

LEGAL DESCRIPTION
 TRACTS A LANDS OF STEWART WALKER & TRACT 238C1A2A2
 M.R.G.C.D. MAP NO. 38

- NOTES**
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT OR SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - ALL IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER PER CITY STANDARD DRAWINGS 2415A & 2430.

SITE DATA - BUILDING A

PROPOSED USAGE: MIXED USE
 LOT AREA: 135,912 SF (3.12 ACRES)
 BUILDING AREA: 192,595 SF
 BUILDING FOOTPRINT: 49,426 SF
 OUTDOOR SEATING REQ. 2,800 SF (PROVIDED BY FUTURE RESTAURANTS)
 ZONING: MX-H

PARKING REQUIRED

HOTEL GUESTS: 107 SPACES
 (1 SPACE/UNITX107UNITS)
 GENERAL RETAIL: 20 SPACES
 (3.5 SPACES/GFAX5,430 GFA)
 RESTAURANT: 82 SPACES
 (5.6 SPACES/GFAX14,465 GFA)
 209 SPACES

TOTAL PROVIDED: 112 SPACES
 ALL PARKING SPACES ARE EQUIPPED WITH 240 EV CHARGING CAPABILITY WHICH PROVIDES A 2 SPACE FOR 1 EV SPACE CREDIT= 226 PARKING SPACES

BICYCLE SPACES REQUIRED: 14 SPACES
BICYCLE SPACES PROVIDED: 16 SPACES (4-4 SPACE BIKE)
ACCESSIBLE PARKING REQUIRED: 8 SPACES
ACCESSIBLE PARKING PROVIDED: 8 SPACES
ACCESSIBLE VAN SPACES: 2 (SEE NMBC TABLE 1106.1)

MOTORCYCLE SPACES REQUIRED: 4 SPACES
MOTORCYCLE PROVIDED: 4 SPACES

LANDSCAPE REQUIRED: 2,893 SF
LANDSCAPE PROVIDED: 3,418 SF

PROJECT NUMBER: PR-2022-007153
APPLICATION NUMBER: SI-2023-001646

Is an Infrastructure List required? Yes No If Yes, then a set of approved DRC plans with a work order is required for city construction within Public Right-of-Way or for construction of public improvements.

DPT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	04/25/2024
PARKS AND RECREATION DEPARTMENT	04/25/2024
HYDROLOGY	04/25/2024
CODE ENFORCEMENT	Date
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	05/09/2024
PLANNING DEPARTMENT	Date

KEYED NOTES

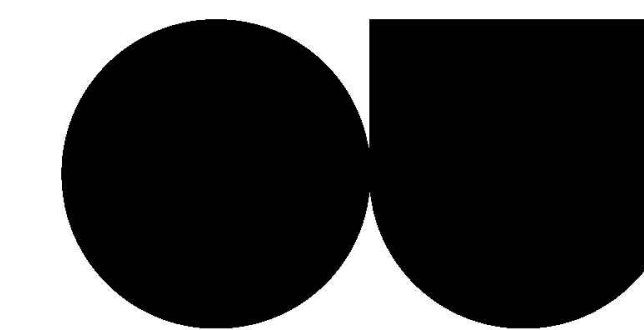
- CONCRETE EXPANSION JOINT PER COA STD DWG #2450
- 6' WIDE UNIDIRECTIONAL ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2441
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- NEW PEDESTRIAN SIDEWALK PER COA STD DWG 2430
- 6' VALLEY GUTTER PER COA STD DWG 2420
- BUILDING SIGN. EXACT LOCATION TO BE COORDINATED WITH OWNER.
- ADA PUBLIC ACCESS PATHWAY
- BICYCLE RACK. SEE DETAIL SHEET DET-1
- STANDARD LIGHT POLE. SEE DETAIL SHEET, DET-2
- REQUIRED OUTDOOR SEATING AND GATHERING AREA. SEATING TO BE PROVIDED BY FUTURE RESTAURANTS
- 4'X8' MOTORCYCLE PARKING W/SIGN SEE DETAIL ON SHEET DET-1
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- TURNED DOWN CONCRETE SIDEWALK PER SHEET DET-1

SIGHT TRIANGLE NOTE:
 LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- LIGHT
- LANDSCAPE AREA
- EXISTING SANITARY SEWER MAN HOLE

	1904 BELLAMAH AVE NW ALBUQUERQUE, NM	DRAWN BY SB
	TIERRA WEST, LLC 5571 MIDWAY PARK PL. NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DATE 05-11-23 DRAWING
TRAFFIC CIRCULATION LAYOUT		SHEET # SP-1
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868		JOB # 2022046



OFFICE UNTITLED ARCHITECT

4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230
P: 310.730.6698

GENERAL PLANTING NOTES SCHEDULE

CODE	DESCRIPTION
GP-01	IN CASE OF DISCREPANCY IN PLANT QUANTITIES SHOWN ON THE PLANT LEGEND AND THOSE SHOWN ON THE PLANTING PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BID AND INSTALLATION. NO ADDITIONAL PAYMENT WILL BE MADE FOR ANY DISCREPANCIES IN QUANTITIES BETWEEN THE PLANTING PLAN AND THE PLANT LIST.
GP-02	IF THERE IS A DISCREPANCY IN THE FIELD OR NURSERY BETWEEN THE CONTAINER SIZE CALLED OUT UNDER "REMARKS" AND HEIGHT & SPREAD CALLED OUT UNDER "INSTALLED SIZE", THE SPECIFIED PLANT MUST MEET HEIGHT & SPREAD REQUIREMENTS SPECIFIED UNDER "INSTALLED SIZE". EVEN IF A LARGER CONTAINER SIZE IS REQUIRED TO MEET THESE SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER.
GP-03	FILTER FABRIC SHALL BE MIN. 4 OZ. NON-WOVEN NEEDLE-PUNCHED POLYPROPYLENE (MIRAFI OR EQUIVALENT), OVERLAP ENDS 3" AND TURN DOWN EDGES 6".
GP-04	THE TOP OF MULCH SHALL BE 1" BELOW TOP OF ADJACENT CONCRETE SURFACES.
GP-05	THE CONTRACTOR SHALL PRUNE LOWER BRANCHES OF DECIDUOUS TREES AS DIRECTED BY LANDSCAPE ARCHITECT IN THE FIELD.
GP-08	THE CONTRACTOR SHALL INSTALL TREES PER DETAIL A1/LP501.
GP-09	THE CONTRACTOR SHALL INSTALL SHRUBS PER DETAIL A2/LP501.
GP-10	AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED FOR ALL PLANT MATERIAL. THE SYSTEM WILL BE CONTROLLED BY AN AUTOMATIC CONTROLLER. PLANTS WILL BE IRRIGATED BY LOW WATER USE BUBBLERS. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE INSTALLED IN A HEATED ENCLOSURE TO PROTECT THE DOMESTIC WATER SUPPLY FROM CROSS-CONTAMINATION.
GP-11	THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.
GP-12	VISIBILITY, LANDSCAPING, FENCING, AND SIGNS SHALL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3 AND 8 FEET IN HEIGHT (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE LOCATED IN THE CLEAR SIGHT TRIANGLE.
GP-13	GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.

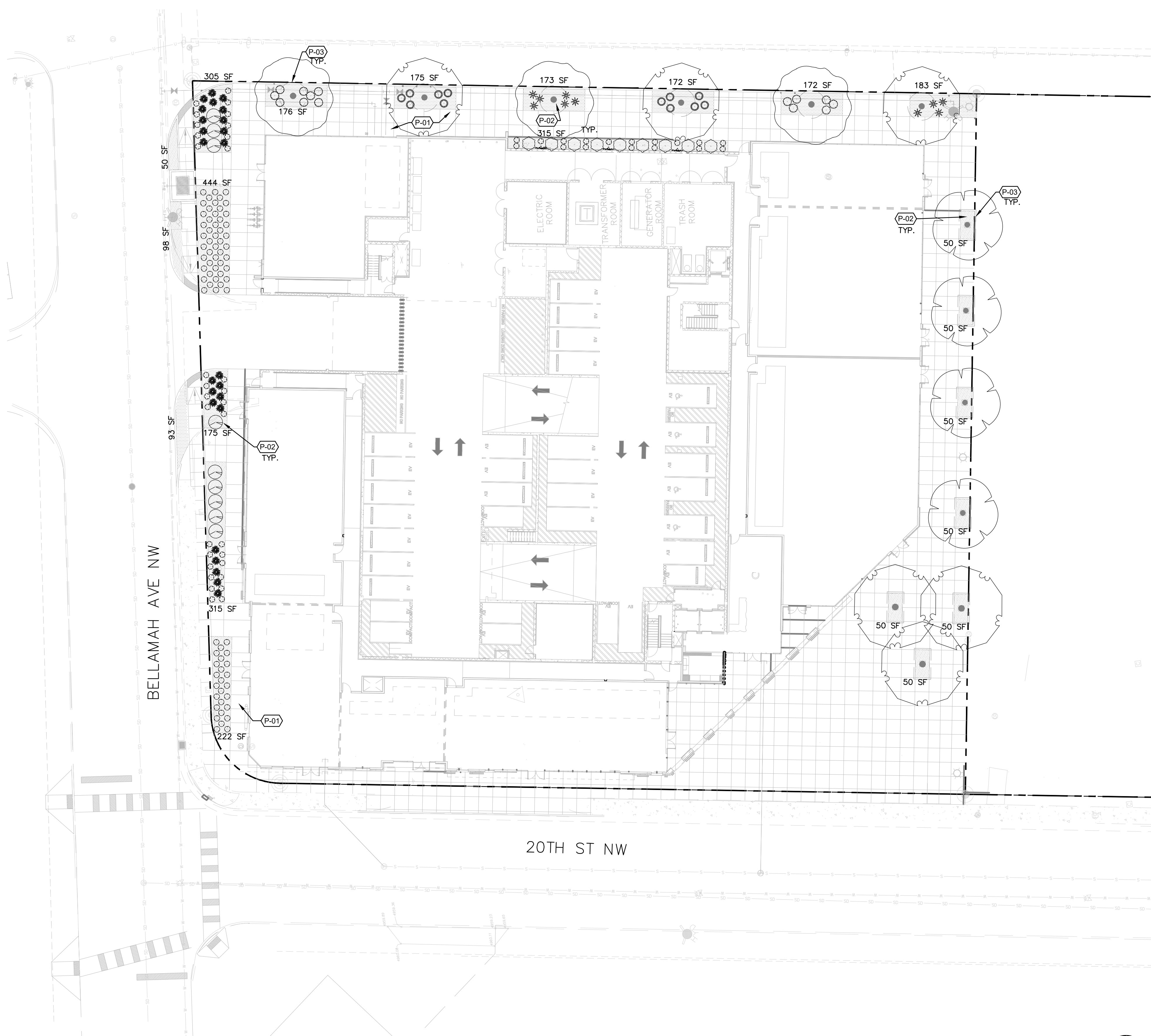
PLANTING NOTES SCHEDULE

CODE	DESCRIPTION
P-01	CONCRETE SIDEWALK, SEE SITE PLAN
P-02	GROUND COVER MULCH (SHALL BE A COMBINATION OF CRUSHED GRAVEL AND ORGANIC MULCH).
P-03	5' RADIUS AROUND TREE SHALL HAVE ORGANIC MULCH IN LANDSCAPE AREA AROUND TREE WITH NO FILTER FABRIC, SEE DETAIL A1 & A3/LP501

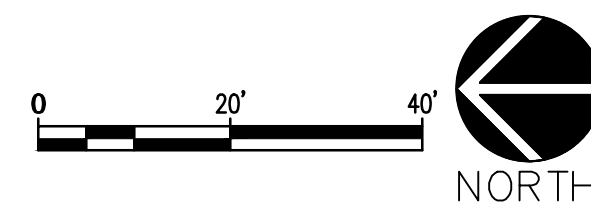
PLANT SCHEDULE

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.
TREES						
	3	* ALLEE LACEBARK ELM	ULMUS PARVIFOLIA 'ALLEE' TM	2" CAL.	60'	35'
	4	* EMERALD SUNSHINE ELM	ULMUS PROPINQUA 'JFS-BIEBERICH' TM	2" CAL.	20'	20'
	3	* FRONTIER ELM	ULMUS X 'FRONTIER'	2" CAL.	30'	30'
	3	* SHUMARD OAK	QUERCUS SHUMARDII	2" CAL.	40'	30'
SHRUBS						
	14	* DESERT MOUNTAIN TURPENTINE BUSH	ERICAMERIA LARCIFOLIA 'DESERT MOUNTAIN'	5 GAL.	3'	3'
	9	* STARN THOMPSON BROOM	BACCHARIS X 'STARN'	5 GAL.	4'	6'
DESERT ACCENTS & GRASSES						
	12	* BLONDE AMBITION BLUE GRAMA	BOUTELOUA GRACILIS 'BLONDE AMBITION'	3 GAL.	3'	3'
	74	* KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	5 GAL.	4'	2'
	24	* PALE LEAF YUCCA	YUCCA PALLIDA	5 GAL.	4'	3'
	9	* SPINELESS PRICKLY PEAR	OPUNTIA ELLISIANA	5 GAL.	4'	6'
	10	* YELLOW HESPERALOE	HESPERALOE PARVIFLORA 'YELLOW'	3 GAL.	4'	4'
VINES						
	3	BOSTON IVY	PARTHENOISSUS TRICUSPIDATA	1 GAL.	15'	15'
GROUNDCOVERS						
	48	* CREEPING GERMANDER	TEUCRIUM ARQANIUM	1 GAL.	3"	2'

* NOTE: PLANTS WITH AN ASTERISK NEXT TO THEM ARE LISTED IN THE APPROVED PLANT LIST FROM CITY OF ALBUQUERQUE'S LOW WATER USE, DROUGHT TOLERANT, OR XERIC SPECIES.



A1 PLANTING PLAN
SCALE: 1"=20'-0"



SAWMILL (LOT A)

1904 BELLAMAH AVE NW, ALBUQUERQUE, NM 87104

OU PROJECT NO. 21.002.000

#	REVISION DESCRIPTION	DATE



Seal

License Name: Christian Robert
Profession Name: OFFICE UNTITLED, INC.
License Number: 448



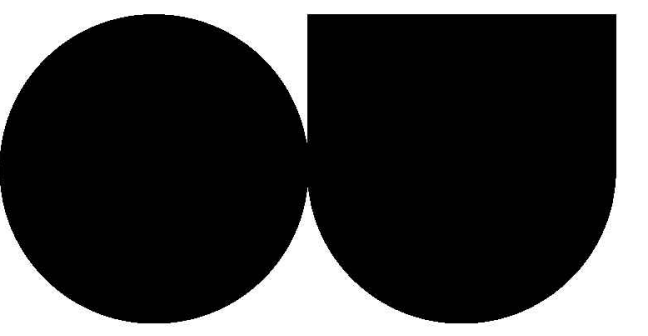
LANDSCAPE PLAN

LP101

GENERAL NOTES

LANDSCAPE CALCULATIONS

GENERAL LANDSCAPE REQUIREMENTS:	
GROSS LOT AREA:	68,714 SF
BUILDING COVERAGE:	49,426 SF
NET LOT AREA:	19,270 SF
REQUIRED LANDSCAPE IS 15% OF NET LOT AREA	
TOTAL LANDSCAPE AREA REQUIRED:	2,893 SF
LANDSCAPE AREA PROVIDED:	3,418 SF
REQUIRED VEGETATIVE COVERAGE (75% OF THE REQUIRED LANDSCAPE AREA):	
VEGETATIVE COVER REQUIRED:	2,170 SF
VEGETATIVE COVER PROVIDED:	9,970 SF
REQUIRED GROUND LEVEL VEGETATIVE COVERAGE (25% OF THE REQUIRED LANDSCAPE AREA):	
VEGETATIVE GROUND COVER REQUIRED:	723 SF
VEGETATIVE GROUND COVER PROVIDED:	1,731 SF
REQUIRED GROUND COVER MULCH (CRUSHED GRAVEL NOT TO EXCEED 75%):	
ORGANIC MULCH REQUIRED (MIN. 15% REQUIRED LANDSCAPE AREA):	724 SF
ORGANIC MULCH PROVIDED:	935 SF

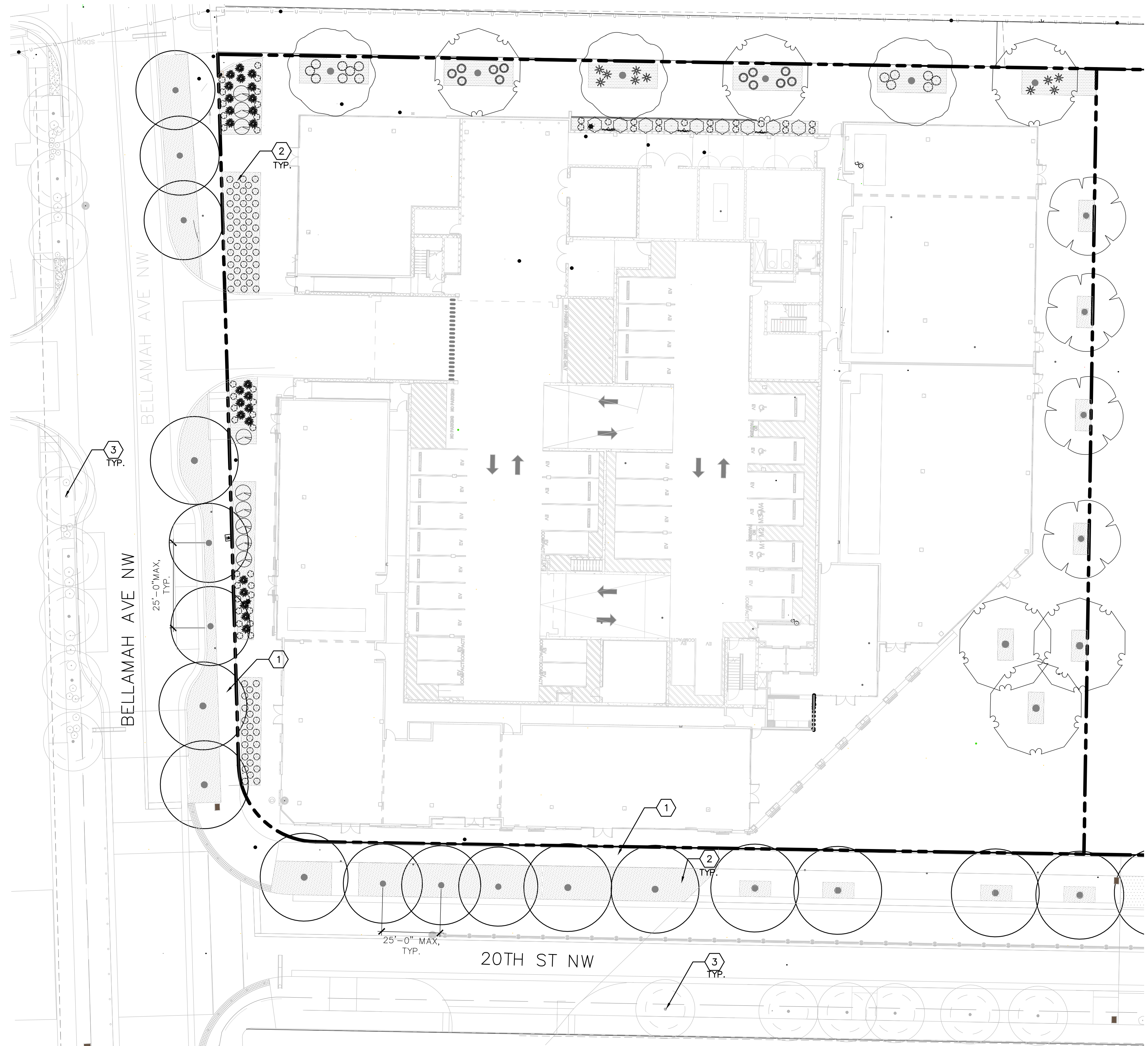


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SAWMILL (LOT A)

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87104
OU PROJECT NO. 21.002.000



PLANT SCHEDULE

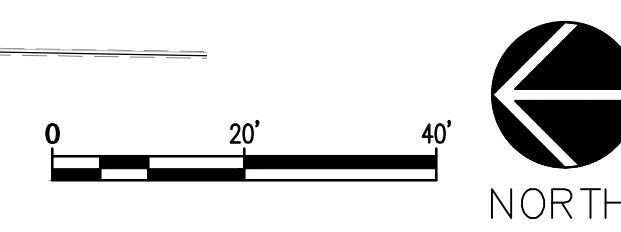
SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	REMARKS	HT.	SPD.
TREES						
(Symbol)			ROW IMPROVEMENTS STREET TREE. PLEASE REFERENCE COA STREETScape PROJECT# 617579			
(Symbol)	4 *	EMERALD SUNSHINE ELM	ULMUS PROPINQUA 'JFS-BIEBERICH' TM	2" CAL.	20'	20'
(Symbol)	3 *	FRONTIER ELM	ULMUS X 'FRONTIER'	2" CAL.	30'	30'
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PLANTING NOTES SCHEDULE

CODE	DESCRIPTION
P-01	CONCRETE SIDEWALK, SEE SITE PLAN
P-02	GROUNDCOVER MULCH (SHALL BE A COMBINATION OF CRUSHED GRAVEL AND ORGANIC MULCH).
P-03	EXISTING TREE TO REMAIN

A1 PLANTING PLAN WITH FUTURE STREETScape DESIGN
SCALE: 1"=20'-0"

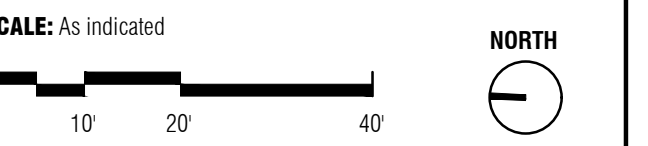


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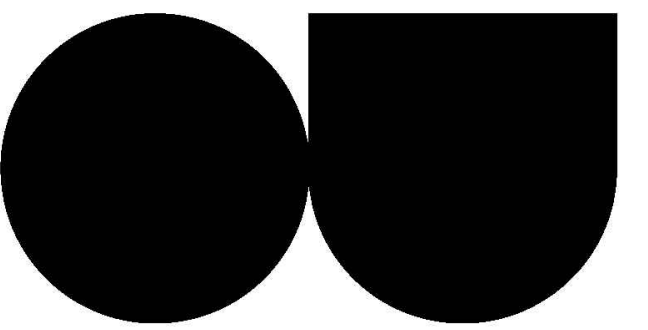
Seal

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LANDSCAPE PLAN INCLUDING FUTURE STREETScape DESIGN
LP102

GENERAL NOTES



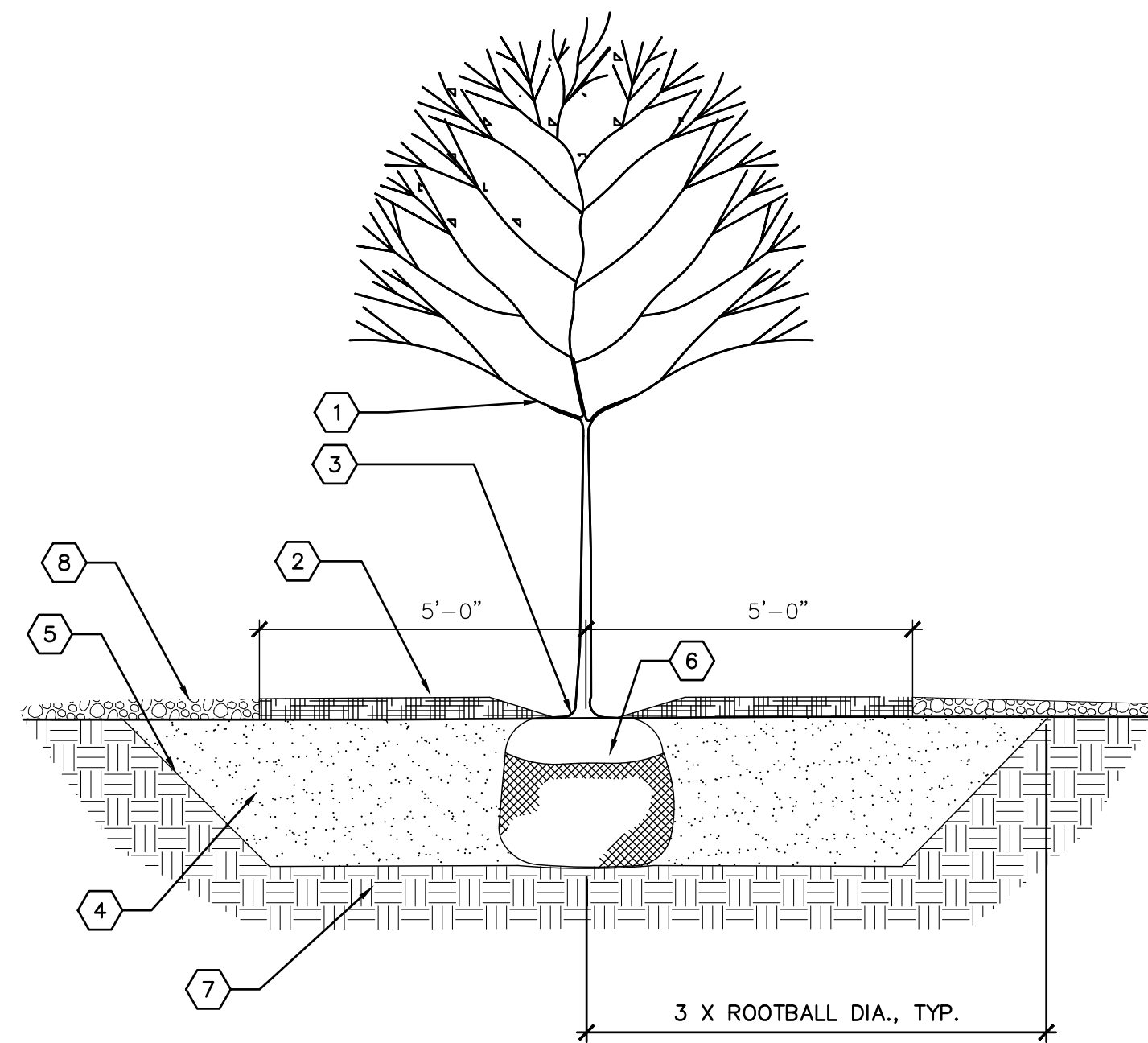
OFFICE UNTITLED

ARCHITECT
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SAWMILL (LOT A)

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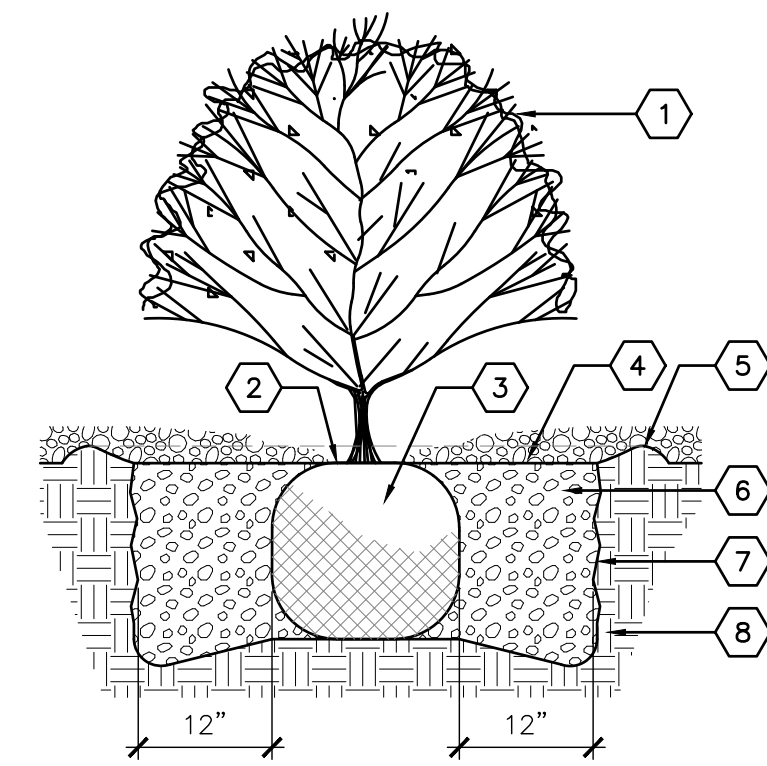
OU PROJECT NO: 21.002.000



KEYED NOTES

1. TREE LOCATION AND SPECIES PER PLAN.
2. SHREDDED ORGANIC MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM TREE TRUNK.
3. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE FLUSH WITH SUB-GRADE (BOTTOM OF MULCH).
4. THOROUGHLY MIX BACKFILL AND SOIL AMENDMENTS PRIOR TO INSTALLATION - SEE SPECIFICATIONS.
5. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
6. PLACE TREE IN HOLE AND STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE AND/OR ROPE. AND BURLAP PRIOR TO BACKFILL.
7. UNDISTURBED SUBGRADE.
8. MULCH- SEE PLAN.

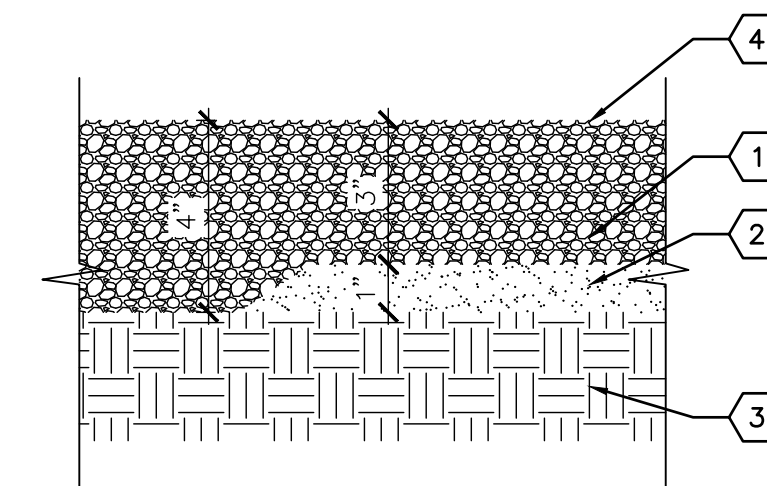
A1 TREE PLANTING ON FLAT SURFACE
NOT TO SCALE



KEYED NOTES

1. SHRUB - SEE PLAN FOR SPECIES AND LOCATIONS.
2. PLANT DEPTH AS SAME AS MAINTAINED AT NURSERY.
3. PLACE SHRUB IN HOLE AND STRAIGHTEN.
4. MULCH - SEE PLAN. HOLD BACK 2" FROM SHRUB STEMS.
5. 6-INCH HEIGHT EARTHEN BERM.
6. BACKFILL AND SOIL AMENDMENTS - SEE SPECIFICATIONS. MIX THOROUGHLY PRIOR TO INSTALLATION.
7. SCARIFY EDGE OF PLANTING HOLE, CONTINUOUS ALL SIDES.
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A2 SHRUB PLANTING ON FLAT SURFACE
NOT TO SCALE



KEYED NOTES

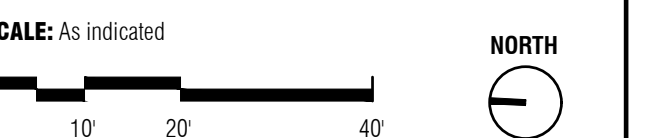
1. GRAVEL MULCH - SEE PLANTING PLAN.
2. ORGANIC MULCH - SEE PLANTING PLAN.
3. SUBGRADE.
4. FINISH GRADE.

A3 ORGANIC MULCH UNDER GRAVEL
3" = 1'-0"

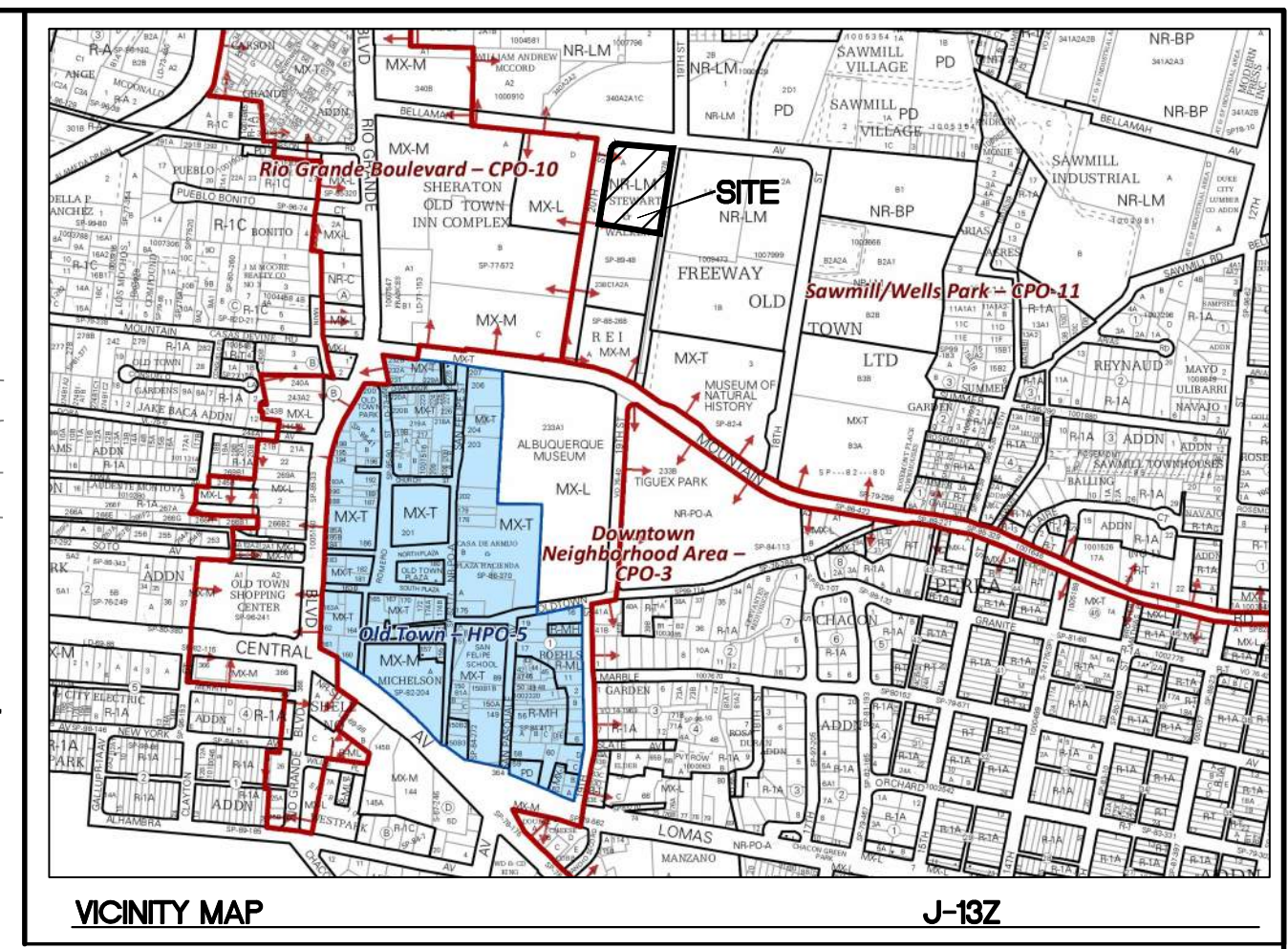
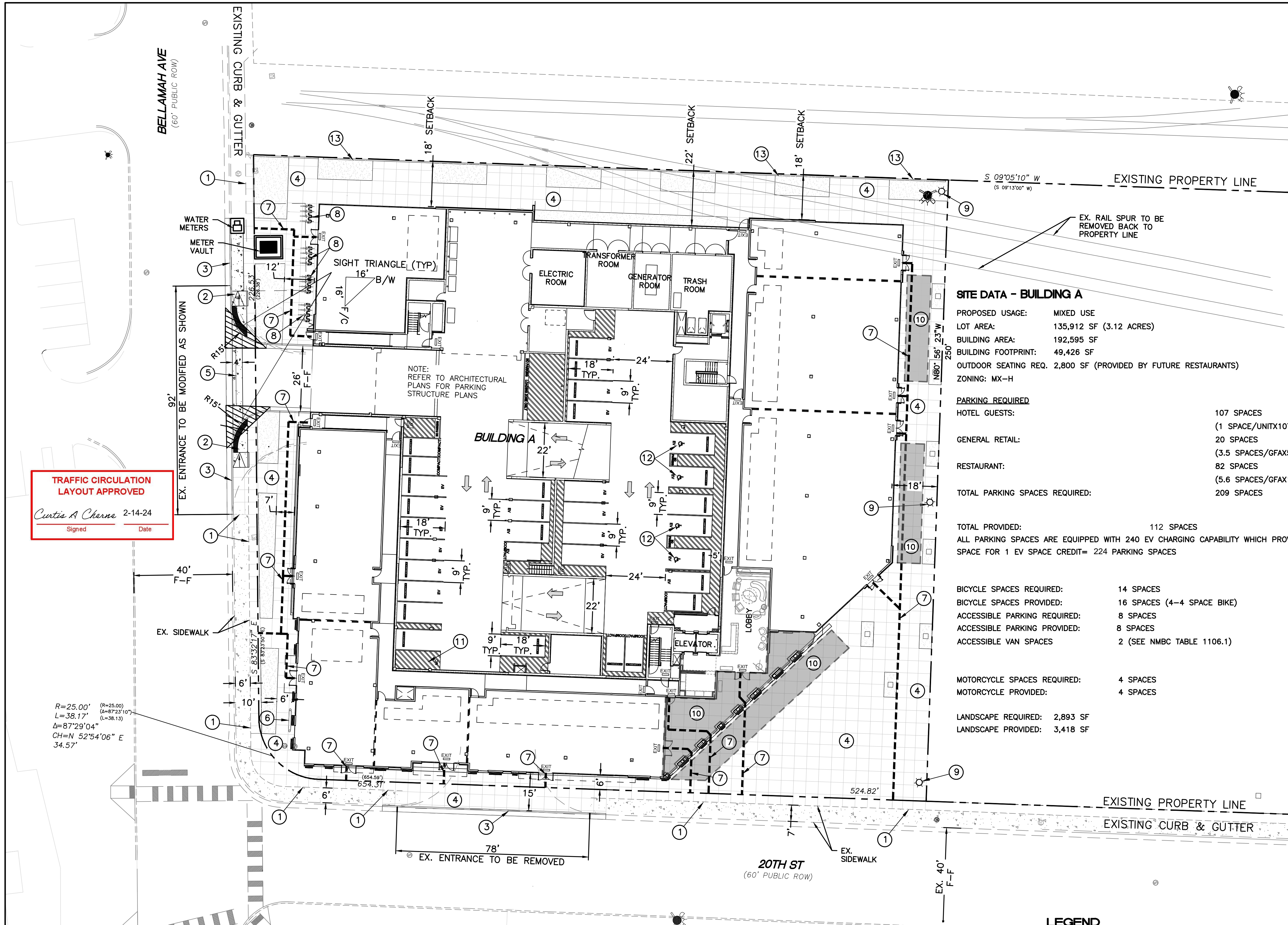
#	REVISION DESCRIPTION	DATE

Seal

License Name: Christian Robert
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License Number: 448



PLANTING DETAILS



LEGAL DESCRIPTION:
TRACTS A LANDS OF STEWART WALKER & TRACT 238C1A2A2
M.R.G.C.D. MAP NO. 38

NOTES:

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 LANDSCAPE PROVIDED: 3,418 SF

PROJECT NUMBER: PR-2022-007153
APPLICATION NUMBER: _____

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DFT SITE DEVELOPMENT PLAN APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
ABCWUA	Date
PARKS AND RECREATION DEPARTMENT	Date
HYDROLOGY	Date
CODE ENFORCEMENT	Date
* ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
SOLID WASTE MANAGEMENT	Date
PLANNING DEPARTMENT	Date

TRAFFIC CIRCULATION LAYOUT APPROVED
 Curtis A. Cherns 2-14-24
 Signed Date

R=25.00' (R=25.00)
 L=38.17' (L=38.13)
 Δ=87°29'04"
 CH=N 52°54'06" E
 34.57'

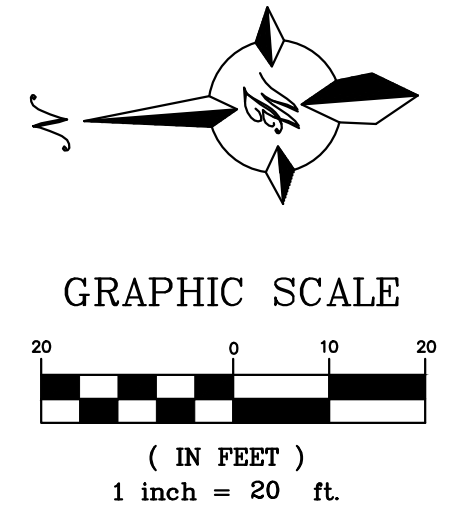
KEYED NOTES

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- 6' WIDE UNIDIRECTIONAL ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2441
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- 6' VALLEY GUTTER PER COA STD DWG 2420
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- ADA PUBLIC ACCESS PATHWAY
- BICYCLE RACK. SEE DETAIL SHEET DET-1
- STANDARD LIGHT POLE. SEE DETAIL SHEET, DET-2
- REQUIRED OUTDOOR SEATING AND GATHERING AREA. SEATING TO BE PROVIDED BY FUTURE RESTAURANTS
- 4'X8' MOTORCYCLE PARKING W/SIGN SEE DETAIL ON SHEET DET-1
- ACCESSIBLE PARKING SPACE W/ PARKING STOP AND SIGN PER DETAIL ON SHEET DET-1
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LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- BUILDING
- PROPOSED SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- LIGHT
- LANDSCAPE AREA
- EXISTING SANITARY SEWER MAN HOLE



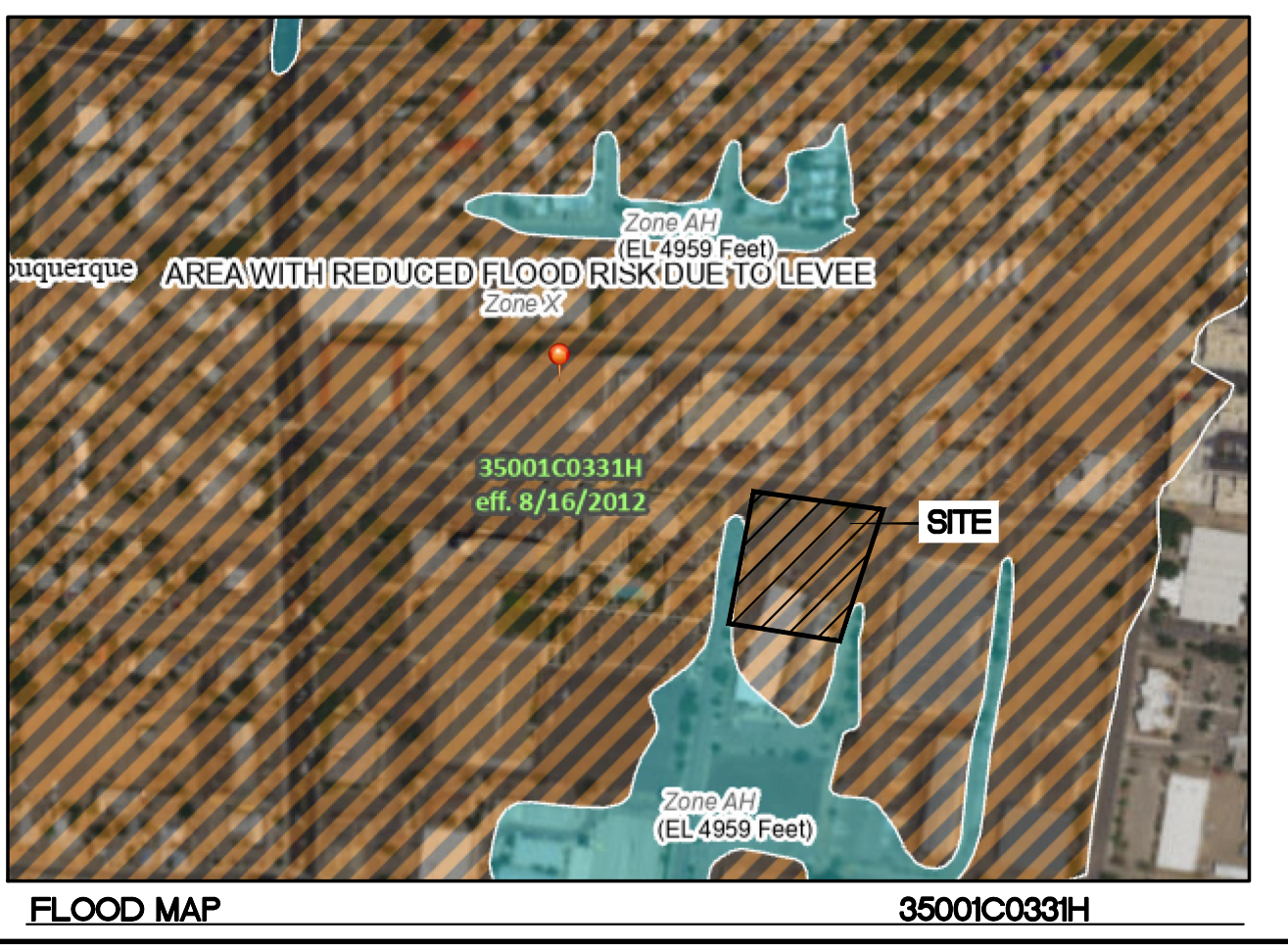
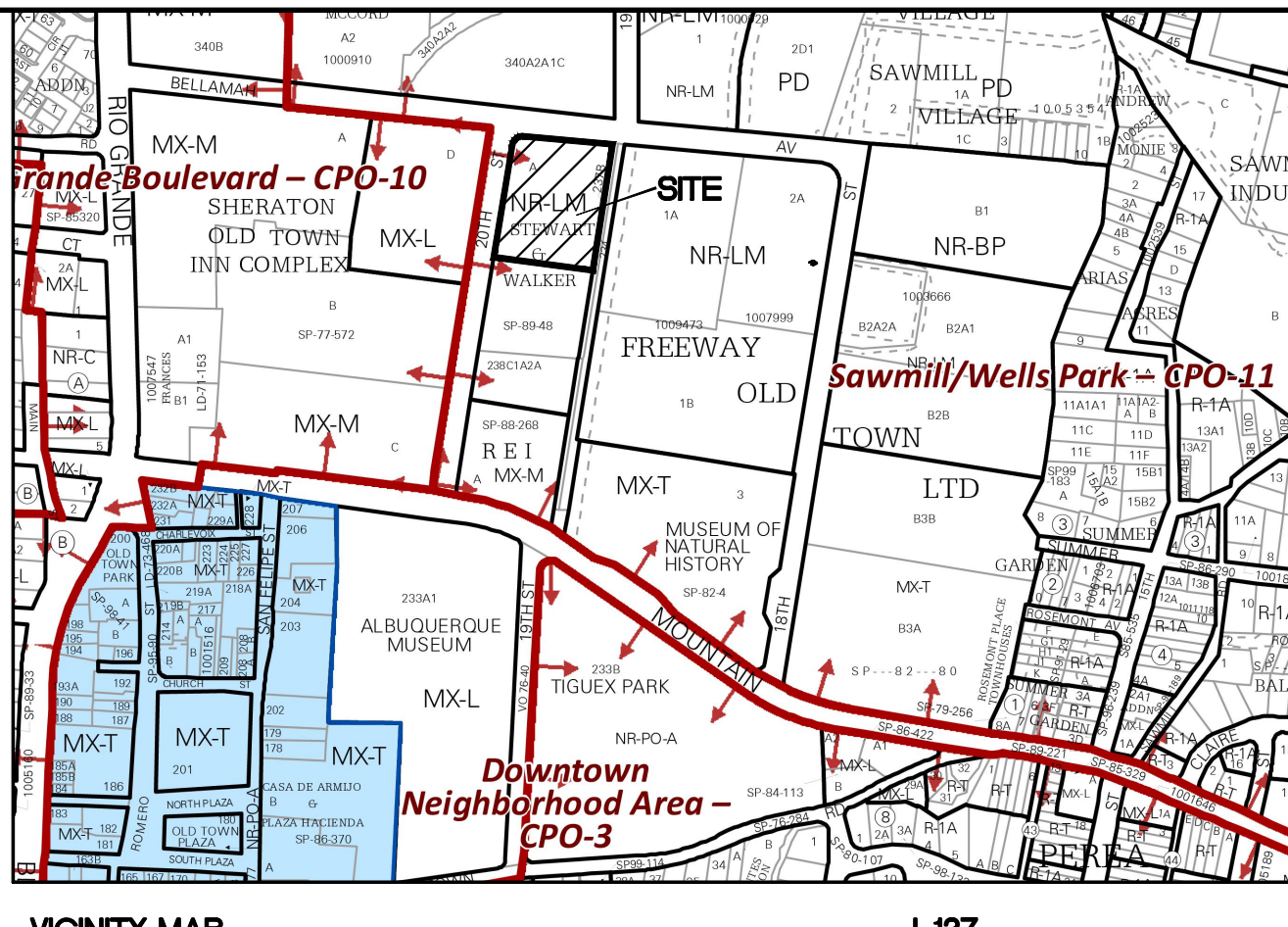
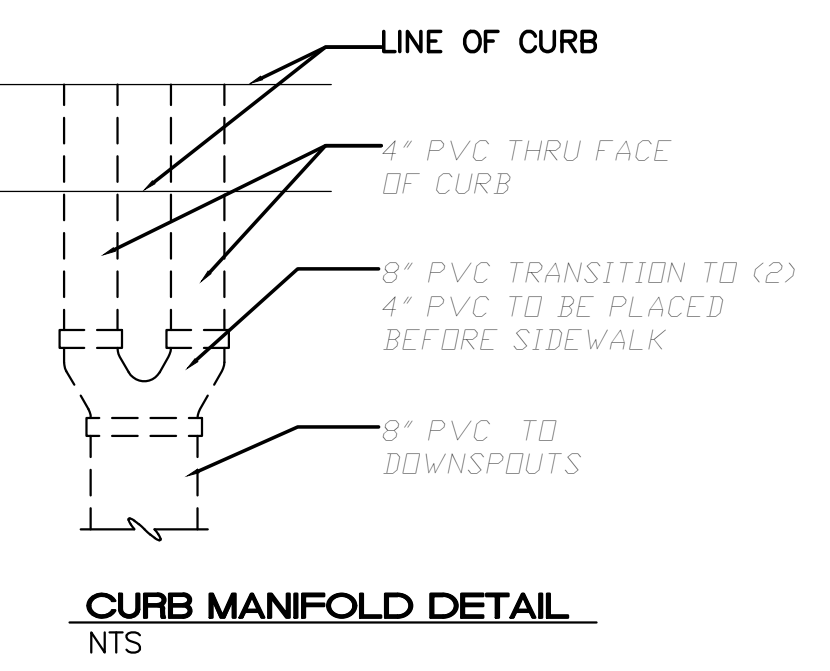
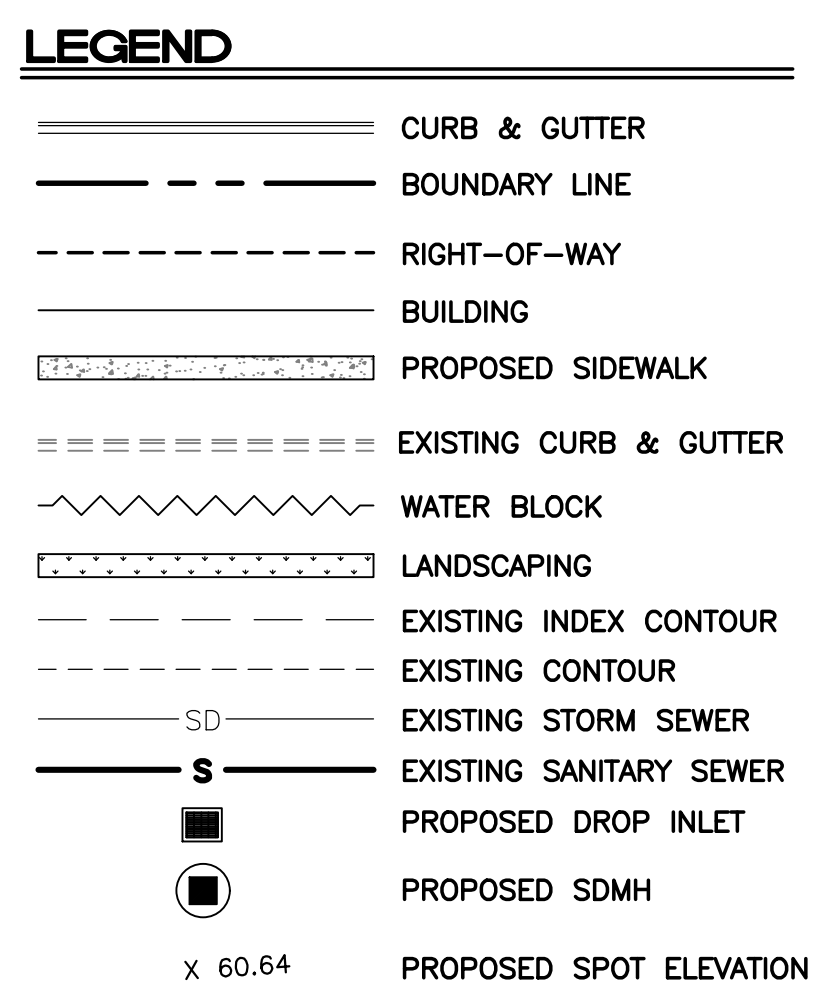
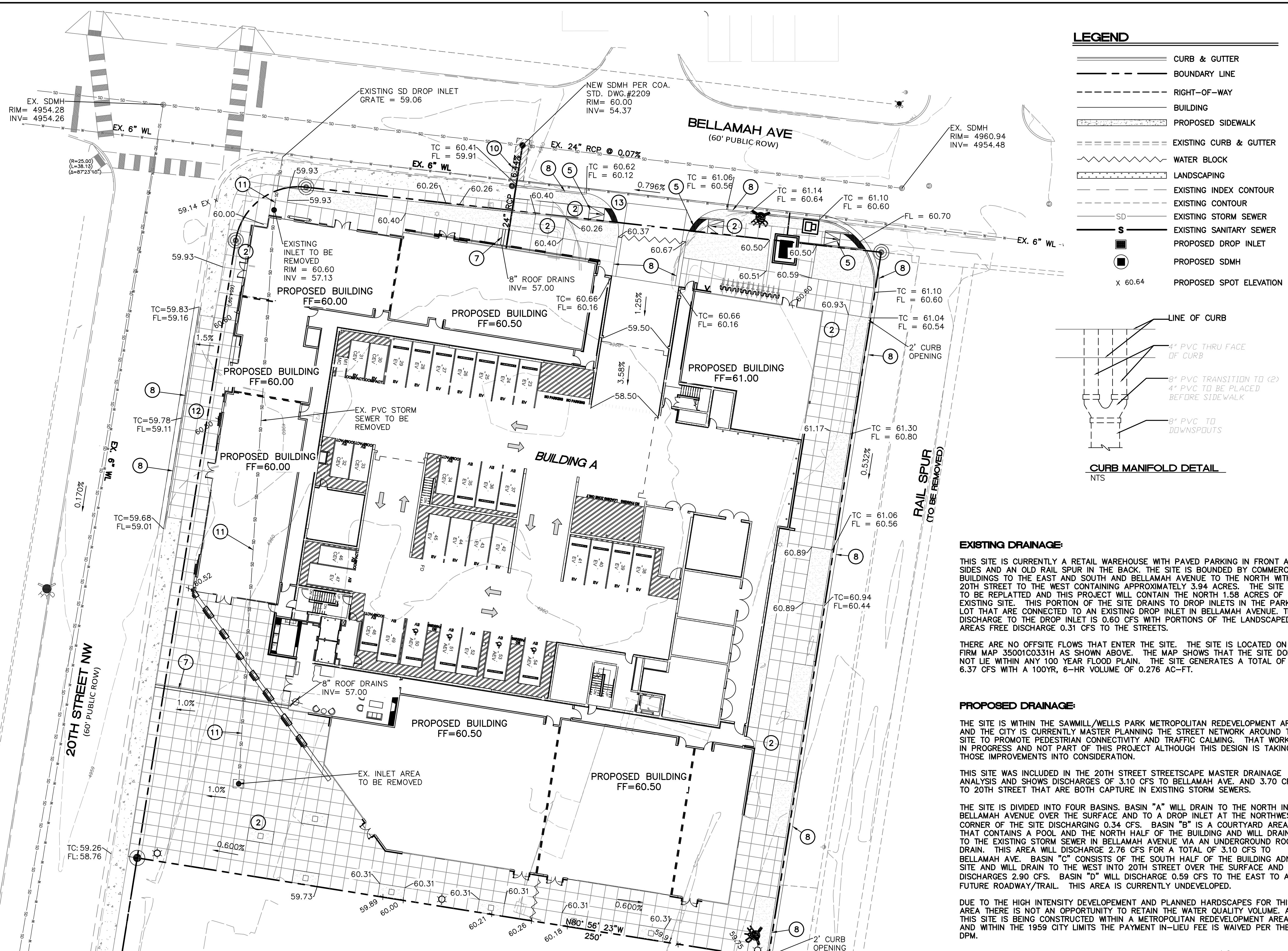
ENGINEER'S SEAL
 RONALD R. BOHANNAN
 NEW MEXICO
 7868
 PROFESSIONAL ENGINEER
 02-13-24
 RONALD R. BOHANNAN
 P.E. #7868

1904 BELLAMAH AVE NW
 ALBUQUERQUE, NM

TRAFFIC CIRCULATION LAYOUT

TIERRA WEST, LLC
 5571 MIDWAY PARK PL NE
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 858-3100
 www.tierrawestllc.com

DRAWN BY SB
 DATE 05-11-23
 DRAWING
 SHEET # SP-1
 JOB # 2022046



- EROSION CONTROL NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
 - ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 1/4\"/>

- KEYED NOTES**
- CONSTRUCT 4\"/>

- CONSTRUCT ZERO FLUSH CURB & GUTTER AT ELEVATIONS SHOWN
- REMOVE & REPLACE EXISTING ASPHALT PAVING PER COA STD DWG #2405B
- REMOVE & REPLACE EXISTING 4\"/>

EXISTING DRAINAGE:
 THIS SITE IS CURRENTLY A RETAIL WAREHOUSE WITH PAVED PARKING IN FRONT AND SIDES AND AN OLD RAIL SPUR IN THE BACK. THE SITE IS BOUNDED BY COMMERCIAL BUILDINGS TO THE EAST AND SOUTH AND BELLAMAH AVENUE TO THE NORTH WITH 20TH STREET TO THE WEST CONTAINING APPROXIMATELY 3.94 ACRES. THE SITE IS TO BE REPLATTED AND THIS PROJECT WILL CONTAIN THE NORTH 1.58 ACRES OF THE EXISTING SITE. THIS PORTION OF THE SITE DRAINS TO DROP INLETS IN THE PARKING LOT THAT ARE CONNECTED TO AN EXISTING DROP INLET IN BELLAMAH AVENUE. THE DISCHARGE TO THE DROP INLET IS 0.60 CFS WITH PORTIONS OF THE LANDSCAPED AREAS FREE DISCHARGE 0.31 CFS TO THE STREETS.

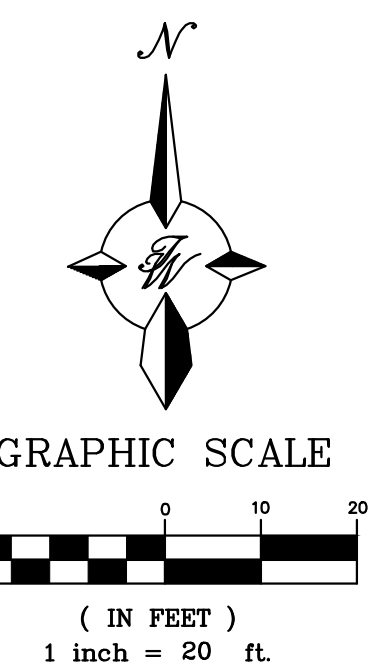
THERE ARE NO OFFSITE FLOWS THAT ENTER THE SITE. THE SITE IS LOCATED ON FIRM MAP 35001C0331H AS SHOWN ABOVE. THE MAP SHOWS THAT THE SITE DOES NOT LIE WITHIN ANY 100 YEAR FLOOD PLAIN. THE SITE GENERATES A TOTAL OF 6.37 CFS WITH A 100YR, 6-HR VOLUME OF 0.276 AC-FIT.

PROPOSED DRAINAGE:
 THE SITE IS WITHIN THE SAWMILL/WELLS PARK METROPOLITAN REDEVELOPMENT AREA AND THE CITY IS CURRENTLY MASTER PLANNING THE STREET NETWORK AROUND THIS SITE TO PROMOTE PEDESTRIAN CONNECTIVITY AND TRAFFIC CALMING. THAT WORK IS IN PROGRESS AND NOT PART OF THIS PROJECT ALTHOUGH THIS DESIGN IS TAKING THOSE IMPROVEMENTS INTO CONSIDERATION.

THIS SITE WAS INCLUDED IN THE 20TH STREET STREETScape MASTER DRAINAGE ANALYSIS AND SHOWS DISCHARGES OF 3.10 CFS TO BELLAMAH AVE. AND 3.70 CFS TO 20TH STREET THAT ARE BOTH CAPTURED IN EXISTING STORM SEWERS.

THE SITE IS DIVIDED INTO FOUR BASINS. BASIN "A" WILL DRAIN TO THE NORTH INTO BELLAMAH AVENUE OVER THE SURFACE AND TO A DROP INLET AT THE NORTHWEST CORNER OF THE SITE DISCHARGING 0.34 CFS. BASIN "B" IS A COURTYARD AREA THAT CONTAINS A POOL AND THE NORTH HALF OF THE BUILDING AND WILL DRAIN TO THE EXISTING STORM SEWER IN BELLAMAH AVENUE VIA AN UNDERGROUND ROOF DRAIN. THIS AREA WILL DISCHARGE 2.76 CFS FOR A TOTAL OF 3.10 CFS TO BELLAMAH AVE. BASIN "C" CONSISTS OF THE SOUTH HALF OF THE BUILDING AND SITE AND WILL DRAIN TO THE WEST INTO 20TH STREET OVER THE SURFACE AND DISCHARGES 2.90 CFS. BASIN "D" WILL DISCHARGE 0.59 CFS TO THE EAST TO A FUTURE ROADWAY/TRAIL. THIS AREA IS CURRENTLY UNDEVELOPED.

DUE TO THE HIGH INTENSITY DEVELOPEMENT AND PLANNED HARDSCAPES FOR THIS AREA THERE IS NOT AN OPPORTUNITY TO RETAIN THE WATER QUANTITY VOLUME. AS THIS SITE IS BEING CONSTRUCTED WITHIN A METROPOLITAN REDEVELOPMENT AREA AND WITHIN THE 1959 CITY LIMITS THE PAYMENT-IN-LIEU FEE IS WAIVED PER THE DPM.



	1904 BELLAMAH AVE NW ALBUQUERQUE, NM	DRAWN BY SB
	GRADING PLAN	DATE 05-11-23
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # GR-1
RONALD R. BOHANNAN P.E. #7868	01-15-2024	JOB # 2022046

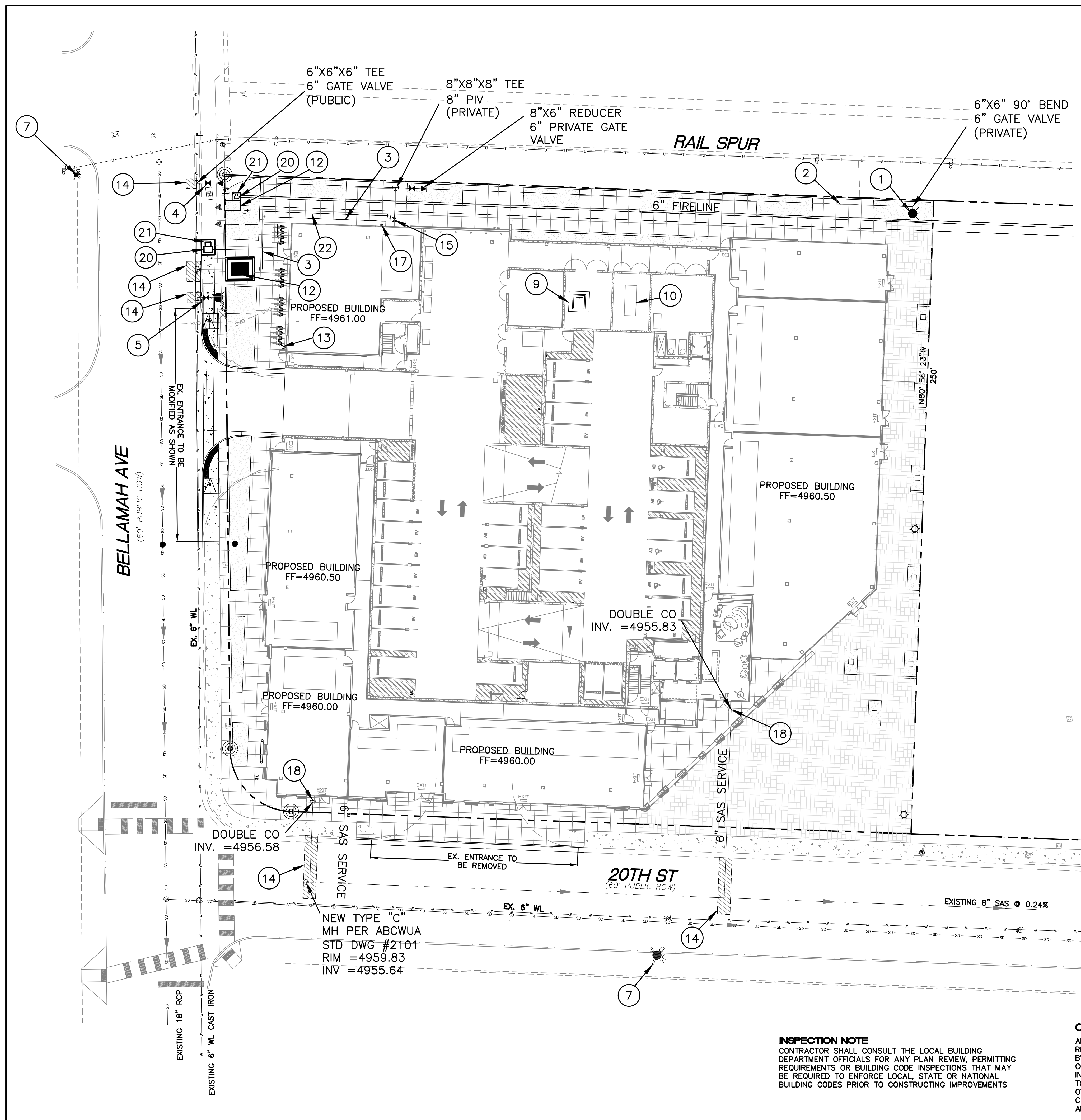


PROPOSED BASINS

Weighted E Method

Existing Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	68,658	1.58	0%	0	15%	0.24	0%	0.00	85%	1.34	2.101	0.276	6.37	1.329	0.174	3.86
Sub A	5,639	0.13	0%	0	100%	0.13	0%	0.00	0%	0.00	0.800	0.009	0.31	0.300	0.003	0.12
											0.276	6.37				
Developed Basins																
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year			10-Year		
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
A	4,246	0.10	0%	0	41%	0.04	0%	0.00	59%	0.06	1.703	0.014	0.34	1.014	0.008	0.19
B	27,782	0.64	0%	0	1%	0.01	0%	0.00	99%	0.63	2.315	0.123	2.76	1.498	0.080	1.72
C	21,788	0.50	0%	0	1%	0.01	0%	0.00	99%	0.50	2.315	0.096	2.16	1.498	0.062	1.35
D	8,054	0.18	0%	0	2%	0.00	0%	0.00	98%	0.18	2.299	0.035	0.80	1.486	0.023	0.49
E	6,447	0.15	0%	0	17%	0.03	0%	0.00	83%	0.12	2.070	0.026	0.59	1.304	0.016	0.36
											1.49	6.65				
Equations:																
Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)			Excess Precipitation, E (inches)				Peak Discharge (cfs/acre)									
			Zone 2	100-Year	10-Year	Zone 2	100-Year	10-Year								
Volume = Weighted D * Total Area			E_a	0.62	0.15	Q_a	1.71	0.41								
Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$			E_b	0.8	0.3	Q_b	2.36	0.95								
			E_c	1.03	0.48	Q_c	3.05	1.59								
			E_d	2.33	1.51	Q_d	4.34	2.71								
Water Quality Calculation: 0.26" x 1.49 ac = 1,406 cubic feet (0.032 ac-ft)																

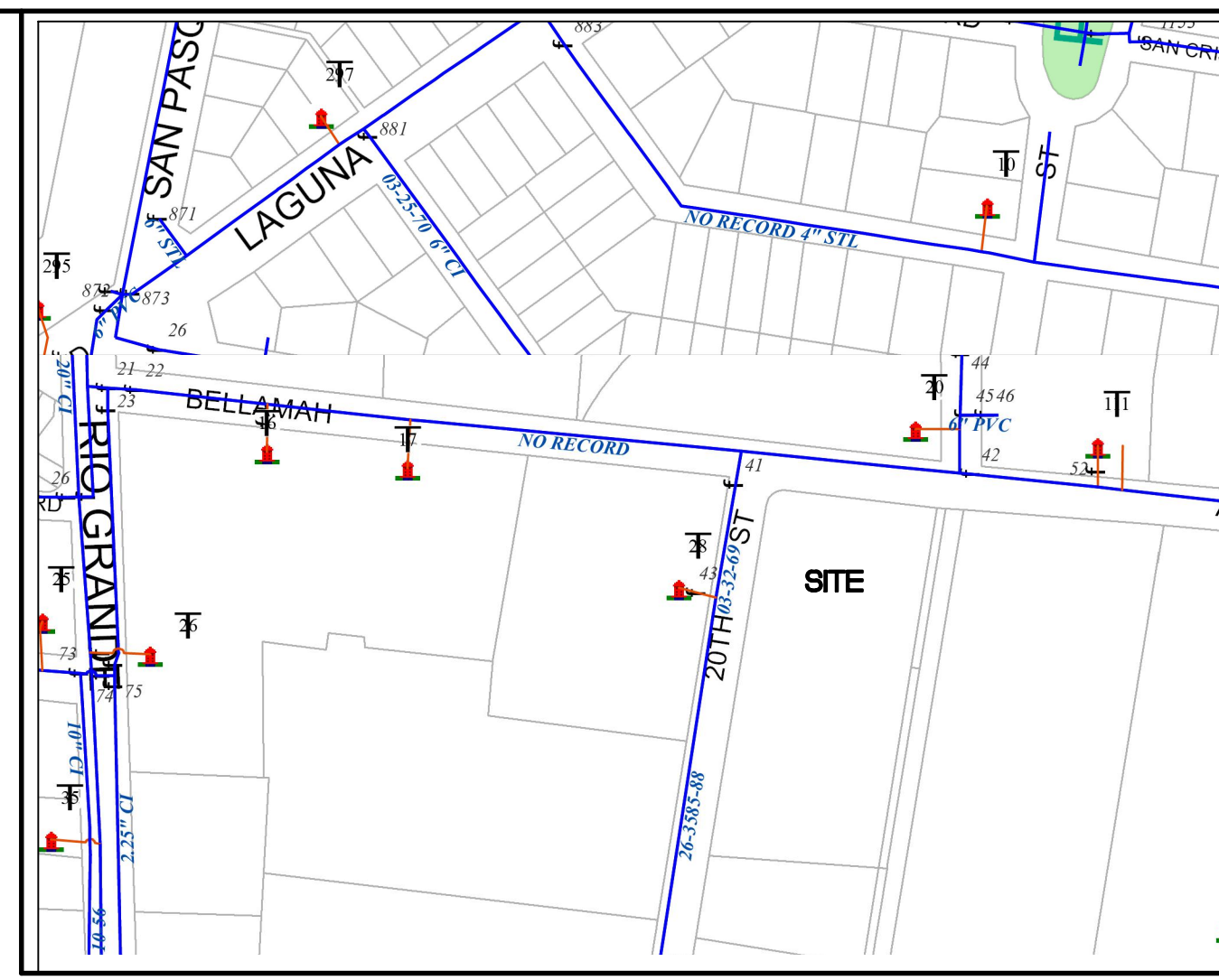
	1904 BELLAMAH AVE NW ALBUQUERQUE, NM	DRAWN BY SB
	BASIN MAP	DATE 05-11-23
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING
		SHEET # GR-2
RONALD R. BOHANNAN P.E. #7868		JOB # 2022046



LEGEND

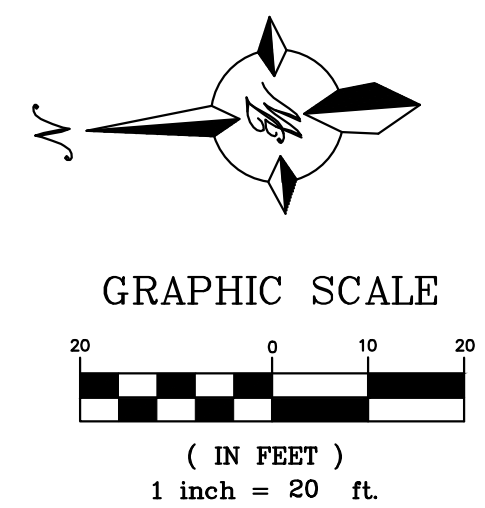
—	CURB & GUTTER
- - -	BOUNDARY LINE
- - -	EASEMENT
- - -	CENTERLINE
- - -	RIGHT-OF-WAY
▭	BUILDING
▨	PROPOSED SIDEWALK
▨	EXISTING CURB & GUTTER
▨	LANDSCAPING
—	8" SAS
—	8" WL
●	PROPOSED HYDRANT
⊗	NEW WATER VALVE
⊙	NEW SINGLE WATER METER
⊙	EXISTING SAS MH
⊗	EXISTING GATE VALVE
—	EXISTING WATERLINE
—	EXISTING SAS
—	SAWCUT

- KEYED NOTES**
- PROPOSED PRIVATE FIRE HYDRANT W/PRIVATE GATE VALVE PER COA STD. DWG #2340 TO BE PAINTED SAFETY ORANGE
 - 6" FIRELINE
 - 4" RESIDENTIAL DOMESTIC WATER LINE SERVICE
 - 6" PUBLIC GATE VALVE
 - PROPOSED PUBLIC FIRE HYDRANT W/ PUBLIC GATE VALVE PER COA STD. DWG #2340
 - EXISTING FIRE HYDRANT
 - 6" GATE VALVE (PRIVATE)
 - TRANSFORMER
 - GENERATOR
 - 2- RESIDENTIAL 3" WATER METER PIT PER COA STD. DWG #2370
 - FDC
 - REMOVE AND REPLACE EXISTING ASPHALT PAVING PER COA STD DWG #2405B
 - POST INDICATOR VALVE
 - GAS UTILITY METER
 - 6" SANITARY SEWER CONNECTION. SEE PLUMBING PLANS FOR BUILDING CONNECTION.
 - 2-2" COMMERCIAL WATER METER
 - 2-3/4" LANDSCAPE WATER METER
 - 2.5" COMMERCIAL DOMESTIC LINE



THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/full/463/729/).

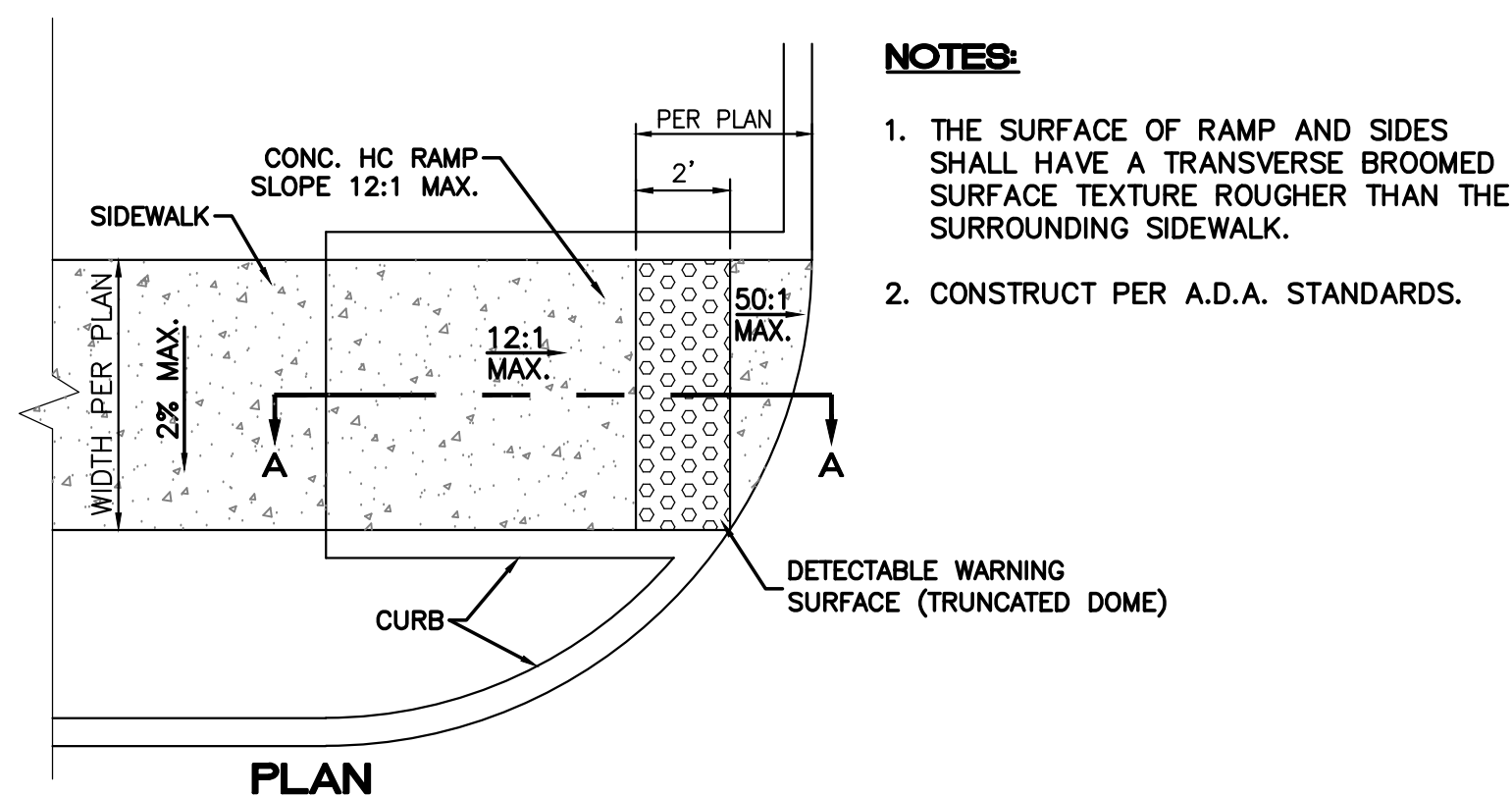
- GENERAL UTILITY NOTES:**
- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
 - 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
 - CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 - ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
 - FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
 - ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
 - ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 - ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
 - PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
 - PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
 - SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
 - COORDINATION WITH WATER AUTHORITY CROSS CONNECTION SECTION WILL BE REQUIRED TO ENSURE PROPER BACKFLOW CONTAINMENT IS IN PLACE PRIOR TO RELEASE OF METER FOR THE SITE. CONTACT THE CROSS CONNECTION SECTION AT 505-289-3454.
 - COORDINATION WITH THE WATER AUTHORITY PRE-TREATMENT ENGINEER IS REQUIRED TO ENSURE THE SITE COMPLIES WITH WATER AUTHORITY SEWER USE ORDINANCE. CONTACT THE PRE-TREATMENT ENGINEER AT 505-289-3439.



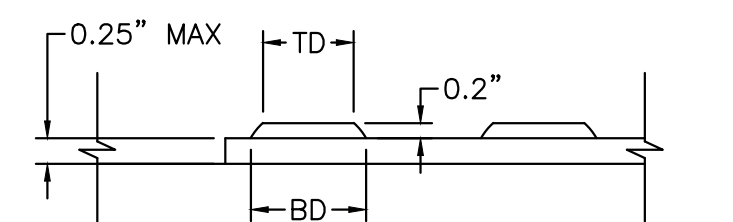
INSPECTION NOTE
CONTRACTOR SHALL CONSULT THE LOCAL BUILDING DEPARTMENT OFFICIALS FOR ANY PLAN REVIEW, PERMITTING REQUIREMENTS OR BUILDING CODE INSPECTIONS THAT MAY BE REQUIRED TO ENFORCE LOCAL, STATE OR NATIONAL BUILDING CODES PRIOR TO CONSTRUCTING IMPROVEMENTS

CAUTION
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

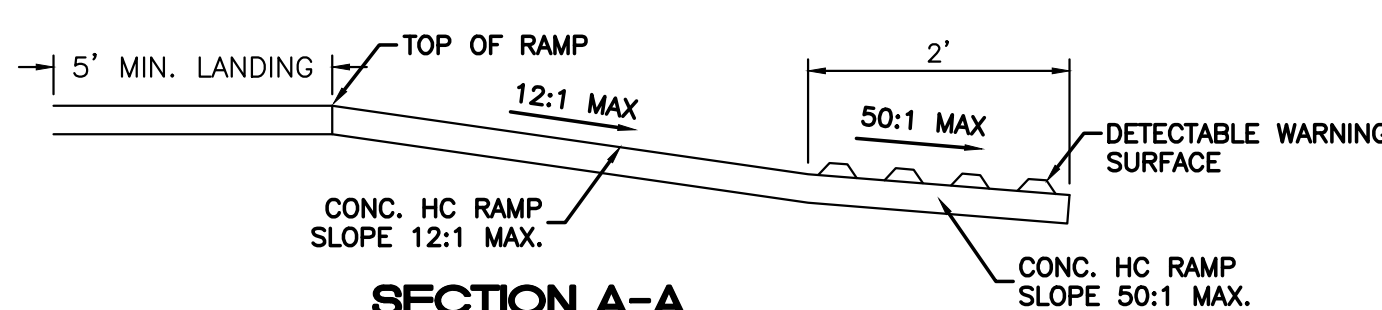
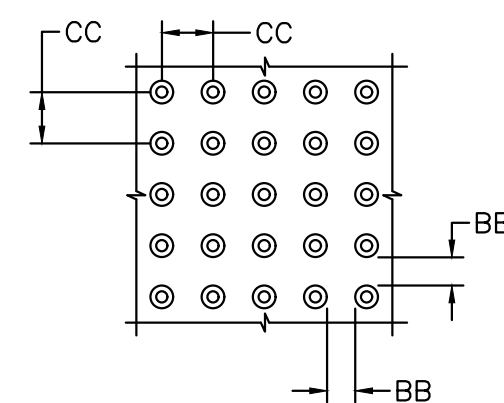
	508 MURRAY RD NW ALBUQUERQUE, NM	DRAWN BY RMG
	MASTER UTILITY PLAN	DATE 03-05-2024
	5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING
03-05-24 RONALD R. BOHANNAN P.E. #7868		SHEET # MU-1
		JOB # 2024006



- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.

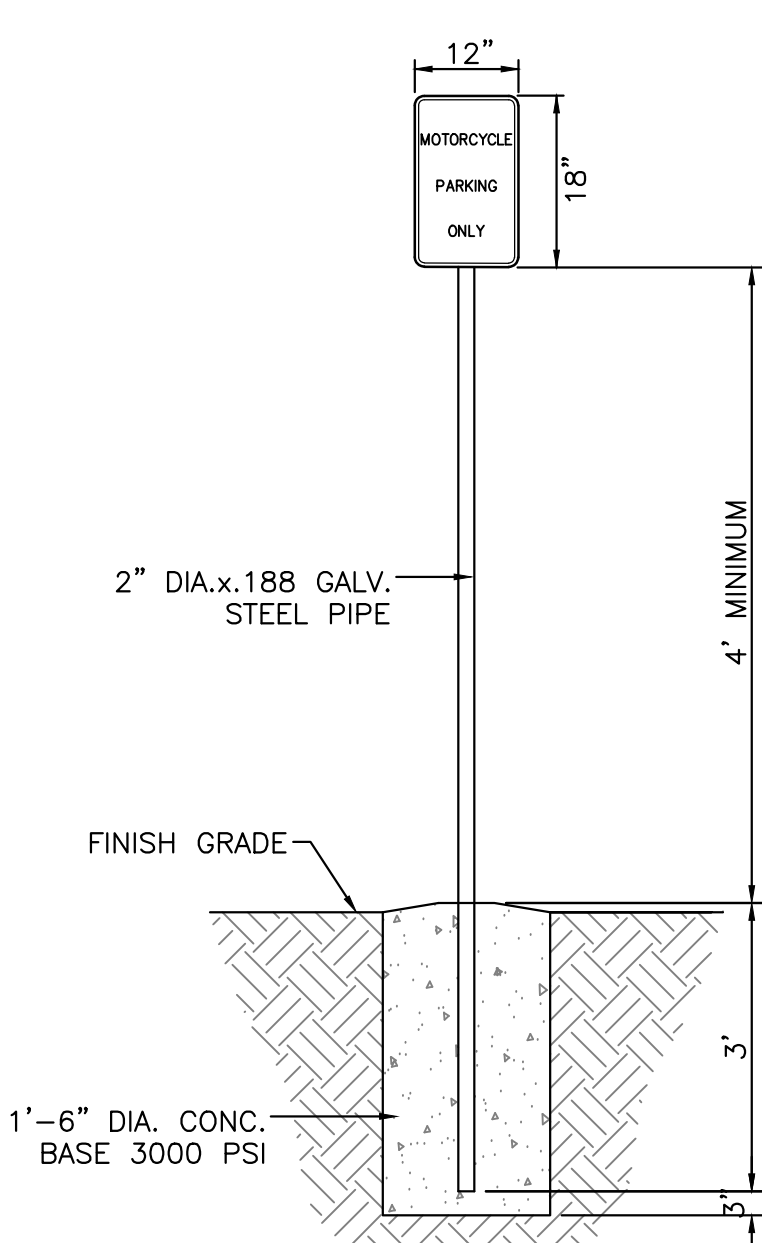


DOME SECTION
 BD - BASE DIAMETER 0.9" MIN
 TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

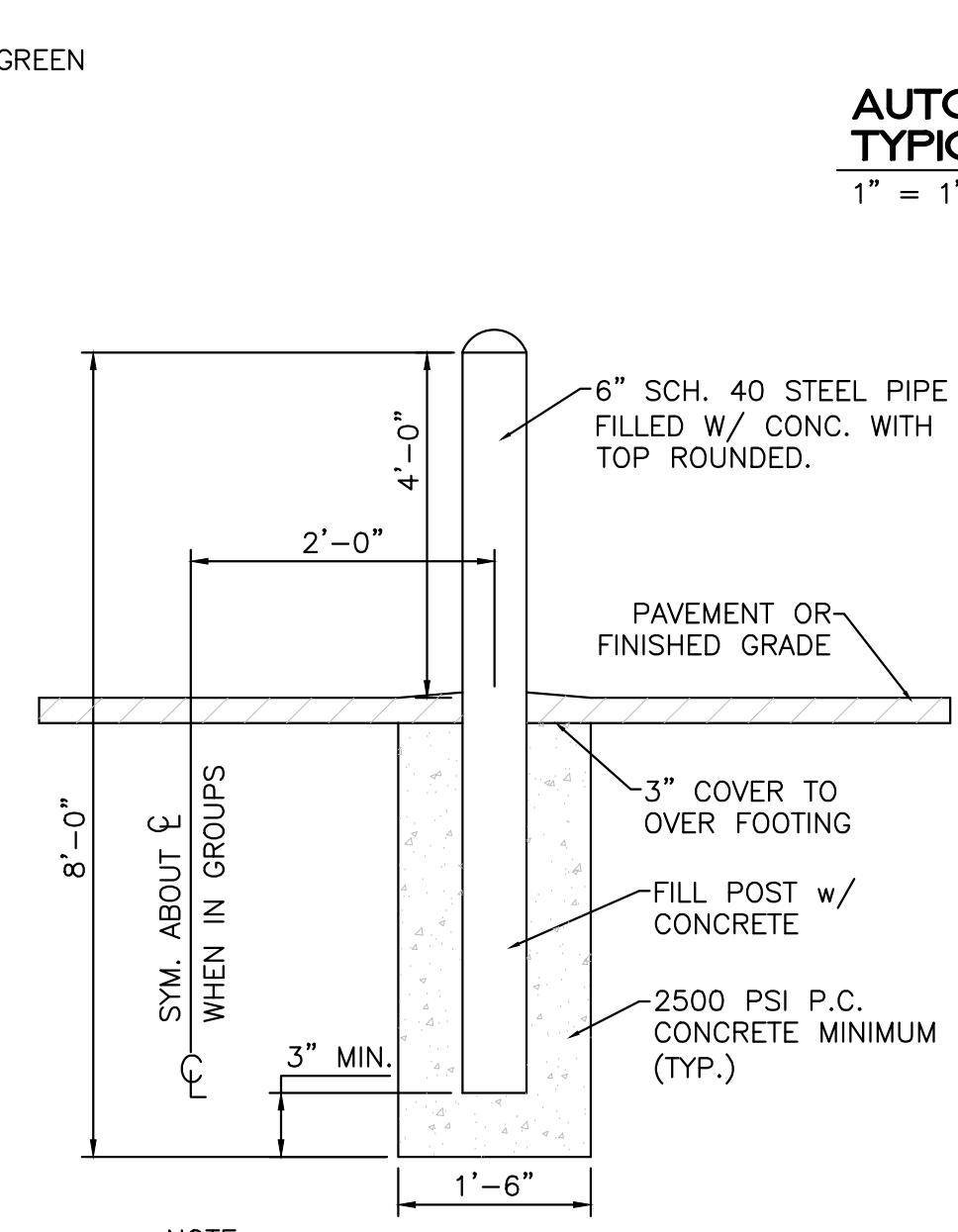
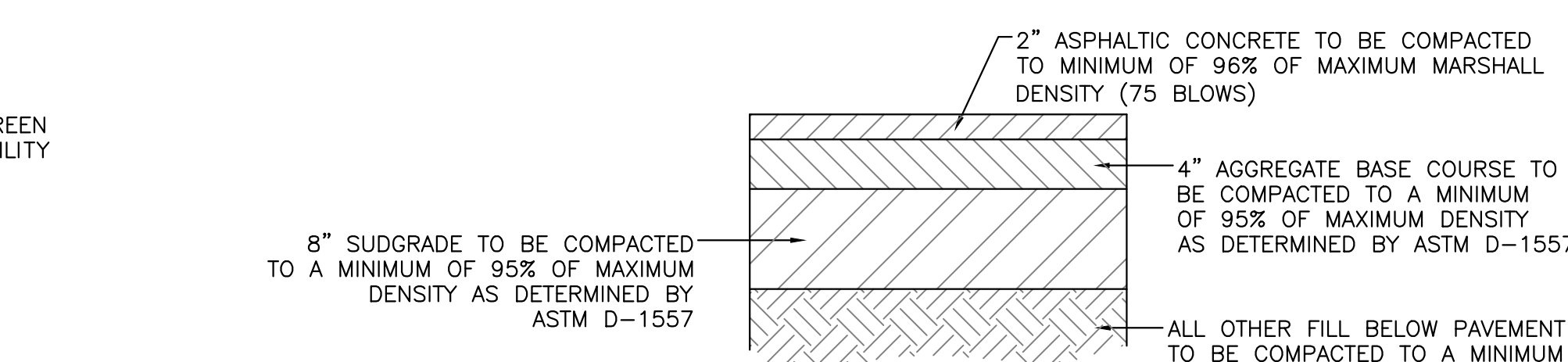
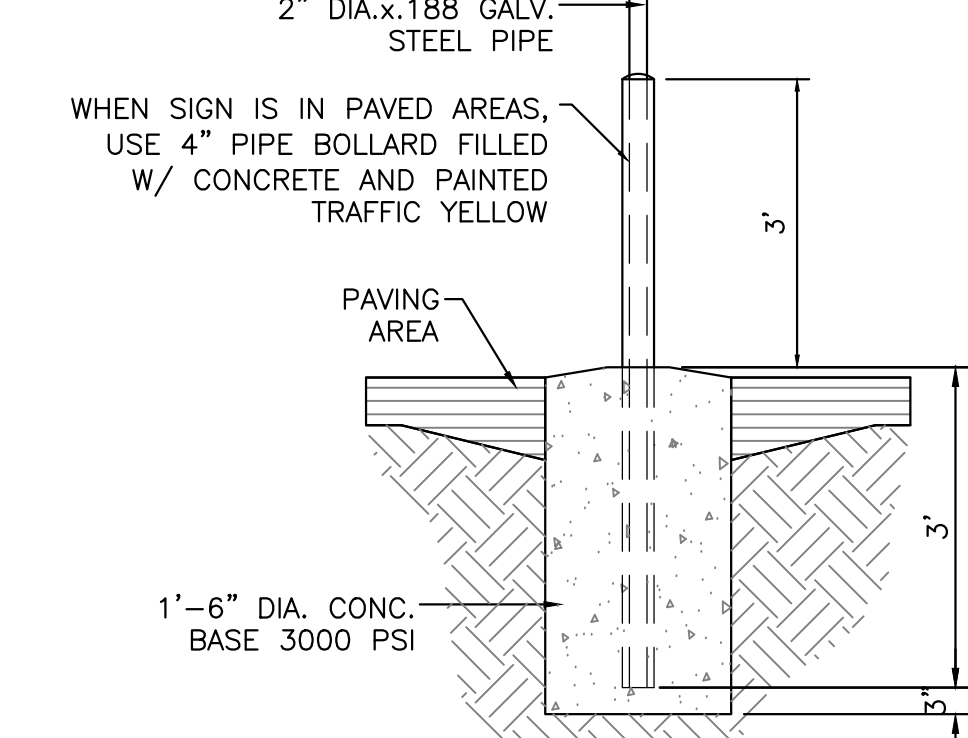


UNIDIRECTIONAL HC RAMP

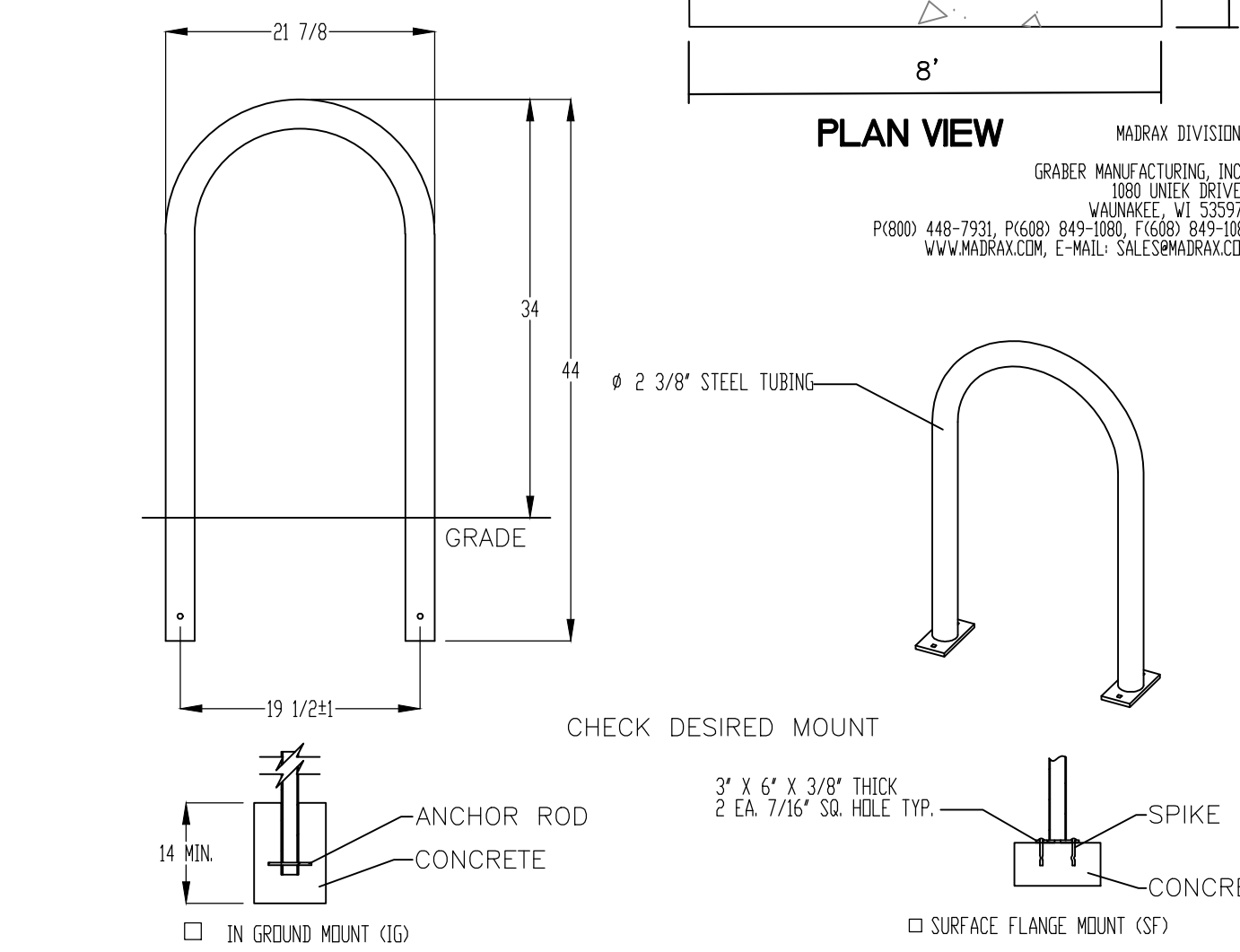
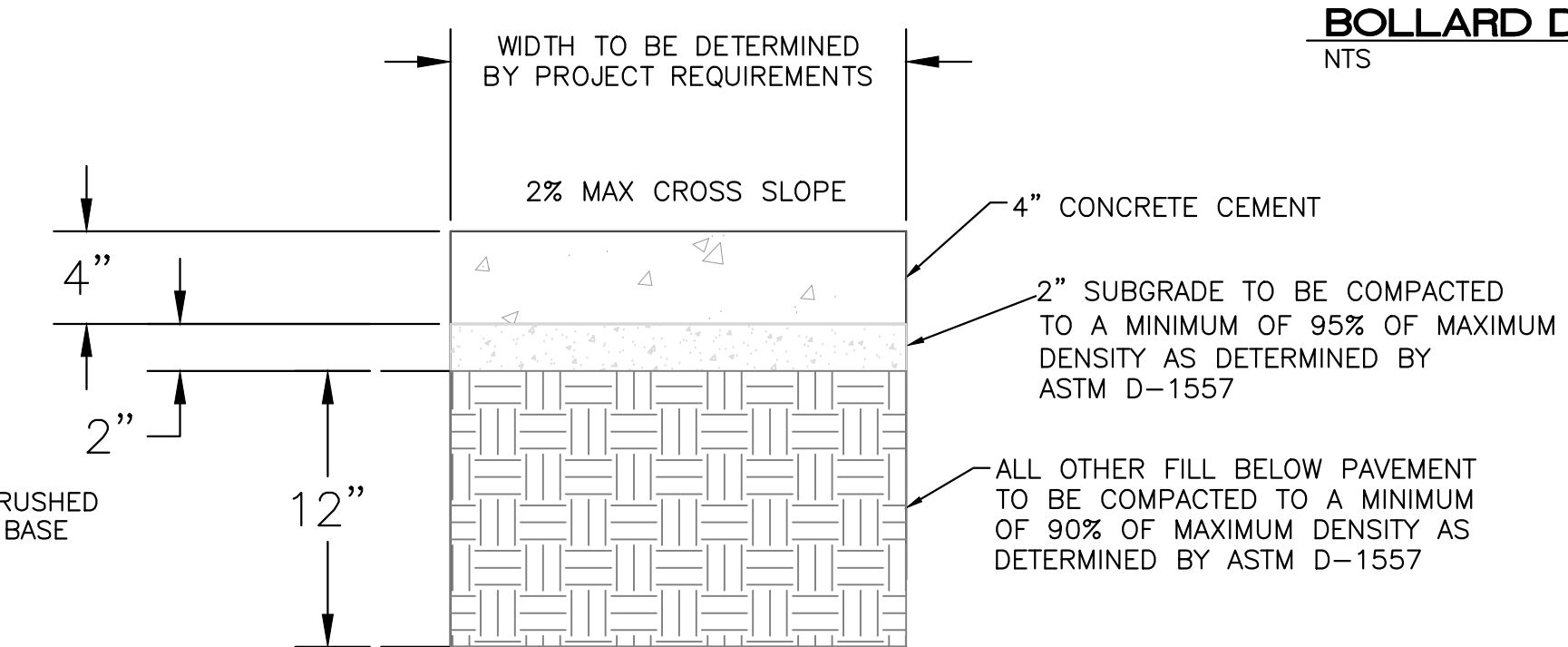
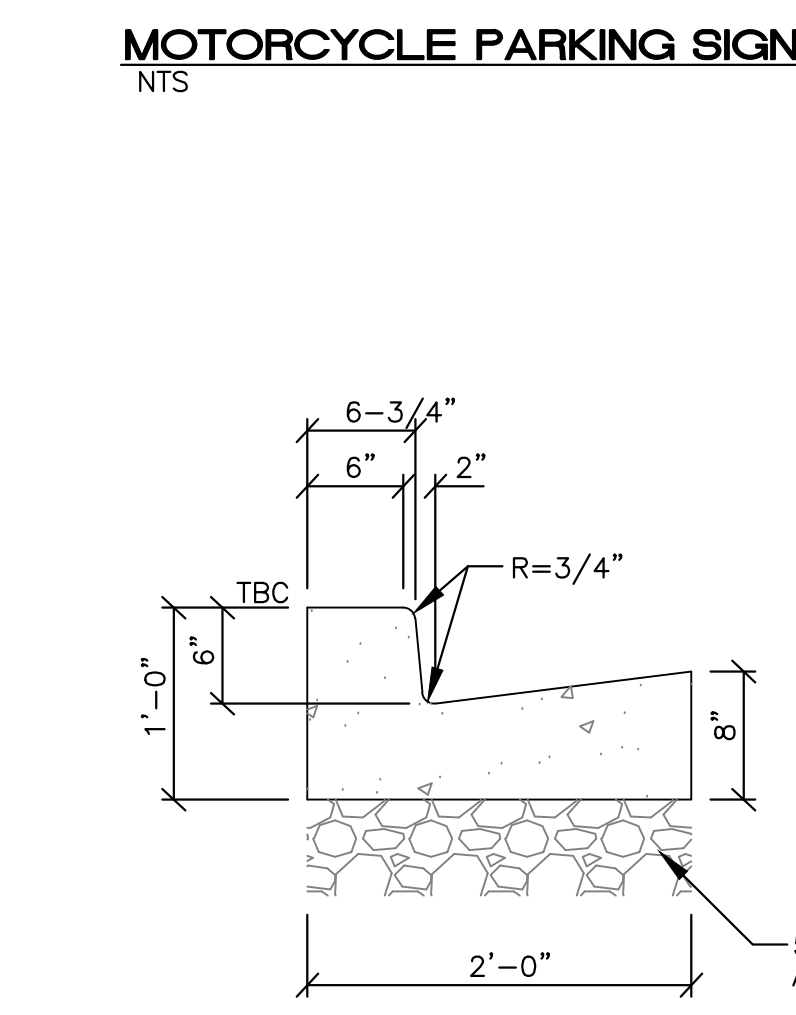
NOT TO SCALE



- NON-VAN ACCESSIBLE SPACES
 BOTTOM OF THIS SIGN
 60" MIN. ABOVE GROUND
 ANSI 502.7
- VAN ACCESSIBLE SPACES
 BOTTOM OF THIS SIGN
 60" MIN. ABOVE GROUND
 ANSI 502.7
- SIGN TYPE R7-8 (12"x18")
 SIGN FIELD IS WHITE
 SIGN LETTERING AND BORDER ARE GREEN
 INTERNATIONAL SYMBOL OF ACCESSIBILITY IS WHITE ON A BLUE BACKGROUND
- REQUIRED LANGUAGE PER NMSA 197866-7-352.4C
 (Violators are subject to a fine and/or towing)
- SIGN TYPE R7-8A (6"x12")
 SIGN FIELD IS WHITE
 SIGN LETTERING AND BORDER ARE GREEN
- REQUIRED LANGUAGE (VAN ACCESSIBLE)
 PER ANSI 502.7

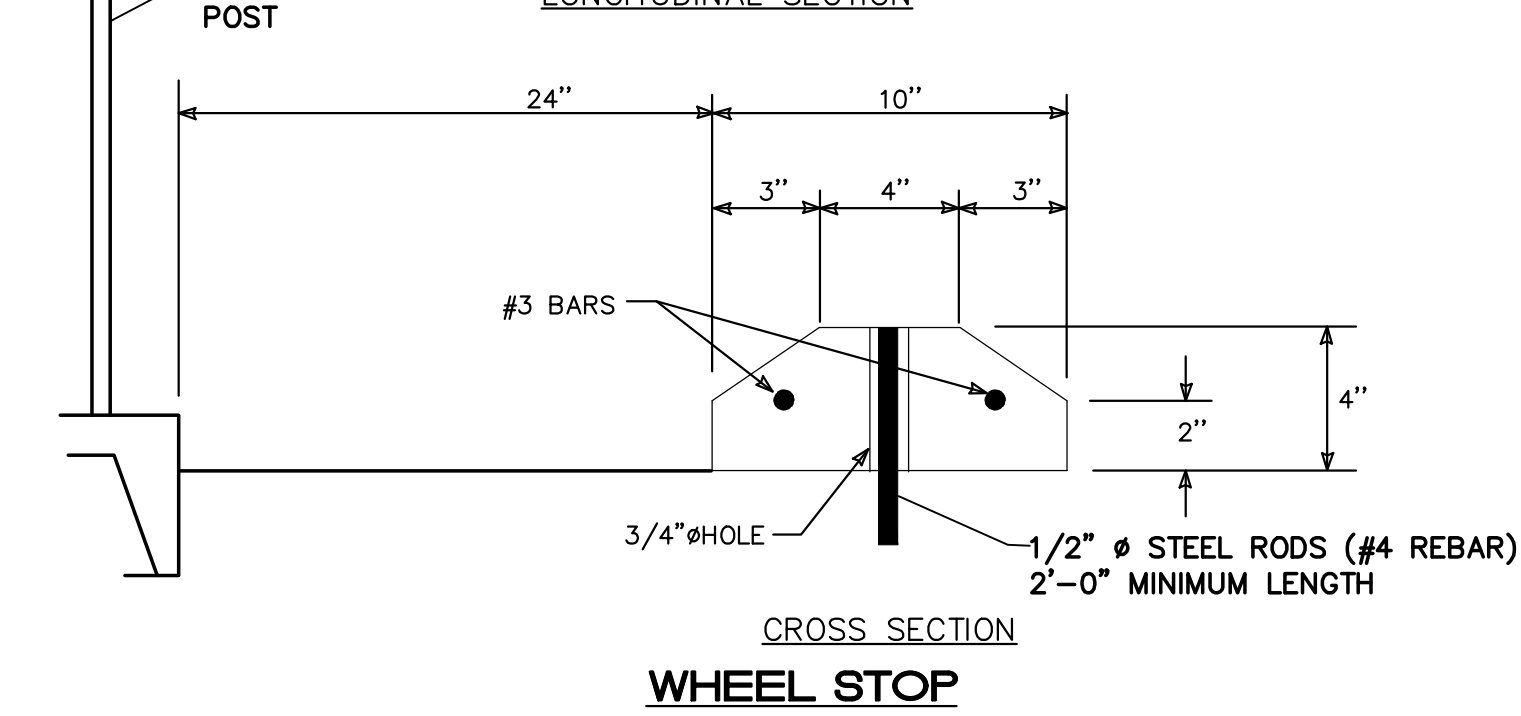
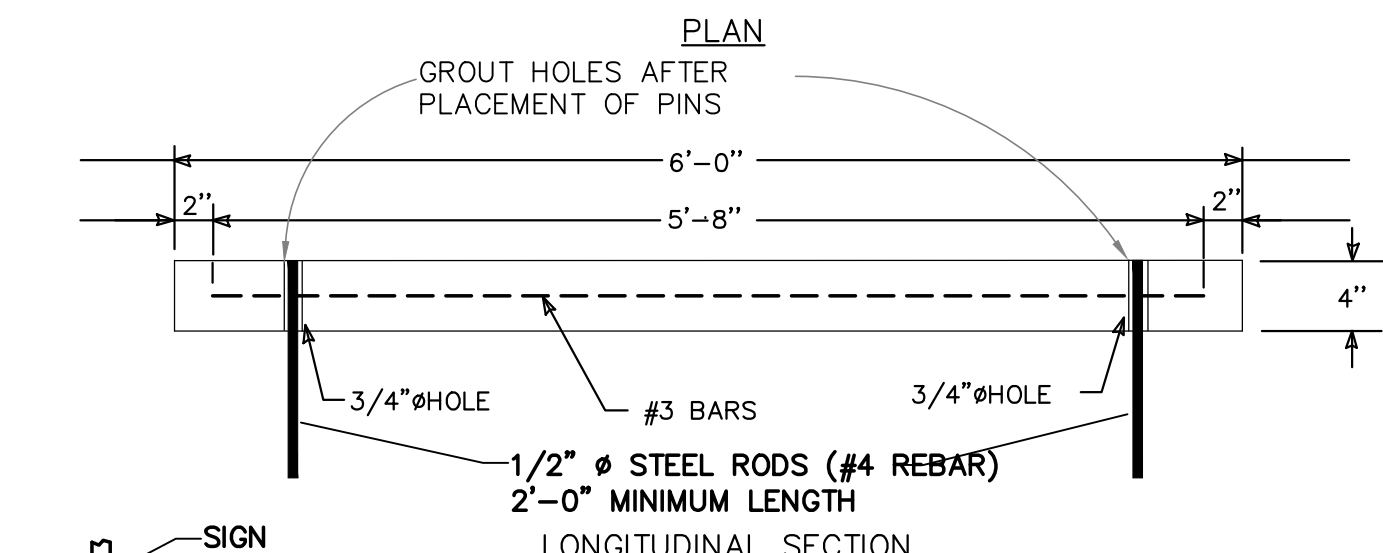
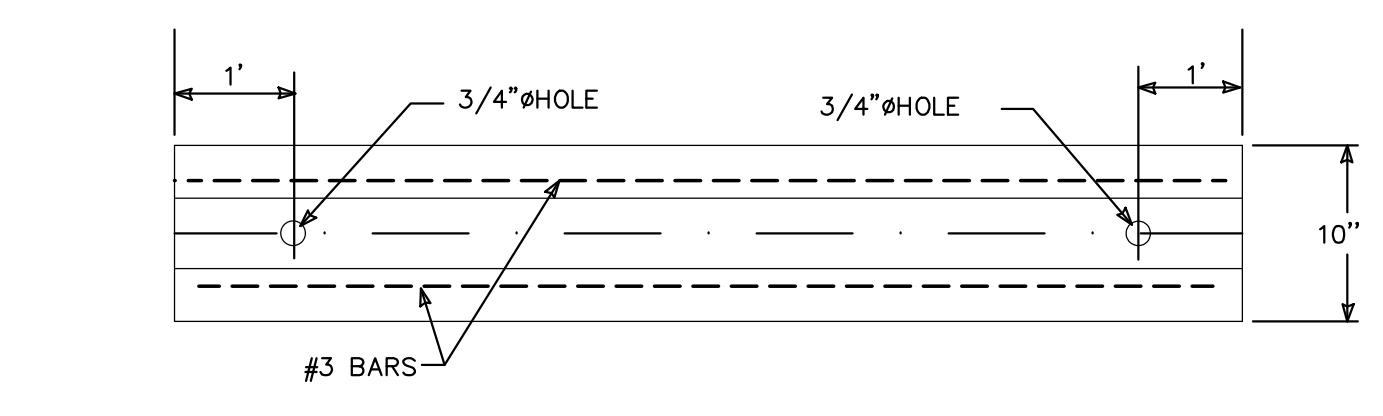


NOTE:
 ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW



- PRODUCT: 1238-IG/SF
 DESCRIPTION: BIKE RACK
 2 BIKE, SURFACE OR IN GROUND MOUNT
 DATE: 10-4-18
 ENG: SMC
- CONFIDENTIAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
- NOTES:
 1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR OF FINISH. SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
 4. BIKE RACK SHALL HAVE A 1-FEET CLEAR ZONE ALL AROUND.
 5. EACH BIKE RACK SPACE SHALL BE AT LEAST 6 FEET LONG AND 2 FEET WIDE.

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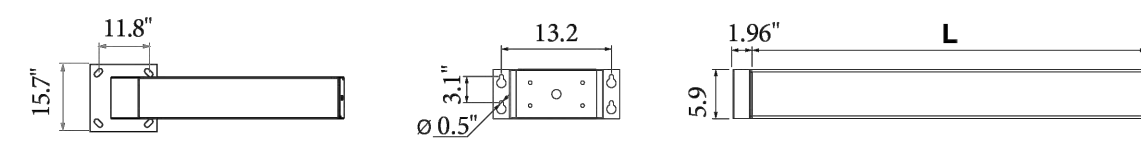
	1904 BELLAMAH AVE NW ALBUQUERQUE, NM	DRAWN BY SB
	CONSTRUCTION DETAILS	DATE 05-11-23
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com	DRAWING
RONALD R. BOHANNAN P.E. #7868	01-11-2024	SHEET # DET-1
		JOB # 2022046

Domitienne V2

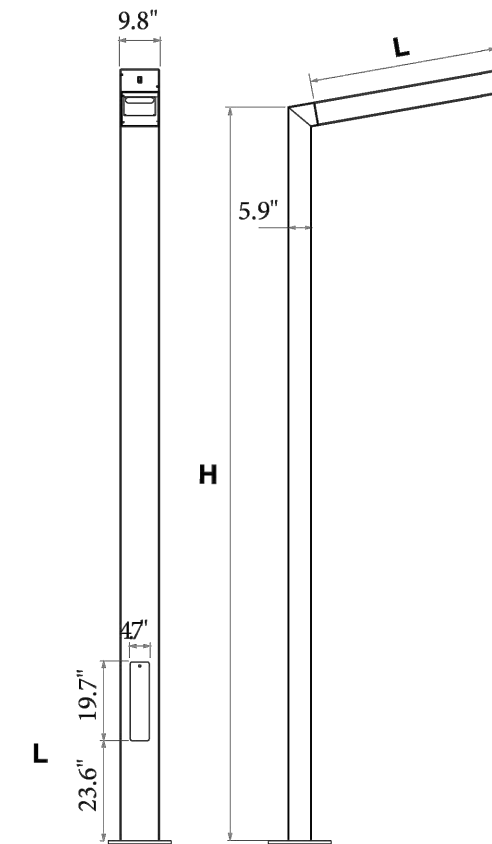
DIMENSIONS (in/ft)

DOMITIENNE V2						
Height	H	13.1'	16.4'	19.7'	23.0'	26.2'
Overhang	L	31.5" - 47.2" - 59.0"				

DOMITIENNE V2 Wall & against a pole mounting		
Overhang	L	31.5" - 47.2" - 59.0"
Weight (lbs)	24.2- 37.5 - 41.9	



Base plate: 15.7" x 15.7" • Center to center: 11.8" x 11.8"
 4 anchor bolts (not supplied)
 Section : 9.8" x 5.9"



EVO2 MODULE

The EVO2 is very compact so that it can be incorporated into numerous luminaires in the Ragni range. In particular, it can replace classic reflectors (high-pressure sodium lamps, metal halide lamps...), and its compactness has made it possible to create the Ketch with its thin luminaire.



- LED manufacturer: CREE
- LED life-cycle: up to 100,000 hours
- Color temperatures: 3000K ou 4000K.
- CRI above 70

POWER AND LUMINOUS INTENSITIES PER MODULE - LUMINAIRE OUTPUT DATA

3000 K Number of LED	350 mA			500 mA			700 mA		
	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)
16	21.4	1988	93	28.2	2867	102	36	3636	101
32	34.4	3976	116	48.8	5734	118	68.9	7271	106
48	51	5964	117	72.6	8601	118	102.3	10907	107

4000 K Number of LED	350 mA			500 mA			700 mA		
	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)	P _t (W)	Φ (lm)	(lm/W)
16	21.4	2147	100	28.2	3097	110	36	3932	109
32	34.4	4294	125	48.8	6193	127	68.9	7863	114
48	51	6441	126	72.6	9290	128	102.3	11795	115

P_t (W) = Total power consumption including driver consumption • Φ Nominal flux (lm) • Luminous efficiency (lm/W)

ORDERING INFORMATION

Model	Pole Height (mm)	Head Length	# LED	CCT (K)	Drive Current	Distribution	Line Voltage	Mounting	Mounting Direction	Mounting Angle	Color
DOMY											
4000	800	16	3	(3000K)	35 - (350 mA)	T2	120	T - (Top)	F - (Front)	0	BLK - (Black)
5000	1200	24	4	(4000K)	50 - (500 mA)	T3	220	W - (Wall)	B - (Back)	5	BRZ - (Bronze)
6000	1500	32			70 - (700 mA)	T4	277		L - (Left)	10	SLV - (Silver)
7000		48			CUSTOM	T5	UNV		R - (Right)	15	WHT - (White)
8000										20	(RAL #)
CUSTOM										30	



www.ragni-lighting.com

www.ragni-lighting.com

NOTES

1. LIGHT FIXTURES SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES (I.E. A LIGHT FIXTURE WITH ZERO INTENSITY AT OR ABOVE 90 DEGREES ABOVE NADIR AND LIMITED TO A VALUE NOT EXCEEDING 10% OF LAMP LUMENS AT OR ABOVE 80').
2. LIGHTING SHALL BE POSITIONED SO THAT LIGHT SPILLOVER ONTO THE AREA 10' BEYOND THE PROPERTY LINE SHALL NOT EXCEED 200' LAMBERTS AS MEASURED FROM THE PROPERTY LINE FACING THE LIGHT SOURCE.
3. OUTDOOR LIGHT FIXTURES SHALL HAVE A MINIMUM LIGHT INTENSITY OF 1 LUMEN PER SQUARE FOOT AND A MAXIMUM INTENSITY OF 2 LUMENS PER SQUARE FOOT.

<p>RONALD R. BOHANNAN P.E. #7868</p>	<p>ENGINEER'S SEAL</p> <p>1904 BELLAMAH AVE NW ALBUQUERQUE, NM</p>	<p>DRAWN BY SB</p>
	<p>CONSTRUCTION DETAILS</p>	<p>DATE 05-11-23</p>
	<p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrowestllc.com</p>	<p>DRAWING</p>
	<p>01-11-2024</p>	<p>SHEET # DET-2</p>
<p>RONALD R. BOHANNAN P.E. #7868</p>	<p>www.tierrowestllc.com</p>	<p>JOB # 2022046</p>



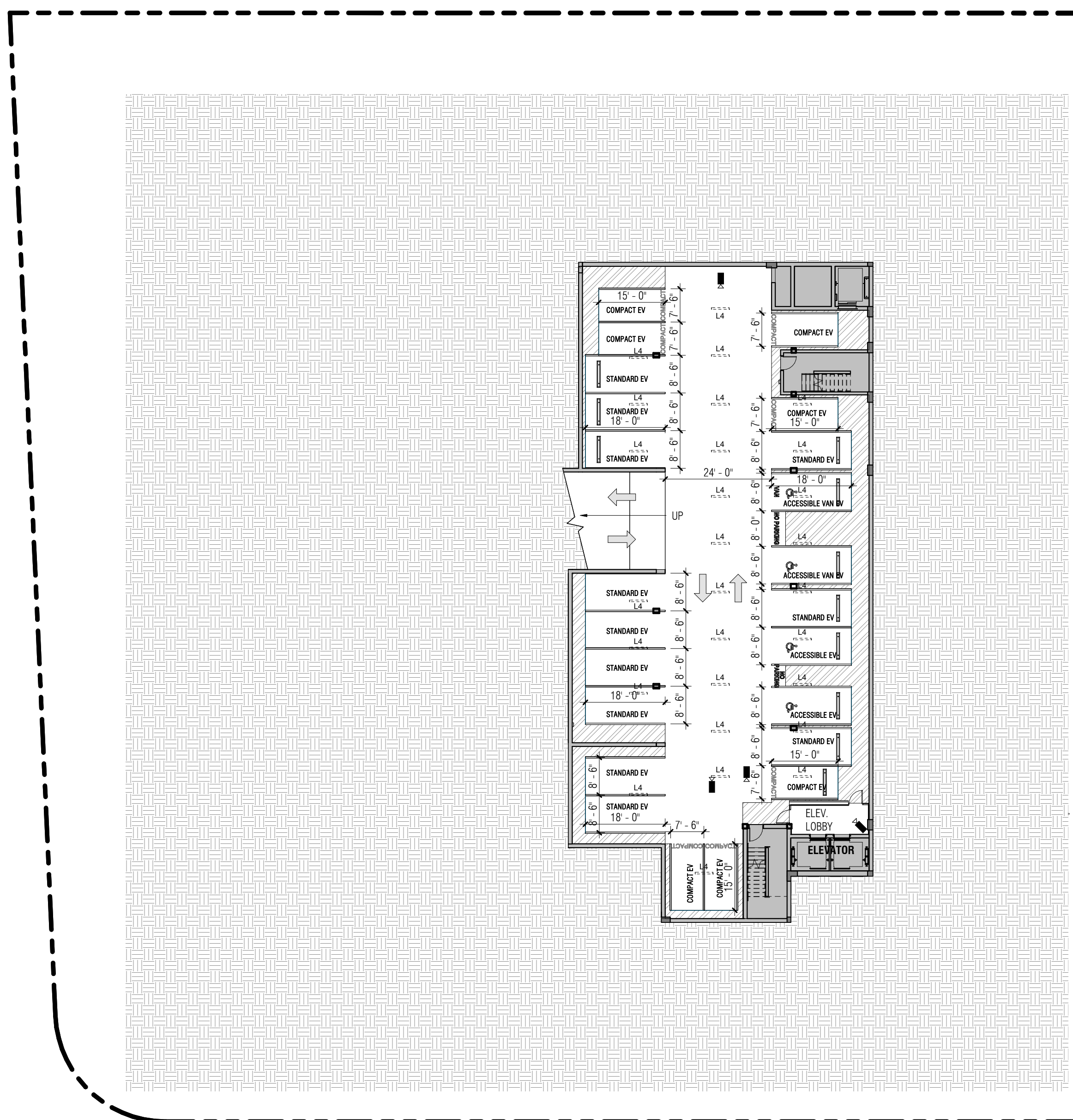
OFFICE UNTITLED

DESIGN ARCHITECT
4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230
P.310.730.6698

SAWMILL (LOT A)

1904 BELLAMAH AVE NW ALBUQUERQUE
NM 87104

OU PROJECT NO. 21.002.000



LEVEL P1 - FLOOR PLAN
RE: 17 A40.01 SCALE: 1" = 20'-0" **2**

BICYCLE PARKING REQUIRED (PER IDD TABLE 5-5-5)			
AREA	RATE		STALLS
NON-RESIDENTIAL USES	10% OF REQ'D PARKING SPACES (102 SPACES *10%)		11 SPACES
HOTEL MEETING ROOMS	454 SF	2 SPACE + 1 SPACE / 6,000 GSF	3 SPACES
BICYCLE PARKING PROVIDED			14 SPACES
EXTERIOR			

PARKING PROVIDED (PER LEVEL)		
TYPE		PARKING SPACES
LEVEL 1		
ACCESSIBLE EV	4	
COMPACT EV	6	
STANDARD EV	22	
LEVEL 1.7		
COMPACT EV	10	
MOTORCYCLE	1	
STANDARD EV	27	
LEVEL 2		
COMPACT EV	15	
MOTORCYCLE	3	
STANDARD EV	15	
LEVEL P1		
ACCESSIBLE EV	2	
ACCESSIBLE VAN EV	2	
COMPACT EV	7	
STANDARD EV	12	
TOTAL		116

CAR/VAN PARKING PROVIDED		
TYPE		PARKING SPACES
ACCESSIBLE EV	6	
ACCESSIBLE VAN EV	2	
COMPACT EV	28	
STANDARD EV	76	
TOTAL		112

MOTORCYCLE PARKING PROVIDED		
TYPE		PARKING SPACES
MOTORCYCLE	4	
TOTAL		4

PARKING REQUIREMENTS & COMPLIANCE			
PROGRAM	AREA/UNITS	PARKING LOAD	REQ'D SPACES
GUEST	107	1 SPACE/GUEST RM	107
GENERAL RETAIL	5,400 SF	3.5 SPACES/1,000 SF GFA	20
RESTAURANT	14,465 SF	1.6 SPACES/1,000 SF GFA	82
PARKING SPACES REQUIRED (NO REDUCTION)			209
TOTAL SPACE PROVIDED (REAL PHYSICAL SPACES)			112
SPACES WITH EV CHARGERS			112
TOTAL SPACES TO MEET REQUIREMENT W/ EV CREDIT			294
SPACES SURPLUS/ DEFICIT			15 SPACES SURPLUS
COMMENT			REQ'D SPACES
ACCESSIBLE PARKING SPACES			8 SPACES
ACCESSIBLE VAN SPACES			2 SPACES
MOTORCYCLE PARKING			4 SPACES

- LEGEND**
- CCTV SECURITY CAMERA
 - OVERHEAD LIGHTING
 - ACCESSIBLE STALL



LEVEL 01 - FLOOR PLAN
RE: 17 A31.01 SCALE: 1" = 20'-0" **1**

#	REVISION DESCRIPTION	DATE



License Name: Christian Robert
Profession Name: OFFICE UNTITLED, INC.
License Number: 005312



PARKING LAYOUT & SCHEDULE

D-A22.10

GENERAL NOTES

SHEET NOTES

LEGEND



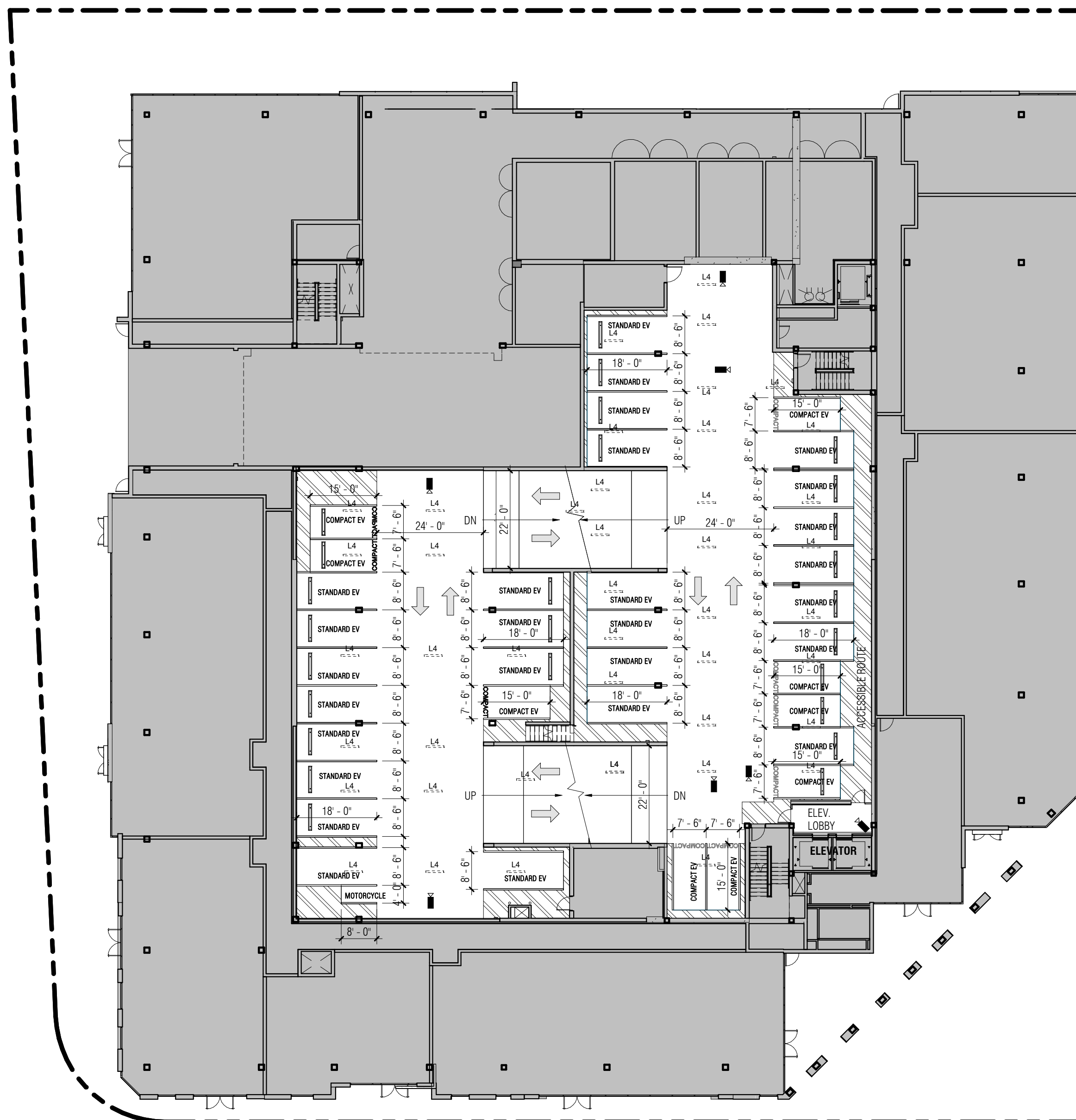
OFFICE UNTITLED

DESIGN ARCHITECT
4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230
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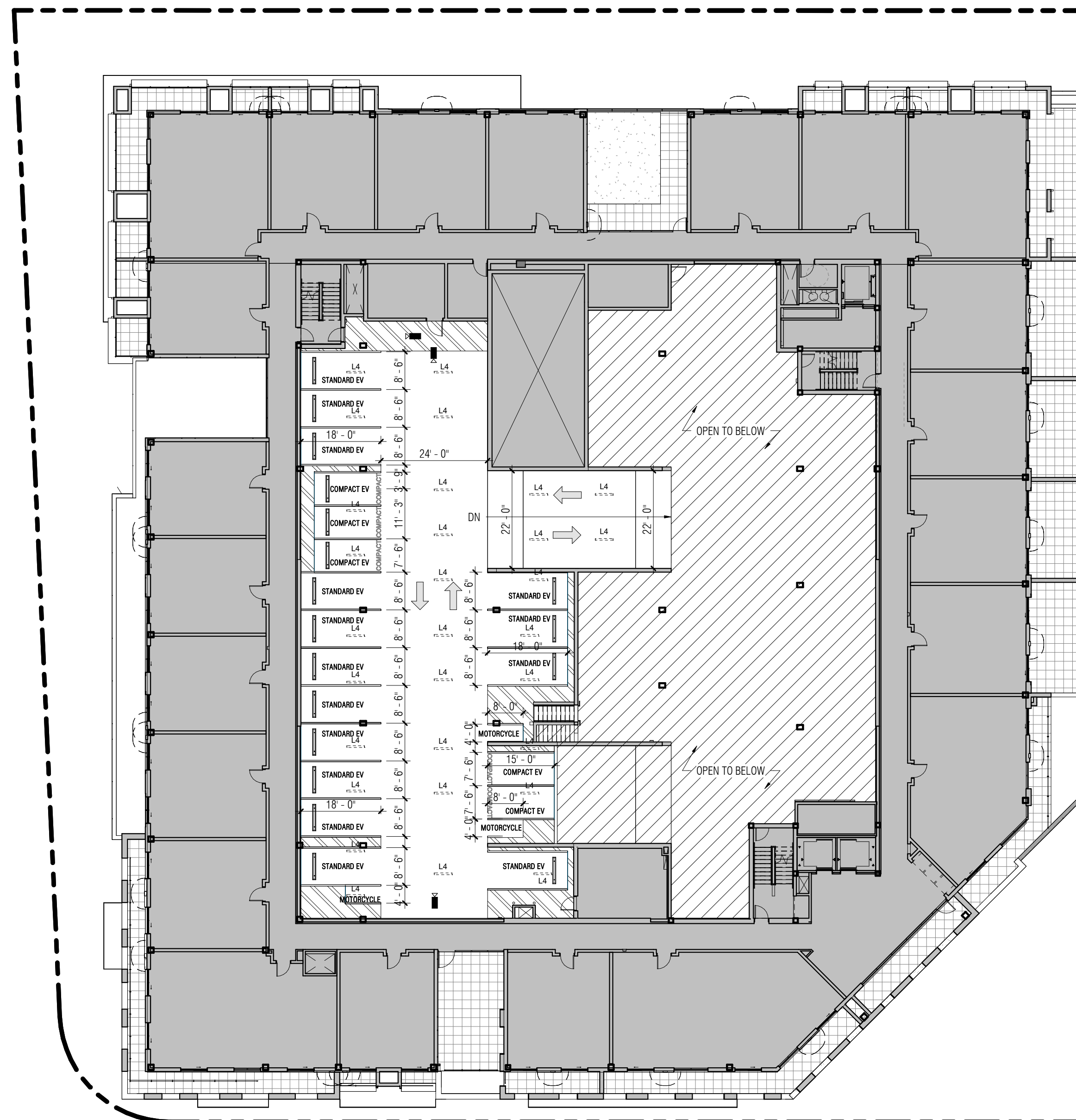
SAWMILL (LOT A)

1904 BELLAMAH AVE NW ALBUQUERQUE
NM 87104

OU PROJECT NO. 21.002.000



LEVEL 1.7 - FLOOR PLAN
RE: 17 A31.01 SCALE: 1" = 20'-0" 2



LEVEL 02 - FLOOR PLAN
RE: 17 A31.01 SCALE: 1" = 20'-0" 1

BICYCLE PARKING REQUIRED (PER IDD TABLE 5-5-5)			
AREA	RATE	STALLS	
NON-RESIDENTIAL USES	10% OF REQ'D PARKING SPACES (102 SPACES * 10%)	11 SPACES	
HOTEL MEETING ROOMS	2 SPACE + 1 SPACE / 6,000 GSF	3 SPACES	
BICYCLE PARKING PROVIDED			
BICYCLE PARKING PROVIDED	EXTERIOR	14 SPACES	

PARKING PROVIDED (PER LEVEL)	
TYPE	PARKING SPACES
LEVEL 1	
ACCESSIBLE EV	4
COMPACT EV	6
STANDARD EV	22
LEVEL 1.7	
COMPACT EV	10
MOTORCYCLE	1
STANDARD EV	27
LEVEL 2	
COMPACT EV	15
MOTORCYCLE	3
STANDARD EV	15
LEVEL P1	
ACCESSIBLE EV	2
ACCESSIBLE VAN EV	2
COMPACT EV	7
STANDARD EV	12
TOTAL	116

CAR/VAN PARKING PROVIDED	
TYPE	PARKING SPACES
ACCESSIBLE EV	6
ACCESSIBLE VAN EV	2
COMPACT EV	28
STANDARD EV	76
TOTAL	112

MOTORCYCLE PARKING PROVIDED	
TYPE	PARKING SPACES
MOTORCYCLE	4
TOTAL	4

PARKING REQUIREMENTS & COMPLIANCE			
PROGRAM	AREA/UNITS	PARKING LOAD	REQ'D SPACES
LEVEL 1	107	1 SPACE/GUEST RM	107
GENERAL RETAIL	5,400 SF	3.5 SPACES/1,000 SF GFA	20
RESTAURANT	14,465 SF	1.6 SPACES/1,000 SF GFA	23
PARKING SPACES REQUIRED (NO REDUCTION)			
TOTAL			209
TOTAL SPACE PROVIDED (REAL PHYSICAL SPACES)			
SPACES WITH EV CHARGERS			112
TOTAL SPACES TO MEET REQUIREMENT W/ EV CREDIT			234
SPACES SURPLUS/ DEFICIT			15 SPACES SURPLUS
COMMENTS			
ACCESSIBLE PARKING SPACES	SEE NMBC TABLE 1106.1		8 SPACES
ACCESSIBLE VAN SPACES	SEE NMBC TABLE 1106.1		2 SPACES
MOTORCYCLE PARKING	SEE IDD TABLE 5-5-4		4 SPACES

- LEGEND**
- CCTV SECURITY CAMERA
 - L4 OVERHEAD LIGHTING
 - ACCESSIBLE STALL

#	REVISION DESCRIPTION	DATE



License Name: Christian Robert
Profession Name: OFFICE UNTITLED, INC.
License Number: 005312



GENERAL NOTES

SHEET NOTES

LEGEND

PARKING LAYOUT & SCHEDULE

D-A22.20



OFFICE UNTITLED

DESIGN ARCHITECT
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SAWMILL (LOT A)

1904 BELLAMAH AVE NW ALBUQUERQUE
NM 87104

OU PROJECT NO. 21.002.000



EXTERIOR ELEVATION - SOUTH
SCALE: 3/32" = 1'-0"



EXTERIOR ELEVATION - NORTH
SCALE: 3/32" = 1'-0"

ZONE MX-H REQUIREMENTS: PER APPROVED SITE PLAN	STREET-FACING FENESTRATION AREA (3-4)(M)(5)(6)
EAST ELEVATION FACADE SF = 14,640 SF SIGN SF = 35 SF PERCENTAGE = 0.3%	NORTH ELEVATION (BELLAMAH AVE) FACADE SF = 17,025 SF GLAZING SF = 4,523 SF PERCENTAGE = 26.5%
WEST ELEVATION FACADE SF = 9,995 SF SIGN SF = 53 SF PERCENTAGE = 0.6%	WEST ELEVATION (20th ST) FACADE SF = 9,995 SF GLAZING SF = 2,517 SF PERCENTAGE = 25.2%
NORTH ELEVATION FACADE SF = 17,025 SF SIGN SF = 53 SF PERCENTAGE = 0.4%	SOUTHWEST ELEVATION (20th ST) FACADE SF = 6,851 SF GLAZING SF = 1,893 SF PERCENTAGE = 27.2%
SOUTH ELEVATION FACADE SF = 11,817 SF SIGN SF = 53 SF PERCENTAGE = 0.5%	
SOUTH WEST ELEVATION FACADE SF = 6,851 SF SIGN SF = 18 SF PERCENTAGE = 0.3%	

- BUILDING LIGHTING NOTES**
- ALL OUTDOOR LIGHT FIXTURES MOUNTED ON A BUILDING OR STRUCTURE OTHER THAN A LIGHT POLE, EXCEPT FOR SECURITY LIGHTING, TO BE MOUNTED AT LEAST 6 FEET AND NO MORE THAN 15 FEET ABOVE GRADE OR NO HIGHER THAN 7 FEET ABOVE THE FLOOR OF A STOOP OR PORCH.
 - LIGHT FIXTURES INSTALLED IN CANOPIES OR SIMILAR STRUCTURES TO BE FLUSH-MOUNTED OR RECESSED ABOVE THE LOWER EDGE OF THE CANOPY AND SHALL BE EQUIPPED WITH FLAT LENSES THAT DO NOT PROJECT BEYOND THE CANOPY CEILING. THE CANOPY FRAMES SHALL NOT BE INTERNALLY ILLUMINATED.
 - PEDESTRIAN-SCALE LIGHTING, INCLUDING LIGHTING FOR SIDEWALKS, WALKWAYS, TRAILS, AND BICYCLE PATHS, TO PROVIDE AN ILLUMINATION OF AT LEAST 1 FOOT CANDLE, NOT TO EXCEED 4 FOOT CANDLES.

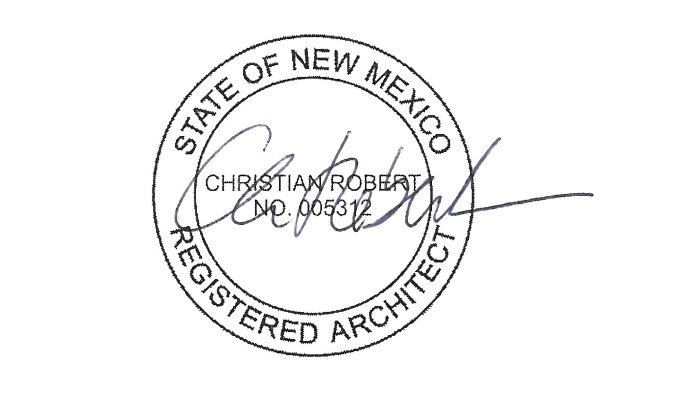
	WEATHERING STEEL		NATURAL STONE		GLASS/GLAZING
	WEATHERING STEEL (PERFORATED)		CAST IN PLACE CONCRETE		PROPERTY LINE
	BLACK ANODIZED ALUMINUM		CORRUGATED METAL PANELS		EFFECTIVE SETBACK LINE
	PORTLAND CEMENT PLASTER - DARK BEIGE		BOARD FORMED CONCRETE PLASTER		REFER TO: VARIANCE VA-2023-00992 VARIANCE VA-2023-00094
	PORTLAND CEMENT PLASTER - LIGHT BEIGE		PAINT - MATCHING DARK BEIGE PLASTER		
	PORTLAND CEMENT PLASTER - BROWN		PAINT - MATCHING LIGHT BEIGE PLASTER		

GENERAL NOTES

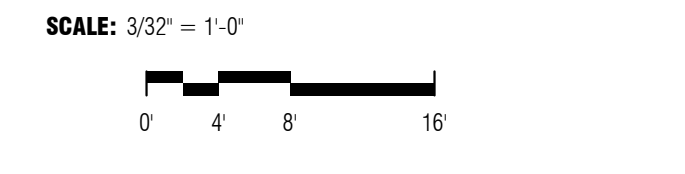
SHEET NOTES

LEGEND

#	REVISION DESCRIPTION	DATE

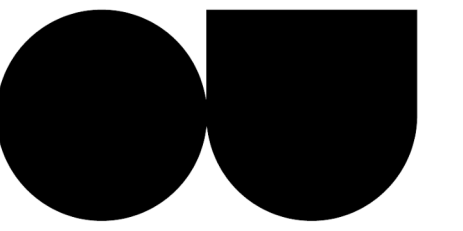


License Name: Christian Robert
Profession Name: OFFICE UNTITLED, INC.
License Number: 005312



EXTERIOR BUILDING ELEVATION

D-A30.01



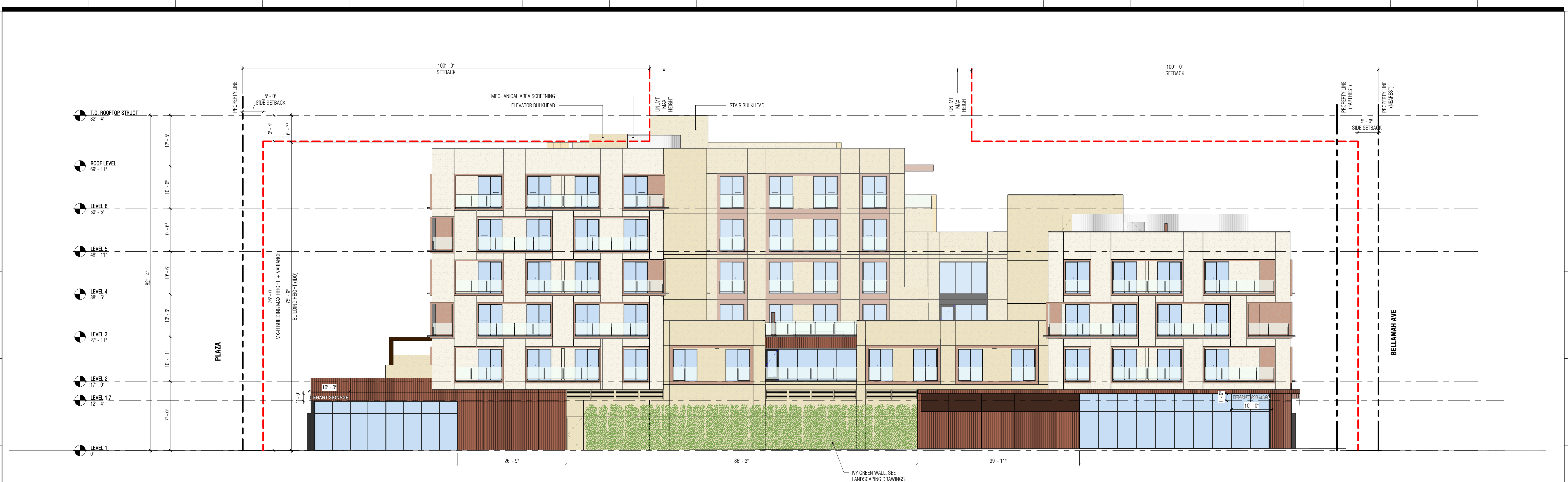
OFFICE UNTITLED
4200 SEPULVEDA BLVD, STE 104, CULVER CITY, CA 90230
P.310.730.6698

DESIGN ARCHITECT

SAWMILL (LOT A)

1904 BELLAMAH AVE NW ALBUQUERQUE
NM 87104

OU PROJECT NO. 21.002.000



EXTERIOR ELEVATION - EAST

SCALE: 3/32" = 1'-0"

1



EXTERIOR ELEVATION - WEST

SCALE: 3/32" = 1'-0"

2

GENERAL NOTES

ZONE MX-H REQUIREMENTS:
PER APPROVED SITE PLAN

EAST ELEVATION
FACADE SF = 14,640 SF
SIGN SF = 35 SF
PERCENTAGE = 0.3%

WEST ELEVATION
FACADE SF = 9,995 SF
SIGN SF = 53 SF
PERCENTAGE = 0.4%

NORTH ELEVATION
FACADE SF = 17,025 SF
SIGN SF = 53 SF
PERCENTAGE = 0.4%

SOUTH ELEVATION
FACADE SF = 11,817 SF
SIGN SF = 53 SF
PERCENTAGE = 0.5%

SOUTH WEST ELEVATION
FACADE SF = 6,851 SF
SIGN SF = 18 SF
PERCENTAGE = 0.3%

ALL SIGNAGE TO COMPLY WITH IDO 5-12. SEPARATE SIGN PERMIT MAY BE REQUIRED.

STREET-FACING FENESTRATION AREA (3-4)(M)(5)(6)

NORTH ELEVATION (BELLAMAH AVE)
FACADE SF = 17,025 SF
GLAZING SF = 4,523 SF
PERCENTAGE = 26.5%

WEST ELEVATION (20TH ST)
FACADE SF = 9,995 SF
GLAZING SF = 2,317 SF
PERCENTAGE = 23.2%

SOUTHWEST ELEVATION (20TH ST)
FACADE SF = 6,851 SF
GLAZING SF = 1,893 SF
PERCENTAGE = 27.6%

- BUILDING LIGHTING NOTES**
- ALL OUTDOOR LIGHT FIXTURES MOUNTED ON A BUILDING OR STRUCTURE OTHER THAN A LIGHT POLE, EXCEPT FOR SECURITY LIGHTING, TO BE MOUNTED AT LEAST 6 FEET AND NO MORE THAN 15 FEET ABOVE GRADE OR NO HIGHER THAN 7 FEET ABOVE THE FLOOR OF A STOOD OR PORCH.
 - LIGHT FIXTURES INSTALLED IN CANOPIES OR SIMILAR STRUCTURES TO BE FLUSH-MOUNTED OR RECESSED ABOVE THE LOWER EDGE OF THE CANOPY AND SHALL BE EQUIPPED WITH FLAT LENSES THAT DO NOT PROJECT BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED.
 - PEDESTRIAN-SCALE LIGHTING, INCLUDING LIGHTING FOR SIDEWALKS, WALKWAYS, TRAILS, AND BICYCLE PATHS, TO PROVIDE AN ILLUMINATION OF AT LEAST 1 FOOT CANDLE, NOT TO EXCEED 4 FOOT CANDLES.

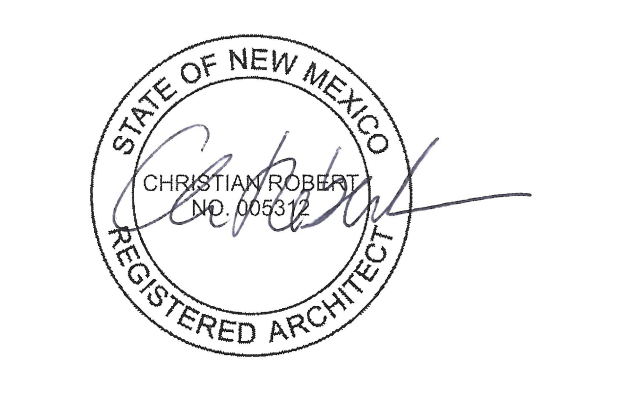
LEGEND

	WEATHERING STEEL		NATURAL STONE		GLASS/GLAZING
	WEATHERING STEEL (PERFORATED)		CAST IN PLACE CONCRETE		PROPERTY LINE
	BLACK ANODIZED ALUMINUM		CORRUGATED METAL PANELS		EFFECTIVE SETBACK LINE
	PORTLAND CEMENT PLASTER - DARK BEIGE		BOARD FORMED CONCRETE PLASTER		REFER TO: VARIANCE VA-2023-00092 VARIANCE VA-2023-00094
	PORTLAND CEMENT PLASTER - LIGHT BEIGE		PAINT - MATCHING DARK BEIGE PLASTER		
	PORTLAND CEMENT PLASTER - BROWN		PAINT - MATCHING LIGHT BEIGE PLASTER		

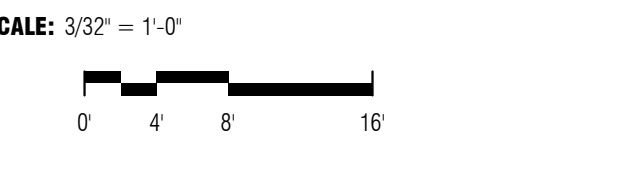
SHEET NOTES

LEGEND

#	REVISION DESCRIPTION	DATE

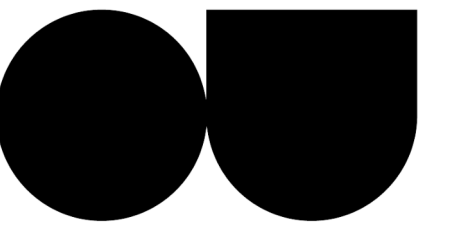


License Name: Christian Robert
Profession Name: OFFICE UNTITLED, INC.
License Number: 005312



EXTERIOR BUILDING ELEVATION

D-A30.02



OFFICE UNTITLED DESIGN ARCHITECT
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 P.310.730.6698

SAWMILL (LOT A)

1904 BELLAMAH AVE NW ALBUQUERQUE
 NM 87104
 OU PROJECT NO. 21.002.000



EXTERIOR ELEVATION - SOUTH WEST 1
 SCALE: 3/32" = 1'-0"

SIGNAGE AREA
 ZONE MIX-H REQUIREMENTS:
 PER APPROVED SITE PLAN

EAST ELEVATION
 FACADE SF = 14,640 SF
 SIGN SF = 35 SF
 PERCENTAGE = 0.3%

WEST ELEVATION
 FACADE SF = 9,995 SF
 SIGN SF = 53 SF
 PERCENTAGE = 0.6%

NORTH ELEVATION
 FACADE SF = 17,025 SF
 SIGN SF = 53 SF
 PERCENTAGE = 0.4%

SOUTH ELEVATION
 FACADE SF = 11,817 SF
 SIGN SF = 53 SF
 PERCENTAGE = 0.5%

SOUTH WEST ELEVATION
 FACADE SF = 6,951 SF
 SIGN SF = 18 SF
 PERCENTAGE = 0.3%

ALL SIGNAGE TO COMPLY WITH IDO 5-12. SEPERATE SIGN PERMIT MAY BE REQUIRED.

STREET-FACING FENESTRATION AREA (3-4)(M)(5)(6)

NORTH ELEVATION (BELLAMAH AVE)
 FACADE SF = 17,025 SF
 GLAZING SF = 4,523 SF
 PERCENTAGE = 26.5%

WEST ELEVATION (20TH ST)
 FACADE SF = 9,995 SF
 GLAZING SF = 2,517 SF
 PERCENTAGE = 25.2%

SOUTHWEST ELEVATION (20TH ST)
 FACADE SF = 6,951 SF
 GLAZING SF = 1,893 SF
 PERCENTAGE = 27.2%

BUILDING LIGHTING NOTES

- ALL OUTDOOR LIGHT FIXTURES MOUNTED ON A BUILDING OR STRUCTURE OTHER THAN A LIGHT POLE, EXCEPT FOR SECURITY LIGHTING, TO BE MOUNTED AT LEAST 6 FEET AND NO MORE THAN 15 FEET ABOVE GRADE OR NO HIGHER THAN 7 FEET ABOVE THE FLOOR OF A STOOP OR PORCH.
- LIGHT FIXTURES INSTALLED IN CANOPIES OR SIMILAR STRUCTURES TO BE FLUSH-MOUNTED OR RECESSED ABOVE THE LOWER EDGE OF THE CANOPY AND SHALL BE EQUIPPED WITH FLAT LENSES THAT DO NOT PROJECT BELOW THE CANOPY CEILING. THE CANOPY FASCIA SHALL NOT BE INTERNALLY ILLUMINATED.
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	WEATHERING STEEL		NATURAL STONE		GLASS/GLAZING
	WEATHERING STEEL (PERFORATED)		CAST IN PLACE CONCRETE		PROPERTY LINE
	BLACK ANODIZED ALUMINUM		CORRUGATED METAL PANELS		EFFECTIVE SETBACK LINE
	PORTLAND CEMENT PLASTER - DARK BEIGE		BOARD FORMED CONCRETE PLASTER		REFER TO: VARIANCE VA-2023-00092 VARIANCE VA-2023-00094
	PORTLAND CEMENT PLASTER - LIGHT BEIGE		PAINT - MATCHING DARK BEIGE PLASTER		
	PORTLAND CEMENT PLASTER - BROWN		PAINT - MATCHING LIGHT BEIGE PLASTER		

GENERAL NOTES

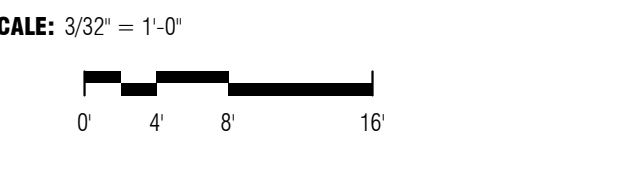
SHEET NOTES

LEGEND

#	REVISION DESCRIPTION	DATE

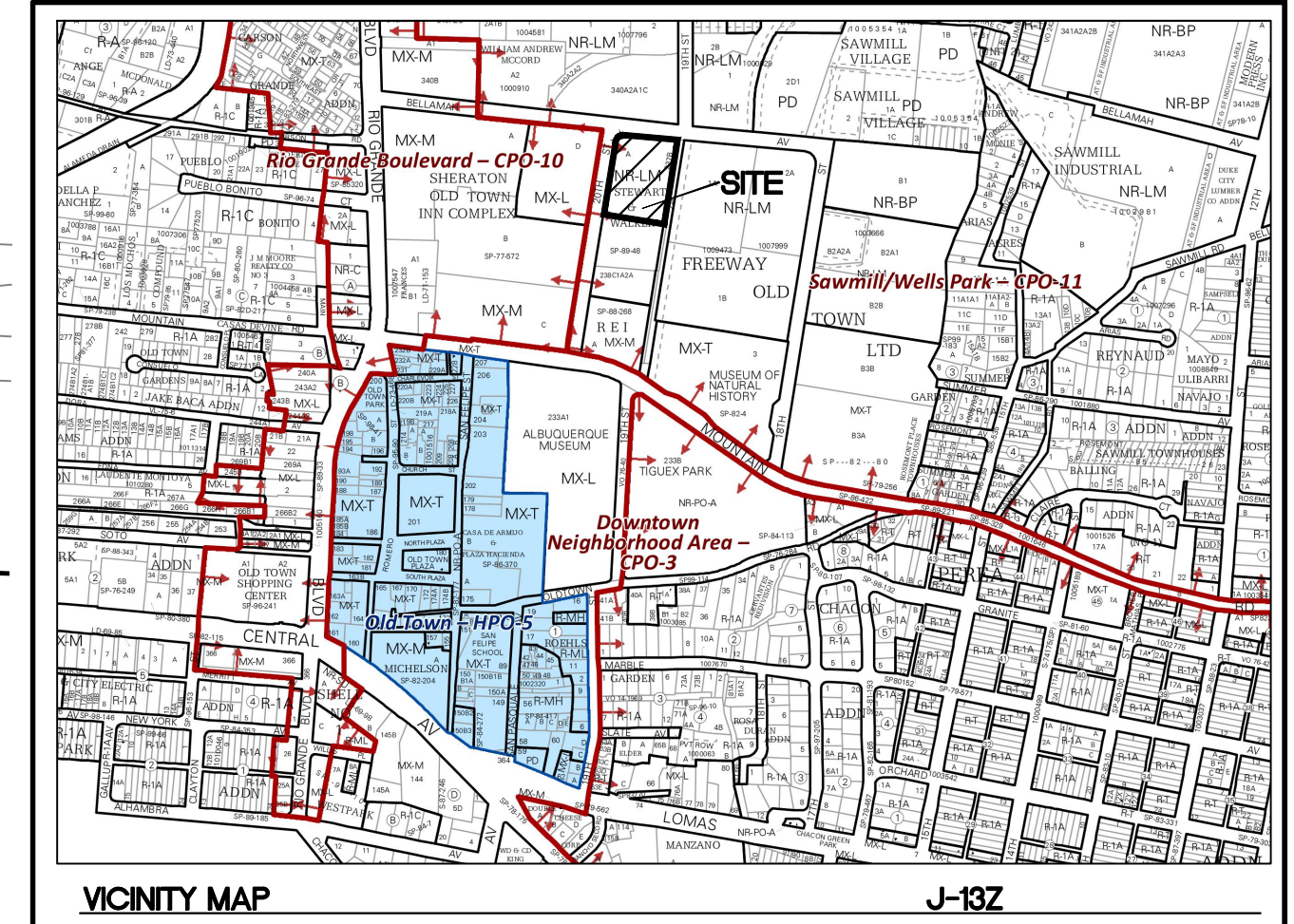


License Name: Christian Robert
 Profession Name: OFFICE UNTITLED, INC.
 License Number: 005312



EXTERIOR BUILDING ELEVATION

D-A30.03



LEGAL DESCRIPTION:

TRACTS A LANDS OF STEWART WALKER & TRACT 238C1A2A2
M.R.G.C.D. MAP NO. 38

NOTES:

- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT OR SCREENED FROM VIEW. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- ALL IMPROVEMENTS WITHIN THE CITY RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK CURB & GUTTER PER CITY STANDARD DRAWINGS 2415A & 2430.

PROJECT NUMBER: PR-202X-XXXX

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

PLANNING	Date
TRANSPORTATION DEVELOPMENT	Date
UTILITY DEVELOPMENT	Date
CITY ENGINEER	Date
PARKS & RECREATION	Date
AMAFCA	Date
CODE ENFORCMENT	Date
HYDROLOGY	Date

Approved for access by the Solid Waste Department for up to 12-2 cubic yard Swanson containers (2 Swanson's to be kept in the trash room) An Access code/card will be given to the refuse driver. Access to the Swanson containers from 5AM to 8PM will be required. Herman Gallegos 04-21-23/Herman Gallegos

BELLAHAH AVE
(60' PUBLIC ROW)

EX. ENTRANCE TO BE MODIFIED AS SHOWN

EX. SIDEWALK

R=25.00' (R=25.00)
L=38.17' (L=38.13)
Δ=87°29'04"
CH=N 52°54'06" E
34.57'

KEYED NOTES

- ② UNIDIRECTIONAL ACCESSIBLE RAMP W/ TRUNCATED DOMES PER COA STD DWG #2441
- ③ STANDARD CURB AND GUTTER (TYP) PER COA STD DWG 2415A SEE DETAIL SHEET DET-1
- ④ NEW PEDESTRIAN SIDEWALK PER COA STD DWG 2430
- ⑤ 6" VALLEY GUTTER PER COA STD DWG 2415B SEE DETAIL SHEET DET-1
- ⑥ BUILDING SIGN
- ⑦ ADA PUBLIC ACCESS PATHWAY
- ⑧ BICYCLE RACK. SEE DETAIL SHEET DET-1
- ⑨ STANDARD LIGHT POLE. SEE DETAIL SHEET, DET-1

SIGHT TRIANGLE NOTE:
LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

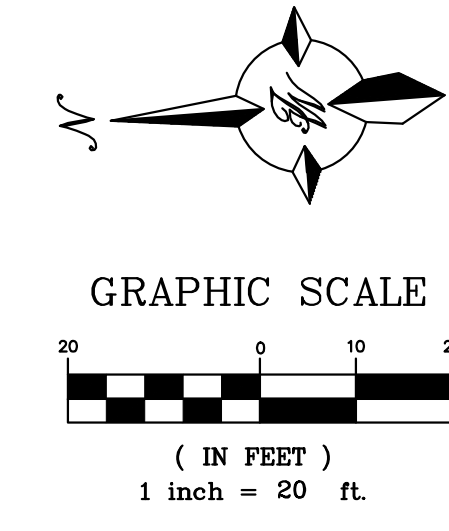
NOTE: REFER TO ARCHITECTURAL PLANS FOR PARKING STRUCTURE PLANS

SITE DATA - BUILDING A

PROPOSED USAGE	MIXED USE
LOT AREA	135,912 SF (3.12 ACRES)
ZONING	MX-H
PARKING REQUIRED	107
PARKING PROVIDED	141 SPACES
HC PARKING REQUIRED	10 SPACES (2 VAN SPACES)
HC PARKING PROVIDED	10 SPACES (2 VAN SPACES)
BICYCLE SPACES REQUIRED	10% OF OFF-STREET PARKING
BICYCLE SPACES PROVIDED	4 SPACES
MOTORCYCLE SPACES REQUIRED	4 SPACES
MOTORCYCLE SPACES PROVIDED	4 SPACES
PARKING TOTAL	165
LANDSCAPE REQUIRED:	2,893 SF
LANDSCAPE PROVIDED:	2,984 SF

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- ▭ BUILDING
- ▨ PROPOSED SIDEWALK
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ☀ LIGHT
- ▨ LANDSCAPE AREA
- ⊙ EXISTING SANITARY SEWER MAN HOLE



ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
7868
PROFESSIONAL ENGINEER
03-06-2023
RONALD R. BOHANNAN
P.E. #7868

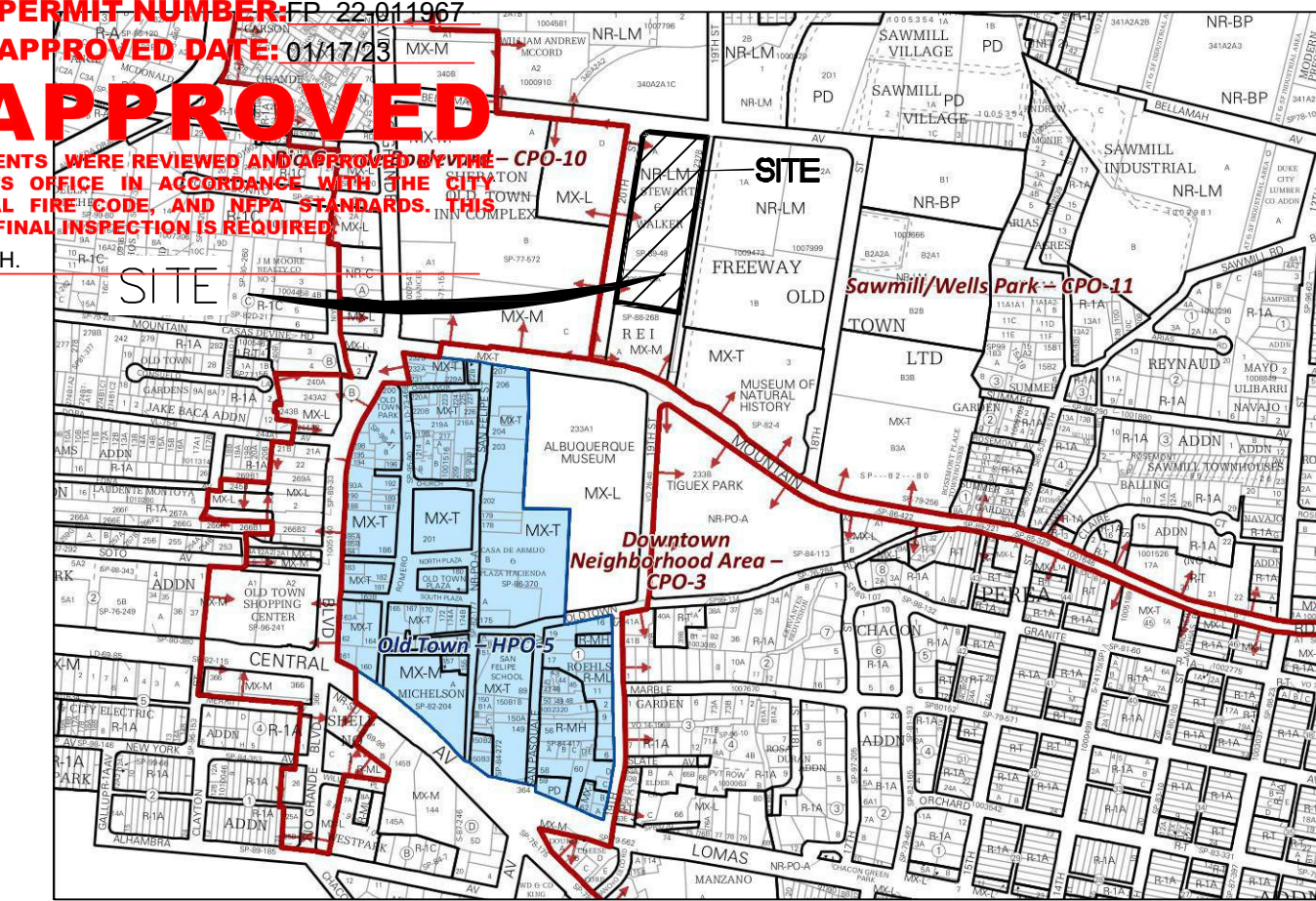
1904 BELLAHAH AVE NW
ALBUQUERQUE, NM
TRAFFIC CIRCULATION LAYOUT
TERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierwestllc.com

DRAWN BY	SB
DATE	11-16-22
DRAWING	
SHEET #	SP-1
JOB #	2022046



PERMIT
PERMIT NUMBER: FP-22-011967
APPROVED DATE: 01/17/23
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE CITY OF ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1875 GPM, 2 FH.



VICINITY MAP J-13Z

BUILDING A (1904 BELLAMAH AVE NW, ALBUQUERQUE NM)
CITY OF ALBUQUERQUE,
BERNALILLO COUNTY

MIXED USE HIGH INTENSITY
OCCUPANCY TYPE: R-1, A-2, A-3, M, F-1, B

LOT AREA: 135,912 SF (3.12 ACRES)
TYPE 1A: 120,911 SF
TYPE 5A: 95,364 SF
BUILDING TOTAL AREA: 216,275 SF

CONSTRUCTION TYPE: LEVELS I & II TYPE IA
LEVELS 3-6 TYPE 5A

FULLY SPRINKLED
MAX BUILDING HEIGHT 70' (6 STORIES)

FIRE FLOW 2,750 GPM
REQ. FIRE HYDRANTS 3

NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS
- KEY BOX (KNOX BOX) SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED.
- STANDPIPE SYSTEMS SHALL BE INSTALLED THROUGHOUT BUILDINGS WHERE THE FLOOR LEVEL OF THE HIGHEST STORY IS LOCATED MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF THE FIRE DEPT. VEHICLE ACCESS

KEYED NOTES

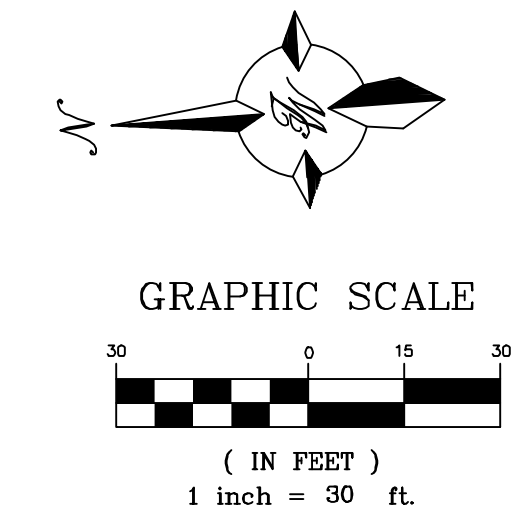
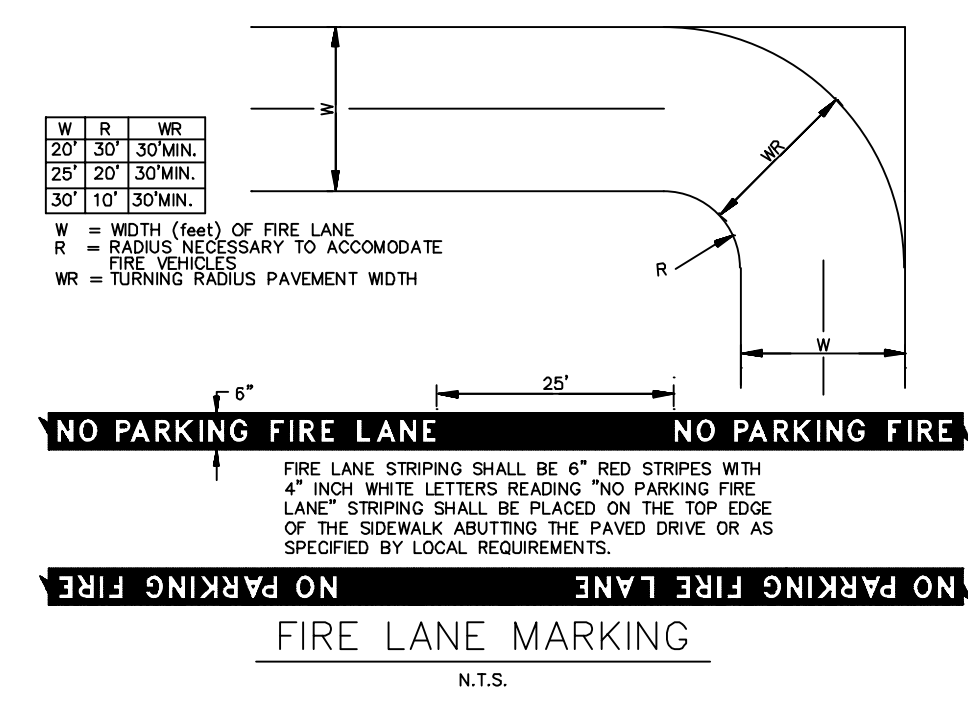
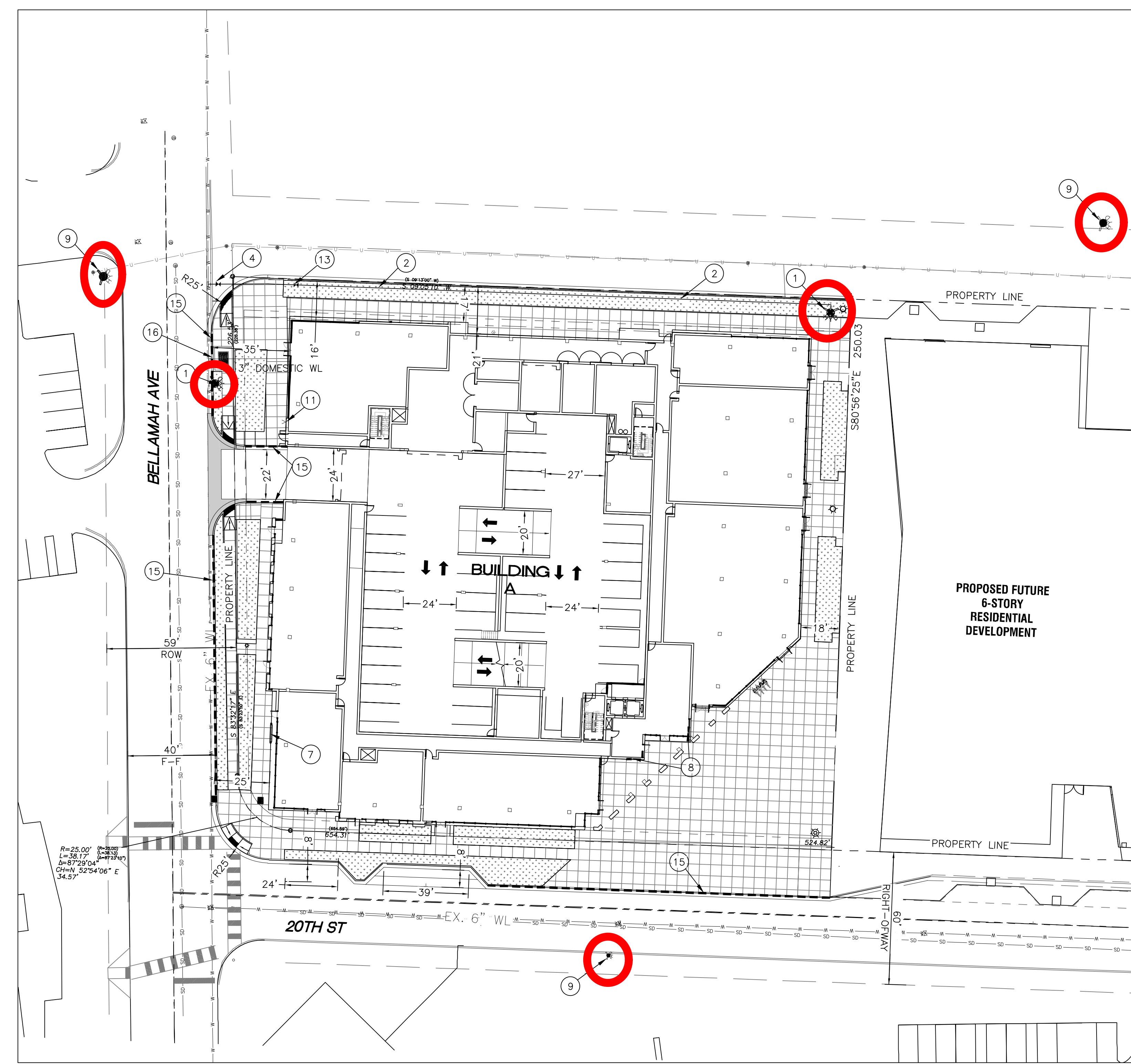
- PROPOSED FIRE HYDRANT W/PRIVATE GATE VALVE
- 6" FIRELINE
- 2" DOMESTIC WL SERVICE
- PUBLIC GATE VALVE
- 8" PRIVATE GATE VALVE
- EXISTING 2" WL METER
- BUILDING ADDRESS
- KNOX BOX
- EXISTING FIRE HYDRANT
- 6" GATE VALVE (PRIVATE)
- FDC
- 8" WATERLINE
- POST INDICATOR VALVE
- 8" REMOVABLE BOLLARDS
- FIRE LANE MARKINGS
- 3" WATER METER PIT SEE COA STD DWG #2370

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- FIRE ACCESS
- PROPOSED HYDRANT
- BUILDING OUTLINE ABOVE
- SITE RETAINING WALL

CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 PROFESSIONAL ENGINEER	1904 BELLAMAH AVE NW ALBUQUERQUE, NM FIRE ONE PLAN	DRAWN BY SB DATE 11-16-22 DRAWING
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # FO-1 JOB # 2022046











PR-2022-007153_SI-2023-01646_Site_Plan_Aproved_4-11-24_Sheet_1


Final Audit Report


2024-05-30


Created:	2024-04-25
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA6txBnaOD1VZyVjl_k8_Cfg4XcQlhUN3i


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-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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