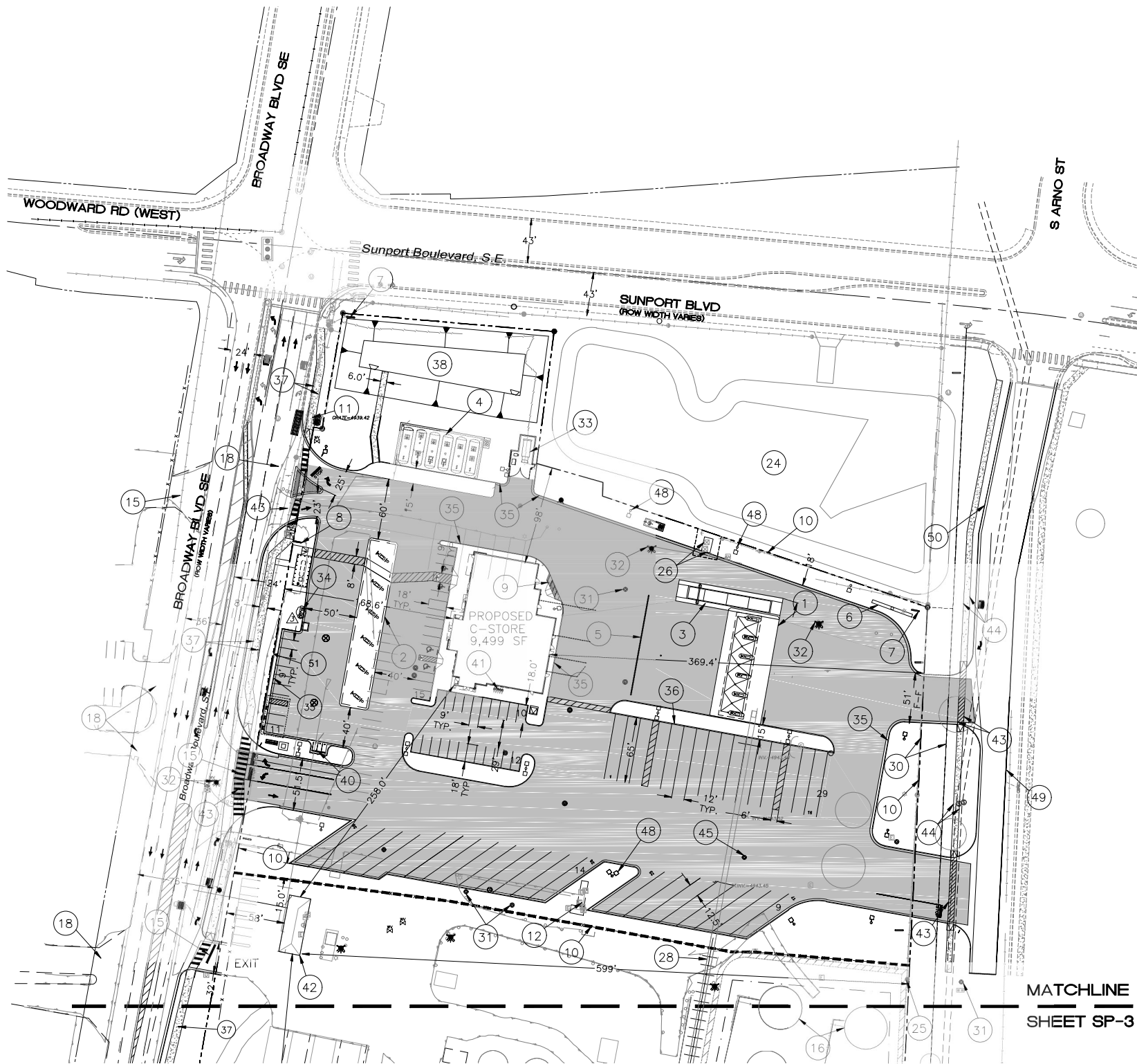


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CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOTE:

1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 30 FT HEIGHT

2 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD

3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

MATCHLINE
SHEET SP-3



GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft.

KEYED NOTES

- 1 TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
- 2 AUTO CANOPY (29' x 168') (LIGHT VEHICLE)
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANK FARM
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 15 EXISTING GATED ACCESS W/ CROSS WALK STRIPE
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 PEDESTRIAN CONNECTION STRIPING
- 18 EXISTING NON-GATED ACCESS W/ CROSS WALK STRIPE
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 28 EXISTING RAIL SPUR TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' ASPHALT TRAIL (TO BE MAINTAINED BY PROPERTY OWNER)
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 48 AREA LIGHT (TYP)
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' OPAQUE (CMU) SCREEN WALL

PROJECT NUMBER: PR-2022-007103
APPLICATION NUMBER: SI-2024-00922

Is an Infrastructure List required? (X) Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

Date

ABCWUA

Date

PARKS AND RECREATION DEPARTMENT

Date

HYDROLOGY

Date

CODE ENFORCEMENT

Date

* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)

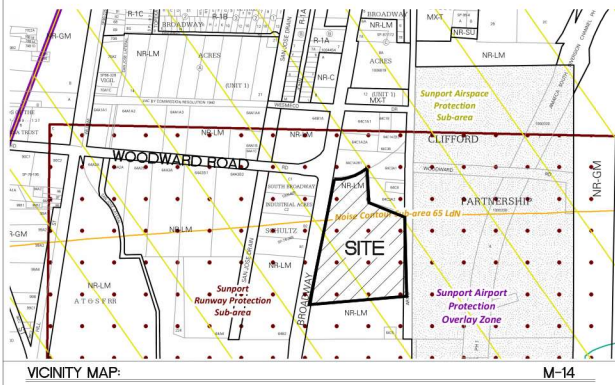
Date

SOLID WASTE MANAGEMENT

Date

PLANNING DEPARTMENT

Date



SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	
LOVE'S TRAVEL STOP	292,169 SF (6.707 ACRES)
FUELING DEPOT	494,353 SF (11.353 ACRES)
OVERALL	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 SF OVERALL 3322 SF RESTAURANT 6177 SF LIGHT VEHICLE FUELING, GENERAL RETAIL AND HEAVY FUELING
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	7 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 25 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING	
	19 SPACES (5.6 SPACE/1000 SQ. FT GFA FOR RESTAURANT) 51 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
FUTURE PARKING FUELING DEPOT	10 SPACES

LEGEND

—	CURB & GUTTER	---	EXISTING LANE
---	BOUNDARY LINE	---	EXISTING STRIPING
---	EASEMENT	---	ASPHALT PAVING AREA
---	CENTERLINE	---	SPILL CONTAINMENT AREA
---	RIGHT-OF-WAY	---	PARKING LOT LIGHT FIXTURE
---	BUILDING	---	EXISTING TRAFFIC SIGNAL
---	SIDEWALK		
---	RETAINING WALL		
---	STREET LIGHTS		
---	LANE		
---	STRIPING		
---	EXISTING CURB & GUTTER		
---	EXISTING BOUNDARY LINE		

REV.	DATE	REVISIONS	REMARKS	BY
3	10-15-24	RELOCATED RV DUMP STATION		PM
2	6-10-24	ADDED SCREEN WALL AND NOTE		PM
1	05-13-2024	BUILDING PERMIT COMMENTS		RMG
NO.	DATE			
ENGINEER'S SEAL				
BROADWAY/SUNPORT BLVD			DRAWN BY	PM
TRAVEL CENTER SITE PLAN			DATE	3-27-25
			2022031_SP	
			SHEET #	SP-2
TIERRA WEST, LLC			JOB #	2022031
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com				