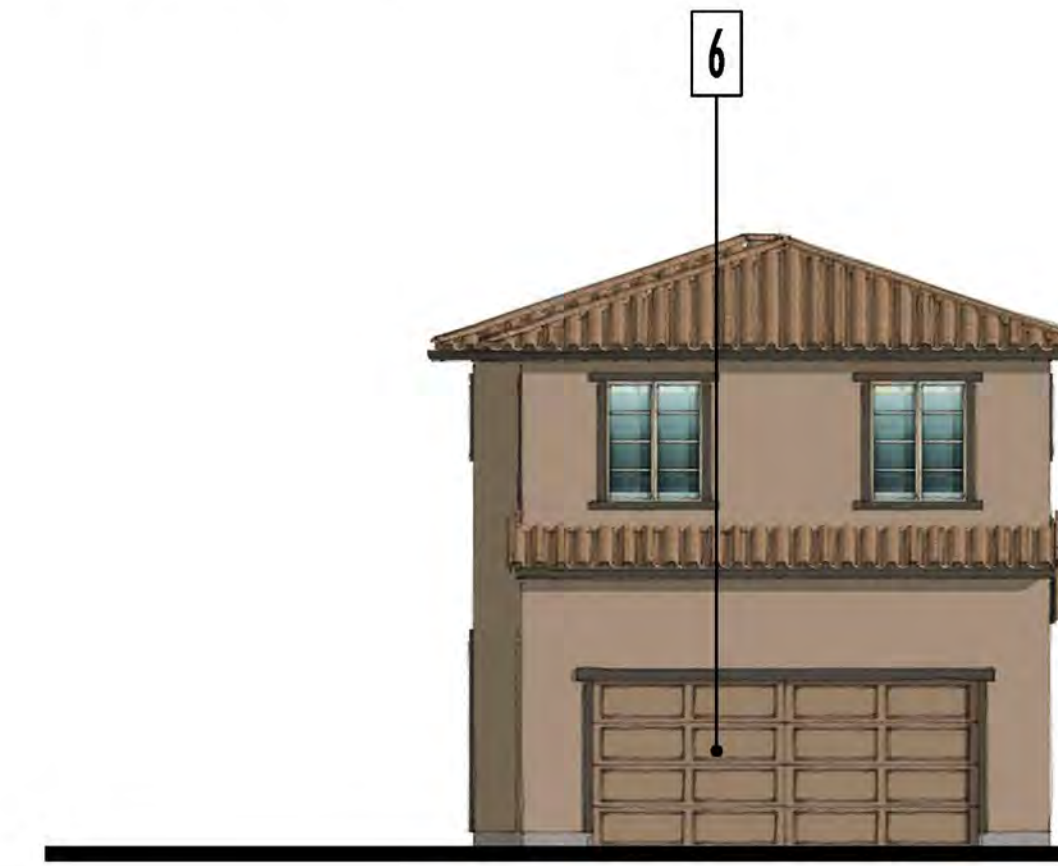
FRONT  
1/4"=1' SCALE

**MATERIAL LEGEND**

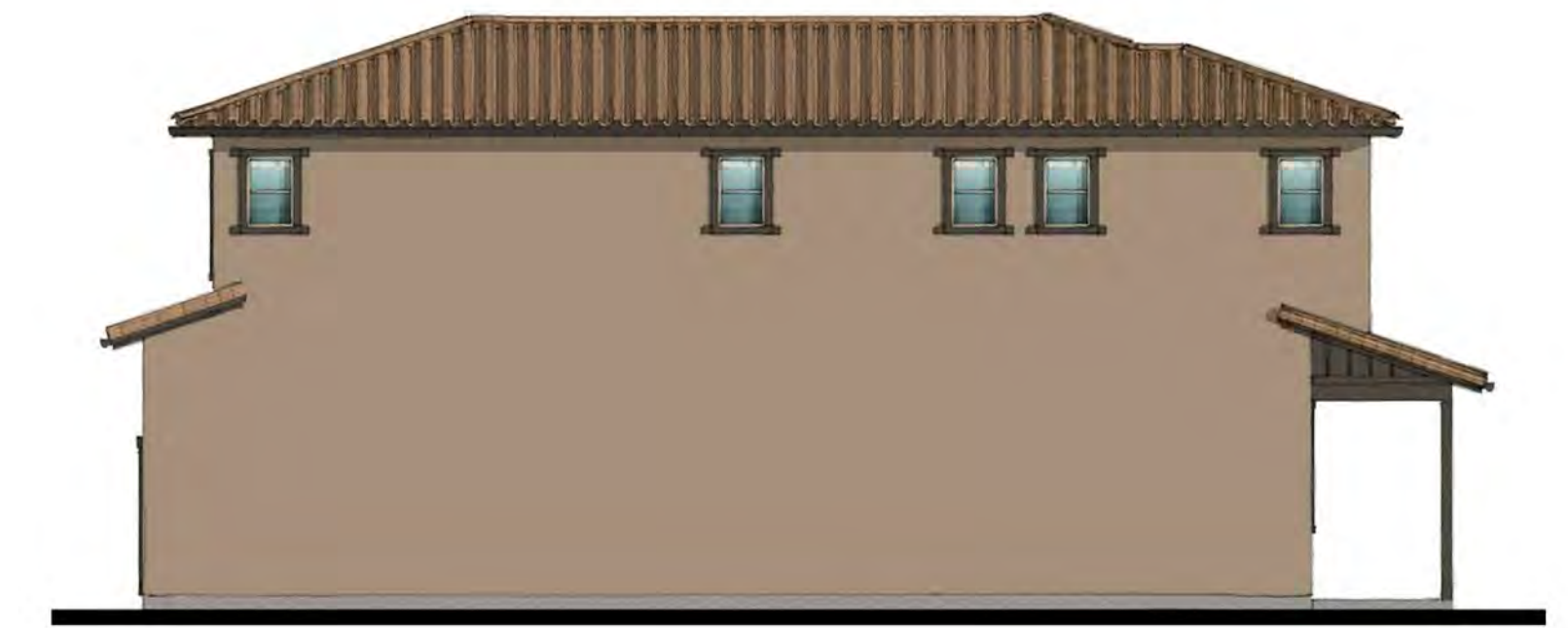
- 1 CONCRETE S-TILE ROOFING
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- 4 STUCCO FINISH TRIM SURROUND
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RIGHT



BACK



LEFT

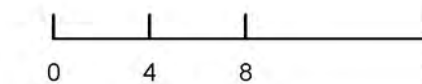


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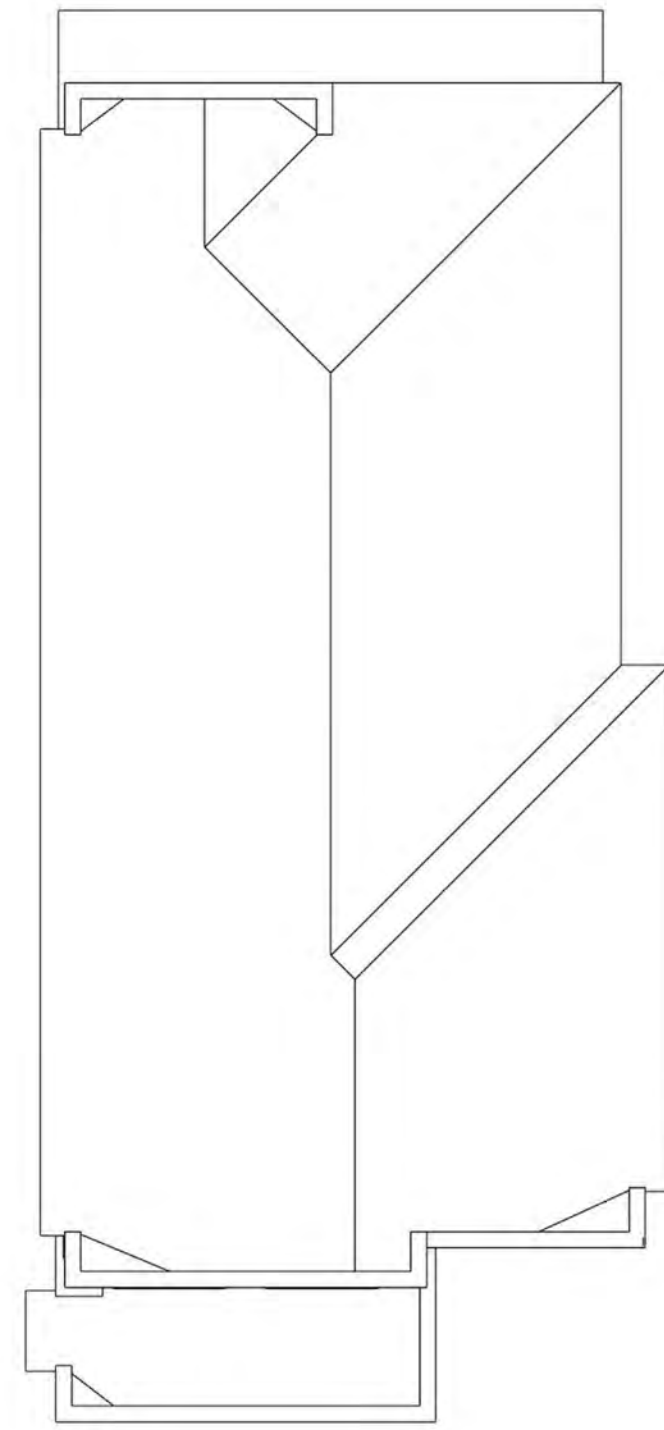
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SINGLE FAMILY PLAN 2 B ELEVATIONS

A4-7



3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 122 SQ. FT.  
20% AREA TRANSPARENCY REQUIRED: 24.5 SQ. FT.  
TRANSPARENCY AREA PROVIDED: 40 SQ. FT.

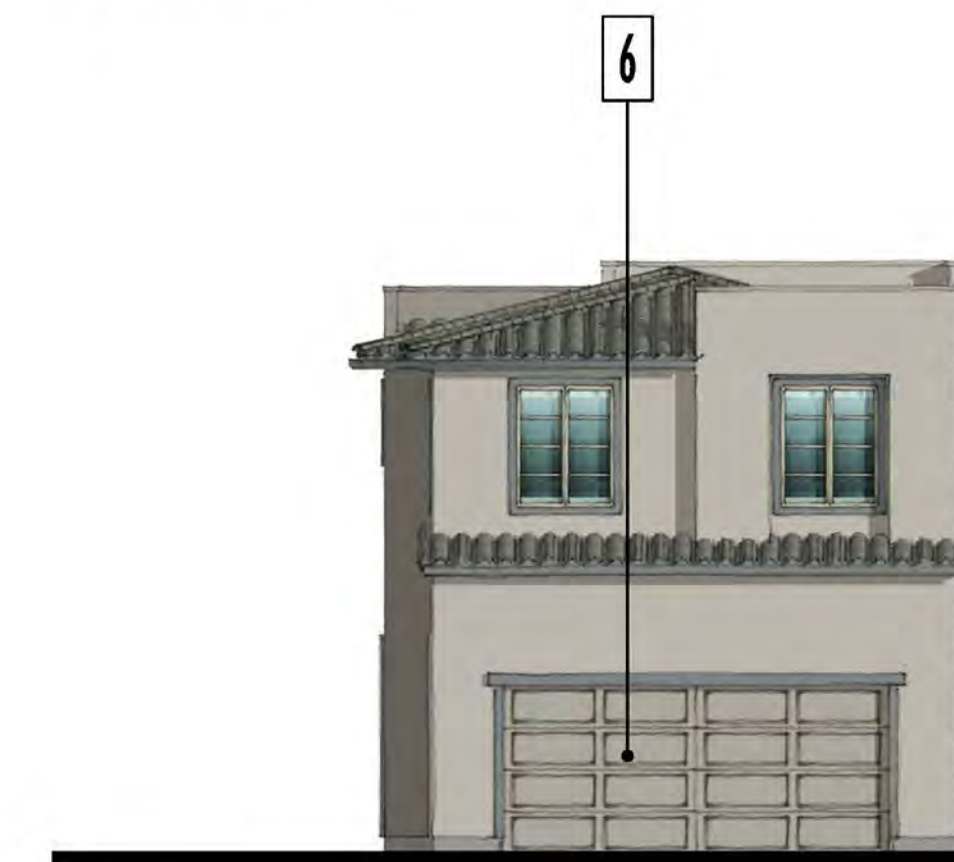
FRONT  
1/4"=1' SCALE

**MATERIAL LEGEND**

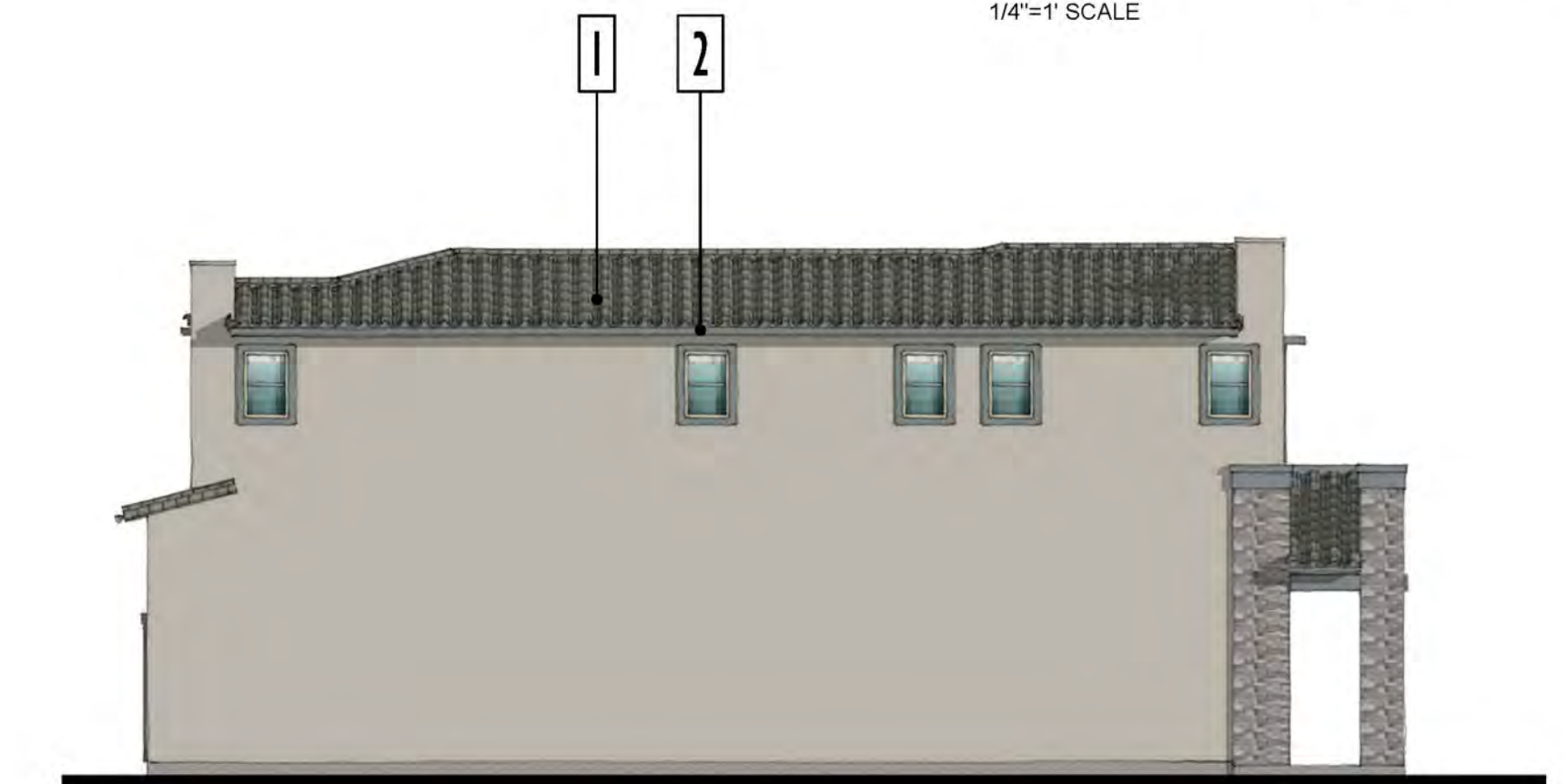
- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
- 8 WOOD OR COMPOSITE CORBEL
- 9 STUCCO FINISH TRIM
- 10 STUCCO FINISH EAVE DETAIL (WHERE SHOWN ON SPANISH)
- 11 WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

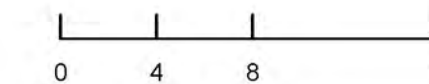


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Los Angeles, CA 90067

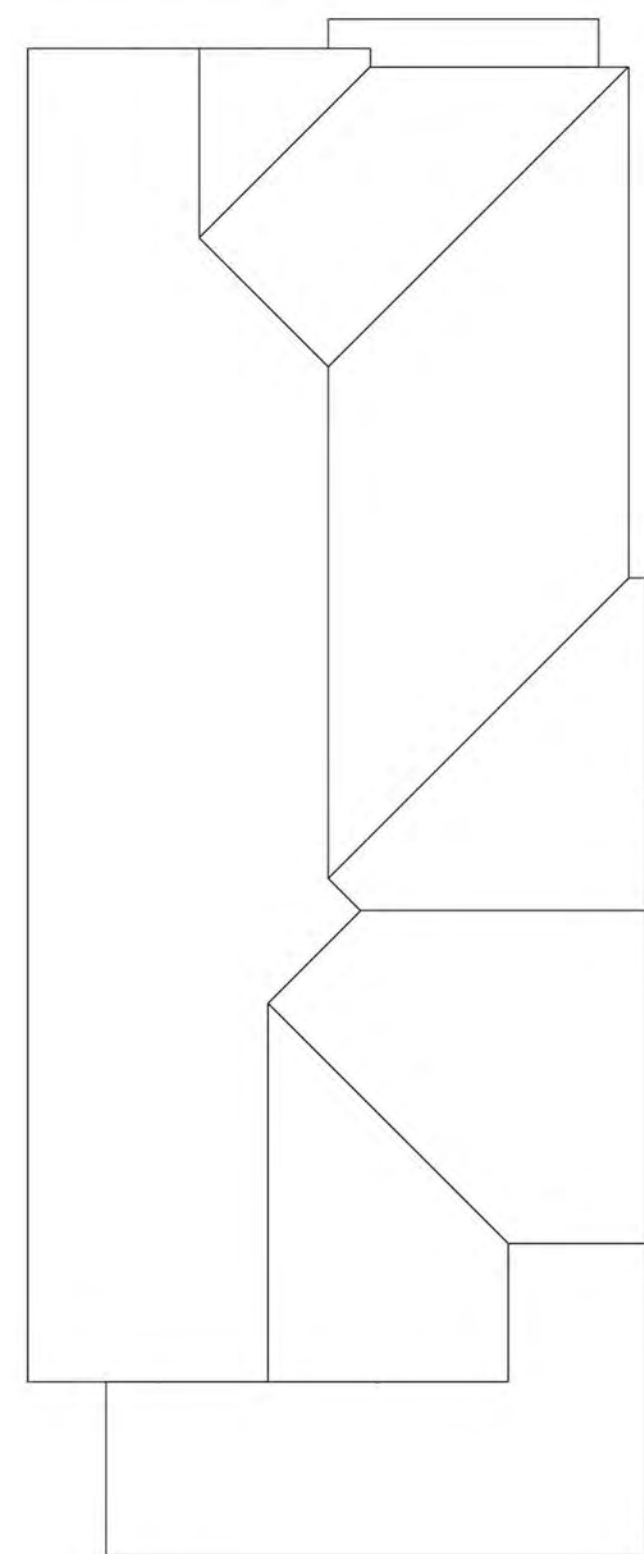
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 2 C ELEVATIONS

A4-8



4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



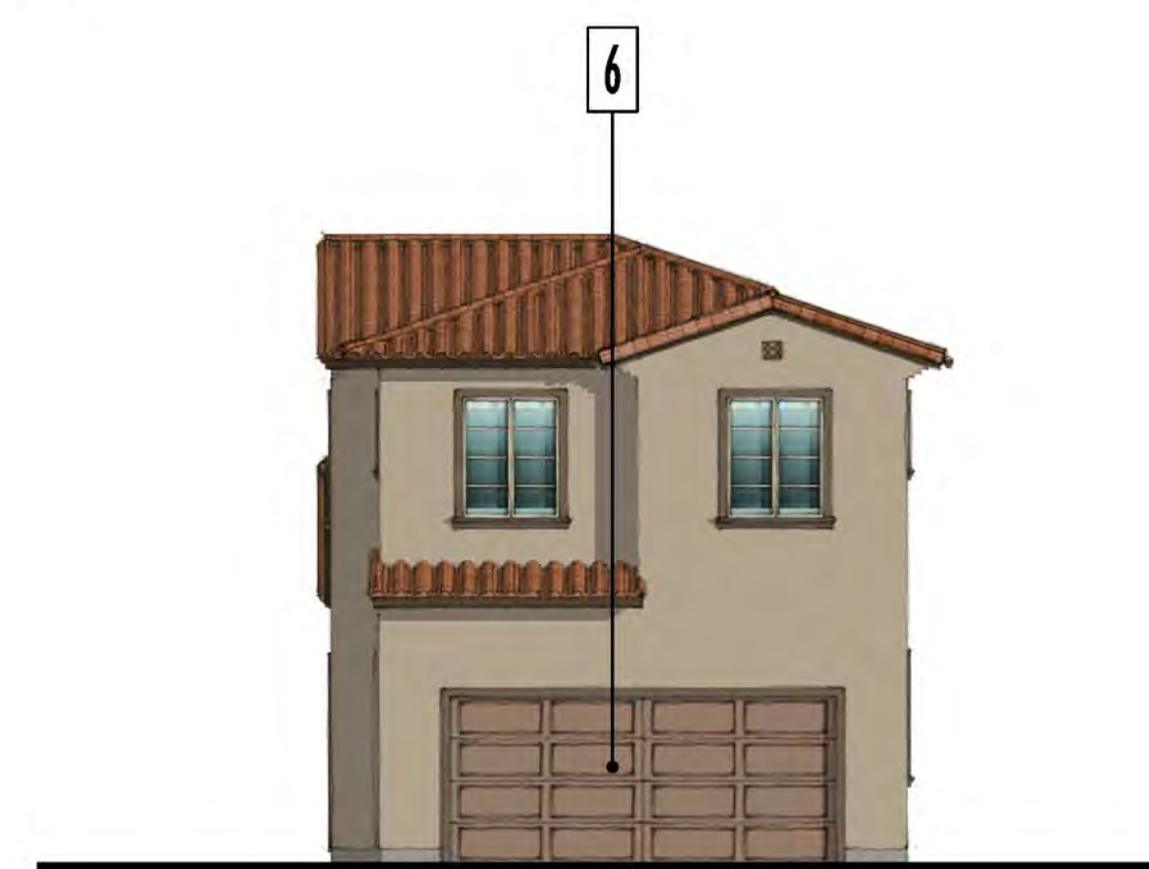
FRONT  
1/4"=1' SCALE

**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
- 8 WOOD OR COMPOSITE CORBEL
- 9 STUCCO FINISH TRIM
- 10 STUCCO FINISH EAVE DETAIL (WHERE SHOWN ON SPANISH)
- 11 WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 1/4" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

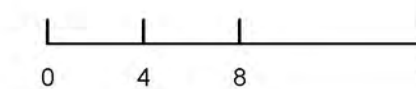


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

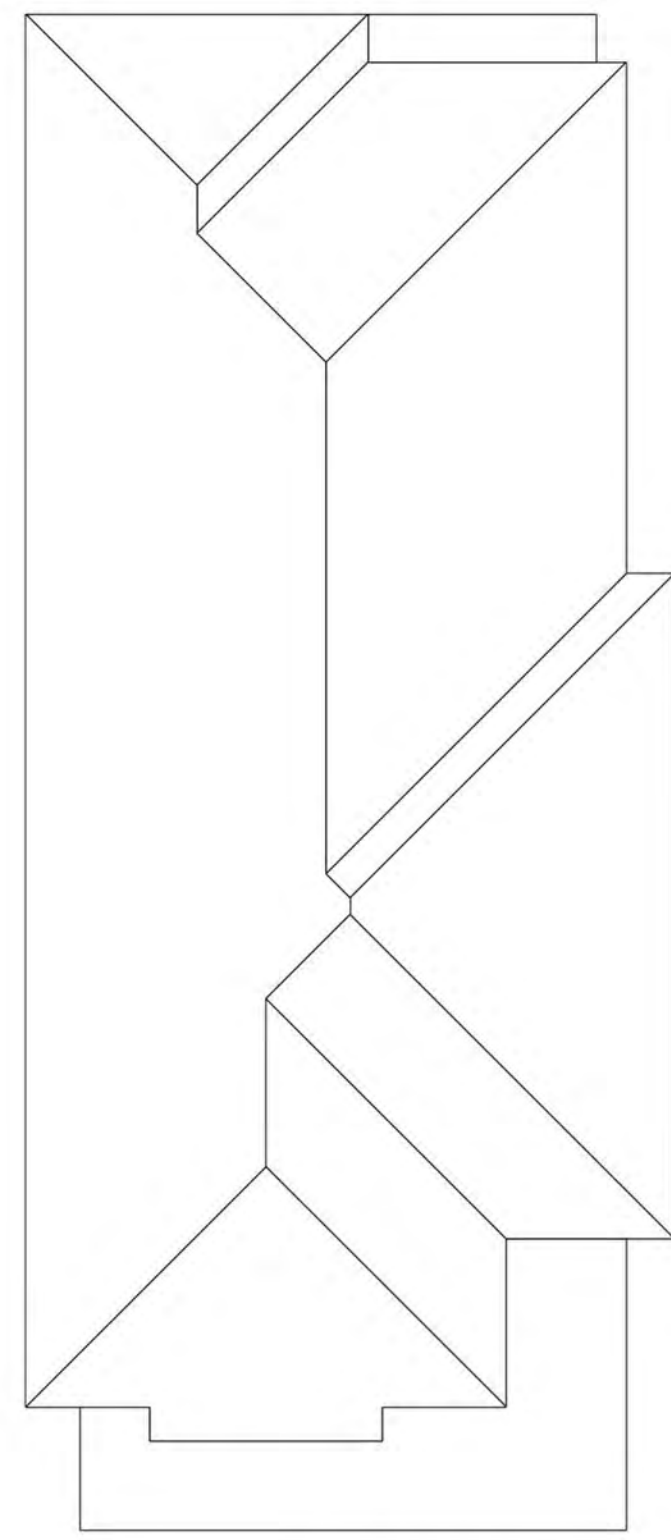
CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 3 A ELEVATIONS

A4-9



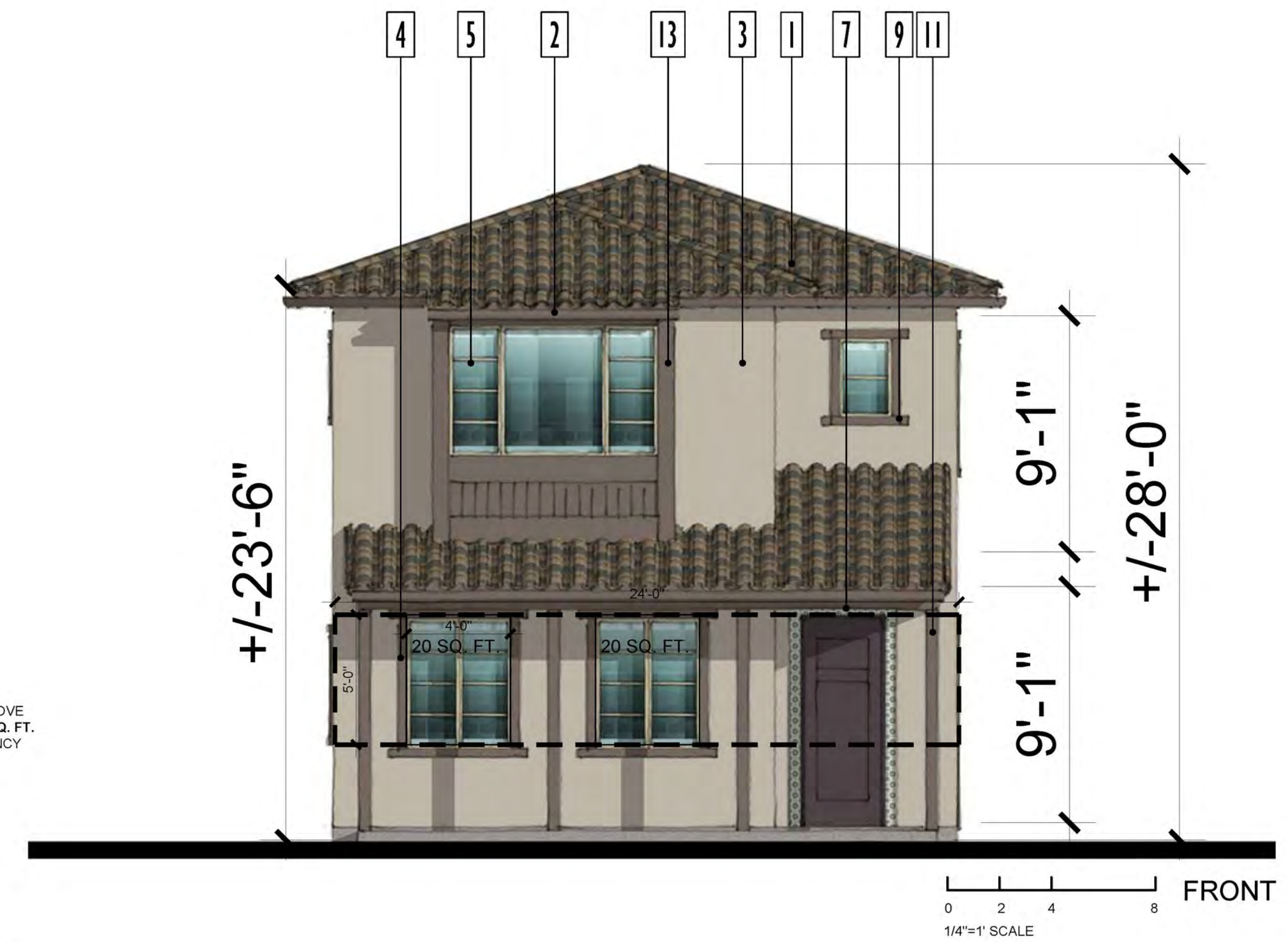


4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE

TOTAL AREA 3' TO 8' ABOVE FINISHED GRADE: 120 SQ. FT.  
20% AREA TRANSPARENCY REQUIRED: 24 SQ. FT.  
TRANSPARENCY AREA PROVIDED: 40 SQ. FT.

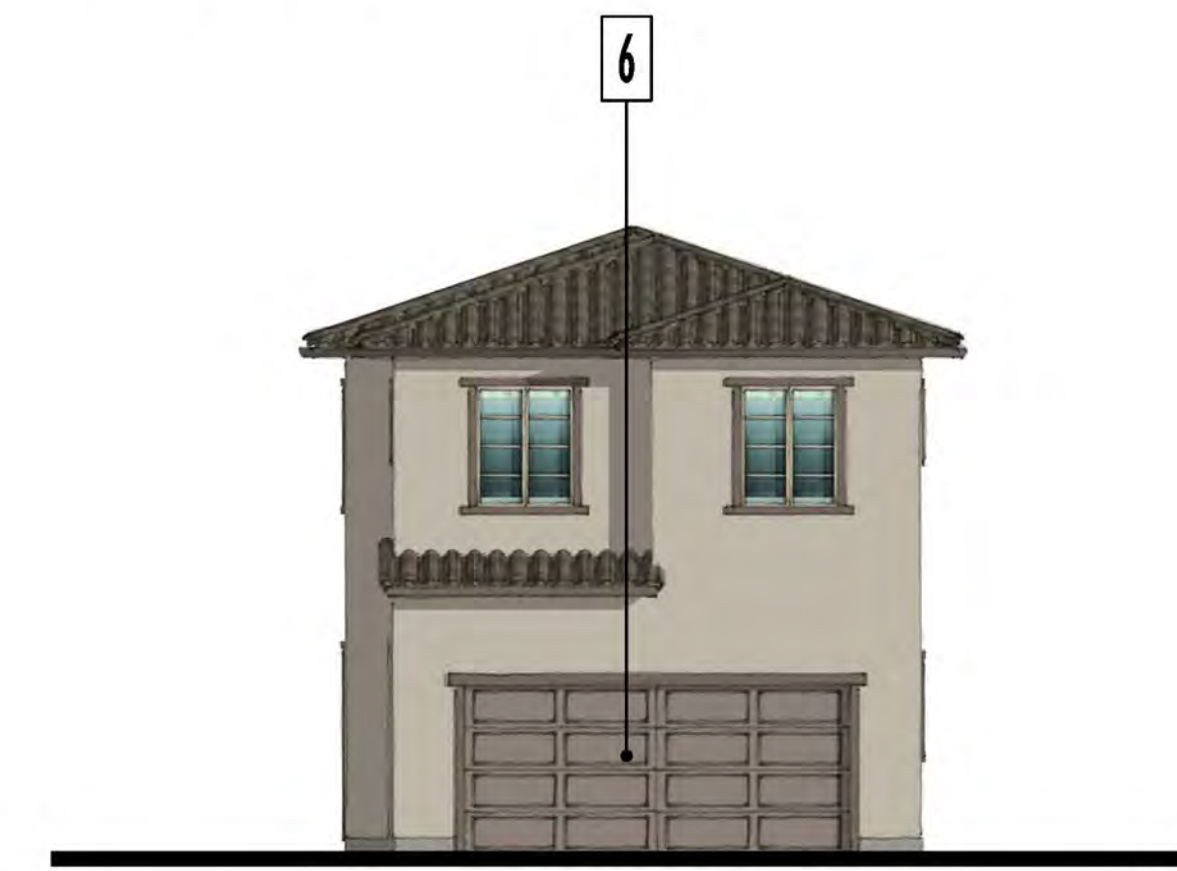


**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
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- 11 WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

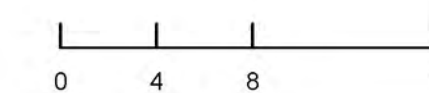


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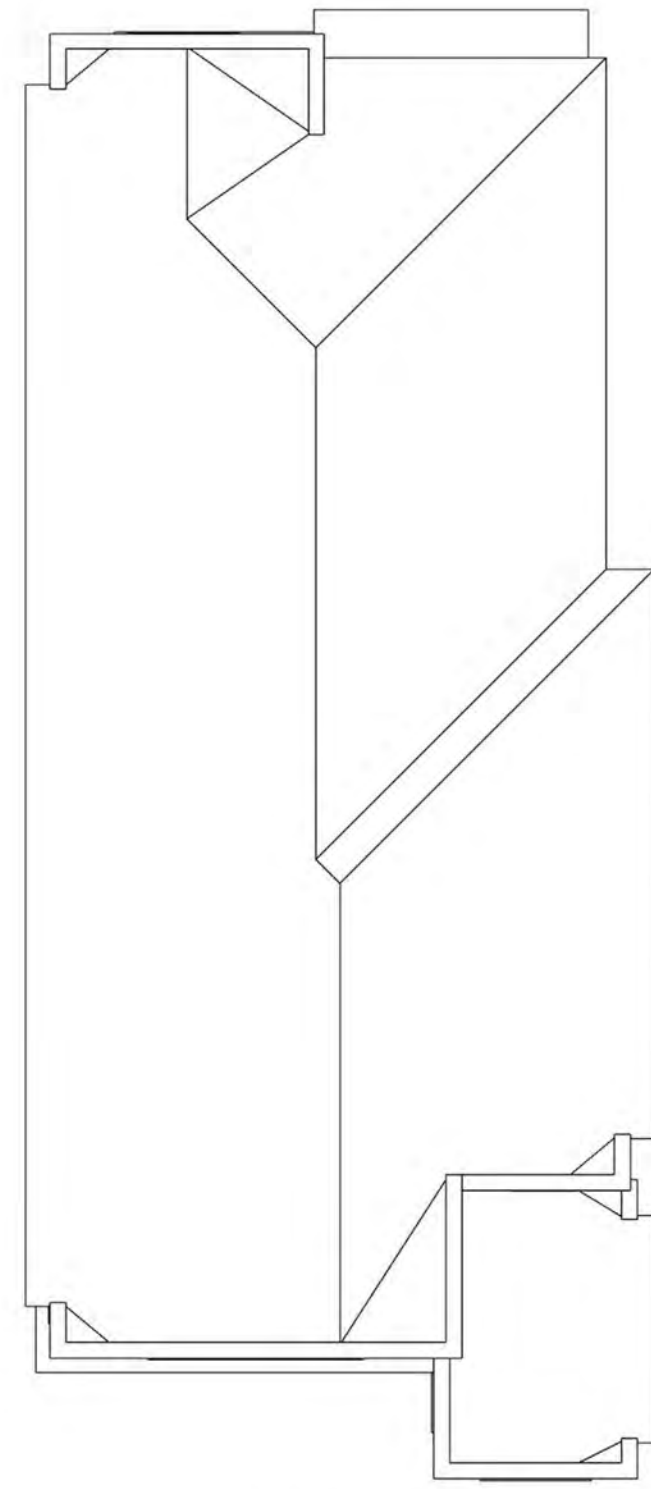
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 3 B ELEVATIONS

A4-10



3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
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- 11 WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- 12 MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- 13 WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

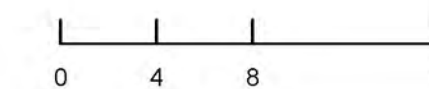


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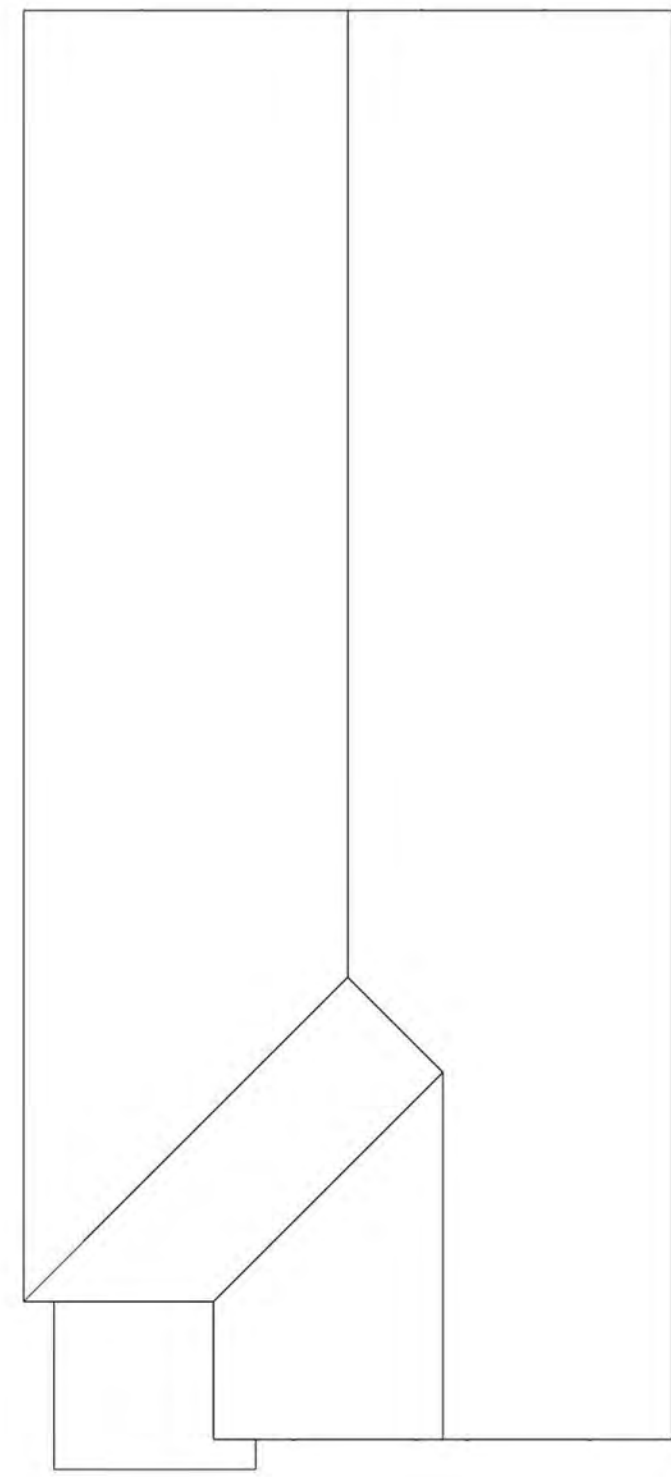
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 3 C ELEVATIONS

A4-11



4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE

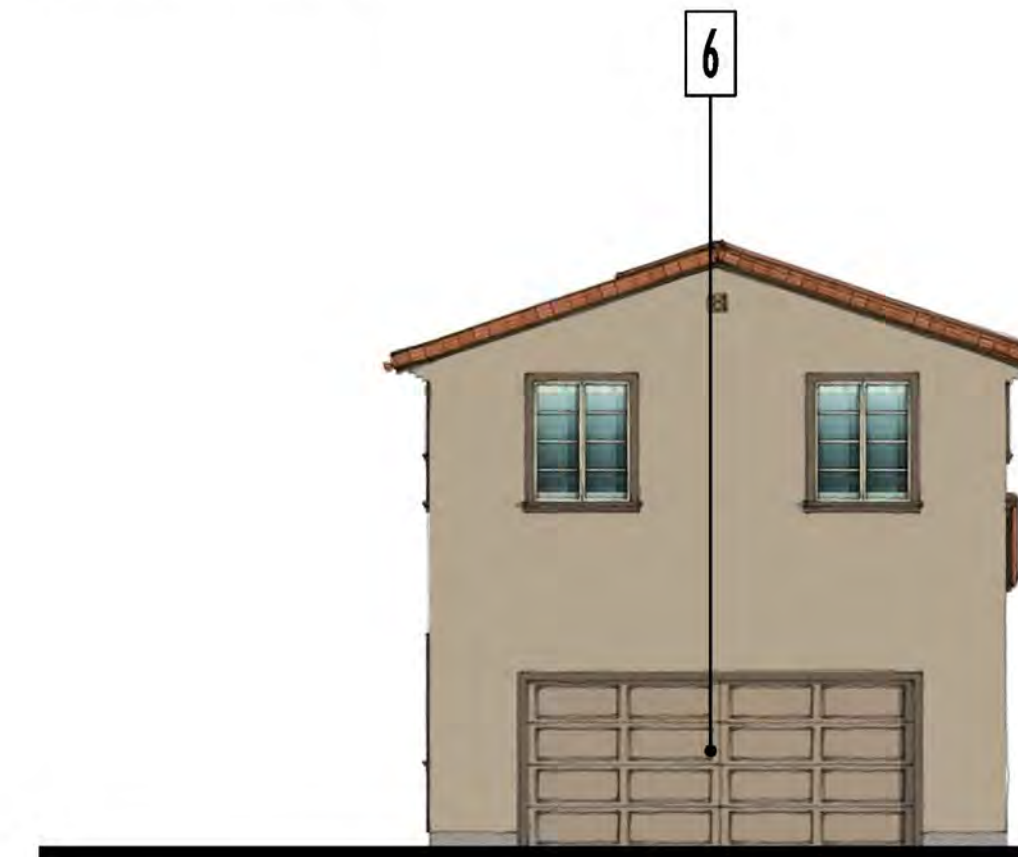


**MATERIAL LEGEND**

- [1] CONCRETE S-TILE ROOFING
- [2] WOOD FASCIA BOARD
- [3] STUCCO FINISH
- [4] STUCCO FINISH TRIM SURROUND
- [5] VINYL WINDOW SYSTEM
- [6] METAL SECTIONAL GARAGE DOOR
- [7] DECORATIVE TILE RECESS DETAIL
- [8] WOOD OR COMPOSITE CORBEL
- [9] STUCCO FINISH TRIM
- [10] STUCCO FINISH EAVE DETAIL (WHERE SHOWN ON SPANISH)
- [11] WOOD PORCH POST (WHERE SHOWN ON MONTEREY)
- [12] MASONRY VENEER (WHERE SHOWN ON DESERT CONTEMPORARY)
- [13] WOOD OR COMPOSITE TRIM AND SIDING AT BAY WINDOW (WHERE SHOWN)
- [14] 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

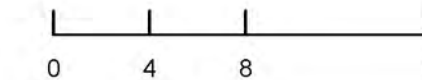


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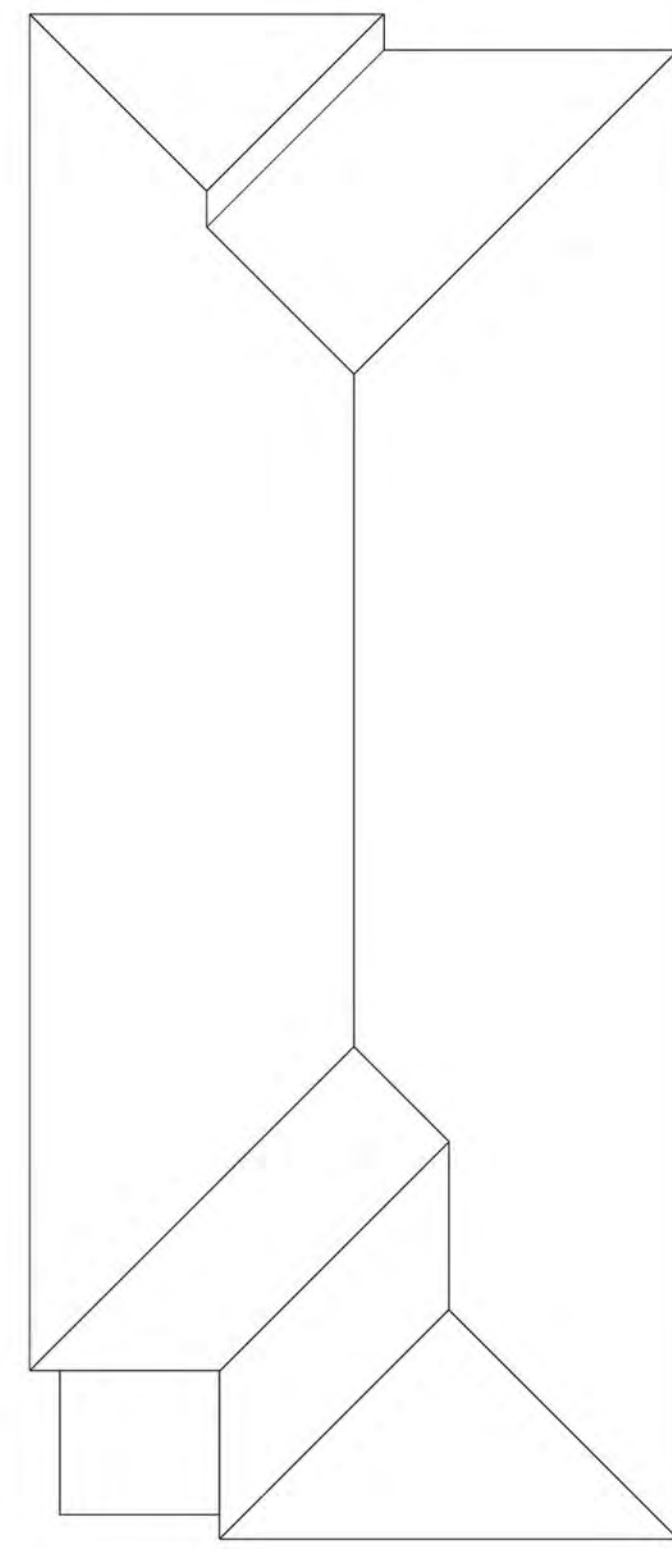
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ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 4 A ELEVATIONS

A4-12



4:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE

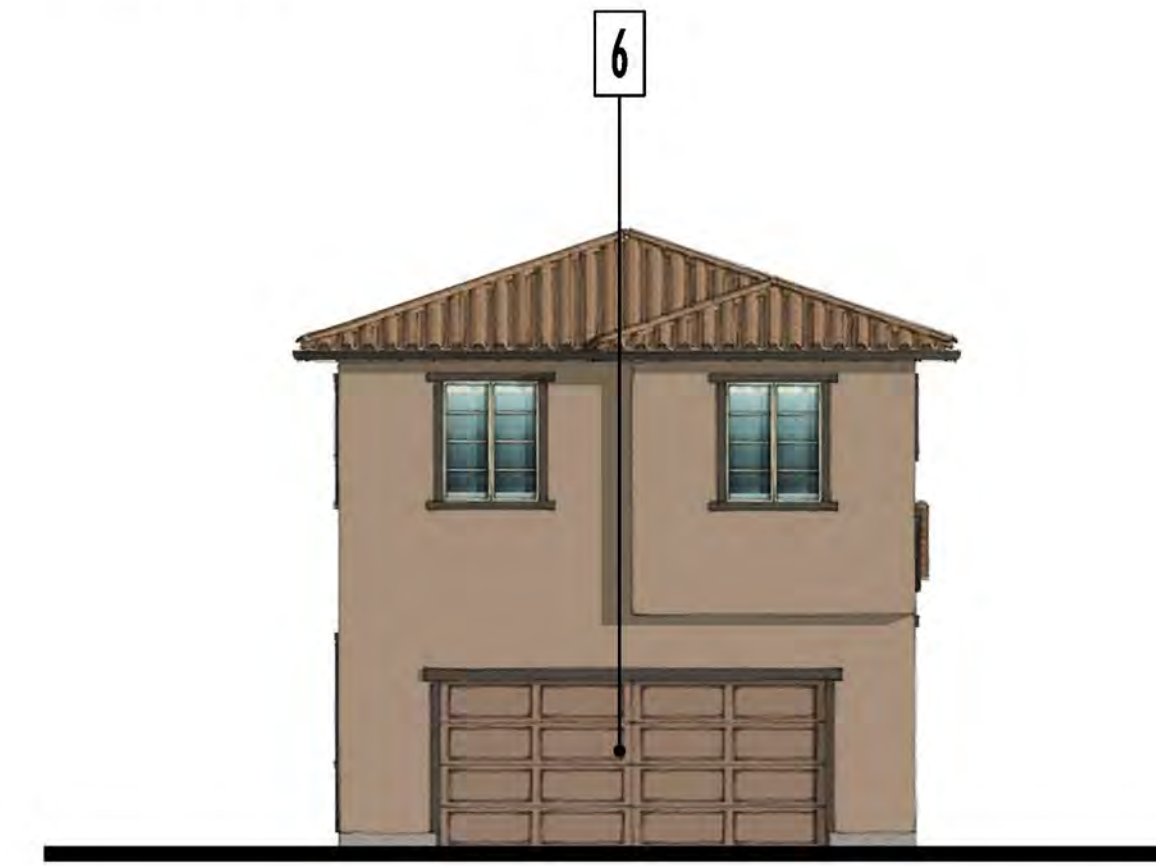


**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
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- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
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- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES



RIGHT



BACK



LEFT

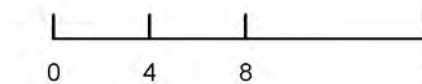


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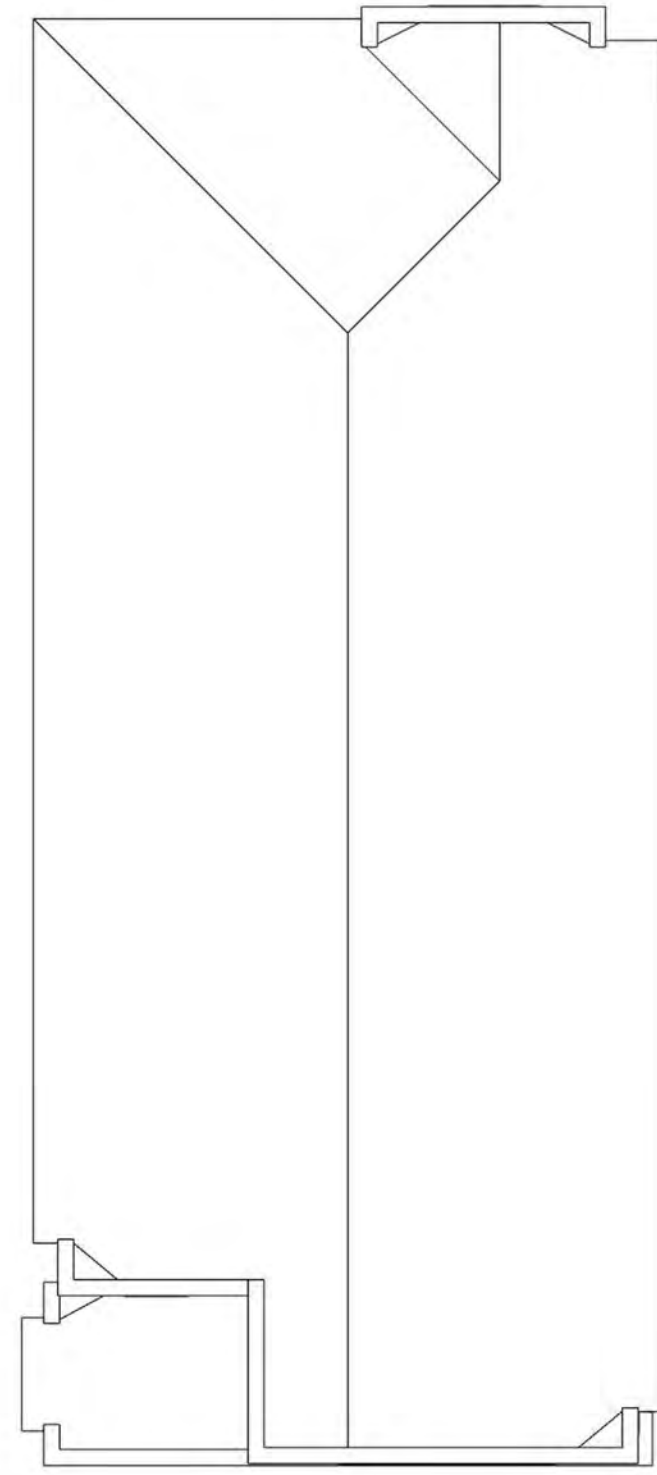
**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 4 B ELEVATIONS

A4-13

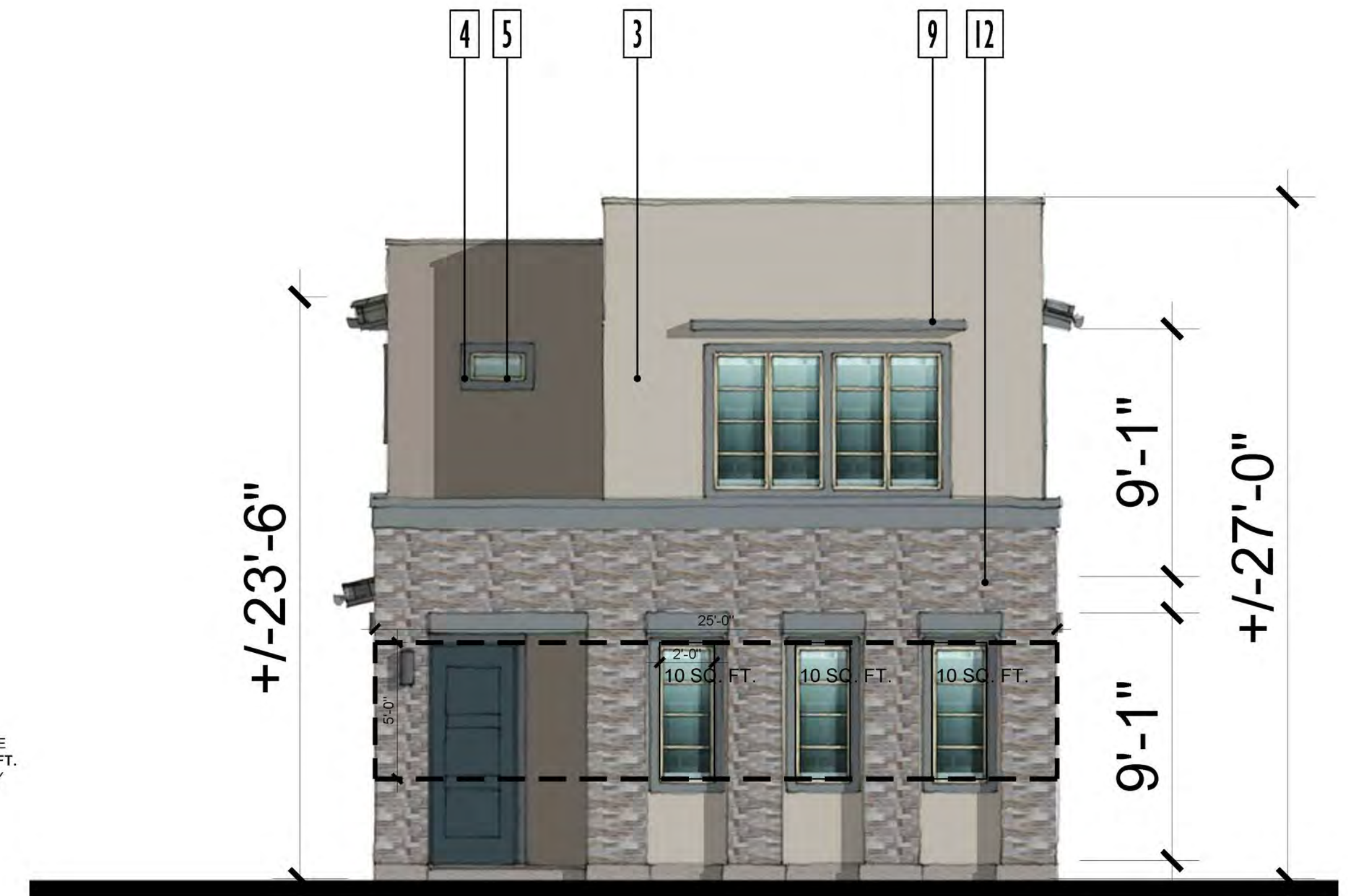


3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE

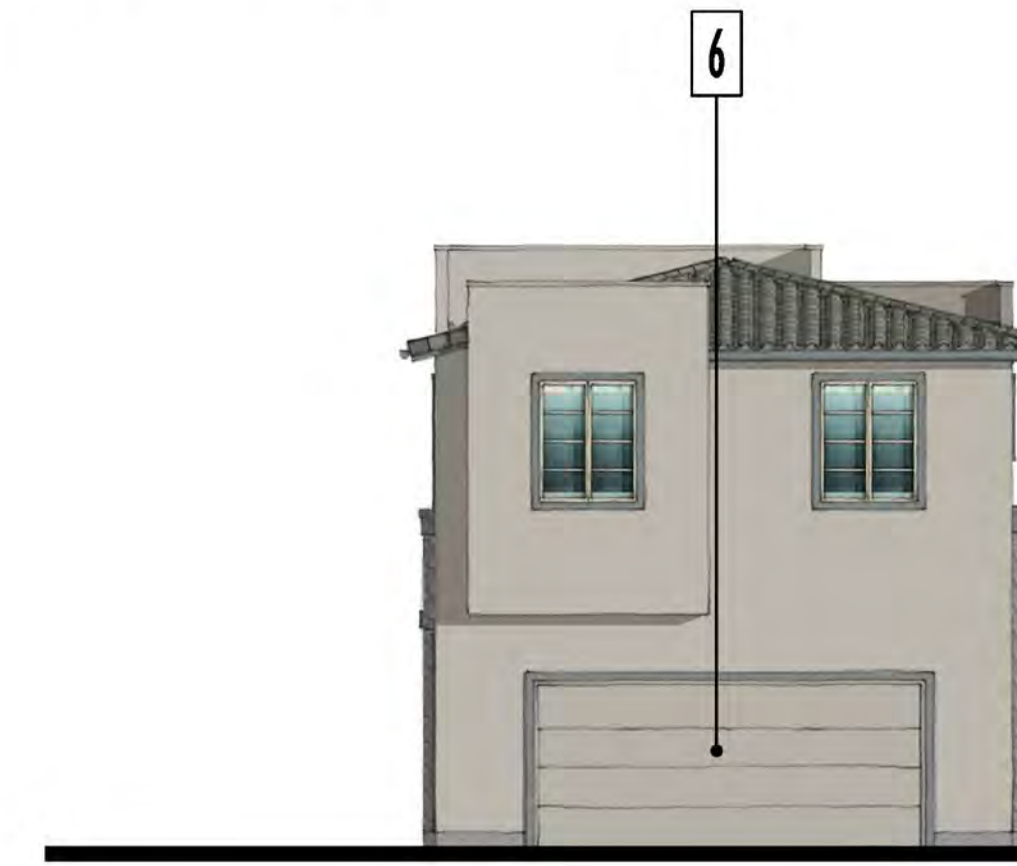
TOTAL AREA 3' TO 8' ABOVE  
FINISHED GRADE: 125 SQ. FT.  
20% AREA TRANSPARENCY  
REQUIRED: 25 SQ. FT.  
TRANSPARENCY AREA  
PROVIDED: 30 SQ. FT.



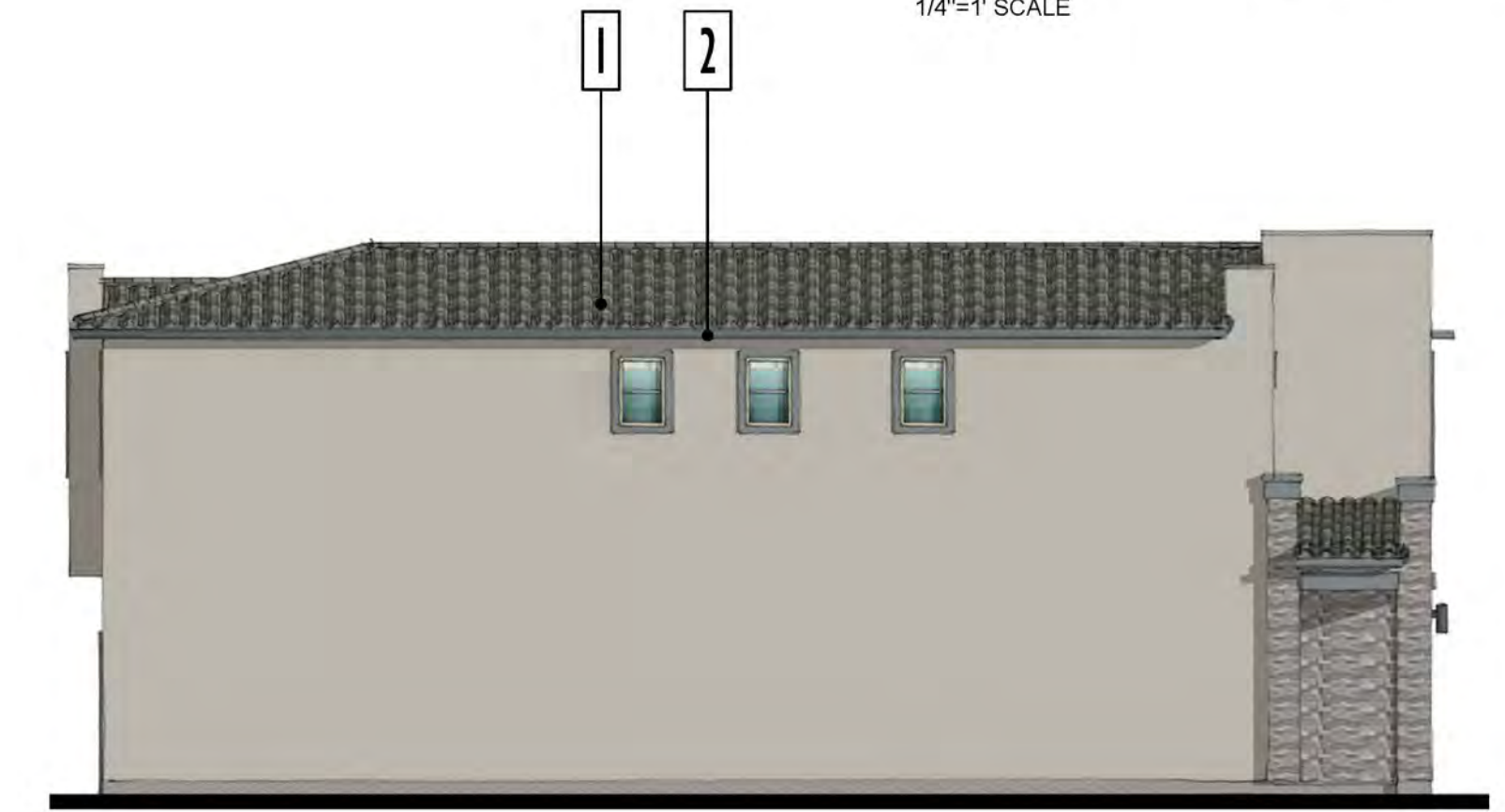
FRONT  
1/4"=1' SCALE



RIGHT



BACK



LEFT

**MATERIAL LEGEND**

- 1 CONCRETE S-TILE ROOFING
- 2 WOOD FASCIA BOARD
- 3 STUCCO FINISH
- 4 STUCCO FINISH TRIM SURROUND
- 5 VINYL WINDOW SYSTEM
- 6 METAL SECTIONAL GARAGE DOOR
- 7 DECORATIVE TILE RECESS DETAIL
- 8 WOOD OR COMPOSITE CORBEL
- 9 STUCCO FINISH TRIM
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- 14 14" HEEL TYPICAL AT ALL ROOF TRUSSES

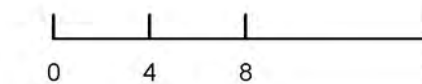


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
JUNE 2, 2023



SINGLE FAMILY PLAN 4 C ELEVATIONS

A4-14

February 2, 2023

## ***BEDROCK***

### LaTerra Development II – Albuquerque, NM Exterior Color Schemes for Amenity Elevations

ELEVATION STYLE	COLOR SCHEME	ROOF TILE COLOR	PRIMARY STUCCO BODY COLOR	SECONDARY STUCCO BODY COLOR	FASCIA COLOR	TRIM COLOR	GARAGE DOOR COLOR	FRONT DOOR COLOR	CERAMIC TILE
Monterey – Santa Barbara	<b>1</b> Light	Kings Canyon Blend 3634	Pavilion Beige SW 7512 (LRV 48) 250-C4	Curio Gray SW 0024 (LRV 26)	Sealskin SW 7675 (LRV 6) 277-C7	Resort Tan SW 7550 (LRV 22) 284-C7	Warm Stone SW 7032 (LRV 20) 243-C5	Brainstorm Bronze SW 7033 (LRV 15) 243-C6	Santa Barbara Olive Alameda 20165
		Capistrano Profile Eagle Roofing	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Tierra Y Fuego

**Window and Door Frame Color:** Desert Sand

**Notes:**

- SEE COLOR CARTOONED ELEVATIONS FOR LOCATIONS – COLORS SHOWN IN MATRIX COORESPOND WITH COLOR CARTOONS.
- STUCCO PAINT COLORS SHOULD TRANSITION ON INSIDE CORNERS ONLY.
- PAINTING CONTRACTOR SHALL REVIEW COLORS AND COLOR LOCATIONS WITH ARCHITECT BEFORE COMMENCING WORK.
- PAINT WALL VENTS TO MATCH SURROUNDING SURFACE.
- EXPOSED GUTTERS + DOWNSPOUTS SHALL BE COLORED TO MATCH THE SURFACE TO WHICH THEY ARE ATTACHED.
- GARAGE MAN-DOOR AND TRIM SURROUNDING SHOULD BE PAINTED TO MATCH THE ADJACENT SURFACE BODY COLOR.



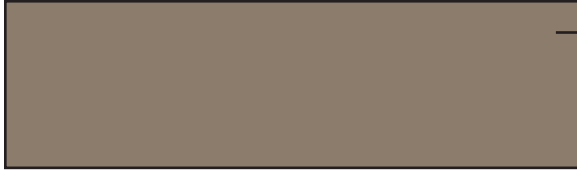
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3634 *KINGS CANYON BLEND*



**STUCCO BODY**

SW PAINTS  
SW 7512 *PAVILION BEIGE*



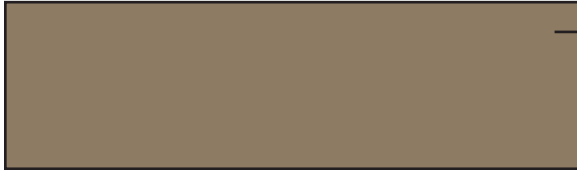
**SECONDARY STUCCO BODY**

SW PAINTS  
SW 0024 *CURIO GRAY*



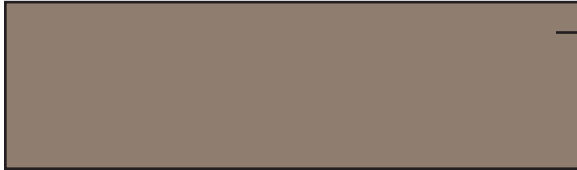
**FASCIA**

SW PAINTS  
SW 7675 *SEALSKIN*



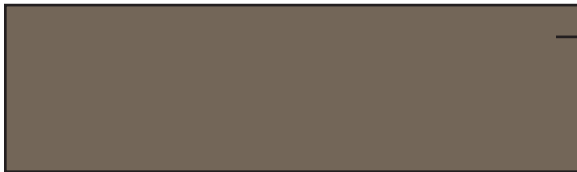
**TRIM**

SW PAINTS  
SW 7550 *RESORT TAN*



**GARAGE DOOR**

SW PAINTS  
SW 7032 *WARM STONE*



**FRONT DOOR**

SW PAINTS  
SW 7033 *BRAINSTORM BRONZE*



**CERAMIC TILE**

TIERRA Y FUEGO  
20165 *OLIVE ALAMEDA*  
*SANTA BARBARA*

COLOR + MATERIAL BOARD | SCHEME 1  
ELEVATION B - MONTEREY - LIGHT

**FRONT DOOR** - THERMA-TRU, CLASSIC - CRAFT CANVAS 8'-0" HT.

**STYLE**

---

**B**



THERMA-TRU  
CLASSIC CRAFT  
FOUNDERS COLLECTION  
CCV8220

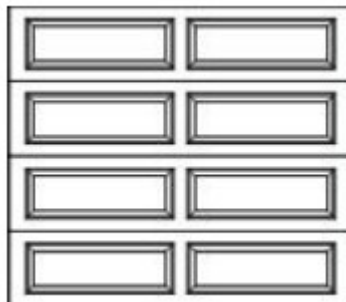
**GARAGE DOOR** - WAYNE DALTON - 8'-0" HT.

**STYLE**

---

**B**

MOTEREY



WAYNE DALTON  
9100 SERIES



February 2, 2023

## ***BEDROCK***

### LaTerra Development II – Albuquerque, NM Exterior Color Schemes for Multi-Family Elevations

ELEVATION STYLE	COLOR SCHEME	ROOF TILE COLOR	PRIMARY STUCCO BODY COLOR	SECONDARY STUCCO BODY COLOR	FASCIA COLOR	TRIM COLOR	GARAGE DOOR COLOR	FRONT DOOR COLOR	CERAMIC TILE
Monterey – Santa Barbara	<b>1</b> Medium	Sunrise Blend 3645	Smoky Beige SW 9087 (LRV 40) 199-C3	Double Latte SW 9108 (LRV 28) 204-C4	Roycroft Brass SW 2843 (LRV 15)	Roycroft Brass SW 2843 (LRV 15)	Latte SW 6108 (LRV 38) 204-C3	Eclipse SW 6166 (LRV 14) 212-C6	Santa Barbara Olive Trinidad Gloss 30915
		Capistrano Profile Eagle Roofing	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Tierra Y Fuego

**Window and Door Frame Color:** Desert Sand

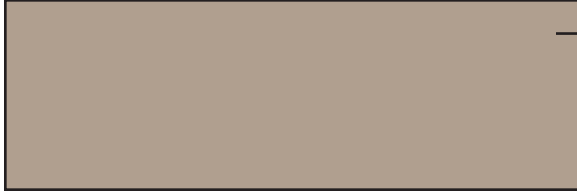
**Notes:**

- SEE COLOR CARTOONED ELEVATIONS FOR LOCATIONS – COLORS SHOWN IN MATRIX COORESPOND WITH COLOR CARTOONS.
- STUCCO PAINT COLORS SHOULD TRANSITION ON INSIDE CORNERS ONLY.
- PAINTING CONTRACTOR SHALL REVIEW COLORS AND COLOR LOCATIONS WITH ARCHITECT BEFORE COMMENCING WORK.
- PAINT WALL VENTS TO MATCH SURROUNDING SURFACE.
- EXPOSED GUTTERS + DOWNSPOUTS SHALL BE COLORED TO MATCH THE SURFACE TO WHICH THEY ARE ATTACHED.
- GARAGE MAN-DOOR AND TRIM SURROUNDING SHOULD BE PAINTED TO MATCH THE ADJACENT SURFACE BODY COLOR.



**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
9645 *SUNRISE BLEND*



**STUCCO BODY**

SW PAINTS  
SW 9087 *SMOKY BEIGE*



**SECONDARY STUCCO BODY**

SW PAINTS  
SW 9108 *DOUBLE LATTE*



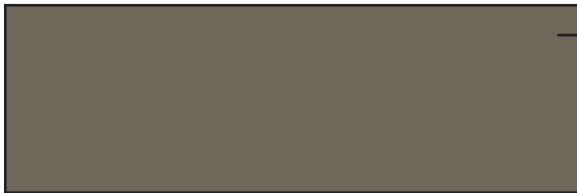
**FASCIA + TRIM**

SW PAINTS  
SW 2843 *ROYCROFT BRASS*



**GARAGE DOOR**

SW PAINTS  
SW 6108 *LATTE*



**FRONT DOOR**

SW PAINTS  
SW 6166 *ECLIPSE*



**CERAMIC TILE**

TIERRA Y FUEGO  
30915 *OLIVE TRINIDAD GLOSS*  
*SANTA BARBARA*

COLOR + MATERIAL BOARD | SCHEME 1  
ELEVATION B - MONTEREY - MEDIUM

**FRONT DOOR** - THERMA-TRU, CLASSIC - CRAFT CANVAS 8'-0" HT.

**STYLE**

---

**B**



THERMA-TRU  
CLASSIC CRAFT  
FOUNDERS COLLECTION  
CCV8220

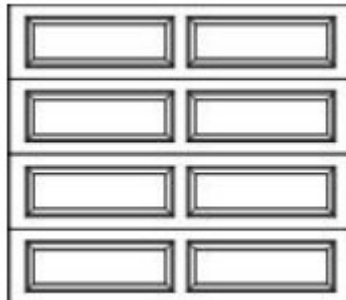
**GARAGE DOOR** - WAYNE DALTON - 8'-0" HT.

**STYLE**

---

**B**

MONTEREY



WAYNE DALTON  
9100 SERIES

## ***BEDROCK***

### LaTerra Development II – Albuquerque, NM Exterior Color Schemes for Townhome Elevations

ELEVATION STYLE	COLOR SCHEME	ROOF TILE COLOR	PRIMARY STUCCO BODY COLOR	SECONDARY STUCCO BODY COLOR	FASCIA COLOR	TRIM COLOR	GARAGE DOOR COLOR	FRONT DOOR COLOR	CERAMIC TILE
Spanish Colonial	<b>1</b> Dark	San Raphael Blend 3684	Rookwood Clay SW 2823 (LRV 23)	Barcelona Beige SW 7530 (LRV 47) 285-C4	Serengeti Grass SW 9116 (LRV 32) 206-C4	Sand Beach SW 7529 (LRV 57) 285-C1	Weathered Shingle SW 2841 (LRV 22)	Distance SW 6243 (LRV 15) 224-C6	Santa Barbara Venice 20032
Spanish Colonial	<b>2</b> Light	San Raphael Blend 3684	Requisite Gray SW 7023 (LRV 45) 241-C2	Backdrop SW 7025 (LRV 20) 241-C5	Homestead Brown SW 7515 (LRV 12) 277-C5	Homestead Brown SW 7515 (LRV 12) 277-C5	Hardware SW 6172 (LRV 23) 211-C5	Rookwood Dark Green SW 2816 (LRV 10)	Santa Barbara Palos Verdes 30770
Monterey – Santa Barbara	<b>3</b> Light	Slate Range 3697	March Wind SW 7668 (LRV 49) 282-C3	Keystone Gray SW 7504 (LRV 29) 243-C4	Virtual Taupe SW 7039 (LRV 20) 249-C5	Natural Tan SW 7567 (LRV 65) 284-C1	Pavestone SW 7642 (LRV 32) 283-C5	Cyberspace SW 7076 (LRV 6) 235-C7	Santa Barbara Manzanilla 3 30985
Monterey – Santa Barbara	<b>4</b> Medium	Adobe Blend 3723	Tamarind SW 7538 (LRV 40) 289-C5	Nearly Brown SW 9093 (LRV 29) 201-C4	Swing Brown SW 6046 (LRV 20) 193-C5	Swing Brown SW 6046 (LRV 20) 193-C5	Dusted Truffle SW 9083 (LRV 25) 197-C4	Fiery Brown SW 6055 (LRV 5) 194-C7	Santa Barbara Malaga 20006
		Capistrano Profile Eagle Roofing	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Tierra Y Fuego

**Window and Door Frame Color:** Desert Sand

**Notes:**

- SEE COLOR CARTOONED ELEVATIONS FOR LOCATIONS – COLORS SHOWN IN MATRIX COORESPOND WITH COLOR CARTOONS.
- STUCCO PAINT COLORS SHOULD TRANSITION ON INSIDE CORNERS ONLY.
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- PAINT WALL VENTS TO MATCH SURROUNDING SURFACE.
- EXPOSED GUTTERS + DOWNSPOUTS SHALL BE COLORED TO MATCH THE SURFACE TO WHICH THEY ARE ATTACHED.
- GARAGE MAN-DOOR AND TRIM SURROUNDING SHOULD BE PAINTED TO MATCH THE ADJACENT SURFACE BODY COLOR.



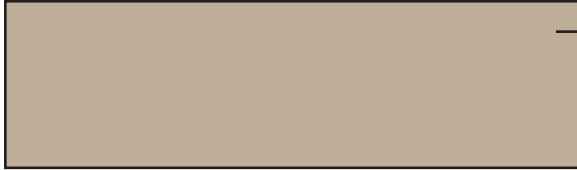
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3684 SAN RAPHAEL BLEND



**STUCCO BODY**

SW PAINTS  
SW 2823 ROOKWOOD CLAY



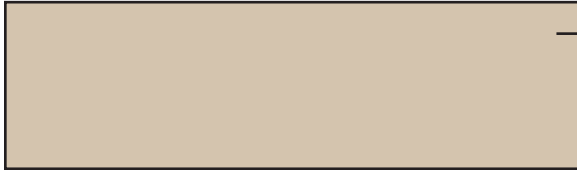
**SECONDARY STUCCO BODY**

SW PAINTS  
SW 7530 BARCELONA BEIGE



**FASCIA**

SW PAINTS  
SW 9116 SERENGETI GRASS



**TRIM**

SW PAINTS  
SW 7529 SAND BEACH



**GARAGE DOOR**

SW PAINTS  
SW 2841 WEATHERED SHINGLE



**FRONT DOOR**

SW PAINTS  
SW 6243 DISTANCE



**CERAMIC TILE**

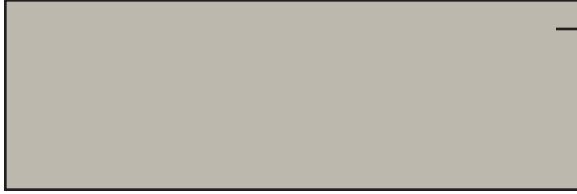
TIERRA Y FUEGO  
20032 VENICE SANTA BARBARA

COLOR + MATERIAL BOARD | SCHEME 1  
ELEVATION A - SPANISH COLONIAL - DARK



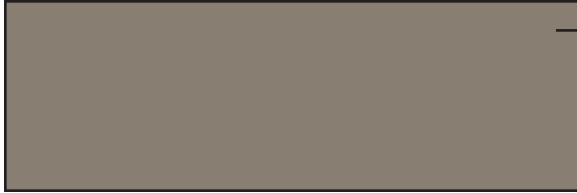
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3684 SAN RAPHAEL BLEND



**STUCCO BODY**

SW PAINTS  
SW 7023 REQUISITE GRAY



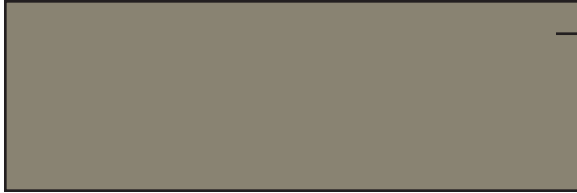
**SECONDARY STUCCO BODY**

SW PAINTS  
SW 7025 BACKDROP



**FASCIA + TRIM**

SW PAINTS  
SW 7515 HOMESTEAD BROWN



**GARAGE DOOR**

SW PAINTS  
SW 6172 HARDWARE



**FRONT DOOR**

SW PAINTS  
SW 2816 ROOKWOOD DARK GREEN



**CERAMIC TILE**

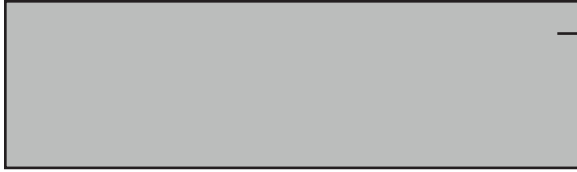
TIERRA Y FUEGO  
30770 PALOS VERDES SANTA BARBARA

**COLOR + MATERIAL BOARD | SCHEME 2  
ELEVATION A - SPANISH COLONIAL - LIGHT**



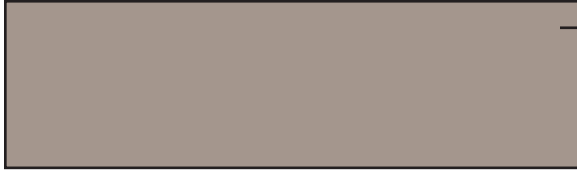
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3697 SLATE RANGE



**STUCCO BODY**

SW PAINTS  
SW 7668 MARCH WIND



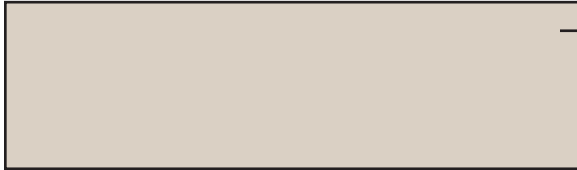
**SECONDARY STUCCO BODY**

SW PAINTS  
SW 7504 KEYSTONE GRAY



**FASCIA**

SW PAINTS  
SW 7039 VIRTUAL TAUPE



**TRIM**

SW PAINTS  
SW 7567 NATURAL TAN



**GARAGE DOOR**

SW PAINTS  
SW 7642 PAVESTONE



**FRONT DOOR**

SW PAINTS  
SW 7076 CYBERSPACE



**CERAMIC TILE**

TIERRA Y FUEGO  
90985 MANZANILLA 3 SANTA BARBARA

COLOR + MATERIAL BOARD | SCHEME 3  
ELEVATION B - MONTEREY - LIGHT



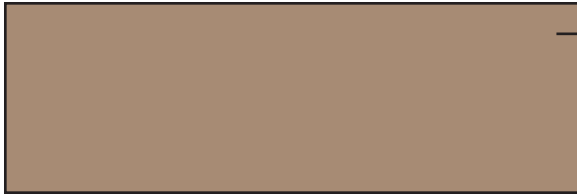
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3723 ADOBE BLEND



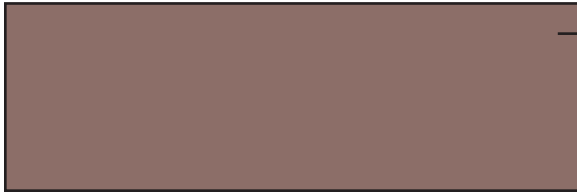
**STUCCO BODY**

SW PAINTS  
SW 7538 TAMARIND



**SECONDARY STUCCO BODY**

SW PAINTS  
SW 9093 NEARLY BROWN



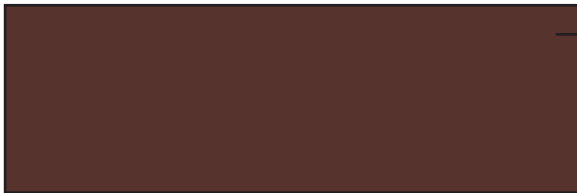
**FASCIA + TRIM**

SW PAINTS  
SW 6046 SWING BROWN



**GARAGE DOOR**

SW PAINTS  
SW 9083 DUSTED TRUFFLE



**FRONT DOOR**

SW PAINTS  
SW 6055 FIERY BROWN



**CERAMIC TILE**

TIERRA Y FUEGO  
20006 MALAGA SANTA BARBARA

COLOR + MATERIAL BOARD | SCHEME 4  
ELEVATION B - MONTEREY - MEDIUM



**FRONT DOOR** - THERMA-TRU, CLASSIC - CRAFT CANVAS 8'-0" HT.

**STYLE**

---

**A**



THERMA-TRU  
SMOOTH-STAR  
SSF8200

**B**



THERMA-TRU  
CLASSIC CRAFT  
FOUNDERS COLLECTION  
CCV8220

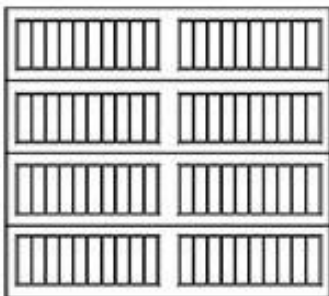
**GARAGE DOOR** - WAYNE DALTON - 8'-0" HT.

**STYLE**

---

**A**

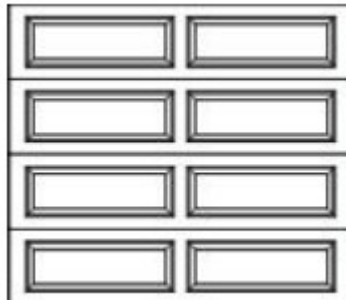
SPANISH COLONIAL



WAYNE DALTON  
9100 SERIES

**B**

MONTEREY



WAYNE DALTON  
9100 SERIES

## ***BEDROCK***

### LaTerra Development II – Albuquerque, NM Exterior Color Schemes for Single Family Elevations

<b>ELEVATION STYLE</b>	<b>COLOR SCHEME</b>	<b>ROOF TILE COLOR</b>	<b>PRIMARY STUCCO BODY COLOR</b>	<b>FASCIA COLOR</b>	<b>TRIM COLOR</b>	<b>GARAGE DOOR COLOR</b>	<b>FRONT DOOR COLOR</b>	<b>CERAMIC TILE</b>
Spanish Colonial	<b>1</b> Light	Los Padres Blend 3680	Diverse Beige SW 6079 (LRV 47) 198-C2	Manor House SW 7505 (LRV 11) 240-C7	Dry Dock SW 7502 (LRV 28) 250-C6	Threshold Taupe SW 7501 (LRV 34) 250-C5	Homburg Gray SW 7622 (LRV 15) 238-C7	Santa Barbara Manzanilla 3 30985
Spanish Colonial	<b>2</b> Medium	Piedmont Blend 3636	Stone Lion SW 7507 (LRV 38) 248-C3	Van Dyke Brown SW 7041 (LRV 7) 249-C7	Homestead Brown SW 7515 (LRV 12) 277-C5	Tavern Taupe SW 7508 (LRV 27) 248-6	Terra Brun SW 6048 (LRV 5) 193-C7	Santa Barbara Olive Trinidad Gloss 30915
Monterey – Santa Barbara	<b>3</b> Light	Concord Blend 3602	Anew Grey SW 7030 (LRV 47) 243-C2	Nutshell SW 6040 (LRV 14) 232-C6	Nutshell SW 6040 (LRV 14) 232-C6	Sticks & Stones SW 7503 (LRV 31) 283-C6	Plum Brown SW 6272 (LRV 6) 229-C7	Santa Barbara Torrance 20166
Monterey – Santa Barbara	<b>4</b> Dark	Adobe Blend 3723	Utaupeia SW 9088 (LRV 29) 199-C4	Black Fox SW 7020 (LRV 7) 244-C7	Black Fox SW 7020 (LRV 7) 244-C7	Llama Wool SW 9089 (LRV 20) 199-C5	Brevity Brown SW 6068 (LRV 10) 196-C6	Santa Barbara Venice 20032
Desert Contemporary	<b>5</b> Light	El Morado Blend 8709	Dhurrie Beige SW 7524 (LRV 50) 250-C3	Cocoa Whip SW 9084 (LRV 28) 198-C4	Aurora Brown SW 2837 (LRV 7)	Cocoa Whip SW 9084 (LRV 28) 198-C4	Canyon Clay SW 6054 (LRV 13) 194-C6	Thin Brick – La Jolla Blend – Wirecut
Desert Contemporary	<b>6</b> Light	Slate Range 3697	Mindful Gray SW 7016 (LRV 48) 244-C2	Dovetail SW 7018 (LRV 26) 244-C5	Software SW 7074 (LRV 23) 235-C5	Dorian Gray SW 7017 (LRV 39) 244-C3	Needlepoint Navy SW 0032 (LRV 13)	Cut Stone Newport Grey – Pavilion Stone
		Capistrano Profile Eagle Roofing	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Sherwin Williams	Tierra Y Fuego

**Window and Door Frame Color:** Desert Sand

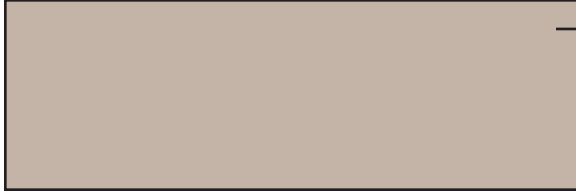
**Notes:**

- SEE COLOR CARTOONED ELEVATIONS FOR LOCATIONS – COLORS SHOWN IN MATRIX COORESPOND WITH COLOR CARTOONS.
- STUCCO PAINT COLORS SHOULD TRANSITION ON INSIDE CORNERS ONLY.
- PAINTING CONTRACTOR SHALL REVIEW COLORS AND COLOR LOCATIONS WITH ARCHITECT BEFORE COMMENCING WORK.
- PAINT WALL VENTS TO MATCH SURROUNDING SURFACE.
- EXPOSED GUTTERS + DOWNSPOUTS SHALL BE COLORED TO MATCH THE SURFACE TO WHICH THEY ARE ATTACHED.
- GARAGE MAN-DOOR AND TRIM SURROUNDING SHOULD BE PAINTED TO MATCH THE ADJACENT SURFACE BODY COLOR.



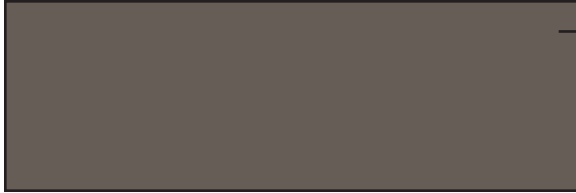
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3680 *LOS PADRES BLEND*



**STUCCO BODY**

SW PAINTS  
SW 6079 *DIVERSE BEIGE*



**FASCIA**

SW PAINTS  
SW 7505 *MANOR HOUSE*



**TRIM**

SW PAINTS  
SW 7502 *DRY DOCK*



**GARAGE DOOR**

SW PAINTS  
SW 7501 *THRESHOLD TAUPE*



**FRONT DOOR**

SW PAINTS  
SW 7622 *HOMBURG GRAY*



**CERAMIC TILE**

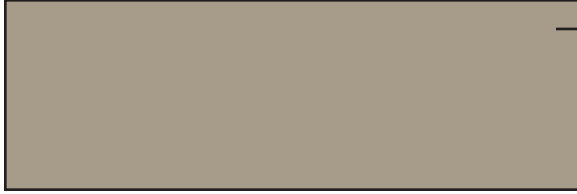
TIERRA Y FUEGO  
30985 *MANZANILLA 3 SANTA BARBARA*

**COLOR + MATERIAL BOARD | SCHEME 1  
ELEVATION A - SPANISH COLONIAL - LIGHT**



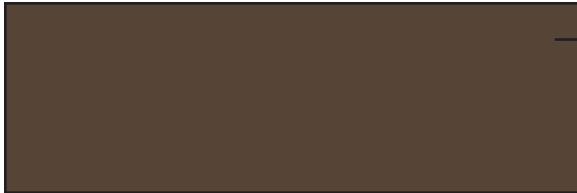
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3636 *PIEDMONT BLEND*



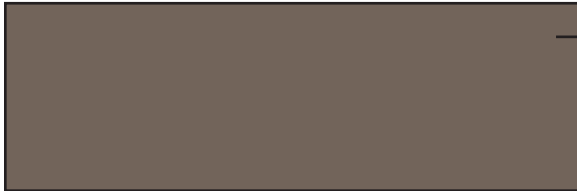
**STUCCO BODY**

SW PAINTS  
SW 7507 *STONE LION*



**FASCIA**

SW PAINTS  
SW 7041 *VAN DYKE BROWN*



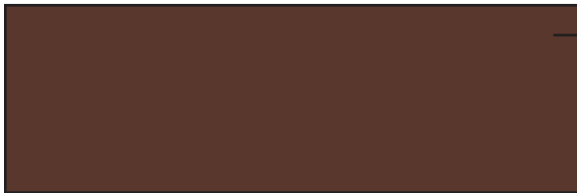
**TRIM**

SW PAINTS  
SW 7515 *HOMESTEAD BROWN*



**GARAGE DOOR**

SW PAINTS  
SW 7508 *TAVERN TAUPE*



**FRONT DOOR**

SW PAINTS  
SW 6048 *TERRA BRUN*



**CERAMIC TILE**

TIERRA Y FUEGO  
30915 *OLIVE TRINIDAD GLOSS*  
*SANTA BARBARA*

**COLOR + MATERIAL BOARD | SCHEME 2  
ELEVATION A - SPANISH COLONIAL - MEDIUM**



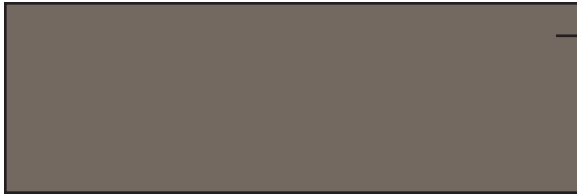
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3602 *CONCORD BLEND*



**STUCCO BODY**

SW PAINTS  
SW 7030 *ANEW GREY*



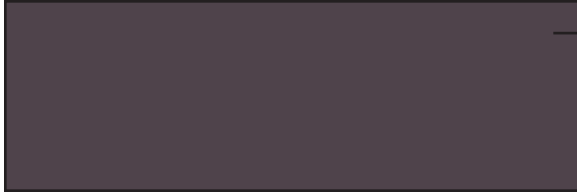
**FASCIA + TRIM**

SW PAINTS  
SW 6040 *NUTSHELL*



**GARAGE DOOR**

SW PAINTS  
SW 7503 *STICKS & STONES*



**FRONT DOOR**

SW PAINTS  
SW 6272 *PLUM BROWN*



**CERAMIC TILE**

TIERRA Y FUEGO  
20166 *TORRANCE SANTA BARBARA*

COLOR + MATERIAL BOARD | SCHEME 3  
ELEVATION B - MONTEREY - LIGHT

**BEDROCK - Single Family**  
ALBUQUERQUE, NEW MEXICO

FEBRUARY 8, 2022

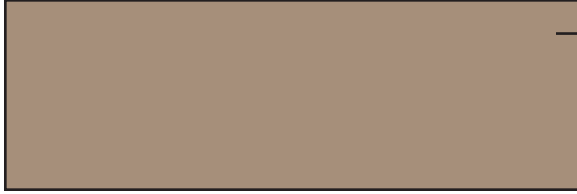
**ktgy** 3660 Blake St  
Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

#220110



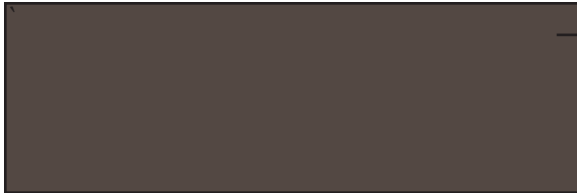
**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3723 ADOBE BLEND



**STUCCO BODY**

SW PAINTS  
SW 9088 UTAUPEIA



**FASCIA & TRIM**

SW PAINTS  
SW 7020 BLACK FOX



**GARAGE DOOR**

SW PAINTS  
SW 9089 LLAMA WOOL



**FRONT DOOR**

SW PAINTS  
SW 6068 BREVITY BROWN



**CERAMIC TILE**

TIERRA Y FUEGO  
20032 VENICE SANTA BARBARA

**COLOR + MATERIAL BOARD | SCHEME 4  
ELEVATION B - MONTEREY - DARK**

**BEDROCK - Single Family**  
ALBUQUERQUE, NEW MEXICO

FEBRUARY 8, 2022

**ktgy** 3660 Blake St  
Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

#220110



**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
8709 EL MORADO BLEND



**STUCCO BODY**

SW PAINTS  
SW 7524 DHURRIE BEIGE



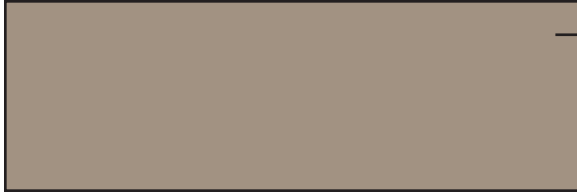
**SECONDAY STUCCO BODY**

SW PAINTS  
SW 9084 COCOA WHIP



**FASCIA + TRIM**

SW PAINTS  
SW 2837 AURORA BROWN



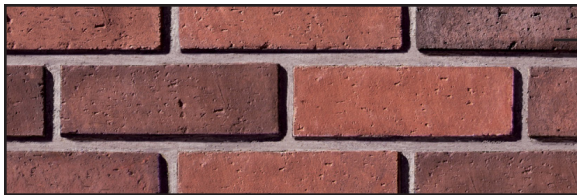
**GARAGE DOOR**

SW PAINTS  
SW 9084 COCOA WHIP



**FRONT DOOR**

SW PAINTS  
SW 6054 CANYON CLAY



**BRICK**

WIRECUT - LA JOLLA BLEND

**COLOR + MATERIAL BOARD | SCHEME 5  
ELEVATION C - DESERT CONTEMPORARY - LIGHT**

**BEDROCK - Single Family**  
ALBUQUERQUE, NEW MEXICO

FEBRUARY 8, 2022

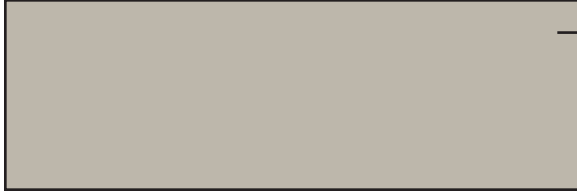
**ktgy** 3660 Blake St  
Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

#220110



**ROOF TILE**

EAGLE ROOFING: CAPISTRANO PROFILE  
3697 SLATE RANGE



**STUCCO BODY**

SW PAINTS  
SW 7016 MINDFUL GRAY



**SECONDARY STUCCO BODY**

SW PAINTS  
SW 7018 DOVETAIL



**FASCIA + TRIM**

SW PAINTS  
SW 7074 SOFTWARE



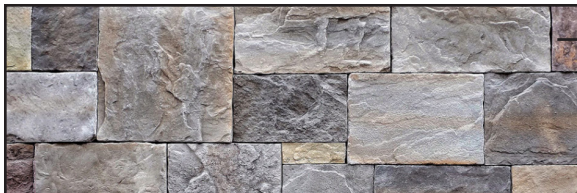
**GARAGE DOOR**

SW PAINTS  
SW 7017 DORIAN GRAY



**FRONT DOOR**

SW PAINTS  
SW 0032 NEEDLEPOINT NAVY



**CUT STONE**

PAVILION STONE - NEWPORT GREY

**COLOR + MATERIAL BOARD | SCHEME 6  
ELEVATION C - DESERT CONTEMPORARY - LIGHT**

**BEDROCK - Single Family**  
ALBUQUERQUE, NEW MEXICO

FEBRUARY 8, 2022

**ktgy** 3660 Blake St  
Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

#220110



**FRONT DOOR** - THERMA-TRU, CLASSIC - CRAFT CANVAS 8'-0" HT.

**STYLE**

---

**A**



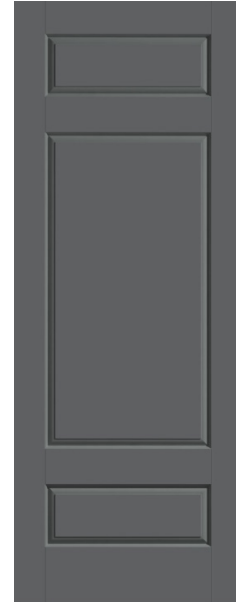
THERMA-TRU  
SMOOTH-STAR  
SSF8200

**B**



THERMA-TRU  
CLASSIC CRAFT  
FOUNDERS COLLECTION  
CCV8220

**C**



THERMA-TRU  
CLASSIC CRAFT  
FOUNDERS COLLECTION  
CCV831

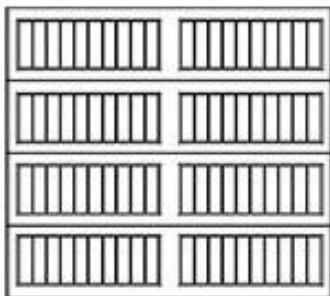
**GARAGE DOOR** - WAYNE DALTON - 8'-0" HT.

**STYLE**

---

**A**

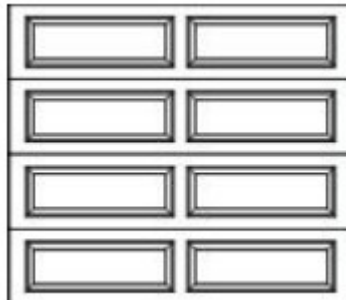
SPANISH COLONIAL



WAYNE DALTON  
9100 SERIES

**B**

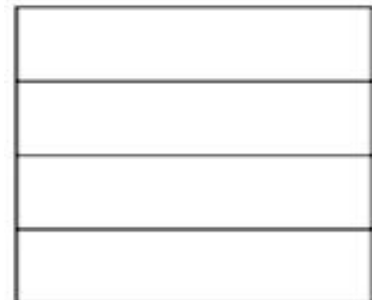
MOTEREY



WAYNE DALTON  
9100 SERIES

**C**

DESERT CONTEMPORARY



WAYNE DALTON  
9100 SERIES

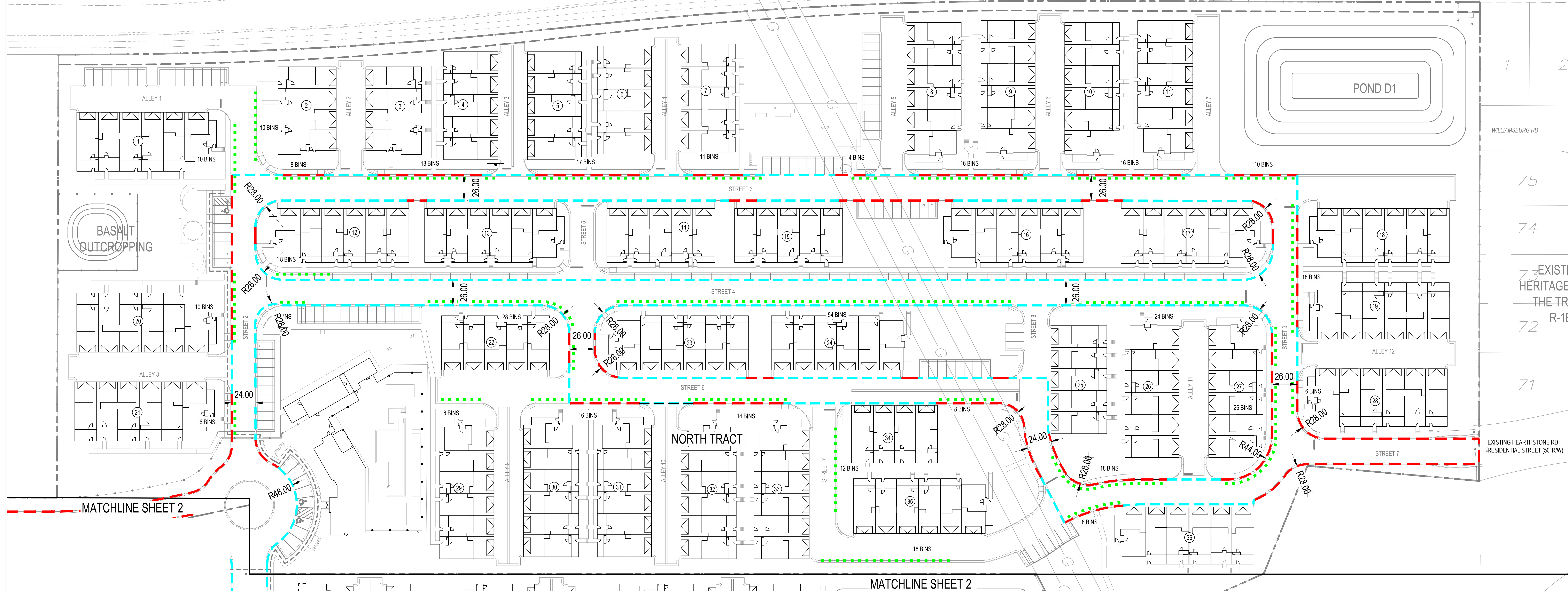
6 27 28 29 30 31 32 33 34 100

PASEO DEL NORTE BLVD.

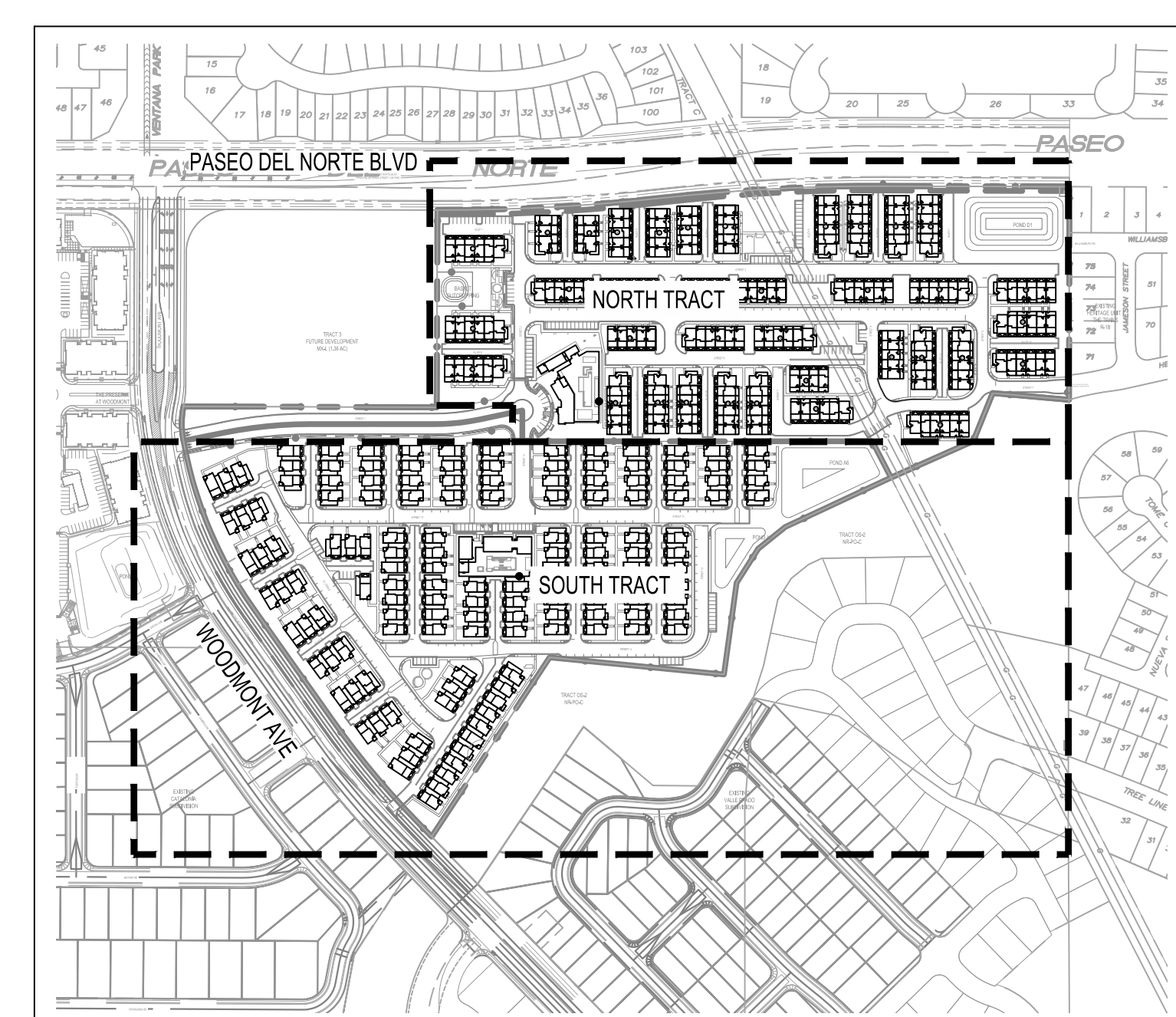
PASEO

NORTE

Approved for access by the Solid Waste Department  
for 344 trash carts and 344 recycle carts. Access is required from 7AM to 8PM  
Herman Gallegos 05-03-23/Herman Gallegos



1 2  
75  
74  
EXISTING HERITAGE UN  
THE TRAIL  
R-1B  
72  
71  
EXISTING HEARTHSTONE RD  
RESIDENTIAL STREET (50' RW)



**SOLID WASTE DATA**

BINS	688 BINS
UNITS	344 DU
DENSITY	2 BINS/DU
<b>TOWNHOME SUMMARY</b>	
TOTAL BINS	404 BINS
TRASH BINS	202 BINS
RECYCLE BINS	202 BINS
UNITS	202 DU
DENSITY	2 BINS/DU
<b>SINGLE FAMILY CLUSTER SUMMARY</b>	
TOTAL BINS	284 BINS
TRASH BINS	142 BINS
RECYCLE BINS	142 BINS
UNITS	142 DU
DENSITY	2 BINS/DU

**LEGEND**

- PROPERTY LINE
- SOLID WASTE BIN
- NO PARKING DURING XXXX - XX-XX SIGN
- MARKED FIRE LANE
- FIRE ACCESS
- ⊙ FIRE HYDRANT

**LATERRA**

**TRASH BIN EXHIBIT**

DRAWN BY: LS      DATE: 08/09/22  
 CHECKED BY: JL      BHI PROJECT NO: 20220473      SHEET NO: 1

- GENERAL NOTES**
- ALL BINS SHALL BE STORED WITHIN INDIVIDUAL GARAGES.
  - TREES SHALL NOT OVERHANG THE ROADWAY WHERE TRASH BINS ARE LOCATED.
  - SOLID WASTE WILL BE PROVIDED ACCESS THROUGH VEHICLE GATES VIA GATE CODE AND/OR ACCESS KEY, AS APPLICABLE.
  - THERE SHALL BE NO UTILITIES THAT CONFLICT WITH THE ABILITY FOR SOLID WASTE TO PICKUP THE TRASH BINS

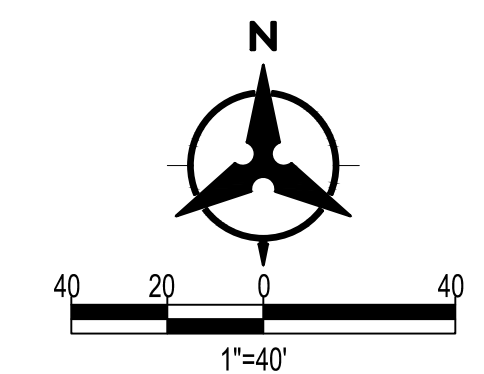




Figure 12

**INFRASTRUCTURE LIST**  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

**BEDROCK**  
**TRACT 4-5, THE TRAILS**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC WATERLINE IMPROVEMENTS</b>									
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 1	WOODMONT AVENUE	STREET 2	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	TRACT OS-2	STREET 12	WEST BOUNDARY OF VALLE PRADO SUBDIVISION UNIT 5	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 2	STREET 1	ALLEY 1	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 3	STREET 2	STREET 9	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 4	STREET 2	STREET 9	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 5	STREET 3	STREET 4	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 7	STREET 8	STREET 9	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 8	STREET 7	STREET 4	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 9	STREET 7	STREET 3	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 10	ALLEY 28	STREET 13	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 11	STREET 10	EAST EDGE OF STREET 11	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 12	STREET 10	STREET 11	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 13	WOODMONT AVENUE	STREET 10	/	/	/
		8" DIA (5W)	WATERLINE W/ NEC. VALVES FHS, MJS & RJS	STREET 14	STREET 1	STREET 11	/	/	/

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PUBLIC SANITARY SEWER IMPROVEMENTS</b>									
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 2	STREET 1	STREET 3	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 3	STREET 2	BUILDING 15	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 3	BUILDING 16	WILLIAMSBURG RD	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 4	STREET 5	STREET 9	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 6	BUILDING 22	STREET 8	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 7	STREET 11	STREET 6	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 8	STREET 6	STREET 4	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 9	STREET 4	STREET 3	/	/	/
		8" DIA	SANITARY SEWER W/ NEC. MH'S & SERVICES	STREET 10	STREET 11	ALLEY 26	/	/	/



SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>

<b>Size</b>	<b>Type of Improvement</b>	<b>Location</b>	<b>From</b>	<b>To</b>
33' F-EOA	ARTERIAL PAVING W/ PCC CURB & GUTTER & 10' WIDE MULTI-USE TRAIL SOUTH SIDE	PASEO DEL NORTE BLVD	WOODMONT AVENUE	EAST BOUNDARY OF TRACT 5
**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC				

Private Inspector	City Inspector	City Cnst Engineer
_____/_____/_____	_____/_____/_____	_____/_____/_____
_____/_____/_____	_____/_____/_____	_____/_____/_____

---

<b>AGENT/OWNER</b>	<b>DEVELOPMENT FACILITATION TEAM APPROVALS</b>
--------------------	--

PREPARED BY: PRINT NAME Josh Lutz, P.E. BOHANNAN HUSTON INC. FIRM: SIGNATURE MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION <input type="text"/>	DRB CHAIR TRANSPORTATION DEVELOPMENT ABCWUA CODE ENFORCEMENT	DATE DATE DATE DATE	PARKS & RECREATION AMAFCA CITY ENGINEER DATE
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**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

**Figure 12**  
**INFRASTRUCTURE LIST**  
**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST**

**BEDROCK**  
**TRACT 4-5, THE TRAILS**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>THE PRESERVE AT WOODMONT - PUBLIC WATERLINE IMPROVEMENTS***</b>									
		12" DIA (5W)	WATERLINE W/ NEC. VALVES FH'S, MJS & RJS	PASEO DEL NORTE BLVD	WOODMONT AVENUE	APPROX. 70 LF WEST OF WOODMONT WL	/	/	/
<b>THE PRESERVE AT WOODMONT - PUBLIC SANITARY SEWER IMPROVEMENTS***</b>									
		12" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	WOODMONT AVENUE	PASEO DEL NORTE BLVD	GIRONA AVENUE	/	/	/
		12" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	PASEO DEL NORTE BLVD	WOODMONT AVENUE	MH	/	/	/
<b>THE PRESERVE AT WOODMONT - PUBLIC STORM DRAIN IMPROVEMENTS***</b>									
		18" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	WOODMONT AVENUE	POND A	TRACT 4	/	/	/
		18" DIA	RCP W/ NEC. MH'S, LATERALS & INLETS	WOODMONT AVENUE	SD STUB IN POND A	LOWPOINT IN WOODMONT AVENUE	/	/	/

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To
<b>THE PRESERVE AT WOODMONT - PUBLIC ROADWAY IMPROVEMENTS***</b>				
88' F-F	ARTERIAL PAVING W/ PCC CURB & GUTTER	WOODMONT AVENUE	PASEO DEL NORTE BLVD	APPROX. 400 LF SOUTH OF PASEO DEL NORTE BLVD
30' F-EOA	ARTERIAL PAVING W/ PCC CURB & GUTTER & PCC 6' WIDE SIDEWALK ON WEST SIDE	WOODMONT AVENUE	APPROX. 400 LF SOUTH OF PASEO DEL NORTE BLVD	GIRONA AVENUE
10-12' WIDE	LEFT TURN LANE WEST TO SOUTHBOUND	PASEO DEL NORTE BLVD	WOODMONT AVENUE	250' LANE PLUS TRANSITION
10-12' WIDE	LEFT TURN LANE EAST TO NORTHBOUND	PASEO DEL NORTE BLVD	WOODMONT AVENUE	250' LANE PLUS TRANSITION
12' WIDE	RESTRIPE SOUTHBOUND THROUGH LANE	VENTANA RANCH WEST PARKWAY	PASEO DEL NORTE BLVD	START OF TURN LANE
*STREET LIGHT	INTERSECTION OF WOODMONT AND PASEO DEL NORTE			
*SOLAR STREET LIGHT				
**PROVIDE / INSTALL THE NECESSARY ROADWAY SIGNAGE ASSOCIATED W/ THE DEVELOPMENT AS APPROVED BY THE CITY DRC				
***FINANCIALLY GUARANTIED WITH THE PRESERVE AT WOODMONT, CPN 740589				

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/



AGENT/OWNER	DEVELOPMENT FACILITATION TEAM APPROVALS		
Josh Lutz, P.E. PREPARED BY: PRINT NAME	DRB CHAIR	DATE	PARKS & RECREATION
BOHANNAN HUSTON INC.	TRANSPORTATION DEVELOPMENT	DATE	AMAFCA
SIGNATURE	ABCWUA	DATE	CITY ENGINEER
MAXIMUM TIME ALLOW TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION <input type="text"/>	CODE ENFORCEMENT	DATE	DATE




**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



# Memorandum

**To:** City of Albuquerque Planning Department

**From:** Jim Strozier, Consensus Planning, Inc 

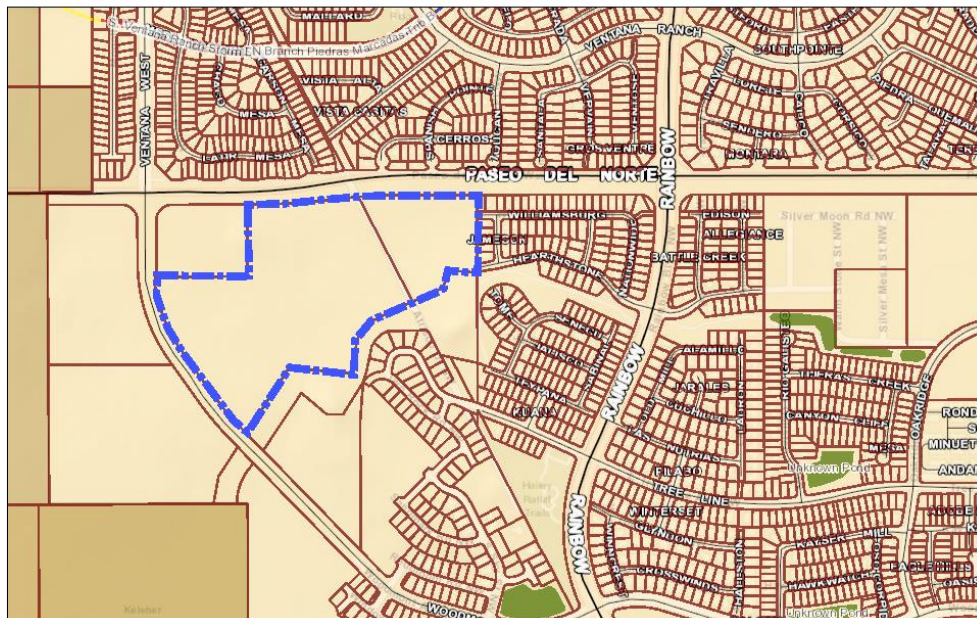
**Date:** 1/9/2023

**Re:** Sensitive Lands Analysis for La Terra

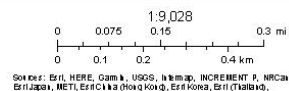
This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2. The subject properties are legally described as *Tract 4 Bulk Land Plat of the Trails Unit 3A* and *Tract 5 Bulk Land Plat of the Trails Unit 3A*. We have analyzed the project site for the presence of sensitive lands and any constraints related to such lands.

1. Arroyos: Using data provided by AMAFCAS Interactive Facilities Map shows no arroyos or drainage facilities located on the site. The image below shows the subject sites outlined in a blue dotted line.

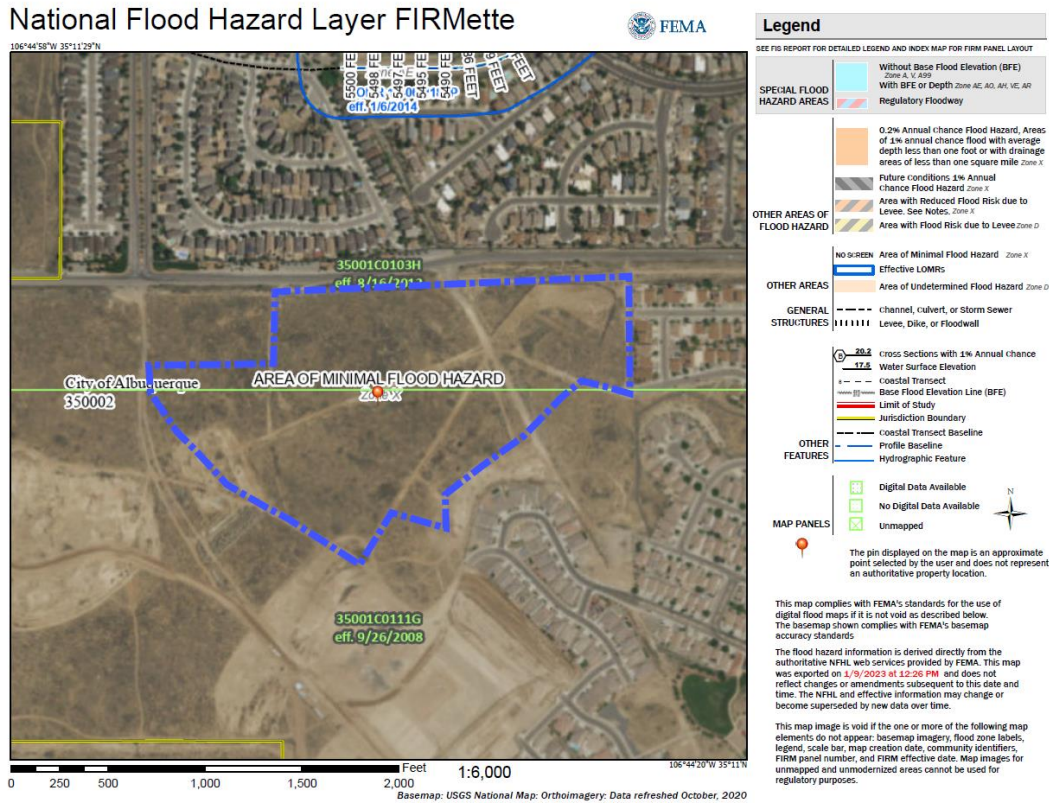
La Terra AMAFCA



January 9, 2023



- Floodplains and Special Flood Hazard Areas: FEMA's National Flood Hazard Layer Mapping shows the subject sites are within an unshaded Flood Zone X. Unshaded Flood Zone X is described as an area of minimal flooding. Unshaded Flood Zone X is outside of the 500-year flood and protected by levees from the 100-year flood. The map below depicts the subject sites outlined in a blue dotted line.



- Irrigation facilities (acequias): Due to the subject site's location and distance from the Rio Grande there are no irrigation facilities or acequias on or near the site. Data provided by MRGCD confirms the subject property is outside of the MRGCD jurisdiction.
- Large stands of mature trees: The subject sites are vacant parcels with nominal vegetation. There are no large stands of mature trees on either parcel. The image below depicts the subject sites facing south from Paseo Del Norte.



5. Riparian areas: Data provided by the National Wetlands Inventory shows the subject site is not within a riparian area.
6. Rock outcroppings: There is a rock outcropping along the northwestern property line which is depicted on the map below with a red star. Additionally, there is an image provided below of the rock outcropping. The proposed development of the build-to-rent community will avoid this rock outcropping in its entirety. The rock outcropping will be identified on all Site Plans and fully preserved.

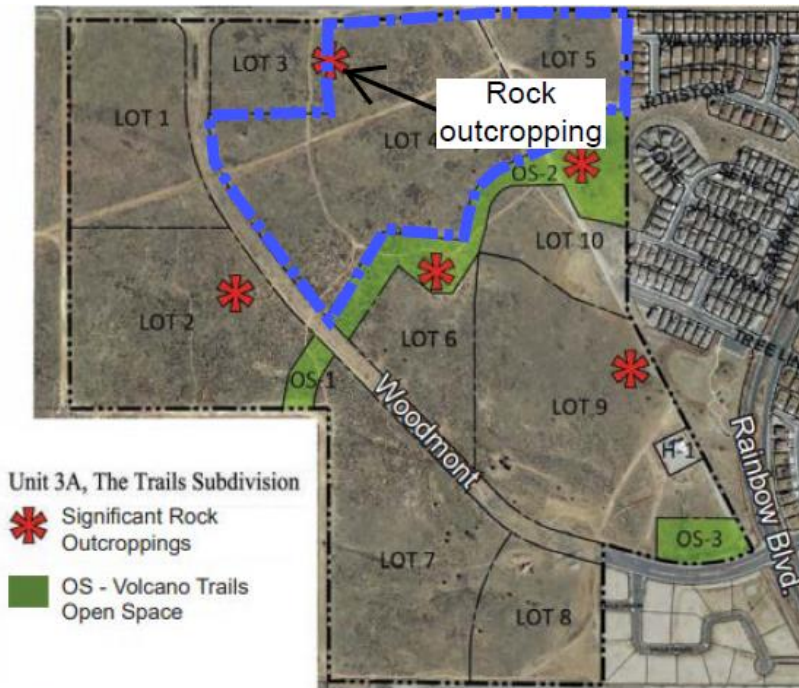


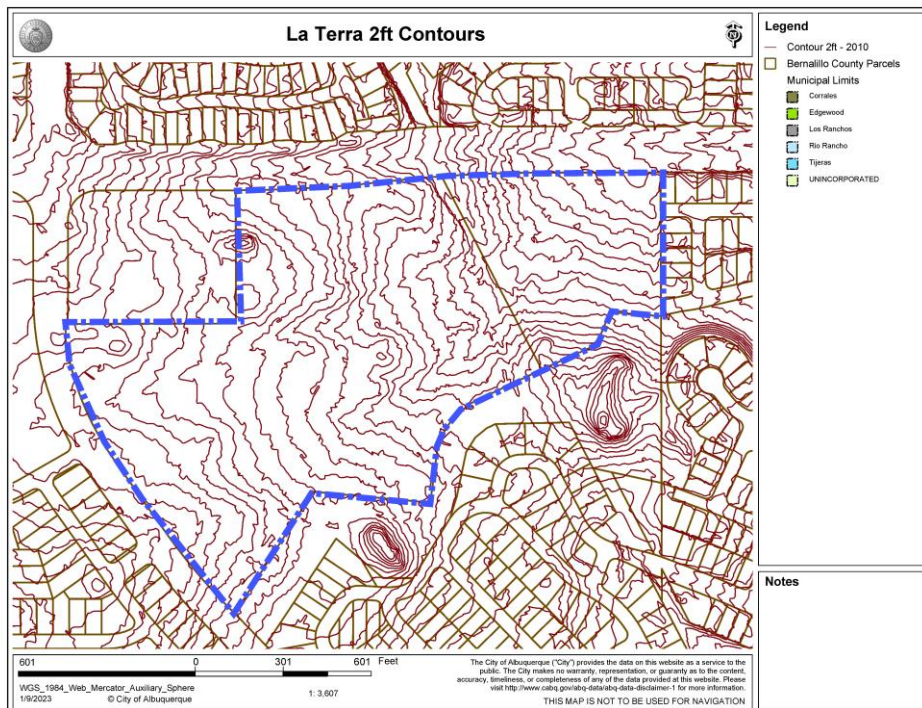
Exhibit 15, Significant Rock Outcroppings

(Volcano Trails SDP – August 2011)



(View of rock outcropping)

7. Significant archaeological sites: The subject sites have been analyzed by the City of Albuquerque staff archaeologist and have been awarded a certificate of no effect.
8. Steep slopes and escarpments: Data provided by the CABQ Advanced Map Viewer 2-foot contour layer shows the subject site does not meet the IDO definition of steep slopes which is over 9%. The map below depicts the subject site outlined in a blue dotted line.



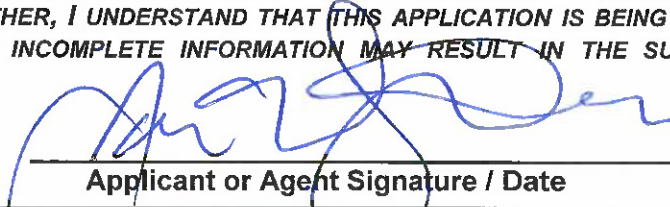
9. Wetlands: Data provided by the National Wetlands Inventory shows the subject site is not within a wetland area.

# SITE PLAN CHECKLIST

Project #: \_\_\_\_\_ Application #: \_\_\_\_\_

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

**I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.**

  
\_\_\_\_\_  
Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

## SHEET #1 - SITE PLAN

### A. General Information

- ✓ 1. Date of drawing and/or last revision
- ✓ 2. Scale: 1.0 acre or less 1" = 10'  
1.0 - 5.0 acres 1" = 20'  
Over 5 acres 1" = 50'  
Over 20 acres 1" = 100' *with detail sheets*

# SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

## B. Proposed Development

### 1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements (*see Landscape Plan for location*)
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

### 2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
  - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
  - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
  - 3. On street parking spaces
- B. Bicycle parking & facilities
  - 1. Bicycle racks – location and detail
  - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
  - 1. Ingress and egress locations, including width and curve radii dimensions
  - 2. Drive aisle locations, including width and curve radii dimensions
  - 3. End aisle locations, including width and curve radii dimensions
  - 4. Location & orientation of refuse enclosure, with dimensions
  - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
  - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

## SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

### NA E. Off-Street Loading

- 1. Location and dimensions of all off-street loading areas

### NA F. Vehicle Stacking and Drive-Through or Drive-Up Facilities

- 1. Location and dimensions of vehicle stacking spaces and queuing lanes
- 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
- 3. Striping and Sign details for one-way drive through facilities

## 3. Streets and Circulation - *Approved T&L*

### A. Locate and identify adjacent public and private streets and alleys.

- 1. Existing and proposed pavement widths, right-of-way widths and curve radii
- NA 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
- NA 3. Location of traffic signs and signals related to the functioning of the proposal
- NA 4. Identify existing and proposed medians and median cuts
- 5. Sidewalk widths and locations, existing and proposed
- NA 6. Location of street lights
- 7. Show and dimension clear sight triangle at each site access point
- 8. Show location of all existing driveways fronting and near the subject site.

### B. Identify Alternate transportation facilities within site or adjacent to site

- 1. Bikeways and bike-related facilities
- 2. Pedestrian trails and linkages
- 3. Transit facilities, including routes, bus bays and shelters existing or required

## 4. Phasing

- NA A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

## SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
  - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
  - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
  - C. Ponding areas either for drainage or landscaping/recreational use

## SITE PLAN CHECKLIST

- ✓ 7. Identify type, location and size of plantings (common and/or botanical names).
  - NA A. Existing, indicating whether it is to be preserved or removed. **all existing landscape to be removed**
  - ✓ B. Proposed, to be established for general landscaping.
  - NA C. Proposed, to be established for screening/buffering. **no screening/buffering required**
- ✓ 8. Describe irrigation system – Phase I & II . . .
- ✓ 9. Planting Beds, indicating square footage of each bed
- ✓ 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- ✓ 11. Responsibility for Maintenance (statement)
- ✓ 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- NA 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan) **no screening/buffering required**
- ✓ 14. Planting or tree well detail
- ✓ 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- ✓ 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- NA 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material **no screening/buffering required**

### SHEET #3 – GRADING AND DRAINAGE PLAN – *Hydrology Approved*

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

#### A. General Information

- ✓ 1. Scale - must be same as Sheet #1 - Site Plan
- ✓ 2. Bar Scale
- ✓ 3. North Arrow
- ✓ 4. Property Lines
- ✓ 5. Existing and proposed easements
- ✓ 6. Building footprints
- ✓ 7. Location of Retaining walls

#### B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas, erosion and sediment control facilities.
- ✓ 4. Cross Sections  
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.



## SITE PLAN CHECKLIST

### SHEET #4- UTILITY PLAN - *Availability Statement Attached*

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)
- F. Existing electric lines both overhead and underground. Power Poles shown with dimensions to proposed buildings and structures must be clearly shown.

### SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

#### A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
  - 1. Identify facade orientation
  - 2. Dimensions of facade elements, including overall height and width
  - 3. Location, material and colors of windows, doors and framing
  - 4. Materials and colors of all building elements and structures
  - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

#### B. Building Mounted Signage *NA*

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

**PV Trails Albuquerque, LLC**  
4350 La Jolla Village Drive, Suite 110  
San Diego, CA 92122

June 1, 2023

City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM, 87102

RE: Property Owner Letter of Authorization

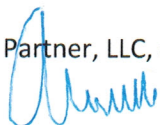
To Whom It May Concern:

PV Trails Albuquerque, LLC hereby authorizes Consensus Planning, Inc. to act as our agent relating to all applications, submittals, hearings, and other formal representation associated with the approval of Site Plan - Administrative for the subject properties legally described as *Tract 4 and 5 Bulk Land Plat of the Trails Unit 3A*. *This authorization includes any related deviations, waivers, and platting actions that may be required as a part of the DFT review and approval process. This authorization is valid until the earlier to occur of June 12, 2023 or the date on which PV Trails Albuquerque, LLC has conveyed the property to another party.*

Sincerely,

PV Trails Albuquerque, LLC  
a New Mexico limited liability company

By: PV General Partner, LLC, a Delaware limited liability company, its Manager

By:  \_\_\_\_\_

Name: Andrew M. Kaplan  
Its: Manager



June 1, 2023

Ms. Jolene Wolfley, Chair DFT  
City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Bedrock Site Plan – Administrative - DFT

Landscape Architecture  
Urban Design  
Planning Services

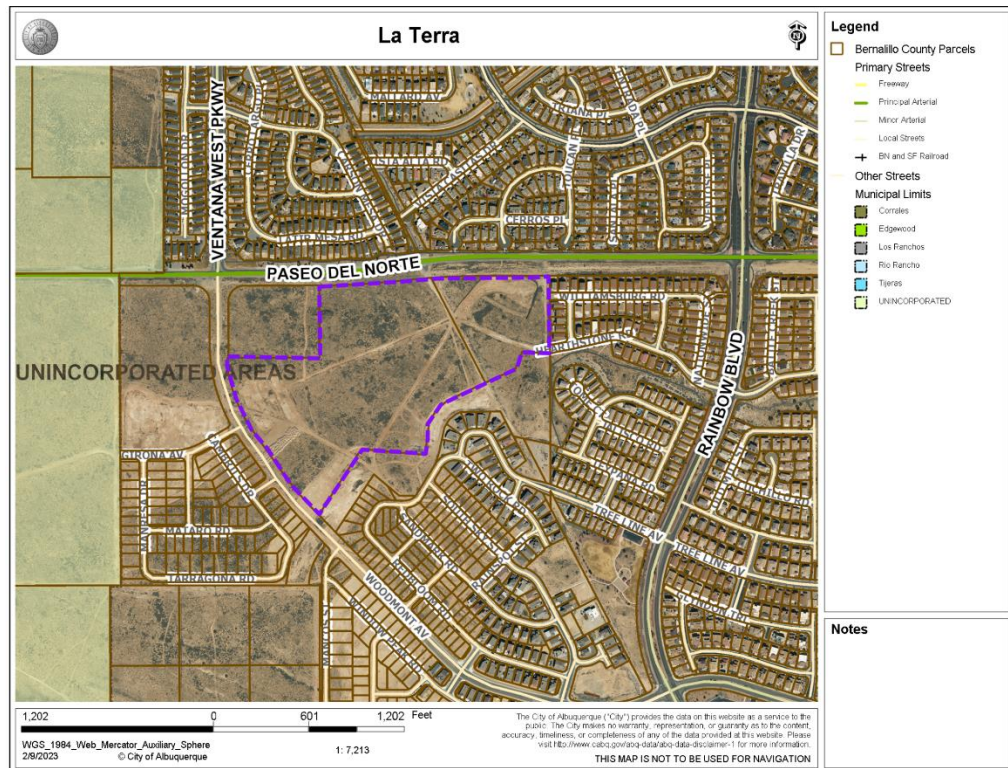
302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear Ms. Wolfley:

The purpose of this letter is to request approval of a Site Plan – Administrative for a new multi-family build-to-rent community near Paseo del Norte NW and Woodmont Avenue NW. The properties are legally described as *Tracts 4 and 5 Bulk Land Plat of the Trails Unit 3A*. This request is seeking approval for a Site Plan – Administrative to allow for 199 townhome units, 145 single-family units, and two amenity buildings. The Map below depicts the subject site's location (outlined in purple).

The request meets the applicability requirements in IDO section 6-5(G)(1)(f) specifically line 2 which dictates that all new multi-family development is subject to the Site Plan administrative process.



PRINCIPALS

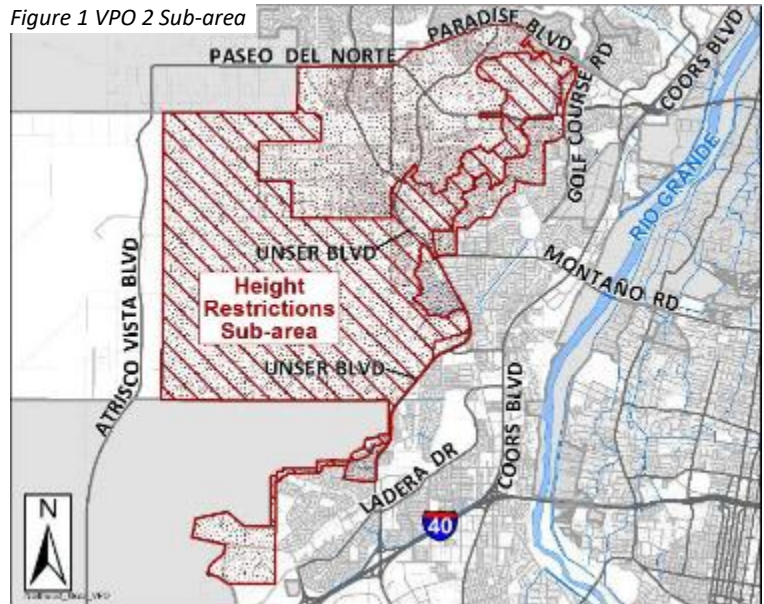
James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP

**AREA CONTEXT**

The subject site is located in the Northwest Mesa Community Planning Area (CPA) which is described in the Comprehensive Plan as a primarily residential community adjacent to significant geological features such as the volcanoes, overlooking both the Rio Grande and the Sandias. The proposed multi-family build-to-rent community is directly aligned with the existing character of the Northwest Mesa CPA.

The subject site is located in an Area of Consistency which is intended to limit density and new uses while protecting neighborhoods from adverse impacts of new development. The site is also within two overlay designations, View Protection Overlay 2 and Character Protection Overlay 13 which adds further safeguards to the surrounding community. The subject site is not located in the View Protection Subarea of VPO 2 as shown in Figure 1; therefore, the height restrictions in IDO section 3-6(E)(3) do not apply. All other standards in IDO section 3-6(E) are applicable to the site.

Figure 1 VPO 2 Sub-area



The proposed Site Plan features a variety of housing products as part of a multi-family project; therefore, the development will not be subject to CPO 13 standards outlined in IDO section 3-4(N) which apply only to low-density residential development.

**ZONING**

The subject site is currently zoned R-ML (Residential multi-family low density) which allows both single-family detached units and townhomes as a primary permissive use. Figure 2 depicts the subject site (outlined in purple) in relation to the surrounding zoning. The majority of surrounding zoning is R-1 (Residential single-family) with the northwestern corner abutting the site being MX-L (Mixed-use low intensity). The proposed multi-family build-to-rent community will complement the existing residential character while providing a multi-family housing product that will help to diversify the housing stock in the surrounding neighborhood.



13 restrictions as they apply only to low-density residential development and not multi-family development.

Setbacks in the R-ML zone are front minimum 15 ft, side minimum interior 5 ft and street side of corner lots 10 ft, and rear minimum 15 ft. The development is a build-to-rent product meaning all of the proposed housing units will be located on one lot. Due to this the setback requirements are only applicable to the units situated along Woodmont and Paseo del Norte. All setbacks along both Woodmont and Paseo are in accordance with the setback standards outlined in the IDO for the R-ML zone district.

Parking: The proposed development features a mix of multi-family housing townhomes, and single-family detached homes. IDO Table 5-5-1 Minimum Off-street Parking Requirements are addressed for each type of unit. The parking calculations were reviewed with zoning and IDO staff to ensure compliance. Additionally, there are two residential amenity areas that require 3 spaces per every 1,000 square feet of floor area. Parking has been calculated separately for these amenity centers as well. With both amenity and residential land uses the site will meet the minimum requirements and have a surplus of available parking for residents and their visitors.

Building design: IDO section 5-11(D) Multi-family Residential Development dictates the design standards for multi-family housing. The proposed development will feature three types of housing products, and each will be subject to design standards from section 5-11(D) as they are part of the whole multi-family development. IDO section 5-11(D)(1) states primary pedestrian entrances shall provide weather protection through variations in the façade, porticos, roof variations, recesses or projections, or other integral building forms. Each of the three building types single-family detached, townhome, and multiplex feature porticos with either barrel roof tile or shingles as the roofing detail over the main entrance to the buildings or projecting building facades that create a covered portico. Both styles of pedestrian-covered entrances can be seen in Figure 3.

Figure 3 Primary Pedestrian Entrance Styles



IDO section 5-11(D)(2) states facades shall be designed to create a sense of human scale and must meet all of the requirements listed in subsection 5-



11(D)(2)(a) windows and (b) articulation or they must provide justification for how the intent of that section is being achieved through alternative means.

Landscaping and buffering:

**6-5(G)(3)(b) The City's existing infrastructure and public improvements, including but not limited to its street, trail, drainage, and sidewalk systems, have adequate capacity to serve the proposed development or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 14-16-1-7(B)(2) and 14-16-5- 4(N) and/or a signed an Infrastructure Improvements Agreement (IIA) pursuant to Subsection 14-16-5- 4(O) to add adequate capacity.**

***Applicant Response:** There are several public infrastructure improvements that will occur as part of this request. A portion of Woodmont will be constructed along with an approximately \$900,000 donation towards the Paseo Del Norte improvements and lane widening project. These improvements will ensure the city's public infrastructure has adequate capacity to serve the new development as well as the surrounding land uses. An Infrastructure Improvements Agreement will be submitted as part of this request to add the adequate capacity needed for the proposed project.*

**6-5(G)(3)(c) If the subject property is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.**

***Applicant Response:** The subject site is not within an approved Master Development Plan area; therefore, this criterion does not apply.*

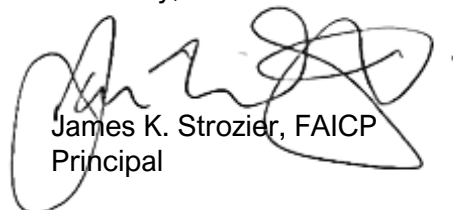
**6-5(G)(3)(d) If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.**

***Applicant Response:** The subject site is not within an approved Framework Plan area; therefore, this criterion does not apply.*

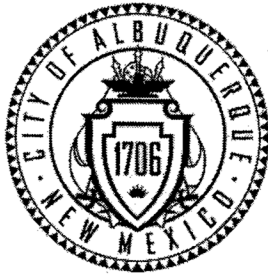
**CONCLUSION**

Based on the information included in this letter along with the supporting documents, we respectfully ask for the DFT's review and approval of the proposed site plan.

Sincerely,



James K. Strozier, FAICP  
Principal



City of Albuquerque  
P.O. Box 1293 Albuquerque, New Mexico 87103

## Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

### Interoffice Memorandum

November 8, 2007

---

**Subject:** Albuquerque Archaeological Ordinance—Compliance Documentation

**Project Number(s):**

**Case Number(s):**

**Agent:**

**Applicant:** Longford Homes, Inc.

**Legal Description:** The Trails Unit 3

**Acreage:** 165.59 acres

**Zone Atlas Page:** C-9

**CERTIFICATE OF NO EFFECT:** Yes  No

**CERTIFICATE OF APPROVAL:** Yes  No

**SUPPORTING DOCUMENTATION:**

NIAF submitted by TRC Solutions dated February 2007 (NMCRI# 103624)

Note: LA 49629 "ikely destroyed by recent construction activity."

**SITE VISIT:** n/a

**RECOMMENDATION(S):**

- **CERTIFICATE OF NO EFFECT IS ISSUED** (ref O-07-72 Section 72 Section 4B(1)-- no significant sites in project area; 4B(2)— land disturbance; and 4B(3), information potential exhausted for LA 49629).

**SUBMITTED:**

Matthew Schmader, PhD

Superintendent, Open Space Division

Acting City Archaeologist





**From:** [Carmona, Dalaina L.](#)  
**To:** [Avery Frank](#)  
**Subject:** Near Woodmont Ave Neighborhood Meeting Inquiry Sheet Submission  
**Date:** Friday, February 3, 2023 8:08:57 AM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image007.png](#)  
[Zone Atlas Page C-09 - Site.pdf](#)

**PLEASE NOTE:**

The City Council recently voted to update the Neighborhood Association Recognition Ordinance (NARO) and the Office of Neighborhood Coordination (ONC) is working to ensure all neighborhood associations and neighborhood coalitions are in compliance with the updated ordinance. There will likely be many updates and changes to association and coalition contact information over the next several months. With that in mind, please check with the ONC every two (2) weeks to ensure that the contact information you have for associations and coalitions is up to date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	First Name	Last Name	Email	Address Line 1	City	State	Zip	Phone
Valle Prado NA	Joshua	Beutler	jlbeutler@gmail.com	7316 Two Rock Road NW	Albuquerque	NM	87114	5055036414
Valle Prado NA	Steve	Shumacher	valle.prado.na@gmail.com	8939 South Sky Street NW	Albuquerque	NM	87114	

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: [devhelp@cabq.gov](mailto:devhelp@cabq.gov), or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application.  
<https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: [https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official\\_public\\_notice\\_form-2019.pdf](https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf).
- The Administrative Decision form you need for notifying neighborhood associations can be found here:  
<https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you.



*Dalaina L. Carmona*



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Site Plan - Administrative
Decision-making Body: DFT
Pre-Application meeting required: [ ] Yes [x] No
Neighborhood meeting required: [x] Yes [ ] No
Mailed Notice required: [x] Yes [ ] No
Electronic Mail required: [x] Yes [ ] No
Is this a Site Plan Application: [x] Yes [ ] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: Tract 4 and Tract 5 Bulk Land Plat of the Trails Unit 3A
Name of property owner: PV Trails Albuquerque LLC
Name of applicant: La Terra Development LLC
Date, time, and place of public meeting or hearing, if applicable:
Application has not been submitted yet
Address, phone number, or website for additional information:
Please call or email frank@consensusplanning.com 505 764 9801
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[x] Drawings, elevations, or other illustrations of this request.
[ ] Summary of pre-submittal neighborhood meeting, if applicable. We are requesting a meeting
[x] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO). PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Handwritten Signature] (Applicant signature) February 9, 2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development: NA
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.

[Note: Items with an asterisk (\*) are required.]

## Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request\*: 2/9/23

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Please see attached

Name of NA Representative\*: Please see attached

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: Please see attached

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.<sup>2</sup>

Email address to respond yes or no: Frank@consensusplanning.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:

Please contact to coordinate a day and time

### Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Tract 4 and Tract 5 Bulk Land Plat of the Trails Unit 3A  
Location Description \_\_\_\_\_
2. Property Owner\* PV Trails Albuquerque LLC
3. Agent/Applicant\* [if applicable] Agent Consensus Planning, Applicant La Terra Development LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) [mark all that apply]
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (\*) are required.]

- Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: \_\_\_\_\_

Summary of project/request<sup>3\*</sup>:

Site Plan application for a proposed multi-family build to rent community.

5. This type of application will be decided by<sup>\*</sup>:  City Staff
- OR at a public meeting or hearing by:
- Zoning Hearing Examiner (ZHE)  **Site Plan - Administrative DFT**
  - Landmarks Commission (LC)  ~~Development Review Board (DRB)~~
  - City Council  Environmental Planning Commission (EPC)
6. Where more information about the project can be found<sup>4\*</sup>:  
Please call or email frank@consensusplanning.com 505 764 9801

**Project Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)<sup>5</sup> C9
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant<sup>\*</sup>: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project<sup>\*</sup>:
  - Deviation(s)       Variance(s)       Waiver(s)

Explanation:  
N/A
4. An offer of a Pre-submittal Neighborhood Meeting is required by [Table 6-1-1](#)<sup>\*</sup>:  Yes     No

<sup>3</sup> Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information:**

1. From the IDO Zoning Map<sup>6</sup>:
- a. Area of Property [typically in acres] \_\_\_\_\_
  - b. IDO Zone District \_\_\_\_\_
  - c. Overlay Zone(s) [if applicable] \_\_\_\_\_
  - d. Center or Corridor Area [if applicable] \_\_\_\_\_
2. Current Land Use(s) [vacant, if none] \_\_\_\_\_
- \_\_\_\_\_

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

\_\_\_\_\_

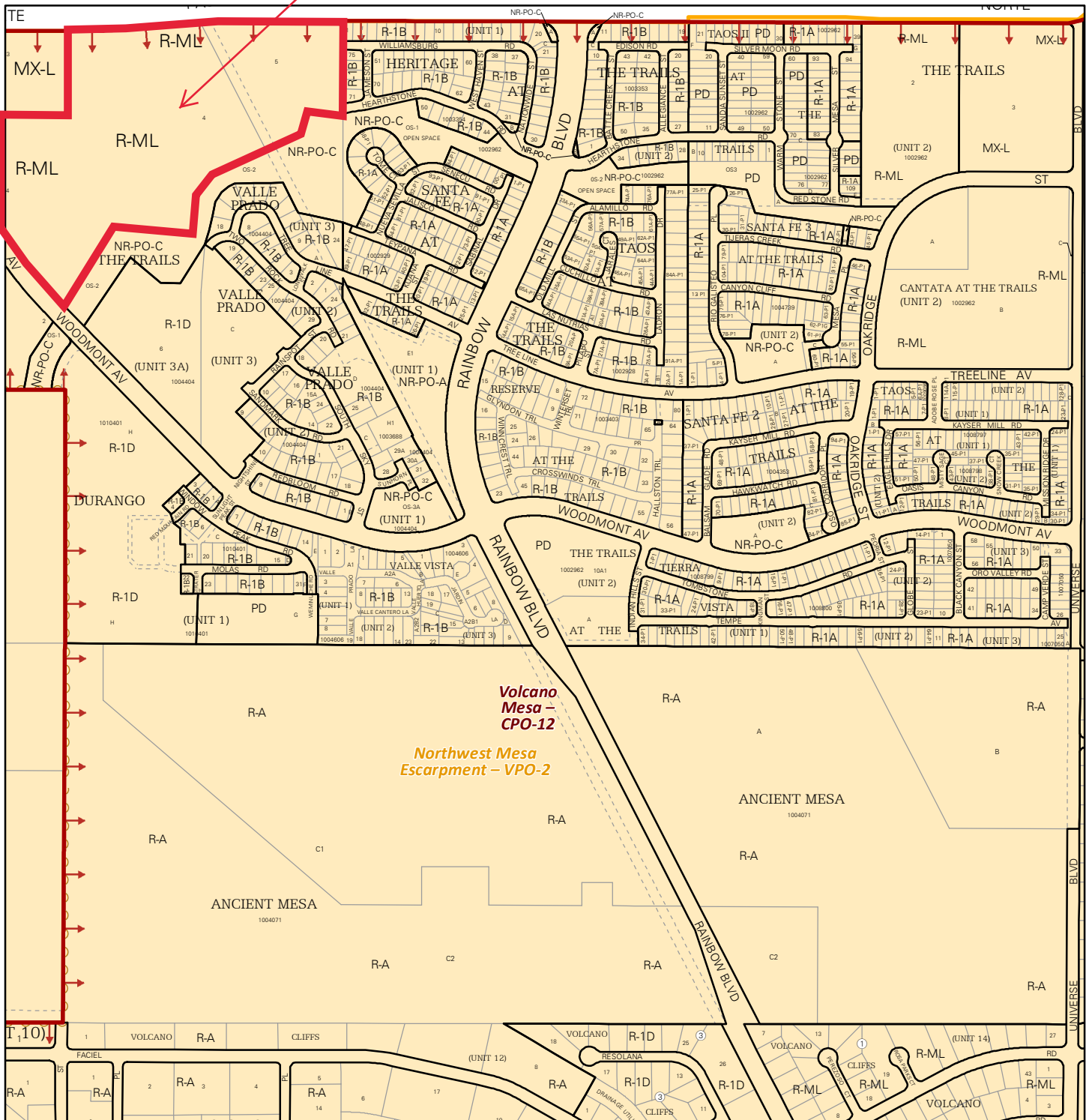
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\_\_\_\_\_

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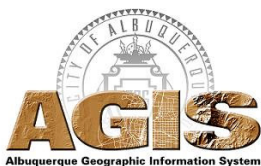
<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>

**SITE**

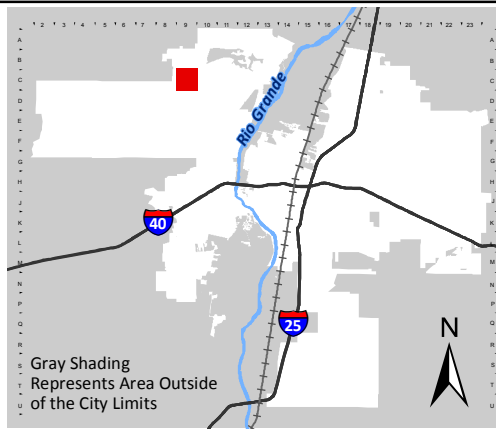


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

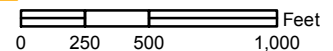


IDO Zoning information as of May 17, 2018  
 The Zone Districts and Overlay Zones  
 are established by the  
 Integrated Development Ordinance (IDO).



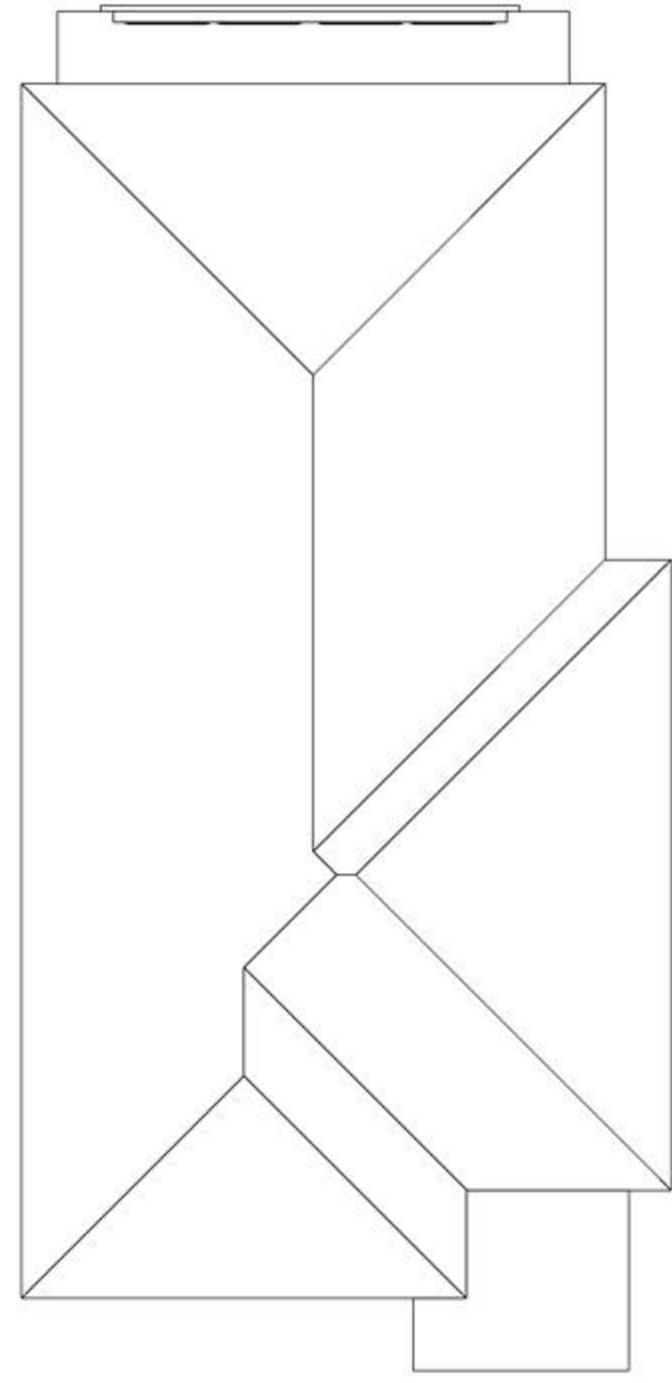
Zone Atlas Page:  
**C-09-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone









3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



FRONT  
0 2 4 8  
1/4"=1' SCALE

**MATERIAL LEGEND**

- 1 COMPOSITION SHINGLE ROOFING
- 2 STANDING SEAM METAL ROOFING
- 3 CEMENT FIBER LAP SIDING
- 4 CEMENT FIBER SMOOTH PANEL WITH CHANNEL
- 5 WOOD OR COMPOSITE TRIM ON SIDING
- 6 VERTICAL METAL SIDING
- 7 MASONRY VENEER (BRICK OR LEDGESTONE WHERE SHOWN)
- 8 VINYL WINDOW SYSTEM
- 9 METAL GUARDRAIL
- 10 METAL SECTIONAL GARAGE DOOR
- 11 WOOD PORCH POST AND BEAM AT PORCH
- 12 METAL AWNING WHERE SHOWN



RIGHT



BACK



LEFT

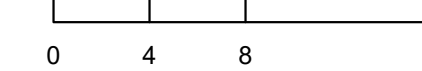


Architecture | Branding  
Interiors | Planning  
3660 Blake St., Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

LaTerra Development II, LLC  
1880 Century Park East, Ste 1017  
Los Angeles, CA 90067

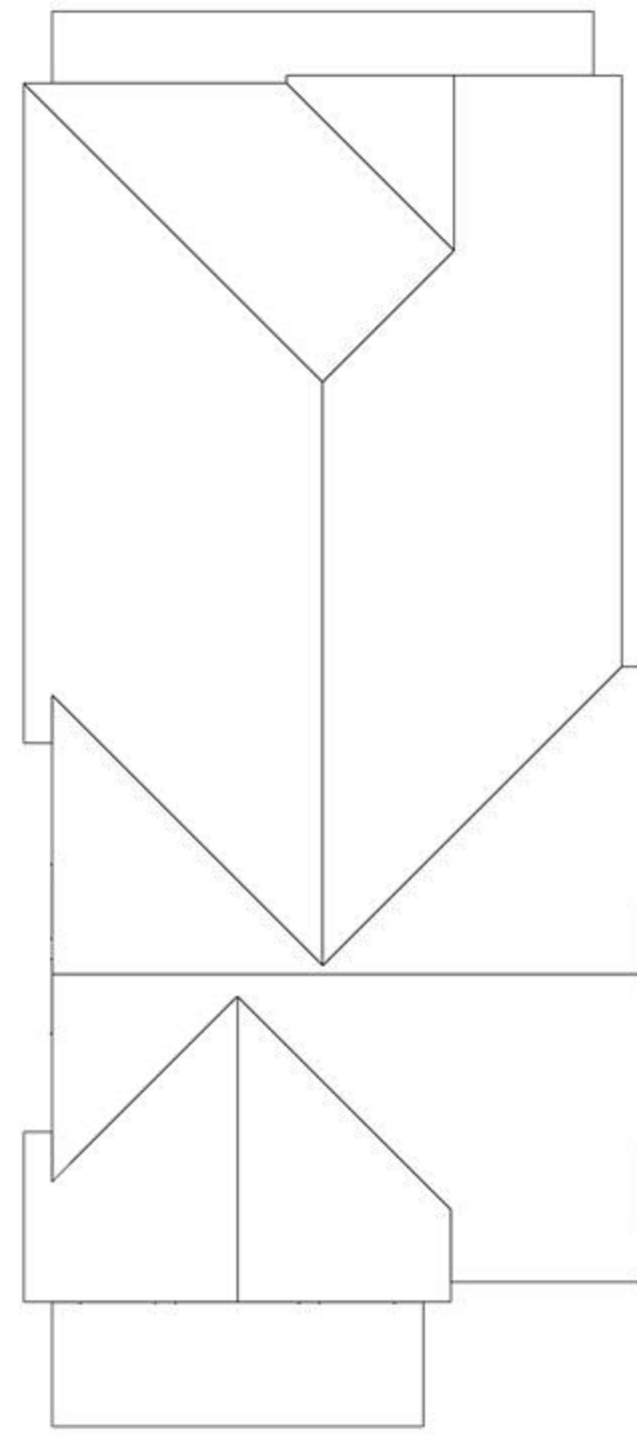
**LATERRA TRAILS**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
NOVEMBER 17, 2022



SINGLE FAMILY PLAN 1 B ELEVATIONS





3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



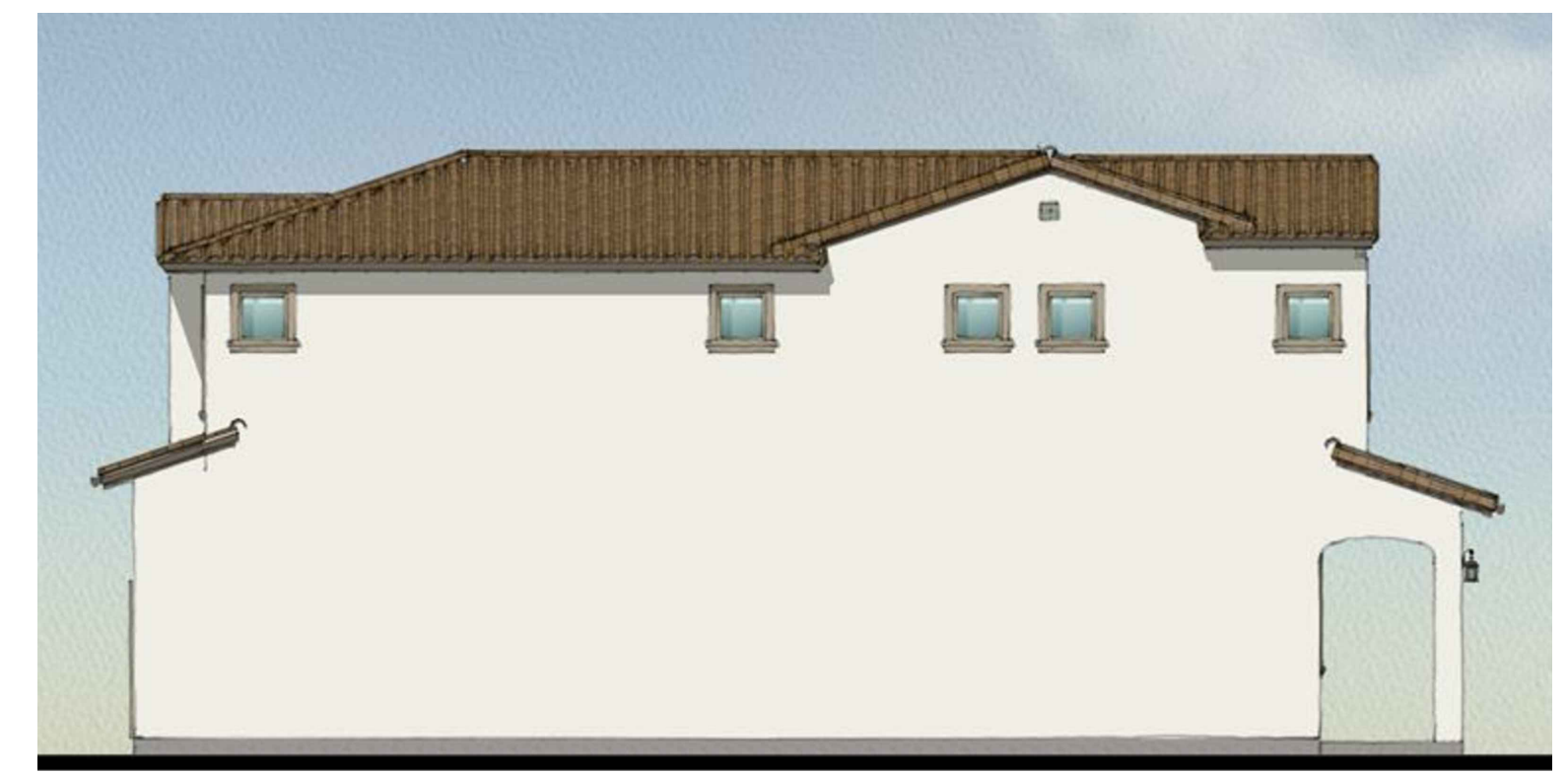
FRONT  
0 2 4 8  
1/4"=1' SCALE



RIGHT



BACK



LEFT

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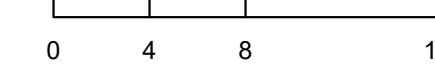


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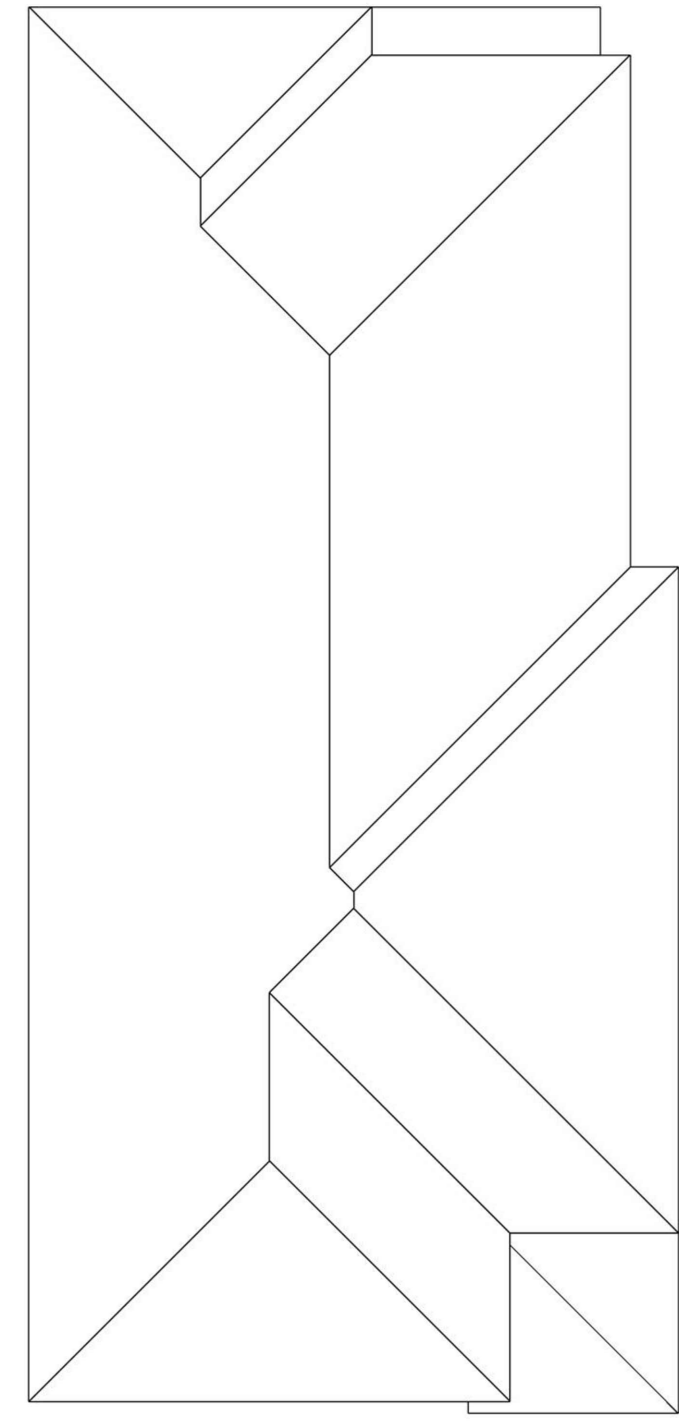
**LATERRA TRAILS**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
NOVEMBER 17, 2022



SINGLE FAMILY PLAN 2 A ELEVATIONS





3:12 ROOF PITCH TYP. U.N.O.



PERSPECTIVE



FRONT  
0 2 4 8  
1/4"=1' SCALE



RIGHT



BACK



LEFT

**MATERIAL LEGEND**

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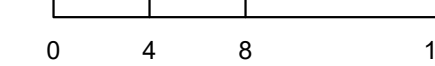


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LaTerra Development II, LLC  
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Los Angeles, CA 90067

**LATERRA TRAILS**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
NOVEMBER 17, 2022



SINGLE FAMILY PLAN 3 C ELEVATIONS





0 2 4 8  
3/16"=1" SCALE  
FRONT



BACK



LEFT



RIGHT

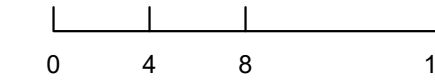


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LaTerra Development II, LLC  
1880 Century Park East, Ste 1017  
Los Angeles, CA 90067

**LATERRA TRAILS**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
NOVEMBER 17, 2022



TOWNHOME 4-PLEX ELEVATIONS

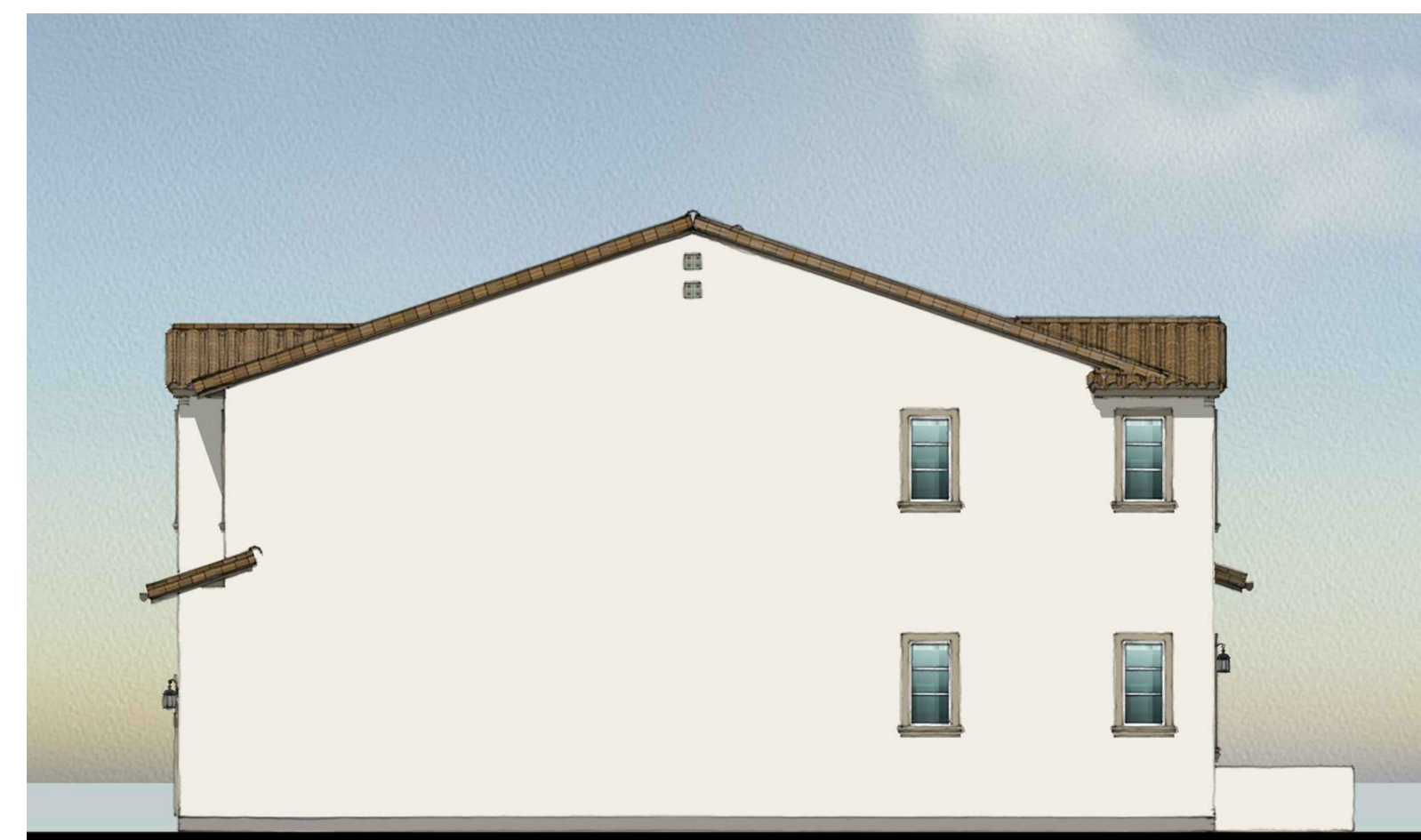




0 2 4 8  
3/16"=1" SCALE  
FRONT



BACK



LEFT



RIGHT

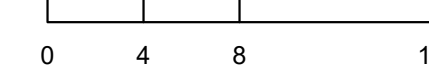


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ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
NOVEMBER 17, 2022



TOWNHOME 5-PLEX A ELEVATIONS

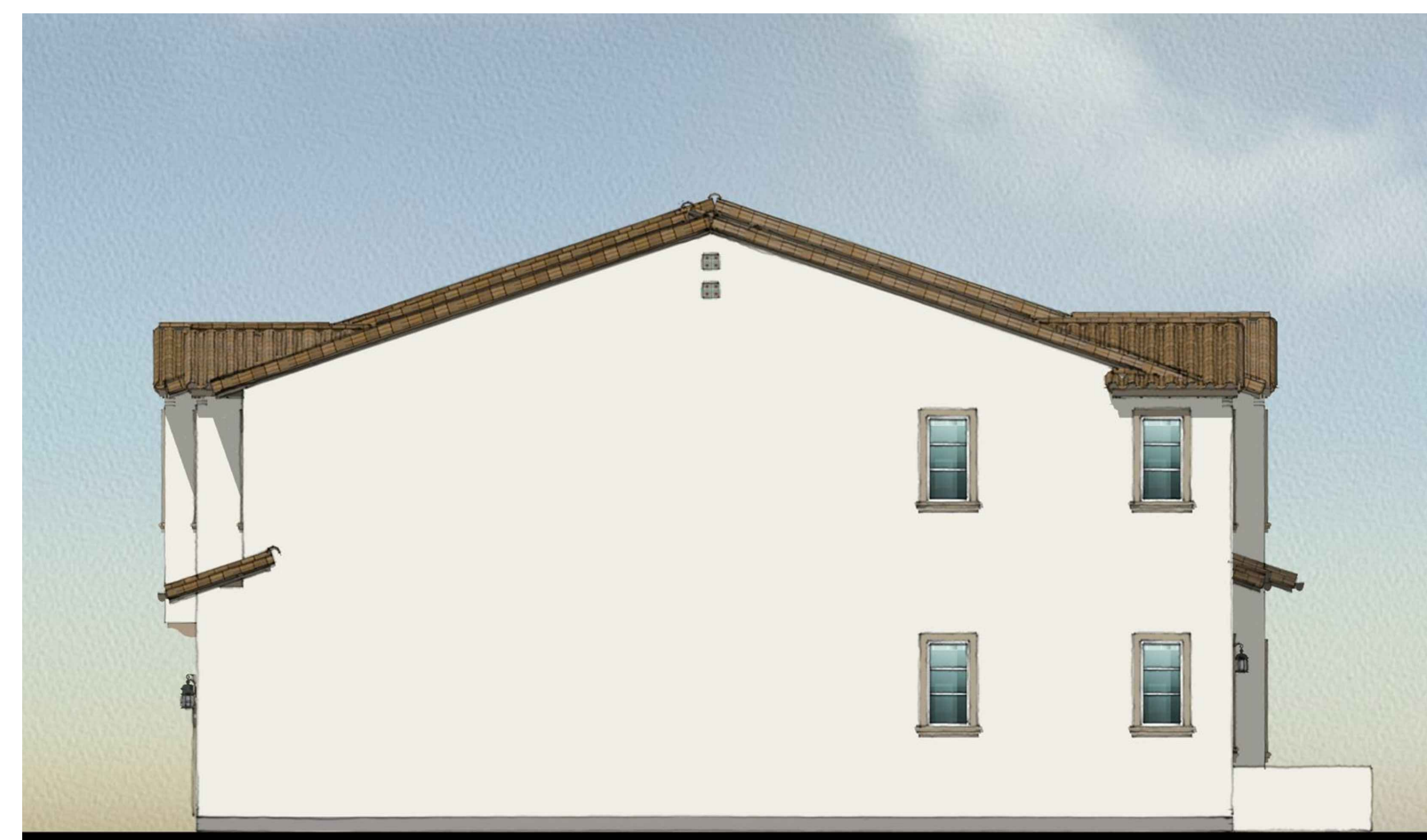




FRONT  
3/16"=1" SCALE



BACK



LEFT



RIGHT

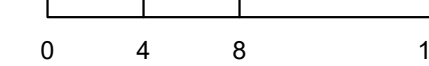


Architecture | Branding  
Interiors | Planning  
3660 Blake St., Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

LaTerra Development II, LLC  
1880 Century Park East, Ste 1017  
Los Angeles, CA 90067

**LATERRA TRAILS**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
NOVEMBER 17, 2022



TOWNHOME 6-PLEX A ELEVATIONS



**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

**Project #:** LaTerra Trails

**Property Description/Address:** Tract 4 and Tract 5 of the Trails Unit 3A

**Date Submitted:** 3 March 2023

**Submitted By:** Philip Crump

**Meeting Date\_Time:** 2 March 2023\_5-7 PM

**Meeting Location:** Via Google Meet

**Facilitator:** Philip Crump

**Applicant\_Agent:** La Terra Development LLC\_Consensus Planning

**Neighborhood Associations/Interested Parties:** Valle Prado NA, The Trails Community Association, Ventana HOA, Ventana West HOA

**Background/Meeting Summary:**

This meeting was held to review the application to the Development Facilitation Team (“DFT”) for approval of the Site Plan for a proposed multi-family build-to-rent community, to be developed by LaTerra Development LLC, based in Los Angeles. The site is in the northwest part (Tracts 4 and 5) of the larger Trails community and is located south of Paseo del Norte and east of Woodmont. The current site plan shows a total of 344 units, including single-family dwellings (145); four-, five-, and six-plex townhomes; and multifamily apartment buildings in approximately 37 acres. The overall density is 9 dwelling units per acre and heights are limited to two stories, though three stories are allowed by the current RML zoning. The units are not intended for sale, but for rental at market rates, for those who are unable or unwilling to afford home purchase. The agent characterized the project as having the look and feel like a traditional subdivision or townhouse development—gated, with an entry area and amenities, as opposed to a typical multifamily project.

Access to the site is off Woodmont. At the entry roundabout, there are gates to access the north and south areas; the south area includes the single-family dwellings, while the north area includes primarily the townhomes and multifamily buildings. There are to be two amenity areas with swimming pools, and both interior and perimeter landscaping.

During the meeting, a number of issues were brought forward by the adjacent neighborhood and homeowner associations. Among these were improvements to local roadways (Paseo del Norte and Woodmont), whether property values would be negatively affected, impacts on local schools, and traffic.

**Outcome:**

Toward the end of the meeting, several attendees expressed appreciation for the information presented. One person noted that other adjacent homeowner associations should be included in communications about the project.

**Meeting Specifics:**

**1) Project elements**

- a) LaTerra Trails is planned to encompass 37 acres, with a mix of 344 housing units, on the northeast side of Woodmont, south of Paseo del Norte.
  - i) There are to be 145 single-family residences, along with 4-, 5-, and 6-plex townhomes and multifamily apartments.
  - ii) LaTerra Development was founded in 2009 and is based on Los Angeles.
    - (1) It is a family-owned vertically-integrated residential and mixed-use development investment company with an in-house general contractor.
- b) The project area is within an Area of Consistency as identified by the comprehensive plan and within the Northwest Mesa Community Planning Area.
- c) All units are for rent--not sale--and offered at market rates for long-term occupancy.
  - i) The units are for those who are unable or unwilling to afford home purchase.
  - ii) The project will be professionally managed, with professional maintenance.
- d) Buildings will be two-story, with pitched roofs.



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**La Terra Trails**

- i) Single-family homes and townhomes will have garages.
  - e) Two community amenity areas will include swimming pools.
    - i) The linear Open Space to the south accommodates a trail and buffers this project from Valle Prado housing.
      - (1) A major rock outcropping straddles the boundary between this project and the vacant designated commercial area to the northwest.
    - ii) Main access is off Woodmont.
      - (1) Access into the two dwelling areas—single-family residences to the south and primarily townhomes and multifamily to the north—will be gated.
        - (a) An emergency access is located on the east side of the project.
  - f) The project will be fully landscaped, with professional service to maintain the property.
- 2) Roadway and Water improvements; Drainage;.**
- a) Questions arose regarding future improvements to area roadways—Paseo del Norte and Woodmont.
    - i) Of two Paseo widening projects, Phase One is fully funded, is under design now, and is expected to commence in 2025.
      - (1) While the City often relies on private developers to create or improve infrastructure, in this case, LaTerra is asked to contribute \$800,000 (of a total of \$2 million) to the “Procedure C Modified Process” for improving Paseo del Norte.
    - ii) Widening of Unser Boulevard is a current city project, first from Paseo to Paradise and later to the west of Unser.
    - iii) Woodmont has not yet been connected to Paseo, as this project and the multifamily project on the west side are not yet under construction.
      - (1) The city waits for development before making such infrastructure improvements.
      - (2) That completed infrastructure is going to have a significant bicycle and pedestrian improvements--bike lanes on Woodmont, the multiuse trail on the south side of Paseo.
        - (a) They are going to have a very positive impact on the overall walkability and the ability of pedestrians and bicyclists to get around this part of the city.
    - iv) A neighbor pointed out the delays in implementing these road improvements.
      - (1) They say they will start construction in 2024.
        - (a) It was in 2019 they announced \$19 million for this project and design.
          - (i) Now we are in 2023 and the project hasn't started.
  - b) There have been significant improvements to the water and wastewater infrastructure, especially a new reservoir and water line extensions that serve Tracts 1, 4 and 5.
    - i) One attendee was concerned about low water pressure in Valle Prado.
      - (1) The Catalonia and Durango Developer entered an agreement with the Water Authority to help provide a redundant water system for the Trails.
        - (a) This project is also bringing more water, via a 1.25 mile 20-inch water line.
          - (i) It is building a public water line, tying into existing system, that will provide extra safety through redundancy.
- 3) Neighborhood issues**
- a) School system overcrowding
    - i) While noting that there have been decreases in school enrollment during Covid, a neighborhood representative said that there have not been such decreases in Trails schools.
      - (1) With a thousand new housing units being built, there will be more students; even with only one child per household in 25% of the units, that would mean 250 additional students.
    - ii) The agent said that APS does their own short and long-range planning.
      - (1) The density for this project is less than what has been planned.
        - (a) APS also has noted the significant decrease in student population.
  - b) Parking

**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

- i) The agent noted that the single-family homes and townhomes all will have garages and that there will be adequate on-street and designated parking for guests.
  - (1) There will be no parking impacts on adjacent streets to lower property values.
    - (a) The project design calls for more parking than is required by the City.
- c) Neighborhood character
  - i) The agent said that the design of the buildings will be complementary to neighboring developments.
    - (1) The mix of unit types will match nicely with the existing character of the Trails community.
- d) Traffic
  - i) There is a concern that the completed Woodmont/Paseo intersection will be right across from Ventana West, creating a dangerous situation.
    - (1) The current plan calls for four-way stop signs, though residents would prefer a traffic signal.
    - (2) The agent suggested people can get more information from the city's Engineering Division Manager, Paula Dodge-Kwan, at 505-768-2766
- e) Dust
  - i) A neighbor expressed concern that a developer new to New Mexico may not be aware of how dry and windy the area is.
    - (1) With construction, there may be a lot of dust blowing into adjacent residential areas.
      - (a) He asked that there be a phone number to call when there is a problem—especially on weekends when there is no watering going on.
        - (i) He suggested that buildings be constructed on the southeast perimeter first, for a dust barrier.
          - 1. The agent noted that with build-to-rent, there are no empty lots awaiting sale, so the problem if dust is lessened.
        - (ii) The developer said that they are sensitive to dust issues and will take measures to control dust.
- f) Elevations between Valle Prado and this development
  - i) A neighbor had concerns about grading, and whether there would be fill such that buildings would be effectively taller and loom over adjacent residences.
    - (1) The engineer said they are trying to mimic the existing topography of the site.
      - (a) In the first place, it is expensive to fill.
      - (b) Secondly, they wish to adhere to the original master plan, with designated drainage and ponds.
        - (i) This project will drain to the east, not to the south.
        - (ii) While there are two ponds shown in the open space master plan, they will be smaller.
          - 1. The open space was actually designated for drainage as well as the trail.
- g) Open space between Valle Prado and this development
  - i) An HOA open space tract separates this property from the Valle Prado neighborhood to the south.
    - (1) There is a landscape buffer, with no LaTerra homes backing up to that open space along the south boundary.
      - (a) The agent suggested that it will be complementary to the existing open space.
- h) Property values
  - i) One neighbor said the only thing to base area property value impacts upon is the rental rate for this project.
    - (1) The developer said that rates will be at or maybe above local market rates.
      - (a) He said that with the level of amenities and investment in a project like this, they typically see adjacent property values stay consistent or increase with the area market trends.
- i) Infrastructure burden
  - i) Especially with regard to water and wastewater infrastructure, this development brings improvements as a significant positive step for the entire area.
- j) Population density

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- i) The density for this project is at 9 dwelling units per acre.
    - (1) This is probably slightly higher than some of the existing single-family neighborhoods within The Trails.
      - (a) It is not a little bit less than the townhouse style development at the east end and significantly less than the multifamily proposed for Tract One.
  - k) Social impact
    - i) The agent said they think that this is going to have a positive impact and provide an opportunity for new residents to move into quality housing in the existing established quality neighborhood-The Trails
- 4) Other issues**
- a) Governance
    - i) The Trails community documents allow the purchaser to determine whether or not they are going to seek annexation of the existing community association.
      - (1) In this case, given the amount of amenities constructed and the gated nature of it, they elect not to participate into the HOA.
        - (a) All the roads and everything (including stormwater ponds) within the boundaries of the project will be maintained by two LaTerra Trails HOAs—one each to the north and south areas.
  - b) Crime
    - i) A resident said that throughout the past few years, similar complexes built on Unser and Paseo have actually brought more crime to this area.
      - (1) The agent responded that in preparation for this meeting, they did a search of APD crime data in reference to a number of multifamily projects in the area and did not see that.
      - (2) They actually saw more crime originating within the single-family subdivisions.
  - c) Area amenities and walkability
    - i) A neighbor expressed concern about the walkability score--the ability to walk to and from different services in the area, and here, there are no services.
      - (1) The agent said that in areas like this on that edge of development or in an area where the development is starting to build out, they tend to have lower scores because the commercial and retail the services tend to follow the residential developments.
      - (2) With the additional residential units associated with this project, as well as the multifamily and new houses that are being built in Catalonia and Durango, the viability and the interest in developing more retail, more restaurants, more services, adjacent to the neighbors is going to be better.
  - d) Timeline
    - i) The developer said that they will begin construction as soon as possible.
      - (1) They are already in the design phase.
        - (a) The architects and engineers are working hard and fast.
  - e) Dark sky
    - i) The project will be held to following the city's Night Sky standards.
      - (1) The city has specific regulations on not impacting neighborhood properties with fugitive light.
        - (a) All the lighting in the project will be shielded source.
  - f) Developer keeping the property
    - i) The developer said the idea for this one is a long-term hold.
      - (1) The capital generally drives the whole period and this one is going to be a long-term hold.
        - (a) More than five years and probably closer to 10 years.
  - g) High pressure gas distribution line
    - i) Two gas transmission lines run north-south through the property.
      - (1) The engineer noted that federal laws dictate what is allowed.

**CITY OF ALBUQUERQUE**  
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- (a) For example, there are no permanent structures over the top of their 50-foot-wide gas line area that runs through the site.
- (2) There is a certain minimum cover required over that gas line, with any crossing utilities.
  - (a) They are working closely with the New Mexico Gas Company to ensure that all the requirements are met, to make the as safe as possible during construction and afterwards.

**Action Items:**

1. When the plans are ready for submittal to the city, they will be shared with the Neighborhood Association and with the HOA.
2. The agent will reach out to the HOA and begin conversation with them.
3. The agent will send the southern elevations of the buffer between Valle Prado and the development to the Neighborhood Association.

**Application Hearing Details:**

From the agent: “DFT applications do not have a scheduled submittal date since it is an administrative process now and not a public hearing. We do not have a hard deadline yet but most likely within a month. We will let all parties know when we submit the application to the city. “

**Names & Affiliations of Attendees and Interested Parties:**

Chris Tourtellotte	LaTerra Development		
Charlie Tourtellotte	LaTerra Development		
Jonathan Braun	LaTerra Development	Gary Luera	
William Ramsey	KTGY Architects	Dominic Romero	
Doug Heaton	KTGY Architects	Hendrik DeBruijn	
Joshua Lutz	Bohannon Huston	Houda Azourar	
Garret Price	Land Development Group	Jazmin Cabrera	
Avery Frank	Consensus Planning	Jordee & Brooke Wester	
Jim Strozier	Consensus Planning	Karen Carter	
Chris Green	Consensus Plann/Landscape	Larry Lemasters	
Joshua Beutler	Valle Prado NA	Luis Torres	
Steve Shumacher	Valle Prado NA	Stephen Quinn	
Brent Miller	The Trails Comm Assoc'n	Stewart Morris	
Lisa & Mike Walter	Ventana Ranch	Vaessa Vicenti	
Erika Pena	Ventana Ranch West	Wes Corben	
Hugh McDonald	Ventana Ranch West	Matthew Hesley	
Cynthia Martinez	Ventana Ranch West	Jay Rodenbeck	CABQ Planning/DFT
Hilary Zwart	Ventana Ranch West	Jolene Wolfley	CABQ Planning/DFT
Carolyn Rivera		Tyson Hummell	CABQ ADR Coordinator
Kija Farrar		Philip Crump	Facilitator
Chris Bushman			
Sally Flanagan			
Roberta Pallais-Debruijn			
Monica Montano			
Carrie Ellen			
Anne Turner			
Ashley Wolfe			
Carolyn Rivera			



June 2, 2023

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

Dear property owners,

On behalf of La Terra Development LLC, Consensus Planning, Inc. is providing you with notice that we are submitting a Site Plan Administrative application for DFT approval which will be reviewed and approved internally through the City of Albuquerque Planning Department. The request is to construct a multi-family build-to-rent community.

The application is being submitted today and will be reviewed and decided by city staff; therefore, there will be no public hearing. If you would like to discuss this project with city staff, you can reach out to [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call 505 924 3860. As part of this email package, we have included the city-required application forms and the subject site's zone atlas page.

Per the IDO section 6-4(K)(1) all required public notification information has been included in this package. Please reach out to [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or call 505.764.9801 with any questions or concerns regarding this application. We look forward to hearing from you soon.

Sincerely,

Jim Strozier, FAICP  
Consensus Planning, Inc.  
(505) 764-9801

## PRINCIPALS

James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP



OFFICIAL PUBLIC NOTIFICATION FORM
FOR MAILED OR ELECTRONIC MAIL NOTICE
CITY OF ALBUQUERQUE PLANNING DEPARTMENT



PART I - PROCESS
Use Table 6-1-1 in the Integrated Development Ordinance (IDO) to answer the following:
Application Type: Site Plan - Administrative DFT
Decision-making Body:
Pre-Application meeting required: [ ] Yes [x] No
Neighborhood meeting required: [x] Yes [ ] No
Mailed Notice required: [x] Yes [ ] No
Electronic Mail required: [x] Yes [ ] No
Is this a Site Plan Application: [x] Yes [ ] No Note: if yes, see second page
PART II - DETAILS OF REQUEST
Address of property listed in application: Tract 4 and Tract 5 Bulk Land Plat of the Trails Unit 3A
Name of property owner: PV Trails Albuquerque LLC
Name of applicant: La Terra Development LLC
Date, time, and place of public meeting or hearing, if applicable:
Address, phone number, or website for additional information:
Please call or email frank@consensusplanning.com 505 764 9801
PART III - ATTACHMENTS REQUIRED WITH THIS NOTICE
[x] Zone Atlas page indicating subject property.
[x] Drawings, elevations, or other illustrations of this request.
[ ] Summary of pre-submittal neighborhood meeting, if applicable. We are requesting a meeting
[x] Summary of request, including explanations of deviations, variances, or waivers.
IMPORTANT: PUBLIC NOTICE MUST BE MADE IN A TIMELY MANNER PURSUANT TO
SUBSECTION 14-16-6-4(K) OF THE INTEGRATED DEVELOPMENT ORDINANCE (IDO).
PROOF OF NOTICE WITH ALL REQUIRED ATTACHMENTS MUST BE PRESENTED UPON
APPLICATION.

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

[Handwritten Signature] (Applicant signature) June 2, 2023 (Date)

Note: Providing incomplete information may require re-sending public notice. Providing false or misleading information is a violation of the IDO pursuant to IDO Subsection 14-16-6-9(B)(3) and may lead to a denial of your application.

**OFFICIAL PUBLIC NOTIFICATION FORM  
FOR MAILED OR ELECTRONIC MAIL NOTICE  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT**



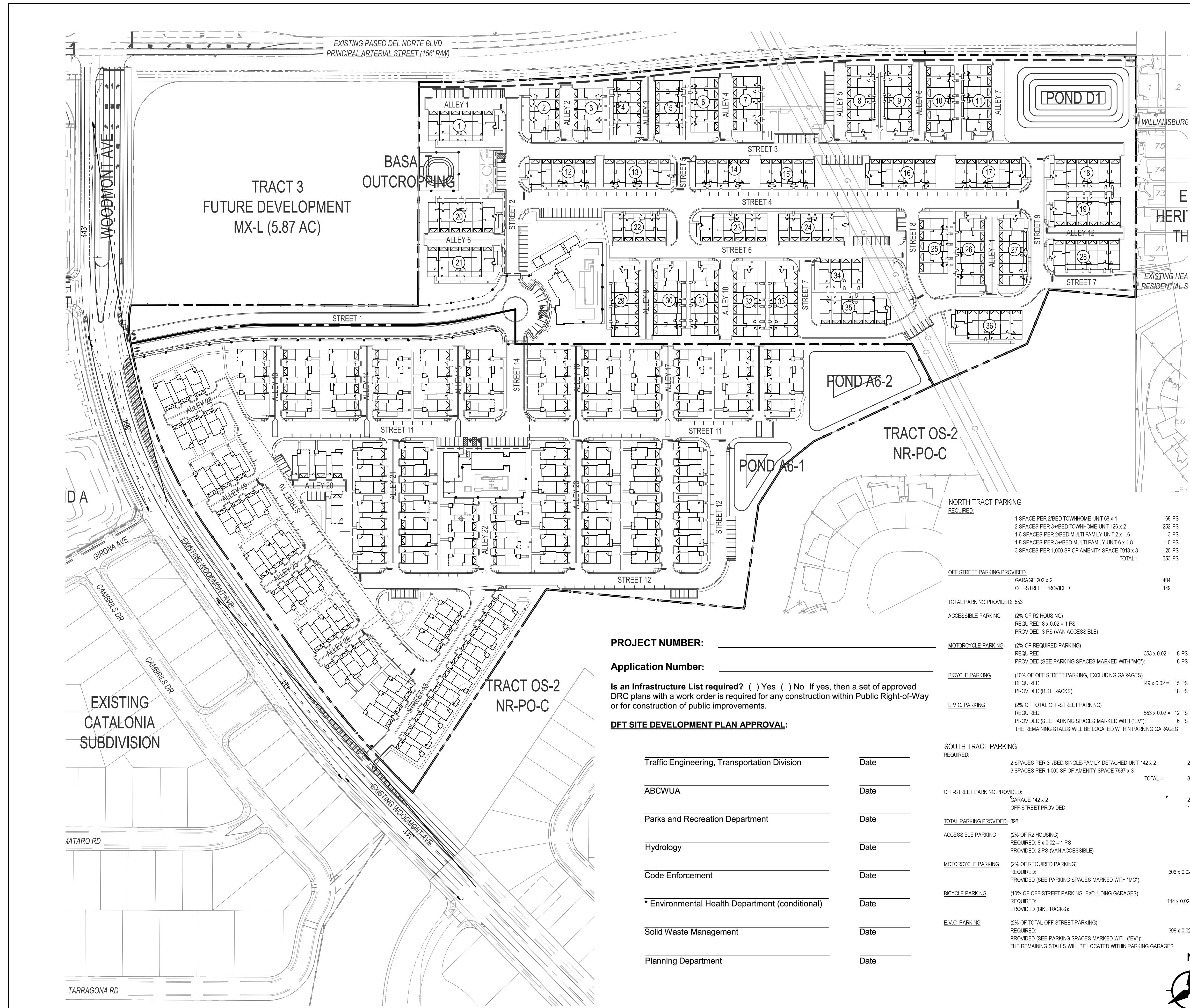
**PART IV – ATTACHMENTS REQUIRED FOR SITE PLAN APPLICATIONS ONLY**

Provide a site plan that shows, at a minimum, the following:

- a. Location of proposed buildings and landscape areas.
- b. Access and circulation for vehicles and pedestrians.
- c. Maximum height of any proposed structures, with building elevations.
- d. For residential development: Maximum number of proposed dwelling units.
- e. For non-residential development: NA
  - Total gross floor area of proposed project.
  - Gross floor area for each proposed use.





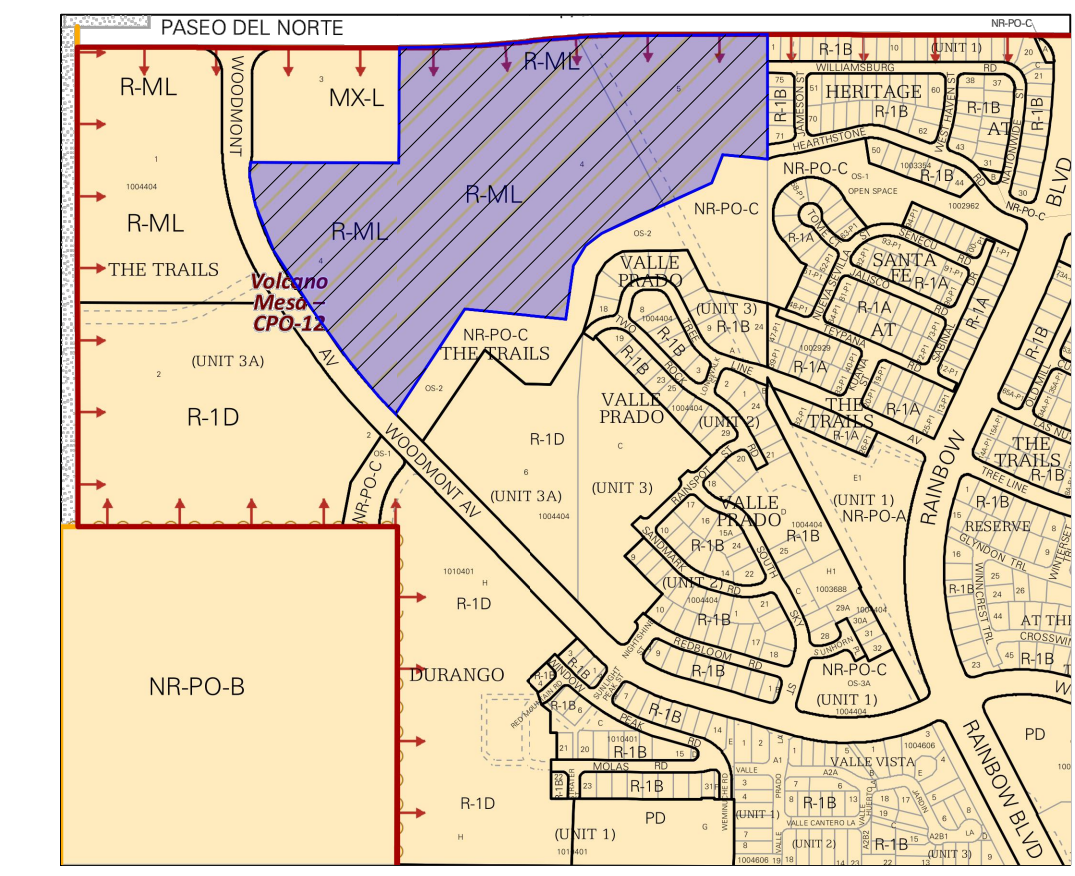


**GENERAL NOTES**

1. ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
2. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
3. STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
4. THERE ARE NO TRASH ENCLOSURES FOR THIS SITE. INDIVIDUAL UNITS WILL HAVE THEIR OWN TRASH BINS. AN EXHIBIT HAS BEEN SUBMITTED TO SOLID WASTE FOR THEIR APPROVAL.

**SITE DATA**

**LEGAL DESCRIPTION: TRACTS 4 AND 5 OF THE TRAILS UNIT 3A**  
**SITE AREA:**  
 NORTH TRACT: 18.78 ACRES  
 SOUTH TRACT: 18.29 ACRES  
**ZONING: R-ML**  
**PROPOSED LAND USE: RESIDENTIAL**  
**SETBACKS: AS SHOWN, SEE SITE PLAN.**  
**SIGNAGE: AS SHOWN, SEE SITE PLAN.**  
**WALLS AND FENCES: AS SHOWN, SEE SITE PLAN.**



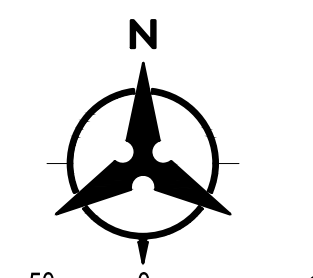
**VICINITY MAP**

ZONE ATLAS PAGE: C-09-Z

**LEGEND**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- ▨ SITE TRIANGLE

**Bohannon Huston**  
 www.bhinc.com 800.877.5332



**PROJECT NUMBER:** \_\_\_\_\_  
**Application Number:** \_\_\_\_\_

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

**NORTH TRACT PARKING**

REQUIRED:	1 SPACE PER 2BED TOWNHOME UNIT 68 x 1	68 PS
	2 SPACES PER 3-BED TOWNHOME UNIT 126 x 2	252 PS
	1.8 SPACES PER 2BED MULTIFAMILY UNIT 2 x 1.8	3 PS
	1.8 SPACES PER 3-BED MULTIFAMILY UNIT 6 x 1.8	10 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 6918 x 3	20 PS
	<b>TOTAL =</b>	<b>353 PS</b>

**OFF-STREET PARKING PROVIDED:**  
 GARAGE 202 x 2 404  
 OFF-STREET PROVIDED 149

**TOTAL PARKING PROVIDED: 553**

**ACCESSIBLE PARKING** (2% OF R2 HOUSING)  
 REQUIRED: 8 x 0.02 = 1 PS  
 PROVIDED: 3 PS (VAN ACCESSIBLE)

**MOTORCYCLE PARKING** (2% OF REQUIRED PARKING)  
 REQUIRED: 353 x 0.02 = 8 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "MC"): 8 PS

**BICYCLE PARKING** (10% OF OFF-STREET PARKING, EXCLUDING GARAGES)  
 REQUIRED: 149 x 0.02 = 15 PS  
 PROVIDED (BIKE RACKS): 18 PS

**E.V.C. PARKING** (2% OF TOTAL OFF-STREET PARKING)  
 REQUIRED: 553 x 0.02 = 12 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "EV"): 8 PS  
 THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES

**SOUTH TRACT PARKING**

REQUIRED:	2 SPACES PER 3-BED SINGLE-FAMILY DETACHED UNIT 142 x 2	284 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 7637 x 3	22 PS
	<b>TOTAL =</b>	<b>306 PS</b>

**OFF-STREET PARKING PROVIDED:**  
 GARAGE 142 x 2 284  
 OFF-STREET PROVIDED 114

**TOTAL PARKING PROVIDED: 398**

**ACCESSIBLE PARKING** (2% OF R2 HOUSING)  
 REQUIRED: 8 x 0.02 = 1 PS  
 PROVIDED: 2 PS (VAN ACCESSIBLE)

**MOTORCYCLE PARKING** (2% OF REQUIRED PARKING)  
 REQUIRED: 306 x 0.02 = 7 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "MC"): 8 PS

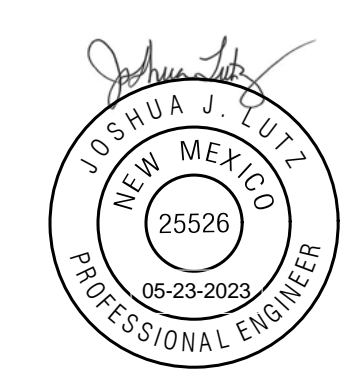
**BICYCLE PARKING** (10% OF OFF-STREET PARKING, EXCLUDING GARAGES)  
 REQUIRED: 114 x 0.02 = 12 PS  
 PROVIDED (BIKE RACKS): 12 PS

**E.V.C. PARKING** (2% OF TOTAL OFF-STREET PARKING)  
 REQUIRED: 398 x 0.02 = 8 PS  
 PROVIDED (SEE PARKING SPACES MARKED WITH "EV"): 4 PS  
 THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475 E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864360
DELTA ALPHA = 00° 16'38.96"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE
	WORK STAGED BY	DATE
	INSPECTORS	DATE
	ASSEMBLED BY	DATE
	FIELD VERIFICATION BY	DATE
	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY
		JL	JL	AR

**BEDROCK SITE PLAN COVER SHEET**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	OF	51
				C-000		

Tue, 23-May-2023 - 12:08 pm. Plotted by: JUTZ  
 P:\20220473\CDP\Plans\General\20220473SP Cover.dwg



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Interiors | Planning  
3660 Blake St., Suite 500  
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303.825.6400  
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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
MARCH 16, 2023



SINGLE FAMILY DETACHED RENDERING

A0-2

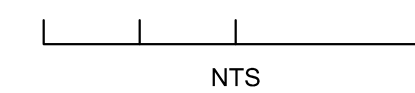


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CONCEPTUAL DESIGN  
MARCH 16, 2023

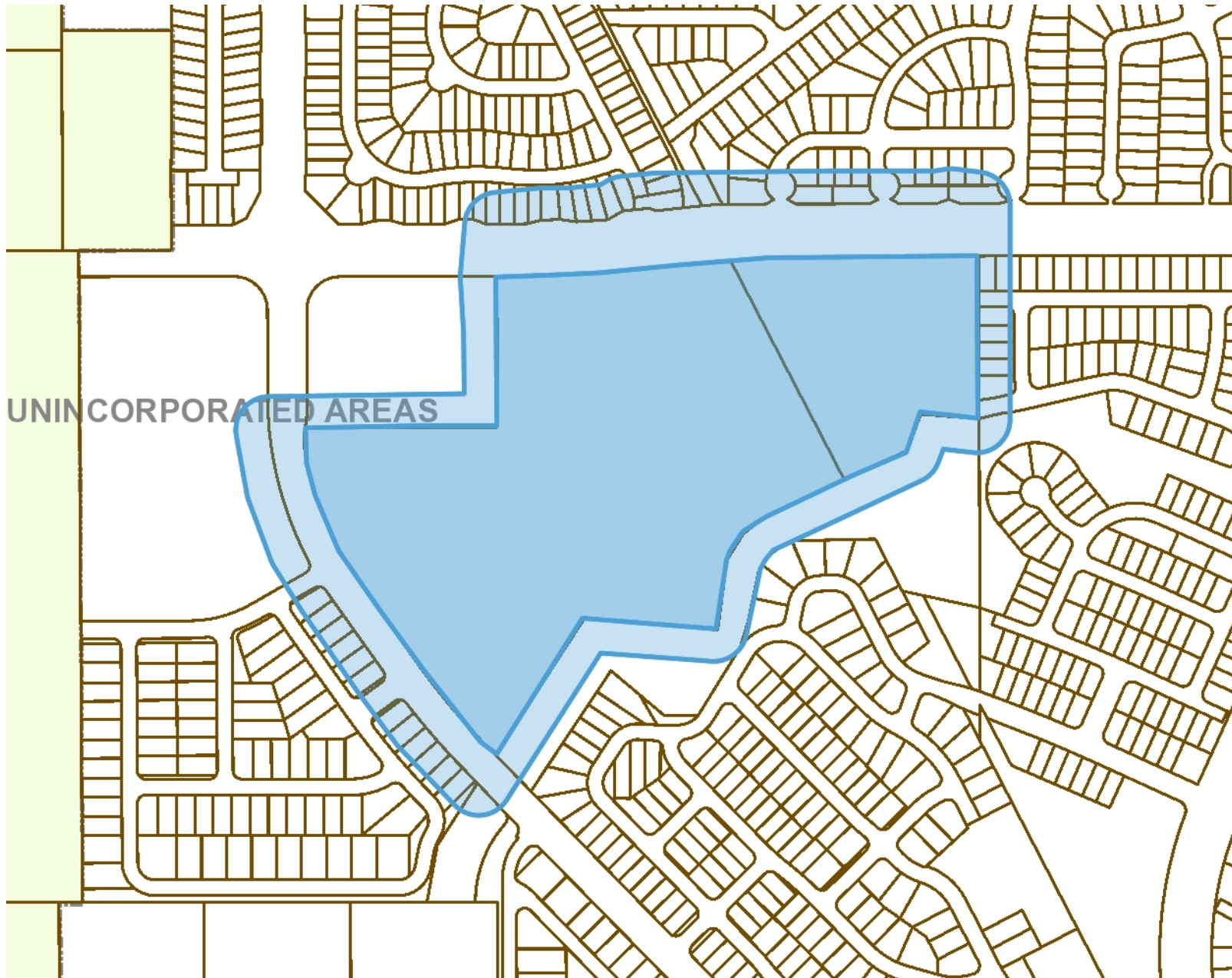


TOWNHOME RENDERING

A0-1



# Bedrock at the Trails



## Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED

UNINCORPORATED AREAS

## Notes

Created by Consensus Planning on 6/2/2023 with 100' Buffer

884 0 442 884 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
6/2/2023 © City of Albuquerque

1: 5,302

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

UPC	Owner	Owner Address	Owner Address 2	SITUS Address
100906501000332603	KAO AARON T & KAO AUDREY TORRES	3216 WALSH LP SE	RIO RANCHO NM 87124-0000	7824 LATIR MESA RD NW
100906508002230621	SNITMAN DMITRIY & MARINA	11329 DONA LOLA PL	STUDIO CITY CA 91604-4320	7516 CERROS PL NW
100906501400332604	SEGO GARRET C & KAYCIE	7820 LATIR MESA RD NW	ALBUQUERQUE NM 87114-1689	7820 LATIR MESA RD NW
100906512902230629	SANDOVAL GARY P	7412 CERROS PL NW	ALBUQUERQUE NM 87114	7412 CERROS PL NW
100906509402230622	SHOWS OTIS B	7508 CERROS PL NW	ALBUQUERQUE NM 87114-3438	7508 CERROS PL NW
100906403546422301	PV TRAILS ALBUQUERQUE LLC	4350 LA JOLLA VILLAGE DR SUITE 110	ALBUQUERQUE NM 87114-1689	7828 LATIR MESA RD NW
100906500600332602	CHAVEZ MONIQUE A	7828 LATIR MESA RD NW	ALBUQUERQUE NM 87114	9401 SPANISH POINTE PL NW
100906510201530625	9401 SPANISH POINT LLC	9832 BRISCOE RANCH TRL NW	ALBUQUERQUE NM 87114	9401 TOUCAN PL NW
100906513901530633	CLOWER CHRISTIE CAROL & TERI MICHELE	9401 TOUCAN PL NW	ALBUQUERQUE NM 87114-3615	9305 JAMESON ST NW
100906415348421101	GOWAN MATTHEW P & ISABEL A	1398 PEPPOLI LP SE	RIO RANCHO NM 87124-8780	7527 CERROS PL NW
100906507102230618	KUJAWSKI JOANNE & DAMIANO GUY W	7527 CERROS PL NW	ALBUQUERQUE NM 87114-3437	9309 JAMESON ST NW
100906415349021102	SCHPEPPMAN KYLE J & DE PASQUALE JENNIFER M	9309 JAMESON ST NW	ALBUQUERQUE NM 87114-4552	
100906504901732638	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE NM 87103	
100906407742422302	TRAILS COMMUNITY ASSOCIATION INC (THE)	PO BOX 67590	ALBUQUERQUE NM 87193-7590	
100906509201530620	GONZALES TAYLOR & GONZALES RAYMOND LAWRENCE	7520 CERROS PL NW	ALBUQUERQUE NM 87114-3438	7520 CERROS PL NW
100906510502230624	COSTANZO JESSICA A & CHRISTOPHER P	7500 CERROS PL NW	ALBUQUERQUE NM 87114	7500 CERROS PL NW
100906415151820832	TRUJILLO CARMEN V	7339 WILLIAMSBURG RD NW	ALBUQUERQUE NM 87114	7339 WILLIAMSBURG RD NW
100906415350021104	CARLSON LINDA & FISK DAVID	9319 JAMESON ST NW	ALBUQUERQUE NM 87114-4552	9319 JAMESON ST NW
100906415851820831	SKINNER ASHLEY R & ALCANTAR JOSHUA M	7335 WILLIAMSBURG RD NW	ALBUQUERQUE NM 87114-4555	7335 WILLIAMSBURG RD NW
100906504800532611	TRAN KEN & INN PUJ FANG	6815 GLENTURRET WAY NE	ALBUQUERQUE NM 87113	9404 CARSON MESA DR NW
10080651400240328	ORTEGA RAYMOND A & JOANNA M	PO BOX 3335	MILAN NM 87021	7840 LATIR MESA RD NW
100906503100432608	AARO RENA	7804 LATIR MESA RD NW	ALBUQUERQUE NM 87114-1689	7804 LATIR MESA RD NW
100906502300332606	HERRERA GABRIEL J & NOVELLA S	7812 LATIR MESA RD NW	ALBUQUERQUE NM 87114-1689	7812 LATIR MESA RD NW
100906511702430627	LIVESAY ELIZABETH THERESA TRUSTEE LIVESAY RVT	7420 CERROS PL NW	ALBUQUERQUE NM 87114-3439	7420 CERROS PL NW
100906510002230623	MORGAN ERIC C & HEATHER M	7504 CERROS PL NW	ALBUQUERQUE NM 87114	7504 CERROS PL NW
100906514602430632	CAMPBELL COLIN M & ELIZABETH A	7400 CERROS PL NW	ALBUQUERQUE NM 87114	7400 CERROS PL NW
100906502700432607	JETT MICHELLE E	7808 LATIR MESA RD NW	ALBUQUERQUE NM 87114-1689	7808 LATIR MESA RD NW
1008065050900240327	HPA III ACQUISITIONS I LLC	120 S RIVERSIDE PLAZA SUITE 2000	CHICAGO IL 60606-6995	7844 LATIR MESA RD NW
100906415350521105	SANCHEZ KERRIANNE	9323 JAMESON ST NW	ALBUQUERQUE NM 87114	9323 JAMESON ST NW
100906415349521103	GALLEGOS JOSHYLYNN Y	9315 JAMESON ST NW	ALBUQUERQUE NM 87114-4552	9315 JAMESON ST NW
100906513402230630	BLAIR BRANDON HUNTER	7408 CERROS PL NW	ALBUQUERQUE NM 87114-3439	7408 CERROS PL NW
100906512302230628	SEGURA SAUL & KATHERINE S TR SEGURA RVT	7416 CERROS PL NW	ALBUQUERQUE NM 87114-3439	7416 CERROS PL NW
100906501900332605	JONES MARWAN & BRIANNA	7816 LATIR MESA RD NW	ALBUQUERQUE NM 87114-1689	7816 LATIR MESA RD NW
100806551800240329	HPA III ACQUISITIONS I LLC	120 S RIVERSIDE PLAZA SUITE 2000	CHICAGO IL 60606-6995	7836 LATIR MESA RD NW
100906512201430626	CAMP ANGELICA	9400 SPANISH POINTE PL NW	ALBUQUERQUE NM 87114-3605	9400 SPANISH POINT PL NW
100906506202431102	FLETCHER MADELYN L	9500 VISTA CASITAS DR NW	ALBUQUERQUE NM 87114-3723	9500 VISTA CASITAS DR NW
1009065047002232610	JESTER MISTY	9400 CARSON MESA DR NW	ALBUQUERQUE NM 87114	9400 CARSON MESA DR NW
100906503600432609	PAZ ALFRED B & JENNIFER M	11 DEER MEADOW CT	TIJERAS NM 87059-7000	7800 LATIR MESA RD NW
100906412249822304	PV TRAILS ALBUQUERQUE LLC	4350 LA JOLLA VILLAGE DR SUITE 110	SAN DIEGO CA 92122-1244	
100906513902230631	NGUYEN THUONG T	7404 CERROS PL NW	ALBUQUERQUE NM 87114-3439	7404 CERROS PL NW
100806450049410301	PV TRAILS ALBUQUERQUE LLC	4350 LA JOLLA VILLAGE DR SUITE 110	SAN DIEGO CA 92122-1244	
100906419546121333	TRAILS COMMUNITY ASSOCIATION INC	PO BOX 67590	ALBUQUERQUE NM 87193-7590	
100906507101630619	SAHD DARLENE M & ELVIRA M	7531 CERROS PL NW	ALBUQUERQUE NM 87114-3437	7531 CERROS PL NW
100906505402431101	VENTANA RANCH COMMUNITY ASSOCIATION C/O HOAMCO	PO BOX 67590	ALBUQUERQUE NM 87193	N/A
100906504701032612	COTA RUDY J & MELISSA M	9408 CARSON MESA DR NW	ALBUQUERQUE NM 87114-1693	9408 CARSON MESA DR NW
100906500200332601	CALDERON EDGAR PEDRO & CALDERON ARTURO RICHARD	43745 DONLEY DR	DETROIT MI 48314	7832 LATIR MESA RD NW
100906408541623012	ZACARIAS AMY L & JOHN G	7371 TREE LINE AVE NW	ALBUQUERQUE NM 87114-6431	7371 TREE LINE AVE NW
100906408842523011	SERHEL MAUREEN & PEREA PHILLIPPE	7367 TREE LINE AVE NW	ALBUQUERQUE NM 87114-6431	7367 TREE LINE AVE NW
100906409243023010	LINARES JOSE C & AMANDA L K	UNIT 3460	34033-0157 DPO AA	7363 TREE LINE AVE NW
100906410043323009	RIVERA GEORGE JR & RIVERA MICHELE M	7359 TREE LINE AVE NW	ALBUQUERQUE NM 87114-6431	7359 TREE LINE AVE NW
100806451634510203	TRAILS COMMUNITY ASSOCIATION INC (THE)	2219 CHATSWORTH CT	HENDERSON NV 89074-5310	
100806446533110414	TRAILS COMMUNITY ASSOCIATION INC C/O BLUE DOOR REALTY	3791 SOUTHERN BLVD SUITE 101	RIO RANCHO NM 87124-7417	TARRAGONA RD NW
100806451336210415	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9000 CAMBRILS DR NW
100806450936610416	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9004 CAMBRILS DR NW
100806450537110417	EBELHAR STEVE & BONNIE C	9008 CAMBRILS DR NW	ALBUQUERQUE NM 87114-6475	9008 CAMBRILS DR NW
100806450237510418	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9012 CAMBRILS DR NW
100806449837910419	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9016 CAMBRILS DR NW
100806449538410420	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9020 CAMBRILS DR NW
100806449338710421	TRAILS COMMUNITY ASSOCIATION INC C/O BLUE DOOR REALTY	3791 SOUTHERN BLVD SUITE 101	RIO RANCHO NM 87124-7417	CAMBRILS DR NW
100806448839210701	TRAILS COMMUNITY ASSOCIATION INC C/O BLUE DOOR REALTY	3791 SOUTHERN BLVD SUITE 101	RIO RANCHO NM 87124-7417	CAMBRILS DR NW
100806448639510702	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9100 CAMBRILS DR NW
100806448340010703	D R HORTON INC	8440 WYOMING BLVD NE SUITE A	ALBUQUERQUE NM 87113	9104 CAMBRILS DR NW
100806448040410704	SENA EUGENE A & ALICE	9108 CAMBRILS DR NW	ALBUQUERQUE NM 87114-0000	9108 CAMBRILS DR NW
100806447740910705	ALI ALTAF A & ALINA A	9112 CAMBRILS RD NW	ALBUQUERQUE NM 87114-0000	9112 CAMBRILS DR NW
100806447441310706	REYES JORGE & DEBRA LEA	9116 CAMBRILS RD NW	ALBUQUERQUE NM 87114-0000	9116 CAMBRILS DR NW
100806447041810707	COHEN MAXWELL	9120 CAMBRILS DR NW	ALBUQUERQUE NM 87114-6476	9120 CAMBRILS DR NW
100806446942110708	TRAILS COMMUNITY ASSOCIATION INC C/O BLUE DOOR REALTY	3791 SOUTHERN BLVD SUITE 101	RIO RANCHO NM 87124-7417	CAMBRILS DR NW
100806443046810205	PV TRAILS APARTMENTS LLC	4350 LA JOLLA VILLAGE DR SUITE 110	SAN DIEGO CA 92122-1244	WOODMONT AVE NW

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

GOWAN MATTHEW P & ISABEL A  
1398 PEPPOLI LP SE  
RIO RANCHO NM 87124-8780



Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

AARO RENA  
7804 LATIR MESA RD NW  
ALBUQUERQUE NM 87114-1689



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Albuquerque, NM 87102

CITY OF ALBUQUERQUE  
PO BOX 1293  
ALBUQUERQUE NM 87103



Consensus Planning, Inc.  
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Albuquerque, NM 87102

MORGAN ERIC C & HEATHER M  
7504 CERROS PL NW  
ALBUQUERQUE NM 87114



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302 8th Street NW  
Albuquerque, NM 87102

COSTANZO JESSICA A & CHRISTOPHER P  
7500 CERROS PL NW  
ALBUQUERQUE NM 87114



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Albuquerque, NM 87102

CHAVEZ MONIQUE A  
7828 LATIR MESA RD NW  
ALBUQUERQUE NM 87114-1689



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302 8th Street NW  
Albuquerque, NM 87102

SKINNER ASHLEY R & ALCANTAR JOSHUA M  
7335 WILLIAMSBURG RD NW  
ALBUQUERQUE NM 87114-4555



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302 8th Street NW  
Albuquerque, NM 87102

SANDOVAL GARY P  
7412 CERROS PL NW  
ALBUQUERQUE NM 87114



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302 8th Street NW  
Albuquerque, NM 87102

KUJAWSKI JOANNE & DAMIANO GUY W  
7527 CERROS PL NW  
ALBUQUERQUE NM 87114-3437



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Albuquerque, NM 87102

KAO AARON T & KAO AUDREY TORRES  
3216 WALSH LP SE  
RIO RANCHO NM 87124-0000



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TRAN KEN & INN PUI FANG  
6815 GLENTURRET WAY NE  
ALBUQUERQUE NM 87113



Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

D R HORTON INC  
8440 WYOMING BLVD NE SUITE A  
ALBUQUERQUE NM 87113



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Albuquerque, NM 87102

HERRERA GABRIEL J & NOVELLA S  
7812 LATIR MESA RD NW  
ALBUQUERQUE NM 87114-1689

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Albuquerque, NM 87102

CAMPBELL COLIN M & ELIZABETH A  
7400 CERROS PL NW  
ALBUQUERQUE NM 87114

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302 8th Street NW  
Albuquerque, NM 87102

SANCHEZ KERRIANNE  
9323 JAMESON ST NW  
ALBUQUERQUE NM 87114

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

TRUJILLO CARMEN V  
7339 WILLIAMSBURG RD NW  
ALBUQUERQUE NM 87114

Consensus Planning, Inc.  
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Albuquerque, NM 87102

TRAILS COMMUNITY ASSOCIATION INC  
PO BOX 67590  
ALBUQUERQUE NM 87193-7590

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302 8th Street NW  
Albuquerque, NM 87102

9401 SPANISH POINT LLC  
9832 BRISCOE RANCH TRL NW  
ALBUQUERQUE NM 87114



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302 8th Street NW  
Albuquerque, NM 87102

SHOWS OTIS B  
7508 CERROS PL NW  
ALBUQUERQUE NM 87114-3438

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Albuquerque, NM 87102

SNITMAN DMITRIY & MARINA  
11329 DONA LOLA PL  
STUDIO CITY CA 91604-4320

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Albuquerque, NM 87102

GALLEGOS JOSHLYNN Y  
9315 JAMESON ST NW  
ALBUQUERQUE NM 87114-4552

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Albuquerque, NM 87102

SEGO GARRET C & KAYCIE  
7820 LATIR MESA RD NW  
ALBUQUERQUE NM 87114-1689

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Albuquerque, NM 87102

PV TRAILS ALBUQUERQUE LLC  
4350 LA JOLLA VILLAGE DR SUITE 110  
SAN DIEGO CA 92122-1244

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CLOWER CHRISTIE CAROL & TERI  
MICHELE  
9401 TOUCAN PL NW  
ALBUQUERQUE NM 87114-3615



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Albuquerque, NM 87102



SCHEPPMANN KYLE J & DE PASQUALE  
JENNIFER M  
9309 JAMESON ST NW  
ALBUQUERQUE NM 87114-4552

ALI ALTAF A & ALINA A  
9112 CAMBRILS RD NW  
ALBUQUERQUE NM 87114-0000

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Albuquerque, NM 87102



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Albuquerque, NM 87102



GONZALES TAYLOR & GONZALES  
RAYMOND LAWRENCE  
7520 CERROS PL NW  
ALBUQUERQUE NM 87114-3438

REYES JORGE & DEBRA LEA  
9116 CAMBRILS RD NW  
ALBUQUERQUE NM 87114-0000

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Albuquerque, NM 87102



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302 8th Street NW  
Albuquerque, NM 87102



CARLSON LINDA & FISK DAVID  
9319 JAMESON ST NW  
ALBUQUERQUE NM 87114-4552

SENA EUGENE A & ALICE  
9108 CAMBRILS DR NW  
ALBUQUERQUE NM 87114-0000

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302 8th Street NW  
Albuquerque, NM 87102



ORTEGA RAYMOND A & JOANNA M  
PO BOX 3335  
MILAN NM 87021

COHEN MAXWELL  
9120 CAMBRILS DR NW  
ALBUQUERQUE NM 87114-6476

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Albuquerque, NM 87102



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Albuquerque, NM 87102



LIVESAY ELIZABETH THERESA TRUSTEE  
LIVESAY RVT  
7420 CERROS PL NW  
ALBUQUERQUE NM 87114-3439

EBELHAR STEVE & BONNIE C  
9008 CAMBRILS DR NW  
ALBUQUERQUE NM 87114-6475

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Albuquerque, NM 87102



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302 8th Street NW  
Albuquerque, NM 87102



JETT MICHELLE E  
7808 LATIR MESA RD NW  
ALBUQUERQUE NM 87114-1689

TRAILS COMMUNITY ASSOCIATION INC  
C/O BLUE DOOR REALTY  
3791 SOUTHERN BLVD SUITE 101  
RIO RANCHO NM 87124-7417



Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

LINARES JOSE C & AMANDA L K  
UNIT 3460  
34033-0157 DPO AA

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

CALDERON EDGAR PEDRO & CALDERON  
ARTURO RICHARD  
43745 DONLEY DR  
DETROIT MI 48314

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Albuquerque, NM 87102

SAHD DARLENE M & ELVIRA M  
7531 CERROS PL NW  
ALBUQUERQUE NM 87114-3437

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

NGUYEN THUONG T  
7404 CERROS PL NW  
ALBUQUERQUE NM 87114-3439

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

JESTER MISTY  
9400 CARSON MESA DR NW  
ALBUQUERQUE NM 87114

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102

HPA III ACQUISITIONS 1 LLC  
120 S RIVERSIDE PLAZA SUITE 2000  
CHICAGO IL 60606-6995



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Albuquerque, NM 87102

BLAIR BRANDON HUNTER  
7408 CERROS PL NW  
ALBUQUERQUE NM 87114-3439

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Albuquerque, NM 87102

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Albuquerque, NM 87102

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302 8th Street NW  
Albuquerque, NM 87102

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



PAZ ALFRED B & JENNIFER M  
11 DEER MEADOW CT  
TIJERAS NM 87059-7000

CAMP ANGELICA  
9400 SPANISH POINTE PL NW  
ALBUQUERQUE NM 87114-3605

VENTANA RANCH COMMUNITY  
ASSOCIATION C/O HOAMCO  
PO BOX 67590

SEGURA SAUL & KATHERINE S TR SEGURA RVT  
7415 CERROS PL NW  
ALBUQUERQUE NM 87114-3439

ZACARIAS AMY L & JOHN G  
7371 TREE LINE AVE NW  
ALBUQUERQUE NM 87114-6431

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



RIVERA GEORGE JR & RIVERA MICHELE M  
7359 TREE LINE AVE NW  
ALBUQUERQUE NM 87114-6431

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



JONES MARWAN & BRIANNA  
7816 LATIR MESA RD NW  
ALBUQUERQUE NM 87114-1689

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



TRAILS COMMUNITY ASSOCIATION INC  
2219 CHATSWORTH CT  
HENDERSON NV 89074-5310

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



SERGEL MAUREEN & PEREA PHILLIPPE  
7367 TREE LINE AVE NW  
ALBUQUERQUE NM 87114-6431

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



COTA RUDY J & MELISSA M  
9408 CARSON MESA DR NW  
ALBUQUERQUE NM 87114-1693

Consensus Planning, Inc.  
302 8th Street NW  
Albuquerque, NM 87102



FLETCHER MADELYN L  
9500 VISTA CASITAS DR NW  
ALBUQUERQUE NM 87114-3723



June 2, 2023

Landscape Architecture  
Urban Design  
Planning Services

302 Eighth St. NW  
Albuquerque, NM 87102

(505) 764-9801  
Fax 842-5495  
cp@consensusplanning.com  
www.consensusplanning.com

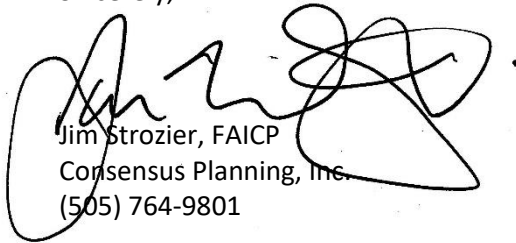
Dear neighborhood representatives,

On behalf of La Terra Development LLC, Consensus Planning, Inc. is providing you with notice that we are submitting a Site Plan Administrative application for DFT approval which will be reviewed and approved internally through the City of Albuquerque Planning Department. The request is to construct a multi-family build-to-rent community.

The application is being submitted today and will be reviewed and decided by city staff; therefore, there will be no public hearing. If you would like to discuss this project with city staff, you can reach out to [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call 505 924 3860. As part of this email package, we have included the city-required application forms and the subject site's zone atlas page.

Per the IDO section 6-4(K)(1) all required public notification information has been included in this package. Please reach out to [cp@consensusplanning.com](mailto:cp@consensusplanning.com) or call 505.764.9801 with any questions or concerns regarding this application. We look forward to hearing from you soon.

Sincerely,



Jim Strozier, FAICP  
Consensus Planning, Inc.  
(505) 764-9801

#### PRINCIPALS

James K. Strozier, FAICP  
Christopher J. Green, PLA,  
ASLA, LEED AP  
Jacqueline Fishman, AICP

[Note: Items with an asterisk (\*) are required.]

## Public Notice of a Proposed Project in the City of Albuquerque for Decisions Requiring a Meeting or Hearing Mailed/Emailed to a Neighborhood Association

Date of Notice\*: June 2, 2023

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)\*: Valle Prado and Westside Coalition

Name of NA Representative\*: Joshua Beutler, Steve Schumacher, Rene Horvath, Elizabeth Haley

Email Address\* or Mailing Address\* of NA Representative<sup>1</sup>: jibeutler@gmail.com, valle.prado.na@gmail.com  
aboard111@gmail.com, elizabethkayhaley@gmail.com

### Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address\* Tract 4 and Tract 5 Bulk Land Plat of the Trails Unit 3A  
Location Description east of Woodmont and south of Paseo del Norte
2. Property Owner\* PV Trails Albuquerque LLC
3. Agent/Applicant\* *[if applicable]* Agent: Consensus Planning, Inc. Applicant: La Terra Development LLC
4. Application(s) Type\* per IDO [Table 6-1-1](#) *[mark all that apply]*
  - Conditional Use Approval
  - Permit \_\_\_\_\_ (Carport or Wall/Fence – Major)
  - Site Plan
  - Subdivision \_\_\_\_\_ (Minor or Major)
  - Vacation \_\_\_\_\_ (Easement/Private Way or Public Right-of-way)
  - Variance
  - Waiver
  - Other: \_\_\_\_\_

Summary of project/request<sup>2</sup>\*:

Site Plan - Administrative DFT to construct a multi-family build to rent community.

<sup>1</sup> Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

<sup>2</sup> Attach additional information, as needed to explain the project/request.

[Note: Items with an asterisk (\*) are required.]

5. This application will be decided at a public meeting or hearing by\*: NA

Zoning Hearing Examiner (ZHE)

Development Review Board (DRB)

Landmarks Commission (LC)

Environmental Planning Commission (EPC)

Date/Time\*: \_\_\_\_\_

Location\*<sup>3</sup>: \_\_\_\_\_

Agenda/meeting materials: <http://www.cabq.gov/planning/boards-commissions>

To contact staff, email [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or call the Planning Department at 505-924-3860.

6. Where more information about the project can be found\*<sup>4</sup>:

\_\_\_\_\_

**Information Required for Mail/Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):**

1. Zone Atlas Page(s)\*<sup>5</sup> C9

2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant\*: Attached to notice or provided via website noted above

3. The following exceptions to IDO standards have been requested for this project\*:

Deviation(s)

Variance(s)

Waiver(s)

Explanation\*:

NA

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. A Pre-submittal Neighborhood Meeting was required by [Table 6-1-1](#):  Yes  No

Summary of the Pre-submittal Neighborhood Meeting, if one occurred:

See attached report.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

<sup>3</sup> Physical address or Zoom link

<sup>4</sup> Address (mailing or email), phone number, or website to be provided by the applicant

<sup>5</sup> Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (\*) are required.]

- 5. **For Site Plan Applications only\***, attach site plan showing, at a minimum:
  - a. Location of proposed buildings and landscape areas.\*
  - b. Access and circulation for vehicles and pedestrians.\*
  - c. Maximum height of any proposed structures, with building elevations.\*
  - d. **For residential development\***: Maximum number of proposed dwelling units.
  - e. **For non-residential development\***:
    - Total gross floor area of proposed project.
    - Gross floor area for each proposed use.

**Additional Information [Optional]:**

From the IDO Zoning Map<sup>6</sup>:

- 1. Area of Property [typically in acres] 37
  - 2. IDO Zone District R-ML
  - 3. Overlay Zone(s) [if applicable] CPO 13 and VPO 2
  - 4. Center or Corridor Area [if applicable] NA
- Current Land Use(s) [vacant, if none] Vacant

**NOTE:** Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting. If requested at least 15 calendar days before the public meeting/hearing date noted above, the facilitated meeting will be required. To request a facilitated meeting regarding this project, contact the Planning Department at [devhelp@cabq.gov](mailto:devhelp@cabq.gov) or 505-924-3955.

**Useful Links**

**Integrated Development Ordinance (IDO):**

<https://ido.abc-zone.com/>

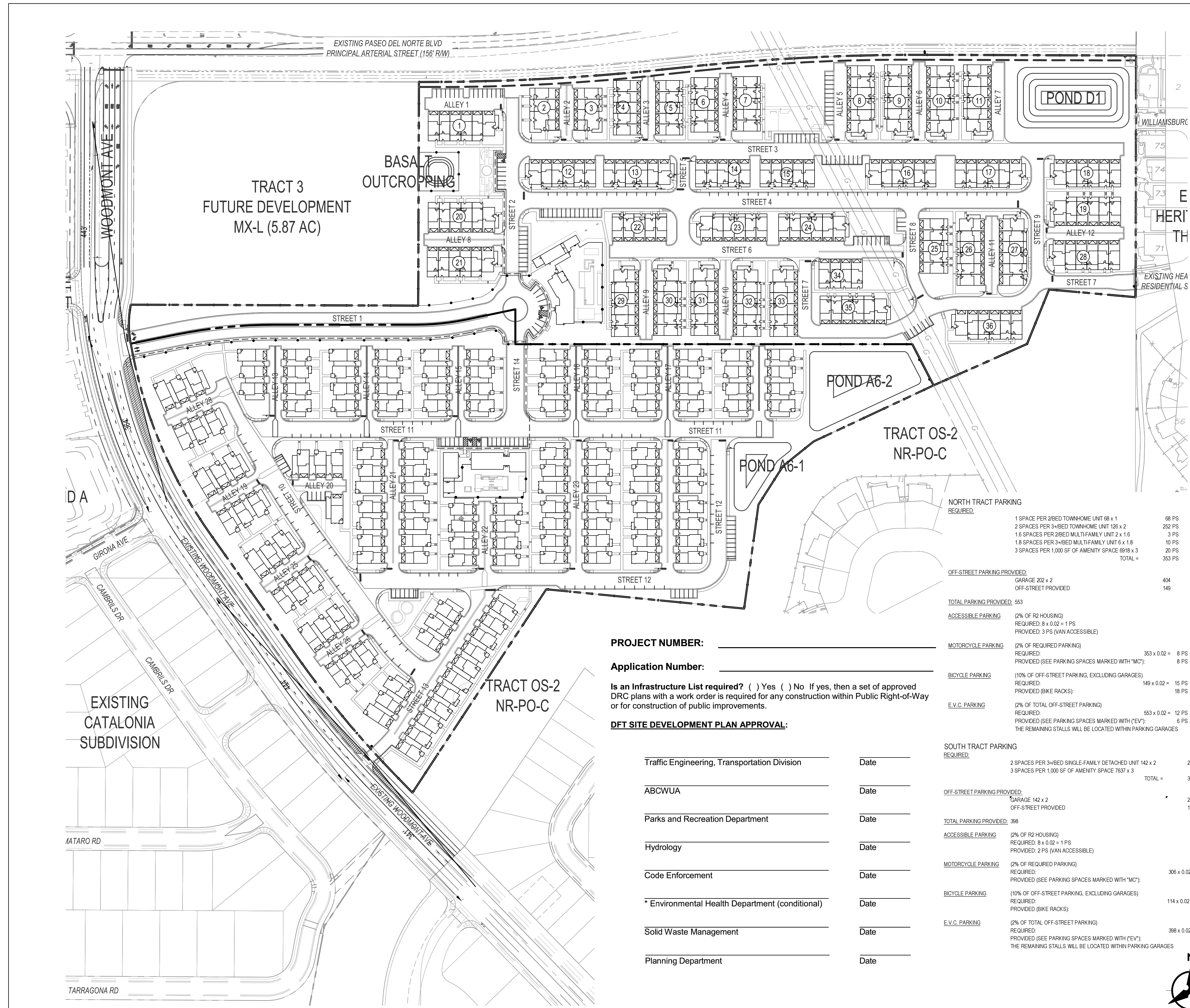
**IDO Interactive Map**

<https://tinyurl.com/IDOzoningmap>

Cc: \_\_\_\_\_ [Other Neighborhood Associations, if any]

<sup>6</sup> Available here: <https://tinurl.com/idozoningmap>



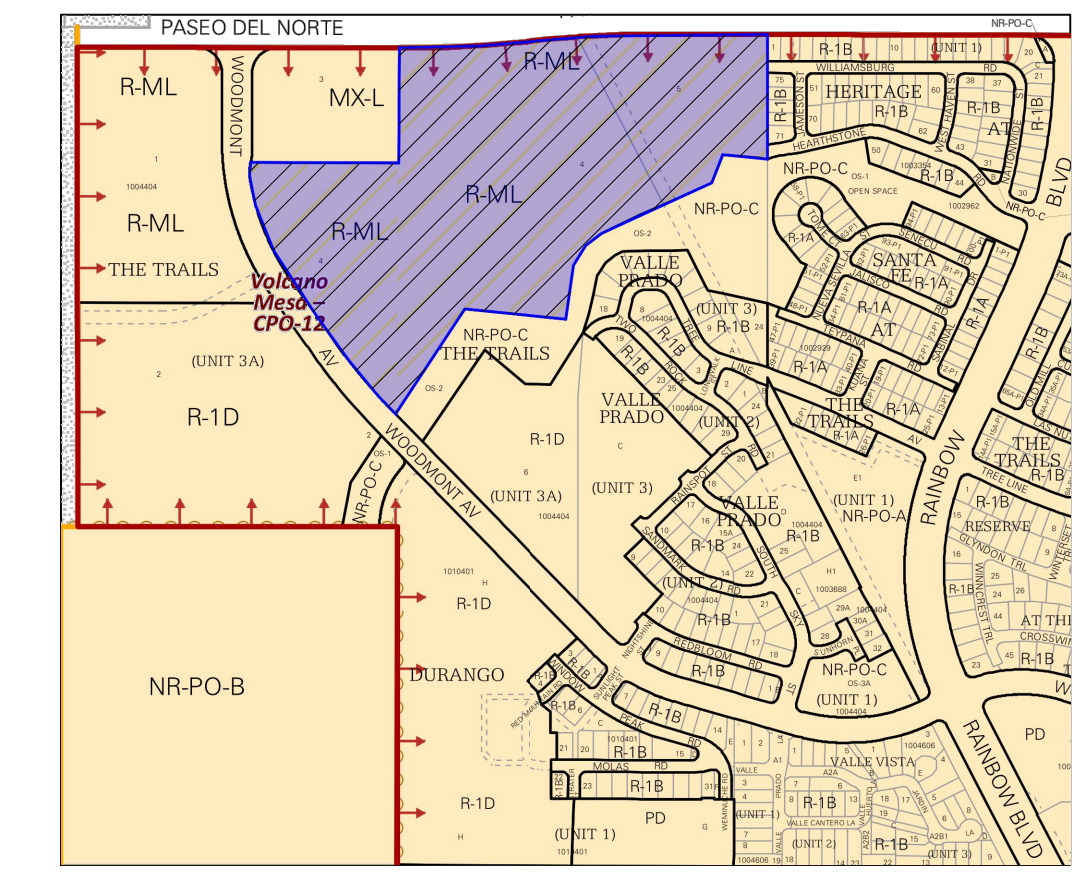


**GENERAL NOTES**

1. ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
2. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
3. STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
4. THERE ARE NO TRASH ENCLOSURES FOR THIS SITE. INDIVIDUAL UNITS WILL HAVE THEIR OWN TRASH BINS. AN EXHIBIT HAS BEEN SUBMITTED TO SOLID WASTE FOR THEIR APPROVAL.

**SITE DATA**

**LEGAL DESCRIPTION: TRACTS 4 AND 5 OF THE TRAILS UNIT 3A**  
**SITE AREA:**  
 NORTH TRACT: 18.78 ACRES  
 SOUTH TRACT: 18.29 ACRES  
**ZONING: R-ML**  
**PROPOSED LAND USE: RESIDENTIAL**  
**SETBACKS: AS SHOWN, SEE SITE PLAN.**  
**SIGNAGE: AS SHOWN, SEE SITE PLAN.**  
**WALLS AND FENCES: AS SHOWN, SEE SITE PLAN.**



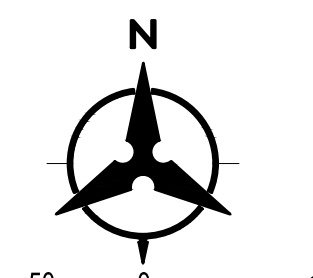
**VICINITY MAP**

ZONE ATLAS PAGE: C-09-Z

**LEGEND**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- ▨ SITE TRIANGLE

**Bohannon Huston**  
 www.bhinc.com 800.877.5332



**PROJECT NUMBER:** \_\_\_\_\_  
**Application Number:** \_\_\_\_\_

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

**NORTH TRACT PARKING**

REQUIRED:	1 SPACE PER 2-BED TOWNHOME UNIT 68 x 1	68 PS
	2 SPACES PER 3-BED TOWNHOME UNIT 126 x 2	252 PS
	1.8 SPACES PER 2-BED MULTIFAMILY UNIT 2 x 1.5	3 PS
	1.8 SPACES PER 3-BED MULTIFAMILY UNIT 6 x 1.8	10 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 6918 x 3	20 PS
	<b>TOTAL =</b>	<b>353 PS</b>

**OFF-STREET PARKING PROVIDED:**

GARAGE 202 x 2	404
OFF-STREET PROVIDED	149

**TOTAL PARKING PROVIDED: 553**

**ACCESSIBLE PARKING**

(2% OF R2 HOUSING)	REQUIRED: 8 x 0.02 = 1 PS	
	PROVIDED: 3 PS (VAN ACCESSIBLE)	

**MOTORCYCLE PARKING**

(2% OF REQUIRED PARKING)	REQUIRED:	353 x 0.02 = 8 PS
	PROVIDED (SEE PARKING SPACES MARKED WITH "MC"):	8 PS

**BICYCLE PARKING**

(10% OF OFF-STREET PARKING, EXCLUDING GARAGES)	REQUIRED:	149 x 0.02 = 15 PS
	PROVIDED (BIKE RACKS):	18 PS

**E.V.C. PARKING**

(2% OF TOTAL OFF-STREET PARKING)	REQUIRED:	553 x 0.02 = 12 PS
	PROVIDED (SEE PARKING SPACES MARKED WITH "EV"):	8 PS
	THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES	

**SOUTH TRACT PARKING**

REQUIRED:	2 SPACES PER 3-BED SINGLE-FAMILY DETACHED UNIT 142 x 2	284 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 7637 x 3	22 PS
	<b>TOTAL =</b>	<b>306 PS</b>

**OFF-STREET PARKING PROVIDED:**

GARAGE 142 x 2	284
OFF-STREET PROVIDED	114

**TOTAL PARKING PROVIDED: 398**

**ACCESSIBLE PARKING**

(2% OF R2 HOUSING)	REQUIRED: 8 x 0.02 = 1 PS	
	PROVIDED: 2 PS (VAN ACCESSIBLE)	

**MOTORCYCLE PARKING**

(2% OF REQUIRED PARKING)	REQUIRED:	306 x 0.02 = 7 PS
	PROVIDED (SEE PARKING SPACES MARKED WITH "MC"):	8 PS

**BICYCLE PARKING**

(10% OF OFF-STREET PARKING, EXCLUDING GARAGES)	REQUIRED:	114 x 0.02 = 12 PS
	PROVIDED (BIKE RACKS):	12 PS

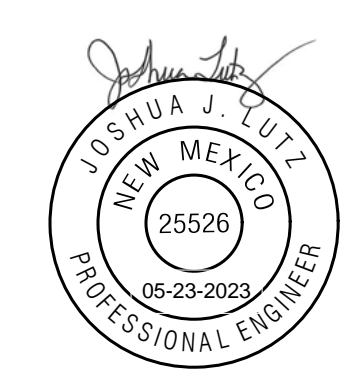
**E.V.C. PARKING**

(2% OF TOTAL OFF-STREET PARKING)	REQUIRED:	398 x 0.02 = 8 PS
	PROVIDED (SEE PARKING SPACES MARKED WITH "EV"):	4 PS
	THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES	

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT *UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475 E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864360
DELTA ALPHA = 0° 16' 58.96"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE
BY	WORK STAGED BY	DATE
BY	INSPECTORS	DATE
BY	ASSEMBLED BY	DATE
BY	FIELD VERIFICATION BY	DATE
BY	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	DESIGNED BY	CHECKED BY	DRAWN BY

**DESIGN**

DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	AR

**DESIGN**

BHI PROJECT NO.	20220473
DWG NO.	
SHEET	C-000
OF	51

**DESIGN**

**DESIGN**

Tue, 23-May-2023 - 12:08 pm. Plotted by: JUTZ  
 P:\20220473\CDP\Plans\General\20220473SP Cover.dwg





Architecture | Branding  
Interiors | Planning  
3660 Blake St., Suite 500  
Denver, CO 80205  
303.825.6400  
ktgy.com

LaTerra Development II, LLC  
1880 Century Park East, Ste 1017  
Los Angeles, CA 90067

**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
MARCH 16, 2023



SINGLE FAMILY DETACHED RENDERING

A0-2

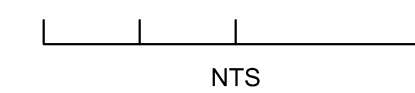


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**BEDROCK**  
ALBUQUERQUE, NM # 20220110

CONCEPTUAL DESIGN  
MARCH 16, 2023



TOWNHOME RENDERING

A0-1

**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

**Project #:** LaTerra Trails

**Property Description/Address:** Tract 4 and Tract 5 of the Trails Unit 3A

**Date Submitted:** 3 March 2023

**Submitted By:** Philip Crump

**Meeting Date\_Time:** 2 March 2023\_5-7 PM

**Meeting Location:** Via Google Meet

**Facilitator:** Philip Crump

**Applicant\_Agent:** La Terra Development LLC\_Consensus Planning

**Neighborhood Associations/Interested Parties:** Valle Prado NA, The Trails Community Association, Ventana HOA, Ventana West HOA

**Background/Meeting Summary:**

This meeting was held to review the application to the Development Facilitation Team (“DFT”) for approval of the Site Plan for a proposed multi-family build-to-rent community, to be developed by LaTerra Development LLC, based in Los Angeles. The site is in the northwest part (Tracts 4 and 5) of the larger Trails community and is located south of Paseo del Norte and east of Woodmont. The current site plan shows a total of 344 units, including single-family dwellings (145); four-, five-, and six-plex townhomes; and multifamily apartment buildings in approximately 37 acres. The overall density is 9 dwelling units per acre and heights are limited to two stories, though three stories are allowed by the current RML zoning. The units are not intended for sale, but for rental at market rates, for those who are unable or unwilling to afford home purchase. The agent characterized the project as having the look and feel like a traditional subdivision or townhouse development—gated, with an entry area and amenities, as opposed to a typical multifamily project.

Access to the site is off Woodmont. At the entry roundabout, there are gates to access the north and south areas; the south area includes the single-family dwellings, while the north area includes primarily the townhomes and multifamily buildings. There are to be two amenity areas with swimming pools, and both interior and perimeter landscaping.

During the meeting, a number of issues were brought forward by the adjacent neighborhood and homeowner associations. Among these were improvements to local roadways (Paseo del Norte and Woodmont), whether property values would be negatively affected, impacts on local schools, and traffic.

**Outcome:**

Toward the end of the meeting, several attendees expressed appreciation for the information presented. One person noted that other adjacent homeowner associations should be included in communications about the project.

**Meeting Specifics:**

**1) Project elements**

- a) LaTerra Trails is planned to encompass 37 acres, with a mix of 344 housing units, on the northeast side of Woodmont, south of Paseo del Norte.
  - i) There are to be 145 single-family residences, along with 4-, 5-, and 6-plex townhomes and multifamily apartments.
  - ii) LaTerra Development was founded in 2009 and is based on Los Angeles.
    - (1) It is a family-owned vertically-integrated residential and mixed-use development investment company with an in-house general contractor.
- b) The project area is within an Area of Consistency as identified by the comprehensive plan and within the Northwest Mesa Community Planning Area.
- c) All units are for rent--not sale--and offered at market rates for long-term occupancy.
  - i) The units are for those who are unable or unwilling to afford home purchase.
  - ii) The project will be professionally managed, with professional maintenance.
- d) Buildings will be two-story, with pitched roofs.

**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

- i) Single-family homes and townhomes will have garages.
  - e) Two community amenity areas will include swimming pools.
    - i) The linear Open Space to the south accommodates a trail and buffers this project from Valle Prado housing.
      - (1) A major rock outcropping straddles the boundary between this project and the vacant designated commercial area to the northwest.
    - ii) Main access is off Woodmont.
      - (1) Access into the two dwelling areas—single-family residences to the south and primarily townhomes and multifamily to the north—will be gated.
        - (a) An emergency access is located on the east side of the project.
  - f) The project will be fully landscaped, with professional service to maintain the property.
- 2) Roadway and Water improvements; Drainage;.**
- a) Questions arose regarding future improvements to area roadways—Paseo del Norte and Woodmont.
    - i) Of two Paseo widening projects, Phase One is fully funded, is under design now, and is expected to commence in 2025.
      - (1) While the City often relies on private developers to create or improve infrastructure, in this case, LaTerra is asked to contribute \$800,000 (of a total of \$2 million) to the “Procedure C Modified Process” for improving Paseo del Norte.
    - ii) Widening of Unser Boulevard is a current city project, first from Paseo to Paradise and later to the west of Unser.
    - iii) Woodmont has not yet been connected to Paseo, as this project and the multifamily project on the west side are not yet under construction.
      - (1) The city waits for development before making such infrastructure improvements.
      - (2) That completed infrastructure is going to have a significant bicycle and pedestrian improvements--bike lanes on Woodmont, the multiuse trail on the south side of Paseo.
        - (a) They are going to have a very positive impact on the overall walkability and the ability of pedestrians and bicyclists to get around this part of the city.
    - iv) A neighbor pointed out the delays in implementing these road improvements.
      - (1) They say they will start construction in 2024.
        - (a) It was in 2019 they announced \$19 million for this project and design.
          - (i) Now we are in 2023 and the project hasn't started.
  - b) There have been significant improvements to the water and wastewater infrastructure, especially a new reservoir and water line extensions that serve Tracts 1, 4 and 5.
    - i) One attendee was concerned about low water pressure in Valle Prado.
      - (1) The Catalonia and Durango Developer entered an agreement with the Water Authority to help provide a redundant water system for the Trails.
        - (a) This project is also bringing more water, via a 1.25 mile 20-inch water line.
          - (i) It is building a public water line, tying into existing system, that will provide extra safety through redundancy.
- 3) Neighborhood issues**
- a) School system overcrowding
    - i) While noting that there have been decreases in school enrollment during Covid, a neighborhood representative said that there have not been such decreases in Trails schools.
      - (1) With a thousand new housing units being built, there will be more students; even with only one child per household in 25% of the units, that would mean 250 additional students.
    - ii) The agent said that APS does their own short and long-range planning.
      - (1) The density for this project is less than what has been planned.
        - (a) APS also has noted the significant decrease in student population.
  - b) Parking

**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

- i) The agent noted that the single-family homes and townhomes all will have garages and that there will be adequate on-street and designated parking for guests.
  - (1) There will be no parking impacts on adjacent streets to lower property values.
    - (a) The project design calls for more parking than is required by the City.
- c) Neighborhood character
  - i) The agent said that the design of the buildings will be complementary to neighboring developments.
    - (1) The mix of unit types will match nicely with the existing character of the Trails community.
- d) Traffic
  - i) There is a concern that the completed Woodmont/Paseo intersection will be right across from Ventana West, creating a dangerous situation.
    - (1) The current plan calls for four-way stop signs, though residents would prefer a traffic signal.
    - (2) The agent suggested people can get more information from the city's Engineering Division Manager, Paula Dodge-Kwan, at 505-768-2766
- e) Dust
  - i) A neighbor expressed concern that a developer new to New Mexico may not be aware of how dry and windy the area is.
    - (1) With construction, there may be a lot of dust blowing into adjacent residential areas.
      - (a) He asked that there be a phone number to call when there is a problem—especially on weekends when there is no watering going on.
        - (i) He suggested that buildings be constructed on the southeast perimeter first, for a dust barrier.
          - 1. The agent noted that with build-to-rent, there are no empty lots awaiting sale, so the problem if dust is lessened.
        - (ii) The developer said that they are sensitive to dust issues and will take measures to control dust.
- f) Elevations between Valle Prado and this development
  - i) A neighbor had concerns about grading, and whether there would be fill such that buildings would be effectively taller and loom over adjacent residences.
    - (1) The engineer said they are trying to mimic the existing topography of the site.
      - (a) In the first place, it is expensive to fill.
      - (b) Secondly, they wish to adhere to the original master plan, with designated drainage and ponds.
        - (i) This project will drain to the east, not to the south.
        - (ii) While there are two ponds shown in the open space master plan, they will be smaller.
          - 1. The open space was actually designated for drainage as well as the trail.
- g) Open space between Valle Prado and this development
  - i) An HOA open space tract separates this property from the Valle Prado neighborhood to the south.
    - (1) There is a landscape buffer, with no LaTerra homes backing up to that open space along the south boundary.
      - (a) The agent suggested that it will be complementary to the existing open space.
- h) Property values
  - i) One neighbor said the only thing to base area property value impacts upon is the rental rate for this project.
    - (1) The developer said that rates will be at or maybe above local market rates.
      - (a) He said that with the level of amenities and investment in a project like this, they typically see adjacent property values stay consistent or increase with the area market trends.
- i) Infrastructure burden
  - i) Especially with regard to water and wastewater infrastructure, this development brings improvements as a significant positive step for the entire area.
- j) Population density

**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

- i) The density for this project is at 9 dwelling units per acre.
    - (1) This is probably slightly higher than some of the existing single-family neighborhoods within The Trails.
      - (a) It is not a little bit less than the townhouse style development at the east end and significantly less than the multifamily proposed for Tract One.
  - k) Social impact
    - i) The agent said they think that this is going to have a positive impact and provide an opportunity for new residents to move into quality housing in the existing established quality neighborhood-The Trails
- 4) Other issues**
- a) Governance
    - i) The Trails community documents allow the purchaser to determine whether or not they are going to seek annexation of the existing community association.
      - (1) In this case, given the amount of amenities constructed and the gated nature of it, they elect not to participate into the HOA.
        - (a) All the roads and everything (including stormwater ponds) within the boundaries of the project will be maintained by two LaTerra Trails HOAs—one each to the north and south areas.
  - b) Crime
    - i) A resident said that throughout the past few years, similar complexes built on Unser and Paseo have actually brought more crime to this area.
      - (1) The agent responded that in preparation for this meeting, they did a search of APD crime data in reference to a number of multifamily projects in the area and did not see that.
      - (2) They actually saw more crime originating within the single-family subdivisions.
  - c) Area amenities and walkability
    - i) A neighbor expressed concern about the walkability score--the ability to walk to and from different services in the area, and here, there are no services.
      - (1) The agent said that in areas like this on that edge of development or in an area where the development is starting to build out, they tend to have lower scores because the commercial and retail the services tend to follow the residential developments.
      - (2) With the additional residential units associated with this project, as well as the multifamily and new houses that are being built in Catalonia and Durango, the viability and the interest in developing more retail, more restaurants, more services, adjacent to the neighbors is going to be better.
  - d) Timeline
    - i) The developer said that they will begin construction as soon as possible.
      - (1) They are already in the design phase.
        - (a) The architects and engineers are working hard and fast.
  - e) Dark sky
    - i) The project will be held to following the city's Night Sky standards.
      - (1) The city has specific regulations on not impacting neighborhood properties with fugitive light.
        - (a) All the lighting in the project will be shielded source.
  - f) Developer keeping the property
    - i) The developer said the idea for this one is a long-term hold.
      - (1) The capital generally drives the whole period and this one is going to be a long-term hold.
        - (a) More than five years and probably closer to 10 years.
  - g) High pressure gas distribution line
    - i) Two gas transmission lines run north-south through the property.
      - (1) The engineer noted that federal laws dictate what is allowed.

**CITY OF ALBUQUERQUE**  
**LAND USE FACILITATION PROGRAM PROJECT MEETING REPORT**  
**La Terra Trails**

- (a) For example, there are no permanent structures over the top of their 50-foot-wide gas line area that runs through the site.
- (2) There is a certain minimum cover required over that gas line, with any crossing utilities.
  - (a) They are working closely with the New Mexico Gas Company to ensure that all the requirements are met, to make the as safe as possible during construction and afterwards.

**Action Items:**

1. When the plans are ready for submittal to the city, they will be shared with the Neighborhood Association and with the HOA.
2. The agent will reach out to the HOA and begin conversation with them.
3. The agent will send the southern elevations of the buffer between Valle Prado and the development to the Neighborhood Association.

**Application Hearing Details:**

From the agent: “DFT applications do not have a scheduled submittal date since it is an administrative process now and not a public hearing. We do not have a hard deadline yet but most likely within a month. We will let all parties know when we submit the application to the city. “

**Names & Affiliations of Attendees and Interested Parties:**

Chris Tourtellotte	LaTerra Development		
Charlie Tourtellotte	LaTerra Development		
Jonathan Braun	LaTerra Development	Gary Luera	
William Ramsey	KTGY Architects	Dominic Romero	
Doug Heaton	KTGY Architects	Hendrik DeBruijn	
Joshua Lutz	Bohannon Huston	Houda Azourar	
Garret Price	Land Development Group	Jazmin Cabrera	
Avery Frank	Consensus Planning	Jordee & Brooke Wester	
Jim Strozier	Consensus Planning	Karen Carter	
Chris Green	Consensus Plann/Landscape	Larry Lemasters	
Joshua Beutler	Valle Prado NA	Luis Torres	
Steve Shumacher	Valle Prado NA	Stephen Quinn	
Brent Miller	The Trails Comm Assoc'n	Stewart Morris	
Lisa & Mike Walter	Ventana Ranch	Vaessa Vicenti	
Erika Pena	Ventana Ranch West	Wes Corben	
Hugh McDonald	Ventana Ranch West	Matthew Hesley	
Cynthia Martinez	Ventana Ranch West	Jay Rodenbeck	CABQ Planning/DFT
Hilary Zwart	Ventana Ranch West	Jolene Wolfley	CABQ Planning/DFT
Carolyn Rivera		Tyson Hummell	CABQ ADR Coordinator
Kija Farrar		Philip Crump	Facilitator
Chris Bushman			
Sally Flanagan			
Roberta Pallais-Debruijn			
Monica Montano			
Carrie Ellen			
Anne Turner			
Ashley Wolfe			
Carolyn Rivera			

**From:** [Jim Strozier](#)  
**To:** [jlbeutler@gmail.com](mailto:jlbeutler@gmail.com); [valle.prado.na@gmail.com](mailto:valle.prado.na@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com); [aboard111@gmail.com](mailto:aboard111@gmail.com)  
**Subject:** Submittal Notification - Site Plan Administrative - DFT  
**Date:** Friday, June 2, 2023 2:30:00 PM  
**Attachments:** [Email Notice of Site Plan Administrative Application.pdf](#)

---

See attached.

Let me know if you have any questions.

**Jim Strozier, FAICP**

Consensus Planning, Inc.

302 8<sup>th</sup> Street NW

(505) 764-9801



**From:** [Microsoft Outlook](#)  
**To:** [jlbeutler@gmail.com](mailto:jlbeutler@gmail.com); [valle.prado.na@gmail.com](mailto:valle.prado.na@gmail.com); [elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com); [aboard111@gmail.com](mailto:aboard111@gmail.com)  
**Subject:** Relayed: Submittal Notification - Site Plan Administrative - DFT  
**Date:** Friday, June 2, 2023 2:31:21 PM  
**Attachments:** [Submittal Notification - Site Plan Administrative - DFT.msg](#)

---

Delivery to these recipients or groups is complete, but no delivery notification was sent by the destination server:  
[jlbeutler@gmail.com](mailto:jlbeutler@gmail.com) ([jlbeutler@gmail.com](mailto:jlbeutler@gmail.com)) <<mailto:jlbeutler@gmail.com>>  
[valle.prado.na@gmail.com](mailto:valle.prado.na@gmail.com) ([Valle.prado.na@gmail.com](mailto:Valle.prado.na@gmail.com)) <<mailto:Valle.prado.na@gmail.com>>  
[elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com) ([elizabethkayhaley@gmail.com](mailto:elizabethkayhaley@gmail.com)) <<mailto:elizabethkayhaley@gmail.com>>  
[aboard111@gmail.com](mailto:aboard111@gmail.com) ([aboard111@gmail.com](mailto:aboard111@gmail.com)) <<mailto:aboard111@gmail.com>>  
Subject: Submittal Notification - Site Plan Administrative - DFT

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

May 23, 2023

Josh Lutz, P.E.  
Bohannon Huston  
7500 Jefferson St.  
Albuquerque, NM 87109

**Re: LaTerra Development**  
**99999 Woodmont Ave. NW**  
**Conceptual Traffic Circulation Layout for DFT Approval**  
Engineer's Stamp 05-01-23 (C09-D011B)

Dear Mr. Lutz,

The conceptual TCL submittal received 05-03-2023 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

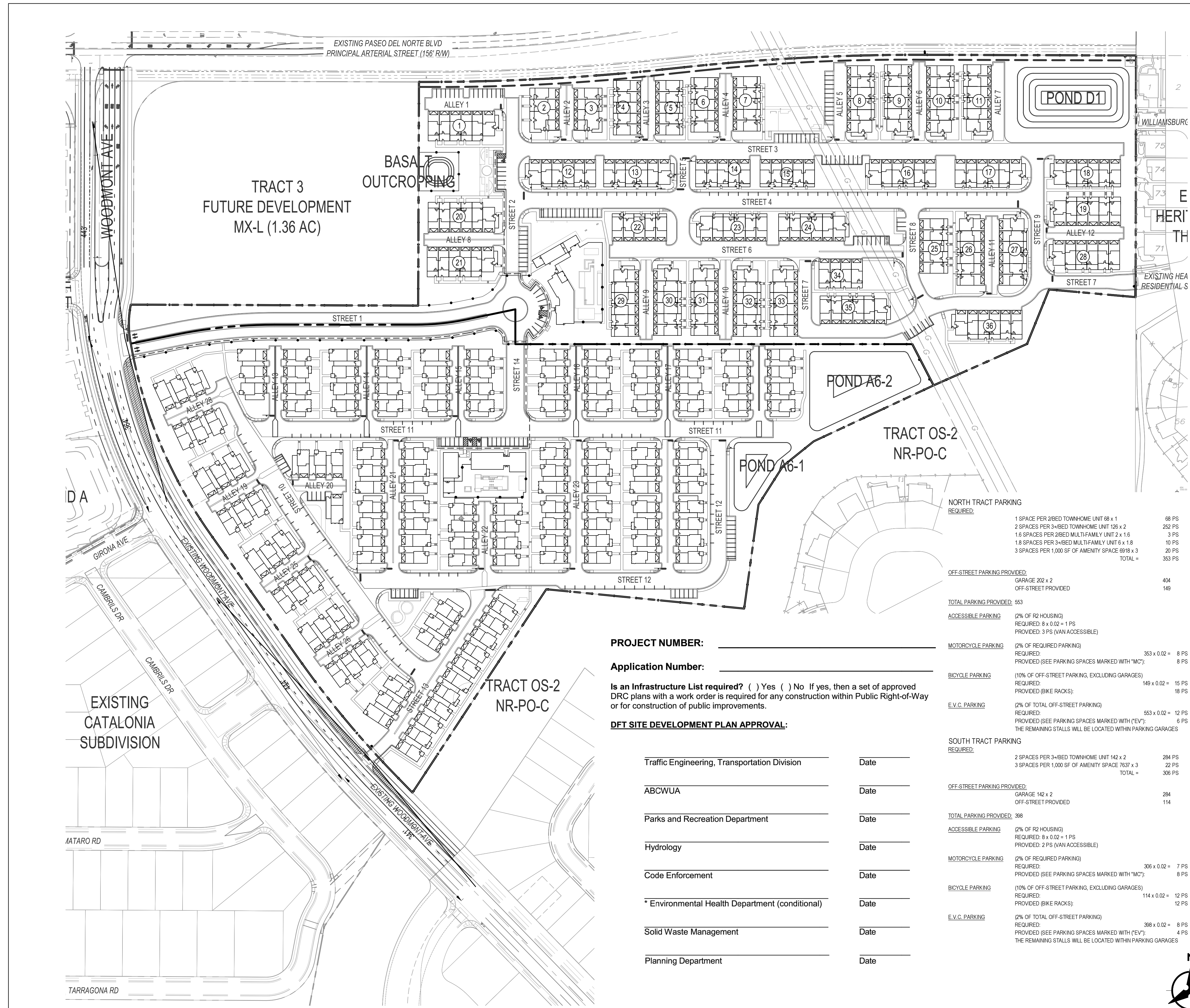
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

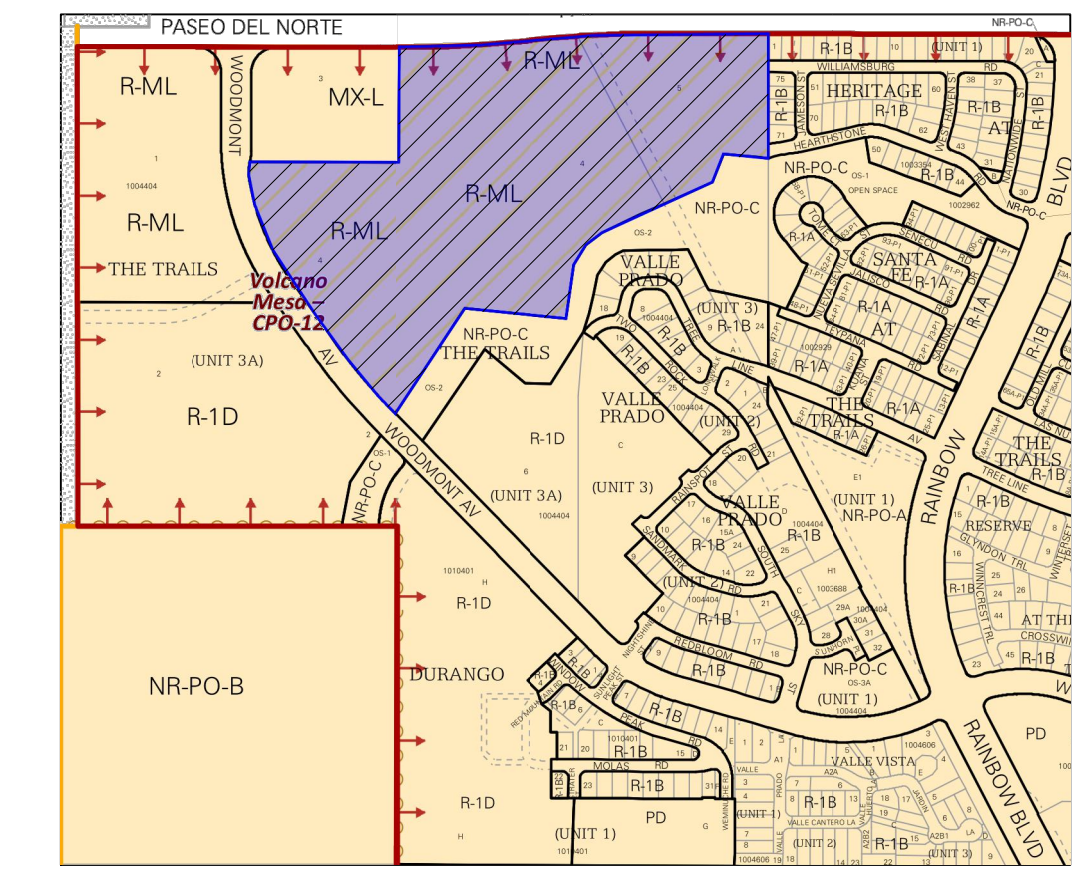


**GENERAL NOTES**

1. ALL SIDEWALKS, RAMPS, CURB CUTS, AND CURB AND GUTTER SHALL BE BUILT PER THE C.O.A. STANDARD DRAWINGS AND ADA STANDARDS
2. CLEAR SIGHT DISTANCE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS, THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SITE TRIANGLE SPEED IS BASED OFF OF 35 M.P.H. ROADWAY.
3. STREET LIGHTING WILL COMPLY WITH CPO REQUIREMENTS AND NIGHT SKY LIGHTING. STREET LIGHTS WILL BE DEFINED WITH A SEPARATE SUBMITTAL.
4. THERE ARE NO TRASH ENCLOSURES FOR THIS SITE. INDIVIDUAL UNITS WILL HAVE THEIR OWN TRASH BINS. AN EXHIBIT HAS BEEN SUBMITTED TO SOLID WASTE FOR THEIR APPROVAL.

**SITE DATA**

**LEGAL DESCRIPTION:** TRACTS 4 AND 5 OF THE TRAILS UNIT 3A  
**SITE AREA:**  
 NORTH TRACT: 18.78 ACRES  
 SOUTH TRACT: 18.29 ACRES  
**ZONING:** R-ML  
**PROPOSED LAND USE:** RESIDENTIAL  
**SETBACKS:** AS SHOWN, SEE SITE PLAN.  
**SIGNAGE:** AS SHOWN, SEE SITE PLAN.  
**WALLS AND FENCES:** AS SHOWN, SEE SITE PLAN.

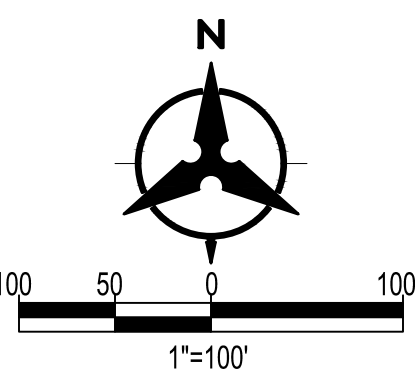


**VICINITY MAP**  
ZONE ATLAS PAGE: C-09-Z

**LEGEND**

- PROPERTY LINE
- PROPOSED CURB & GUTTER
- FENCE
- ▲ SITE TRIANGLE

**Bohannon Huston**  
www.bhinc.com 800.877.5332



**PROJECT NUMBER:** \_\_\_\_\_  
**Application Number:** \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DFT SITE DEVELOPMENT PLAN APPROVAL:**

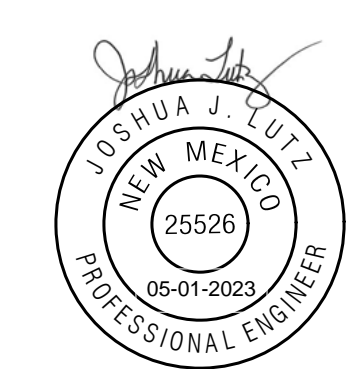
Traffic Engineering, Transportation Division	Date
ABCWUA	Date
Parks and Recreation Department	Date
Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
Planning Department	Date

**NORTH TRACT PARKING**

REQUIRED:	1 SPACE PER 2-BED TOWNHOME UNIT 68 x 1	68 PS
	2 SPACES PER 3-BED TOWNHOME UNIT 126 x 2	252 PS
	1.6 SPACES PER 2-BED MULTIFAMILY UNIT 2 x 1.6	3 PS
	1.8 SPACES PER 3-BED MULTIFAMILY UNIT 6 x 1.8	10 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 6918 x 3	20 PS
	TOTAL =	353 PS
OFF-STREET PARKING PROVIDED:	GARAGE 202 x 2	404
	OFF-STREET PROVIDED	149
TOTAL PARKING PROVIDED:		553
ACCESSIBLE PARKING	(2% OF R2 HOUSING) REQUIRED: 8 x 0.02 = 1 PS PROVIDED: 3 PS (VAN ACCESSIBLE)	
MOTORCYCLE PARKING	(2% OF REQUIRED PARKING) REQUIRED: 353 x 0.02 = 8 PS PROVIDED (SEE PARKING SPACES MARKED WITH "MC"):	8 PS
BICYCLE PARKING	(10% OF OFF-STREET PARKING, EXCLUDING GARAGES) REQUIRED: 149 x 0.02 = 15 PS PROVIDED (BIKE RACKS):	18 PS
E.V.C. PARKING	(2% OF TOTAL OFF-STREET PARKING) REQUIRED: 553 x 0.02 = 12 PS PROVIDED (SEE PARKING SPACES MARKED WITH "EV"):	8 PS
	THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES	
<b>SOUTH TRACT PARKING</b>		
REQUIRED:	2 SPACES PER 3-BED TOWNHOME UNIT 142 x 2	284 PS
	3 SPACES PER 1,000 SF OF AMENITY SPACE 7637 x 3	22 PS
	TOTAL =	306 PS
OFF-STREET PARKING PROVIDED:	GARAGE 142 x 2	284
	OFF-STREET PROVIDED	114
TOTAL PARKING PROVIDED:		398
ACCESSIBLE PARKING	(2% OF R2 HOUSING) REQUIRED: 8 x 0.02 = 1 PS PROVIDED: 2 PS (VAN ACCESSIBLE)	
MOTORCYCLE PARKING	(2% OF REQUIRED PARKING) REQUIRED: 306 x 0.02 = 7 PS PROVIDED (SEE PARKING SPACES MARKED WITH "MC"):	8 PS
BICYCLE PARKING	(10% OF OFF-STREET PARKING, EXCLUDING GARAGES) REQUIRED: 114 x 0.02 = 12 PS PROVIDED (BIKE RACKS):	12 PS
E.V.C. PARKING	(2% OF TOTAL OFF-STREET PARKING) REQUIRED: 398 x 0.02 = 8 PS PROVIDED (SEE PARKING SPACES MARKED WITH "EV"):	4 PS
	THE REMAINING STALLS WILL BE LOCATED WITHIN PARKING GARAGES	

**BENCH MARKS**  
 ALBUQUERQUE CONTROL SURVEY MONUMENT "UNION"  
 GEOGRAPHIC POSITION (NAD 83)  
 N.M. STATE PLANE COORDINATES (CENTRAL ZONE)  
 N = 1,523,503.475 E = 1,483,655.030  
 GROUND TO GRID FACTOR = 0.999864360  
 DELTA ALPHA = 0° 16'38.96"  
 ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

BY	CONTRACTOR	DATE
	WORK STAGED BY	DATE
	INSPECTORS	DATE
	APPROVED BY	DATE
	FIELD VERIFICATION BY	DATE
	DRAWINGS CORRECTED BY	DATE

**REVISIONS**

NO.	DATE	DESIGN
		DESIGNED BY JL
		CHECKED BY JL
		DRAWN BY AR

**BEDROCK SITE PLAN COVER SHEET**

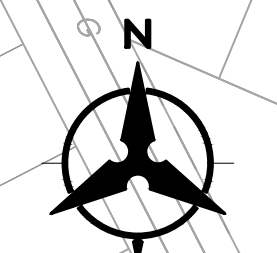
BHI PROJECT NO. 20220473 DWG NO. SHEET C-000 OF 51

Mon, 14 May 2023 - 1:45pm, Plotted by: HGREIG  
 P:\20220473\CDP\Plans\General\20220473SP Cover.dwg



**LEGEND**

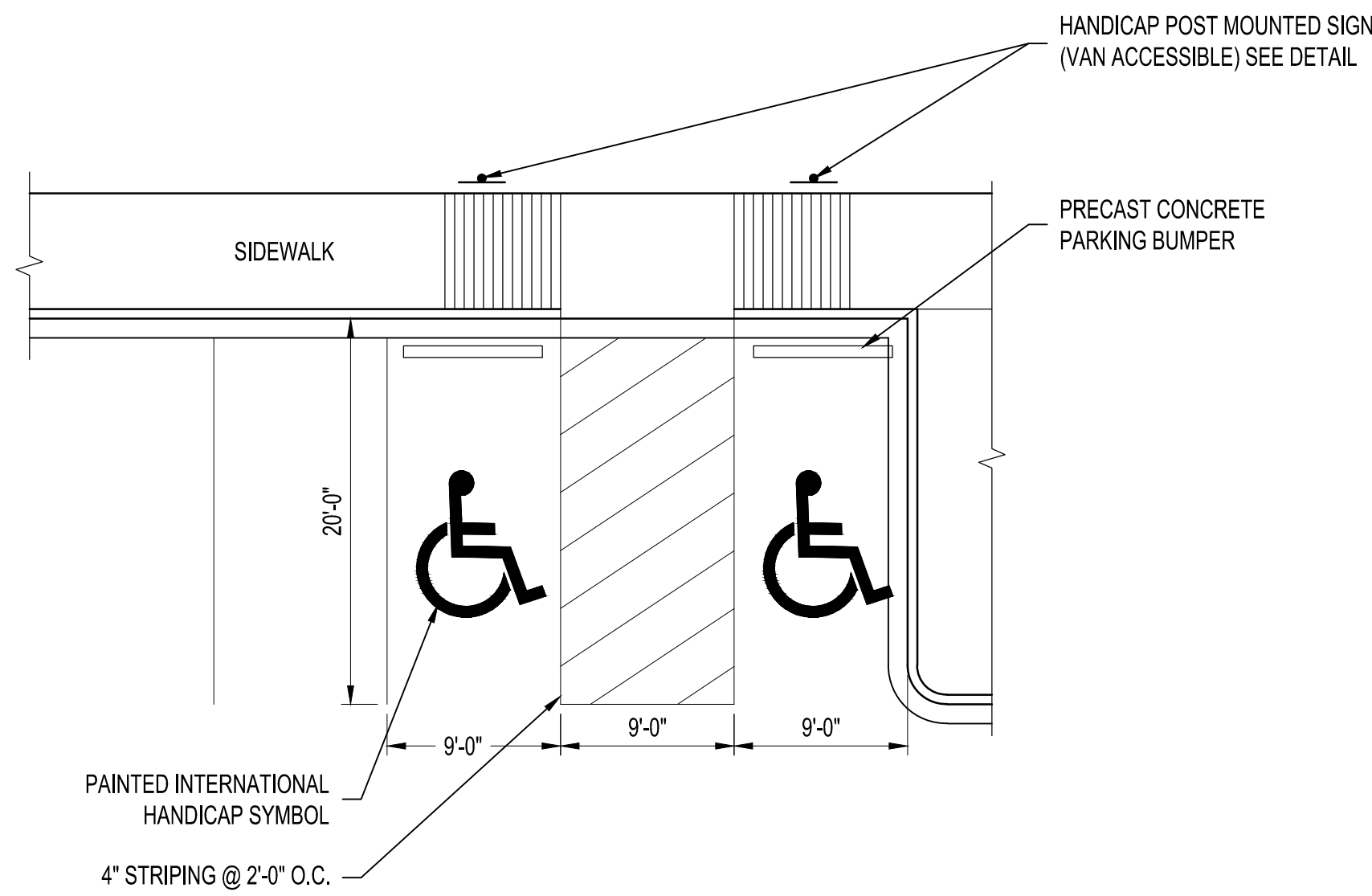
- PROPERTY LINE
- == PROPOSED CURB & GUTTER
- FENCE



**Bohannon Huston**  
www.bhinc.com 800.877.5332

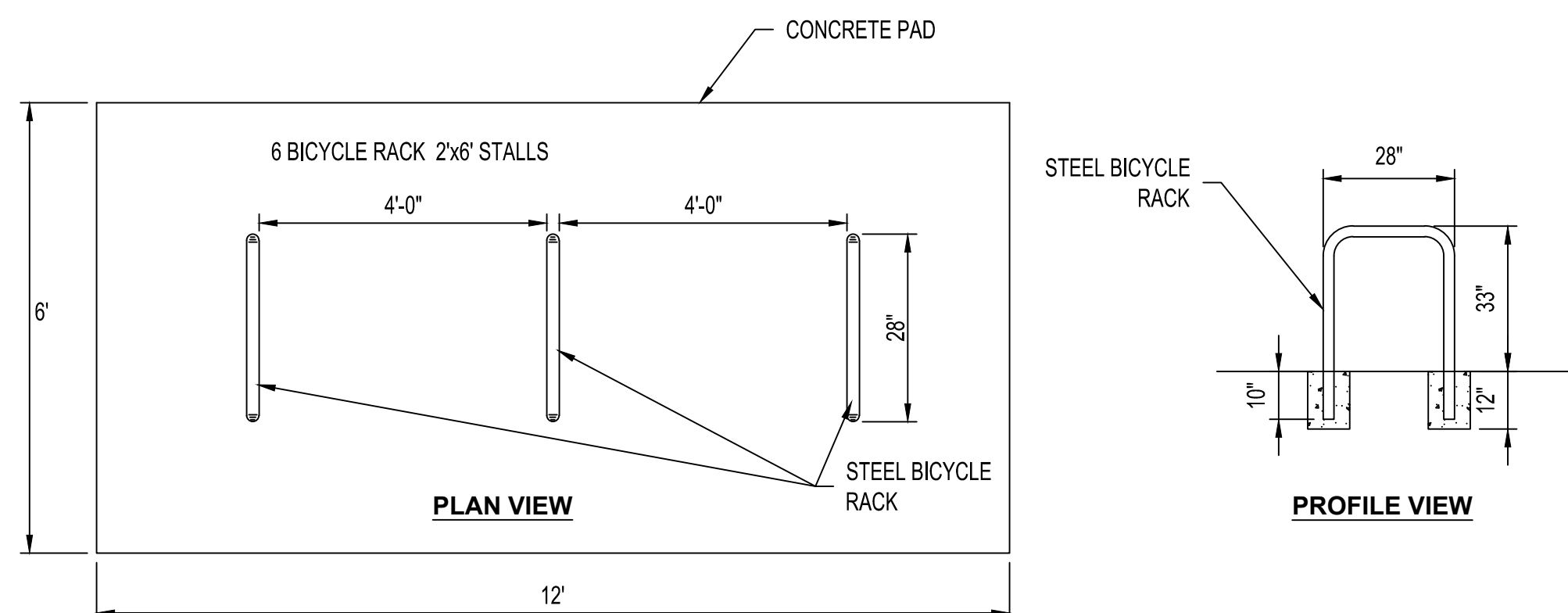
DESIGN		REVISIONS		AS-BUILT INFORMATION		ENGINEER'S SEAL	
DESIGNED BY	JL	NO.	DATE	CONTRACTOR	DATE	ALBUQUERQUE CONTROL SURVEY MONUMENT UNION	
CHECKED BY	JL			WORK STAGED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	
DRAWN BY	AR			INSPECTORS	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	
				ACCEPTED BY	DATE	N = 1,523,503.475 E = 1,483,655.030	
				FIELD VERIFICATION BY	DATE	GROUND TO GRID FACTOR = 0.999864360	
				DRAWINGS CORRECTED BY	DATE	DELTA ALPHA = 0° 16' 38.96"	
						ELEVATION = 5524.950 (NAVD 88)	

Mon, 14 May 2023 - 1:46pm, Plotted by: HGREIG  
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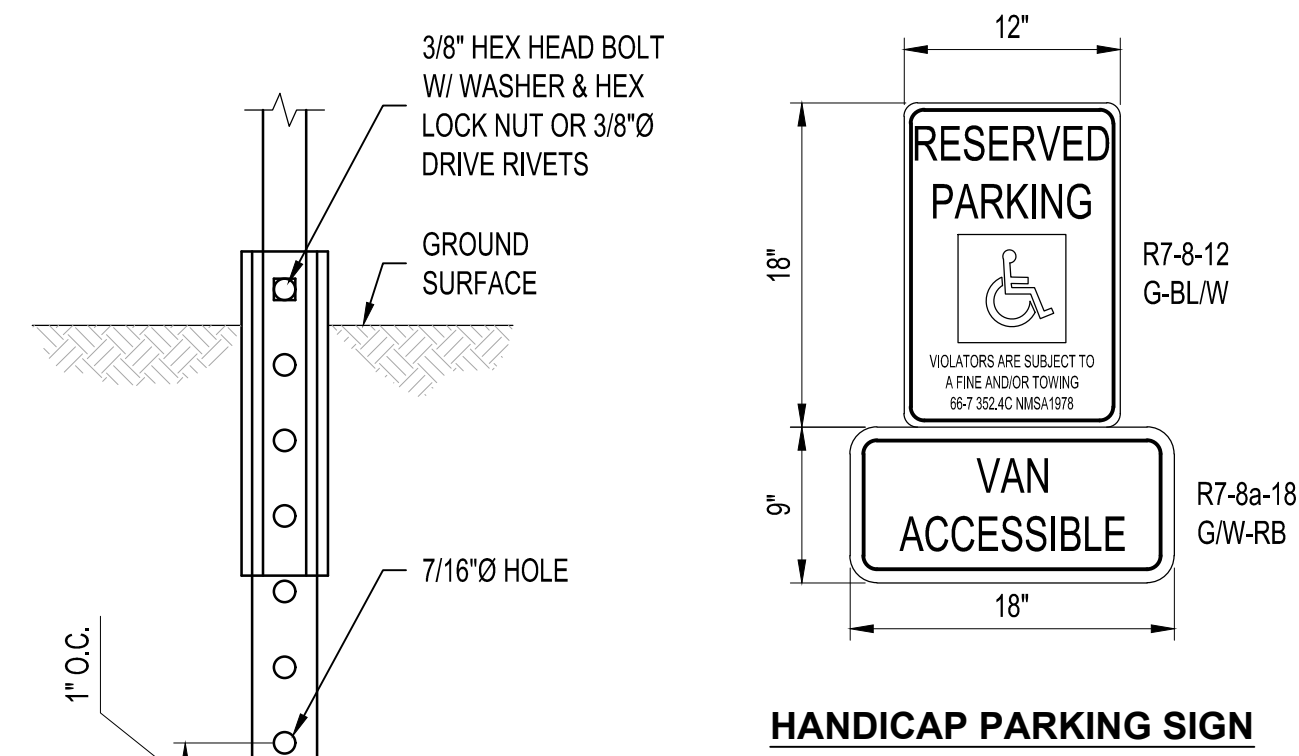
**TYPICAL ACCESSIBLE PARKING SPACE**

NTS

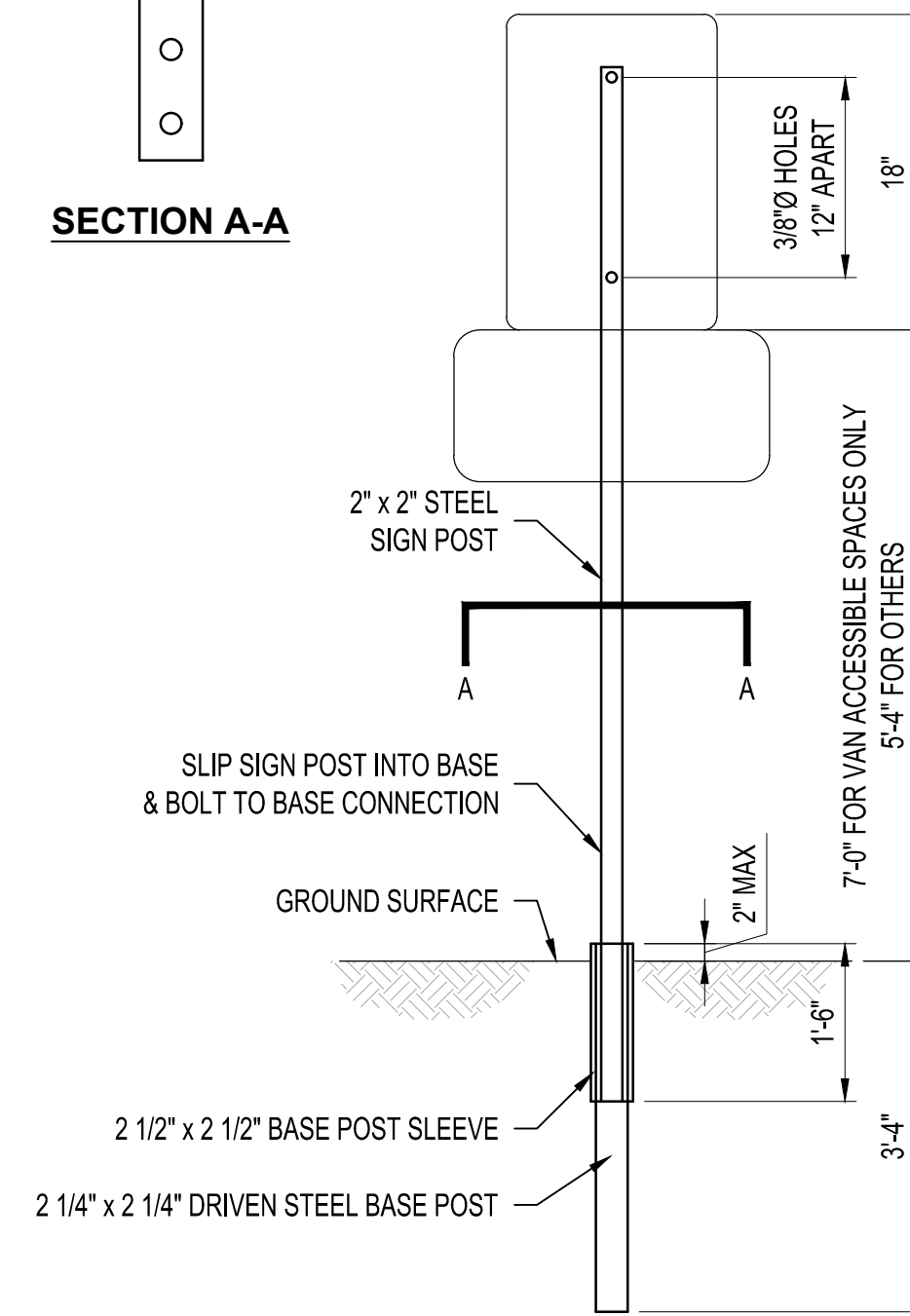


**BICYCLE PARKING RACK**

NTS

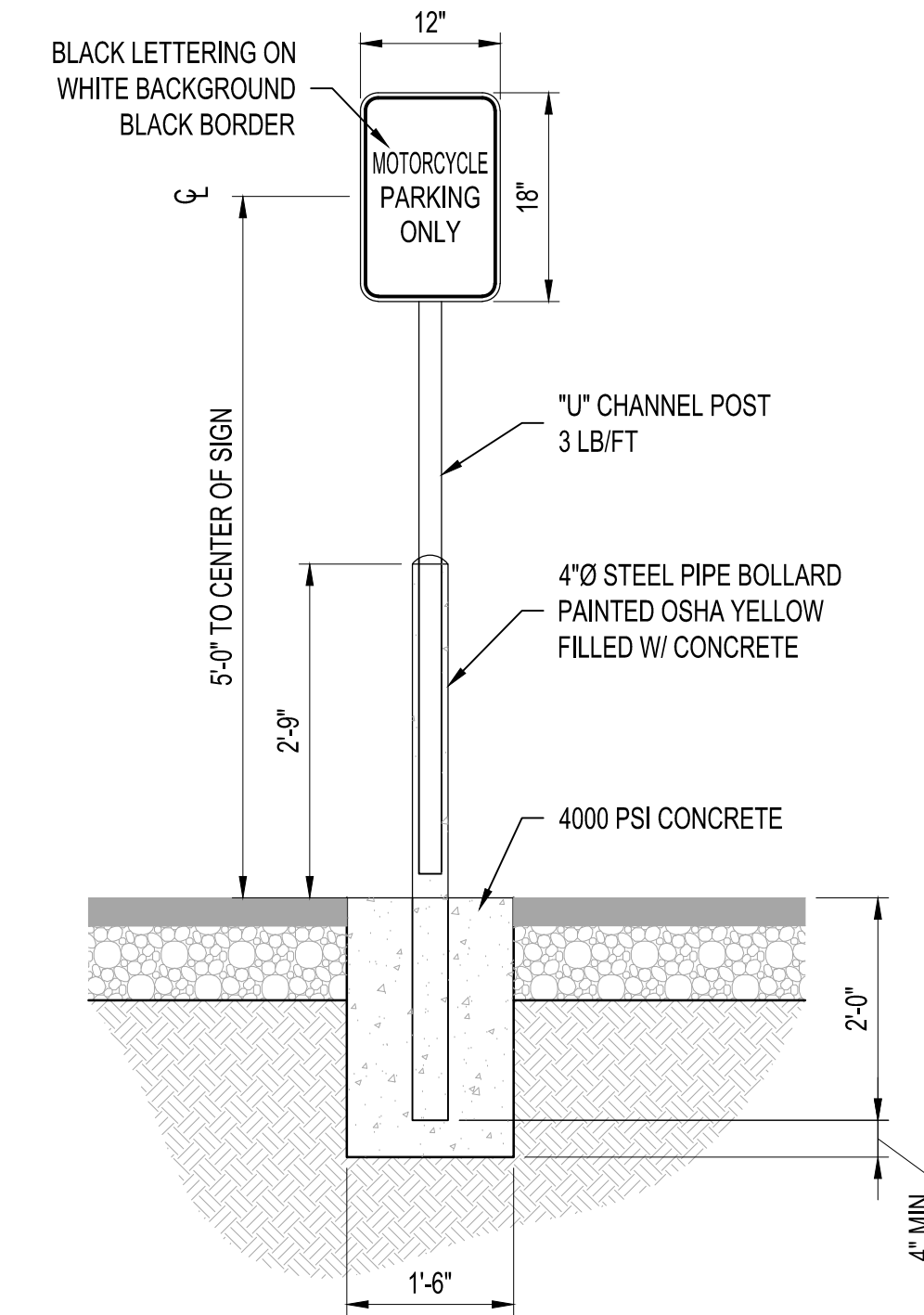


**HANDICAP PARKING SIGN**



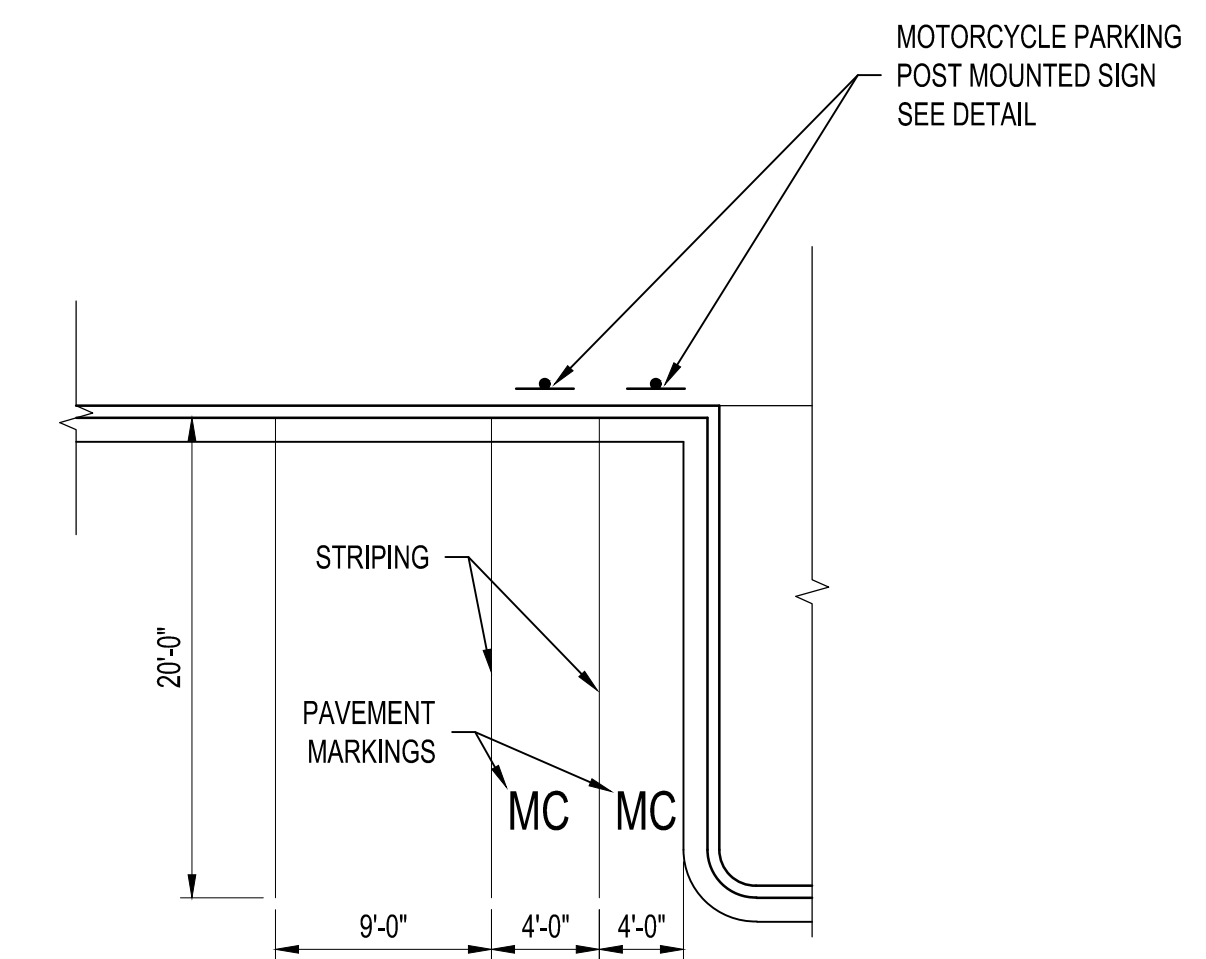
**ACCESSIBLE SPACE SIGN**

NTS



**MOTORCYCLE PARKING SIGN**

NTS



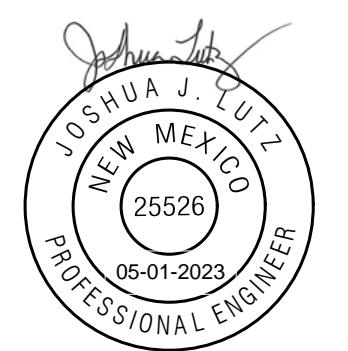
**TYPICAL MOTORCYCLE PARKING SPACE**

NTS

**BENCH MARKS**

ALBUQUERQUE CONTROL SURVEY MONUMENT * UNION
GEOGRAPHIC POSITION (NAD 83)
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
N = 1,523,503.475; E = 1,483,655.030
GROUND TO GRID FACTOR = 0.999864360
DELTA ALPHA = 00° 16'58.96"
ELEVATION = 5524.950 (NAVD 88)

**ENGINEER'S SEAL**



**AS-BUILT INFORMATION**

CONTRACTOR	DATE
WORK STARTED BY <th>DATE</th>	DATE
INSPECTORS <th>DATE</th>	DATE
ASSEMBLED BY <th>DATE</th>	DATE
FIELD VERIFICATION BY <th>DATE</th>	DATE
DRAWINGS CORRECTED BY <th>DATE</th>	DATE

**REVISIONS**

NO.	DATE	BY

DESIGN	DESIGNED BY	CHECKED BY	DRAWN BY
	JL	JL	AR

**Bohannon Huston**  
www.bhinc.com 800.877.5332

**BEDROCK SITE PLAN DETAILS**

BHI PROJECT NO.	20220473	DWG NO.		SHEET	C-116	OF	51
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February 1, 2023

Barbara Baca  
County of Bernalillo  
Commissioner, District 3

Adriann Barboa  
County of Bernalillo  
Commissioner, District 3

Pat Davis  
City of Albuquerque  
Councilor, District 3

Tammy Fiebelkorn  
City of Albuquerque  
Councilor, District 7

Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Timothy M. Keller  
City of Albuquerque  
Mayor

Eric C. Olivas  
County of Bernalillo  
Commissioner, District 5

*Ex-Officio Member*  
Gilbert Benavides  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
[www.abcwua.org](http://www.abcwua.org)

Hannah Greig  
Bohannon Huston  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Water and Sanitary Sewer Availability Statement #221104**  
**Project Name: Trails Tract 4 & 5 Multi-Family Development**  
**Project Address: South-East Corner Paseo Del Norte and Woodmont Ave**  
**Legal Description: TR 4 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLATOF TRACTS 1 THRU 8,OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12THE TRAILS UNIT 2) CONT 29.3345 AC**  
**UPC: 100906403546422301 and 100906412249822304**  
**Zone Atlas Map: C-08-Z, C-09-Z**

Dear Ms. Greig:

**Project Description:** The subject site is located south of Paseo Del Norte east of Woodmont Avenue and west of Jameson Street, within the City of Albuquerque. The proposed development consists of approximately 37 acres and the property is currently zoned R-ML for low density residential use. The property lies within the Pressure Zone 5W in the Corrales Trunk. Please note that a small portion of the eastern tract is in the 4W Corrales Pressure Zone, all finished floor elevations must be graded to meet the NAVD 27/29 pressure zone boundary of 5,485 feet.

The request for availability indicates plans to develop a multi-family development consisting of 199 town home units, 145 single family units, and two amenity buildings spanning 37.0 gross acres.

**Existing Development Agreement:** Pursuant to the System Expansion Ordinance, service to this property shall be subject to a development agreement approved by the Water Authority Board which will establish the conditions for service. Since an approved Development Agreement currently exists for the property R-19-16, Board approval is not required and this Availability Statement shall establish the requirements as a condition of service in addition to those stated in the existing Development Agreement.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- 12-inch PVC distribution main (5W); (project # 26-7405.86-21) along Woodmont Avenue.
- 24-inch Concrete Cylinder transmission main (4W); (project # NMUI-011-98) along Paseo Del Norte.
- Eight-inch PVC distribution main stub (5W); (project # 26-7405.86-21) along South Sky Street.
- Eight-inch PVC distribution main stub (4W); (project # 26- 26-7384.81-06) along Hearthstone Road.

- Eight-inch PVC distribution main stub (4W); (project # 26- 26-7384.81-06) along Williamsburg Road.

Sanitary sewer infrastructure in the area consists of the following:

- 12-inch PVC sanitary sewer collector line (field verified) along Woodmont Avenue.
- Eight-inch PVC sanitary sewer collector line (project # 26-7384.81-06) along Hearthstone Road.
- Eight-inch PVC sanitary sewer collector line (project # 26-7384.81-06) along Williamsburg Road.

**Water Service:** New metered water service to the property can be provided contingent upon a developer funded project to extend public and private water distribution lines throughout the site. A public water line will need to be extended from Woodmont Avenue along Paseo Del Norte Boulevard and loop through the site to connect to the existing stub out in the southern open space. All public lines should be in accessible drive isles. Proposed tentative public and private lines can be seen in the utility exhibit that was sent to the Albuquerque Bernalillo County Water Utility Authority (Water Authority) on November 30, 2022. Upon completion of the infrastructure construction, the development may receive service via routine connection to the proposed eight-inch distribution mains throughout the site. Water Authority is aware of the plans to then use smaller private lines throughout the site to get individual clusters of homes service from the public mains. The engineer is responsible for determining pressure losses and sizing of the service line(s) downstream of the public water line to serve the proposed development.

Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service. Each legally platted property shall have individual, independent water services. No property shall share a water service with any other property.

Existing service lines and fire lines that will not be utilized are to be removed by shutting the valve near the distribution main. For fire lines, the line shall be capped near the public valve and valve access shall be grouted and collar removed.

**Non-Potable Water Service:** Currently, there is no non-potable infrastructure available to serve the subject property.

**Sanitary Sewer Service:** New sanitary sewer service to the property can be provided contingent upon a developer funded project to extend public and private sanitary collector lines throughout the site. The proposed sanitary collection lines will need to connect to the existing sanitary collection lines in the east portion of the property running along Williamsburg Road and Hearthstone Road. All public lines should be in accessible drive isles. Proposed tentative public and private lines can be seen in the utility exhibit that was sent to the Water Authority on November 30, 2022. No property shall share a private sewer service with any other property. The engineer is responsible for sizing the service line(s) upstream of the public sanitary sewer line to serve the proposed development.

**Fire Protection:** From the Fire Marshal's requirements, the instantaneous fire flow requirements for the project are 1,500 gallons-per-minute. One fire hydrant is required.

There are no existing hydrants available and 13 new hydrants are proposed with this project. As modeled using InfoWater™ computer software, the fire flow can be met. Analysis was performed by simulating the required fire flow at the proposed connection point to the existing 12-inch main in Woodmont Avenue.

In order to provide the required fire flow, infrastructure improvements are required. These improvements consist of those described in the water and sanitary sections of this document.

Any changes to the proposed connection points shall be coordinated through Utility Development. All new required hydrants as well as their exact locations must be determined through the City of Albuquerque Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

The engineer is responsible for determining pressure losses and sizing of the fire line(s) downstream of the public water line to serve the proposed fire hydrants and/or fire suppression system.

**Cross Connection Prevention:** Per the Cross Connection Ordinance, all new non-residential premises must have a reduced pressure principal backflow prevention assembly approved by the Water Authority installed at each domestic service connection at a location accessible to the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the reduced principal backflow prevention assembly and the service connection unless protected by a backflow prevention assembly. These requirements also apply to all remodeled non-residential premises when the work area of the building undergoing repairs, alterations or rehabilitation, as defined in the International Existing Building Code, exceeds 50 percent of the aggregate area of the building regardless of the costs of repairs, alteration or rehabilitation.

All non-residential irrigation water systems connected to the public water system shall have a pressure vacuum breaker, spill-resistant pressure vacuum breaker or a reduced pressure principal backflow prevention assembly installed after the service connection. Such devices shall be approved by the Water Authority. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection.

All non-residential customers connected via piping to an alternative water source or an auxiliary water supply and the public water system shall install a containment reduced pressure principal backflow prevention assembly approved by the Water Authority after the potable service connection.

All new services to private fire protection systems shall be equipped with a containment reduced pressure principal backflow prevention assembly approved by the Water Authority and Fire Marshal having jurisdiction installed after the service connection. No tees, branches or possible connection fittings or openings are allowed between the containment backflow prevention assembly and the service connection. A double check valve assembly approved by the Water Authority and Fire Marshal having jurisdiction may be installed instead of a reduced pressure backflow prevention assembly provided the private fire protection system meets or exceeds ANSI/NSF Standard 60.61 throughout the entire private fire protection system, the fire sprinkler



drain discharges into atmosphere, and there are no reservoirs, fire department connections nor connections from auxiliary water supplies.

The Water Authority requests that all backflow (containment) devices be located above ground just outside the easement or roadway right-of-way. Contact Cross Connection at (505) 289-3454 for more information.

**Easements and Property:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for standard sized water meters need to be five feet by five feet and include the length of the water service if located on private property. For larger meters that require a meter vault, a 35 feet by 35 feet easement is required. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service. A Warranty Deed shall be required when a property will be transferred to the Water Authority for the installation of Water Authority owned facilities such as pump stations, reservoirs, wells, lift stations, or any other facility.

**Pro Rata:** As described in this statement, the extension of public water and sanitary sewer lines may be eligible for partial reimbursement through the Pro Rata process as detailed in the Water Authority Water and Wastewater System Expansion Ordinance.

**Design and Construction:** Design and construction of all required improvements will be at the developer/property owner's expense. Improvements must be coordinated through the City of Albuquerque via the Work Order process. Designs must be performed by a licensed, New Mexico registered, professional engineer. Construction must be performed by a licensed and bonded public utility contractor.

**Utility Expansion Charge (UEC):** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized. Per the Rate Ordinance, each customer classification on the same premise requires a separate meter.

UECs associated with multi-family are determined by the criteria set forth in the Water Authority Rate Ordinance, which is amended from time to time. These specific UECs take into account the number of units within the multi-family development. If the multi-family development includes other amenities such as a clubhouse, fitness center or leasing office that will be metered separately, UECs for these amenities will not be charged as they are included in the multi-family UEC calculation. UECs associated with irrigation meters are not included in the multi-family calculation and shall be paid accordingly.

The Rate Ordinance does provide an opportunity for UEC discounts for low income housing developments. If the development qualifies for these discounts, the developer will be required to provide documentation as stated in the Rate Ordinance. Furthermore, if the development includes both low income and market rate apartments, the same requirements set forth in the Rate Ordinance shall be adhered to. Contact Customer Service at (505) 842-9287 (option 3) for more information regarding UECs.

**Water Resource Charge (WRC):** This development will be assessed a Water Resource Charge (WRC) as provided in the Water Authority's Water and Sewer Rate Ordinance for the development of new water resources, rights and supplies necessary to serve the development.

Contact Customer Service at (505) 842-9287 (option 3) for more information regarding WRCs.

**Water Use:** All new development shall be required to meet the standard water usage of 180 gallons per household per day which is equivalent to 75 gallons per capita per day. Where available, outdoor water usage shall utilize reclaimed water.

**Closure:** This availability statement provides a commitment from the Water Authority to provide services to the development, as long as identified conditions are met. It will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Please feel free to contact Mr. Kristopher Cadena in our Utility Development Section at (505) 289-3301 or email at [kcadena@abcwua.org](mailto:kcadena@abcwua.org) if you have questions regarding the information presented herein or need additional information.

Sincerely,

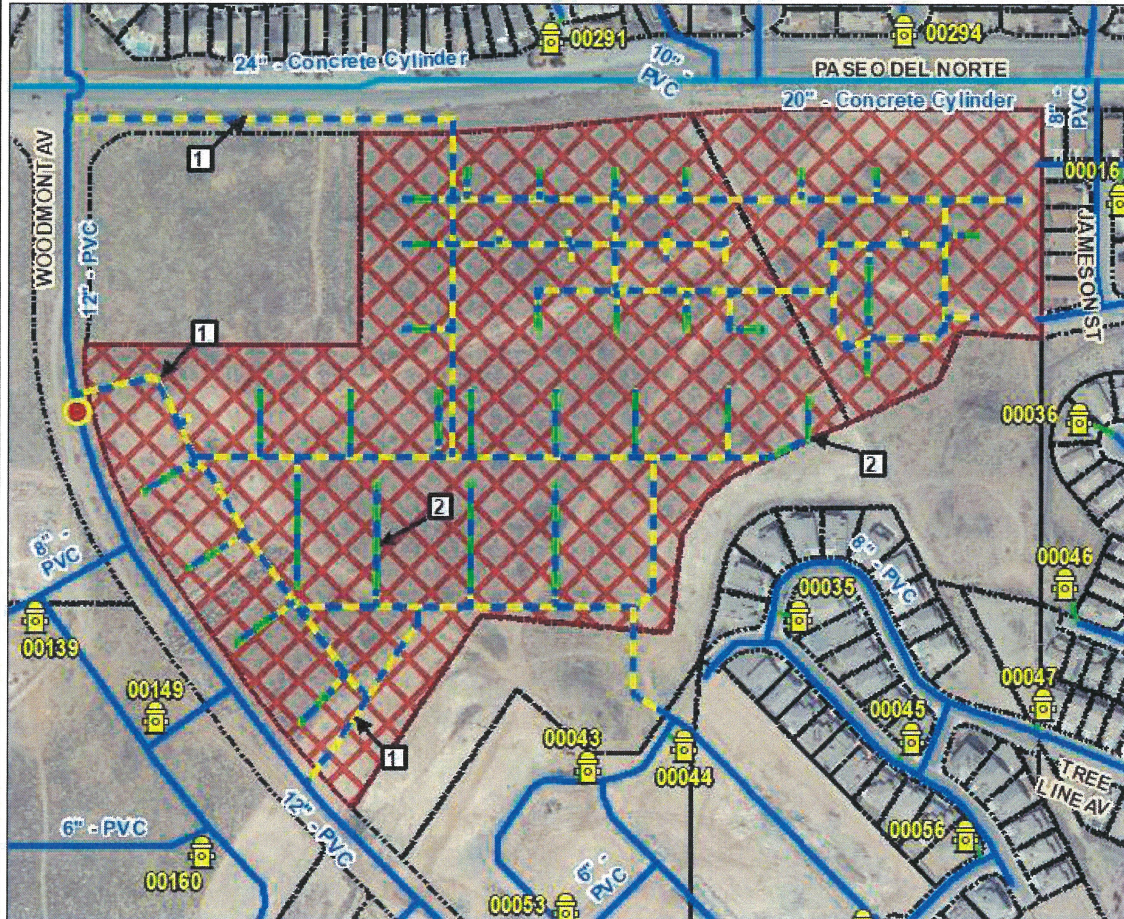


Mark S. Sanchez  
Executive Director











Enclosures: Infrastructure Maps

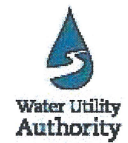
f/ **Availability Statement #221104**

# 221104 - Water

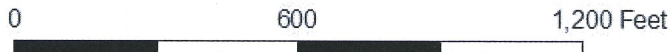


## Legend

- |  |  |
|--|--|
|  Hydrant              |  Project Location                 |
| <b>Water Pipe</b>  |  Base Map City                    |
| <b>Subtype</b>   | <b>Fire Flow Analysis Points</b>   |
|  Distribution Line    |  Analysis Point (1)               |
|  Hydrant Leg          |  --- General Map Keyed Notes      |
|  In Zone Transmission | 1 - Public Water Line Extension  |
|  | 2 - Private Water Line           |

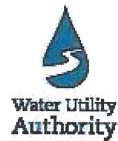


# 221104 - Sanitary Sewer



## Legend

- Sewer Manhole
- Project Location
- Sewer Pipe**
- Subtype**
- COLLECTOR
- Base Map City
- General Map Keyed Notes
- 1 - Extension of Public Sanitary Sewer
- 2 - Private Sanitary Sewer



# CITY OF ALBUQUERQUE



Planning Department  
Alan Varela, Director

Mayor Timothy M. Keller

December 12, 2022

Carl Vermillion, P.E., PTOE  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Courtyard Two  
Albuquerque, NM 87109  
Via email [cvermillion@bhinc.com](mailto:cvermillion@bhinc.com)

**Re: Trails Tract 4 & 5 TIA  
Traffic Impact Analysis**  
Engineer's Stamp dated 12/9/2022  
HT#C09D011B  
Received 12/9/2022  
CABQ Planning Transportation approval

Dear Mr. Vermillion:

The subject Traffic Impact Analysis for the Trails Tract 4&5 dated December 7, 2022 submitted to the City's Planning Transportation Development Section is approved.

PO Box 1293

No infrastructure improvements are required for this development.

Albuquerque

The Traffic Impact Analysis shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

NM 87103

If you have any questions, please feel free to contact me at (505) 924-3362.

[www.cabq.gov](http://www.cabq.gov)

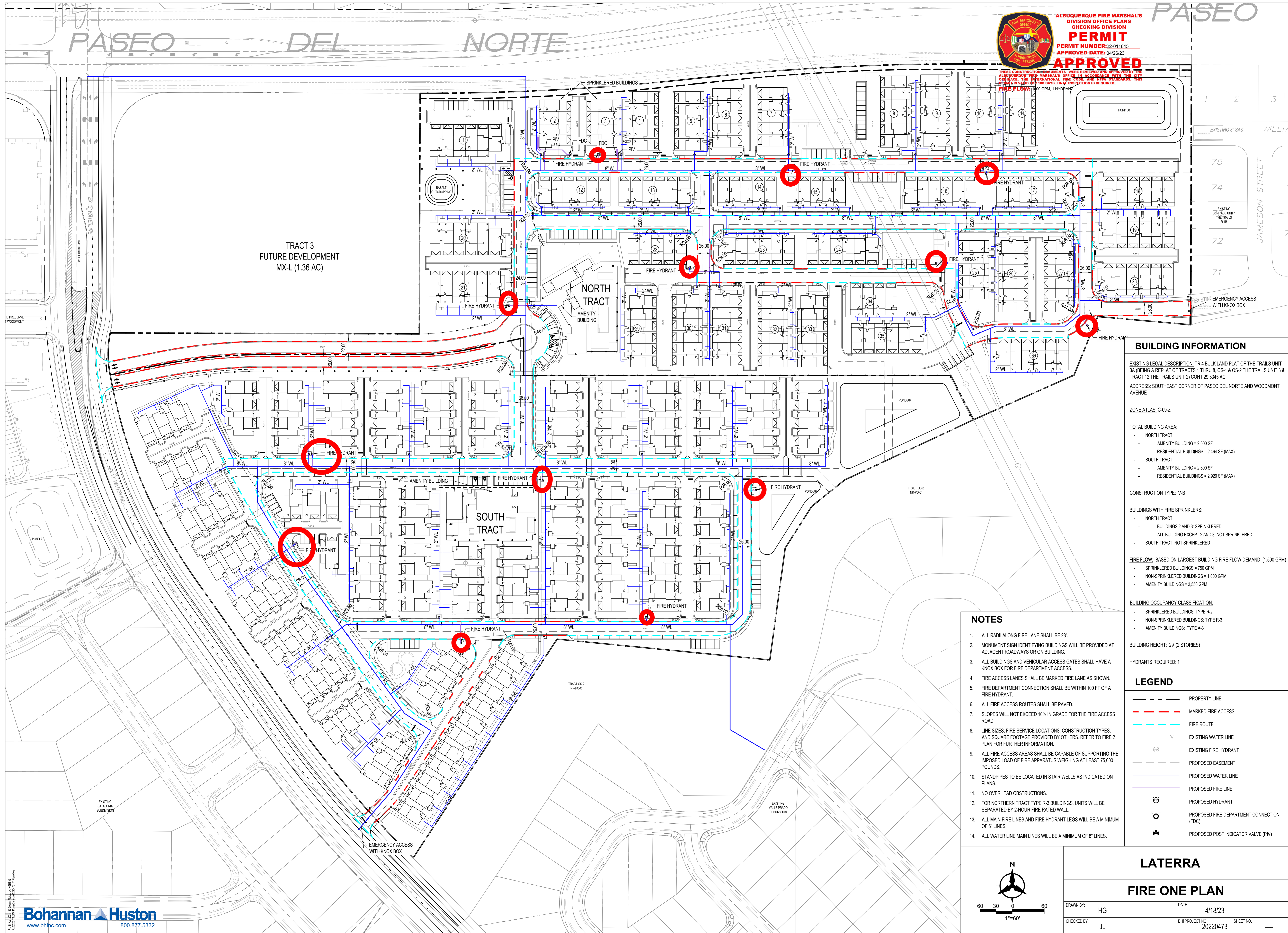
Sincerely,

Matt Grush, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

via: email  
C: Applicant, File



ALBUQUERQUE FIRE MARSHAL'S  
DIVISION OFFICE PLANS  
CHECKING DIVISION  
**PERMIT**  
PERMIT NUMBER: 22-011845  
APPROVED DATE: 04/26/23  
**APPROVED**



TRACT 3  
FUTURE DEVELOPMENT  
MX-L (1.36 AC)

NORTH  
TRACT

SOUTH  
TRACT

**BUILDING INFORMATION**

EXISTING LEGAL DESCRIPTION: TR 4 BULK LAND PLAT OF THE TRAILS UNIT 3A (BEING A REPLAT OF TRACTS 1 THRU 8, OS-1 & OS-2 THE TRAILS UNIT 3 & TRACT 12 THE TRAILS UNIT 2) CONT 29.3345 AC  
ADDRESS: SOUTHEAST CORNER OF PASEO DEL NORTE AND WOODMONT AVENUE

ZONE ATLAS: C-09-Z

**TOTAL BUILDING AREA:**

- NORTH TRACT
- AMENITY BUILDING = 2,000 SF
- RESIDENTIAL BUILDINGS = 2,464 SF (MAX)
- SOUTH TRACT
- AMENITY BUILDING = 2,800 SF
- RESIDENTIAL BUILDINGS = 2,920 SF (MAX)

CONSTRUCTION TYPE: V-B

**BUILDINGS WITH FIRE SPRINKLERS:**

- NORTH TRACT
- BUILDINGS 2 AND 3: SPRINKLERED
- ALL BUILDING EXCEPT 2 AND 3: NOT SPRINKLERED
- SOUTH TRACT: NOT SPRINKLERED

**FIRE FLOW:** BASED ON LARGEST BUILDING FIRE FLOW DEMAND (1,500 GPM)

- SPRINKLERED BUILDINGS = 750 GPM
- NON-SPRINKLERED BUILDINGS = 1,000 GPM
- AMENITY BUILDINGS = 3,550 GPM

**BUILDING OCCUPANCY CLASSIFICATION:**

- SPRINKLERED BUILDINGS: TYPE R-2
- NON-SPRINKLERED BUILDINGS: TYPE R-3
- AMENITY BUILDINGS: TYPE A-3

BUILDING HEIGHT: 29' (2 STORIES)

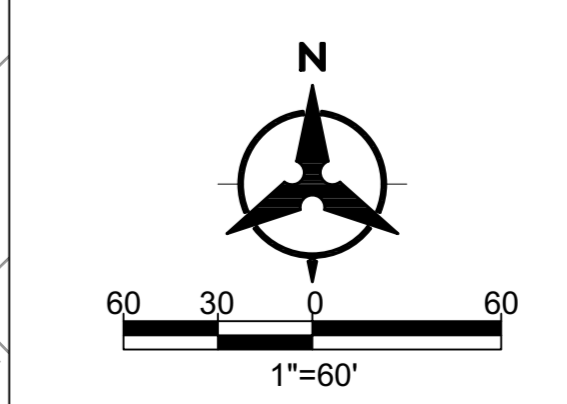
HYDRANTS REQUIRED: 1

**LEGEND**

- - - - - PROPERTY LINE
- - - - - MARKED FIRE ACCESS
- - - - - FIRE ROUTE
- - - - - EXISTING WATER LINE
- - - - - EXISTING FIRE HYDRANT
- - - - - PROPOSED EASEMENT
- - - - - PROPOSED WATER LINE
- - - - - PROPOSED FIRE LINE
- - - - - PROPOSED HYDRANT
- - - - - PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- - - - - PROPOSED POST INDICATOR VALVE (PIV)

**NOTES**

1. ALL RADII ALONG FIRE LANE SHALL BE 28'.
2. MONUMENT SIGN IDENTIFYING BUILDINGS WILL BE PROVIDED AT ADJACENT ROADWAYS OR ON BUILDING.
3. ALL BUILDINGS AND VEHICULAR ACCESS GATES SHALL HAVE A KNOX BOX FOR FIRE DEPARTMENT ACCESS.
4. FIRE ACCESS LANES SHALL BE MARKED FIRE LANE AS SHOWN.
5. FIRE DEPARTMENT CONNECTION SHALL BE WITHIN 100 FT OF A FIRE HYDRANT.
6. ALL FIRE ACCESS ROUTES SHALL BE PAVED.
7. SLOPES WILL NOT EXCEED 10% IN GRADE FOR THE FIRE ACCESS ROAD.
8. LINE SIZES, FIRE SERVICE LOCATIONS, CONSTRUCTION TYPES, AND SQUARE FOOTAGE PROVIDED BY OTHERS. REFER TO FIRE 2 PLAN FOR FURTHER INFORMATION.
9. ALL FIRE ACCESS AREAS SHALL BE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.
10. STANDPIPES TO BE LOCATED IN STAIR WELLS AS INDICATED ON PLANS.
11. NO OVERHEAD OBSTRUCTIONS.
12. FOR NORTHERN TRACT TYPE R-3 BUILDINGS, UNITS WILL BE SEPARATED BY 2-HOUR FIRE RATED WALL.
13. ALL MAIN FIRE LINES AND FIRE HYDRANT LEGS WILL BE A MINIMUM OF 6" LINES.
14. ALL WATER LINE MAIN LINES WILL BE A MINIMUM OF 8" LINES.



**LATERRA**

**FIRE ONE PLAN**

DRAWN BY:	HG	DATE:	4/18/23
CHECKED BY:	JL	BHI PROJECT NO:	20220473
		SHEET NO.:	---