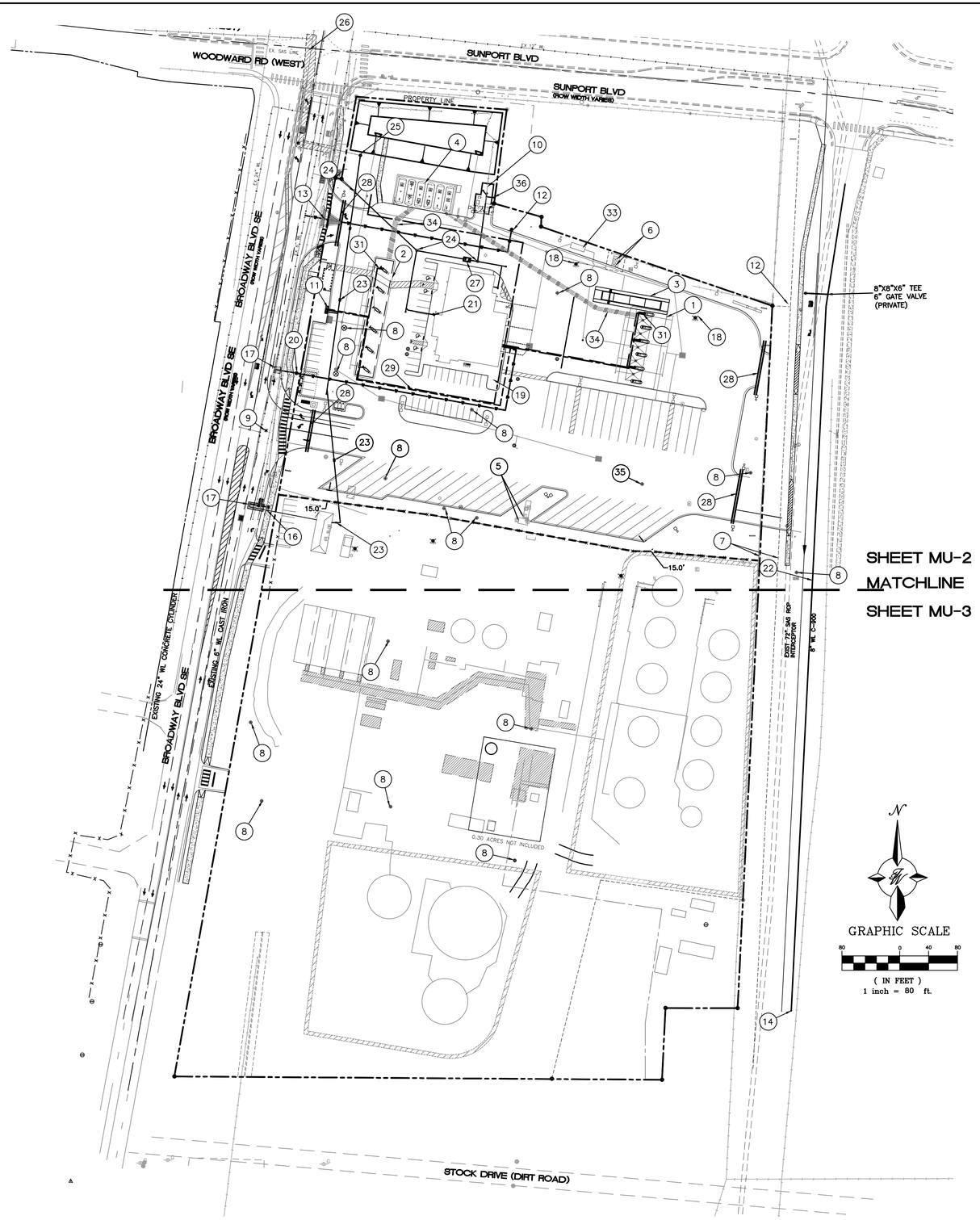
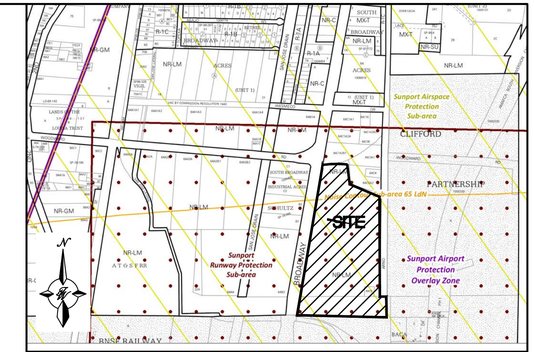


KEYED NOTES

1. TRUCK CANOPY (51' X 108')
2. AUTO CANOPY (29' X 168')
3. CAT SCALE
4. UNDERGROUND FUEL TANK FARM
5. EXISTING ELECTRICAL PANELS TO REMAIN
6. EXISTING TRANSFORMERS TO REMAIN
7. EXISTING 25' UTILITY EASEMENT
8. EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
9. EXISTING FIRE HYDRANT TO BE REMOVED
10. TRASH COMPACTOR (SEE ARCH. PLANS)
11. AIR/WATER AND RV DUMPSTATION
12. NEW FIRE HYDRANT
    6" GATE VALVE (PRIVATE)
    PER COA STD. DWG #2340
14. 8" WATER LINE CAP (PUBLIC)
16. SINGLE WATER METER, 1½"
17. REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD DWG #2405B
18. REMOVE EXISTING FIRE HYDRANT
19. TRANSFORMER
20. SINGLE WATER METER, 2"
21. 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
22. 8" PUBLIC GATE VALVE
23. 4" SANITARY SEWER CLEAN OUT
24. 4' DIA. SANITARY SEWER MANHOLE
25. SANITARY SEWER LIFT STATION
26. EXISTING SANITARY SEWER MANHOLE (PUBLIC)
27. GREASE TRAP
28. 2–6" PVC CONDUIT (SCH. 40)
29. 1" WATERLINE
34. NOT USED
33. OIL/WATER SEPARATOR
31. POST HYDRANT
35. EXISTING MONITORING WELL TO BE ABANDONED
36. 4" DUMPSTER DRAIN VENT PER UPC–901.2 AND 1001.2, VENT PIPE SHALL EXTEND NOT LESS THAN 10 FT ABOVE SURROUNDING GRADE AND BE SECURELY SUPPORTED (UPC–906.4)

NOTES:

1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.
3. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505–289–3454.
4. COORDINATION WITH WATER AUTHORITY PRE–TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDIANCE. CONTACT THE PRE–TREATMENT ENGINEER AT 505–289–3439.



VICINITY MAP: M-14

MAP44 TR 64C2 EXC 03.0 ACX ALL TR 64C3A2 CONT 31.43 AC
UPC 101405533908840121

NOTES

1. COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPERT BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNETION SECTION AT 505–289–3454.
2. COORDINATION OWITH THE WATER AUTHORITY PRE–TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE–TREATMENT ENGINEER AT 505–289–3439.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- 36" SD — STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EXISTING PVC WATERLINE
- PROPOSED HYDRANT
- PARKING LOT LIGHT FIXTURE
- SAWCUT

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS–BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER 3–27–25 RONALD R. BOHANNAN P.E. #7868	BROADWAY/SUNPORT BLVD OVERALL UTILITY PLAN TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858–3100 www.tierrawestllc.com	DRAWN BY PM DATE 3–27–25 2022031_MU SHEET # MU–1 JOB # 2022031

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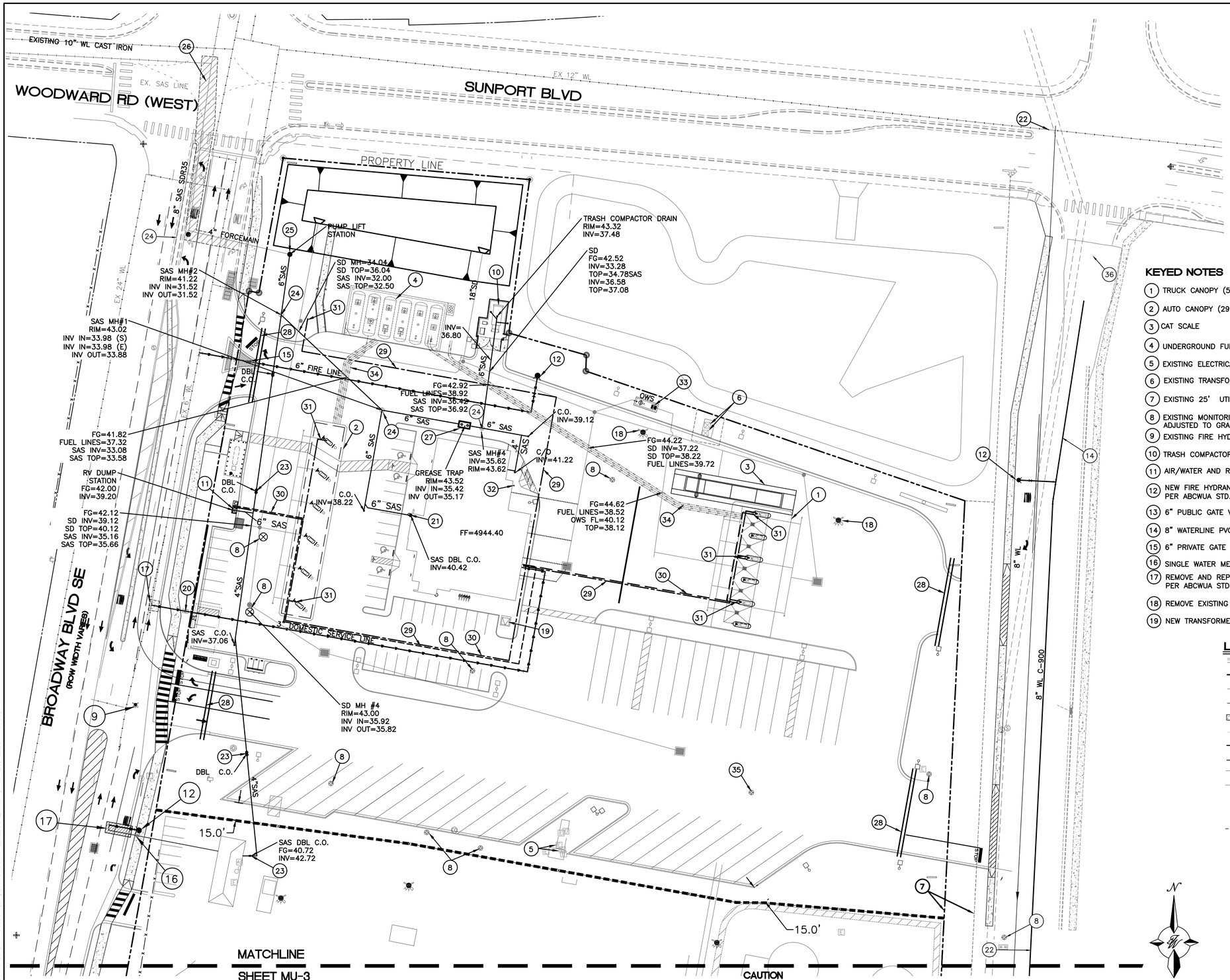
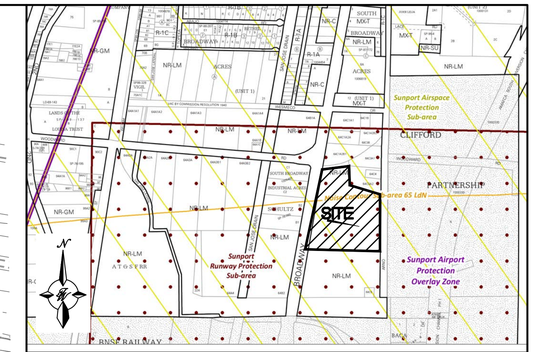




VICINITY MAP: M-14

KEYED NOTES

1. TRUCK CANOPY (51' X 108')
2. AUTO CANOPY (29' X 168')
3. CAT SCALE
4. UNDERGROUND FUEL TANK FARM
5. EXISTING ELECTRICAL PANELS TO REMAIN
6. EXISTING TRANSFORMERS TO REMAIN
7. EXISTING 25' UTILITY EASEMENT
8. EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
9. EXISTING FIRE HYDRANT TO BE RELOCATED
10. TRASH COMPACTOR (SEE ARCH. PLANS)
11. AIR/WATER AND RV DUMPSTATION
12. NEW FIRE HYDRANT W/PRIVATE GATE VALVE PER ABCWUA STD. DWG #2340
13. 6" PUBLIC GATE VALVE
14. 8" WATERLINE PVC-C-900
15. 6" PRIVATE GATE VALVE
16. SINGLE WATER METER, 1½"
17. REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD DWG #2405B
18. REMOVE EXISTING FIRE HYDRANT
19. NEW TRANSFORMER
20. SINGLE WATER METER 2" PER ABCWUA STD DWG #2363
21. 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
22. PUBLIC GATE VALVE
23. 4" SANITARY SEWER CLEAN OUT
24. 4' DIA. SANITARY SEWER MANHOLE
25. SANITARY SEWER LIFT STATION
26. EXISTING SANITARY SEWER MANHOLE
27. GREASE TRAP
28. (2) 6" SCH 40 PVC CONDUITS (REFERENCE PLUMBING SITE PLAN, P101)
29. 1" WATERLINE (REFERENCE PLUMBING SITE PLAN, P101)
30. 1" AIR (REFERENCE PLUMBING SITE PLAN, P101)
31. POST HYDRANT (REFERENCE PLUMBING SITE PLAN, P101)
32. GAS METER
33. OIL WATER SEPERATOR
34. NOT USED
35. EXISTING MONITORING WELL TO BE ABANDONED
36. TIE TO EXISTING 8" WATERLINE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- EXISTING SANITARY SEWER LINE (EX. 8" SAS)
- EXISTING PVC WATERLINE
- PROPOSED HYDRANT
- PARKING LOT LIGHT FIXTURE
- SAWCUT

NOTES:

1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

GRAPHIC SCALE

40 0 20 40

(IN FEET)
1 inch = 40 ft.

NO.	DATE	REMARKS	BY
1	12-2-24	RELOCATED GREASE TRAP	PM

REVISIONS

ENGINEER'S SEAL

VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER

3-27-25

RONALD R. BOHANNAN P.E. #7868

BROADWAY/SUNPORT BLVD

UTILITY PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

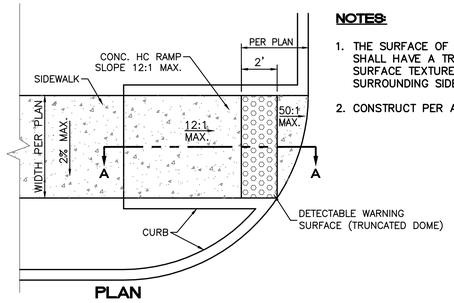
DRAWN BY PM

DATE 3-27-25

2022031_MU

SHEET # MU-2

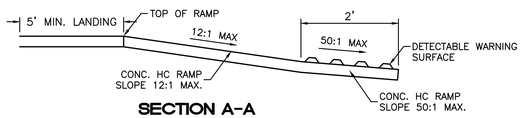
JOB # 2022031



PLAN

NOTES:

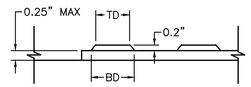
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A

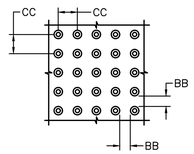
UNIDIRECTIONAL HC RAMP

NOT TO SCALE



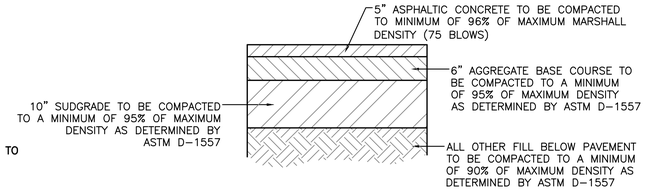
DOME SECTION

BD – BASE DIAMETER 0.9" MIN
TD – TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



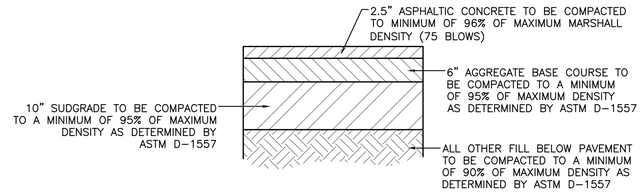
DOME SPACING

CC – CENTER TO CENTER SPACING 2.35"
BB – BASE TO BASE SPACING 1.48" MIN



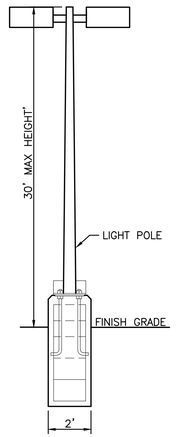
HEAVY DUTY (TRUCK) TYPICAL PAVING SECTION

1" = 1'



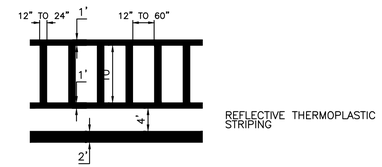
LIGHT DUTY (AUTO) TYPICAL PAVING SECTION

1" = 1'



LIGHT POLE DETAIL

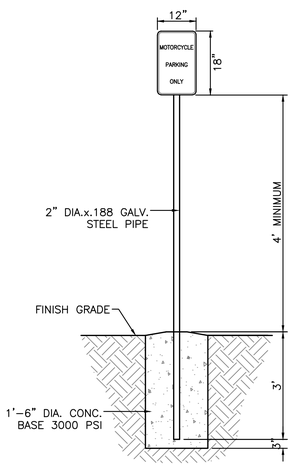
NTS



ALL PAVEMENT MARKINGS SHALL CONFORM TO M.U.T.C.D. SPECS (LATEST EDITION)

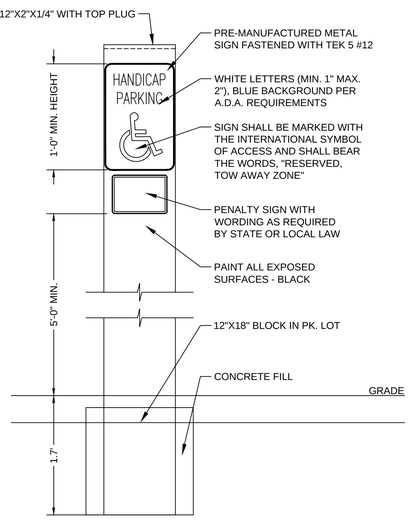
CROSSWALK DETAIL

NTS



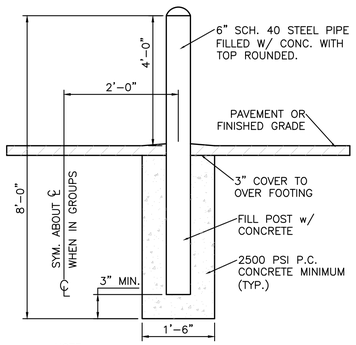
MOTORCYCLE PARKING SIGN

NTS



HANDICAP SIGNAGE POST

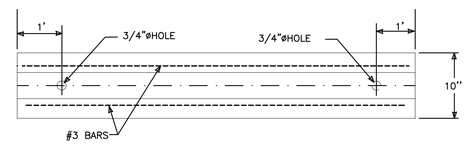
NOT TO SCALE

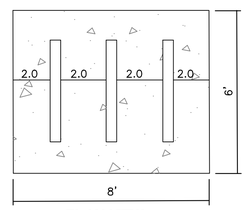


NOTE:
ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

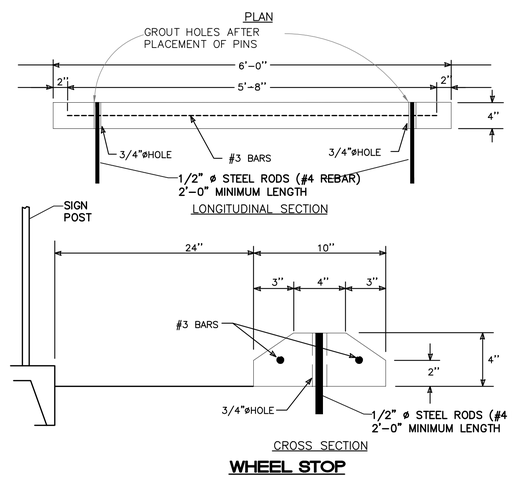
BOLLARD DETAIL

NTS

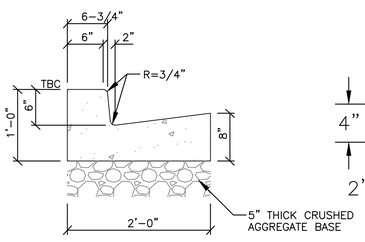




PLAN VIEW

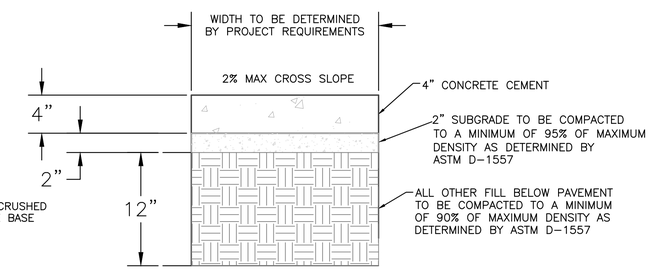


WHEEL STOP

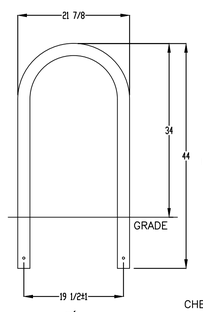


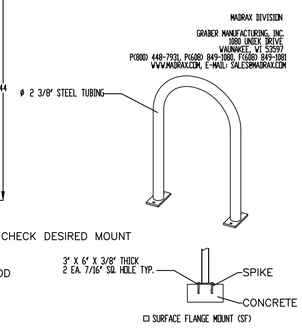
STANDARD CURB AND GUTTER

NTS



CONCRETE SIDEWALK SECTION





PRODUCT: U238-1G(SF)
DESCRIPTION: 'U' BIKE RACK
2 BIKE, SURFACE OR IN GROUND MOUNT
DATE: 10-4-18
ENG: SMC

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NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
3. BIKE RACK SHALL HAVE A 1-FOOT CLEAR ZONE ALL AROUND.
3. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

BIKE RACK DETAIL

SCALE: NONE

ENGINEER'S SEAL

VINCENT P. CARRICA
NEW MEXICO
16212
LICENSED PROFESSIONAL ENGINEER
3-27-25

BROADWAY/SUNPORT BLVD

CONSTRUCTION DETAILSS

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY	PM
DATE	3-27-25
	2022031_SP
SHEET #	DET-1
JOB #	2022031

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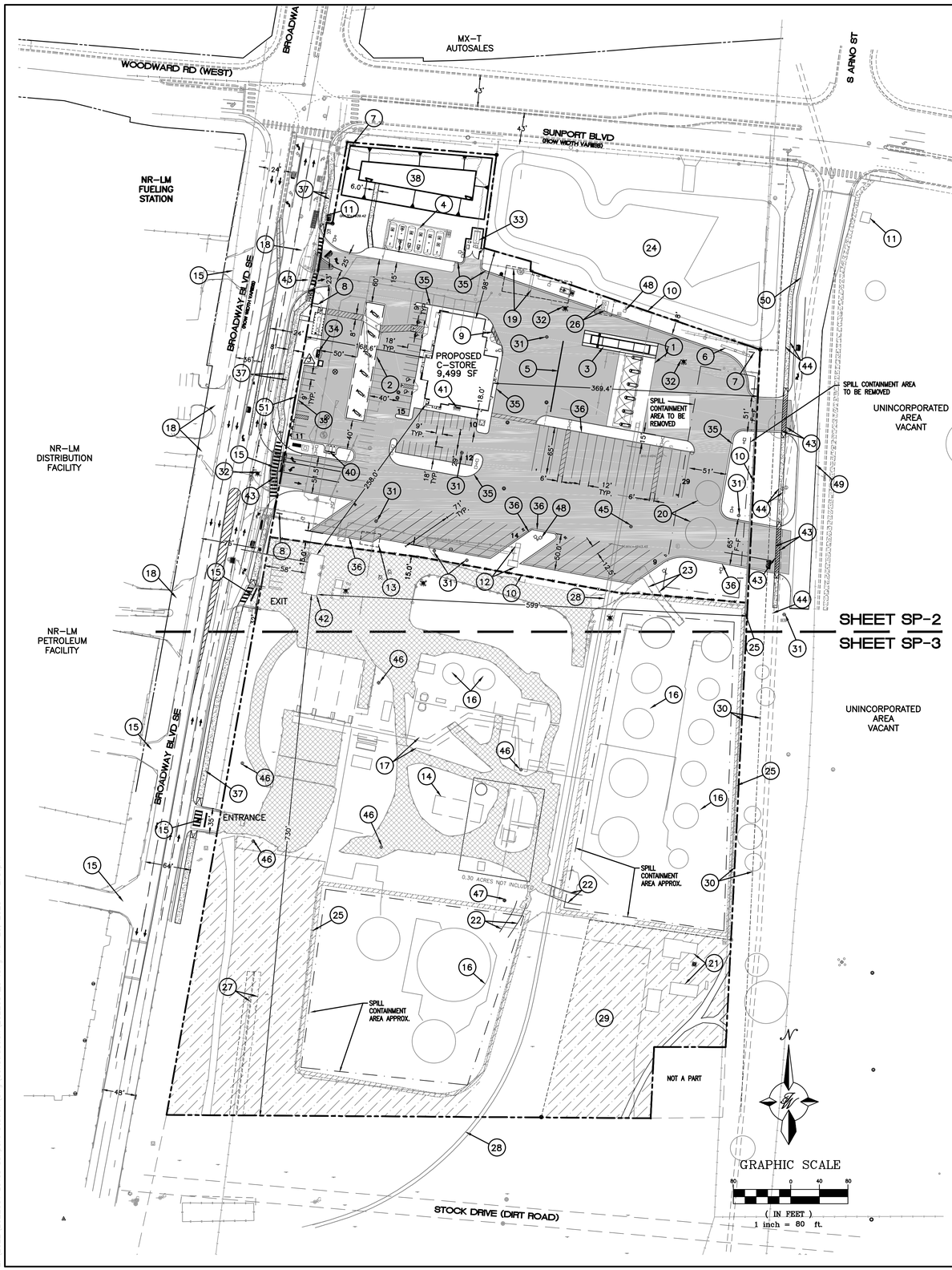


KEYED NOTES: TRAVEL CENTER (NEW)

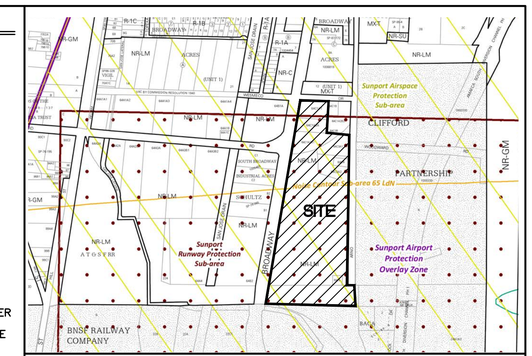
1. TRUCK CANOPY (51' x 108')
2. AUTO CANOPY (29' X 168')
3. CAT SCALE
4. UNDER GROUND FUEL TANKS
5. PULL FORWARD LINE
6. POLE SIGN
7. NOT USED
8. PRICE SIGN
9. LOADING ZONE
10. LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
11. EXISTING INLET PROTECTION
12. EXISTING ELECTRICAL PANELS TO REMAIN
13. EXISTING CAR PORT TO BE REMOVED
18. EXISTING NON-GATED ACCESS
19. EXISTING BUILDING TO BE REMOVED
20. EXISTING ABOVE GROUND STORAGE TANK TO BE REMOVED
23. EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
24. MUNICIPAL STORM DRAIN POND
25. FUEL SPILL CONTAINMENT BERM TO REMAIN
26. EXISTING TRANSFORMERS TO REMAIN
30. EXISTING 25' UTILITY EASEMENT
31. EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
32. EXISTING FIRE HYDRANT TO BE REMOVED
33. TRASH COMPACTOR (REF. ARCHITECTUAL PLANS FOR DETAILS)
34. RV DUMPSTATION
35. 6" HEADER CURB
36. 8" HEADER CURB
37. 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
38. STORM DRAIN POND
40. MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
41. BICYCLE PARKING (5 SPACES)
43. CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
44. 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
45. EXISTING MONITORING WELL TO BE ABANDONED
46. EXISTING MONITORING WELL TO REMAIN AS IS
48. AREA LIGHTS (TYP) 30' MAXIMUM
49. TEMPORARY ASPHALT CURB
50. STANDARD CURB & GUTTER
51. 3' OPAQUE (CMU) SCREEN WALL

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- EXISTING UNDISTURBED SOIL
- EXISTING ASPHALT
- ASPHALT & CONCRETE PAVING AREA
- SPILL CONTAINMENT AREA
- PARKING LOT LIGHT FIXTURE

KEYED NOTES: FUELING DEPOT (TO REMAIN)

14. EXISTING BUILDING TO REMAIN
15. EXISTING GATED ACCESS
16. EXISTING STORAGE TANK TO REMAIN (TYP.)
17. EXISTING ABOVE GROUND PIPING TO REMAIN
21. EXISTING CONCRETE PADS TO REMAIN (TYP)
22. EXISTING CONTAINMENT AREA ACCESS TO REMAIN
27. EXISTING UTILITY EASEMENT
28. EXISTING RAIL SPUR TO REMAIN
29. EXISTING PLAINS PIPELINE EASEMENT SITE
30. EXISTING 25' UTILITY EASEMENT
31. EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
42. EXISTING OFFICE BUILDING TO REMAIN
46. EXISTING MONITORING WELL TO REMAIN AS IS
47. NEW MONITORING WELL LOCATION



VICINITY MAP: M-14

LEGAL DESCRIPTION:

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE:	INDUSTRIAL
ZONE:	NR-LM
LOT AREA:	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE, N.M. 87105

VARIANCES:

1. VARIANCE TO ALLOWABLE SIGN AREA (CAT SCALE SIGN, 107.75 SF)
2. VARIANCE TO ALLOWABLE SIGN AREA (PRICER SIGNS, 148.33 SF)
3. NUMBER OF FREESTANDING SIGNS (5 SIGNS) INCREASE OF 2 SIGNS
4. NUMBER OF ELECTRONIC SIGNS (2 SIGNS) INCREASE OF 1 SIGN

NOTE:

1 – ALL APO 3-3(C) USE REGULATIONS ARE MET/BEING FOLLOWED

3-3(B)(1) AIR SPACE PROTECTION SUB-AREA: THIS SUB-AREA UNDERLIES A HORIZONTAL SURFACE ESTABLISHED AT A HEIGHT OF 150 FEET ABOVE THE HIGHEST POINT OF THE USABLE LANDING AREA AT EACH AIRPORT, RESULTING IN A HORIZONTAL SURFACE AT 5,504.9 FEET IN ELEVATION FOR THE ALBUQUERQUE INTERNATIONAL SUNPORT. THE BASE OF THE ELEVATION IS OVER 650' BELOW THE ELEVATION OF RUNWAY

2 – A CUMULATIVE IMPACT ANALYSIS WAS CONDUCTED PURSUANT TO 5-2(E) AND THE IMPACTS OF THIS DEVELOPMENT ARE MITIGATED TO THE GREATEST EXTENT PRACTICABLE THE TIS HAS BEEN SUBMITTED AND REVIEWED BY THE COA, NMDOT AND BERNALILLO COUNTY. THE MITIGATION MEASURES ARE BEING REVIEWED BY THE THREE AGENCIES AND WILL BE MADE PART OF THE APPROVAL OF THE EXPANSION OF THE TRAVEL CENTER PRIOR TO THE FINAL APPROVAL OF THE TIS.

3 – THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD

4 – SIGN MATERIAL AND ANY FEATURES THERE IN COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

5 – WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS

6 – LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

7 – THE PROJECT WILL BE REGULATED BY THE STATE OF NEW MEXICO ENVIRONMENTAL DEPARTMENT AND THE AIR QUALITY GROUP OF THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NO.	DATE	REMARKS	BY
3	10-15-24	RELOCATED RV DUMP STATION	PM
2	6-10-24	ADDED SCREEN WALL, CHANGED NOTE 48	PM
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG

REVISIONS

ENGINEER'S SEAL

VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER

3-27-25

VINCENT P. CARRICA P.E. #16212

BROADWAY/SUNPORT BLVD

OVERALL SITE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY PM

DATE 3-27-25

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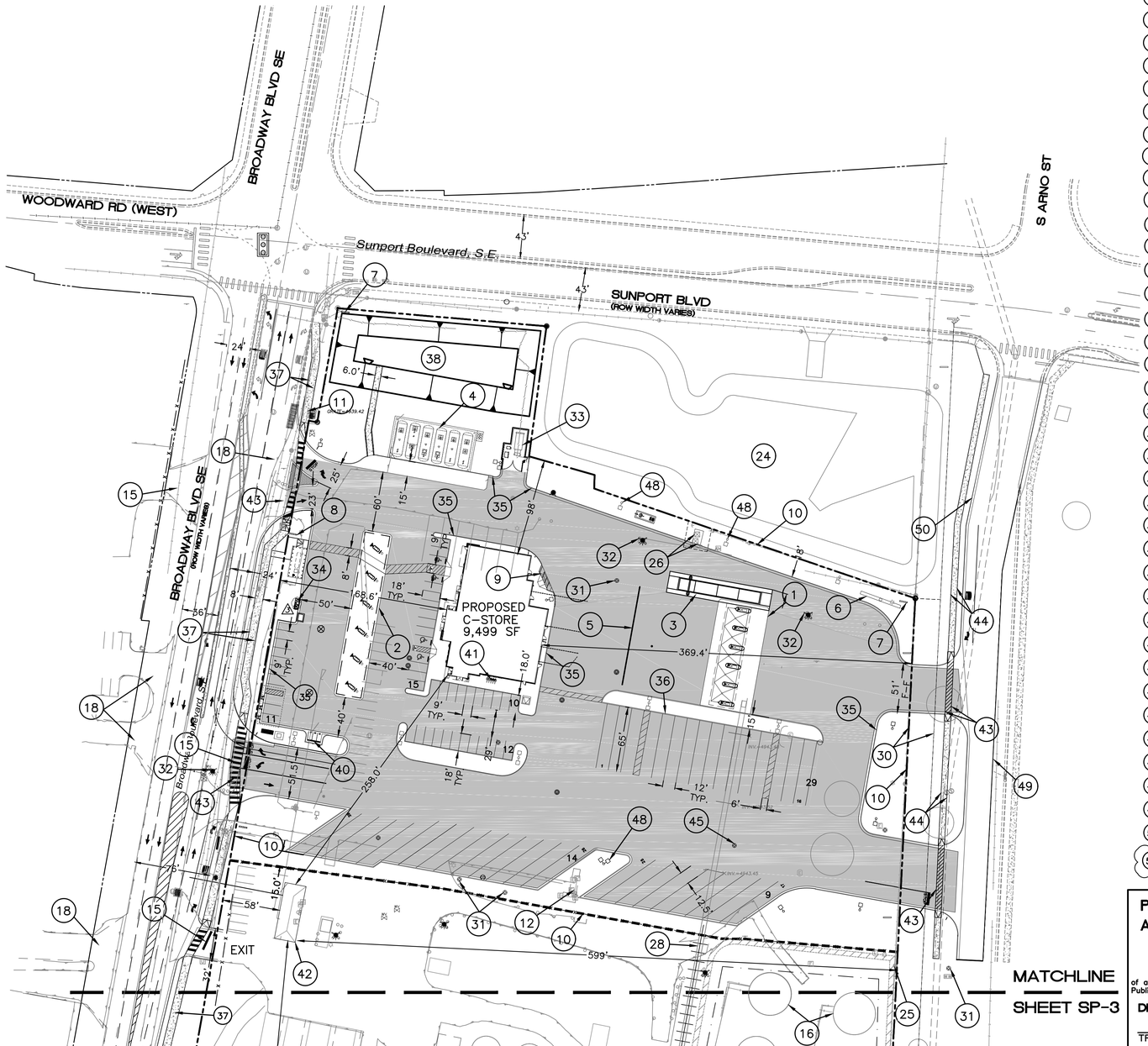
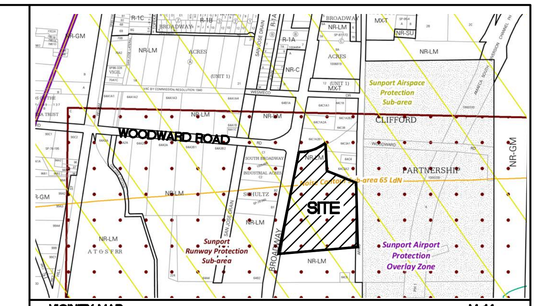
SHEET # SP-1

JOB # 2022031



KEYED NOTES

1. TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
2. AUTO CANOPY (29' X 168') (LIGHT VEHICLE)
3. CAT SCALE
4. UNDER GROUND FUEL TANK FARM
5. PULL FORWARD LINE
6. POLE SIGN
7. MONUMENT SIGN
8. PRICE SIGN
9. LOADING ZONE
10. LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
12. EXISTING ELECTRICAL PANELS TO REMAIN
15. EXISTING GATED ACCESS W/ CROSS WALK STRIPE
16. EXISTING STORAGE TANK TO REMAIN (TYP.)
17. PEDESTRIAN CONNECTION STRIPING
18. EXISTING NON-GATED ACCESS W/ CROSS WALK STRIPE
24. MUNICIPAL STORM DRAIN POND
25. FUEL SPILL CONTAINMENT BERM TO REMAIN
26. EXISTING TRANSFORMERS TO REMAIN
28. EXISTING RAIL SPUR TO REMAIN
30. EXISTING 25' UTILITY EASEMENT
31. EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
32. EXISTING FIRE HYDRANT TO BE REMOVED
33. TRASH COMPACTOR
34. RV DUMPSTATION
35. 6" HEADER CURB
36. 8" HEADER CURB
37. 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
38. STORM DRAIN POND
40. MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
41. BICYCLE PARKING (5 SPACES)
42. EXISTING OFFICE BUILDING TO REMAIN
43. CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
44. 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
45. EXISTING MONITORING WELL TO BE ABANDONED
48. AREA LIGHT (TYP)
49. TEMPORARY ASPHALT CURB
50. STANDARD CURB & GUTTER
51. 3' OPAQUE (CMU) SCREEN WALL



VICINITY MAP: M-14

SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	
LOVE'S TRAVEL STOP	292,169 SF (6.707 ACRES)
FUELING DEPOT	494,353 SF (11.353 ACRES)
OVERALL	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 SF OVERALL 3322 SF RESTAURANT 6177 SF LIGHT VEHICLE FUELING, GENERAL RETAIL AND HEAVY FUELING
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	7 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 25 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)

*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING

	19 SPACES (5.6 SPACE/1000 SQ. FT GFA FOR RESTAURANT) 51 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
FUTURE PARKING FUELING DEPOT	10 SPACES

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING LANE
- EXISTING STRIPING
- ASPHALT PAVING AREA
- SPILL CONTAINMENT AREA
- PARKING LOT LIGHT FIXTURE
- EXISTING TRAFFIC SIGNAL

PROJECT NUMBER: _____

APPLICATION NUMBER: _____

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
PLANNING DEPARTMENT	Date

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOTE:

1 – AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 30 FT HEIGHT

2 – THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD

3 – STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

N

GRAPHIC SCALE

60 0 30 60

(IN FEET)
1 inch = 60 ft.

REV. NO.	DATE	REMARKS	BY
3	10-15-24	RELOCATED RV DUMP STATION	PM
2	6-10-24	ADDED SCREEN WALL AND NOTE	PM
1	05-13-2024	BUILDING PERMIT COMMENTS	RMC

REVISIONS

ENGINEER'S SEAL

VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER

3-27-25

VINCENT P. CARRICA
P.E. #16212

BROADWAY/SUNPORT BLVD
TRAVEL CENTER SITE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: PM

DATE: 3-27-25

2022031_SP

SHEET #: SP-2

JOB #: 2022031

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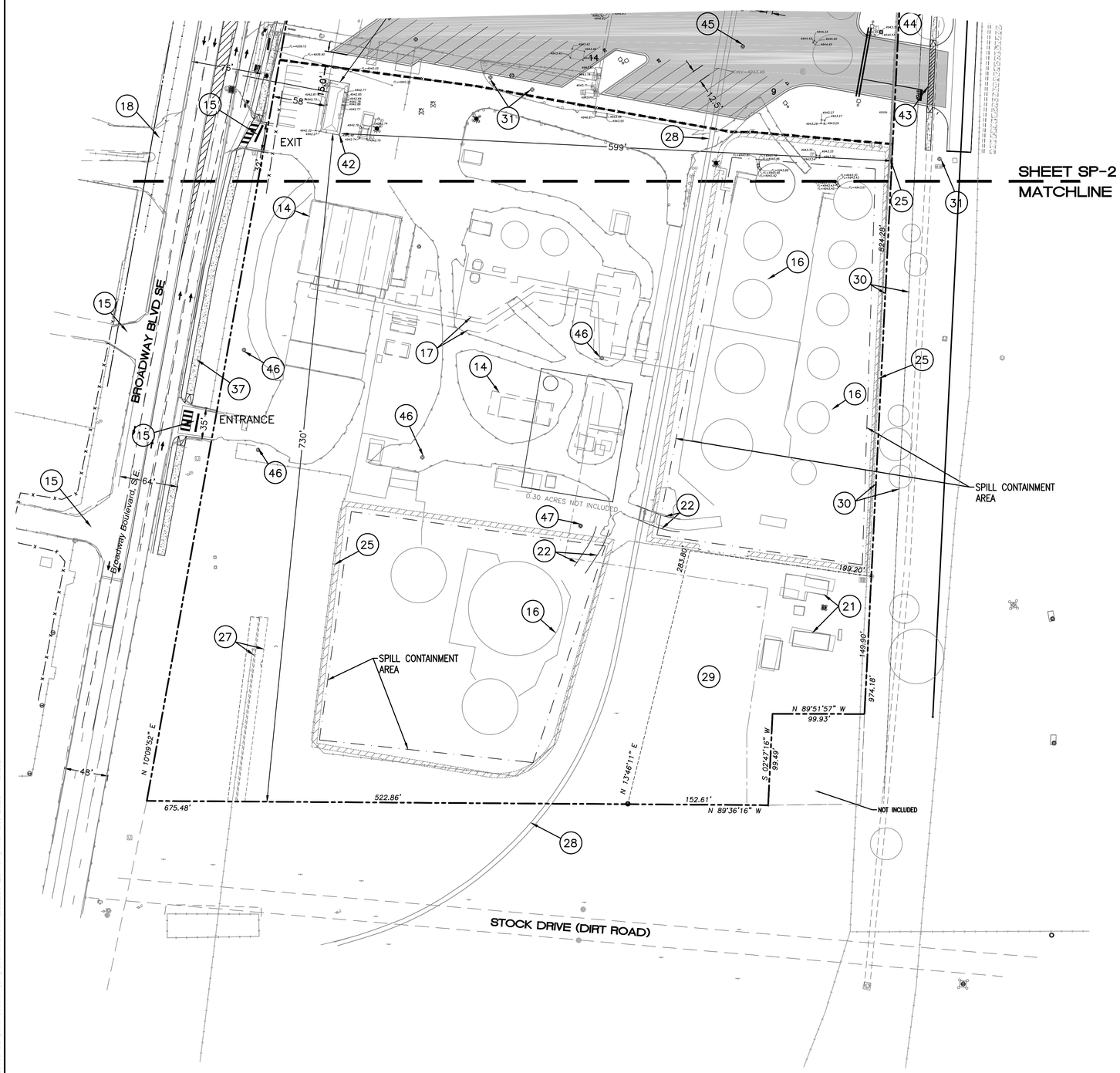
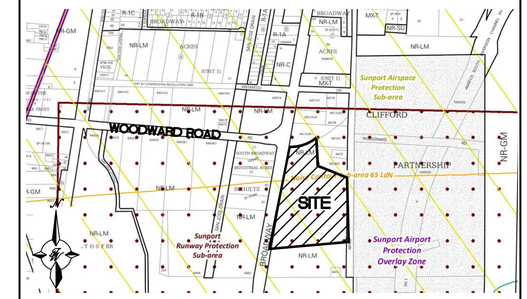


KEYED NOTES

- (14) EXISTING BUILDING TO REMAIN
- (15) EXISTING GATED ACCESS
- (16) EXISTING STORAGE TANK TO REMAIN (TYP.)
- (17) EXISTING ABOVE GROUND PIPING TO REMAIN
- (18) EXISTING NON-GATED ACCESS
- (21) EXISTING CONCRETE PADS TO REMAIN (TYP)
- (22) EXISTING CONTAINMENT AREA ACCESS TO REMAIN
- (23) EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- (25) FUEL SPILL CONTAINMENT BERM TO REMAIN
- (27) EXISTING UTILITY EASEMENT
- (28) EXISTING RAIL SPUR TO REMAIN
- (29) EXISTING PLAINS PIPELINE EASEMENT SITE
- (30) EXISTING 25' UTILITY EASEMENT
- (31) EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- (37) 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
- (42) EXISTING OFFICE BUILDING TO REMAIN
- (46) EXISTING MONITORING WELL TO REMAIN AS IS
- (47) NEW MONITORING WELL LOCATION



VICINITY MAP: M-14

LEGAL DESCRIPTION:

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE:	INDUSTRIAL
ZONE:	NR-LM
LOT AREA:	494,353 S.F. (11.353 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE, N.M. 87105

NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

CAUTION

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N

GRAPHIC SCALE

60 0 30 60

(IN FEET)
1 inch = 60 ft.

REV. NO.	DATE	REMARKS	BY
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG

REVISIONS

ENGINEER'S SEAL

VINCENT P. CARRICA
NEW MEXICO
16212
LICENSED PROFESSIONAL ENGINEER
3-27-25

BROADWAY/SUNPORT BLVD

FUELING DEPOT AS BUILT SITE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: PM

DATE: 3-27-25

2022031_SP

SHEET #: SP-3

JOB #: 2022031

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TRAVEL CENTER EXHIBIT
AIR SPACE PROTECTION HORIZONTAL SURFACE
(3-3(B)(1))PROPOSED STRUCTURE HEIGHTS/ELEVATIONS
FALL BELOW THE AIR SPACE PROTECTION HORIZONTAL
SURFACE ELEVATION OF 5504.90

ENGINEER'S SEAL VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER 3-27-25 VINCENT P. CARRICA P.E. #16212	BROADWAY/SUNPORT BLVD SITE DETAILS TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	DRAWN BY PM DATE 3-27-25 2022031 TCL SHEET # DET-6 JOB # 2022031

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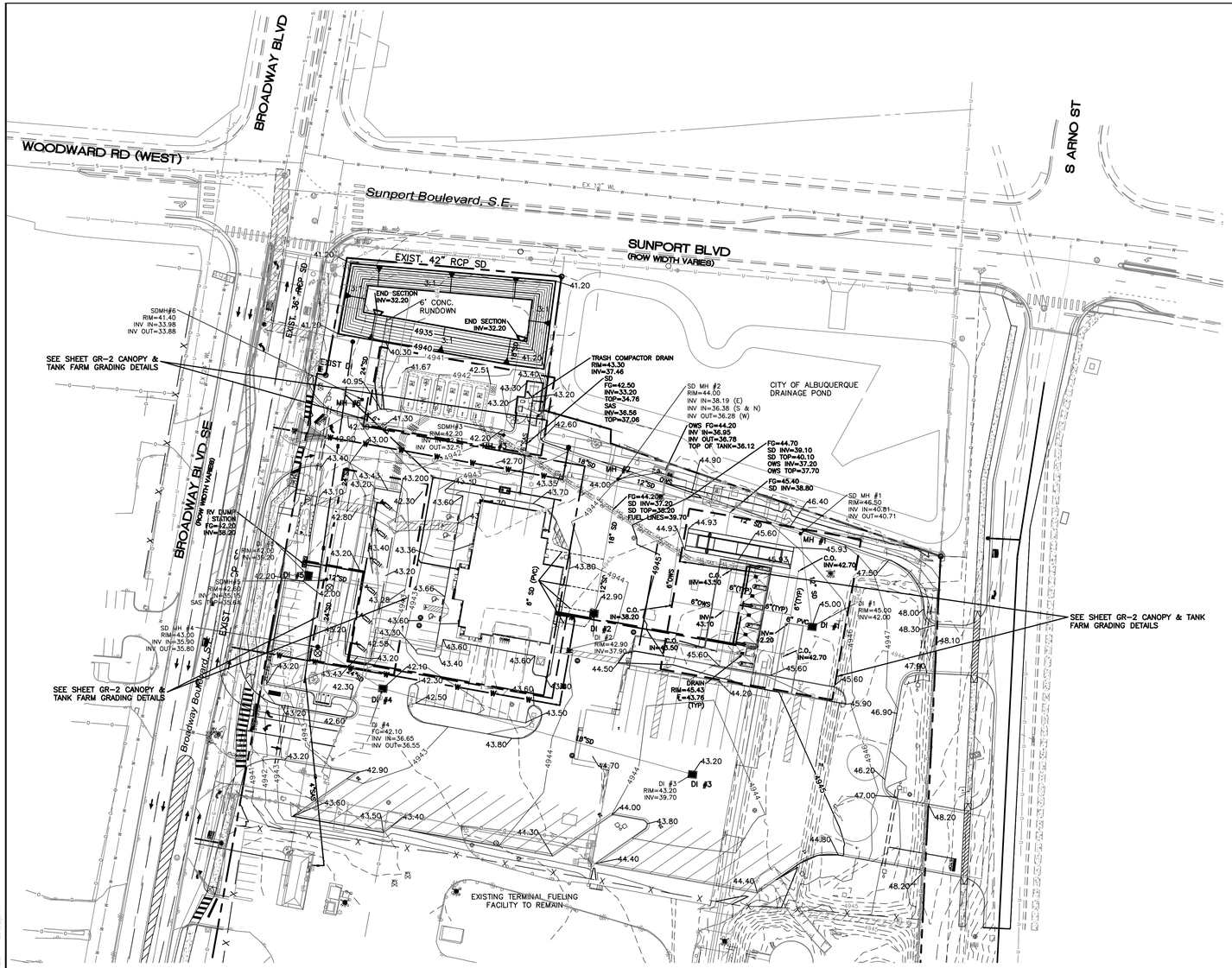
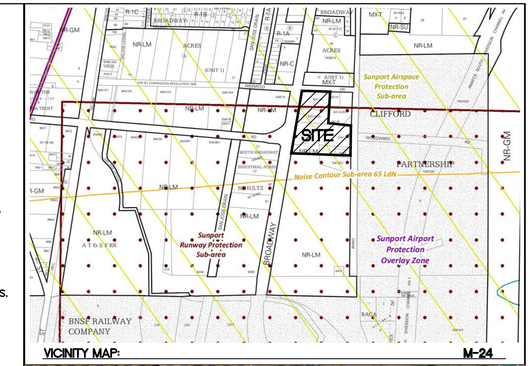


NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR ¾" GRAVEL



VICINITY MAP: M-24

FIRM MAP 35001C0342G

STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH#1	6' DIA	4946.50	4940.81 (IN) 4940.71 (OUT)
MH#2	4' DIA	4944.00	4938.19 (EAST) 4936.38 (SOUTH &NORTH) 4936.28 (WEST)
MH#3	4' DIA	4942.20	4932.61 (IN) 4932.51 (OUT)
MH#4	4' DIA	4943.00	4935.90 (IN) 4935.80 (OUT)
MH#5	4' DIA	4942.60	4935.15 (IN) 4935.64 (SAS TOP)
MH#6	4' DIA	4941.40	4933.98 (IN) 4933.88 (OUT)
DI #1	TYPE D	4945.00	4942.00
DI #2	TYPE D	4942.90	4937.90
DI #3	TYPE D	4943.20	4939.70
DI #4	TYPE D	4942.10	4936.65 (IN) 4936.55 (OUT)
DI #5	TYPE D	4942.00	4939.20

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 CONTOUR MAJOR
- 5011 CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PARKING LOT LIGHT FIXTURE

Weighted E Method

Zone:
Zone 2
Developed Basins

Basin	Basin Area			Treatments								100-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment A (acres)	Treatment B %	Treatment B (acres)	Treatment C %	Treatment C (acres)	Treatment D %	Treatment D (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
Loves	292,169.0	6.71	0.010	0%	0.00	25%	1.68	0%	0.00	75%	5.03	1.948	1.089	25.79
Total	**292,169.0**	**6.707**	**0.01048**		**0.00**		**1.677**		**0.000**		**5.030**		**1.089**	**25.79**

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)
Volume = Weighted D * Total Area
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

$V_{10\text{-}DAY}=V_{BHR}+A_D(P_{10DAYS}-P_{BHR})/12$ IN/FT
P_{10DAYS} = 3.67 IN
P_{BHR} = 2.20 IN

LOVE'S POND	**100YR,24HR**	**47,417 CU.FT.**
	100YR, 10DAY	**74,260 CU.FT.**

DRAINAGE NARRATIVE:

THE PROPOSED LOVE'S TRAVEL CENTER IS TO BE CONSTRUCTED ON THE NORTHERN 6.71 ACRES OF THE EXISTING TERMINAL FUELING FACILITY. THE SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS, PAVING AND ABOVE GROUND FUEL STORAGE TANKS. THE SITE CURRENTLY GENERALLY DRAINS FROM EAST TO WEST WITH SOME ONSITE PONDING AND SOME RUNOFF ENTERING THE BROADWAY BOULEVARD RIGHT OF WAY. THE EXISTING FACILITIES WITHIN THE NORTHERN 6.71 ACRES WILL BE REMOVED AND THE NEW LOVE'S CONSTRUCTED WITH AUTO AND TRUCK FUELING AREAS, A C-STORE, A CAT SCALE, AND ASSOCIATED PARKING FIELDS. DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO A PROPOSED RETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND WILL HAVE THE CAPACITY TO RETAIN THE 100-YEAR, 10-DAY STORM VOLUME.

DRAINAGE ON THE EXISTING TERMINAL FUELING FACILITY SOUTH OF THE LOVE'S TRAVEL CENTER DEVELOPMENT WILL REMAIN AS IT CURRENTLY EXISTS.

N

GRAPHIC SCALE
60 0 30 60
(IN FEET)
1 inch = 60 ft.

REV. NO.	DATE	REMARKS	BY
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG

REVISIONS

ENGINEER'S SEAL

VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER
3-27.25
VINCENT P. CARRICA P.E. #16212

LOVE'S BROADWAY/ SUNPORT BLVD

GRADING PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY: sb
DATE: 3-27-25
SHEET #: GR-1
JOB #: 2022031

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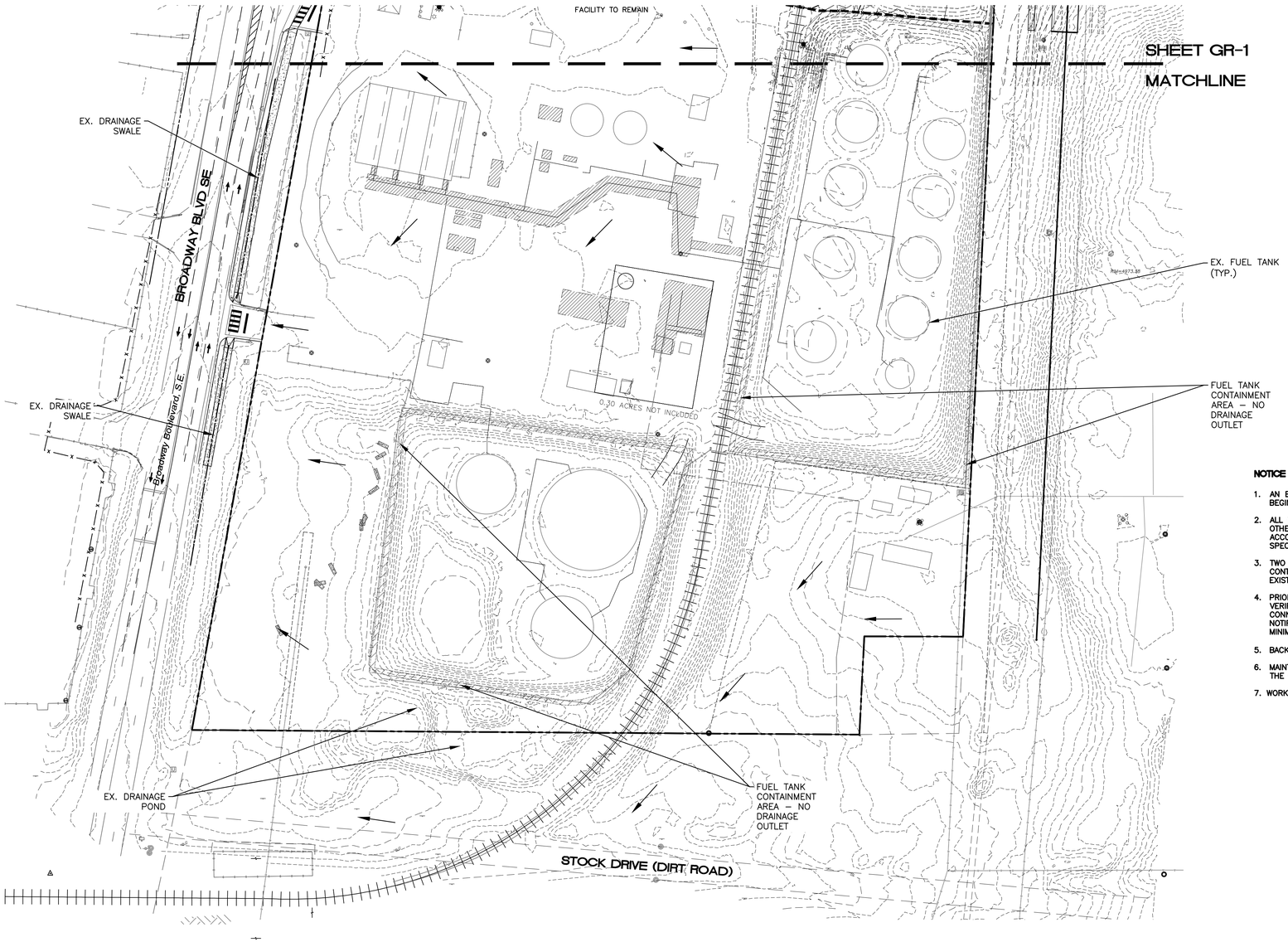

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT–OF–WAY
- BUILDING
- SIDEWALK
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS–BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT–OF–WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765–1234, FOR LOCATION OF EXISTING UTILITIES.
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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24–HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN–OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT–OF–WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR $\frac{3}{8}$" GRAVEL

N

GRAPHIC SCALE

60 0 30 60

(IN FEET)
1 inch = 60 ft.

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS–BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER 3–27–25	BROADWAY/SUNPORT BLVD GRADING AND DRAINAGE PLAN	DRAWN BY PM DATE 3–27–25 2022031_GR PLAN
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858–3100 www.tierrawestllc.com	SHEET # GR–2 JOB # 2022031

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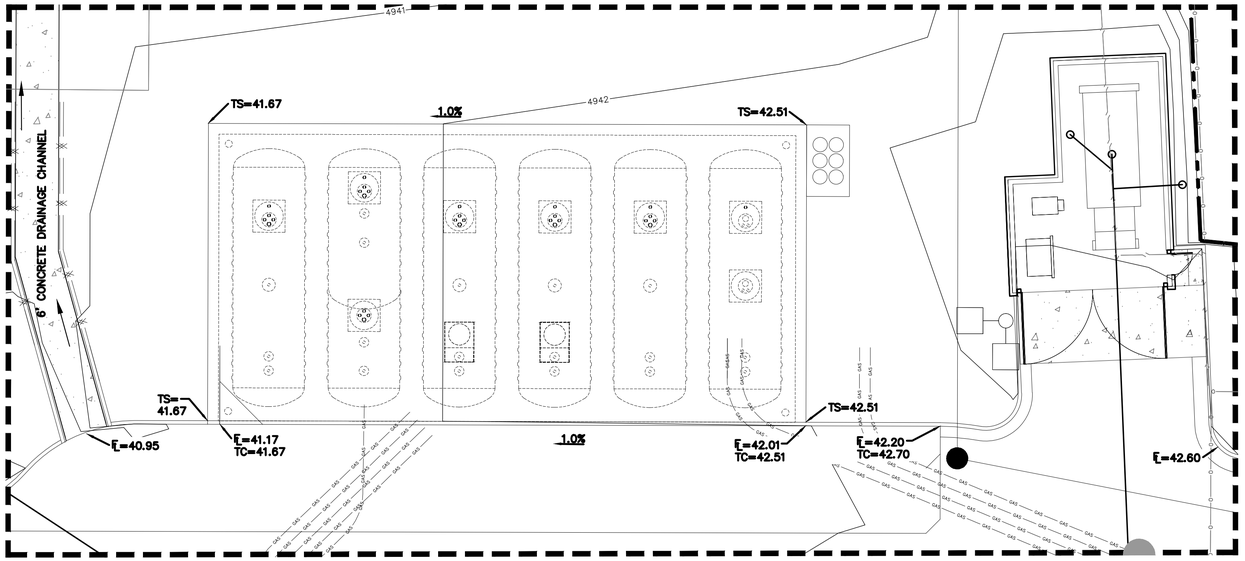
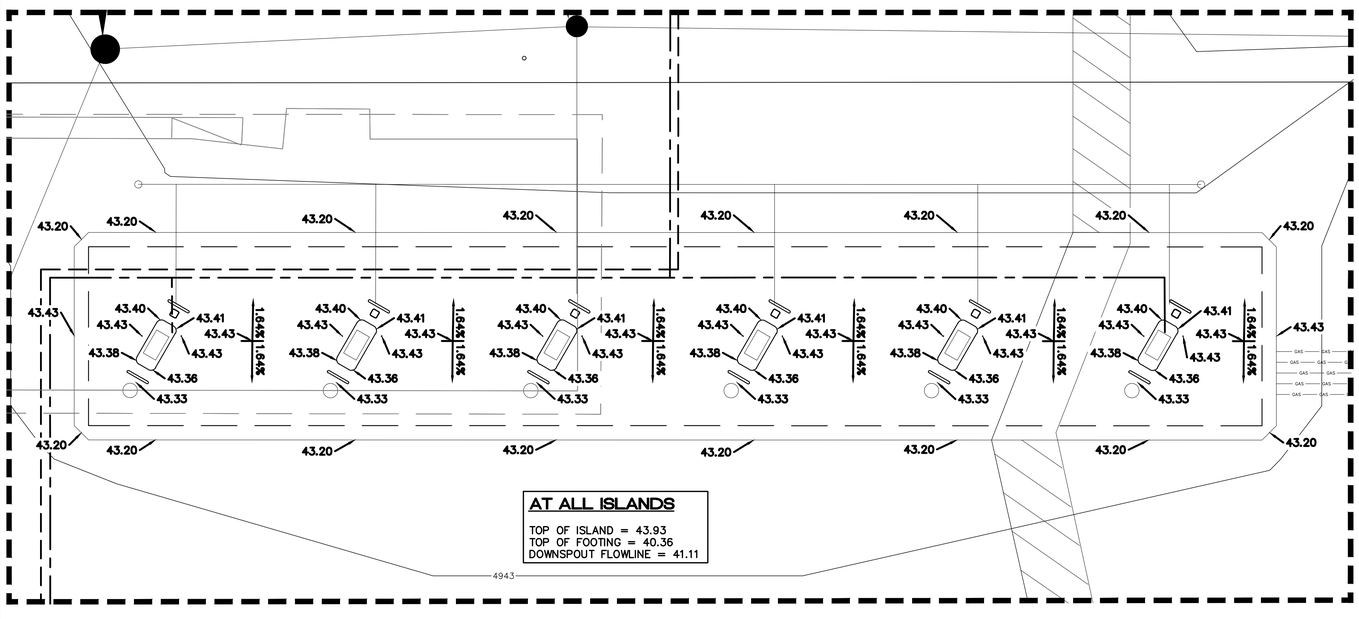


UNDERGROUND STORAGE TANKS (UST'S) SLAB GRADING DETAIL

1"=10' SCALE

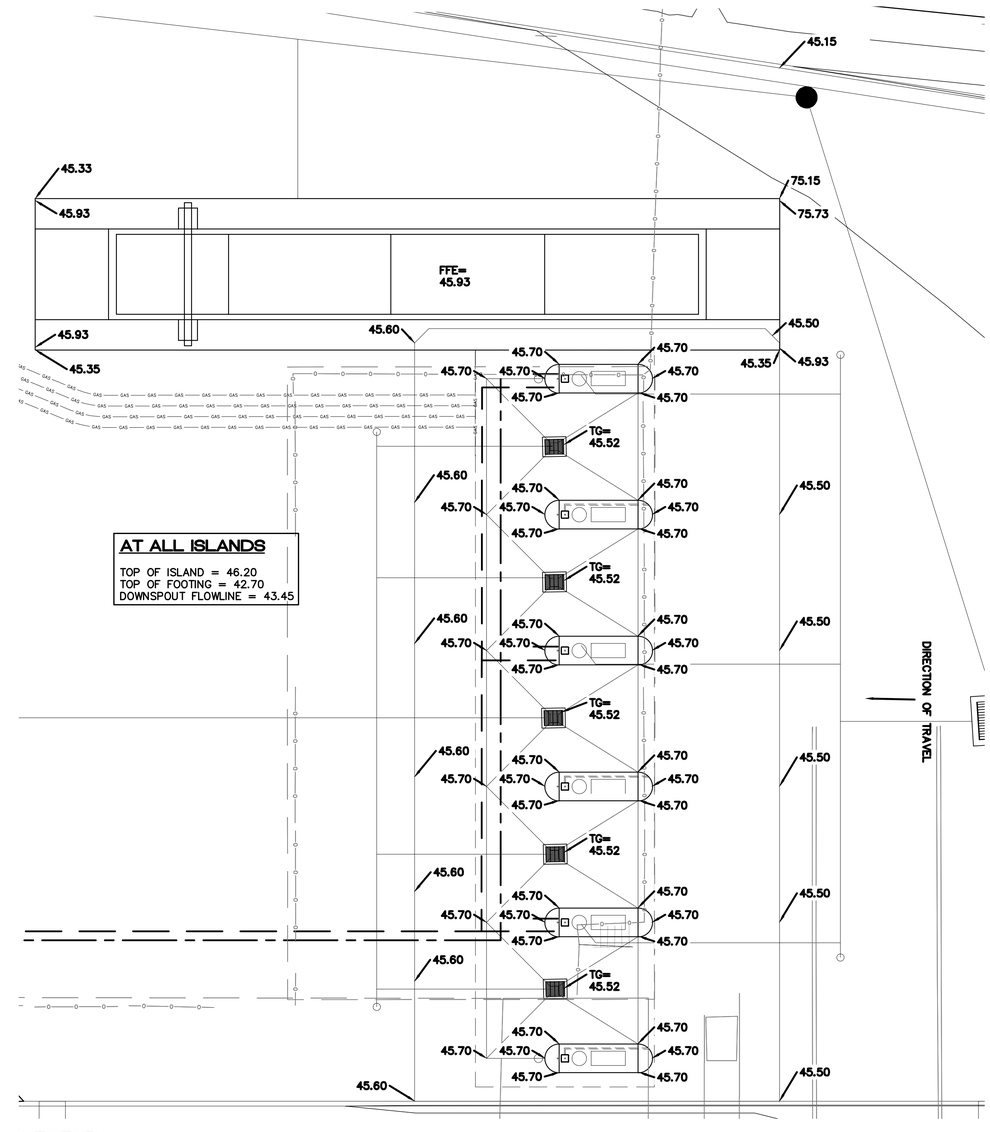


AT ALL ISLANDS

TOP OF ISLAND = 43.93
TOP OF FOOTING = 40.36
DOWNSPOUT FLOWLINE = 41.11

AUTO ISLAND GRADING DETAIL

1"=10' SCALE



AT ALL ISLANDS

TOP OF ISLAND = 46.20
TOP OF FOOTING = 42.70
DOWNSPOUT FLOWLINE = 43.45

TRUCK CANOPY GRADING DETAIL

1"=10' SCALE

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 — SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- PARKING LOT LIGHT FIXTURE

ENGINEER'S SEAL	LOVE'S BROADWAY/ SUNPORT BLVD	DRAWN BY sb
VINCENT P. CARRICA NEW MEXICO 16212 LICENSED PROFESSIONAL ENGINEER 04-02-24	GRADING DETAILS	DATE 04-02-24
VINCENT P. CARRICA P.E. #16212	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-3
		JOB # 2022031

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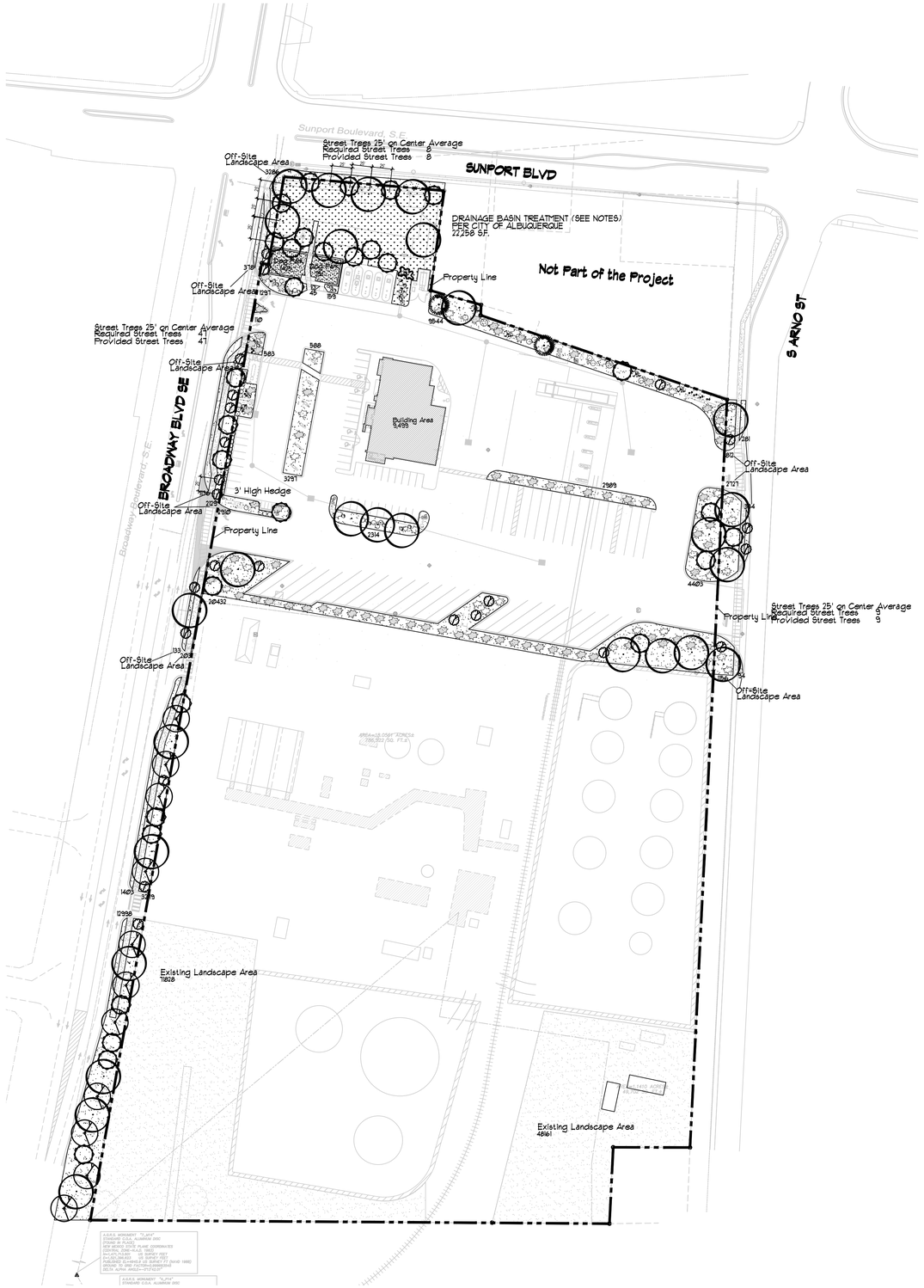


LANDSCAPE LEGEND

	QTY	SIZE	COMMON/BOTANICAL			H2O USE
Trees						
	11	2" cal	Chinese Pistache *Pistacia chinensis*	40x35	961.62	10577.82	M+
	27	2" cal	Honey Locust *Gleditsia triacanthos*	50x45	1589.62	42919.74	M
	2	6 - 8'	Austrian Pine *Pinus nigra*	35x25	490.62	981.24	M
	1	6-8' Multi Stem	Crape Myrtle *Lagerstroemia indica*	15x20	314	314	M
	30	6-8' Multi Stem	Desert Willow *Chilopsis linearis*	20x25	490.62	14718.6	M
	24	15 Gal.	Oklahoma Redbud *Cercis reniformis*	15x12	113.04	2712.96	M
	97	Total Trees	Total Tree Coverage			72224.36	
Shrubs & Groundcovers							
	2	5 Gal	Existing Shrubs	10x10	78.5	157	M
	4	5 Gal	Spanish Broom *Caryopteris x clandonensis*	10x10	78.5	314	M
	4	5 Gal	Bird of Paradise *Caesalpinia gilliesii*	10x10	78.5	314	L
	20	5 Gal	India Hawthorne *Raphiolepis indica*	3x5	19.62	392.4	M
	33	5 Gal	Winter Jasmine *Jasminum nudiflorum*	4x12	113.04	3730.32	M
	75	5 Gal	Buffalo Juniper *Juniperus sabina 'Buffalo'*	1x12	113.04	8478	M
	2	5 Gal	Cherry Sage *Salvia greggii*	2x3	7.06	14.12	M
	11	5 Gal	Blue Mist *Caryopteris x clandonensis*	3x3	7.06	77.66	M
	41	5 Gal	Fern Bush *Chamaebatiaria millefolium*	5x6	28.26	1158.66	L
	4	5 Gal	Apache Plume *Fallugia paradoxa*	6x7	38.46	153.86	L
	2	5 Gal	Chamisa *Chrysothamnus nauseosus*	5x7	38.46	76.92	L
	25	5 Gal	Feather Reed Grass *Calamogrostis arudinacea*	2.5x2	3.14	78.5	M
	223	Total Shrubs	Total Shrub Coverage			14945.44	
	23	2-3cf	Boulders *To be placed at contractor discretion*				
	79163		Landscape Gravel / Filter Fabric *3/4" Crushed Grey*				
	22258		Drainage Basin Treatment, (See Notes) Native Seeding Mix Per COA				
	2576		Landscape Crusher Fines / Filter Fabric *Amaretto, or Equal, 3" Depth, min.*				
	119988		Existing Landscape Area *Natural Landscape*				
	223986		Total Landscape Provided				

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	786,522
TOTAL BUILDING AREA (sf)	9,499
TOTAL NET LOT AREA (sf)	=777,023
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED	116,553
TOTAL ON-SITE LANDSCAPE PROVIDED	145,333
TOTAL LIVE PLANT COVER REQUIRED	108,999
TOTAL LIVE PLANT COVER PROVIDED	109,427.80
TOTAL GROUNDCOVER REQUIRED	36,333
DRAINAGE BASIN, NATIVE SEED (SEE NOTES)	22,258
TOTAL GROUNDCOVER PROVIDED	37,703.44

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Point of connection for irrigation system is unknown at current and shall be coordinate Landscaping shall be installed according to the approved plan. Installation shall be completed within 60 days of the related building's occupancy.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner. d between the Landscape Contractor and the General Contractor of the project prior to construction.

No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are no included within the clear site triangle.

Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees.
Trees are GENERALLY required along street frontages every 25 feet on center unless otherwise specified in Pa 6-2-2 of ROA 1994 (Street Trees)

Section 6-6-2-5 Street Trees
(A)
1. Size of the trees at maturity should be in proportion to the planting space provided for them. ... Smaller species of trees will require close spacing, and larger trees will require greater spacing. . Spacing shall be approved as part of the plan approval process.
2. On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

The bottom and sides must be seeded with a native mix per City Standard specification 1012.2 depending on so type for that City area. Please reference this native se selection and the section on plan sheet.

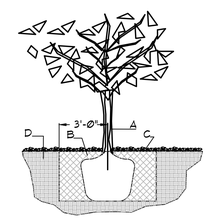
For pond bottoms: Gravel ¼ to 1 inch mulch. One layer thick, not stacked

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigatic or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeding will likely be needed.

Maintenance will be per City of Albuquerque Specification 1012.3.9.1 and 1012.3.9.2.

Contractor must weed the basin during/after the first growing season.

Needs city inspection. Stormwater Quality Ordinance-Fina stabilization must be accepted by the City.

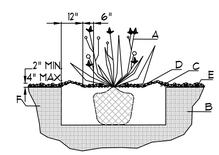


TREE PLANTING DETAIL

NTS

GENERAL NOTES:
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
2. TOP OF ROOTCOLLAR INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG: THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED: THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
3. PRIOR TO BACKFILLLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

CONSTRUCTION NOTES:
A. TREE
B. BACKFILL WITH EXISTING SOIL.
C. 3" DEPTH OF GRAVEL MULCH.
D. UNDISTRUBED SOIL.



SHRUB PLANTING DETAIL

NTS

GENERAL NOTES:
1. THE OUTSIDE DIAMETER OF THE WATER RETENTI SHALL BE TWICE THE DIAMETER OF THE SHRUB PL PIT.

CONSTRUCTION NOTES:
A. SHRUB.
B. BACKFILL WITH EXISTING SOIL.
C. EARTH BERM AROUND WATER RETENTION BASIN
D. 3" DEPTH OF GRAVEL MULCH.
E. FINISH GRADE.
F. UNDISTURBED SOIL.

GRAPHIC SCALE
60 30 0 3 60
SCALE: 1" = 60'-0"

Mitchell Associates, inc
Landscape Architecture
Danny Mitchell
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ENGINEER'S SEAL
Landscape Architect
STATE OF NEW MEXICO
DANNY D. MITCHELL
L239
REGISTERED LANDSCAPE ARCHITECT
February 27, 2024

RONALD R. BOHANNAN
P.E. #7868

LOVES TRAVEL CENTER
3200 BroadwayBlvd. S.E.

Landscape Plan

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DATE 06-02-23
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JOB # 2022031