

KEYED NOTES: TRAVEL CENTER (NEW)

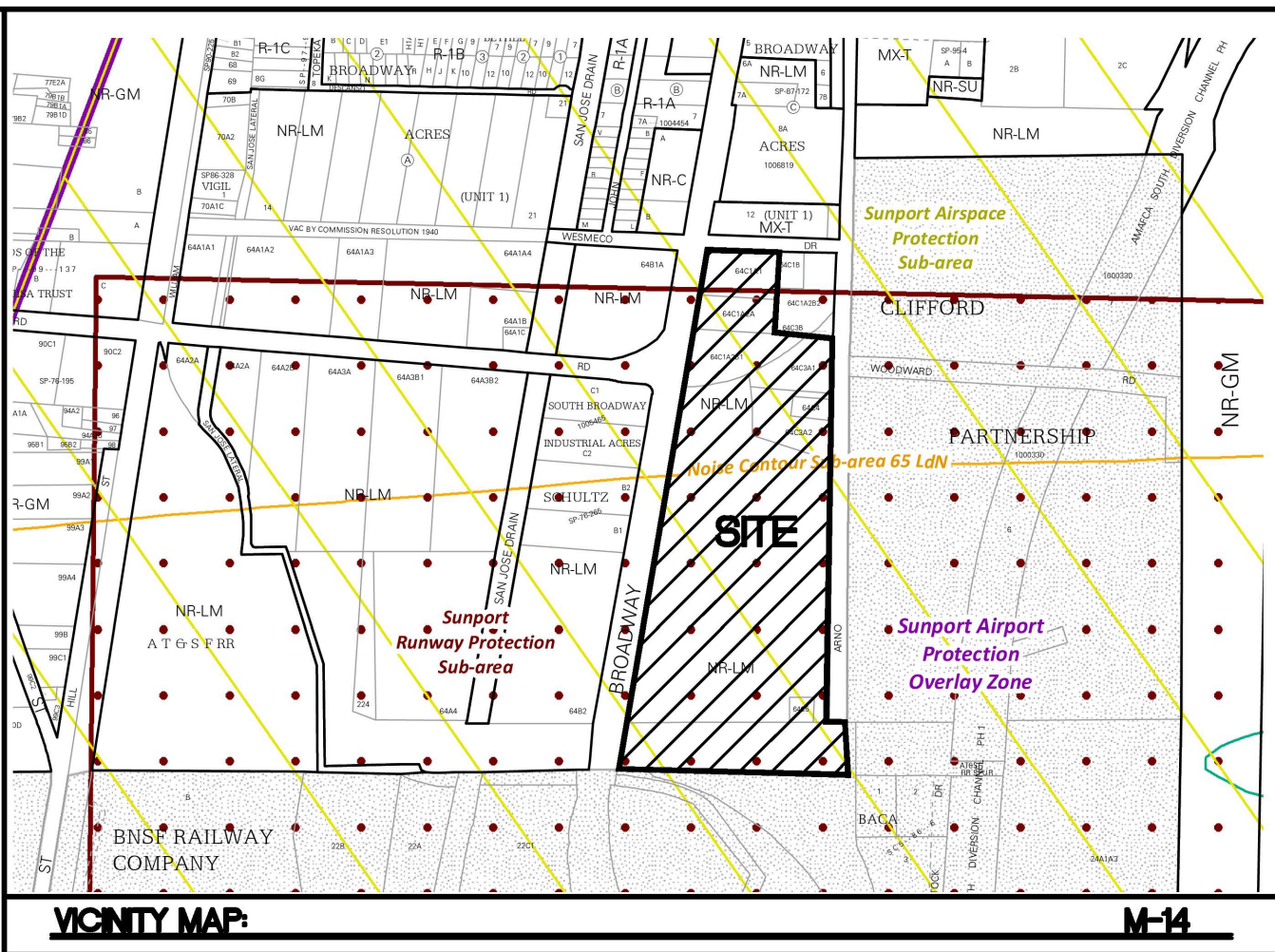
- 1 TRUCK CANOPY (51' x 108')
- 2 AUTO CANOPY (29' x 168')
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANKS
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 NOT USED
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 11 EXISTING INLET PROTECTION
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 13 EXISTING CAR PORT TO BE REMOVED
- 18 EXISTING NON-GATED ACCESS
- 19 EXISTING BUILDING TO BE REMOVED
- 20 EXISTING ABOVE GROUND STORAGE TANK TO BE REMOVED
- 23 EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR (REF. ARCHITECTUAL PLANS FOR DETAILS)
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8" ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 48 AREA LIGHTS (TYP) 30' MAXIMUM
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' OPAQUE (CMU) SCREEN WALL

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- EXISTING UNDISTURBED SOIL
- EXISTING ASPHALT
- ASPHALT & CONCRETE PAVING AREA
- SPILL CONTAINMENT AREA
- PARKING LOT LIGHT FIXTURE

KEYED NOTES: FUELING DEPOT (TO REMAIN)

- 14 EXISTING BUILDING TO REMAIN
- 15 EXISTING GATED ACCESS
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 EXISTING ABOVE GROUND PIPING TO REMAIN
- 21 EXISTING CONCRETE PADS TO REMAIN (TYP.)
- 22 EXISTING CONTAINMENT AREA ACCESS TO REMAIN
- 27 EXISTING UTILITY EASEMENT
- 28 EXISTING RAIL SPUR TO REMAIN
- 29 EXISTING PLAINS PIPELINE EASEMENT SITE
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 47 NEW MONITORING WELL LOCATION



LEGAL DESCRIPTION

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE: INDUSTRIAL  
ZONE: NR-LM  
LOT AREA: 786,522 SF (18.06 ACRES)  
ADDRESS: 3200 BROADWAY BLVD. S.E. ALBUQUERQUE, N.M. 87105

VARIANCES:

1. VARIANCE TO ALLOWABLE SIGN AREA (CAT SCALE SIGN, 107.75 SF)
2. VARIANCE TO ALLOWABLE SIGN AREA (PRICER SIGNS, 148.33 SF)
3. NUMBER OF FREESTANDING SIGNS (5 SIGNS) INCREASE OF 2 SIGNS
4. NUMBER OF ELECTRONIC SIGNS (2 SIGNS) INCREASE OF 1 SIGN

NOTE:

- 1 - ALL APO 3-3(C) USE REGULATIONS ARE MET/BEING FOLLOWED 3-3(B)(1) AIR SPACE PROTECTION SUB-AREA: THIS SUB-AREA UNDERLIES A HORIZONTAL SURFACE ESTABLISHED AT A HEIGHT OF 150 FEET ABOVE THE HIGHEST POINT OF THE USABLE LANDING AREA AT EACH AIRPORT, RESULTING IN A HORIZONTAL SURFACE AT 5,504.9 FEET IN ELEVATION FOR THE ALBUQUERQUE INTERNATIONAL AIRPORT. THE BASE OF THE ELEVATION IS OVER 650' BELOW THE ELEVATION OF RUNWAY
- 2 - A CUMULATIVE IMPACT ANALYSIS WAS CONDUCTED PURSUANT TO 5-2(E) AND THE IMPACTS OF THIS DEVELOPMENT ARE MITIGATED TO THE GREATEST EXTENT PRACTICABLE THE TIS HAS BEEN SUBMITTED AND REVIEWED BY THE COA, NMDOT AND BERNALILLO COUNTY. THE MITIGATION MEASURES ARE BEING REVIEWED BY THE THREE AGENCIES AND WILL BE MADE PART OF THE APPROVAL OF THE EXPANSION OF THE TRAVEL CENTER PRIOR TO THE FINAL APPROVAL OF THE TIS.
- 3 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 4 - SIGN MATERIAL AND ANY FEATURES THERE IN COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY
- 5 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS
- 6 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
- 7 - THE PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND THE AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT
- 8 - THE CONTRACTOR SHOULD BE NOTIFIED OF THE POTENTIAL FOR LANDFILL GASES TO BE PRESENT DURING THE CONSTRUCTION OF ARNO ST. SE ROAD SECTION.

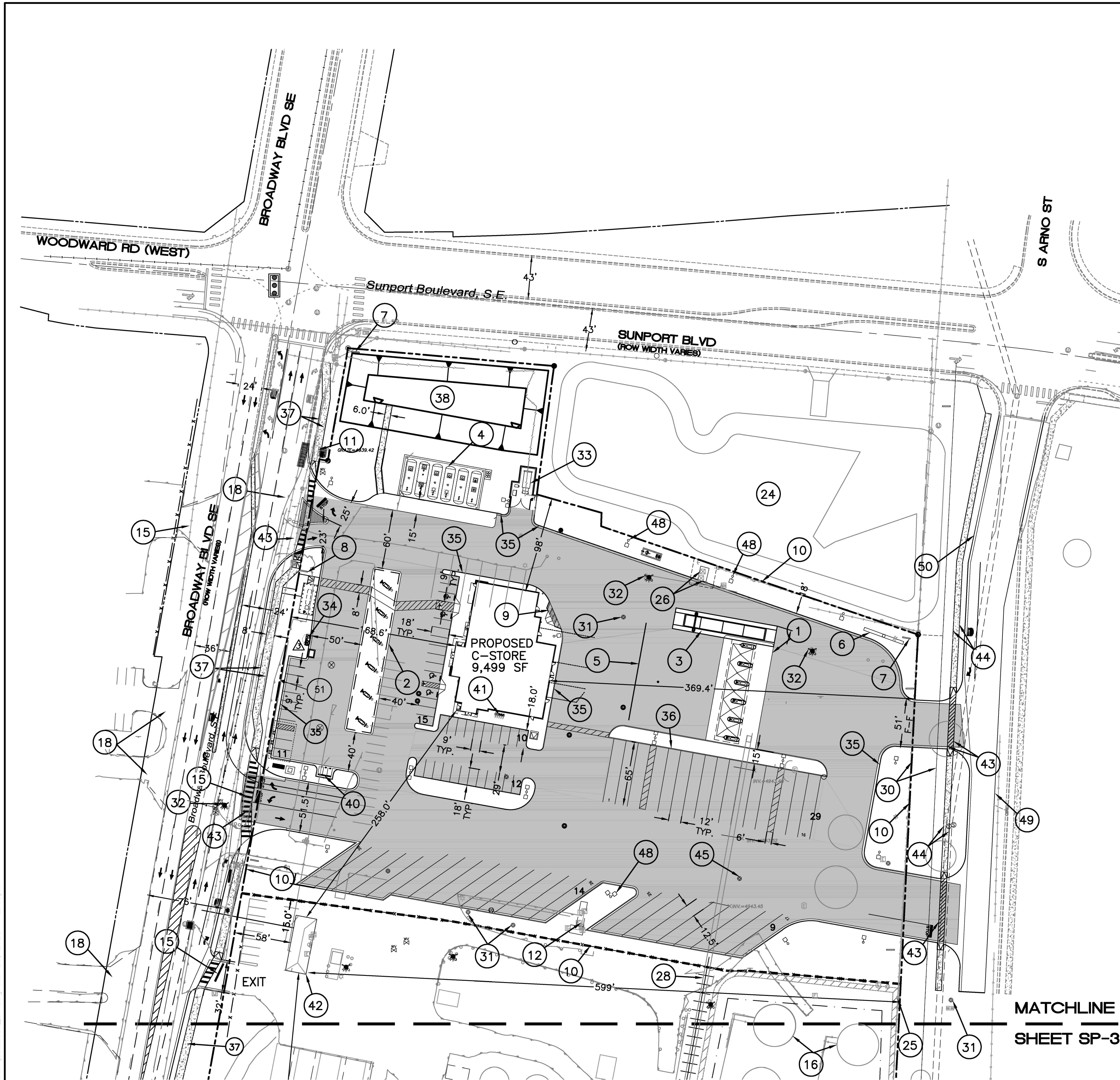
REV.	DATE	REVISIONS	BY
3	10-15-24	RELOCATED RV DUMP STATION	PM
2	6-10-24	ADDED SCREEN WALL, CHANGED NOTE 48	PM
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		BROADWAY/SUNPORT BLVD	DRAWN BY PM
DATE 3-27-25		OVERALL SITE PLAN	DATE 3-27-25
VINCENT P. CARRICA P.E. #16212		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022031_SP
			SHEET # SP-1
			JOB # 2022031

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



7:\2023\2023031\_Love's\_Support\_Station\Drawings\Construction\2023031\_SP.dwg, Mar 26, 2025 -- 2:45pm

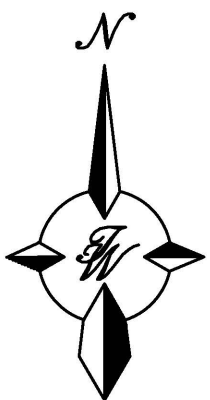


CAUTION

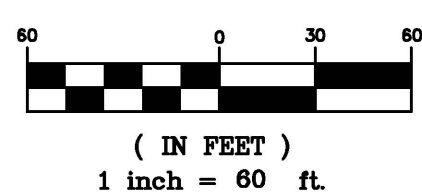
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOTE:

- 1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 30 FT HEIGHT
- 2 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY
- 4 - THE CONTRACTOR SHOULD BE NOTIFIED OF THE POTENTIAL FOR LANDFILL GASES TO BE PRESENT DURING THE CONSTRUCTION OF ARNO ST. SE ROAD SECTION



GRAPHIC SCALE



KEYED NOTES

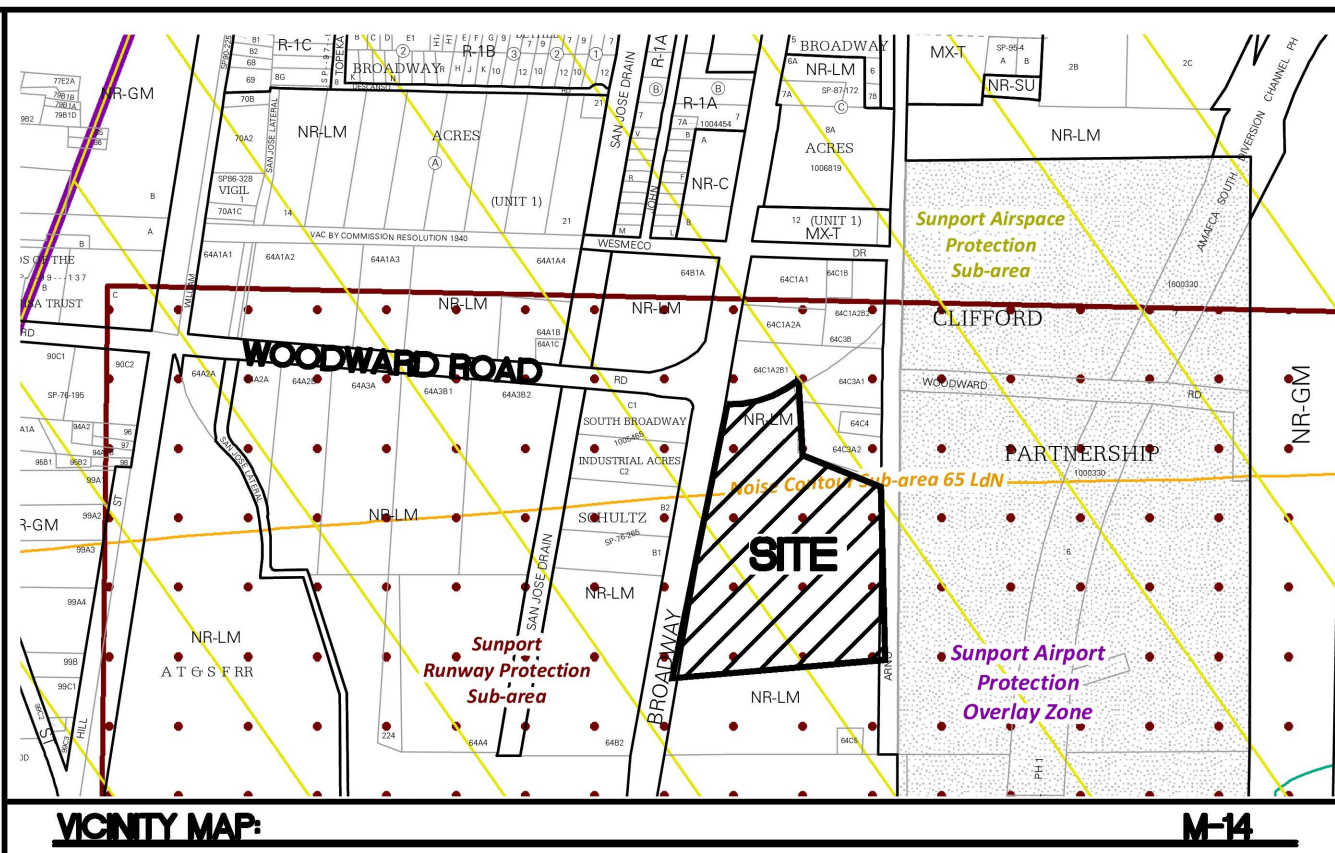
- 1 TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
- 2 AUTO CANOPY (29' X 168') (LIGHT VEHICLE)
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANK FARM
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 15 EXISTING GATED ACCESS W/ CROSS WALK STRIPE
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 PEDESTRIAN CONNECTION STRIPING
- 18 EXISTING NON-GATED ACCESS W/ CROSS WALK STRIPE
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 28 EXISTING RAIL SPUR TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 48 AREA LIGHT (TYP)
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' OPAQUE (CMU) SCREEN WALL

PROJECT NUMBER: PR-2022-007103  
APPLICATION NUMBER: SI-2024-00922

Is an Infrastructure List required? (X) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

Contract Designer	Jun 12, 2025
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Jun 26, 2025
Utility Review	Date
PARKS AND RECREATION DEPARTMENT	Jun 12, 2025
HYDROLOGY	Jun 13, 2025
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Jul 14, 2025
PLANNING DEPARTMENT	Date



SITE DATA

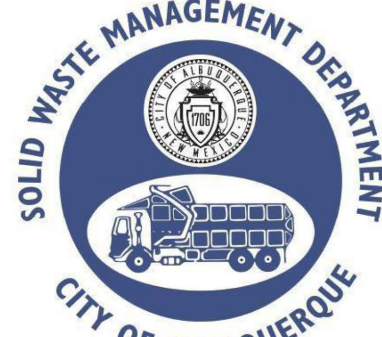
PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	LOVE'S TRAVEL STOP 292,169 SF (6.707 ACRES) FUELING DEPOT 494,353 SF (11.353 ACRES) OVERALL 786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 SF OVERALL 3322 SF RESTAURANT 6177 SF LIGHT VEHICLE FUELING, GENERAL RETAIL AND HEAVY FUELING
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	7 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 25 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING	19 SPACES (5.6 SPACE/1000 SQ. FT GFA FOR RESTAURANT) 51 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
FUTURE PARKING FUELING DEPOT	10 SPACES

LEGEND

CURB & GUTTER	EXISTING LANE
BOUNDARY LINE	EXISTING STRIPING
EASEMENT	ASPHALT PAVING AREA
CENTERLINE	SPILL CONTAINMENT AREA
RIGHT-OF-WAY	PARKING LOT LIGHT FIXTURE
BUILDING	EXISTING TRAFFIC SIGNAL
SIDEWALK	
RETAINING WALL	
STREET LIGHTS	
LANE	
STRIPING	
EXISTING CURB & GUTTER	
EXISTING BOUNDARY LINE	

REV.	DATE	REVISIONS	REMARKS	BY
3	10-15-24	RELOCATED RV DUMP STATION		PM
2	6-10-24	ADDED SCREEN WALL AND NOTE		PM
1	05-13-2024	BUILDING PERMIT COMMENTS		RMG
REVISIONS				
ENGINEER'S SEAL		BROADWAY/SUNPORT BLVD		DRAWN BY PM
		TRAVEL CENTER SITE PLAN		DATE 3-27-25
		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2022031_SP
VINCENT P. CARRICA P.E. #16212		SHEET # SP-2		JOB # 2022031





Approved for access by the Solid Waste Department.

All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallegos*

Date: 06-06-24

\*\*Recycling declined\*\*

\*\*34 yd compactor\*\*

WOODWARD RD (WEST)

BROADWAY BLVD SE

S ARNO ST

SUNPORT BLVD  
(ROW WIDTH VARIES)

S ARNO ST

BROADWAY BLVD SE  
(ROW WIDTH VARIES)

EXIT

MATCHLINE  
SHEET SP-3

#### CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

#### NOTE:

1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 35 FT HEIGHT

2 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD

3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

#### KEYED NOTES

- 1 TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
- 2 AUTO CANOPY (29' x 168') (LIGHT VEHICLE)
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANK FARM
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 15 EXISTING GATED ACCESS W/ CROSS WALK STRIPE
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 PEDESTRIAN CONNECTION STRIPING
- 18 EXISTING NON-GATED ACCESS W/ CROSS WALK STRIPE
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 28 EXISTING RAIL SPUR TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' PAVED TRAIL
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 48 AREA LIGHT (TYP)
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

Date

ABCWUA

Date

PARKS AND RECREATION DEPARTMENT

Date

HYDROLOGY

Date

CODE ENFORCEMENT

Date

\* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

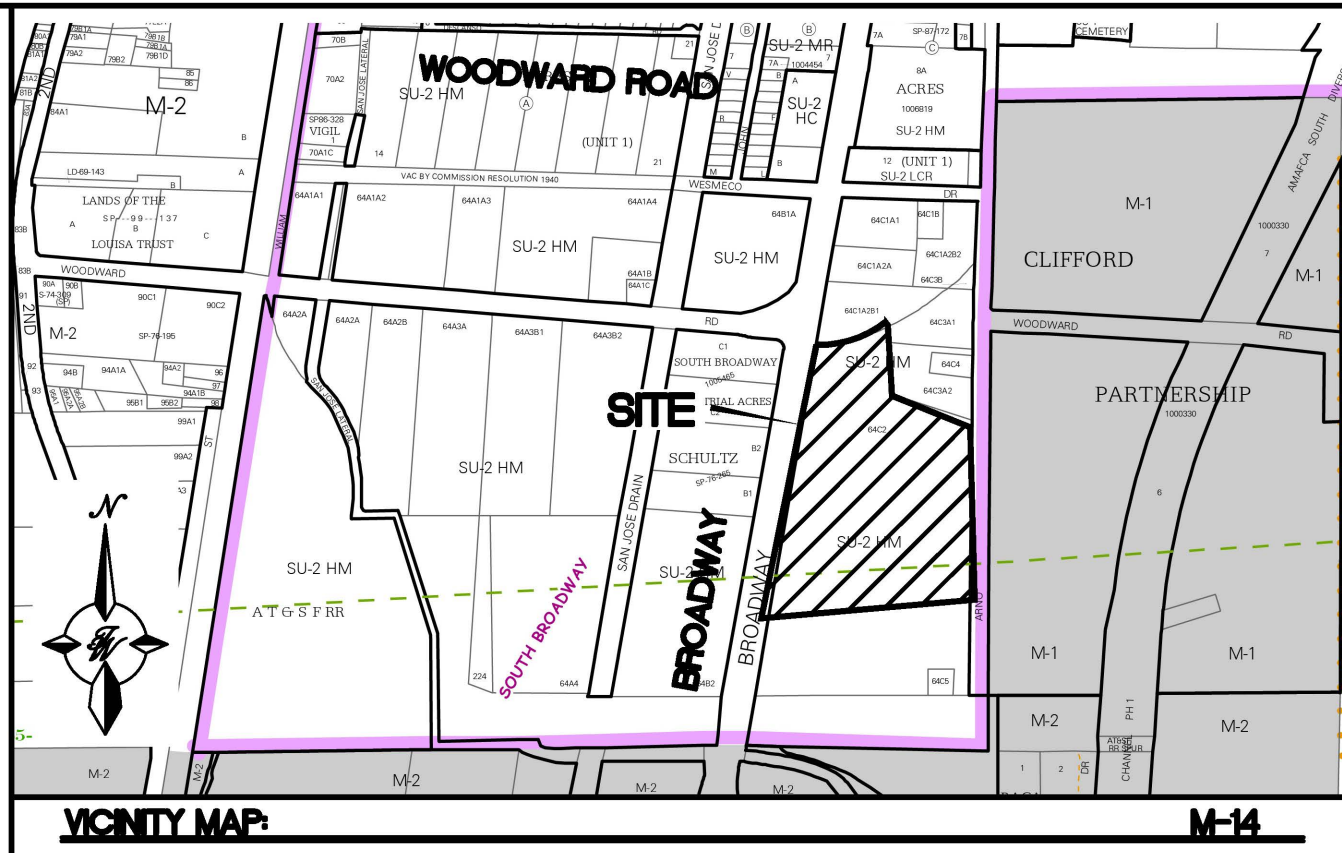
Date

*Herman Gallegos* Herman Gallegos  
SOLID WASTE MANAGEMENT

06-06-24  
Date

PLANNING DEPARTMENT

Date



#### LEGAL DESCRIPTION



LOT 64C2 OF MRGCD MAP NO. 44

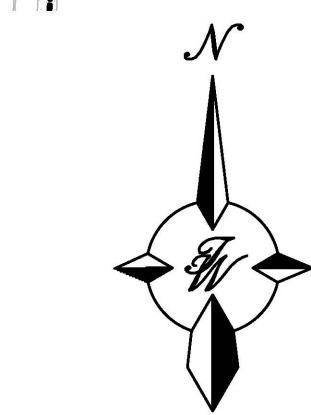
#### SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	
LOVE'S TRAVEL STOP	292,169 SF (6.707 ACRES)
FUELING DEPOT	494,353 SF (11.353 ACRES)
OVERALL	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 S.F.
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING	
	24 SPACES (8 SPACE/1000 SQ. FT. GFA FOR RESTAURANT) 74 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
EXISTING FUEL DEPOT	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING) 24 SPACES (8 SPACE/1000 SQ. FT. GFA FOR ONE BUILDING) 74 SPACES TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
EXISTING FUTURE PARKING FUELING DEPOT	10 SPACES

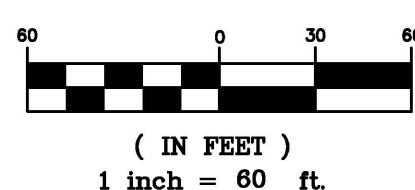
#### LEGEND

CURB & GUTTER	EXISTING LANE
BOUNDARY LINE	EXISTING STRIPING
EASEMENT	ASPHALT PAVING AREA
CENTERLINE	SPILL CONTAINMENT AREA
RIGHT-OF-WAY	PARKING LOT LIGHT FIXTURE
BUILDING	EXISTING TRAFFIC SIGNAL
SIDEWALK	
RETAINING WALL	
STREET LIGHTS	
LANE	
STRIPING	
EXISTING CURB & GUTTER	
EXISTING BOUNDARY LINE	

REV.			BUILDING PERMIT COMMENTS	RMG	
1	05-13-2024				
NO.	DATE		REMARKS	BY	
			REVISIONS		
			LOVE'S BROADWAY /SUNPORT BLVD  TRAVEL CENTER SITE PLAN		DRAWN BY SB
					DATE 04/02/24
					2022031_SP
04-02-24			 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		
VINCENT P. CARRICA P.E. #16212			JOB # 2022031		



GRAPHIC SCALE







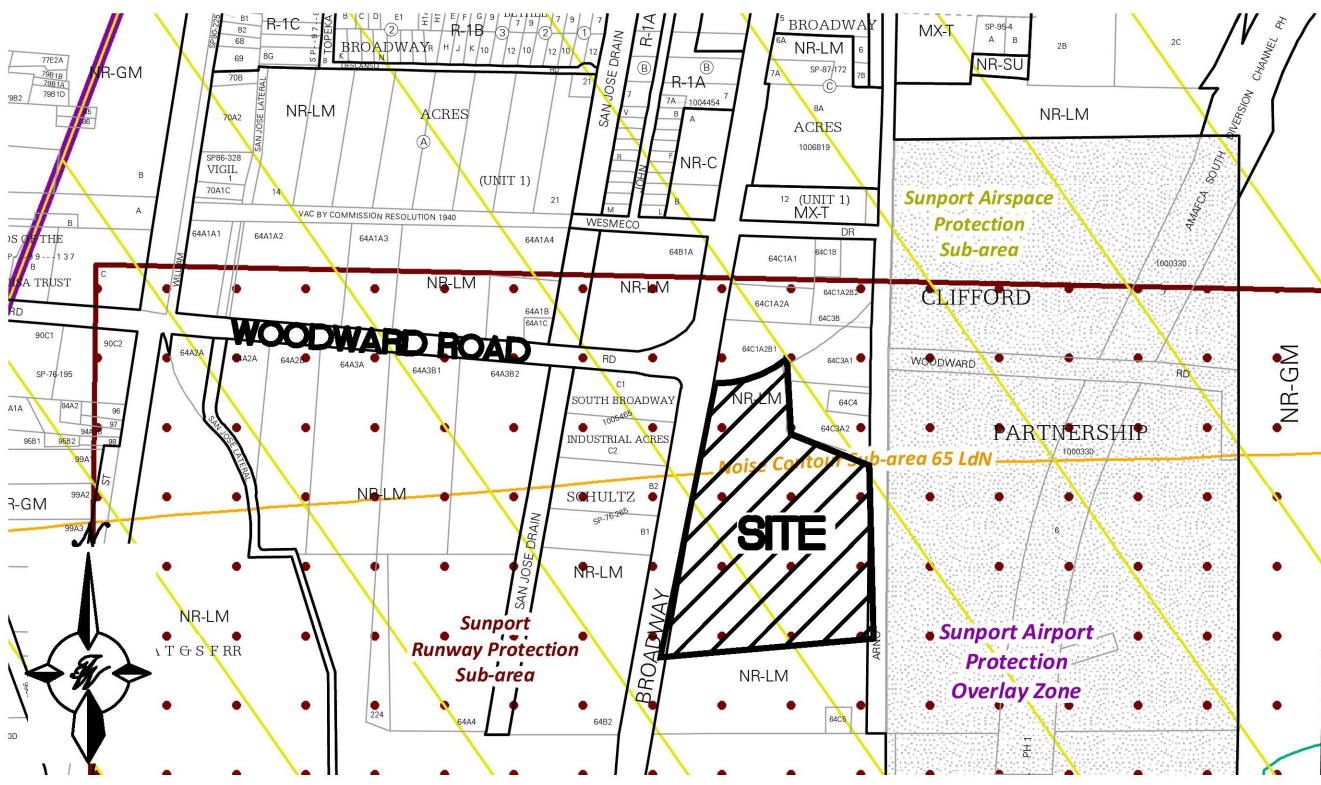
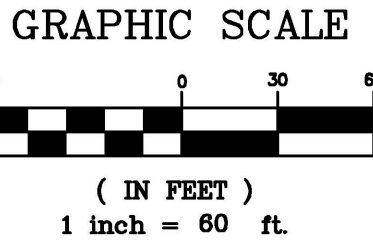
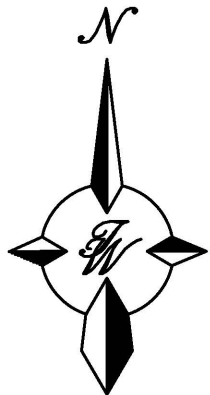
SHEET SP-2  
MATCHLINE

KEYED NOTES

- 14 EXISTING BUILDING TO REMAIN
- 15 EXISTING GATED ACCESS
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 EXISTING ABOVE GROUND PIPING TO REMAIN
- 18 EXISTING NON-GATED ACCESS
- 21 EXISTING CONCRETE PADS TO REMAIN (TYP.)
- 22 EXISTING CONTAINMENT AREA ACCESS TO REMAIN
- 23 EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 27 EXISTING UTILITY EASEMENT
- 28 EXISTING RAIL SPUR TO REMAIN
- 29 EXISTING PLAINS PIPELINE EASEMENT SITE
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 37 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 47 NEW MONITORING WELL LOCATION

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING



LEGAL DESCRIPTION

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE: INDUSTRIAL  
ZONE: NR-LM  
LOT AREA: 494,353 S.F. (11.353 ACRES)  
ADDRESS: 3200 BROADWAY BLVD. S.E.  
ALBUQUERQUE, N.M. 87105

NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

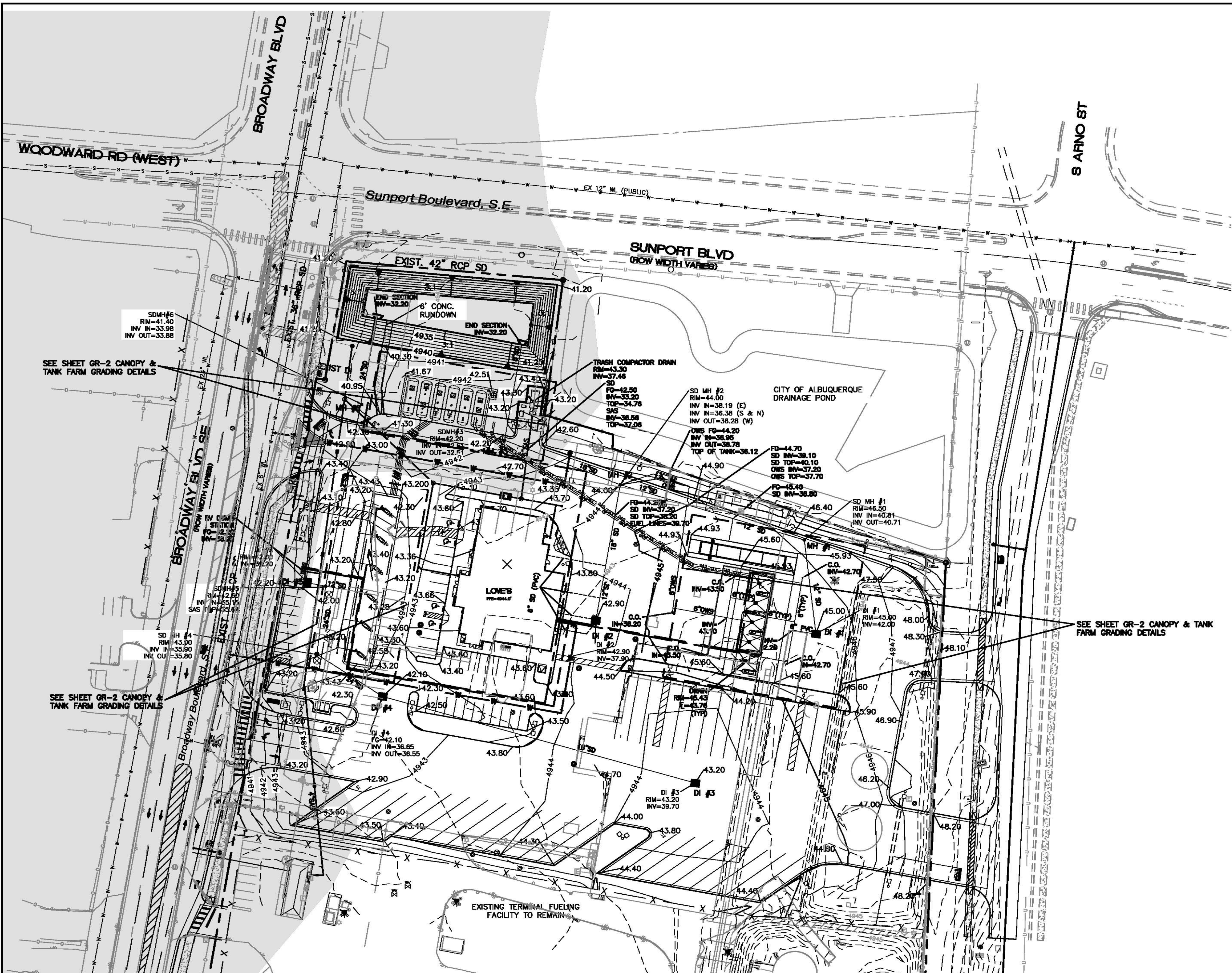
THE CONTRACTOR SHOULD BE NOTIFIED OF THE POTENTIAL FOR LANDFILL GASES TO BE PRESENT DURING THE CONSTRUCTION OF ARNO ST. SE ROAD SECTION.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

REV.	1	05-13-2024	BUILDING PERMIT COMMENTS	RMG
NO.		DATE	REMARKS	BY
REVISIONS				
ENGINEER'S SEAL		BROADWAY/SUNPORT BLVD		DRAWN BY PM
		FUELING DEPOT AS BUILT SITE PLAN		DATE 3-27-25
		TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2022031_SP
				SHEET # SP-3
				JOB # 2022031





- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
  6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

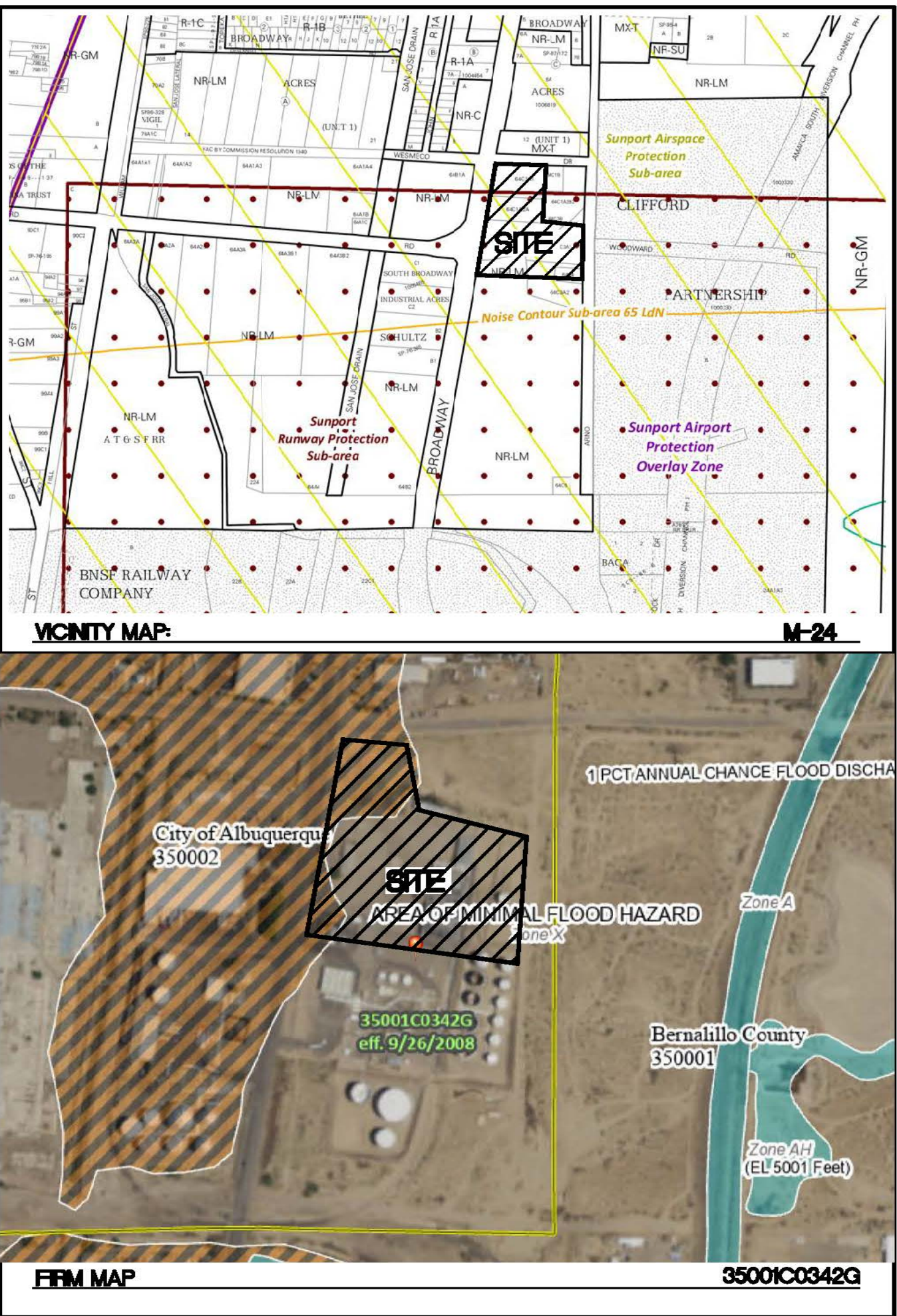
STRUCTURE TABLE			
STRUCTURE	SIZE/TYPE	RLM	INVERT
MH#1	6' DIA	4946.50	4940.81 (IN) 4494.71 (OUT)
MH#2	4' DIA	4944.00	4938.19 (EAST) 4936.38 (SOUTH & NORTH) 4936.28 (WEST)
MH#3	4' DIA	4942.20	4932.81 (IN) 4932.51 (OUT)
MH#4	4' DIA	4943.00	4935.90 (IN) 4935.80 (OUT)
MH#5	4' DIA	4942.60	4935.15 (IN) 4935.64 (SAS TOP) 4933.98 (IN) 4933.88 (OUT)
DI #1	TYPE D	4945.00	4942.00
DI #2	TYPE D	4942.90	4937.90
DI #3	TYPE D	4943.20	4939.70
DI #4	TYPE D	4942.10	4936.65 (IN) 4936.55 (OUT)
DI #5	TYPE D	4942.00	4939.20

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - CONTOUR MAJOR
  - CONTOUR MINOR
  - SPOT ELEVATION
  - FLOW ARROW
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING CONTOUR MAJOR
  - EXISTING CONTOUR MINOR
  - PARKING LOT LIGHT FIXTURE
  - AREA WITH REDUCED FLOOD RISK DUE TO LEVEE

**DRAINAGE NARRATIVE:**  
THE PROPOSED LOVE'S TRAVEL CENTER IS TO BE CONSTRUCTED ON THE NORTHERN 6.71 ACRES OF THE EXISTING TERMINAL FUELING FACILITY. THE SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS, PAVING AND ABOVE GROUND FUEL STORAGE TANKS. THE SITE CURRENTLY GENERALLY DRAINS FROM EAST TO WEST WITH SOME ONSITE PONDING AND SOME RUNOFF ENTERING THE BROADWAY BOULEVARD RIGHT OF WAY. THE EXISTING FACILITIES WITHIN THE NORTHERN 6.71 ACRES WILL BE REMOVED AND THE NEW LOVE'S CONSTRUCTED WITH AUTO AND TRUCK FUELING AREAS, A C-STORE, A CAT SCALE, AND ASSOCIATED PARKING FIELDS. DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO A PROPOSED RETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND WILL HAVE THE CAPACITY TO RETAIN THE 100-YEAR, 10-DAY STORM VOLUME.

DRAINAGE ON THE EXISTING TERMINAL FUELING FACILITY SOUTH OF THE LOVE'S TRAVEL CENTER DEVELOPMENT WILL REMAIN AS IT CURRENTLY EXISTS.

A PORTION OF THE NORTHWEST CORNER OF THE SITE FALLS WITHIN AN "AREA WITH REDUCED FLOOD RISK DUE TO LEVEE" PER FEMA MAP NO. 35001C03426 (EFF. 9/26/2008). NO PROPOSED ABOVE GROUND BUILDINGS OR FUELING CANOPIES WILL BE AFFECTED BY THIS AREA OF REDUCED FLOOD RISK. THE PROPOSED FUEL TANK FARM (UNDERGROUND) ACCOUNTS FOR THE REDUCED FLOOD RISK AND WILL NOT BE ADVERSELY AFFECTED.



Zone:

Zone 2

Developed Basins

Basin	Basin Area			Treatments						100-Year				
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Flow volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)			
Loves	292,169.0	6.71	0.010	0%	0.00	25%	1.68	0%	0.00	75%	5.03	1,948	1,089	25.79
Total	292,169.0	6.707	0.01048		0.00		1.677		0.000		5.030		1,089	25.79

**Equations:**  
Weighted E = Ea \* Aa + Eb \* Ab + Ec \* Ac + Ed \* Ad / (Total Area)  
Volume = Weighted E \* Total Area  
Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad  
  
 $V_{100YR} = V_{10YR} * A_{10YR} / P_{10YR} * P_{100YR}^{1/2}$   
 $P_{10YR} = 3.67$   
 $P_{100YR} = 2.20$

LOVE'S POND 100YR 24HR 47,417 CU.FT.  
100YR, 10DAY 74,260 CU.FT.

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
DATE: 6/10/2025  
BY: [Signature]  
HydroTime # M14D038

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVAL OF PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.

REV. NO.	1	05-13-2024	BUILDING PERMIT COMMENTS	RMG BY
REVISIONS				
ENGINEER'S SEAL	LOVE'S BROADWAY/ SUNPORT BLVD GRADING PLAN			DRAWN BY sb
VINCENT P. CARRICA P.E. #16212	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com			DATE 05/29/2025
	SHEET # GR-1			JOB # 2022031



LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR

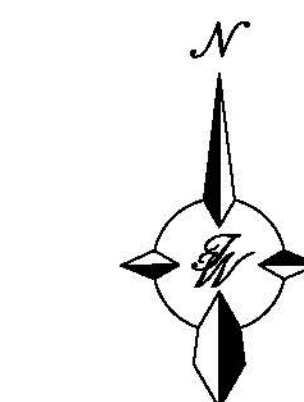
NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

#### NOTICE TO CONTRACTORS

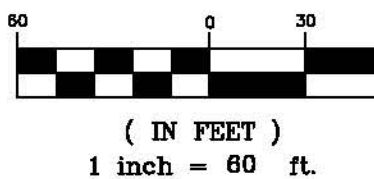
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL



#### GRAPHIC SCALE



A.G.R.S. MONUMENT "7.114"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,471,713.901 US SURVEY FEET  
E=1,261,368.623 US SURVEY FEET  
PUBLISHED EL=4045.9 US SURVEY FT (NAVD 1989)  
GROUND TO GRID FACTOR=0.99993546  
DELTA ALPHA ANGLE=01°3'42.01"

A.G.R.S. MONUMENT "4.114"  
STANDARD C.O.A. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,462,028.317 US SURVEY FEET  
E=1,261,013.010 US SURVEY FEET  
PUBLISHED EL=4045.9 US SURVEY FT (NAVD 1989)  
GROUND TO GRID FACTOR=0.99993546  
DELTA ALPHA ANGLE=01°3'42.01"

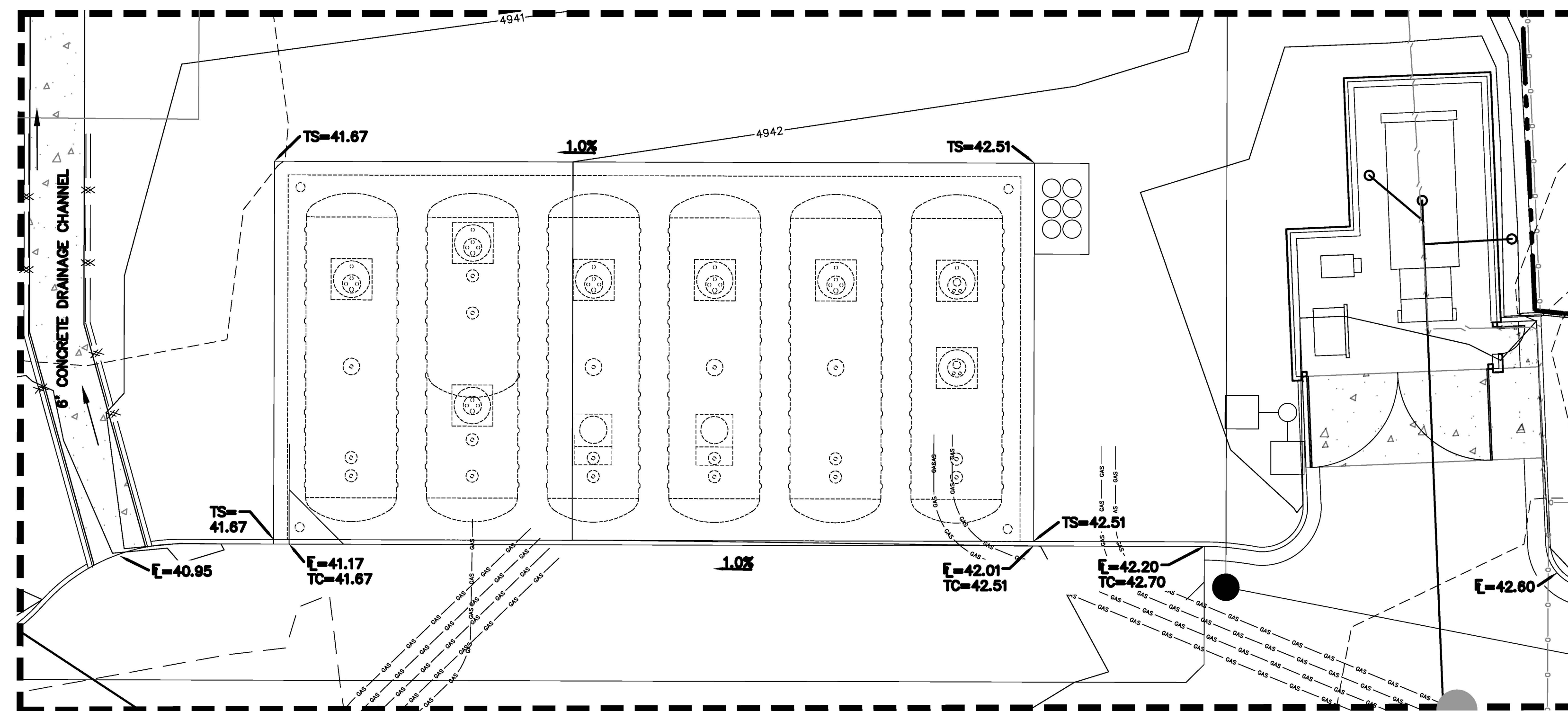
City of Albuquerque Planning Department Development Review Services HYDROLOGY SECTION	
<b>APPROVED</b>	
DATE:	6/10/2025
BY:	<i>[Signature]</i>
HydroTeam #	M14D038
<small>THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSIDERED TO PREVENT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM RECOVERING COSTS FOR DAMAGES OR REMEDIATION IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.</small>	

#### CAUTION

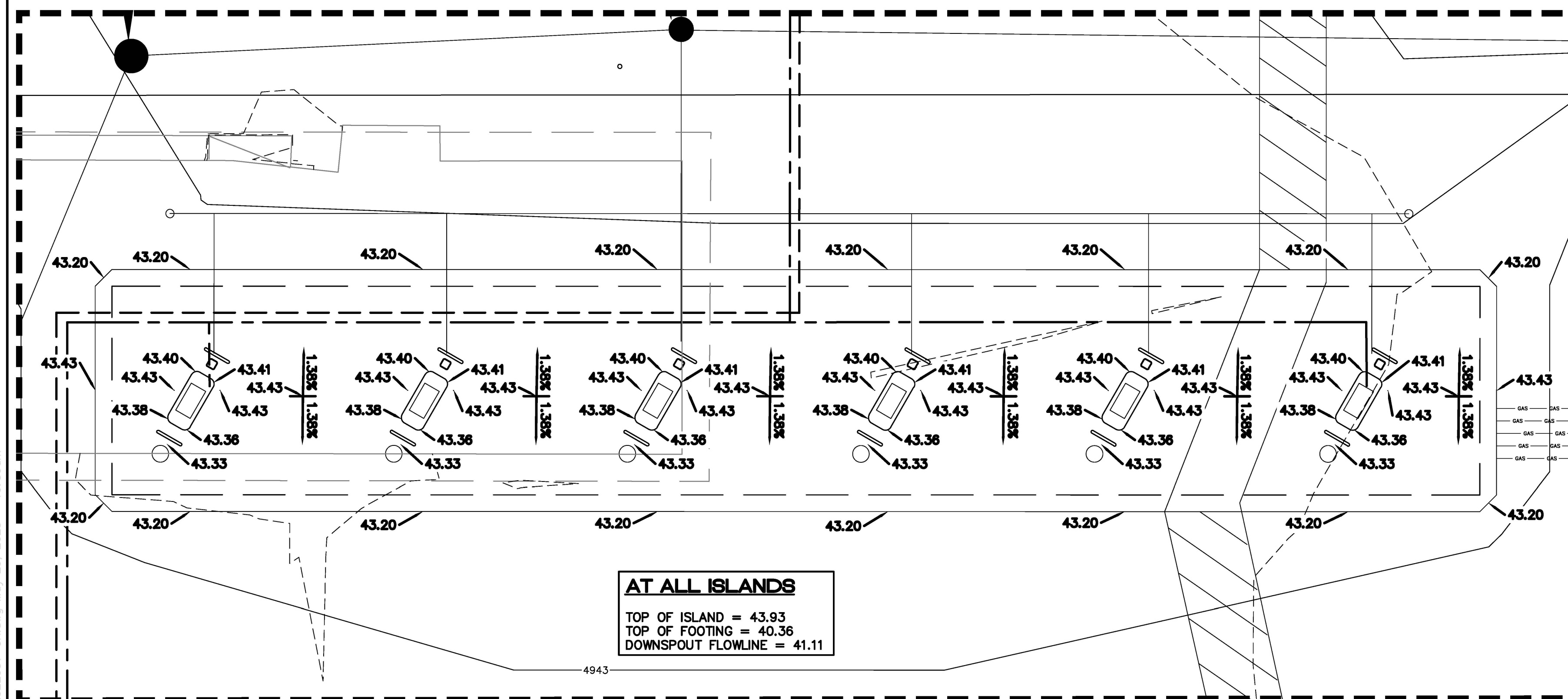
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

<div>ENGINEER'S SEAL</div> <div></div>	BROADWAY/SUNPORT BLVD		DRAWN BY PM
	GRADING AND DRAINAGE PLAN		DATE 05/29/2025
	<div></div> <div>Tierra West, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>		2022031_GR PLAN
			SHEET # <b>GR-2</b> JOB # 2022031

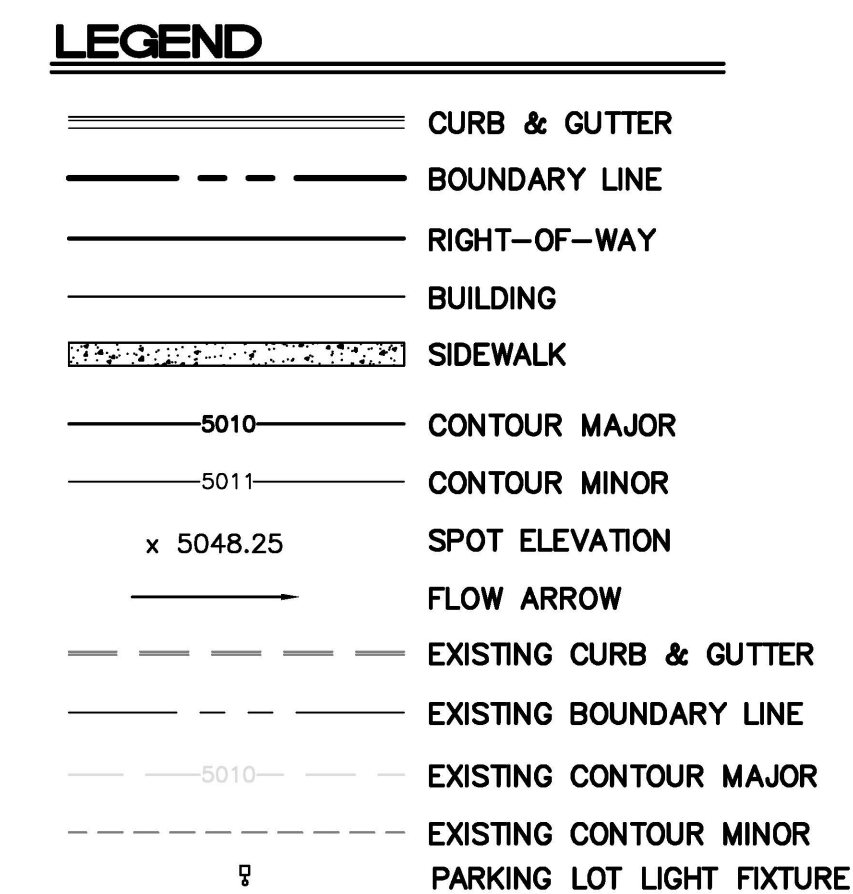






**UNDERGROUND STORAGE TANKS (UST'S) SLAB GRADING DETAIL**  
1"=10' SCALE



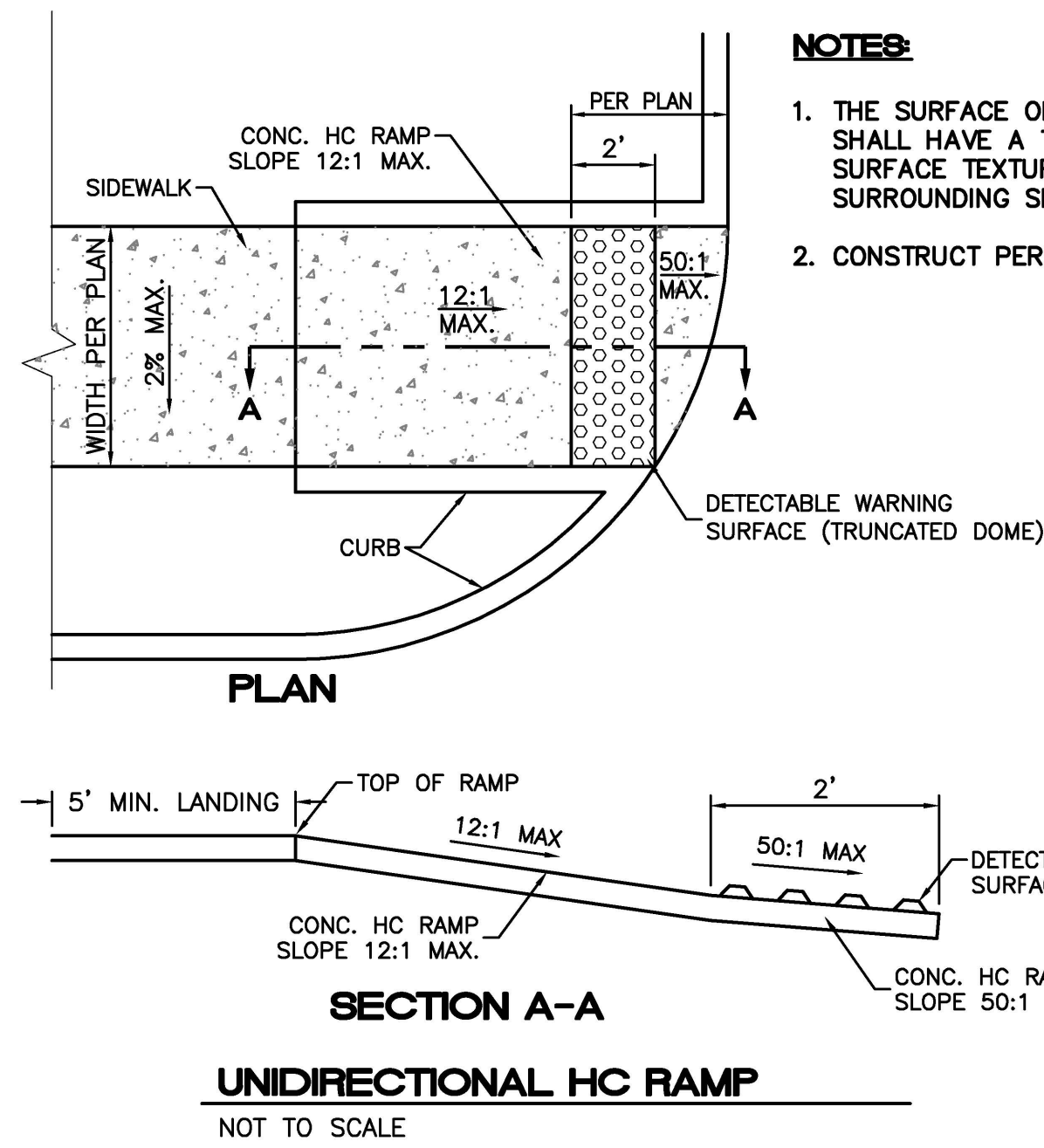
**AUTO ISLAND GRADING DETAIL**  
1"=10' SCALE



**TRUCK CANOPY GRADING DETAIL**  
1"=10' SCALE

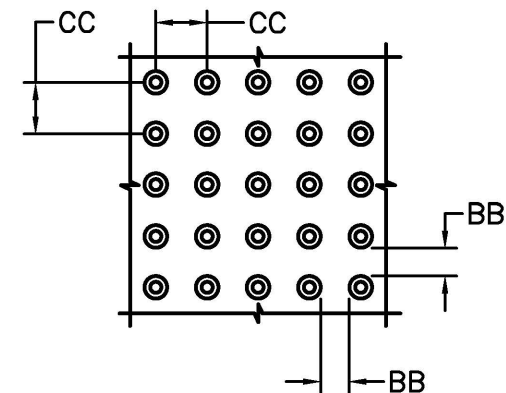
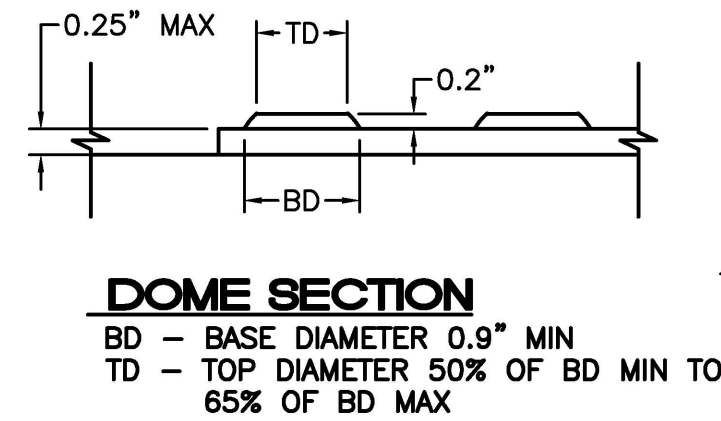
<p>ENGINEER'S SEAL</p>	<p>LOVE'S BROADWAY/ SUNPORT BLVD</p>	<p>DRAWN BY sb</p>
	<p>GRADING DETAILS</p>	<p>DATE 05/29/2025</p>
<p>05/29/2025</p>	<div style="text-align: center;">  <p><i><b>TIERRA WEST, LLC</b></i></p> <p>5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com</p> </div>	<p>SHEET # <b>GR-3</b></p>
<p>VINCENT P. CARRICA P.E. #16212</p>		<p>JOB # 2022031</p>





**NOTES:**

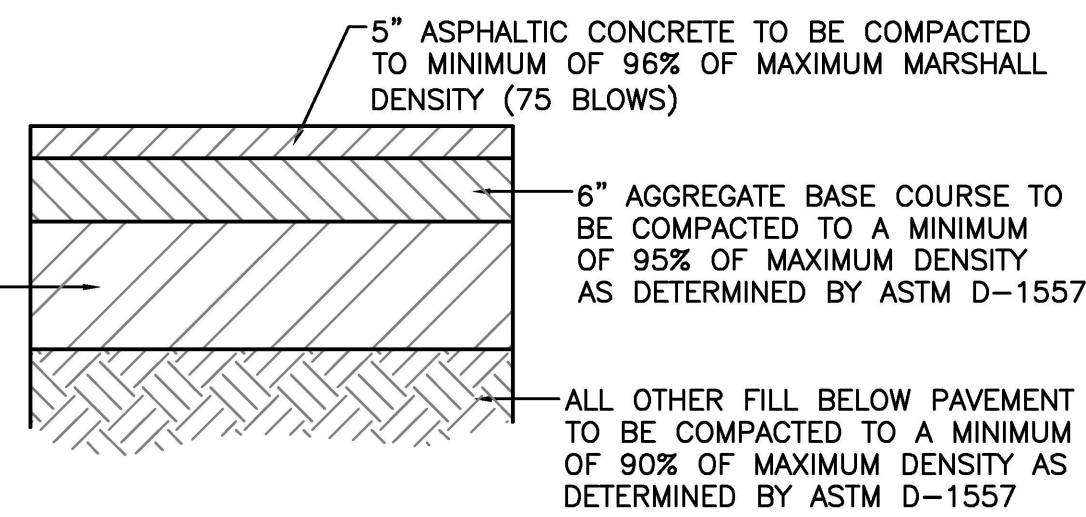
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



10" SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

**HEAVY DUTY (TRUCK)  
TYPICAL PAVING SECTION**

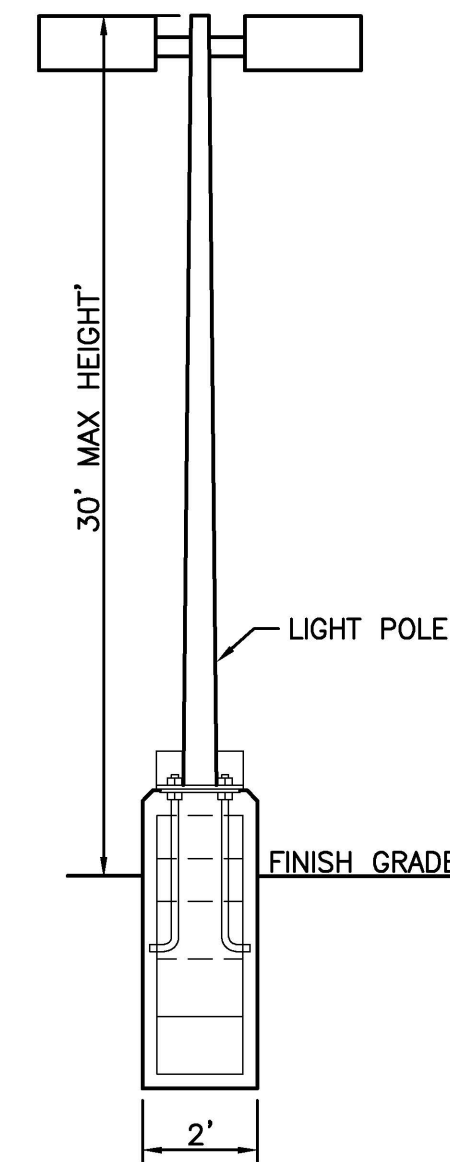
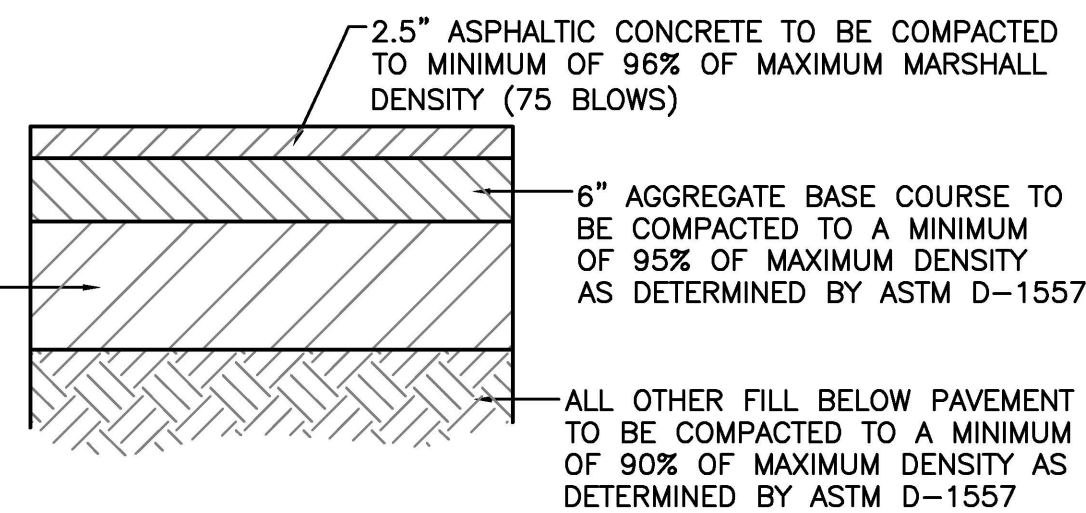
1" = 1'



10" SUBGRADE TO BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557

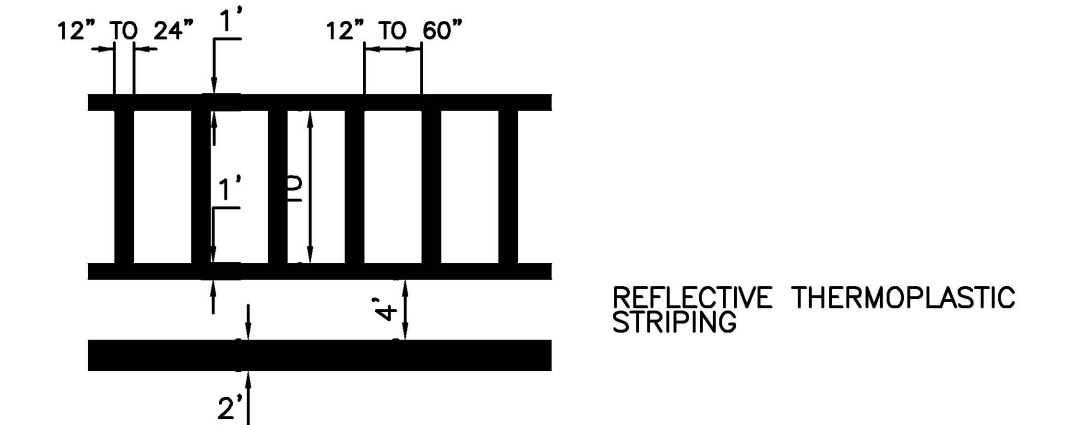
**LIGHT DUTY (AUTO)  
TYPICAL PAVING SECTION**

1" = 1'



**LIGHT POLE DETAIL**

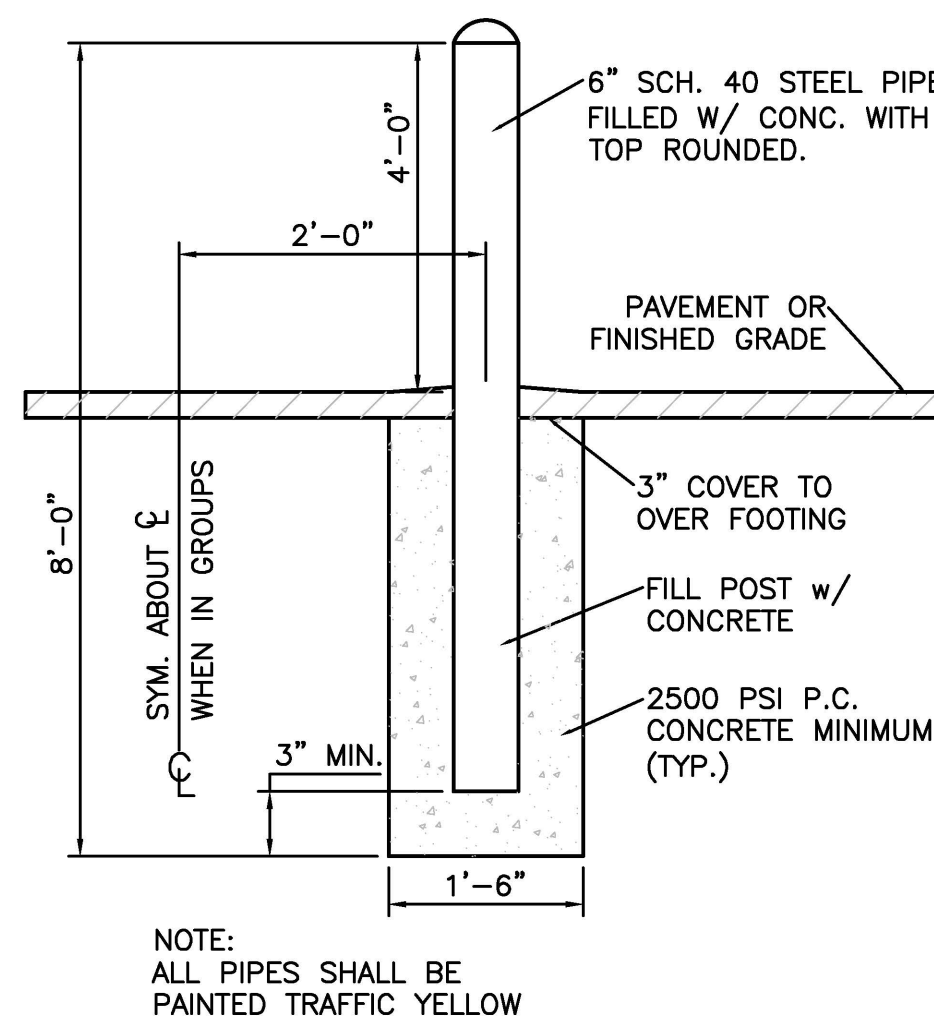
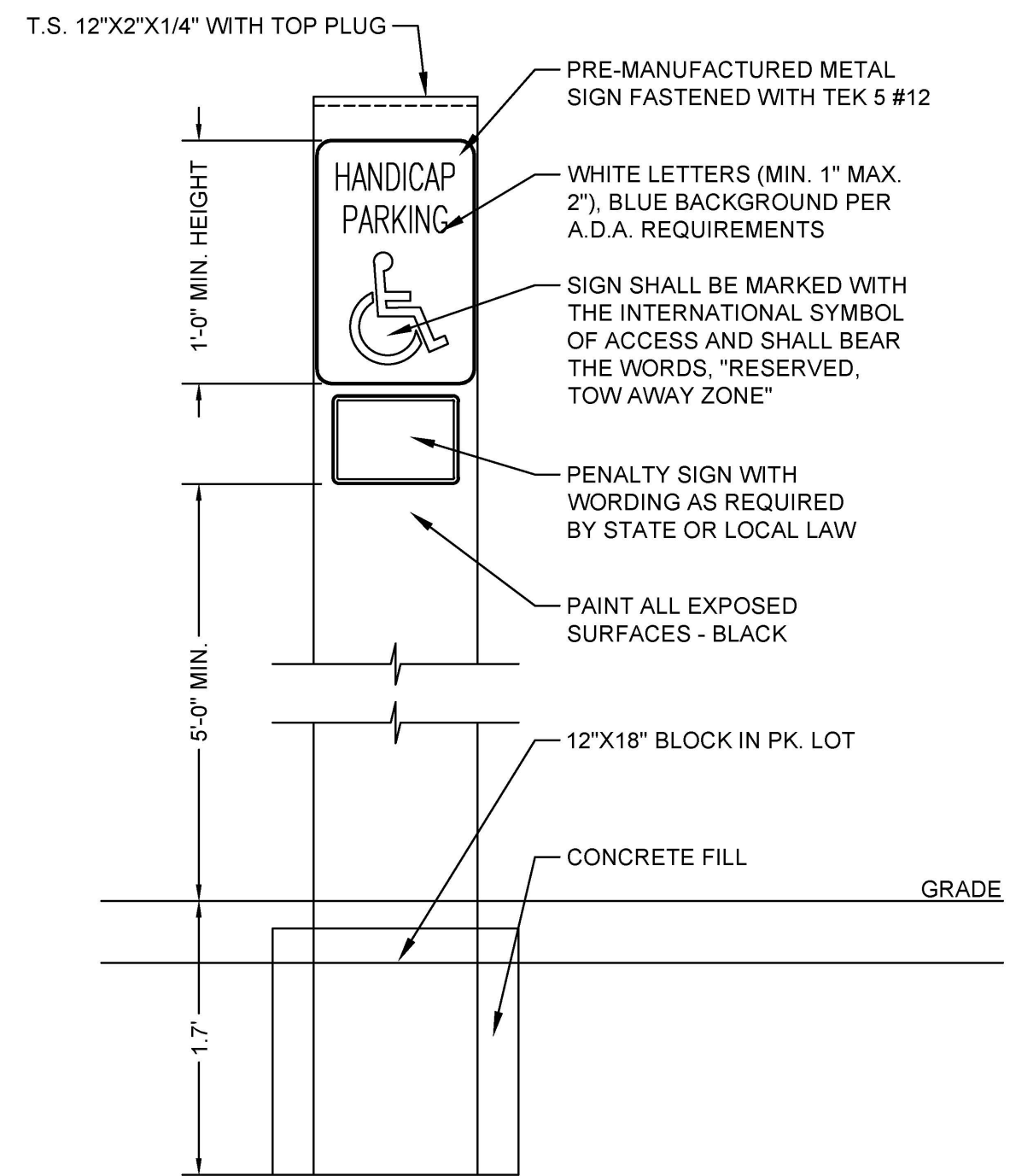
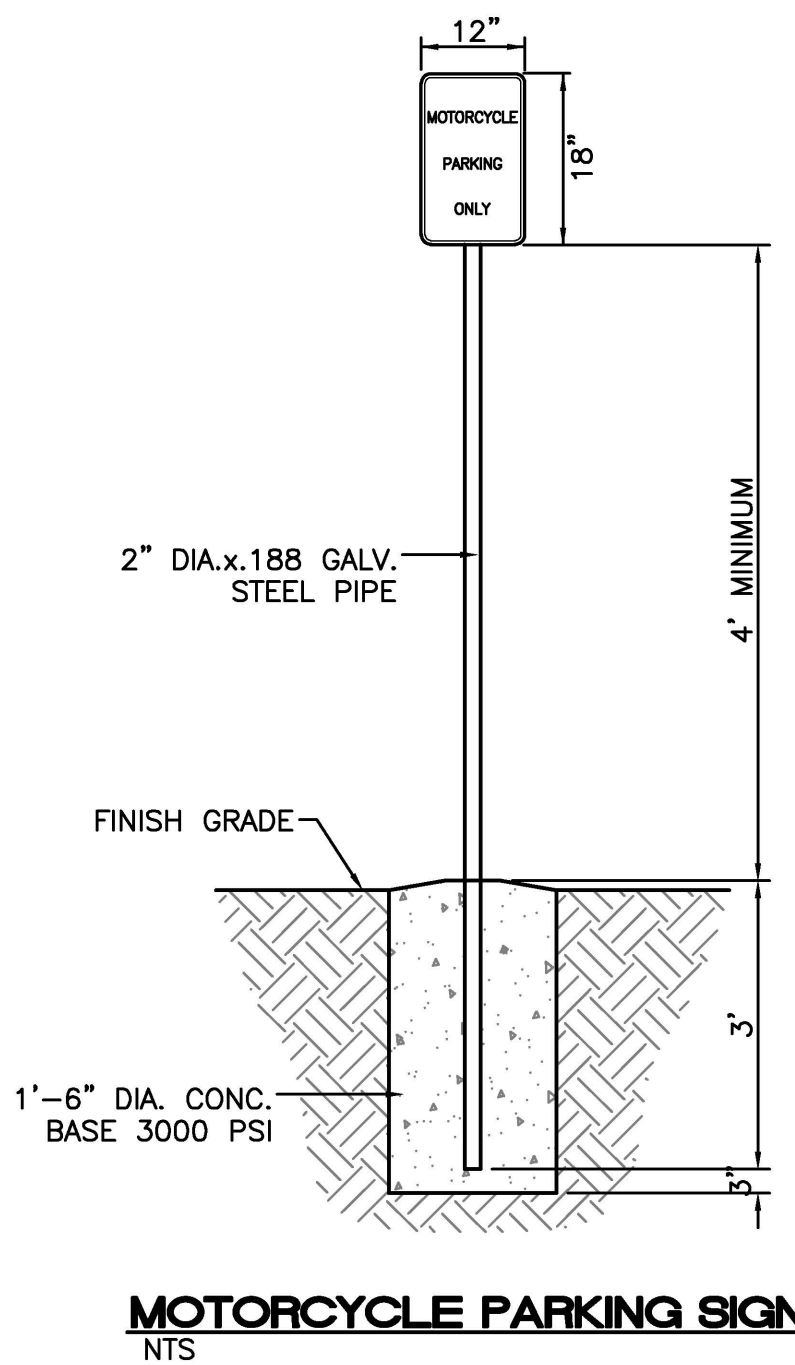
NTS



ALL PAVEMENT MARKINGS SHALL CONFORM TO M.U.T.C.D. SPECS (LATEST EDITION)

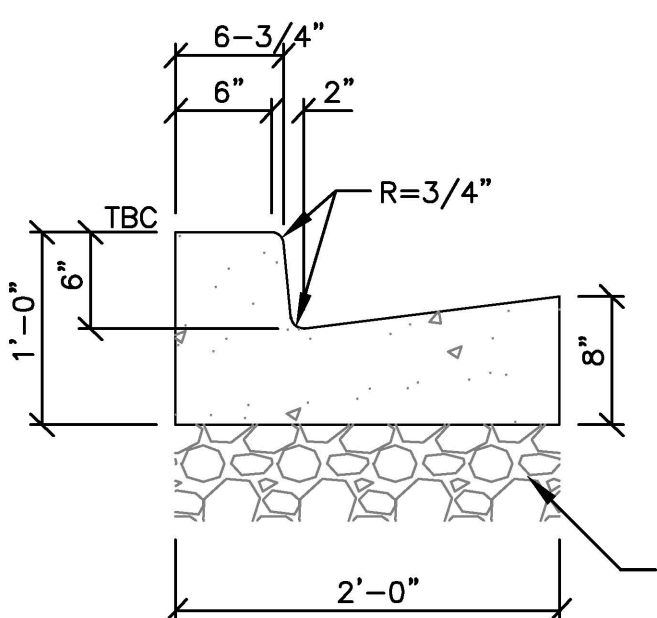
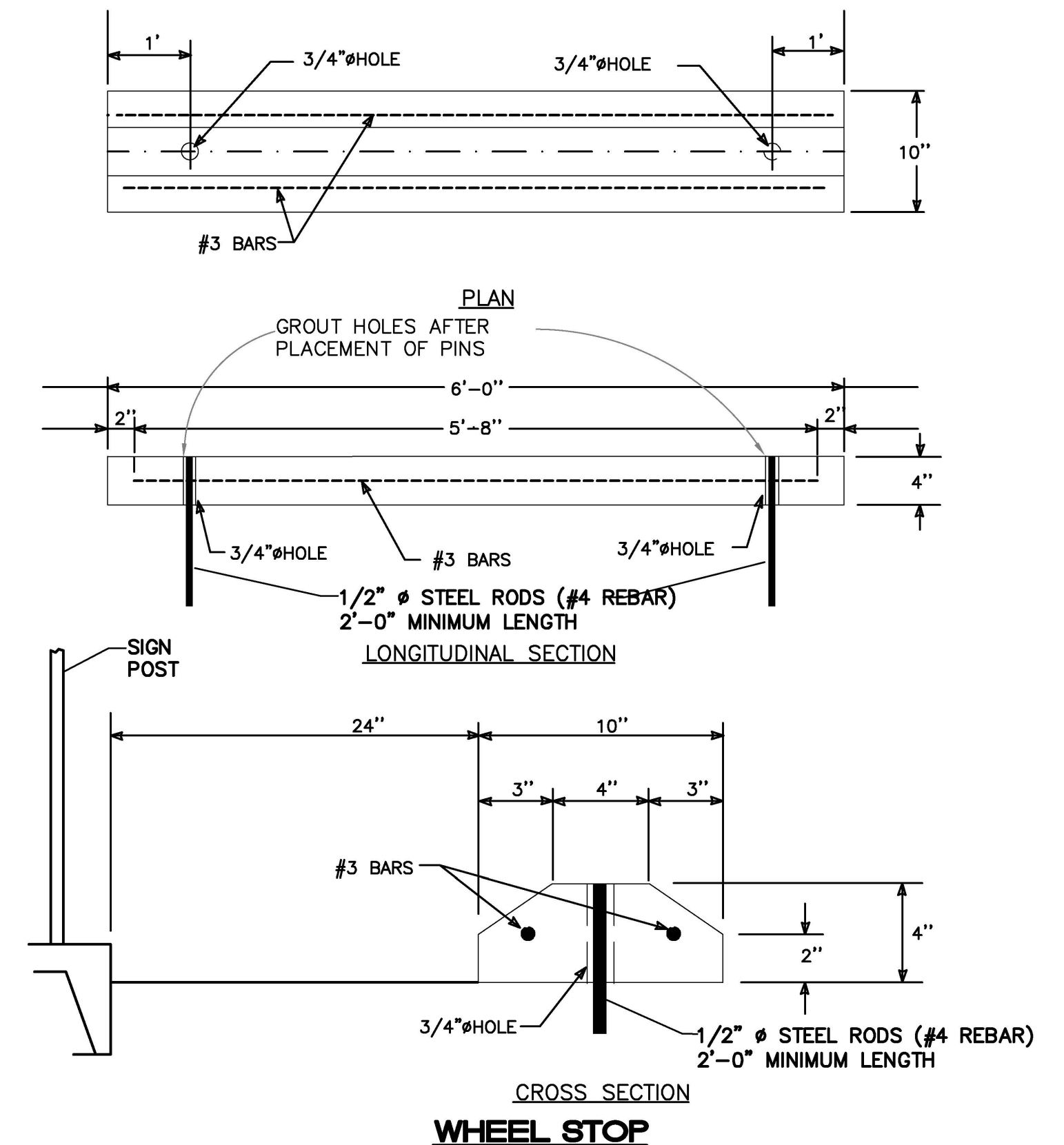
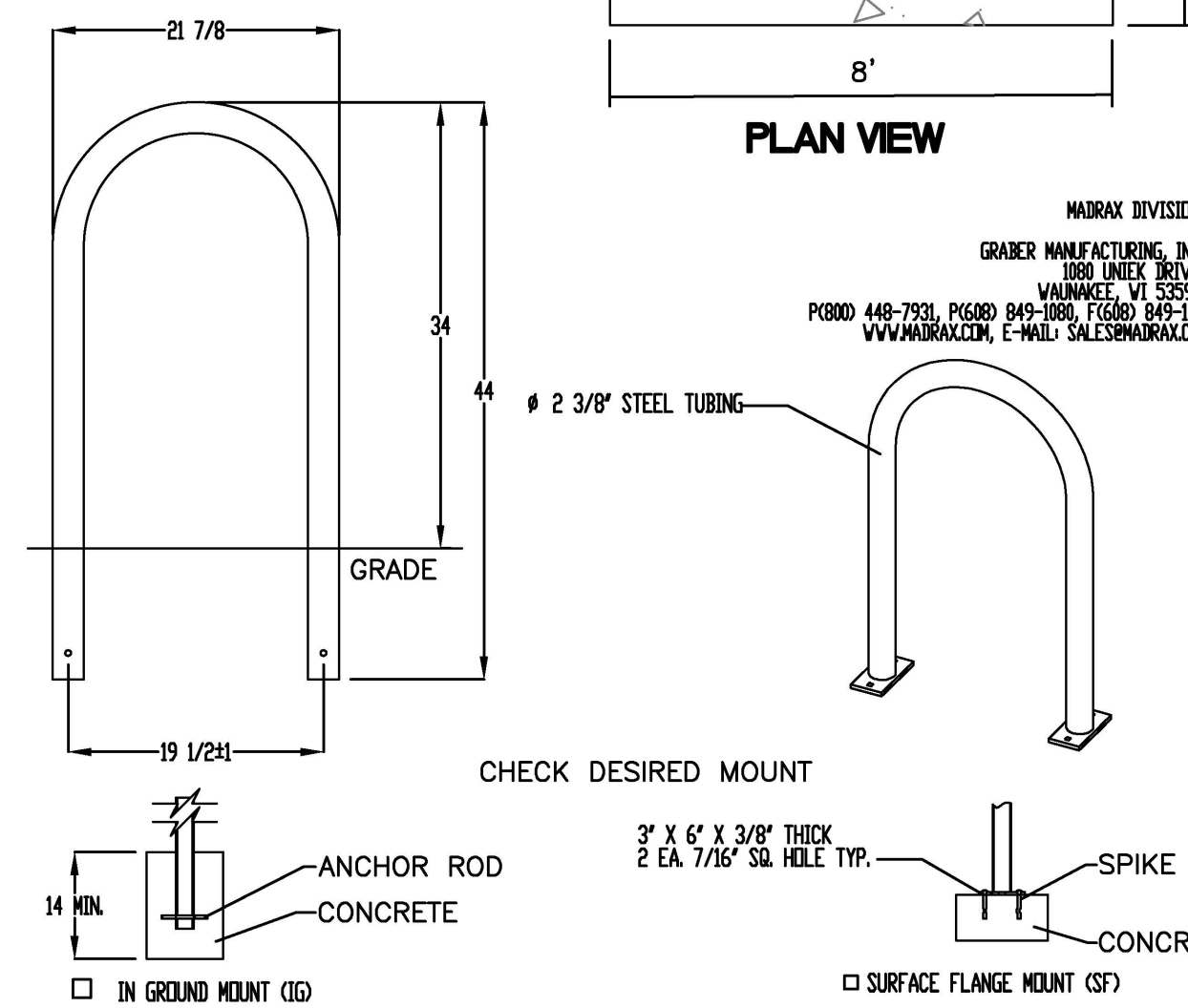
**CROSSWALK DETAIL**

NTS



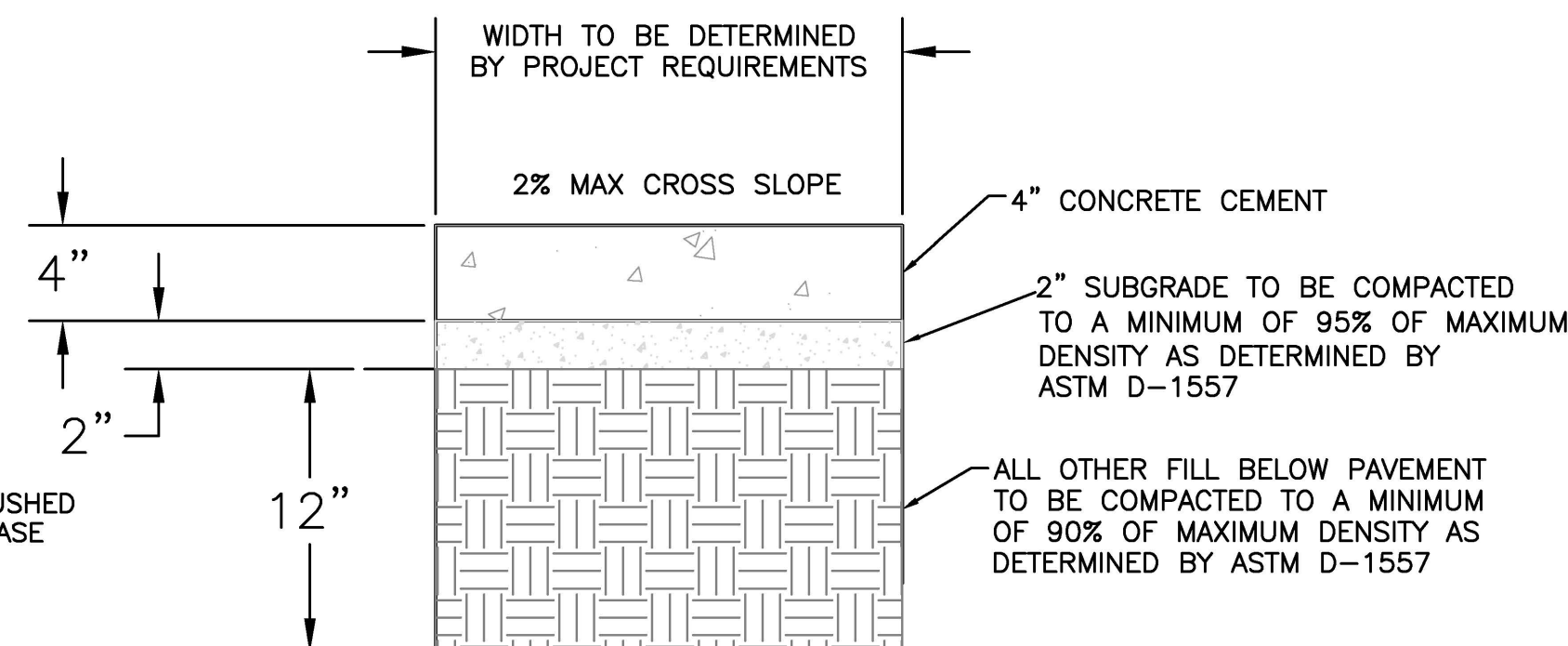
**BOLLARD DETAIL**

NTS



**STANDARD CURB AND GUTTER**

NTS



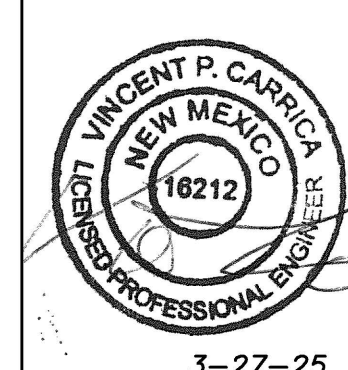

**CONCRETE SIDEWALK SECTION**

PRODUCT: L238-1G(SF)  
DESCRIPTION: 1" BIKE RACK  
2 BIKE, SURFACE OR IN GROUND MOUNT  
DATE: 10-4-18  
ENG: SNC  
CONFIDENTIAL: DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.  
©2018 GRABER MANUFACTURING, INC. ALL PROPRIETARY RIGHTS RESERVED.

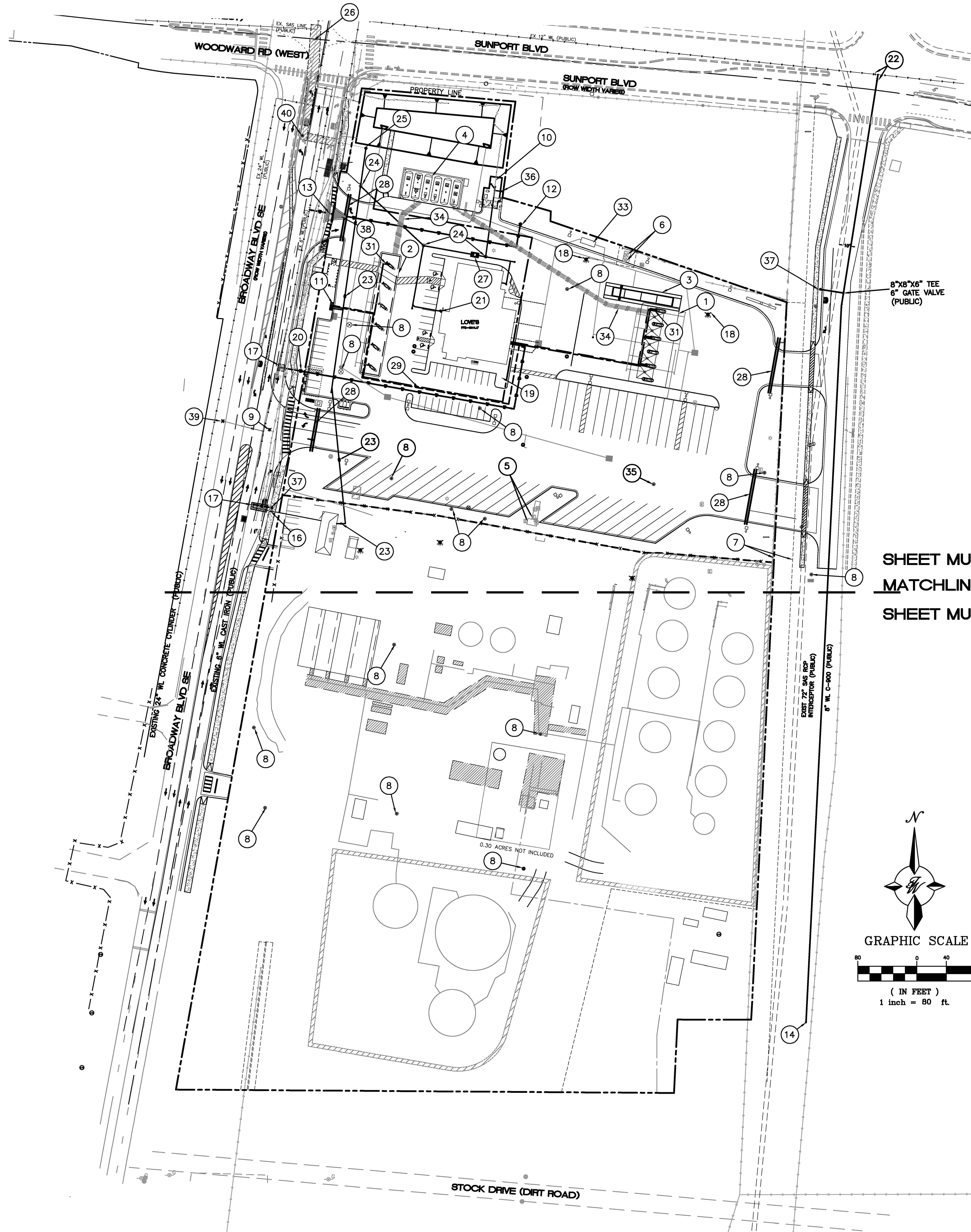
**BIKE RACK DETAIL**

SCALE: NONE

- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
  2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
  3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
  4. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
  5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

ENGINEER'S SEAL 	<b>BROADWAY/SUNPORT BLVD CONSTRUCTION DETAILS</b>	DRAWN BY PM
		DATE 3-27-25
 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # <b>DET-1</b>
		JOB # 2022031





**KEYED NOTES**  
**PRIVATE**

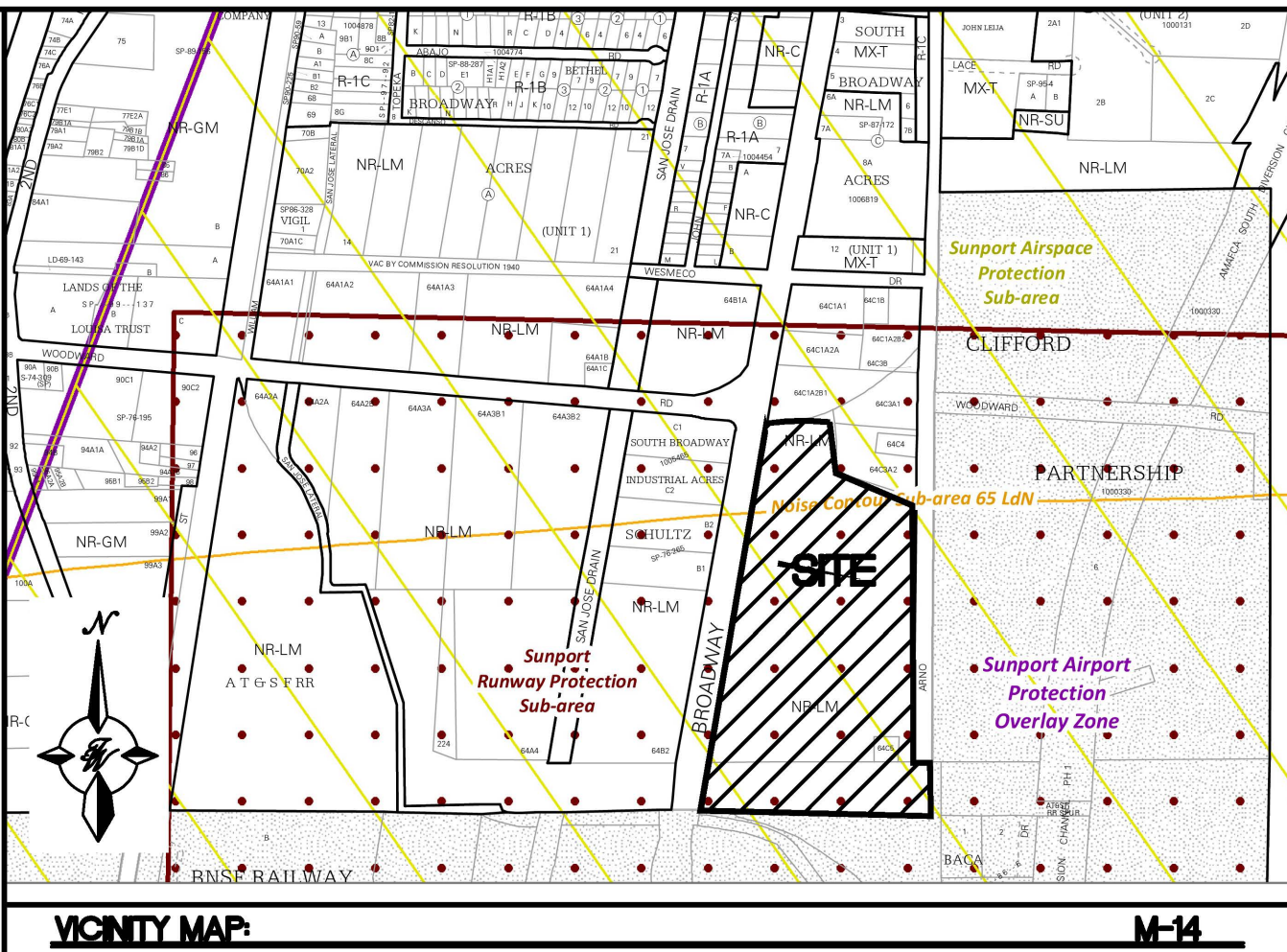
- ① TRUCK CANOPY (51' X 108')
- ② AUTO CANOPY (29' X 168')
- ③ CAT SCALE
- ④ UNDERGROUND FUEL TANK FARM
- ⑤ EXISTING ELECTRICAL PANELS TO REMAIN
- ⑥ EXISTING TRANSFORMERS TO REMAIN
- ⑦ EXISTING 25' UTILITY EASEMENT
- ⑧ EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE (PRIVATE)
- ⑩ TRASH COMPACTOR (SEE ARCH. PLANS)
- ⑪ AIR/WATER AND RV DUMPSTATION
- ⑫ NEW FIRE HYDRANT  
6" GATE VALVE (PRIVATE)  
PER COA STD. DWG #2340
- ⑬ REMOVE EXISTING FIRE HYDRANT
- ⑭ TRANSFORMER
- ⑮ 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
- ⑯ 4" SANITARY SEWER CLEAN OUT
- ⑰ 4' DIA. SANITARY SEWER MANHOLE (PRIVATE)
- ⑱ SANITARY SEWER LIFT STATION (PRIVATE)
- ⑲ GREASE TRAP
- ⑳ 2-6" PVC CONDUIT (SCH. 40)
- ㉑ 1" WATERLINE
- ㉒ UNDER GROUND FUEL LINES
- ㉓ OIL/WATER SEPARATOR
- ㉔ POST HYDRANT
- ㉕ EXISTING MONITORING WELL TO BE ABANDONED
- ㉖ 4" DUMPSTER DRAIN VENT PER UPC-901.2 AND 1001.2. VENT PIPE SHALL EXTEND NOT LESS THAN 10 FT ABOVE SURROUNDING GRADE AND BE SECURELY SUPPORTED (UPC-908.4)
- ㉗ 6" GATE VALVE (PRIVATE)

**PUBLIC**

- ⑨ EXISTING FIRE HYDRANT TO BE RELOCATED
- ⑬ 6" GATE VALVE (PUBLIC)
- ⑭ 8" WATER LINE CAP (PUBLIC)  
8" GATE VALVE (PUBLIC)
- ⑮ SINGLE WATER METER, 1½"
- ⑰ REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD DWG #2405B
- ⑲ SINGLE WATER METER, 2"
- ㉒ 8" PUBLIC GATE VALVE
- ㉖ EXISTING SANITARY SEWER MANHOLE (PUBLIC)
- ㉗ FIRE HYDRANT  
6" GATE VALVE (PUBLIC)
- ㉘ EXISTING FIRE HYDRANT AND GATE VALVE TO REMAIN (PUBLIC)
- ㉙ 4' DIA SANITARY SEWER MANHOLE (PUBLIC)

**NOTES:**

1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.
3. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
4. COORDINATION WITH WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.



MAP44 TR 64C2 EXC 03.0 ACX ALL TR 64C3A2 CONT 31.43 AC  
UPC 101405533908840121

**NOTES**

1. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
2. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

**LEGEND**

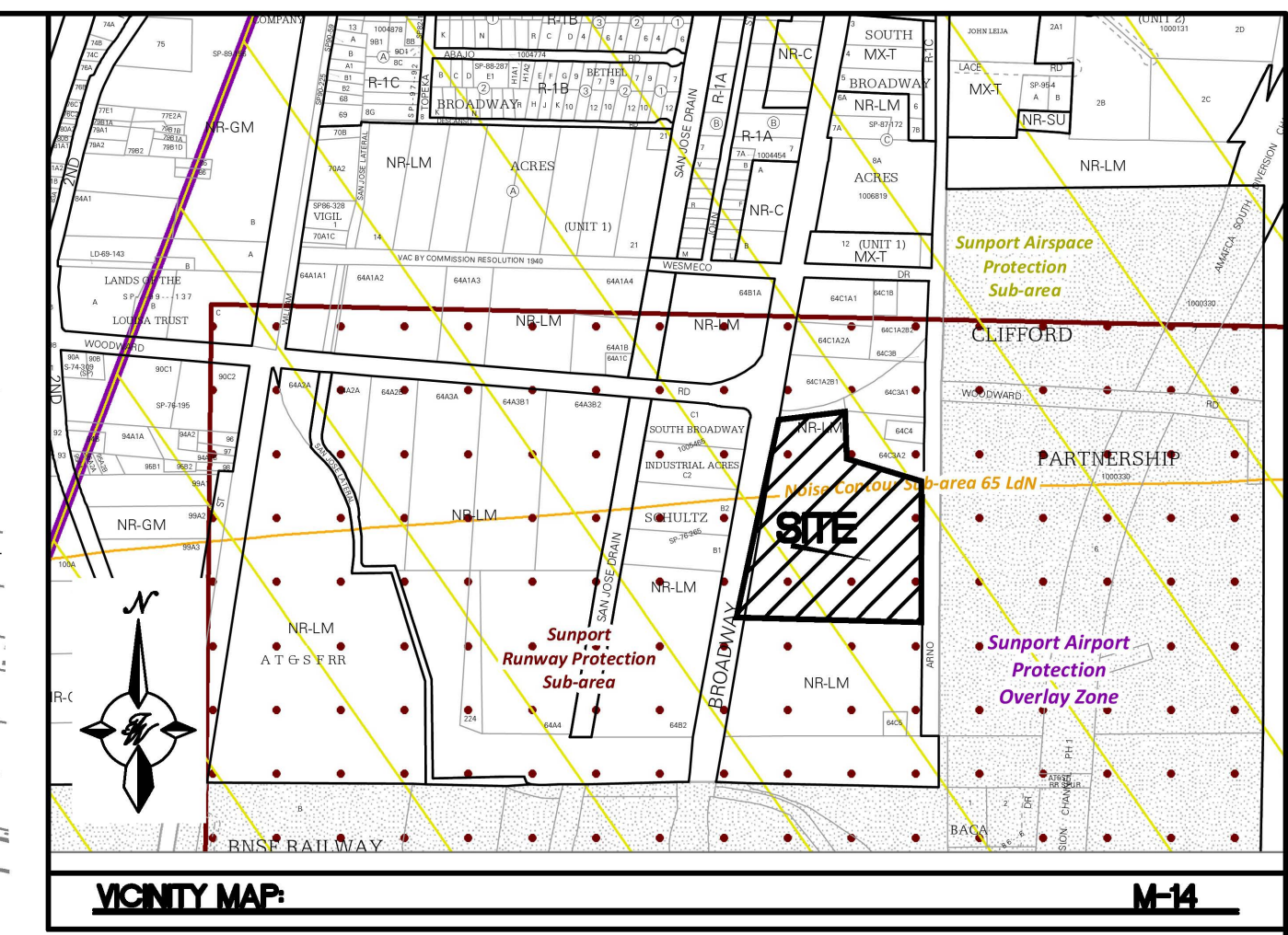
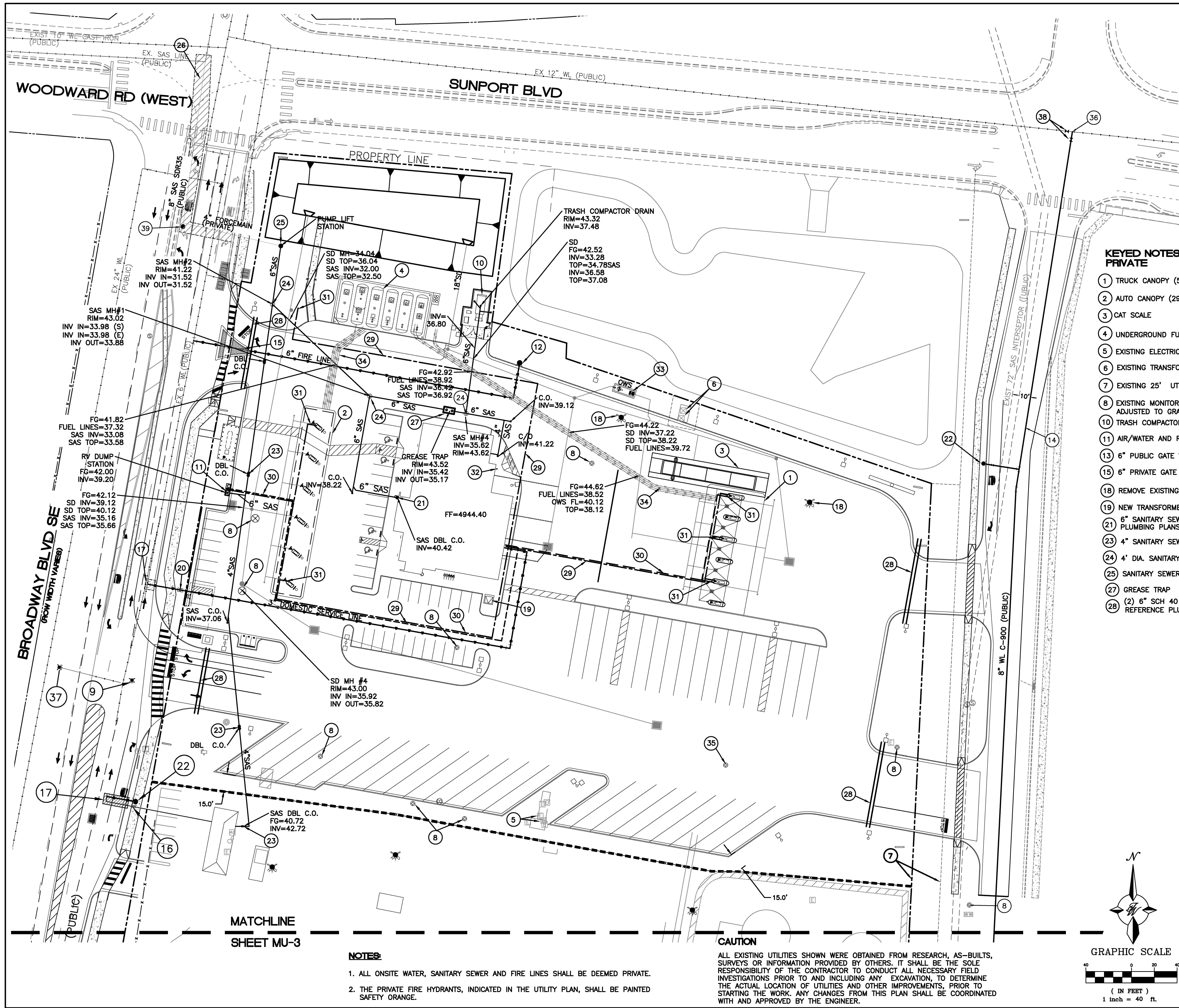
- |  |                              |
|--|------------------------------|
|  | CURB & GUTTER                |
|  | BOUNDARY LINE                |
|  | EASEMENT                     |
|  | BUILDING                     |
|  | SIDEWALK                     |
|  | EXISTING CURB & GUTTER       |
|  | STORM SEWER LINE             |
|  | PROPOSED SANITARY SEWER LINE |
|  | PROPOSED WATERLINE           |
|  | EXISTING SANITARY SEWER LINE |
|  | EXISTING PVC WATERLINE       |
|  | PROPOSED HYDRANT             |
|  | PARKING LOT LIGHT FIXTURE    |
|  | SAWCUT                       |

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

<div>ENGINEER'S SEAL</div> <div></div> <div>RONALD R. BOHANNAN P.E. #7868</div>	LOVES SUNPORT STATION ALBUQUERQUE, NM		DRAWN BY pm
	OVERALL UTILITY PLAN		DATE 6-11-25
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2022031_MU
			SHEET # <b>MU-1</b>
		JOB # 2022031	





**KEYED NOTES**  
**PRIVATE**

- 1 TRUCK CANOPY (51' X 108')
- 2 AUTO CANOPY (29' X 168')
- 3 CAT SCALE
- 4 UNDERGROUND FUEL TANK FARM
- 5 EXISTING ELECTRICAL PANELS TO REMAIN
- 6 EXISTING TRANSFORMERS TO REMAIN
- 7 EXISTING 25' UTILITY EASEMENT
- 8 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE (PRIVATE)
- 10 TRASH COMPACTOR (SEE ARCH. PLANS)
- 11 AIR/WATER AND RV DUMPSTATION
- 13 6" PUBLIC GATE VALVE
- 15 6" PRIVATE GATE VALVE
- 18 REMOVE EXISTING FIRE HYDRANT
- 19 NEW TRANSFORMER
- 21 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
- 23 4" SANITARY SEWER CLEAN OUT
- 24 4' DIA. SANITARY SEWER MANHOLE (PRIVATE)
- 25 SANITARY SEWER LIFT STATION
- 27 GREASE TRAP
- 28 (2) 6" SCH 40 PVC CONDUITS REFERENCE PLUMBING SITE PLAN, P101

**PRIVATE**

- 29 1" WATERLINE (REFERENCE PLUMBING SITE PLAN, P101)
- 30 1" AIR (REFERENCE PLUMBING SITE PLAN, P101)
- 31 POST HYDRANT (REFERENCE PLUMBING SITE PLAN, P101)
- 32 GAS METER
- 33 OIL WATER SEPERATOR
- 34 UNDERGROUND FUEL LINES
- 35 EXISTING MONITORING WELL TO BE ABANDONED

**PUBLIC**

- 9 EXISTING FIRE HYDRANT TO BE RELOCATED
- 12 NEW FIRE HYDRANT W/PRIVATE GATE VALVE PER ABCWUA STD. DWG #2340
- 14 8" WATERLINE PVC-C-900 (PUBLIC)
- 16 SINGLE WATER METER, 1 1/2"
- 17 REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD. DWG #2405B
- 20 SINGLE WATER METER 2" PER ABCWUA STD. DWG #2363
- 22 FIRE HYDRANT 6" GATE VALVE (PUBLIC)
- 26 EXISTING SANITARY SEWER MANHOLE
- 36 TIE TO EXISTING 8" WATERLINE
- 37 EXIST FIRE HYDRANT AND GATE VALVE TO REMAIN (PUBLIC)
- 38 6" GATE VALVE (PUBLIC)
- 39 4' DIA SANITARY SEWER MANHOLE (PUBLIC)

**LEGEND**

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE
- EXISTING PVC WATERLINE
- PROPOSED HYDRANT
- PARKING LOT LIGHT FIXTURE
- SAWCUT

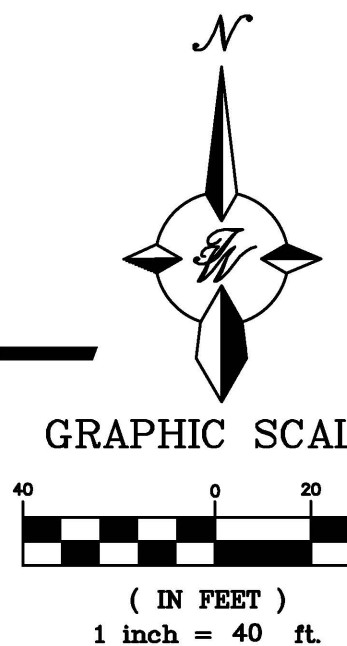
1		12-2-24	RELOCATED GREASE TRAP	PM
NO.		DATE	REMARKS	BY
REVISIONS				
ENGINEER'S SEAL		LOVES SUNPORT STATION ALBUQUERQUE, NM		DRAWN BY pm
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868		UTILITY PLAN		DATE 6-11-25
6-11-25		TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		DRAWING 2022031_MU
RONALD R. BOHANNAN P.E. #7868		SHEET # MU-2		JOB # 2022031

**NOTES**

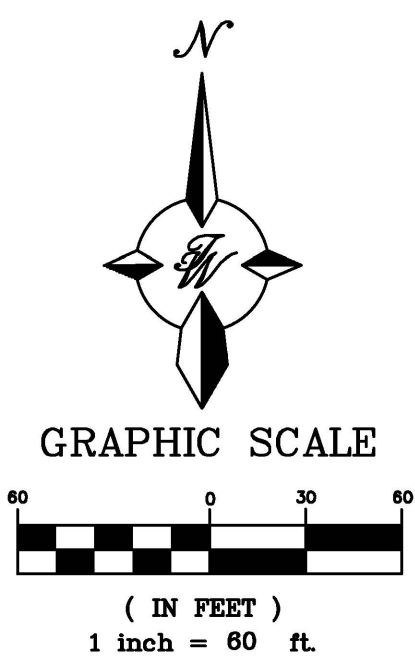
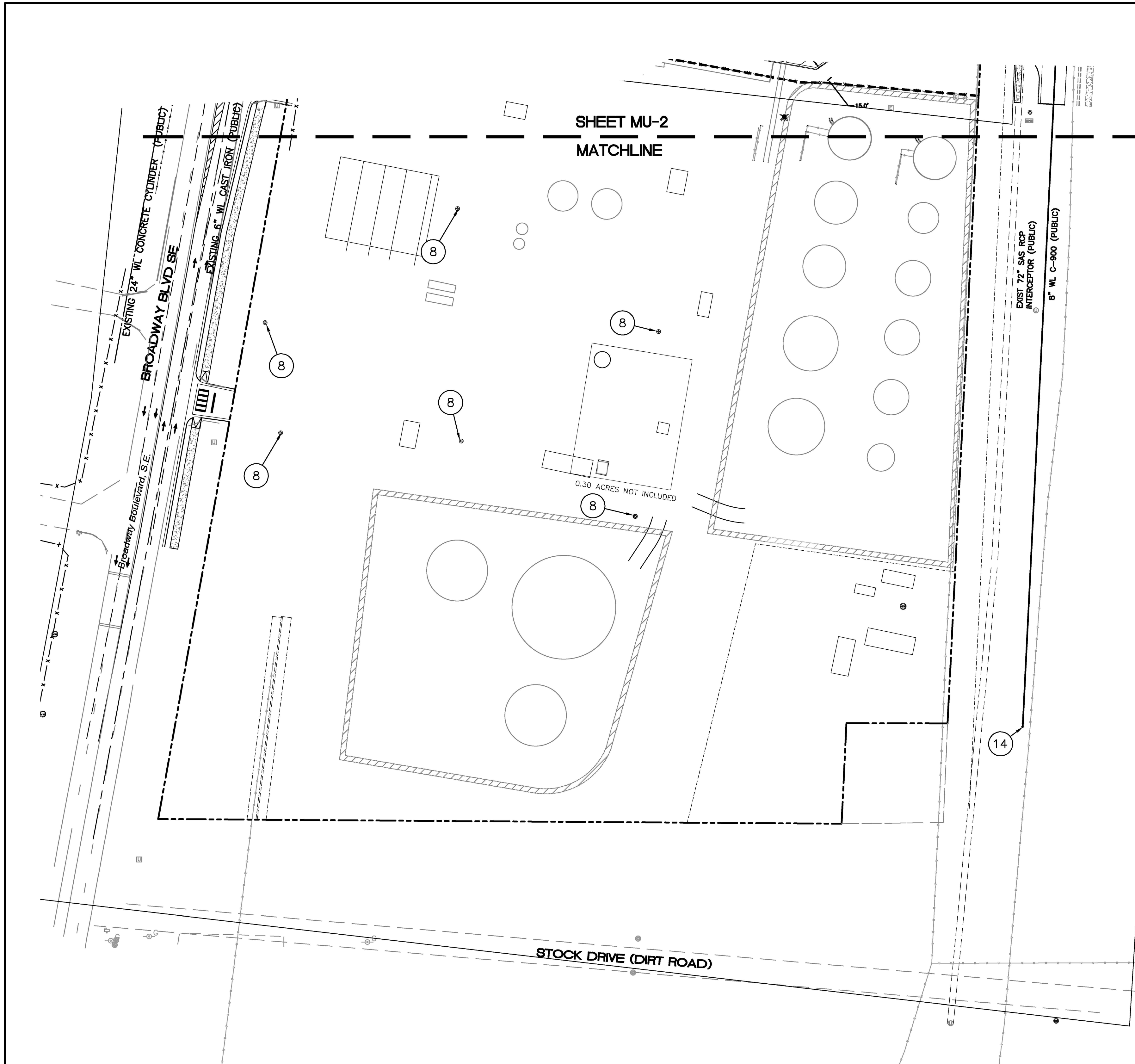
- 1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
- 2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



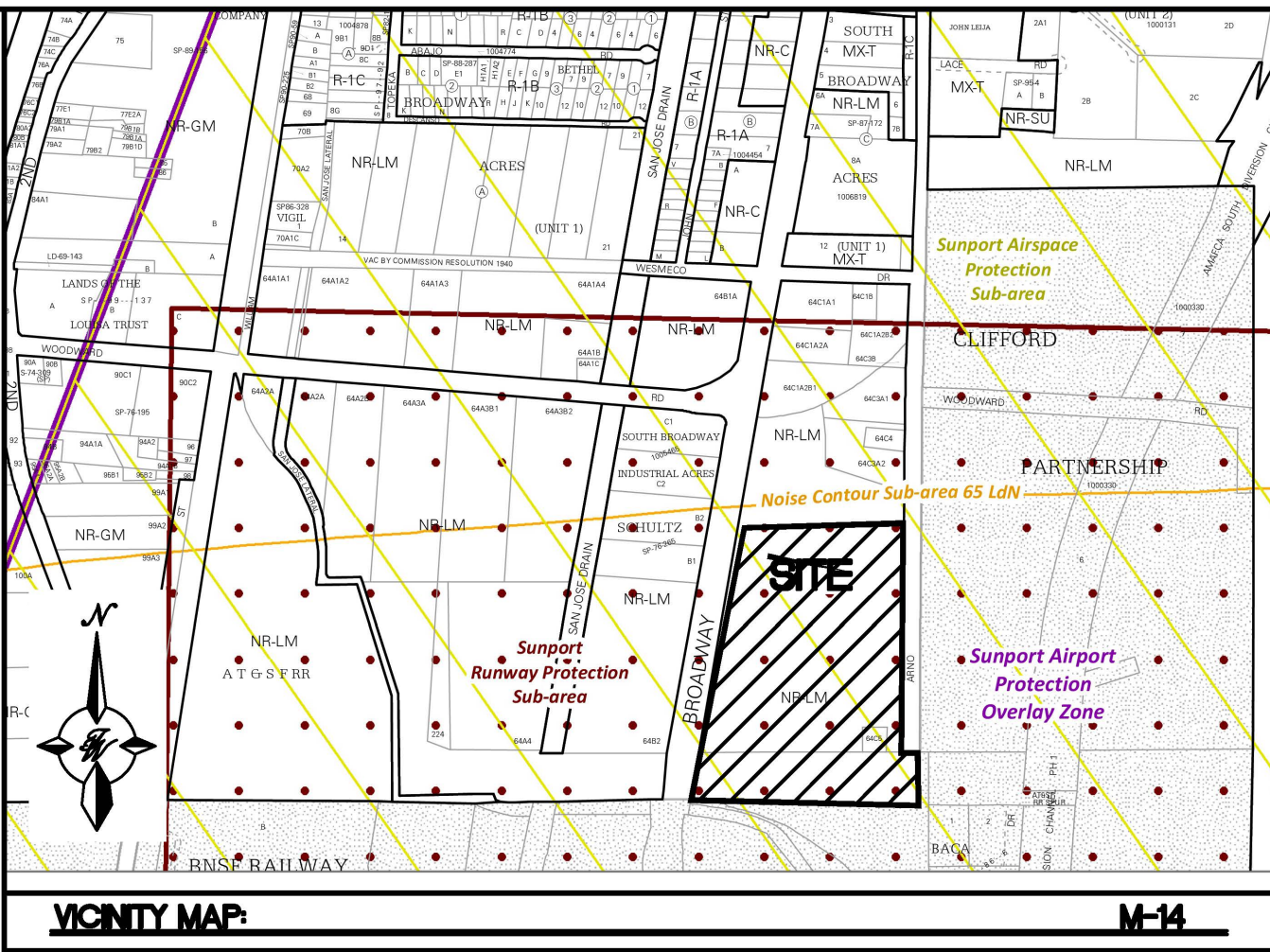




- NOTES:**
1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
  2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

- KEYED NOTES**  
**PRIVATE**
- (8) EXISTING MONITORING WELLS TO REMAIN
- PUBLIC**
- (14) 8" CAP  
8" GATE VALVE (PUBLIC)

**CAUTION**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



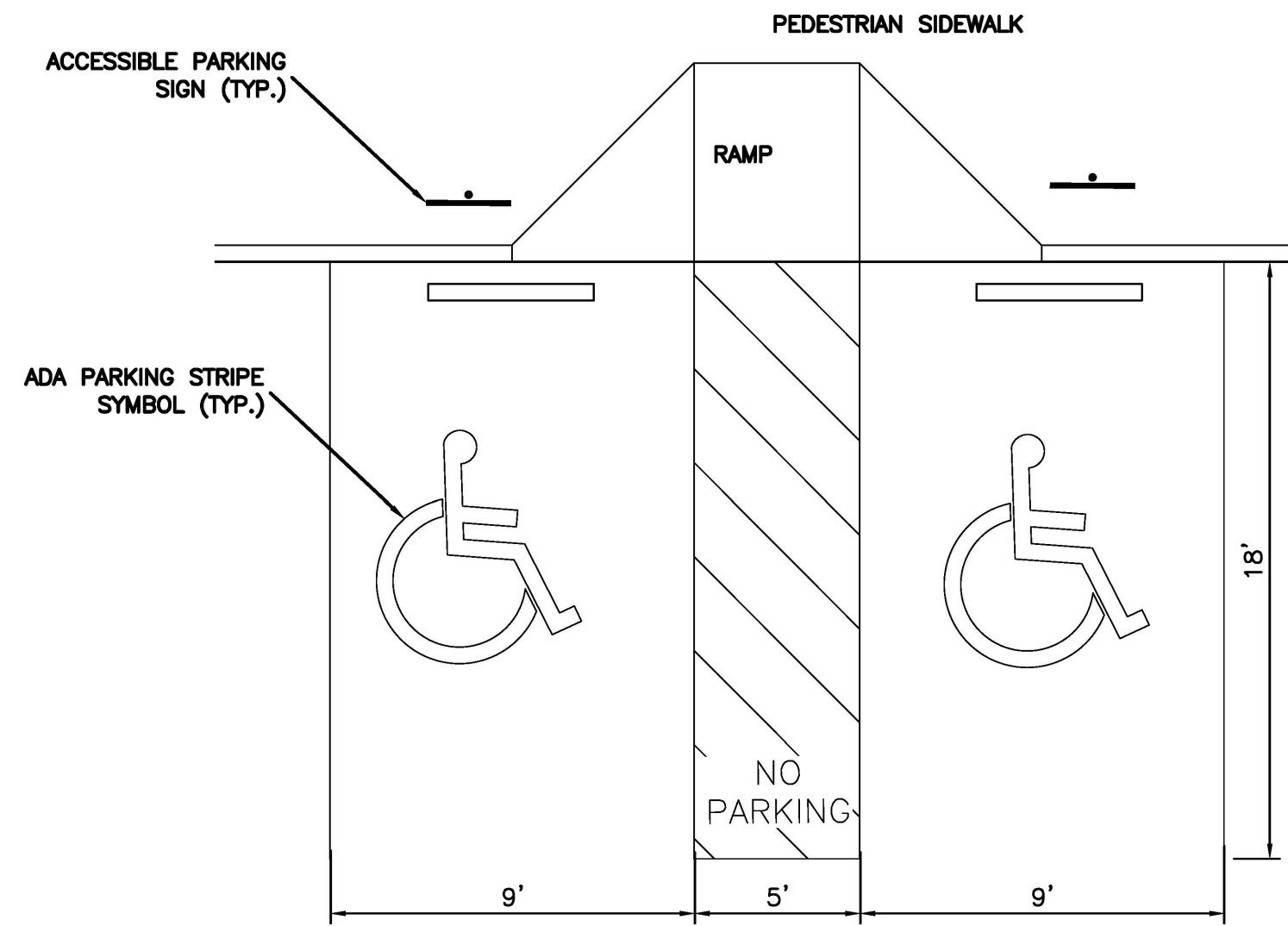
MAP44 TR 64C2 EXC 03.0 ACX ALL TR 64C3A2 CONT 31.43 AC  
UPC 101405533908840121

NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

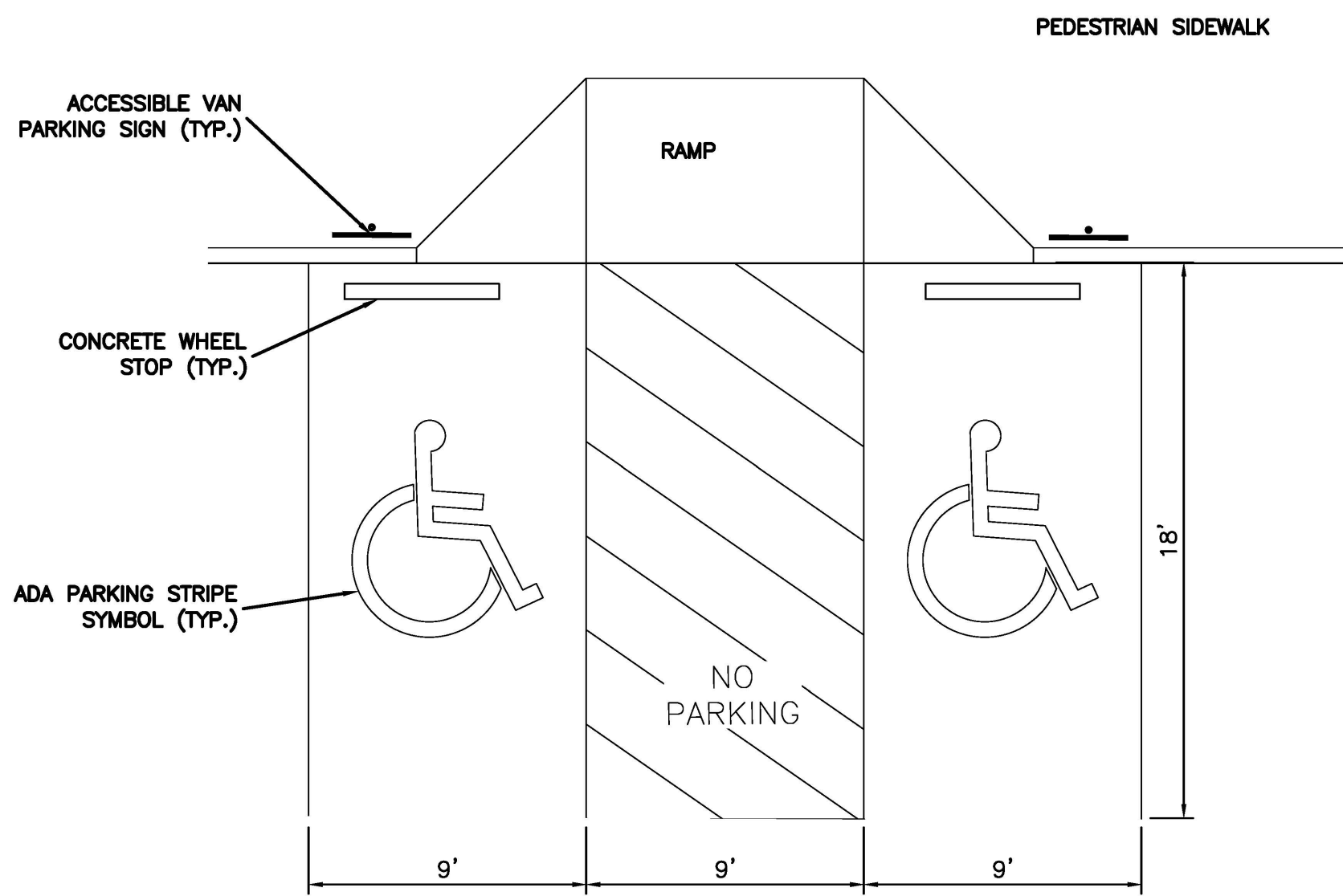
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	EXISTING SANITARY SEWER LINE
	EXISTING PVC WATERLINE
	PROPOSED HYDRANT

	ENGINEER'S SEAL	LOVES SUNPORT STATION ALBUQUERQUE, NM	DRAWN BY pm
		FUELING DEPOT EXISTING UTILITY ASBUILT PLAN	DATE 6-11-25
		TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
			SHEET # MU-3
			JOB # 2022031

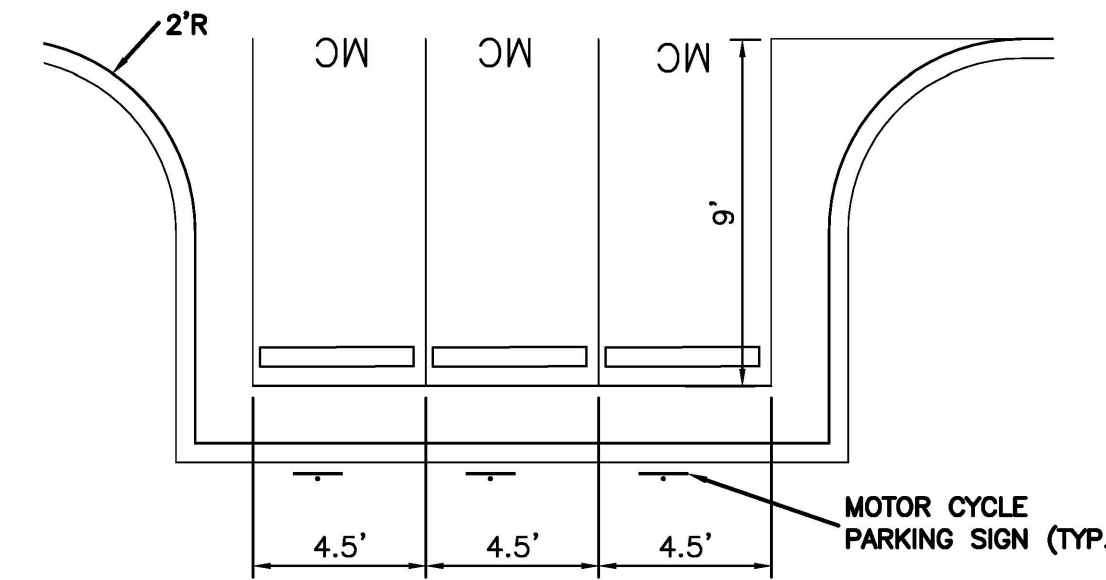




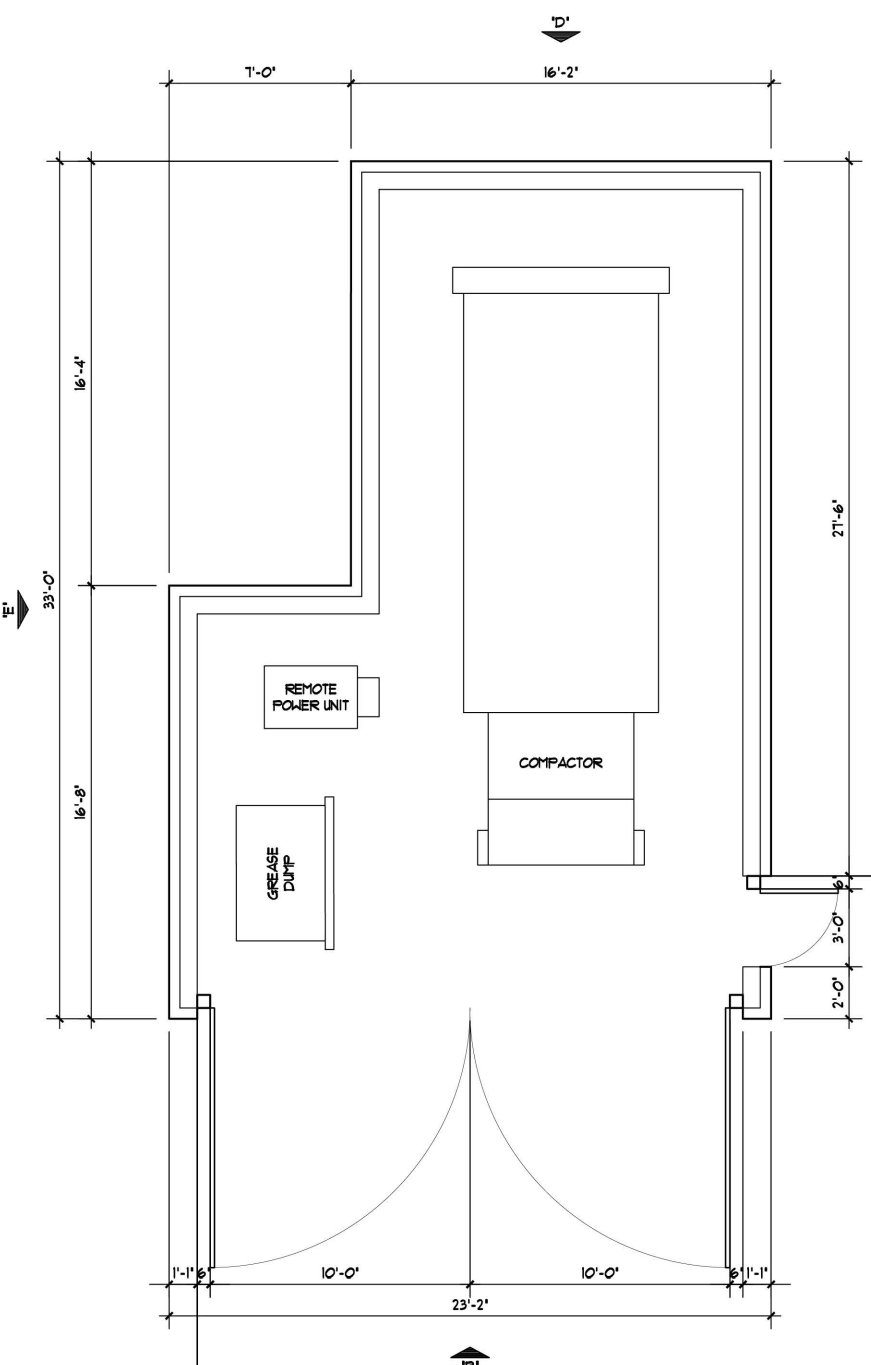
**ACCESSIBLE PARKING DETAIL**  
NTS



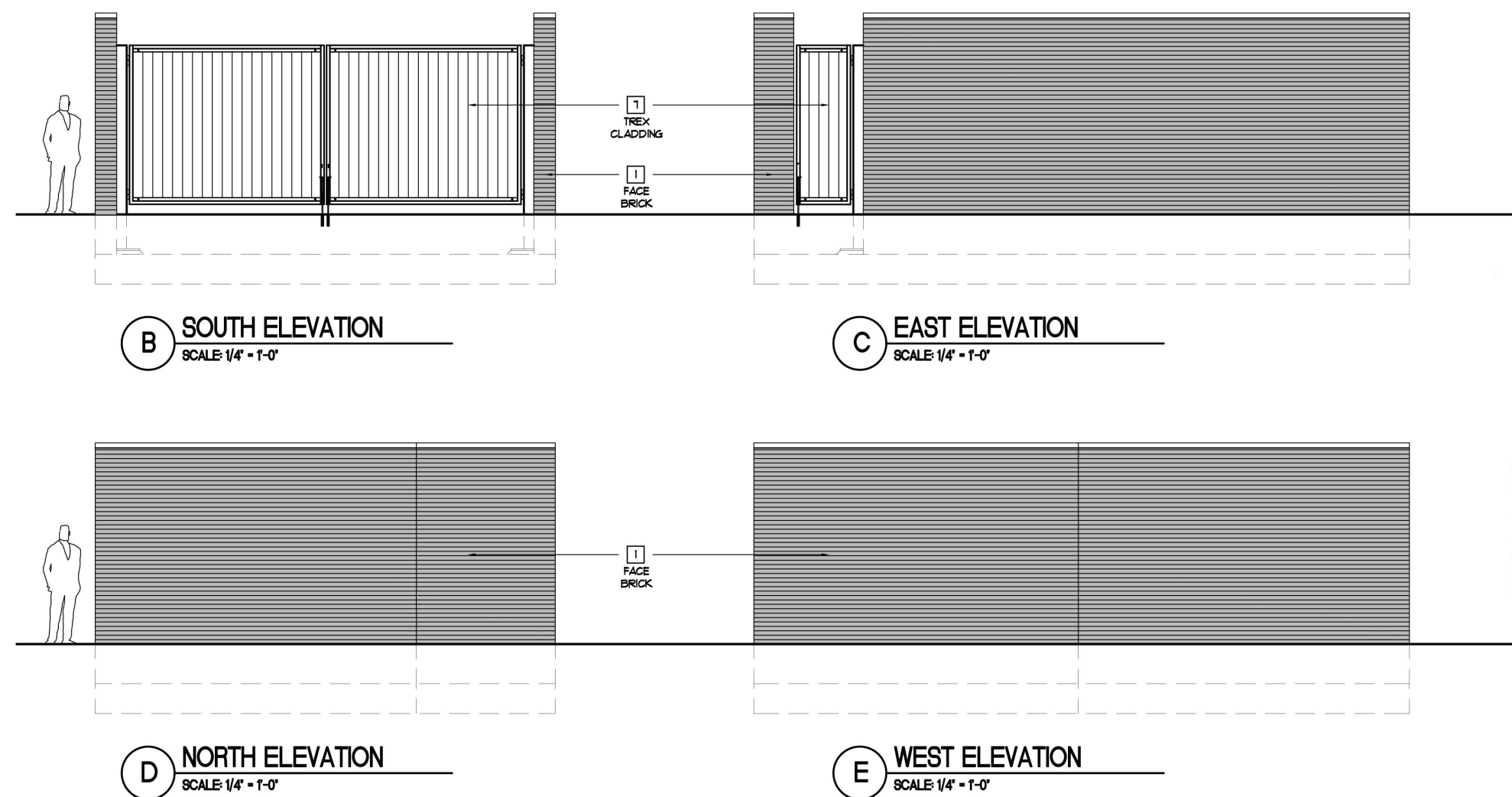
**ACCESSIBLE VAN PARKING DETAIL**  
NTS



**MOTORCYCLE PARKING DETAIL**  
NTS



**COMPACTOR ENCLOSURE PLAN**  
SCALE 1/4" = 1'-0"

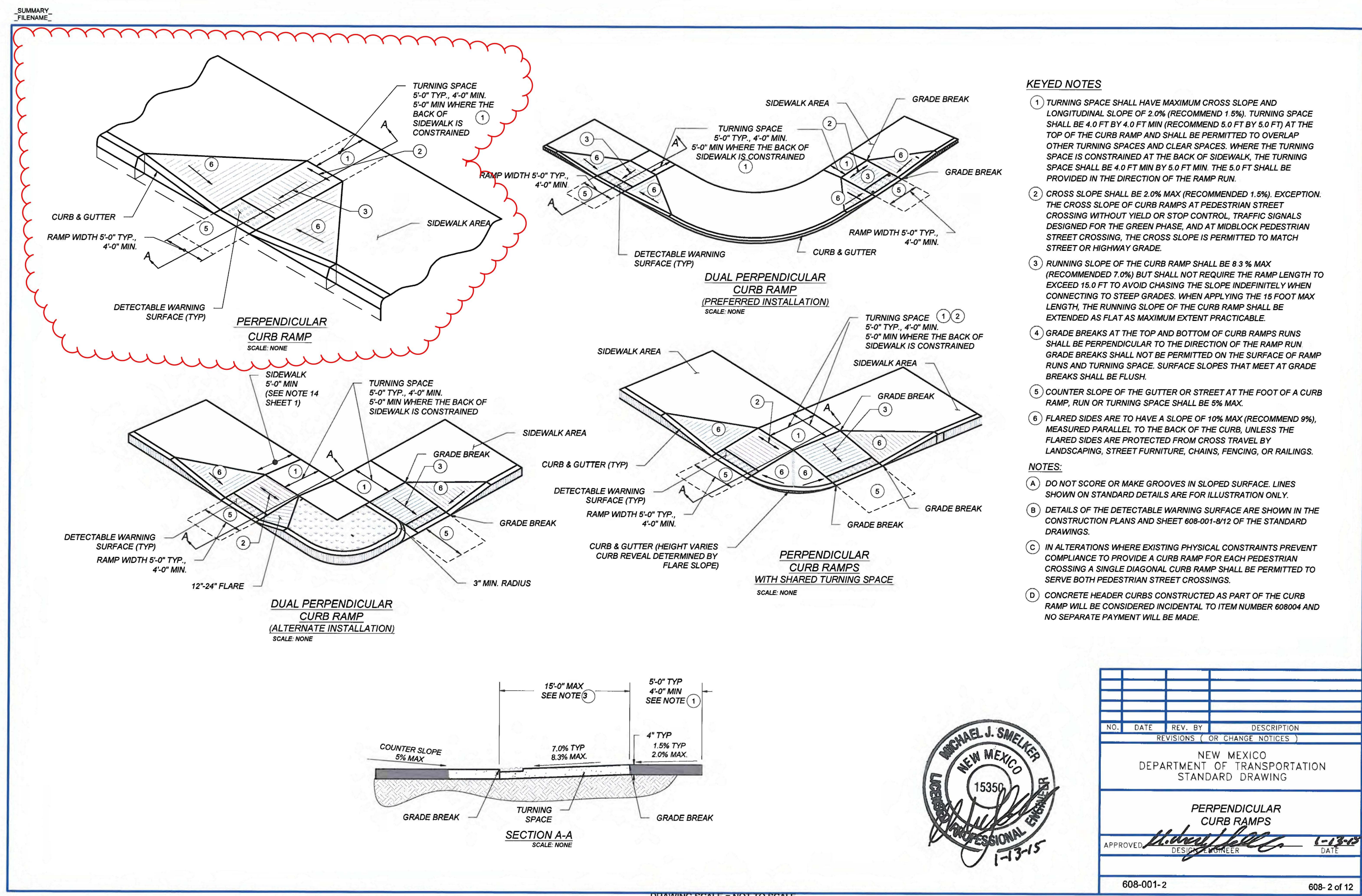


**B SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"

**C EAST ELEVATION**  
SCALE 1/4" = 1'-0"

**D NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

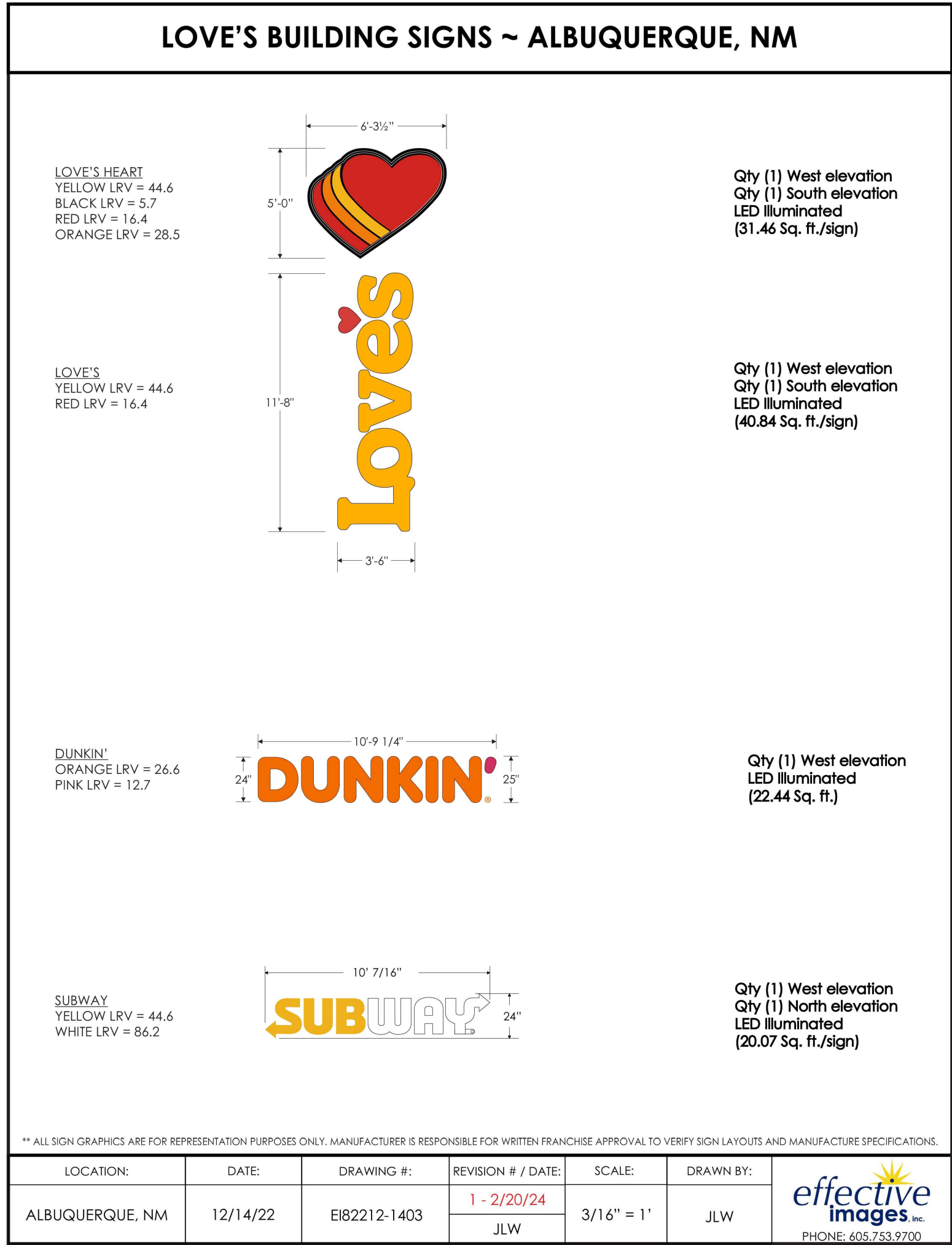
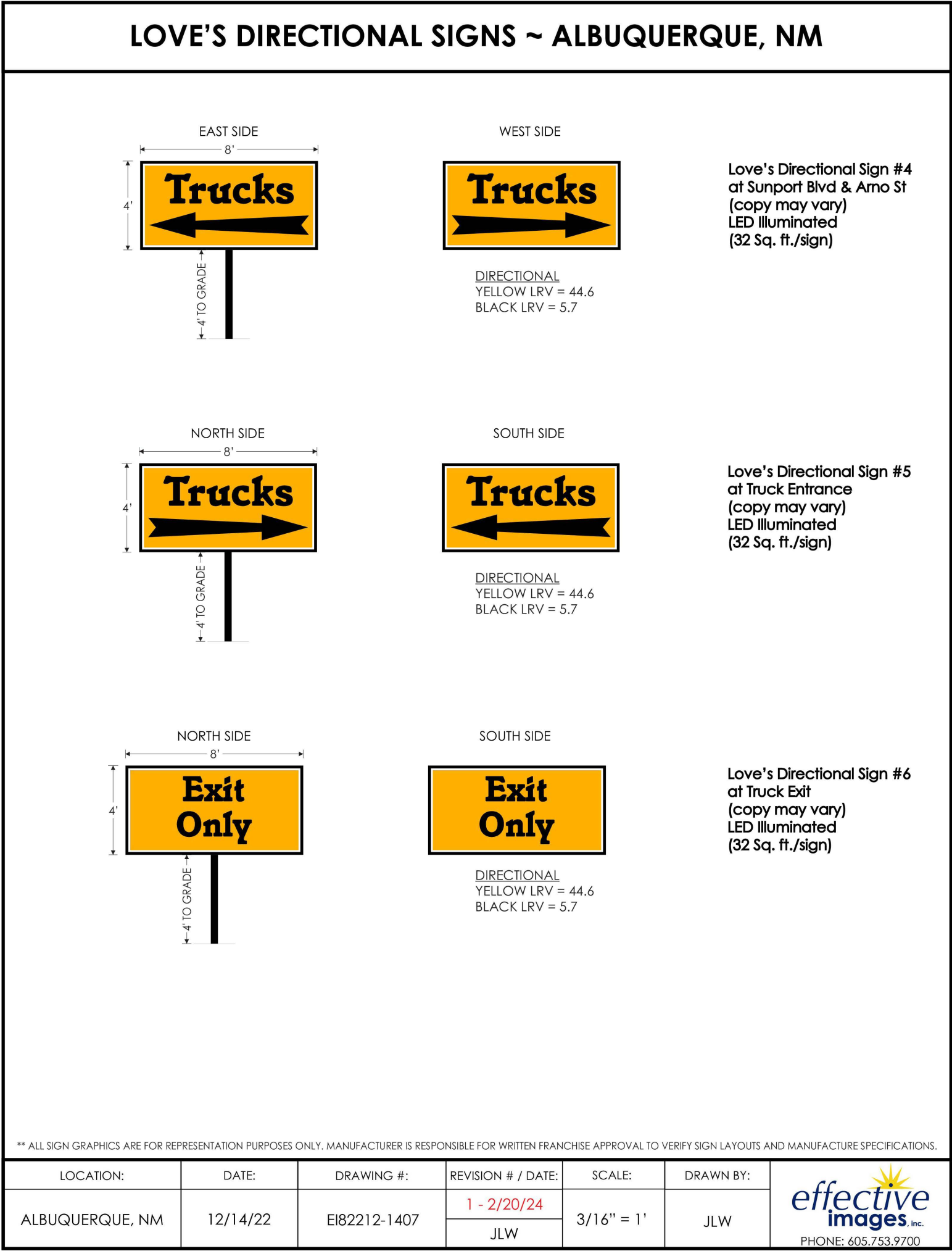
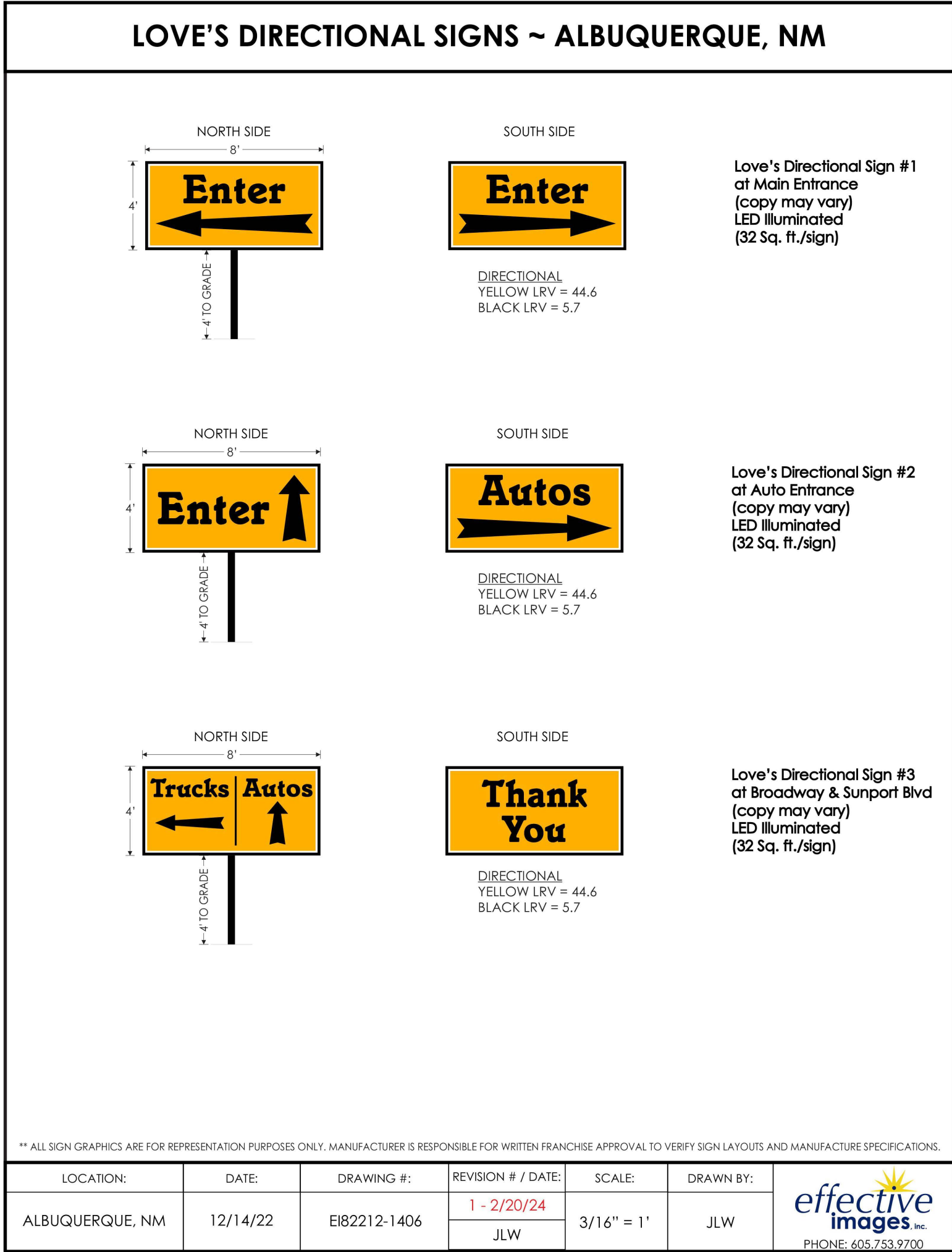
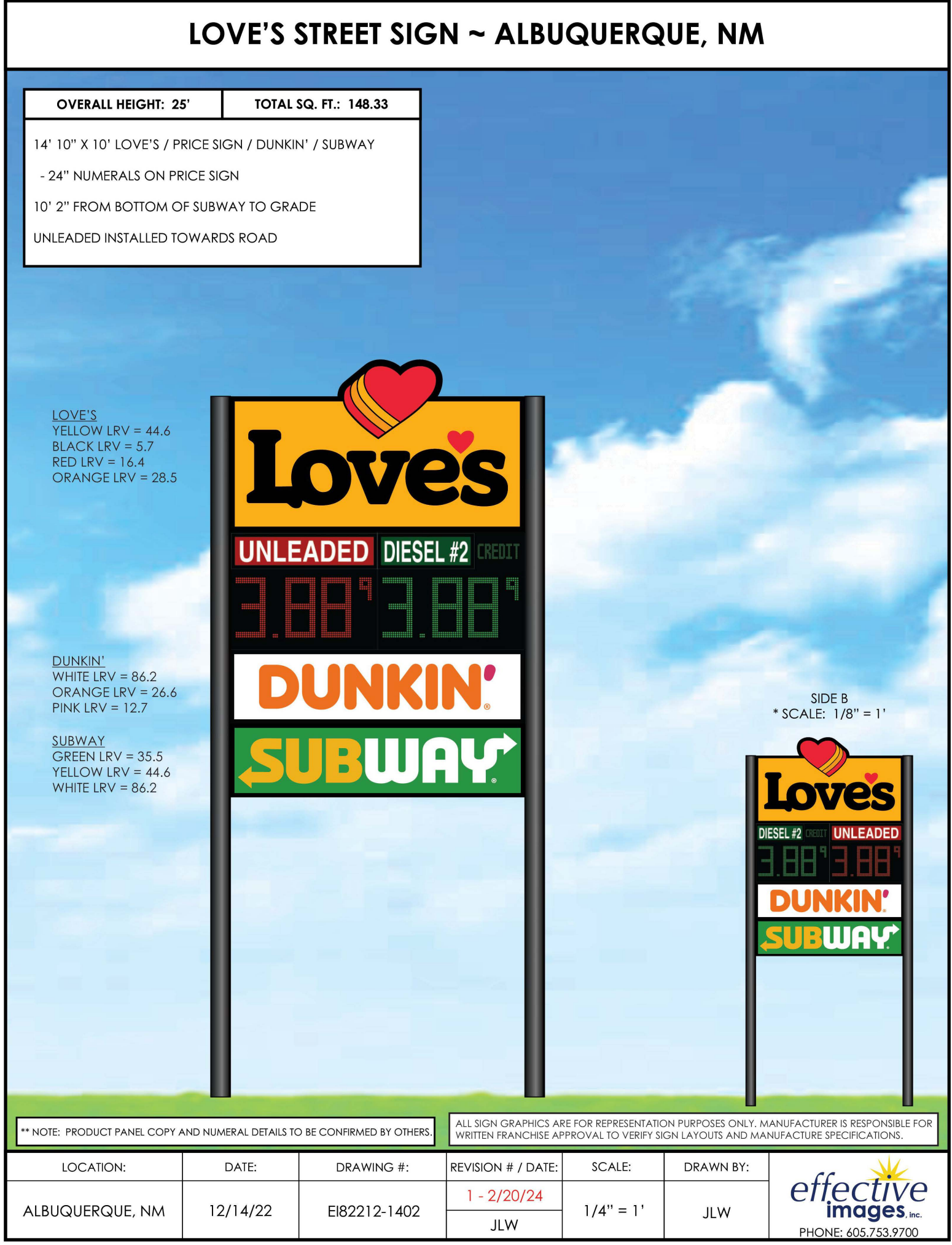
**E WEST ELEVATION**  
SCALE 1/4" = 1'-0"





NO.	DATE	REV. BY	DESCRIPTION
1	04-02-24	SB	REVISIONS / OR CHANGE NOTICES
NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING			
PERPENDICULAR CURB RAMPS			
APPROVED: <i>[Signature]</i> DATE: 04-02-24			
608-001-2 608-2 of 12			

<b>ENGINEER'S SEAL</b>   04-02-24 VINCENT P. CARRICA P.E. #16212	<b>LOVE'S BROADWAY /SUNPORT BLVD</b>  <b>SITE DETAILS</b>  <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY SB
		DATE 04/02/24
		2022031_SP
		SHEET # <b>DET-2</b>  JOB # 2022031





**LOVE'S SITE DETAILS**  
NTS

<div>ENGINEER'S SEAL</div> <div></div> <div>VINCENT P. CARRICA P.E. #16212</div>	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
		DATE 04/02/24
	DETAILS	2022031_SP
		SHEET # DET-3
<div>04-02-24</div> <div>VINCENT P. CARRICA P.E. #16212</div>	<div> <b>TERRA WEST, LLC</b></div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	JOB # 2022031



LOVE'S BUILDING SIGNS ~ ALBUQUERQUE, NM

LOVE'S HEART  
YELLOW LRV = 44.6  
BLACK LRV = 5.7  
RED LRV = 16.4  
ORANGE LRV = 28.5

Qty (1) East elevation  
LED Illuminated  
(80 Sq. ft./sign)

14'-6"

It's the love that drives us.

Qty (1) West elevation  
Externally Illuminated  
(12.08 Sq. ft./sign)

16'-7"

Driven by love, fueled by you.

Qty (1) South elevation  
Externally Illuminated  
(17.45 Sq. ft./sign)

LOCATION:

DATE:

DRAWING #:

REVISION # / DATE:

SCALE:

DRAWN BY:

ALBUQUERQUE, NM

12/14/22

E182212-1404

2 - 3/5/24  
JLW

3/16" = 1'

JLW

PHONE: 405.753.9700

LOVE'S FUEL CANOPY LOGOS ~ ALBUQUERQUE, NM

LOVE'S CANOPIES  
YELLOW LRV = 44.6  
BLACK LRV = 5.7  
RED LRV = 16.4  
ORANGE LRV = 28.5

Qty (4) Gas Canopy Logos  
(23.39 Sq. ft./sign)

10'-2 1/2"

2'-3 1/2"

Love's

Qty (4) Diesel Canopy Logos  
(23.39 Sq. ft./sign)

Gas / Diesel Canopy Illustration

LOCATION:

DATE:

DRAWING #:

REVISION # / DATE:

SCALE:

DRAWN BY:

ALBUQUERQUE, NM

12/14/22

E182212-1405

1 - 2/20/24  
JLW

3/16" = 1'

JLW

PHONE: 405.753.9700

CAT SCALE SIGNS ~ ALBUQUERQUE, NM

OVERALL HEIGHT: 21' 5 1/4"

TOTAL SQ. FT.: 114.98

5' 4 1/2" X 20' CAT SCALE SIGN = 107.5 SQ. FT.  
2' 5 1/2" X 3' 1/2" SPEAKER POST SIGN = 7.48 SQ. FT.  
16' 1 1/4" FROM GRADE TO BOTTOM OF CAT SCALE

CAT SCALE  
YELLOW LRV = 61.4  
BLACK LRV = 5.7

FRONT VIEW

LEFT END VIEW

RIGHT END VIEW

\*\*BACK VIEW NOT TO SCALE

LOCATION:

DATE:

DRAWING #:

REVISION # / DATE:

SCALE:

DRAWN BY:

ALBUQUERQUE, NM

12/14/22

E182212-1408

1 - 2/20/24  
JLW

NOT TO SCALE

JLW

PHONE: 405.753.9700

ALL SIGN LOCATIONS ARE APPROXIMATE.  
TO BE VERIFIED BY THE ARCHITECT AND  
LOVE'S REPRESENTATIVE.

SIGNS SHALL BE PERMITTED UNDER SEPERATE  
APPLICATION

LOVE'S SITE DETAILS  
NTS

ENGINEER'S  
SEAL

VINCENT P. CARRICA  
P.E. #16212

LOVE'S BROADWAY  
/SUNPORT BLVD  
DETAILS

TIERRA WEST, LLC

5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
SB

DATE  
04/02/24

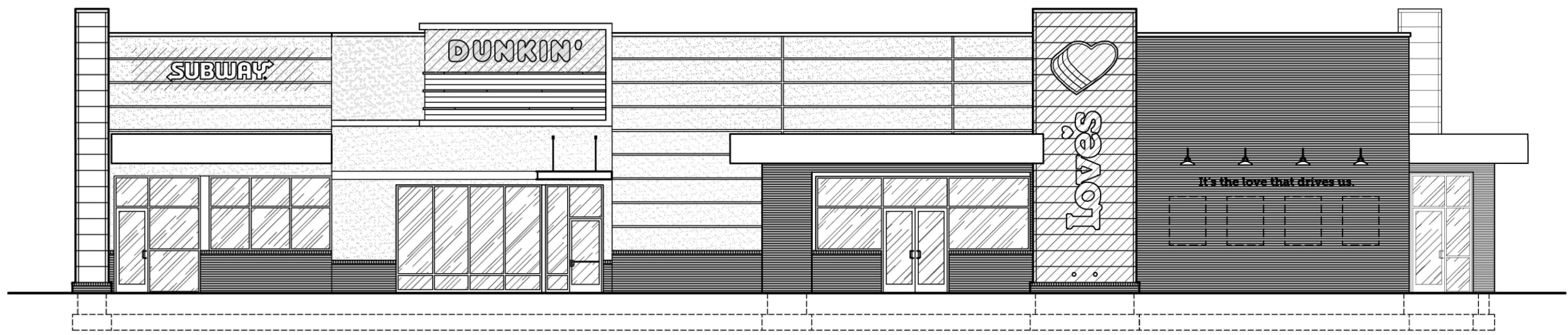
2022031\_SP

SHEET #  
DET-4

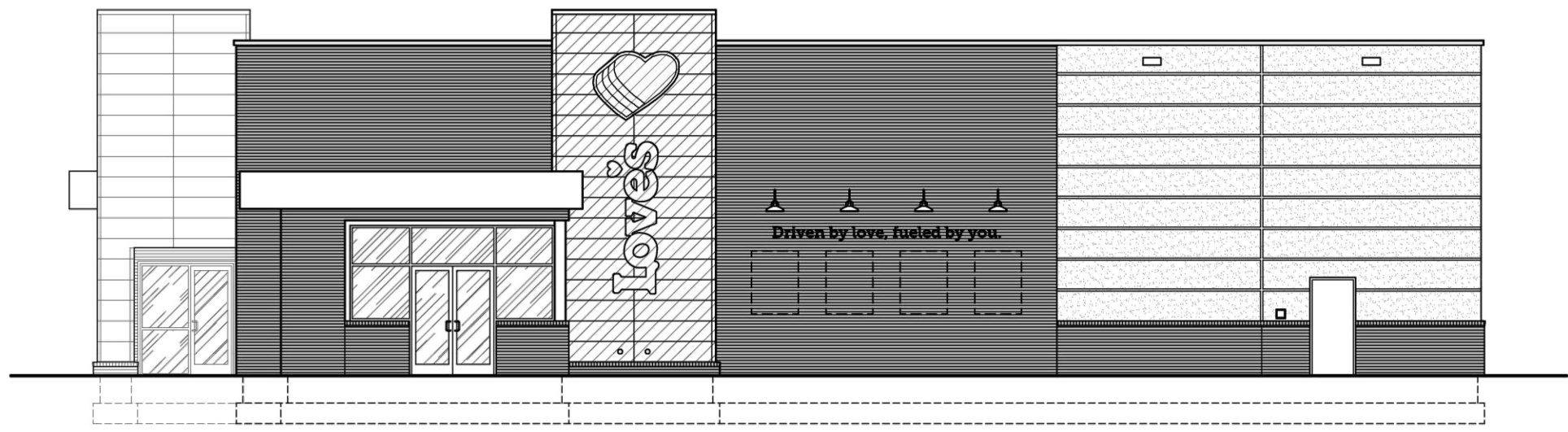
JOB #  
2022031

Z:\2022\2022031 Love's Support Station\den\Construction\2022031\_SP.dwg, Apr 18, 2024 -- 8:00am

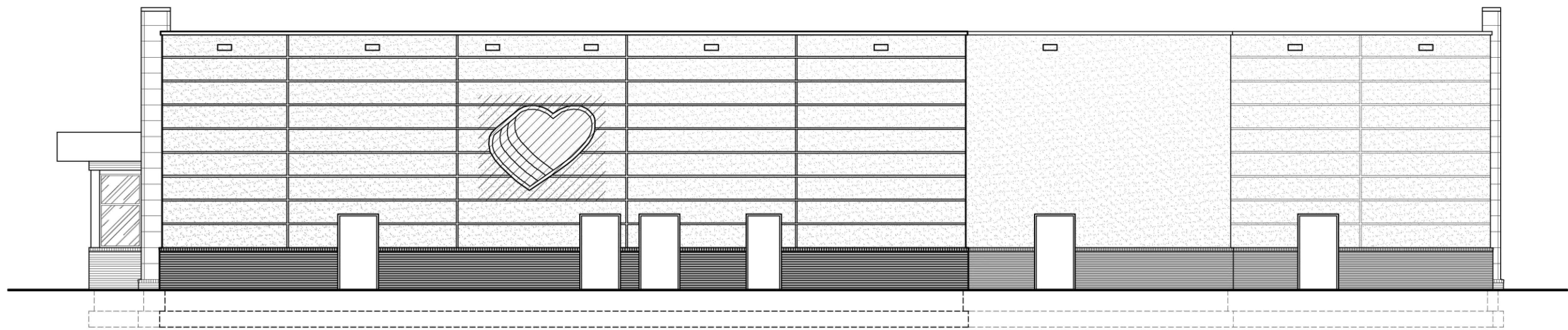




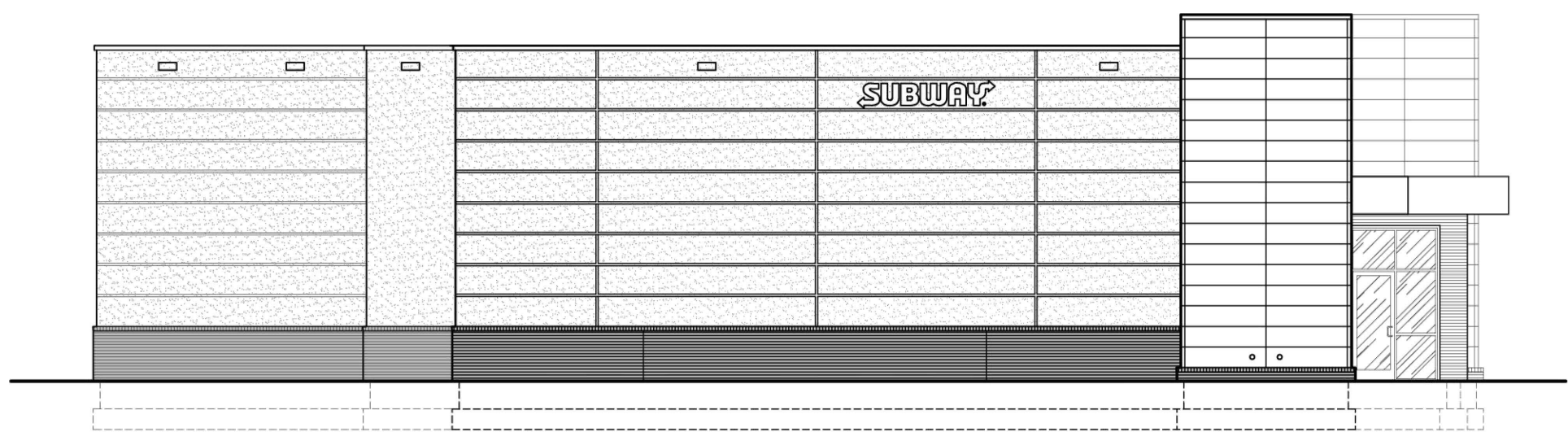
**A WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**B SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**C EAST ELEVATION**  
Scale: 1/8" = 1'-0"



**D NORTH ELEVATION**  
Scale: 1/8" = 1'-0"



Pascal Aughtry & Associates, PC

405.463.3494  
Fax 405.463.3493  
937 East Boston Road  
Oklahoma City, OK 73114  
pascalarch.com

THIS DOCUMENT  
IS PRELIMINARY IN  
NATURE AND IS  
NOT A FINAL  
SIGNED AND  
SEALED  
DOCUMENT

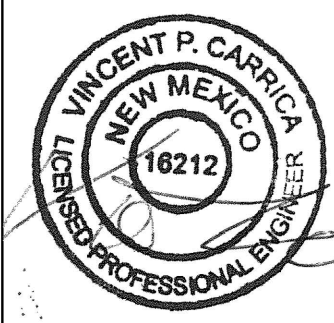
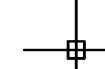
A NEW TRAVEL STOP  
STORE NO. 963  
ALBUQUERQUE, NM



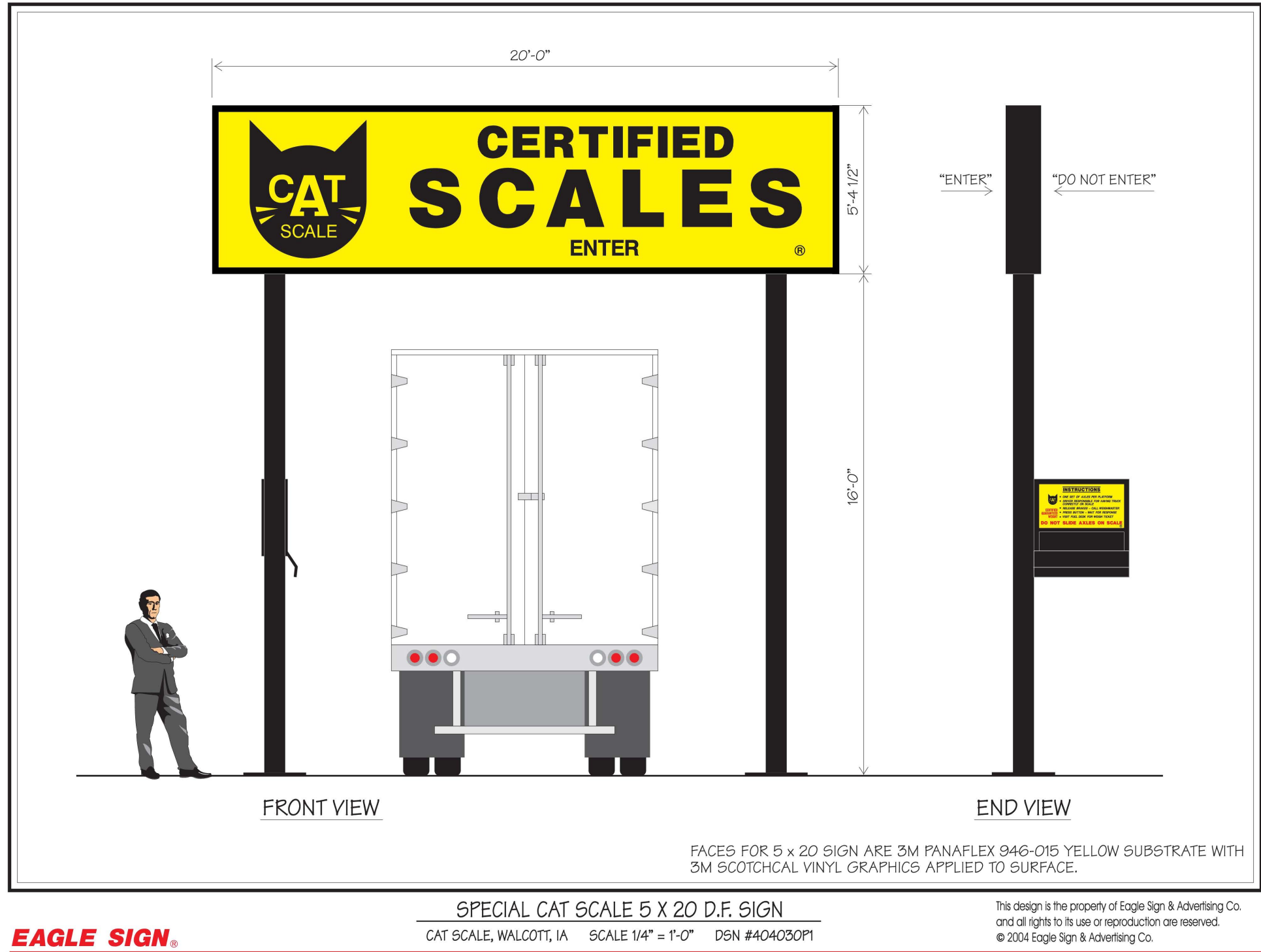
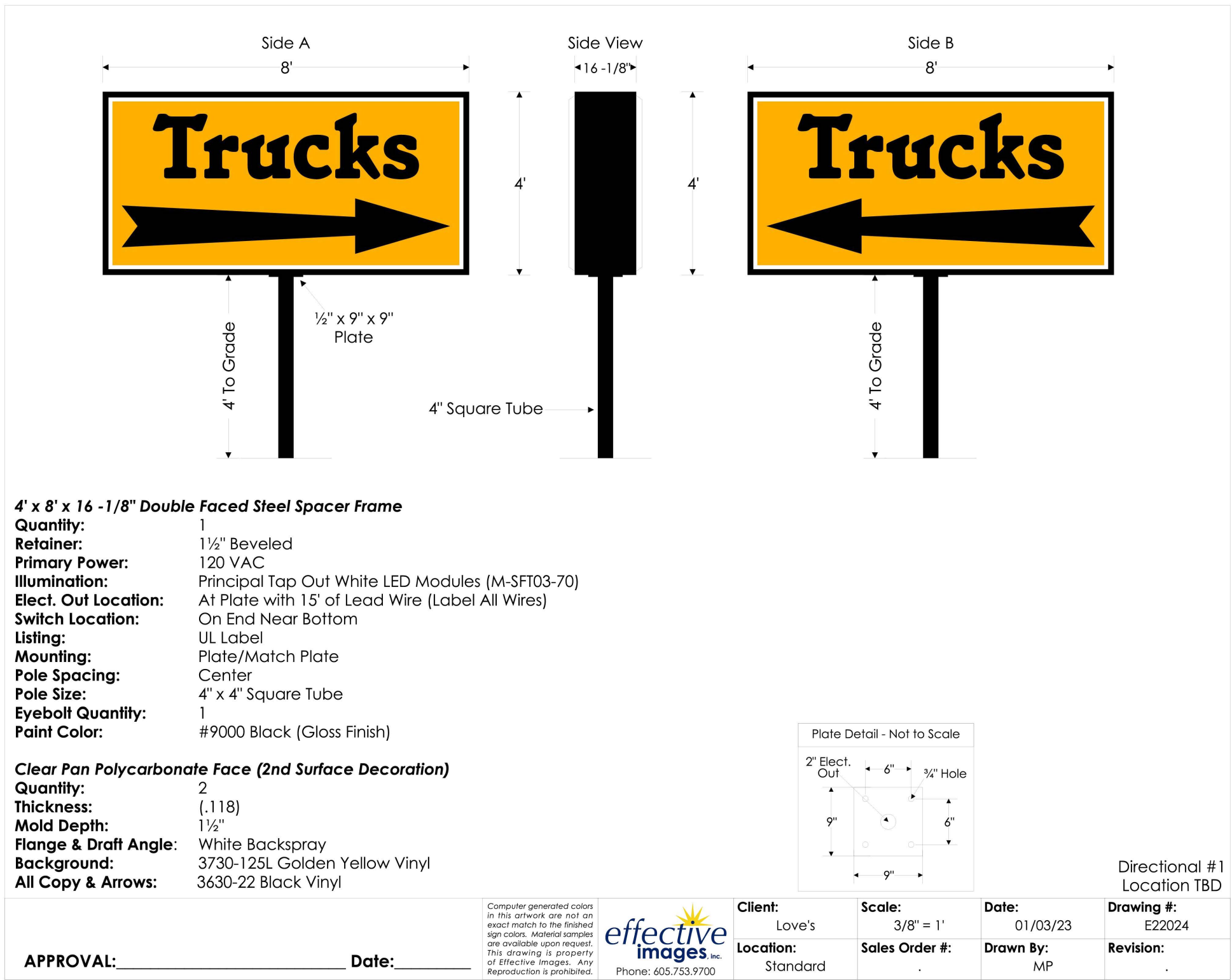
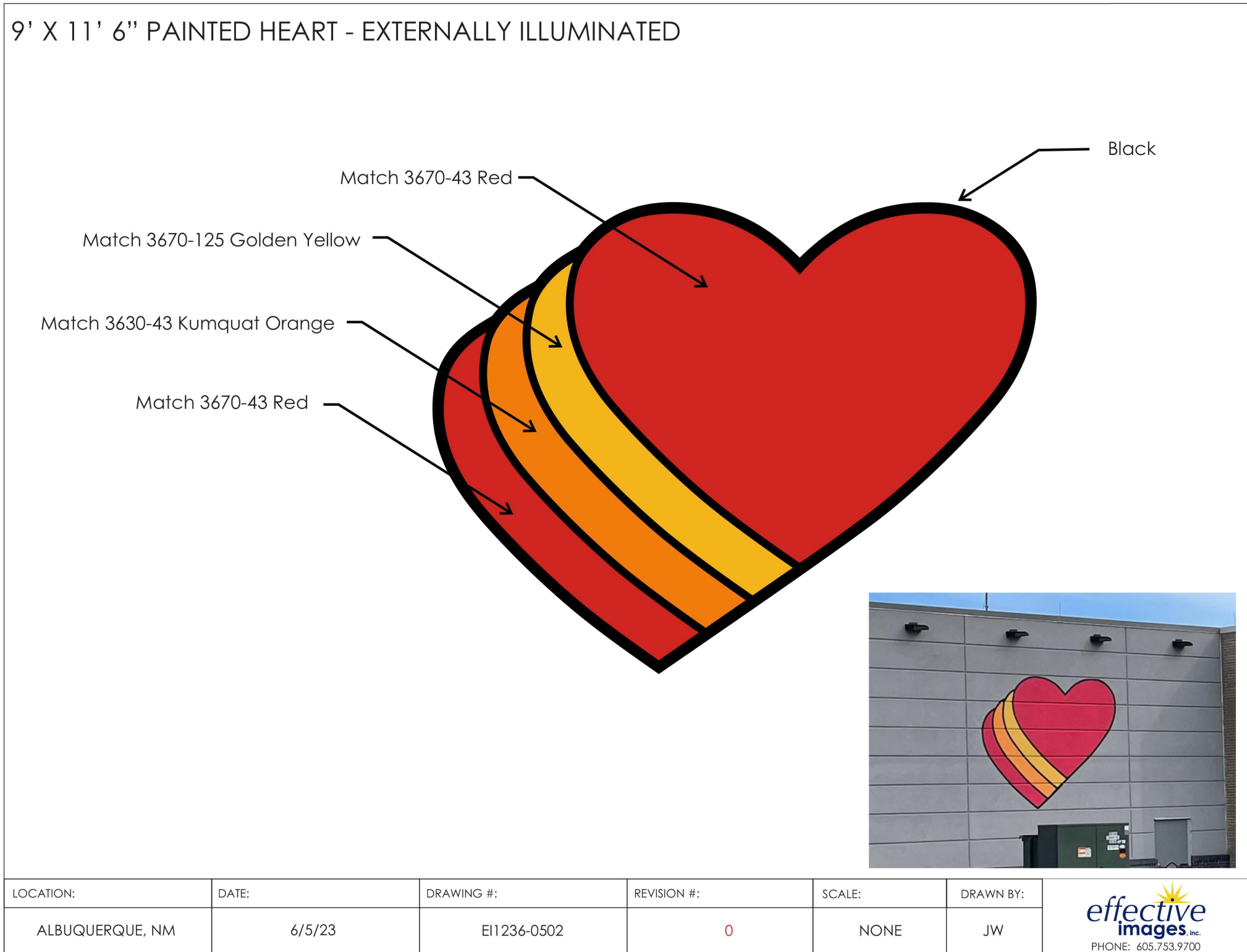
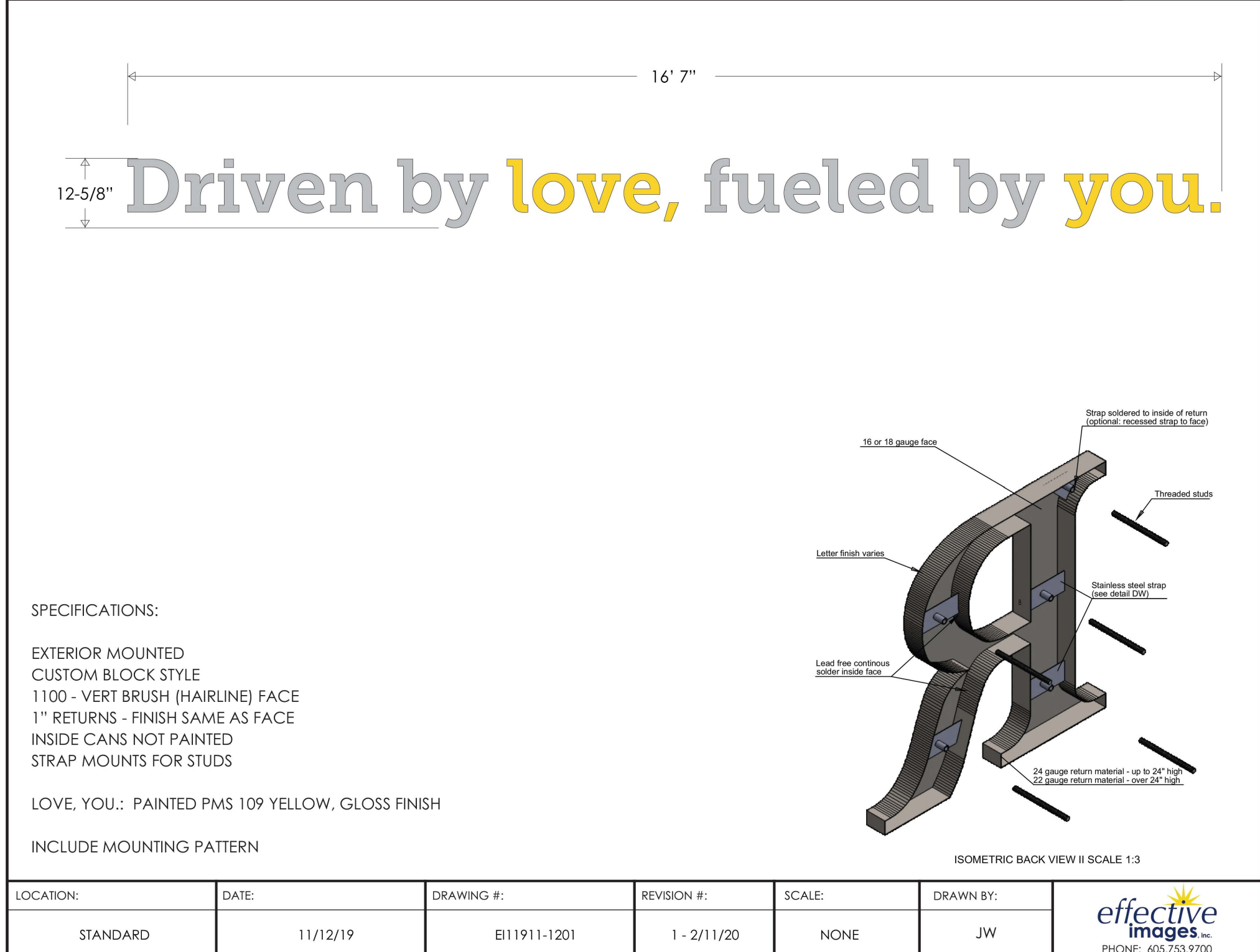
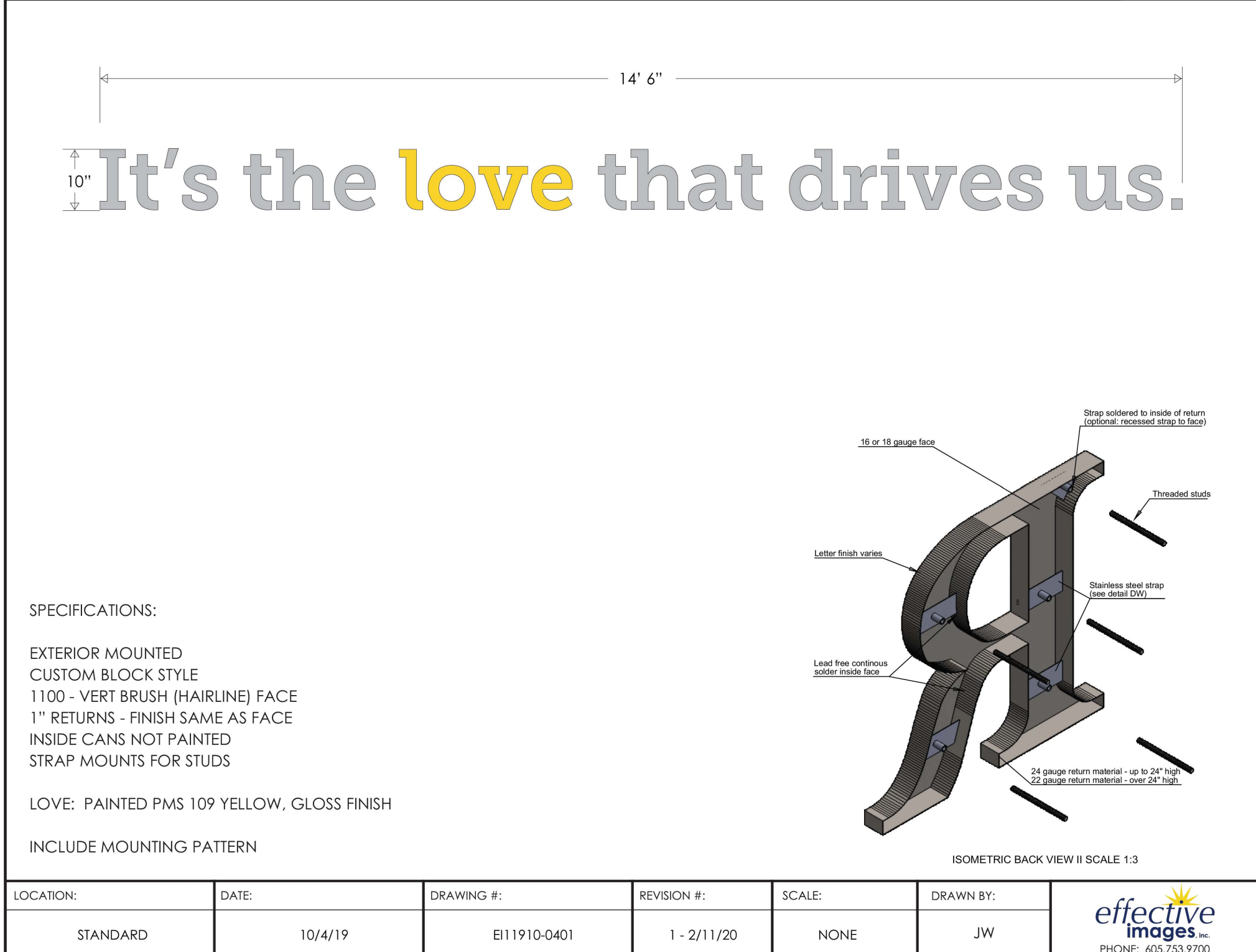
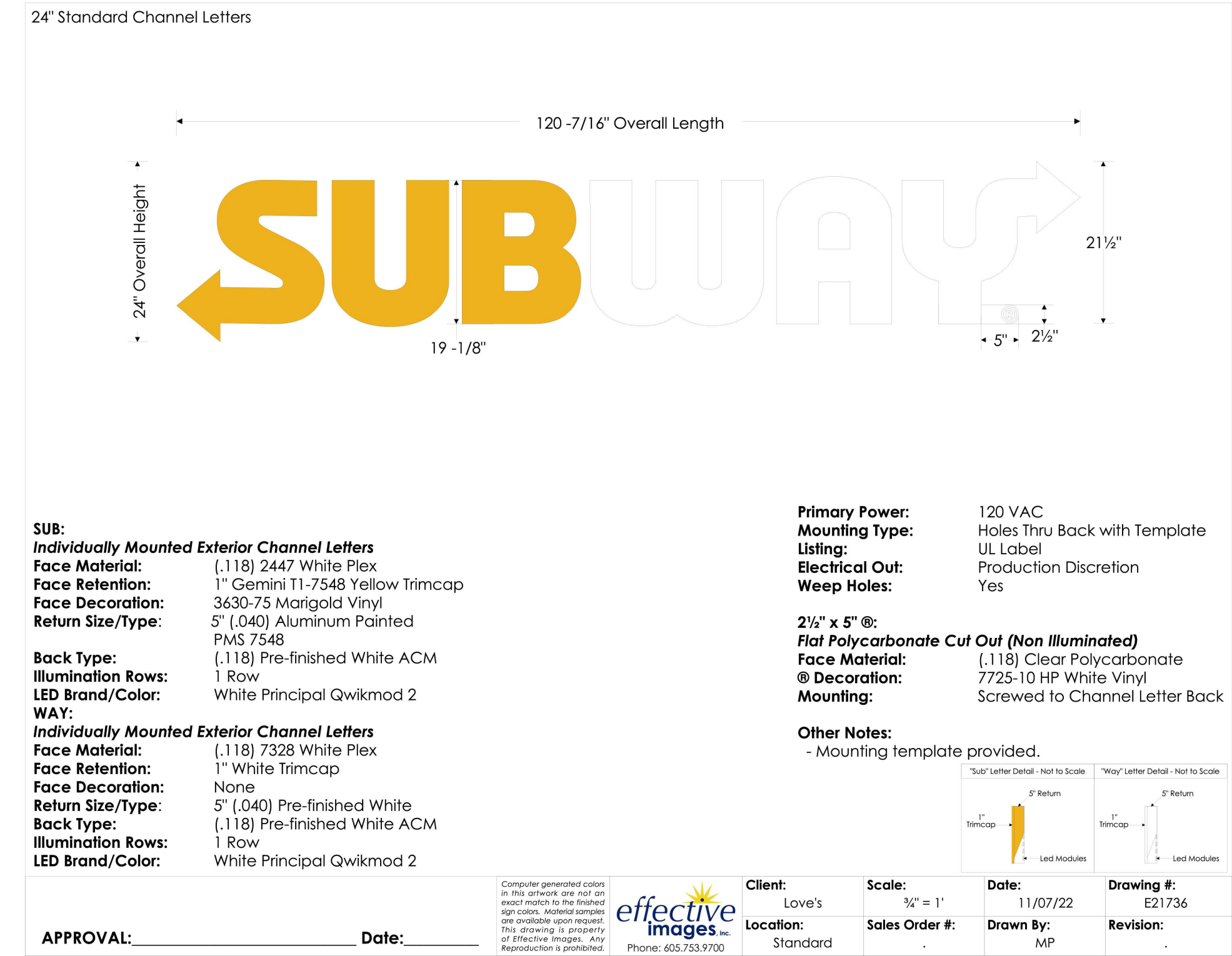
Revisions:	
No.	Date

Project No.: LVS----
Date: 12/21/22
Sheet No.: <b>A-X</b>
OF: XX



**LOVE'S SITE DETAILS**  
NTS

<div>ENGINEER'S SEAL</div> <div></div> <div>VINCENT P. CARRICA P.E. #16212</div>	LOVE'S BROADWAY /SUNPORT BLVD DETAILS	DRAWN BY SB
		DATE 04/02/24
	<div> <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	2022031_SP
		SHEET # <b>DET-5</b>
		JOB # 2022031



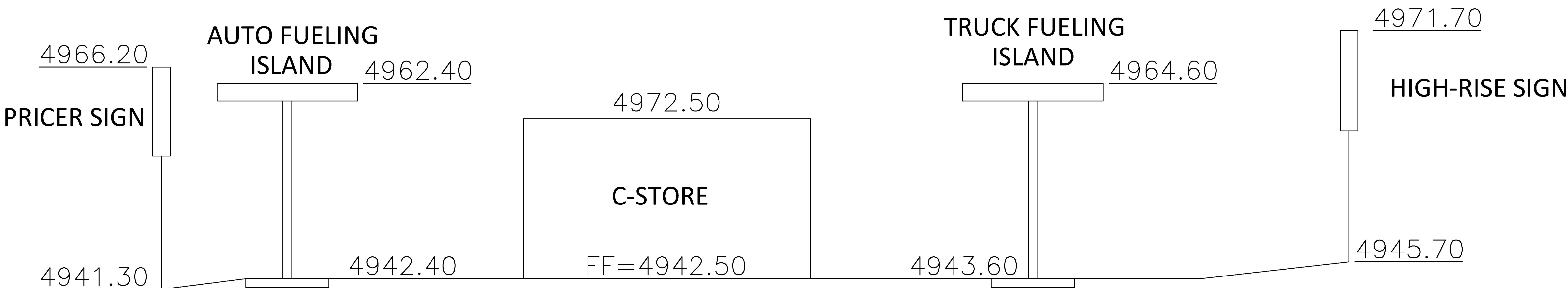


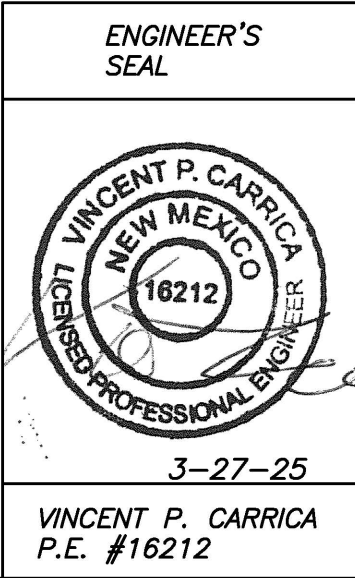
LOVE'S SITE DETAILS

<div>ENGINEER'S SEAL</div> <div></div> <div>VINCENT P. CARRICA P.E. #16212</div>	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	DETAILS	DATE 04/02/24
		2022031_SP
		SHEET # DET-6
04-02-24	<div>TIERRA WEST, LLC</div> <div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div>	JOB # 2022031

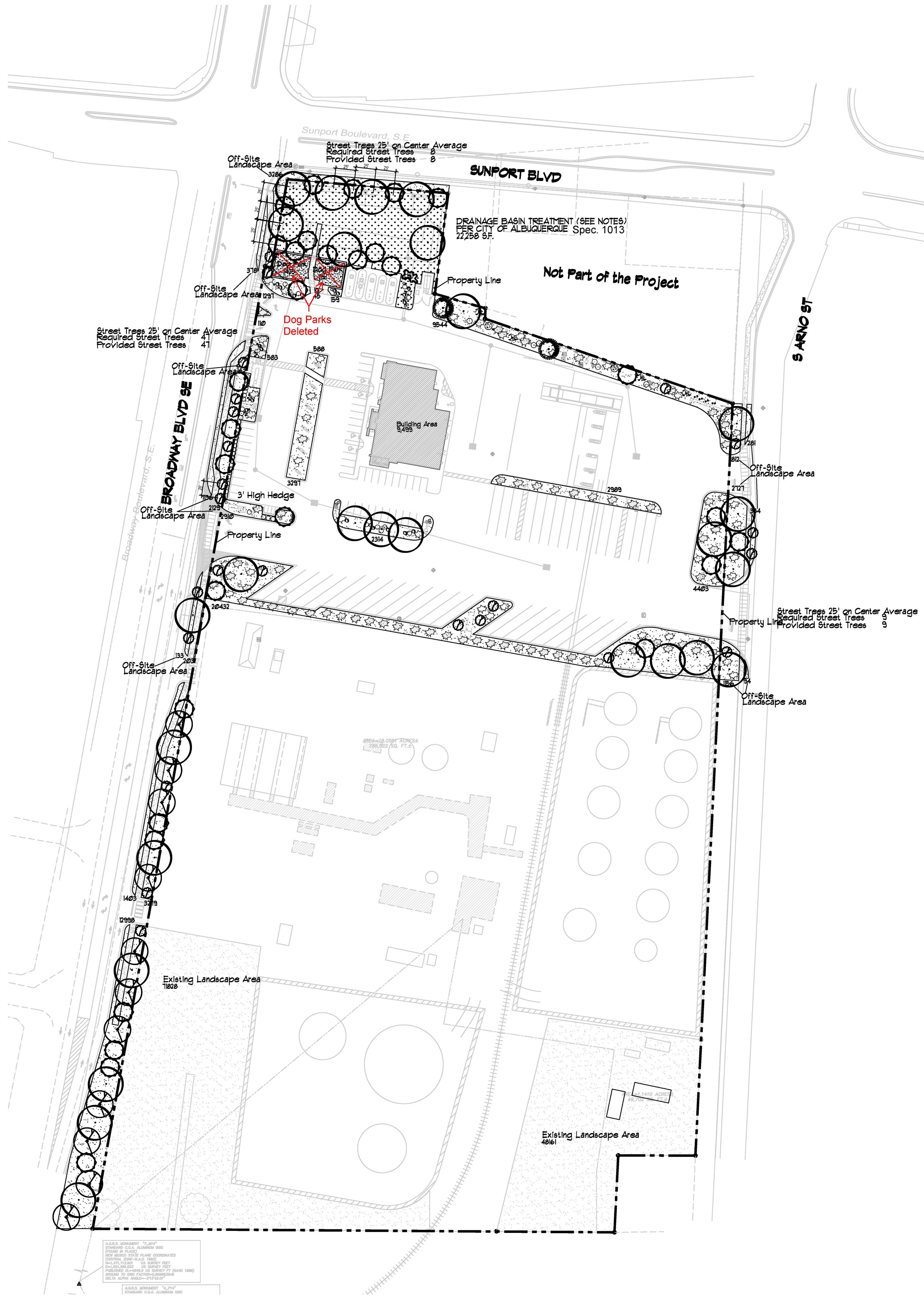


TRAVEL CENTER EXHIBIT  
AIR SPACE PROTECTION HORIZONTAL SURFACE  
(3-3(B)(1))PROPOSED STRUCTURE HEIGHTS/ELEVATIONS  
FALL BELOW THE AIR SPACE PROTECTION HORIZONTAL  
SURFACE ELEVATION OF 5504.90



	ENGINEER'S SEAL	<b>BROADWAY/SUNPORT BLVD</b>	DRAWN BY PM
		<b>SITE DETAILS</b>	DATE 3-27-25
		<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022031 TCL
	VINCENT P. CARRICA P.E. #16212		SHEET # DET-6A JOB # 2022031





### LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
-----	------	------------------	---------

#### Trees

11	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x35	961.62	10571.82	M+
21	2" cal	Hackberry <i>Celtis Occidentalis</i>	50x45	1589.62	42319.14	M
2	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	430.62	981.24	M
1	6-8' Multi Stem	Crape Myrtle <i>Lagerstroemia indica</i>	15x20	314	314	M
30	6-8' Multi Stem	Desert Willow <i>Chilopsis linearis</i>	20x25	430.62	14718.6	M
24	15 Gal.	Pink Pom Poms Redbud	15x12	113.04	2712.36	M
91	Total Trees	Total Tree Coverage			72224.36	

#### Shrubs & Groundcovers

2	5 Gal	Existing Shrubs	10x10	78.5	157	M
4	5 Gal	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10	78.5	314	M
4	5 Gal	Bird of Paradise <i>Caesalpinia gilliesii</i>	10x10	78.5	314	L
20	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5	19.62	392.4	M
33	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12	113.04	3730.32	M
75	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> "Buffalo"	1x12	113.04	8478	M
2	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	7.06	14.12	M
11	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	7.06	77.66	M
41	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6	28.26	1158.66	L
4	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	38.46	153.86	L
2	5 Gal	Chamisa <i>Chrysanthamnus nauseosus</i>	5x1	38.46	76.92	L
25	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	2.5x2	3.14	78.5	M
223	Total Shrubs	Total Shrub Coverage		14945.44		
23	2-3cf	Boulders To be placed at contractor discretion				
79163		Landscape Gravel / Filter Fabric 3/4" Crushed Grey				
22258		Drainage Basin Treatment, (See Notes) Native Seeding Mix Per COA				
-2516-0		Landscape Crusher Fines / Filter Fabric Amaretto, or Equal, 3" Depth, min.				
119389		Existing Landscape Area Natural Landscape				
223986		Total Landscape Provided				

### LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	786572
TOTAL BUILDING AREA (sf)	9,499
TOTAL NET LOT AREA (sf)	-771073
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED	116,553
TOTAL ON-SITE LANDSCAPE PROVIDED	149333
TOTAL LIVE PLANT COVER REQUIRED	108999
TOTAL LIVE PLANT COVER PROVIDED	109421.80
TOTAL GROUND COVER REQUIRED	36333
DRAINAGE BASIN, NATIVE SEED (SEE NOTES)	22258
TOTAL GROUND COVER PROVIDED	37203.44

#### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

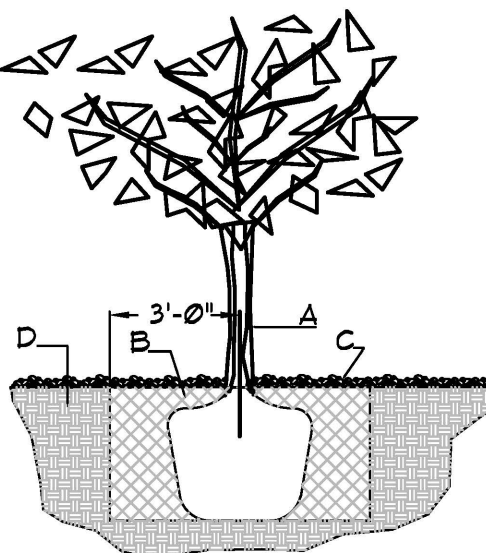
Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner. d between the Landscape Contractor and the General Contractor of the project prior to construction.

No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.



### TREE PLANTING DETAIL

NTS

- GENERAL NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.  
CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

#### Clear Site Triangle Note:

Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are no included within the clear site triangle.

#### Street Tree Notes:

Street trees will be planted within the required frontage per IDO 14-16-5-6(D)

Per Section 5-6(D) (1) (a) Required Street Trees. Trees are GENERALLY required along street frontages every 35 feet on center unless otherwise specified in Pa 6-2-2 of ROA 1994 (Street Trees)

#### Section 6-6-2-5 Street Trees

- (A)  
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require closer spacing and larger trees will require greater spacing. Spacing shall be approved as part of the plan approval process.  
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

#### Drainage Basin Treatments Per City of Albuquerque Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 1013 depending on so type for that City area. Please reference this native se selection and the section on plan sheet.

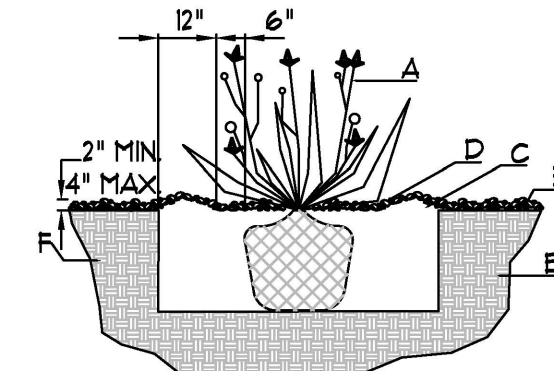
For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigatic or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

Maintenance will be per City of Albuquerque Specification 102.3.31 and 102.3.32.

Contractor must weed the basin during/after the first growing season.

Needs city inspection. Stormwater Quality Ordinance-Fine stabilization must be accepted by the City.



### SHRUB PLANTING DETAIL

NTS

- GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTIK SHALL BE TWICE THE DIAMETER OF THE SHRUB PL.  
CONSTRUCTION NOTES:  
A. SHRUB  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.



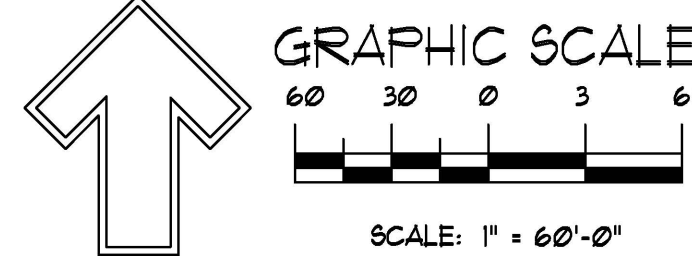
danny@mitchellassociatesinc.com

505.639.9583

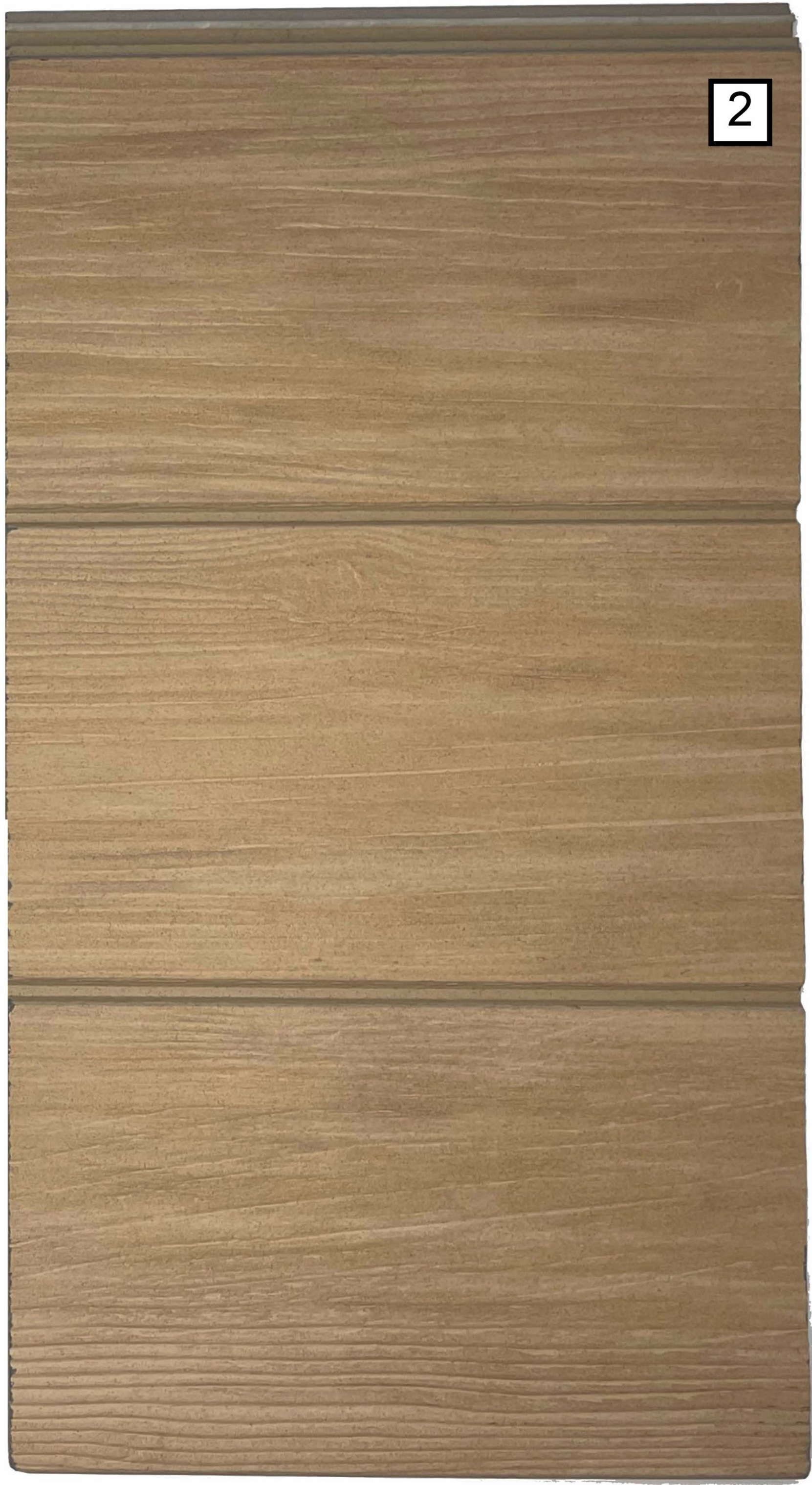
ENGINEER'S SEAL  
Landscape Architect  
STATE OF NEW MEXICO  
DANNY D. MITCHELL  
239  
REGISTERED LANDSCAPE ARCHITECT  
February 27, 2024  
RONALD R. BOHANNAN  
P.E. #7868

LOVES TRAVEL CENTER  
3200 Broadway Blvd. S.E.  
Landscape Plan  
TIERRA WEST, LLC  
5571 MIDWAY PARK PL. NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

DRAWN BY  
Paniz  
DATE  
06-02-23  
SHEET #  
LS-101  
JOB #  
2022031








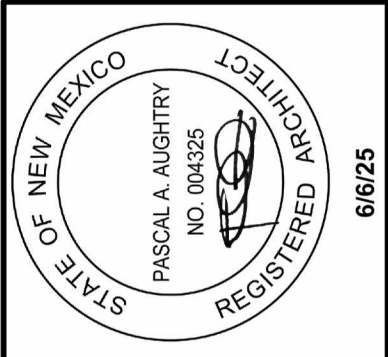
- 1. EXTERIOR BRICK
- 2. TOWER ELEMENT
- 3. WINDOW FRAMES & EXTERIOR DOORS
- 4. EIFs
- 5. ACCENT WINDOW FRAMES & SOFFIT
- 6. FASCIAS AT ENTRY
- 7. TREX FENCING

BUILDING FINISHES



Pascal Aughtry & Associates, PC

405.463.3494  
Fax 405.463.3493  
937 East Britton Road  
Oklahoma City, OK 73114  
pascalarch.com



**Lovè's**  
Travel Stops

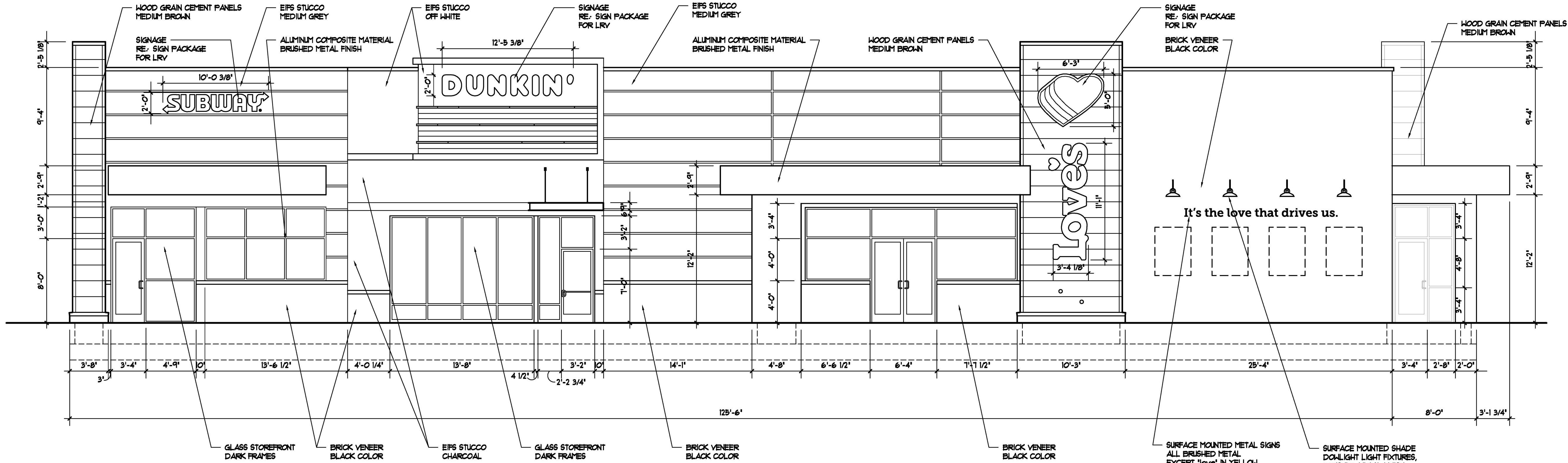
A NEW TRAVEL STOP  
STORE NO. 963  
ALBUQUERQUE, NM

Revisions:	
No.	Date

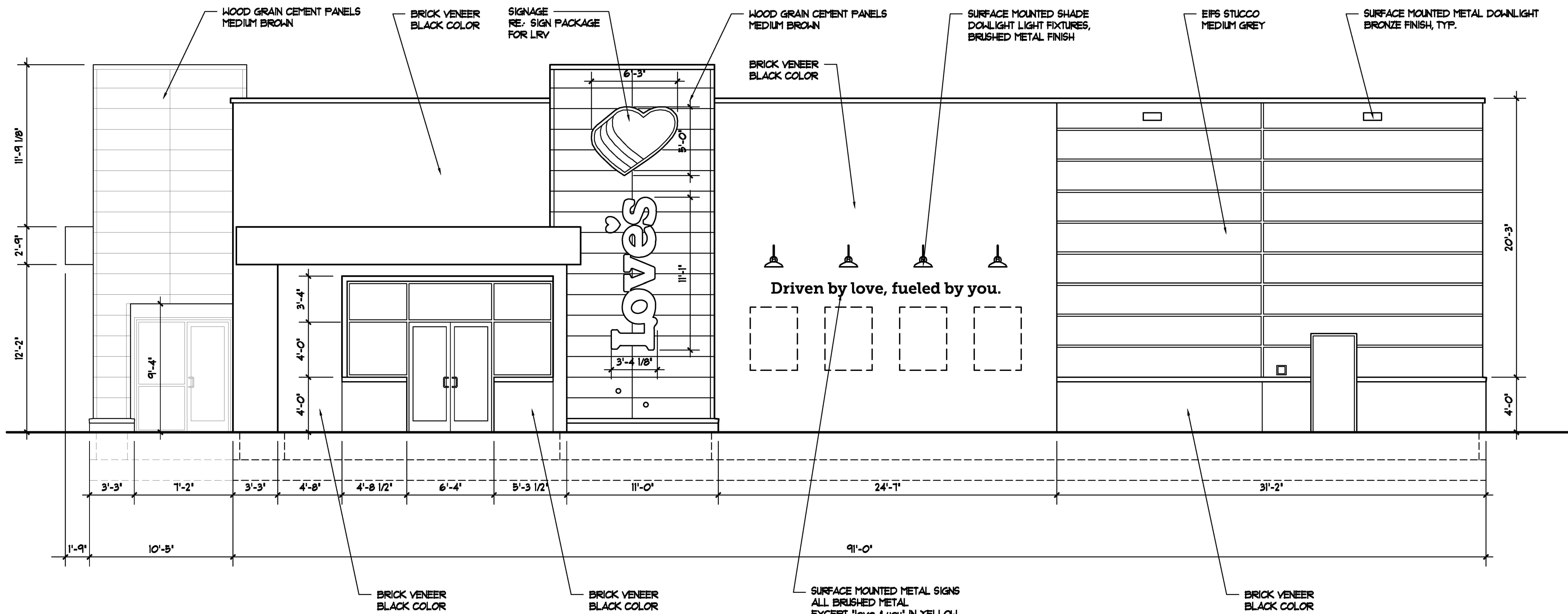
Project No. : LVS----
Date: 12/21/22
Sheet No.: <b>A-2</b>
OF: XX



NOTES  
BUILDING HEIGHT IS PURSUANT TO APO-3.3  
THE FACADE DESIGN IS PURSUANT TO APO-3.3 (D.X.2)




**A WEST ELEVATION**  
SCALE: 3/16" = 1'-0"



**B SOUTH ELEVATION**  
SCALE: 3/16" = 1'-0"

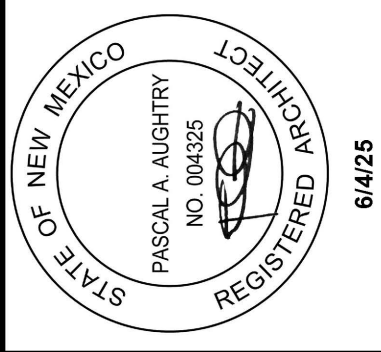
0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

DIMENSIONAL EXTERIOR ELEVATIONS




Pascal Aughtry & Associates, PC

405.463.3494  
Fax 405.463.3493  
937 East Britton Road  
Oklahoma City, OK 73114  
pascalarch.com



STATE OF NEW MEXICO  
PASCAL A. AUGHTRY  
NO. 004325  
REGISTERED PROFESSIONAL ENGINEER  
6/4/25



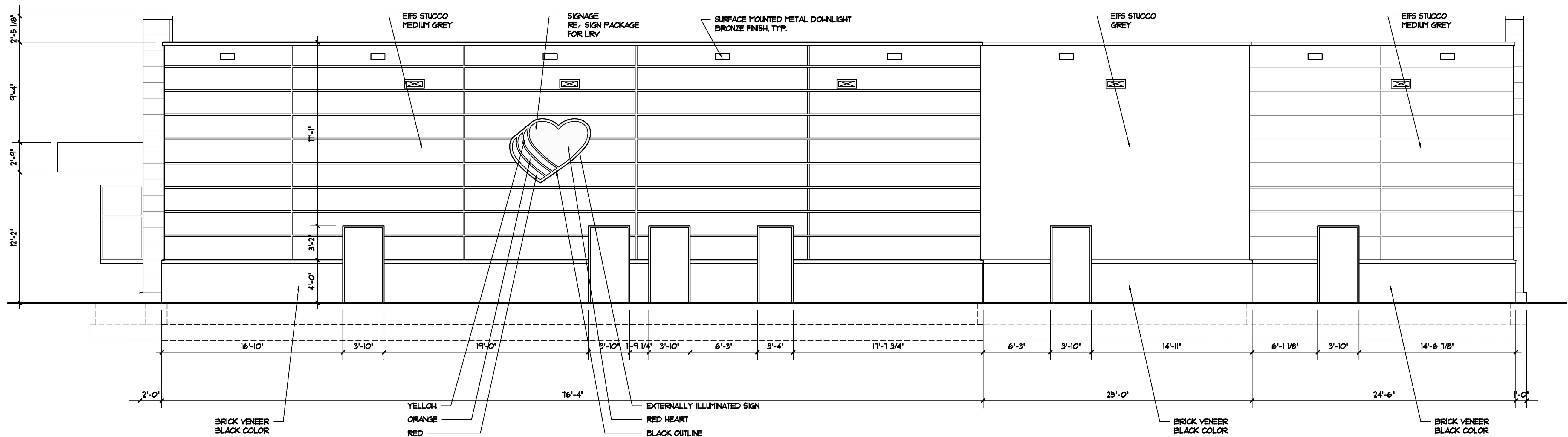
A NEW TRAVEL STOP  
STORE NO. 963  
ALBUQUERQUE, NM

Revisions:	
No.	Date

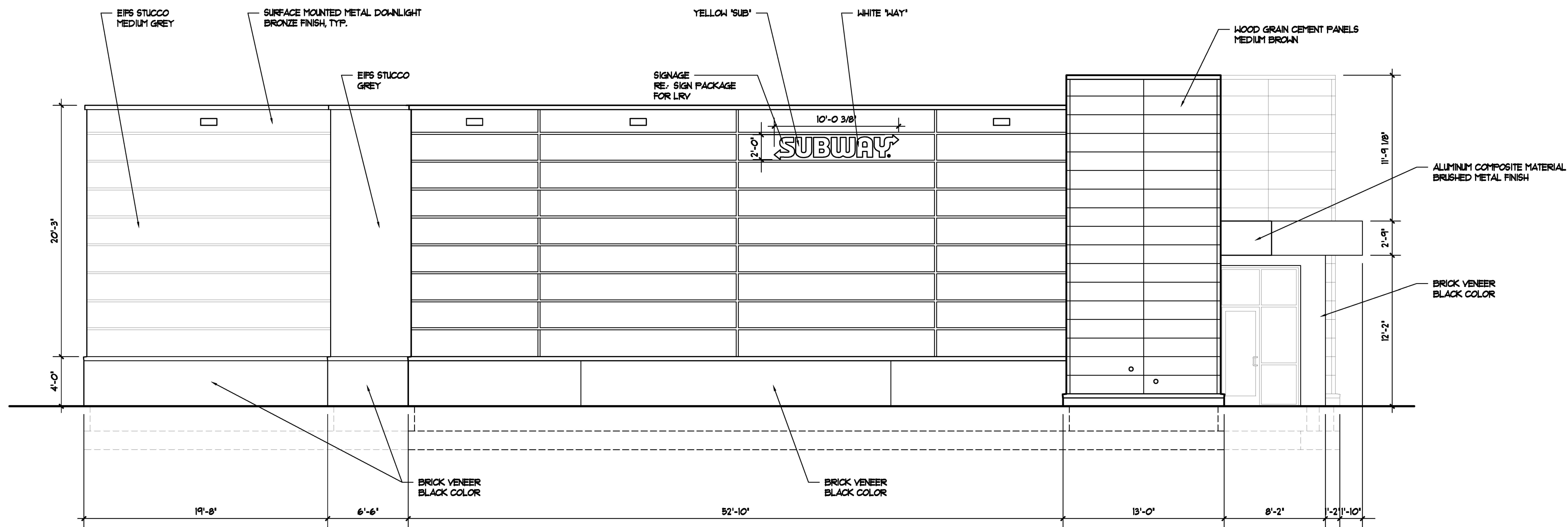
Project No.: LVS-----  
Date: 12/21/22  
Sheet No.:  
**A-3**  
OF: XX



NOTES  
BUILDING HEIGHT IS PURSUANT TO APO-3.3  
THE FACADE DESIGN IS PURSUANT TO APO-3.3 (D.X2)



**C EAST ELEVATION**  
SCALE: 3/16" = 1'-0"



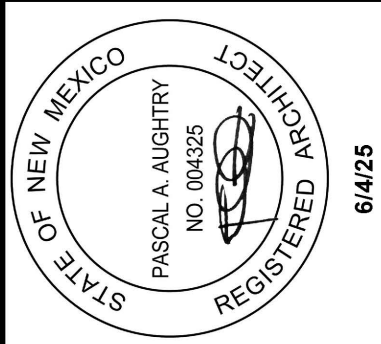
**D NORTH ELEVATION**  
SCALE: 3/16" = 1'-0"

0 2' 4' 8'  
SCALE: 1/4" = 1'-0"

DIMENSIONAL EXTERIOR ELEVATIONS



Pascal Aughtry & Associates, PC  
405.463.3494  
Fax 405.463.3493  
937 East Britton Road  
Oklahoma City, OK 73114  
pascalarch.com



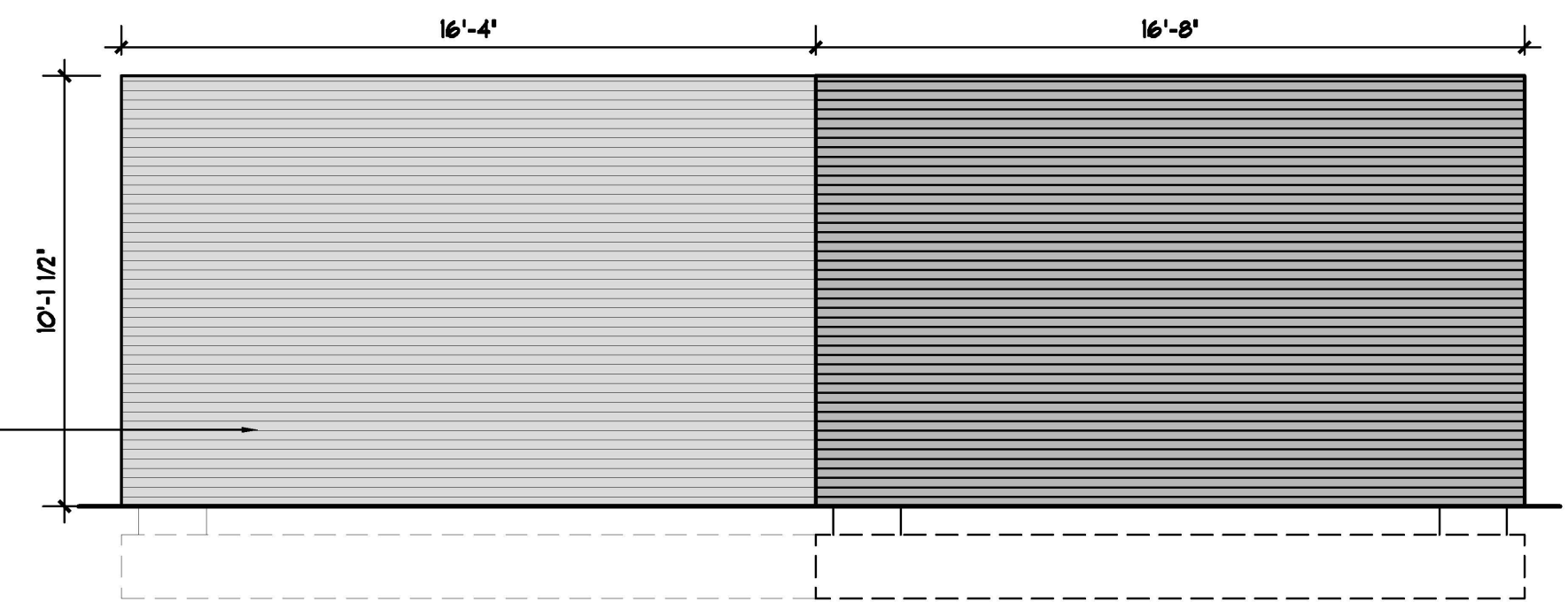
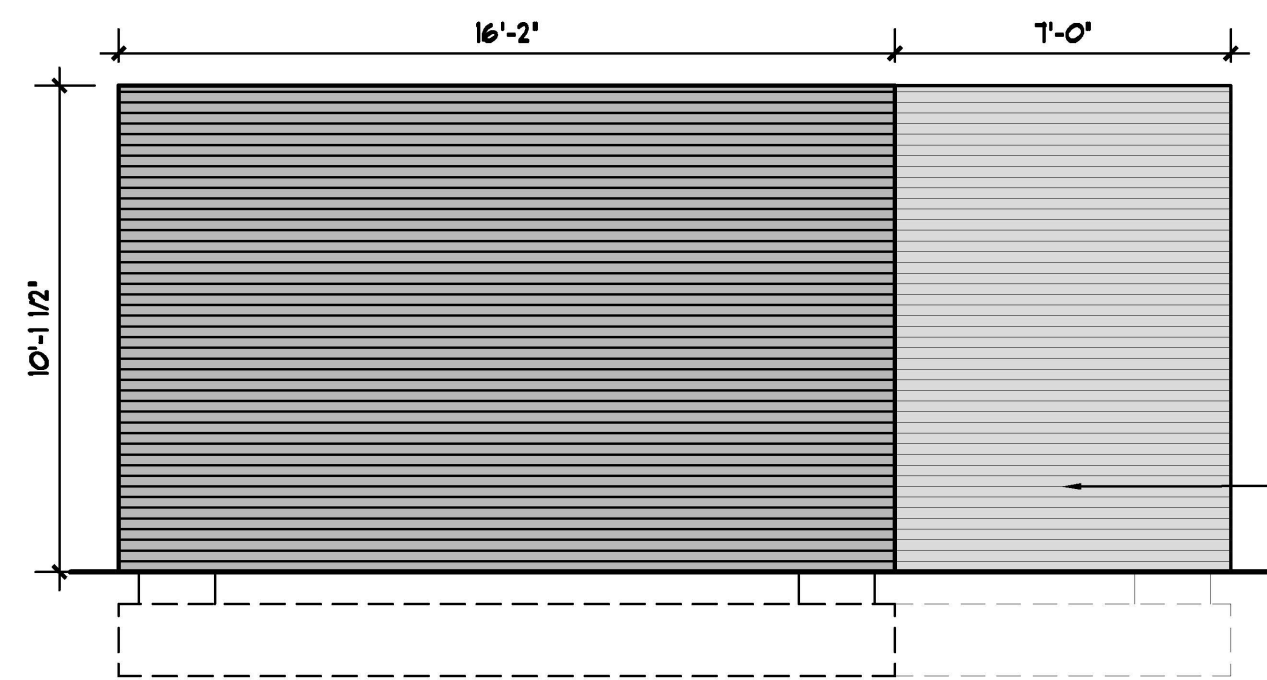
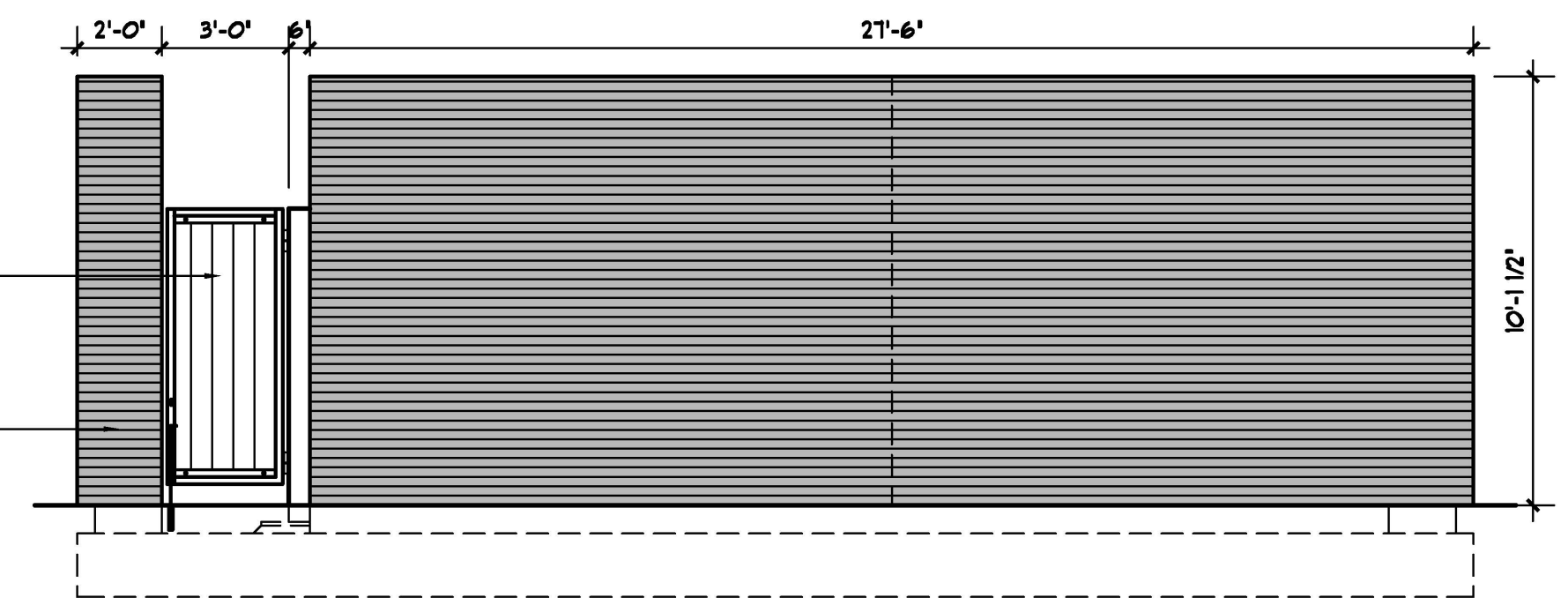
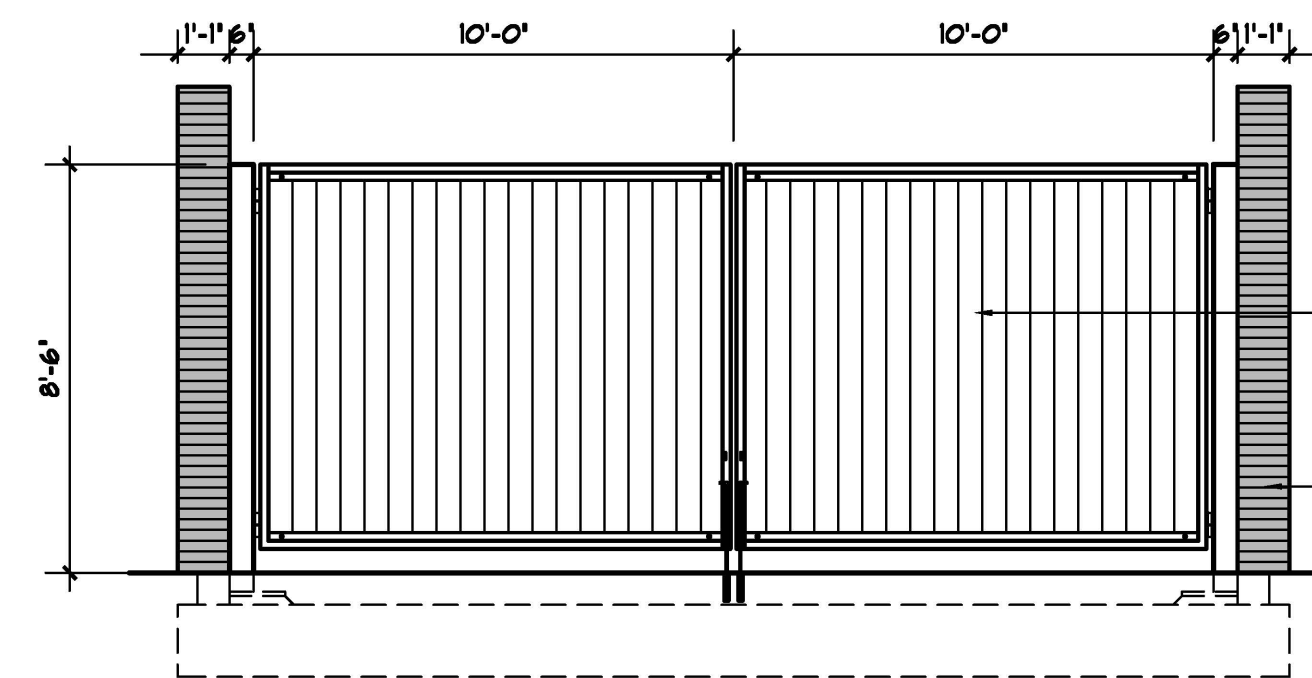
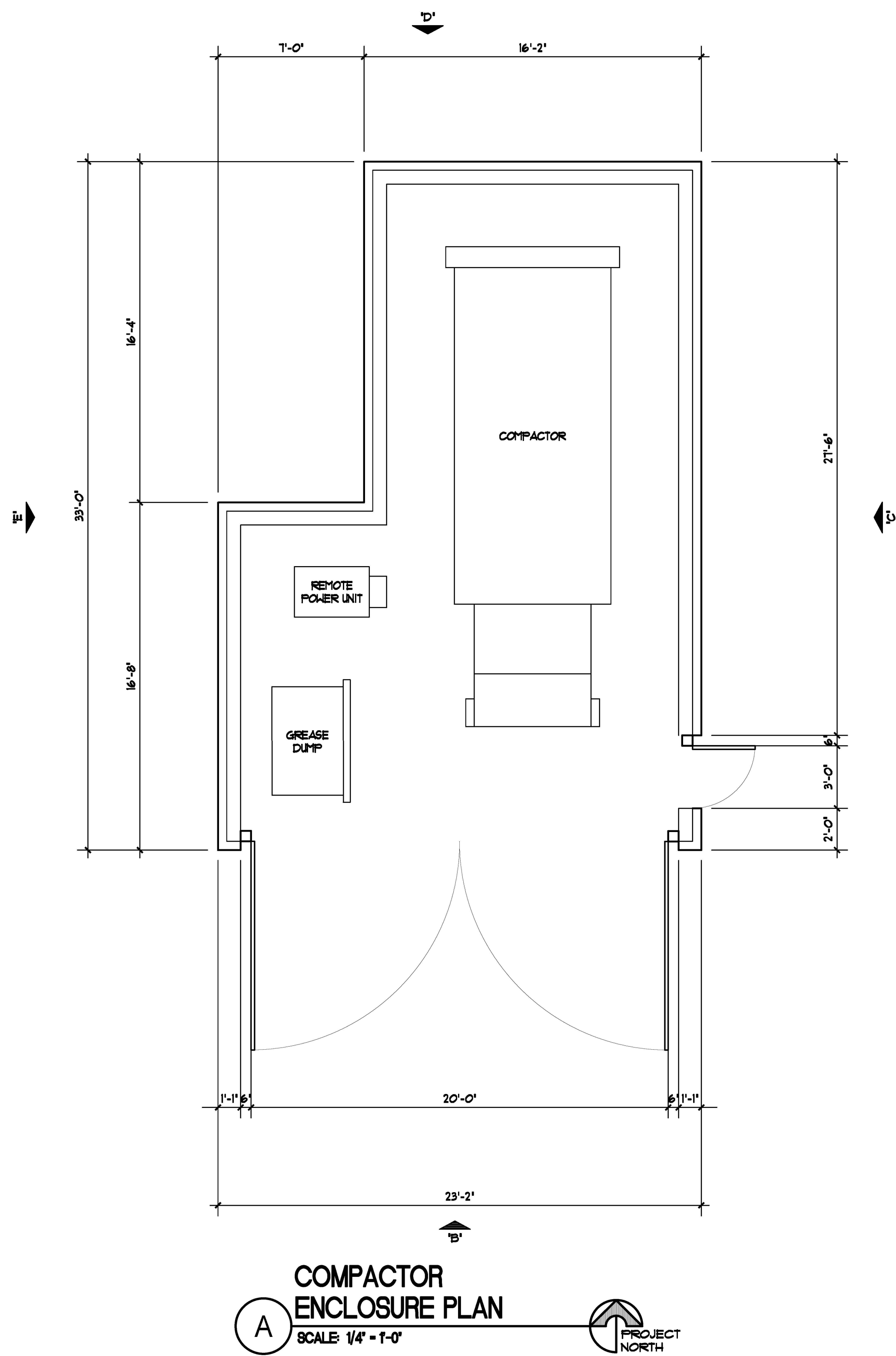
**Love's** Travel Stops  
A NEW TRAVEL STOP  
STORE NO. 963  
ALBUQUERQUE, NM

Revisions:	
No.	Date

Project No.: LVS-----  
Date: 12/21/22  
Sheet No.:

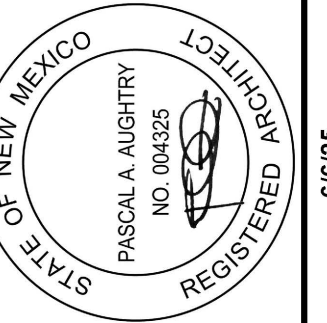
**A-4**  
OF: XX





Pascal Aughtry & Associates, PC

405.463.3494  
Fax 405.463.3493  
937 East Britton Road  
Oklahoma City, OK 73114  
pascalarch.com



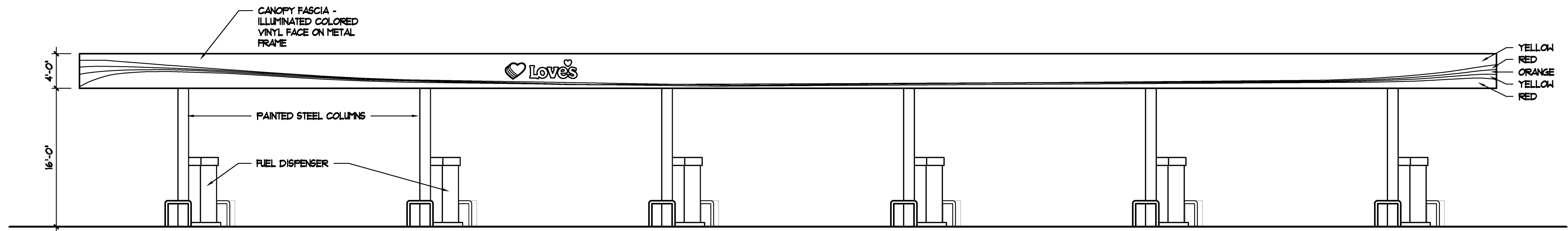
**Loves**  
Travel Stops

A NEW TRAVEL STOP  
STORE NO. 963  
ALBUQUERQUE, NM

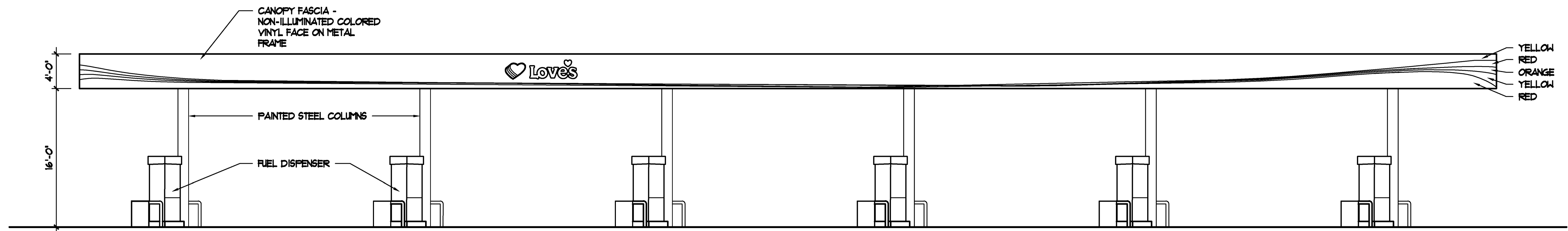
Revisions:	
No.	Date
-	-

Project No.: LVS-----  
Date: 12/21/22  
Sheet No.:  
**A-5**  
OF: XX

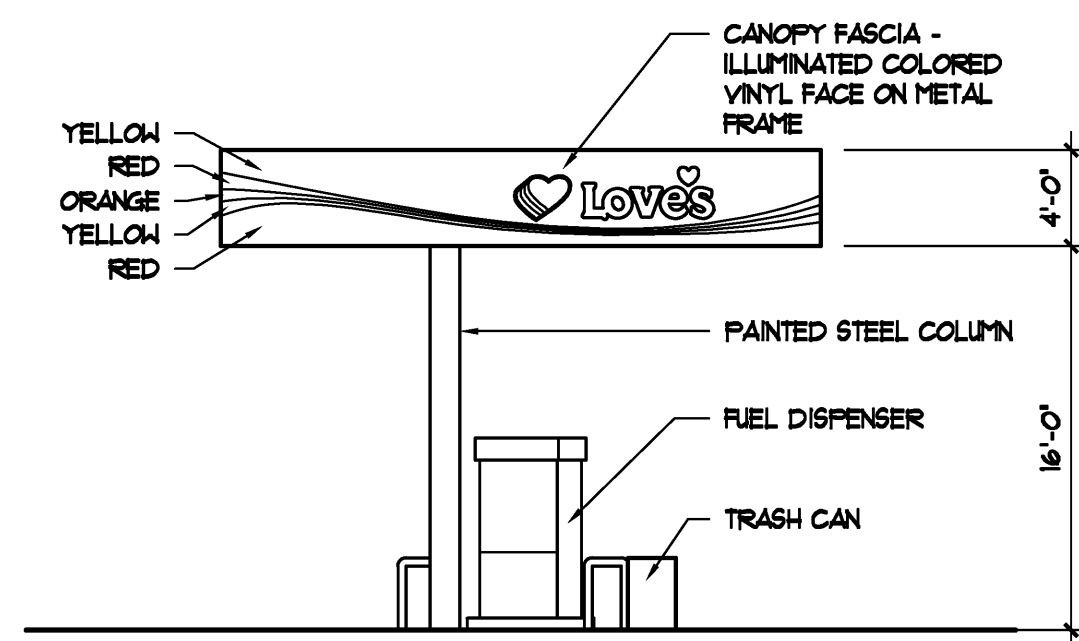




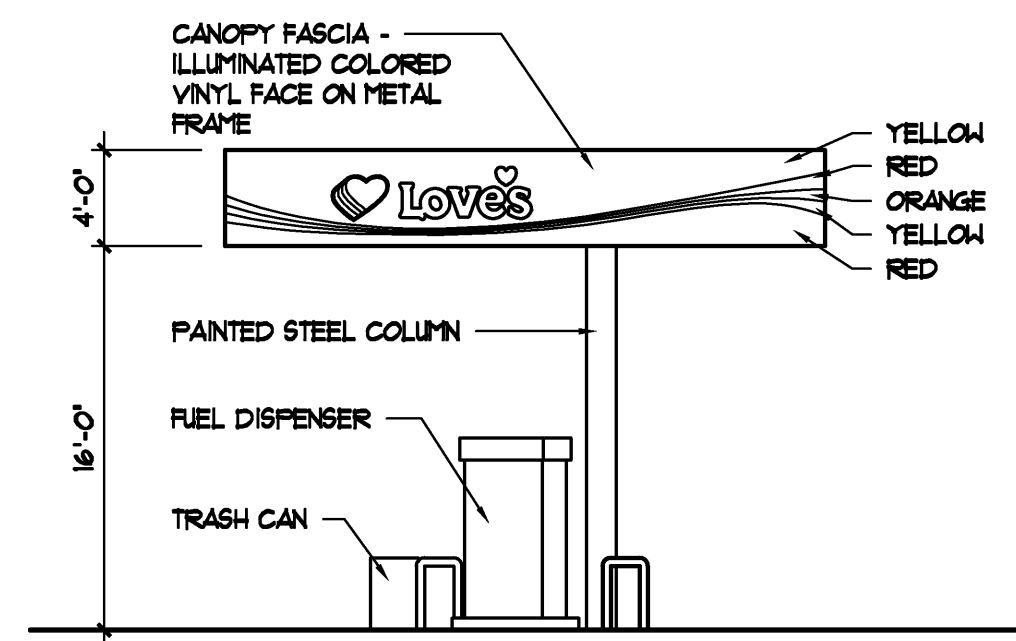
**A** CAR CANOPY  
WEST ELEVATION  
SCALE: 1/8" = 1'-0"



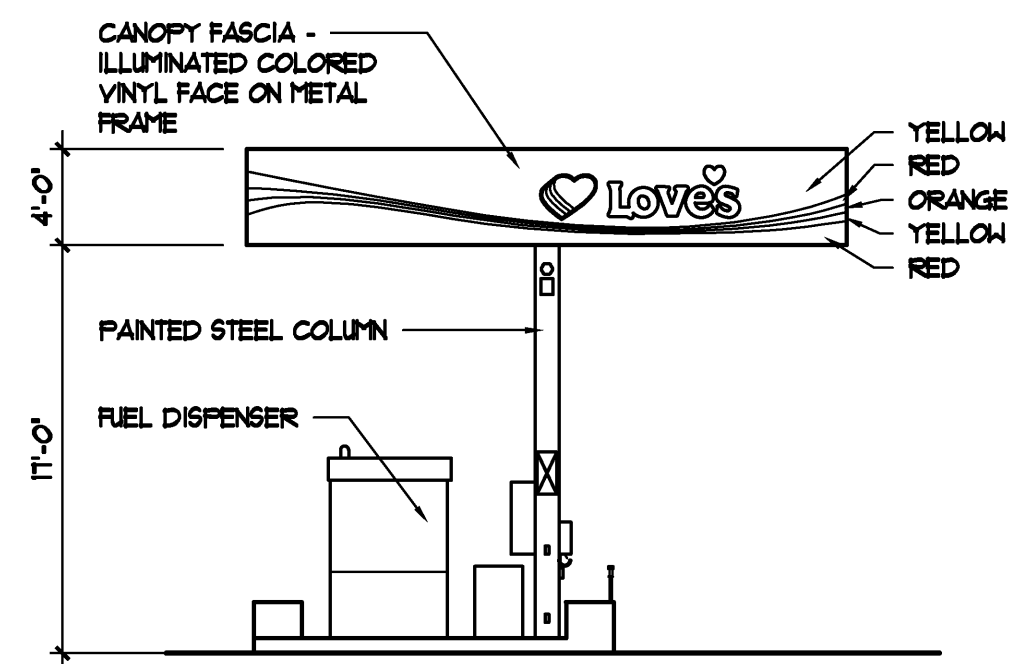
**B** CAR CANOPY  
EAST ELEVATION  
SCALE: 1/8" = 1'-0"



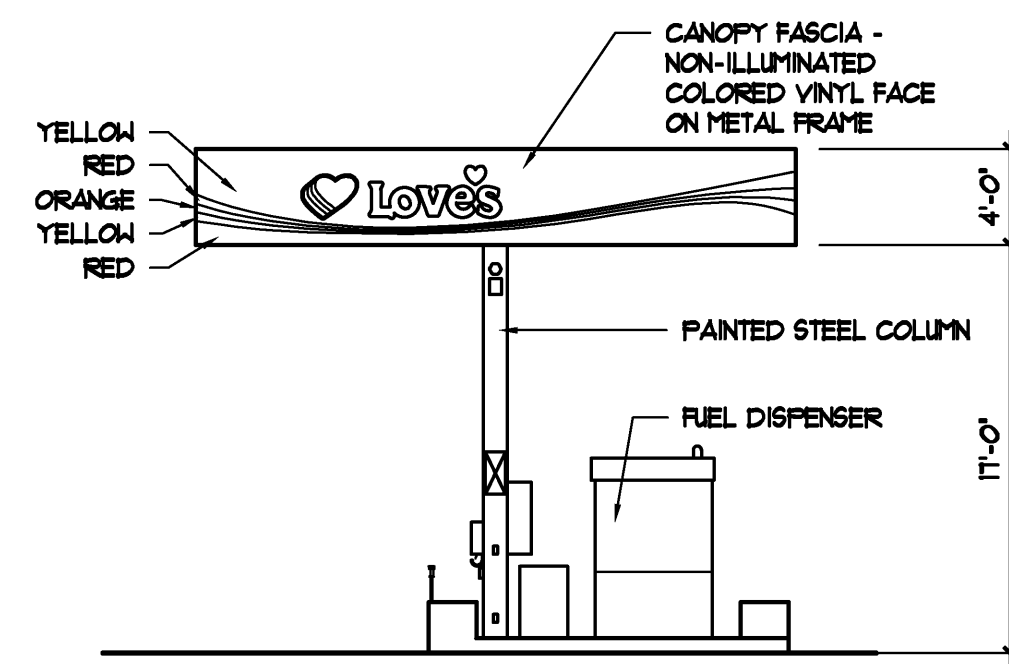
**C** CAR CANOPY  
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



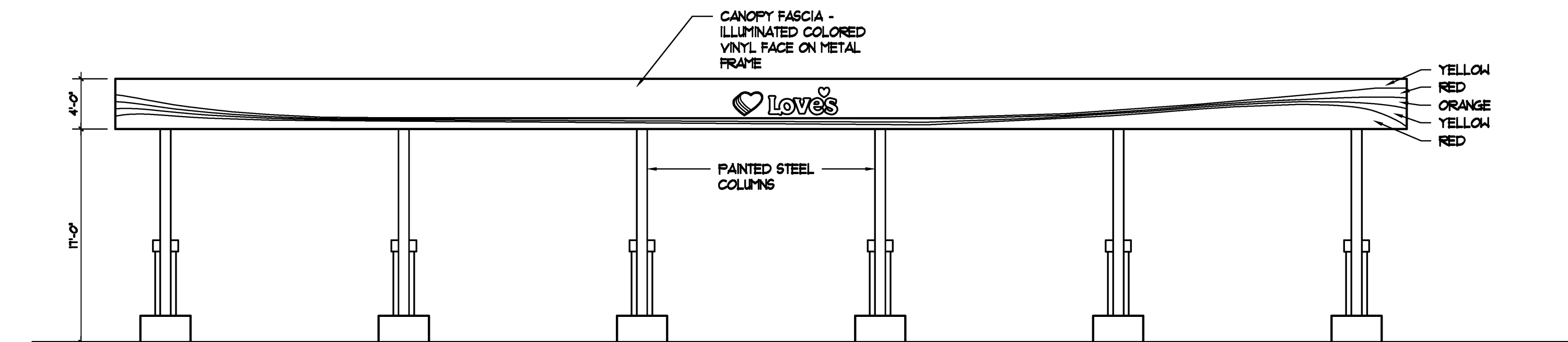
**D** CAR CANOPY  
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



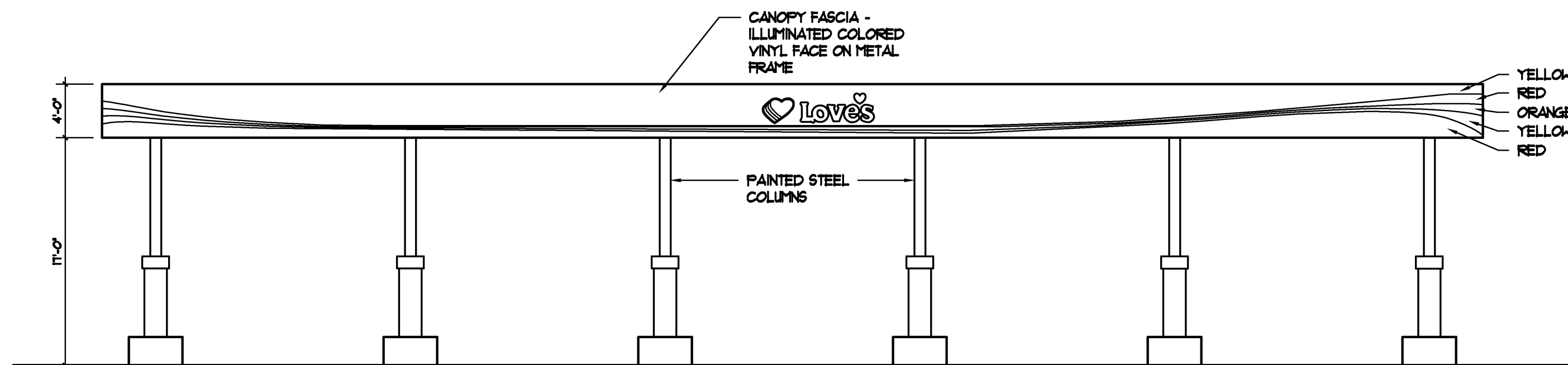
**E** TRUCK CANOPY  
NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**F** TRUCK CANOPY  
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

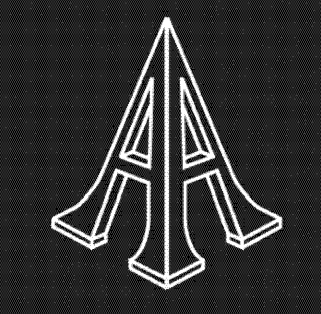


**G** TRUCK CANOPY  
WEST ELEVATION  
SCALE: 1/8" = 1'-0"

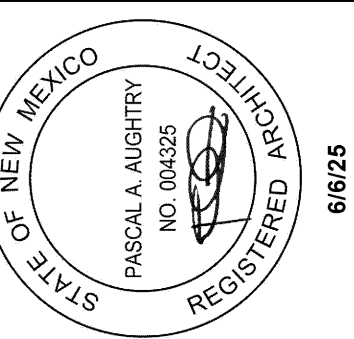


**H** TRUCK CANOPY  
EAST ELEVATION  
SCALE: 1/8" = 1'-0"

NOTE:  
PER EPC NOTICE OF DECISION, LIGHTING IN THE CANOPIES WILL  
MEET REQUIREMENTS OF ID0 4-3(d)(17)(D)



Pascal Aughtry & Associates, PC  
405.463.3494  
Fax 405.463.3493  
937 East Britton Road  
Oklahoma City, OK 73114  
pascalarch.com



A NEW TRAVEL STOP  
STORE NO. 963  
ALBUQUERQUE, NM  
**Love's**  
Travel Stops

Revisions:	
No.	Date

Project No.: LVS-----  
Date: 12/21/22  
Sheet No.:  
**A-6**  
OF:

CANOPY ELEVATIONS













# PR-2022-007103\_SI-2024-00922\_Site\_Plan\_Aproved\_5-14-2025

Final Audit Report

2025-07-14

Created:	2025-06-12
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAEqc_ozd4JrhccgykBC1FuEyOMNKkyW_f

## "PR-2022-007103\_SI-2024-00922\_Site\_Plan\_Approved\_5-14-2025" History

-  Document created by Jacob Boylan (jboylan@cabq.gov)  
2025-06-12 - 5:51:21 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature  
2025-06-12 - 5:54:56 PM GMT
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature  
2025-06-12 - 5:54:56 PM GMT
-  Document emailed to Jay Rodenbeck (jrodenbeck@cabq.gov) for signature  
2025-06-12 - 5:54:57 PM GMT
-  Document emailed to Whitney Phelan (wphelan@cabq.gov) for signature  
2025-06-12 - 5:54:57 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
2025-06-12 - 5:54:57 PM GMT
-  Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature  
2025-06-12 - 5:54:57 PM GMT
-  Email viewed by Ernest Armijo (earmijo@cabq.gov)  
2025-06-12 - 6:01:55 PM GMT
-  Document e-signed by Ernest Armijo (earmijo@cabq.gov)  
Signature Date: 2025-06-12 - 6:02:17 PM GMT - Time Source: server
-  Email viewed by Tiequan Chen (tchen@cabq.gov)  
2025-06-12 - 6:03:16 PM GMT




 Document e-signed by Tiequan Chen (tchen@cabq.gov)

Signature Date: 2025-06-12 - 6:04:48 PM GMT - Time Source: server

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-12 - 6:32:02 PM GMT

 Email viewed by Whitney Phelan (wphelan@cabq.gov)

2025-06-12 - 7:10:12 PM GMT

 Document e-signed by Whitney Phelan (wphelan@cabq.gov)

Signature Date: 2025-06-12 - 7:17:00 PM GMT - Time Source: server

 Email viewed by Jeff Palmer (jppalmer@cabq.gov)

2025-06-13 - 1:09:34 AM GMT

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)

2025-06-13 - 1:23:16 AM GMT

 Document e-signed by Jeff Palmer (jppalmer@cabq.gov)

Signature Date: 2025-06-13 - 2:35:09 PM GMT - Time Source: server

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)

2025-06-16 - 2:20:19 AM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-16 - 2:20:20 AM GMT

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)

2025-06-19 - 3:38:17 AM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-19 - 3:46:53 AM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-22 - 3:55:00 AM GMT

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)

2025-06-22 - 3:55:14 AM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-25 - 1:59:29 AM GMT

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)

2025-06-25 - 1:59:42 AM GMT

 Document e-signed by David Gutierrez (dggutierrez@abcwua.org)

Signature Date: 2025-06-26 - 10:17:07 PM GMT - Time Source: server



 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-28 - 10:59:50 AM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-06-30 - 11:08:43 PM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-07-06 - 6:37:01 PM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-07-09 - 11:36:32 PM GMT

 Email viewed by Jay Rodenbeck (jrodenbeck@cabq.gov)

2025-07-12 - 6:36:00 PM GMT

 Document e-signed by Jay Rodenbeck (jrodenbeck@cabq.gov)

Signature Date: 2025-07-14 - 9:18:37 PM GMT - Time Source: server

 Agreement completed.

2025-07-14 - 9:18:37 PM GMT