



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (Form S3)
<input type="checkbox"/> Site Plan Administrative DFT (Forms SP & P2)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (Form P2)	<input type="checkbox"/> Sketch Plat Review and Comment (Form S3)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (Form S3)	<input type="checkbox"/> Sketch Plan Review and Comment (Form S3)
<input type="checkbox"/> Temporary Deferral of S/W (Form S3)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (Form S3)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (Form A)

BRIEF DESCRIPTION OF REQUEST

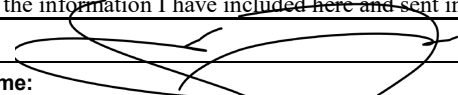
APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature: 	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form SP with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

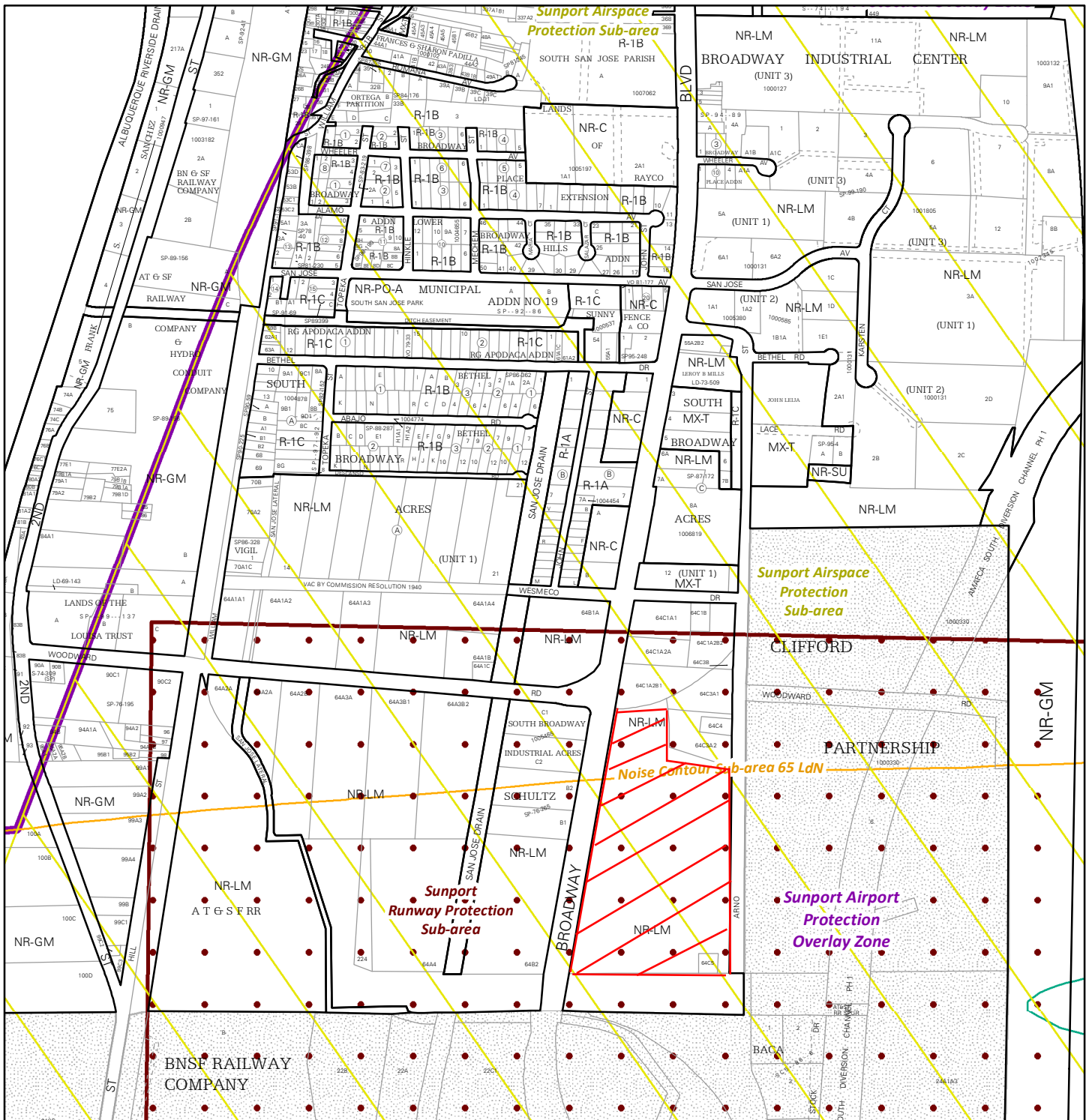
___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

✓_ FINAL SIGN-OFF FOR MASTER DEVELOPMENT PLANS AND SITE PLANS – EPC

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- 1) DFT Application form completed, signed, and dated
- 2) Form P2 with all the submittal items checked/marked
- 3) Zone Atlas map with the entire site clearly outlined and labeled
- 4) Site Plan and related drawings
- 5) Infrastructure List, if require
- 6) Copy of EPC Notice of Decision and letter explaining how each EPC condition has been met
- 7) Letter of authorization from the property owner if application is submitted by an agent
- 8) Solid Waste Department signature on Site Plan
- 9) Signed Form DRWS Drainage Report, Grading and Drainage Plan, and Water & Sewer Availability Statement filing information
- 10) Approved Grading and Drainage Plan
- 11) Copy of Site Plan with Fire Marshal's stamp, i.e. "Fire 1" plan (*not required for Master Development Plans*)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas

May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

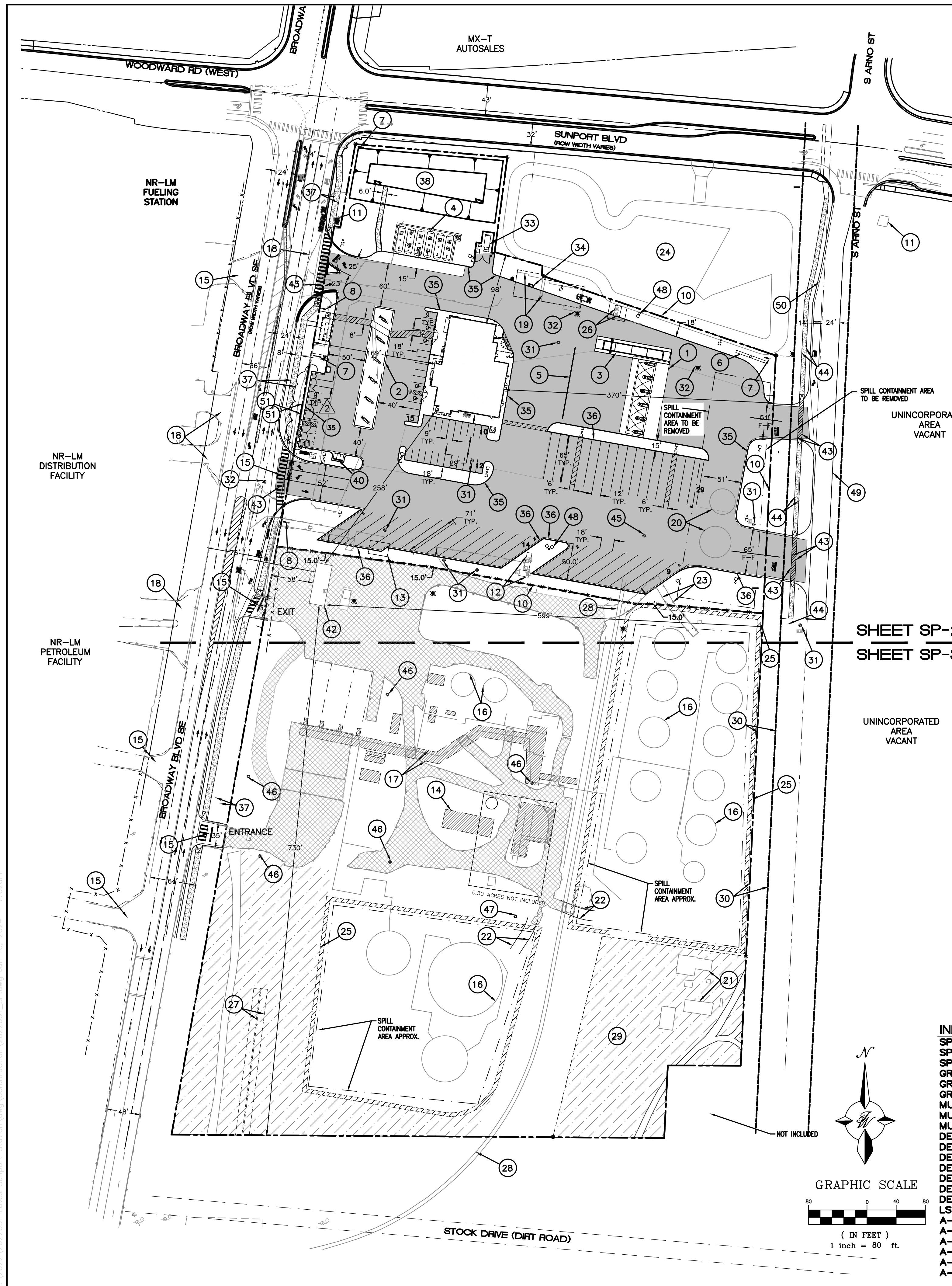
Zone Atlas Page:
M-14-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

Gray Shading
Represents Area Outside
of the City Limits

N

0 250 500 1,000 Feet



KEYED NOTES: TRAVEL CENTER (NEW)

- 1 TRUCK CANOPY (51' x 108')
- 2 AUTO CANOPY (29' x 168')
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANKS
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 11 EXISTING INLET PROTECTION
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 13 EXISTING CAR PORT TO BE REMOVED
- 18 EXISTING NON-GATED ACCESS
- 19 EXISTING BUILDING TO BE REMOVED
- 20 EXISTING ABOVE GROUND STORAGE TANK TO BE REMOVED
- 23 EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR (REF. ARCHITECTURAL PLANS FOR DETAILS)
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' PAVED TRAIL
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 48 AREA LIGHTS (TYP) 30" MAXIMUM
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' OPAQUE SCREEN WALL

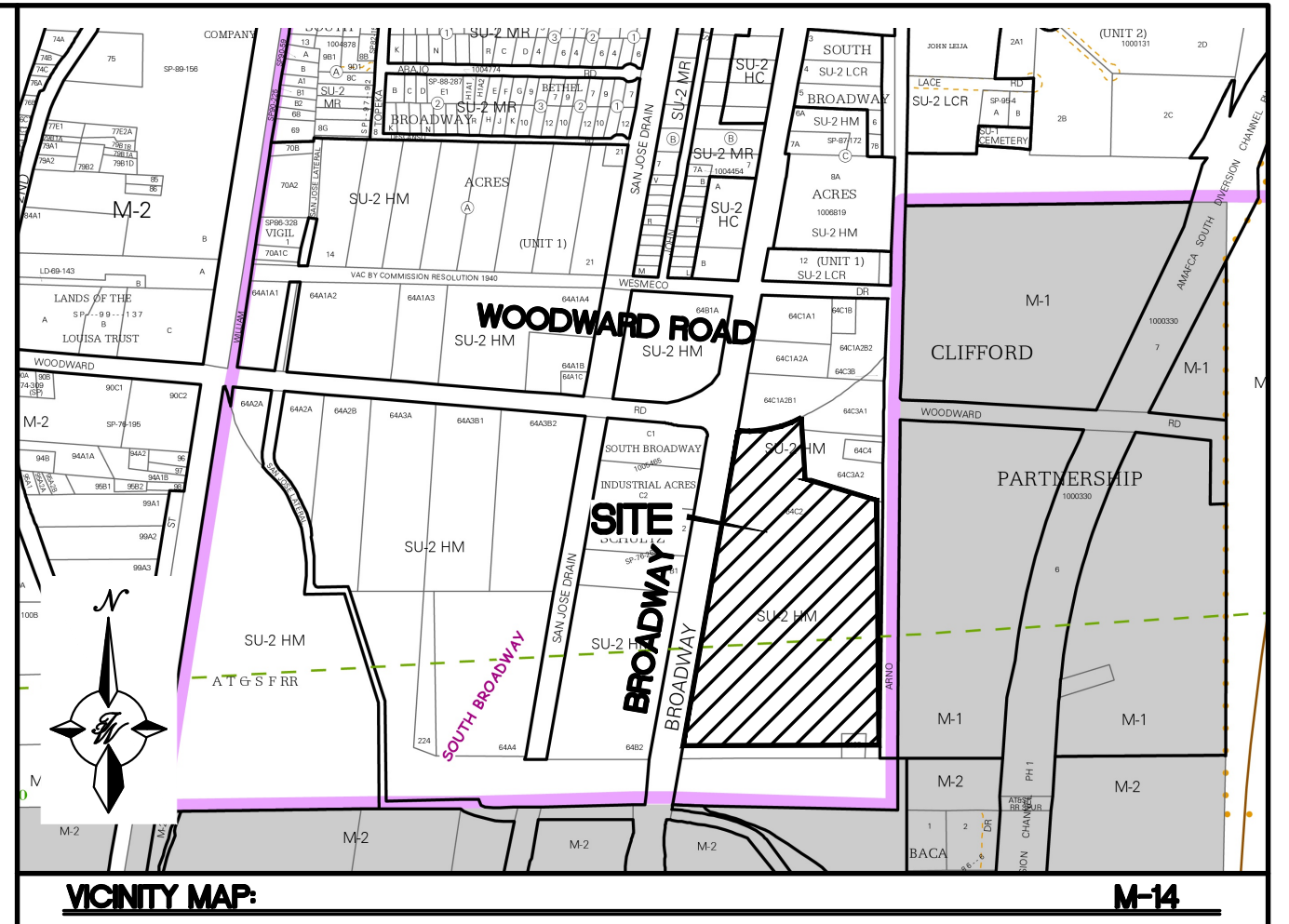
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING
- EXISTING UNDISTURBED SOIL
- EXISTING ASPHALT
- ASPHALT & CONCRETE PAVING AREA
- SPILL CONTAINMENT AREA
- PARKING LOT LIGHT FIXTURE

KEYED NOTES: FUELING DEPOT (TO REMAIN)

- 14 EXISTING BUILDING TO REMAIN
- 15 EXISTING GATED ACCESS
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 EXISTING ABOVE GROUND PIPING TO REMAIN
- 21 EXISTING CONCRETE PADS TO REMAIN (TYP.)
- 22 EXISTING CONTAINMENT AREA ACCESS TO REMAIN
- 27 EXISTING UTILITY EASEMENT
- 28 EXISTING RAIL SPUR TO REMAIN
- 29 EXISTING PLAINS PIPELINE EASEMENT SITE
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 47 NEW MONITORING WELL LOCATION

- INDEX TO DRAWINGS**
- SP1. OVERALL SITE PLAN
 - SP2. SITE PLAN - LOVE'S TRAVEL CENTER
 - SP3. FUELING DEPOT AS-BUILT SITE PLAN
 - GR1. GRADING AND DRAINAGE PLAN
 - GR2. CONCEPTUAL GRADING AND DRAINAGE PLAN
 - GR3. CONCEPTUAL GRADING AND DRAINAGE PLAN
 - MU1. CONCEPTUAL UTILITY PLAN
 - MU2. CONCEPTUAL UTILITY PLAN
 - MU3. CONCEPTUAL UTILITY PLAN
 - DET-1. SITE DETAIL SHEET
 - DET-2. SITE DETAIL SHEET
 - DET-3. SITE DETAIL SHEET
 - DET-4. SITE DETAIL SHEET
 - DET-5. SITE DETAIL SHEET
 - DET-6. SITE DETAIL SHEET
 - DET-7. SITE DETAIL SHEET
 - LS-101. LANDSCAPE PLAN
 - A-1. EXTERIOR BUILDING FINISHES
 - A-2. BUILDING FINISHES & EXTERIOR LIGHT FIXTURES
 - A-3. DIMENSIONAL EXTERIOR ELEVATIONS
 - A-4. DIMENSIONAL EXTERIOR ELEVATIONS
 - A-5. COMPACTOR ENCLOSURE DETAILS
 - A-6. CANOPY ELEVATIONS



LEGAL DESCRIPTION:
LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE:	INDUSTRIAL
ZONE:	NR-LM
LOT AREA:	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE, N.M. 87105

VARIANCES:

1. VARIANCE TO ALLOWABLE SIGN AREA (CAT SCALE SIGN, 107.75 SF)
2. VARIANCE TO ALLOWABLE SIGN AREA (PRICER SIGNS, 148.33 SF)
3. NUMBER OF FREESTANDING SIGNS (5 SIGNS) INCREASE OF 2 SIGNS
4. NUMBER OF ELECTRONIC SIGNS (2 SIGNS) INCREASE TO 1 SIGN

NOTE:

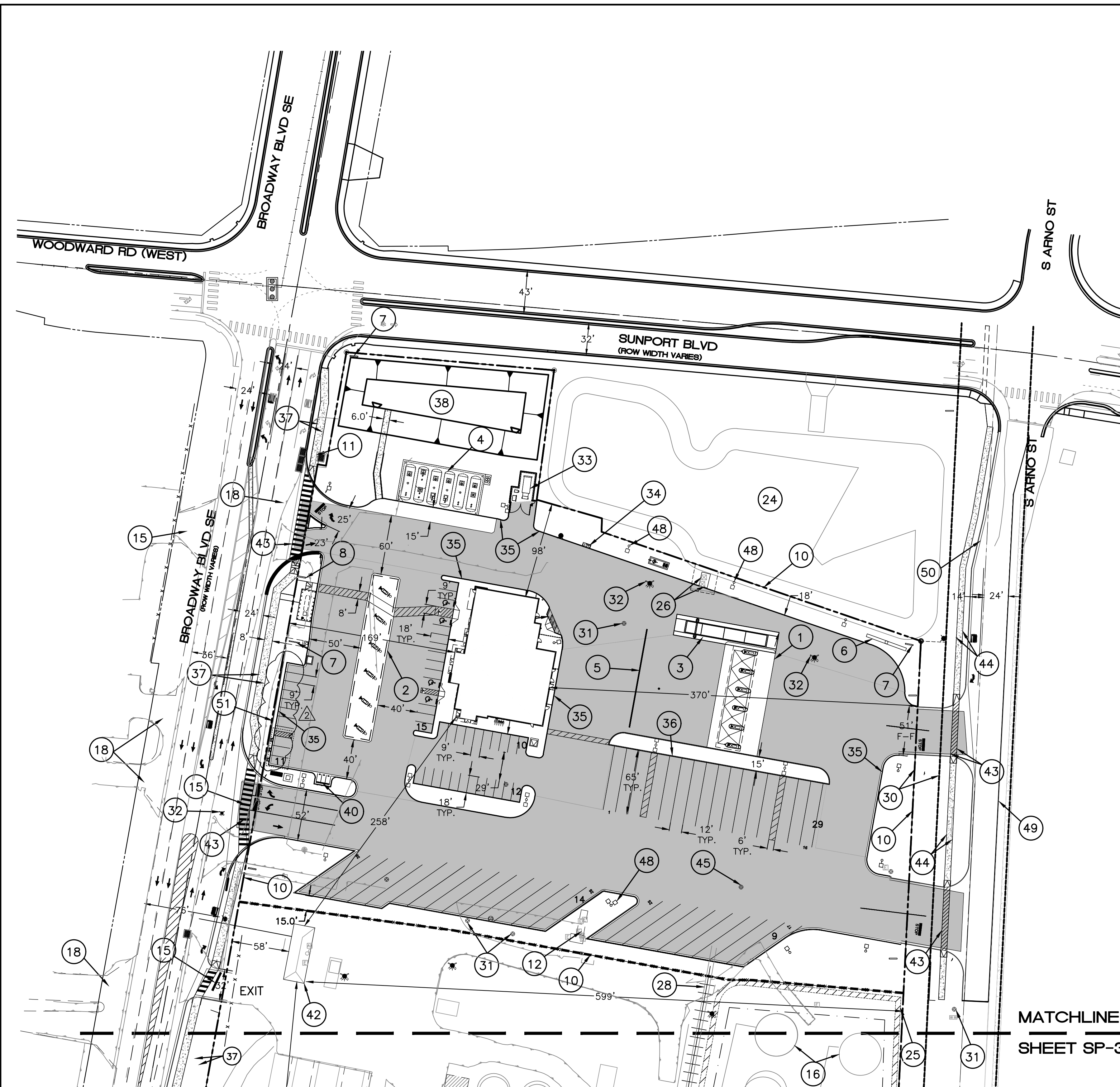
- 1 - ALL APO 3-3(C) USE REGULATIONS ARE MET/BEING FOLLOWED 3-3(B)(1) AIR SPACE PROTECTION SUB-AREA: THIS SUB-AREA UNDERLIES A HORIZONTAL SURFACE ESTABLISHED AT A HEIGHT OF 150 FEET ABOVE THE HIGHEST POINT OF THE USABLE LANDING AREA AT EACH AIRPORT, RESULTING IN A HORIZONTAL SURFACE AT 5,504.9 FEET IN ELEVATION FOR THE ALBUQUERQUE INTERNATIONAL SUNPORT. THE BASE OF THE ELEVATION IS OVER 650' BELOW THE ELEVATION OF RUNWAY
- 2 - A CUMULATIVE IMPACT ANALYSIS WAS CONDUCTED PURSUANT TO 5-2(E) AND THE IMPACTS OF THIS DEVELOPMENT ARE MITIGATED TO THE GREATEST EXTENT PRACTICABLE THE TIS HAS BEEN SUBMITTED AND REVIEWED BY THE COA, NMDOT AND BERNALILLO COUNTY. THE MITIGATION MEASURES ARE BEING REVIEWED BY THE THREE AGENCIES AND WILL BE MADE PART OF THE APPROVAL OF THE EXPANSION OF THE TRAVEL CENTER PRIOR TO THE FINAL APPROVAL OF THE TIS.
- 3 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 4 - SIGN MATERIAL AND ANY FEATURES THERE IN COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY
- 5 - WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER WITH DRC APPROVED PLANS
- 6 - LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT TRIANGLE REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

REV.	DATE	REVISIONS	BY
2	6-10-24	ADDED SCREEN WALL, CHANGED NOTE 48	PM
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG

	LOVE'S BROADWAY /SUNPORT BLVD OVERALL SITE PLAN	DRAWN BY SB DATE 04/02/24 2022031_SP
	VINCENT P. CARRICA P.E. #16212	5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com

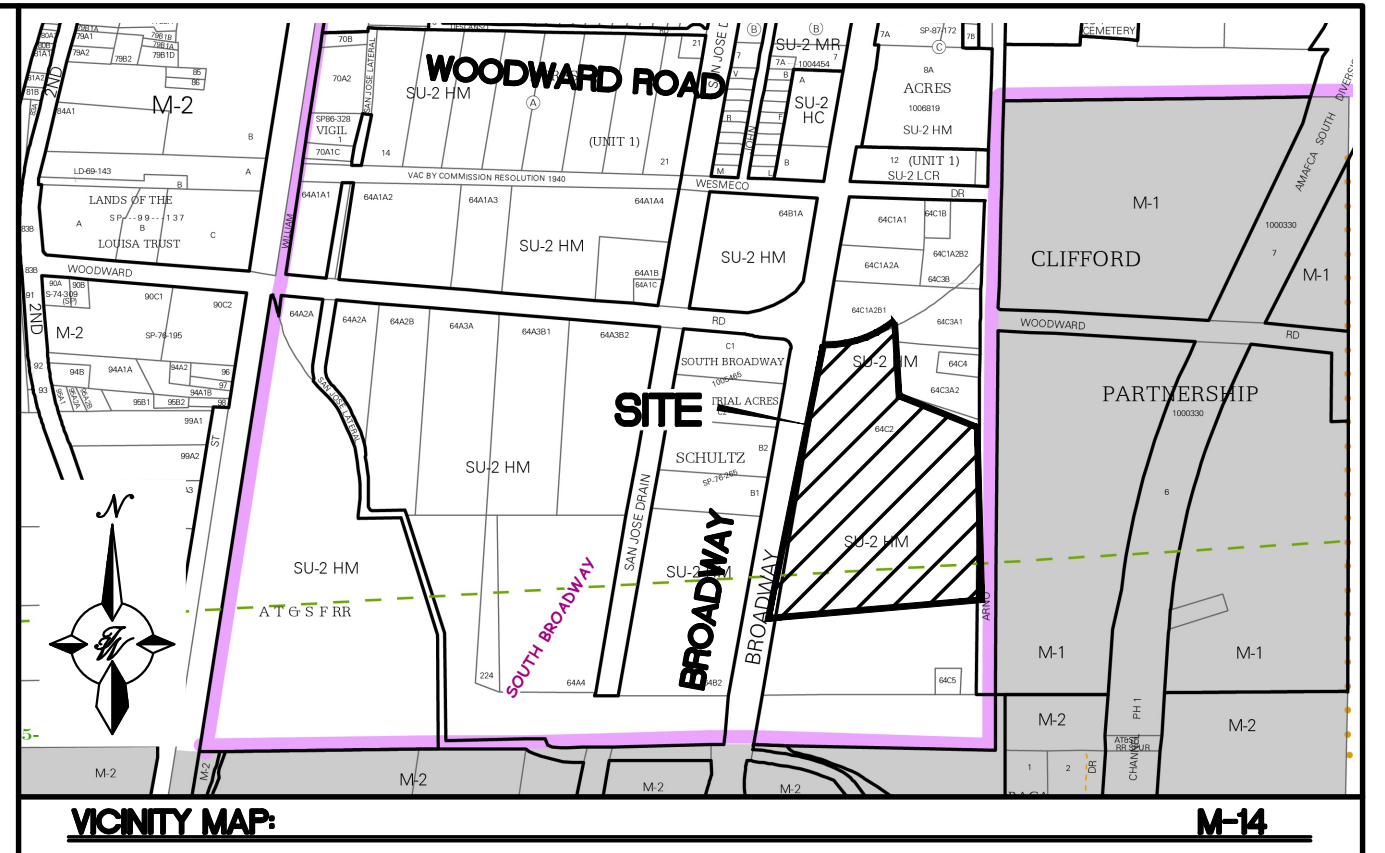
CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



KEYED NOTES

- 1 TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
- 2 AUTO CANOPY (29' x 168') (LIGHT VEHICLE)
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANK FARM
- 5 PULL FORWARD LINE
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- 8 PRICE SIGN
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- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
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- 48 AREA LIGHT (TYP)
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER
- 51 3' HIGH OPAQUE SCREEN WALL



SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	
LOVE'S TRAVEL STOP	292,169 SF (6.707 ACRES)
FUELING DEPOT	494,353 SF (11.353 ACRES)
OVERALL	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 S.F.
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
	*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING
	24 SPACES (8 SPACE/1000 SQ. FT GFA FOR RESTAURANT)
	74 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
EXISTING FUEL DEPOT	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING) 24 SPACES (8 SPACE/1000 SQ. FT GFA FOR ONE BUILDING) 74 SPACES TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
FUTURE PARKING FUELING DEPOT	10 SPACES

LEGEND

	CURB & GUTTER		EXISTING LANE
	BOUNDARY LINE		EXISTING STRIPING
	EASEMENT		ASPHALT PAVING AREA
	CENTERLINE		SPILL CONTAINMENT AREA
	RIGHT-OF-WAY		PARKING LOT LIGHT FIXTURE
	BUILDING		EXISTING TRAFFIC SIGNAL
	SIDEWALK		
	RETAINING WALL		
	STREET LIGHTS		
	LANE		
	STRIPING		
	EXISTING CURB & GUTTER		
	EXISTING BOUNDARY LINE		

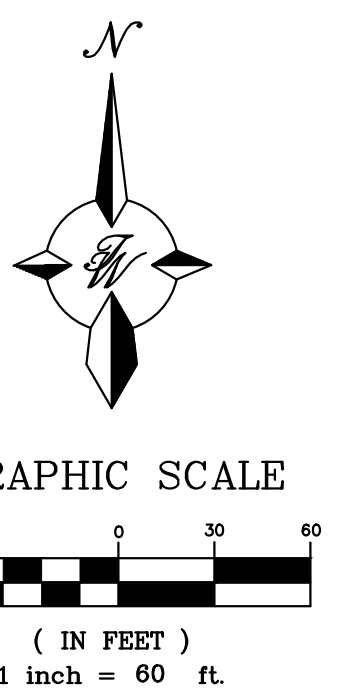
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
PLANNING DEPARTMENT	Date

MATCHLINE
SHEET SP-3



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NOTE:

- 1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 35 FT HEIGHT
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- 3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

REV.	DATE	REVISIONS	BY
2	6-10-24	ADDED SCREEN WALL AND NOTE	PM
1	05-13-2024	BUILDING PERMIT COMMENTS	RMG

REVISIONS

	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	TRAVEL CENTER SITE PLAN	DATE 04/02/24
		2022031_SP
		SHEET # SP-2
TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		JOB # 2022031

7/1/2023 10:20:31 Local: Standard (Standard) Construction V2023031 - SP.dwg, Jun 10, 2024, 7:03am



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallegos*
Date: 06-06-24

Recycling declined
4 yd compactor

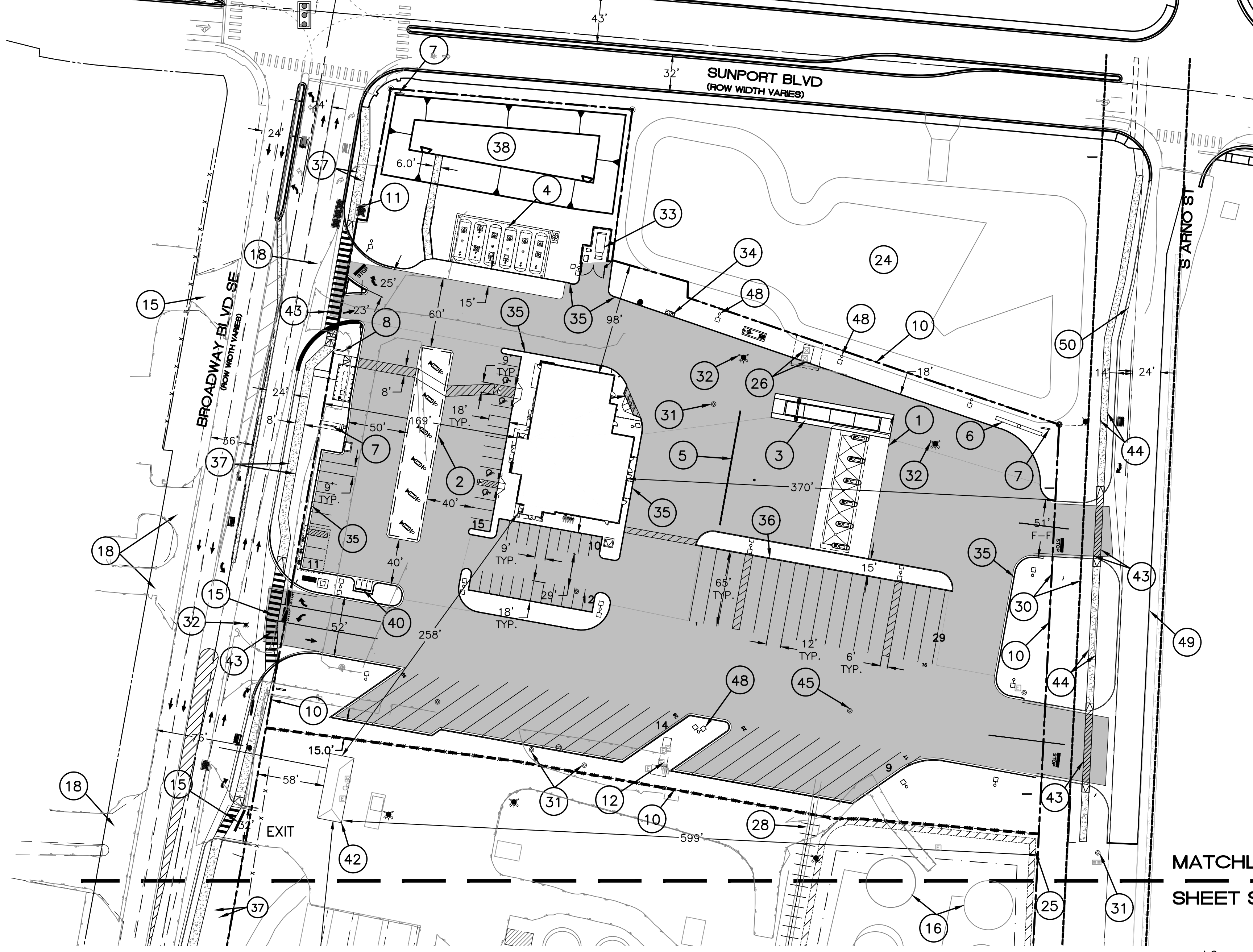
WOODWARD RD (WEST)

BROADWAY BLVD SE

SUNPORT BLVD
(ROW WIDTH VARIES)

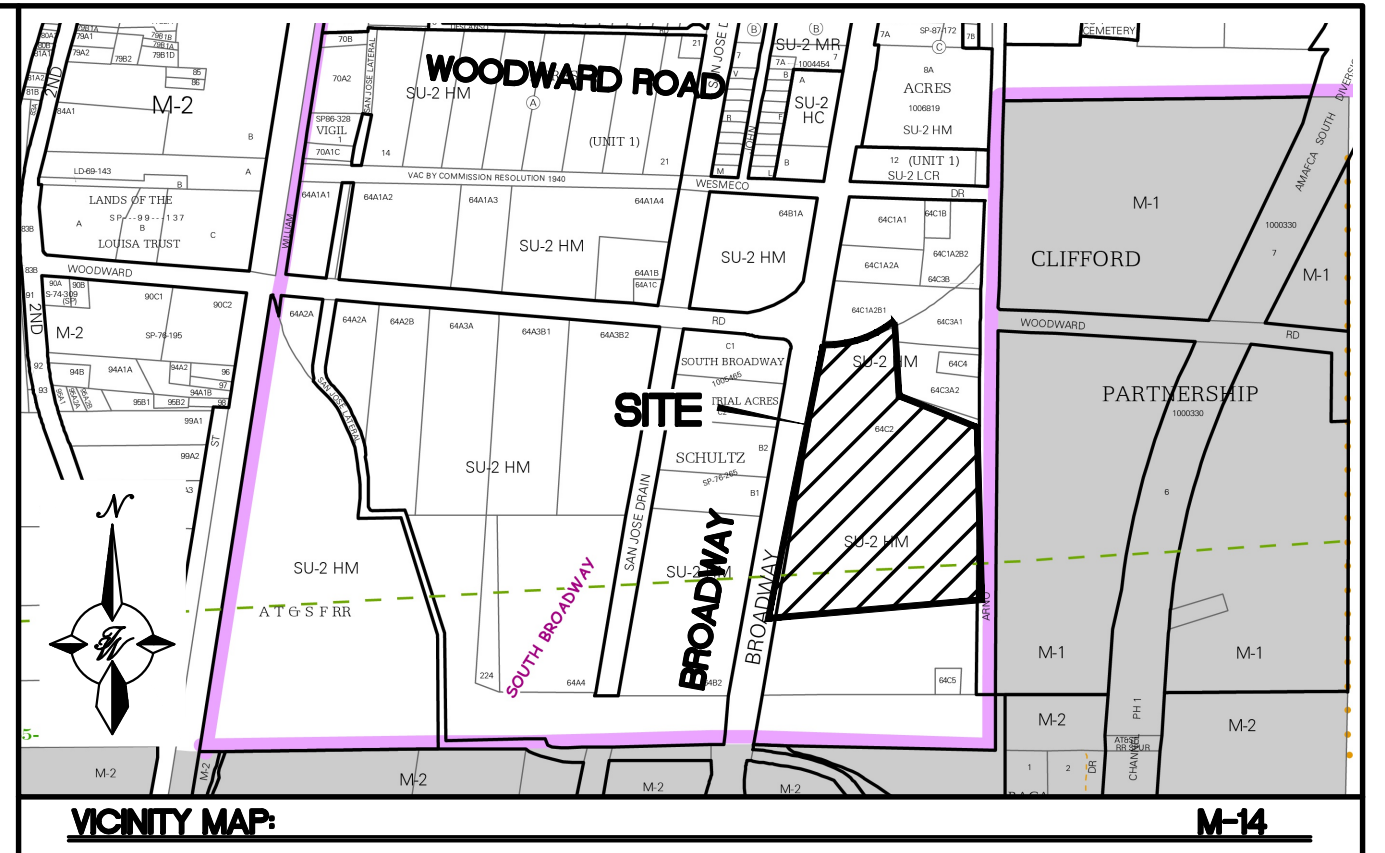
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LEGAL DESCRIPTION

LOT 64C2 OF MRGCD MAP NO. 44

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BUILDING AREA:	9,499 S.F.
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING	
	24 SPACES (8 SPACE/1000 SQ. FT. GFA FOR RESTAURANT)
	74 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
EXISTING FUEL DEPOT:	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
	24 SPACES (8 SPACE/1000 SQ. FT. GFA FOR ONE BUILDING)
	74 SPACES TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING:	1364 SF
EXISTING PARKING FUELING DEPOT:	10 SPACES
EXISTING FUTURE PARKING FUELING DEPOT:	10 SPACES

LEGEND

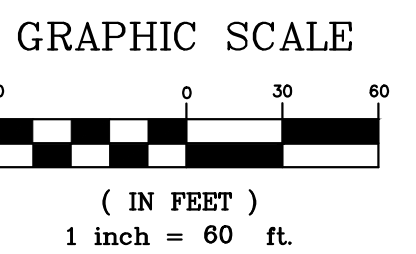
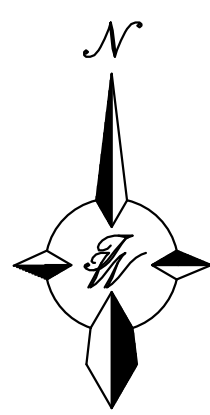
	CURB & GUTTER		EXISTING LANE
	BOUNDARY LINE		EXISTING STRIPING
	EASEMENT		ASPHALT PAVING AREA
	CENTERLINE		SPILL CONTAINMENT AREA
	RIGHT-OF-WAY		PARKING LOT LIGHT FIXTURE
	BUILDING		EXISTING TRAFFIC SIGNAL
	SIDEWALK		
	RETAINING WALL		
	STREET LIGHTS		
	LANE		
	STRIPING		
	EXISTING CURB & GUTTER		
	EXISTING BOUNDARY LINE		

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Herman Gallegos</i> Herman Gallegos	06-06-24
SOLID WASTE/ MANAGEMENT	Date
PLANNING DEPARTMENT	Date

MATCHLINE
SHEET SP-3



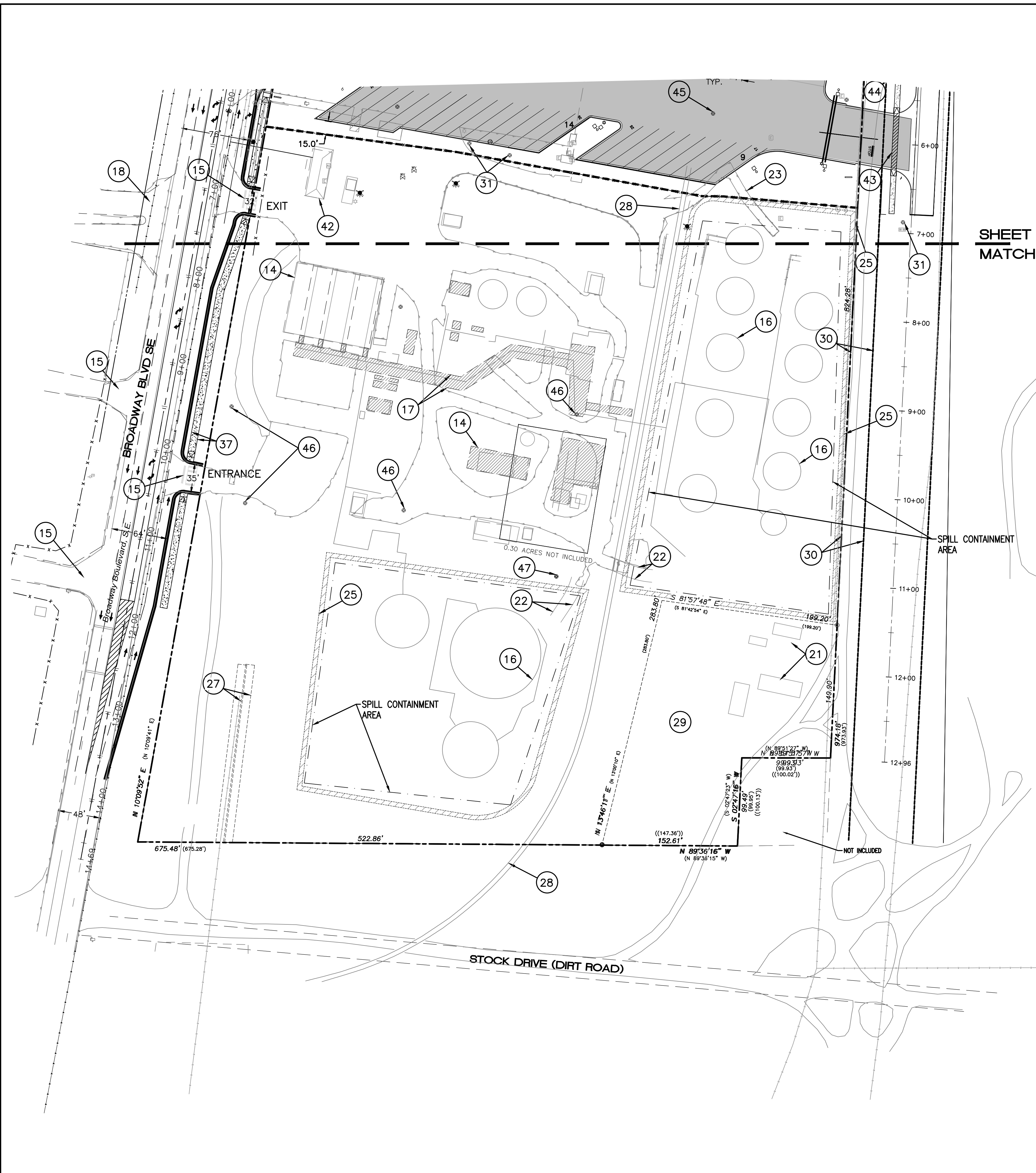
CAUTION

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NOTE:

- 1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 35 FT HEIGHT
- 2 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

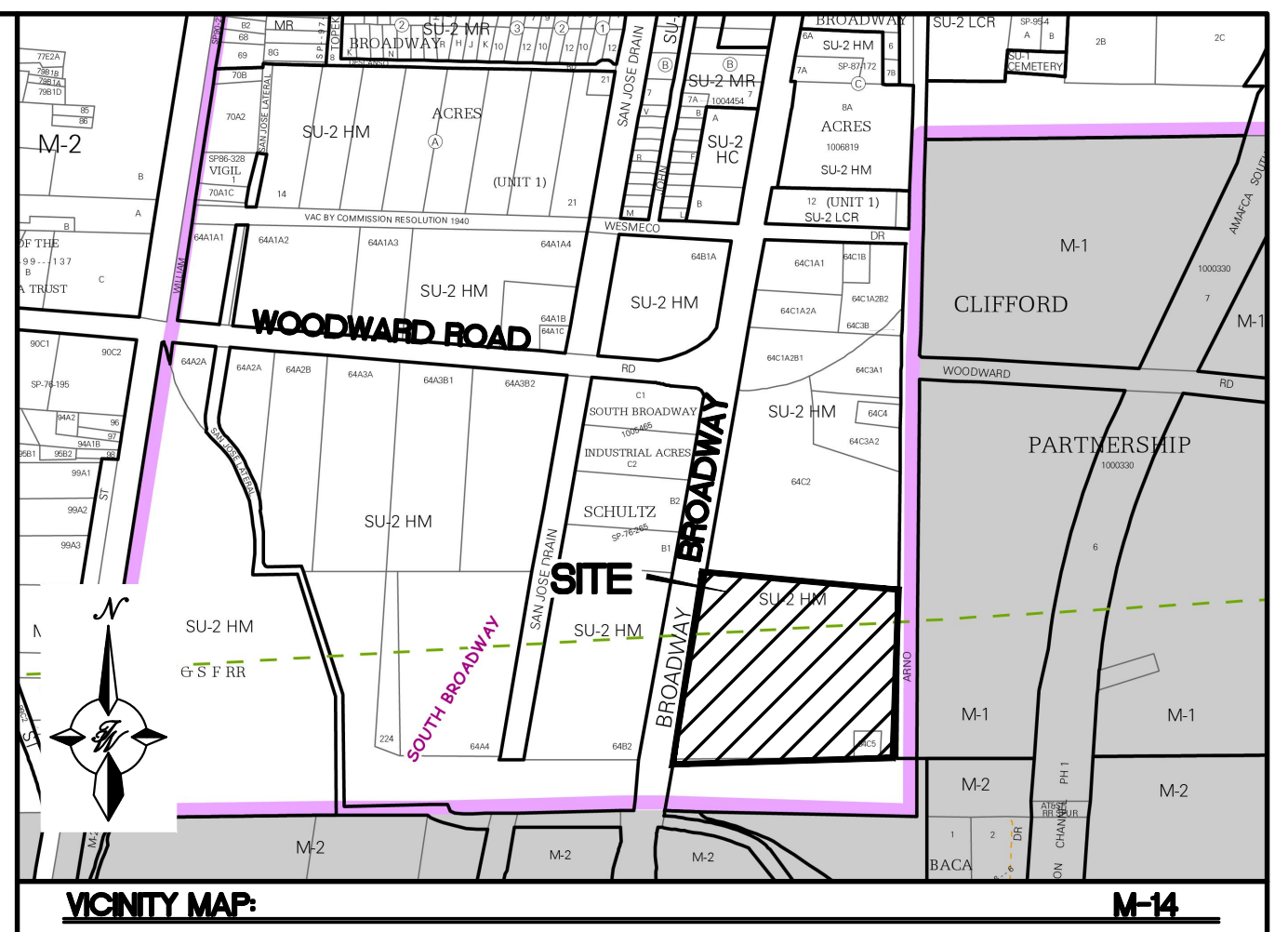
REV. NO.	1	05-13-2024	BUILDING PERMIT COMMENTS	RMG
DATE			REMARKS	BY
REVISIONS				
ENGINEER'S SEAL		LOVE'S BROADWAY /SUNPORT BLVD		DRAWN BY SB
		TRAVEL CENTER SITE PLAN		DATE 04/02/24
				2022031_SP
VINCENT P. CARRICA P.E. #16212				SHEET # SP-2
				JOB # 2022031



SHEET SP-2
MATCHLINE

KEYED NOTES

- 14 EXISTING BUILDING TO REMAIN
- 15 EXISTING GATED ACCESS
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 EXISTING ABOVE GROUND PIPING TO REMAIN
- 18 EXISTING NON-GATED ACCESS
- 21 EXISTING CONCRETE PADS TO REMAIN (TYP.)
- 22 EXISTING CONTAINMENT AREA ACCESS TO REMAIN
- 23 EXISTING CONTAINMENT AREA ACCESS TO BE REMOVED
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 27 EXISTING UTILITY EASEMENT
- 28 EXISTING RAIL SPUR TO REMAIN
- 29 EXISTING PLAINS PIPELINE EASEMENT SITE
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 37 8' PAVED TRAIL
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 46 EXISTING MONITORING WELL TO REMAIN AS IS
- 47 NEW MONITORING WELL LOCATION



LEGAL DESCRIPTION:

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE: INDUSTRIAL
 ZONE: NR-LM
 LOT AREA: 494,353 S.F. (11.353 ACRES)

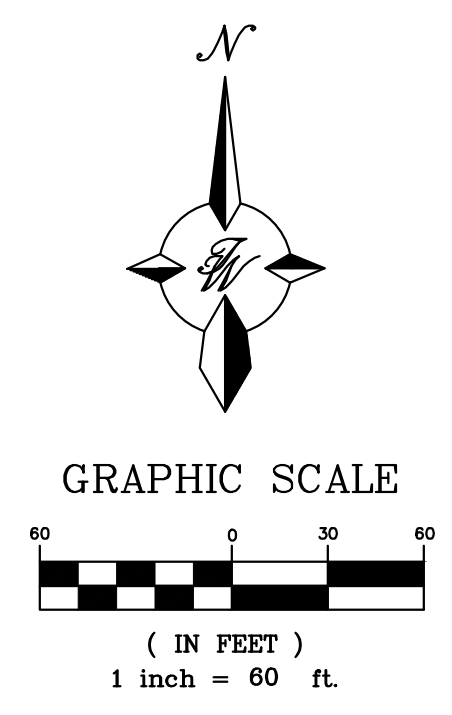
NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- STREET LIGHTS
- LANE
- STRIPING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING LANE
- EXISTING STRIPING

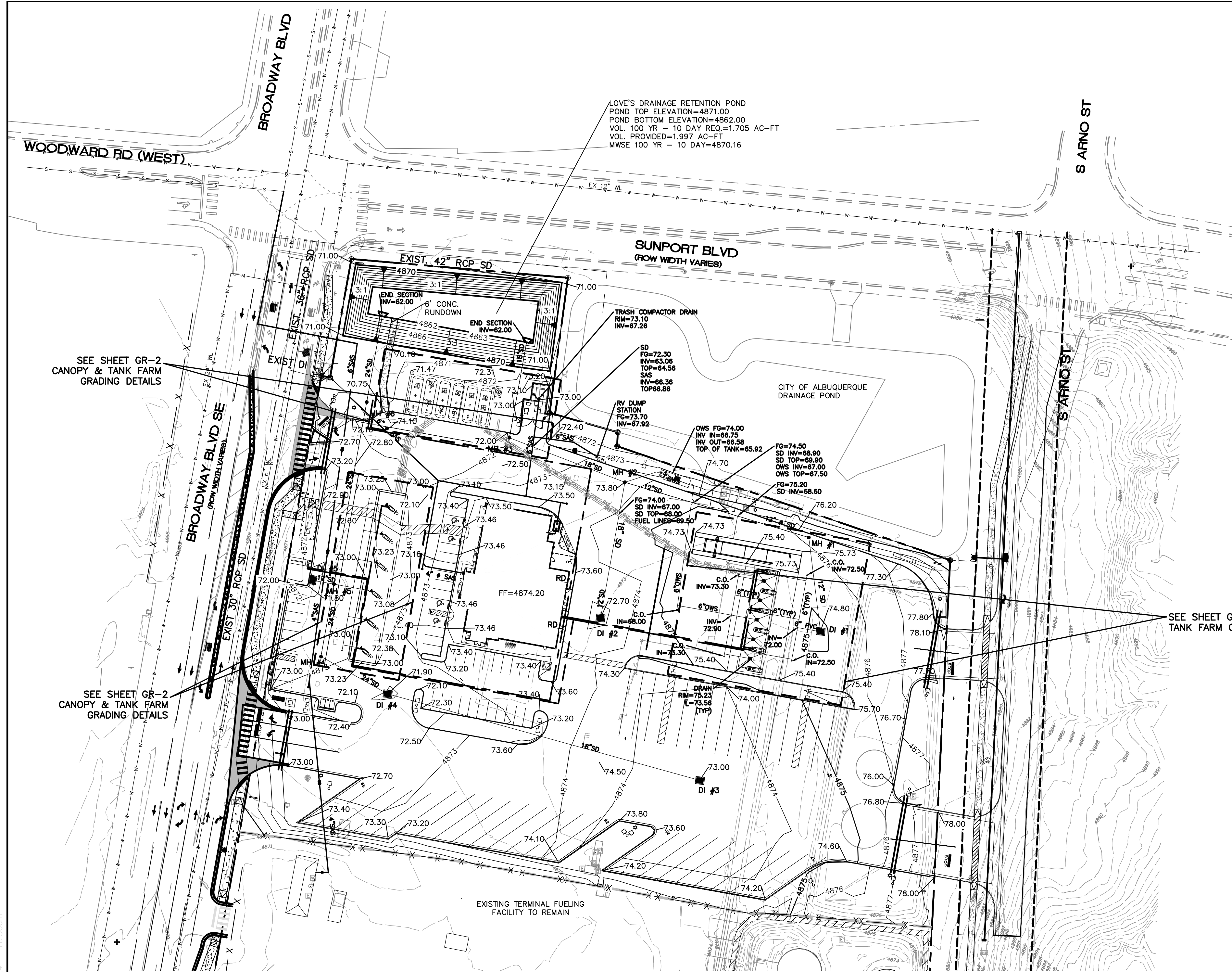
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	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	FUELING DEPOT AS BUILT SITE PLAN	DATE 04/02/24
VINCENT P. CARRICA P.E. # 16212	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022031_SP
04-02-24	SHEET # SP-3	JOB # 2022031

7:\2022\2022031 - Love's - Sunport - Station\Auto\Construction\2022031 - SP.dwg, Apr 22, 2024 - 1:43pm

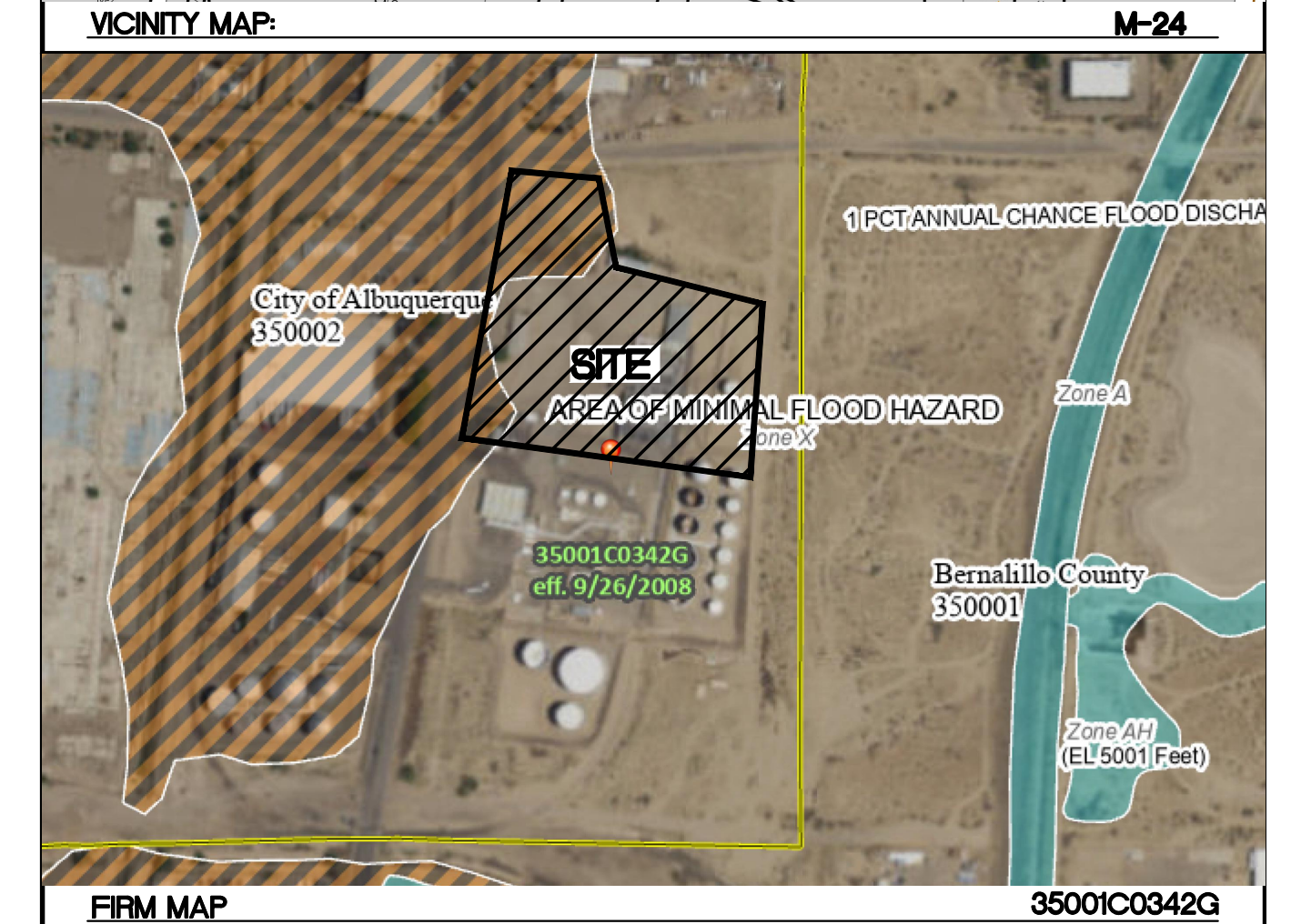


NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.



SEE SHEET GR-2 CANOPY & TANK FARM GRADING DETAILS

SEE SHEET GR-2 CANOPY & TANK FARM GRADING DETAILS

SEE SHEET GR-2 CANOPY & TANK FARM GRADING DETAILS

STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH#1	6' DIA	4876.30	4870.61 (IN) 4870.51 (OUT)
MH#2	4' DIA	4873.80	4867.99 (EAST) 4866.18 (SOUTH & NORTH) 4866.08 (WEST)
MH#3	4' DIA	4872.00	4862.41 (IN) 4862.31 (OUT)
MH#4	4' DIA	4872.80	4865.70 (IN) 4865.60 (OUT)
MH#5	4' DIA	4872.40	4864.95 (IN) 4865.44 (SAS TOP)
MH#6	4' DIA	4871.20	4863.78 (IN) 4863.68 (OUT)
DI #1	TYPE D	4874.80	4871.80
DI #2	TYPE D	4872.70	4867.70
DI #3	TYPE D	4873.00	4869.50
DI #4	TYPE D	4871.90	4866.45 (IN) 4866.35 (OUT)
DI #5	TYPE D	4871.80	4869.00

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- 5010 — CONTOUR MAJOR
- 5011 — CONTOUR MINOR
- x 5048.25 SPOT ELEVATION
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- 5010 — EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- ⊕ PARKING LOT LIGHT FIXTURE

Weighted E Method

Zone:
Zone 2
Developed Basins

Basin	Basin Area			Treatments				100-Year						
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs				
Loves	292,169.0	6.71	0.010	0%	0.00	25%	1.68	0%	0.00	75%	5.03	1.948	1,089	25.79
Total	292,169.0	6.707	0.01048	0.00	1.677	0.000	5.030					1.948	1,089	25.79

Equations:

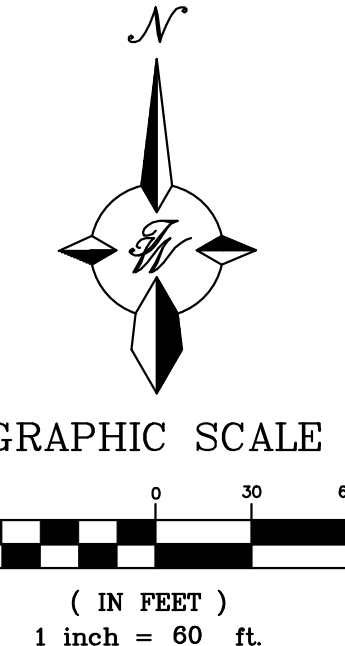
Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)
 Volume = Weighted E * Total Area
 Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d
 $V_{10DAY} = V_{BASE} * A_{DI} * (P_{10DAY} - P_{BASE})^{1/2}$ INFT
 $P_{10DAY} = 3.67$ IN
 $P_{BASE} = 2.20$ IN

LOVE'S POND 100YR, 24HR 47,417 CU.FT.
 100YR, 10DAY 74,260 CU.FT.

DRAINAGE NARRATIVE:

THE PROPOSED LOVE'S TRAVEL CENTER IS TO BE CONSTRUCTED ON THE NORTHERN 6.71 ACRES OF THE EXISTING TERMINAL FUELING FACILITY. THE SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS, PAVING AND ABOVE GROUND FUEL STORAGE TANKS. THE SITE CURRENTLY GENERALLY DRAINS FROM EAST TO WEST WITH SOME ONSITE PONDING AND SOME RUNOFF ENTERING THE BROADWAY BOULEVARD RIGHT OF WAY. THE EXISTING FACILITIES WITHIN THE NORTHERN 6.71 ACRES WILL BE REMOVED AND THE NEW LOVE'S CONSTRUCTED WITH AUTO AND TRUCK FUELING AREAS, A C-STORE, A CAT SCALE, AND ASSOCIATED PARKING FIELDS. DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO A PROPOSED RETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND WILL HAVE THE CAPACITY TO RETAIN THE 100-YEAR, 10-DAY STORM VOLUME.

DRAINAGE ON THE EXISTING TERMINAL FUELING FACILITY SOUTH OF THE LOVE'S TRAVEL CENTER DEVELOPMENT WILL REMAIN AS IT CURRENTLY EXISTS.



ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	LOVE'S BROADWAY/ SUNPORT BLVD GRADING PLAN	DRAWN BY sb DATE 04-02-24
	 TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1 JOB # 2022031

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LEGEND

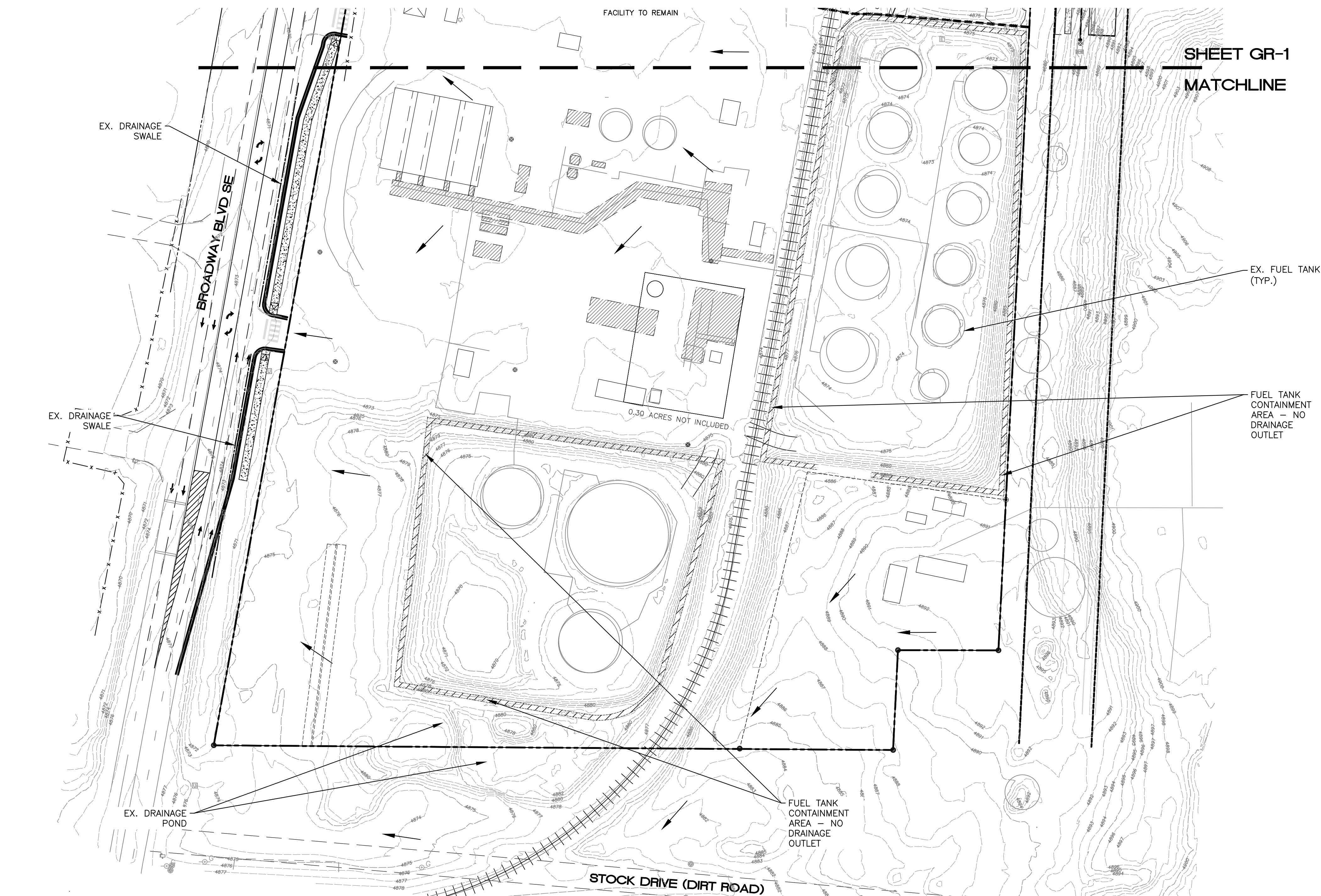
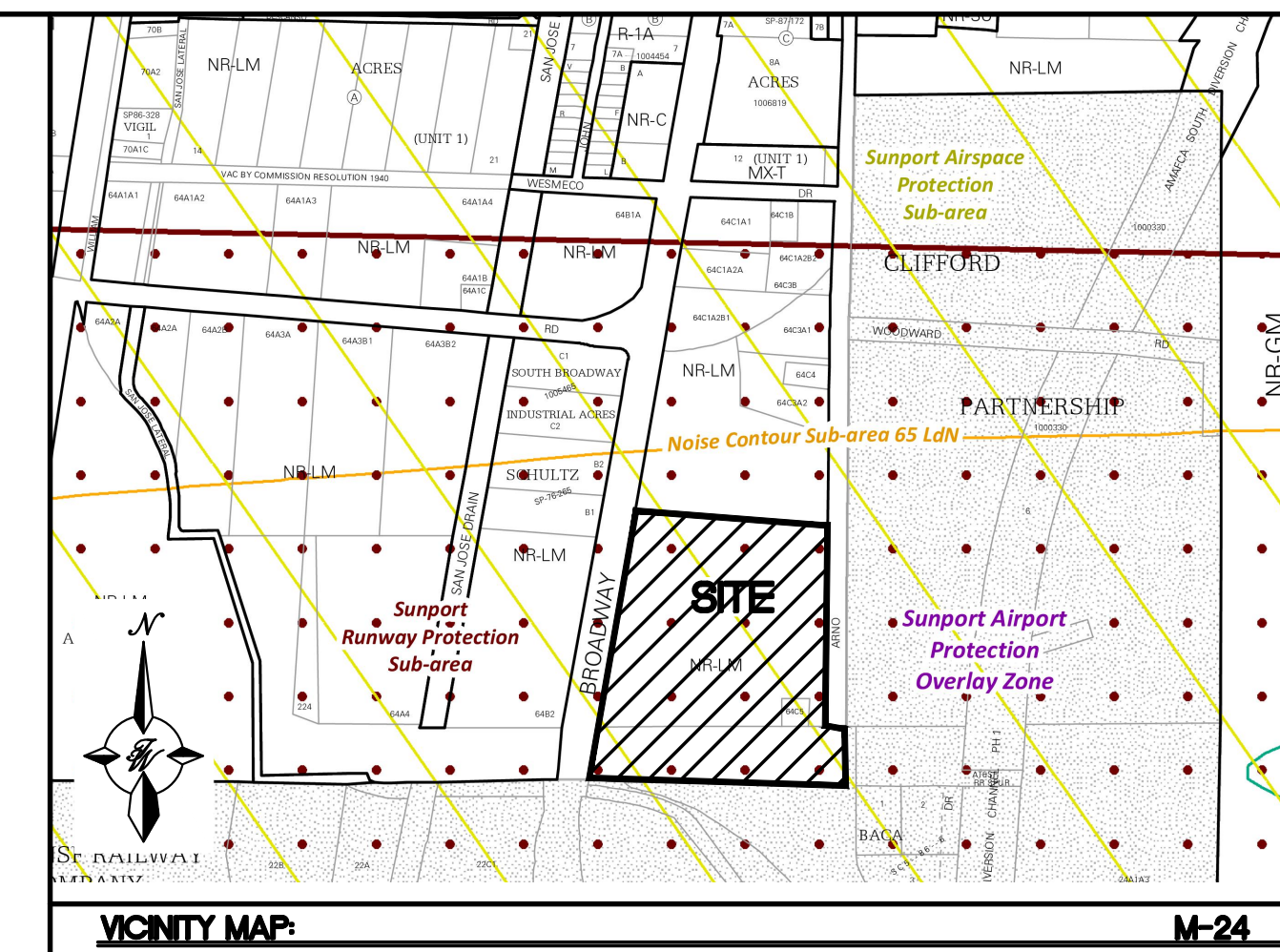
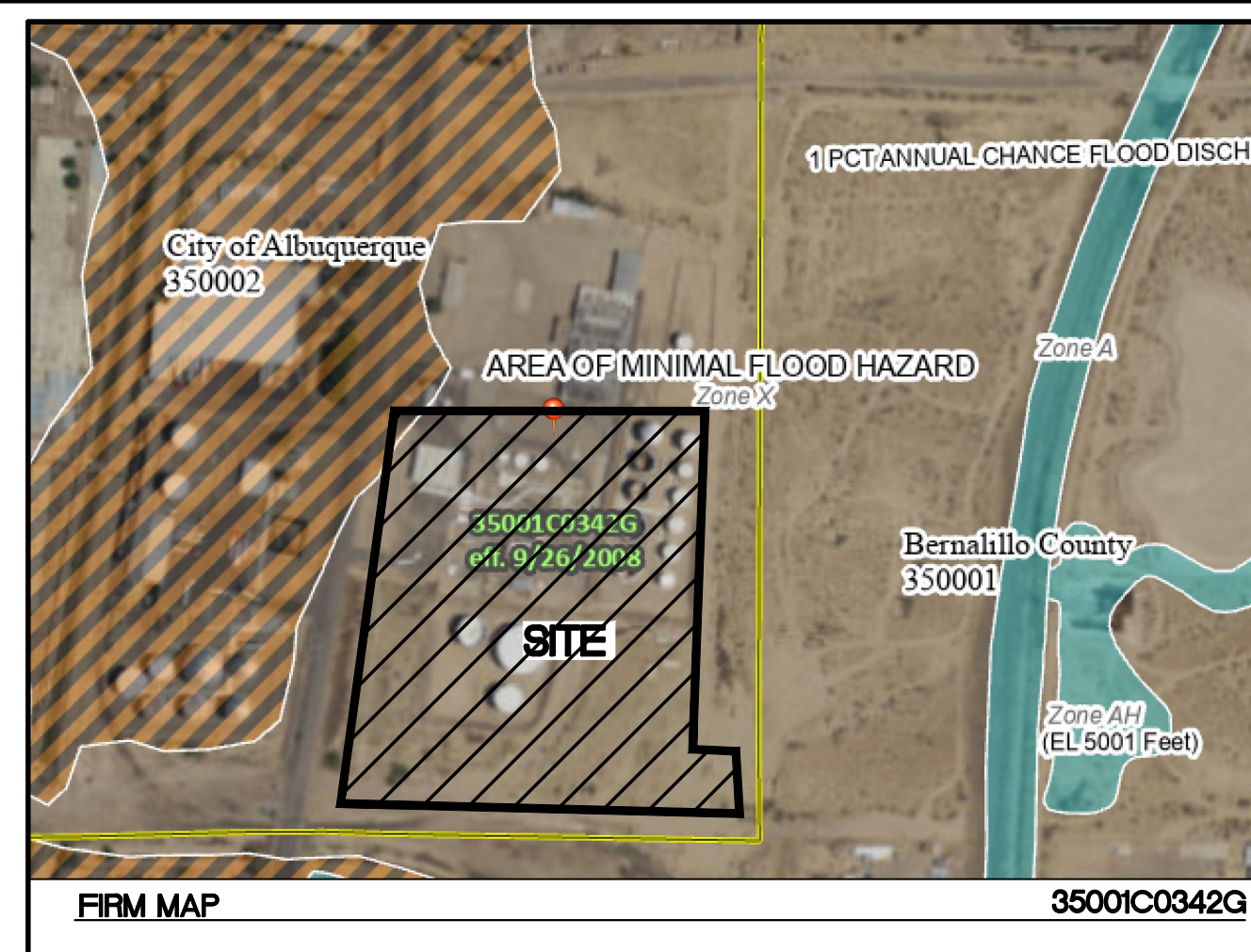
	CURB & GUTTER
	BOUNDARY LINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR

NOTICE TO CONTRACTORS

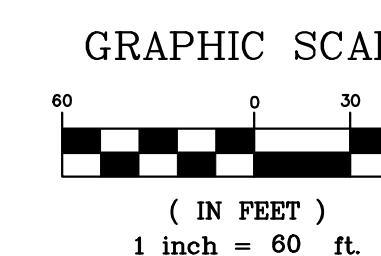
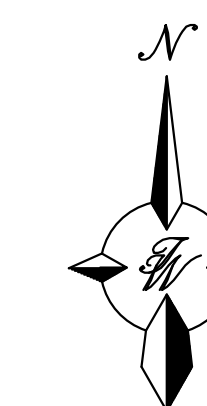
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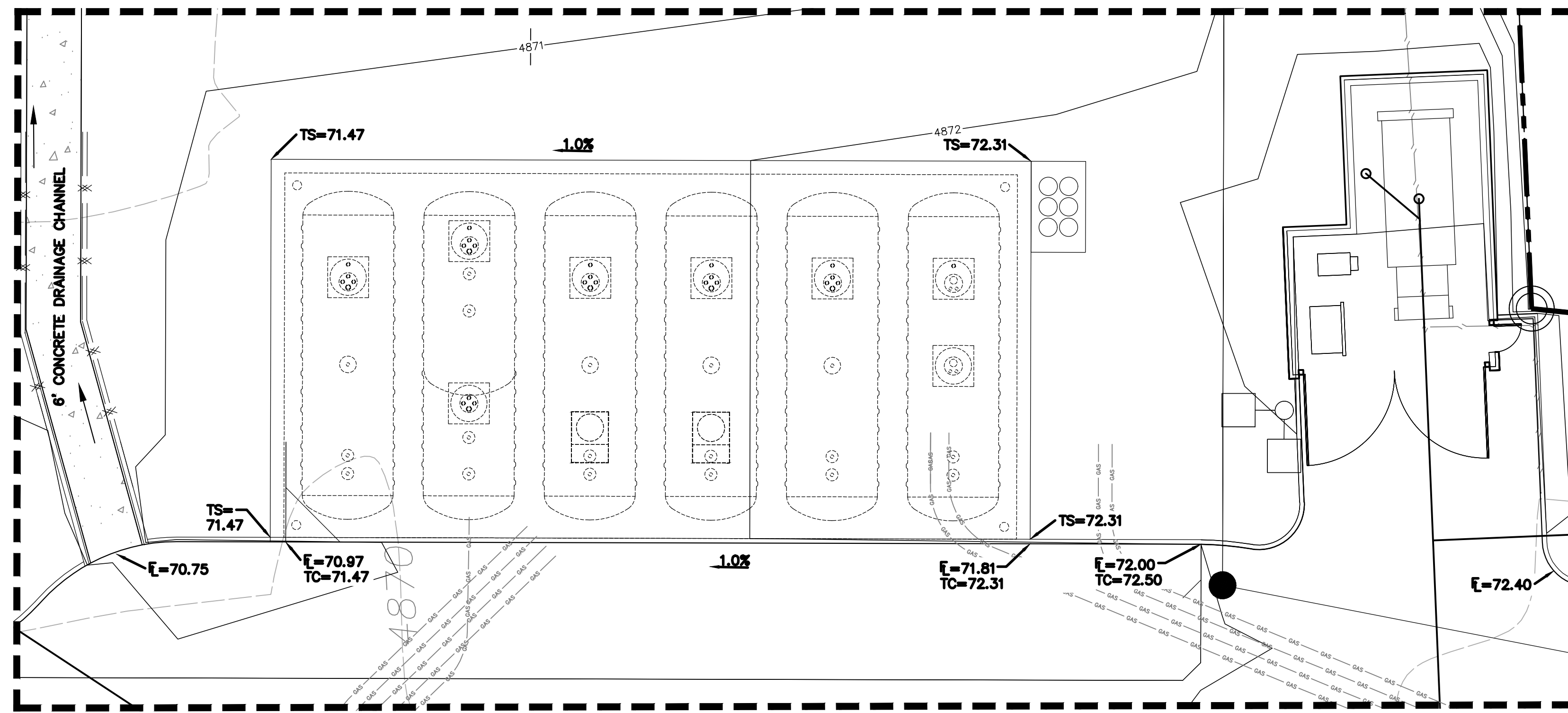
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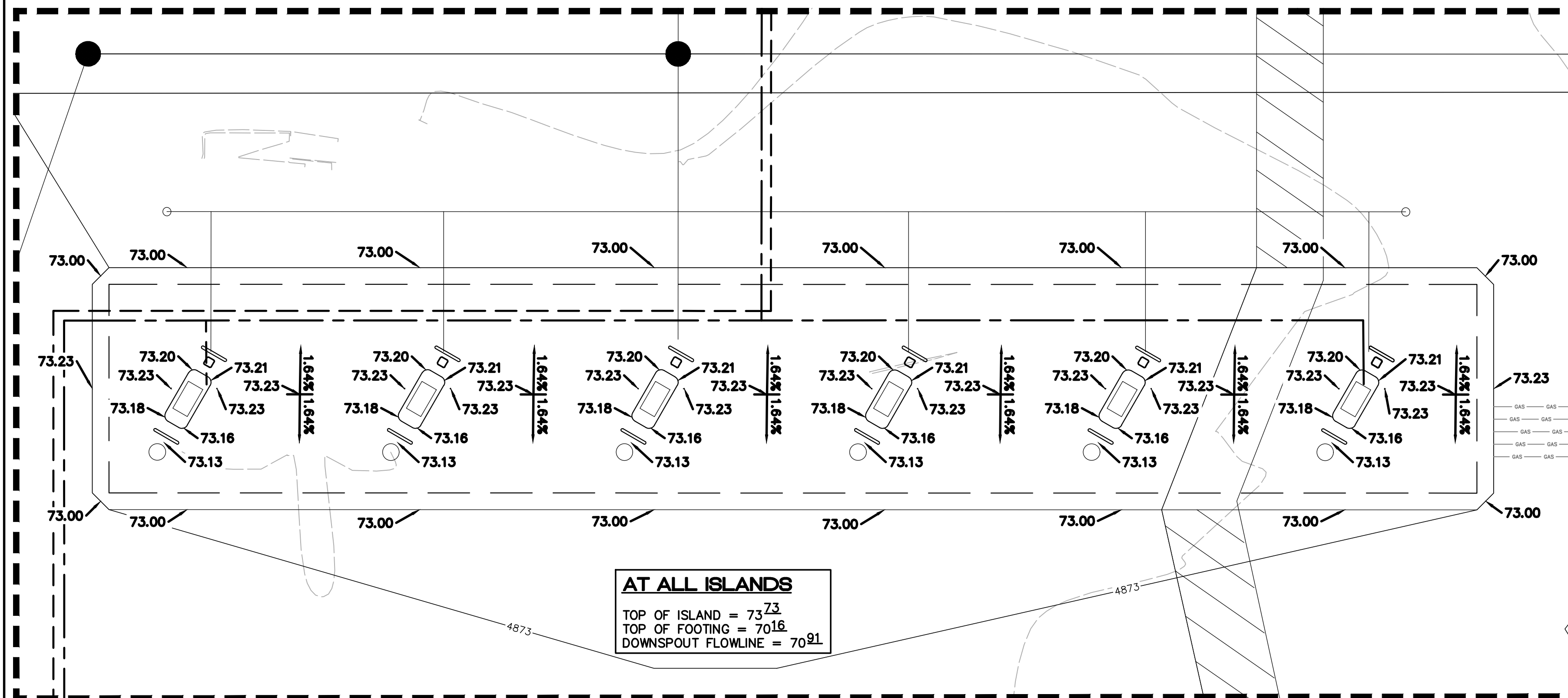
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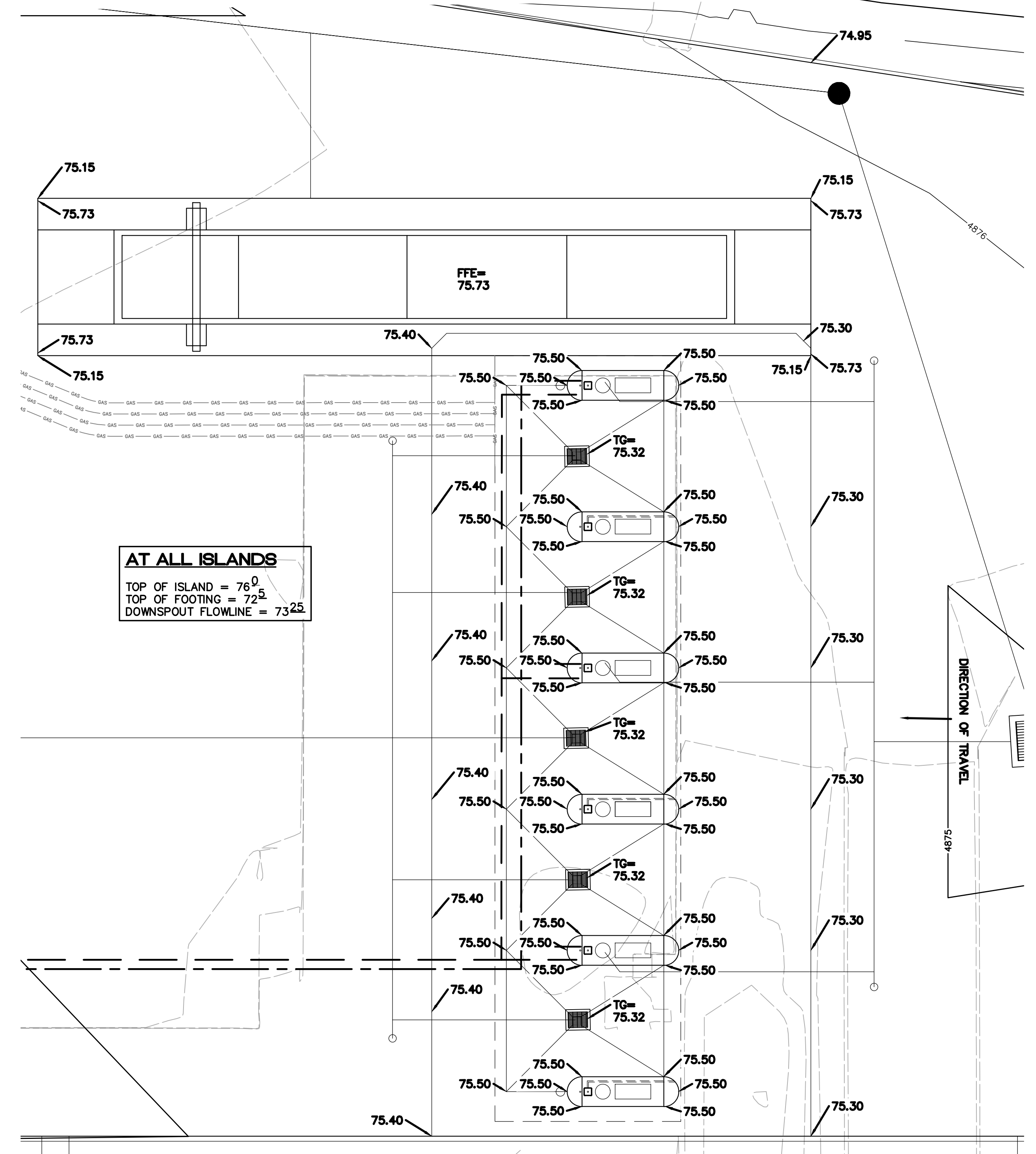
	ENGINEER'S SEAL LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	CONCEPTUAL GRADING AND DRAINAGE PLAN	DATE 04/02/24
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		2022031_GR PLAN
SHEET # GR-2		JOB # 2022031



UNDERGROUND STORAGE TANKS (UST'S) SLAB GRADING DETAIL
1"=10' SCALE



AUTO ISLAND GRADING DETAIL
1"=10' SCALE



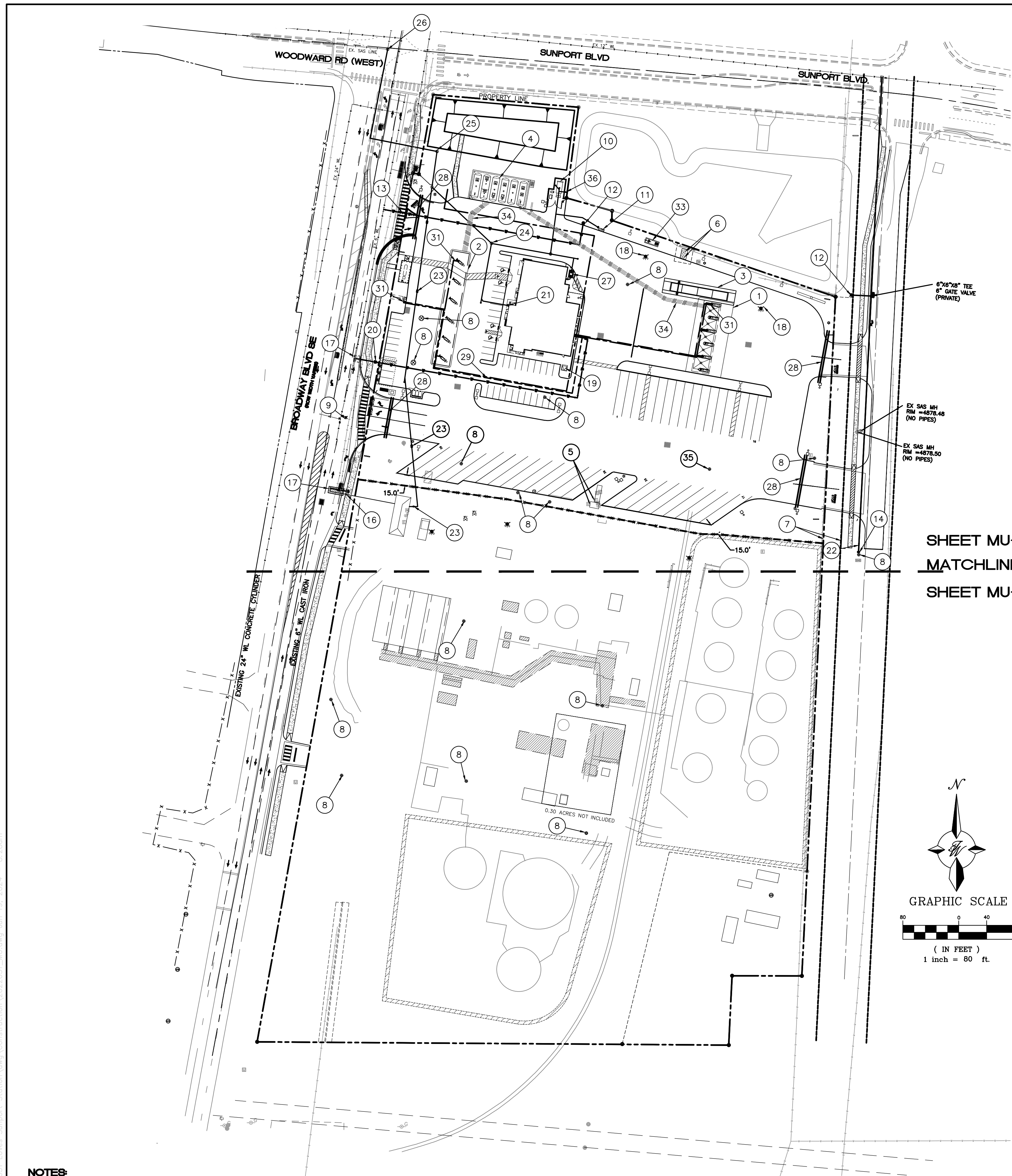
AT ALL ISLANDS
TOP OF ISLAND = 76.0
TOP OF FOOTING = 72.5
DOWNSPOUT FLOWLINE = 73.25

TRUCK CANOPY GRADING DETAIL
1"=10' SCALE

- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - RIGHT-OF-WAY
 - BUILDING
 - ▨ SIDEWALK
 - 5010 — CONTOUR MAJOR
 - 5011 — CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - - - 5010 — EXISTING CONTOUR MAJOR
 - - - 5011 — EXISTING CONTOUR MINOR
 - ⊙ PARKING LOT LIGHT FIXTURE

	LOVE'S BROADWAY/ SUNPORT BLVD GRADING DETAILS	DRAWN BY sb DATE 04-02-24
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-3 JOB # 2022031

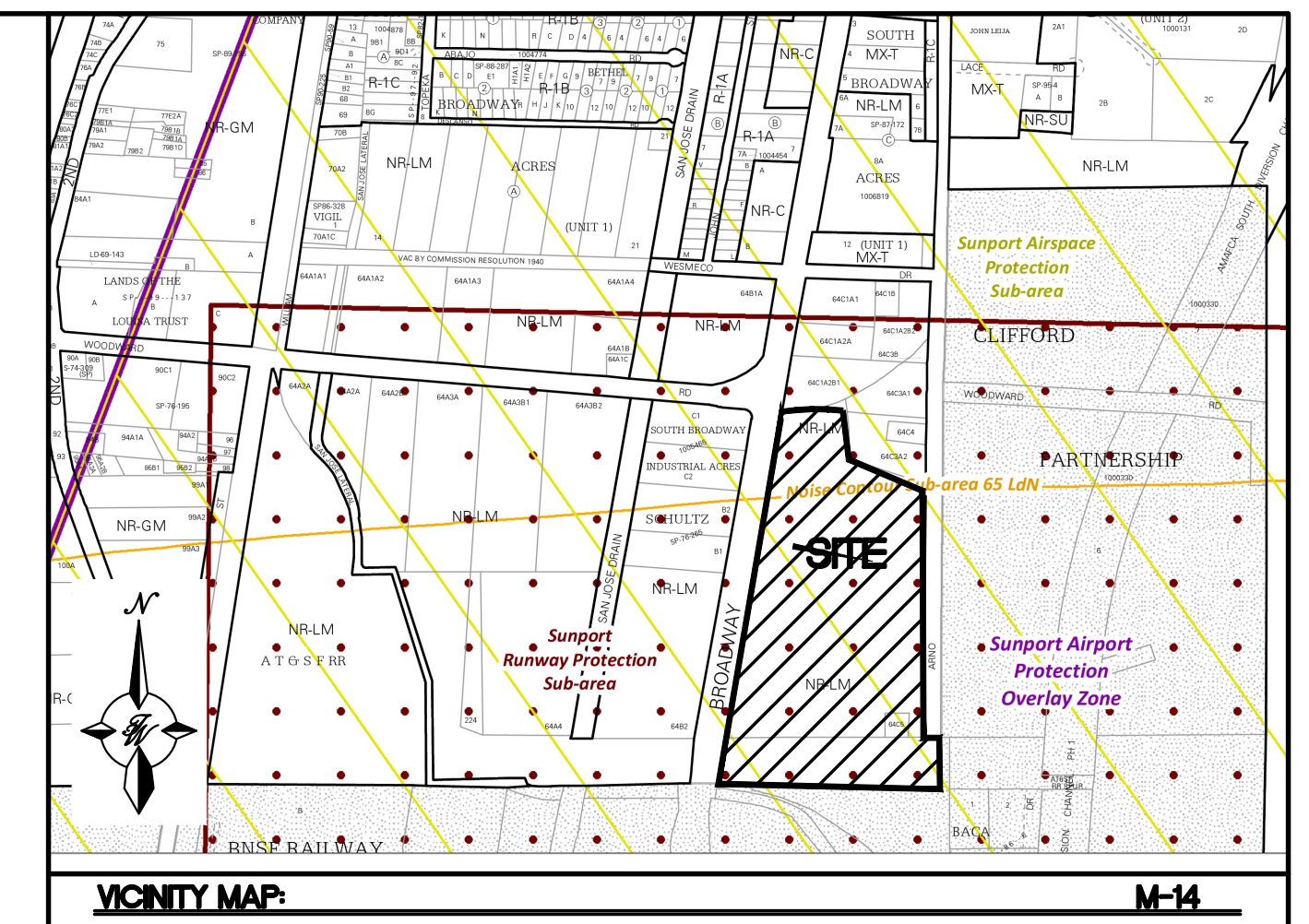
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SHEET MU-2
MATCHLINE
SHEET MU-3

KEYED NOTES

- ① TRUCK CANOPY (51' X 108')
- ② AUTO CANOPY (29' X 168')
- ③ CAT SCALE
- ④ UNDERGROUND FUEL TANK FARM
- ⑤ EXISTING ELECTRICAL PANELS TO REMAIN
- ⑥ EXISTING TRANSFORMERS TO REMAIN
- ⑦ EXISTING 25' UTILITY EASEMENT
- ⑧ EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- ⑨ EXISTING FIRE HYDRANT TO BE REMOVED
- ⑩ TRASH COMPACTOR (SEE ARCH. PLANS)
- ⑪ RV DUMPSTATION
- ⑫ NEW FIRE HYDRANT W/PRIVATE GATE VALVE PER COA STD. DWG #2340
- ⑬ 8" WATER LINE CAP
- ⑭ SINGLE WATER METER, 1½"
- ⑮ REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD DWG #2405B
- ⑯ REMOVE EXISTING FIRE HYDRANT
- ⑰ TRANSFORMER
- ⑱ SINGLE WATER METER, 2"
- ⑲ 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
- ⑳ 8" PUBLIC GATE VALVE
- ㉑ 4" SANITARY SEWER CLEAN OUT
- ㉒ 4' DIA. SANITARY SEWER MANHOLE
- ㉓ SANITARY SEWER LIFT STATION
- ㉔ EXISTING SANITARY SEWER MANHOLE
- ㉕ GREASE TRAP
- ㉖ 2-6" PVC CONDUIT (SCH. 40)
- ㉗ 1" WATERLINE
- ㉘ UNDERGROUND FUEL LINES
- ㉙ UNDERGROUND FUEL LINES
- ㉚ OIL/WATER SEPARATOR
- ㉛ POST HYDRANT
- ㉜ EXISTING MONITORING WELL TO BE ABANDONED
- ㉝ 4" DUMPSTER DRAIN VENT PER UPC-901.2 AND 1001.2, VENT PIPE SHALL EXTEND NOT LESS THAN 10 FT ABOVE SURROUNDING GRADE AND BE SECURELY SUPPORTED (UPC-906.4)



MAP44 TR 64C2 EXC 03.0 ACX ALL TR 64C3A2 CONT 31.43 AC
UPC 101405533908840121

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▨ SIDEWALK
- EXISTING CURB & GUTTER
- 36" SD — STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- - - EXISTING PVC WATERLINE
- PROPOSED HYDRANT
- PARKING LOT LIGHT FIXTURE

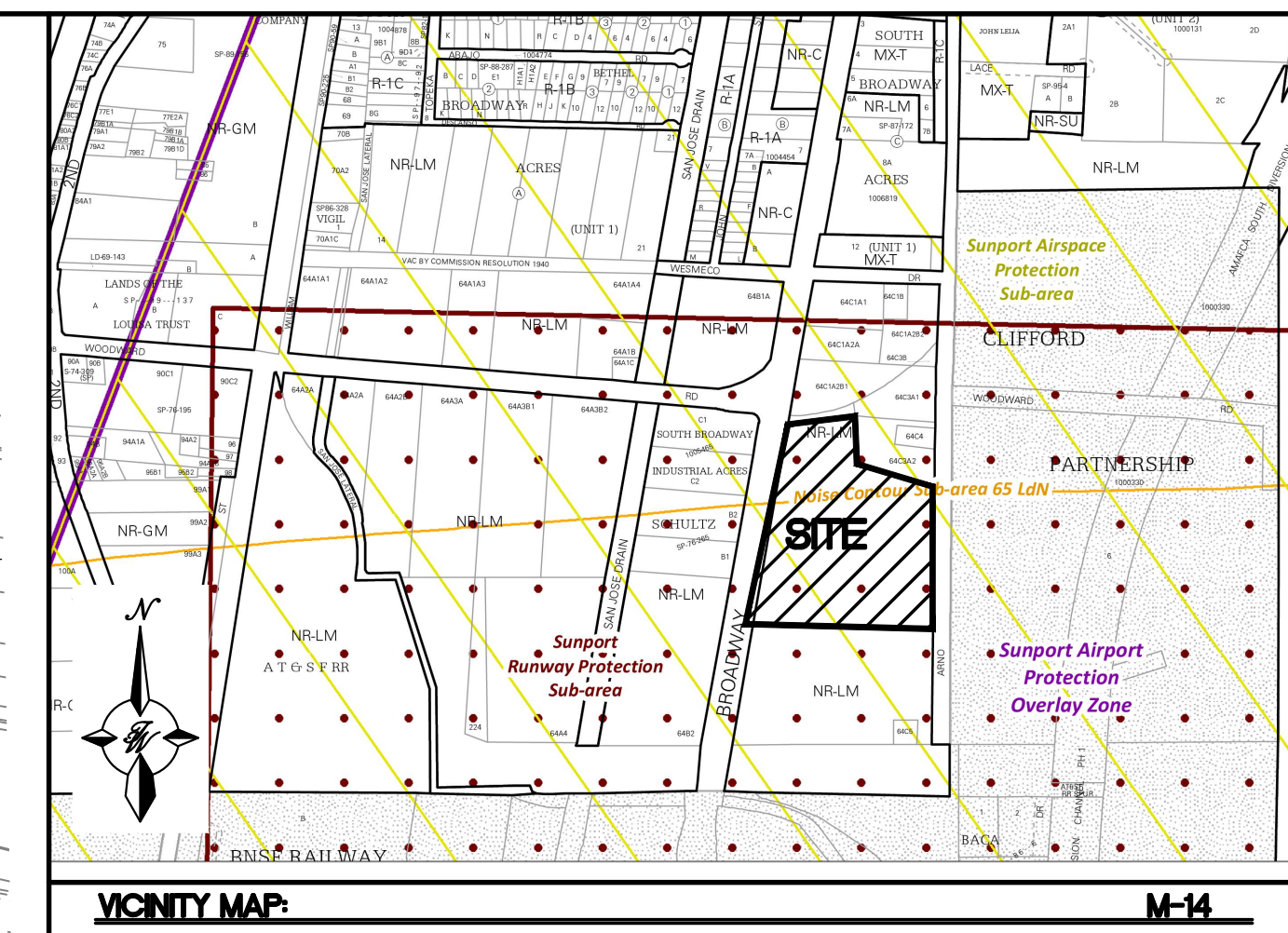
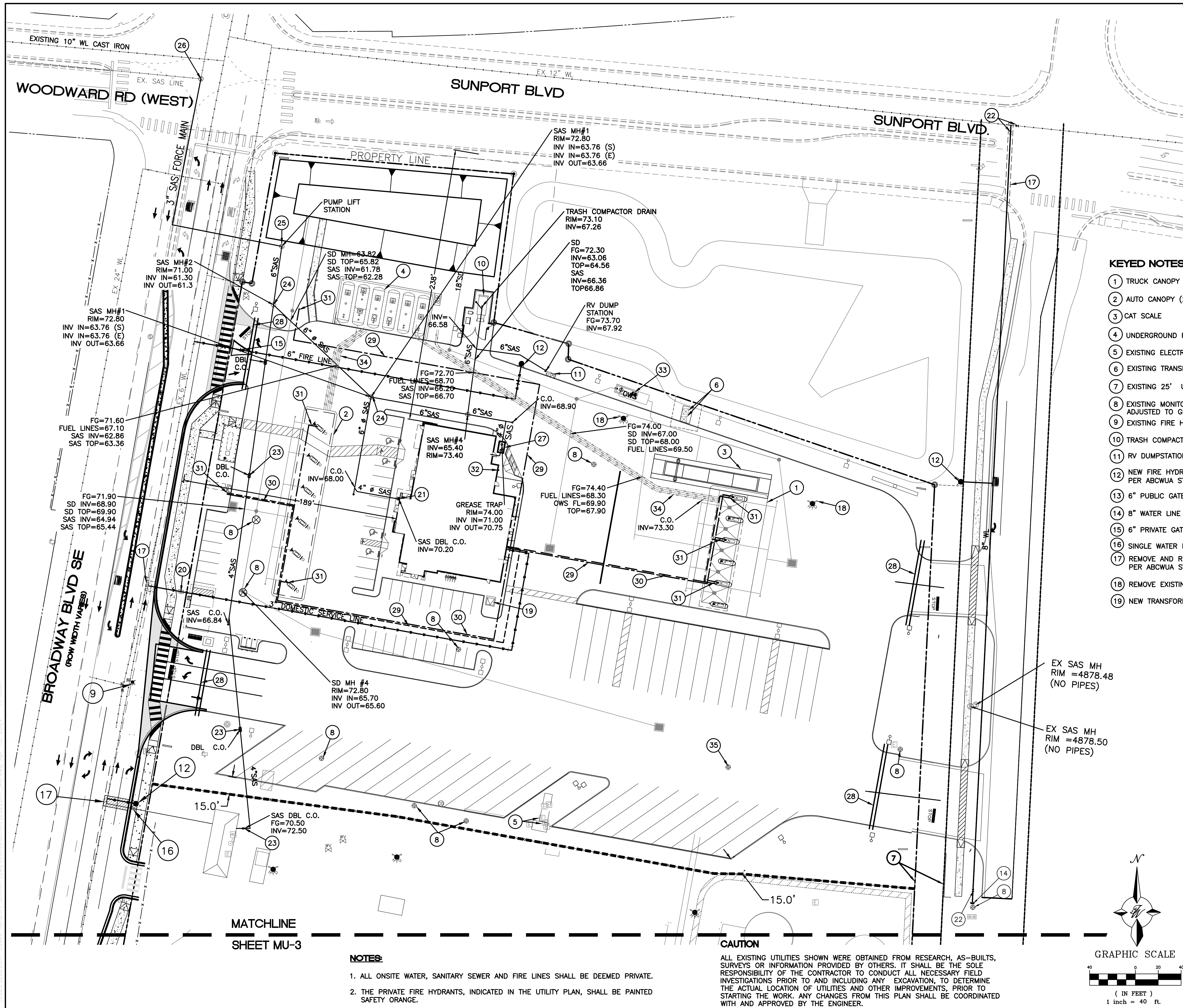
CAUTION

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NOTES:

- 1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
- 2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

	ENGINEER'S SEAL LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB DATE 04/02/24
	OVERALL UTILITY PLAN	2022031_MU
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com		SHEET # MU-1 JOB # 2022031



KEYED NOTES

- | | |
|---|--|
| 1 TRUCK CANOPY (51' X 108') | 20 SINGLE WATER METER 2" PER ABCWUA STD DWG #2363 |
| 2 AUTO CANOPY (29' X 168') | 21 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION. |
| 3 CAT SCALE | 22 PUBLIC GATE VALVE |
| 4 UNDERGROUND FUEL TANK FARM | 23 4" SANITARY SEWER CLEAN OUT |
| 5 EXISTING ELECTRICAL PANELS TO REMAIN | 24 4' DIA. SANITARY SEWER MANHOLE |
| 6 EXISTING TRANSFORMERS TO REMAIN | 25 SANITARY SEWER LIFT STATION |
| 7 EXISTING 25' UTILITY EASEMENT | 26 EXISTING SANITARY SEWER MANHOLE |
| 8 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE | 27 GREASE TRAP |
| 9 EXISTING FIRE HYDRANT TO BE RELOCATED | 28 (2)6" SCH 40 PVC CONDUITS (REFERENCE PLUMBING SITE PLAN, P101) |
| 10 TRASH COMPACTOR (SEE ARCH. PLANS) | 29 1" WATERLINE (REFERENCE PLUMBING SITE PLAN, P101) |
| 11 RV DUMPSTATION | 30 1" AIR (REFERENCE PLUMBING SITE PLAN, P101) |
| 12 NEW FIRE HYDRANT W/PRIVATE GATE VALVE PER ABCWUA STD. DWG #2340 | 31 POST HYDRANT (REFERENCE PLUMBING SITE PLAN, P101) |
| 13 6" PUBLIC GATE VALVE | 32 GAS METER |
| 14 8" WATER LINE CAP | 33 OIL WATER SEPARATOR |
| 15 6" PRIVATE GATE VALVE | 34 UNDERGROUND FUEL LINES |
| 16 SINGLE WATER METER, 1 1/2" | 35 EXISTING MONITORING WELL TO BE ABANDONED |
| 17 REMOVE AND REPLACE EXISTING ASPHALT PAVING PER ABCWUA STD DWG #2405B | |
| 18 REMOVE EXISTING FIRE HYDRANT | |
| 19 NEW TRANSFORMER | |

LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▨ SIDEWALK
- EXISTING CURB & GUTTER
- 36" SD — STORM SEWER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED WATERLINE
- - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EXISTING PVC WATERLINE
- PROPOSED HYDRANT
- PARKING LOT LIGHT FIXTURE

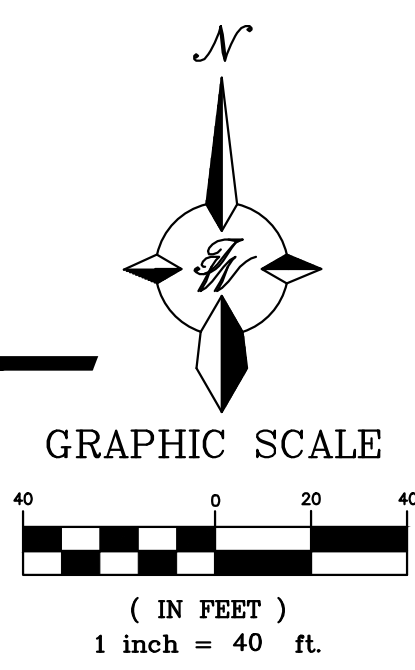
MATCHLINE
SHEET MU-3

NOTES:

- ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
- THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

CAUTION

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ENGINEER'S SEAL

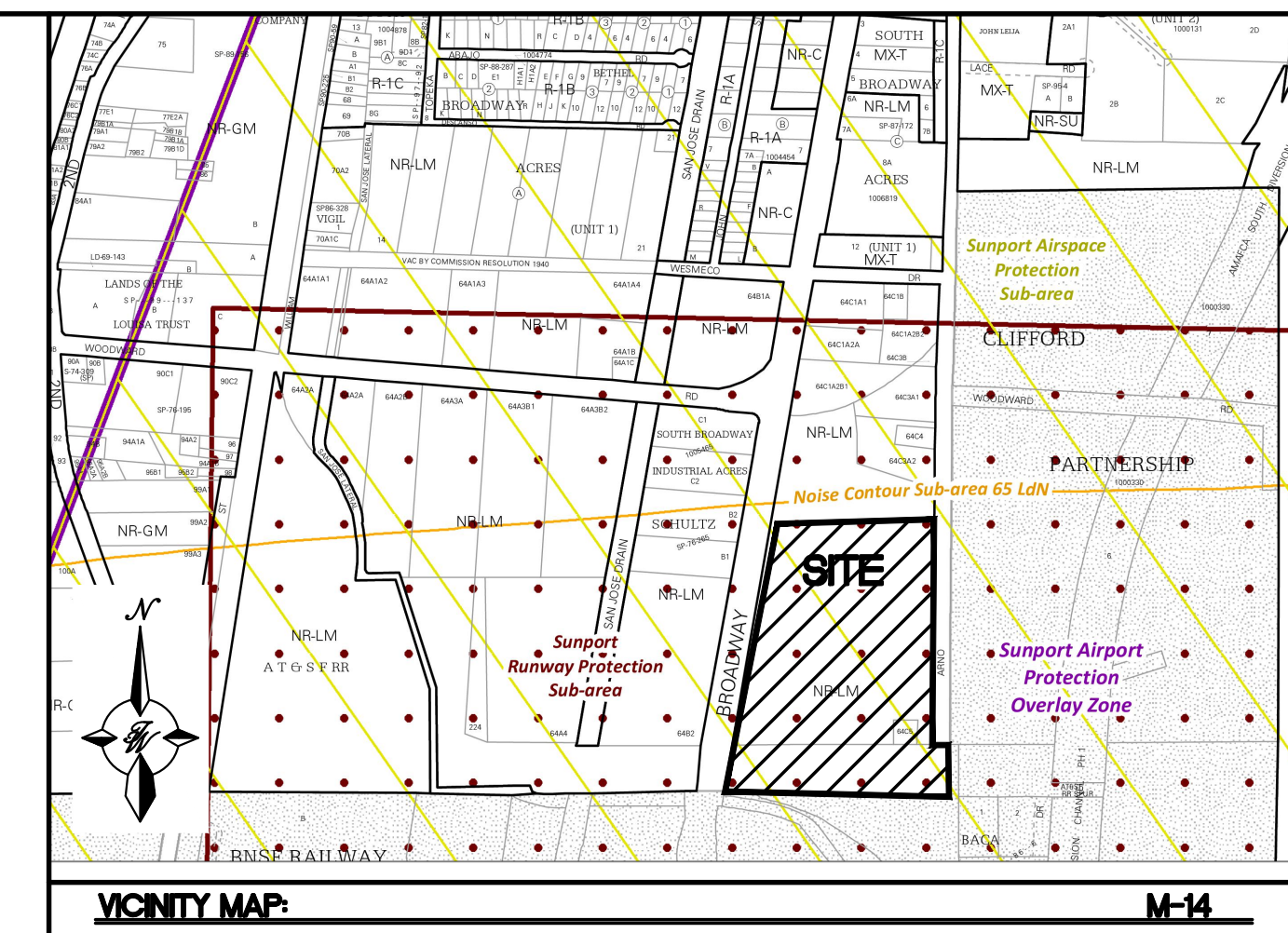
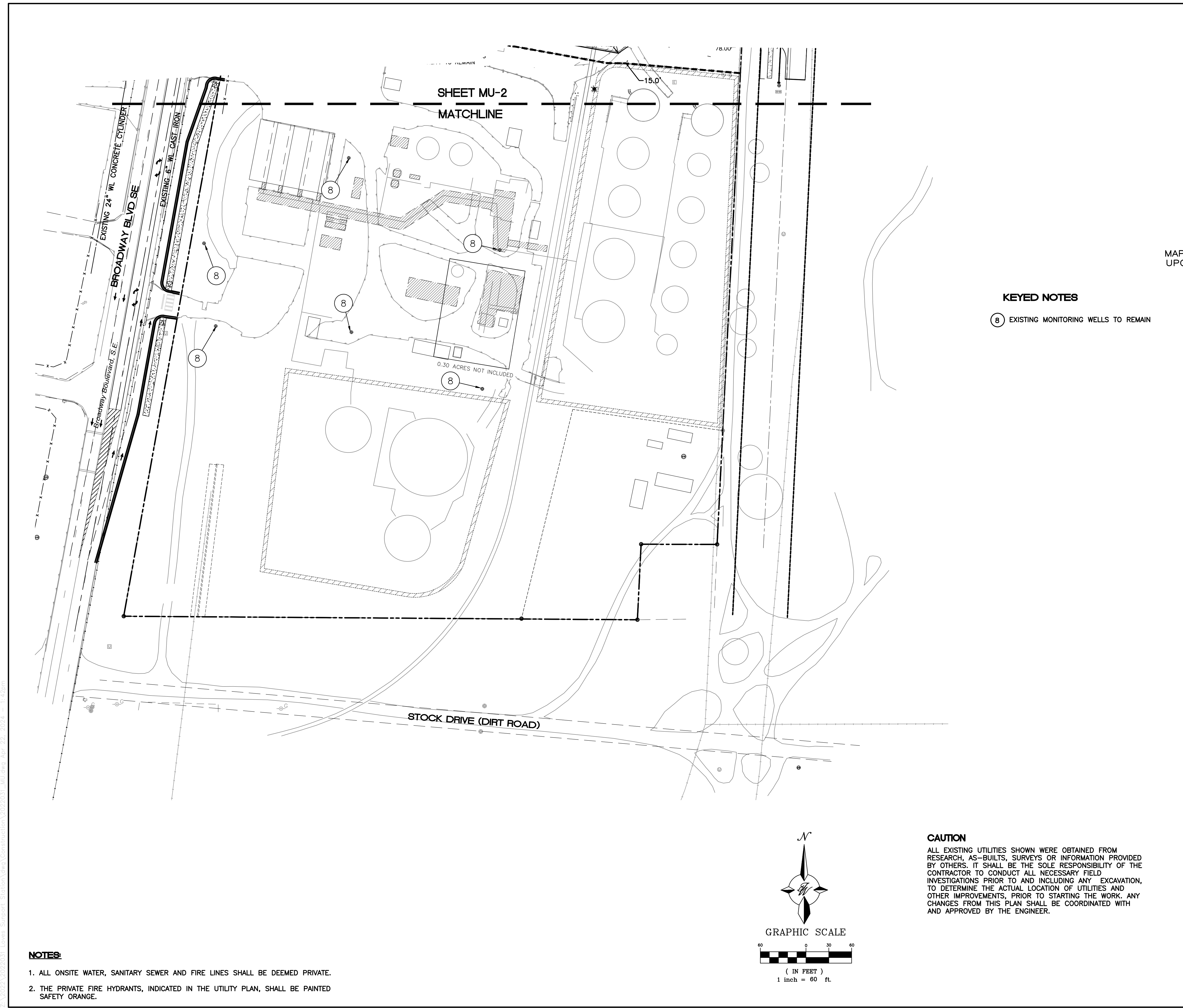
04-02-24
VINCENT P. CARRICA
P.E. #16212

**LOVE'S BROADWAY
/SUNPORT BLVD**

UTILITY PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY SB	DATE 04/02/24
2022031_MU	SHEET # MU-2
JOB # 2022031	



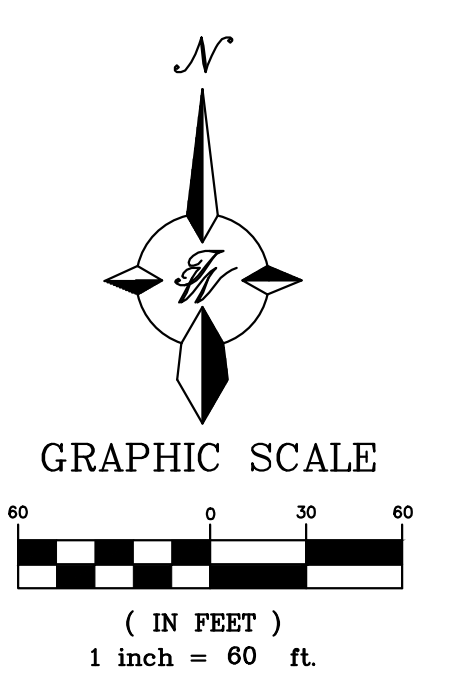
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UPC 101405533908840121

KEYED NOTES
 (8) EXISTING MONITORING WELLS TO REMAIN

NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	EXISTING SANITARY SEWER LINE
	EXISTING PVC WATERLINE
	PROPOSED HYDRANT

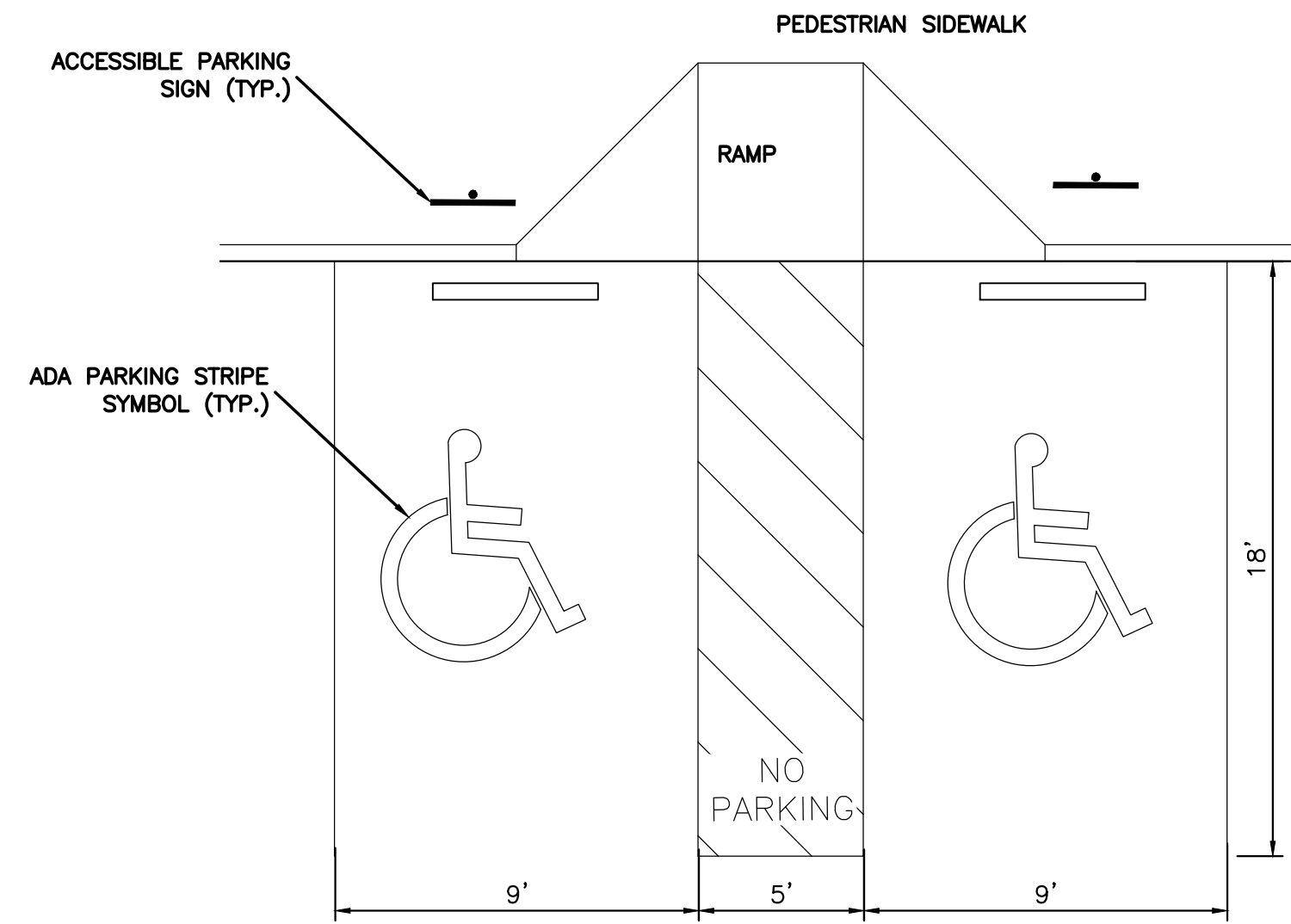


CAUTION
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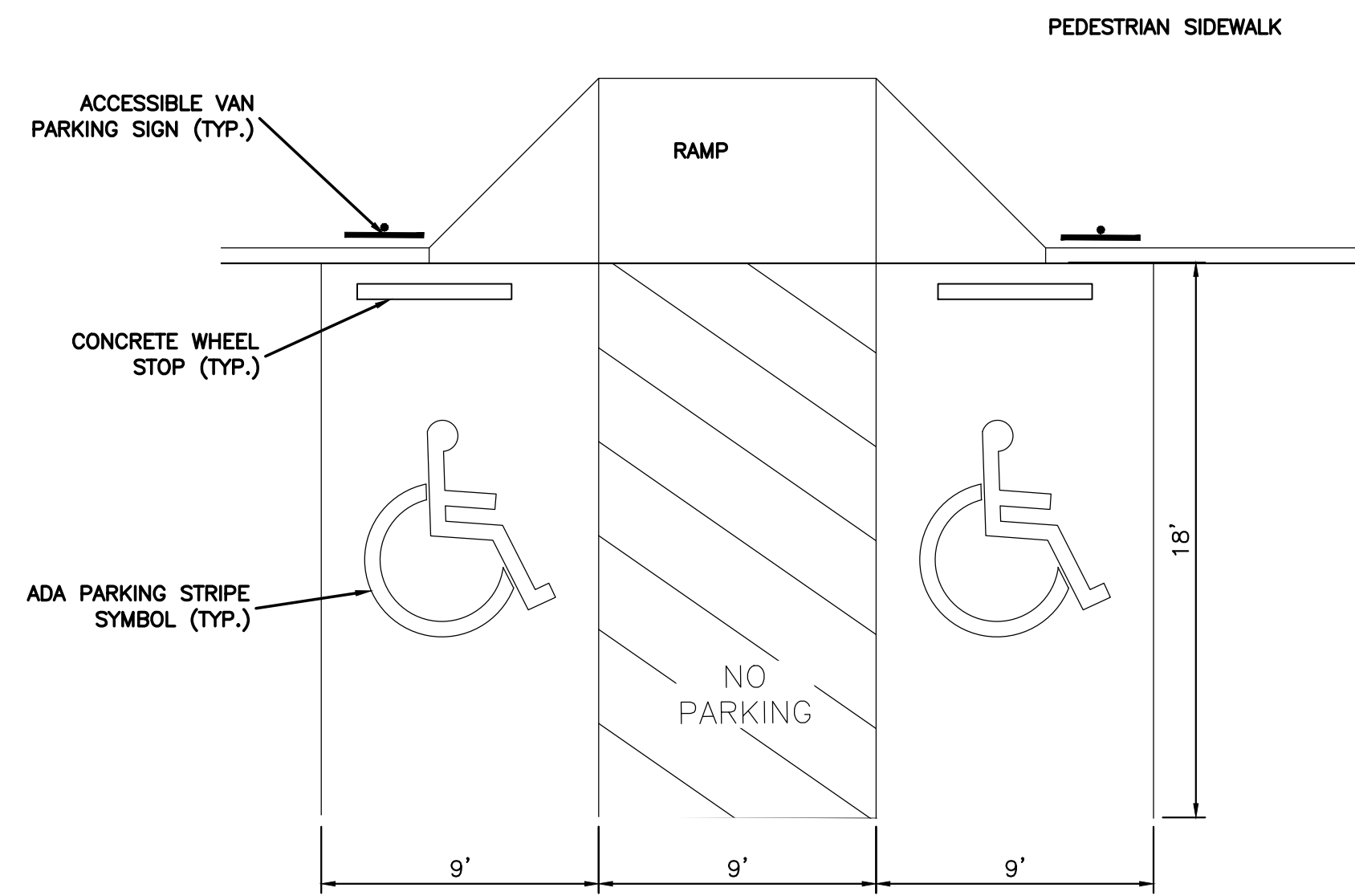
- NOTES:**
1. ALL ONSITE WATER, SANITARY SEWER AND FIRE LINES SHALL BE DEEMED PRIVATE.
 2. THE PRIVATE FIRE HYDRANTS, INDICATED IN THE UTILITY PLAN, SHALL BE PAINTED SAFETY ORANGE.

 VINCENT P. CARRIGAN P.E. # 16212	ENGINEER'S SEAL LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	FUELING DEPOT EXISTING UTILITY ASBUILT PLAN	DATE 04/02/24
 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022031_MU	SHEET # MU-3
04-02-24 VINCENT P. CARRIGAN P.E. # 16212	JOB # 2022031	

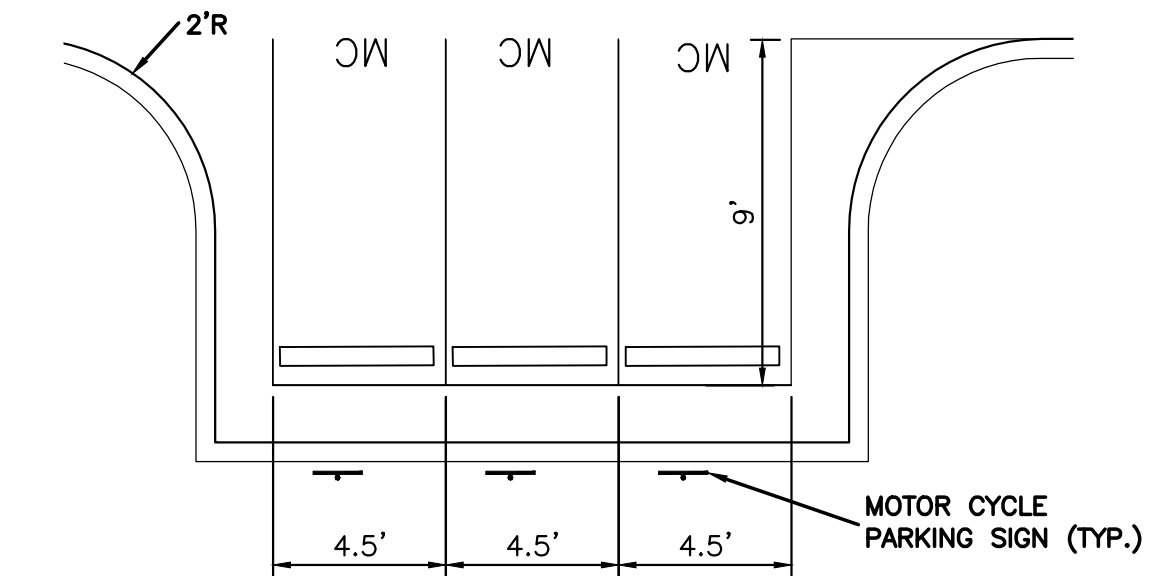
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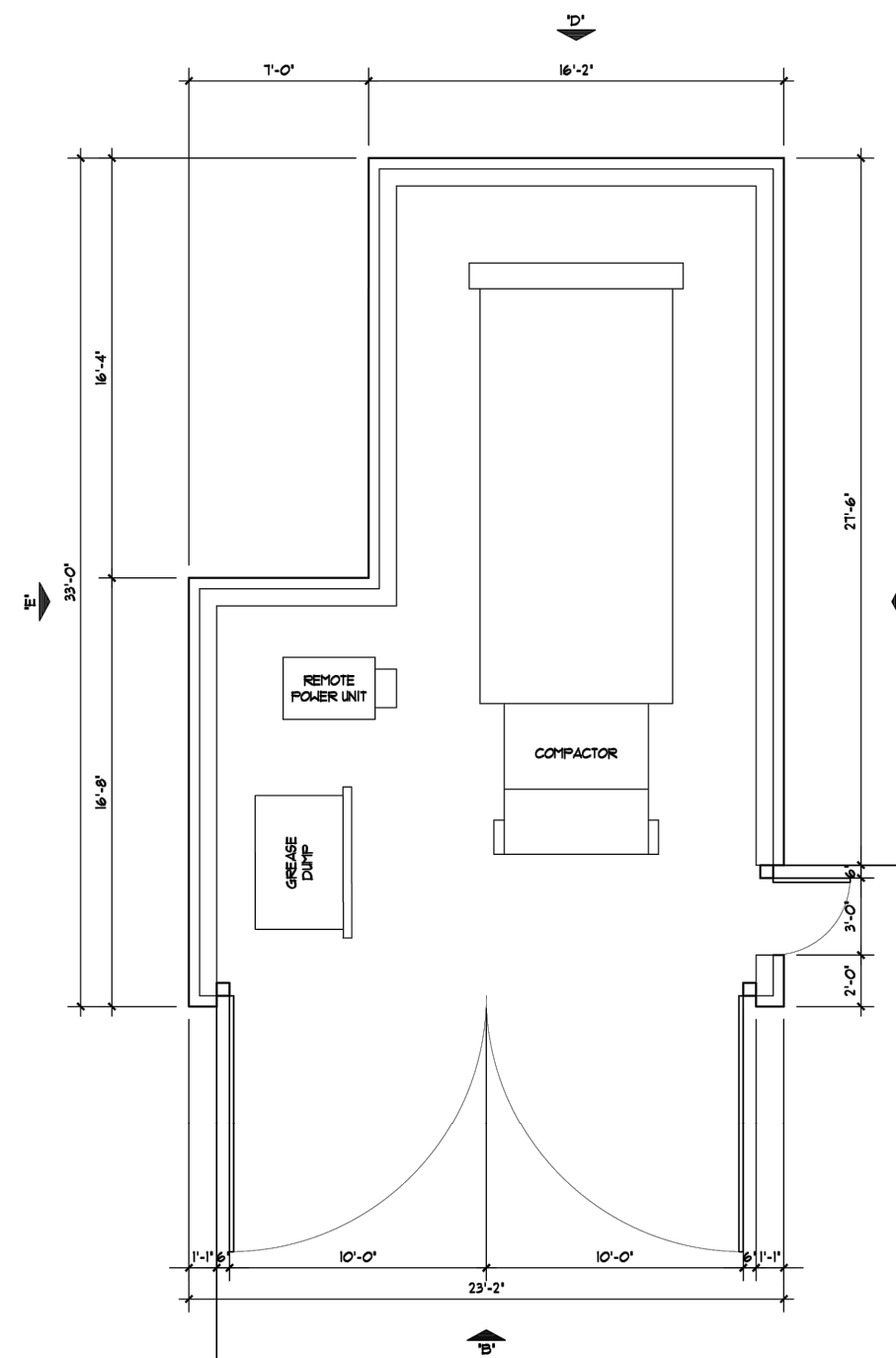
ACCESSIBLE PARKING DETAIL
NTS



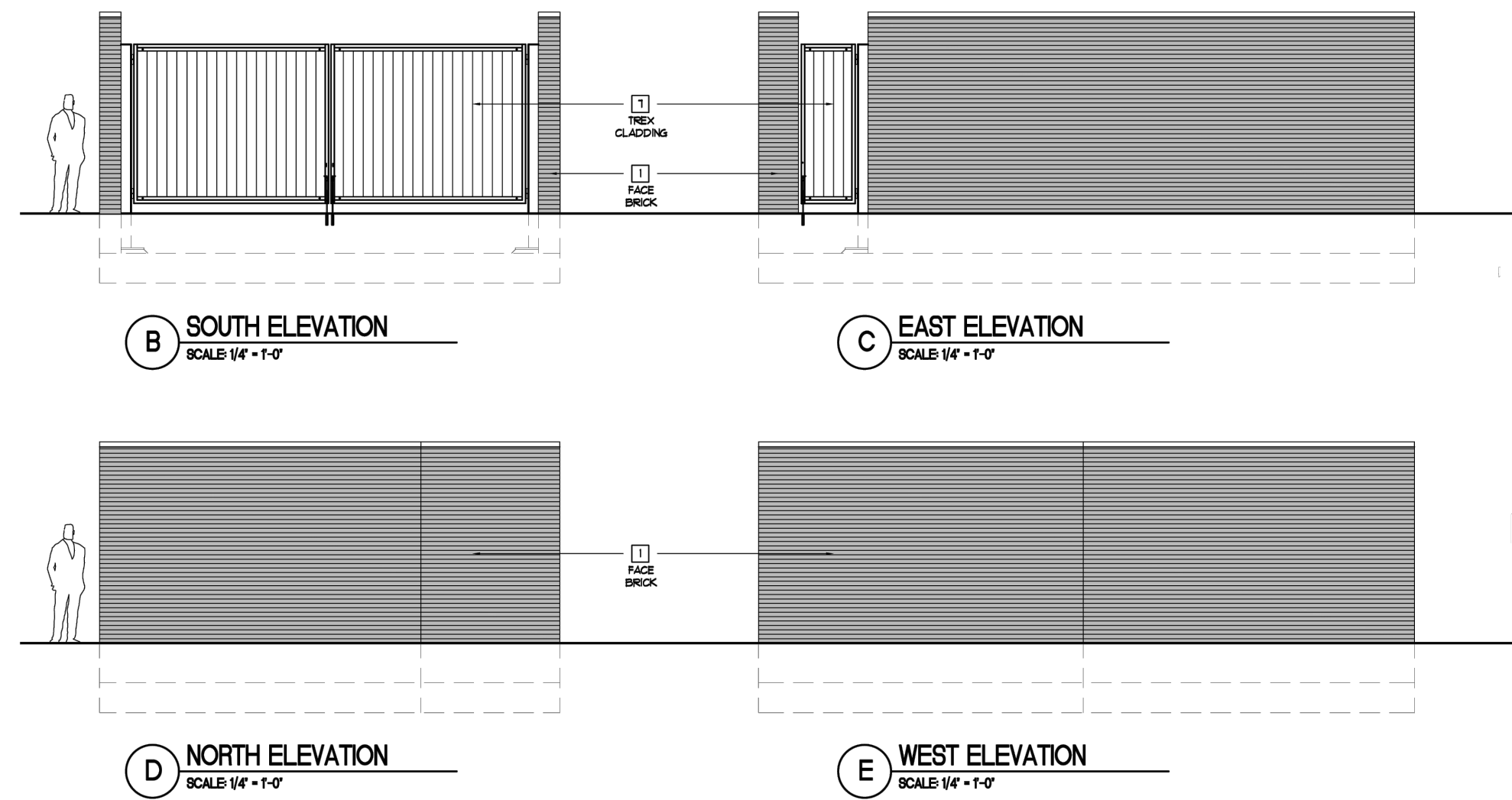
ACCESSIBLE VAN PARKING DETAIL
NTS



MOTORCYCLE PARKING DETAIL
NTS



COMPACTOR ENCLOSURE PLAN
SCALE 1/4" = 1'-0"

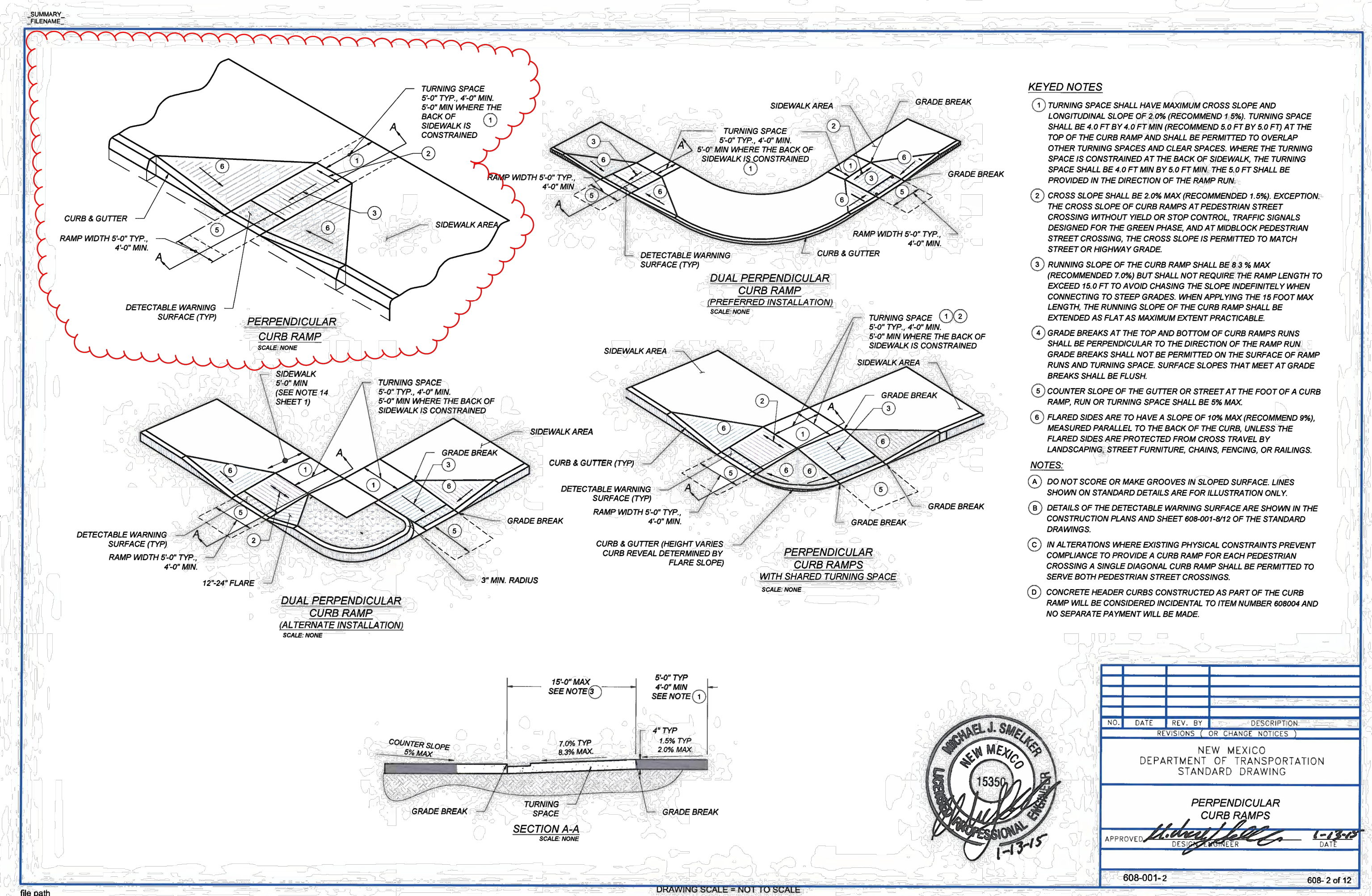


B SOUTH ELEVATION
SCALE 1/4" = 1'-0"

C EAST ELEVATION
SCALE 1/4" = 1'-0"

D NORTH ELEVATION
SCALE 1/4" = 1'-0"

E WEST ELEVATION
SCALE 1/4" = 1'-0"



- KEYED NOTES**
- TURNING SPACE SHALL HAVE MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.0% (RECOMMEND 1.5%). TURNING SPACE SHALL BE 4.0 FT BY 4.0 FT MIN (RECOMMEND 5.0 FT BY 5.0 FT) AT THE TOP OF THE CURB RAMP AND SHALL BE PERMITTED TO OVERLAP OTHER TURNING SPACES AND CLEAR SPACES. WHERE THE TURNING SPACE IS CONSTRAINED AT THE BACK OF SIDEWALK THE TURNING SPACE SHALL BE 4.0 FT MIN BY 5.0 FT MIN. THE 5.0 FT SHALL BE PROVIDED IN THE DIRECTION OF THE RAMP RUN.
 - CROSS SLOPE SHALL BE 2.0% MAX (RECOMMEND 1.5%). EXCEPTION: THE CROSS SLOPE OF CURB RAMPS AT PEDESTRIAN STREET CROSSING WITHOUT WIELD OR STOP CONTROL TRAFFIC SIGNALS DESIGNED FOR THE GREEN PHASE, AND AT MIDBLOCK PEDESTRIAN STREET CROSSING, THE CROSS SLOPE IS PERMITTED TO MATCH STREET OR HIGHWAY GRADE.
 - RUNNING SLOPE OF THE CURB RAMP SHALL BE 8.3% MAX (RECOMMEND 7.0%) BUT SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 16.0 FT TO AVOID CHASING THE SLOPE UNDESIRABLY WHEN CONNECTING TO STEEP GRADES. WHEN APPLYING THE 16 FOOT MAX LENGTH, THE RUNNING SLOPE OF THE CURB RAMP SHALL BE EXTENDED AS FLAT AS MAXIMUM EXTENT PRACTICABLE.
 - GRADE BREAKS AT THE TOP AND BOTTOM OF CURB RAMPS RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF RAMP RUNS AND TURNING SPACE. SURFACE SLOPES THAT MEET AT GRADE BREAKS SHALL BE FLUSH.
 - COUNTER SLOPE OF THE GUTTER OR STREET AT THE FOOT OF A CURB RAMP, RUN OR TURNING SPACE SHALL BE 5% MAX.
 - FLARED SIDES ARE TO HAVE A SLOPE OF 10% MAX (RECOMMEND 5%), MEASURED PARALLEL TO THE BACK OF THE CURB, UNLESS THE FLARED SIDES ARE PROTECTED FROM CROSS TRAVEL BY LANDSCAPING, STREET FURNITURE, CHAINS, FENCING, OR RAILINGS.
- NOTES:**
- DO NOT SCORE OR MAKE GROOVES IN SLOPED SURFACE LINES SHOWN ON STANDARD DETAILS ARE FOR ILLUSTRATION ONLY.
 - DETAILS OF THE DETECTABLE WARNING SURFACE ARE SHOWN IN THE CONSTRUCTION PLANS AND SHEET 608-001-012 OF THE STANDARD DRAWINGS.
 - IN ALTERATIONS WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT COMPLIANCE TO PROVIDE A CURB RAMP FOR EACH PEDESTRIAN CROSSING A SINGLE DIAGONAL CURB RAMP SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS.
 - CONCRETE HEADER CURBS CONSTRUCTED AS PART OF THE CURB RAMP WILL BE CONSIDERED INCIDENTAL TO ITEM NUMBER 608004 AND NO SEPARATE PAYMENT WILL BE MADE.

NO.	DATE	REV. BY	DESCRIPTION

NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD DRAWING

PERPENDICULAR CURB RAMPS

APPROVED: [Signature] DATE: 1-2-15

608-001-2 608-2 of 12

<p>ENGINEER'S SEAL</p> <p>VINCENT P. CARRICA P.E. #16212</p>	<p>LOVE'S BROADWAY /SUNPORT BLVD</p> <p>SITE DETAILS</p>	<p>DRAWN BY SB</p> <p>DATE 04/02/24</p> <p>2022031_SP</p>
	<p>TERRA WEST, LLC</p> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</p>	<p>SHEET # DET-2</p> <p>JOB # 2022031</p>

LOVE'S HI-RISE SIGN ~ ALBUQUERQUE, NM

OVERALL HEIGHT: 28'	TOTAL SQ. FT.: 148.33
---------------------	-----------------------

14' 10" X 10' LOVE'S / PRICE SIGN / DUNKIN' / SUBWAY
 -24" NUMERALS ON PRICE SIGN
 11' 2" FROM BOTTOM OF SUBWAY TO GRADE
 UNLEADED INSTALLED TOWARDS ROAD

LOVE'S
YELLOW LRV = 44.6
BLACK LRV = 5.7
RED LRV = 16.4
ORANGE LRV = 28.5

DUNKIN'
WHITE LRV = 86.2
ORANGE LRV = 26.6
PINK LRV = 12.7

SUBWAY
GREEN LRV = 35.5
YELLOW LRV = 44.6
WHITE LRV = 86.2

SIDE B
* SCALE: 1/8" = 1'

** NOTE: PRODUCT PANEL COPY AND NUMERAL DETAILS TO BE CONFIRMED BY OTHERS. ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1401	4 - 3/5/24 JLW	3/32" = 1'	JLW	

LOVE'S STREET SIGN ~ ALBUQUERQUE, NM

OVERALL HEIGHT: 25'	TOTAL SQ. FT.: 148.33
---------------------	-----------------------

14' 10" X 10' LOVE'S / PRICE SIGN / DUNKIN' / SUBWAY
 -24" NUMERALS ON PRICE SIGN
 10' 2" FROM BOTTOM OF SUBWAY TO GRADE
 UNLEADED INSTALLED TOWARDS ROAD

LOVE'S
YELLOW LRV = 44.6
BLACK LRV = 5.7
RED LRV = 16.4
ORANGE LRV = 28.5

DUNKIN'
WHITE LRV = 86.2
ORANGE LRV = 26.6
PINK LRV = 12.7

SUBWAY
GREEN LRV = 35.5
YELLOW LRV = 44.6
WHITE LRV = 86.2

SIDE B
* SCALE: 1/8" = 1'

** NOTE: PRODUCT PANEL COPY AND NUMERAL DETAILS TO BE CONFIRMED BY OTHERS. ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1402	1 - 2/20/24 JLW	1/4" = 1'	JLW	

LOVE'S DIRECTIONAL SIGNS ~ ALBUQUERQUE, NM

Love's Directional Sign #1
at Main Entrance
(copy may vary)
LED Illuminated
(32 Sq. ft./sign)

DIRECTIONAL
YELLOW LRV = 44.6
BLACK LRV = 5.7

Love's Directional Sign #2
at Auto Entrance
(copy may vary)
LED Illuminated
(32 Sq. ft./sign)

DIRECTIONAL
YELLOW LRV = 44.6
BLACK LRV = 5.7

Love's Directional Sign #3
at Broadway & Sunport Blvd
(copy may vary)
LED Illuminated
(32 Sq. ft./sign)

DIRECTIONAL
YELLOW LRV = 44.6
BLACK LRV = 5.7

** ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1406	1 - 2/20/24 JLW	3/16" = 1'	JLW	

LOVE'S DIRECTIONAL SIGNS ~ ALBUQUERQUE, NM

Love's Directional Sign #4
at Sunport Blvd & Arno St
(copy may vary)
LED Illuminated
(32 Sq. ft./sign)

DIRECTIONAL
YELLOW LRV = 44.6
BLACK LRV = 5.7

Love's Directional Sign #5
at Truck Entrance
(copy may vary)
LED Illuminated
(32 Sq. ft./sign)

DIRECTIONAL
YELLOW LRV = 44.6
BLACK LRV = 5.7

Love's Directional Sign #6
at Truck Exit
(copy may vary)
LED Illuminated
(32 Sq. ft./sign)

DIRECTIONAL
YELLOW LRV = 44.6
BLACK LRV = 5.7

** ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1407	1 - 2/20/24 JLW	3/16" = 1'	JLW	

LOVE'S BUILDING SIGNS ~ ALBUQUERQUE, NM

LOVE'S HEART
YELLOW LRV = 44.6
BLACK LRV = 5.7
RED LRV = 16.4
ORANGE LRV = 28.5

Qty (1) West elevation
Qty (1) South elevation
LED Illuminated
(31.46 Sq. ft./sign)

LOVE'S
YELLOW LRV = 44.6
RED LRV = 16.4

Qty (1) West elevation
Qty (1) North elevation
Qty (1) South elevation
LED Illuminated
(40.84 Sq. ft./sign)

DUNKIN'
ORANGE LRV = 26.6
PINK LRV = 12.7

Qty (1) West elevation
LED Illuminated
(22.44 Sq. ft.)

SUBWAY
YELLOW LRV = 44.6
WHITE LRV = 86.2

Qty (1) West elevation
Qty (1) North elevation
LED Illuminated
(20.07 Sq. ft./sign)

** ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1403	1 - 2/20/24 JLW	3/16" = 1'	JLW	

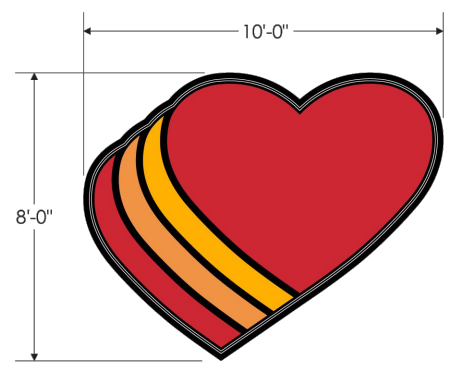
LOVE'S SITE DETAILS

NTS

	LOVE'S BROADWAY / SUNPORT BLVD	DRAWN BY SB
	DETAILS	DATE 04/02/24
	SHEET #	2022031_SP
	DET-3	JOB # 2022031

LOVE'S BUILDING SIGNS ~ ALBUQUERQUE, NM

LOVE'S HEART
YELLOW LRV = 44.6
BLACK LRV = 5.7
RED LRV = 16.4
ORANGE LRV = 28.5



Qty (1) East elevation
LED Illuminated
(80 Sq. ft./sign)


14'-6" **It's the love that drives us.**

Qty (1) West elevation
Externally Illuminated
(12.08 Sq. ft./sign)

12 5/8" **Driven by love, fueled by you.**

Qty (1) South elevation
Externally Illuminated
(17.45 Sq. ft./sign)


** ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1404	2 - 3/5/24 JLW	3/16" = 1'	JLW	

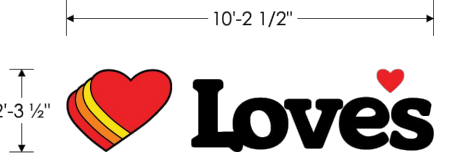
LOVE'S FUEL CANOPY LOGOS ~ ALBUQUERQUE, NM

LOVE'S CANOPIES
YELLOW LRV = 44.6
BLACK LRV = 5.7
RED LRV = 16.4
ORANGE LRV = 28.5

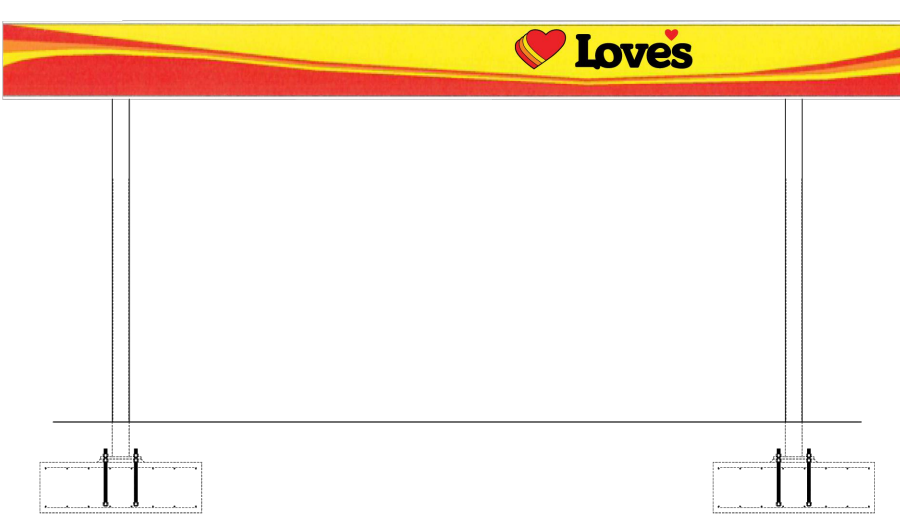
Qty (4) Gas Canopy Logos
(23.39 Sq. ft./sign)




Qty (4) Diesel Canopy Logos
(23.39 Sq. ft./sign)



Gas / Diesel Canopy Illustration



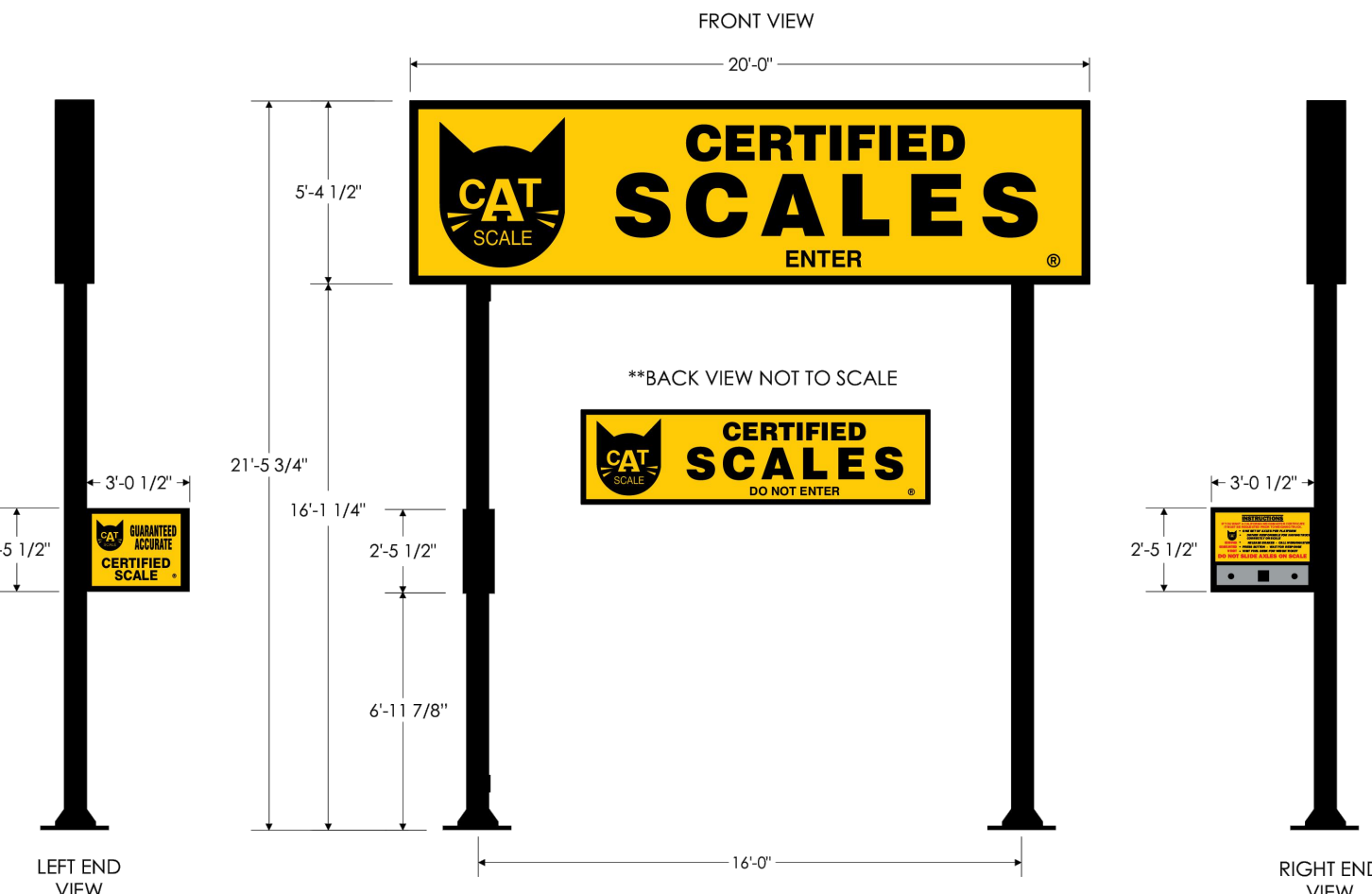
LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1405	1 - 2/20/24 JLW	3/16" = 1'	JLW	

CAT SCALE SIGNS ~ ALBUQUERQUE, NM

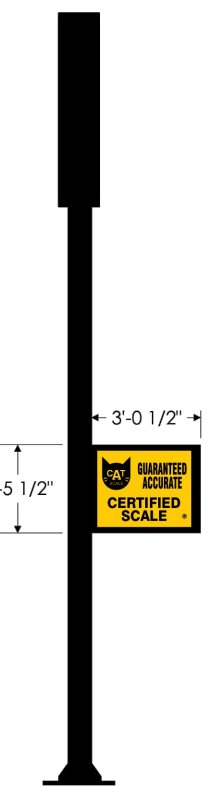
OVERALL HEIGHT: 21' 5 1/2"	TOTAL SQ. FT.: 114.98
5' 4 1/2" X 20' CAT SCALE SIGN = 107.5 SQ. FT.	
2' 5 1/2" X 3' 1/2" SPEAKER POST SIGN = 7.48 SQ. FT.	
16' 1 1/2" FROM GRADE TO BOTTOM OF CAT SCALE	

CAT SCALE
YELLOW LRV = 61.4
BLACK LRV = 5.7

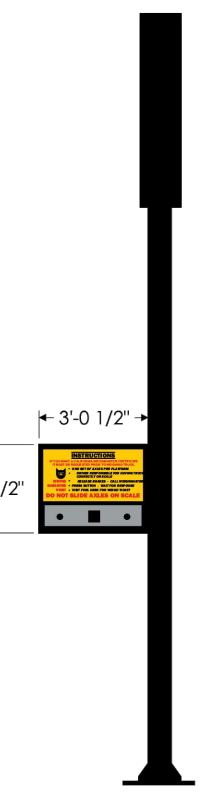
FRONT VIEW




LEFT END VIEW

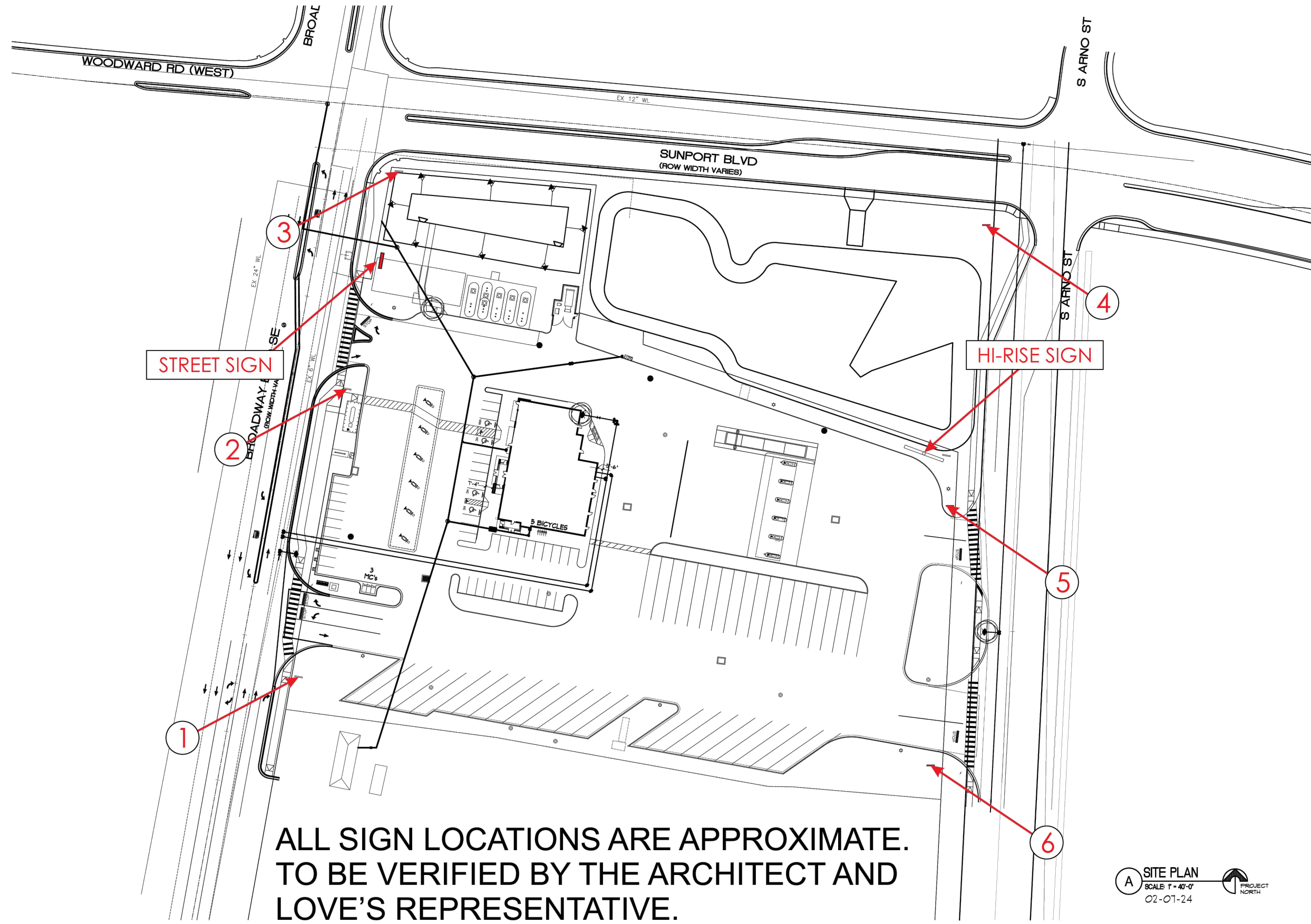



RIGHT END VIEW



**BACK VIEW NOT TO SCALE


LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	
ALBUQUERQUE, NM	12/14/22	EI82212-1408	1 - 2/20/24 JLW	NOT TO SCALE	JLW	





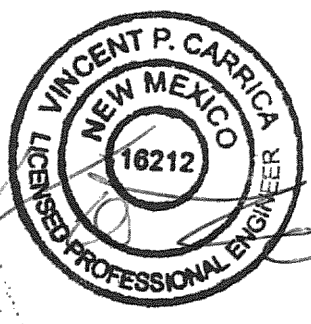
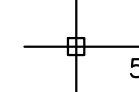
Pascal Aulghery & Associates, PC

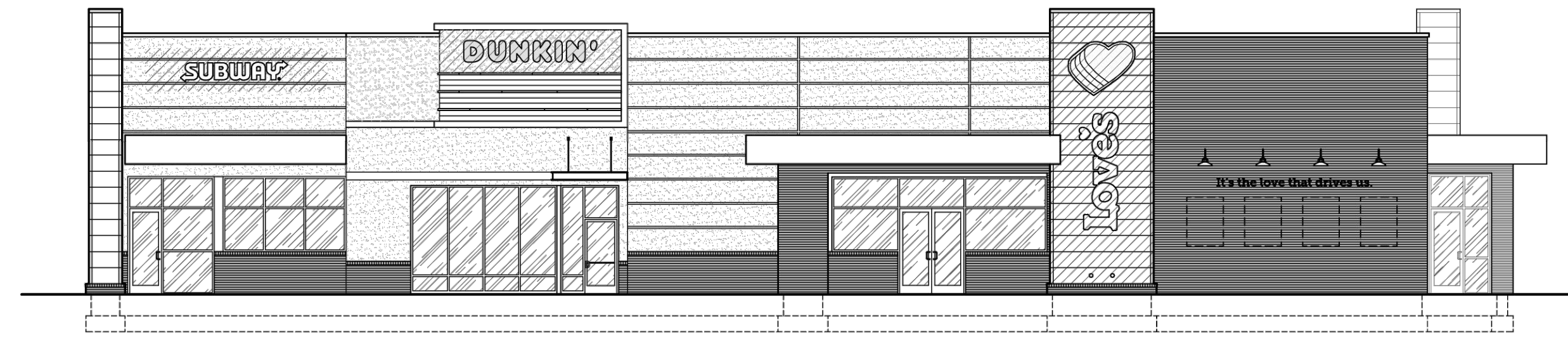
REGISTERED PROFESSIONAL ENGINEER
STATE OF NEW MEXICO
NO. 16212



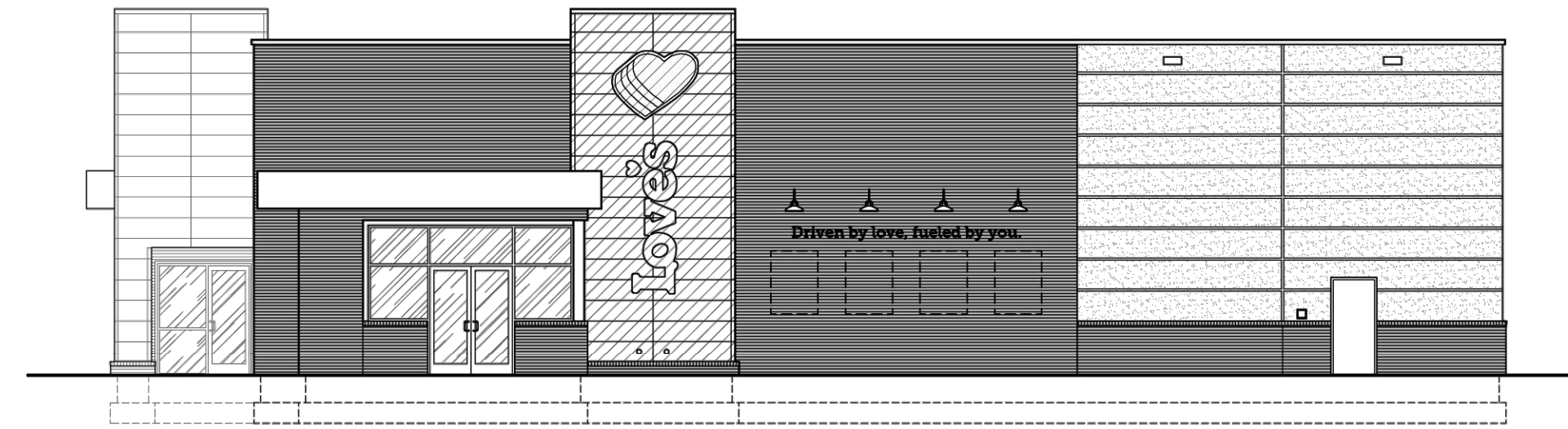
LOVE'S
A NEW TRAVEL STOP
ALBUQUERQUE, NM

LOVE'S SITE DETAILS
NTS

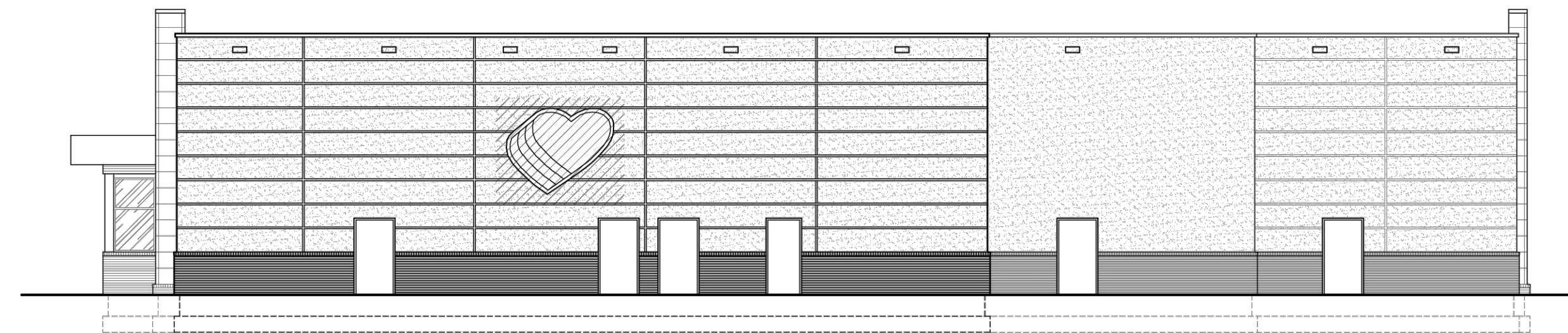
 VINCENT P. CARRICA P.E. #16212	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	DETAILS	DATE 04/02/24
	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022031_SP
		SHEET # DET-4
		JOB # 2022031



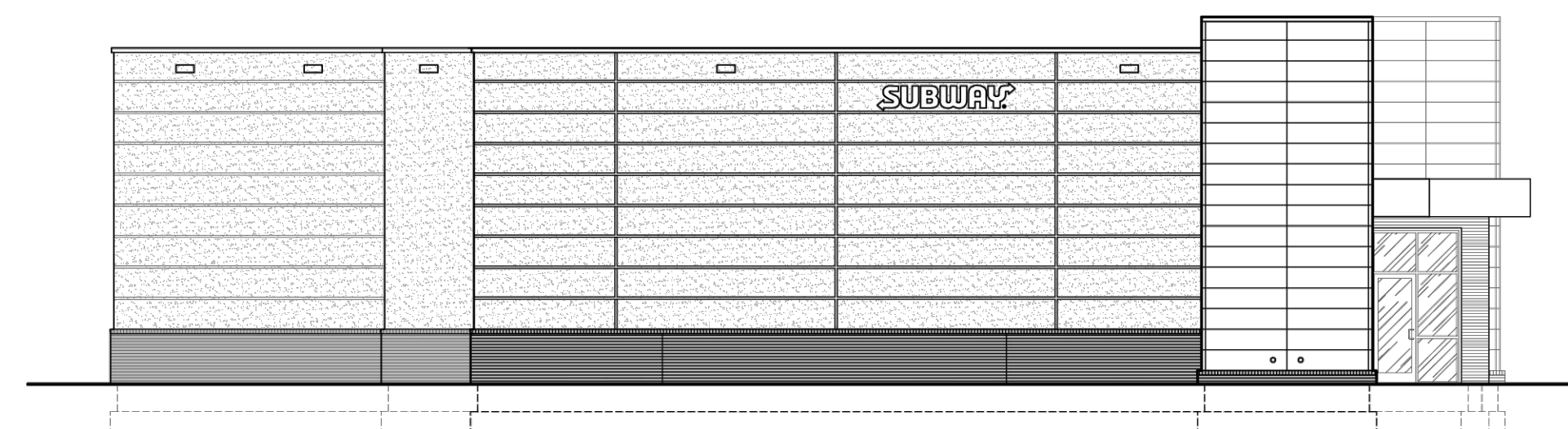
A WEST ELEVATION
Scale: 1/8" = 1'-0"



B SOUTH ELEVATION
Scale: 1/8" = 1'-0"



C EAST ELEVATION
Scale: 1/8" = 1'-0"



D NORTH ELEVATION
Scale: 1/8" = 1'-0"

Pascal Aughtry & Associates, PC

405.463.3494
Fax 405.463.3493
937 East Butler Road
Oklahoma City, OK 73114
paa@paa.com

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A NEW TRAVEL STOP
STORE NO. 963
ALBUQUERQUE, NM

Revisions:	
No.	Date

Project No.: LVS-
Date: 12/21/22
Sheet No.:
A-X
CF: XX

LOVE'S SITE DETAILS
NTS

	ENGINEER'S SEAL LOVE'S BROADWAY /SUNPORT BLVD DETAILS	DRAWN BY SB DATE 04/02/24 2022031_SP
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-5 JOB # 2022031

Z:\2022\2022031_Loves_Support_Station\Drawn\Construction\2022031_SP_dwg_Air_19_2024.dwg - B.Clorum

24" Standard Channel Letters

SUB:
Individually Mounted Exterior Channel Letters
Face Material: (.118) 2447 White Plex
Face Retention: 1" Gemini T1-7548 Yellow Trimcap
Face Decoration: 3630-75 Marigold Vinyl
Return Size/Type: 5" (.040) Aluminum Painted PMS 7548
Back Type: (.118) Pre-finished White ACM
LED Brand/Color: White Principal Qwikmod 2
WAY:
Individually Mounted Exterior Channel Letters
Face Material: (.118) 7328 White Plex
Face Retention: 1" White Trimcap
Face Decoration: None
Return Size/Type: 5" (.040) Pre-finished White
Back Type: (.118) Pre-finished White ACM
LED Brand/Color: White Principal Qwikmod 2

Primary Power: 120 VAC
Mounting Type: Holes Thru Back with Template
Listing: UL Label
Electrical Out: Production Discretion
Weep Holes: Yes

2 1/2" x 5" @:
Flat Polycarbonate Cut Out (Non Illuminated)
Face Material: (.118) Clear Polycarbonate
Face Decoration: 7725-10 HP White Vinyl
Mounting: Screwed to Channel Letter Back

Other Notes:
 - Mounting template provided.

Computer generated colors in this document are not an exact match to the finished sign. Material names are provided for reference only. All reproduction is prohibited.

effective images
 Client: Love's
 Location: Standard
 Scale: 3/8" = 1"
 Date: 11/07/22
 Drawing #: E21736
 Sales Order #:
 Drawn By: MP
 Revision:
 Phone: 605.253.9700

APPROVAL: _____ Date: _____

14' 6"

It's the love that drives us.

SPECIFICATIONS:
 EXTERIOR MOUNTED
 CUSTOM BLOCK STYLE
 1100 - VERT BRUSH (HAIRLINE) FACE
 1" RETURNS - FINISH SAME AS FACE
 INSIDE CANS NOT PAINTED
 STRAP MOUNTS FOR STUDS

LOVE: PAINTED PMS 109 YELLOW, GLOSS FINISH

INCLUDE MOUNTING PATTERN

LOCATION: STANDARD DATE: 10/4/19 DRAWING #: E11910-0401 REVISION #: 1 - 2/11/20 SCALE: NONE DRAWN BY: JW

16' 7"

Driven by love, fueled by you.

SPECIFICATIONS:
 EXTERIOR MOUNTED
 CUSTOM BLOCK STYLE
 1100 - VERT BRUSH (HAIRLINE) FACE
 1" RETURNS - FINISH SAME AS FACE
 INSIDE CANS NOT PAINTED
 STRAP MOUNTS FOR STUDS

LOVE, YOU.: PAINTED PMS 109 YELLOW, GLOSS FINISH

INCLUDE MOUNTING PATTERN

LOCATION: STANDARD DATE: 11/12/19 DRAWING #: E11911-1201 REVISION #: 1 - 2/11/20 SCALE: NONE DRAWN BY: JW

9' X 11' 6" PAINTED HEART - EXTERNALLY ILLUMINATED

Match 3670-43 Red
 Match 3670-125 Golden Yellow
 Match 3630-43 Kumquat Orange
 Match 3670-43 Red

Black

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effective images
 Client: Love's
 Location: Standard
 Scale: 3/8" = 1"
 Date: 6/5/23
 Drawing #: E11236-0502
 Sales Order #:
 Drawn By: JW
 Revision: 0
 Phone: 605.253.9700

APPROVAL: _____ Date: _____

Side A 8' Side View 16-1/8" Side B 8'

Trucks

4" To Grade
 1/2" x 9" x 9" Plate
 4" Square Tube

4' x 8' x 16-1/8" Double Faced Steel Spacer Frame
 Quantity: 1
Retainer: 1 1/2" Beveled
Primary Power: 120 VAC
Illumination: Principal Tap Out White LED Modules (M-SFT03-70)
Elect. Out Location: At Plate with 15' of Lead Wire (Label All Wires)
Switch Location: On End Near Bottom
Listing: UL Label
Mounting: Plate/Match Plate
Pole Spacing: Center
Pole Size: 4" x 4" Square Tube
Eyebolt Quantity: 1
Paint Color: #9000 Black (Gloss Finish)

Clear Pan Polycarbonate Face (2nd Surface Decoration)
 Quantity: 2
Thickness: (.118)
Mold Depth: 1 1/2"
Flange & Draft Angle: White Backspray
Background: 3730-125L Golden Yellow Vinyl
All Copy & Arrows: 3630-22 Black Vinyl

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effective images
 Client: Love's
 Location: Standard
 Scale: 3/8" = 1"
 Date: 01/03/23
 Drawing #: E22024
 Sales Order #:
 Drawn By: MP
 Revision:
 Phone: 605.253.9700

APPROVAL: _____ Date: _____

20'-0"

CAT SCALE CERTIFIED SCALES ENTER

8'-0" 16'-0" 19'-0"

FRONT VIEW END VIEW

4" Square Tube

SPECIAL CAT SCALE 5 X 20 D.F. SIGN
 CAT SCALE, WALCOTT, IA SCALE 1/4" = 1'-0" DSN #A04020P1

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effective images
 Client: Love's
 Location: Standard
 Scale: 3/8" = 1"
 Date: 01/03/23
 Drawing #: E22024
 Sales Order #:
 Drawn By: MP
 Revision:
 Phone: 605.253.9700

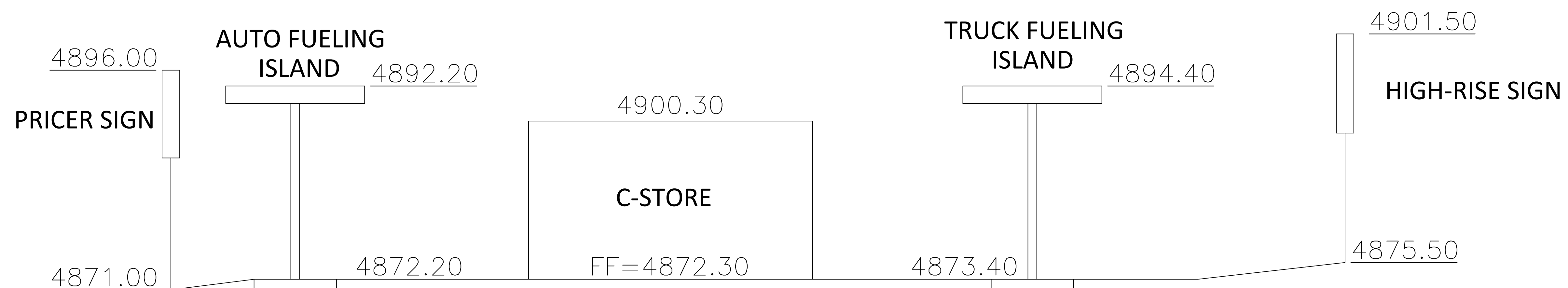
APPROVAL: _____ Date: _____

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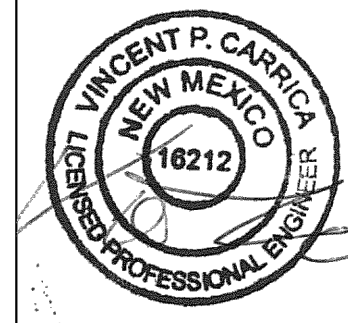
LOVE'S SITE DETAILS
 NTS

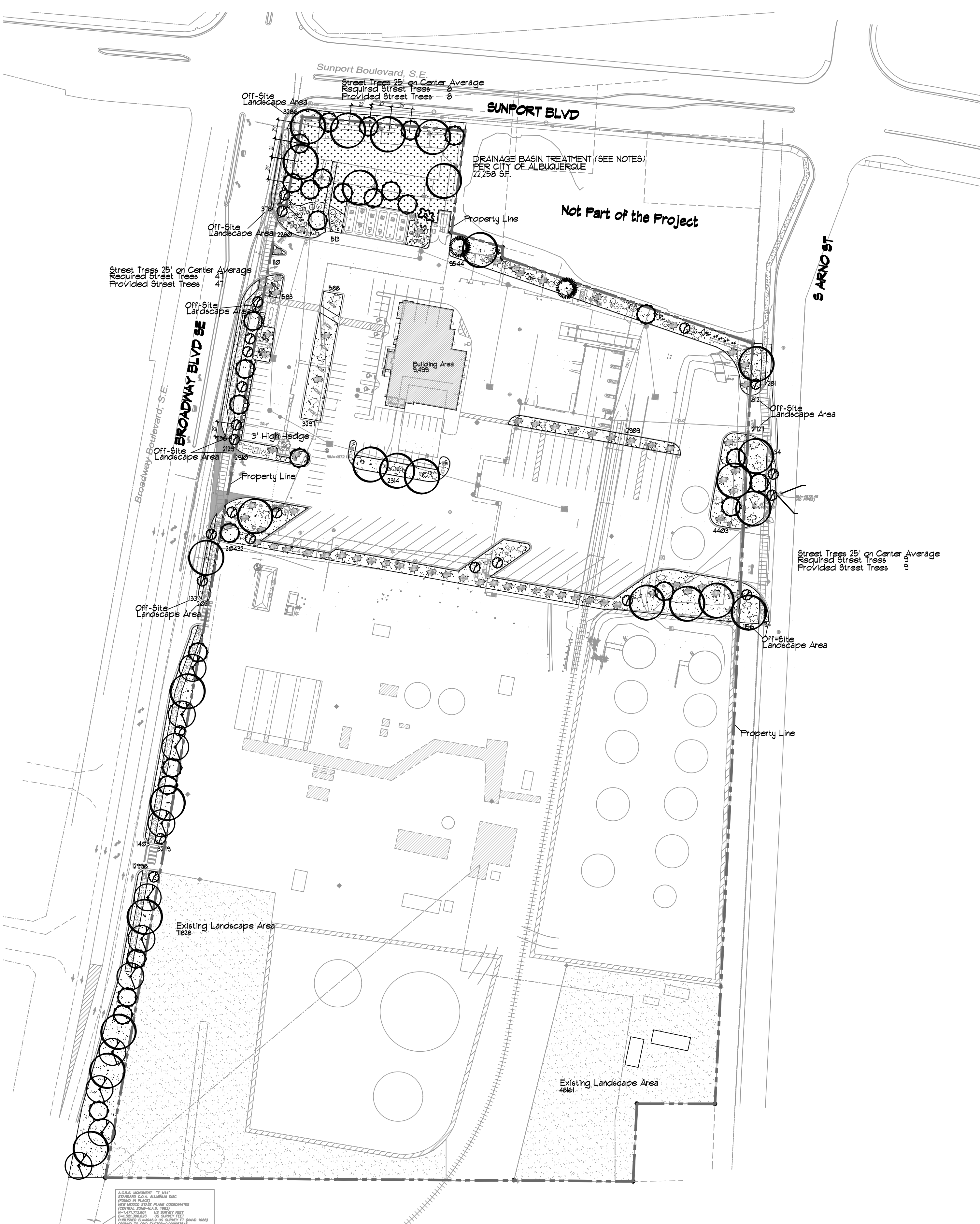
	ENGINEER'S SEAL LOVE'S BROADWAY /SUNPORT BLVD DETAILS	DRAWN BY SB DATE 04/02/24 2022031_SP
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # DET-6 JOB # 2022031

**TRAVEL CENTER EXHIBIT
AIR SPACE PROTECTION HORIZONTAL SURFACE
(3-3(B)(1))PROPOSED STRUCTURE HEIGHTS/ELEVATIONS
FALL BELOW THE AIR SPACE PROTECTION HORIZONTAL
SURFACE ELEVATION OF 5504.90**



Z:\2022\2022031 Love's Support Station\Drawn\Construction\2022031_SP.dwg, Apr-19-2024 -- 8:01am

 <small>ENGINEER'S SEAL</small> <small>VINCENT P. CARRICA</small> <small>P.E. #16212</small>	LOVE'S BROADWAY /SUNPORT BLVD	<small>DRAWN BY</small> SB
	SITE DETAILS	<small>DATE</small> 04/02/24
	<small>TIERRA WEST, LLC</small> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	<small>2022031_SP</small>
		<small>SHEET #</small> DET-6
		<small>JOB #</small> 2022031



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
Trees			
11	2" cal	Chinese Pistache <i>Pistacia chinensis</i>	961.62 10577.82 M+
21	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	1589.62 42319.74 M
2	6 - 8'	Austrian Pine <i>Pinus nigra</i>	430.62 98124 M
1	6-8'	Crape Myrtle Multi Stem <i>Lagerstroemia indica</i>	314 314 M
30	6-8'	Desert Willow Multi Stem <i>Chilopsis linearis</i>	430.62 14718.6 M
24	15 Gal.	Oklahoma Redbud <i>Cercis reniformis</i>	113.04 2712.36 M
91	Total Trees	Total Tree Coverage	7224.26
Shrubs & Groundcovers			
2	5 Gal	Existing Shrubs	10x10 78.5 157 M
6	5 Gal	Spanish Broom <i>Coryopteris x clandonensis</i>	10x10 78.5 471 M
4	5 Gal	Bird of Paradise <i>Caesalpinia gilliesii</i>	10x10 78.5 314 L
20	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	3x5 19.62 392.4 M
33	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12 113.04 3730.32 M
75	5 Gal	Buffalo Juniper <i>Juniperus sabina</i> "Buffalo" (FEMALE ONLY)	1x12 113.04 8478 M
2	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3 7.06 14.12 M
11	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x3 7.06 77.66 M
41	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6 28.26 1158.66 L
7	5 Gal	Apache Plums <i>Fallugia paradoxa</i>	6x7 38.46 269 L
5	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x7 38.46 192.3 L
25	5 Gal	Feather Reed Grass <i>Calamagrostis arudinacea</i>	2.5x2 3.14 78.5 M
231	Total Shrubs	Total Shrub Coverage	15332.36
23	2-3cf	Boulders To be placed at contractor discretion	
80312		Landscape Gravel / Filter Fabric 3/4" Crushed Grey	
23876		Drainage Basin Treatment, (See Notes) Native Seeding Mix Per COA	
119989		Existing Landscape Area Natural Landscape	
224111		Total Landscape Provided	

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

Clear Site Triangle Note:
Landscaping and signage will not interfere with clear site requirements. Signs, walls, trees and shrubbery between 3 and 8 feet tall, (as measured from the gutter pan) are not included within the clear site triangle.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Street Tree Notes:

Per Section 5-6(D) (1) (a) Required Street Trees. Trees are **GENERALLY** required along street frontages every 25 feet on center unless otherwise specified in Part 6-2-2 of ROA 1994 (Street Trees)

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Section 6-6-2-5 Street Trees

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

(A) Size of the trees at maturity should be in proportion to the planting space provided for them. **Smaller species of trees will require closer spacing, and larger trees will require greater spacing.** Spacing shall be approved as part of the plan approval process.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

On sites where evenly spaced street trees are not possible, or do not conform to the overall design objectives of the site, provided that the number of trees equals or exceeds the number that would be required if the trees were evenly spaced

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed, or other treatment.

Drainage Basin Treatments
Per City of Albuquerque
Drainage Basin Treatments

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Trees and shrubs shall be zoned separately. Installation shall be completed within 60 days of the related building's occupancy.

The bottom and sides must be seeded with a native mix per City Standard specification 1022 depending on soil type for that City area. Please reference this native seed selection and the section on plan sheet.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner. d between the Landscape Contractor and the General Contractor of the project prior to construction.

For pond bottoms: Gravel 1/2 to 1 inch mulch. One layer thick, not stacked

No substitutions, or alterations shall be made to this plan without the express written authorization of the Landscape Architect, and changes approved by the City of Albuquerque.

Native grass establishment must be achieved by the contractor within a 3 year time frame. Temporary irrigation or water trucks must be used when rain is lacking. Seeds must germinate in one year or reseeded will likely be needed.

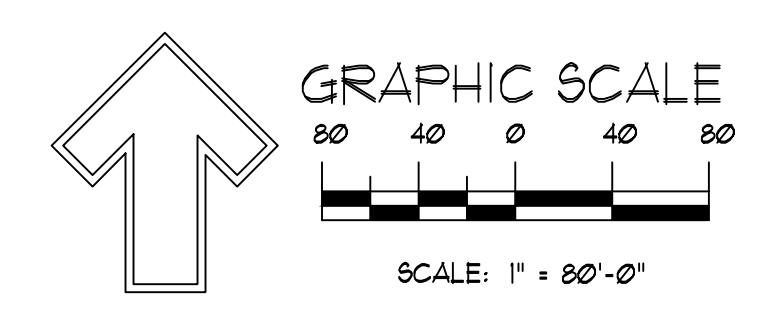
Maintenance will be per City of Albuquerque Specification 1023.31 and 1023.32.

Contractor must weed the basin during/after the first growing season.

Needs city inspection. Stormwater Quality Ordinance-final stabilization must be accepted by the City.

LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	786,522
TOTAL BUILDING AREA (sf)	9,499
TOTAL NET LOT AREA (sf)	-777,023
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED	116,553
TOTAL ON-SITE LANDSCAPE PROVIDED	145,333
TOTAL LIVE PLANT COVER REQUIRED	108,999
TOTAL LIVE PLANT COVER PROVIDED	109,421.80
TOTAL GROUND COVER REQUIRED	36,333
DRAINAGE BASIN, NATIVE SEED (SEE NOTES)	23876
TOTAL GROUND COVER PROVIDED	392,08.36



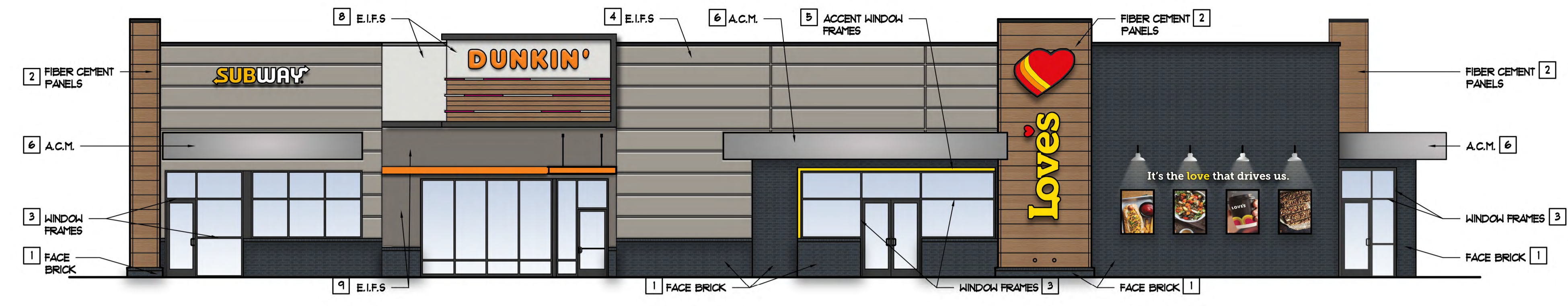
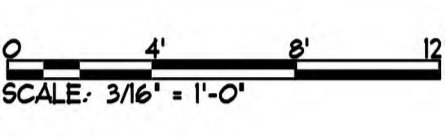
ENGINEER'S SEAL
Landscape Architect
STATE OF NEW MEXICO
DANNY D. MITCHELL
REGISTERED LANDSCAPE ARCHITECT
March 28, 2024
RONALD R. BOHANNAN
P.E. #7868

LOVES TRAVEL CENTER
3200 Broadway Blvd. S.E.
Landscape Plan
TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

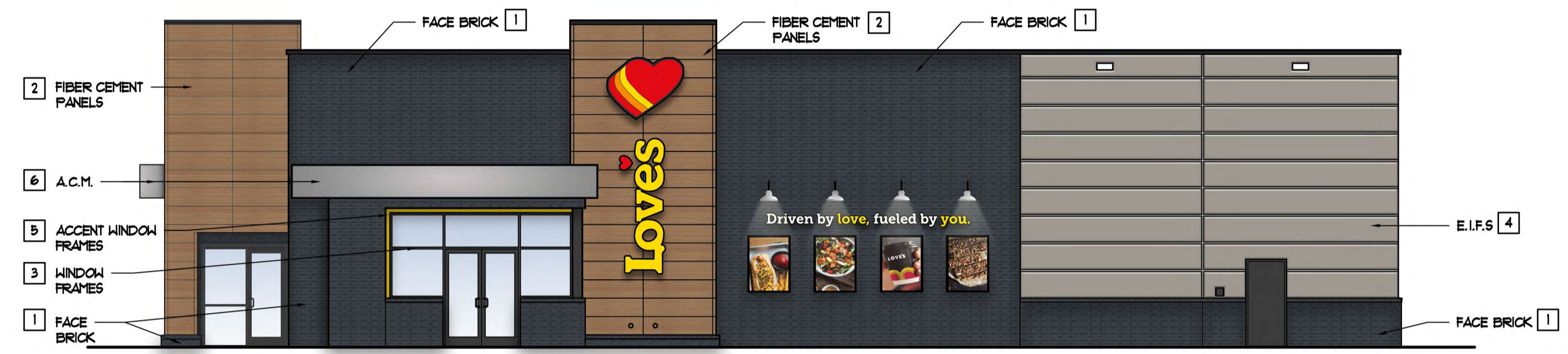
DRAWN BY
Poniz
DATE
06-02-23
SHEET #
LS-101
JOB #
2022031

BUILDING HEIGHT IS PURSUANT TO AFO-3.3
 THE FACADE DESIGN IS PURSUANT TO AFO-3.3 (DX2)

EXTERIOR FINISH SCHEDULE				
CODE	MATERIAL	MANUFACTURER	DESCRIPTION	APPROXIMATE LIGHT REFLECTIVE VALUE (LRV)
1	BRICK	ENDICOTT	MODULAR SIZE FACE BRICK COLOR: MANGANESE IRONSPOT TEXTURE: SMOOTH	0.15
2	FIBER CEMENT PANELS	NICHHA	VINTAGEWOOD SPRUCE	14.15
3	WINDOW FRAMES & EXTERIOR DOORS	TUBELITE	CONTINUOUS INSULATION SYSTEMS BLACK	
4	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT	CONTINUOUS INSULATION SYSTEMS COLOR: TO MATCH SHERWIN WILLIAMS S4 910 ACIER FINISH: LYTESTONE DFR	32
5	ACCENT WINDOW FRAMES	TIGER DRYLAC	EXTERIOR/INTERIOR GRADE POWDERCOAT COLOR: TO MATCH PPS 109 C FINISH: HIGH GLOSS	69
6	ALUMINUM COMPOSITE MATERIAL	ALPOLIC	4"X11" DR H/LZ ALUMINUM H/LZ HAIRLINE ALUMINUM	32
7	TREX FENCING	TREX	SECLUSION PRIVACY FENCING SADDLE	
8	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT	"WHITE" EPS: DRYVIT DUDO 40 2136 ST. MATCH S4 1063 "NEBULOUS WHITE" SANDPEBBLE FINE	14
9	EXTERIOR INSULATION FINISHING SYSTEM	DRYVIT	"GRAY" EPS: DRYVIT ROP - DUDO 38 2136 ST. MATCH S4 1091 "GAUQUET GRAY" SANDPEBBLE FINE	11



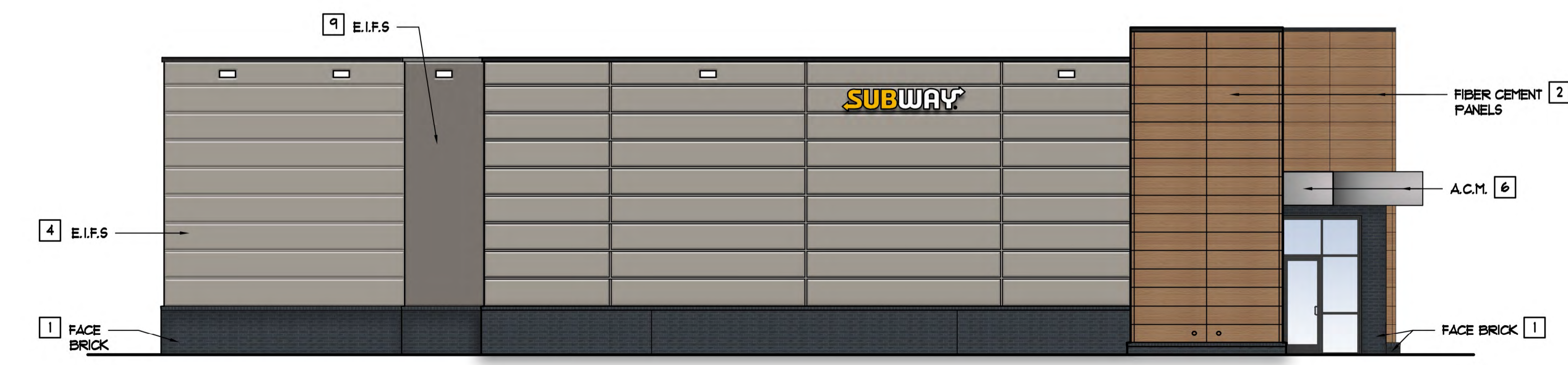
A WEST ELEVATION
 SCALE: 1/8" = 1'-0"



B SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



C EAST ELEVATION
 SCALE: 1/8" = 1'-0"



D NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



Pascal Aughtry & Associates, PC
 405.463.3494
 Fax 405.463.3493
 937 East Britton Road
 Oklahoma City, OK 73114
 pascalarch.com

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Love's
 Travel Stops
 A NEW TRAVEL STOP
 STORE NO. 963
 ALBUQUERQUE, NM

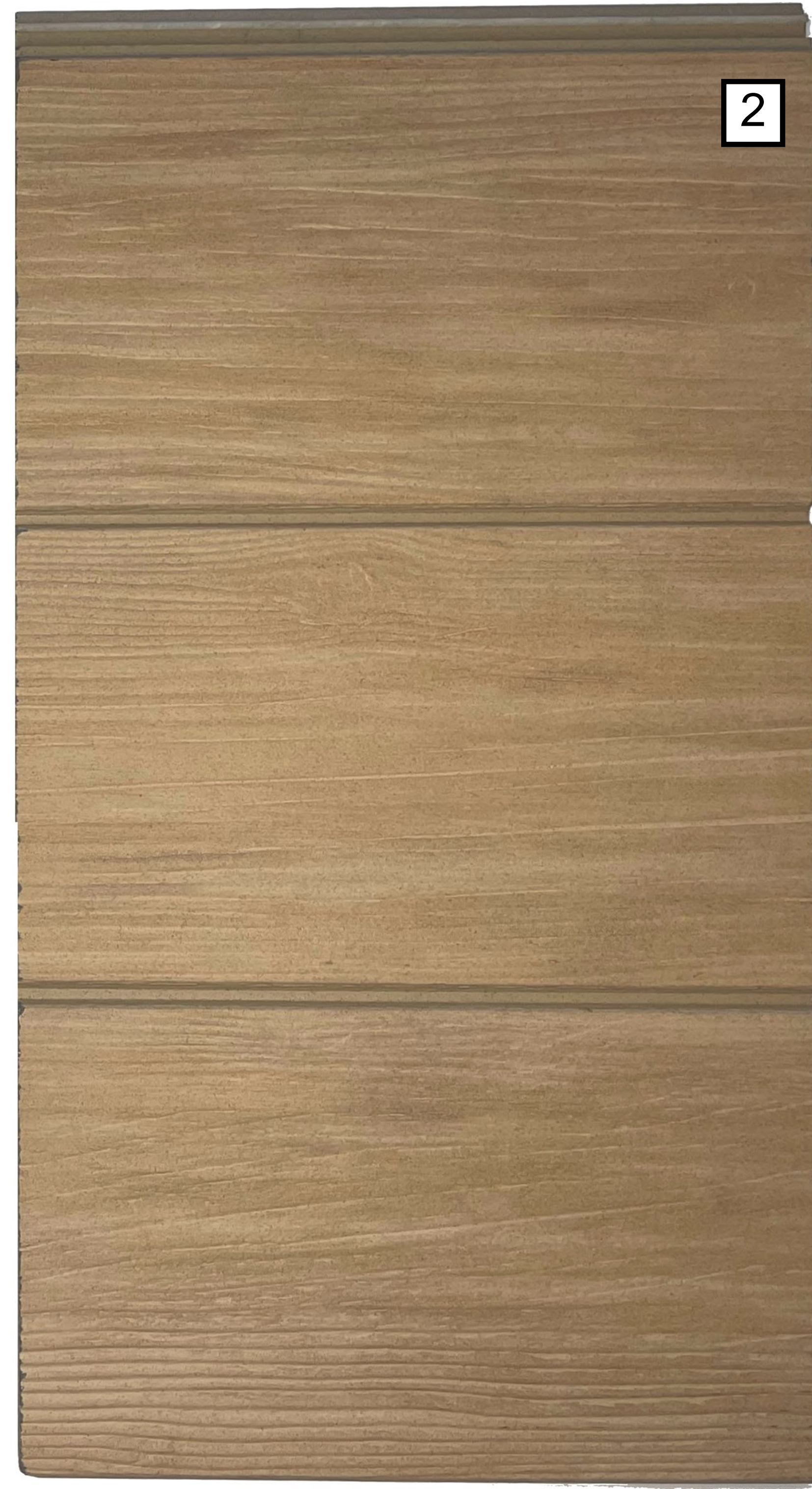
Revisions:

No.	Date

Project No.: LVS-
 Date: 12/21/22
 Sheet No.:

A-1
 OF XX

EXTERIOR BUILDING FINISHES



1. EXTERIOR BRICK
2. TOWER ELEMENT
3. WINDOW FRAMES & EXTERIOR DOORS
4. EIFs
5. ACCENT WINDOW FRAMES & SOFFIT
6. FASCIAS AT ENTRY
7. TREX FENCING

BUILDING FINISHES



Pascal Aughtry & Associates, PC

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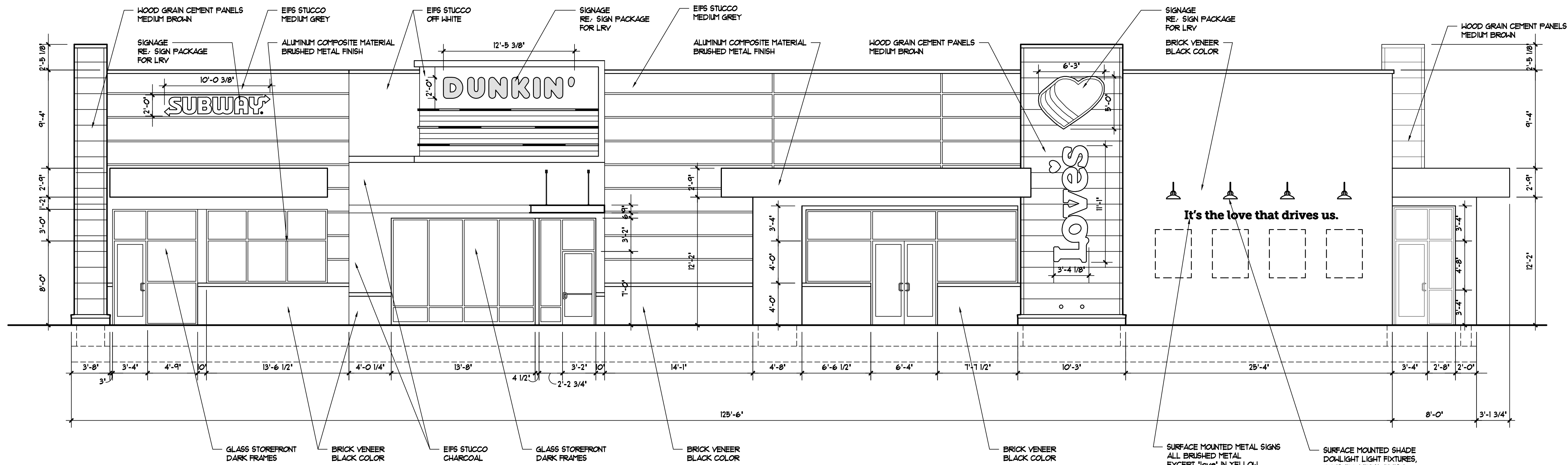
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Love's
 Travel Stops
 A NEW TRAVEL STOP
 TIER III
 ALBUQUERQUE, NM

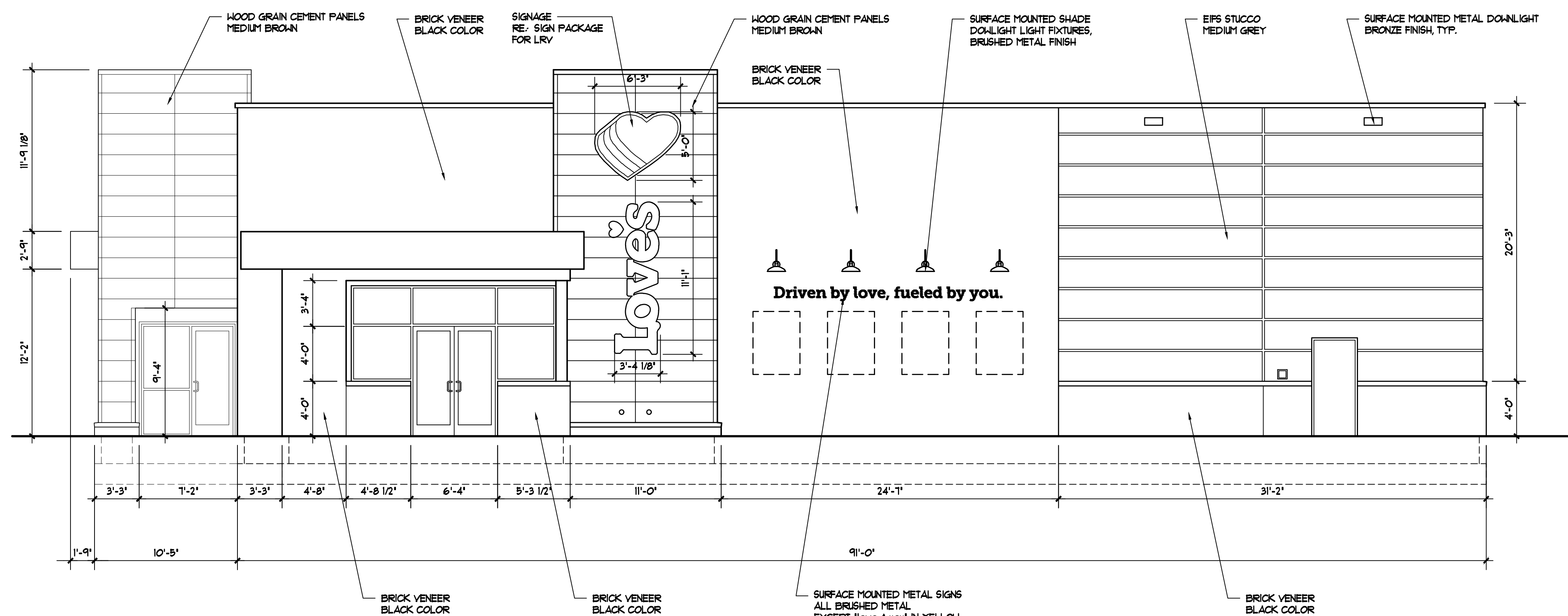
Revisions:	
No.	Date

Project No.: LVS----
 Date: --/--
 Sheet No.:
 OF:

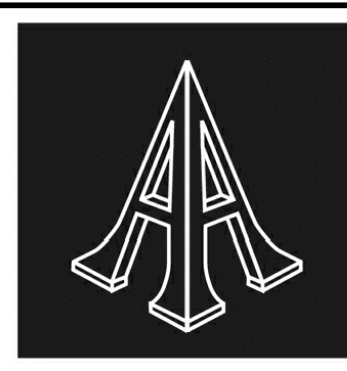
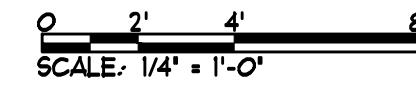
NOTES
 BUILDING HEIGHT IS PURSUANT TO APO-3.3
 THE FACADE DESIGN IS PURSUANT TO APO-3.3 (D.X2)



A WEST ELEVATION
 SCALE: 3/16" = 1'-0"



B SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"



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A NEW TRAVEL STOP
 STORE NO. 963
 ALBUQUERQUE, NM
Loves
 Travel Stops

Revisions:

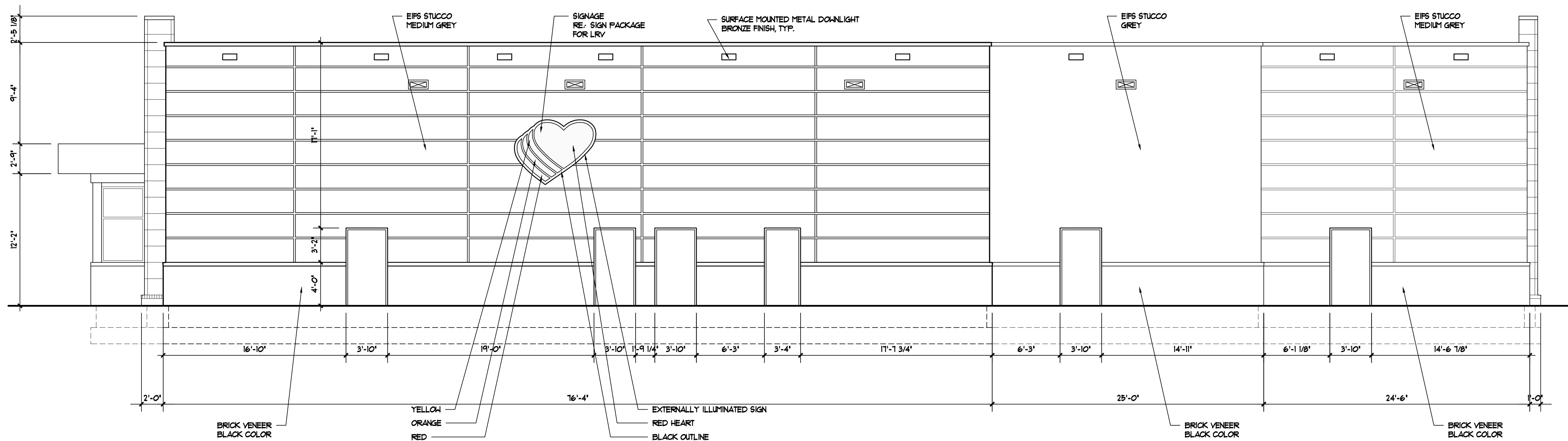
No.	Date

Project No.: LVS-
 Date: 12/21/22
 Sheet No.:

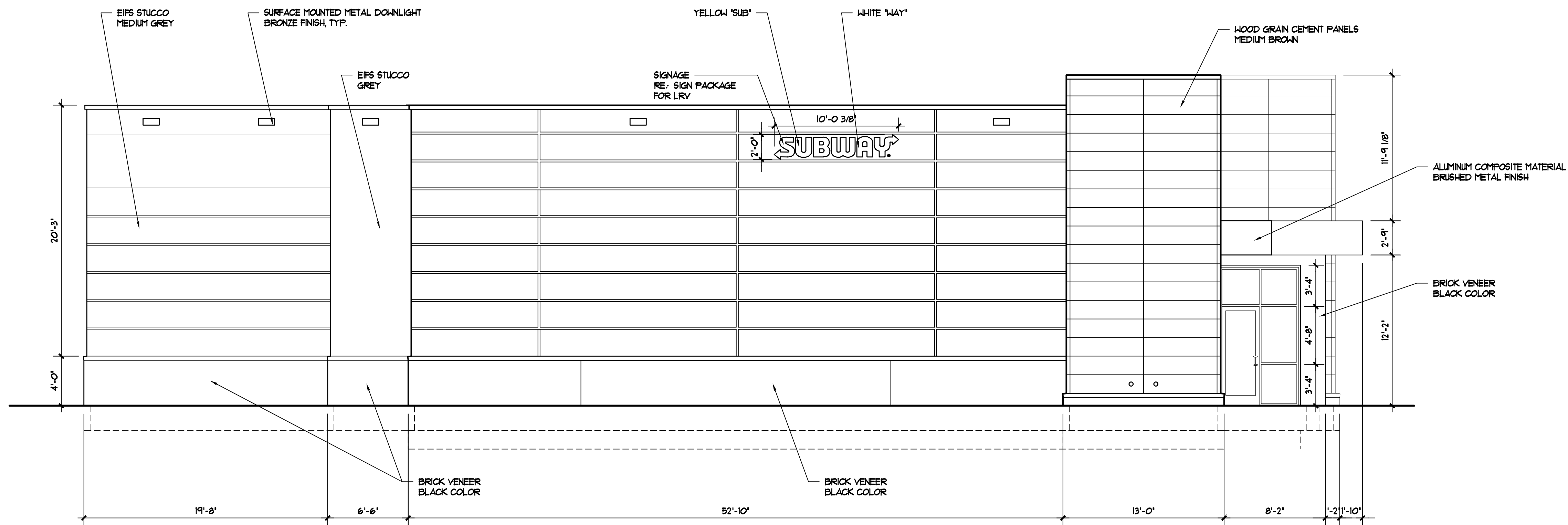
A-3
 OF: XX

DIMENSIONAL EXTERIOR ELEVATIONS

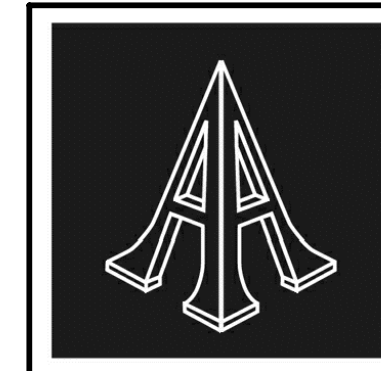
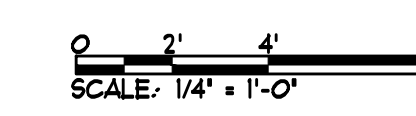
NOTES
 BUILDING HEIGHT IS PURSUANT TO APO-3.3
 THE FACADE DESIGN IS PURSUANT TO APO-3.3 (D.X2)



C EAST ELEVATION
 SCALE: 3/16" = 1'-0"



D NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



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Love's
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 ALBUQUERQUE, NM

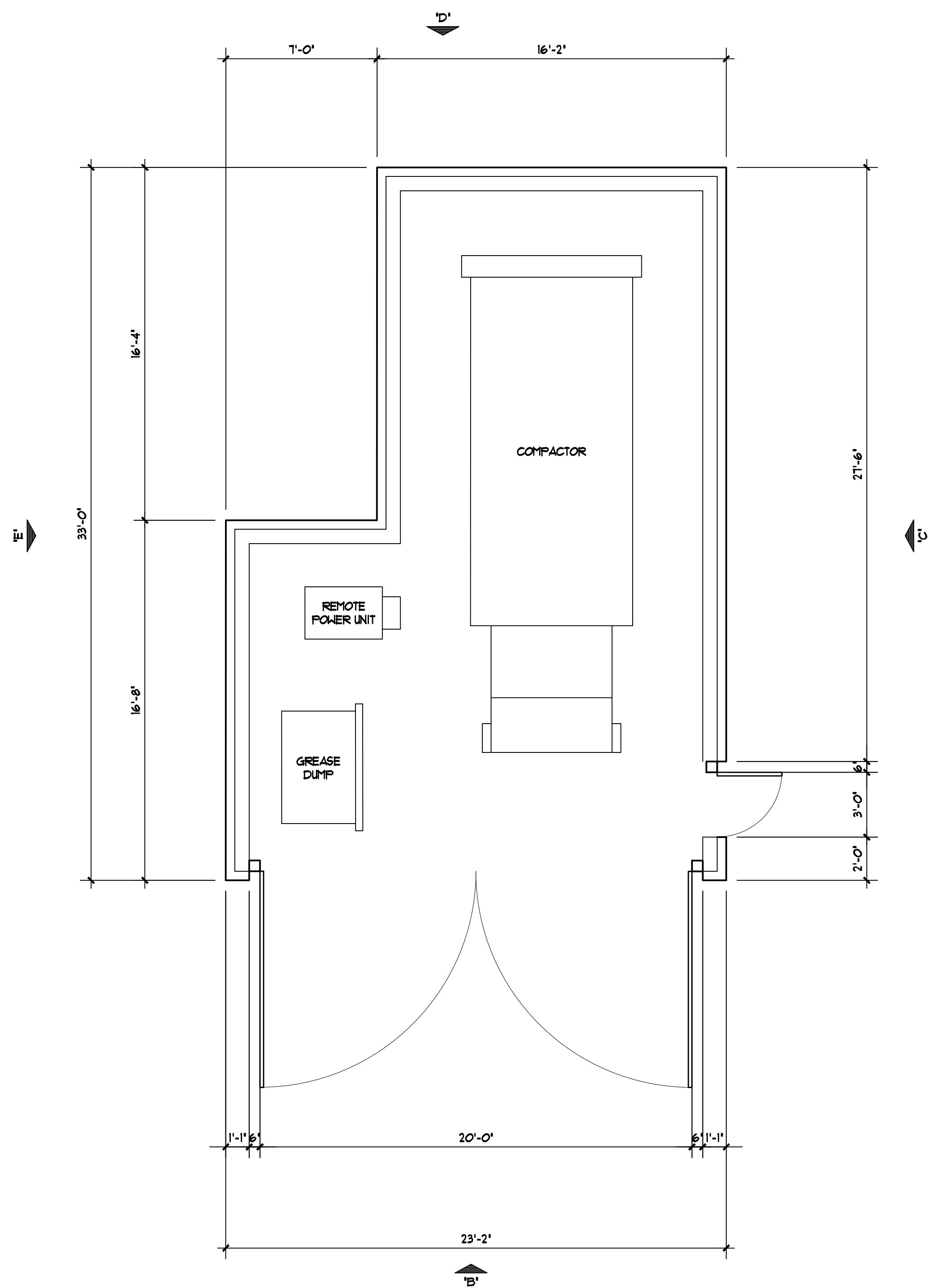
Revisions:	
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Project No.: LVS-
 Date: 12/21/22
 Sheet No.:

A-4

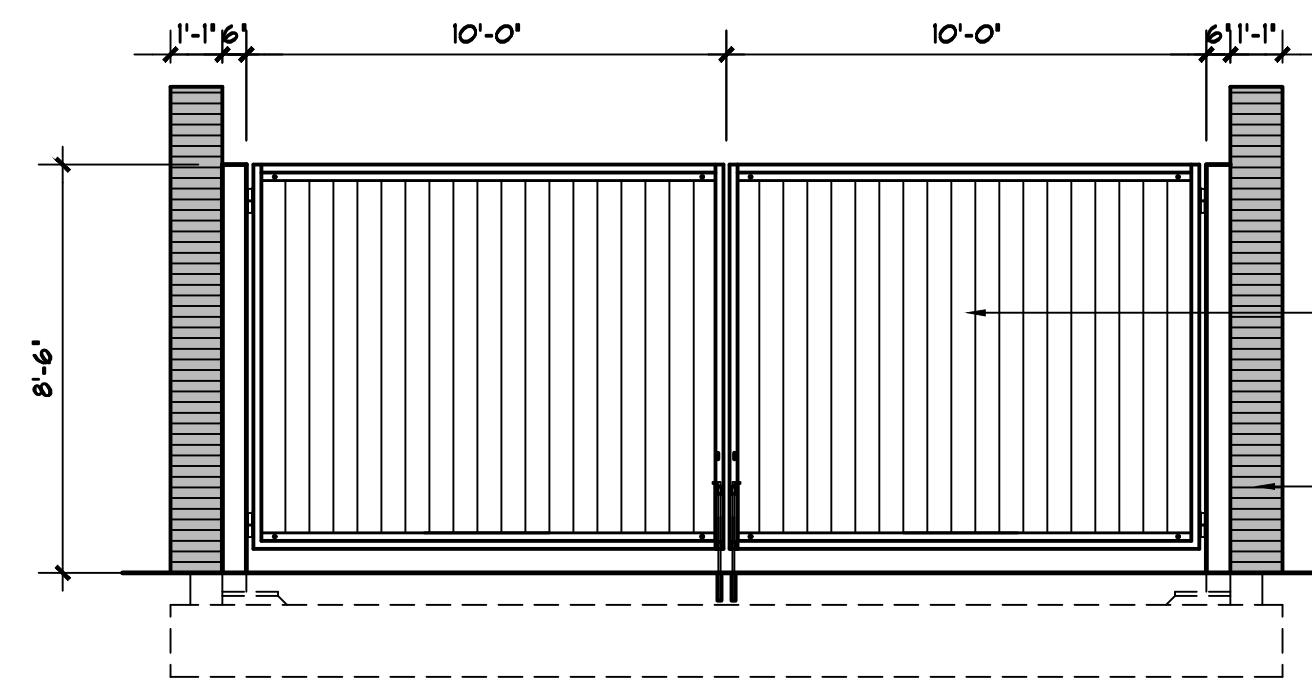
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DIMENSIONAL EXTERIOR ELEVATIONS

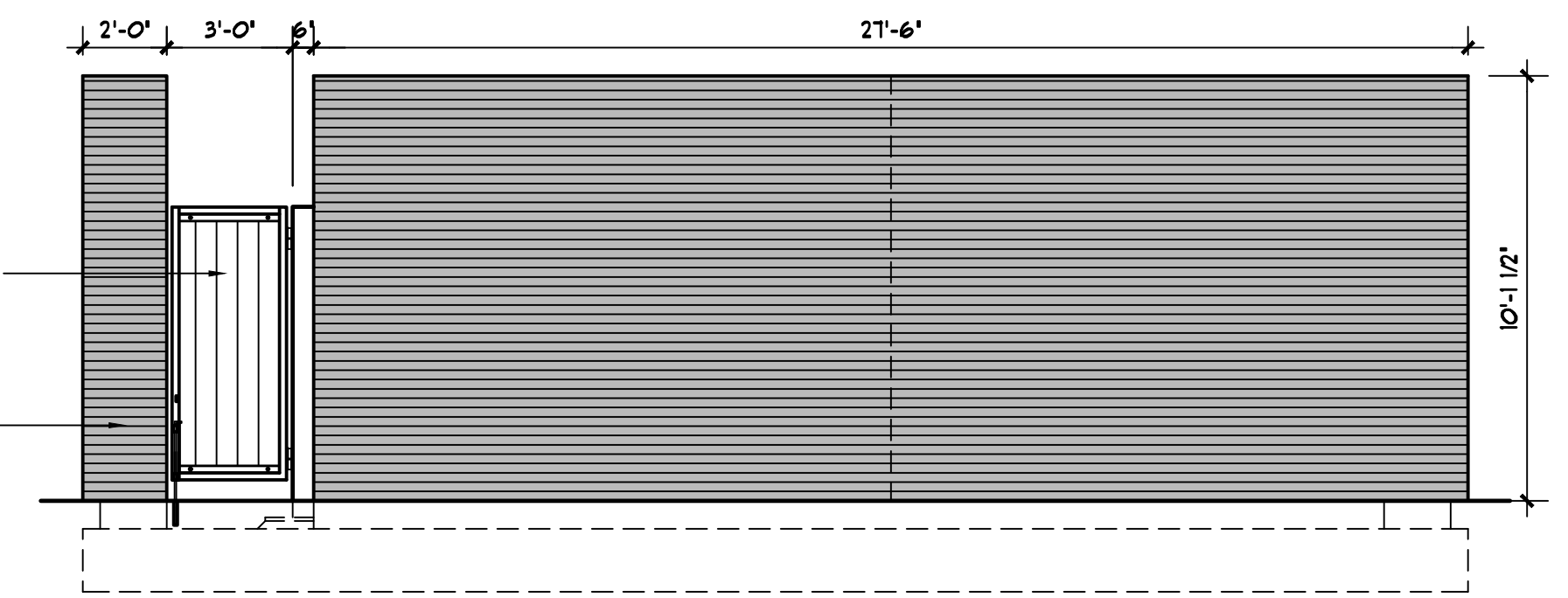


A COMPACTOR ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

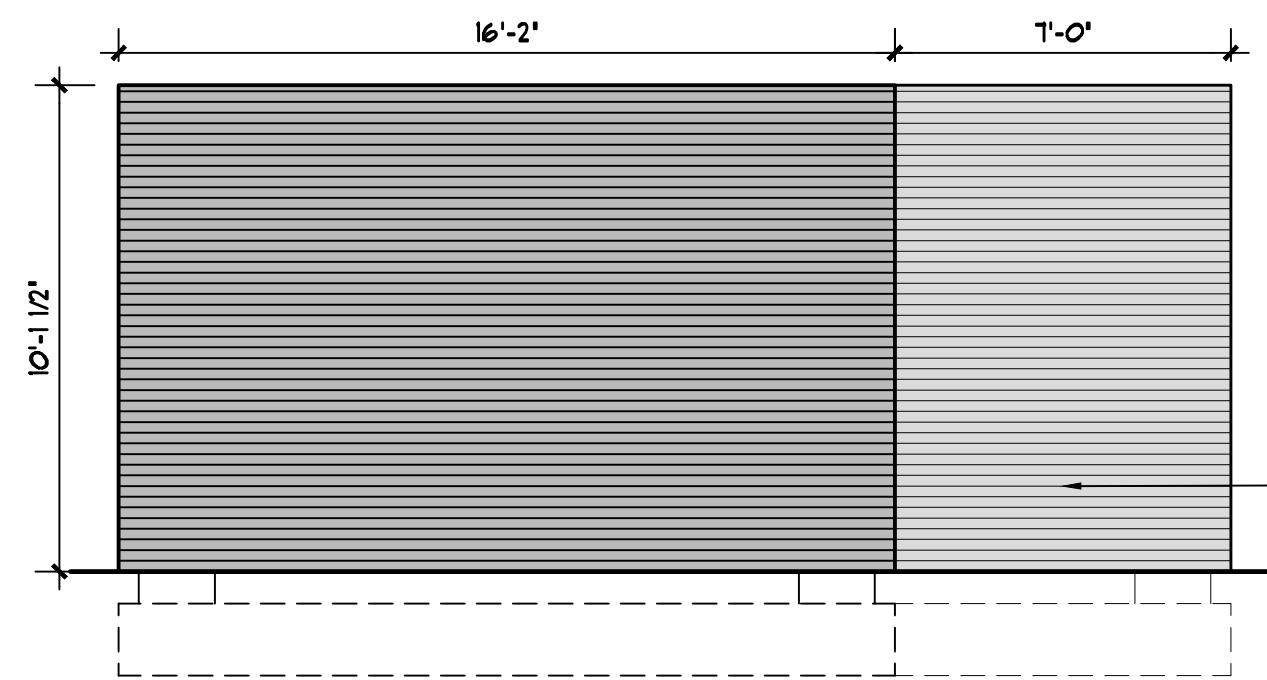
PROJECT NORTH



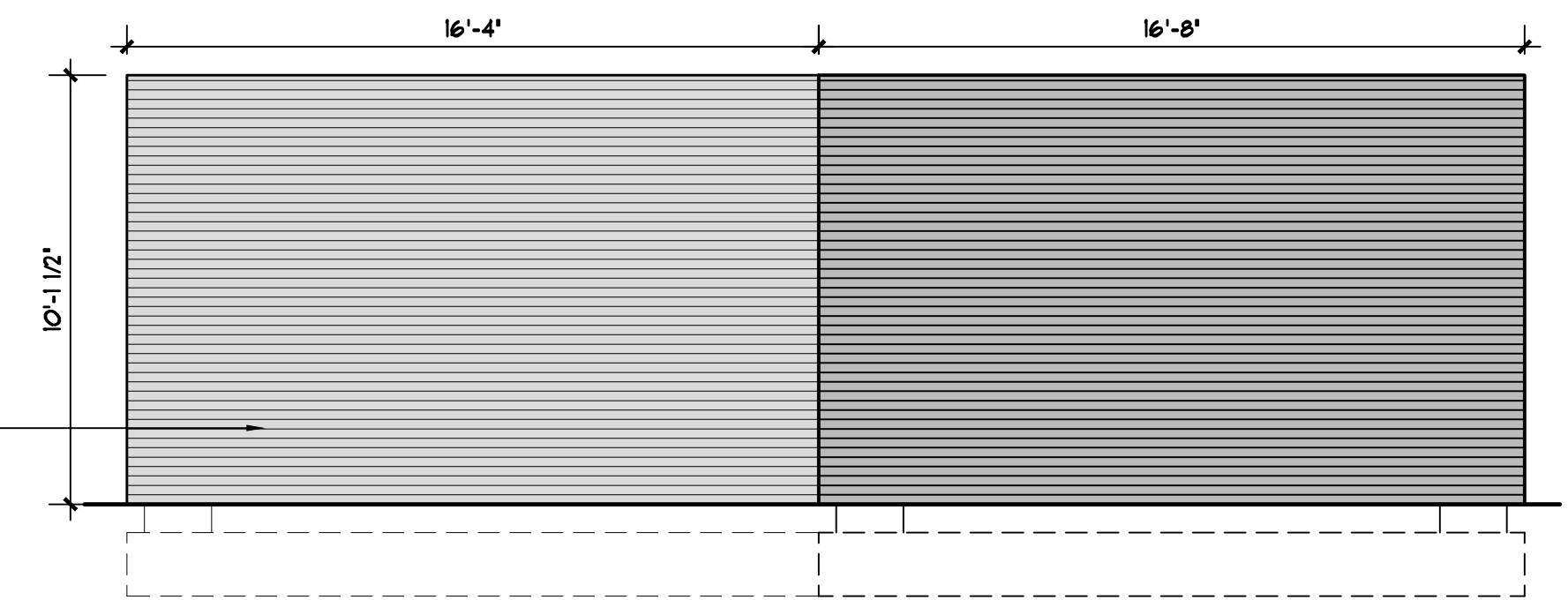
B SOUTH ELEVATION
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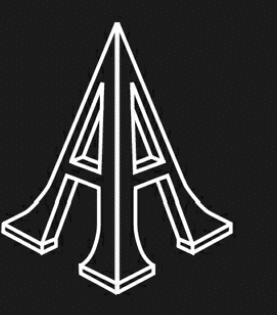
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D NORTH ELEVATION
SCALE: 1/2" = 1'-0"



E WEST ELEVATION
SCALE: 1/2" = 1'-0"



Pascal Aughtry & Associates, PC

405.463.3494
Fax 405.463.3493
937 East Britton Road
Oklahoma City, OK 73114
pascalarch.com

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL SIGNED AND SEALED DOCUMENT

A NEW TRAVEL STOP
STORE NO. 963
ALBUQUERQUE, NM

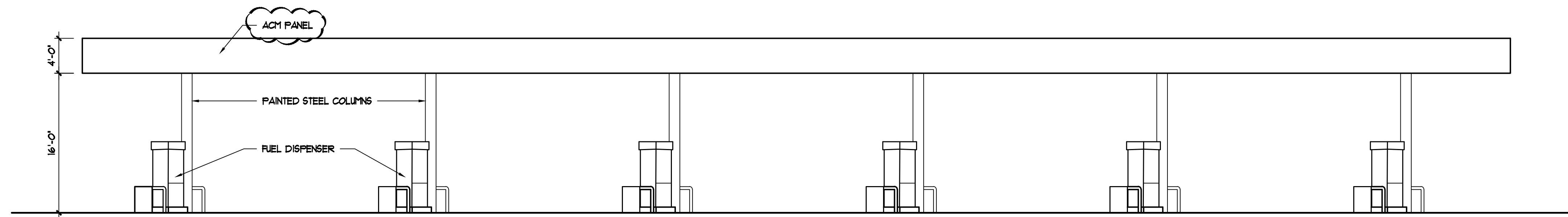


Revisions:	
No.	Date
-	--

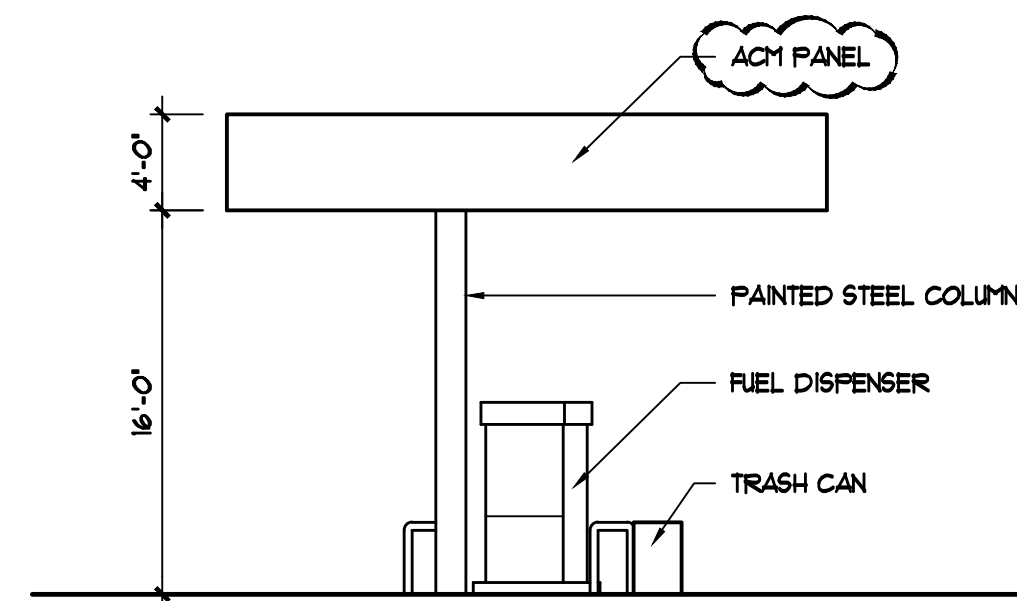
Project No.: LVS----
Date: 12/21/22
Sheet No.:

A-5

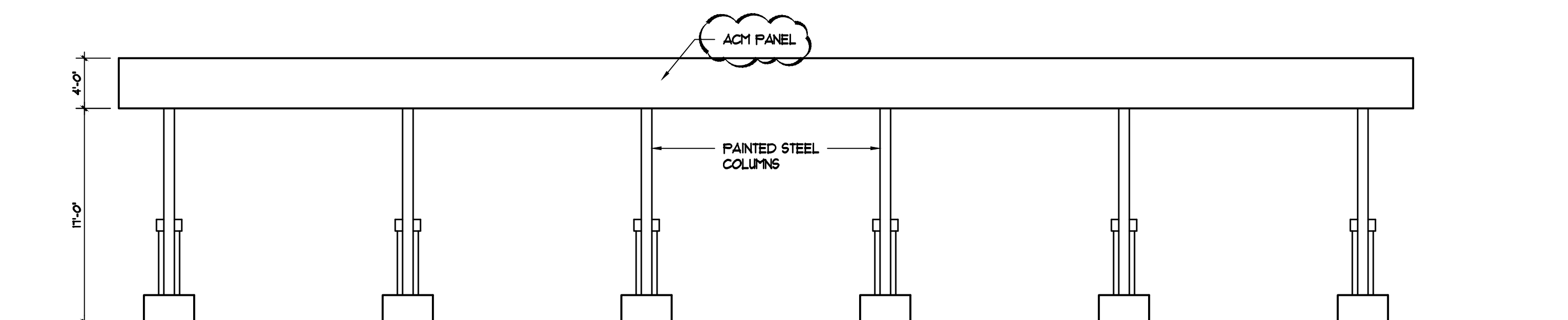
OF: XX



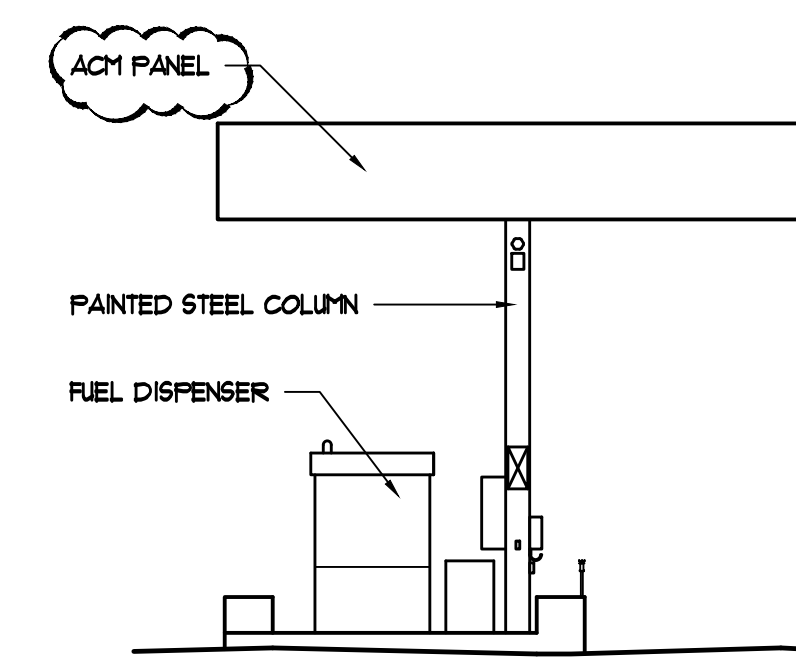
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EAST ELEVATION
SCALE: 1/8" = 1'-0"



B CAR CANOPY
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

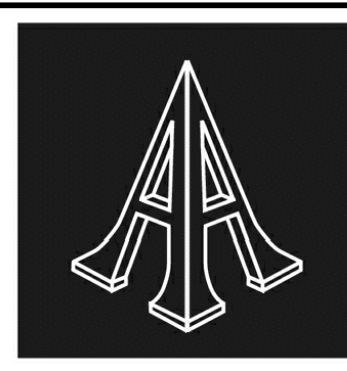


C TRUCK CANOPY
EAST ELEVATION
SCALE: 1/8" = 1'-0"



D TRUCK CANOPY
NORTH ELEVATION
SCALE: 1/8" = 1'-0"

CANOPY ELEVATIONS

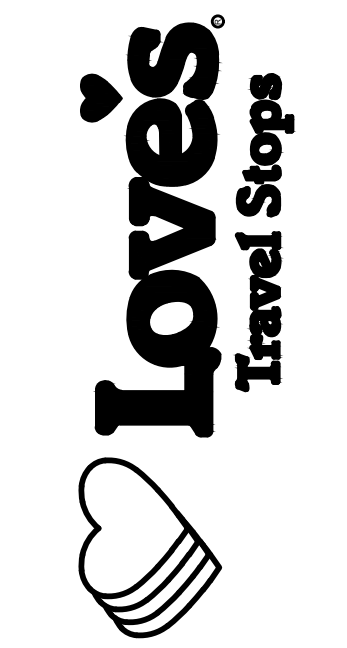


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DOCUMENT

A NEW TRAVEL STOP
TIER III
ALBUQUERQUE, NM



Revisions:	
No.	Date

Project No.: LVS-
Date: 12/21/22
Sheet No.:

A-6

6-24-24

Date Submitted: _____
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: _____
 Date Preliminary Plat Expires: _____
 DFT Project No.: _____
 DFT Application No.: _____

FIGURE 12

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT FACILITATION TEAM (DFT) REQUIRED INFRASTRUCTURE LIST

LOVE'S TRAVEL CENTER

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

REMAINING PORTION TRACT 64C2 M.R.G.C.D. MAP NO. 44 BERNALILLO COUNTY, NEW MEXICO
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	P.E.	City Crst Engineer
		24' F-E	Major Local Paving, Curb & Gutter 6' Sidewalk (west side)	ARNO STREET	SUNPORT BLVD	650' SOUTH OF SUNPORT BLVD	/	/	/
		VARIES 12' TO 0"	Right Turn Lanes and Raised Median, Curb & Gutter (east side), 8' Paved Trail (east side)	BROADWAY BLVD SE	SUNPORT BLVD	800' SOUTH OF SUNPORT BLVD	/	/	/
		8"	Waterline	ARNO STREET	SUNPORT BLVD	650' SOUTH OF SUNPORT BLVD	/	/	/
		8"	Sanitary Sewer Line	BROADWAY BLVD SE	SUNPORT BLVD	200' SOUTH OF SUNPORT BLVD	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SJA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Inspector	Private P.E.	City Cnst Engineer
			Engineer's Certification for Grading & Drainage is required for release of Financial Guarantee		/	/	/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature							City User Dept. Signature		
Date							Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

VINCENT CARRICA, PE

NAME (print)

TIERRA WEST LLC

FIRM

[Signature] 6-21-24

SIGNATURE - date

PLANNING - date

PARKS & RECREATION - date

TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

UTILITY DEVELOPMENT - date

CODE ENFORCEMENT - date

CITY ENGINEER - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, Albuquerque, NM 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339



OFFICIAL NOTIFICATION OF DECISION

June 15, 2023

ABQ Termial LLC
Attn: LB Walker & Associates
13111 NW Freeway Suite 125
Houston, TX 77040

Project # PR-2022-007103
SI-2023-00691 - Site Plan- EPC
SI-2023-00693 – Variance- EPC

LEGAL DESCRIPTION:

Tierra West, LLC, agent for ABQ Terminal LLC Attn: LB Walker & Associates, requests a Site Plan- EPC and a Variance-EPC, for all or a portion of Map 44 Tract 64C2, excluding 0.3 acre and excluding all of Tract 64C3A2, located at 3200 Broadway Blvd. SE, west of Arno St. SE, and south of Wesmeco Dr. SE, approximately 22 acres (M-14-Z)

Staff Planners: Megan Jones & Robert Messenger

On June 15, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007103 SI-2023-00691 - Site Plan- EPC, SI-2023-00693, based on the following Findings and subject to the following Conditions of approval:

FINDINGS – SI-2023-00691

1. The request is for a new Site Plan for a property legally described as all or a portion of Map 44 Tract 64C2, excluding 0.30 acres and excluding all of Tract 64C3A2, at the SE corner of Broadway Blvd. SE and Woodward Rd. SE, approximately 22-acres (the “subject site”).
2. The subject site is zoned NR-LM (Non-residential Light Manufacturing) is in an Area of Change and is not in a designated center.
3. The EPC is hearing this case as required by IDO section 14-16-6-6(I)(1)(c)5. for development within ½ a mile of the Railroad and Small Spur Small Area, which requires a Cumulative impact analysis pursuant to Subsections 14-16-5-2(E) (Cumulative Impacts) and 14-16-6-4(H) (Cumulative Impacts Analysis Requirements). A cumulative impacts analysis was included with this request (see attachments).
4. The applicant is requesting 1) a new Site Plan-EPC on approximately 7 acres of the northern portion of the subject site to develop a light and heavy vehicle fueling station with an incidental convenience store (the “Travel Center”), and 2) a concurrent Variance-EPC to four sign requirements/standards (SI-2023-00693) which is pursuant to EPC review and decision following the proposed Site Plan-EPC decision.

5. The proposed Site Plan would facilitate development of a light and heavy vehicle fueling station with a convenience store and restaurant uses. Convenience stores are an incidental use to a light vehicle fueling station.
6. The southern 15-acre portion of the 22-acre site is included with this request as an existing “As Built” Site Plan because the fueling depot was developed in the 1950s and is not governed by an existing Site Development Plan.
7. The subject site is not subdivided; therefore, the entire site shall be included on this Site Plan request to create clarity and consistency which would ensure that any future amendments to the site are pursuant to IDO standards.
8. The subject site is in the Airport Protection Overlay zone for the Albuquerque International Sunport (IDO APO 14-16-3-3). The proposed Site Plan is required to comply with the APO and associated Federal Aviation Administration (FAA) sub-zones.
9. The subject site is within the Air Space Protection Sub-area for the Albuquerque International Sunport. All signs and structures shall not be taller than the horizontal surface of the Albuquerque International Sunport, per IDO 3-3(D)(1) Height Standards in the Airport Protection Overlay Zone, specifically 3-3(D)(1)(b). An exhibit depicting that the proposed structures and buildings are under the Horizontal Surface of the Airport Surface at 5,504.9 was provided with the Site Plan set. This requirement is met.
10. The proposed structure and sign materials and any features therein comply with the glare and reflectivity standards per IDO APO 3-3(D)(2) Reflectivity standards.
11. The Albuquerque/Bernalillo County Comprehensive Plan and the Integrated Development Ordinance (IDO) are incorporated herein by reference and made part of the record for all purposes.
12. The request is consistent with the following Comprehensive Plan Goal and Policy from Chapter 4: Community Identity

A. Goal 4.1 – Character: Enhance, protect, and preserve distinct communities.

The request would enhance, protect, and preserve the distinct community of the surrounding South Broadway light industrial areas. The proposed Site Plan-EPC would allow the subject site to be developed pursuant to IDO development standards for NR-LM uses and would place stringent standards on the subject site that would protect the character of the surrounding Central Albuquerque community, and comply with standards for the Airport Protection Overlay Zone APO-3 pursuant to IDO 14-16-3-3.

The subject site is in an Area of Change as designated by the Comp Plan, where new development is desired. By directing growth to Areas of Change, there is less pressure on established neighborhoods to absorb the types of growth that would negatively impact their character. The proposed Site Plan would enhance the surrounding area by facilitating similar light industrial and commercial development. It would protect residential neighborhoods north and west of the subject site by absorbing new commercial development that is most appropriate in the industrial portion of South Broadway.

- B. Policy 4.1.1 – Distinct Communities: Encourage quality development that is consistent with the distinct character of communities

The request would ensure quality development that is consistent with the character of the surrounding light and industrial uses of the South Broadway corridor at the southern edge of the City limits. It would be sited at the southeast corner of Broadway Blvd. SE and the soon-to-be completed Sunport Blvd. extension from the I-25 interstate exit west to the intersection of Woodward Rd. SE and Broadway Blvd. SE.

The request is to redevelop the northern portion of the subject site, approximately 6 acres, into a travel stop. The subject site would be controlled by IDO development standards. The IDO standards will ensure that character of building, landscape, and parking design on the NR-LM zoned site will be generally consistent with the scale of the light industrial land uses in the area. The proposed commercial land use will be an appropriate location of development in an Area of Change as well as within the South Broadway MRA.

13. The request is consistent with the following Goals and Policies regarding Desired Growth and Complete Communities from Comprehensive Plan Chapter 5: Land Use.

- A. Policy 5.1.1 Sub-policy(c): Encourage employment density, compact development, redevelopment, and infill in Centers and Corridors as the most appropriate areas to accommodate growth over time and discourage the need for development at the urban edge.

The requests would encourage redevelopment on an infill site within an Area of Change and near a Commuter Corridor. Locating a new travel stop in an established light industrial area with easy access to I-25 and Broadway Blvd. SE is the most appropriate area to serve highway travelers, surrounding light and heavy industrial customers, and residents. The request would add more commercial uses to an established light industrial area.

- B. Goal 5.2 Complete Communities: Foster communities where residents can live, work, learn, shop, and play together.

The requested Site Plan-EPC would generally foster a community where residents can live, work, learn, shop, and play together. It would facilitate development of a travel center, which includes a convenience store. This new development would be located in an established light industrial area with easy access to I-25 and Broadway Blvd. SE. The request would add more commercial uses to an established light industrial area.

- C. Policy 5.2.1 Sub-policy (a)– Land Uses: Encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents.

The request would encourage development and redevelopment that brings goods, services, and amenities within walking and biking distance of neighborhoods and promotes good access for all residents. The subject site is within easy, 1/8-mile walking and biking distance of single-family zoned residential neighborhoods. Future City and MRMPO transportation plans include more multi-modal trails throughout the area to provide more options for walking and biking travel. This development will promote good access for all residents by its location near a major arterial (Broadway Blvd. SE) and soon-to-be completed access to an I-25 exit onto Sunport Blvd. SE.

- D. Policy 5.2.1 Sub-policy (h): Encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development

The request would encourage infill development that adds complementary uses and is compatible in form and scale to the immediately surrounding development. A highway travel stop that serves local residential and industrial customers as well as highway travelers complements existing light industrial and auto-related uses in the south Broadway Blvd. industrial corridor. The form of buildings, landscaping, driveway accesses, and parking/circulation is compatible with existing light industrial uses in the area.

- E. Policy 5.2.1 – Sub-policy (n): Encourage more productive use of vacant lots and under-utilized lots, including surface parking.

The request would encourage more productive use of vacant lots and under-utilized lots, including surface lots. The request would allow redevelopment of the under-utilized northern portion of the subject site, and would be a more productive use of existing parking surfaces than their current use, which has sat vacant for years in an established light industrial community.

14. The request is consistent with the following goal and policies regarding infill and city development areas from Comprehensive Plan Chapter 5: Land Use.

- A. Policy 5.3.1 – Infill Development: Support additional growth in areas with existing infrastructure and public facilities.

The subject site would support additional growth in areas with existing infrastructure and public facilities. It would utilize existing infrastructure along Broadway Blvd. SE, as well as new infrastructure being developed with the Sunport Blvd. extension from I-25 to the intersection of Broadway Blvd. SE and Woodward Rd. SE., including water, sewer, and fiber optic cables for communication.

- B. Goal 5.6 -City Development Areas: Encourage and direct growth to Areas of Change where it is expected and desired to ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area.

The request would encourage and direct growth to Areas of Change where it is expected and desired, and ensure that development in and near Areas of Consistency reinforces the character and intensity of the surrounding area. By locating an intense auto-oriented commercial use in an Area of Change near an interstate exit, the request would locate uses that would be potentially harmful in a residential area to an established industrial area where such uses are most appropriate. At the same time, the request would reinforce the character and intensity of the nearby residential areas (e.g., San Jose neighborhood) by not allowing growth that is inconsistent with the character and intensity of those existing residential land uses.

- C. Policy 5.6.2 Areas of Change: Direct growth and more intense development to Centers, Corridors, industrial and business parks, and Metropolitan Redevelopment Areas where change is encouraged.

The request would direct growth and more intense auto-oriented development near a Commuter Corridor within both an Area of Change and the South Broadway Metropolitan Redevelopment Area, where change is encouraged.

D. Policy 5.6.2 Sub-policy (b): Ensure development that expands employment opportunities.

The proposed development would expand employment opportunities by providing temporary construction employment and permanent employment, as well as support existing and potential employment opportunities nearby. It would support direct and entrepreneurial employment opportunities by providing convenient fueling services for nearby employees.

15. The request is consistent with policy 8.1.2 Resilient Economy: Encourage economic development efforts that improve quality of life for new and existing residents and foster a robust, resilient, and diverse economy, from Comprehensive Plan Chapter 8: Economic Development.

The request would facilitate development of a light and heavy vehicle fueling station with an incidental convenience store that could contribute to economic development of the surrounding community near the South Broadway corridor. The Travel Center would help to improve quality of life of nearby residents and new customers by offering a commercial use (gas, a dog park for travelers, and convenience items) in an industrial area of the City near Interstate-25.

16. The applicant has adequately justified the request pursuant to the Integrated Development Ordinance (IDO) Section 14-16-6-6(I)(3)-Review and Decision Criteria for a Site Plan-EPC, as follows:

A. Criterion A: The applicant's policy-based response demonstrates that the request is generally consistent with applicable Comprehensive Plan Goals and Policies (and other applicable City Plans), therefore, the request is consistent with the City's health, safety, morals and general welfare.

B. Criterion B: The subject site is zoned NR-LM; therefore, criterion B does not apply.

C. Criterion C: The request is for a Site Plan-EPC. The proposed Site Plan is required to comply with all applicable provisions of the IDO, DPM, other adopted City regulations. All conditions must be met prior to building permit approval.

The applicant has stated that the development will comply with all applicable provisions pursuant to the NR-LM zone district including landscaping, lot sizes, setbacks, and parking. At the time of building permit, Grading and Drainage plans must be approved by City Hydrology as part of the DFT process.

D. Criterion D: The subject site is already served by existing infrastructure and public facilities, and new infrastructure associated with the extension of Sunport Blvd. will have adequate capacity to serve the proposed development at full build-out. The applicant has stated that any additional infrastructure improvements necessary to serve the project – such as extending Arno Street and providing additional driveway accesses off it – will be provided by the Applicant as required by the Development Procedures Manual (DPM).

- E. Criterion E: The subject site is within ¼ mile of the Railroad and Spur Small area and a Cumulative Impact Analysis was provided with the request. The request mitigates any significant adverse impacts on the surrounding area to the maximum extent practicable. Safety systems and features such as earthen spill containment berms around fuel storage tanks will be maintained and expanded as necessary to mitigate any impacts of such uses from natural or man-made disasters. The applicant was required to provide a Cumulative Impacts analysis due to the subject site's location within the Railroad and Small Spur area, and because the subject site and adjacent properties met all the applicability criteria in IDO 14-16-5-2(E)(1). The Site Plan is required to follow all standards of the IDO, DPM and other applicable City standards, which the applicant has agreed to follow.
- F. Criterion F: The subject property is not within an approved Master Development Plan; therefore, criterion F does not apply.
- G. Criterion G: The subject property is within the Railroad and Spur Area and a cumulative impacts analysis is required. The proposed development will not create material adverse impacts on water quality or other land in the surrounding area through increases in traffic congestion, parking congestion, noise, vibration, light spillover, or other nuisances. Existing and proposed design features such as containment berms for fuel tanks, safety features, sufficient queuing and driving aisles, parking spaces, lighting and signage design, and other features will comply with all standards in the IDO, DPM, and other applicable City standards. These designs and features will ensure that the development sufficiently mitigates any adverse impacts on surrounding areas including compliance with Airport Protection Overlay (IDO 14-16-3-3) standards.
17. The affected, registered neighborhood organization is the San Jose Neighborhood Association, which was notified as required. Property owners within 100 feet of the subject site were also notified as required.
18. A facilitated meeting was not held nor requested and staff has not received any comments of opposition or support as of this writing.
19. The proposed site plan would go to the DFT upon approval of this request. Any future platting action would go to the DHO.
20. Staff has crafted conditions of approval needed to improve compliance and provide clarity moving forward.
21. The signage shown on the site plan is not in compliance with the IDO and will be subject to change based on the outcome of the associated Variance requests.

CONDITIONS OF APPROVAL –SI-2023-00691

1. Once the Site Plan and any associated Variance-EPC requests are approved by the EPC, the proposed site plan shall go to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.
3. Site Plan Clean up (SP1 & SP2):
 - A. The index to drawings shall include SP3 and all sheets associated with the request.
 - B. The 0.30 tract that is excluded in the legal description on the southern portion of the site shall be highlighted and referenced as “not included” on the overall site plan sheet and on the Fueling Depot As Built site plan sheet 3.
 - C. Pursuant to IDO 6-6(N)(2)(f) Any Variances granted that are associated with the Site Plan shall be noted on the approved Site Plan sheet 1 and sign detail sheets.
4. Site Plan Clean up (SP3).
 - A. A note stating: “The existing fueling depot on the southern ~15-acre portion of the site is to remain as developed and is included in this request as an As Built Site Plan for clarity and compliance moving forward” shall be added to the sheet.
 - B. The 0.30 tract that is excluded in the legal description on the southern portion of the site shall be highlighted and referenced as “not included” on the overall site plan sheet and on the Fueling Depot As Built site plan sheet.
 - C. The title of Site Plan sheet 3 for the Fueling depot shall be changed to “As built Site Plan.
5. Parking
 - A. Parking for the general retail small use shall be included.
 - B. A note shall be added under parking data stating that it the General Retail Small use is incidental to Light Vehicle Fueling.
6. Landscape Plan:
 - A. The Buffalo Juniper species of shrub shall be female only.
 - B. The note stating that the southern portion of the site is “not a part of project” shall be removed. The 15-acre portion of the site is included with this request.
 - C. The title of the Landscape plan shall be changed to _____
 - D. The lot area shall be updated to reflect the total lot area on the site plan sheet and landscape sheet. Landscape calculations shall be updated based on this total.
7. Sign Details
 - A. Sign details shall include height dimensions.

- B. Sign details shall remain a part of the site plan set for DFT Submittal.
8. Detail Sheets:
- A. Parking Lot light poles and light details pursuant 4-3(D)(17)(d) shall be included.
 - B. The trash compactor enclosure shall be provided on a detail sheet with colors, height and finishes.
9. Airport Protection Overlay Zone (APO 3-3)
- A. The Airspace Protection Sub-Area analysis shall be its own detail sheet.
 - B. Light Reflective Value (LRV) shall be called out for each surface and for each sign pursuant to IDO 3-3(D)(2) Reflectivity.
 - C. A note shall be added to the Site Plan stating that Structure and sign materials and any features therein comply with the glare and reflectivity standards per IDO 3-3(D)(2) Reflectivity.
10. Grading and Drainage Plan: The Drainage narrative shall be updated to state that the northern portion of the site is proposed to be redeveloped as a Travel Center, not the southern.
11. The Site Plan shall be pursuant to all IDO standards unless a variance is obtained.
12. Pursuant to IDO 6-6(N)(2)(f) Any Variances granted that are associated with the Site Plan shall be noted on the approved Site Plan sheet 1 and sign detail sheets.

On June 15, 2023 the Environmental Planning Commission (EPC) voted to APPROVE Project # PR-2022-007103, SI-2023-00693 – Variance- EPC, based on the following Findings:

FINDINGS – SI-2023-00693

1. The request is for a Variance-EPC for a property legally described as all or a portion of Map 44 Tract 64C2, excluding 0.30 acres and excluding all of Tract 64C3A2, at the SE corner of Broadway Blvd. SE and Woodward Rd. SE, approximately 22-acres (the “subject site”).
2. The subject site is zoned NR-LM (Non-residential Light Manufacturing) is in an Area of Change and is not in a designated center.
3. The EPC is required to review and decide on the request for a Variance-EPC as part of the associated Site Plan – EPC review and decision as required by IDO section 14-16-6-6(N). The EPC is hearing this case as required by IDO section 14-16-6-6(I)(1)(c)5. for development within ½ a mile of the Railroad and Small Spur Small Area, which requires a Cumulative impact analysis.
4. With the approval of the concurrent Site Plan – EPC Request (SI-2023-00693), the applicant requests a Variance to four sign standards pursuant to IDO Table 14-16-5-12-2 and IDO 5-12(H)(3)(a)4) that 1) raises the allowable maximum height of a Freestanding sign, 2) expands the

allowable area (SF) of a Freestanding sign, 3) increases the number of Free-Standing Signs by 2, and 4) increases the maximum number of electronic signs by 1.

5. The Variance request affects the northern 7-acre portion of the site. The southern 15-acre portion of the 22-acre site is included with this request as an existing “As Built” Site Plan.
6. The subject site is in the Airport Protection Overlay zone for the Albuquerque International Sunport (IDO APO 14-16-3-3). All proposed structures are required to comply with the APO and associated Federal Aviation Administration (FAA) sub-zones.
7. The subject site is within the Air Space Protection Sub-area for the Albuquerque International Sunport. All signs shall not be taller than the horizontal surface of the Albuquerque International Sunport, per IDO 3-3(D)(1) Height Standards in the Airport Protection Overlay Zone, specifically 3-3(D)(1)(b). An exhibit depicting that the proposed structures and buildings are under the Horizontal Surface of the Airport Surface at 5,504.9 was provided with the Site Plan set. This requirement is met.
8. The proposed sign materials and any features therein comply with the glare and reflectivity standards per IDO APO 3-3(D)(2) Reflectivity standards.
9. The Variance request consists of four parts:
 - A. (as amended at hearing) variance sign area – cat scale sign 107.5 sf total, increase of 7.5 sf
 - B. (as amended at hearing) variance sign area – pricer signs, 148.33 sf, increase of 48.33 sf
 - C. (as requested). number of freestanding signs in non-residential zone district- increase from 3 to 5 (a variance of 2), and
 - D. (as requested). number of electronic signs in non-residential zone district- increase from 1 to 2 (variance of 1).
10. The applicant has adequately justified the request pursuant to Integrated Development Ordinance (IDO) 14-16-6-(N)(3) - Variance-EPC Review and Decision Criteria. An application for a Variance – EPC shall be approved if it meets all of the criteria.
 - A. 6-6(N)(3)(a)1. There are special circumstances applicable to a single lot that are not self-imposed and that do not apply generally to other property in the same zone district and vicinity, including but not limited to size, shape, topography, location, surroundings, physical characteristics, natural forces, or by government actions for which no compensation was paid. Such special circumstances of the lot either create an extraordinary hardship in the form of a substantial and unjustified limitation on the reasonable use or economic return on the property, or practical difficulties result from strict compliance with the minimum standards.

The subject site is within an area characterized by industrial uses surrounding the property and unincorporated Bernalillo county to the east. The subject site sits lower in elevation than Interstate 25. The applicant claims that several structures would block the views of signage, which could create a limitation on the property’s economic return. The applicant claims that this circumstance is not self-imposed because the surrounding area was developed before the proposed development. The request generally meets criterion (3)(a)(1).

- B. 6-6(N)(3)(a)2. The Variance will not be materially contrary to the public safety, health, or welfare.

The Variance for a higher maximum height to the freestanding sign, square footage of sign areas, or the number of signs on the property would not be materially contrary (incompatible/opposite) to the public safety, health, or welfare. The variance to the height, area, and number of signs would allow the applicant to market the proposed development to potential customers driving in the vicinity and along Interstate 25, although this could be accomplished through other means of marketing and without a variance to Sign Standards in the Non-residential zone district. A variance to the Sign Standards would generally not be incompatible with public safety, health, or welfare. The request generally meets criterion (3)(a)(2).

- C. 6-6(N)(3)(a)3. The Variance does not cause significant material adverse impacts on surrounding properties or infrastructure improvements in the vicinity.

The variance to the IDO development standards for signs would not cause significant material adverse impacts on infrastructure improvements in the vicinity, but the subject site is within the Airport Protection Overlay zone for the Albuquerque International Sunport. The proposed Site plan shall comply with standards pursuant to IDO 3-3(D) for allowable Height and Reflectivity for all structures and buildings.

The applicant has provided an analysis of the air space protection horizontal surface pursuant to IDO (3-3(B)(1)). The proposed structures and would be lower in elevation than 5,504.9 feet, which is the Sunport's surface elevation and the proposed materials of the sign comply with Reflectivity standards. Overall, the request generally meets criterion (3)(a)(3).

- D. 6-6(N)(3)(a)4. The Variance will not materially undermine the intent and purpose of this IDO, the applicable zone district, or any applicable Overlay Zone.

The proposed variance is required to be heard as part of the associated Site Plan-EPC request for a Travel Center, which includes a light and heavy vehicle fueling station, convenience store, and restaurant uses. The proposed site plan does not undermine the intent or purpose of the IDO or NR-LM zone district and would follow all applicable development standards. The applicant claims that the variance would allow a combined sign, therefore eliminating sign clutter, which is an intent of the IDO. Therefore, the variance request would not undermine the intent and purpose of the IDO and generally meets criterion (3)(a)(4).

- E. 6-6(N)(3)(a)5. The Variance approved is the minimum necessary to avoid extraordinary hardship or practical difficulties.

The applicant has adequately demonstrated that the request is the minimum necessary to avoid extraordinary hardship regarding visibility of signage and that the variance could help avoid the practical difficulties. The additional signage and square footage are the minimum necessary that would reasonably cover the 22-acre subject site. The request generally meets criterion (3)(a)(5).

11. The affected, registered neighborhood organization is the San Jose Neighborhood Association, which was notified as required. Property owners within 100 feet of the subject site were also notified as required.

OFFICIAL NOTICE OF DECISION

Project # PR-2022-007103

June 15, 2023

Page 11 of 11

12. A facilitated meeting was nor held nor requested and staff has not received any comments of opposition or support as of this writing.
13. The proposed site plan would go to the DFT upon approval of this request. Any future platting action would go to the DHO.
14. Pursuant to IDO 6-6(N)(2)(f) Any Variances granted that are associated with the Site Plan shall be noted on the approved Site Plan sheet 1 and sign detail sheets.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **June 30, 2023**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-6-4(V) of the Integrated Development Ordinance (IDO), Administration and Enforcement. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal an EPC Recommendation to the City Council since this is not a final decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the IDO must be complied with, even after approval of the referenced application(s).

Sincerely,

Catalina Lehner

for Alan M. Varela,
Planning Director

AV/CL/MJ

cc: ABQ Terminal LLC, Attn: LB Walker & Associates, 13111 NW Freeway Suite 125, Houston, TX 77040
Tierra West, LLC, vcarrica@tierrawestllc.com
San Jose NA, Olivia Greathouse snase@gmail.com
San Jose NA, Deanna Barela bacadeanna@gmail.com
Legal, dking@cabq.gov
EPC File



TIERRA WEST, LLC

April 29, 2024

Megan Jones
Senior Planner
City of Albuquerque
Albuquerque, New Mexico 87103

**RE: 2022031 LOVES SUNPORT BLVD
ALBUQUERQUE, NEW MEXICO**

Dear Mrs. Jones:

CONDITIONS OF APPROVAL –SI-2023-00691

1. Once the Site Plan and any associated Variance-EPC requests are approved by the EPC, the proposed site plan shall go to the Development Facilitation Team (DFT) for final sign-off. The reviewer will be responsible for ensuring that the EPC Conditions have been satisfied and that other applicable City requirements have been met.

Once you are satisfied that the EPC conditions of approval have been met, we will submit it to DFT for final sign-off for Site Plan.

2. The applicant shall coordinate with the Staff Planner prior to submitting to the DFT to ensure that EPC Conditions have been met.

Please review the Site Plan submittal that has been revised to meet all EPC conditions.

3. Site Plan Clean up (SP1 & SP2):
 - a. The index to drawings shall include SP3 and all sheets associated with the request.
The index to drawings on SP-1 has been revised to include SP3.
 - b. The 0.30 tract that is excluded in the legal description on the southern portion of the site shall be highlighted and referenced as “not included” on the overall site plan sheet and on the Fueling Depot As-Built site plan sheet 3.
The 0.30-acre tract is shown and noted as “not included” on the overall site plan sheet (SP-1) and the Fueling Depot as-built plan sheet (SP-3).
 - c. Pursuant to IDO 6-6(N)(2)(f) Any Variances granted that are associated with the Site Plan shall be noted on the approved Site Plan sheet 1 and sign detail sheets.

5571 Midway Park Pl. NE Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

The variances granted by EPC are noted on the Site Plan sheet (SP-1) and the sign detail sheet (DET-3).

4. Site Plan Clean up (SP3).

- a. A note stating: "The existing fueling depot on the southern ~15-acre portion of the site is to remain as developed and is included in this request as an As Built Site Plan for clarity and compliance moving forward" shall be added to the sheet.

Note added to SP-3.

- b. The 0.30 tract that is excluded in the legal description on the southern portion of the site shall be highlighted and referenced as "not included" on the overall site plan sheet and on the Fueling Depot As Built site plan sheet.

The 0.30-acre tract is shown and noted as "not included" on the overall site plan sheet SP-1 and the Fueling Depot as-built plan sheet SP-3.

- c. The title of Site Plan sheet 3 for the Fueling depot shall be changed to "As built Site Plan.

The sheet 3 Site Plan (SP-3) for the Fueling depot was changed to "As Built Site Plan".

5. Parking

- a. Parking for the general retail small use shall be included.

Parking for general retail use is noted in the Site Plan parking calculations as "incidental to light vehicle fueling".

- b. A note shall be added under parking data stating that it the General Retail Small use is incidental to Light Vehicle Fueling.

Note added on SP-2.

6. Landscape Plan:

- a. The Buffalo Juniper species of shrub shall be female only.

A note was added on sheet LS-101 that this species of shrub will be "female only".

- b. The note stating that the southern portion of the site is "not a part of project" shall be removed. The 15-acre portion of the site is included with this request.

This note has been removed and the 15-acre portion of the site has been included with this request.

- c. The title of the Landscape plan shall be changed to _____

The Landscape Plan title is now Loves Travel Center.

- d. The lot area shall be updated to reflect the total lot area on the site plan sheet and landscape sheet. Landscape calculations shall be updated based on this total.

The total lot area is now reflected in the site plan and landscape plan sheets. The landscape calculations were updated based on the total lot area.

7. Sign Details

- a. Sign details shall include height dimensions.

Height dimensions included in sign details.

- b. Sign details shall remain a part of the site plan set for DFT Submittal.

The sign details will be included in the Site Plan submittal set to DFT.

8. Detail Sheets:

- a. Parking Lot light poles and light details pursuant 4-3(D)(17)(d) shall be included.

Parking lot light pole detail was added to the Site Plan set (DET-1).

- b. The trash compactor enclosure shall be provided on a detail sheet with colors, height and finishes.

The trash compactor enclosure is provided on a detail Sheet A-5 and does indicate color, height and finishes.

9. Airport Protection Overlay Zone (APO 3-3)

- a. The Airspace Protection Sub-Area analysis shall be its own detail sheet.

The Airspace Protection Sub-Area analysis detail was moved to its own detail sheet DET-6.

- b. Light Reflective Value (LRV) shall be called out for each surface and for each sign pursuant to IDO 3-3(D)(2) Reflectivity.

The LRV for each surface and for each sign is now included.

- c. A note shall be added to the Site Plan stating that Structure and sign materials and any features therein comply with the glare and reflectivity standards per IDO 3-3(D)(2) Reflectivity.

Note #4 added on Sheet SP-1.

10. Grading and Drainage Plan: The Drainage narrative shall be updated to state that the northern portion of the site is proposed to be redeveloped as a Travel Center, not the southern.

The drainage narrative on GR-1 was updated to note that the northern portion of the site is proposed for redevelopment.

11. The Site Plan shall be pursuant to all IDO standards unless a variance is obtained.

The Site Plan is pursuant to all IDO standards with the exception of the variances approved by EPC and noted in the plan set.

12. Pursuant to IDO 6-6(N)(2)(f) Any Variances granted that are associated with the Site Plan shall be noted on the approved Site Plan sheet 1 and sign detail sheets.

The variances granted by EPC are noted on the Site Plan sheet and the sign detail sheets.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Vincent Carrica', with a stylized flourish at the end.

Vincent Carrica, P.E.

Enclosure/s

cc:

JN: 2022031
VPC/ac

May 2, 2023

Mr. David Shaffer, Chair
Environmental Planning Commission
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: **EPC SUBMITTAL**
3200 BROADWAY BLVD SE ALBUQUERQUE, NM 87105
MAP 44TR 64C2 EXC 0.30 AC X ALL TR 64C3A2
ZONE ATLAS PAGE: M-14-Z

Dear Mr. Shaffer:

The purpose of this letter is to authorize Tierra West LLC to act as agent on behalf of ABQ Terminal LLC C/O LB Walker & Associates Inc. pertaining to any and all submittals made to the City of Albuquerque for the above-referenced site.

Greg Love
Print Name

Greg Love
Signature

CO-CEO
Title

5/4/23
Date



Approved for access by the Solid Waste Department.
All containers must be made accessible for pick up between the hours of 5AM and 8PM.

Reviewer: *Herman Gallegos*
Date: 06-06-24

Recycling declined
4 vd compactor

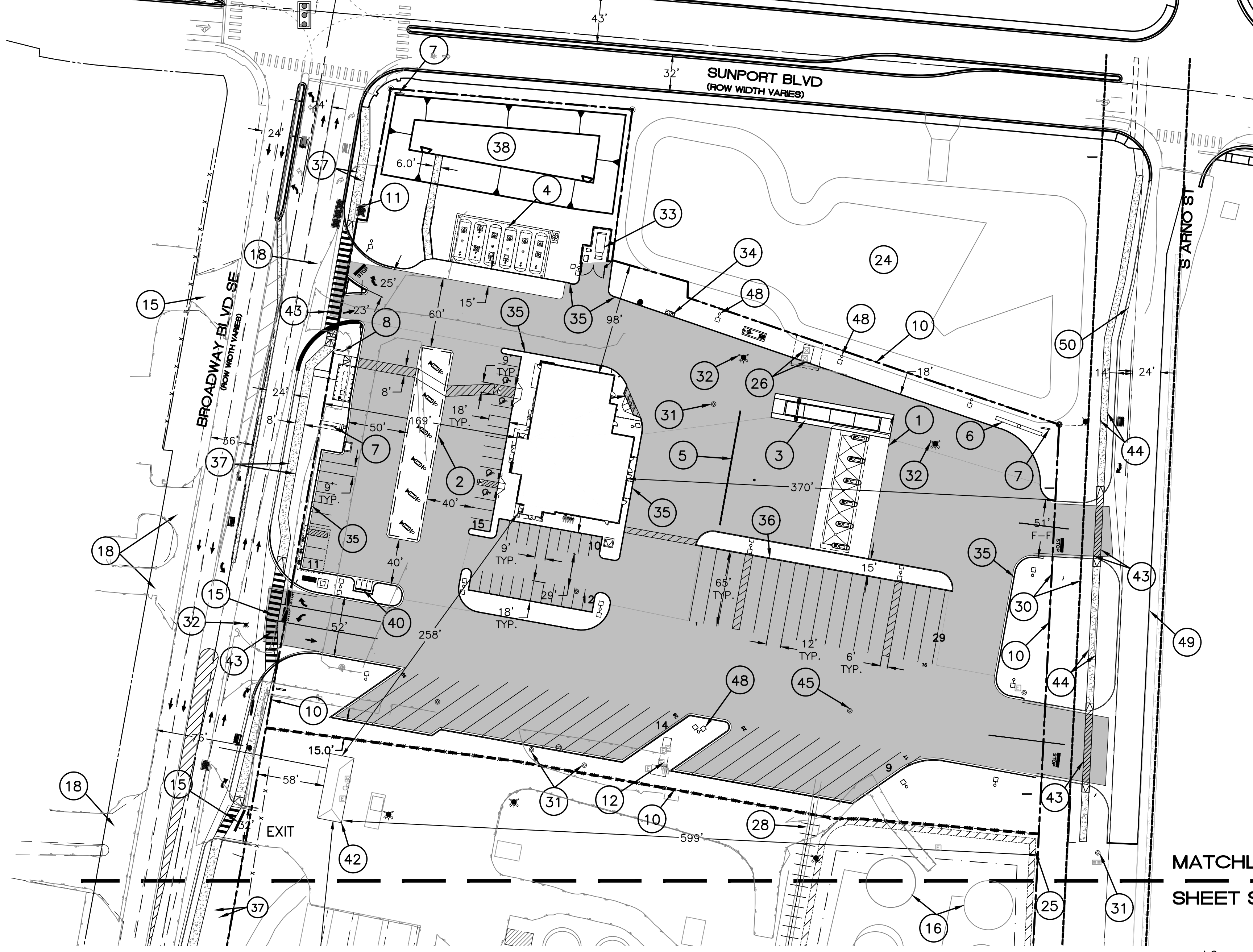
WOODWARD RD (WEST)

BROADWAY BLVD SE

S ARNO ST

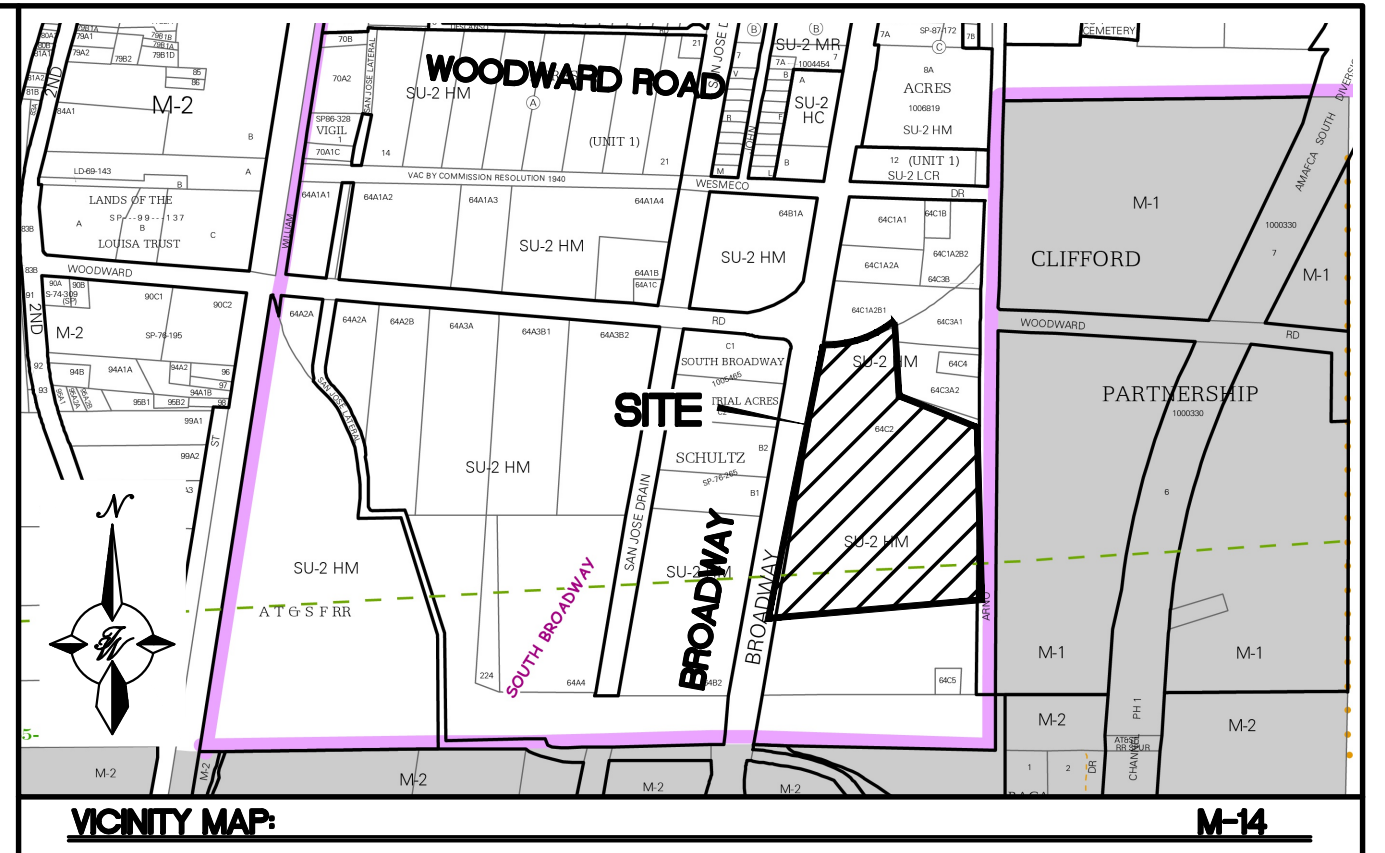
SUNPORT BLVD
(ROW WIDTH VARIES)

S ARNO ST



KEYED NOTES

- 1 TRUCK CANOPY (51' x 108') (HEAVY VEHICLE)
- 2 AUTO CANOPY (29' x 168') (LIGHT VEHICLE)
- 3 CAT SCALE
- 4 UNDER GROUND FUEL TANK FARM
- 5 PULL FORWARD LINE
- 6 POLE SIGN
- 7 MONUMENT SIGN
- 8 PRICE SIGN
- 9 LOADING ZONE
- 10 LIMITS OF LOVE'S TRAVEL STOP DEVELOPMENT
- 12 EXISTING ELECTRICAL PANELS TO REMAIN
- 15 EXISTING GATED ACCESS W/ CROSS WALK STRIPE
- 16 EXISTING STORAGE TANK TO REMAIN (TYP.)
- 17 PEDESTRIAN CONNECTION STRIPING
- 18 EXISTING NON-GATED ACCESS W/ CROSS WALK STRIPE
- 24 MUNICIPAL STORM DRAIN POND
- 25 FUEL SPILL CONTAINMENT BERM TO REMAIN
- 26 EXISTING TRANSFORMERS TO REMAIN
- 28 EXISTING RAIL SPUR TO REMAIN
- 30 EXISTING 25' UTILITY EASEMENT
- 31 EXISTING MONITORING WELLS TO BE ADJUSTED TO GRADE
- 32 EXISTING FIRE HYDRANT TO BE REMOVED
- 33 TRASH COMPACTOR
- 34 RV DUMPSTATION
- 35 6" HEADER CURB
- 36 8" HEADER CURB
- 37 8' PAVED TRAIL
- 38 STORM DRAIN POND
- 40 MOTORCYCLE PARKING SEE DETAIL SHEET DET-2
- 41 BICYCLE PARKING (5 SPACES)
- 42 EXISTING OFFICE BUILDING TO REMAIN
- 43 CROSS WALK STRIPING PER CROSSWALK DETAIL ON SHEET DET-1
- 44 6' PEDESTRIAN SIDEWALK PER COA STD DWG #2430
- 45 EXISTING MONITORING WELL TO BE ABANDONED
- 48 AREA LIGHT (TYP)
- 49 TEMPORARY ASPHALT CURB
- 50 STANDARD CURB & GUTTER



LEGAL DESCRIPTION

LOT 64C2 OF MRGCD MAP NO. 44

SITE DATA

PROPOSED USAGE:	LIGHT VEHICLE FUELING, HEAVY VEHICLE FUELING, GENERAL RETAIL (SMALL, RESTAURANT)
ZONE:	NR-LM
LOT AREA:	
LOVE'S TRAVEL STOP	292,169 SF (6.707 ACRES)
FUELING DEPOT	494,353 SF (11.353 ACRES)
OVERALL	786,522 SF (18.06 ACRES)
ADDRESS:	3200 BROADWAY BLVD. S.E. ALBUQUERQUE N.M., 87105
BUILDING AREA:	9,499 S.F.
BUILDING COVERAGE:	3.23%
PARKING REQUIRED:	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING)
*GENERAL RETAIL SMALL USE IS INCIDENTAL TO LIGHT VEHICLE FUELING	
	24 SPACES (8 SPACE/1000 SQ. FT. GFA FOR RESTAURANT)
	74 SPACES TOTAL
PARKING PROVIDED:	48 SPACES - AUTO 41 SPACES - TRUCK 89 SPACES - TOTAL
EXISTING FUEL DEPOT	10 SPACES (1 SPACE/1000 SF FOR HEAVY VEHICLE FUELING) 40 SPACES (4 SPACES/1000 SF FOR LIGHT VEHICLE FUELING) 24 SPACES (8 SPACE/1000 SQ. FT. GFA FOR ONE BUILDING) 74 SPACES TOTAL
HC PARKING REQUIRED:	4 SPACES (1 VAN)
HC PARKING PROVIDED:	4 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	3 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
BICYCLE SPACES REQUIRED:	8 SPACES (10% OF REQ. PARKING)
BICYCLE SPACES PROVIDED:	8 SPACES
EXISTING FUELING BUILDING	1364 SF
EXISTING PARKING FUELING DEPOT	10 SPACES
FUTURE PARKING FUELING DEPOT	10 SPACES

LEGEND

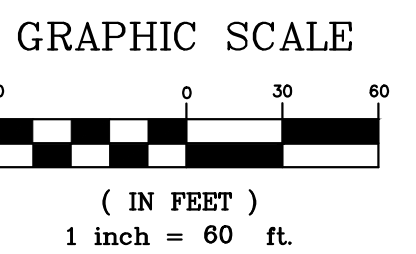
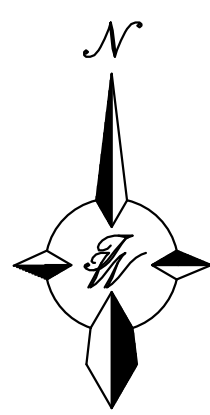
	CURB & GUTTER		EXISTING LANE
	BOUNDARY LINE		EXISTING STRIPING
	EASEMENT		ASPHALT PAVING AREA
	CENTERLINE		SPILL CONTAINMENT AREA
	RIGHT-OF-WAY		PARKING LOT LIGHT FIXTURE
	BUILDING		EXISTING TRAFFIC SIGNAL
	SIDEWALK		
	RETAINING WALL		
	STREET LIGHTS		
	LANE		
	STRIPING		
	EXISTING CURB & GUTTER		
	EXISTING BOUNDARY LINE		

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
<i>Herman Gallegos</i> Herman Gallegos	06-06-24
SOLID WASTE/ MANAGEMENT	Date
PLANNING DEPARTMENT	Date

MATCHLINE
SHEET SP-3



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

NOTE:

- 1 - AREA LIGHT SHALL BE FULLY SHIELDED AND MAXIMUM 35 FT HEIGHT
- 2 - THE EXISTING FUELING DEPOT ON SOUTHERN ~15 ACRE PORTION OF SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED IN THIS REQUEST AS AN AS BUILT SITE PLAN FOR CLARITY AND COMPLIANCE MOVING FORWARD
- 3 - STRUCTURE AND SIGN MATERIALS AND ANY FEATURES THERE IN SHALL COMPLY WITH THE GLARE AND REFLECTIVITY STANDARDS PER IDO 3-3(D)(2) REFLECTIVITY

REV. NO.	1	05-13-2024	BUILDING PERMIT COMMENTS	RMG
DATE			REMARKS	BY
REVISIONS				
ENGINEER'S SEAL	LOVE'S BROADWAY /SUNPORT BLVD			DRAWN BY SB
	TRAVEL CENTER SITE PLAN			DATE 04/02/24
				2022031_SP
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com			SHEET #	SP-2
VINCENT P. CARRICA P.E. #16212			JOB #	2022031

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: MAP 44 TR 64C2 EXC 0.30 AC X ALL TR 64C3A2 CONT 21.43 AC
3200 Broadway Blvd SE Albuquerque NM 87105

Request Description: Final Sign-Off for EPC - Loves Travel Station

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan Approved NA
- AMAFCA Approved NA
- Bernalillo County Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

Reggie Cho 6/21/2024
 Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL) Approved NA
- Traffic Impact Study (TIS) Approved NA
- Neighborhood Impact Analysis (NIA) Approved NA
- Bernalillo County Approved NA
- MRCOG Approved NA
- NMDOT Approved NA
- MRGCD Approved NA

 Transportation Department Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number _____
- Note: Commitment for service is required prior to application approval.

 ABCWUA Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

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3200 Broadway Blvd SE Albuquerque NM 87105

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- Sensitive Lands Analysis (5-2(C))
Grading and Drainage Plan
AMAFCA
Bernalillo County
NMDOT
MRGCD

Hydrology Department Date

Transportation:

- Traffic Circulations Layout (TCL)
Traffic Impact Study (TIS)
Neighborhood Impact Analysis (NIA)
Bernalillo County
MRCOG
NMDOT
MRGCD

Ernest Arroyo
Transportation Department
6/14/2024
Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

- Request for Availability submitted?
Availability Statement/Serviceability Letter Number
Note: Commitment for service is required prior to application approval.

ABCWUA Date

- Infrastructure Improvements Agreement (IIA*)
Solid Waste Department Signature on the Plan
Fire Marshall Signature on the Plan

* Prior to Final Site Plan approval submittals (include a copy of the recorded IIA)

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: MAP 44 TR 64C2 EXC 0.30 AC X ALL TR 64C3A2 CONT 21.43 AC
UPC: 101405533908840121

Request Description: Final Sign-Off for EPC - Loves Travel Station

Hydrology:

- Sensitive Lands Analysis (5-2(C)) _____ Approved _____ NA
- Grading and Drainage Plan _____ Approved _____ NA
- AMAFCA _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Hydrology Department

Date

Transportation:

- Traffic Circulations Layout (TCL) _____ Approved _____ NA
- Traffic Impact Study (TIS) _____ Approved _____ NA
- Neighborhood Impact Analysis (NIA) _____ Approved _____ NA
- Bernalillo County _____ Approved _____ NA
- MRCOG _____ Approved _____ NA
- NMDOT _____ Approved _____ NA
- MRGCD _____ Approved _____ NA

Transportation Department

Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

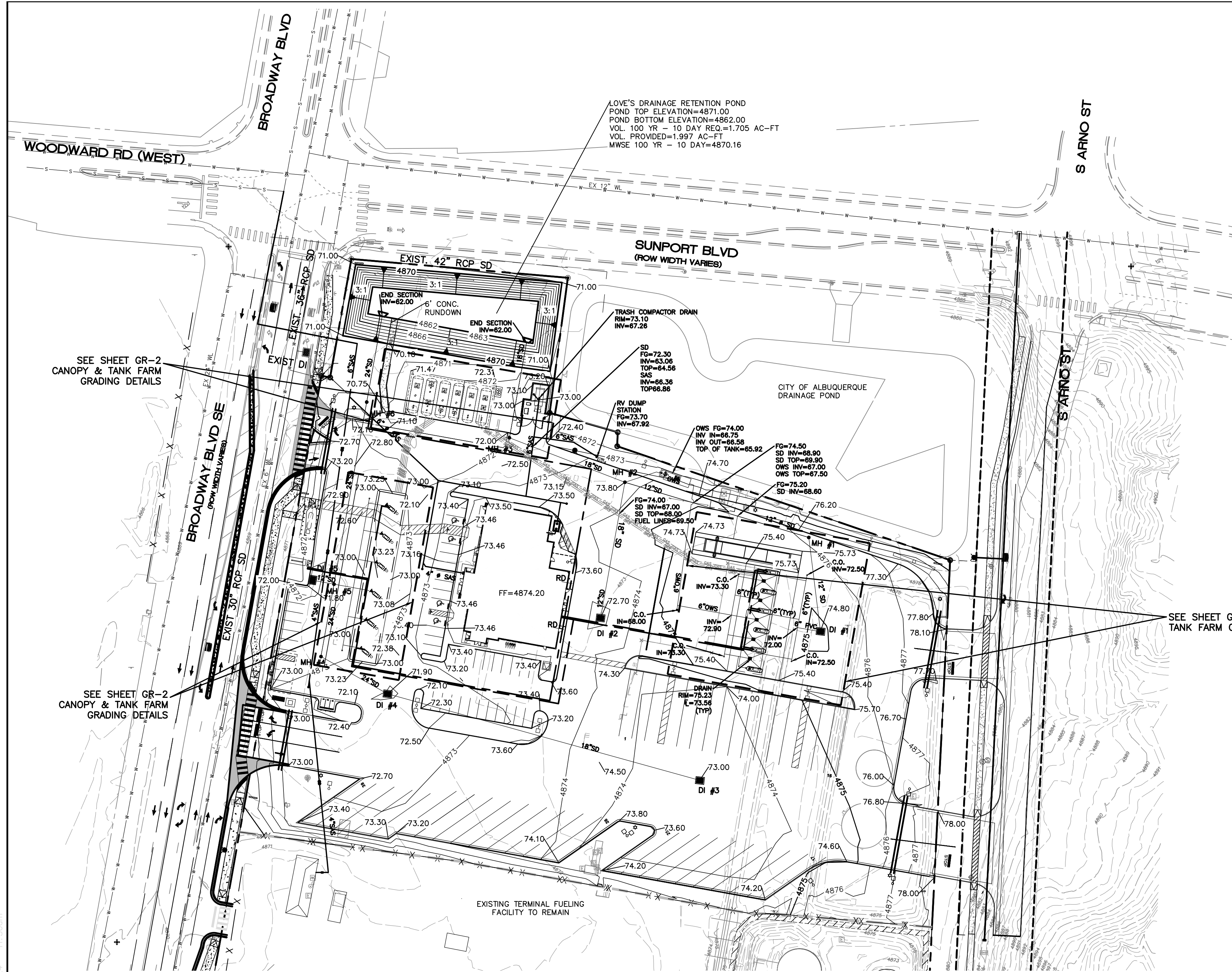
- Request for Availability submitted? ___ Yes ___ No ___ NA
- Availability Statement/Serviceability Letter Number _____
- Note: Commitment for service is required prior to application approval.


ABCWUA

6/21/24
Date

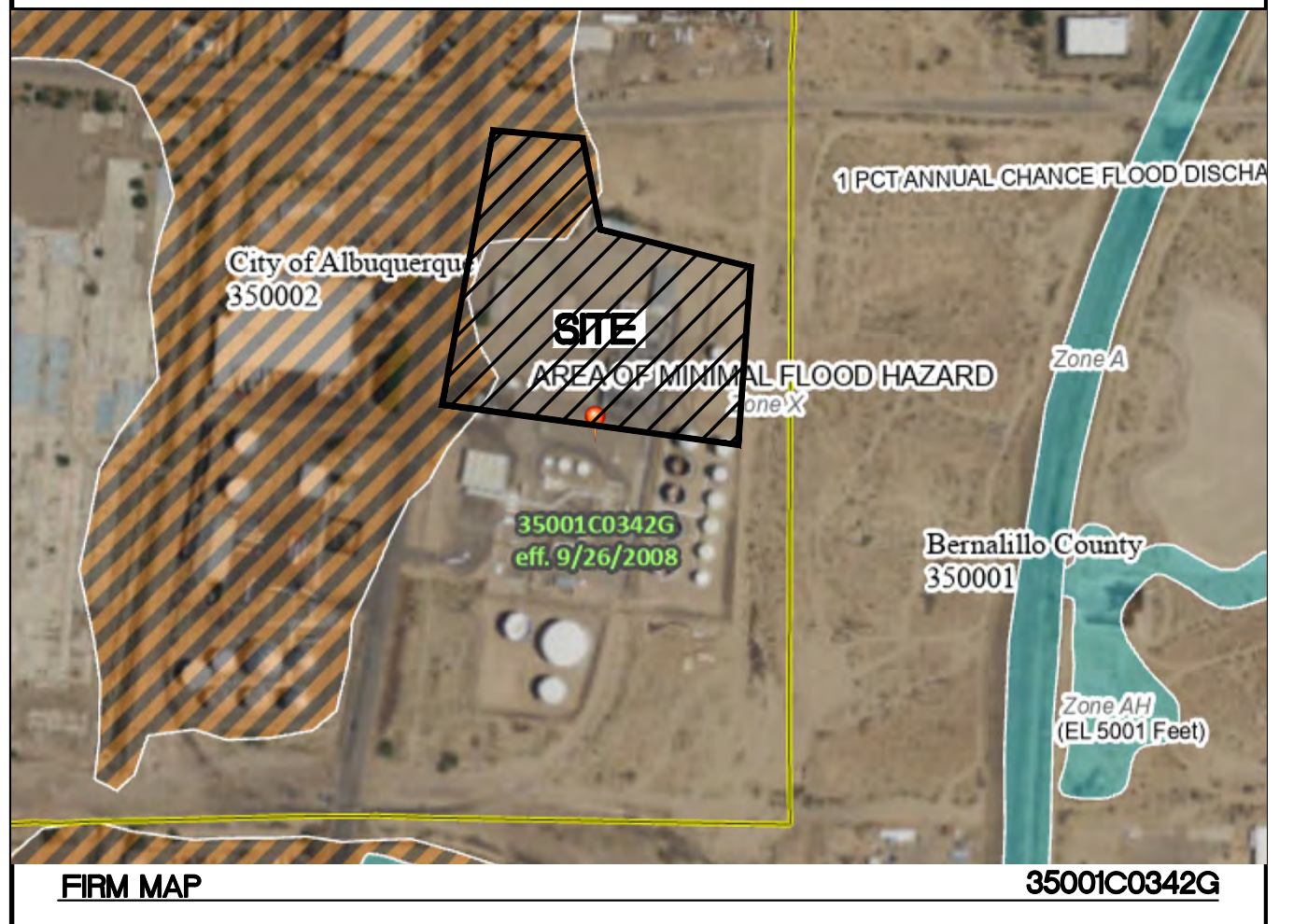
- Infrastructure Improvements Agreement (IIA*) _____ Approved _____ NA
- Solid Waste Department Signature on the Plan _____ Approved _____ NA
- Fire Marshall Signature on the Plan _____ Approved _____ NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.



SEE SHEET GR-2 CANOPY & TANK FARM GRADING DETAILS

SEE SHEET GR-2 CANOPY & TANK FARM GRADING DETAILS

SEE SHEET GR-2 CANOPY & TANK FARM GRADING DETAILS

STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH#1	6' DIA	4876.30	4870.61 (IN) 4870.51 (OUT)
MH#2	4' DIA	4873.80	4867.99 (EAST) 4866.18 (SOUTH & NORTH) 4866.08 (WEST)
MH#3	4' DIA	4872.00	4862.41 (IN) 4862.31 (OUT)
MH#4	4' DIA	4872.80	4865.70 (IN) 4865.60 (OUT)
MH#5	4' DIA	4872.40	4864.95 (IN) 4865.44 (SAS TOP)
MH#6	4' DIA	4871.20	4863.78 (IN) 4863.68 (OUT)
DI #1	TYPE D	4874.80	4871.80
DI #2	TYPE D	4872.70	4867.70
DI #3	TYPE D	4873.00	4869.50
DI #4	TYPE D	4871.90	4866.45 (IN) 4866.35 (OUT)
DI #5	TYPE D	4871.80	4869.00

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 05/15/24
BY: *Renee C. Smith*
HydroTrans # M14D038

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - RIGHT-OF-WAY
 - ▭ BUILDING
 - ▭ SIDEWALK
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - - - EXISTING CURB & GUTTER
 - - - EXISTING BOUNDARY LINE
 - 5010 EXISTING CONTOUR MAJOR
 - - - EXISTING CONTOUR MINOR
 - ⊙ PARKING LOT LIGHT FIXTURE

Weighted E Method

Zone: Zone 2
Developed Basins

Basin	Basin Area			Treatments				100-Year						
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs				
Loves	292,169.0	6.71	0.010	0%	0.00	25%	1.68	0%	0.00	75%	5.03	1.948	1,089	25.79
Total	292,169.0	6.707	0.01048		0.00		1.677		0.000		5.030		1.089	25.79

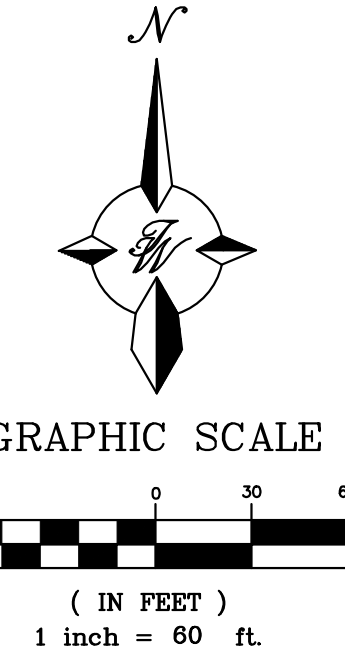
Equations:
Weighted E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)
Volume = Weighted E * Total Area
Flow = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d
*V*_{10-DAY} = *V*_{BASE} * *A*₀₁ * (*P*_{10-DAY} - *P*_{BASE})^{1/2} INFT
*P*_{10-DAYS} = 3.67 IN
*P*_{BASE} = 2.20 IN

LOVE'S POND 100YR, 24HR 47,417 CU.FT.
100YR, 10DAY 74,260 CU.FT.

DRAINAGE NARRATIVE:

THE PROPOSED LOVE'S TRAVEL CENTER IS TO BE CONSTRUCTED ON THE NORTHERN 6.71 ACRES OF THE EXISTING TERMINAL FUELING FACILITY. THE SITE IS CURRENTLY DEVELOPED WITH EXISTING BUILDINGS, PAVING AND ABOVE GROUND FUEL STORAGE TANKS. THE SITE CURRENTLY GENERALLY DRAINS FROM EAST TO WEST WITH SOME ONSITE PONDING AND SOME RUNOFF ENTERING THE BROADWAY BOULEVARD RIGHT OF WAY. THE EXISTING FACILITIES WITHIN THE NORTHERN 6.71 ACRES WILL BE REMOVED AND THE NEW LOVE'S CONSTRUCTED WITH AUTO AND TRUCK FUELING AREAS, A C-STORE, A CAT SCALE, AND ASSOCIATED PARKING FIELDS. DRAINAGE FROM THE PROPOSED DEVELOPMENT WILL BE CONVEYED TO A PROPOSED RETENTION POND LOCATED IN THE NORTHWEST CORNER OF THE SITE. THE POND WILL HAVE THE CAPACITY TO RETAIN THE 100-YEAR, 10-DAY STORM VOLUME.

DRAINAGE ON THE EXISTING TERMINAL FUELING FACILITY SOUTH OF THE LOVE'S TRAVEL CENTER DEVELOPMENT WILL REMAIN AS IT CURRENTLY EXISTS.



ENGINEER'S SEAL VINCENT P. CARRICA NEW MEXICO 16212 REGISTERED PROFESSIONAL ENGINEER	LOVE'S BROADWAY/ SUNPORT BLVD GRADING PLAN	DRAWN BY sb
		DATE 04-02-24
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1
VINCENT P. CARRICA P.E. #16212		JOB # 2022031

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LEGEND

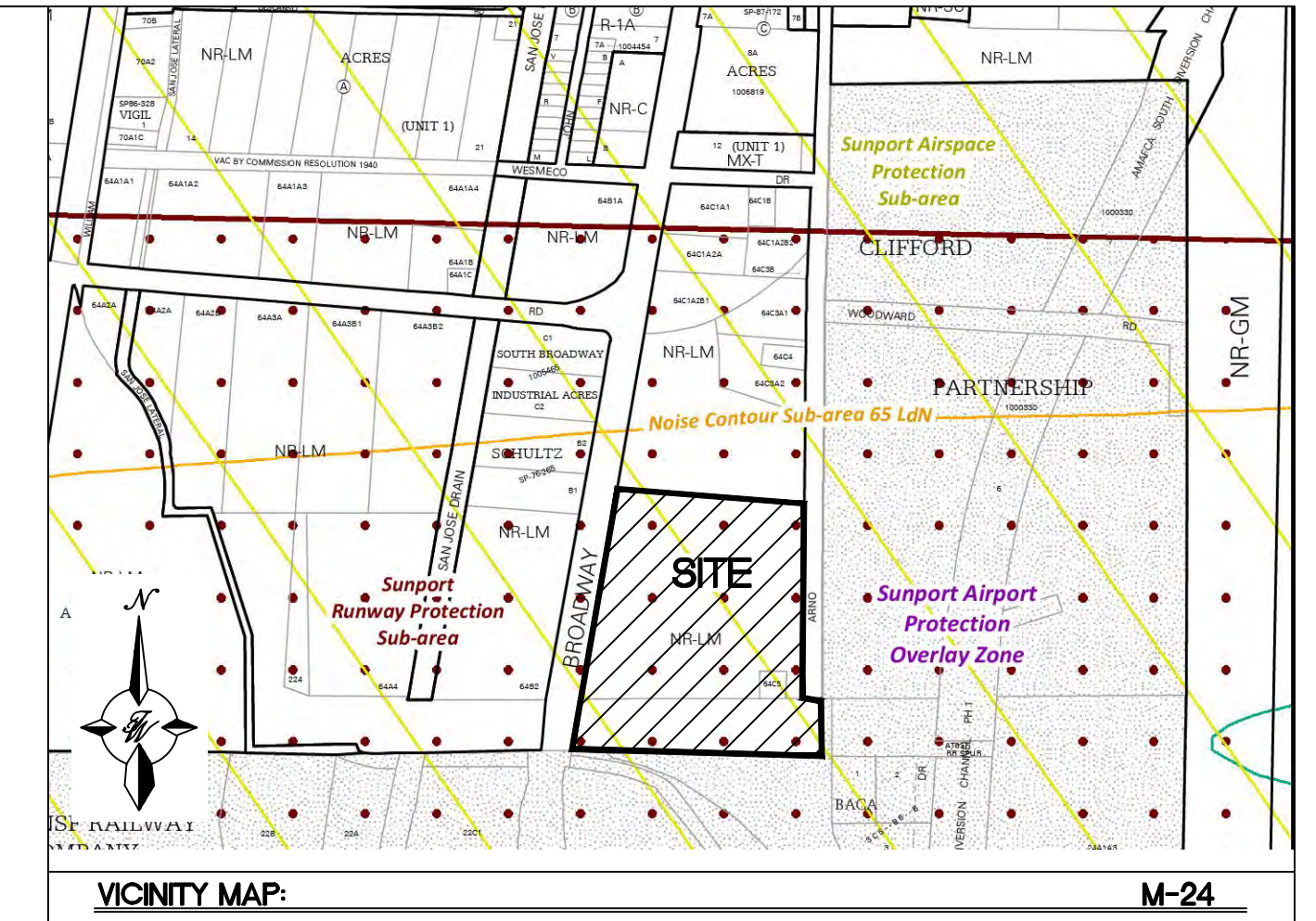
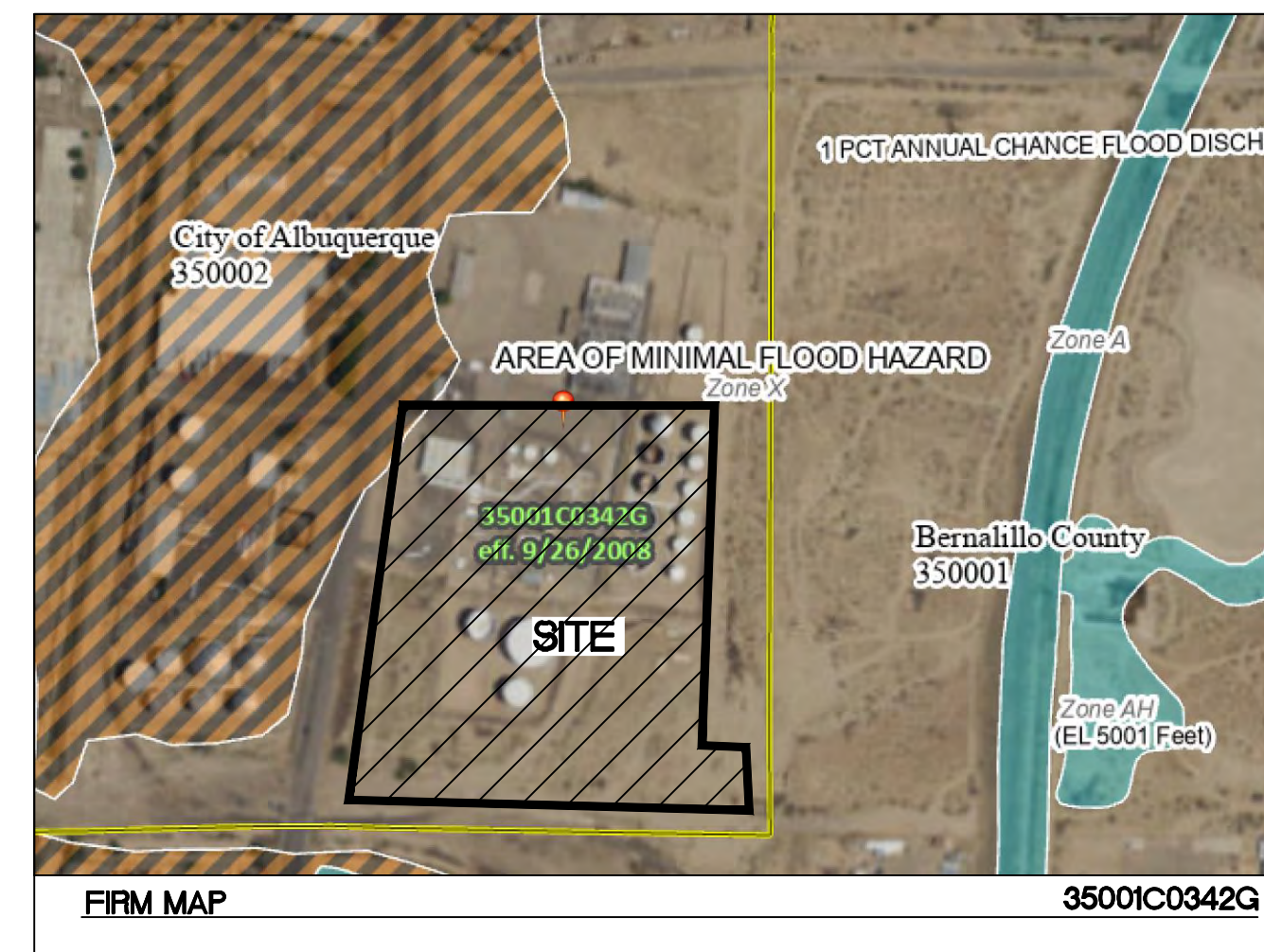
- CURB & GUTTER
- BOUNDARY LINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL

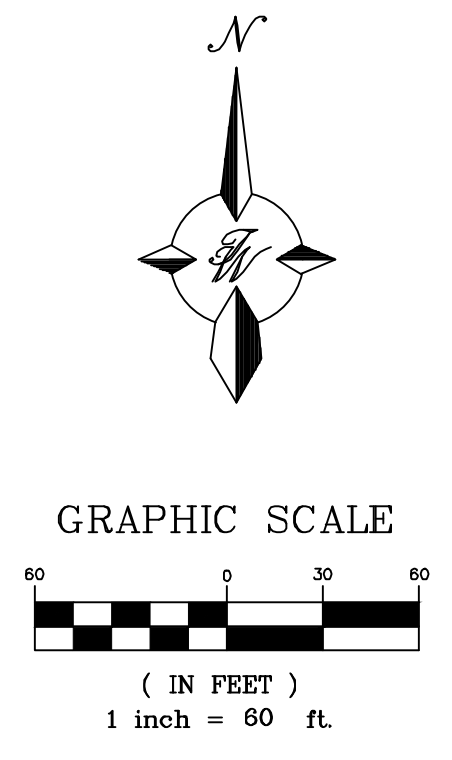


City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 05/15/24
BY: *Vincent P. Carrica*
HydroTeam #: M14D038

THE APPROVAL OF THESE PLANS/DRAWINGS SHALL NOT BE CONSIDERED TO BE A GUARANTEE OF THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREON. THE CITY OF ALBUQUERQUE SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE PLANS/DRAWINGS. SUCH APPROVED PLANS SHALL NOT BE DELETED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN POLLED ON THE DEVELOPMENT.

NOTE: THE EXISTING FUELING DEPOT ON THE SOUTHERN 15 ACRE (±) PORTION OF THE SITE IS TO REMAIN AS DEVELOPED AND IS INCLUDED AS AN AS-BUILT FOR CLARITY AND COMPLIANCE MOVING FORWARD



CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	LOVE'S BROADWAY /SUNPORT BLVD	DRAWN BY SB
	GRADING AND DRAINAGE PLAN	DATE 04/02/24
VINCENT P. CARRICA P.E. #16212	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2022031_GR PLAN
		SHEET # GR-2
		JOB # 2022031

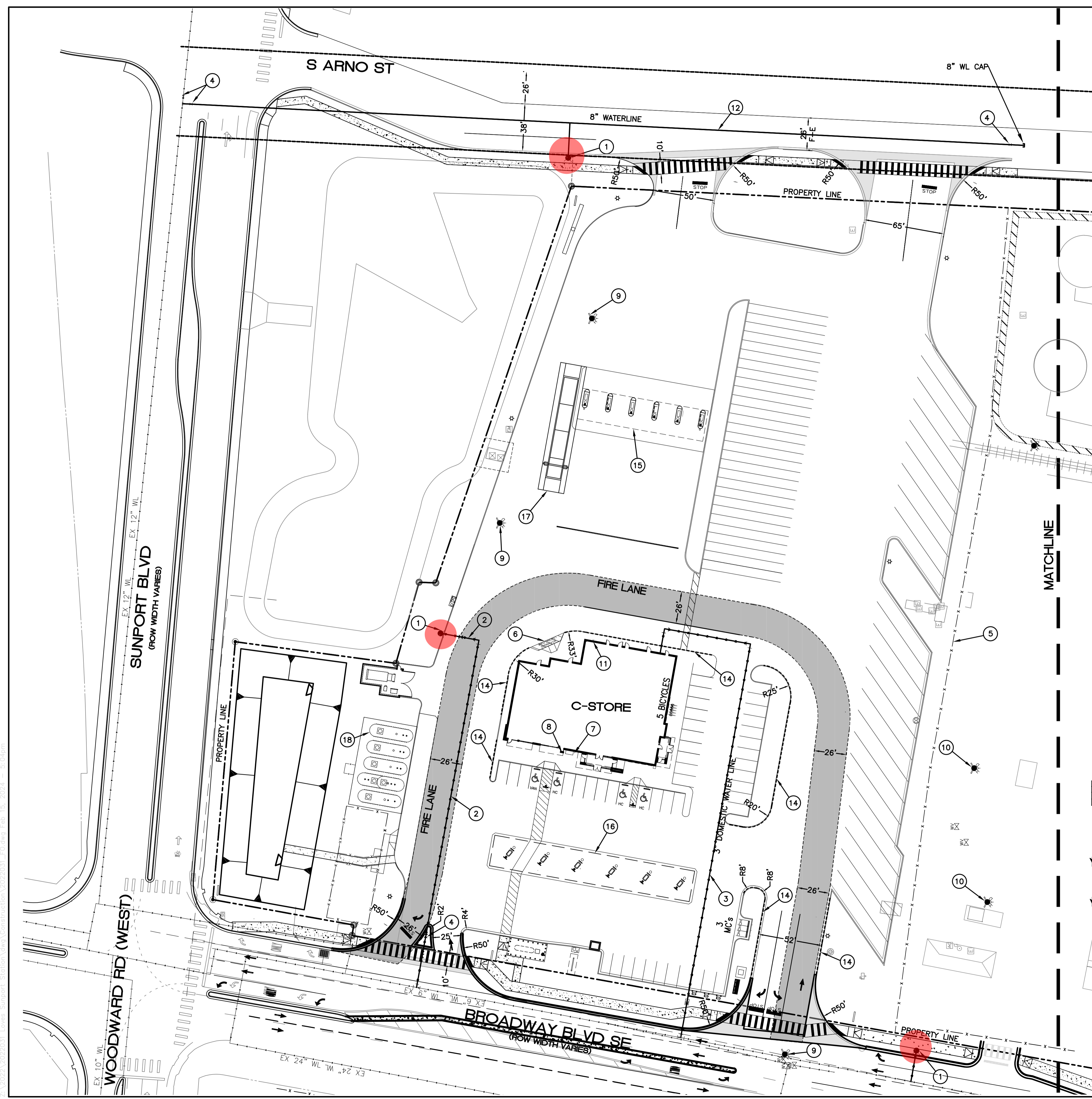


ALBUQUERQUE FIRE MARSHAL'S DIVISION OFFICE PLANS CHECKING DIVISION
PERMIT
 PERMIT NUMBER: FP 23-015270
 APPROVED DATE: 02/22/24
APPROVED

THESE CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NEPA STANDARDS. THIS PERMIT IS VALID FOR 90 DAYS. FIRE DEPARTMENT INSPECTION REQUIRED.

FIRE FLOW: 2,250 GPM @ 2 HYDRANT

VICINITY MAP M-14



- KEYED NOTES**
- ① PROPOSED FIRE HYDRANT W/ GATE VALVE
 - ② 6" FIRELINE
 - ③ 3" DOMESTIC WL SERVICE
 - ④ PUBLIC GATE VALVE
 - ⑤ 8' CHAIN-LINK FENCE
 - ⑥ LOADING ZONE
 - ⑦ BUILDING ADDRESS
 - ⑧ KNOX BOX
 - ⑨ EXISTING FIRE HYDRANT TO BE REMOVED
 - ⑩ EXISTING FIRE HYDRANT TO REMAIN
 - ⑪ NOT USED
 - ⑫ 8" WATERLINE
 - ⑬ NOT USED
 - ⑭ FIRE LANE MARKINGS
 - ⑮ TRUCK CANOPY (25' X 103')
 - ⑯ AUTO CANOPY (25' X 164')
 - ⑰ CAT SCALE
 - ⑱ UNDERGROUND FUEL TANK FARM

LOVES TRAVEL STOP
 PORTION OF LOT 64C2 OF MRGCD MAP NO.44
 CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY

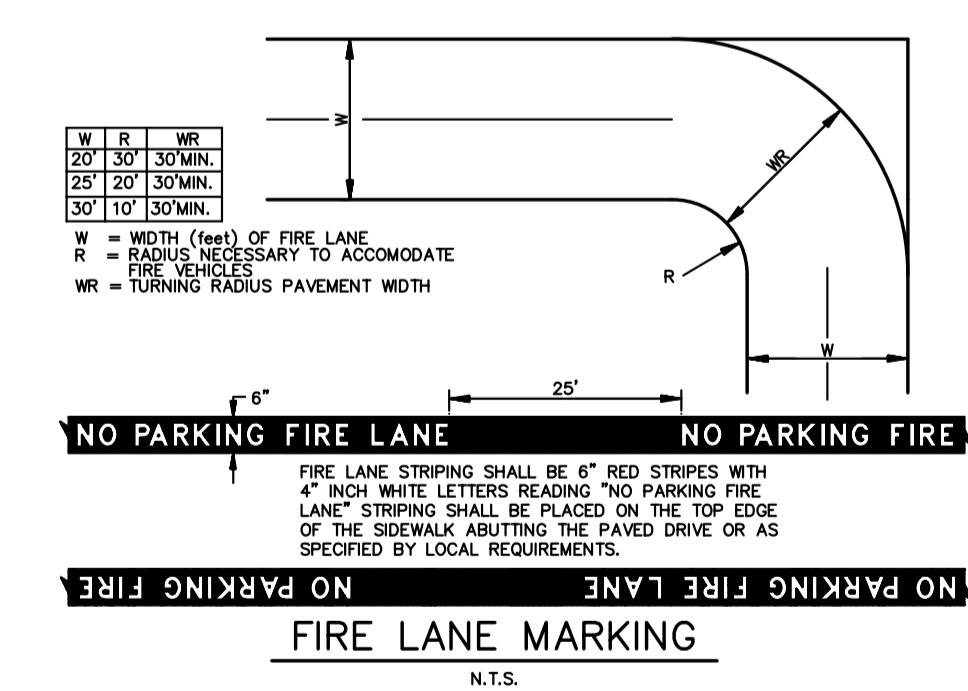
GAS STATION AND CONVENIENCE STORE
 OCCUPANCY TYPE: GROUP M/MERCANTILE

LOT AREA: 292,169 SF (6.707 ACRES)
 BUILDING TOTAL AREA: 10,447 SF
 CONSTRUCTION TYPE: TYPE II B

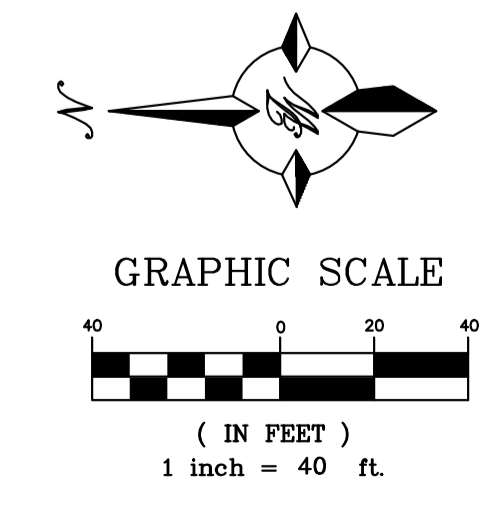
NOT SPRINKLED
 MAX BUILDING HEIGHT 28' (1 STORIES)

FIRE FLOW 2,250 GPM
 REQ. FIRE HYDRANTS 2

- NOTES**
1. ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
 2. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
 3. KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
 4. STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF THE FIRE DEPT. VEHICLE ACCESS



- LEGEND**
- CURB & GUTTER
 - - - BOUNDARY LINE
 - - - EASEMENT
 - ▭ BUILDING
 - ▨ SIDEWALK
 - EXISTING CURB & GUTTER
 - 36" SD — STORM SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATERLINE
 - - - EX. 8" SAS — EXISTING SANITARY SEWER LINE
 - - - EXISTING PVC WATERLINE
 - PROPOSED HYDRANT



ENGINEER'S SEAL VINCENT P. CARRICA P.E. #16212	BROADWAY/SUNPORT BLVD	DRAWN BY SB
	FIRE 1 PLAN	DATE 11-22-23
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	2022031_FO
		SHEET # FO-1
		JOB # 2022031

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