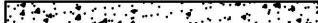
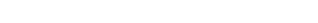
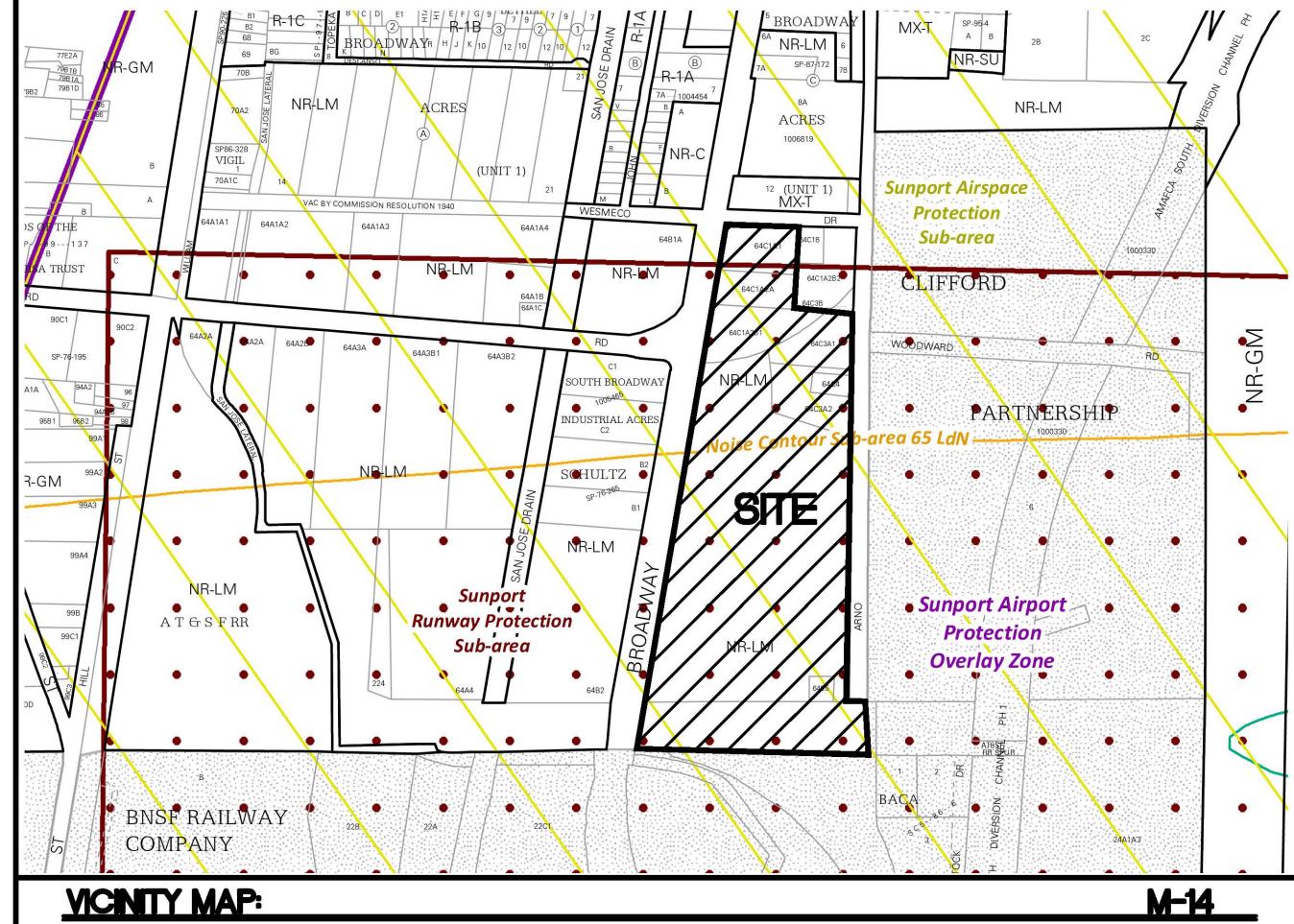


## **KEYED NOTES: TRAVEL CENTER (NEW)**

- 1 TRUCK CANOPY (51' x 108')
- 2 AUTO CANOPY (29' X 168')
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANKS
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 NOT USED
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 11 EXISTING INLET PROTECTION
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 13 EXISTING CAR PORT TO BE REMOVED
- 18 EXISTING NON-GATED ACCESS
- 19 EXISTING BUILDING TO BE REMOVED
- 20 EXISTING ABOVE GROUND STORAGE TANK TO BE REMOVED
- 23 EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR (REF. ARCHITECTUAL PLANS FOR DETAIL)
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 43 CROSS WALK STRIPING PER CROSSWALK  
DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 48 AREA LIGHTS (TYP) 30' MAXIMUM
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' OPAQUE (CMU) SCREEN WALL

## LEGEND

=====	CURB & GUTTER
-----	BOUNDARY LINE
-----	EASEMENT
-----	CENTERLINE
=====	RIGHT-OF-WAY
=====	BUILDING
	SIDEWALK
=====	SCREEN WALL
=====	RETAINING WALL
	STREET LIGHTS
-----	LANE
=====	STRIPING
=====	EXISTING CURB & GUTTER
-----	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
-----	EXISTING LANE
=====	EXISTING STRIPING
	EXISTING UNDISTURBED SOIL
	EXISTING ASPHALT
	ASPHALT & CONCRETE PAVEMENT
	SPILL CONTAINMENT AREA
	PARKING LOT LIGHT FIXTURE



**LEGAL DESCRIPTION**

LOT 64C2 OF MRGCD MAP NO. 44

## SITE DATA

PROPOSED USAGE:	INDUSTRIAL
ZONE:	NR-LM
LOT AREA:	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE, N.M. 87105

## **KEYED NOTES: FUELING DEPOT (TO REMAIN)**

DE  
ETAILS  
OWNER

## VARIANCES:

VARIANCE TO ALLOWABLE SIGN AREA (CAT SCALE SIGN, 107.75 SF)  
VARIANCE TO ALLOWABLE SIGN AREA (PRICER SIGNS, 148.33 SF)  
NUMBER OF FREESTANDING SIGNS (5 SIGNS) INCREASE OF 2 SIGNS  
NUMBER OF ELECTRONIC SIGNS (2 SIGNS) INCREASE OF 1 SIGN

---

**NOTE:**

**NOTE:**  
1 - ALL APO 3-3(C) USE REGULATIONS ARE MET/BEING FOLLOWED  
3-3(B)(1) AIR SPACE PROTECTION SUB-AREA: THIS SUB-AREA  
UNDERLIES A HORIZONTAL SURFACE ESTABLISHED AT A HEIGHT OF  
150 FEET ABOVE THE HIGHEST POINT OF THE USABLE LANDING  
AREA AT EACH AIRPORT, RESULTING IN A HORIZONTAL SURFACE AT  
5,504.9 FEET IN ELEVATION FOR THE ALBUQUERQUE INTERNATIONAL  
SUNPORT. THE BASE OF THE ELEVATION IS OVER 650' BELOW THE  
ELEVATION OF RUNWAY

2 - A CUMULATIVE IMPACT ANALYSIS WAS CONDUCTED PURSUANT TO 5-2(E) AND THE IMPACTS OF THIS DEVELOPMENT ARE MITIGATED TO THE GREATEST EXTENT PRACTICABLE. THE TIS HAS BEEN SUBMITTED AND REVIEWED BY THE COA, NMDOT AND BERNALILLO COUNTY. THE MITIGATION MEASURES ARE BEING REVIEWED BY THE THREE AGENCIES AND WILL BE MADE PART OF THE APPROVAL OF THE EXPANSION OF THE TRAVEL CENTER PRIOR TO THE FINAL APPROVAL OF THE TIS.

3 – THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD.

4 - SIGN MATERIAL AND ANY FEATURES THERE IN COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

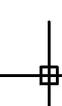
5 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK

5 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS

6 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

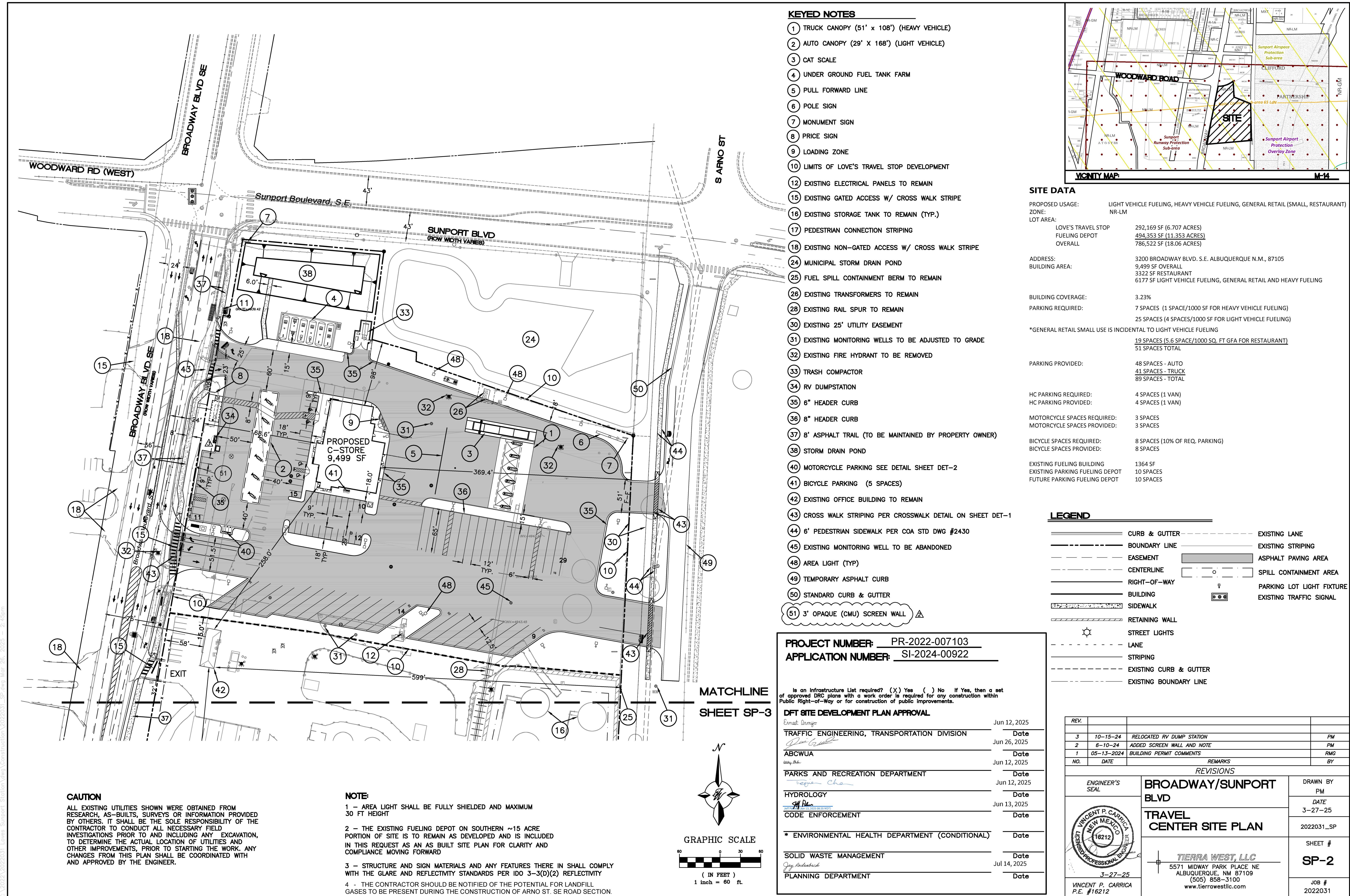
- 7 – THE PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND THE AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT
- 8 - THE CONTRACTOR SHOULD BE NOTIFIED OF THE POTENTIAL FOR LANDFILL GASES TO BE PRESENT DURING THE CONSTRUCTION OF A NEW

LANDFILL GASES TO BE PRESENT DURING THE CONSTRUCTION OF ARNO ST. SE ROAD SECTION.

REV.			
NO.	DATE	REMARKS	BY
3	10-15-24	RELOCATED RV DUMP STATION	PM
2	6-10-24	ADDED SCREEN WALL, CHANGED NOTE 48	PM
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG
REVISIONS			
ENGINEER'S SEAL		<b>BROADWAY/SUNPORT BLVD</b>	DRAWN BY PM
		<b>OVERALL SITE PLAN</b>	DATE 3-27-25
3-27-25			2022031_SP
VINCENT P. CARRICA P.E. #16212		<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 <a href="http://www.tierrawestllc.com">www.tierrawestllc.com</a>	SHEET # <b>SP-1</b>
VINCENT P. CARRICA P.E. #16212			JOB # 2022031

**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.





Approved for access by the Solid Waste Department.  
All containers must be made accessible for pick up  
between the hours of 5AM and 8PM.

Reviewer: *Herman Gallegos*

Date: 06-06-24

\*\*Revolving declined\*\*

\*\*34-yd compactor\*\*

WOODWARD RD (WEST)

BROADWAY BLVD SE

S ARNO ST

SUNPORT BLVD (ROW WIDTH VARIES)

18'

24'

32'

6.0'

15'

24'

18'

25'

23'

60'

15'

98'

8'

18' TYP.

40'

50'

169'

8'

10'

18' TYP.

40'

52'

258'

18' TYP.

29'

12' TYP.

65' TYP.

15'

12' TYP.

6' TYP.

18'

14'

10'

28'

599'

15.0'

58'

10'

15.0'

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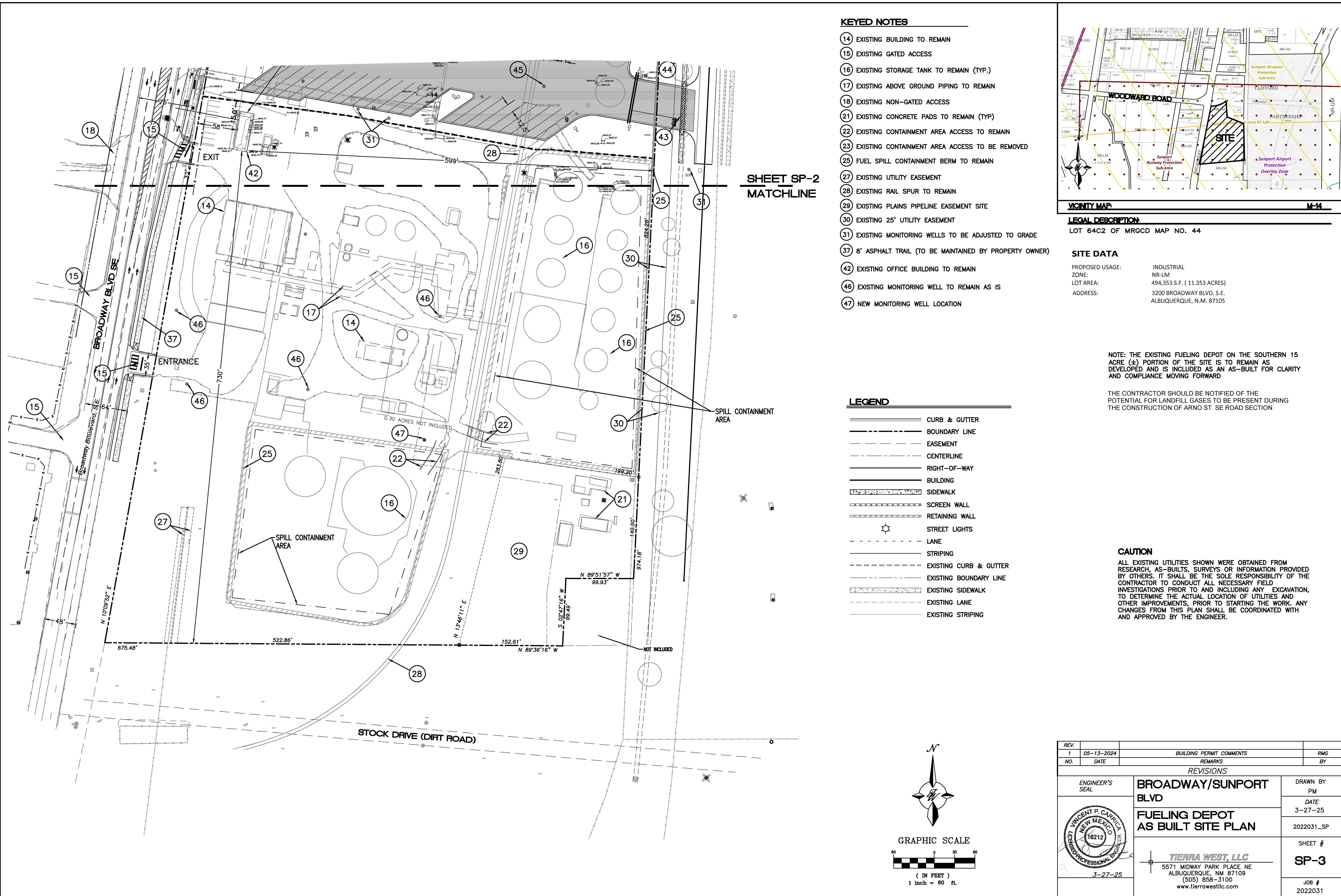
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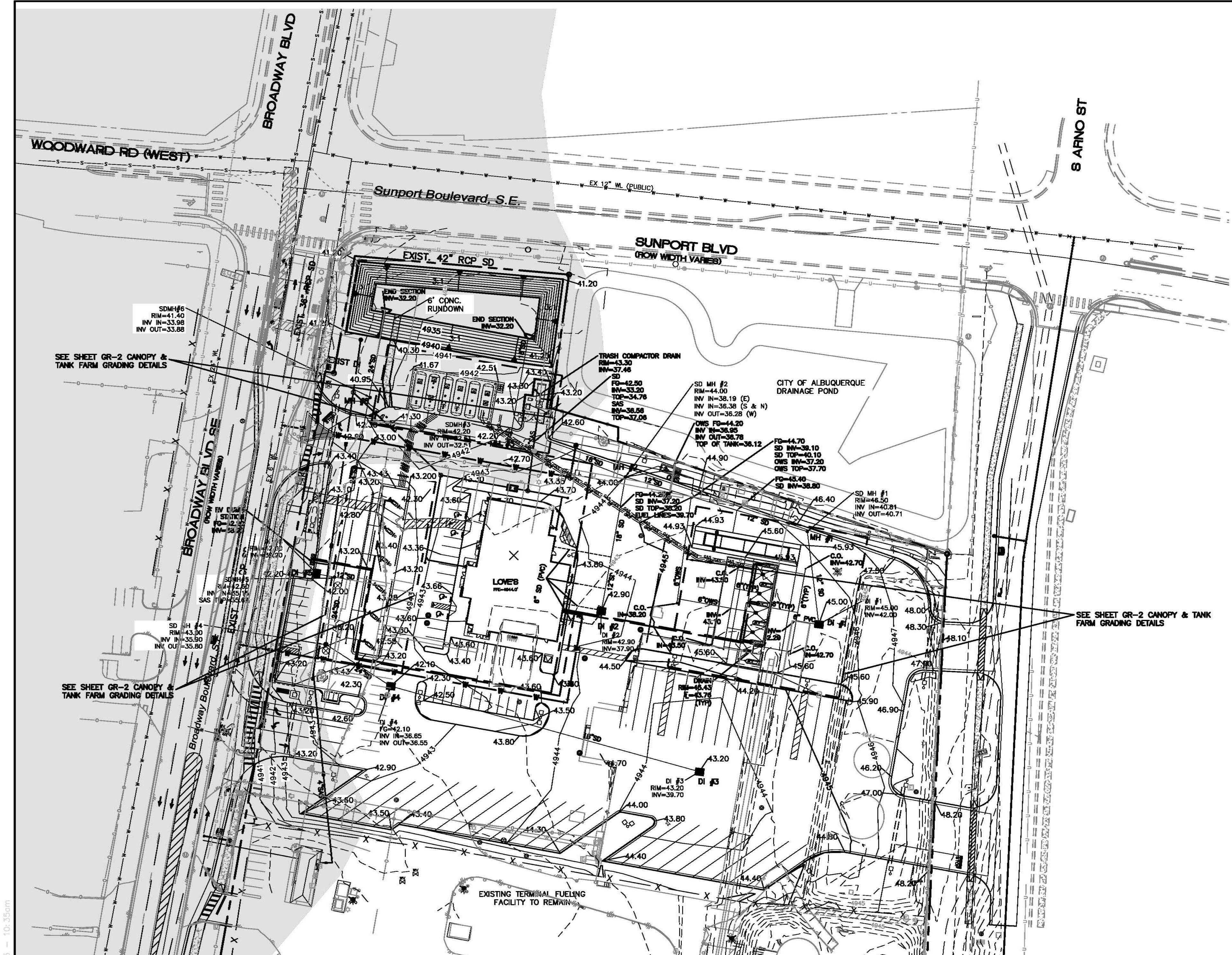
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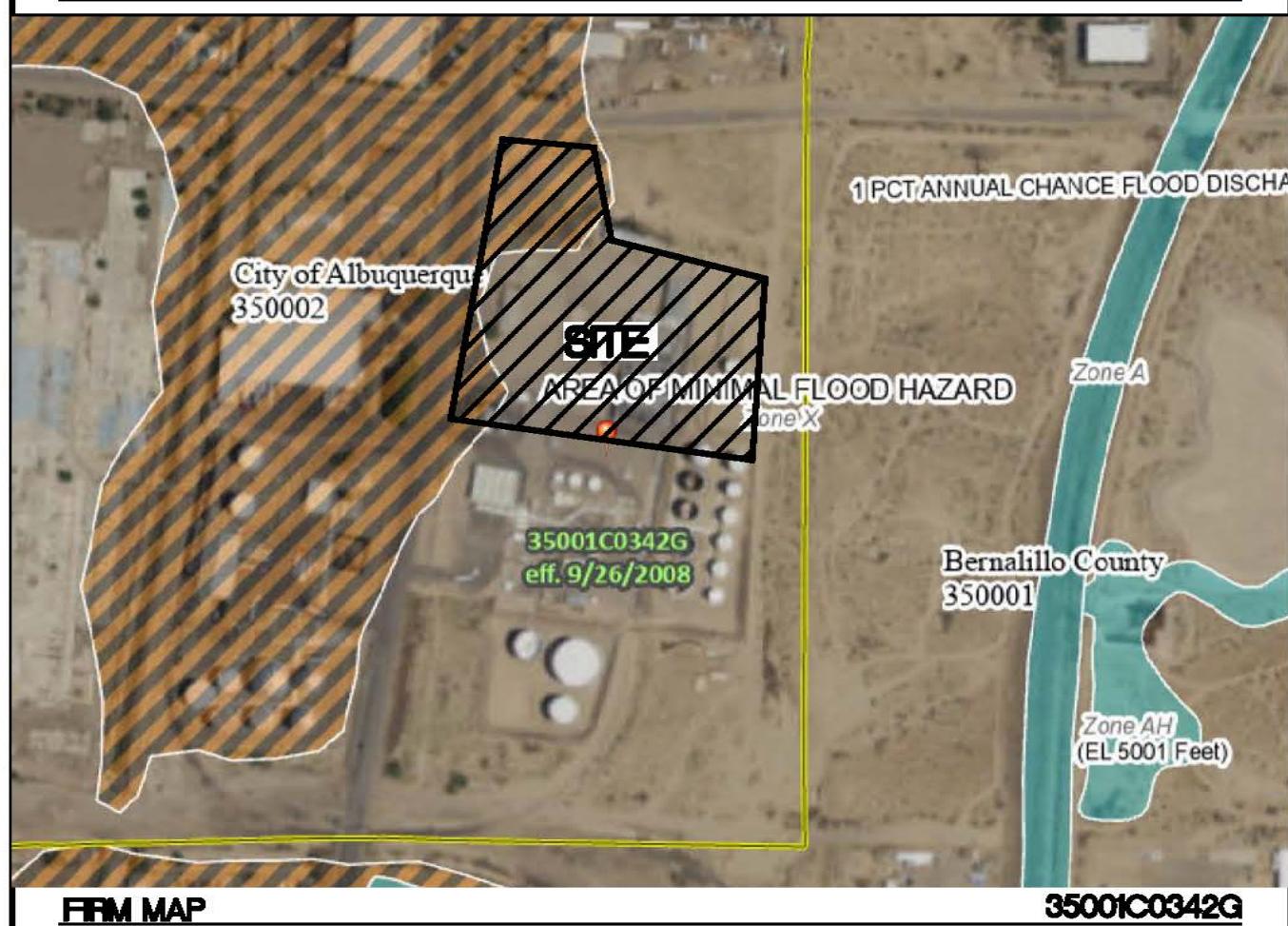
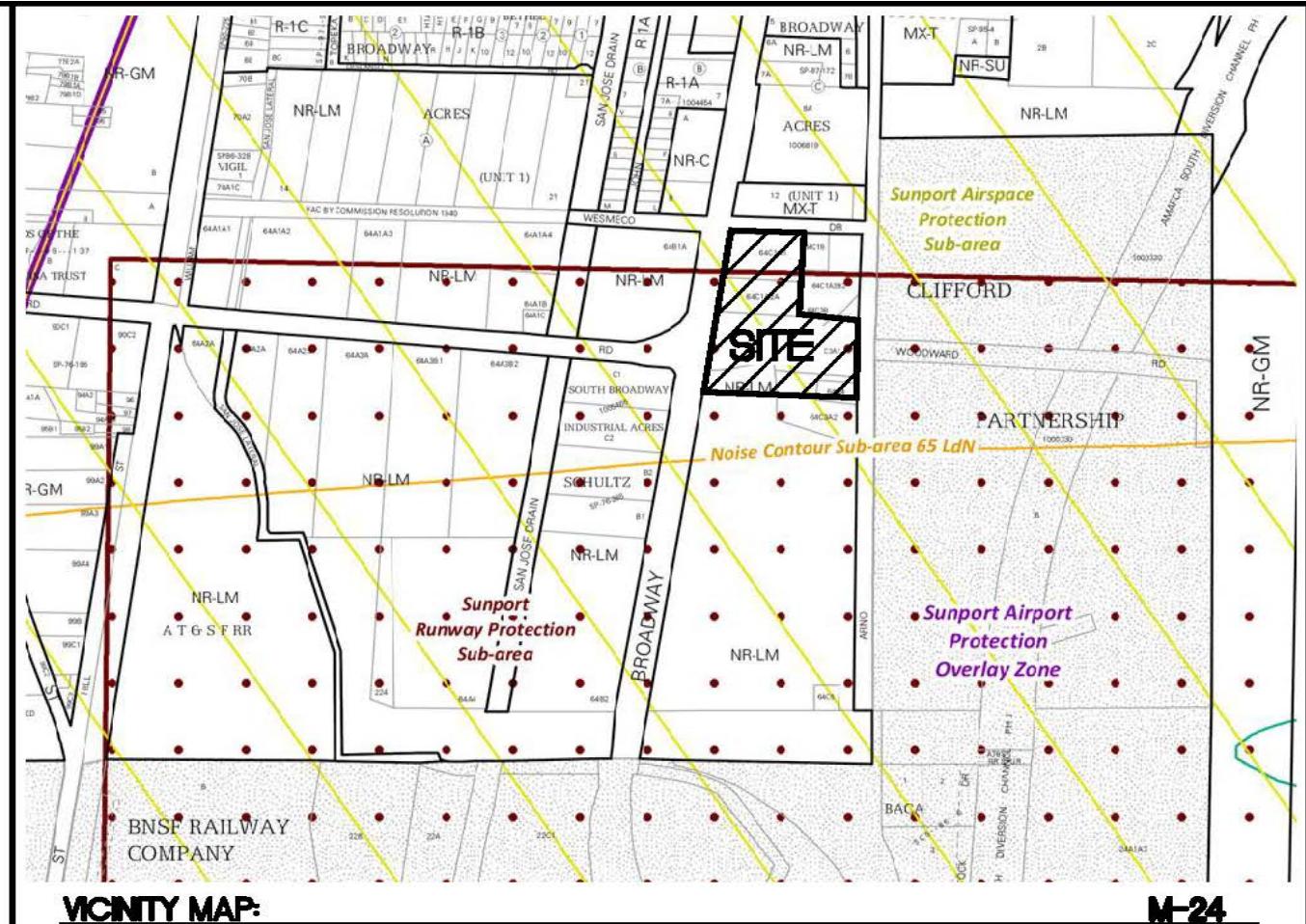


#### NOTICE TO CONTRACTORS

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- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
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- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

#### EROSION CONTROL NOTES

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#### STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH#1	6' DIA	4946.50	4940.81 (IN) 4940.71 (OUT)
MH#2	4' DIA	4944.00	4938.19 (EAST) 4936.38 (SOUTH & NORTH) 4936.28 (WEST)
MH#3	4' DIA	4942.20	4932.61 (IN) 4932.51 (OUT)
MH#4	4' DIA	4943.00	4935.90 (IN) 4935.80 (OUT)
MH#5	4' DIA	4942.60	4935.15 (IN) 4935.65 (SAS TOP)
MH#6	4' DIA	4941.40	4933.98 (IN) 4933.88 (OUT)
DI #1	TYPE D	4945.00	4942.00
DI #2	TYPE D	4942.90	4937.90
DI #3	TYPE D	4943.20	4936.65 (IN) 4936.55 (OUT)
DI #4	TYPE D	4942.10	4939.70
DI #5	TYPE D	4942.00	4939.20

#### LEGEND

CURB & GUTTER
BOUNDARY LINE
RIGHT-OF-WAY
BUILDING
SIDEWALK
CONTOUR MAJOR
CONTOUR MINOR
SPOT ELEVATION
FLOW ARROW
EXISTING CURB & GUTTER
EXISTING BOUNDARY LINE
EXISTING CONTOUR MAJOR
EXISTING CONTOUR MINOR
PARKING LOT LIGHT FIXTURE
AREA WITH REDUCED FLOOD RISK DUE TO LEVEE

#### WEIGHTED E METHOD

Weighted E Method												
Zone: Zone 2 Developed Basins												
Basin	Basin Area			Treatments				100-Year				
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (acres)	Volume (ac-ft)	Flow cfs		
Loves	292,169.0	6.71	0.010	0%	25%	1.68	0%	75%	5.03	1,948	1,069	25.79
Total	292,169.0	6.707	0.01048	0.00	1.677	0.000	5.030	1,069				

#### EQUATIONS:

$$\text{Weighted E} = E_a A_a + E_b A_b + E_c A_c + E_d A_d / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted D} * \text{Total Area}$$

$$\text{Flow} = Q_a A_a + Q_b A_b + Q_c A_c + Q_d A_d$$

$$V_{100\text{-DAY}} = V_{85\text{-DAY}} + A_0 (P_{100\text{-DAY}} - P_{85\text{-DAY}}) / 12 \text{ INFT}$$

$$P_{100\text{-DAY}} = 3.67 \text{ IN}$$

$$P_{85\text{-DAY}} = 2.20 \text{ IN}$$

$$V_{100\text{-DAY}} = 74,260 \text{ CU.FT.}$$

**CITY OF ALBUQUERQUE**  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION APPROVED**

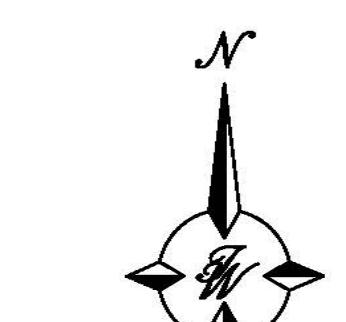
DATE: 6/10/2025  
BY: *Signature*  
H2OdeTmst # M14D038

NOTE:  
SEE SHEET GR-2 FOR BENCHMARK INFORMATION  
FOR OVERALL SITE.

**DRAINAGE NARRATIVE:**  
THE PROPOSED LOVE'S TRAVEL CENTER IS TO BE CONSTRUCTED ON THE NORTHERN 6.71 ACRES OF THE EXISTING TERMINAL FUELING FACILITY. THE SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS, PAVING AND ABOVE GROUND FUEL STORAGE TANKS. THE SITE CURRENTLY GENERALLY DRAINS FROM EAST TO WEST WITH SOME ON SITE PONDING AND SOME RUNOFF ENTERING THE BROADWAY BOULEVARD RIGHT OF WAY. THE EXISTING FACILITIES WITHIN THE NORTHERN 6.71 ACRES WILL BE REMOVED AND THE NEW LOVE'S CONSTRUCTED WITH AUTO AND TRUCK FUELING AREAS, A C-STORE, A CAT SCALE, AND ASSOCIATED PARKING FIELDS. DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO A PROPOSED RETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND WILL HAVE THE CAPACITY TO RETAIN THE 100-YEAR, 10-DAY STORM VOLUME.

DRAINAGE ON THE EXISTING TERMINAL FUELING FACILITY SOUTH OF THE LOVE'S TRAVEL CENTER DEVELOPMENT WILL REMAIN AS IT CURRENTLY EXISTS.

A PORTION OF THE NORTHWEST CORNER OF THE SITE FALLS WITHIN AN "AREA WITH REDUCED FLOOD RISK DUE TO LEVEE" PER FEMA MAP NO. 35001C03426 (EFF. 9/26/2008). NO PROPOSED ABOVE GROUND BUILDINGS OR FUELING CANOPIES WILL BE AFFECTED BY THIS AREA OF REDUCED FLOOD RISK. THE PROPOSED FUEL TANK FARM (UNDERGROUND) ACCOUNTS FOR THE REDUCED FLOOD RISK AND WILL NOT BE ADVERSELY AFFECTED.



( IN FEET )  
1 inch = 60 ft.

REV.	05-13-2024	BUILDING PERMIT COMMENTS	RMG
NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		LOVE'S BROADWAY/SUNPORT BLVD	
		DRAWN BY sb	
		DATE 05/29/2025	
		GRADING PLAN	
		TIERRA WEST, LLC	
		5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	
		SHEET # GR-1	
		JOB # 2022031	

LEGEND	
—	CURB & GUTTER
— - -	BOUNDARY LINE
—	RIGHT-OF-WAY
—	BUILDING
— - -	SIDEWALK
5010	CONTOUR MAJOR
5011	CONTOUR MINOR
x 5048.25	SPOT ELEVATION
—	FLOW ARROW
— - -	EXISTING CURB & GUTTER
— - -	EXISTING BOUNDARY LINE
— - -	EXISTING CONTOUR MAJOR
— - -	EXISTING CONTOUR MINOR



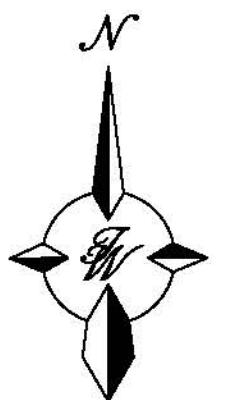
NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

#### NOTICE TO CONTRACTORS

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GRAPHIC SCALE  
(IN FEET)  
1 inch = 80 ft.

THIS DRAWING IS THE PROPERTY OF THE CITY OF ALBUQUERQUE. IT IS TO BE USED FOR THE EXCLUSIVE PURPOSE OF THE APPROVAL OF THE PLANS. IT IS NOT TO BE COPIED, USED FOR ANY OTHER PURPOSE, OR MADE PUBLIC.

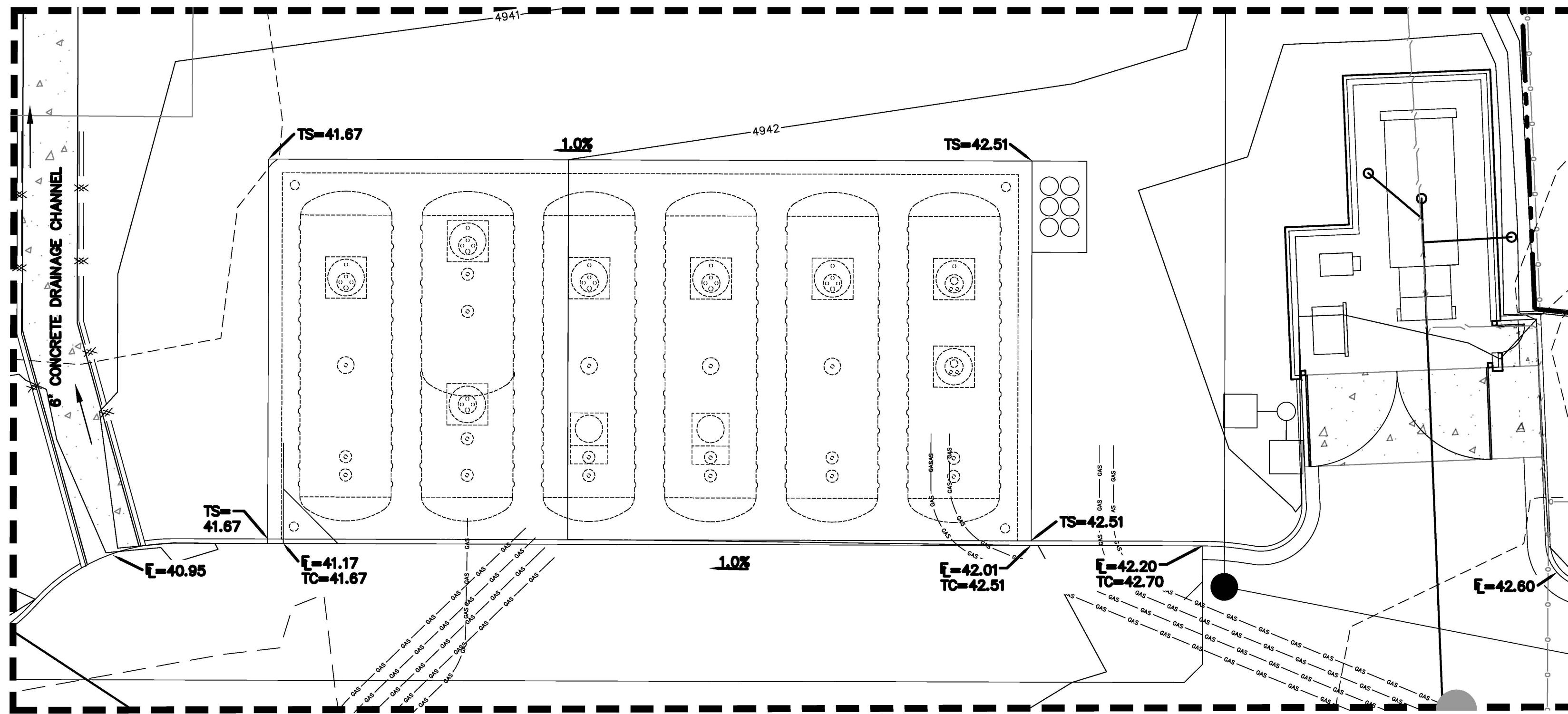
A.G.R.S. MONUMENT "7-M4"  
STANDARD C.O.A. ALUMINUM DISC  
FOUND IN PLATE  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE--NAD 1983)  
N=1,471,713.601 US SURVEY FEET  
E=1,281,368.623  
PUBLISHED EL=4048.9 US SURVEY FT (NAD 1983)  
GROUND TO GRID FACTOR=.0000033545  
DELTA ALPHA ANGLE=013°42.07'

City of Albuquerque Planning Department Development Review Services	
HYDROLOGY SECTION	
<b>APPROVED</b>	
DATE:	6/10/2025
BY:	<i>Author Name</i>
HydroTerra	
THE APPROVAL OF THESE PLANS REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT BE CONSTRUED TO CONSTITUTE A GRANT OF ANY RIGHTS, OR AS A CONSENT TO ANY ACTS WHICH MAY BE IN VIOLATION OF THE SAME. NO CHANGES, MODIFICATIONS, OR ALTERATIONS TO THE PLANS, WHETHER MAJOR OR MINOR, SHALL NOT BE MADE WITHOUT AUTHORIZATION.	
THE APPROVAL OF THESE PLANS REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN ISSUED.	

#### CAUTION

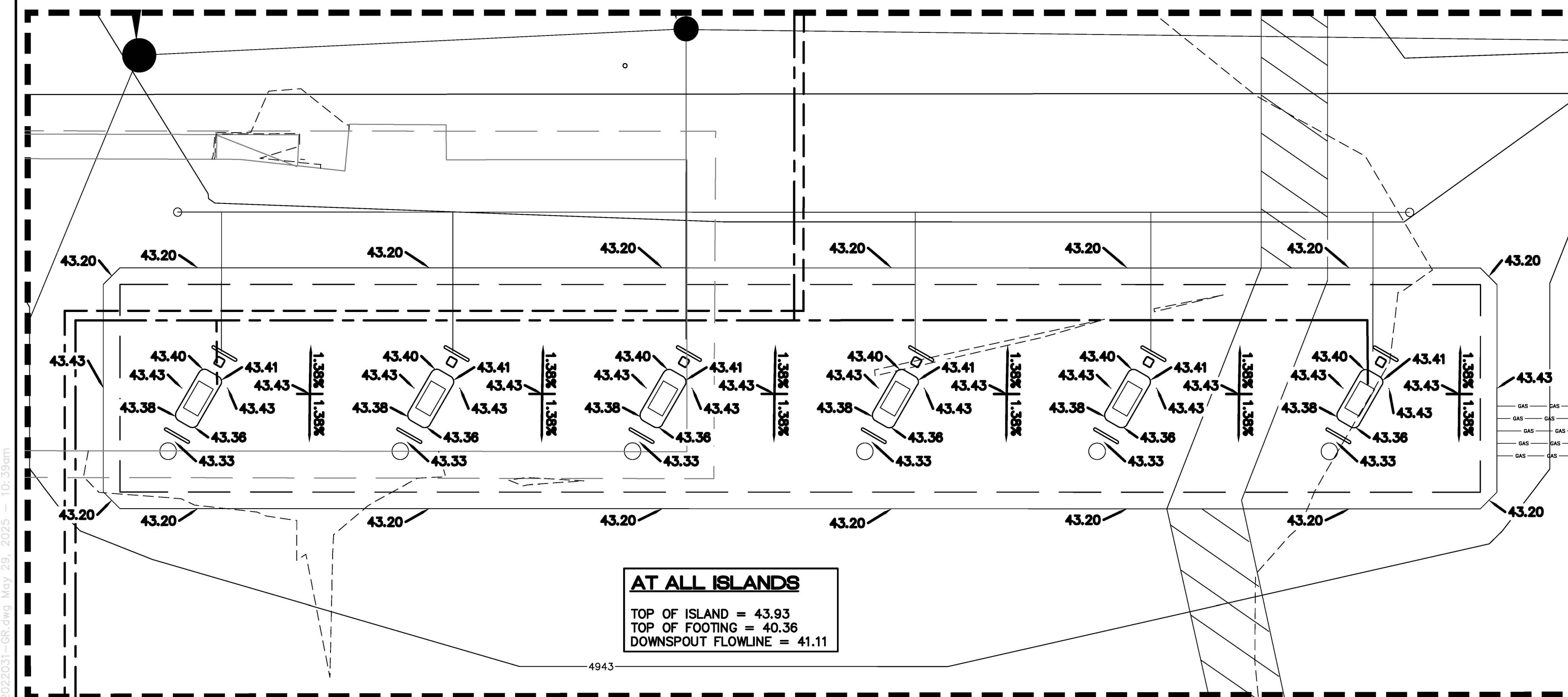
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ENGINEER'S SEAL	BROADWAY/SUNPORT BLVD	DRAWN BY PM
	GRADING AND DRAINAGE PLAN	DATE 05/29/2025
		2022031_GR PLAN
	TIERRA WEST, LLC	SHEET # GR-2
	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2022031



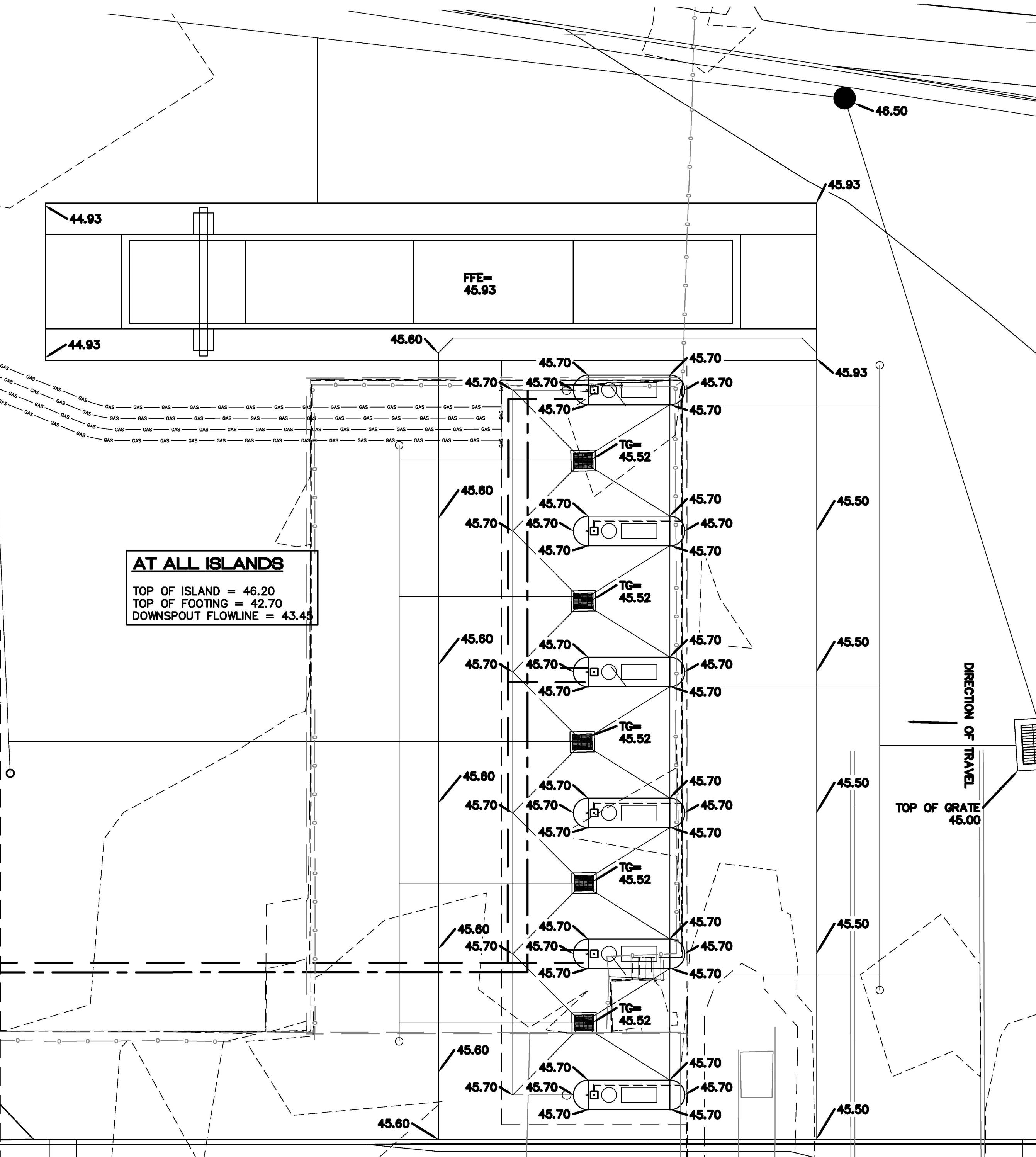
**UNDERGROUND STORAGE TANKS (UST'S) SLAB GRADING DETAILS**

1"=10



**AUTO ISLAND GRADING DETAIL**  
1"=10' SCALE

**City of Albuquerque  
Planning Department  
Development Review Services  
HYDROLOGY SECTION  
APPROVED**

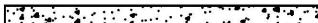


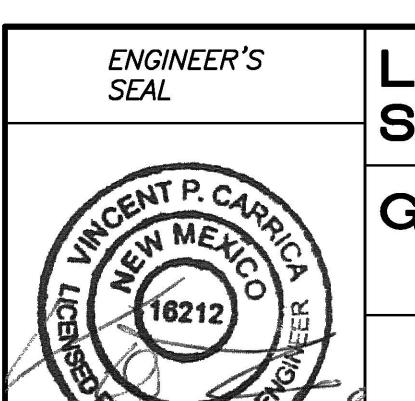
# **TRUCK CANOPY GRADING DETAIL**

**1"=10' SCALE**

**1"=10'**

## LEGEND

=====	CURB & GUTTER
-----	BOUNDARY LINE
=====	RIGHT-OF-WAY
=====	BUILDING
	SIDEWALK
----- 5010 -----	CONTOUR MAJOR
----- 5011 -----	CONTOUR MINOR
x 5048.25	SPOT ELEVATION
----->	FLOW ARROW
-----	EXISTING CURB & GUTTER
-----	EXISTING BOUNDARY LINE
----- 5010 -----	EXISTING CONTOUR MAJOR
-----	EXISTING CONTOUR MINOR
-----	PARKING LOT LIGHT FIXTURE



# MOVE'S BROADWAY/ UNPORT BLVD

---

DRAWN BY  
sb

---

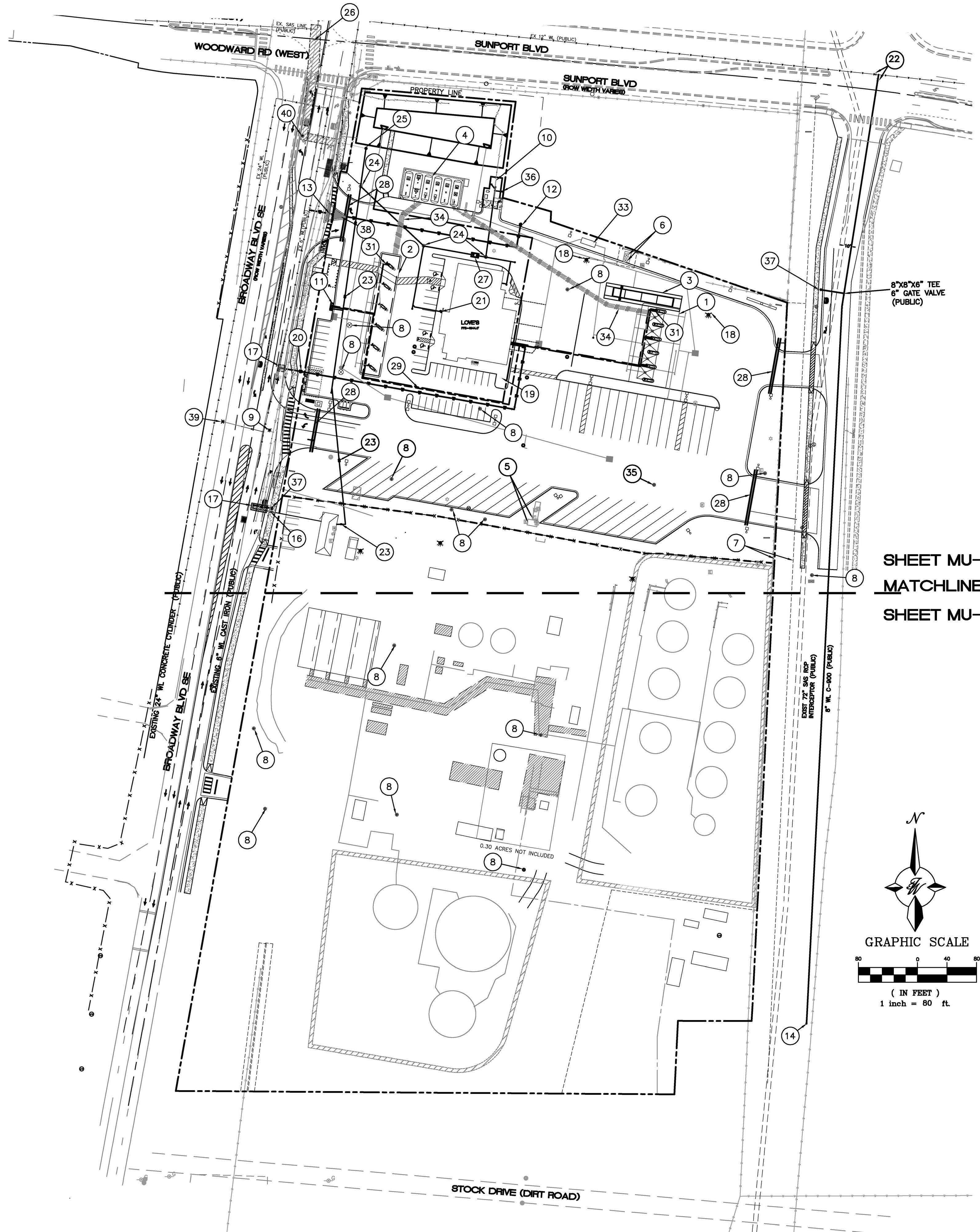
DATE  
05/29/2025

SHEET #

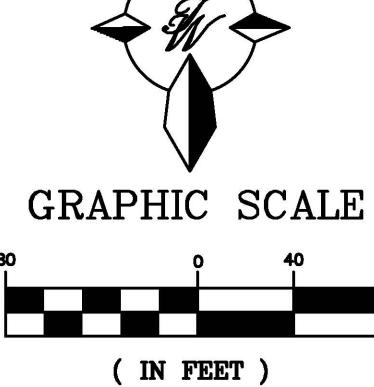
***TIERRA WEST, LLC***  
5571 MIDWAY PARK PL NE  
BUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
[www.tierrawestllc.com](http://www.tierrawestllc.com)

*JOB #*  
2022031





**SHEET MU-2  
MATCHLINE  
SHEET MU-3**



**KEYED NOTES**  
**PRIVATE**

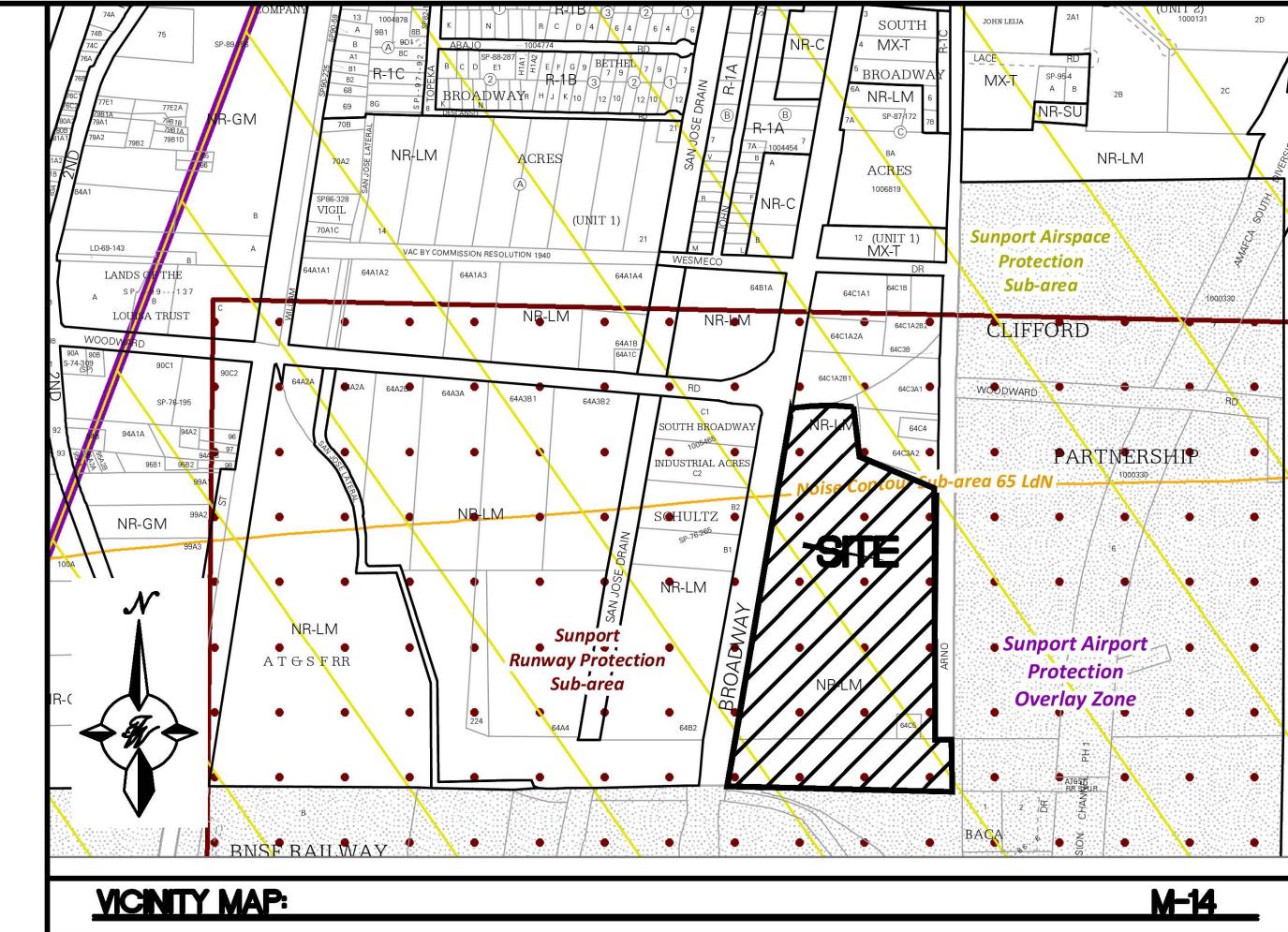
- 1 TRUCK CANOPY (51' x 108')
- 2 AUTO CANOPY (29' x 168')
- 3 CAT SCALE
- 4 UNDERGROUND FUEL TANK FARM
- 5 EXISTING ELECTRICAL PANELS TO REMAIN
- 6 EXISTING TRANSFORMERS TO REMAIN
- 7 EXISTING 25' UTILITY EASEMENT
- 8 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE (PRIVATE)
- 10 TRASH COMPACTOR (SEE ARCH. PLANS)
- 11 AIR/WATER AND RV DUMPSTATION
- 12 NEW FIRE HYDRANT
- 13 6" GATE VALVE (PRIVATE) PER COA STD. DWG #2340
- 18 REMOVE EXISTING FIRE HYDRANT
- 19 TRANSFORMER
- 21 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
- 23 4" SANITARY SEWER CLEAN OUT
- 24 4" DIA. SANITARY SEWER MANHOLE (PRIVATE)
- 25 SANITARY SEWER LIFT STATION (PRIVATE)
- 27 GREASE TRAP
- 28 2-6" PVC CONDUIT (SCH. 40)
- 29 1" WATERLINE
- 34 UNDER GROUND FUEL LINES
- 33 OIL/WATER SEPARATOR
- 31 POST HYDRANT
- 35 EXISTING MONITORING WELL TO BE ABANDONED
- 36 4" DUMPSTER DRAIN VENT PER UPC-901.2 AND 1001.2, VENT PIPE SHALL EXTEND NOT LESS THAN 10 FT ABOVE SURROUNDING GRADE AND BE SECURELY SUPPORTED (UPC-906.4)
- 38 6" GATE VALVE (PRIVATE)

**PUBLIC**

- 9 EXISTING FIRE HYDRANT TO BE RELOCATED
- 13 6" GATE VALVE (PUBLIC)
- 14 8" WATER LINE CAP (PUBLIC)
- 16 SINGLE WATER METER, 12"
- 17 REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD DWG #2405B
- 20 SINGLE WATER METER, 2"
- 22 8" PUBLIC GATE VALVE
- 26 EXISTING SANITARY SEWER MANHOLE (PUBLIC)
- 37 FIRE HYDRANT
- 39 EXISTING FIRE HYDRANT AND GATE VALVE TO REMAIN (PUBLIC)
- 40 4" DIA SANITARY SEWER MANHOLE (PUBLIC)

**NOTES:**

1. ALL ON SITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.
3. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
4. COORDINATION WITH WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.



**NOTES**

1. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
2. COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.

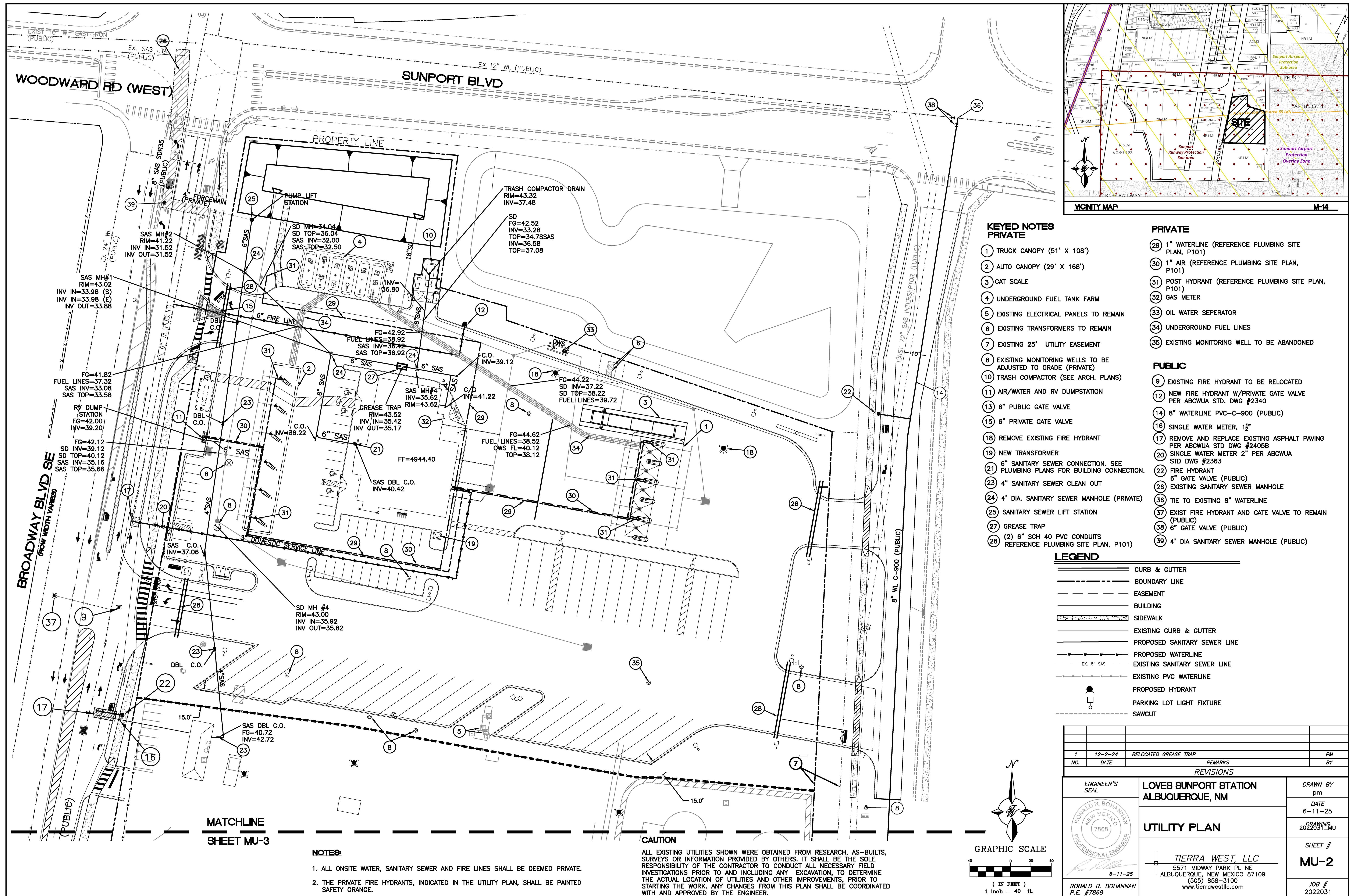
**LEGEND**

—	CURB & GUTTER
- - -	BOUNDARY LINE
- - - -	EASEMENT
—	BUILDING
—	SIDEWALK
—	EXISTING CURB & GUTTER
—	36" SD STORM SEWER LINE
—	PROPOSED SANITARY SEWER LINE
—	PROPOSED WATERLINE
- - -	EXISTING SANITARY SEWER LINE
—	EXISTING PVC WATERLINE
—	PROPOSED HYDRANT
□	PARKING LOT LIGHT FIXTURE
- - -	SAWCUT

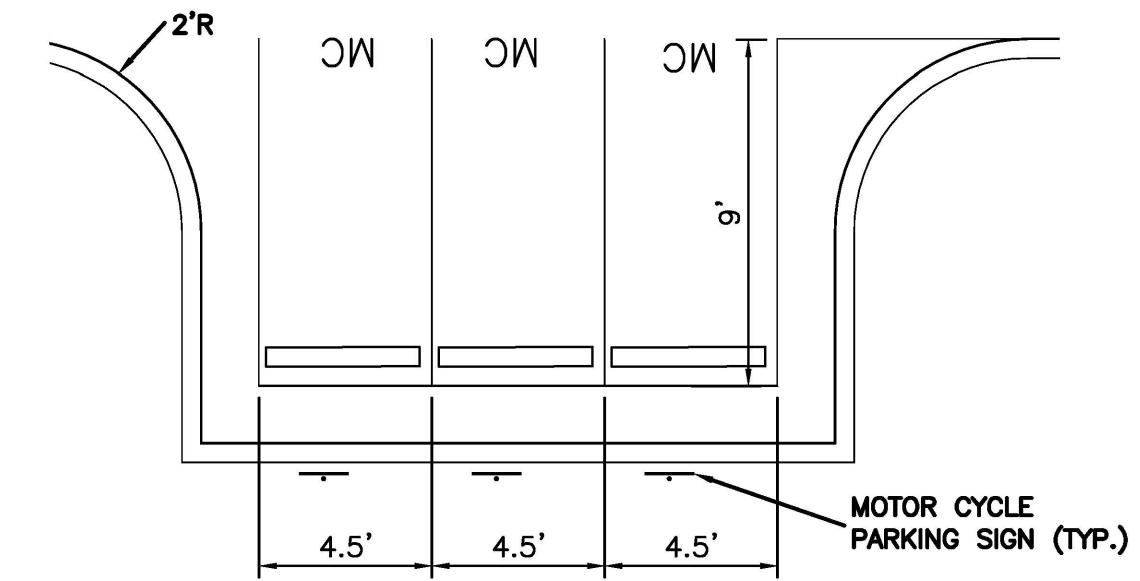
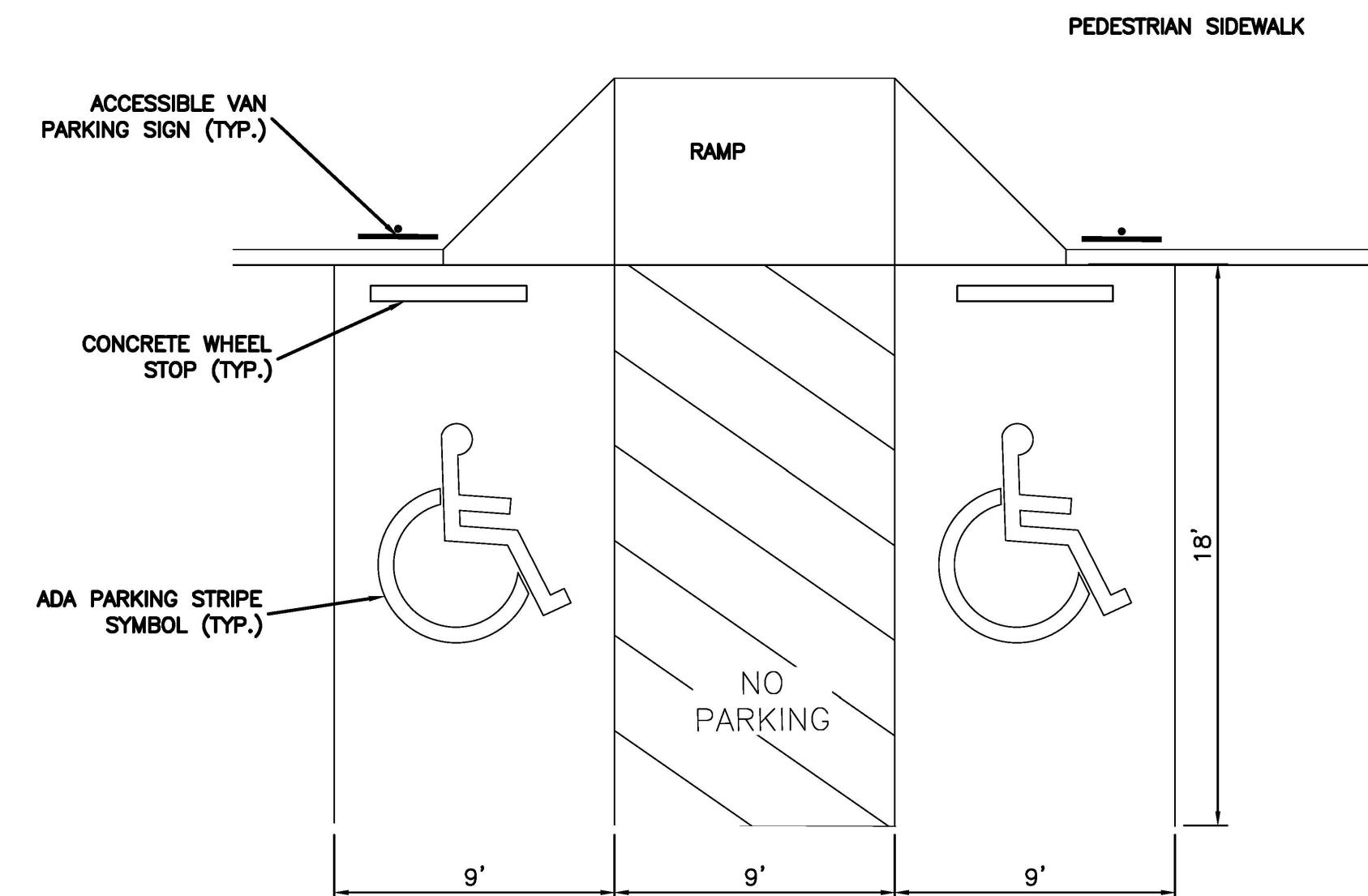
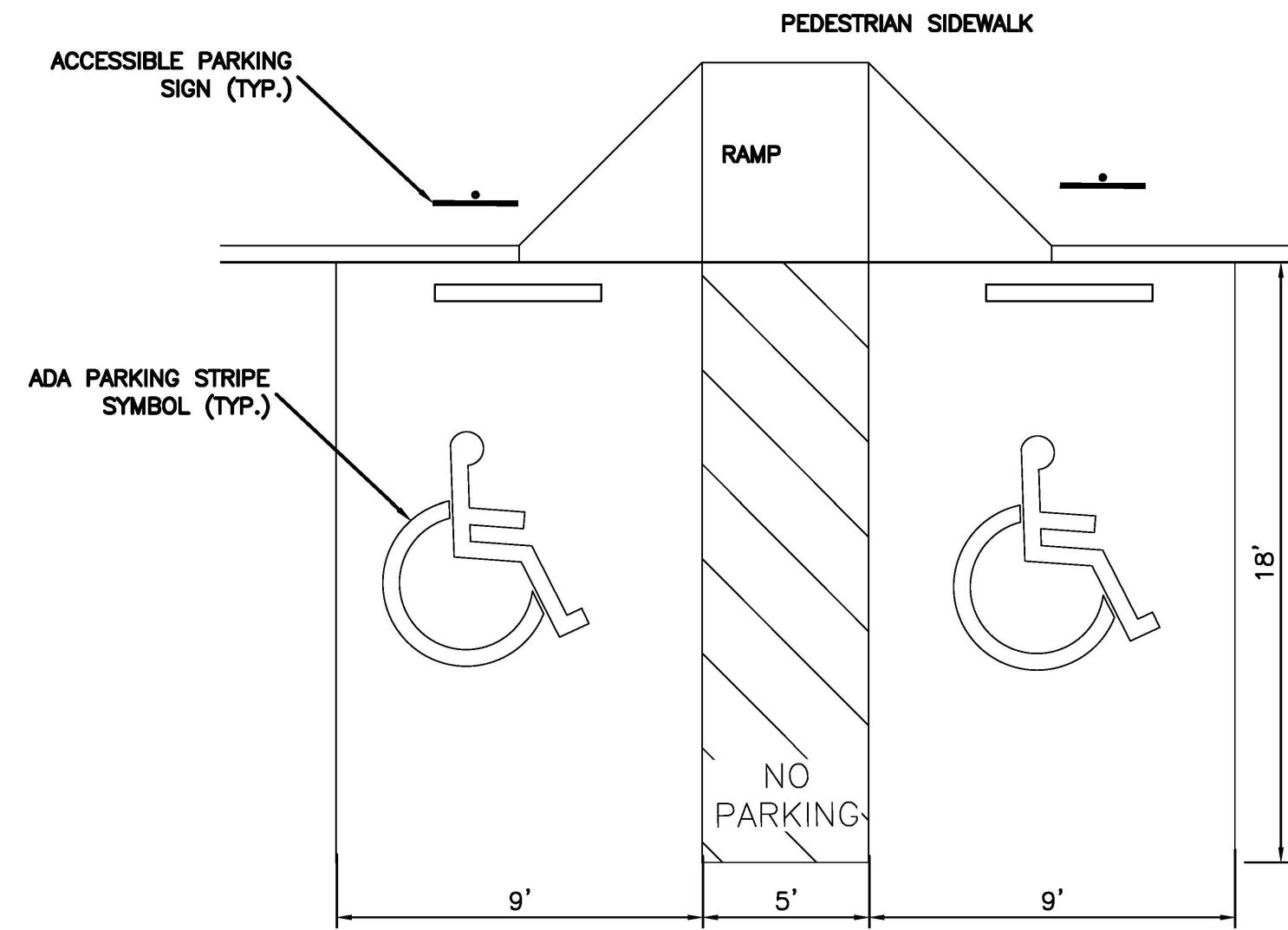
**CAUTION**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	LOVES SUNPORT STATION ALBUQUERQUE, NM		DRAWN BY pm DATE 6-11-25 DRAWING 2022031_MU
	OVERALL UTILITY PLAN		
<p>RONALD R. BOHANNAN PROFESSIONAL ENGINEER NEW MEXICO 7868</p> <p>6-11-25</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	TIERRA WEST, LLC		
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com		
	SHEET # MU-1 JOB # 2022031		



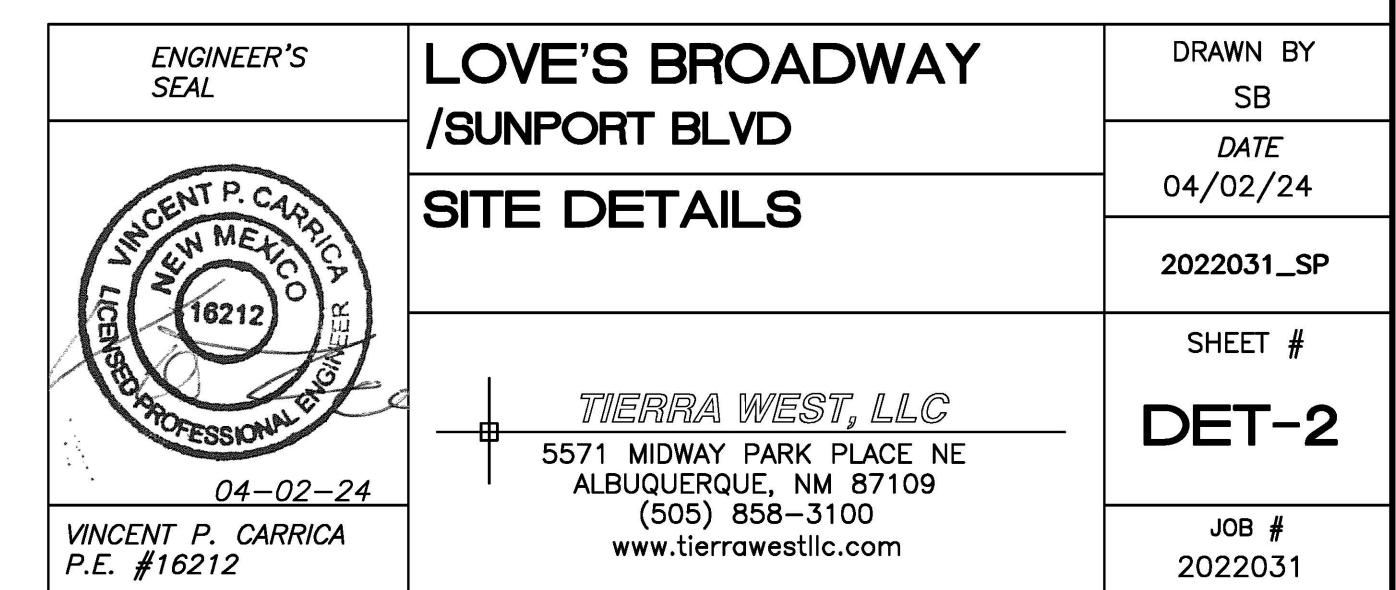
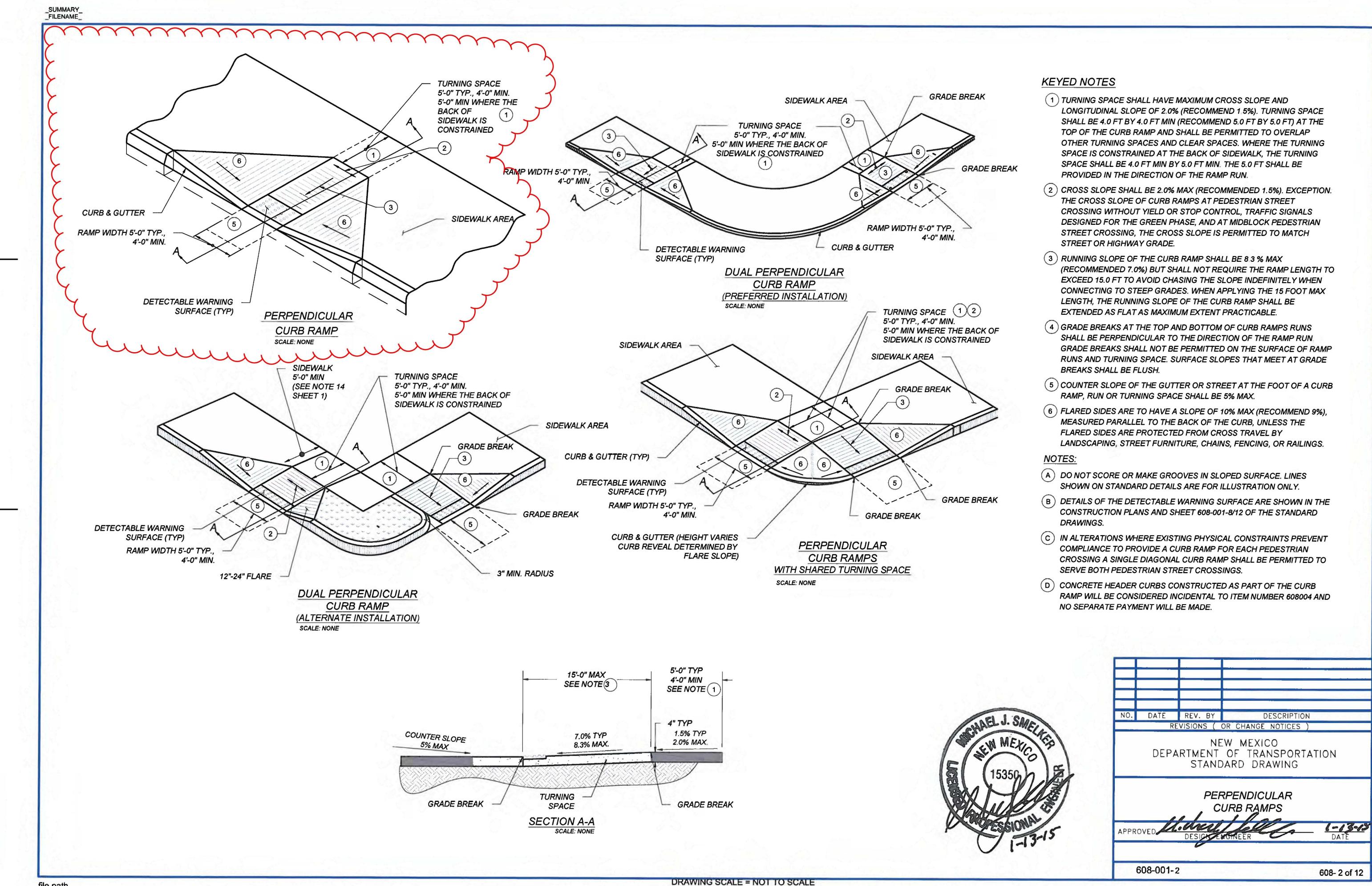
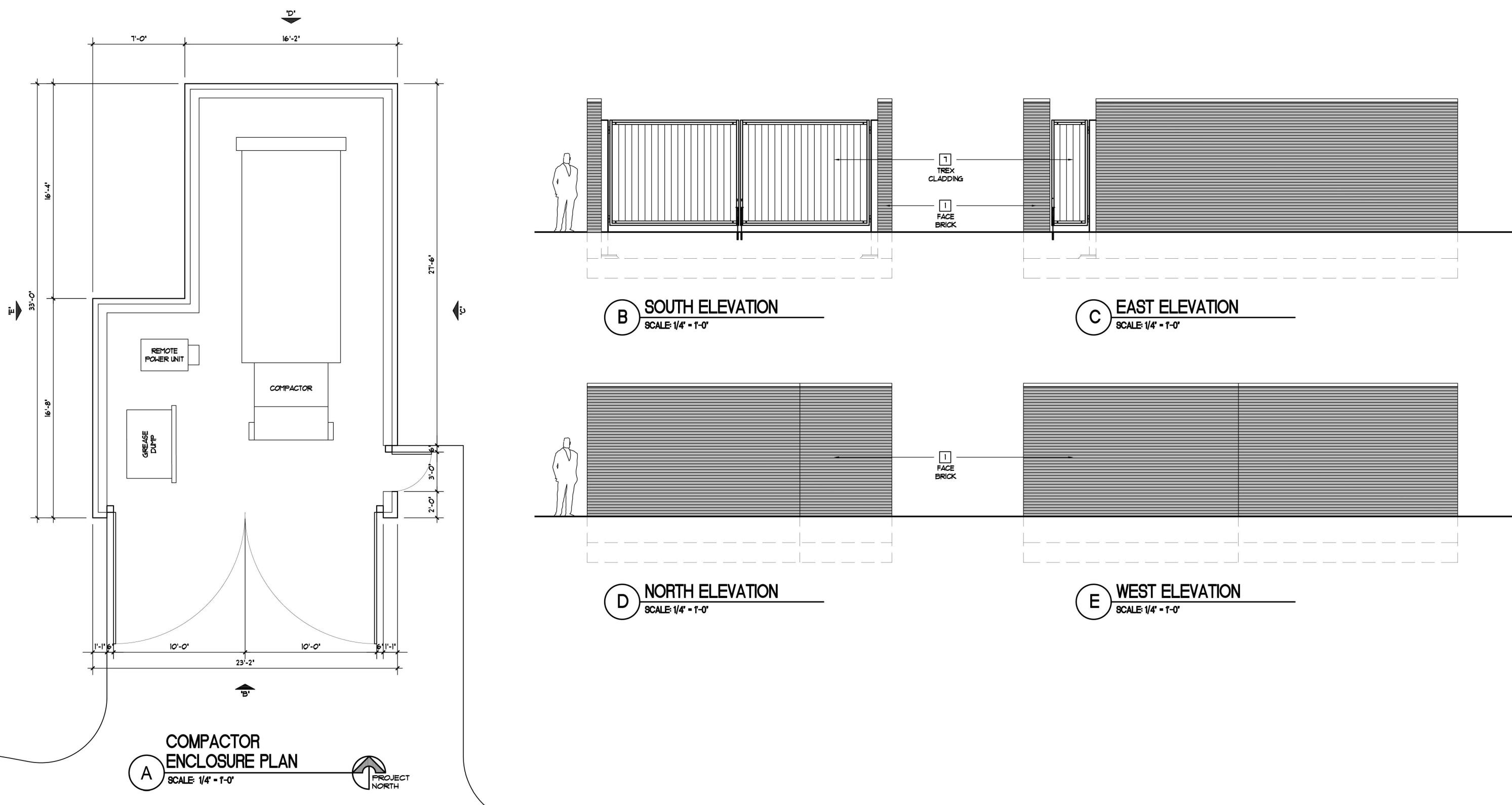


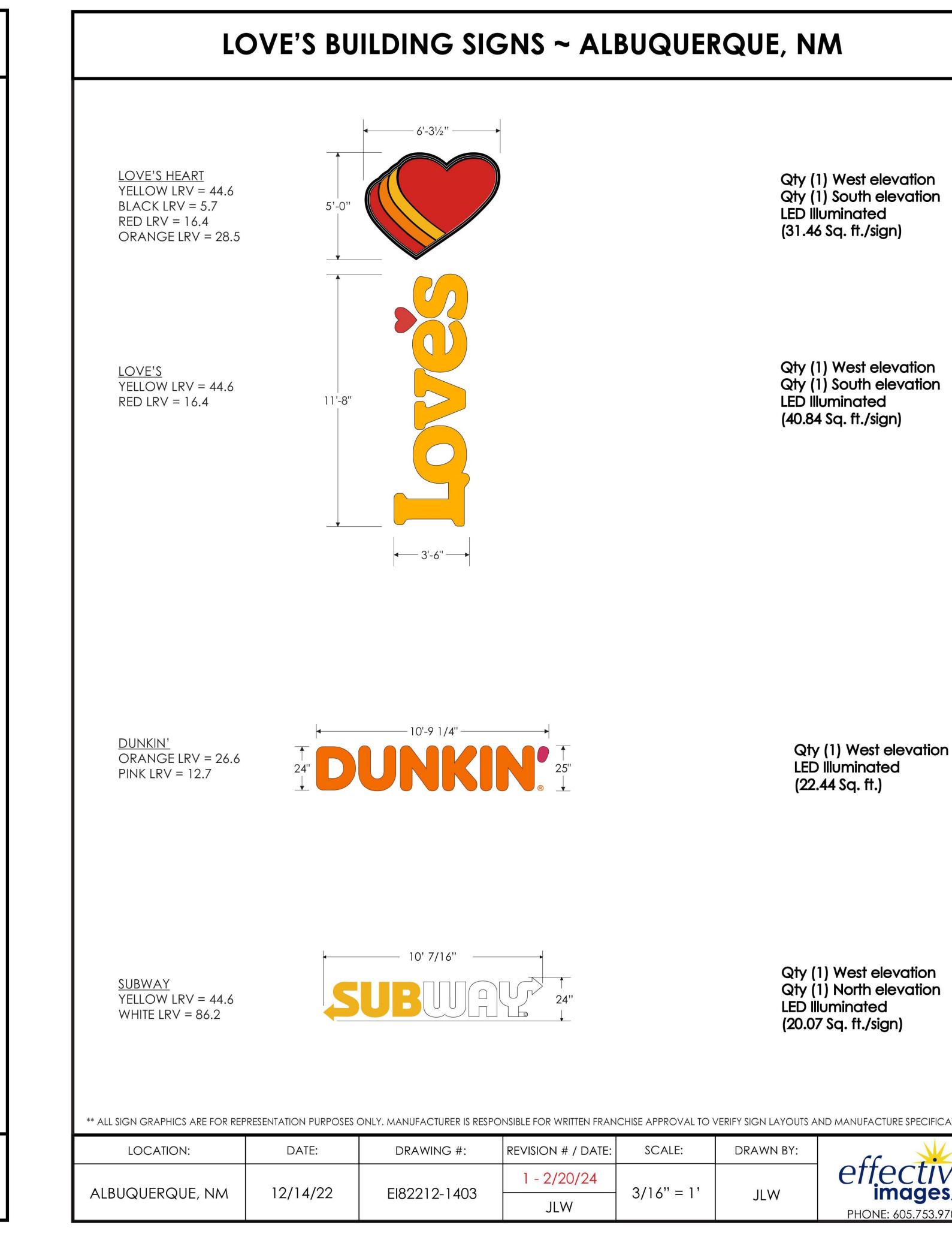
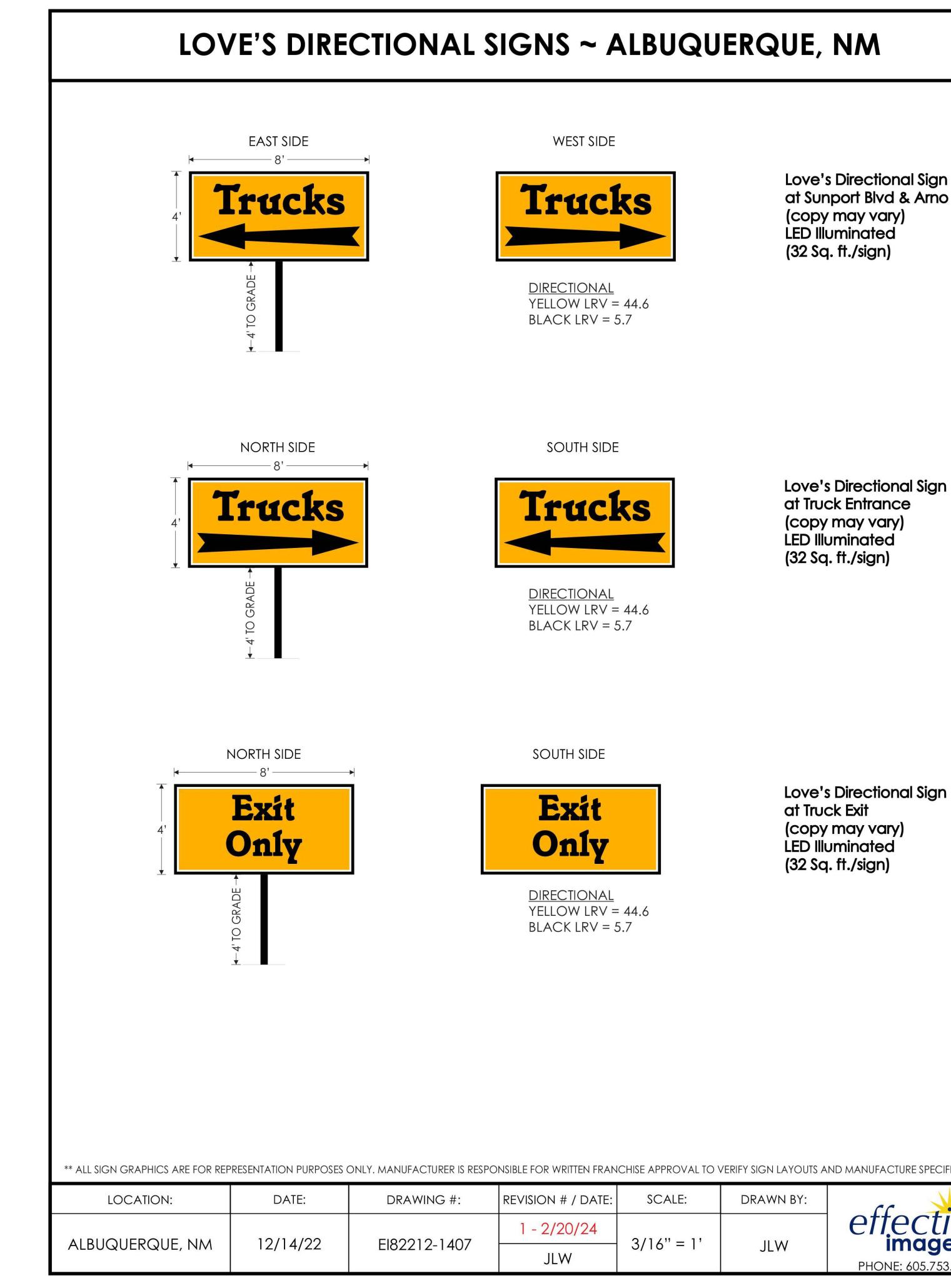
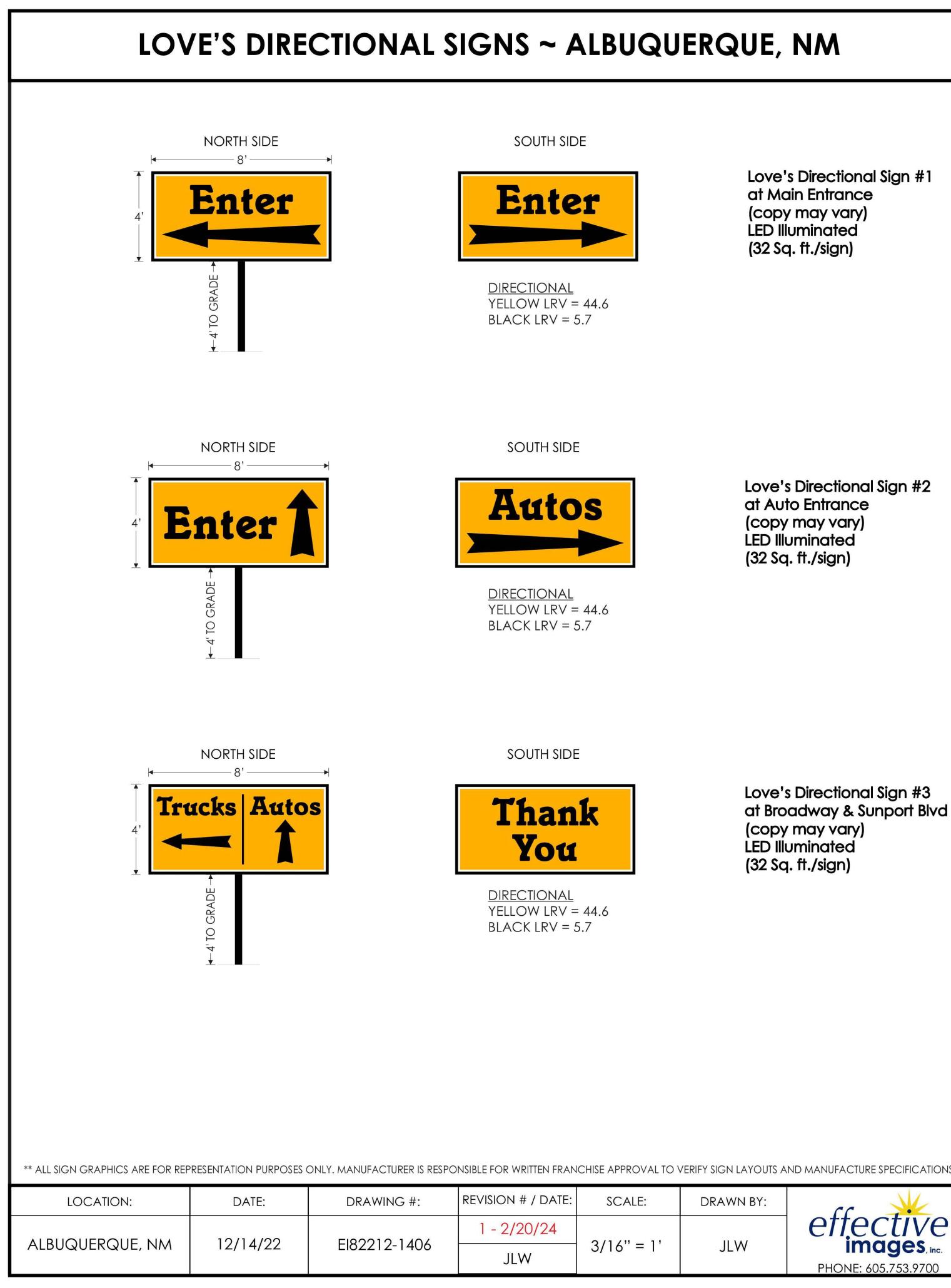
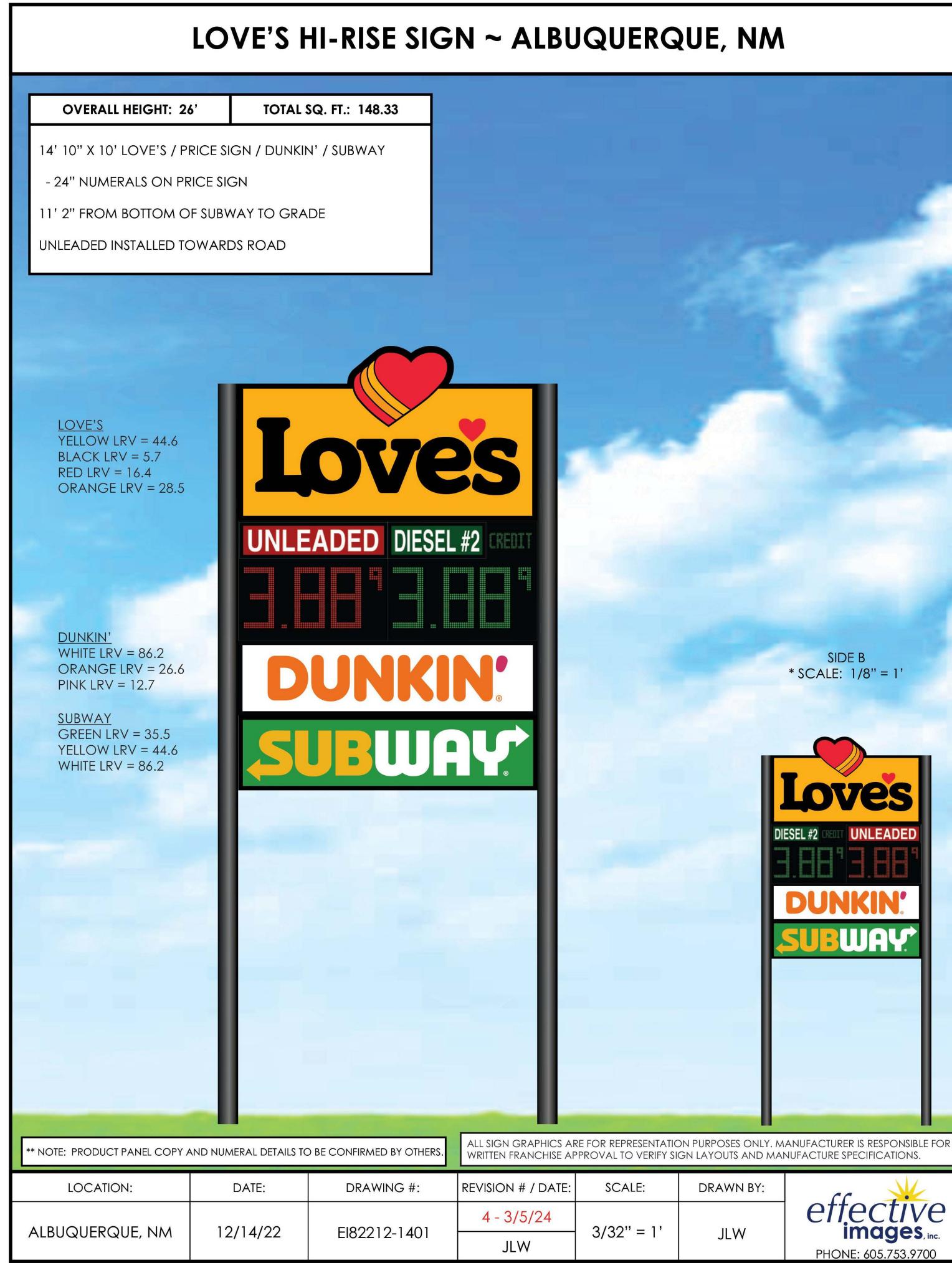


## **ACCESSIBLE PARKING DETAIL**

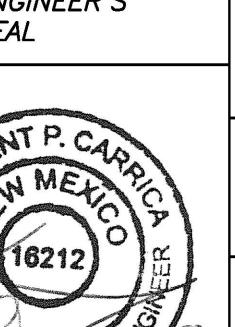
## **ACCESSIBLE VAN PARKING DETAIL**

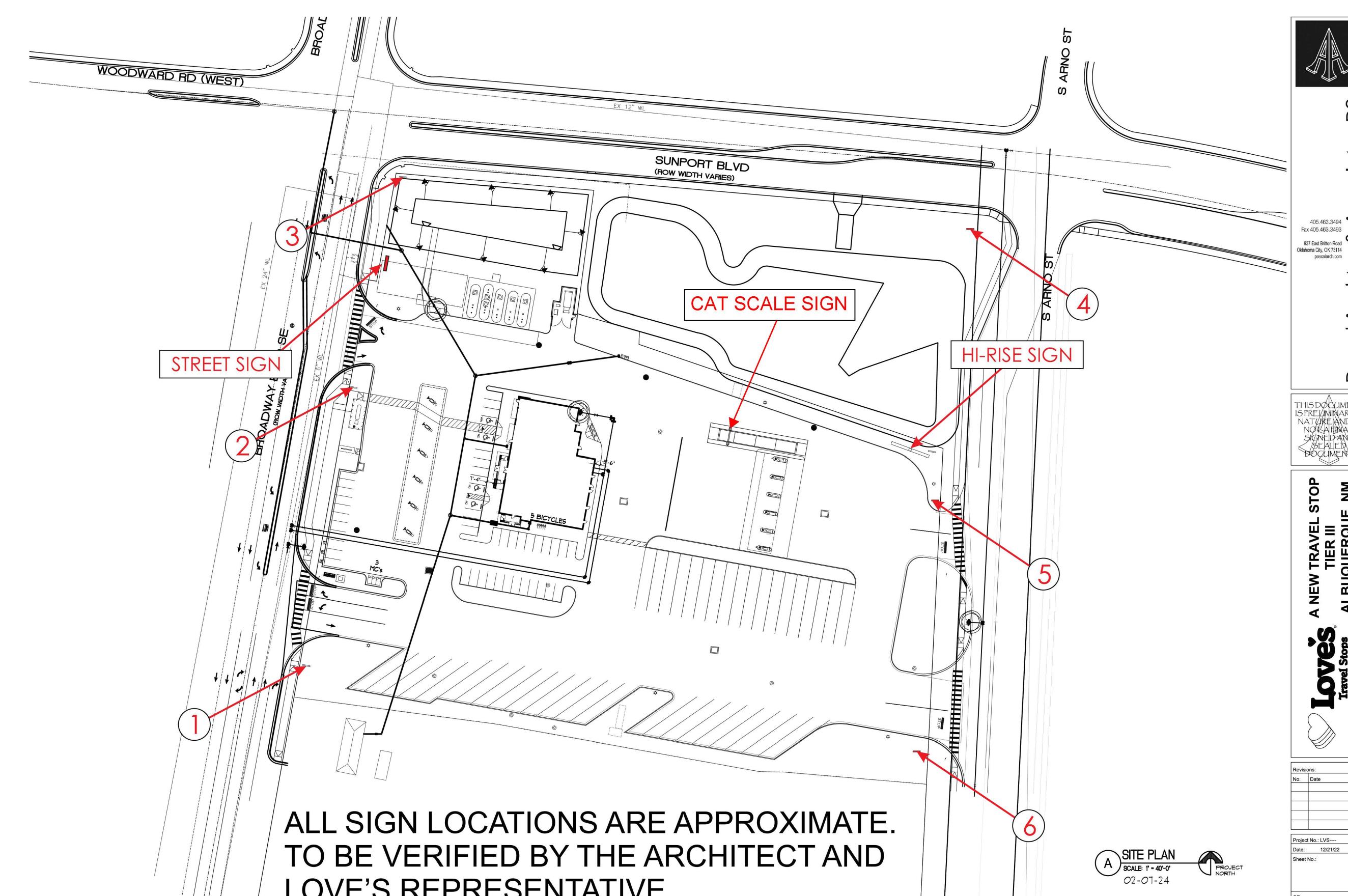
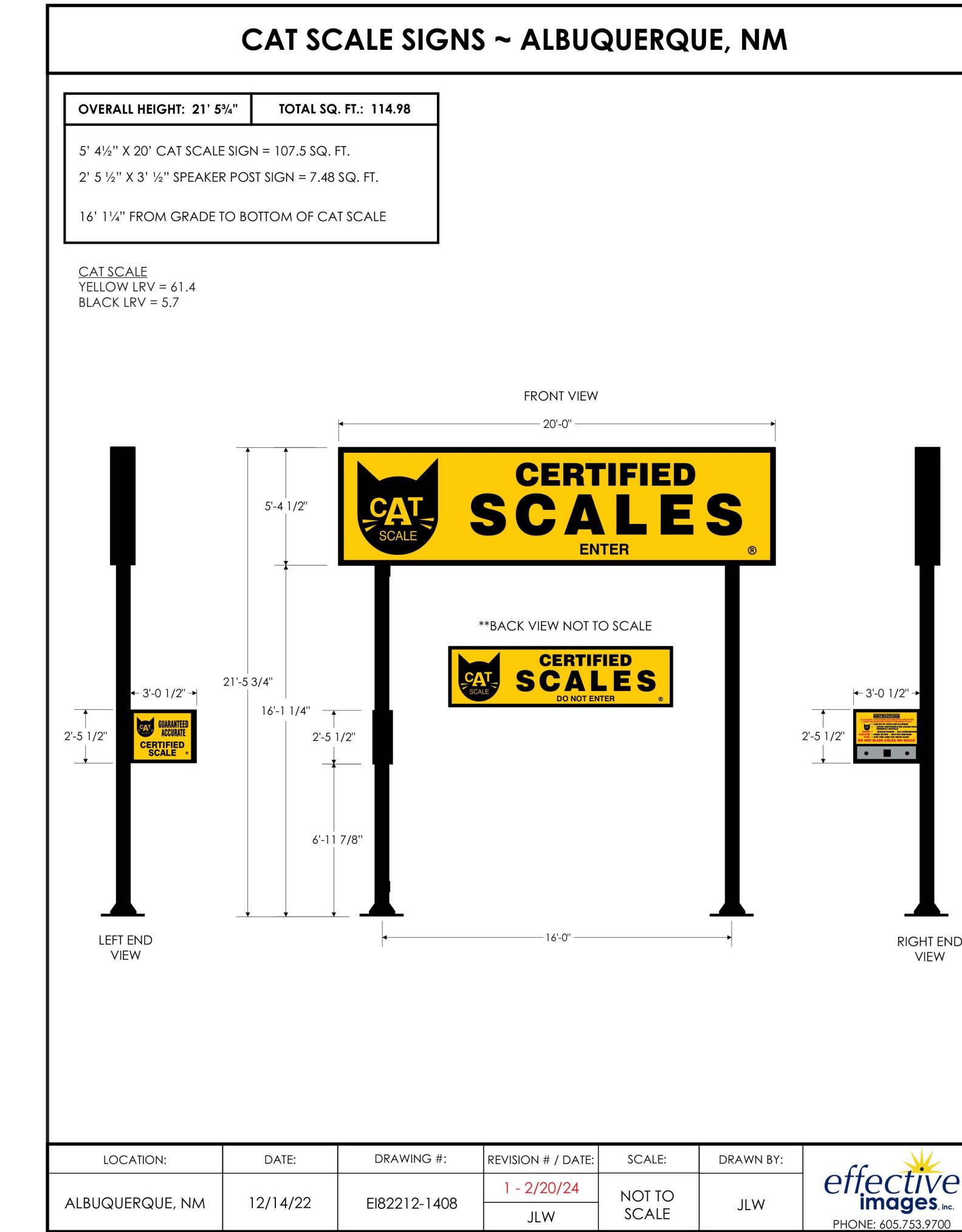
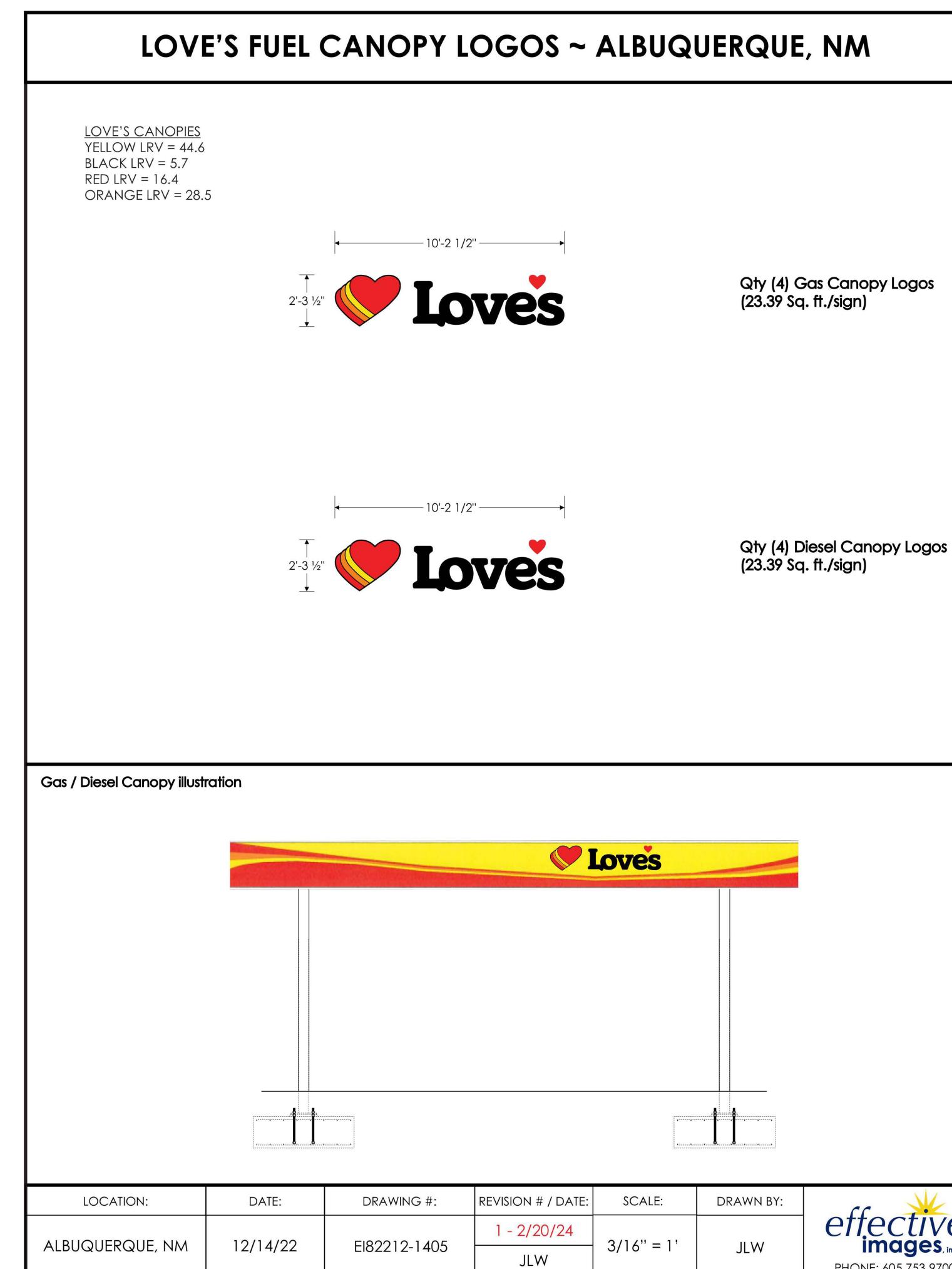
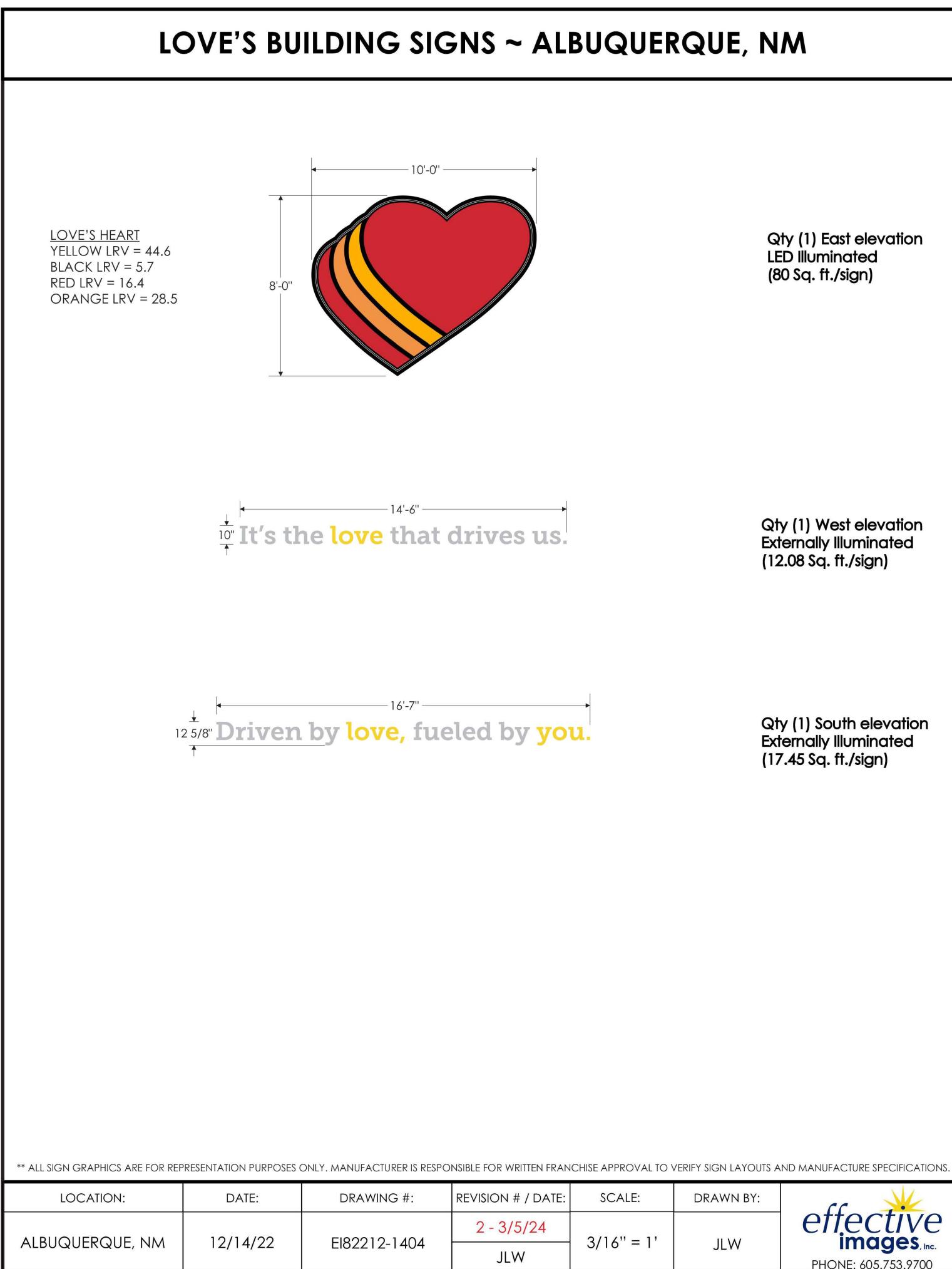
## **MOTORCYCLE PARKING DETAIL**



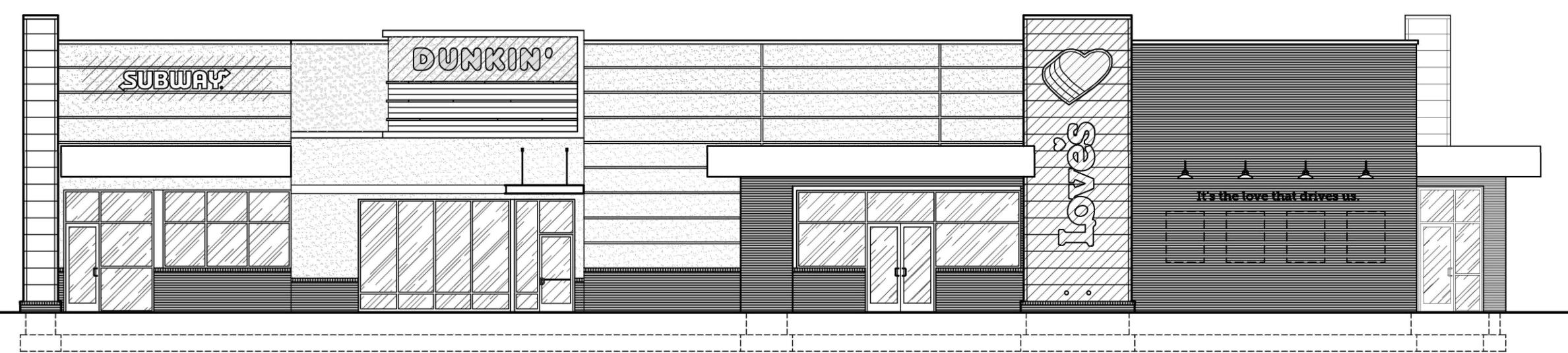


## LOVE'S SITE DETAILS NTS

ENGINEER'S SEAL	<b>LOVE'S BROADWAY</b> <b>/SUNPORT BLVD</b>	DRAWN BY SB
	<b>DETAILS</b>	DATE 04/02/24
04-02-24	<b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 <a href="http://www.tierrawestllc.com">www.tierrawestllc.com</a>	2022031_SP
VINCENT P. CARRICA P.E. #16212	SHEET # <b>DET-3</b>	JOB # 2022031

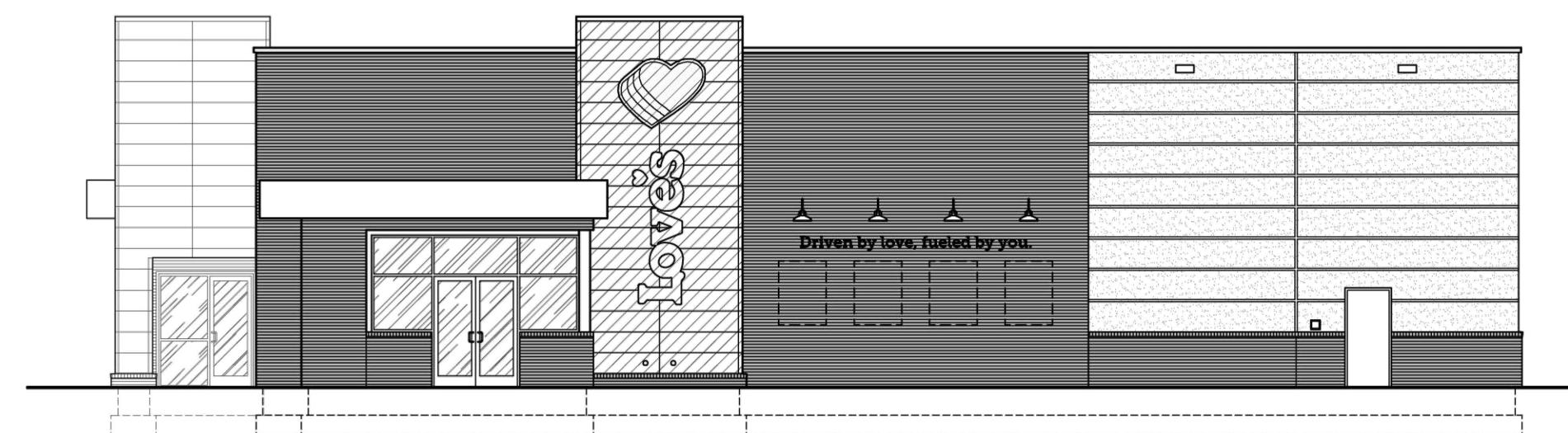


LOVE'S BROADWAY /SUNPORT BLVD		DRAWN BY SB
DETAILS		DATE 04/02/24
		2022031_SP
<b>TIERRA WEST, LLC</b>	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>DET-4</b>
<b>VINCENT P. CARRICA</b> P.E. #16212	04-02-24	JOB # 2022031



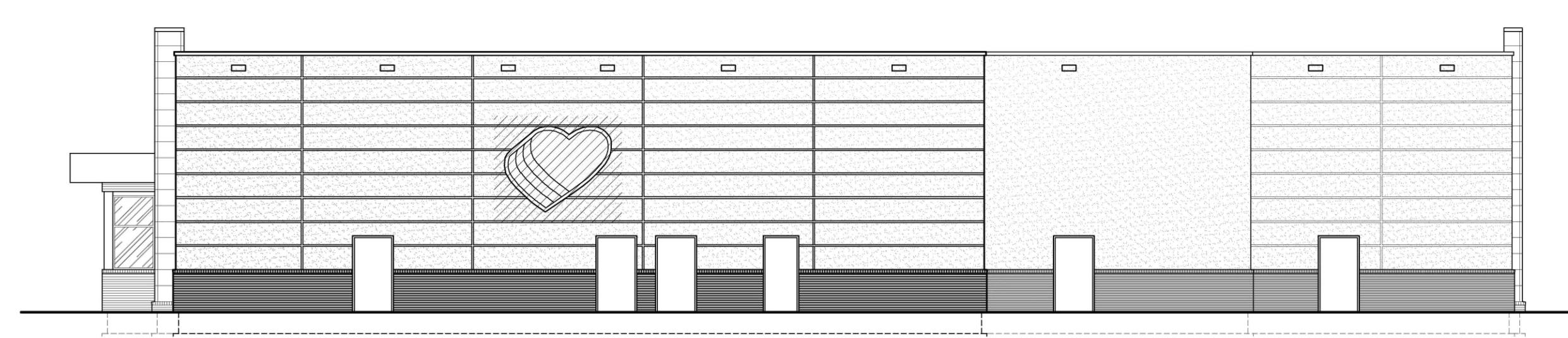
**A** **WEST ELEVATION**  
Scale: 1/8" - 1'-0"

**A** Scale



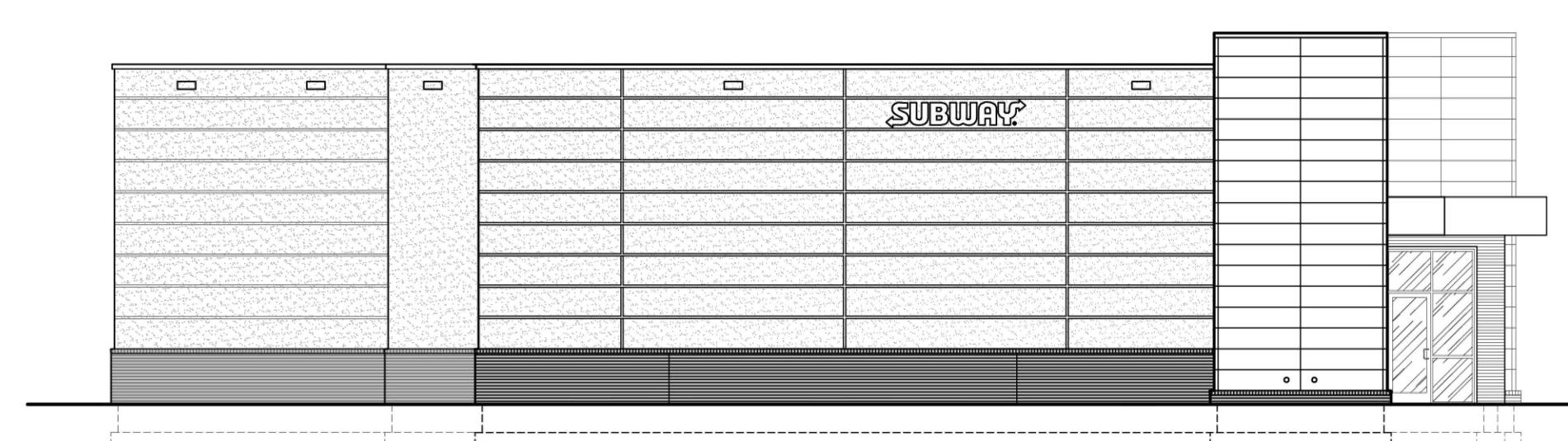
**B** **SOUTH ELEVATION**

B Scale



**EAST ELEVATION**

Scale



**NORTH ELEVATION**

(D) Scale



Pascal Aughtry & Associates, PC

8494  
8493  
Road  
73114  
h.com

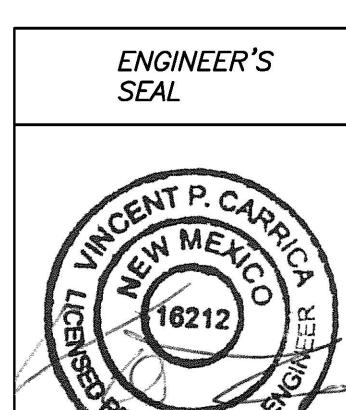
THIS DOCUMENT  
IS PRELIMINARY IN  
NATURE AND IS  
NOT A FINAL  
SIGNED AND  
SEALED  
DOCUMENT



A circular seal with the words "VINCENT NEW YORK" at the top, "LICENSED PROFESSIONAL" on the left, and "1621" on the right. The seal is stamped over a faint background of a bridge and water.

# LOVE'S SITE DETAILS

NTS



# LOVE'S BROADWAY

## /SUNPORT BLVD

DRAWN BY  
SB  
DATE  
04/02/24

#### **DETAIL 6**

2022031\_SP  
SHEET #  
**DET-5**  
JOB #  
2022031

24" Standard Channel Letters

120 -7/16" Overall Length

24" Overall Height

21 1/2"

19 -1/8"

**SUB:**  
*Individually Mounted Exterior Channel Letters*

**Face Material:** (.118) 2447 White Plex

**Face Retention:** 1" Gemini T1-7548 Yellow Trimcap

**Face Decoration:** 3630-75 Marigold Vinyl

**Return Size/Type:** 5" (.040) Aluminum Painted PMS 7548

**Back Type:** (.118) Pre-finished White ACM

**Illumination Rows:** 1 Row

**LED Brand/Color:** White Principal Qwikmod 2

**WAY:**  
*Individually Mounted Exterior Channel Letters*

**Face Material:** (.118) 7328 White Plex

**Face Retention:** 1" White Trimcap

**Face Decoration:** None

**Return Size/Type:** 5" (.040) Pre-finished White

**Back Type:** (.118) Pre-finished White ACM

**Illumination Rows:** 1 Row

**LED Brand/Color:** White Principal Qwikmod 2

**Primary Power:** 120 VAC

**Mounting Type:** Holes Thru Back with Template

**Listing:** UL Label

**Electrical Out:** Production Discretion

**Weep Holes:** Yes

**2 1/2" x 5" ®:**  
**Flat Polycarbonate Cut Out (Non Illuminated)**

**Face Material:** (.118) Clear Polycarbonate

**® Decoration:** 7725-10 HP White Vinyl

**Mounting:** Screwed to Channel Letter Back

**Other Notes:**

- Mounting template provided.

**Drawing Notes:**

"Sub" Letter Detail - Not to Scale      "Way" Letter Detail - Not to Scale

5" Return  
1" Trimcap  
Led Modules

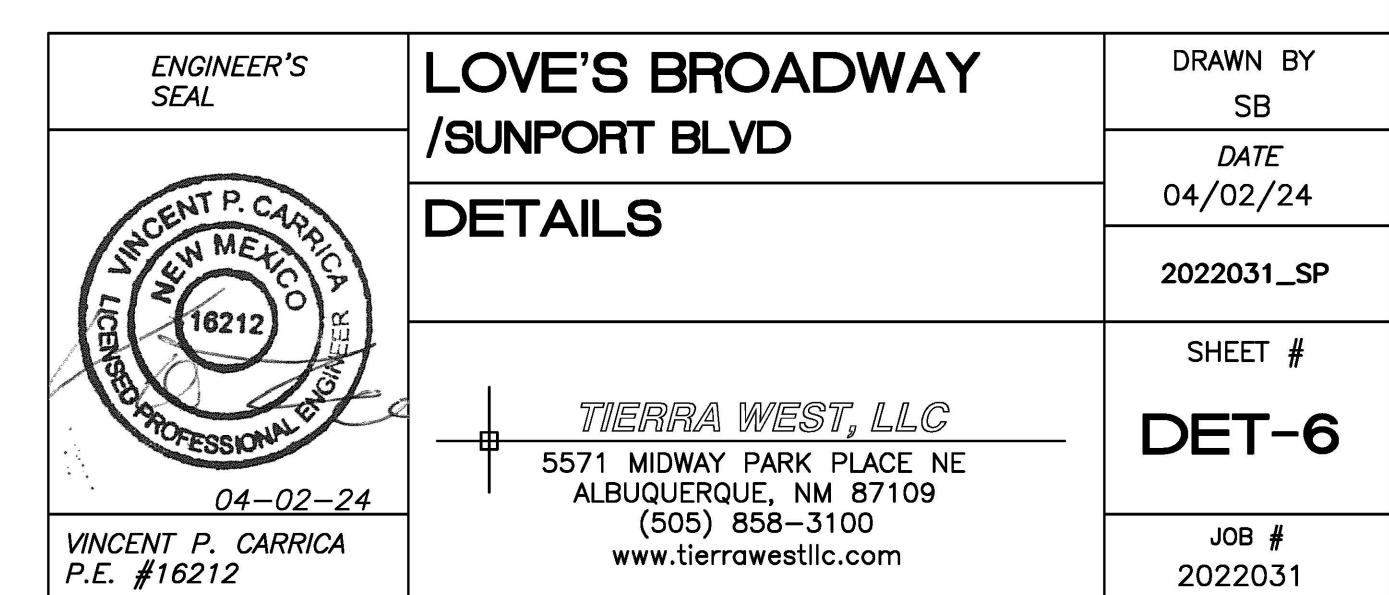
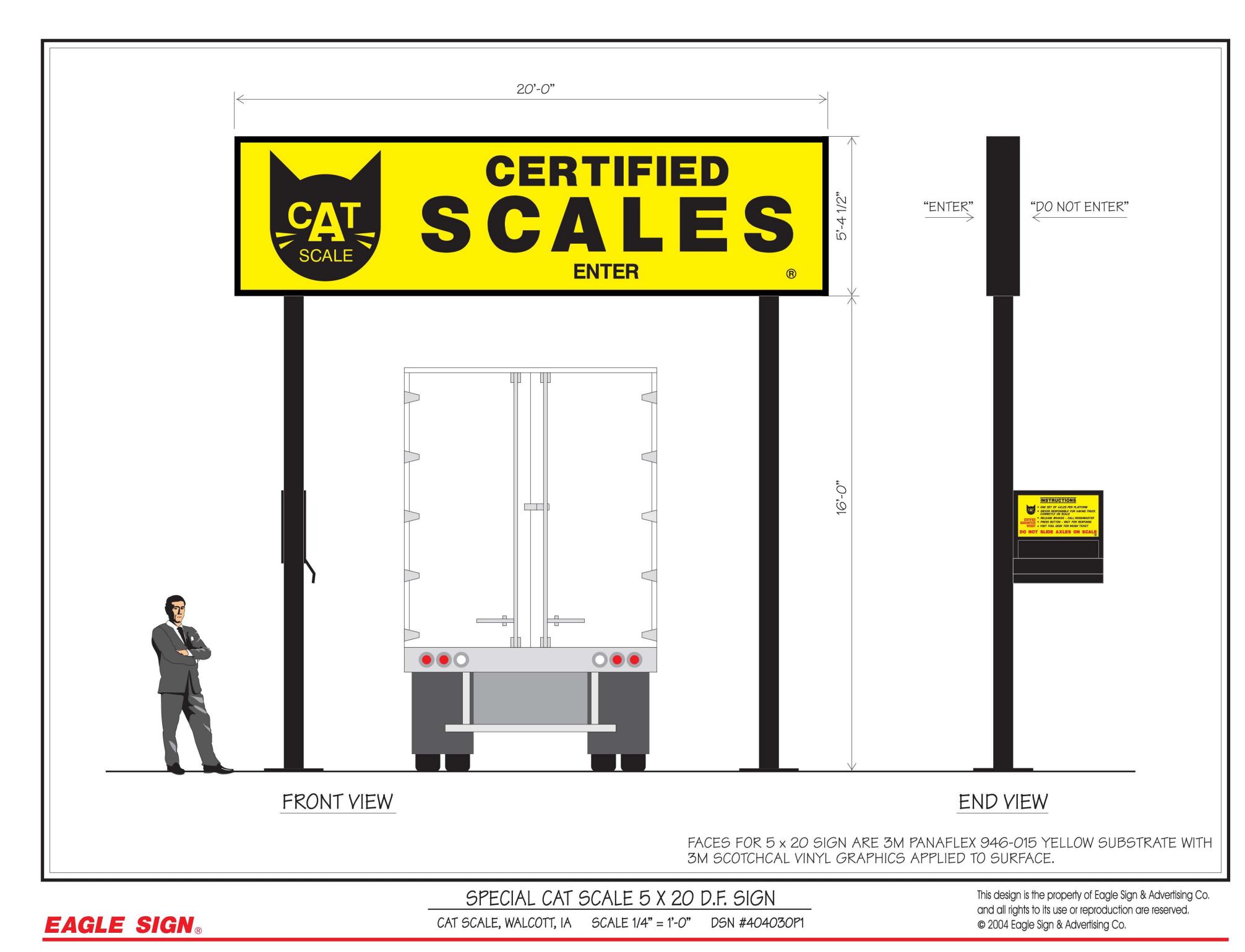
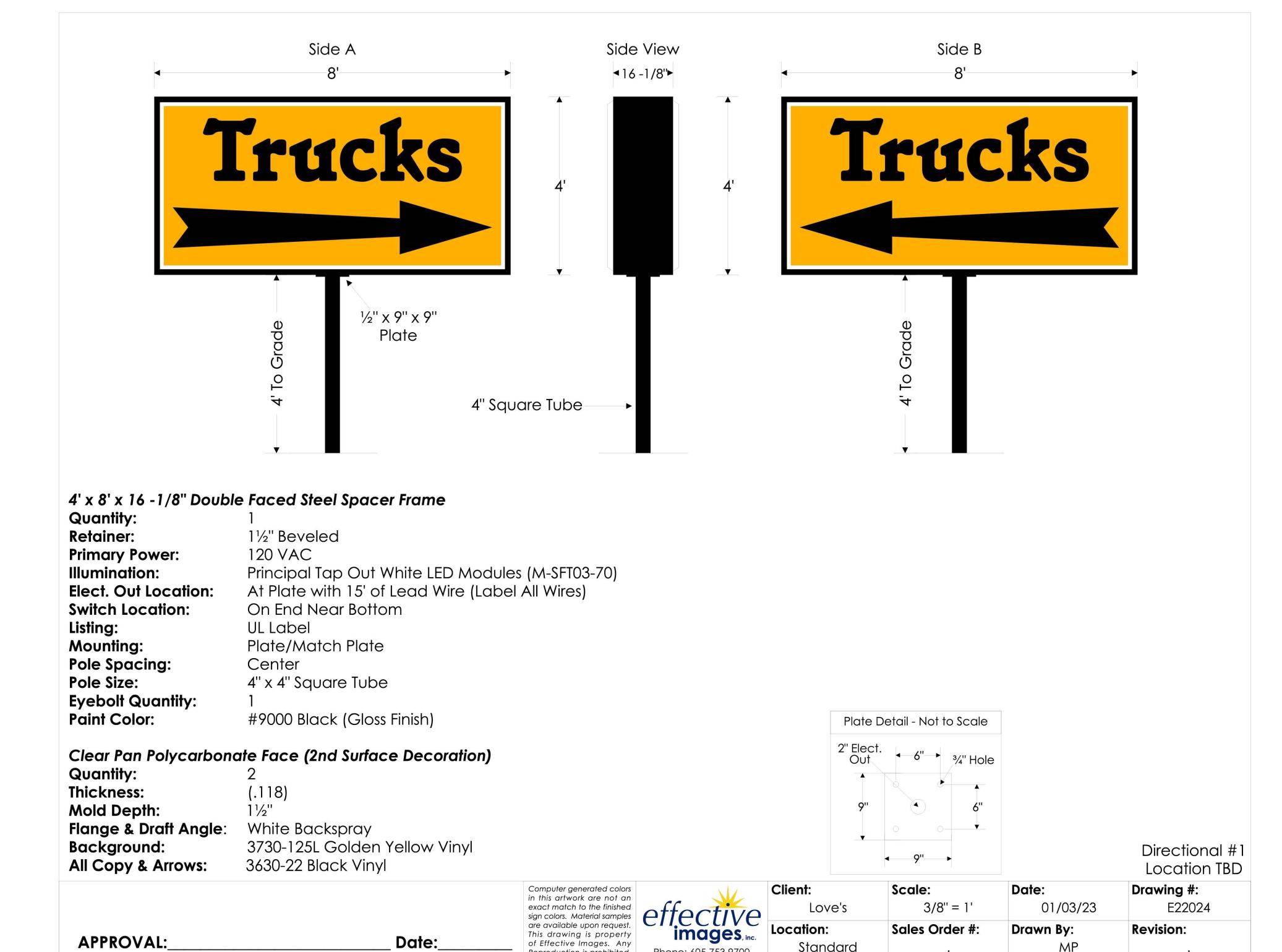
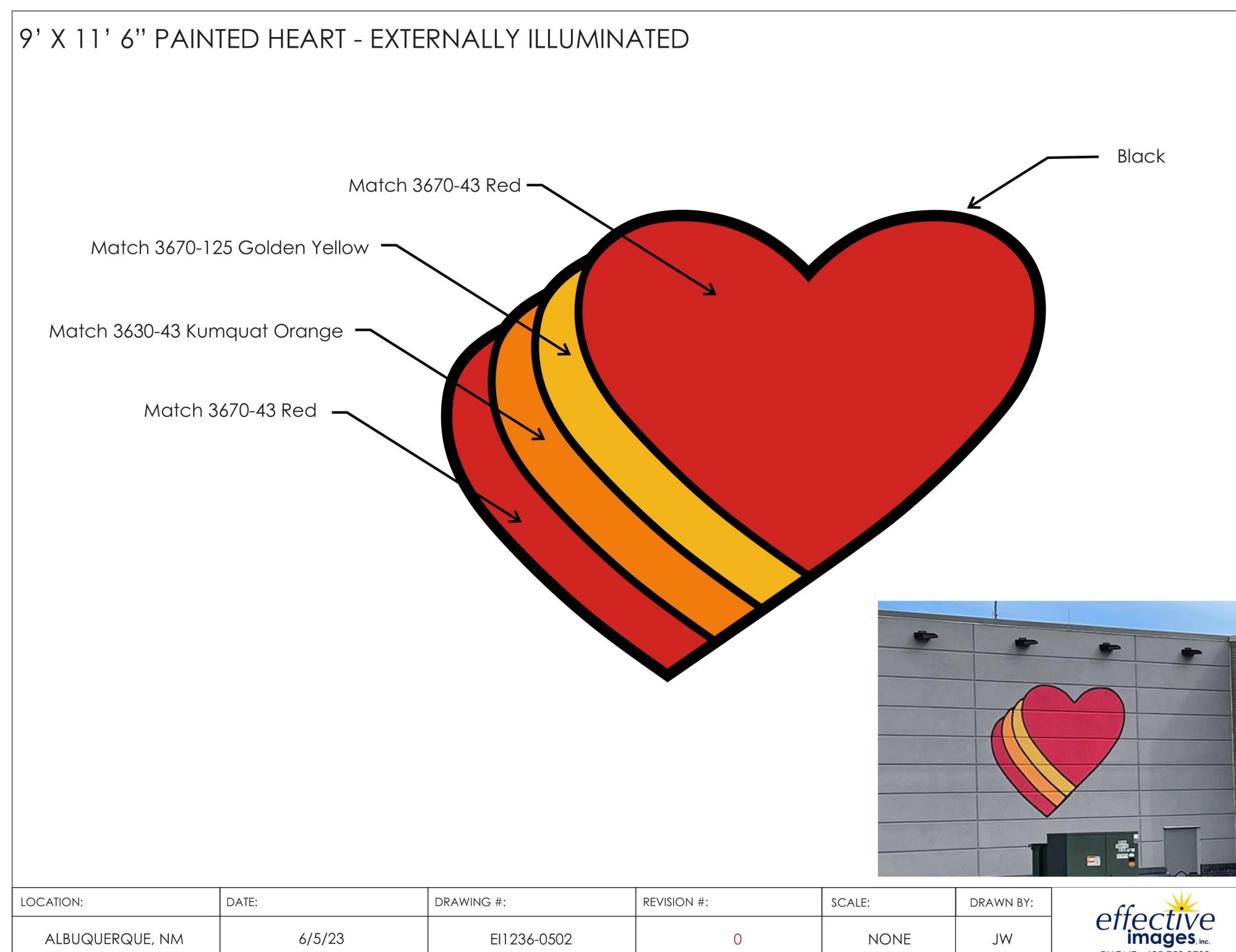
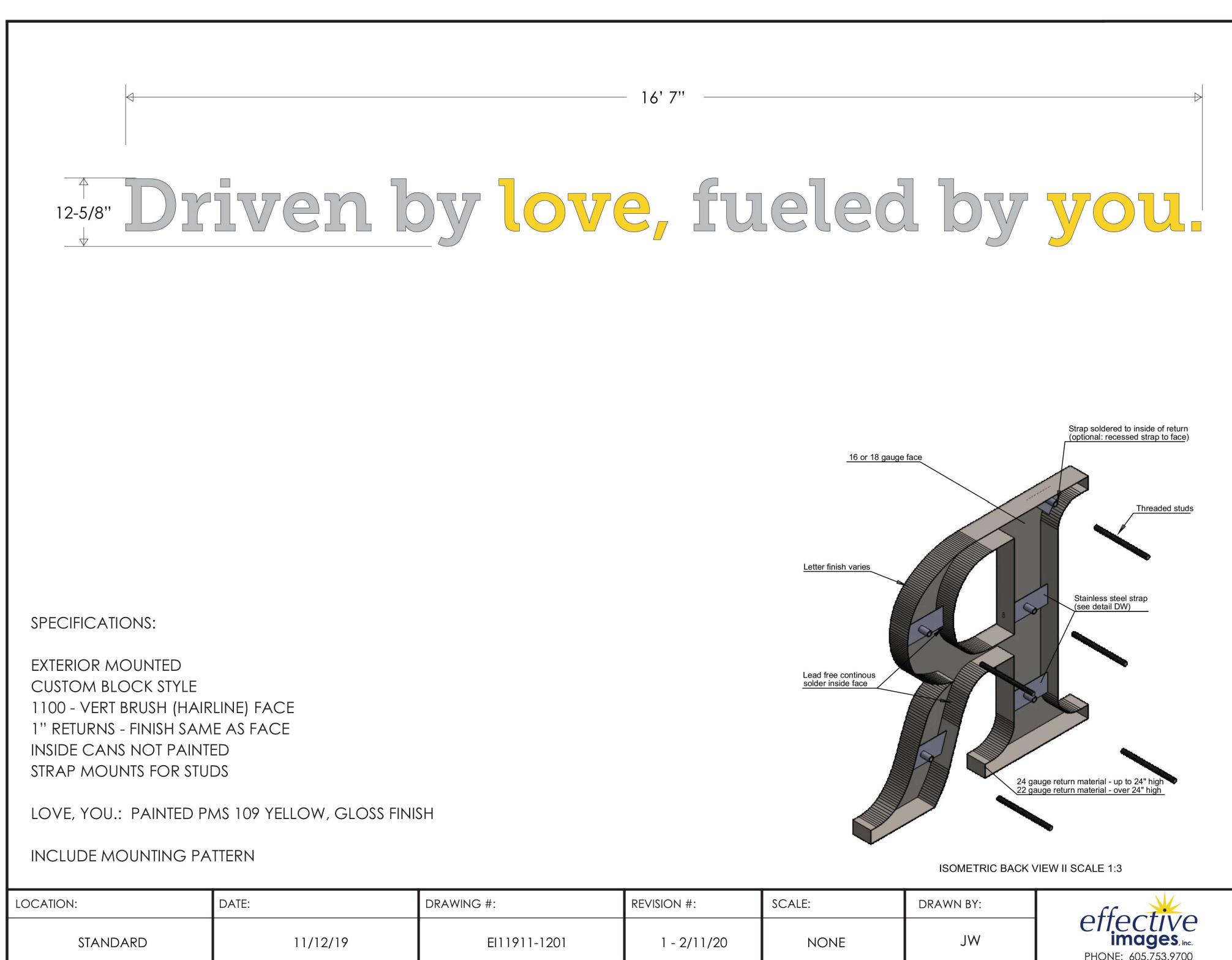
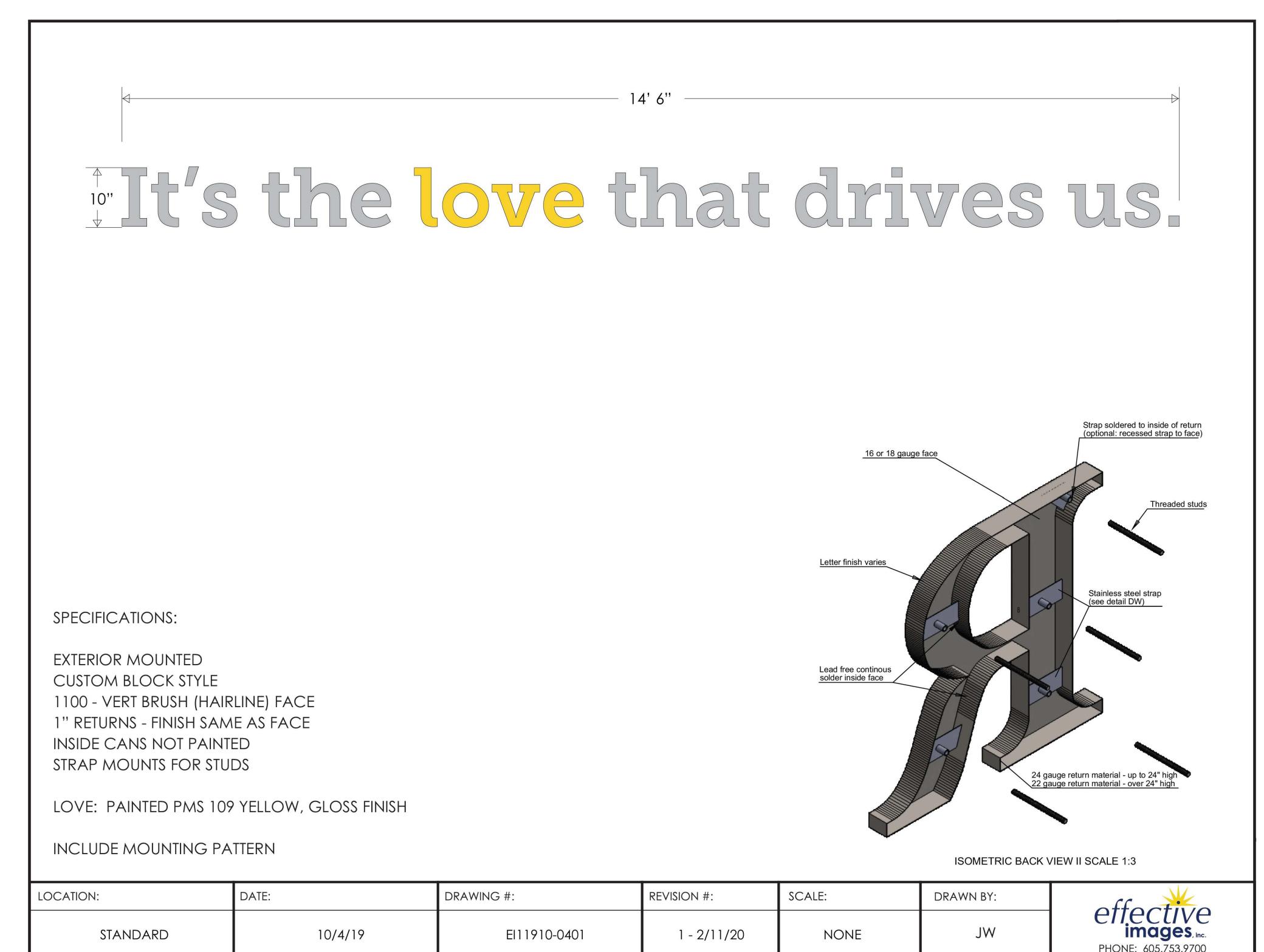
5" Return  
1" Trimcap  
Led Modules

**APPROVAL:** \_\_\_\_\_ **Date:** \_\_\_\_\_

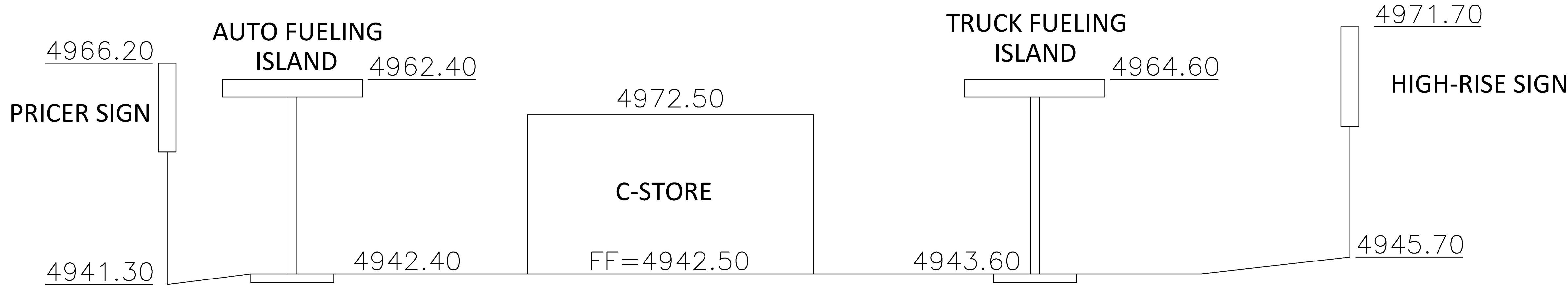
Computer generated colors in this artwork are not an exact match to the finished sign colors. Material samples are available upon request. This drawing is property of Effective Images. Any reproduction is prohibited.

**effective images, inc.**  
Phone: 605.753.9700

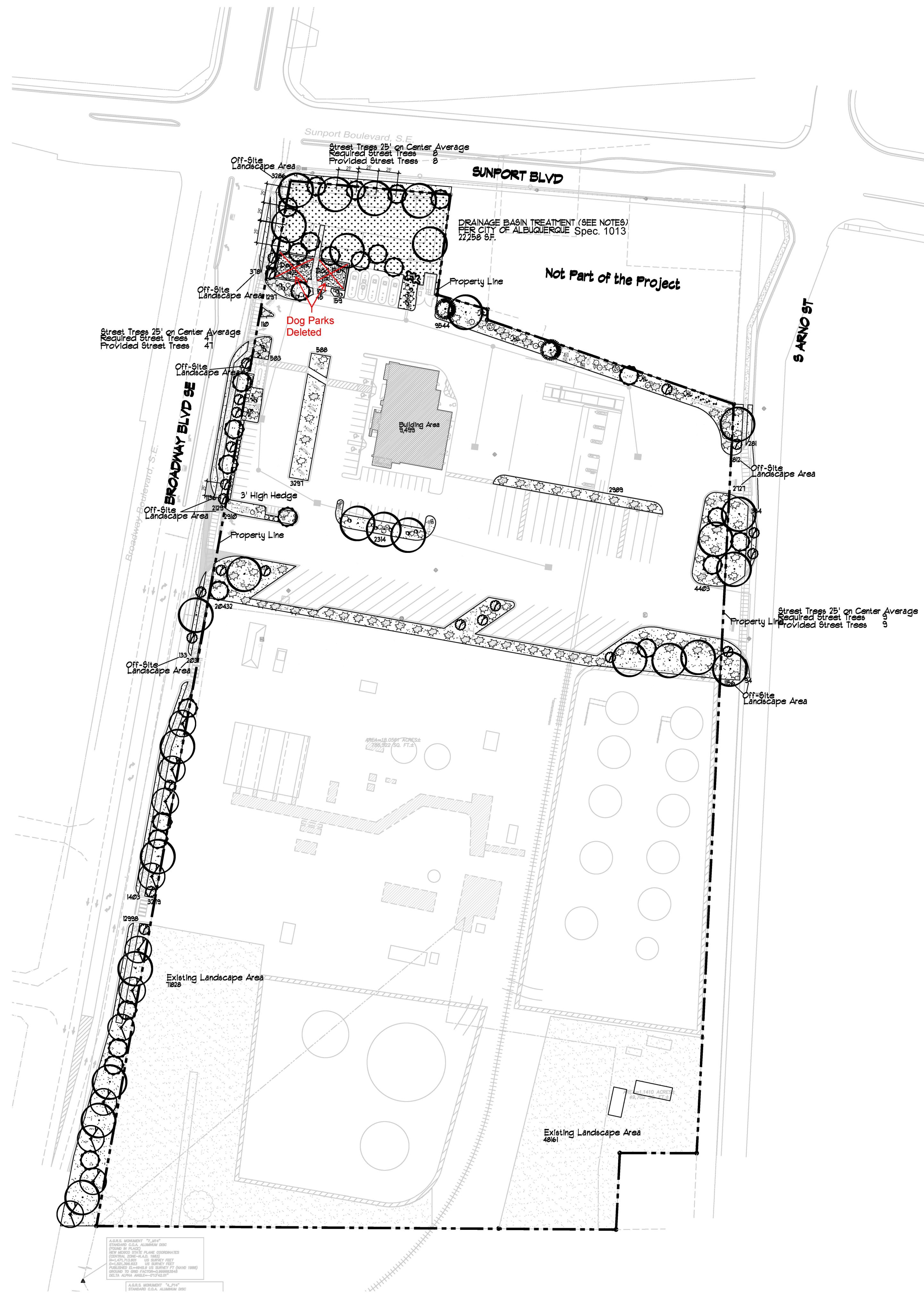
Client:	Scale:	Date:	Drawing #:
Love's	3/4" = 1'	11/07/22	E21736
Location:	Sales Order #:	Drawn By:	Revision:
Standard	.	MP	.



**TRAVEL CENTER EXHIBIT**  
**AIR SPACE PROTECTION HORIZONTAL SURFACE**  
**(3-3(B)(1))PROPOSED STRUCTURE HEIGHTS/ELEVATIONS**  
**FALL BELOW THE AIR SPACE PROTECTION HORIZONTAL**  
**SURFACE ELEVATION OF 5504.90**



ENGINEER'S SEAL		BROADWAY/SUNPORT BLVD	DRAWN BY PM
		SITE DETAILS	DATE 3-27-25
			2022031 TCL
		TIERRA WEST, LLC	SHEET # DET-6A
		5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2022031



### LANDSCAPE LEGEND

QTY SIZE COMMON/BOTANICAL H2O USE

#### Trees

11	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	40x35	96162	1057182	M+
----	--------	---	-------	-------	---------	----

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

21	2" cal	Hackberry <i>Celtis Occidentalis</i>	50x45	158962	4299.74	M
----	--------	---	-------	--------	---------	---

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

2	6 - 8'	Austrian Pine <i>Pinus nigra</i>	35x25	49062	98124	M
---	--------	-------------------------------------	-------	-------	-------	---

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

1	6-8'	Multi Stem <i>Lagerstroemia indica</i>	15x20	314	314	M
---	------	---	-------	-----	-----	---

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

30	6-8'	Desert Willow <i>Chilopsis linearis</i>	20x25	49062	141186	M
----	------	--	-------	-------	--------	---

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

24	15 Gal.	Pink Pom Poms Redbud	15x12	11304	2712.96	M
----	---------	-------------------------	-------	-------	---------	---

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

91	Total Trees	Total Tree Coverage	72224.36			
----	-------------	---------------------	----------	--	--	--

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate. Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

2	5 Gal.	Existing Shrubs	10x10	785	151	M
---	--------	-----------------	-------	-----	-----	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

4	5 Gal.	Spanish Broom <i>Caryopteris x clandonensis</i>	10x10	785	314	M
---	--------	--	-------	-----	-----	---

Maintenance will be per City of Albuquerque Specification 10123.31 and 10123.32.

4	5 Gal.	Bird of Paradise <i>Caesalpinia gilliesii</i>	10x10	785	314	L
---	--------	--	-------	-----	-----	---

Contractor must weed the basin during/after the first growing season.

20	5 Gal.	India Hawthorne <i>Raphiolepis indica</i>	3x5	1962	392.4	M
----	--------	--	-----	------	-------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

33	5 Gal.	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12	11304	3130.32	M
----	--------	--	------	-------	---------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

15	5 Gal.	Buffalo Juniper <i>Juniperus sabina</i>	1x12	11304	8478	M
----	--------	--	------	-------	------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

2	5 Gal.	Cherry Sage <i>Salvia greggii</i>	2x3	11306	14.12	M
---	--------	--------------------------------------	-----	-------	-------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

11	5 Gal.	Blue Mist <i>Caryopteris x clandonensis</i>	3x3	11306	11.66	M
----	--------	--	-----	-------	-------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

41	5 Gal.	Fern Bush <i>Chamaebatiaaria</i>	5x6	2826	1158.66	L
----	--------	-------------------------------------	-----	------	---------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

4	5 Gal.	Apache Plume <i>Fallugia paradoxa</i>	6x1	38.46	153.86	L
---	--------	--	-----	-------	--------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

2	5 Gal.	Chamisso <i>Chrysanthemum noseosus</i>	5x1	38.46	76.92	L
---	--------	---	-----	-------	-------	---

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

25	5 Gal.	Feather Reed Grass <i>Calamagrostis arundinacea</i>	2.5x2	3.14	785	M
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Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

223	Total Shrubs	Total Shrub Coverage	14945.44			
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Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

23	2-3cf	Boulders	To be placed at contractor discretion			
----	-------	----------	---------------------------------------	--	--	--

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

78163		Landscape Gravel / Filter Fabric 3/4" Crushed Grey				
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Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

22258		Drainage Basin Treatment, (See Notes)				
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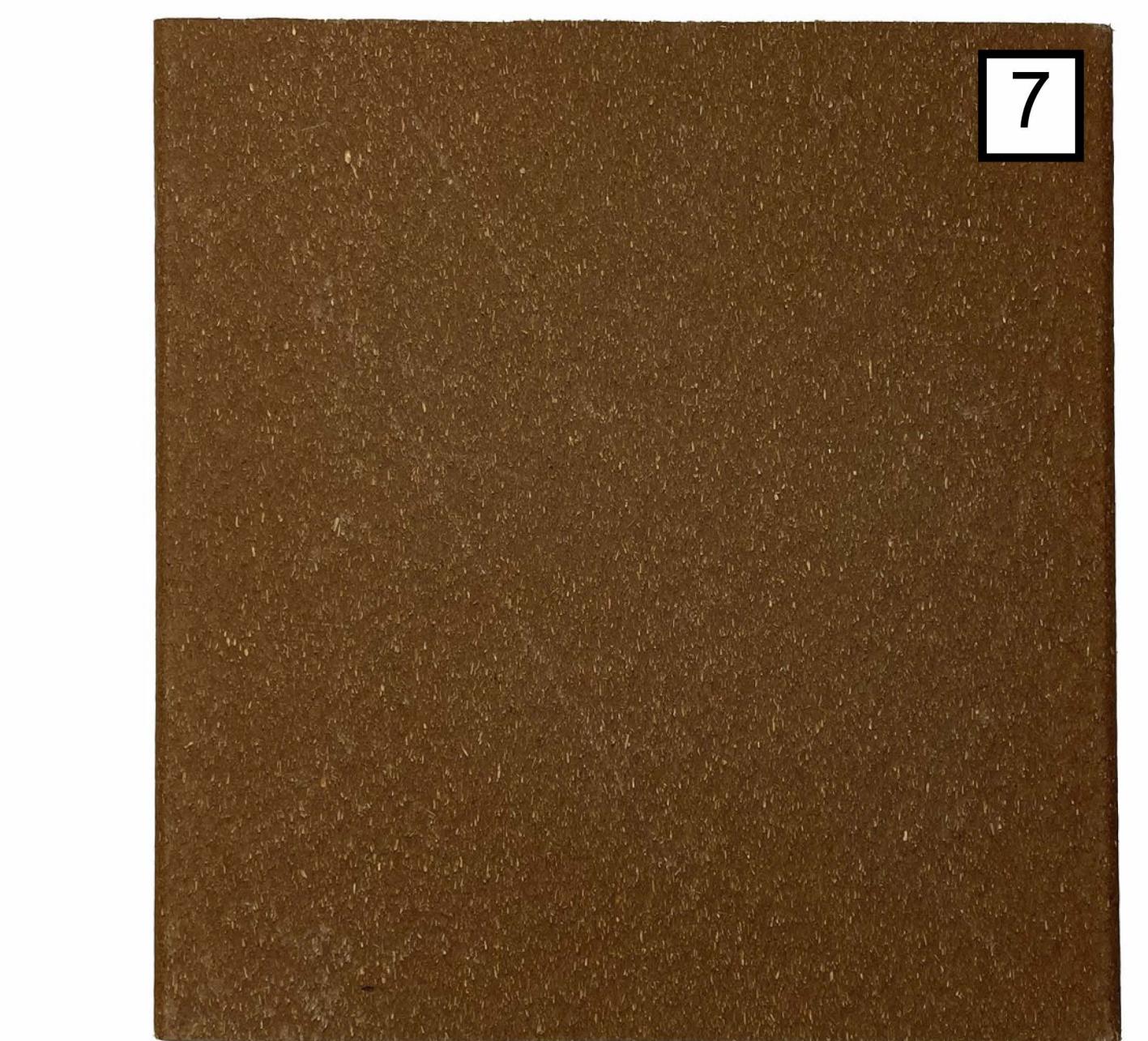
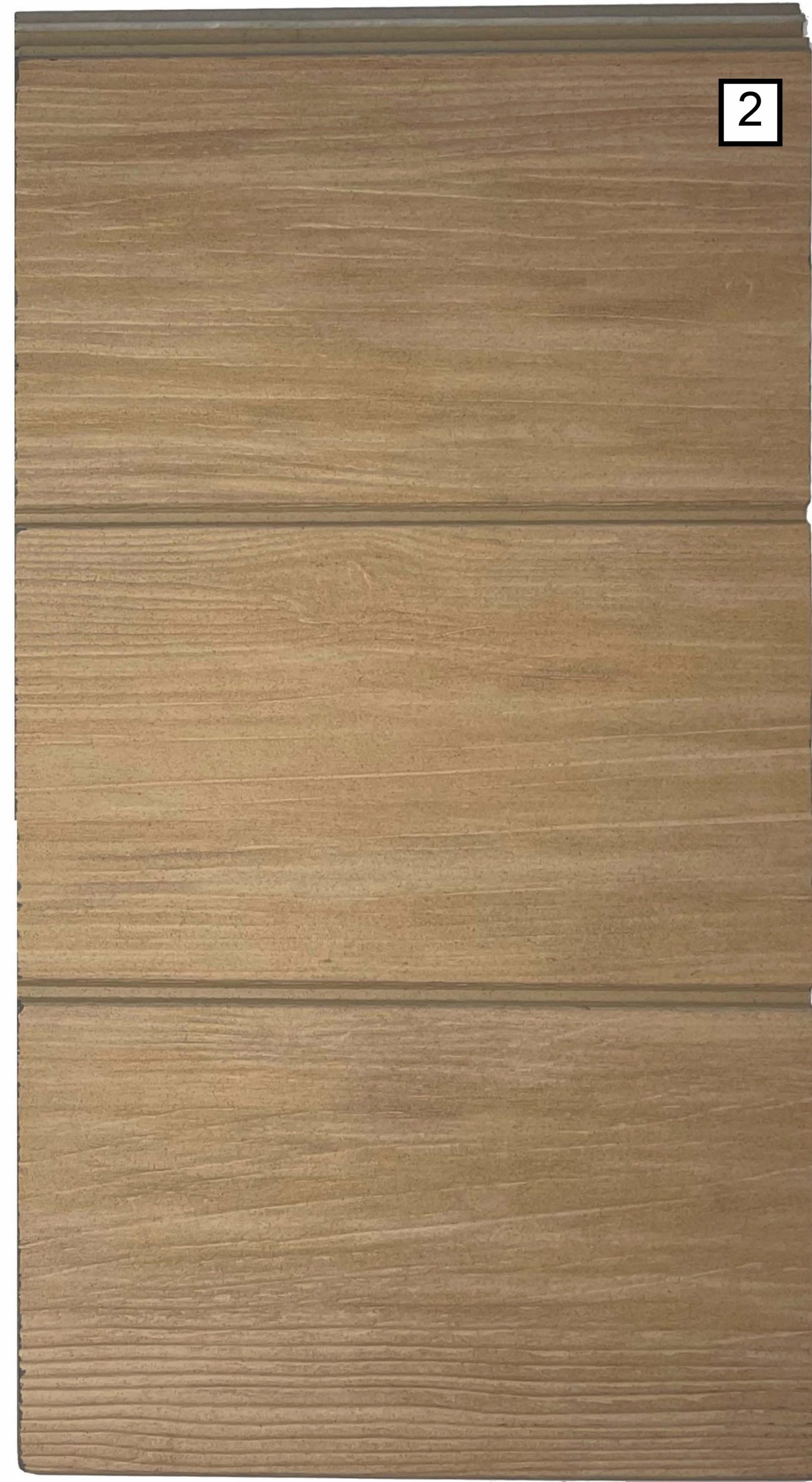
Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

19988		Native Seeding Mix Per COA				
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Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

223986		Total Landscape Provided				
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## BUILDING FINISHES



1. EXTERIOR BRICK
2. TOWER ELEMENT
3. WINDOW FRAMES & EXTERIOR DOORS
4. EIFs
5. ACCENT WINDOW FRAMES & SOFFIT
6. FASCIAS AT ENTRY
7. TREX FENCING

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Travel Stops STORE NO. 963  
ALBUQUERQUE, NM

Revisions:	
No.	Date

Project No.: LVS---  
Date: 12/21/22  
Sheet No.:  
OF: XX  
**A-2**

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Pascal Aughtry & Associates, PC

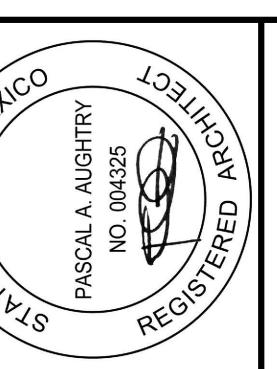








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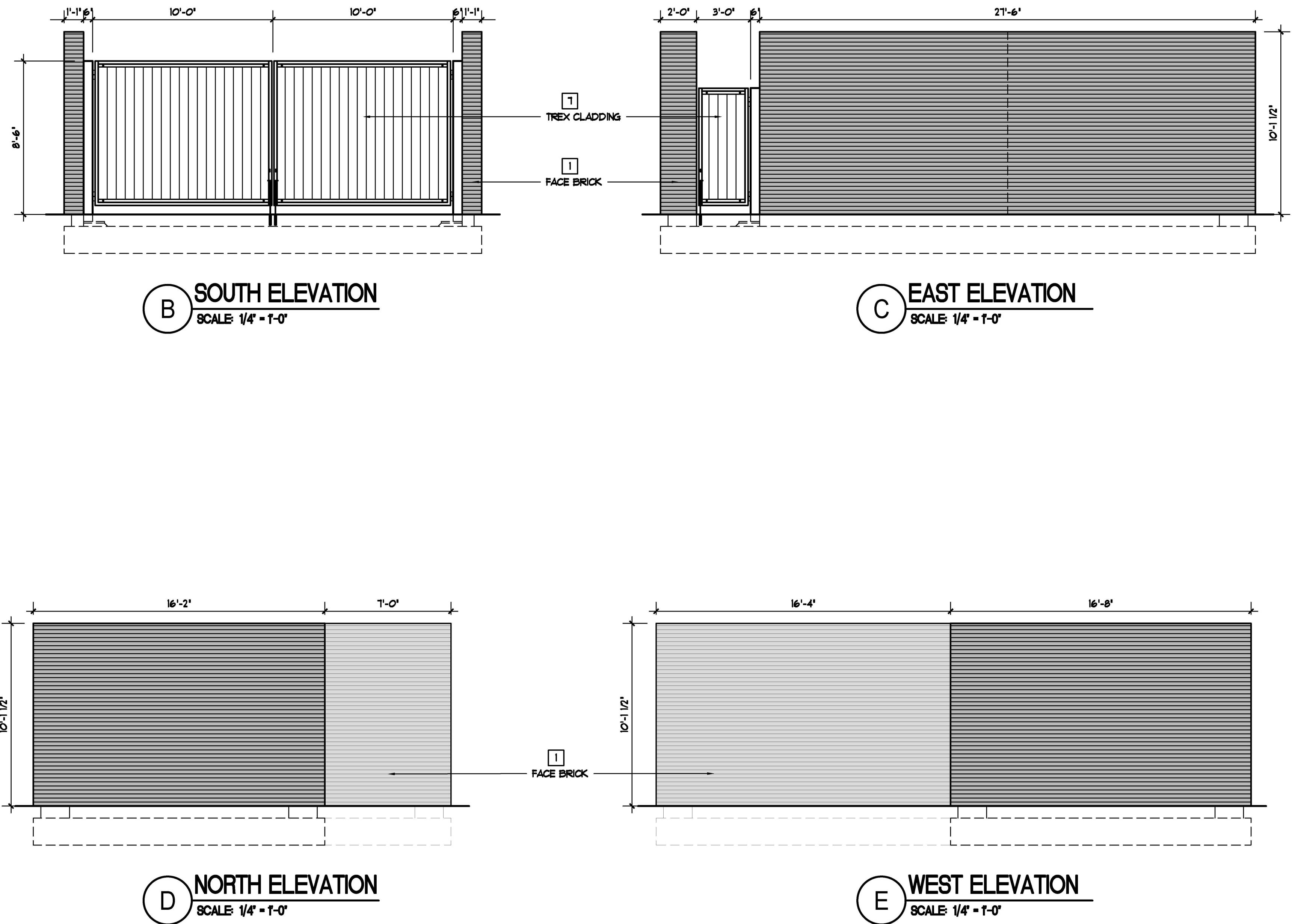
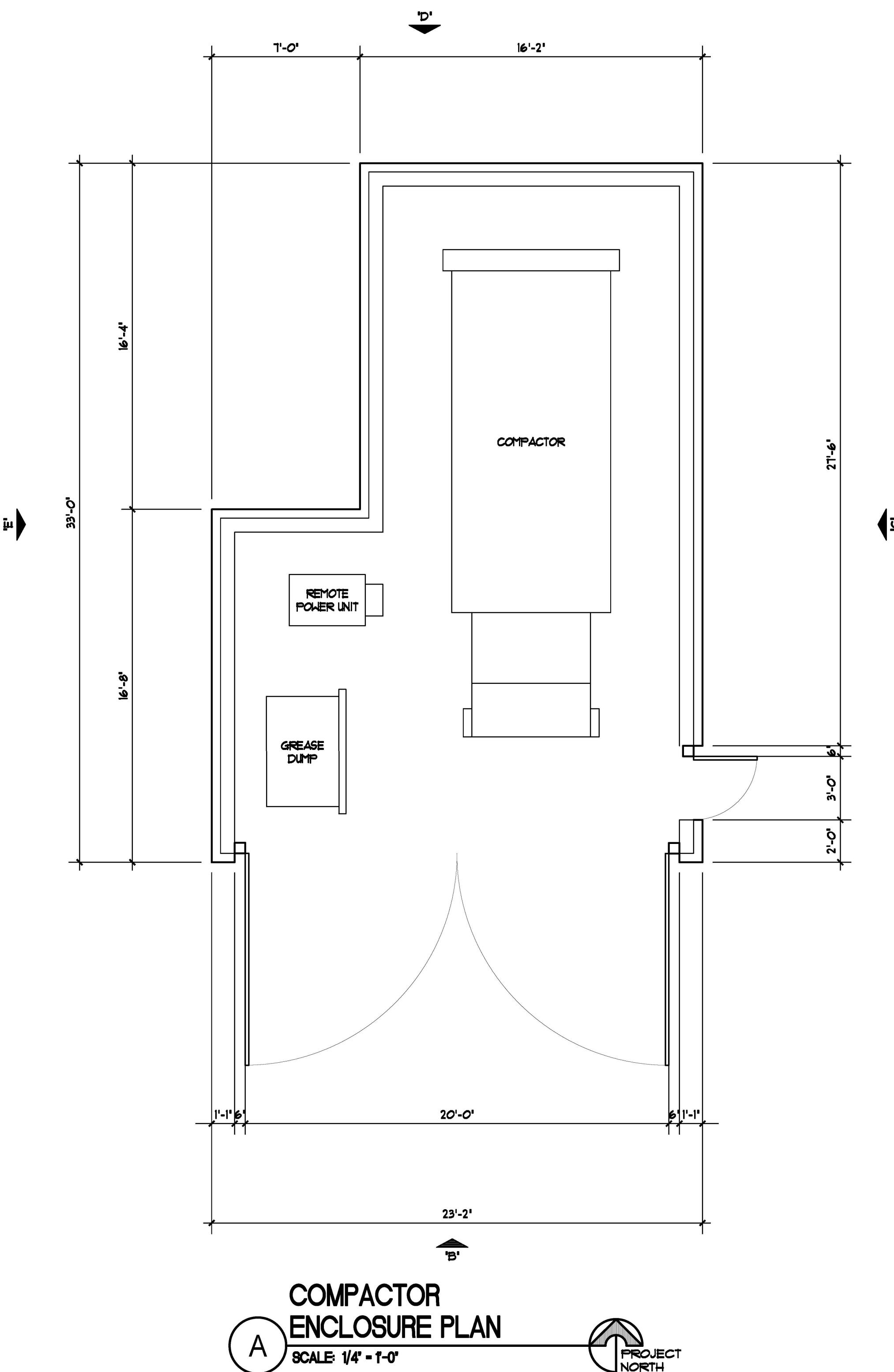
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Revisions:	
No.	Date
-	--

Project No.: LVS----  
Date: 12/21/22  
Sheet No.:

**A-5**

OF: XX



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# PR-2022-007103\_SI-2024-00922\_Site\_Plan\_Approved\_5-14-2025

Final Audit Report

2025-07-14

Created:	2025-06-12
By:	Jacob Boylan (jboylan@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAAEqc_ozd4jrhcgykBC1FuEyOMNKkyW_f

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